

MONTGOMERY SISAM ARCHITECTS INC.  
*ARCHITECTURAL*

21508.F03  
*ISSUED FOR TENDER*  
*MAY 2022*

*HANDRAIL REPLACEMENT*

LAKESHORE LODGE  
LONG-TERM CARE HOMES AND SERVICES  
3197 LAKESHORE BLVD. W., ETOBICOKE



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Long-Term Care Homes and Services Division

## GENERAL NOTES

- REPAIR, PATCH & MAKE GOOD ALL EXISTING STRUCTURE AND FINISHES AFFECTED BY CONSTRUCTION.
- ALL REQUIRED CUTTING & FITTING INCLUDING ELECTRICAL & MECHANICAL TO CONNECT THE EXISTING WORK WITH THE NEW WORK SHALL BE PERFORMED AS PART OF THIS CONTRACT AS AN ENTIRE OR COMPLETE WORK IN A PROFESSIONAL AND WHOLE MANNER.
- ALL NEW WORK TO MAKE GOOD EXISTING; SHALL MATCH EXISTING IN MATERIAL, CONSTRUCTION AND FINISH UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL PERFORM ALL NECESSARY DEMOLITION, ALTERATIONS AND NEW CONSTRUCTIONS AS REQUIRED TO MAKE THE WORK A COMPLETE JOB, INCLUDING BUT NOT LIMITED TO WORK SHOWN ON DRAWINGS AND SPECIFICATIONS.
- ANY OPENINGS IN FIRE RATED WALLS, CEILINGS AND FLOORS TO BE RETURNED TO EQUIVALENT CONDITION PRIOR TO THE OPENING. ALL ELECTRICAL & MECHANICAL PENETRATIONS TO BE SEALED WITH FIRE STOP MATERIAL AS PER SPECIFICATION. ALL ELECTRICAL & MECHANICAL PENETRATIONS TO BE SEALED WITH FIRE STOP MATERIAL AS REQUIRED BY O.B.C.
- All ITEMS INDICATED IN THE CONTRACT DOCUMENTS AS 'COORDINATION ITEMS' OR ITEMS IDENTIFIED AS N.I.C., INCLUDING BUT NOT LIMITED TO EQUIPMENT AND OTHER SPECIALTY ITEMS IDENTIFIED AS TO BE SUPPLIED AND INSTALLED BY OTHER PARTIES OR ALLOWANCES WILL REQUIRE THE COMMON ACTION OR EFFORT OF THE GENERAL CONTRACTOR IN RELATION TO THE OVERALL PROJECT. WITH RESPECT TO ALL COORDINATION ITEMS IDENTIFIED, THE GENERAL CONTRACTOR IS EXPECTED TO:
  - REVIEW ALL ITEMS IDENTIFIED AS 'COORDINATION ITEMS' IN THE DRAWINGS AND COMMUNICATE WITH THE REQUIRED RESPONSIBLE PARTIES OF THE DEVICES THE DETAILED REQUIREMENTS OF EACH ITEM AS IT IMPACTS THE WORK OF GENERAL CONTRACTOR AND AS IT RELATES TO THE OVERALL COMPLETION OF THE PROJECT.
  - VERIFY THE EXISTING CONDITION AND ANY LIMITATIONS OF THE DEVICE AS INSTALLED IN THE PROPOSED LOCATION.
