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To:	All Vendors
Date:	June 22, 2022
Document Number:	2022-170P
Document Name:	Retail Space Renovations Phase 4
Closing Date and Time:	June 30, 2022, at 2:00 p.m.
Number of Pages:	7 + 3 (01 21 00 – Allowances R1)
Addendum Number	2

This addendum is issued to clarify and incorporate the following into the above document.

Please include in your submission the following items:

1. **Question:** There is a discrepancy in the Cash Allowances Schedules issued as part of the document 6.2 Phase 4 – Architectural Specifications Section 01 21 00 Allowances and 2022-170P Final RFP Appendix G. Please clarify

Answer: See updated 01 21 00

2. **Question:** Please confirm if all new fire spray as per drawing 0.2 is included in the cash allowance 0.7?

Answer: Yes

3. **Question:** Please confirm if Item 1.11.4 (Metal Lath) in Specification Section 07 81 00 Spray Applied Fire Resistive Material is to be included throughout the space with the new Fire Spray?

Answer: Yes. It is included in the cash allowance

4. **Question:** Drawing A0.2 – Fireproofing - As per allowance 0.7 on page 14 of spec sheet, existing 1hr fireproofing is to remain & allowance is to replace/repair fireproofing that was removed or damaged during the construction process, however, note 2 on detail 2/A0.2, indicates that the contractor is to remove all existing fireproofing and re-apply 1 hour fireproofing. Please advise which is correct.

Answer: The drawing is correct. See the updated 01 21 00



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5. **Question:** Drawing A3.1 – Security Screen - Can you please let us know if alternates will be accepted for security sliding screen for bookstore?

Answer: Substitution to be submitted as per 01 25 00

6. **Question:** Drawing A4.1 – Painting - There are exposed decks in the Retail outlets 1 and 2, the espresso bar, and the AV room/Storage room. Are these exposed ceilings to be painted? Also are there any other exposed decks to be painted?

Answer: No. the exposed decks in the retail outlets 1 and 2, the espresso bar, and the AV room/storage room are not to be painted.

7. **Question:** Painting - Does this job require an MPI inspection?

Answer: No, MPI inspection is not required for the painting.

8. **Question:** Drawing A2.1 – Demolition - Please confirm whether the existing block walls & drywall to be removed extend till u/s slab or ceiling.

Answer: Yes, except for the knee wall in the bookstore as noted on the drawing.

9. **Question:** TV Display Wall - Please confirm whether the TV display wall in town square is under base bid or cash allowance. E409 under equipment schedule on drawing A0.4 mentions that it is by GC but cash allowance 0.8 "Infinity TV Wall in Town square" on page 15 of arch spec document mentions that display wall is carried under allowance. Please clarify.

Answer: 01 21 00 is correct. The GC is to take care of the work under cash allowance

10. **Question:** TV Structural Support - Please confirm if the allowance 0.5 is for the structural support work for TV & sliding screen because detail 9/A9.0 mentions that TV screen support is to be supplied & installed by GC.

Answer: 01 21 00 is correct. The GC is to take care of the work under cash allowance



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11. **Question:** Drawing A7.4 - Seating Pods - Can you please provide seating pod details for pods 2 & 3 similar to details provided for pod 1 on drawing A7.4?

Answer: Seating pod details for pod 1 on drawing A7.4 contains no annotated dimensions and is meant to illustrate the general construction process for the seating pods. Pods 2 & 3 are to follow similar construction processes. Engineered shop drawings are required to be submitted to the architect and Humber for review for all seating pods prior to fabrication. For details on pod dimensions for pods 2 & 3 please refer to A7.3 and A7.1.

12. **Question:** Please provide updated Cash Allowance schedule as discussed at initial site walkthrough.

Answer: See updated 01 21 00

13. **Question:** Pricing Schedule; Finish Hardware cash allowance – please confirm if inclusive of security door hardware.

Answer: Yes

14. **Question:** Pricing Schedule; Asbestos Abatement, 3M Film & Fireproofing – please confirm if inclusive of ALL scope associated with each division.

Answer: It is general contractor's responsibility to coordinate the work of individual trades.

