

**1.0 GENERAL**

- 1 THE FOLLOWING GENERAL GUIDELINES ARE PREPARED FOR THE CITY OF TORONTO (CITY) ON THE PROPOSED EXTERIOR RESTORATION, INTERIOR RESTORATION AND STRUCTURAL REPAIRS TO SELECT COMPONENTS AT THE GORD & IRENE COMMUNITY CENTRE LOCATED AT 2660 FINCH AVENUE WEST, NORTH YORK (ON).
- 2 THE CONTRACTOR IS ADVISED THAT ALL WORK SHALL BE PERFORMED IN SIX (6) PHASES TO MAINTAIN THE FACILITY FULLY OPERATIONAL. PERFORM WORK DURING WORKING HOURS ONLY AND IN CODE COMPLIANCE WITH ANY NOISE BY-LAWS. THE EXISTING WASHROOM FACILITIES MUST REMAIN IN SERVICE UNLESS ALTERNATIVE FACILITIES ARE PROVIDED AND SHALL FORM PART OF THE BASE BID PRICE. MAINTAIN TWO (2) EXITS TO THE GENERAL PUBLIC AT ALL TIMES DURING ALL PHASES OF WORK. THE COST ASSOCIATED FOR MOBILIZING AND DEMOBILIZING BETWEEN PHASES SHALL BE INCLUDED IN THE BASE BID PRICE.
- 3 ALL DIMENSIONS ARE METRIC UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS. ALL DRAWINGS ARE CONCEPT ILLUSTRATIONS OF THE WORK REQUIRED.
- 4 ALL DIMENSIONS MUST BE FIELD VERIFIED BY THE CONTRACTOR. REPORT TO CSE ANY DISCREPANCY AND/OR CONCERNS PRIOR TO INITIATING ANY CONSTRUCTION WORK.
- 5 DO NOT PROCEED WITH ANY WORK WHERE SHOP DRAWINGS ARE REQUIRED TO BE SUBMITTED AND APPROVED. ALL WORK PERFORMED WITHOUT APPROVED SHOP DRAWINGS BE AT THE CONTRACTORS OWN RISK OF NON-PAYMENT.
- 6 DO NOT PROCEED WITH CHANGES OR DEVIATIONS IN WORK DETAILED HEREIN WITHOUT WRITTEN INSTRUCTIONS OR A CHANGE DIRECTIVE ISSUED BY THE ENGINEER. ALL WORK PERFORMED WITHOUT PROPER APPROVALS SHALL BE AT THE CONTRACTORS OWN RISK OF NON-PAYMENT.
- 7 THIS SET OF PLANS SHALL OVERRIDE ANY CONFLICT FOUND IN THE WRITTEN TECHNICAL SPECIFICATIONS.
- 8 THE CONTRACTOR SHALL PERFORM INTERIOR AND EXTERIOR SERVICE LOCATES, AS REQUIRED TO CONFIRM THAT THE AREA IS CLEARED OF ANY SERVICES WHERE ANY EXCAVATIONS OR REMOVALS ARE REQUIRED. ALL SERVICES LOCATES SHALL FORM PART OF THE BASE BID PRICE.
- 9 ALL WORK WITH THE EXCEPTION OF THE ROOFING WORK & SLAB INJECTION SHALL HAVE A WARRANTY PERIOD OF TWO (2) YEARS. ROOFING WORK SHALL HAVE A WARRANTY OF FIVE (5) YEARS. SLAB INJECTION WORK OF THREE (3) YEARS WITH AN OPTIONAL PRICE OF TEN (10) YEARS. WARRANTY SHALL COVER ALL DEFICIENCIES IN WORKMANSHIP, LABOR AND MATERIALS FROM THE DATE OF SUBSTANTIAL PERFORMANCE.
- 10 **REFERENCE CODES AND STANDARDS**
- 1 ALL DOCUMENTS REFERENCED SHALL BE THE LATEST EDITION.
- 2 THE DESIGN AND CONSTRUCTION OF ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, THE CANADIAN NATIONAL BUILDING CODE, THE OCCUPATIONAL HEALTH AND SAFETY ACT AND ITS REGULATIONS FOR CONSTRUCTION PROJECTS (OHSA) AND ANY OTHER RELEVANT CODE AND STANDARD, AS DEEMED APPLICABLE.
- 3 CANADIAN STANDARDS ASSOCIATION (CSA):
- CAN/CSA-S350 CODE OF PRACTICE FOR SAFETY IN DEMOLITION OF STRUCTURES
  - CAN/CSA-A23.3 DESIGN OF CONCRETE STRUCTURES
  - CAN/CSA-A23.1 CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION
  - CAN/CSA-A23.2 TEST METHODS AND STANDARD PRACTICES FOR CONCRETE
  - CAN/CSA-S16-09 LIMIT STATES DESIGN OF STEEL STRUCTURES
  - CAN/CSA-O86-09 ENGINEERING DESIGN IN WOOD
  - ONTARIO INDUSTRIAL ROOFING CONTRACTORS ASSOCIATION.
  - RSIO - REINFORCING STEEL INSTITUTE OF ONTARIO MANUAL FOR PLACEMENT OF REINFORCING STEEL, LATEST EDITION.
- 3.0 **INJECTION CONTRACTOR**
- 1 THE INJECTION CONTRACTOR MUST HAVE EXPERIENCE WITH THE STABILIZATION OF THE SUBGRADE WITHIN THE LAST FIVE (5) YEARS OF PROVEN EXPERIENCE. CONTRACTOR TO PROVIDE NAME AND EXPERIENCE AT BID TIME SO THAT THE ENGINEER CAN PRE-QUALIFY THE CONTRACTOR. INJECTION CONTRACTOR MUST HAVE ADEQUATE EXPERIENCE IN SLAB LIFTING OF INTERIOR SLAB-ON-GRADE STRUCTURES.
- 2 PROVIDE CSE WITH A COMPLETE RESUME AND SITES WHERE SIMILAR WORK HAS TAKEN PLACE COMPLETE WITH REFERENCE CONTACTS. TO INCLUDE THE SUBMISSION OF THREE (3) PROJECTS WITH COMPLETE REFERENCE CONTACTS FOR WORK ON THE SUBGRADE SOIL STABILIZATION WORK.
- 3 CONTRACTOR SHALL SUBMIT ALL LICENSING/SURANCE INFORMATION FOR APPROVAL.
- 4 ONLY CHEMICAL SOIL STABILIZATION WORK AND SLAB LIFTING WORK SHALL BE ALLOWED. MUD JACKING OR CEMENT BASED JACKING SHALL NOT BE USED.
- 5 REFER TO G01-07 FOR DRAWINGS.
- 4.0 **SPECIAL PRECAUTIONS**
- 1 THE DESIGNATED CONTRACTOR SHALL ENSURE THAT ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE OHSA AND ITS REGULATIONS.
- 2 THE GUIDELINES DETAILED HEREIN ARE SITE SPECIFIC AND ARE NOT TO BE USED AT ANY OTHER LOCATION AND ARE PREPARED FOR THE EXCLUSIVE USE OF THE CITY OF TORONTO FOR THE GORD & IRENE COMMUNITY CENTRE.
- 3 THIS GUIDELINE SHALL BE COORDINATED AND READ IN CONJUNCTION WITH THE WRITTEN CONTRACT SPECIFICATIONS AND CONTRACT DRAWINGS.
- 4 ALL MATERIALS AND WORKMANSHIP SHALL BE AS DETAILED HEREIN AND SHALL MEET OR EXCEED THE RELATED STANDARDS & CODES. ANY ALTERNATIVE MATERIAL SHALL BE APPROVED BY CSE. SHOULD ANY CONCERN BE IDENTIFIED DURING THE WORK, STOP ALL WORK AND IMMEDIATELY REPORT TO CSE.
- 5.0 **SCOPE OF WORK (REFER TO PHASING ON G01-03 FOR MORE INFORMATION)**
- 1 INITIATE THE CONSTRUCTION BY PROVIDING ALL REQUIRED SUBMISSIONS/SHOPDRAWINGS AND CATALOGUE CUT SHEETS TO THE SATISFACTION OF THE ENGINEER. REFER TO THE CONTRACT SPECIFICATIONS AND CONTRACT DRAWINGS HEREIN.
- 2 VISIT THE SITE AND PERFORM A PRE-CONSTRUCTION REVIEW. RECORD ANY EXISTING DAMAGES AND/OR CONCERNS AND SUBMIT TO THE ENGINEER. ANY AND ALL DAMAGES IDENTIFIED THEREAFTER ARE TO BE REPAIRED TO MATCH EXISTING AT NO EXTRA COST TO THE CONTRACT.
- 3 SITE MEASURE ALL REQUIRED FABRICATION DIMENSIONS. DO NOT RELY ON THE PREPARED EXISTING SITE PLANS OR DRAWINGS SINCE THEY ARE CONCEPT ILLUSTRATIONS.
- 4 PERFORM INTERIOR AND EXTERIOR SITE SERVICE LOCATES ON SITE AND REPORT ANY CONCERNS TO INCLUDE WATER/GAS/ELECTRICAL/MECHANICAL/SEWERS/PLUMBING. ALL SITE LOCATES (PRIVATE AND PUBLIC) ARE TO BE INCLUDED IN THE BASE BID PRICE.
- 5 PERFORM THE REQUIRED SOILS INVESTIGATION FOR THE PROPOSED SUBGRADE INJECTION WORK. ALL COST FOR THE SOILS INVESTIGATIONS ARE TO BE INCLUDED IN THE BASE BID PRICE.
- 6 PERFORM A SMALL TEST PIT SAMPLE EXTRACTION ON THE ROOFING MATERIALS TO CONFIRM ALL MATERIALS AND REPORT ANY CONCERNS TO THE ENGINEER AS PART OF THE BASE BID COSTS.
- 7 INSTALL ALL HOARDING, FENCINGS AND PROTECTIVE MEASURES AS REQUIRED. COMPLETE WITH LOCKABLE GATE ENTRANCE AND SILT FENCE WITHIN PROPERTY LINE. POST SIGNS TO WARN OF HAZARDS ASSOCIATED WITH THE WORK. ALL COST ARE TO BE INCLUDED IN THE BASE BID PRICE.
- 8 INSTALL INTERIOR & EXTERIOR COVERED WALKWAYS TO PROTECT THE GENERAL PUBLIC. ALL COSTS FOR LIGHTING, VENTILATION AND SIGNS SHALL BE INCLUDED IN THE BASE BID PRICE.
- 9 ARRANGE FOR ANY COST FOR ANY SCAFFOLDS, SCISSOR LIFTS MAN LIFTS TO SAFELY GAIN ACCESS TO THE AREA OF WORK AT NO EXTRA COST TO THE CONTRACT. ALL COST ARE TO BE INCLUDED IN THE BASE BID PRICE.
- 10 REMOVE ALL DESIGNATED SUBSTANCES, INTERIOR FINISHES AS REQUIRED. ENSURE THAT NO STRUCTURAL SUPPORT ARE REMOVED, UNLESS OTHERWISE INDICATED HEREIN.
- 11 THE FOLLOWING PARAGRAPHS PROVIDE A QUICK OVERVIEW OF THE WORK REQUIRED. REFER TO MORE INFORMATION ON DRAWING G01-03 AND PHASING REQUIREMENTS.
- CONCRETE SLAB LIFTING:**
- 12 SLAB LIFTING IN THE STORAGE ROOM AND WASHROOM LOCATED AT THE SOUTH-EAST CORNER OF THE ARENA. THAT WILL INCLUDE THE REMOVAL OF SOME NON-LOAD BEARING WALLS, FLOOR FINISHES, CEILING FINISHES AND BASEBOARDS AT THAT AREA. DISCONNECTION OF PLUMBING SERVICES AND FIXTURES IN THE WASHROOM WILL BE REQUIRED. SOIL BELOW THE SLAB ON GRADE IS TO BE STABILIZED.
- 13 AFTER LIFTING THE SLAB, THE CONCRETE SURFACE SHALL BE LEVELLED OUT WITH A THIN CEMENTITIOUS LEVELING GROUT PRIOR TO THE INSTALLATION OF THE FLOOR FINISHES.
- COSMETIC REPAIRS IN THE VIEWING AREA:**
- 14 COSMETIC REPAIRS TO THE CRACKED AND/OR PAINT PEELED WALLS, COLUMN AND BEAM STRUCTURES IN THE VIEWING AREA OF THE ARENA.
- 15 THE CONTRACTOR IS TO COMPLETELY REPAIR, CLEAN, PRIME & RE-PAINT WALLS, BEAMS AND COLUMNS IN THE VIEWING AREA.
- BOCCCE COURT WINDOW REPLACEMENT AND EXTERIOR WALL INFILL:**
- 16 THREE WINDOWS IN THE BOCCCE COURT NEEDS TO BE REPLACED WITH FROSTED WINDOWS. TWO OF THESE WINDOWS WILL BE REPLACED WITH A SHORTER WINDOWS TO INCLUDE A WALL INFILL AT THE BOTTOM PART OF THE NEW WINDOWS.

- 17 **CEILING TILE REPLACEMENT AT BOCCCE LOUNGE:**
- 18 EXISTING CEILING TILES ABOVE THE BOCCCE COURT SITTING AREA TO BE REMOVED & REPLACED.
- DEHUMIDIFIERS OVER RINK:**
- 19 THE EXISTING MECHANICAL UNITS ARE TO BE REMOVED & REPLACED WITH SIMILAR UNITS WITH THE SAME SIZE AND CAPACITY AND CONNECTED TO A NEW GAS (BUILDING AUTOMATION SYSTEM). REFER TO MECHANICAL AND ELECTRICAL DRAWINGS. BAS SYSTEM COST SHALL BE CONSIDERED TO BE AN EXTRA TO THE CONTRACT AND SHOULD BE TAKEN FROM THE CASH ALLOWANCE.
- 20 THE STRUCTURAL FRAMING SUPPORTING THE SOUTH & NORTH DEHUMIDIFIER LOCATED ABOVE THE ICE RINK ARE TO BE COMPLETELY REMOVED & REPLACED.
- EXTERIOR SOFFIT:**
- 21 EXTERIOR WOOD SOFFIT AND FASCIA TO BE REMOVED & REPLACED WITH NEW METAL SOFFIT. THE EXTERIOR WALL BEHIND THE SOFFIT IS NOT A CONTINUOUS/SEALED WALL AND WILL REQUIRE A VAPOR BARRIER WALL SEPARATION TO BE INSTALLED IN THE CEILING ROOF CAVITY AT THE LIMITS OF THE BUILDING. REPAIR ALL INTERIOR DRYWALL CEILING AREAS AND PRIME/REPAINT TO MATCH EXISTING.
- ROOF REPLACEMENT ABOVE BOCCCE LOUNGE:**
- 22 THE EXISTING ROOFING SYSTEM ABOVE THE BOCCCE COURT SITTING AREA TO BE REMOVED & REPLACED TO INCLUDE NEW FLASHING AND TEMPORARY LIFTING OF MECHANICAL AND SKYLIGHT FRAMES.
- UPGRADE OF EXISTING WASHROOM:**
- 23 THE EXISTING WASHROOM ADJACENT TO THE TINY TOTS ROOM SHALL BE COMPLETED RENOVATED AND BROUGHT UP TO CODE FOR EASY ACCESS.
- NEW HEATERS, EMERGENCY LIGHTING, EXIT SIGNS, LED LIGHTING AND PA SYSTEM:**
- 24 THE CHANGE ROOM AREA AT THE WEST SIDE SHALL HAVE ALL THE CEILING MOUNTED HEATERS REMOVED & REPLACED. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.
- 25 THE COMPLETE FACILITY SHALL HAVE THE EMERGENCY LIGHTING AND POWER PACKS REMOVED & REPLACED. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.
- 26 ALL EXIT SIGNS SHALL BE REMOVED & REPLACED WITH NEW "GREEN MAN RUNNING" SIGNS. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.
- 27 ALL INTERIOR LIGHTING IS TO BE REMOVED & REPLACED WITH NEW LED LIGHTING. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.
- 28 A NEW PA (PUBLIC ANNOUNCEMENT) SYSTEM IS TO BE SUPPLIED AND INSTALLED. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.
- NEW EXTERIOR SIGN & POWER:**
- 29 THE EXTERIOR SIGN BY THE ROAD SHALL BE COMPLETELY REPLACED WITH A NEW ONE TO MATCH EXISTING WITH THE EXCEPTION OF THE FOUNDATION SYSTEM. THIS WORK INCLUDES FULL DESIGN SHOP DRAWINGS FOR THE ART WORK, ELECTRICAL AND SIGN FRAME TO MATCH EXISTING.
- 30 POWER SHALL BE RESTORED WITH NEW WIRE FEEDS TO THE EXISTING LIGHTING SIGN AND THE CONCRETE/MASONRY FOUNDATIONS SHALL BE CLEANED, REPAIRED AND RE-USED.
- 6.0 **SLAB LIFTING**
- 1 SETTLEMENT OF THE SLAB-ON-GRADE HAS BEEN OBSERVED IN THE SOUTH-EAST CORNER OF THE FACILITY AT THE LOCATION OF THE TINY TOTS ROOM, STORAGE ROOMS AND WASHROOM AREA.
- 2 STABILIZATION OF THE SOIL BELOW THE SLAB IS REQUIRED BY INJECTING A POLYURETHANE FOAM MATERIAL (MUD JACKING - CEMENTITIOUS GROUT IS NOT ALLOWED) BELOW THE SLAB AND THE EXISTING SLAB SHALL BE RAISED VIA INJECTION OF A POLYURETHANE FOAM MATERIAL TO FILL THE VOIDS BELOW THE SLAB-ON-GRADE. ONCE INJECTION IS COMPLETE, INSTALL A THIN GROUT LEVELING COAT TO THE SLAB PRIOR TO ANY FINISHED.
- 3 PERFORM THE REQUIRED SERVICE LOCATES TO ENSURE ALL ELECTRICAL/MECHANICAL SERVICES ARE PROTECTED OR DISCONNECTED TO ALLOW SLAB LIFTING PROCEDURES. ALL WORK DETAILED BELOW SHALL BE INCLUDED IN THE BASE BID PRICE TO THE CITY.
- 4 PERFORM SOIL INVESTIGATION BY DRILLING TWO (2) SHALLOW BOREHOLES TO DETERMINE THE CORRECT FORMULATION OF THE INJECTION MATERIAL FOR THE SUBGRADE BACKFILL STABILIZATION.
- 5 THE CONTRACTOR SHALL SUBMIT DETAILED WORK PROCEDURES, TO INCLUDE SITE PREPARATIONS, PROPOSED LOCATIONS OF ALL INJECTION HOLES, MATERIAL DATA SHEETS AND DRILLING METHODS.
- 6 PROTECT ALL EXISTING DRAINS / UTILITY LINES AND FINISHES THAT MAY BE AFFECTED BY THE WORK. ANY DAMAGE TO SURROUNDING DRAINS, LINES AND FINISHES SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO EXTRA COST TO CONTRACT.
- 7 DEMARCATIE THE AREA OF THE SLAB TO BE RAISED AND MARK THE LOCATIONS OF THE INJECTION HOLES.
- 8 REMOVE AND DISPOSE OF ALL VINYL / TILE BASEBOARDS AND FLOOR TILES IN THE AREA OF WORK.
- 9 DRILL INJECTION HOLES THROUGH CONCRETE SLAB FOR SOIL STABILIZATION. INJECT POLYURETHANE MATERIAL UNDER THE SLAB. REMOVE EXCESS MATERIAL FROM HOLE AREA WHEN NOZZLE IS REMOVED.
- 10 ALLOW SUBGRADE STABILIZATION POLYURETHANE TO CURE.
- 11 REPEAT INJECTION PROCEDURE FOR SLAB RAISING.
- 12 ALL INJECTION HOLES ARE TO BE FILLED WITH A NON-EXPANSIVE GROUT UPON COMPLETION.
- 13 UPON COMPLETION OF SLAB RAISING ALL MASONRY WALL CRACKS SHALL BE RE-POINTED.
- 14 INSTALL LEVELING GROUT, NEW TILES AND NEW CONCRETE BLOCK PARTITION WALLS.
- 15 INSTALL ALL BASEBOARDS.
- 16 INSTALL NEW SUSPENDED CEILING.
- 17 REPAIR, PRIME & RE-PAINT ALL WALLS.
- 7.0 **SLAB INJECTION MATERIAL**
- 1 THE INJECTION MATERIAL SHALL BE A WATER BLOWN HIGH DENSITY HYDRO-INSENSITIVE POLYURETHANE MATERIAL SUITABLE FOR USE IN WET ENVIRONMENTS, NON TOXIC, ENVIRONMENTALLY SAFE AND LEEDS APPROVED.
- 2 CONTRACTOR TO SUBMIT ALL MATERIAL AND LEEDS DATA SHEETS FOR APPROVAL.
- 8.0 **REINFORCING STEEL**
- 1 ALL REINFORCING STEEL SHALL BE DEFORMED BARS IN ACCORDANCE WITH CSA-G30.18 GRADE 400 MPA.
- 2 ALL CONCRETE STRUCTURES SHALL HAVE MINIMUM REINFORCING AS SPECIFIED IN CSA-A23.3 UNLESS OTHERWISE NOTED.
- 3 REINFORCING BARS SHALL BE CONTINUOUS ACROSS CONSTRUCTION JOINTS. CONTINUOUS BARS SHALL BE FULLY DEVELOPED BY LAPPING WHERE SPICED.
- 4 TENSION/COMPRESSION EMBEDMENT AND SPLICE LENGTHS TO CONFORM TO CAN/CSA-A23.3.
- 9.0 **TIMBER**
- 1 TIMBER DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND CAN/CSA 086.
- 2 TIMBER SHALL BE SPECIES S-P-F NO. 1 IN ACCORDANCE WITH N.L.G.A STANDARD GRADING RULES FOR CANADIAN LUMBER OR SHALL BE STRUCTURAL GRADE.
- 3 ANY DEVIATIONS FROM NOMINAL MEMBER SIZES SHOWN SHALL BE APPROVED BY THE ENGINEER PRIOR TO THEIR INSTALLATION.
- 4 ALL CONNECTIONS SHALL BE AS PER PART 9 OF THE ONTARIO BUILDING CODE 2006.
- 10.0 **STRUCTURAL STEEL (DEHUMIDIFIER FRAMING)**
- 1 ALL STRUCTURAL STEEL SHALL BE PERFORMED IN ACCORDANCE WITH CSA G40.21.
- 2 STRUCTURAL STEEL SHALL BE GRADE 350W MINIMUM FOR ROLLED AND HOLLOW STRUCTURAL SHAPES.
- 3 FABRICATION, ERECTION AND WORKMANSHIP SHALL CONFORM TO CSA S16.
- 4 ALL WELDING SHALL CONFORM TO CSA S16 AND W59, AND SHALL BE PERFORMED BY WELDERS QUALIFIED UNDER CSA W47. PROVIDE 12 FIRE WATCH AFTER ANY WELDING WORK AT NO EXTRA COST TO THE CONTRACTOR.
- 5 SURFACES TO BE WELDED SHALL BE CLEANED OF ALL FOREIGN MATTER INCLUDING PAINT FILM.
- 6 ALL JOINTS SHALL BE WELDED USING E49XX ELECTRODES, OR BEARING TYPE CONNECTIONS USING M20 ASTM A325 HIGH STRENGTH BOLTS UNLESS NOTED OTHERWISE.
- 7 ALL STEEL SHALL RECEIVE SHOP PRIMER IN ACCORDANCE WITH CISCC/PMA STANDARD 2-75, COLOR WHITE.
- 8 FIELD CHECK EXISTING DIMENSIONS AND LOCATIONS PRIOR TO FABRICATING THE NEW STRUCTURAL BEAMS.
- 9 ALL ACCESS, SCAFFOLDING, HOISTING EQUIPMENT, SHORING REQUIRED TO PERFORM THE WORK SHALL BE INCLUDED IN THE BASE BID.
- 11.0 **ROOFING**
- 1 ROOFING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CANADIAN ROOFING

- CONTRACTOR ASSOCIATION STANDARD MANUAL AND DETAILS.
- PROVIDE NEW ROOF SYSTEM AS FOLLOWS:
- SELF-ADHESIVE CAP AND CAP SHEET FLASHING.
  - SELF-ADHESIVE APPLIED BASE AND BASE SHEET FLASHING (BASE SHEET AND CAP SHEET) COMPLETE WITH MEMBRANE UPTURNS, DOWNTURNS, PARAPET, WATERPROOFING AND ANY NECESSARY TRANSITION MEMBRANE AS PER MANUFACTURER'S RECOMMENDED DETAILS. IF WORK IS TO BE COMPLETED BEFORE THE TEMPERATURE FALLS DOWN TO 10 DEGREES, CONSIDER USING SELF-ADHERED BASE AND CAP SHEET OR USE A PREFABRICATED BASE SHEET LAMINATED TO ASPHALT PROTECTION BOARD WITH A TORCHED OR SELF-ADHERED CAP SHEET.
  - ADHERED INSULATION OVERLAY BOARD.
  - ADHERED POLYISOCYANURATE RIGID INSULATION (PROVIDE SLOPE INSULATION AS REQUIRED).
  - SELF-ADHESIVE VAPOUR BARRIER.
  - ADHERED GYPSUM BOARD.
- 3 PROVIDE NEW 0.76 THICK (24 OR 26 GAUGE) PRE-FINISHED METAL FLASHING AND COUNTER FLASHINGS AS PER FLASHING TYPE INDICATORS. COLOUR TO MATCH EXISTING METAL FLASHING.
- 4 PROVIDE NEW STACK JACK AND VENT FLASHINGS FOR ROOF PENETRATIONS.
- 5 ALL WOOD CURBS AND BLOCKING SHALL BE PRESERVATIVE TREATED, AND ALL FIELD CUT EDGES SHALL BE TREATED ON SITE.
- 6 PROVIDE 19 THICK EXTERIOR GRADE PLYWOOD OVER EXISTING OPENINGS, FRAME WITH WOOD SUPPORTS AS REQUIRED.
- 7 NEW ROOF DRAIN WITH COPPER FLANGE, ALUMINUM STRAINER DOME AND BACKFLOW PREVENTION GASKET FOR CONNECTION TO BE PROVIDED WITH AN ADEQUATE OUTLET.
- 8 PRODUCTS ARE TO BE BY SOPREMA OR APPROVED EQUIVALENT. ROOFING MANUFACTURER WILL BE REQUIRED TO VISIT SITE AND APPROVE THE SURFACE PREPARATION PRIOR TO THE APPLICATION OF THE WATERPROOFING MEMBRANE.
- 9 ALL INSTALLATION SHALL BE DONE IN ACCORDANCE WITH WRITTEN INSTRUCTIONS BY MANUFACTURER OF THE MATERIALS.
- 10 ASSUME ANY MECHANICAL EQUIPMENTS AND SKYLIGHT ON THE ROOF TO BE LIFTED AND RE-INSTALLED TO EASE THE REPLACEMENT OF THE ROOFING.
- 12.0 **NATURAL GAS PIPE SUPPORT NOTES (AT BOCCCE COURT ROOF LEVEL)**
- 1 PROVIDE NEW SUPPORTS FOR NATURAL GAS PIPE AS PER CODE REQUIREMENTS EXCEPT THAT THE MAXIMUM SPACING SHALL BE NOT MORE THAN 2400mm AND SUPPORTS ARE PROVIDED AT EVERY THREE-DIAMETER FITTING.
- 2 SUPPORTS SHALL BE "QUICK-BLOCK" BY BETTER IDEA INC., MODEL C1X BY MIFAB OR APPROVED EQUIVALENT.
- 13.0 **SITE SAFETY AT THE ROOF LEVEL**
- 1 PORTIONS OF THE SITE ARE TO REMAIN IN USE DURING CONSTRUCTION. ENCLOSE WORK AREA WITH STEEL MODULAR FENCE.
- 2 CONTRACTOR TO PROVIDE SIGNAGE ON INTERIOR SIDE OF BUILDING ADVISING THAT THE ROOF IS UNDER CONSTRUCTION.
- 3 CONTRACTOR TO EXERCISE SPECIAL ATTENTION TO NOISE AND DUST GENERATION WITH THE RESPECT TO RESIDENTS DURING ALL PHASES OF THE WORK.
- 4 CONTRACTOR SHALL ERECT TEMPORARY PLATFORMS, SCAFFOLDING, SHORING, RAMPS, STAIRS ETC. AS REQUIRED FOR THE SAFE EXECUTION OF THE WORK. ALL COSTS SHALL BE INCLUDED IN THE BASE BID PRICE.
- 5 PROVIDE ANY ADDITIONAL DUST PREVENTION EQUIPMENT/FILTERS AS REQUIRED TO MAINTAIN THE AIR QUALITY TO INTERIOR AIR STANDARDS IN ALL OCCUPIED AREAS.
- 6 PROVIDE ANY TEMPORARY COVERS TO CONTAIN THE WATER DURING THE REPAIR WORK. ANY LEAKAGE DAMAGE INTO THE FACILITY SHALL BE REPAIRED TO MATCH EXISTING AT NOT EXTRA COST TO THE CONTRACT.
- 14.0 **DEMOLITION & REMOVALS NOTES**
- 1 REMOVE EXISTING MATERIALS AND COMPONENTS AS NOTED IN DRAWINGS. NOTIFY THE CONSULTANT IMMEDIATELY (AND PRIOR TO PROCEEDING) IF ADDITIONAL REMOVALS ARE REQUIRED IN ORDER TO FACILITATE THE COMPLETE SCOPE OF THE WORK.
- 2 THE CONTRACTOR SHALL NOTIFY THE CONSULTANT IF ADDITIONAL REMOVALS ARE REQUIRED IN DETERIORATED AREAS (WHERE REHABILITATION WORK IS INTENDED), IF THE ADDITIONAL QUANTITY EXCEEDS 10% OF THE ORIGINALLY ESTIMATED QUANTITY. BASE BID COST SHALL INCLUDE AN ALLOWANCE OF AN ADDITIONAL 10% FOR ALL LABOR & MATERIALS.
- 3 ALL DEBRIS AND GARBAGE MUST BE PROMPTLY REMOVED FROM THE SITE AT THE END OF EACH DAY. EVERY EFFORT SHALL BE MADE BY THE CONTRACTOR TO RECYCLE ALL BUILDING MATERIALS, WHERE APPLICABLE. THE CONTRACTOR IS RESPONSIBLE FOR ALL CHARGES AND FEES ASSOCIATED WITH THE REMOVAL OF GARBAGE AND ITEMS FOR RECYCLING. THE CONTRACTOR IS ALSO ENTITLED TO ANY REIMBURSEMENT FROM THE RECYCLED MATERIALS.
- 15.0 **SEALANTS NOTES**
- 1 CLEAN JOINTS THOROUGHLY OF ALL DUST, DEBRIS OR DELETERIOUS MATERIAL AND PREPARE AS PER SEALANT MANUFACTURER'S RECOMMENDATIONS.
- 2 INSTALL CLOSED-CELL POLYETHYLENE FOAM ROPE WHERE REQUIRED, SHORE 'A' HARDNESS OF 20, TENSILE STRENGTH BETWEEN 140 AND 200 KPA. FOAM DIAMETER IS TO BE 1.25 TIMES THE WIDTH OF THE JOINT.
- 3 APPLY CONTINUOUS EXTERIOR SEALANT TO ALL JOINTS TO CAN/CSB-19-24-M, TYPE II, CLASS B; THREE-PART EPOXIDIZED POLYURETHANE; CHEMICALLY CURING; ACCOMMODATING JOINT MOVEMENT OF PLUS OR MINUS 50%, COLORS AS DETERMINED BY CONSULTANT. SEALANT SHALL BE DYMCON 240FC BY TREMCO OR APPROVED EQUIVALENT.
- 16.0 **MATERIAL HANDLING PROCEDURES**
- 1 ENSURE THAT THE SITE IS KEPT IN A NEAT AND ORGANIZED MANNER AT ALL TIMES.
- 2 THE NON-RECYCLABLE WASTE SHALL BE LOADED INTO DISPOSAL BINS AND SHIPPED OFF SITE TO LICENSED DISPOSAL FACILITIES. THE RECYCLABLE MATERIAL SHALL BE FURTHER PROCESSED IN PREPARATION FOR SHIPMENT OFF SITE TO RECYCLING FACILITIES OR CUSTOMERS.
- 17.0 **FIELD REVIEW**
- 1 IN ACCORDANCE WITH THE OBC2012, THE ENGINEER SHALL PROVIDE FIELD REVIEW SERVICES TO VERIFY THAT THE CONSTRUCTION WORK IS PROCEEDING IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 2 CSE SHALL BE CONTACTED 48 HRS IN ADVANCE WHEN THE CONSTRUCTION WORK IS INITIATED AND WHEN SPECIFIC MILESTONE EVENT ARE SCHEDULED TO OCCUR.
- 3 A PRE-CONSTRUCTION SURVEY OF THE EXISTING STRUCTURE SHALL BE UNDERTAKEN BY THE CONTRACTOR. CONTRACTOR SHALL SUBMIT A COPY TO THE OWNER AND PROVIDE ANY COMMENTS ON SURVEY PRIOR TO INITIATING ANY WORK. ALL DAMAGES NOT IDENTIFIED SHALL BE ASSUMED TO BE CREATED BY THE CONTRACTORS WORK ACTIVITY AND SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO EXTRA COST TO CONTRACT.
- 4 CSE MUST BE GIVEN AMPLE NOTICE AND ALLOWED TO VERIFY ALL WORK PRIOR TO CONCEALMENT. COST TO EXPOSE ANY CONCEALED WORK SO THAT IT CAN BE REVIEWED SHALL BE INCLUDED IN THE BASE BID PRICE.
- 18.0 **CONSTRUCTION WORK - FINAL REVIEW**
- 1 THE CONTRACTOR SHALL ARRANGE FOR ACCESS TO THE COMPLETED WORK FOR A SUBSTANTIAL COMPLETION REVIEW. THE WORK MUST BE 95% COMPLETE AND OPERATIONAL FOR THE SUBSTANTIAL COMPLETION REVIEW.
- 2 SUBMIT ALL SHOP DRAWINGS & CATALOGUE CUTS SHEETS OF ALL HARDWARE AND EQUIPMENT INSTALLED AND ANY OPERATIONAL MANUALS.
- 3 COMPLETE ALL DEFICIENCIES NOTED AND HAVE THE ENGINEERS DO A FINAL INSPECTION FOR THE 100% COMPLETION CERTIFICATIONS.
- 4 DEMOBILIZE AND PERFORM FINAL CLEAN-UP.
- 19.0 **CONTRACT SCHEDULE**
- 1 THE CONTRACTOR SHALL SUBMIT A SCHEDULE SHOWING THE MILESTONE DATES WITH A CONFIRMATION STATEMENT THAT THE DATES WILL BE ACHIEVED. ANY WORK REQUIRED TO ACCELERATE THE WORK TO MEET THE SCHEDULE SHALL BE AT NO EXTRA COST TO THE CONTRACT. SHOULD THERE BE ANY CONCERNS WITH EXTRA WORK WITH ANY CONCEALED CONDITION, WORK SHALL PROCEED UNDER FORCE ACCOUNT. REFER TO DRAWING G01-03 FOR PHASING WORK REQUIRED AND MORE INFORMATION ON THE REQUIRED SCHEDULE.

Ontario Building Code Data Matrix						Building Code Reference <sup>1</sup>
Part 11 – Renovation of Existing Building						
1.0	Project Type:	<input type="checkbox"/> Addition	<input checked="" type="checkbox"/> Renovation	<input type="checkbox"/> Addition and renovation		[A] 1.1.2.
		<input type="checkbox"/> Change of use				
2.0	Major Occupancy Classification:	Occupancy: <u>A2</u>	Use: <u>Community Centre</u>			3.1.2.1.(1)
		Occupancy: <u>A3</u>		Use: <u>Arena</u>		
3.0	Building Classification: (Size and Construction Relative to Occupancy)	<u>3.2.2.28</u>	Group/Div: <u>A2-Community Centre (Combustible)</u>	Group/Div: <u>A3-Arena (Non combustible)</u>		3.2.2.20. - 83.
		<u>3.2.2.33</u>				
4.0	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes				3.2.2.7.
5.0	Building Area (m <sup>2</sup> )	Description:	Existing	New	Total	[A] 1.4.1.2.
		Actual Total building Area (No Changes)	4260	0	4260	
6.0	Renovation Area (m <sup>2</sup> )	Location:	Total			-
		Tiny Tots Rm + Storage Rm + Washroom	120			
		Bocce Lounge	85			
		Dehumidifiers Over Rink (2 locations)	35			
		Exterior Soffit	90			
			Total	330		
7.0	Building Height	<u>1</u> Storeys above grade	<u>0</u> Storeys below grade			[A] 1.4.1.2. & 3.2.1.1.
8.0	Building Size	<input type="checkbox"/> Small	<input type="checkbox"/> Medium	<input checked="" type="checkbox"/> Large	<input type="checkbox"/> > Large	T.11.2.1.1.B.-N.
9.0	Existing Building Classification:	Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy)				11.2.1.1.
		Existing Use: <u>A3 - Ice Rink Arena</u>				T 11.2.1.1A
		Construction Index: <u>Six (6)</u>				T 11.2.1.1B to N
		Hazard Index: <u>Six (6)</u>				4.2.1.(3), 5.2.2.1.(2)
		Importance Category: <input checked="" type="checkbox"/> Low <input type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Post-disaster				
		Existing Use: <u>A2 – Community Centre</u>				T 11.2.1.1A
		Construction Index: <u>Six (6)</u>				T 11.2.1.1B to N
		Hazard Index: <u>Four (4)</u>				4.2.1.(3), 5.2.2.1.(2)
		Importance Category: <input checked="" type="checkbox"/> Low <input type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Post-disaster				
10.0	Occupant Load	No Changes to occupant loads				3.1.16.1
11.0	Renovation type:	<input checked="" type="checkbox"/> Basic Renovation		<input type="checkbox"/> Extensive Renovation		11.3.3.1, 11.3.3.2.
12.0	Reduction in Performance Level:	Structura:	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes		11.4.2.1.
		By Increase in occupant load:	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes		11.4.2.2.
		By change of major occupancy:	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes		11.4.2.3.
		Plumbing:	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes		11.4.2.4.
		Sewage systems:	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes		11.4.2.5.
		Extension of combustible construction:	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes		11.4.2.6.
13.0	Fire Alarm and Detection Systems	Audible signal devices (alarm bells) to be maintained (No Change). Existing fire alarm system and detection system to be maintained (No Change).				3.2.4
		<b>Note:</b> The existing speakers to be replaced are not part of the fire alarm system. The existing speakers are part of the existing Public Address Amplifier/Receiver (PA) that is used for game announcements and playing music.				
14.0	Automatic Sprinkler System	Existing sprinkler system to be maintained (No Change). Sprinkler heads to be protected during construction.				3.2.5.13
15.0	Emergency Exit Signs & Emergency Lighting	All exit signs, emergency lighting and power packs within the building shall be upgraded.				3.2.7.3 3.4.5
16.0	Compensating Construction:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes				11.4.3.1.
		Structura:	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes		11.4.3.2.
		Increase in occupant load:	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes		11.4.3.3.
		Change of major occupancy:	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes		11.4.3.4.
		Plumbing:	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes		11.4.3.5.
		Sewage systems:	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes		11.4.3.6.
		Extension of combustible construction:	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes		11.4.3.7.
17.0	Compliance Alternatives Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes				11.5.1.



NO.	REVISION	DATE
3	ISSUED FOR TENDER	03-02-2021
2	ISSUED FOR PERMIT (REVISION)	01-20-2021
1	ISSUED FOR PERMIT	11-30-2020

ALL MEASUREMENTS INDICATED ON THIS DRAWING ARE APPROXIMATE.