  - PROVIDE ALL REQUIRED ROUGH-INS, RELATED CONSTRUCTIONS AND CONNECTIONS REQUIRED BY THE DEVICES OF OTHERS TO SUIT THE COORDINATION ITEM AND AS INDICATED IN THE CONTRACT DOCUMENTS.
  - SCHEDULE AND COORDINATE THE WORK OF OTHERS INTO THE OVERALL CONSTRUCTION SEQUENCE TO AVOID UNNECESSARY DELAY TO THE COMPLETION OF THE OVERALL PROJECT.
  - ENSURE THAT THE PROPOSED ITEM IS INSTALLED AS INTENDED AND IS MADE FULLY OPERATIONAL AT THE COMPLETION OF THE WORK.
- THE EXISTING PORTIONS OF THESE PLANS ARE TAKEN FROM ARCHIVE DRAWINGS AND LIMITED SITE SURVEY INFORMATION. CONTRACTOR TO SITE VERIFY ALL DIMENSIONS, CONDITIONS AND LEVELS ON SITE PRIOR TO FABRICATIONS/ INSTALLATIONS. ALL DIMENSIONS ARE PER SITE REVIEW AND EXIST. ARCH. DWGS. ALL DISCREPANCIES BETWEEN CONDITIONS SHOWN AND SITE CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT. PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL VISIT THE SITE AND EXAMINE THE FOLLOWING:
  - VERIFY EXISTING AREAS WITHIN THE SCOPE OF WORK WITH RESPECT TO THE PROPOSED FOR PROBLEMS AND ANY LIMITATIONS.
  - VERIFY EXISTING ARCHITECTURE, STRUCTURE AND ALL ADJACENT FINISHES IMPACTED BY THE WORK.
 UPON EXAMINING ALL OF THE ABOVE AGAINST THE DRAWINGS AND SPECIFICATIONS AND TERMS OF THE CONTRACT, THE CONTRACTOR MUST SATISFY HIMSELF THAT THE PROPOSED WORK CAN BE CARRIED OUT AS INTENDED, TO THE SATISFACTION OF THE OWNER, AT NO ADDITIONAL COST TO THE CONTRACT.
- PROTECT ALL FINISHES TO REMAIN PART OF THE FINAL PRODUCT. ALL FINISHES DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE MADE GOOD BY THE GC.
- COORDINATE ALL WORK WITH THE HOME AND FOLLOW ALL HOME PROTOCOLS.
- HOARDING SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE HOME.
- COORDINATE ALL WORK WITH ARCHITECTURAL / MECHANICAL / ELECTRICAL DRAWINGS AND SPECIFICATIONS. WHERE A DISCREPANCY IS DISCOVERED BETWEEN THE DOCUMENTS NOTIFY THE ARCHITECT.
- ALL REMOVED AND DEMOLISHED MATERIAL TO BE REMOVED FROM THE SITE. LOCATION OF REMOVAL RECEPTACLE TO BE CO-ORDINATED WITH BUILDING MAINTENANCE DEPARTMENT.
- MAINTAIN EXISTING FIRE RATING AT ALL TIMES DURING THE WORK AND AFTER.