15. **Question:** Per drawing A0.3; we will be required to erect 1hr fire rated hoarding partitions prior to commencing – full height to underside of structural above per A2.1. Designated Substance Report Table 3 identifies existing spray fireproofing Non-ACM however, drawing "Location of Assessed Areas" illustrates this area as asbestos containing. If asbestos containing, we would be required to carry out Type 3 abatement of existing T-Bar, clean existing mechanical and electrical services, as well as remove the affected sprayed fireproofing in order to erect partition. This would impact the operations of the library significantly as well as extend the duration of hoarding installation. Would it be possible to confirm extent of existing asbestos containing fireproofing as well as provide a drawing identifying sample locations with room numbers provided within DSS Tables 2 & 3?

Answer: Before we start construction and hoarding installation, SafeTech will be on site and provide guidance to the contractor for hoarding installation and ceiling tiles removal. Humber will carry the cost to hire SafeTech.



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16. **Question:** Existing mechanical systems; referring to drawing DM200, Phase #2 mechanical systems feed Phase #1 zone. Please confirm existing mechanical systems are not to be modified to suit fire rated partition – ie. Fire dampers, disconnect and reconnection of asbestos contaminated ductwork, ect, OR are we to simply frame partitions around existing ductwork.

Answer: Install fire dampers where ducts penetrate all new and existing fire rated partitions.

17. **Question:** Please provide site plan identifying proposed general contractor laydown area required for storing materials, disposal bins and site trailer – required per Section 01 50 00 Section 1.4 as well as material and equipment delivery path of travel from parking to area under construction.

Answer: Once the contract is awarded, Humber will work with the general contractor to identify the areas mentioned in the question.

18. **Question:** At initial site visit, it was mentioned that disruptive works to be performed after hours. Please provide additional clarification. Also, please confirm if any limitations with material & equipment deliveries as majority of project will be carried out during daytime hours.

Answer: Works creating heavy noise (drilling, cutting concrete...) must be done between 10:00PM – 7:00AM. Material and equipment deliveries are normally carried out during daytime hours.

19. **Question:** Specification 01 50 00 – Temporary Facilities & Controls; 1.3 – please confirm that we are able to utilize power within the area under construction for temporary power at no cost to the contractor.

Answer: Yes

20. **Question:** Specification 01 50 00 – Temporary Facilities & Controls; 1.4.2 – please confirm that we are able to utilize existing washroom facilities within Humber; notes that we are to request approval.

Answer: Yes. Contractors will be able to use existing washroom facilities.

21. **Question:** Specification 01 50 00 – Temporary Facilities & Controls; 1.10 – please confirm if project sign will be required.



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Answer: General construction health and safety signs are required.

22. **Question:** Specification 03 54 00 – Cementitious Underlayment – please confirm full scope.

Answer: Underlayment is part of the allowance. See 01 21 00

23. **Question:** Specification 05 27 20 – Stainless Steel Handrails – 2.1.1.a – lists C.R Laurence Co. Please confirm if required to carry C.R Laurence to fulfill this scope of work.

Answer: Yes

24. **Question:** RFP Document – Section 2.1 notes that project completion by March 2024. Please confirm this is intent.

Answer: Refer to the RFP document, page 07, section 2-1.

25. **Question:** Please confirm & provide contact information for all base building vendors.

Answer: Refer to the RFP document, Appendix C – Scope of Work, pages 30, 31.

26. S1-00; note “Reshore the above wall as req. if supported on door frame”. Please confirm if we are to assume temporary shoring at all locations identified in order to facilitate frame removal.

Answer: It is the contractor’s responsibility to identify if removing the existing doors will disturb support of the wall above, whether supported directly on the frame or due to disturbance to the existing lintels. This note is to ensure wall shoring, as required, is included in the base bid.

27. S1-04; Details 7 & 9 – identify “new rigid insulation typ.”. Please confirm if intent is to infill entire void with rigid insulation? Also, please provide product information.

Answer: Intent is to fill void as required to support concrete pour. See spec section 03 30 00 2.3.20 for rigid insulation specification.