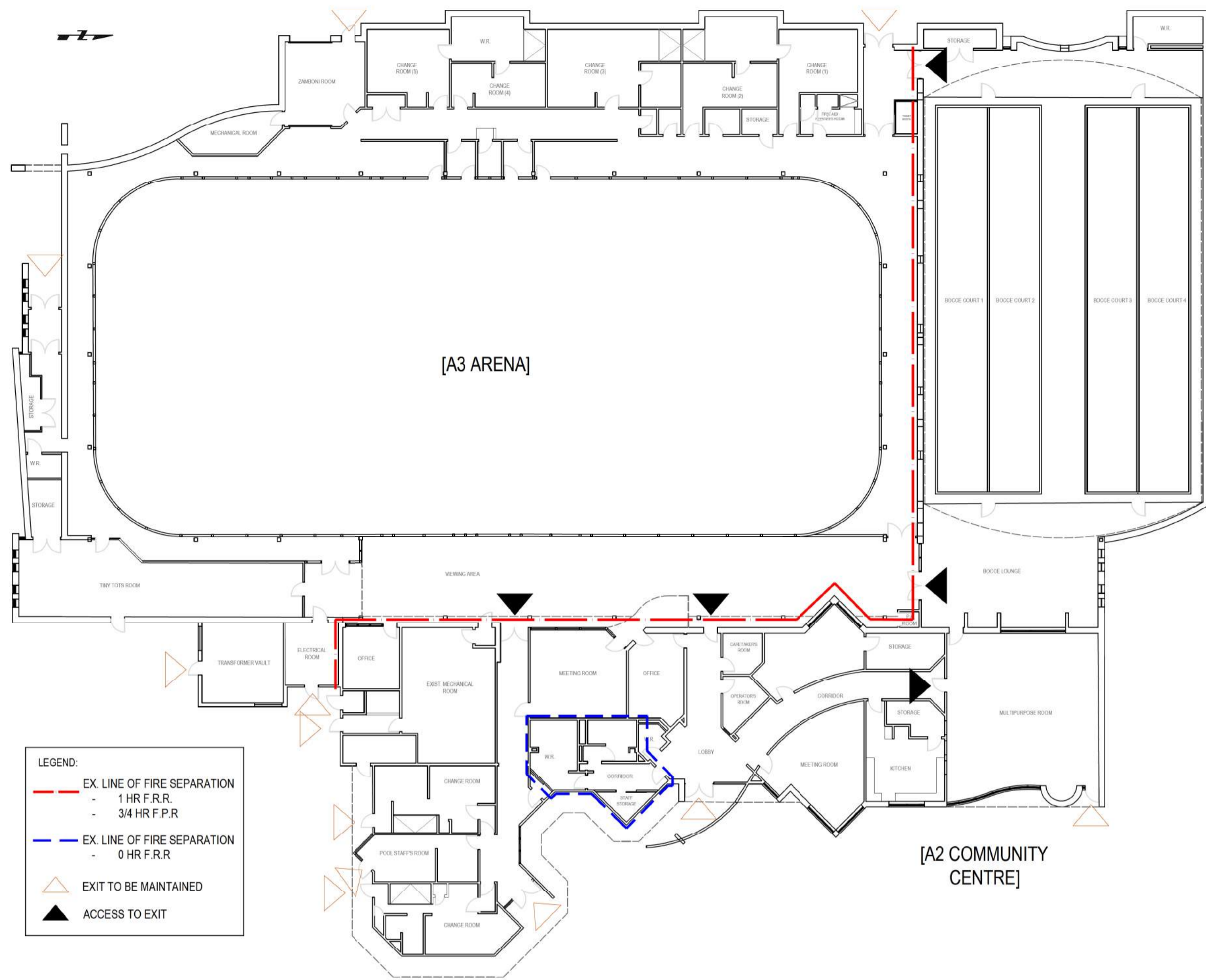
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**CITY OF TORONTO**  
PARKS, FORESTRY AND RECREATION DIVISION  
CAPITAL PROJECTS SECTION  
METRO HALL  
55 JOHN STREET  
TORONTO, ONTARIO M5V 2C6

**CSE**  
**STRUCTURAL FORENSIC & REHABILITATION SERVICES**  
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Toronto - 701-1120 Finch Ave W, NorthYork (ON) M3J 3H7  
Phone: 416-876-4357 Fax: 705-725-9949, 416-393-2634

GORD & IRENE RISK COMMUNITY CENTRE 2650 FINCH AVE W. NORTH YORK, ONTARIO	
DATE: JAN 20, 2021	DRAWN BY: YA/JC
SCALE:	PROJECT NO. 2213
ARCHITECTURAL & STRUCTURAL	
GORD & IRENE ARENA KEY, NOTES & OBC MATRIX	

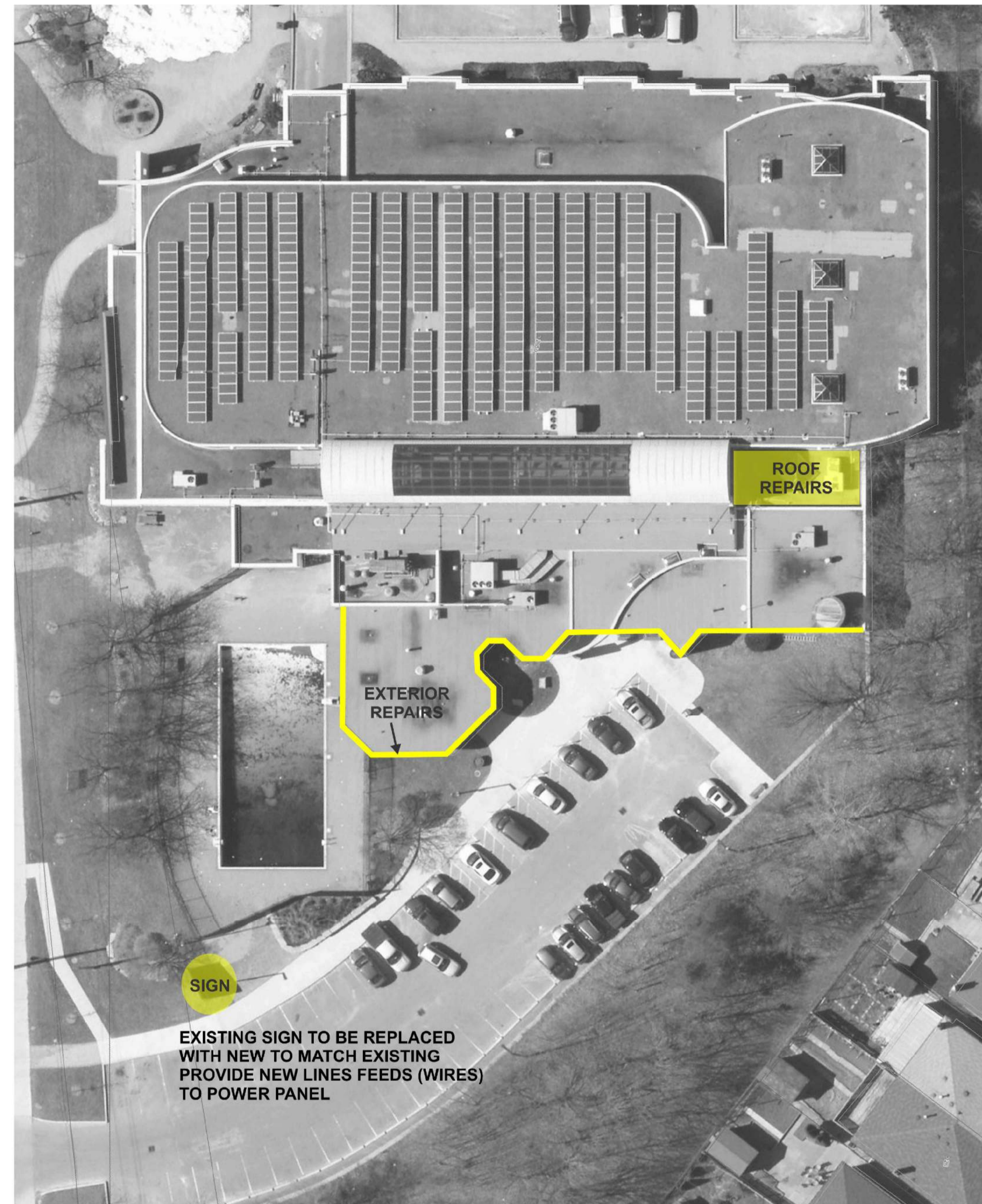
**G01-01**



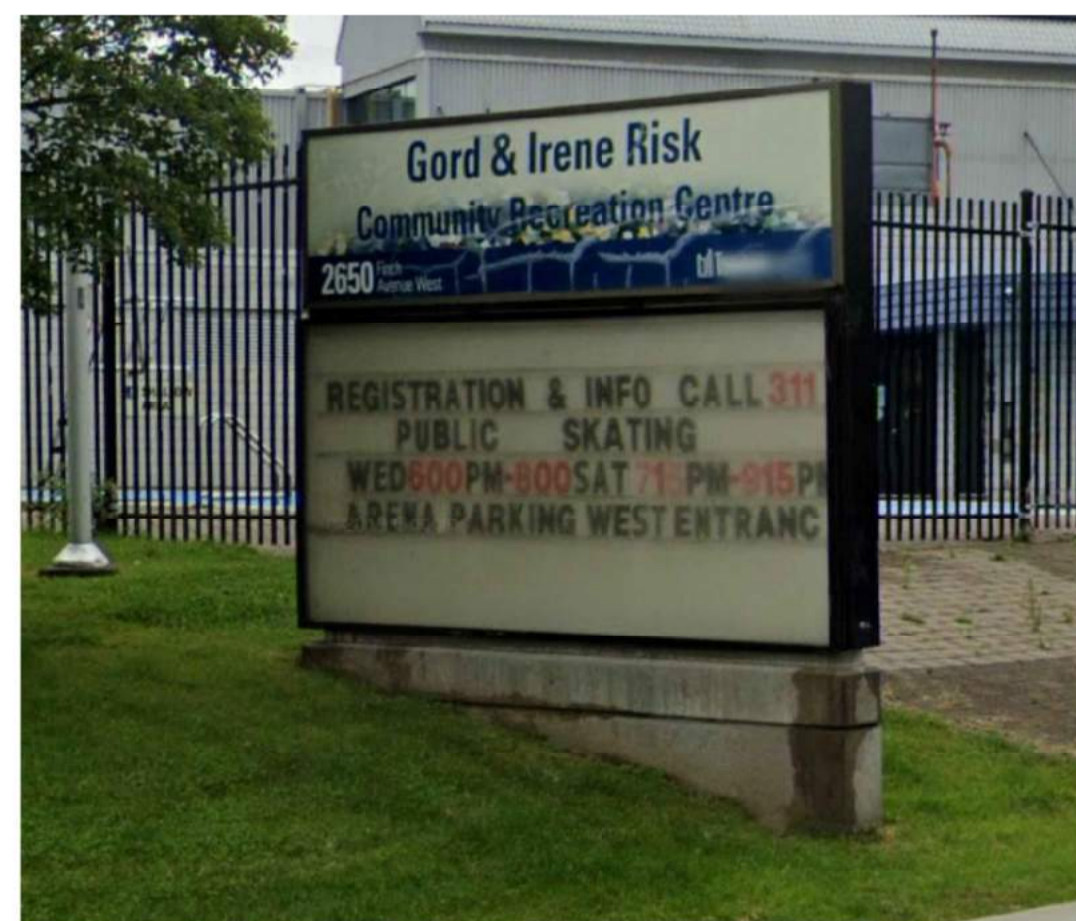
FIRE SEPARATION TO BE MAINTAINED



EAST ELEVATION - FRONT OF BUILDING EXTERIOR REPAIRS



LOCATIONS OF EXTERIOR REPAIRS



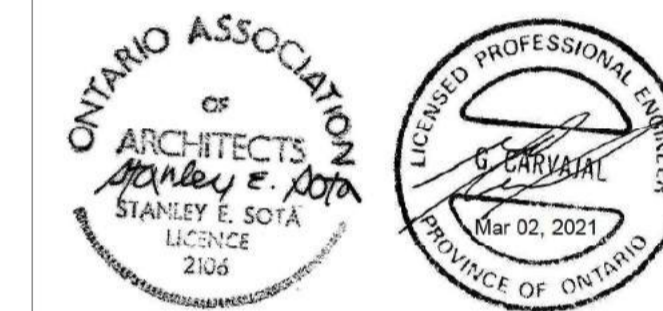
SIGN TO BE REPLACED



FACADE, VENT, LIGHTS & SOFFIT TO BE REPLACED



KEY PLAN



NO.	REVISION	DATE
3	ISSUED FOR TENDER	03-02-2021
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1	ISSUED FOR PERMIT	11-30-2020

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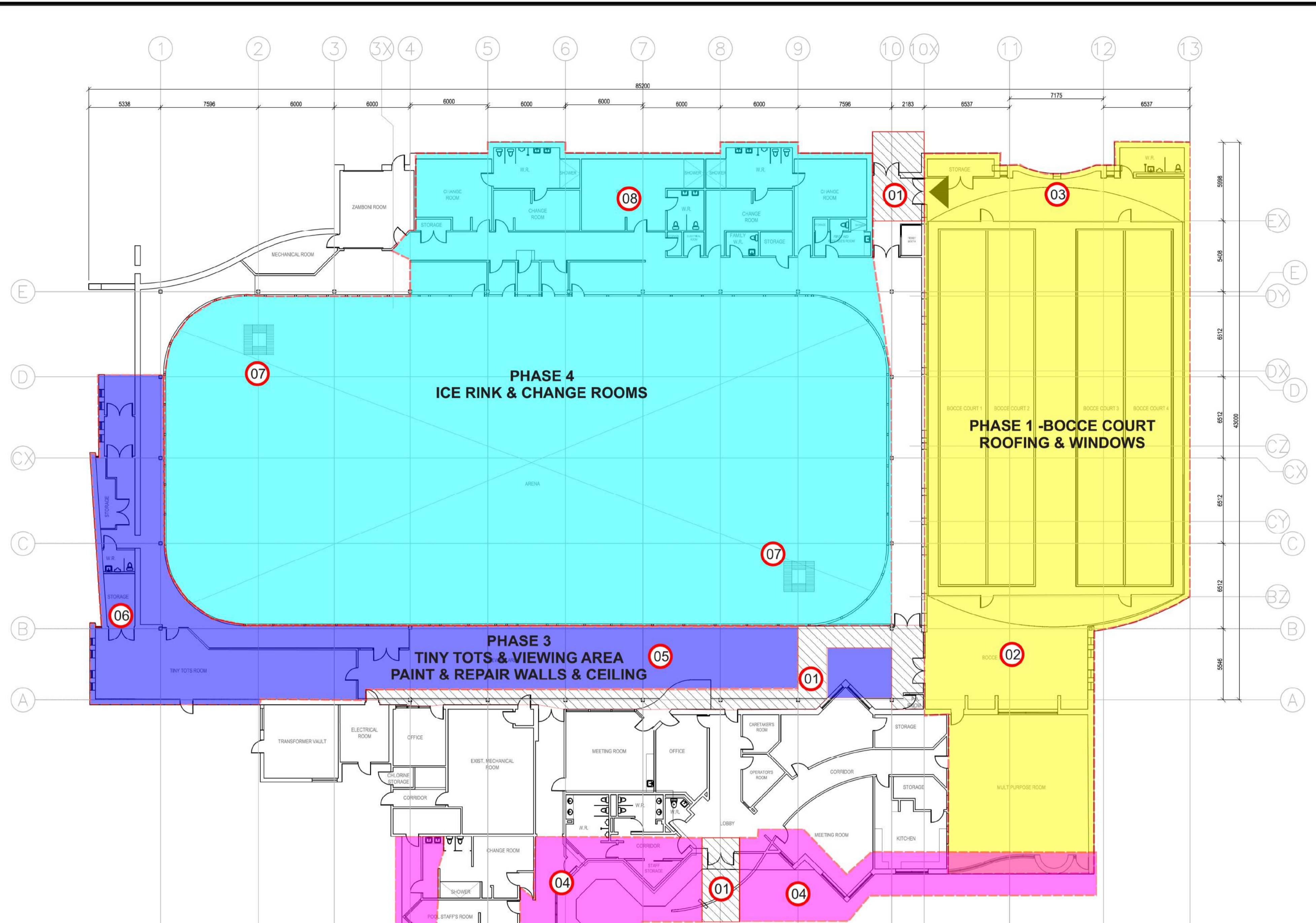
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GORD & IRENE RISK  
 COMMUNITY CENTRE  
 2650 FINCH AVE W.  
 NORTH YORK, ONTARIO

DATE: JAN 20, 2021 DRAWN BY: YA/JC  
 SCALE: PROJECT NO. 2213

ARCHITECTURAL & STRUCTURAL  
 GORD & IRENE ARENA  
 CONSTRUCTION PHASES

G01-02



**GENERAL NOTE:**  
PRICING OF THE PROJECT WILL CONSIDER THE FOLLOWING PHASES

**ALL PHASES TO BE COMPLETED WITHIN 1 YEAR STARTING FROM THE BEGINNING OF THE CONSTRUCTION.**

**PHASE 5 - COMPLETE BUILDING**  
- REPLACE ALL LIGHTS TO LED, NEW EMERGENCY LIGHTING & POWER PACKS AND PROVIDE A NEW PA SYSTEM.

**PHASE 6 - EXTERIOR SIGN**  
- DESIGN OF NEW EXTERIOR LIGHT PANEL.  
- REPLACEMENT OF EXTERIOR SIGN & ELECTRICAL POWER.

1. THIS PHASE OF WORK WILL CAUSE A DISRUPTION TO CHANGE ROOMS, POOL STAFF ROOM, MEETING ROOM, KITCHEN AND MULTIPURPOSE ROOM. ALL WORK IN THE INTERIOR SHALL TAKE PLACE DURING WORKING HOURS.
2. INSTALL ALL PROTECTIVE SYSTEMS AND HOARDING AS REQUIRED.
3. THE SCOPE OF WORK INCLUDES THE COMPLETE REMOVAL, DISPOSAL & REPLACEMENT OF ALL WOOD/DRYWALL FACADE AND SOFFITS FACING, FLASHING, METAL CAPS, VENTS AND HATCHES ALONG THE EXTERIOR PARAPET WALLS AND THE EXTERIOR SOFFIT [04].
4. THE SCOPE OF WORK ALSO INCLUDES THE COMPLETE INSTALLATION OF A VAPOUR BARRIER WALL & INSULATION BETWEEN THE EXTERIOR AND INTERIOR LIMITS OF THE BUILDING WITHIN THE ROOF SOFFIT. THE PURPOSE OF THIS WALL IS TO STOP THE AIR FLOW FROM THE EXTERIOR TO THE INTERIOR.
5. THE CONTRACTOR SHALL ALLOW FUNDS IN THE TOTAL BID FOR THE REPLACEMENT OF NEW EXTERIOR LIGHT FIXTURES, NEW WIRING AND ANY HARDWARE REQUIRED TO RE-INSTATE THE FULL ELECTRICAL OPERATIONS OF THE LIGHTS.
6. THE CONTRACTOR SHALL ALLOW FUNDS TO PATCH AND REPAIR ALL OPENINGS CREATED BY THE CONTRACTOR OR OTHERS TO RESTORE THE SUSPENDED CEILING TO ITS ORIGINAL CONDITION AT NO EXTRA COST TO THE CONTRACT.
7. THE CONTRACTOR SHALL PERFORM A SITE VISIT AND IDENTIFY ANY CONCERNS PRIOR TO SUBMITTING A BID.
8. ELECTRICAL/MECHANICAL, CONCRETE, MASONRY, CARPENTRY, METAL FLASHING AND FACADE CLADDING AND RE-FINISHING WILL BE REQUIRED TO MATCH EXISTING CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE WORK & MATERIALS TO RE-STATE THE OPERATIONS OF THE FRONT OF THE BUILDING TO ITS ORIGINAL LOOKS AND FINISHED AND SHALL BE INCLUDED IN THE BASE BID PRICE.

- 25.0 PHASE 3 - TINY TOTS & VIEWING AREA**
1. THIS PHASE OF WORK WILL REQUIRE THE INSTALLATION OF A FULL HEIGHT ACCESS SCAFFOLDING TO GAIN ACCESS TO THE UNDERSIDE OF SKYLIGHT AND ALL EXPOSED STRUCTURAL STEEL ELEMENTS. BLOCK AND DRYWALL WALLS TO PERFORM WATER DAMAGE REPAIRS.
  2. THIS PHASE OF WORK REQUIRES SUBGRADE SOIL STABILIZATION BY INJECTION AND SLAB-ON-GRADE LIFTING. ALL INJECTION STABILIZATION AND JACKING SHALL USE CHEMICAL GROUTS.
  3. INSTALL ALL PROTECTIVE SYSTEMS AND HOARDING AS REQUIRED.
  4. THE SCOPE OF WORK INCLUDES THE COMPLETE CLEANING AND REPAIRING OF DRYWALL, DAMAGED PAINT ON THE SKYLIGHT FRAMES AND RE-PAINTING OF THE COMPLETE INTERIOR LIMITS (INCLUDING WALLS) OF THE VIEWING AREA [05].
  5. THE AREA OF THE TINY TOTS, STORAGE AREAS, WASHROOM AND ENTRANCE SHALL BE COMPLETELY RE-FINISHED. THE WORK INCLUDES:
    - THE COMPLETE REMOVAL OF THE FALSE CEILING,
    - COMPLETE REMOVAL, DISPOSAL & REPLACEMENT OF ALL TILE FLOORS AND BASEBOARDS IN THE WORK,
    - COMPLETE REMOVAL, DISPOSAL & REPLACEMENT OF SELECT MASONRY WALLS,
    - COMPLETE REMOVAL, DISPOSAL & REPLACEMENT OF ALL WASHROOM FIXTURES,
    - ALL THE NECESSARY MECHANICAL/ELECTRICAL DISCONNECTS & PERMITS REQUIRED TO PERFORM THE COMPLETE WORK,
    - RE-CONSTRUCTION OF SELECT UPPER PORTIONS OF MASONRY WALL SECTIONS (AREA 6),
    - PERFORM ANY GEO-FOUNDATION WORK AS REQUIRED TO PERFORM THE REQUIRED INJECTION AND SLAB LIFTING WORK.
    - SUBGRADE INJECTION OF SOIL TO A DEPTH OF 3m BELOW GRADE.
    - SLAB-JACKING TO ELEVATE THE SLAB WITHOUT CRACKING.
    - APPLICATION OF A LEVELING GROUT TO BRING ALL FLOOR AREAS TO A LEVEL CONDITION.
    - UPGRADES REQUIRED TO THE WASHROOM FOR EASY ACCESS CODE COMPLIANCE.
    - COMPLETE RE-PAINTING OF ALL WALLS WITHIN THE LIMITS OF AREA.
  6. THE GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL OPENINGS CREATED BY THE CONTRACTOR OR OTHERS TO BE INCLUDED IN THE BASE BID PRICE.
  7. THE CONTRACTOR SHALL PERFORM A SITE VISIT AND IDENTIFY ANY CONCERNS PRIOR TO SUBMITTING A BID.
  8. ELECTRICAL/MECHANICAL, CONCRETE, MASONRY, CARPENTRY, SOIL ENGINEERING AND REVIEW SERVICES, INJECTION SUBGRADE AND SLAB LIFTING GROUTING WILL BE REQUIRED TO MATCH EXISTING CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE WORK & MATERIALS TO RE-STATE THE TINY TOTS, STORAGE AREAS, WASHROOM AND HALLWAYS. ALL PRICES SHALL BE INCLUDED IN THE BASE BID PRICE.

- 26.0 PHASE 4 - ICE RINK & CHANGE ROOMS**
1. THIS PHASE OF WORK WILL REQUIRE WORKING ACCESS TO THE DE-HUMIDIFIERS LOCATED OVER THE ICE RINK USING SCAFFOLD AND/OR EQUIPMENT.
  2. INSTALL ALL PROTECTIVE SYSTEMS AND HOARDING AS REQUIRED.
  3. THE SCOPE OF WORK INCLUDES THE COMPLETE RE-PLACEMENT OF TWO (2) DE-HUMIDIFIERS UNITS WITH THE SAME SIZE AND POWER AND CONNECTING THEM TO A NEW BAS SYSTEM AND COMPLETE REPLACEMENT OF THE STRUCTURAL FRAMING SUPPORTING THE NORTH & SOUTH DEHUMIDIFIERS LOCATED ABOVE THE ICE RINK [07]. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS. SCOPE OF WORK INCLUDES:
    - COMPLETE REMOVAL AND DISPOSAL OF EXISTING EQUIPMENT TO INCLUDE MECHANICAL/ELECTRICAL, PIPING AND DUCT WORK REQUIRE TO ALLOW THE INSTALLATION OF NEW.
    - NEW SHOP DRAWINGS SHOWING PROPOSED NEW UNITS SIGNED & SEALED FOR APPROVAL.
    - SUBMISSION OF COMPLETE SHOP DRAWINGS FOR NEW SUPPORT FRAMING.
    - INSTALLATION OF NEW SUPPORTS FRAMES. PAINTED TO MATCH EXISTING.
    - INSTALLATION OF NEW UNITS AS A COMPLETE SYSTEM TO INCLUDE ALL MECHANICAL/ELECTRICAL SYSTEM REQUIRED TO OPERATE AND MONITOR THE UNITS, ANY PIPING AND DUCT WORK REQUIRED.
    - INSTALLATION OF NEW BAS SYSTEM.
    - CONNECTING NEW DE-HUMIDIFIERS TO THE NEW BAS SYSTEM.
    - TESTING OF NEW SYSTEM AND TRAINING TO CITY STAFF.
  5. THE AREA OF THE CHANGE ROOMS AND OTHER ROOMS WITHIN THE AREA SHOWN SHALL INCLUDE THE FOLLOWING WORK [08]:
    - THE COMPLETE REPLACEMENT OF ALL CEILING-MOUNTED HEATERS, EMERGENCY LIGHTING AND POWER PACKS.
  6. THE CONTRACTOR SHALL ALLOW FUNDS TO PATCH AND REPAIR ALL OPENINGS CREATED BY THE CONTRACTOR OR OTHERS TO RESTORE THE FALSE CEILING TO ITS ORIGINAL CONDITION AT NO EXTRA COST TO THE CONTRACT.
  7. THE CONTRACTOR SHALL PERFORM A SITE VISIT AND IDENTIFY ANY CONCERNS PRIOR TO SUBMITTING HIS BID.
  8. ELECTRICAL/MECHANICAL, MASONRY, CARPENTRY, PAINTING AND RE-FINISHING TO MATCH EXISTING WILL BE REQUIRED TO MATCH EXISTING CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE WORK & MATERIALS TO RE-STATE THE CHANGE ROOM AREAS AND ICE RINK AREA TO ITS ORIGINAL LOOKS AND FINISHED AND SHALL BE INCLUDED IN THE BASE BID PRICE.

- 27.0 PHASE 5 - COMPLETE BUILDING**
1. THE COMPLETE BUILDING INTERIOR LIGHTING SHALL BE CONVERTED INTO ENERGY SAVING LED LIGHTING.
  2. ANY EXISTING LOCATIONS WHICH ALREADY HAVE LED LIGHTS CAN REMAIN. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR MORE INFORMATION.
  3. THE COMPLETE INSTALLATION OF A NEW PA SYSTEM. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.
- 28.0 PHASE 6 - EXTERIOR SIGN**
1. THE EXISTING EXTERIOR SIGN AT THE ENTRANCE OF THE BUILDING SHALL BE REMOVED, DISPOSED AND REPLACE WITH A NEW LIGHTING.
  2. THE CONTRACTOR SHALL RETAIN A SIGN FABRICATOR AND PROVIDE COMPLETE SHOP DRAWINGS FOR THE ART WORK AND METAL LIGHT BOX TO INCLUDE ALL ELECTRICAL SYSTEMS FOR APPROVAL.
  3. THE WORK SHALL INCLUDE THE INSTALLATION OF NEW WIRING TO THE LIGHT ALONG THE ASSUMED FUNCTIONAL CONDUITS BELOW.
  4. IF NEW BELOW GRADE FEEDS ARE REQUIRED, THIS COST SHALL BE CONSIDERED TO BE AN EXTRA TO THE CONTRACT AND SHALL BE PROVIDED AS A SEPARATE PRICE LINE ITEM.

- 20.0 CONSTRUCTION PHASES**
1. THE COMPLETE SCOPE OF WORK SHALL BE PHASED INTO SIX (6) PHASES TO MAINTAIN THE ARENA PARTIALLY OPERATIONAL.
  2. THE PHASING SHALL ALWAYS LEAVE THE OCCUPANTS WITH TWO (2) EXITS IN ACCORDANCE WITH THE OBC2012.
  3. ALL CONSTRUCTION ISLANDS SHALL BE FULLY SECURED AND FENCED OFF WITH SOLID HOARDING (INCLUDED IN THE BASE BID PRICE). PROVIDE TEMPORARY LIGHTING AND SIGNAGE AS REQUIRED BY THE OBC2012. TEMPORARY LIGHTING AND SIGNAGE TO BE INCLUDED IN THE BASE BID PRICE.
  4. ALL FIRE SUPPRESSION SYSTEMS SHALL REMAIN FULLY OPERATIONAL AND ACCESSIBLE. TEMPORARY RELOCATE OR PROVIDE COMPENSATING MEASURES TO MEET ALL FIRE CODES.
  5. THE CONTRACTOR CAN RE-PHASE THE SEQUENCE OF WORK TO ALLOW FOR THE EXTERIOR WEATHER SENSITIVE WORK TO TAKE PLACE WITHOUT HEATING OF TEMPORARY SHELTERS. ANY REQUIREMENTS FOR HEATING AND SHELTERS SHALL BE INCLUDED IN THE BASE BID PRICE. ALL "MEANS & METHODS" SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE TO GAIN ACCESS TO THE WORK AREA, REMOVE THE REQUIRED FINISHES TO DO THEIR WORK AND RESTORE THE FINISHES TO MATCH EXISTING AT THE END OF THE CONTRACT. ALL COSTS WITH ACCESSIBILITY REMOVALS AND REPLACEMENT/RESTORATION OF WORK SHALL BE INCLUDED IN THE BASE BID PRICE.
  7. THE CONTRACTOR SHALL REMAIN AWARE THAT ALL MECHANICAL SYSTEMS ARE TO REMAIN OPERATIONAL UNLESS OTHERWISE REQUIRED TO COMPLETE WORK OR INDICATED IN THIS SET OF DRAWINGS. THE IMPACT TO THE OPERATION OF THE FACILITY SHALL BE KEPT TO A MINIMUM WITH NO HEALTH & SAFETY CONCERNS.
  8. SHOULD ANY DAMAGE OR OUTAGES TAKE PLACE, THE CONTRACTOR SHALL PROVIDE TEMPORARY SERVICES AS REQUIRED UNTIL THE SERVICES IS FULLY RESTORED AT NO EXTRA

9. COST TO THE CONTRACT.
  10. ALL HOT-WORKS REQUIRED TO PERFORM THE WORK SHALL INCLUDE A 12 HR FIRE WATCH AND SHALL BE INCLUDED IN THE BASE BID PRICE.
  10. MONITORING FOR AIR QUALITY DURING ANY DESIGNATED SUBSTANCE REMOVALS TO INCLUDE DUST SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND INCLUDED IN THE BASE BID PRICE.
  10. THE FOLLOWING DESCRIPTION OF THE WORK SHALL BE INCLUDED IN THE BASE BID PRICE.
- 21.0 SCHEDULE**
1. WITHIN TEN (10) WORKING DAYS OF THE ISSUANCE OF THE CONTRACT THE CONTRACTOR SHALL SUBMIT A CONTRACT SCHEDULE DETAILING THE REQUIRED PHASING & CLOSURE DATES. THE SCHEDULE SHALL BE APPROVED BY THE CITY AND SHALL BE RE-SUBMITTED UNTIL A SATISFACTORY SCHEDULE IS APPROVED. ALLOW THE CITY FIVE (5) WORKING DAYS TO REVIEW AND APPROVE SCHEDULE FOR EACH SUBMISSION.
- 22.0 COVERED WALKWAYS**
1. COVERED WALKWAYS ARE REQUIRED TO BE INSTALLED IN THE AREAS NOTED [01]. THE COVERED WALKWAYS SHALL BE FULLY ENCLOSED, WITH VENTILATION, LIGHTING, AIR QUALITY MONITORING AND SIGNAGE AS REQUIRED. THE ROOF OF THE COVERED WALKWAY SHALL BE DESIGNED FOR A MINIMUM OF 4.8KPA (100 PSF) UNIFORM LOAD FOR PROTECTION OF THE PUBLIC. ALL DESIGNS ARE TO COMPLY WITH OHSA. FULL DESIGN SHOP DRAWINGS ARE TO BE SUBMITTED, SIGNED AND SEALED FOR APPROVALS.
- 23.0 PHASE 1 - BOCCO COURT**
1. INSTALL ALL PROTECTIVE SYSTEMS AND HOARDING AS REQUIRED.

2. THE SCOPE OF WORK INCLUDES THE COMPLETE REMOVAL, DISPOSAL & REPLACEMENT OF THE FALSE CEILING & ROOFING SYSTEM ABOVE THE LOUNGE AREA [02].
  3. THE COMPLETE REMOVAL, DISPOSAL AND REPLACEMENT OF ALL METAL FLASHING BELOW THE EXTERIOR METAL CLAD WALLS. THE COMPLETE REMOVAL AND REPLACEMENT OF THE METAL FLASHING/CAPS ON THE EXTERIOR PARAPET WALLS AND AROUND THE MECHANICAL EQUIPMENT AND SKYLIGHT. ALL PRICES TO BE INCLUDED IN THE BASE BID PRICE.
  4. THE CONTRACTOR SHALL ALLOW FUNDS IN THE TOTAL BID FOR THE LIFTING OF THE MECHANICAL UNIT & SKYLIGHT TO ENSURE THE WATERPROOFING & METAL FLASHING CAN BE PROPERLY INSTALLED.
  5. THE EXISTING DRAIN TO BE REPLACED AND RECONNECTED. REFER TO G01-09.
  6. IF THE METAL DECK IS FOUND TO BE CORRODED, THE CONTRACTOR SHALL REPLACE THE METAL DECK TO MATCH EXISTING. THIS COST SHALL BE CONSIDERED TO BE AN EXTRA TO THE CONTRACT AND SHALL BE PROVIDED AS A SEPARATE PRICE LINE ITEM.
  7. ANY TEMPORARY COVERED ROOF TO PROTECT WATER ENTRY INTO THE BUILDING SHALL BE INCLUDED IN THE WORK AS PART OF THE BASE BID. ALL REPAIRS TO DAMAGES CREATED BY WATER ENTRY INTO THE BUILDING SHALL BE INCLUDED IN THE BASE BID.
  8. SCOPE OF WORK ALSO INCLUDES THE COMPLETE REPLACEMENT AND RE-BUILDING OF THREE (3) EXTERIOR WINDOWS [03]. TWO (2) OF THESE WINDOWS WILL BE REPLACED WITH SHORTER WINDOWS AND INFILL WILL BE REQUIRED.
  9. ELECTRICAL/MECHANICAL, CONCRETE, MASONRY, CARPENTRY AND RE-FINISHING TO MATCH EXISTING WILL BE REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE WORK & MATERIALS TO RE-STATE THE OPERATIONS OF THE BOCCO COURT TO MATCH EXISTING TO BE INCLUDED IN THE BASE BID PRICE.
- 24.0 PHASE 2 - EXTERIOR SOFFIT & VAPOUR BARRIER**



ONTARIO ASSOCIATION OF ARCHITECTS  
 ARCHITECTS  
 Stanley E. Soffa  
 LICENCE 2106

LICENCED PROFESSIONAL ENGINEER  
 CIVIL  
 Stanley E. Soffa  
 LICENCE 02-02-2021  
 PROVINCE OF ONTARIO

NO.	REVISION	DATE
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 COMMUNITY CENTRE  
 2650 FINCH AVE W.  
 NORTH YORK, ONTARIO

DATE: JAN 20, 2021 DRAWN BY: YA/JC  
 SCALE: PROJECT NO. 2113  
 ARCHITECTURAL & STRUCTURAL  
 GORD & IRENE ARENA  
 NEW SIGN DETAILS

G01-03

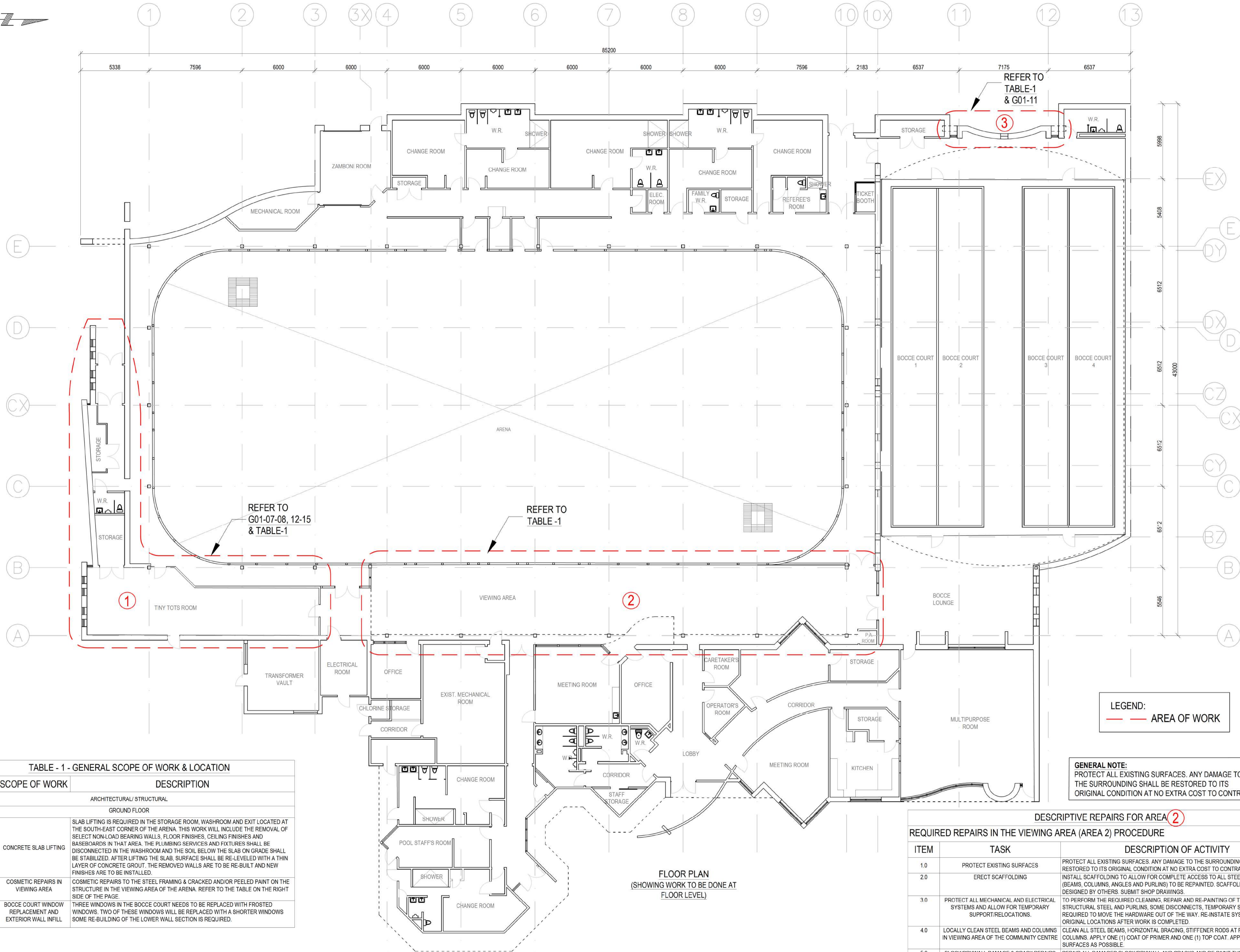


TABLE - 1 - GENERAL SCOPE OF WORK & LOCATION		
ITEM	SCOPE OF WORK	DESCRIPTION
ARCHITECTURAL/ STRUCTURAL		
GROUND FLOOR		
1	CONCRETE SLAB LIFTING	SLAB LIFTING IS REQUIRED IN THE STORAGE ROOM, WASHROOM AND EXIT LOCATED AT THE SOUTH-EAST CORNER OF THE ARENA. THIS WORK WILL INCLUDE THE REMOVAL OF SELECT NONLOAD BEARING WALLS, FLOOR FINISHES, CEILING FINISHES AND BASEBOARDS IN THAT AREA. THE PLUMBING SERVICES AND FIXTURES SHALL BE DISCONNECTED IN THE WASHROOM AND THE SOIL BELOW THE SLAB ON GRADE SHALL BE STABILIZED. AFTER LIFTING THE SLAB, SURFACE SHALL BE RE-LEVELLED WITH A THIN LAYER OF CONCRETE GROUT. THE REMOVED WALLS ARE TO BE RE-BUILT AND NEW FINISHES ARE TO BE INSTALLED.
2	COSMETIC REPAIRS IN VIEWING AREA	COSMETIC REPAIRS TO THE STEEL FRAMING & CRACKED AND/OR PEELLED PAINT ON THE STRUCTURE IN THE VIEWING AREA OF THE ARENA. REFER TO THE TABLE ON THE RIGHT SIDE OF THE PAGE.
3	BOCCO COURT WINDOW REPLACEMENT AND EXTERIOR WALL INFILL	THREE WINDOWS IN THE BOCCO COURT NEEDS TO BE REPLACED WITH FROSTED WINDOWS. TWO OF THESE WINDOWS WILL BE REPLACED WITH A SHORTER WINDOWS SOME RE-BUILDING OF THE LOWER WALL SECTION IS REQUIRED.

**LEGEND:**  
 - - - - - AREA OF WORK

**GENERAL NOTE:**  
 PROTECT ALL EXISTING SURFACES. ANY DAMAGE TO THE SURROUNDING SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO EXTRA COST TO CONTRACT.

FLOOR PLAN  
 (SHOWING WORK TO BE DONE AT FLOOR LEVEL)

DESCRIPTIVE REPAIRS FOR AREA 2		
REQUIRED REPAIRS IN THE VIEWING AREA (AREA 2) PROCEDURE		
ITEM	TASK	DESCRIPTION OF ACTIVITY
1.0	PROTECT EXISTING SURFACES	PROTECT ALL EXISTING SURFACES. ANY DAMAGE TO THE SURROUNDING SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO EXTRA COST TO CONTRACT.
2.0	ERECT SCAFFOLDING	INSTALL SCAFFOLDING TO ALLOW FOR COMPLETE ACCESS TO ALL STEEL STRUCTURE (BEAMS, COLUMNS, ANGLES AND PURLINS) TO BE REPAINTED. SCAFFOLDING TO BE DESIGNED BY OTHERS. SUBMIT SHOP DRAWINGS.
3.0	PROTECT ALL MECHANICAL AND ELECTRICAL SYSTEMS AND ALLOW FOR TEMPORARY SUPPORT/RELOCATIONS.	TO PERFORM THE REQUIRED CLEANING, REPAIR AND RE-PAINTING OF THE EXISTING STRUCTURAL STEEL AND PURLINS, SOME DISCONNECTS, TEMPORARY SUPPORTING WILL BE REQUIRED TO MOVE THE HARDWARE OUT OF THE WAY. RE-INSTATE SYSTEM BACK TO THE ORIGINAL LOCATIONS AFTER WORK IS COMPLETED.
4.0	LOCALLY CLEAN STEEL BEAMS AND COLUMNS IN VIEWING AREA OF THE COMMUNITY CENTRE	CLEAN ALL STEEL BEAMS, HORIZONTAL BRACING, STIFFENER RODS AT ROOF LEVEL AND ALL COLUMNS. APPLY ONE (1) COAT OF PRIMER AND ONE (1) TOP COAT. APPLY PAINT TO ALL SURFACES AS POSSIBLE.
5.0	BLOCK/DRYWALL DAMAGE & CRACK REPAIRS AND RE-PAINT	REPAIR ALL DAMAGED BLOCK/DRYWALL AND CRACKS AND RE-PAINT THE WALLS. PAINT COLOR ARE TO BE DETERMINED BY THE CITY.
6.0	REMOVE SCAFFOLDING & CLEAN-UP	ONCE ALL WORK IS COMPLETE AND HAS BEEN REVIEWED BY THE ENGINEER REMOVE ALL SCAFFOLDING FROM WITHIN THE VIEWING AREA. CLEAN UP SITE AND PREPARE FOR FINAL INSPECTIONS FROM ENGINEER AND ASSOCIATED SIGN-OFFS.