## DRAWING LIST

A0.00	COVER
A0.01	GENERAL INFORMATION
A0.02	GENERAL INFORMATION
A0.03	CONSTRUCTION CONTROL PLAN
A0.04	AREA OF WORK PLAN - LEVEL 2
A0.05	AREA OF WORK PLAN - LEVEL 1 - ALTERNATIVE PRICE #1
A0.06	AREA OF WORK PLAN - LEVEL 1 - ALTERNATIVE PRICE #2
A0.08	EXISTING CONDITIONS PHOTOS (ECP) - LEVEL 1
A0.09	EXISTING CONDITIONS PHOTOS (ECP) - LEVEL 2
A1.01	DEMO. PLAN_LEVEL 1 (SOUTH WING)
A1.02	DEMO. PLAN_LEVEL 1 (CENTRE AREA)
A1.03	DEMO. PLAN_LEVEL 2 (SOUTH WING)
A1.04	DEMO. PLAN_LEVEL 2 (CENTRE AREA)
A1.05	DEMO. PLAN_LEVEL 2 (NORTH WING)
A2.01	TYP. EXISTING WOOD HANDRAIL DEMO. SECTIONS
A2.02	TYP. EXISTING WOOD HANDRAIL DEMO. SECTIONS
A2.03	TYP. EXISTING WOOD HANDRAIL DEMO. SECTIONS
A2.04	TYP. EXISTING WOOD HANDRAIL DEMO. SECTIONS
A2.05	TYP. EXISTING CRASH RAIL DEMO. DETAILS
A3.01	PROPOSED PLAN_LEVEL 1 (SOUTH WING)
A3.02	PROPOSED PLAN_LEVEL 1 (CENTRE AREA)
A3.03	PROPOSED PLAN_LEVEL 2 (SOUTH WING)
A3.04	PROPOSED PLAN_LEVEL 2 (CENTRE AREA)
A3.05	PROPOSED PLAN_LEVEL 2 (NORTH WING)
A4.01	TYPICAL PROPOSED HANDRAIL DETAILS
A4.02	TYPICAL PROPOSED HANDRAIL DETAILS
A4.03	TYP. NEW HANDRAIL DETAILS
A4.04	NEW HANDRAIL AT BANKING WINDOW DETAILS
A4.05	NEW HANDTAIL OVER GLASS BLOCK WALL DETAILS
A4.06	TYP. NEW CRASH RAIL DETAILS
A4.07	NEW CRASH RAIL UNDER GLASS CABINET DETAILS
A4.08	TYP. NEW WALL PROTECTION DETAILS_LEVEL 1
A4.09	TYP. NEW WALL PROTECTION DETAILS_LEVEL 2
A4.10	TYP. NEW WALL PROTECTION DETAILS_LEVEL 2
A4.11	TYP. CORNER GUARD PLAN DETAILS
A4.12	TYP. CORNER GUARD PLAN DETAILS
A5.01	NEW HANDRAIL LAYOUT DIAGRAM

## PHASING & CONSTRUCTION NOTES

- ALL WORK WITHIN THIS PROJECT WILL BE COMPREHENSIVELY SCHEDULED WITH THE HOME PRIOR TO START-UP ON SITE. CONTRACTORS WILL BE REQUIRED TO ADHERE TO THIS SCHEDULE FOR THE DURATION OF THE WORK.
- NO WORK SHALL BE LEFT IN AN UNFINISHED STATE AT DAYS END. ALL AREAS OF WORK SHOULD BE MADE SAFE AND COMPLETELY OPERATIONAL AT THE END OF EACH DAYS WORK.
- THE REQUIRED MOVING AND REINSTALLATION OF ANY FURNITURE IS TO BE INCLUDED IN THE BASE BID PRICE. IT IS EXPECTED THAT ALL AREAS WILL BE HANDED BACK TO THE HOME IN A RESTORED AND FULLY FUNCTIONAL ORDER BY THE CONTRACTOR. TEMPORARY STORAGE FOR ALL REMOVED FURNITURE AND EQUIPMENT WILL BE PROVIDED BY AND COORDINATED WITH THE HOME.
- THE CONTRACTOR SHALL PROVIDE THE FOLLOWING MOCK-UPS:  
  
 CONSTRUCT ONE (1) STANDARD HANDRAIL (HR1) / CRASH RAIL (CR1) ASSEMBLY W/ WALL PROTECTION (WP1 /WP2) WHERE IT APPLIES - INCLUDING STANDARD END CAP, INSIDE CORNER AND OUTSIDE CORNER, IN EACH CORRIDOR - CORRIDOR G79, CORRIDOR G48 AND CORRIDOR 202, THREE (3) TOTAL. INCLUDING BUT NOT LIMITED TO HANDRAIL, CRASH RAIL, MOUNTING BRACKET, WALL PROTECTION, CORNER GUARD, PATCH / REPAIR WORK AND ALL OTHER WORK AS PER THE CONTRACT DOCUMENTS.  
  
 ARRANGE FOR THE CONSULTANTS REVIEW AND ACCEPTANCE, ALLOW 48HRS AFTER ACCEPTANCE BEFORE PROCEEDING WITH WORK.  
  
 MOCK-UP MAY REMAIN AS PART OF THE WORK IF ACCEPTED BY THE CONSULTANT. REMOVE AND DISPOSE OF MOCK-UPS THAT DO NOT CONFORM TO THE WORK. UPON ACCEPTANCE, MOCK-UP SHALL SERVE AS A MINIMUM STANDARD OF QUALITY FOR THE BALANCE OF THE RELATED WORK.THE LOCATION OF THE MOCK-UPS SHALL BE DETERMINED BY THE HOME.