28. S1-06; Details 2 & 3 as well as S1-05 Details 5 & 6 – please confirm if this scope is carried under cash allowance.

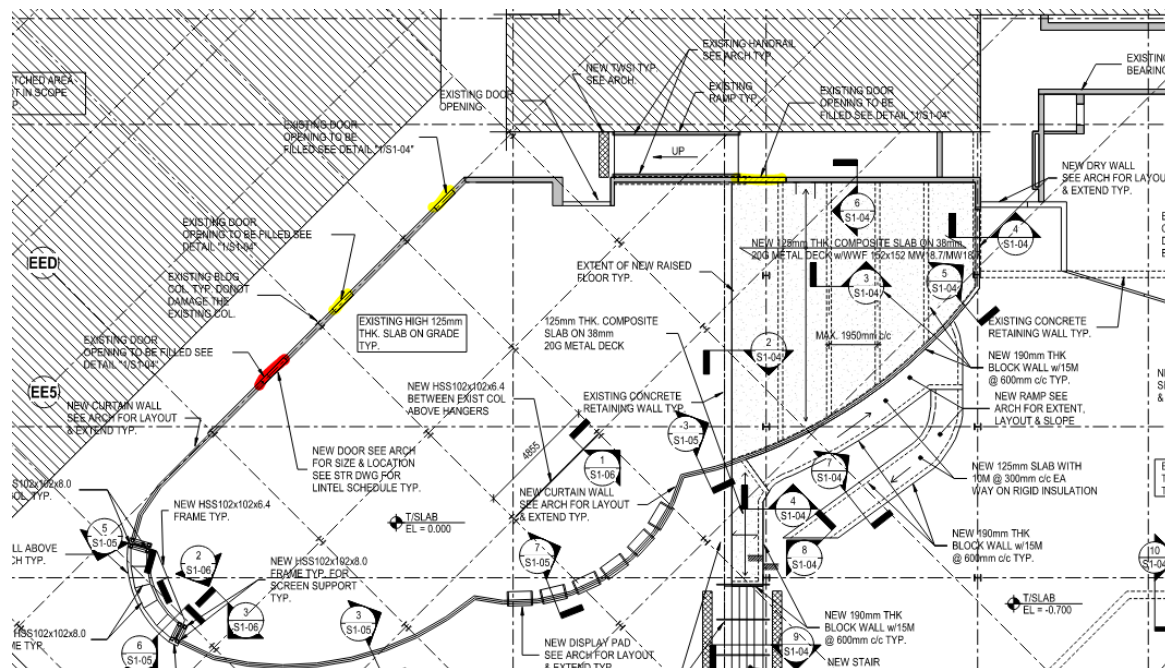
Answer: S1-06 Details 2 & 3 is under cash allowance (engineered structure for sliding security screen). S1-05 Details 5 & 6 is not.

29. Cash Allowance 7 – Engineered Structure for TV in Bookstore. Please confirm this is intended for TV in Town Square at GL EFy between E10a & E10b.

Answer: this is for the TV in the bookstore at Grid EE3 and EEc. See 9/A0.9 for details.

30. S1-05; Details 1 – lintel details. Please confirm where applicable.

Answer: We have three exiting doors openings, which we need to refill, and one would be modified to receive the new door. For refill opening, we don't need lintels as they will shore the above wall and fill the opening. But for one opening shown in red in below pic where existing door opening to be modified, we need lintel there.





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31. S1-06; Detail 5 – Please confirm locations required.

Answer: See note on S1-01. Provide panel point reinforcing where hanging loads for ceiling and/or MEP located >75mm from panel point. Total quantity depends on GC coordination with ceiling and MEP trades.

MAX. ALLOWABLE SPECIFIED NEW CEILING LOAD = 0.25 kPa PROVIDE UNISTRUT FRAMING IF HANGER POINT LOAD EXIST AWAY FROM EXIST STEEL FRAMING BY METAL STUD SUPPLIER. SEE DETAIL 5/S1.06 FOR JOIST REINF. FOR CEILING HANGERS
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End of Addendum.

All other terms and conditions remain unchanged.

Please acknowledge receipt of the above addendum in the Proposal Covering Form of the RFP document.