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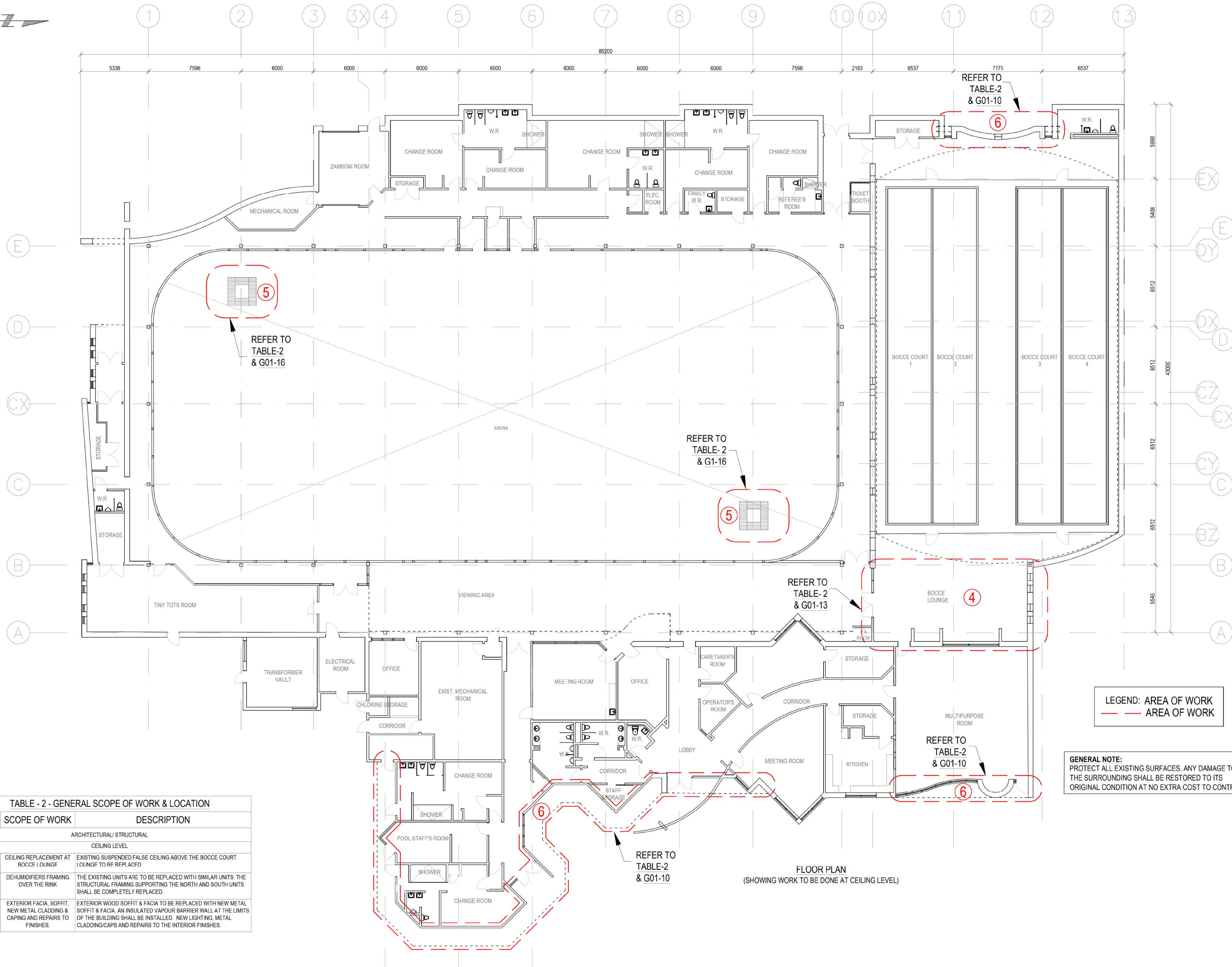
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ARCHITECTURAL & STRUCTURAL  
 GORD & IRENE ARENA  
 REPAIRS - PART 1

G01-04



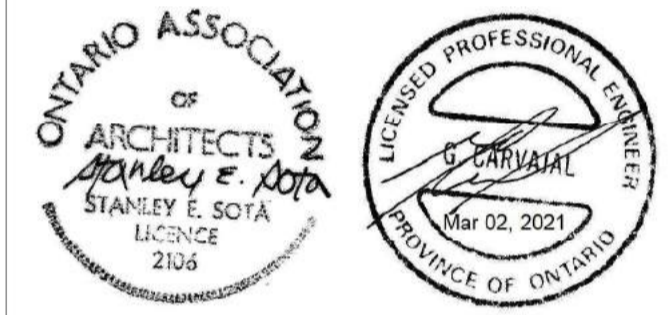


**LEGEND: AREA OF WORK**  
 - - - - - AREA OF WORK

**GENERAL NOTE:**  
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TABLE - 2 - GENERAL SCOPE OF WORK & LOCATION		
ITEM	SCOPE OF WORK	DESCRIPTION
ARCHITECTURAL/ STRUCTURAL		
CEILING LEVEL		
4	CEILING REPLACEMENT AT BOCCO LOUNGE	EXISTING SUSPENDED FALSE CEILING ABOVE THE BOCCO COURT LOUNGE TO BE REPLACED.
5	DEHUMIDIFIERS FRAMING OVER THE RINK	THE EXISTING UNITS ARE TO BE REPLACED WITH SIMILAR UNITS. THE STRUCTURAL FRAMING SUPPORTING THE NORTH AND SOUTH UNITS SHALL BE COMPLETELY REPLACED.
6	EXTERIOR FACIA, SOFFIT, NEW METAL CLADDING & CAPING AND REPAIRS TO FINISHES.	EXTERIOR WOOD SOFFIT & FACIA TO BE REPLACED WITH NEW METAL SOFFIT & FACIA. AN INSULATED VAPOUR BARRIER WALL AT THE LIMITS OF THE BUILDING SHALL BE INSTALLED. NEW LIGHTING, METAL CLADDING/CAPS AND REPAIRS TO THE INTERIOR FINISHES.

**FLOOR PLAN**  
 (SHOWING WORK TO BE DONE AT CEILING LEVEL)



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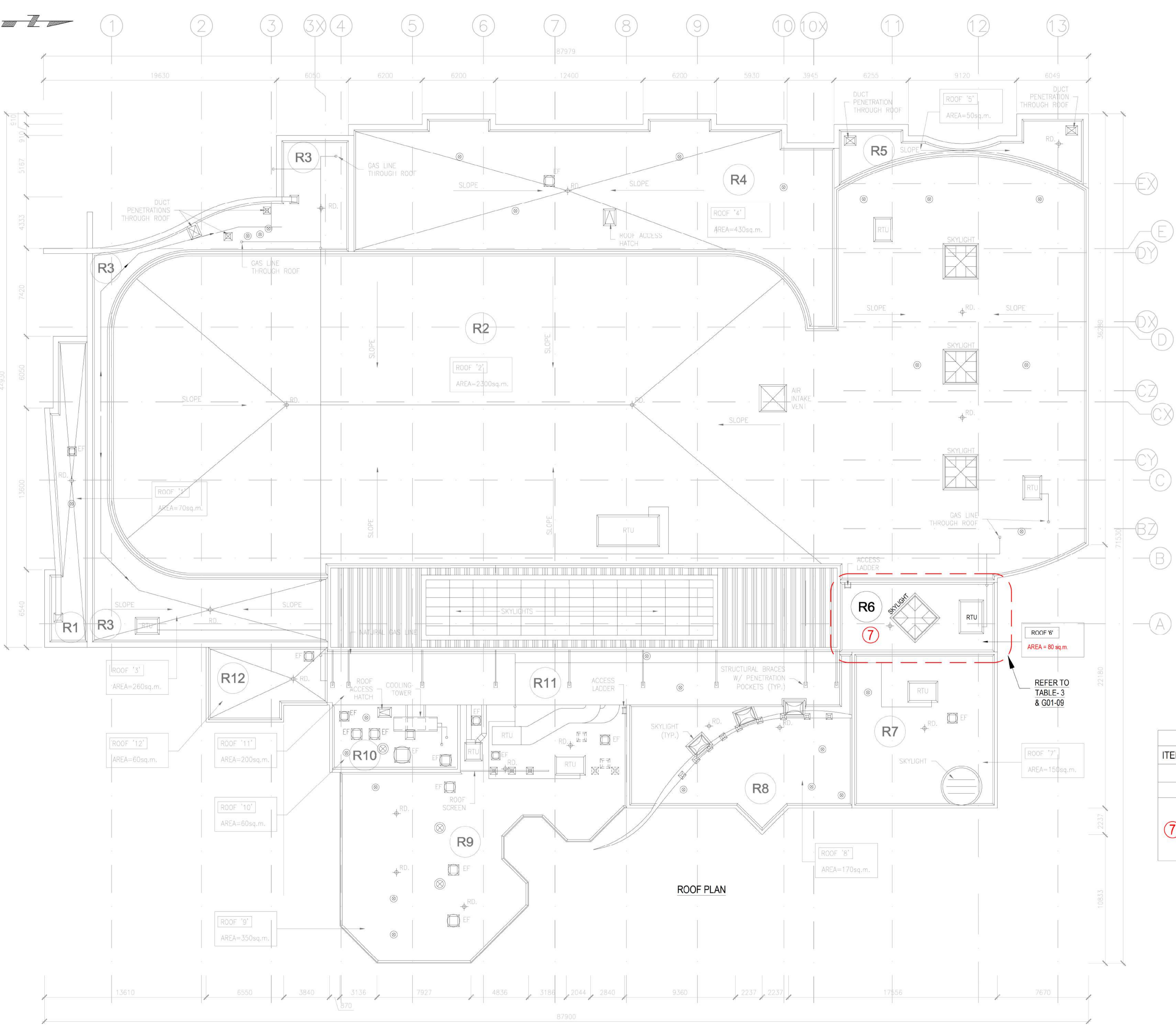
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ARCHITECTURAL & STRUCTURAL  
 GORD & IRENE ARENA  
 REPAIRS PART 2

**G01-05**



**KEY PLAN**

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**LEGEND:**  
 - - - AREA OF WORK

**GENERAL NOTE:**  
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TABLE - 3 - GENERAL SCOPE OF WORK & LOCATION		
ITEM	SCOPE OF WORK	DESCRIPTION
ARCHITECTURAL/STRUCTURAL		
ROOF LEVEL		
⑦	ROOF REPLACEMENT	ROOFING TO BE COMPLETELY REMOVED AND REPLACED. WORK INCLUDES NEW PROTECTION BOARDS, INSULATION, ROOFING SYSTEM, METAL FLASHINGS, METAL CAPS, METAL CLADDING, METAL CAPS, NEW DRAIN, LIFTING AND RE-INSTALLING OF THE EXISTING MECHANICAL UNIT & SKYLIGHT TO ALLOW REPAIRS. EX. METAL DECK TO BE REPLACED IF IT FOUND CORRODED AND/OR IN BAD CONDITION.

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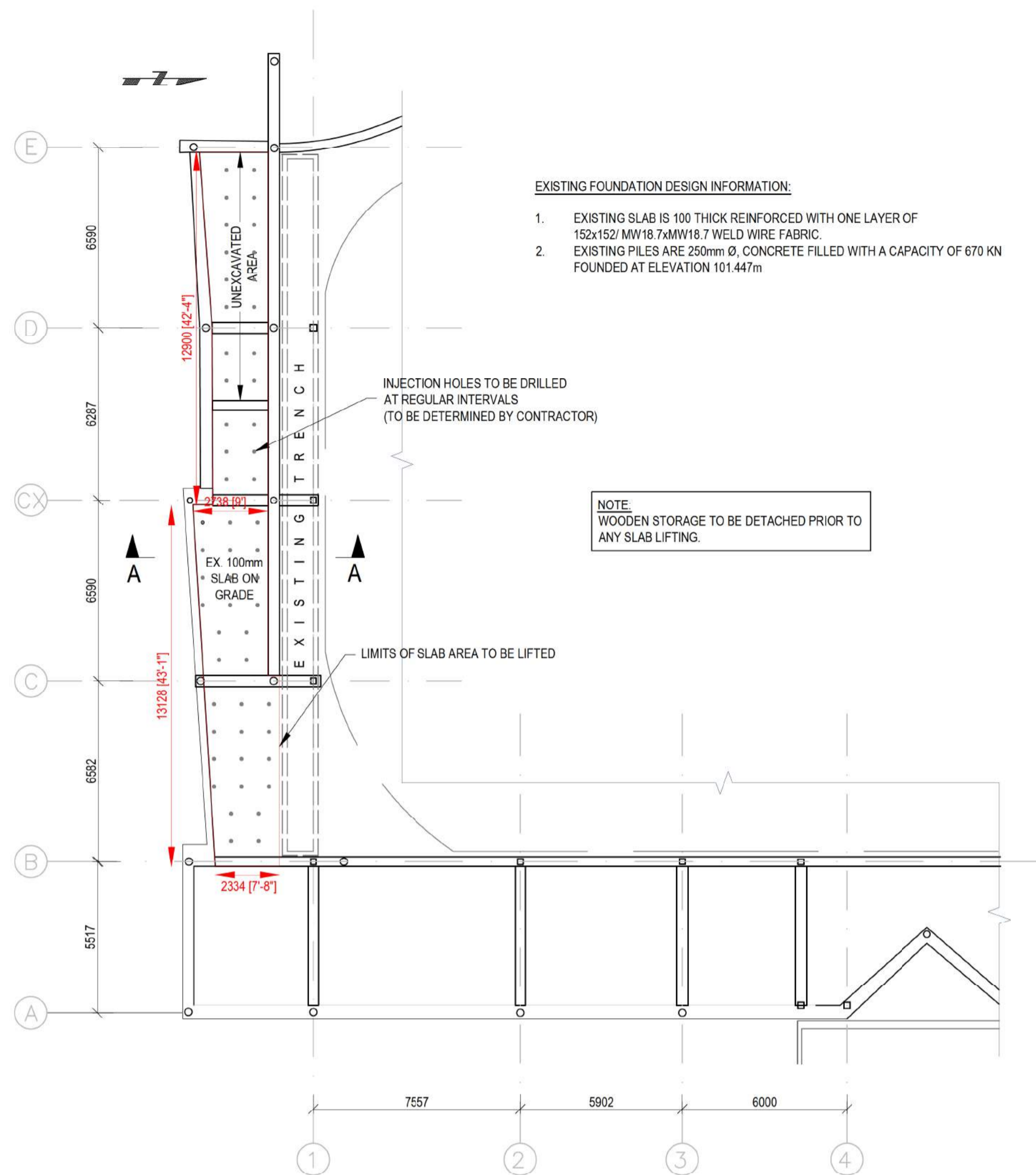
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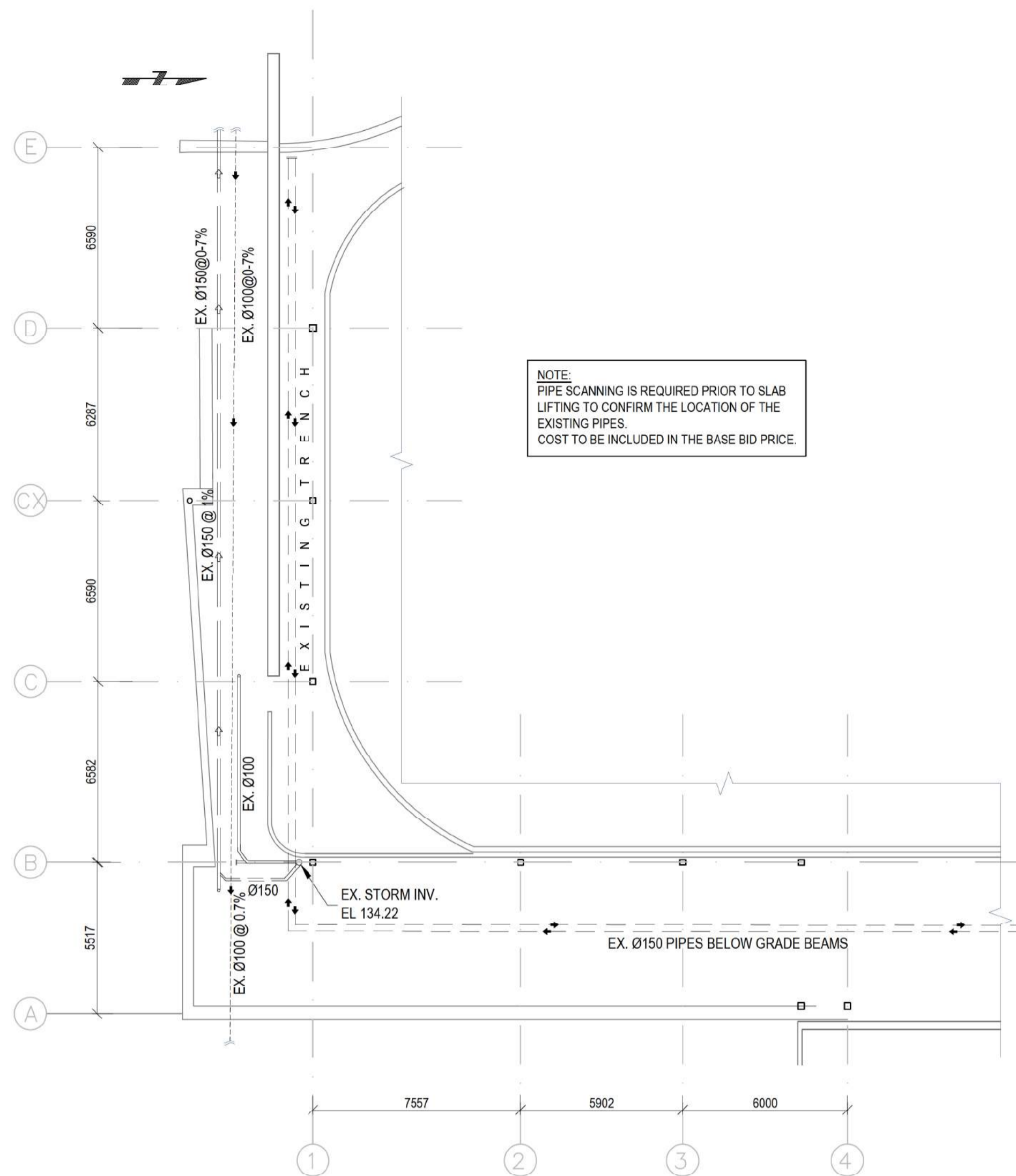
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ARCHITECTURAL & STRUCTURAL  
 GORD & IRENE ARENA  
 REPAIRS PART 3

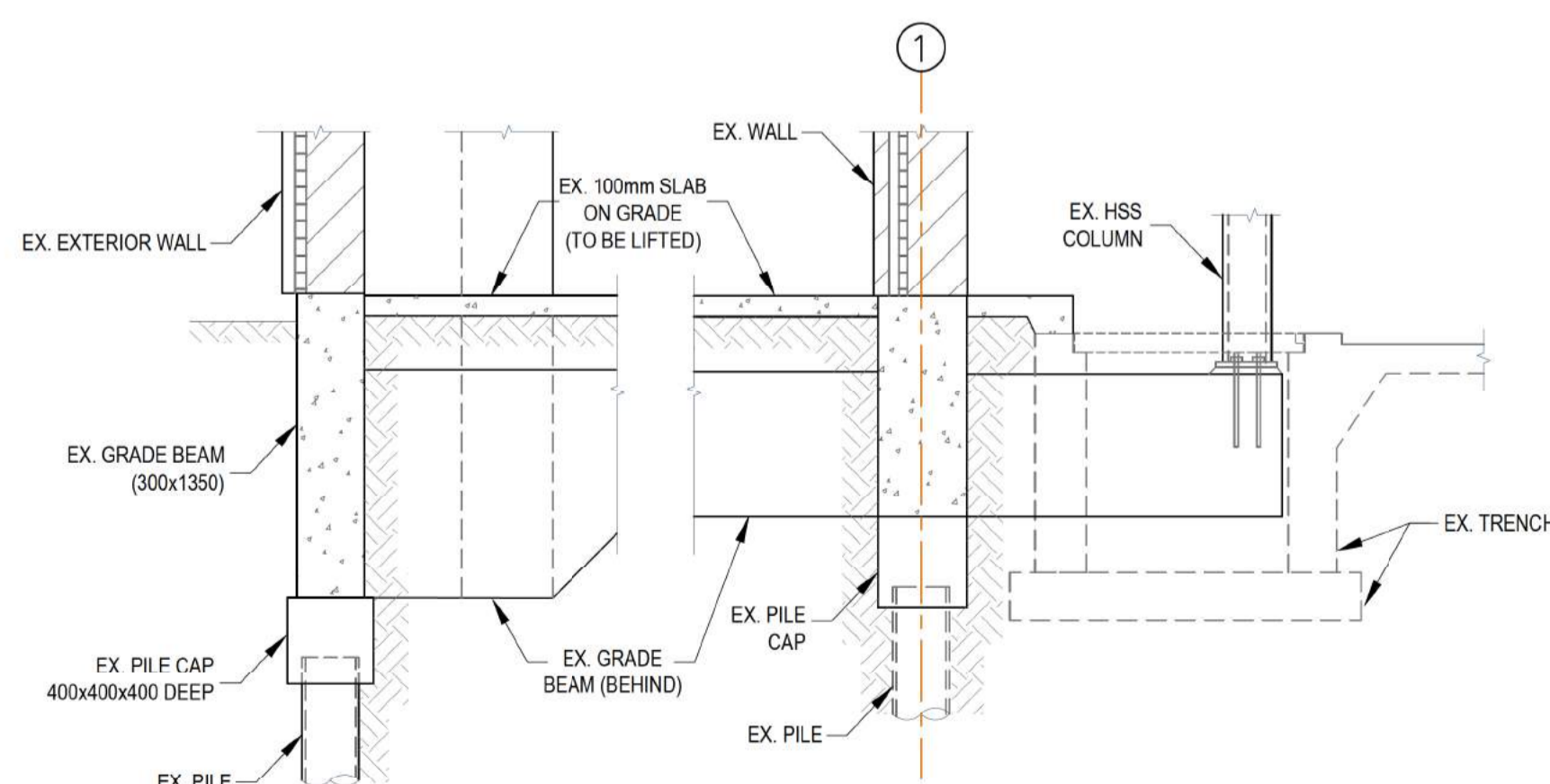
**G01-06**



EX. FOUNDATION PLAN



EX. PLUMBING & DRAINAGE FLOOR PLAN



SECTION A-A (EXISTING)

DESCRIPTIVE SLAB REPAIRS FOR AREA ①		
SLAB LIFTING REPAIR PROCEDURE (NOTE ALL OTHER REPAIRS EXTEND TO AREA SHOWN IN DRAWING G1-04)		
ITEM	TASK	DESCRIPTION OF ACTIVITY
1.0	MECHANICAL / ELECTRICAL SERVICE LOCATES	PERFORM THE REQUIRED SERVICE LOCATES TO ENSURE ALL ELECTRICAL AND MECHANICAL SERVICES ARE PROTECTED OR DISCONNECTED TO ALLOW SAFE SLAB LIFTING PROCEDURES.
2.0	SOILS INVESTIGATION	SOIL INVESTIGATION SHALL BE PERFORMED BY DRILLING TWO (2) SHALLOW BOREHOLES TO DETERMINE THE CORRECT FORMULATION OF THE INJECTION MATERIAL FOR THE SUBGRADE BACKFILL STABILIZATION.
3.0	CONTRACTOR SUBMITTALS	SUBMIT DETAILED WORK PROCEDURES, TO INCLUDE SITE PREPARATIONS, PROPOSED LOCATIONS OF ALL INJECTION HOLES, MATERIAL DATA SHEETS AND DRILLING METHODS.
4.0	SLAB PREPARATION	DEMARCATÉ THE AREA OF THE SLAB TO BE RAISED AND THE LOCATIONS OF THE INJECTION HOLES. THE AREA OF SLAB TO BE REPAIRED SHALL EXTEND THE FULL WIDTH OF THE DAY CARE ROOM AND SHALL EXTEND TO THE VISIBLE GROUT SEPARATION LINE IN THE TILE ALONG THE LENGTH.
5.0	REMOVE BASEBOARDS	REMOVE ALL VINYL / TILE BASEBOARDS AROUND THE PERIMETER OF WORK PRIOR TO COMMENCING ANY INJECTION PROCEDURES.
6.0	REMOVE DOORS	REMOVE TINY TOTS ROOM, STORAGE ROOM AND WASHROOM DOORS.
7.0	REMOVE BLOCK WALLS	REMOVE PARTITION BLOCK WALLS OF STORAGE AND WASHROOM AREA AS MARKED ON DRAWING G01-08 PRIOR TO COMMENCING ANY INJECTION PROCEDURES.
8.0	REMOVE FLOOR TILES	REMOVE ALL FLOOR TILES/FINISHES IN THE TINY TOTS ROOM, STORAGE AREA AND WASHROOM.
9.0	REMOVE SUSPENDED CEILING	REMOVE ALL CEILING FINISHES (DROP CEILING AND SUPPORT FRAME).
10.0	DETACH WOODEN STORAGE	WOODEN STORAGE TO BE DETACH FROM ANY ADJACENT STRUCTURES (WALLS, OWSJ, ECT.) AND PROTECT SPRINKLER PIPES AND HEAD THAT WILL OBSTRUCT OR INTERFERE WITH THE SLAB LIFTING.
11.0	PREPARE BLOCK WALLS FOR LIFTING	CLEAN OUT ALL LOOSE MATERIAL FROM THE CRACKS IN THE CONCRETE BLOCK WALLS WITHIN THE AREA OF WORK TO ENSURE THAT THEY ARE ALLOWED TO TIGHTEN / CLOSE WHEN THE SLAB IS RAISED.
12.0	POLYURETHANE INJECTION: SOIL STABILIZATION	DRILL INJECTION HOLES THROUGH CONCRETE SLAB-ON-GRADE FOR SOIL STABILIZATION. INJECT POLYURETHANE MATERIAL UNDER THE SLAB. REMOVE EXCESS MATERIAL FROM THE HOLE WHEN THE NOZZLE IS REMOVED. ALLOW POLYURETHANE TO CURE PRIOR TO PROCEEDING TO THE NEXT STAGE OF WORK.
13.0	POLYURETHANE INJECTION: SLAB RAISING	DRILL INJECTION HOLES THROUGH CONCRETE SLAB-ON-GRADE FOR SLAB RAISING. INJECT POLYURETHANE MATERIAL UNDER THE SLAB. REMOVE EXCESS MATERIAL FROM THE HOLE WHEN THE NOZZLE IS REMOVED. ALLOW POLYURETHANE TO CURE PRIOR TO PROCEEDING TO THE NEXT STAGE OF WORK.
14.0	FILL INJECTION HOLES	ALL INJECTION HOLES SHALL BE FILLED WITH A NON-EXPANSIVE GROUT UPON COMPLETE OF SLAB RAISING / SOIL STABILIZATION.
15.0	SLAB RE-LEVELING	ONCE INJECTION IS DONE, RELEVEL THE SLAB BEFORE INSTALLING NEW TILES. RE-LEVELING TO INCLUDE TINY TOTS ROOM.
16.0	RE-ATTACH WOODEN STORAGE	RE-ATTACH WOODEN STORAGE BACK TO ITS ORIGINAL ATTACHMENTS.
17.0	MASONRY REPOINTING	UPON COMPLETION OF SLAB RAISING ALL MASONRY WALL CRACKS SHALL BE REPOINTED.
18.0	INSTALL NEW TILES	INSTALL NEW TILES AS DESCRIBED IN G01-14.
19.0	RE-INSTALL DOORS	RE-INSTALL DOORS. REFER TO G01-14.
20.0	REPAINT WALLS	REPAINT ALL THE WALLS WITHIN THE AREA OF SLAB LIFTING INCLUDING TINY TOTS ROOM, STORAGE ROOMS AND WASHROOM. PAINT COLOR TO BE DETERMINED BY THE CITY.
21.0	INSTALL NEW BASEBOARDS	INSTALL NEW BASEBOARDS AS DESCRIBED IN G01-14.
22.0	INSTALL NEW SUSPENDED CEILING	INSTALL NEW SUSPENDED CEILING AS DESCRIBED IN G01-12 & G01-13.



KEY PLAN



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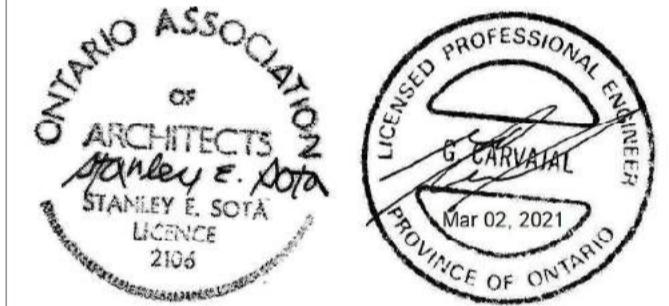
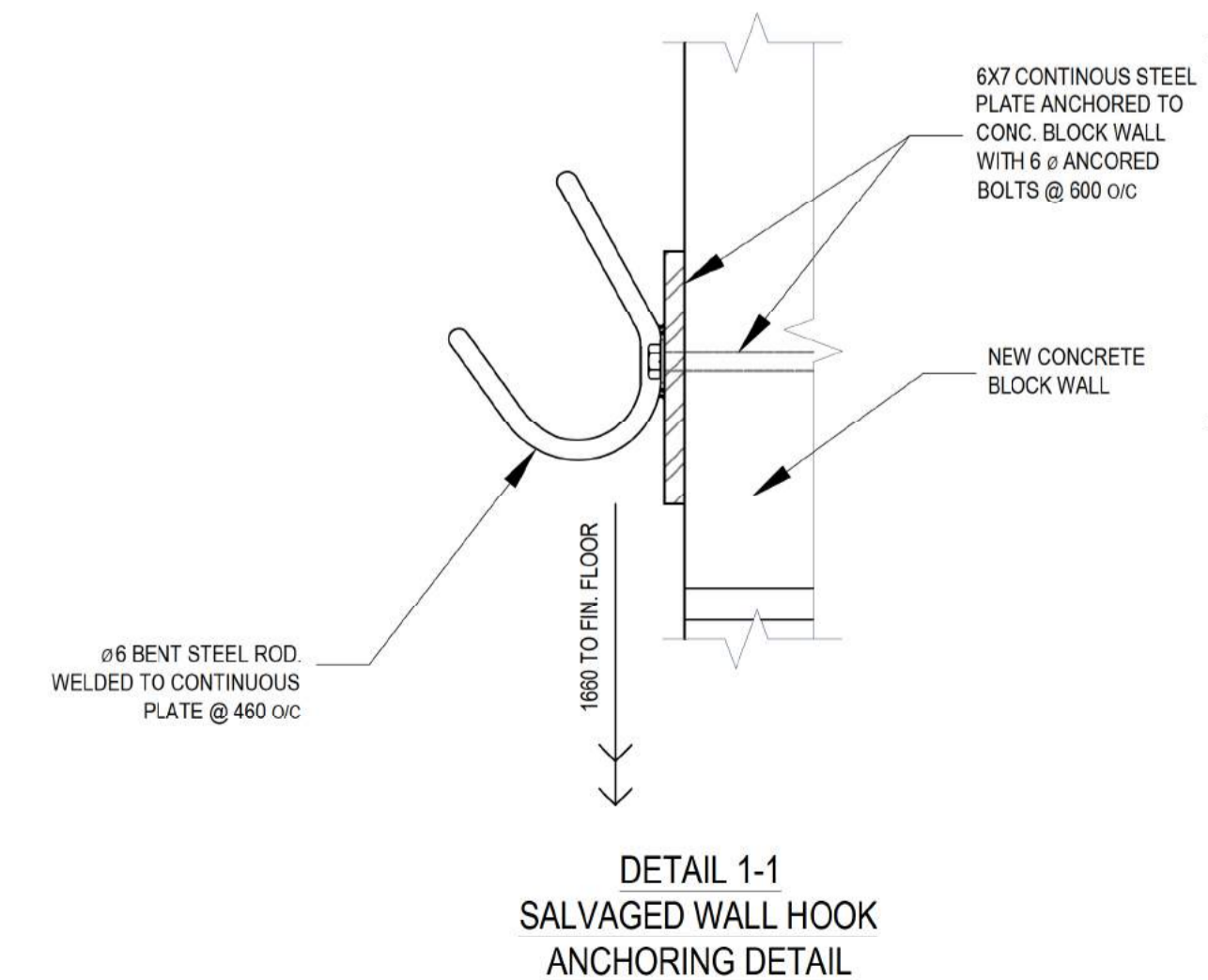
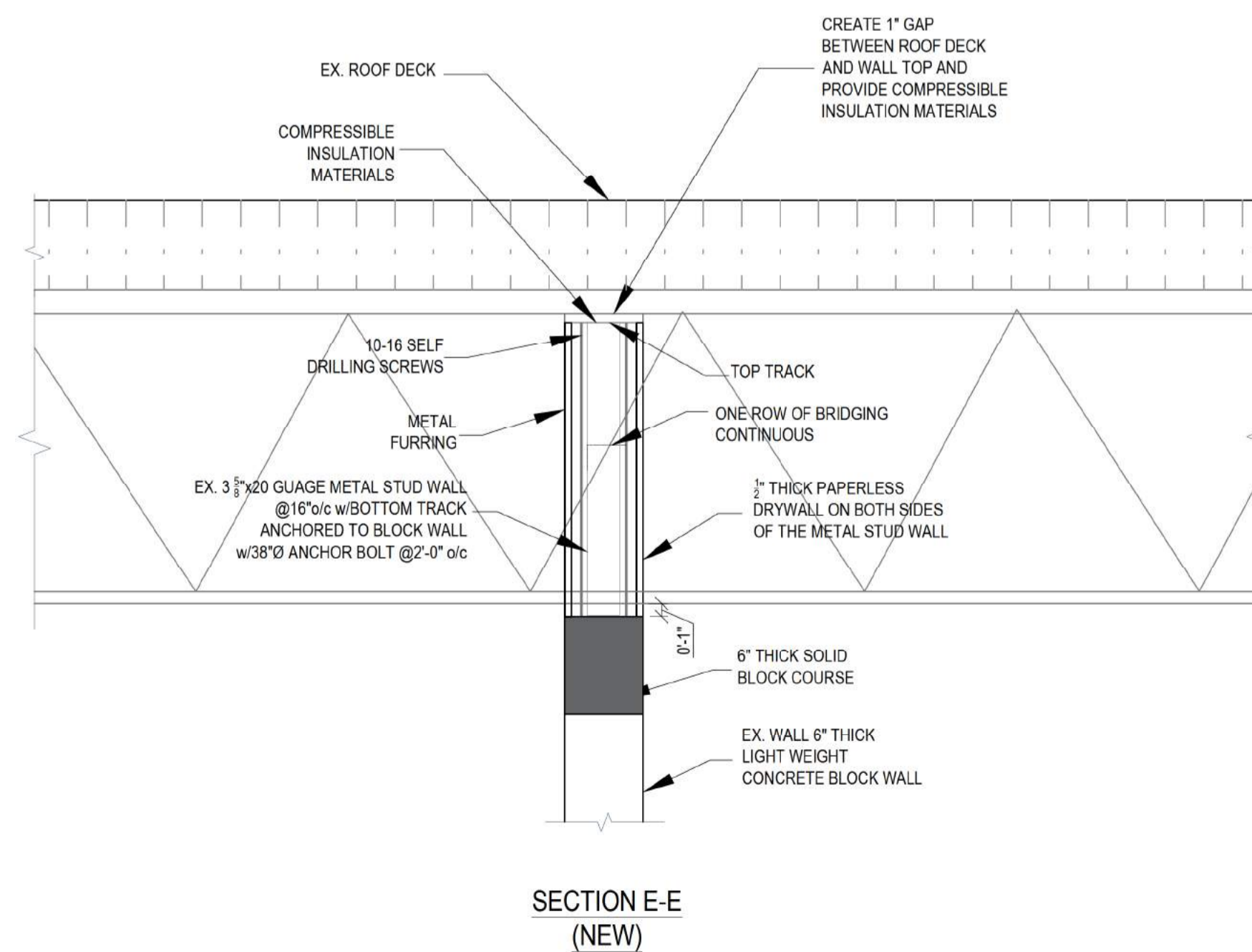
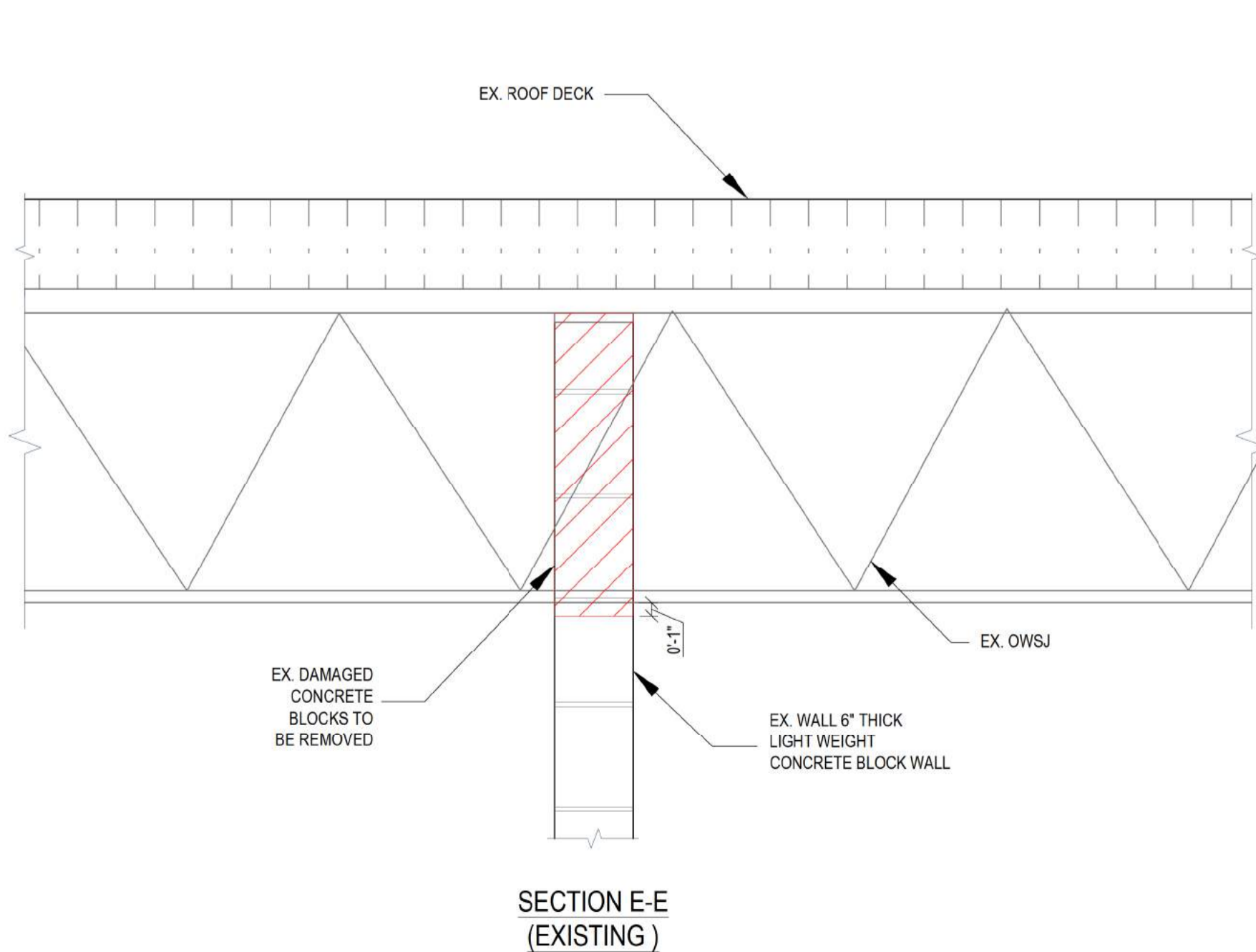
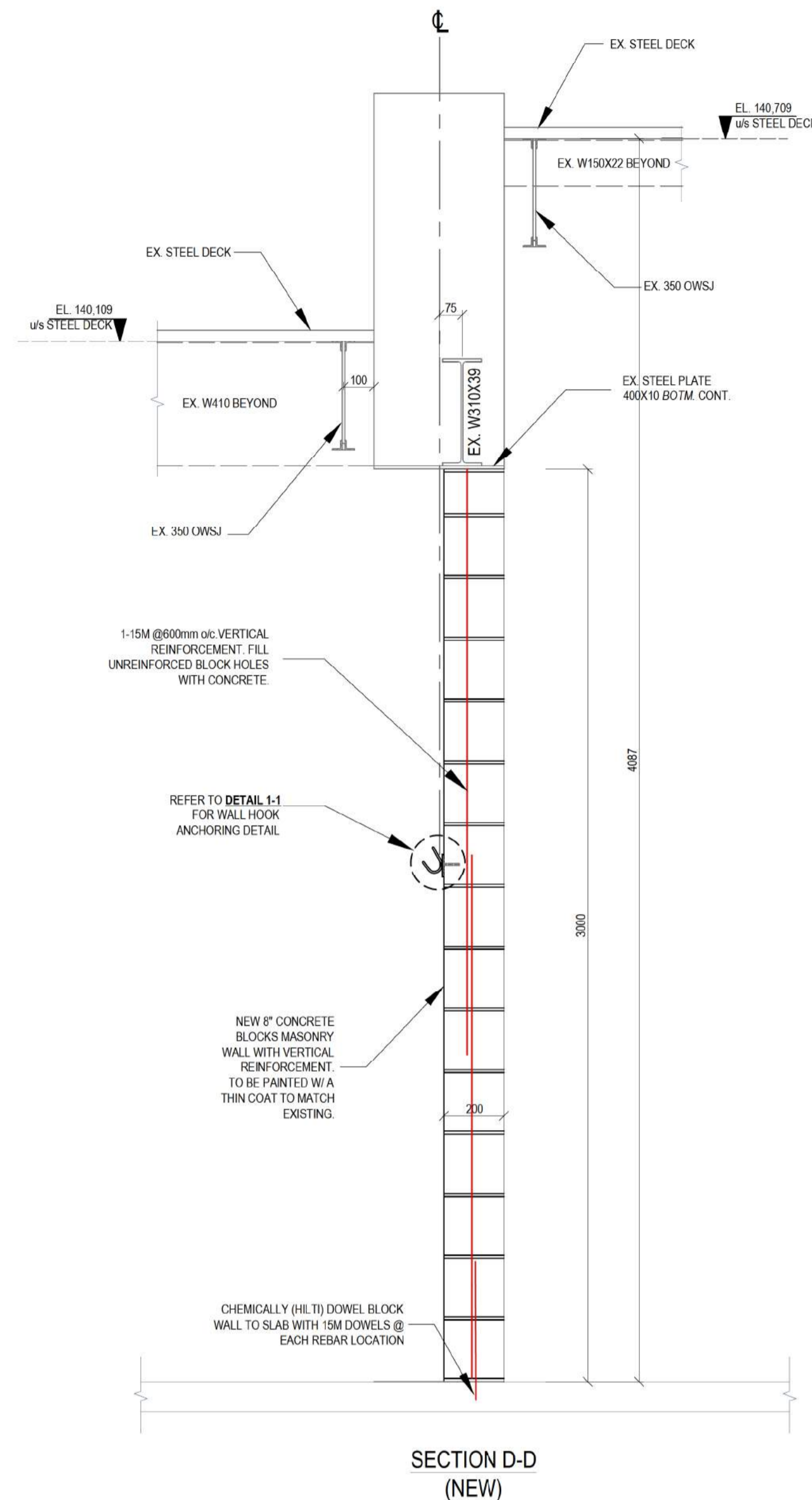
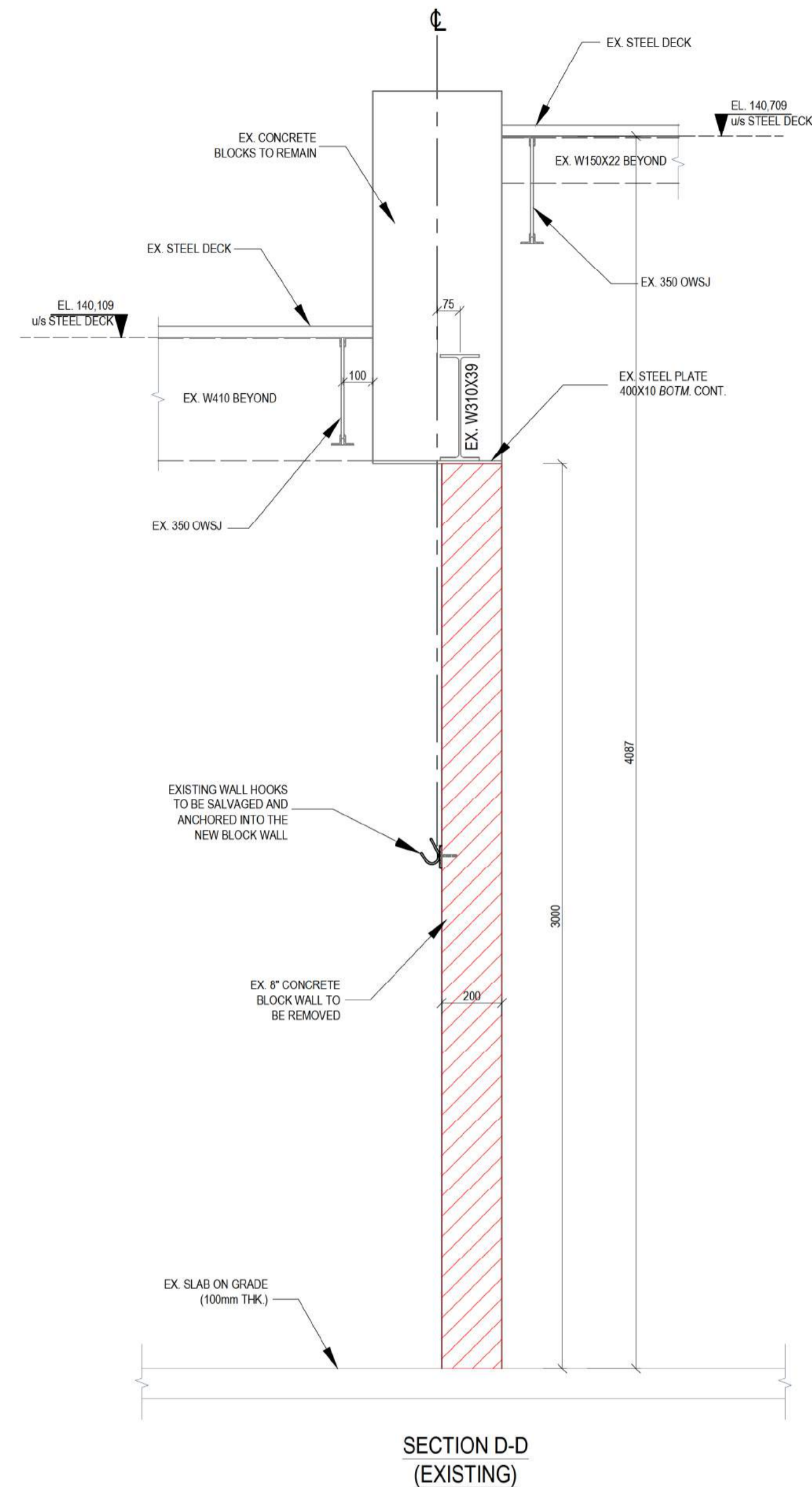
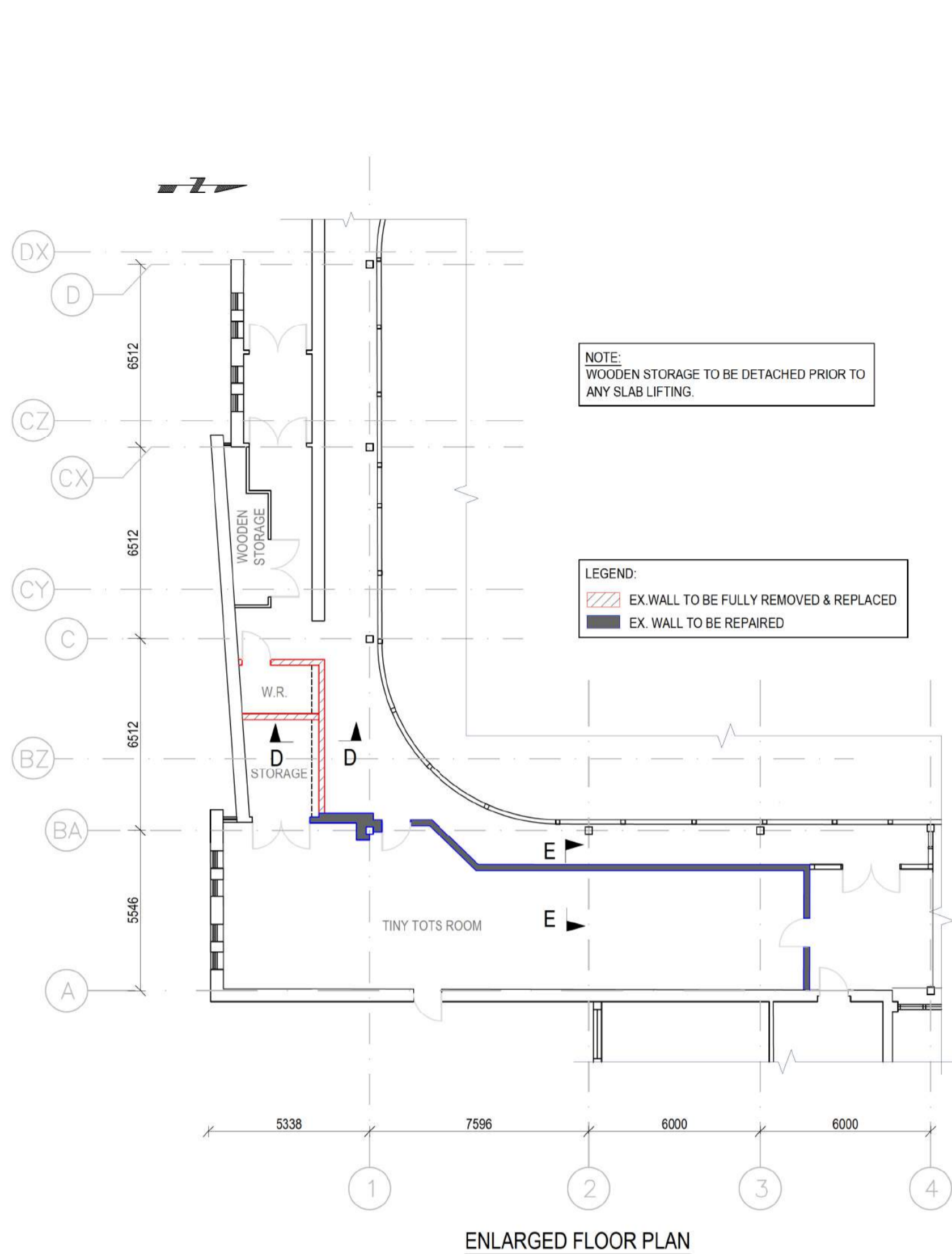
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ARCHITECTURAL & STRUCTURAL  
GORD & IRENE ARENA  
REPAIRS PART 4