## FINISH / MATERIAL / PRODUCT SCHEDULE

REFERENCE	PRODUCT	MANUFACTURER	TYPE	COLOUR	COMMENTS
CG1	CORNER GUARD	CONSTRUCTION SPECIALTIES - ACROVYN	MODEL: SM-20N	FULL COLOUR RANGE ACROVYN	COLOUR TO BE VERIFIED BY ARCHITECT.
ET1	EDGE TRIM FOR WALL PROTECTION	ALTRO	G833	FULL COLOUR RANGE PVCU	COLOUR TO BE VERIFIED BY ARCHITECT.
WP1	WALL PROTECTION	ALTRO	WHITEROCK SATINS	FULL COLOUR RANGE	COLOUR TO BE VERIFIED BY ARCHITECT.
WP2	WALL PROTECTION	CONSTRUCTION SPECIALTIES - ACROVYN	0.06"(1.52MM) THICK ACROVYN WALL COVERING	FULL COLOUR RANGE	COLOUR TO BE VERIFIED BY ARCHITECT.
HR1	HANDRAIL	CONSTRUCTION SPECIALTIES - ACROVYN	MODEL: P-RAN WITH INTERNATIONAL OFFSET HANDRAIL	FULL COLOUR RANGE CHAMELEON SIMULATED WOOD HANDRAIL + S/S MOUNTING BRACKET	COLOUR TO BE VERIFIED BY ARCHITECT. MOUNT HEIGHT TO MATCH EXISTING WOOD HANDRAIL. COMPLETE WITH PREFABRICATED CORNERS AND END RETURNS, PREDRILL FOR MOUNTING HARDWARE BY C/S GROUP.
CR1	CRASHRAIL	CONSTRUCTION SPECIALTIES - STAINLESS STEEL	MODEL: ECR-32S	STAINLESS STEEL	-UPPER S/S CRASH RAIL MOUNT ±1321 MM ABOVE FINISHED FLOOR. -LOWER S/S CRASH RAIL MOUNT ABOVE TOP OF PROPOSED COVE BASE. COMPLETE WITH PREFABRICATED CORNERS AND END RETURNS, PREDRILL FOR MOUNTING HARDWARE BY C/S GROUP.

4	2022-05-19	ISSUED FOR TENDER	MSA
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#	Date:	Revision:	By

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## INTERIOR HANDRAIL REPLACEMENT

3197 LAKESHORE BLVD. W., ETOBICOKE

## GENERAL INFORMATION

scale: As indicated  
drawn by: MY  
reviewed by: AR  
job number: 21508.F03  
plot date: 2019-12-19

drawing number:

# A0.01

# SYMBOL LEGEND

	DTEAIL CALL OUT		DETAIL REFERENCE		GRID LINE		Room name ROOM NAME & NUMBER TAG		EMERGENCY EYE WASH STATION
	AREA OF WORK		EXISTING AREA TO REMAIN AS-IS		KEYNOTES		FHC FIRE HOSE CABINET		FIRE ALARM MANUAL PULL STATION
	DEMO. HANDRAIL		DEMO. CRASH RAIL & WALL PROTECTION		DEMO. WALL PROTECTION		DIMENSION (TAKEN FROM WALL AND DOOR OPENING)		DUPLEX RECEPTACLE GFCI OUTLET, WALL MOUNTED
	NEW HANDRAIL		NEW CRASH RAIL & WALL PROTECTION		NEW WALL PROTECTION		DIMENSION OF HANDRAIL		DUPLEX RECEPTACLE OUTLET, WALL MOUNTED
	END OF HANDRAIL OR CRASH RAIL		45° CORNER OF HANDRAIL/CRASH RAIL		90° CORNER OF HANDRAIL/CRASH RAIL		DIMENSION OF SITE MEASUREMENT		