G01-07



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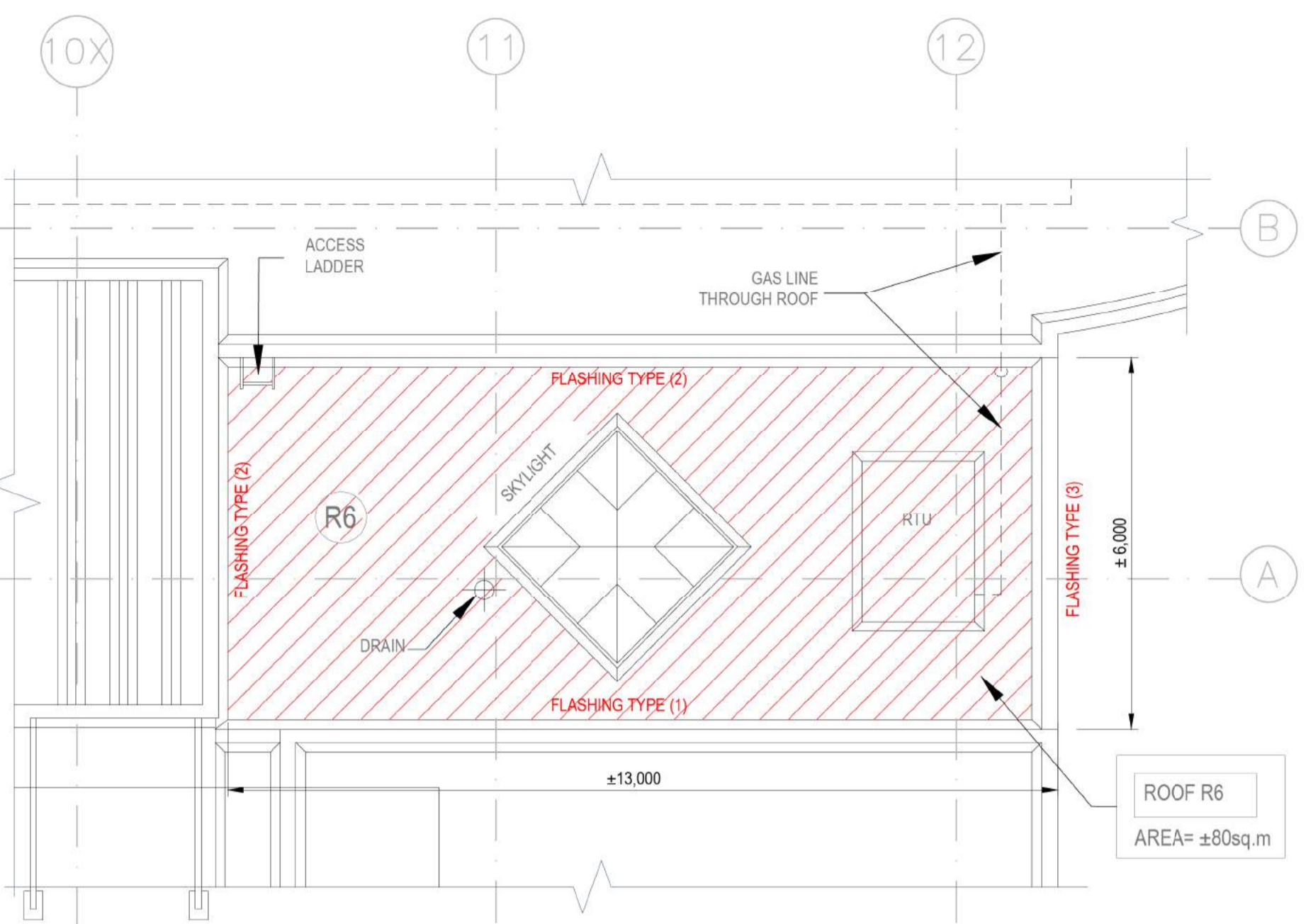
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ARCHITECTURAL & STRUCTURAL  
 GORD & IRENE ARENA  
 WALL REPAIR & REMOVAL

**G01-08**



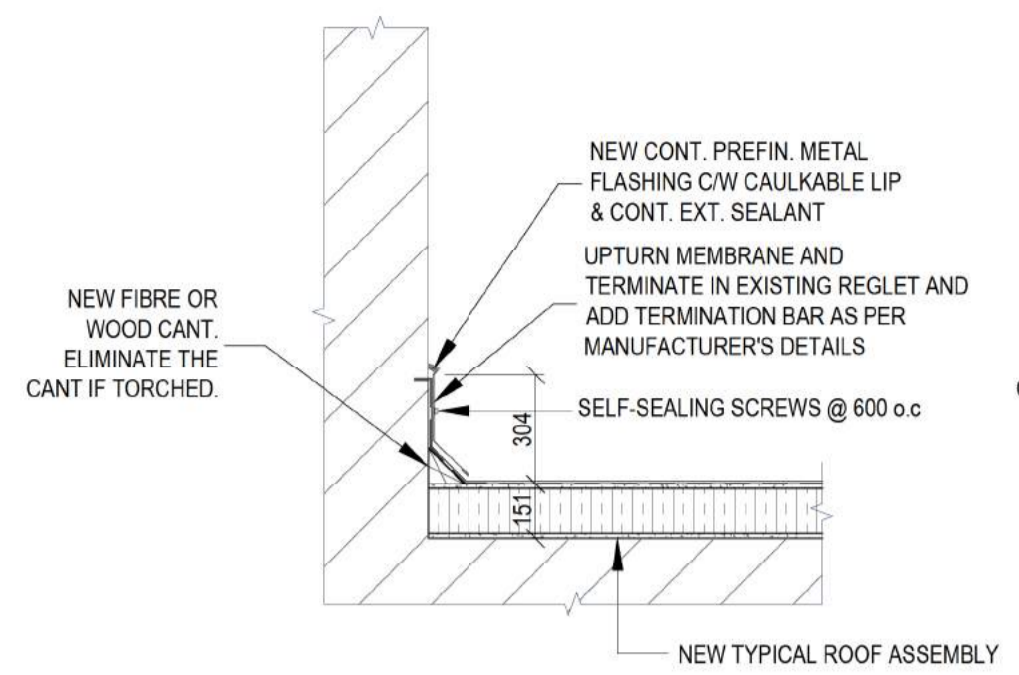


ROOF REPLACEMENT PLAN

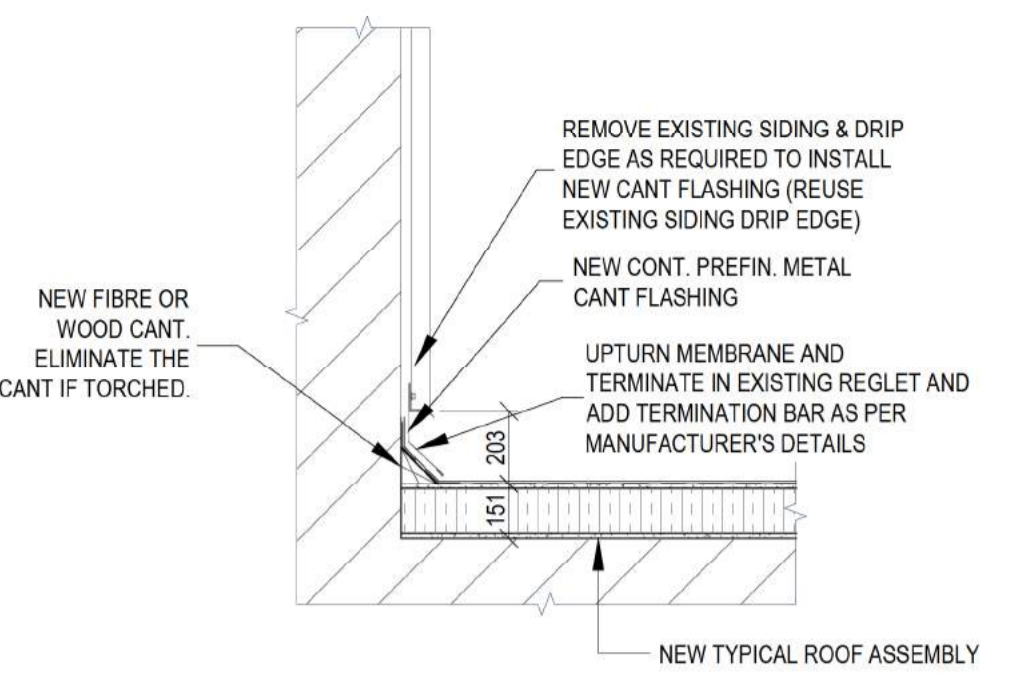
DESCRIPTIVE REPAIRS FOR AREA 7

RECOMMENDED ROOFING REPLACEMENT PROCEDURE (AREA 7)

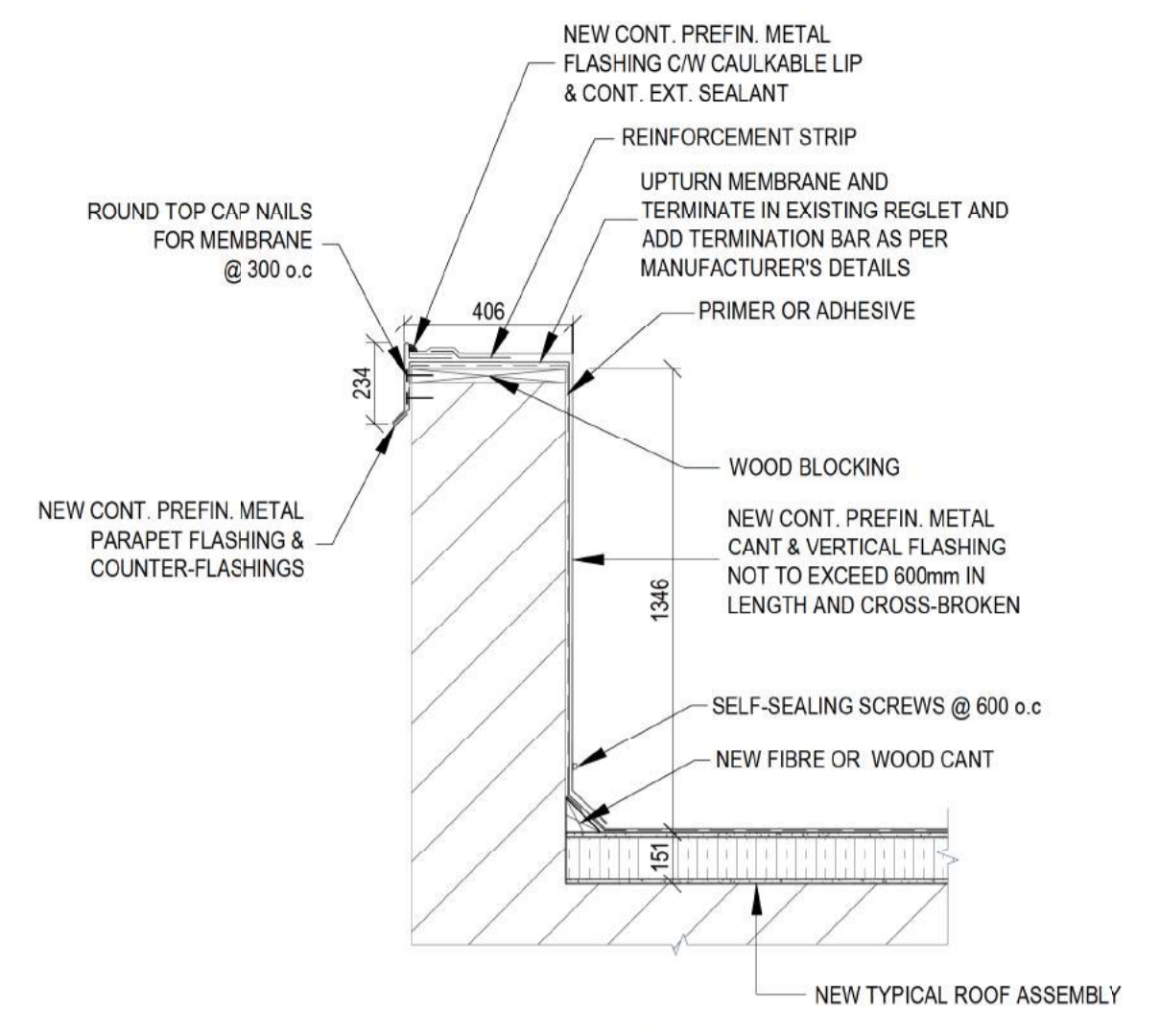
ITEM	TASK	DESCRIPTION OF ACTIVITY
1.0	SECURE WORK AREA	ENCLOSE WORK AREA WITH STEEL MODULAR FENCE.
2.0	REMOVE EXISTING ROOFING MATERIALS	REMOVE EXISTING ROOF MEMBRANE, INSULATION, CANTS, PARAPET FLASHING, STACK JACK AND VENT FLASHINGS, ETC. DOWN TO THE EXISTING ROOF DECK AND SUBSTRATES.
3.0	INSTALL NEW ROOFING	PROVIDE NEW ROOF MEMBRANE, INSULATION, COVER, UNDERLAY BOARDS AND VAPOUR BARRIER AS DESCRIBED IN ITEM 11 ROOFING ON G01-01.
4.0	EXISTING STRUCTURE PENETRATIONS	UPTURN NEW ROOFING MEMBRANE AS PER MANUFACTURER'S DETAILS AT EXISTING STRUCTURAL PENETRATIONS SUCH AS MECHANICAL UNITS.
5.0	NATURAL GAS PIPE SUPPORT REPLACEMENT	REPLACE EXISTING WOOD SUPPORTS WITH NEW SUPPORTS AS DESCRIBED IN ITEM 12 NATURAL GAS PIPE SUPPORT ON G01-01.
6.0	NEW ROOF DRAINS	PROVIDE NEW ROOF DRAINS IN ACCORDANCE WITH DETAIL SHOWN ON G01-09. ENSURE THAT NEW ROOF DRAIN IS PROVIDED WITH AN ADEQUATE OUTLET.



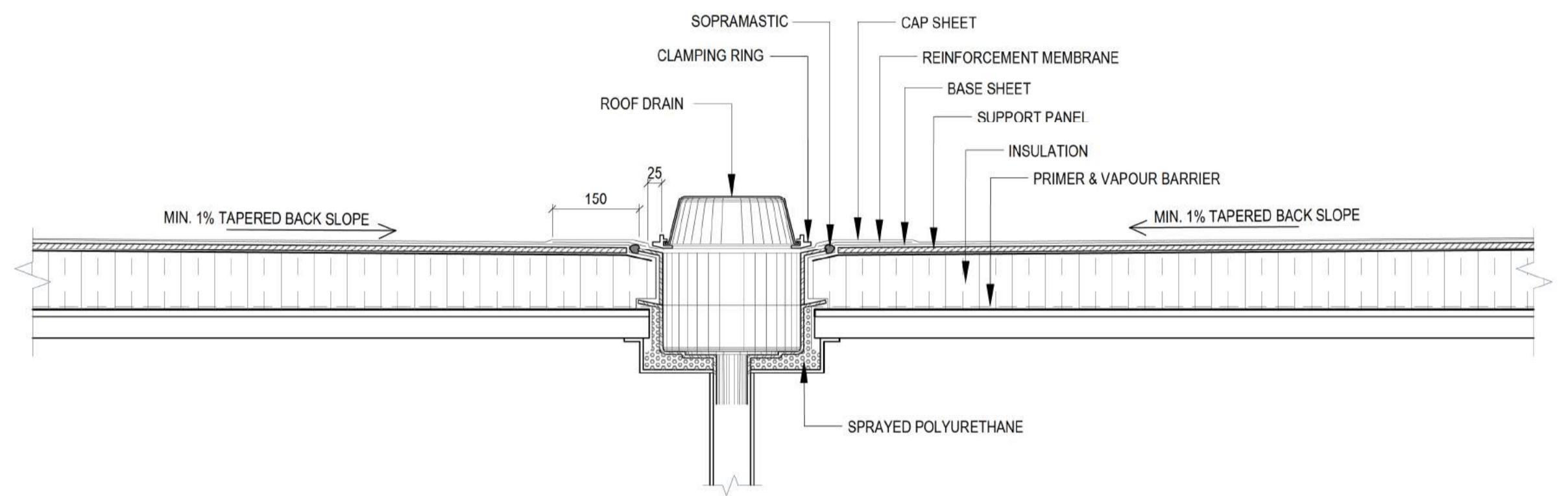
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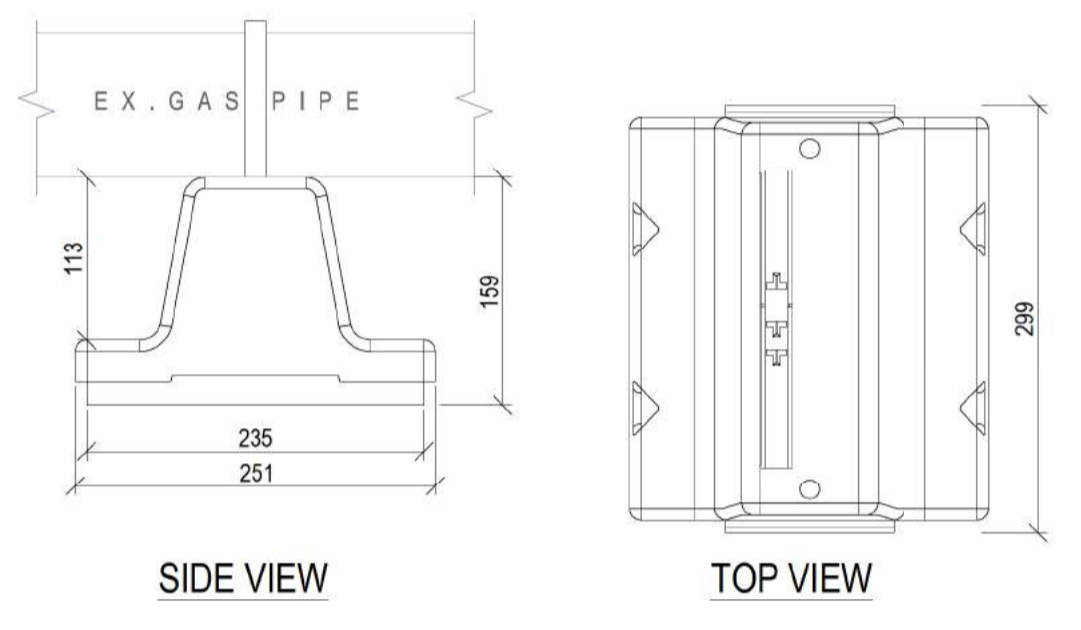
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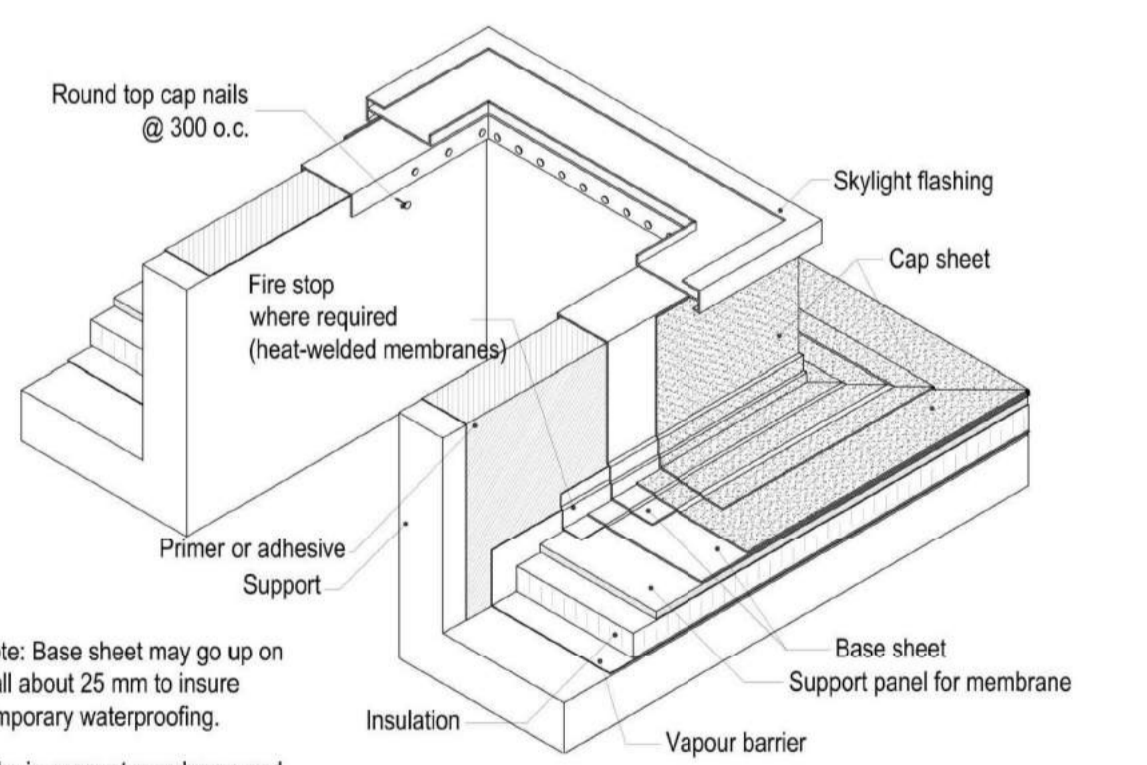
FLASHING TYPE (3)



NEW ROOF DRAIN DETAIL

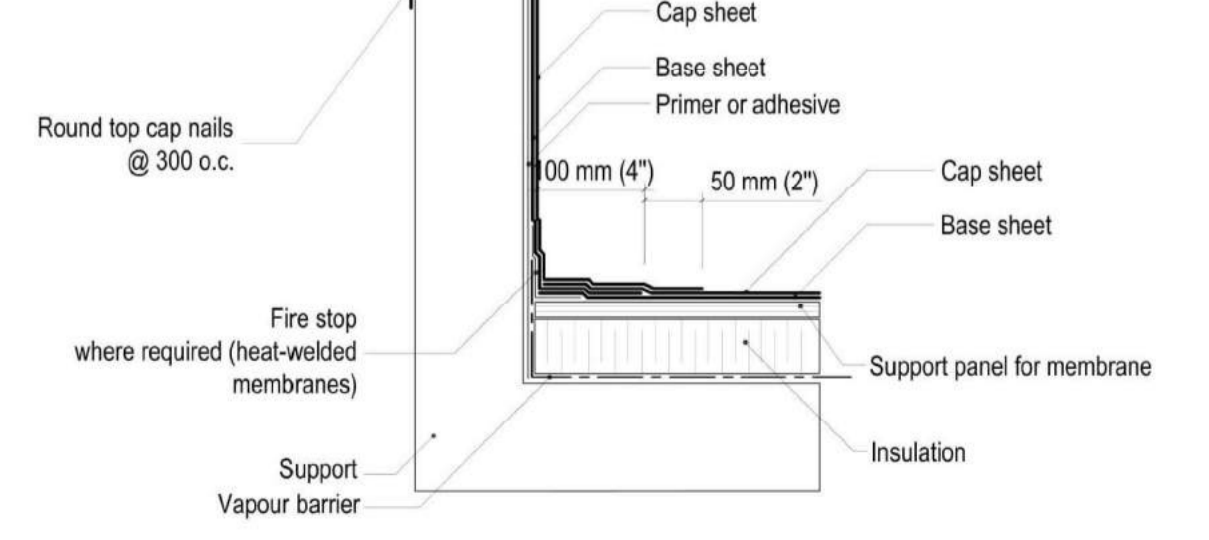


GAS PIPE SUPPORT DETAIL



Note: Base sheet may go up on wall about 25 mm to insure temporary waterproofing.

Take in account membrane and overlaps thickness in adjusting the opening of the mechanical unit.



ROOFING DETAIL AROUND SKYLIGHT

RECOMMENDED ROOFING PROCEDURE AROUND THE SKYLIGHT AREA

ITEM	DESCRIPTION OF ACTIVITY
1.0	LIFT THE SKYLIGHT TO ALLOW THE INSTALLATION OF THE NEW ROOFING SYSTEM, INSPECT, REPAIR, OR REPLACE CURB.
2.0	REMOVE AND REPLACE THE CURB AS NEEDED.
3.0	EXTEND ROOF UNDERLAYMENT TO THE BOTTOM, SIDES AND TOP OF THE SUPPORT IN THAT ORDER.
4.0	INSTALL ROOF BASE SHEET IN THE SAME ORDER AS ROOF UNDERLAYMENT AND NAIL IT TO SUPPORT.
5.0	INSTALL CAP SHEET AS SHOWN.
6.0	RE-INSTALL THE SKYLIGHT.



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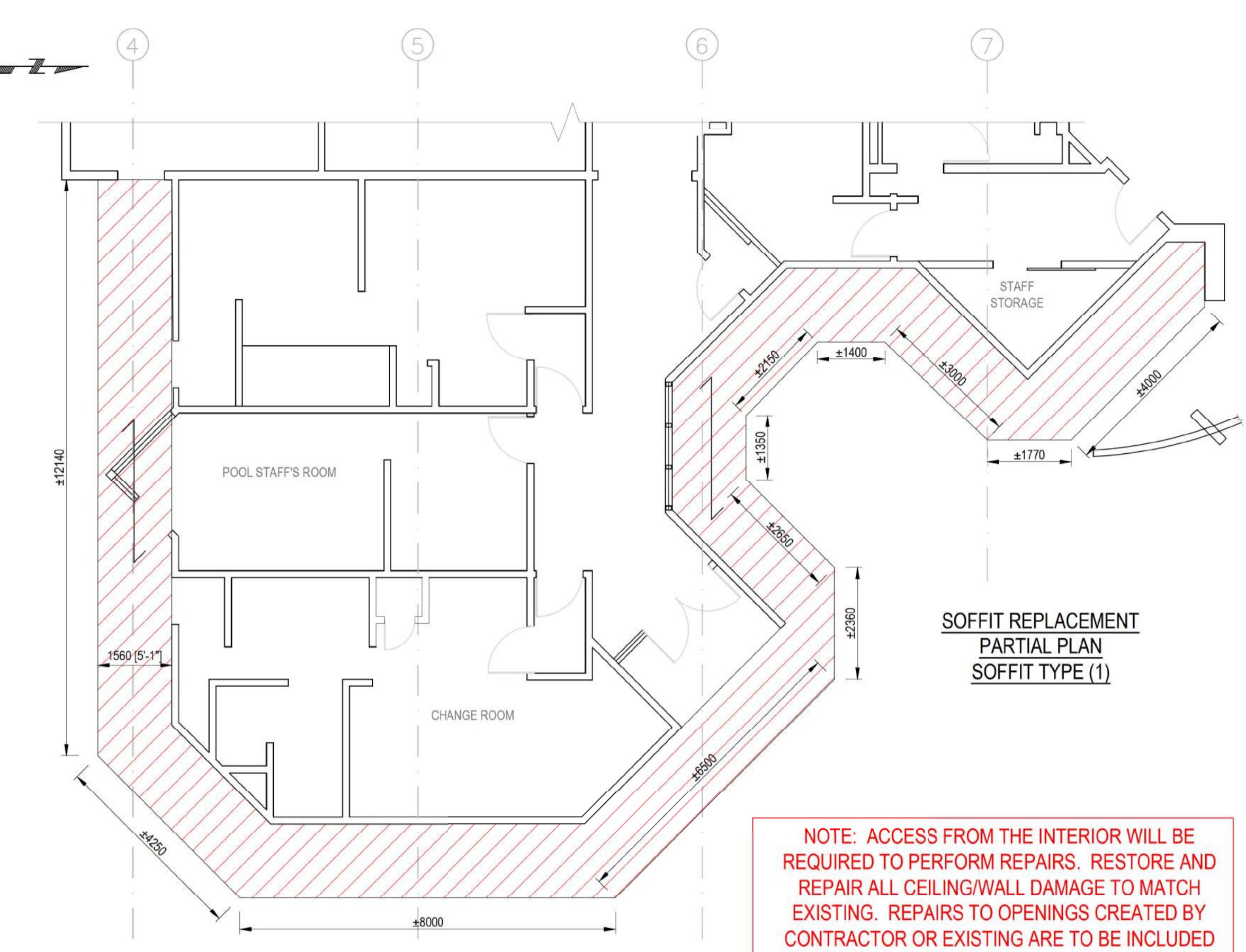
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COMMUNITY CENTRE  
2650 FINCH AVE W.  
NORTH YORK, ONTARIO

DATE: JAN 20, 2021 DRAWN BY: YA/JC  
SCALE: PROJECT NO. 2213

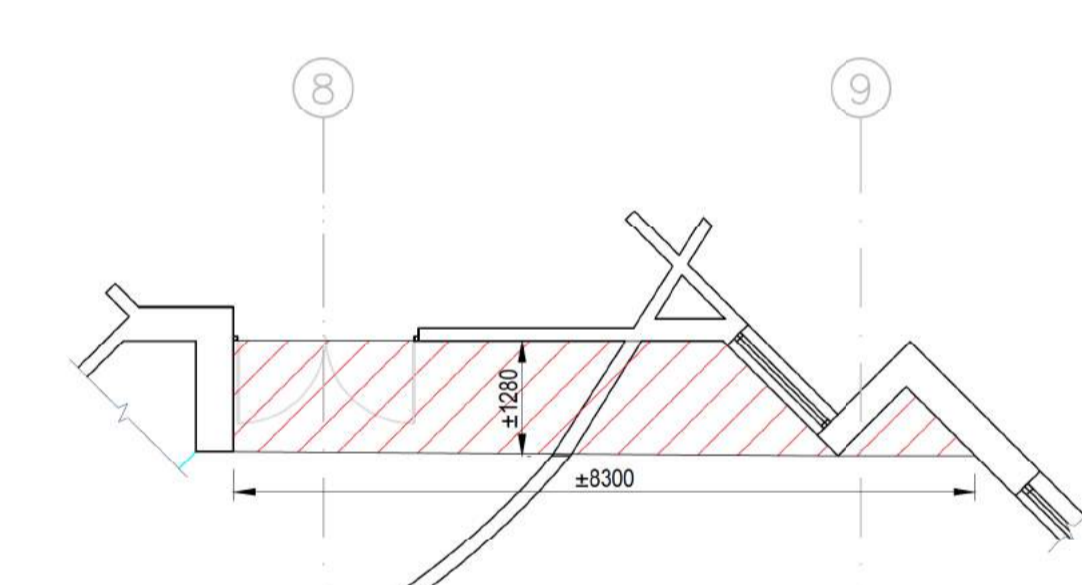
ARCHITECTURAL & STRUCTURAL  
GORD & IRENE ARENA  
ROOFING DETAILS

G01-09

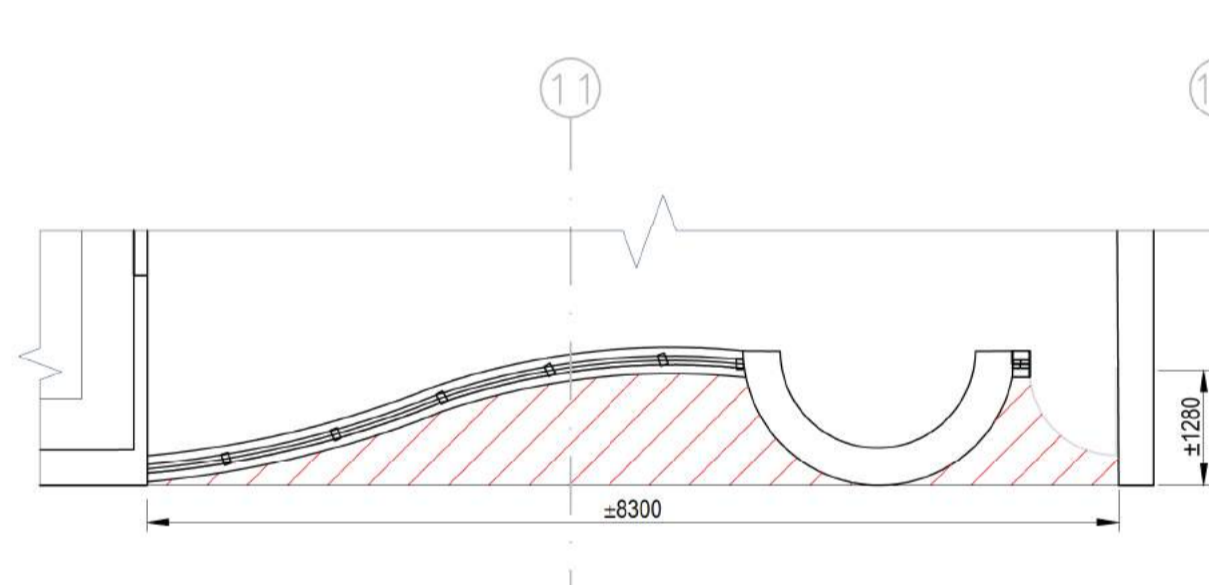


SOFFIT REPLACEMENT  
PARTIAL PLAN  
SOFFIT TYPE (1)

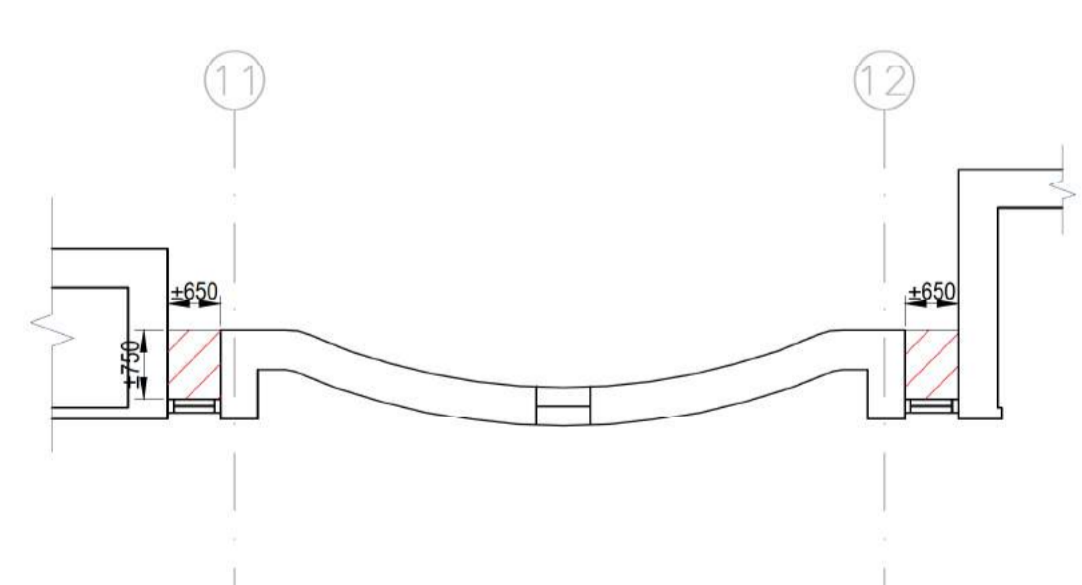
NOTE: ACCESS FROM THE INTERIOR WILL BE REQUIRED TO PERFORM REPAIRS. RESTORE AND REPAIR ALL CEILING/WALL DAMAGE TO MATCH EXISTING. REPAIRS TO OPENINGS CREATED BY CONTRACTOR OR EXISTING ARE TO BE INCLUDED IN THE BASE BID COSTS



SOFFIT REPLACEMENT  
PARTIAL PLAN  
SOFFIT TYPE (2)



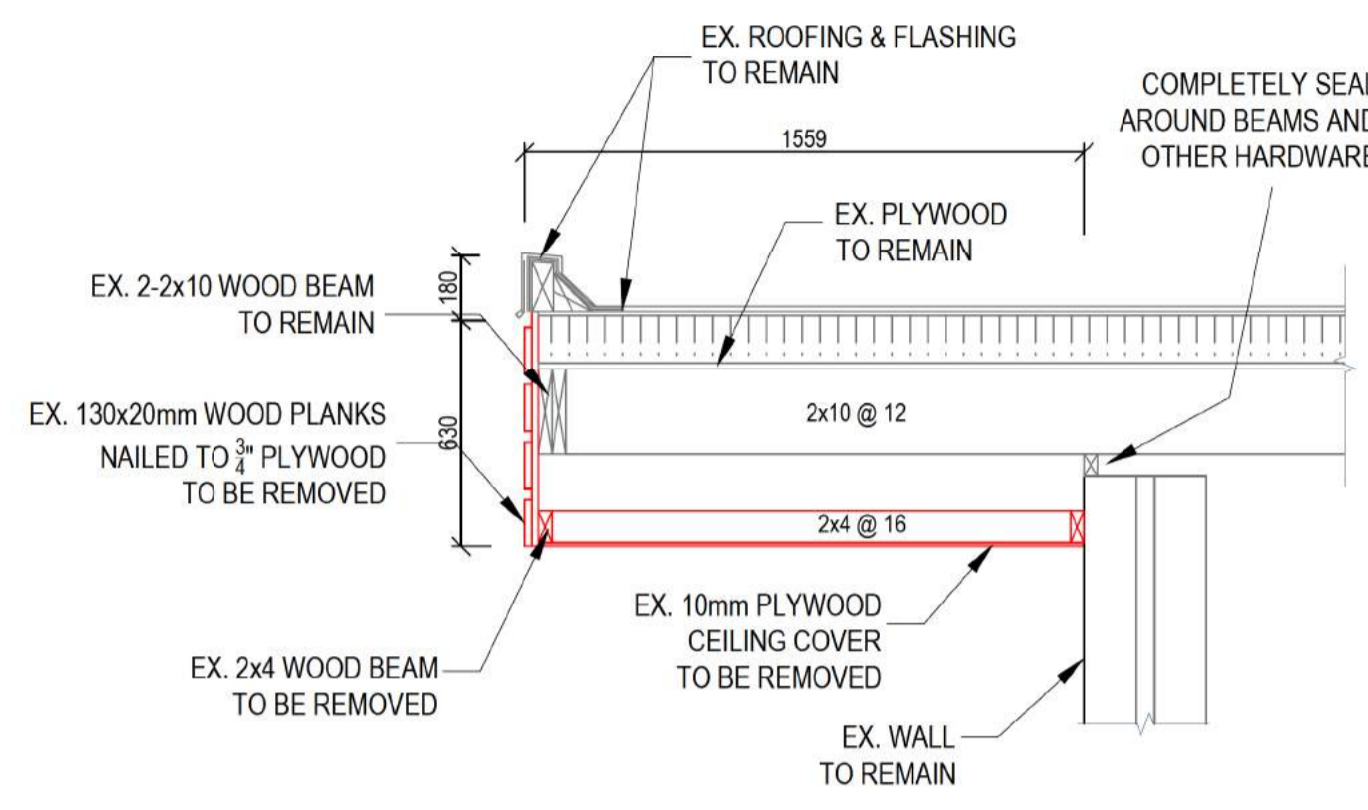
SOFFIT REPLACEMENT  
PARTIAL PLAN  
SOFFIT TYPE (2)



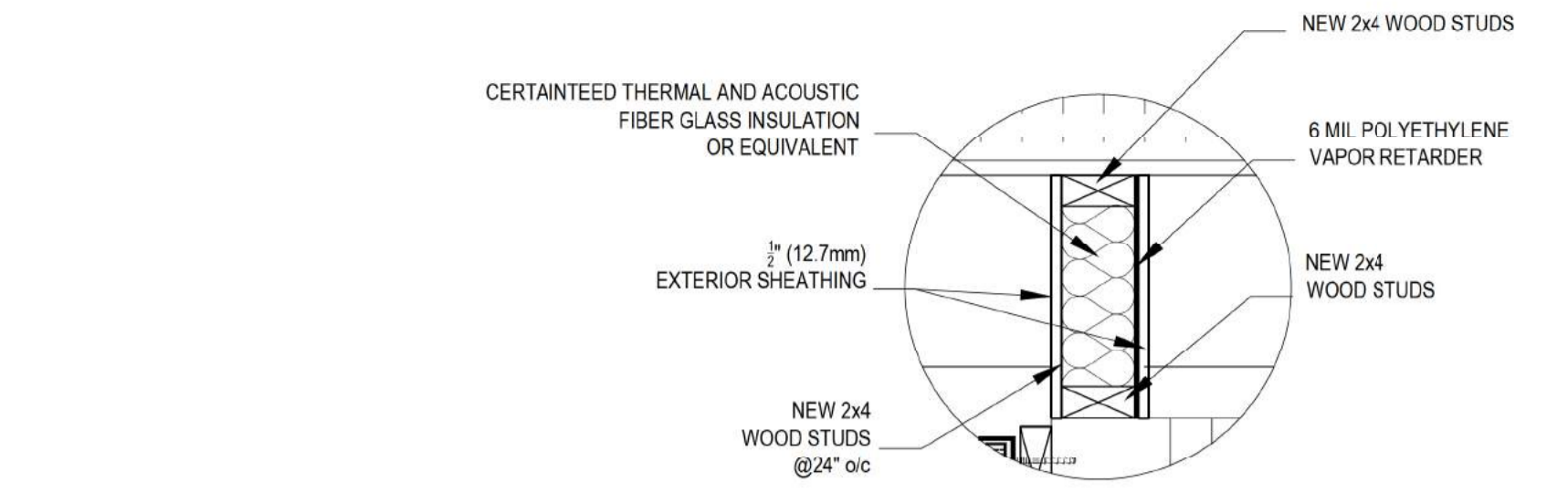
SOFFIT REPLACEMENT  
PARTIAL PLAN  
SOFFIT TYPE (2)

NOTE:  
- ALL ANCHORS TO STEEL PLATE SHALL BE TEK ANCHORS OR APPROVED EQUIVALENT.  
- ALL ANCHORS TO MASONRY WALL SHALL BE HILTI BLOCK ANCHORS OR APPROVED EQUIVALENT.  
- ALL ANCHORS BETWEEN MEMBERS TO BE BY BAILEY METAL PRODUCTS OR APPROVED EQUIVALENT.  
- ALL EXTERIOR SHEATHING TO BE BY GLASSROC OR APPROVED EQUIVALENT.  
- SOFFIT TO BE H.F - 12 F BY AGWAY METALS INC. OR APPROVED EQUIVALENT.

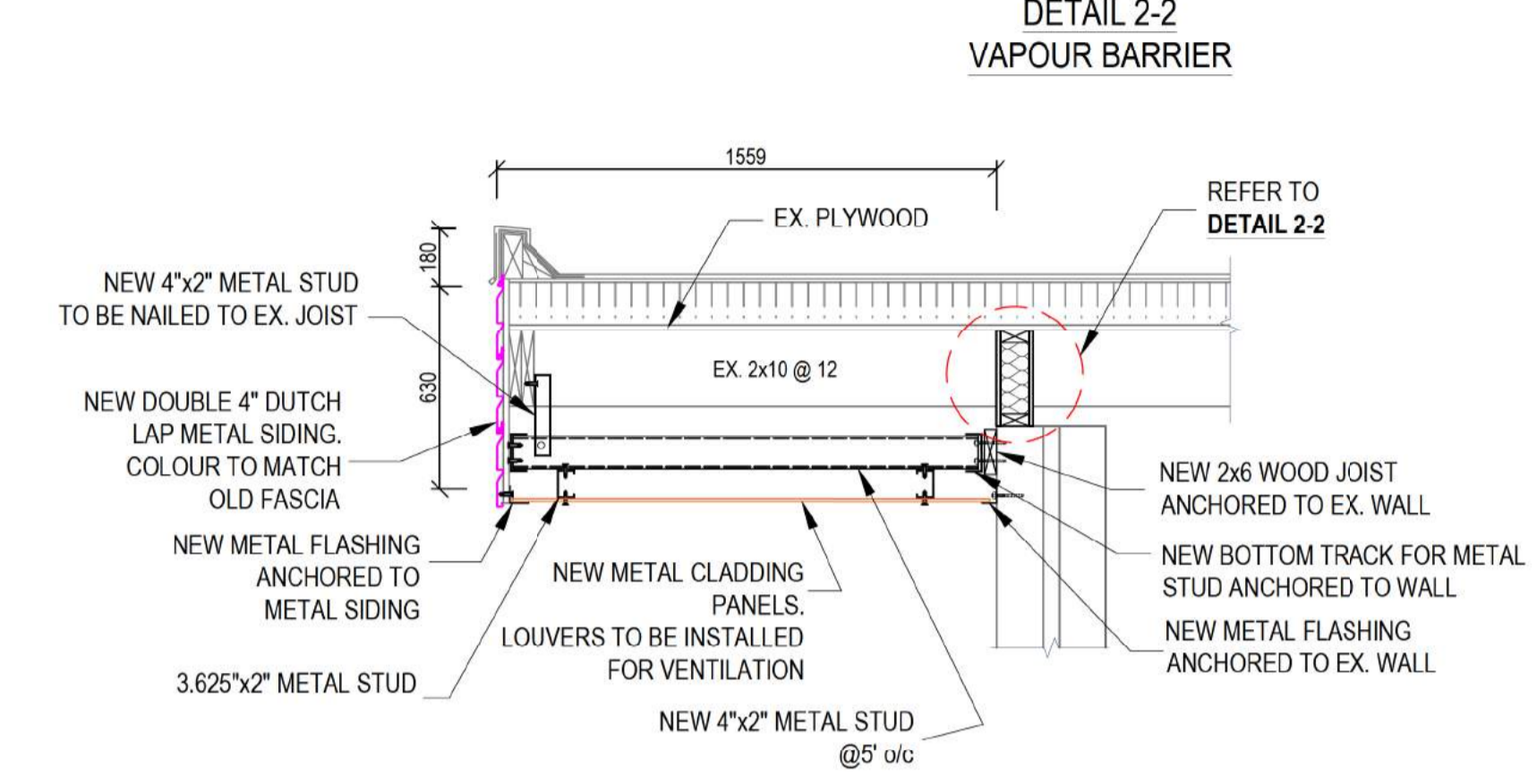
NOTE:  
ALL DIMENSIONS TO BE SITE CONFIRMED PRIOR TO FABRICATING



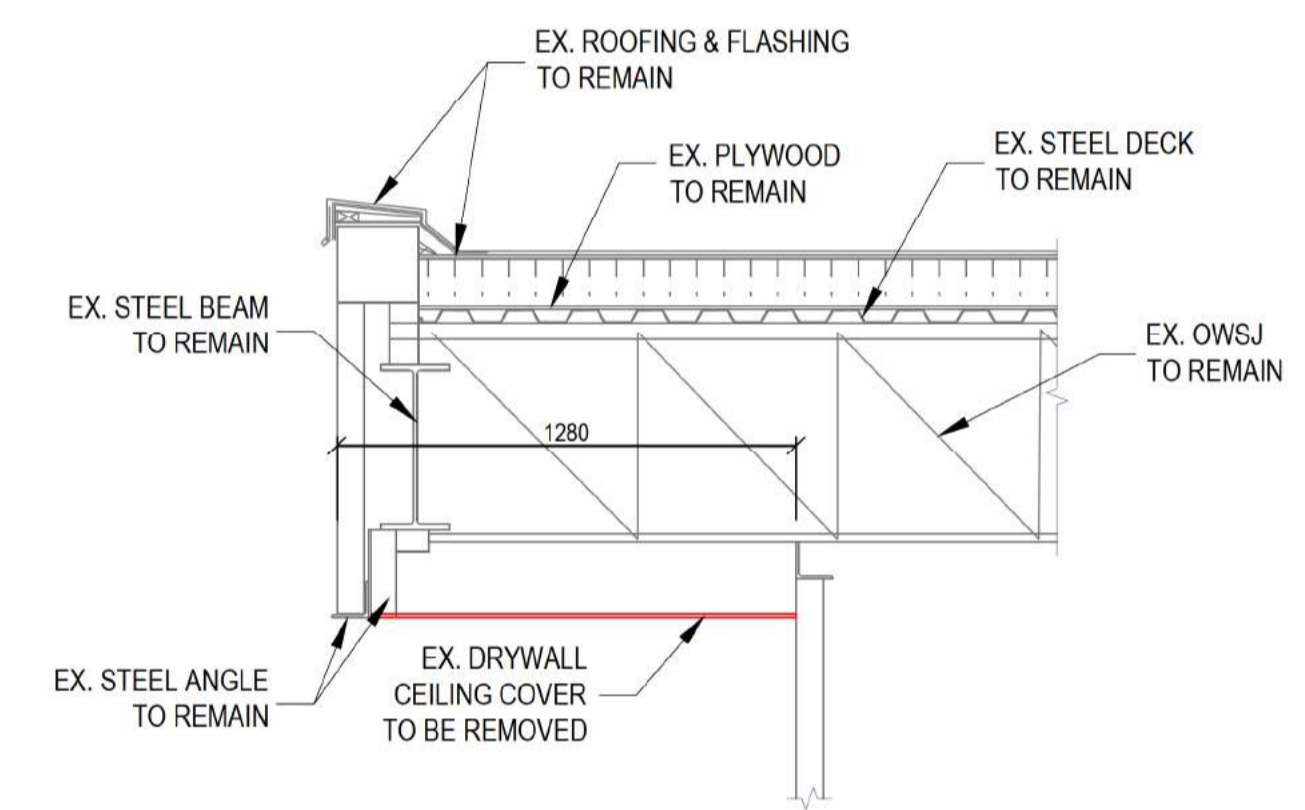
TYPICAL SECTION (EXISTING)  
SOFFIT TYPE (1)



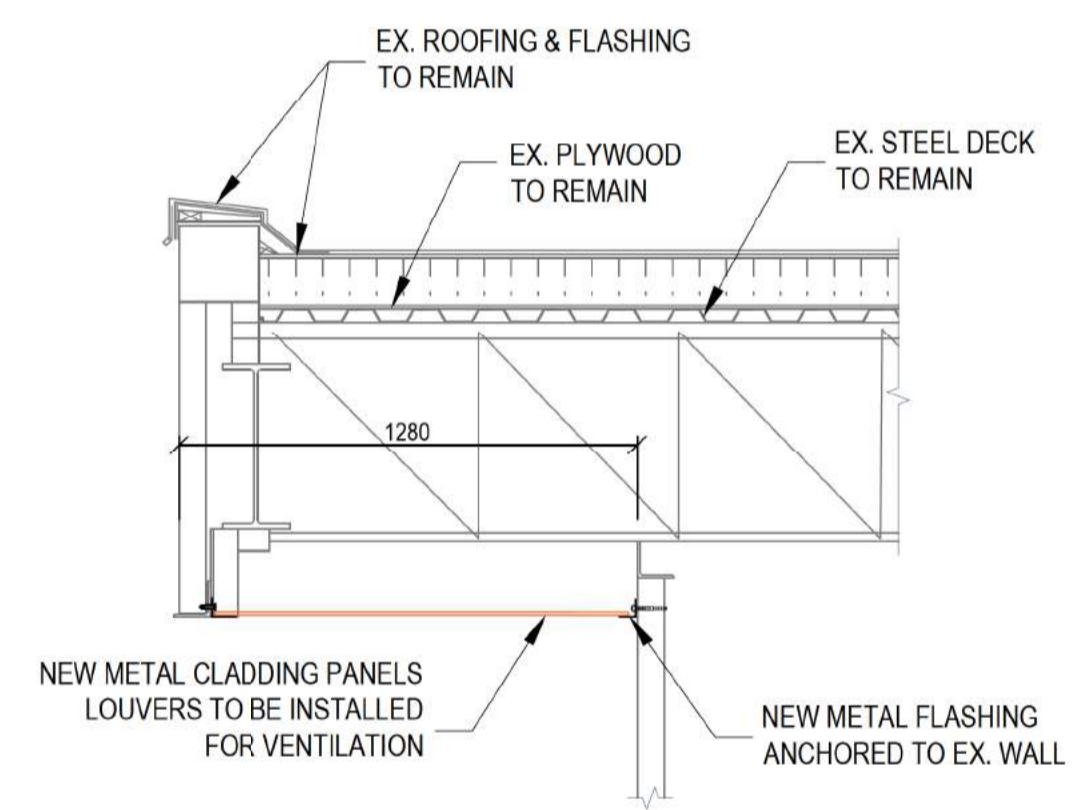
DETAIL 2-2  
VAPOUR BARRIER



TYPICAL SECTION (NEW)  
SOFFIT TYPE (1)



TYPICAL SECTION (EXISTING)  
SOFFIT TYPE (2)



TYPICAL SECTION (NEW)  
SOFFIT TYPE (2)



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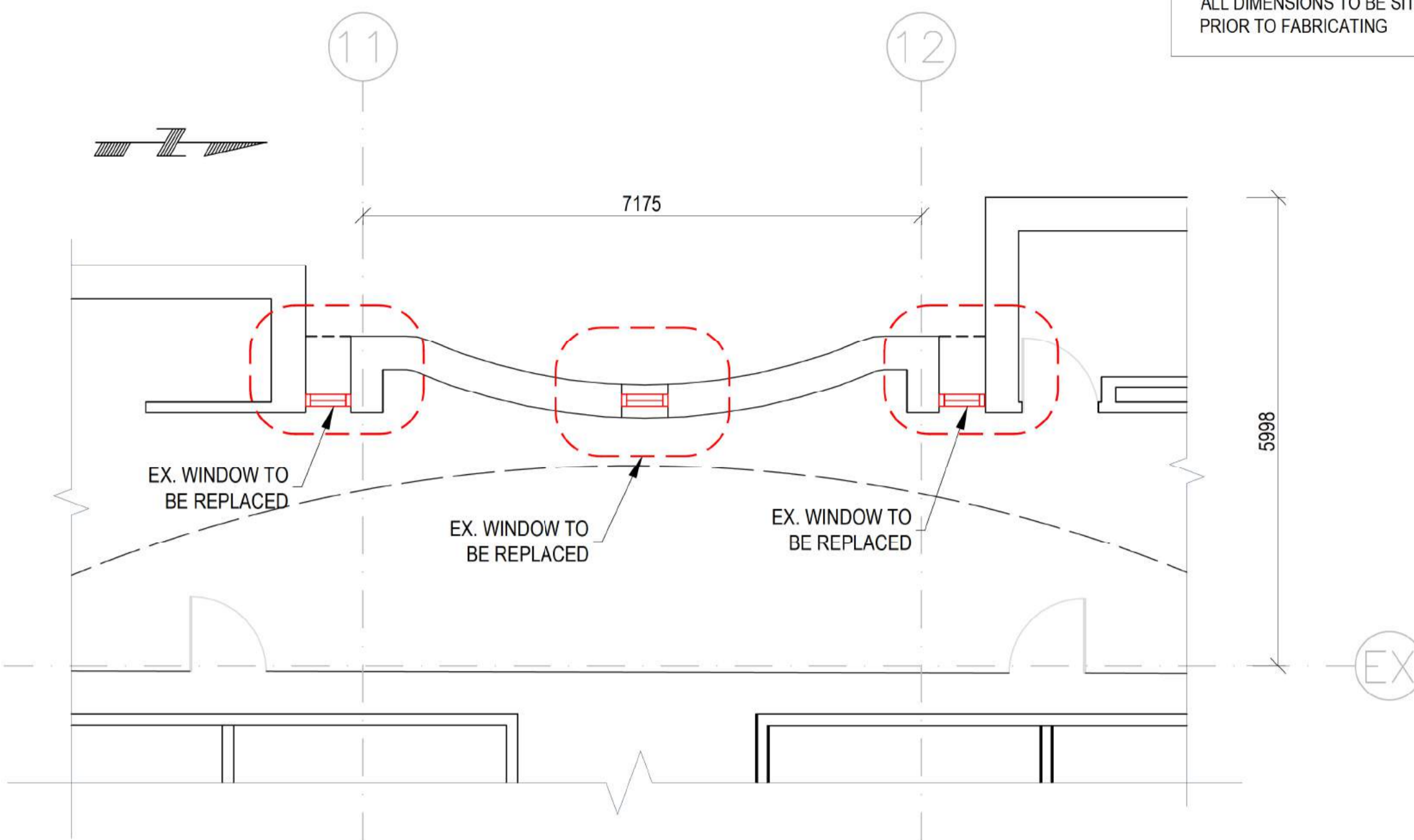
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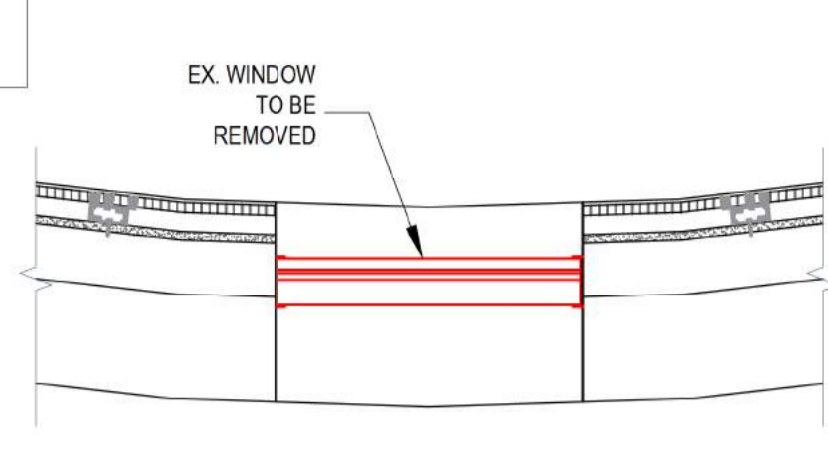
GORD & IRENE RISK COMMUNITY CENTRE 2650 FINCH AVE W. NORTH YORK, ONTARIO	
DATE: JAN 20, 2021	DRAWN BY: YA/JC
SCALE:	PROJECT NO. 2213
ARCHITECTURAL & STRUCTURAL	
GORD & IRENE ARENA SOFFIT DETAILS	

G01-10

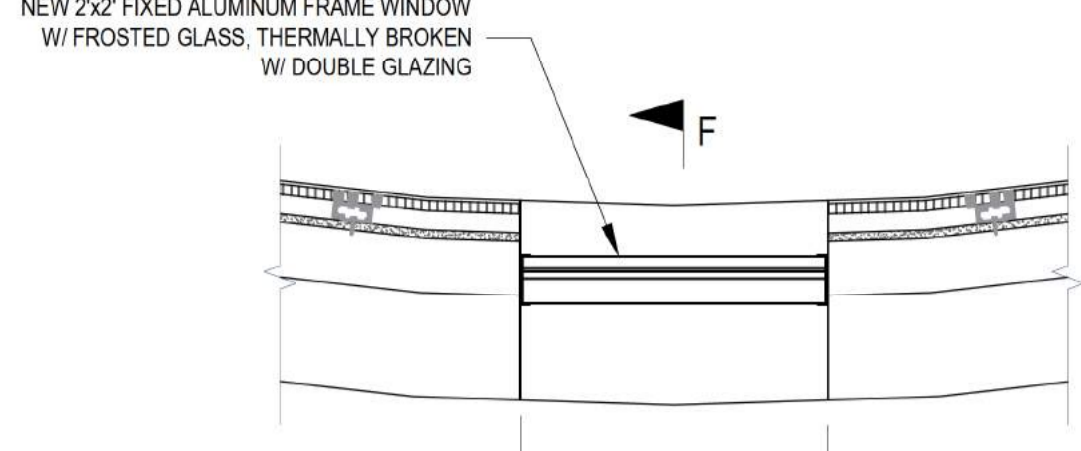
NOTE:  
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PRIOR TO FABRICATING



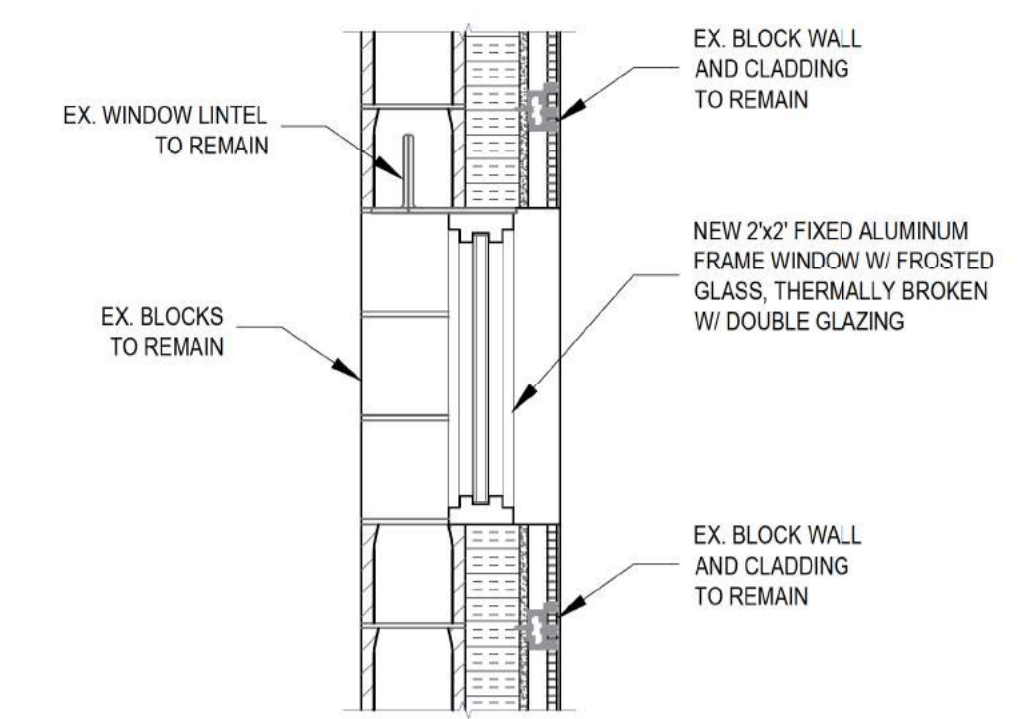
ENLARGED FLOOR PLAN



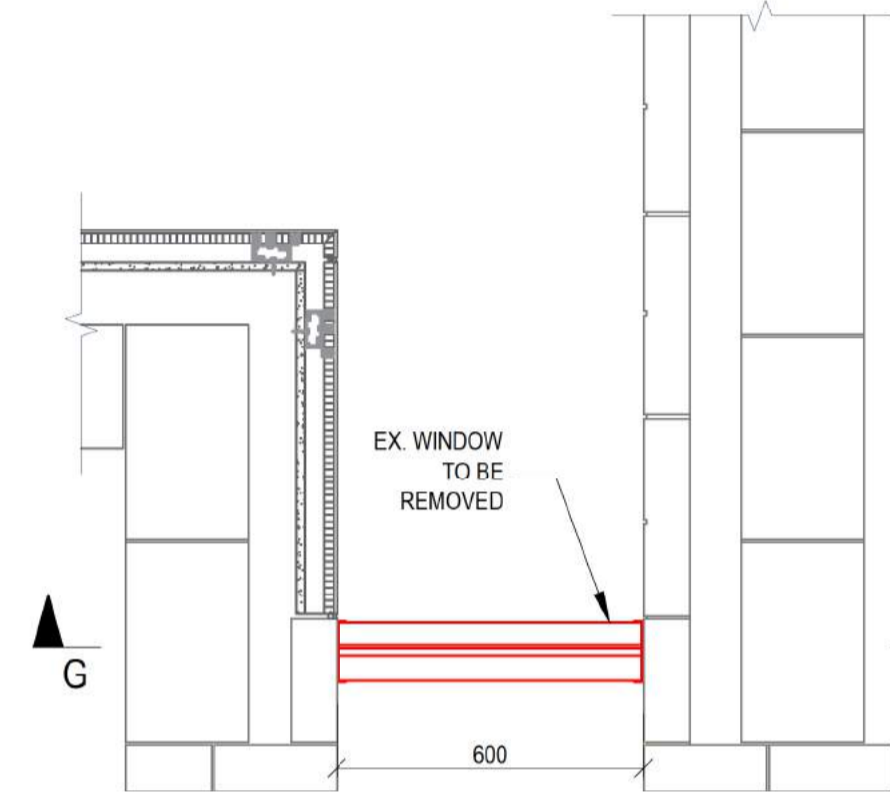
EX. MIDDLE WINDOW PLAN VIEW



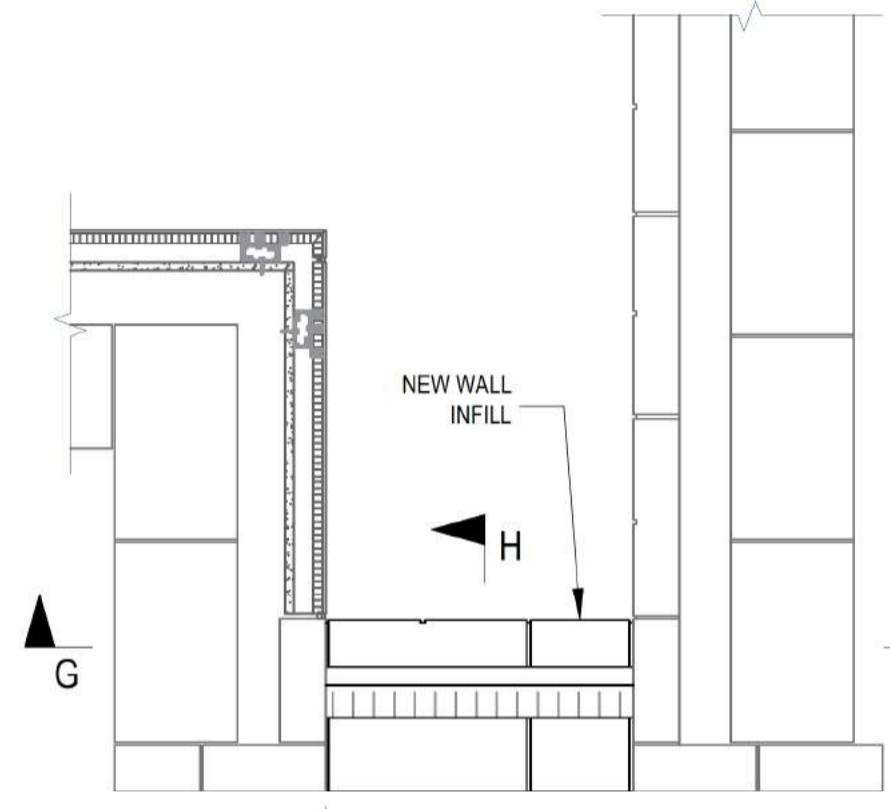
NEW MIDDLE WINDOW PLAN VIEW



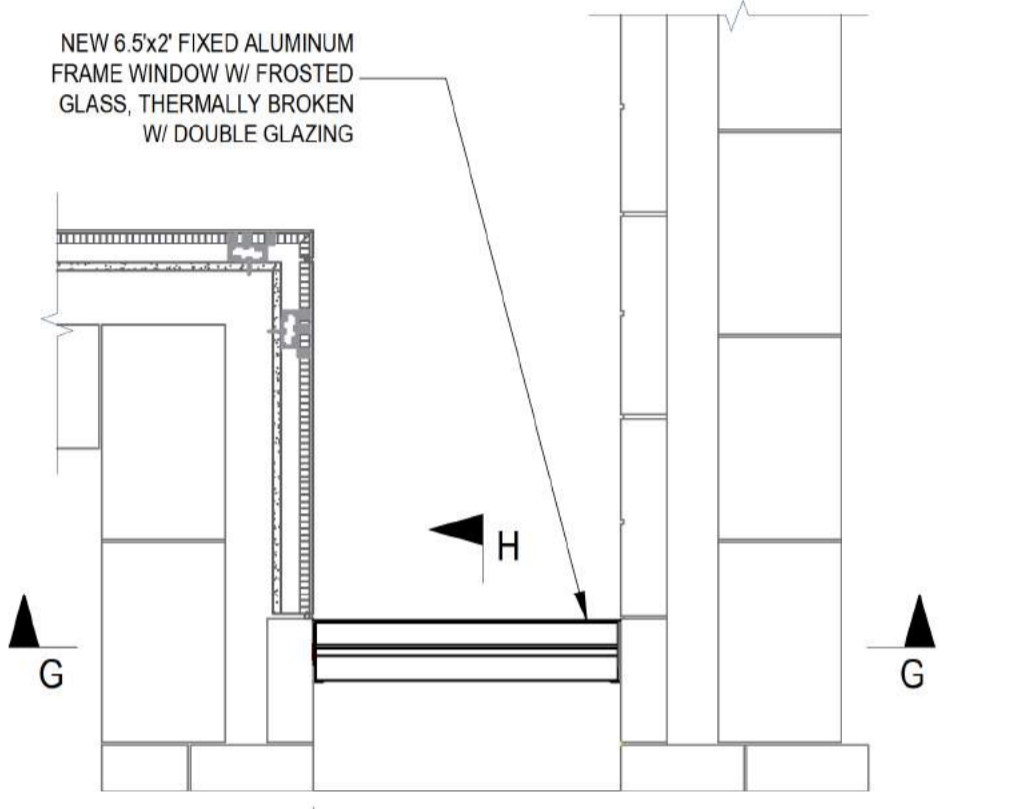
SECTION F-F



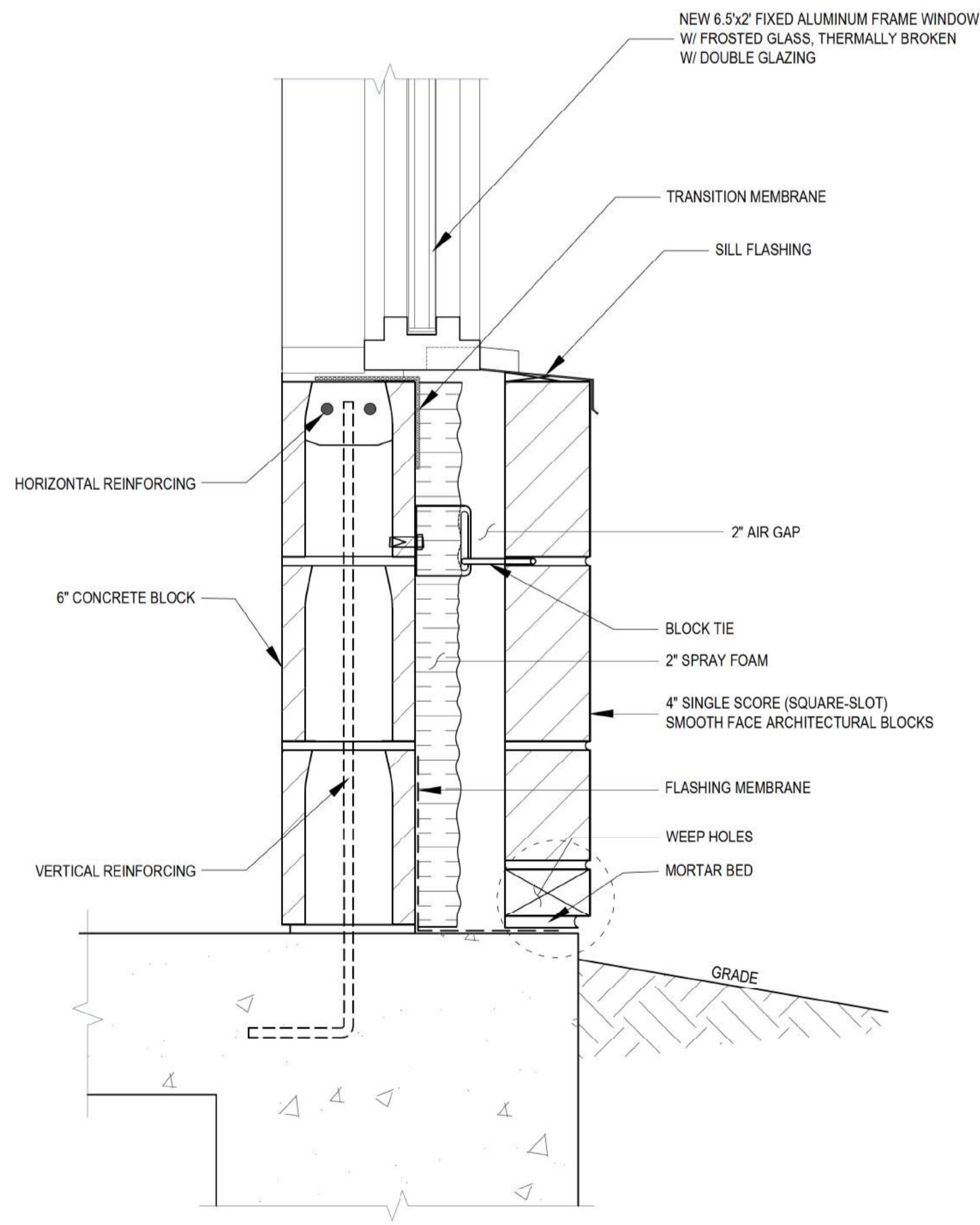
EX. SIDE WINDOW PLAN VIEW (TYP.)



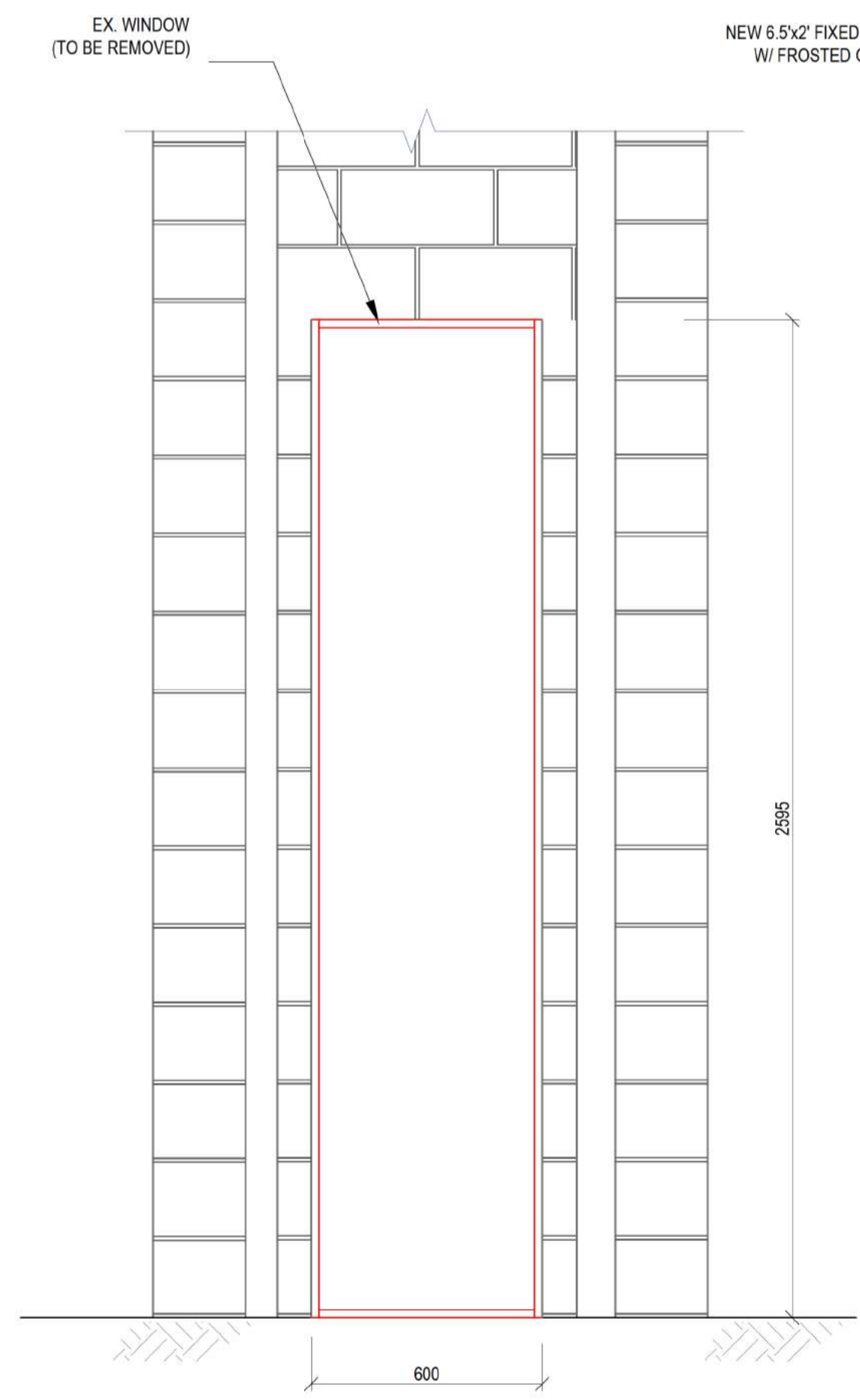
NEW BLOCK WALL INFILL PLAN VIEW



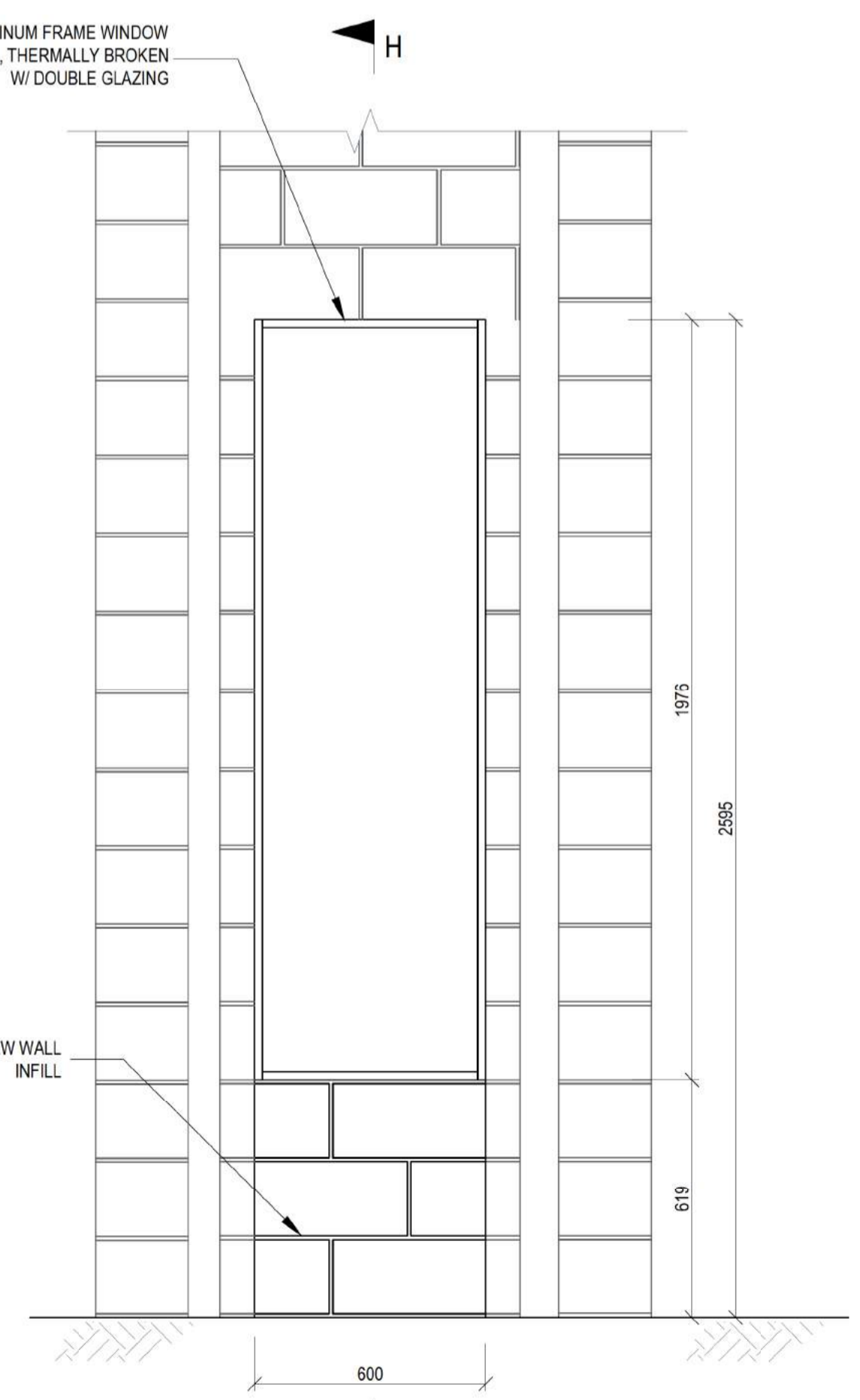
NEW SIDE WINDOW PLAN VIEW (TYP.)



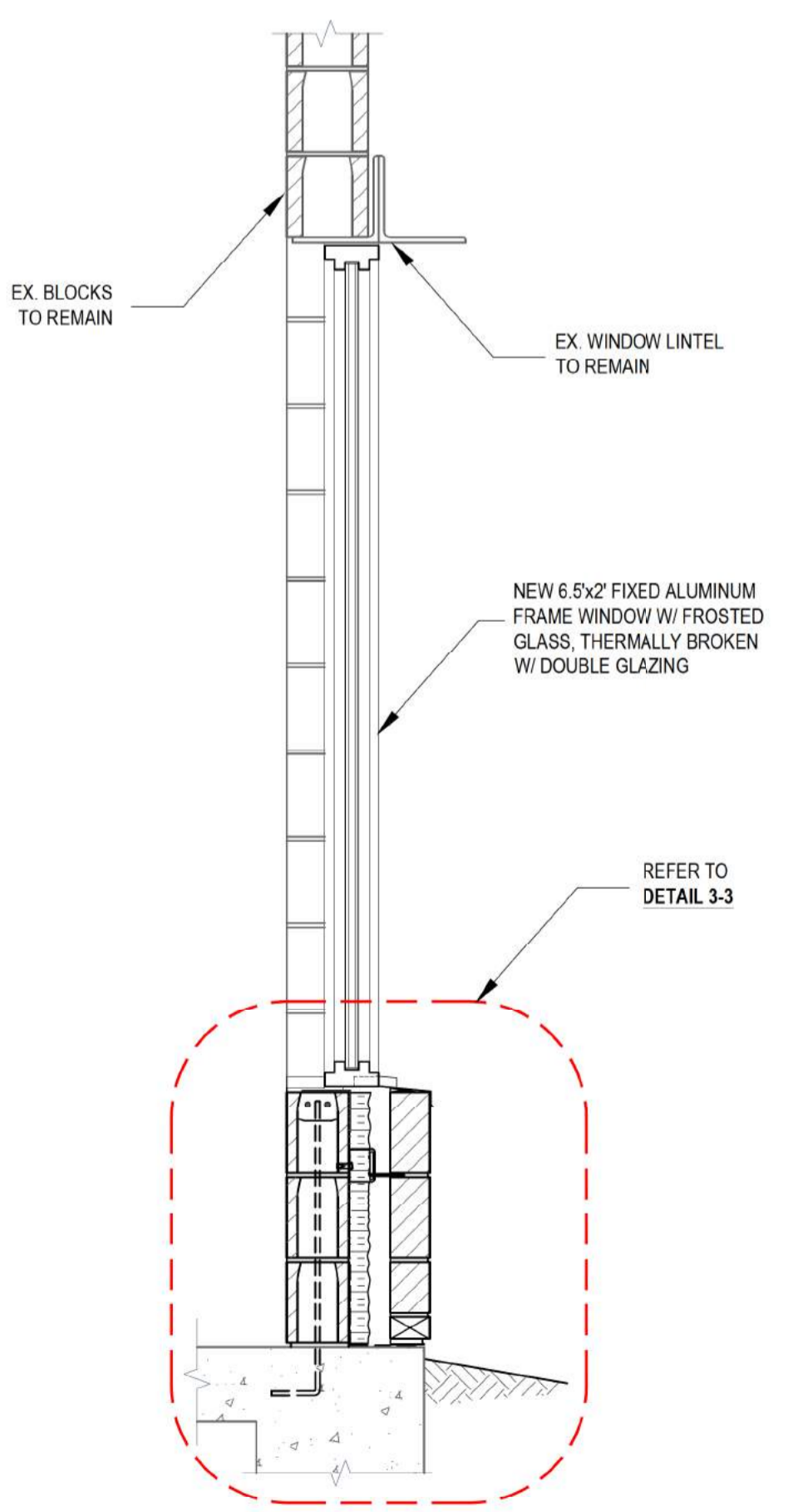
DETAIL 3-3



SECTION G-G (EXISTING)



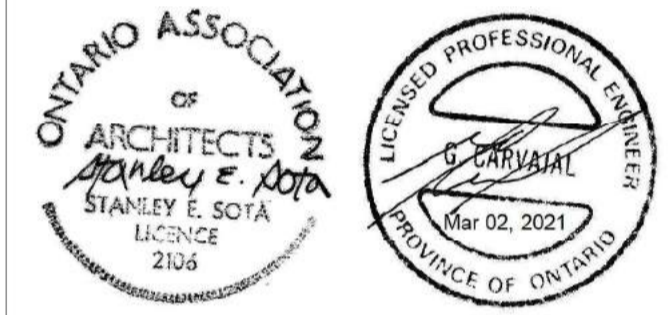
SECTION G-G (NEW)



SECTION H-H



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ARCHITECTURAL & STRUCTURAL  
GORD & IRENE ARENA  
NEW WINDOW DETAILS

G01-11



KEY PLAN

LEGEND:

- EX. CEILING LOUVER
- EX. 1'x4' LIGHT FIXTURES
- LIMIT OF EX. CEILING TO BE REMOVED
- EX. SUPPLY DIFFUSER

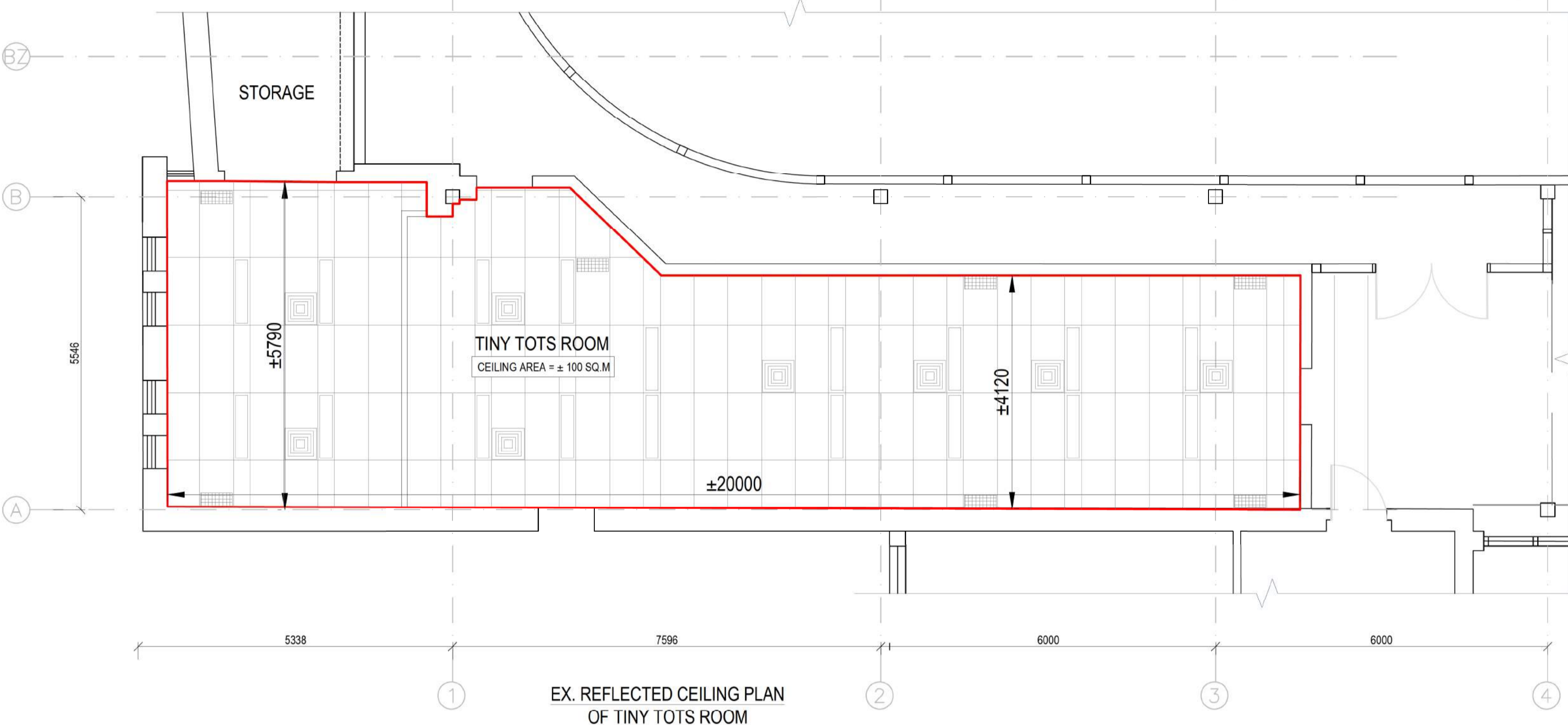
MATERIAL ABBREVIATION

PT-1	PAINT COLOUR AS PER APPROVED SAMPLES
POR-1	PORCELAIN TILE SIZE #1 610mmx610mm [24"x24"]
POR-2	PORCELAIN TILE SIZE #2 305mmx305mm [12"x12"]
C-1	CEILING TILES SIZE #1 2'x2'
C-2	CEILING TILES SIZE #2 2'x4'

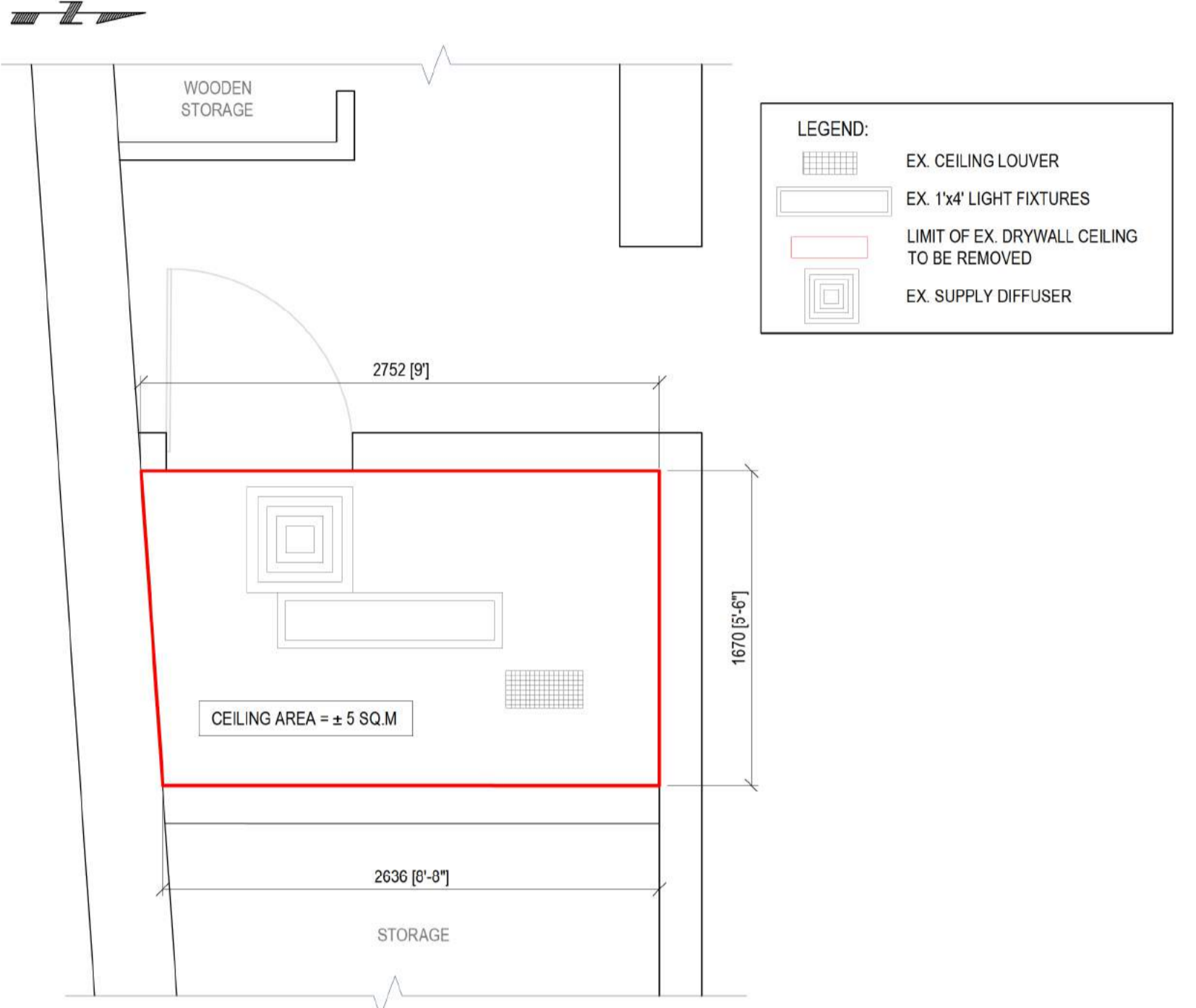
ROOM FINISH SCHEDULE

ROOM LOCATION	FLOOR MATERIAL	BASE TYPE	WALLS					CEILING		
			NORTH	EAST	SOUTH	WEST	TOTAL AREA (SQ.M)	AREA (SQ.M)		
WASHROOM	POR-2	5	POR-2	PT-1	PT-1	PT-1	PT-1	30	C-2	5
TINY TOTS	POR-1	100	POR-1	PT-1	PT-1	PT-1	PT-1	180	C-1	100
STORAGE ROOM	POR-1	15	POR-1	PT-1	PT-1	PT-1	PT-1	45	PT-1	15
BOCCE LOUNGE	-	-	-	-	-	-	-	-	C-1	85
VIEWING AREA	-	-	-	PT-1	PT-1	PT-1	PT-1	2000	PT-1	300

NOTE: SAMPLES TO BE PROVIDED FOR APPROVAL.



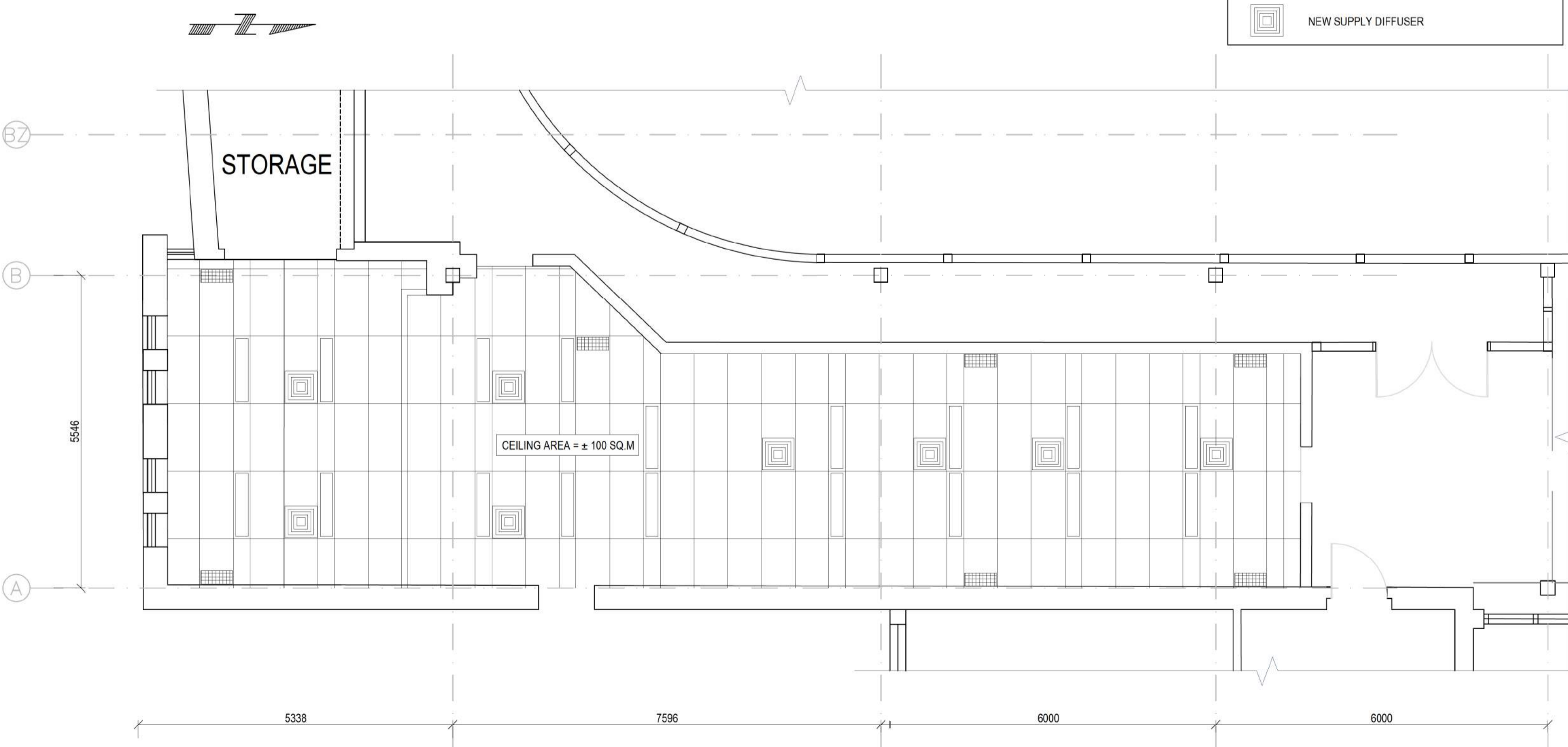
EX. REFLECTED CEILING PLAN OF TINY TOTS ROOM



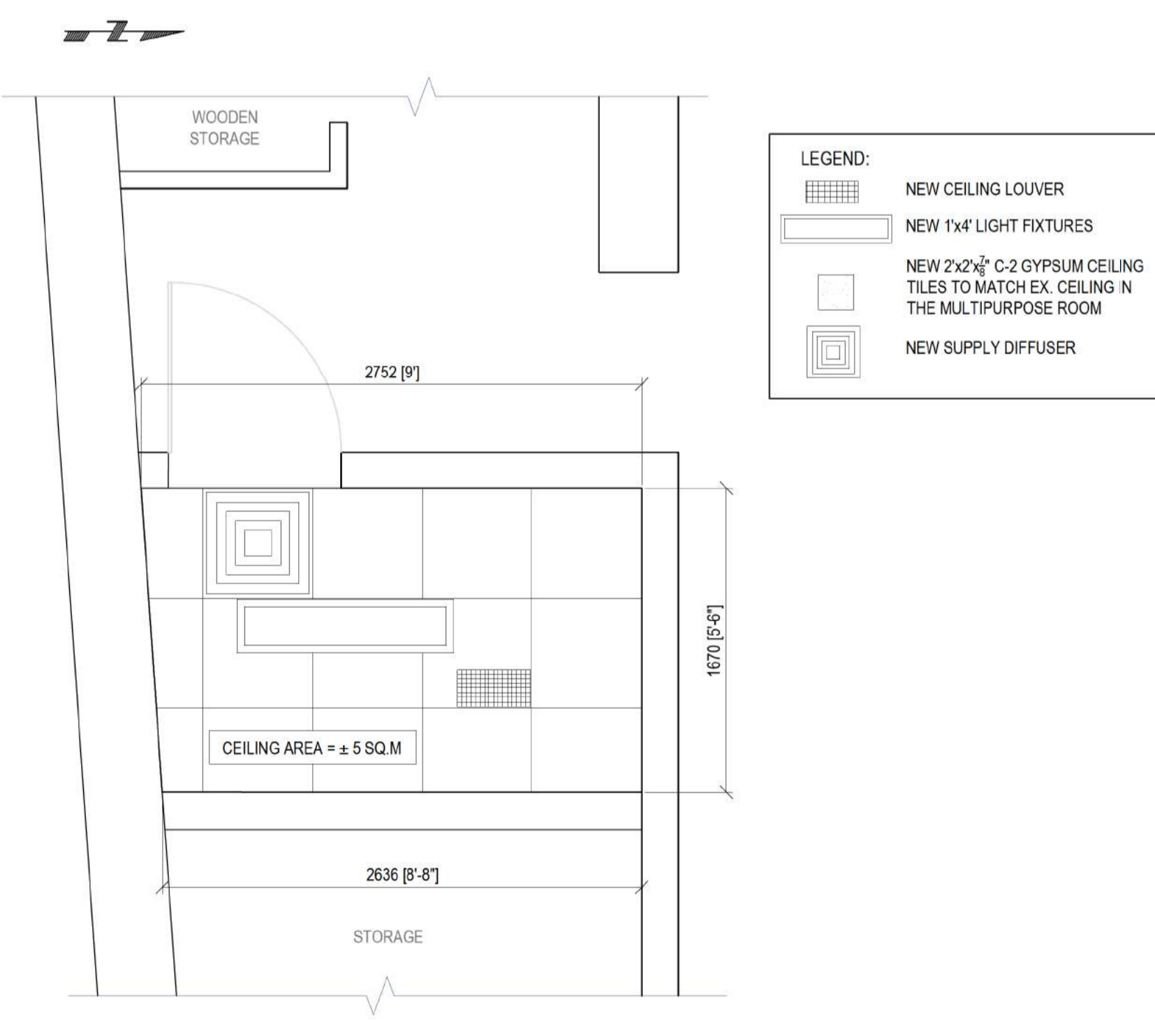
EX. WASHROOM CEILING PLAN

LEGEND:

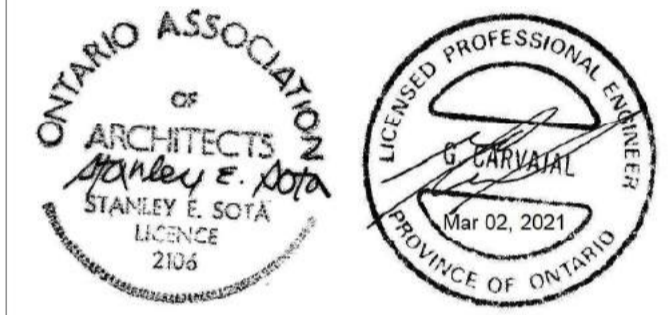
- NEW LOUVER
- NEW 1'x4' LIGHT FIXTURES
- NEW 2'x2' C-1 GYPSUM CEILING TILES TO MATCH EX. CEILING IN THE MULTIPURPOSE ROOM
- NEW SUPPLY DIFFUSER



NEW REFLECTED CEILING PLAN OF TINY TOTS ROOM



NEW WASHROOM CEILING PLAN



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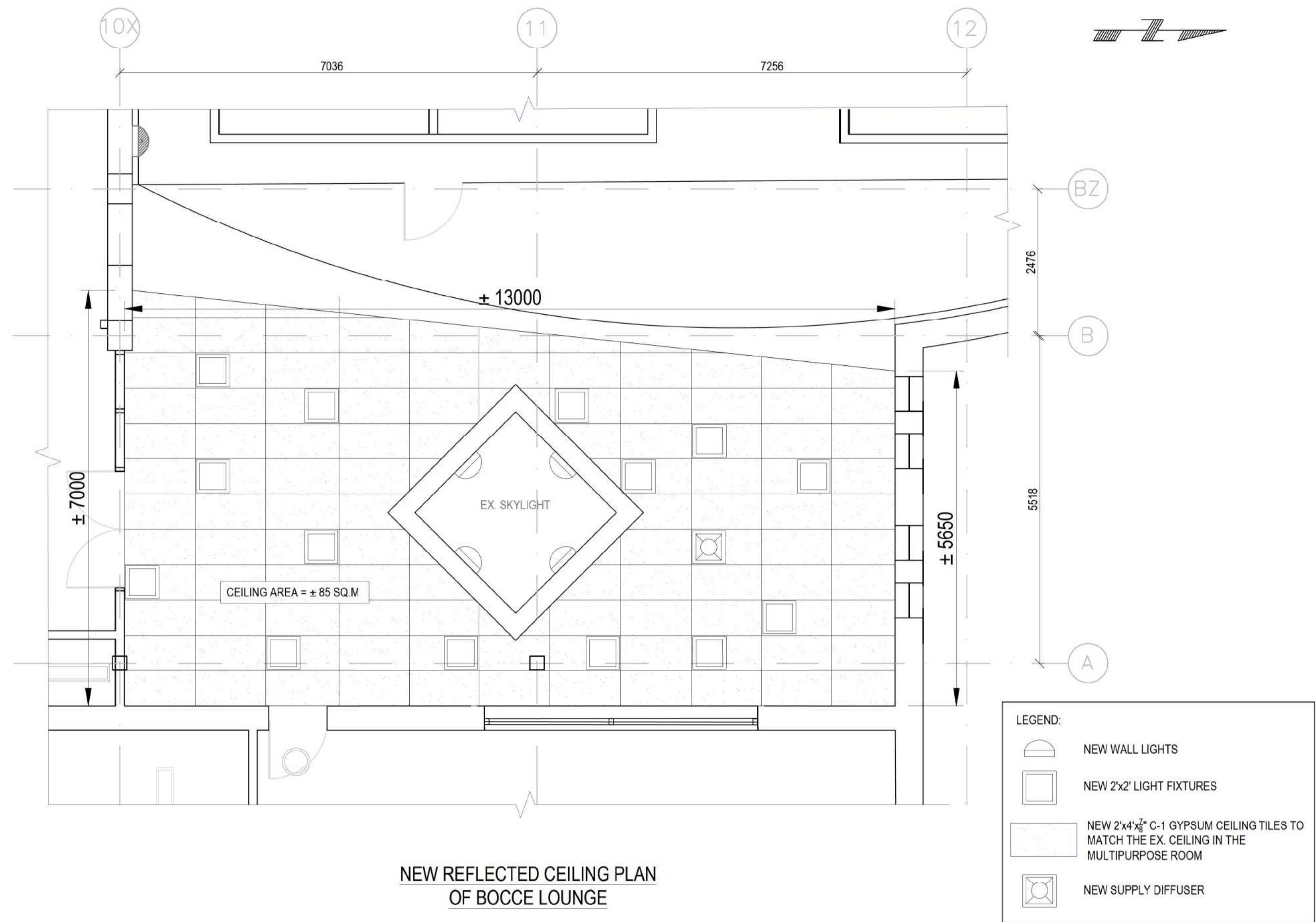
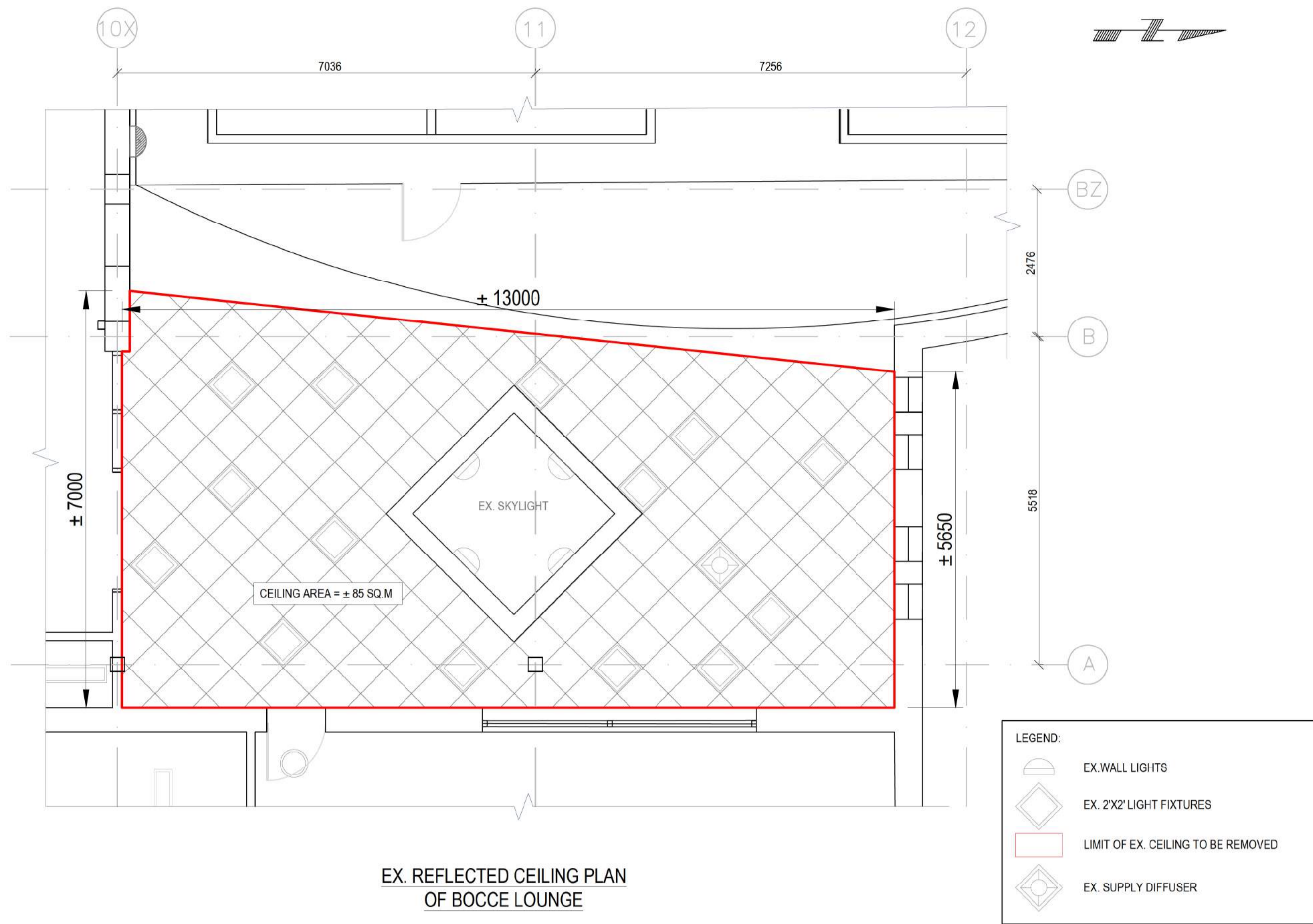
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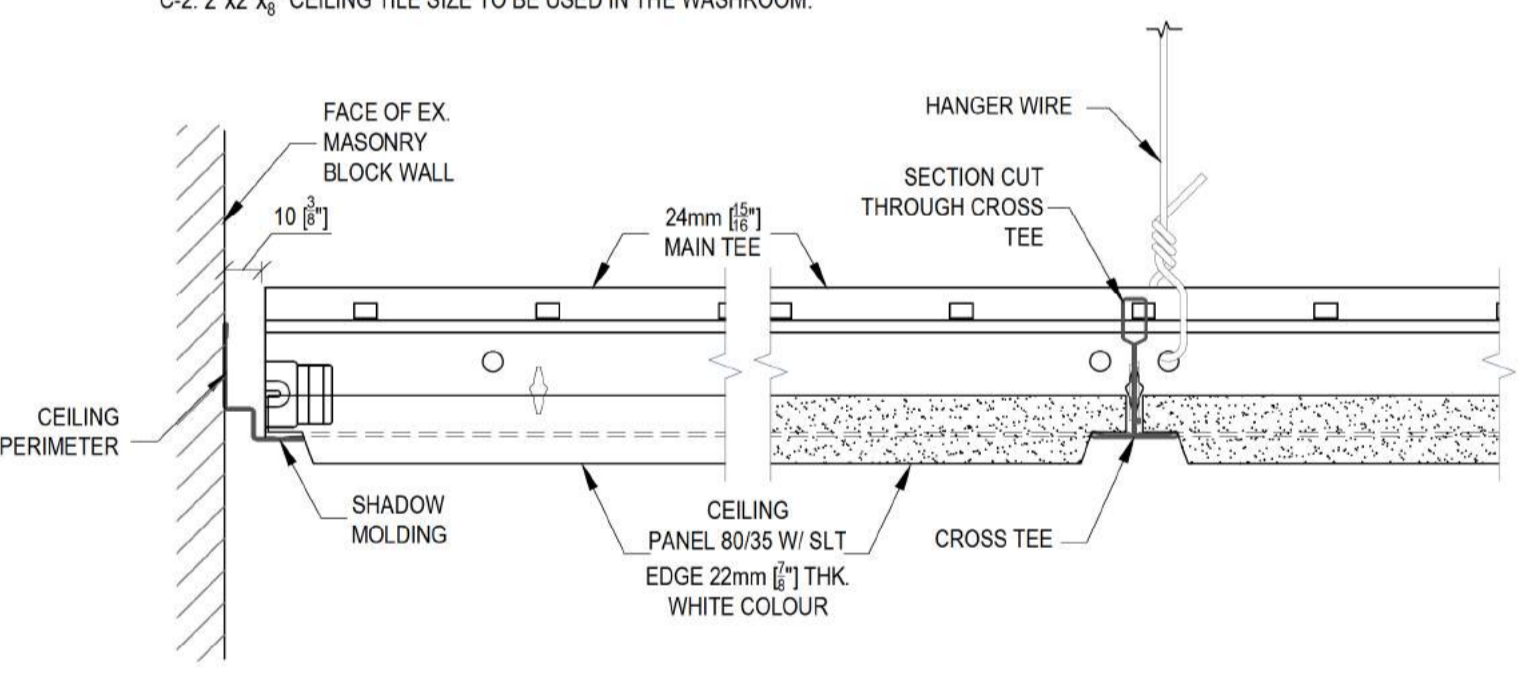
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ARCHITECTURAL & STRUCTURAL  
 GORD & IRENE ARENA  
 REFLECTED CEILING PLAN

G01-12



**C-1 & C-2 CEILING**  
 C-1: 2'x4' CEILING TILE SIZE TO BE USED IN THE BOCCO LOUNGE AND TINY TOTS ROOM.  
 C-2: 2'x2' CEILING TILE SIZE TO BE USED IN THE WASHROOM.



**NOTE:**  
 CEILING TILES SHALL BE MARS HIGH-NRC CEILING PANELS 80/35 W/ SLT EDGE 22mm THK - WHITE



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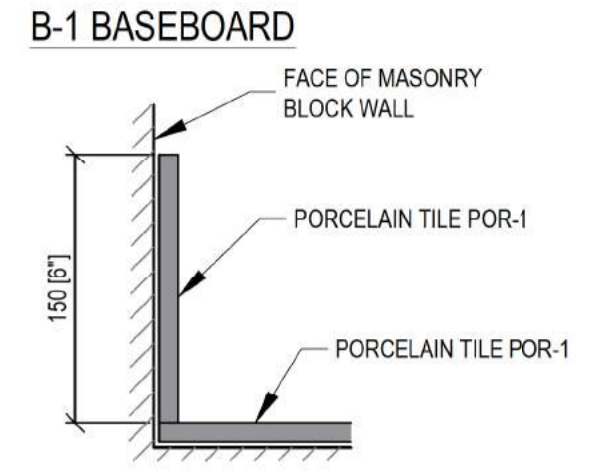
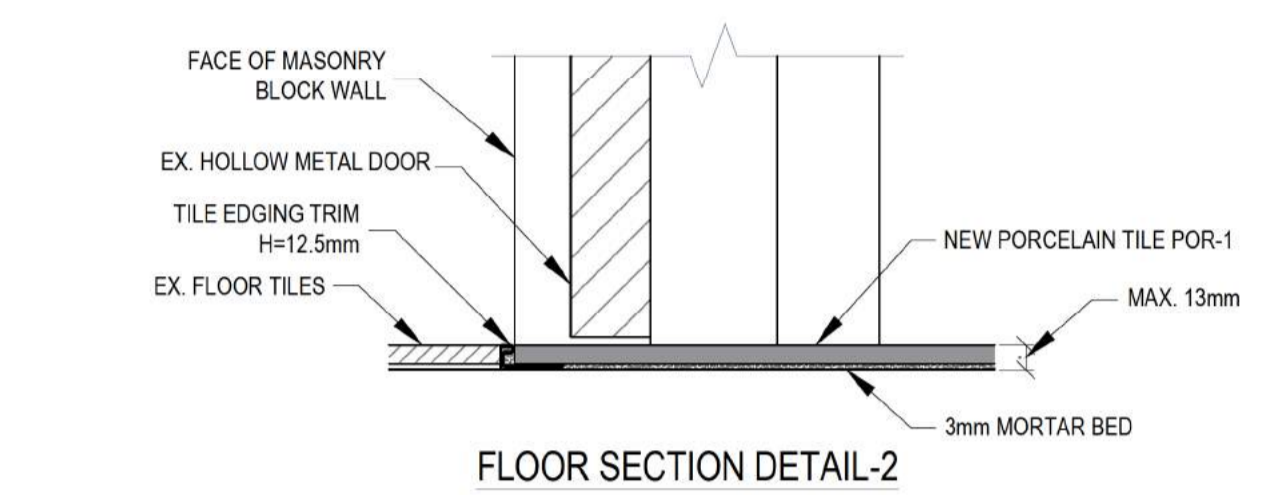
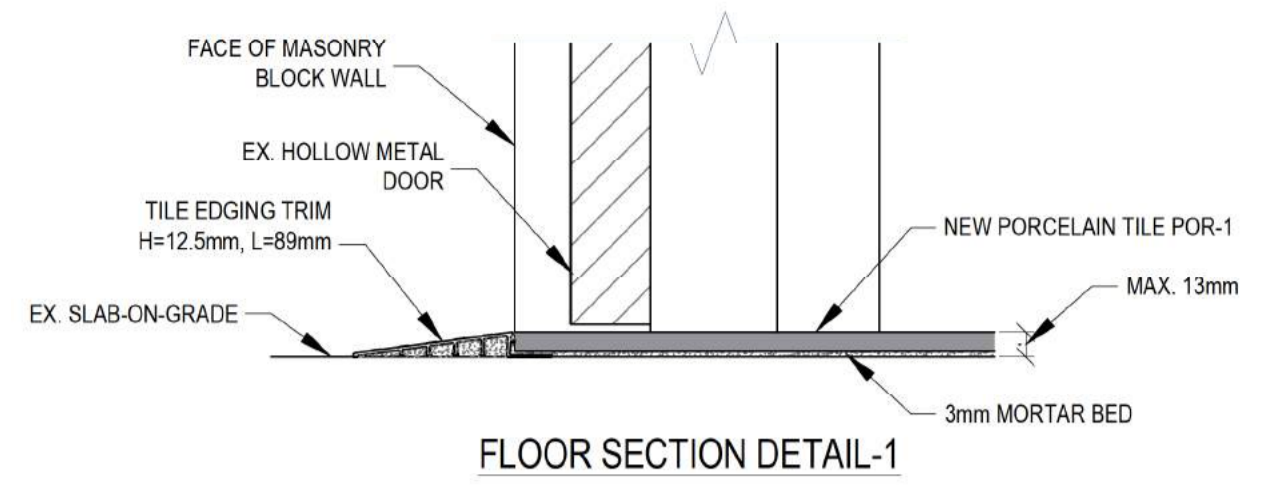
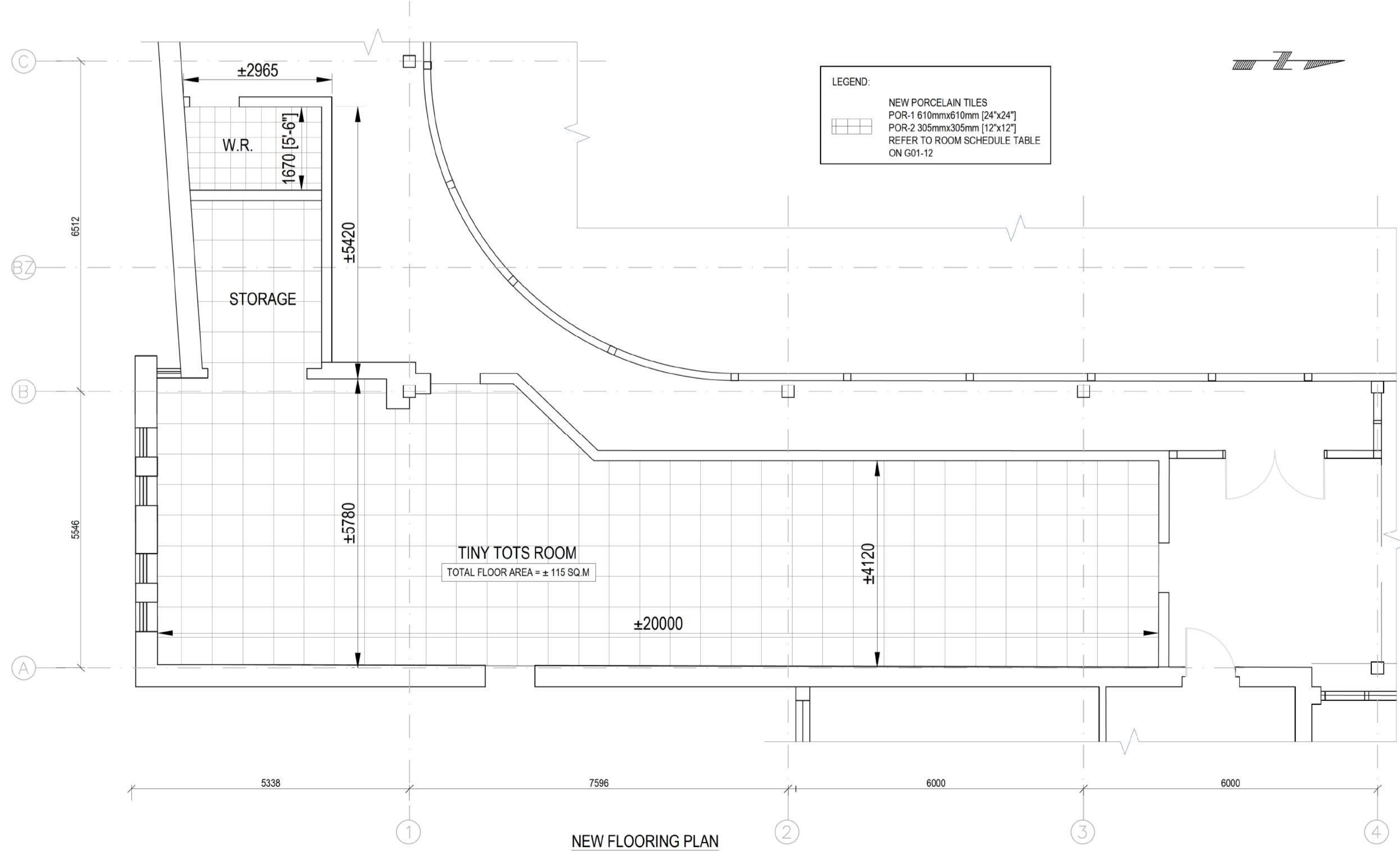
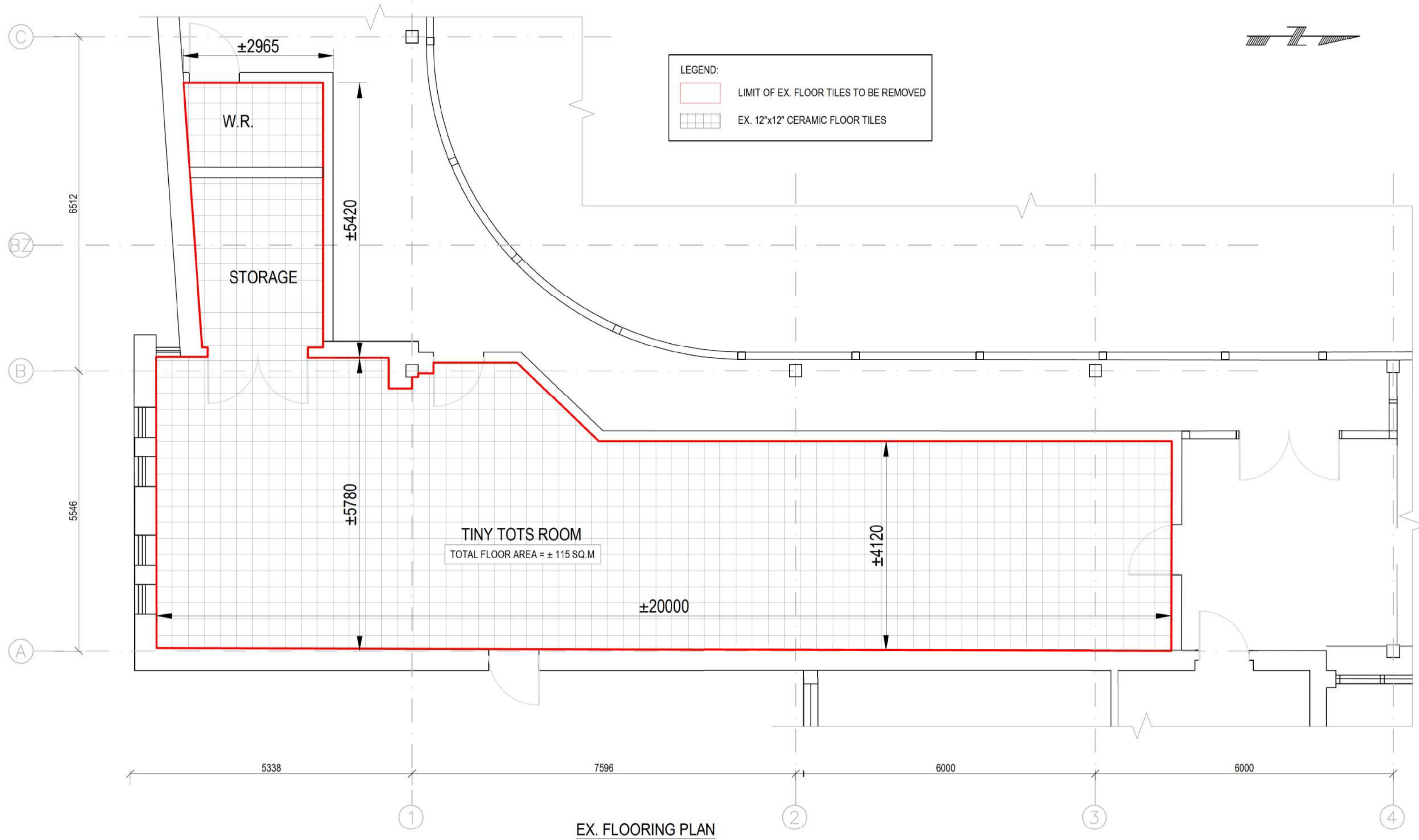
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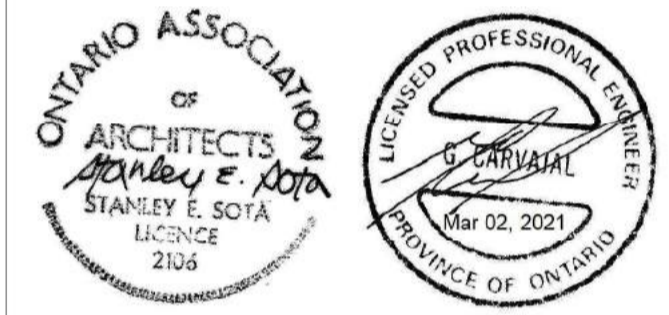
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ARCHITECTURAL & STRUCTURAL  
 GORD & IRENE ARENA  
 REFLECTED CEILING PLAN

**G01-13**



**NOTE:**  
 - TILE EDGING TRIM SHALL BE RENO-RAMP-K BY SCHLUTER AND SHALL BE INSTALLED BETWEEN NEW FLOOR COVERING AND BARE CONCRETE WHERE THE HEIGHT DIFFERENCE BETWEEN THE TWO SURFACES IS MORE THAN 13mm.  
 - TILE EDGING TRIM SHALL BE DECO BY SCHLUTER AND SHALL BE INSTALLED AT TRANSITIONS FROM TILE COVERINGS TO OTHER SAME HEIGHT SURFACE COVERING.



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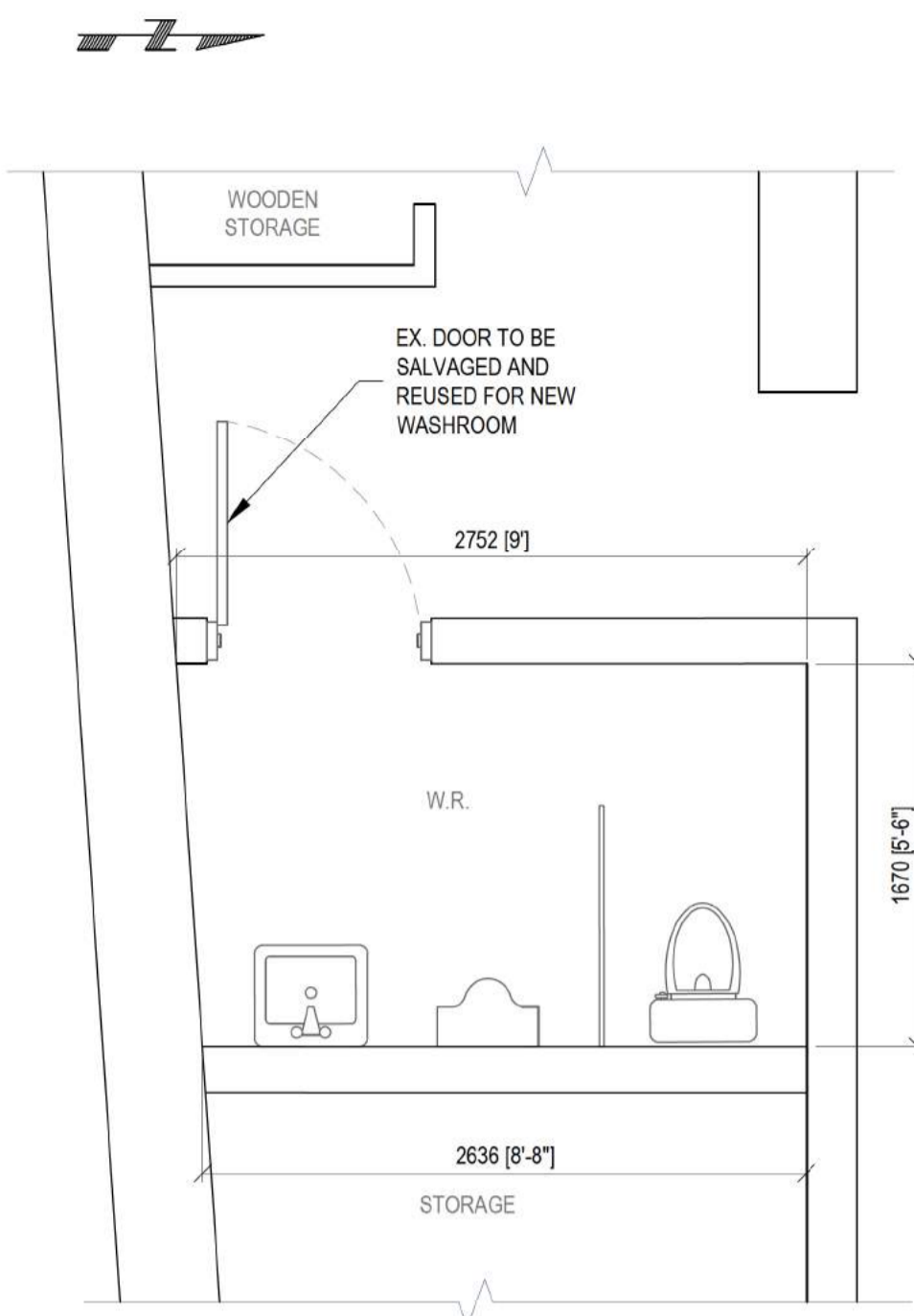
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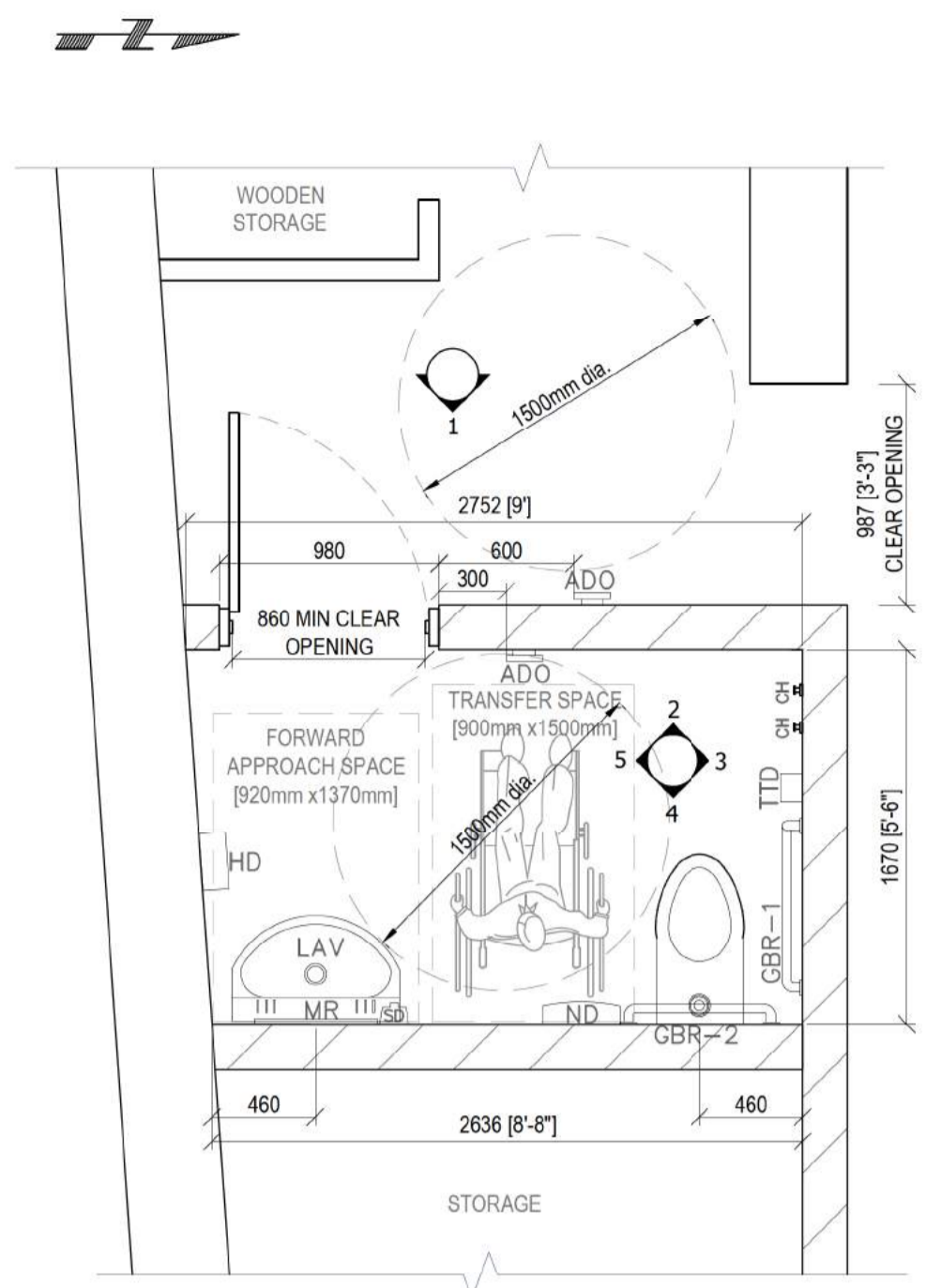
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ARCHITECTURAL & STRUCTURAL  
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 FLOORING PLAN

**G01-14**



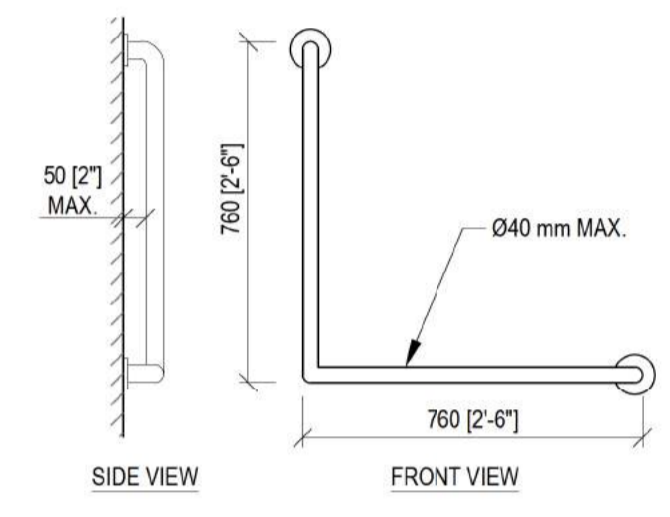
EX. WASHROOM FLOOR PLAN



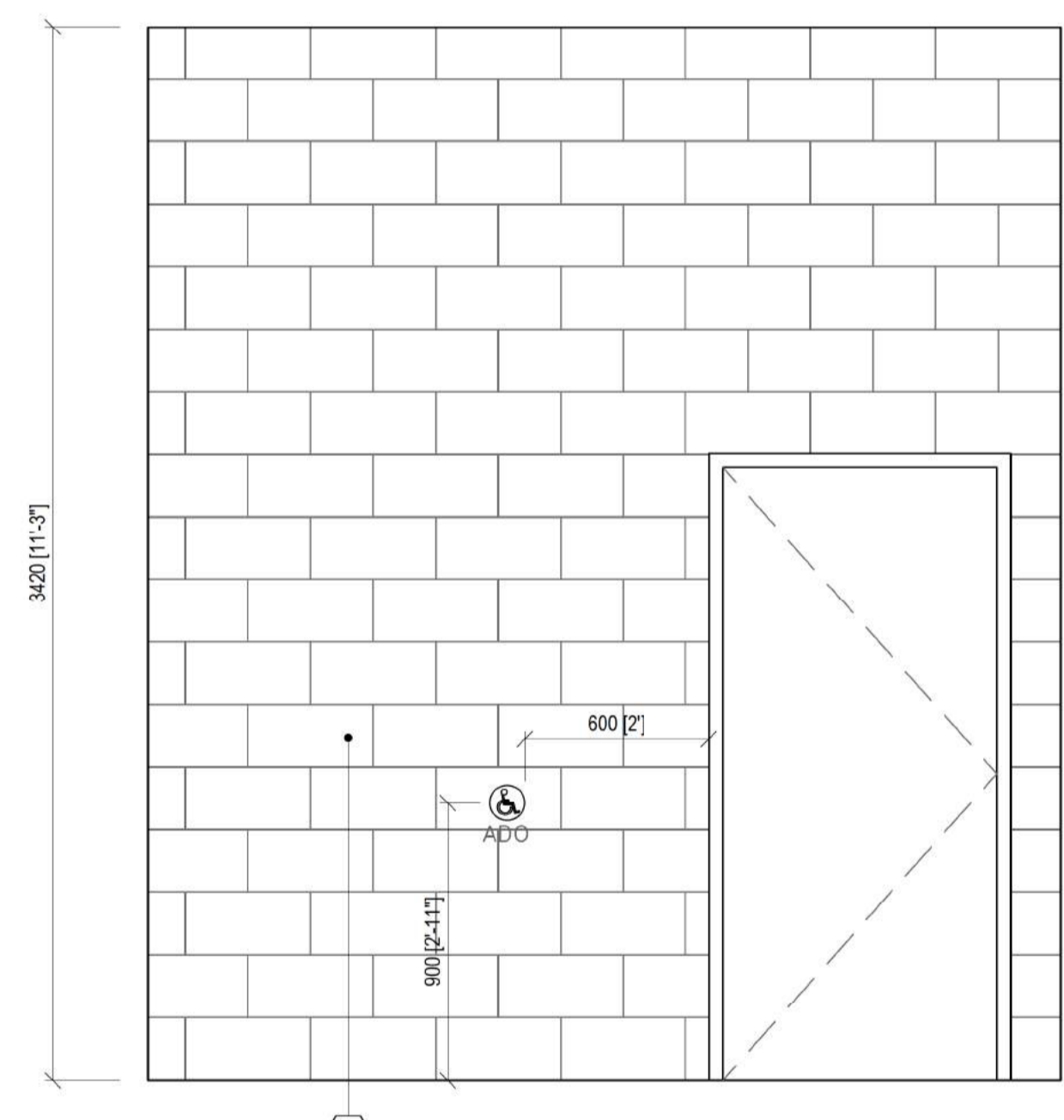
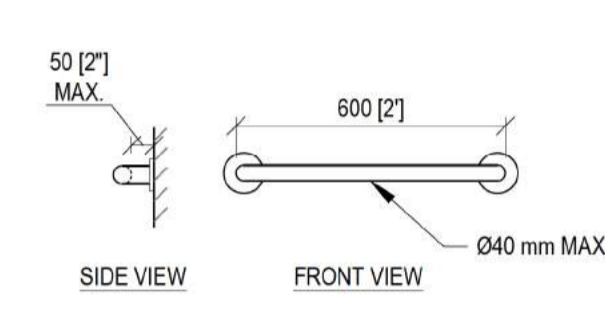
NEW. BARRIER-FREE WASHROOM FLOOR PLAN

MATERIAL ABBREVIATION	
ADO	AUTOMATIC DOOR OPERATOR
B-1	BASEBOARD TYPE 1
CH	COAT HOOK
GBR-1	L-SHAPED GRAB BAR
GBR-2	GRAB BAR
HD	HAND DRYER
LAV	BARRIER FREE SINK
MR	MIRROR
ND	SANITARY NAPKIN DISPENSER
PT-1	PAINT COLOUR 1
SD	SOAP DISPENSER
TTD	TOILET PAPER DISPENSER DOUBLE ROLL

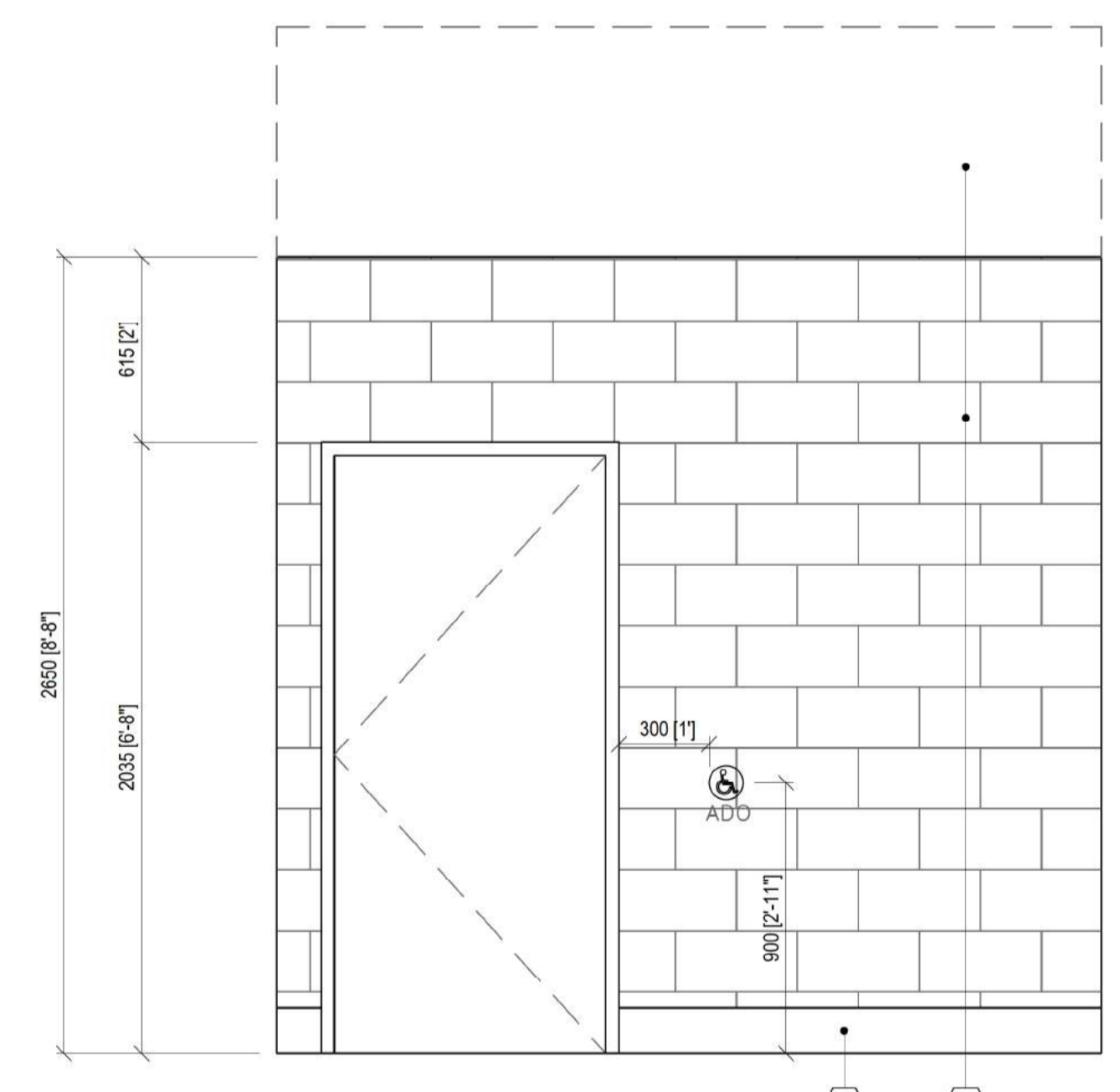
GBR-1 L-SHAPED GRAB BAR



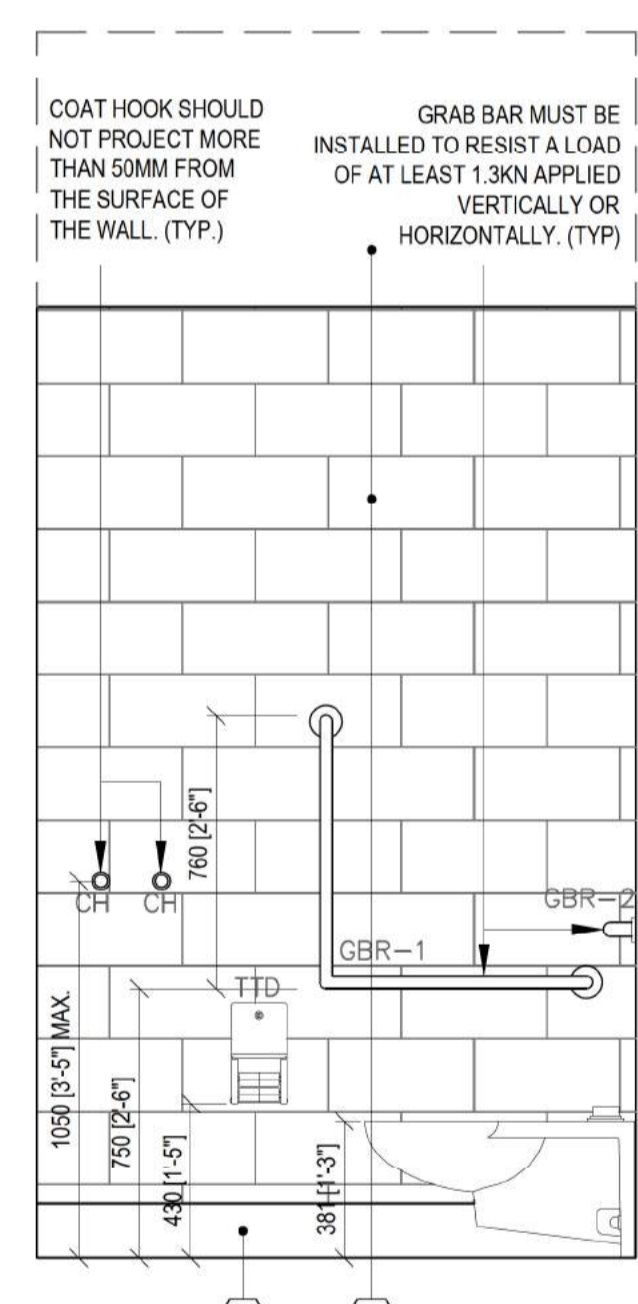
GBR-2 GRAB BAR



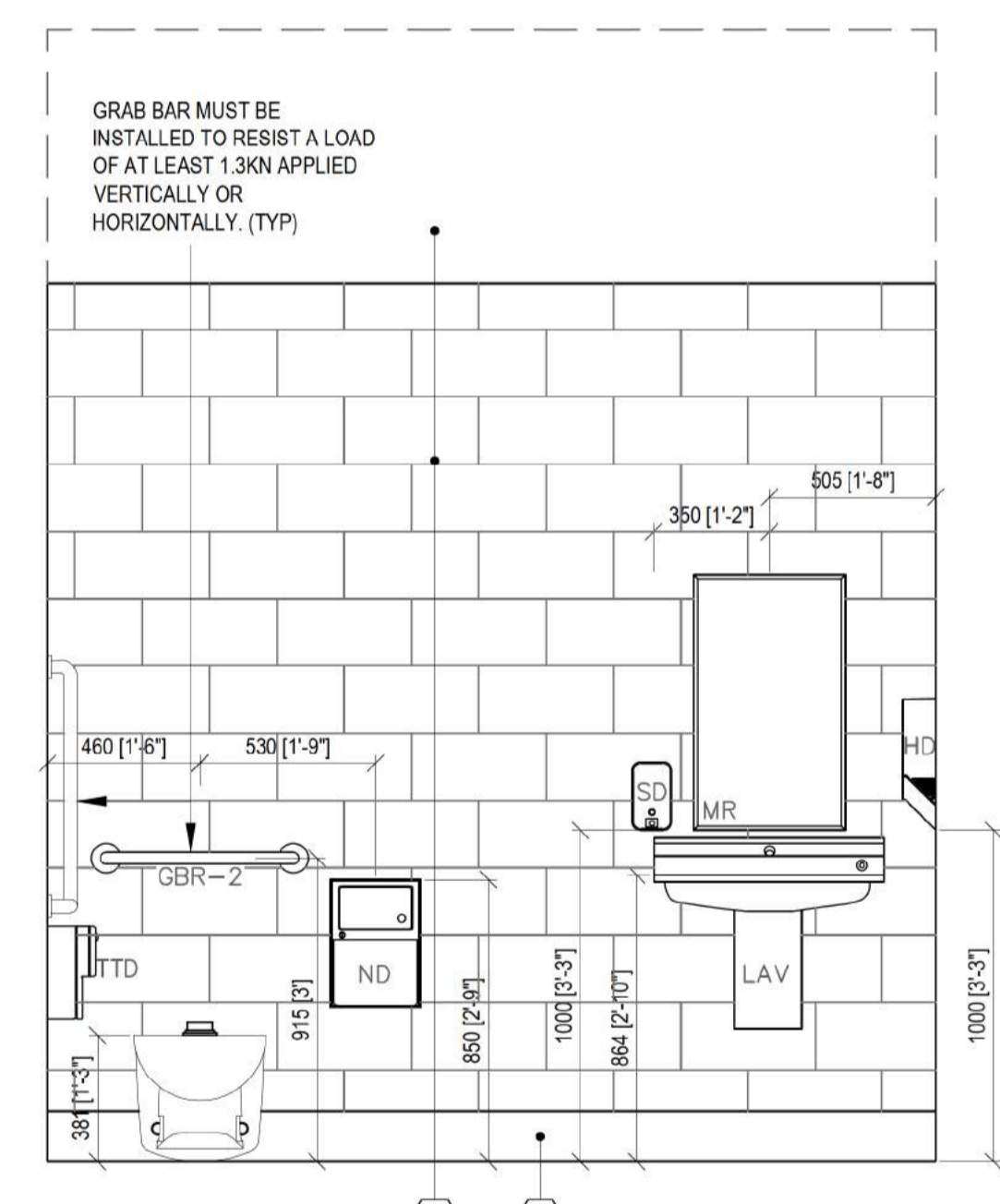
WASHROOM EXTERIOR EAST WALL ELEVATION (ELEVATION-1)



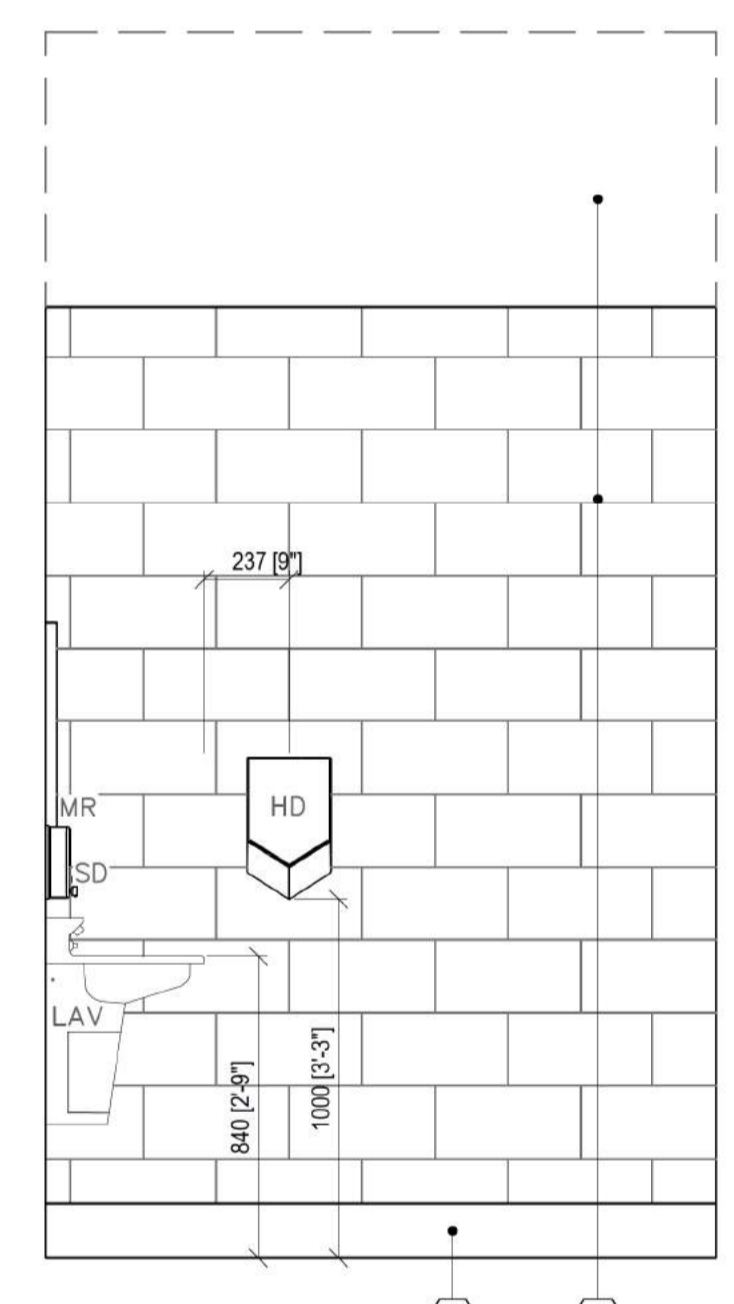
WASHROOM INTERIOR WEST WALL ELEVATION (ELEVATION-2)



WASHROOM INTERIOR NORTH WALL ELEVATION (ELEVATION-3)



WASHROOM INTERIOR EAST WALL ELEVATION (ELEVATION-4)



WASHROOM INTERIOR SOUTH WALL ELEVATION (ELEVATION-5)



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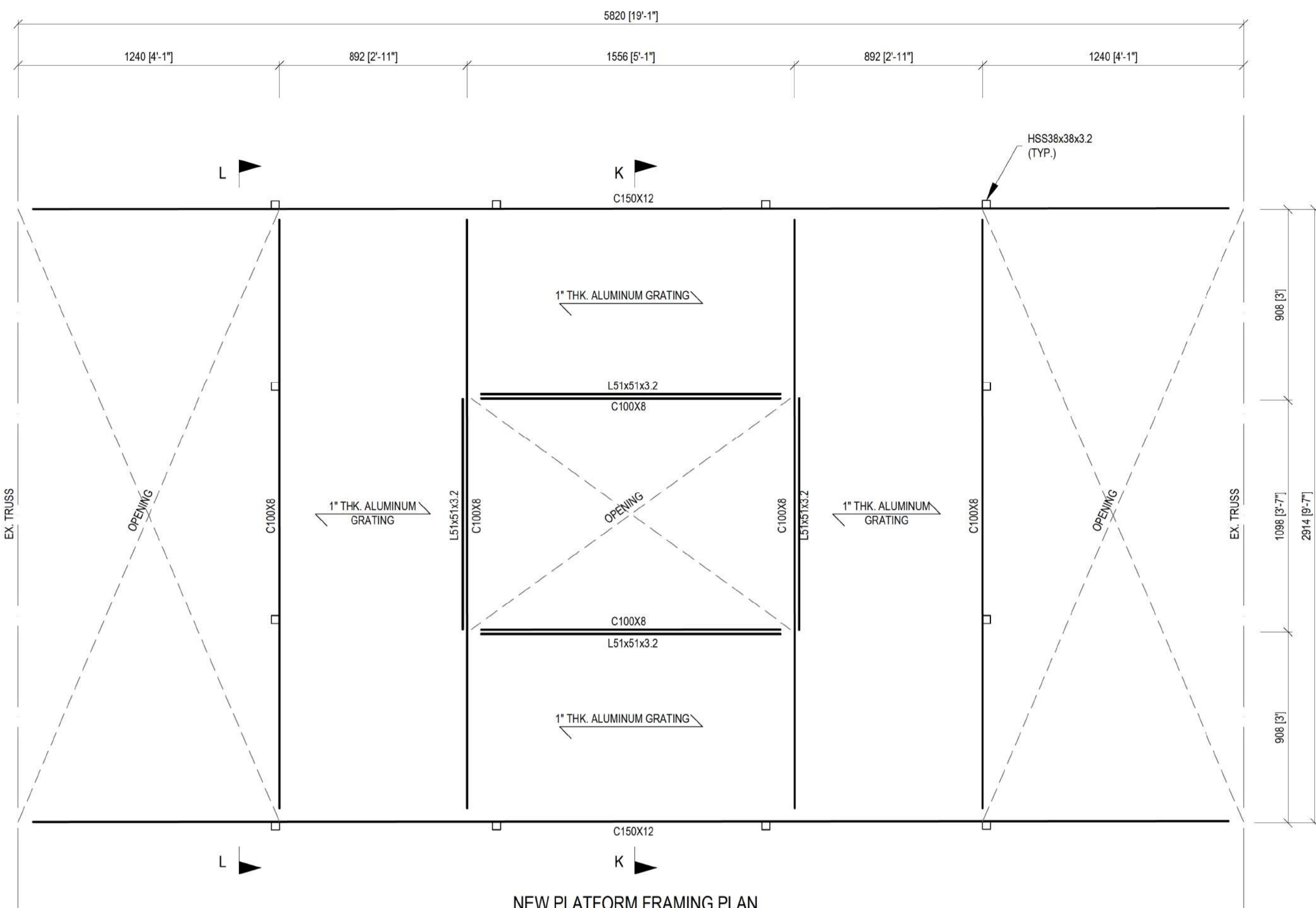
**CSE**  
STRUCTURAL FORENSIC & REHABILITATION SERVICES  
Barrie - 36 Macmillan Crescent, Barrie, (ON) L4N 7H1  
Toronto - 701-1120 Finch Ave W, North York, (ON) M3J 3H7  
Phone: 416 876 4357 Fax: 705 725 9649, 416 393 2634

GORD & IRENE RISK  
COMMUNITY CENTRE  
2650 FINCH AVE W.  
NORTH YORK, ONTARIO

DATE: JAN 20, 2021 DRAWN BY: YA/JC  
SCALE: PROJECT NO. 2113

ARCHITECTURAL & STRUCTURAL  
GORD & IRENE ARENA  
NEW WASHROOM DETAILS

**G01-15**

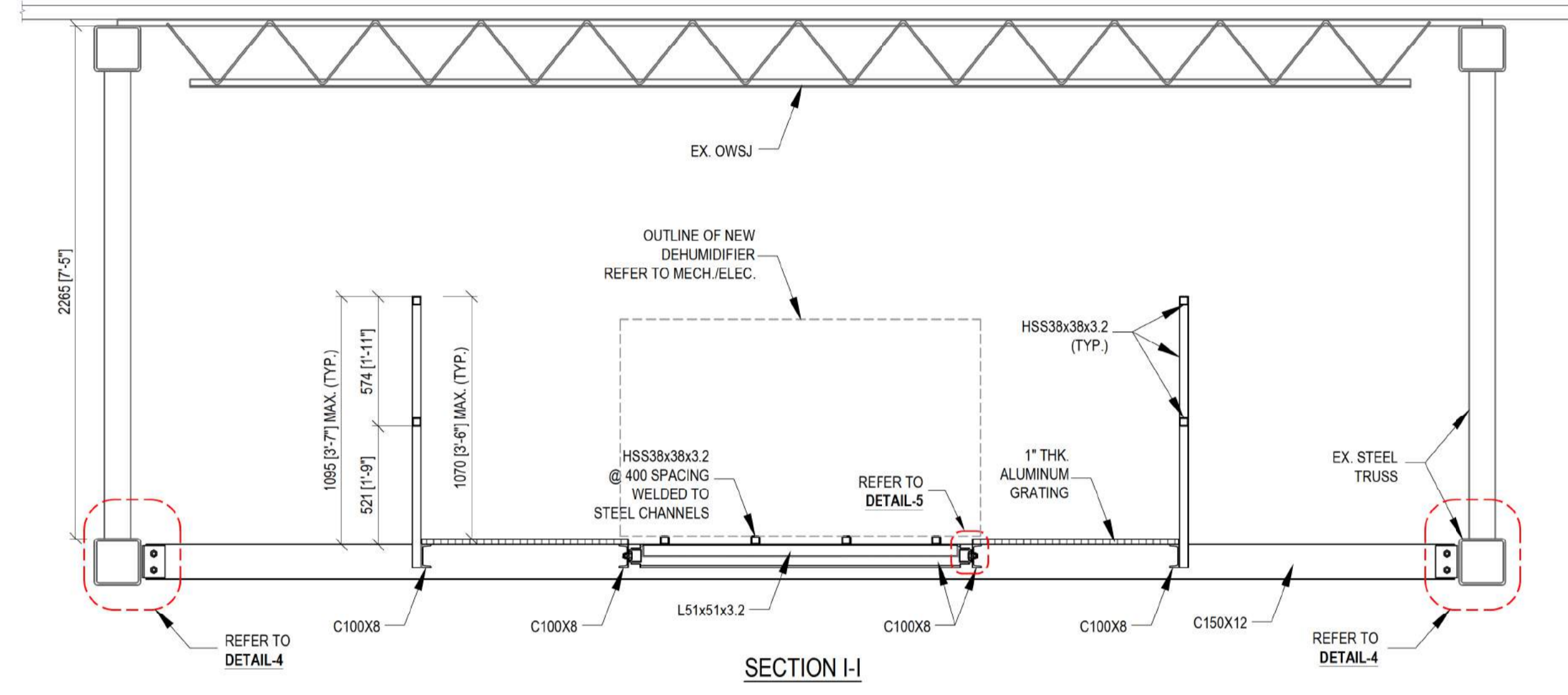


NEW PLATFORM FRAMING PLAN

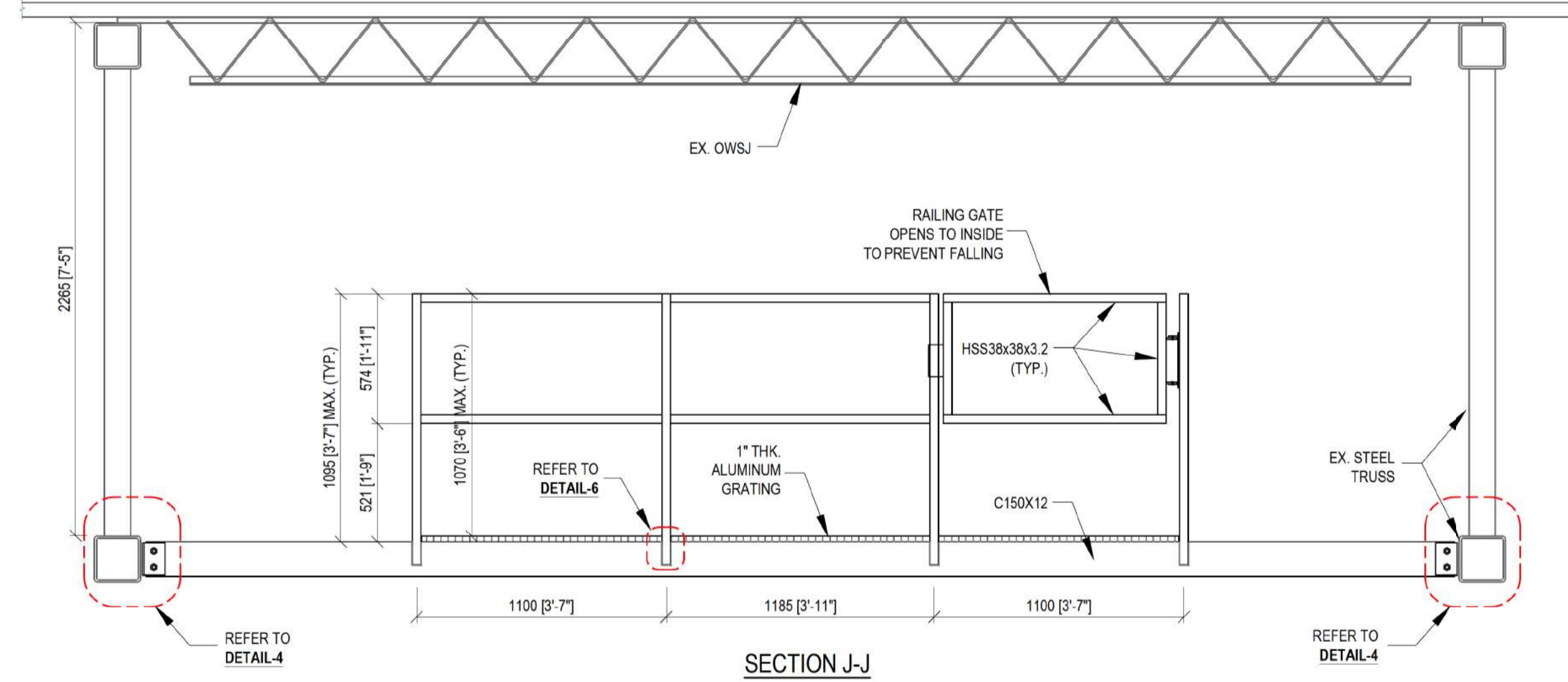
DESCRIPTIVE PROCEDURE FOR AREA 5		
RECOMMENDED REPAIRS AND REMOVAL PROCEDURE FOR STRUCTURAL FRAMING SUPPORTING THE DEHUMIDIFIER AREA (5)		
ITEM	TASK	DESCRIPTION OF ACTIVITY
1.0	PROTECT EXISTING SURFACES	PROTECT ICE RINK FLOORS. ANY DAMAGE TO THE SURROUNDING SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO EXTRA COST TO CONTRACT.
2.0	ERECT SCAFFOLDING FOR REPAINT AND REMOVALS	INSTALL SCAFFOLDING TO ALLOW FOR COMPLETE ACCESS TO ALL STEEL STRUCTURE (BEAMS AND ANGLES) TO BE REPAINTED OR REMOVED. SCAFFOLDING TO BE DESIGNED BY OTHERS. SUBMIT SHOP DRAWINGS. SHOPDRAWINGS TO BE SIGNED & SEALED FOR CONNECTIONS.
3.0	PROTECT ALL MECHANICAL AND ELECTRICAL SYSTEMS AND ALLOW FOR TEMPORARY SUPPORT/RELOCATIONS	TO PERFORM THE REQUIRED REMOVAL, CLEANING, REPAIR AND RE-PAINTING OF THE EXISTING STRUCTURAL STEEL, DISCONNECTS, TEMPORARY SUPPORTING WILL BE REQUIRED TO MOVE THE HARDWARE OUT OF THE WAY. RE-INSTATE SYSTEM BACK TO THE ORIGINAL LOCATIONS AFTER WORK IS COMPLETED.
4.0	CONFIRMATION OF PAINT COMPATIBILITY	ESTABLISH CONTACT WITH PPG PAINT MANUFACTURER. HAVE MANUFACTURER VISIT THE SITE AND CONFIRM THAT THE SPECIFIED PAINT IS COMPATIBLE WITH THE EXISTING CONDITIONS. OBTAIN WARRANTY INFORMATION AND ANY OTHER RECOMMENDATIONS AND SUBMIT TO THE CITY FOR APPROVAL. PAINT COLOR AS PER APPROVED SAMPLES.
5.0	COMPLETE REMOVAL & DISPOSAL OF EXISTING SUPPORT FRAMES AND INSTALL NEW REMOVE SCAFFOLDING & CLEAN-UP	COMPLETELY REPLACE BOTH SUPPORT FRAMES. PROVIDE COMPLETE SHOP-DRAWINGS. PAINT NEW SUPPORT FRAMES TO MATCH EXISTING.
6.0	COMPLETE REMOVAL & DISPOSAL OF EXISTING SUPPORT FRAMES AND INSTALL NEW REMOVE SCAFFOLDING & CLEAN-UP	ONCE ALL WORK IS COMPLETE AND HAS BEEN REVIEWED BY THE ENGINEER, REMOVE ALL SCAFFOLDING WITHIN THE ARENA. CLEAN UP SITE AND PREPARE FOR FINAL INSPECTIONS FROM ENGINEER AND ASSOCIATED SIGN-OFFS.



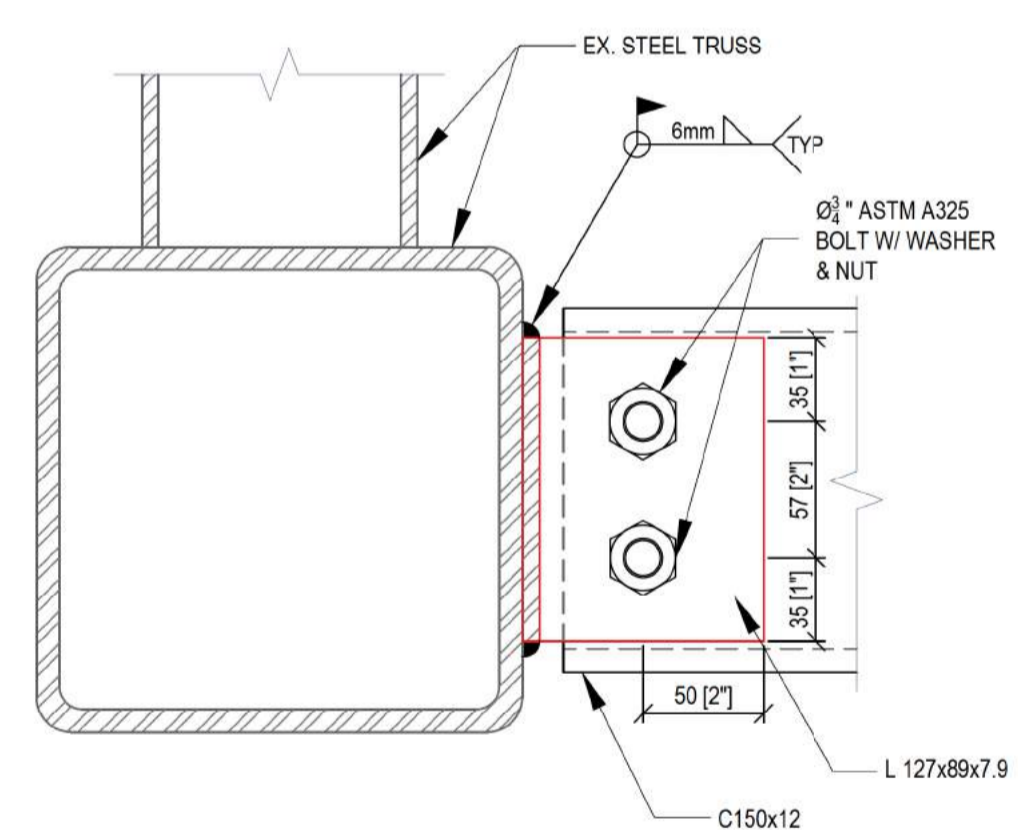
KEY PLAN



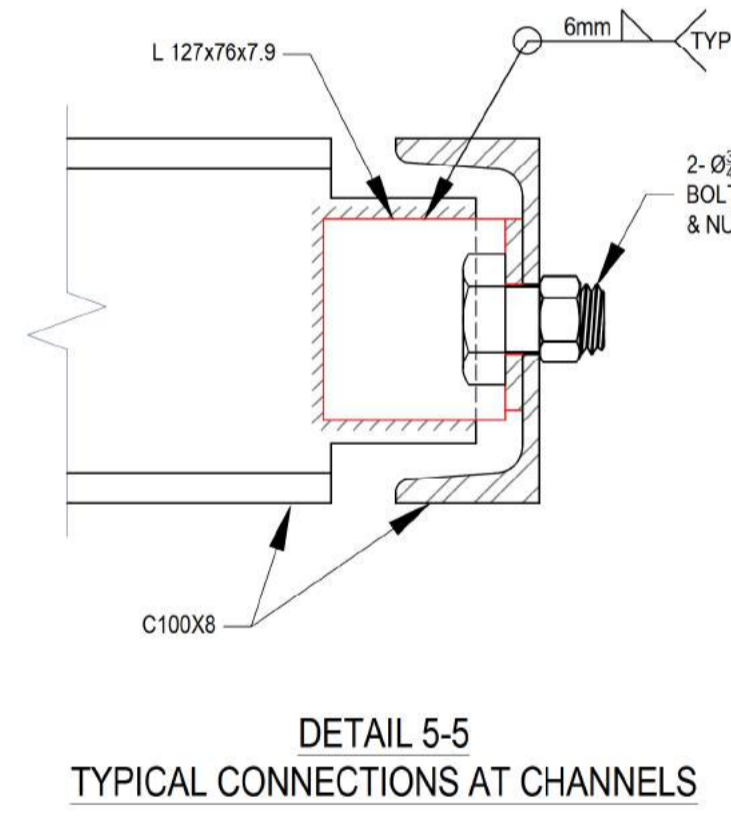
SECTION I-I



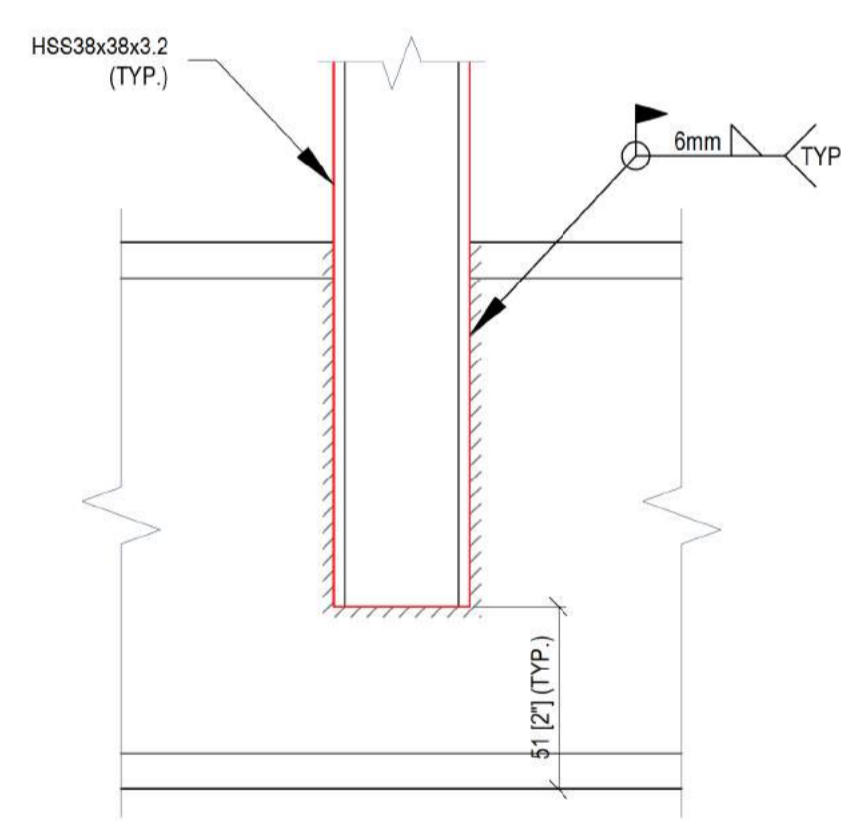
SECTION J-J



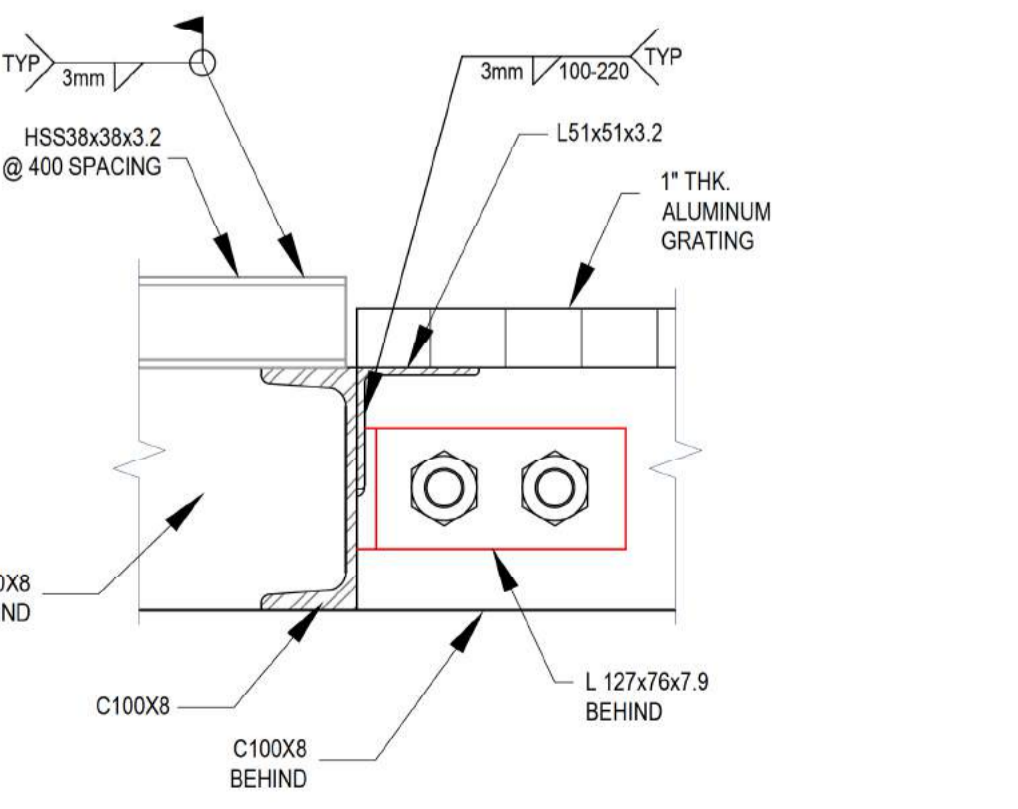
DETAIL 4-4  
TYPICAL CONNECTIONS AT EX. TRUSSES



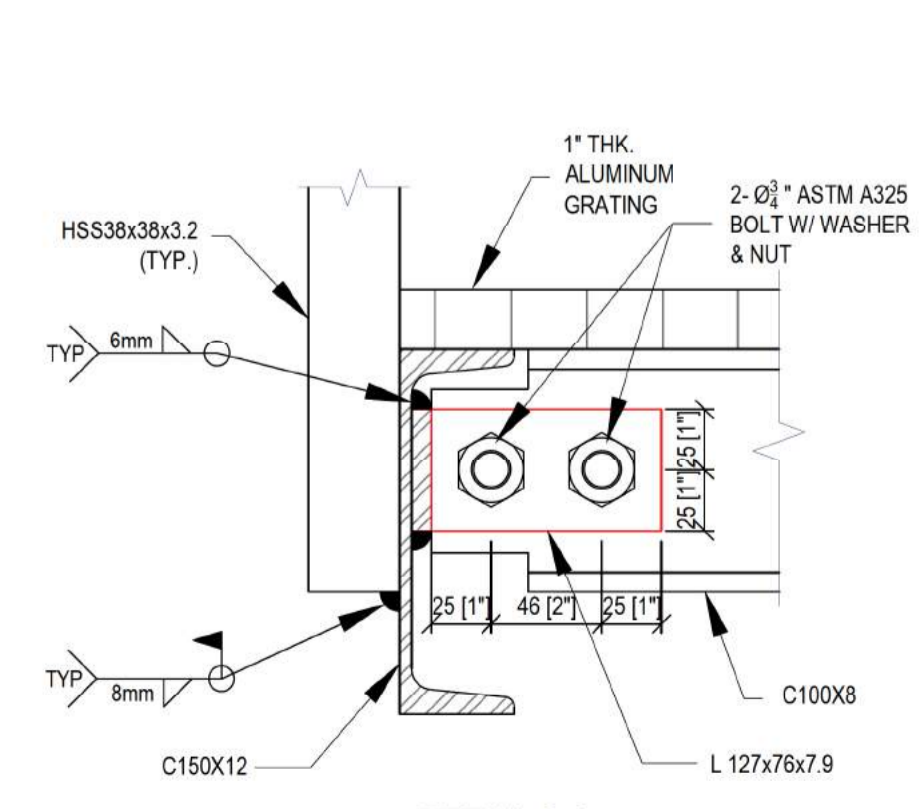
DETAIL 5-5  
TYPICAL CONNECTIONS AT CHANNELS



DETAIL 6-6  
TYPICAL RAILING DETAIL



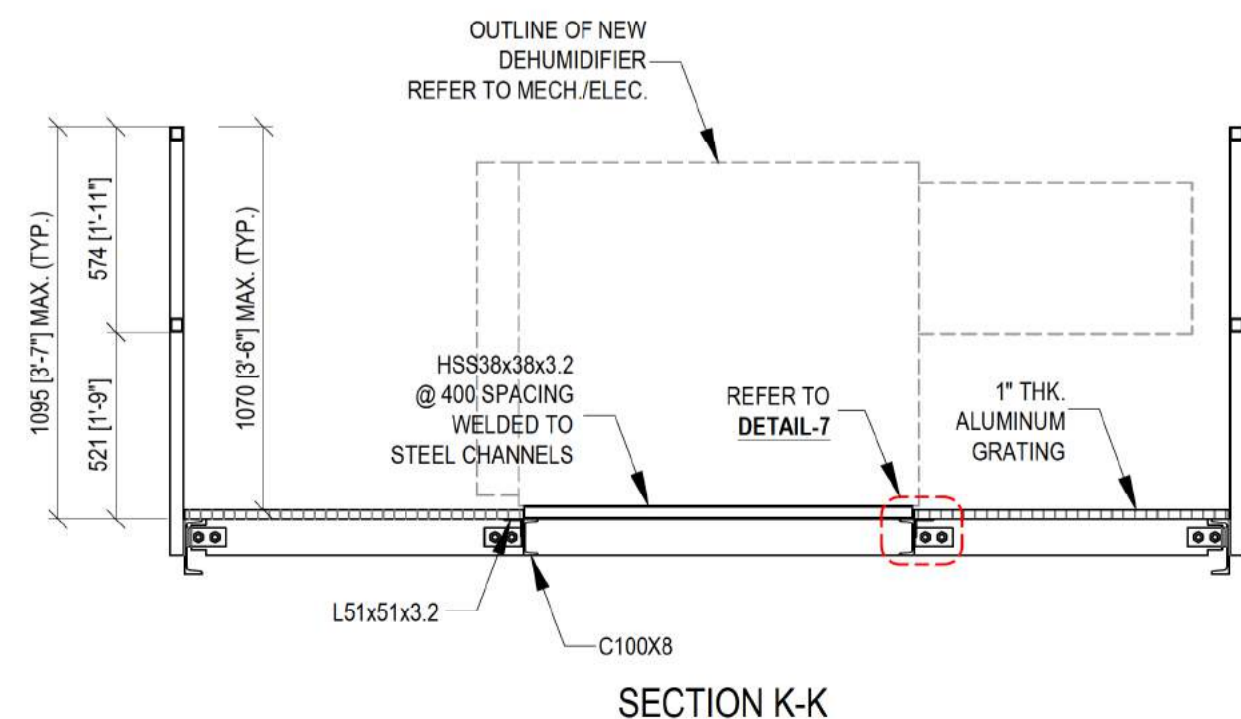
DETAIL 7-7  
TYPICAL CONNECTIONS AROUND OPENING



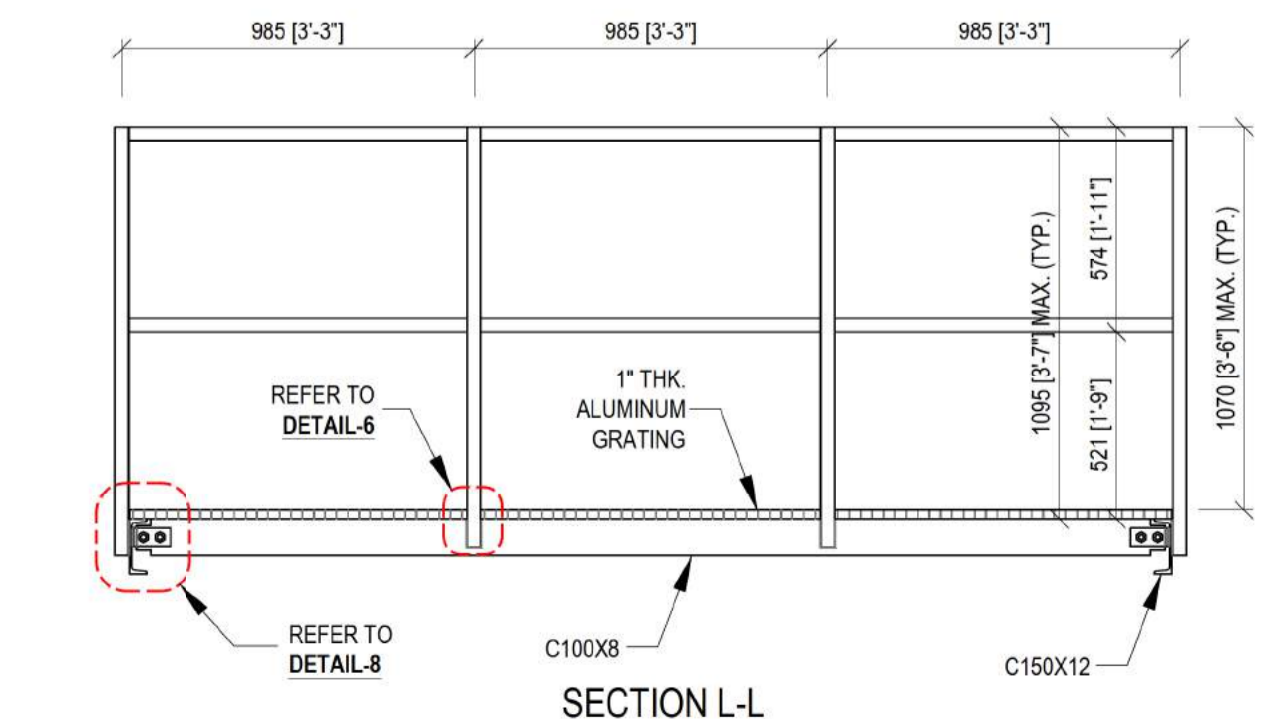
DETAIL 8-8  
TYPICAL CONNECTIONS AT CHANNELS

NOTE:  
ALL DIMENSIONS TO BE SITE CONFIRMED PRIOR TO FABRICATING

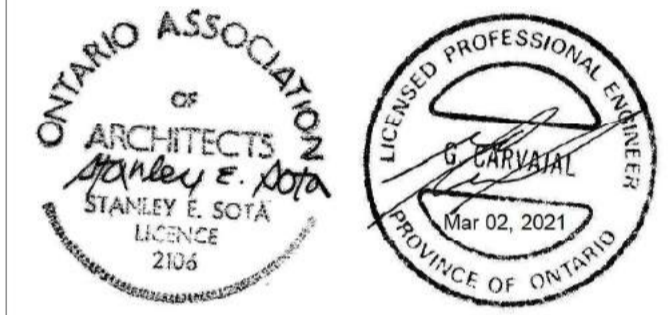
DESIGN LOAD NOTES:  
- THE EXISTING STRUCTURAL FRAMING SUPPORTING THE SOUTH AND NORTH DEHUMIDIFIERS ARE TO BE COMPLETELY REMOVED & REPLACED WITH SIMILAR STRUCTURAL FRAMING DESIGN.  
- THE EXISTING MECHANICAL UNITS (DEHUMIDIFIERS) ARE TO BE REPLACED WITH SIMILAR UNITS WITH THE SAME SIZE, CAPACITY AND WEIGHT.  
- THE SELF-WEIGHT OF THE NEW FRAMING IS 14 KN EACH.  
- THE SELF-WEIGHT OF THE NEW DEHUMIDIFIER IS 4 KN EACH.  
- THE LIVE LOAD CAPACITY OF THE NEW STEEL DECK IS 3.6 kPa.  
- REACTIONS AT SUPPORTS (TRUSSES) WHERE THE EXISTING TRUSSES SUPPORT THE NEW FRAMING IS 4.5 KN PER EACH SUPPORT (4 SUPPORTS IN TOTAL - TO MATCH EXISTING).  
- SINCE THE NEW FRAMING WILL BE SIMILAR TO THE EXISTING FRAMING, THE PERFORMANCE LEVEL OF THE EXISTING TRUSSES WILL NOT BE REDUCED OR AFFECTED.



SECTION K-K



SECTION L-L



NO.	REVISION	DATE
3	ISSUED FOR TENDER	03-02-2021
2	ISSUED FOR PERMIT (REVISION)	01-20-2021
1	ISSUED FOR PERMIT	11-30-2020

ALL MEASUREMENTS INDICATED ON THIS DRAWING ARE APPROXIMATE.

CONTRACTORS ARE RESPONSIBLE TO VERIFY AND OBTAIN ALL MEASUREMENTS ON SITE PRIOR TO BIDDING, PREPARATION OF SHOP DRAWINGS, APPROVAL OF SHOP DRAWINGS, ORDERING, DELIVERY AND INSTALLATION OF ANY MATERIAL AND/OR SYSTEM.

**Toronto**  
CITY OF TORONTO  
PARKS, FORESTRY AND RECREATION DIVISION  
CAPITAL PROJECTS SECTION  
METRO HALL  
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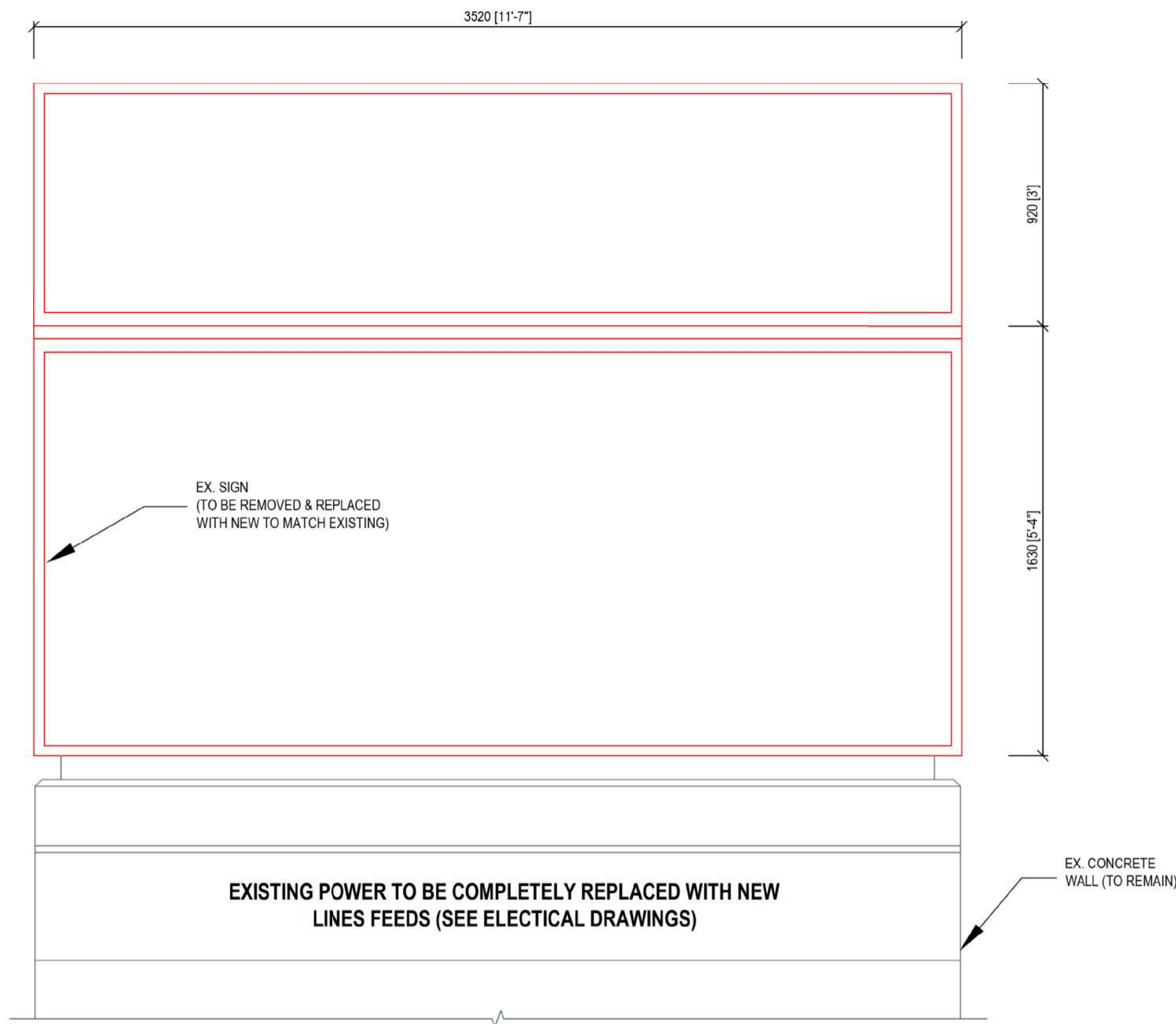
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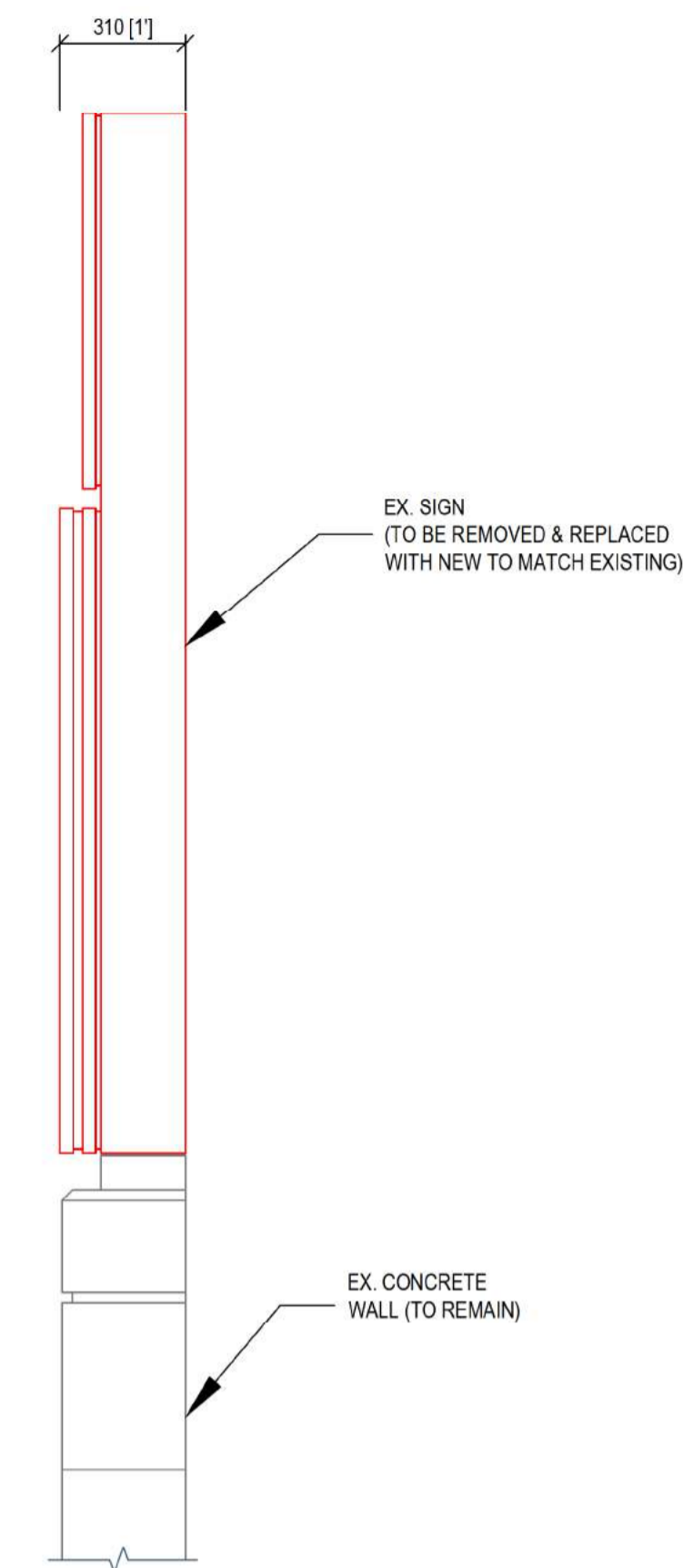
ARCHITECTURAL & STRUCTURAL  
GORD & IRENE ARENA  
NEW DEHUMIDIFIER PLATFORM

G01-16

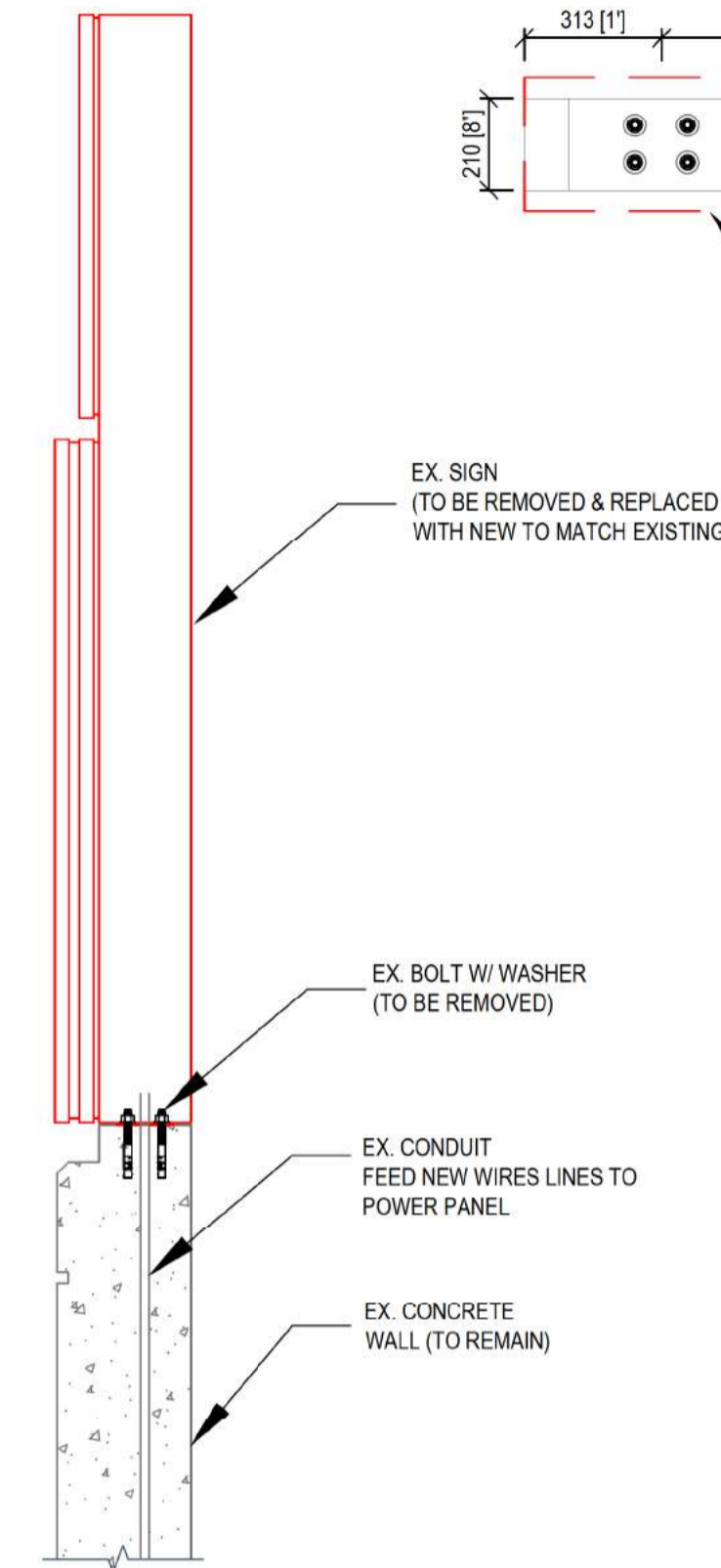




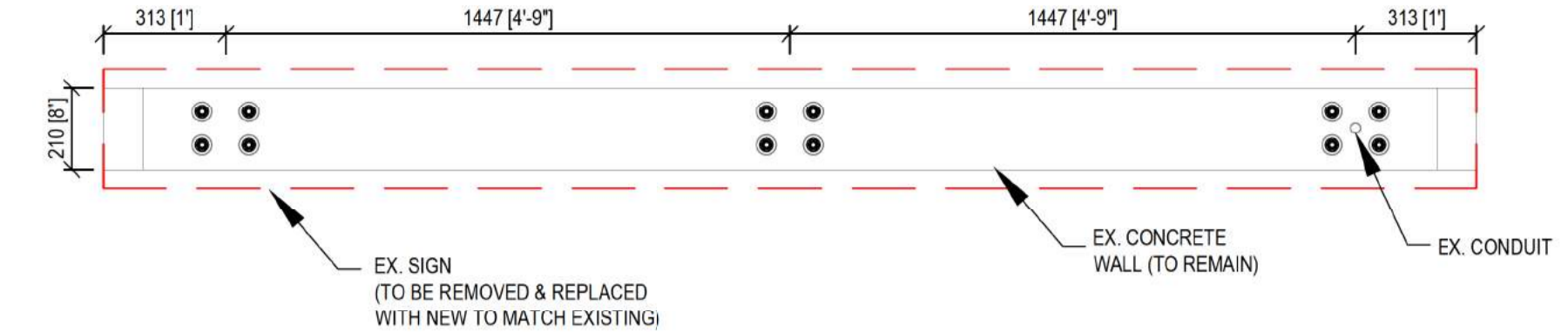
EX. ELEVATION VIEW



EX. SIDE VIEW



EX. SECTION



EX. CONCRETE WALL TOP VIEW

RECOMMENDED PROCEDURE FOR SIGN REPLACEMENT	
ITEM	DESCRIPTION OF ACTIVITY
1.0	MEASURE AND CONFIRM THE DIMENSION OF THE EXISTING SIGN TO BE REMOVED.
2.0	REMOVE THE SIGN.
3.0	INSTALL NEW POWER CABLE. REFER TO ELECTRICAL/ MECHANICAL DRAWINGS.
4.0	PROVIDE SHOP DRAWINGS FOR THE NEW SIGN TO BE INSTALLED INCLUDING GRAPHICS.
5.0	GET THE CITY APPROVAL FOR THE NEW SIGN DESIGN.
6.0	FABRICATE AND INSTALL THE NEW SIGN.



KEY PLAN



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ARCHITECTURAL & STRUCTURAL  
GORD & IRENE ARENA  
NEW SIGN DETAILS

G01-17