## ABBREVIATION SCHEDULE

ACT	ACOUSTIC CEILING TILE	MISC.	MISCELLANEOUS
AFF	ABOVE FINISHED FLOOR	M.GWB	MOISTURE RESISTANT GWB
ADJ	ADJUSTABLE	MG	MED.GASES
B.S.M.	BUILDING SERVICE MANAGER	MTL	METAL
CG	CORNER GUARD	N/A	NOT APPLICABLE
CH	COAT HOOK	NC	NURSE CALL
CJ	CONTROL JOINT	N.I.C.	NOT IN CONTRACT
CMU	CONCRETE MASONRY UNIT	NTS	NOT TO SCALE
CONC	CONCRETE	O.C.	ON CENTRE
CO	CLEAN OUT	O.F.	OUTSIDE FACE
CT	CERAMIC TILE	O/H	OVER HEAD
CR	CLOSET RAIL	PWD.C.	POWDER COATED
COVE	COVE/INTEGRAL BASE	PLAM	PLASTIC LAMINATE
C/W	COMPLETED WITH	±	PLUS/MINUS
DEMO.	DEMOLISHED	PLY	PLYWOOD
DU	DUPLEX RECEPTACLE PLATE	PS	PULL STATION
DIA.	DIAMETER	PT	PAINT
ELEV	ELEVATION	PTD	PAPER TOWEL DISPENSER
EPT	EPOXY PAINT	QU	QUAD RECEPTACLE PLATE
E.GWB	EXISTING WALL BOARD	RB	RESILIENT BASE
FA	FIRE ALARM DEVICE	RCP	REFLECTED CEILING PLAN
FEC	FIRE EXTINGUISHER CABINET	R.O.	ROUGH OPENING
FHC	FIRE HOSE CABINET	RSF	RESILIENT SHEET FLOORING
FD	FIRE DAMPER	SF	SAFETY FLOORING
FIX	FIXED	SIM	SIMILAR
FIN	FINISH	S.M.	SITE MEASUREMENT
FLR	FLOOR	S/S	STAINLESS STEEL
FRR	FIRE RESISTANT RATING	STL	STEEL
GA	GAUGE	STN	STONE
GALV	GALVANIZED	SV	SHEET VINYL
GB	GRAB BAR	TEMP	TEMPORARY
GIF	GROUND FAULT INTERRUPTER	T	THERMOSTAT
GL	GLASS	TBC	TO BE CONFIRMED
GWB	GYPSUM WALL BOARD	TERR	TERRAZZO
HC	HOLLOW CORE	T.O.	TOP OF
H.D.	HANDRAIL DIMENSION	TYP	TYPICAL
HM	HOLLOW METAL	U/S	UNDERSIDE OF
HIM	HOLLOW INSULATED METAL	U.N.O.	UNLESS NOTED OTHERWISE
HT	HEIGHT	VB	VAPOUR BARRIER
INT	INTERIOR	VCT	VINYL COMPOSITION TILE
L.L.	LOOSE LINTEL	V.I.F.	VERIFY IN FIELD
MAT'L	MATERIAL	VR	VAPOUR RETARDER
MAX	MAXIMUM	WD	WOOD
MIN	MINIMUM	WF	WINDOW FILM
M.I.	MANUFACTURER'S INSTRUCTIONS	WP	WALL PROTECTION
MIR	MIRROR	W/	WITH

## DEMOLITION NOTES

- REMOVE EXISTING CRASH RAIL ASSEMBLY - REMOVE FROM SITE.
- REMOVE EXISTING CORNER GUARDS & COORDINATE W/ B.S.M. FOR STORAGE OR REMOVAL.
- DEMOLISH AND REMOVE EXISTING RUBBER BASE & REMOVE FROM SITE.
- TEMPORARY REMOVE EXISTING EMERGENCY EYE WASH STATION & COORDINATE W/ B.S.M. FOR STORAGE.
- TEMPORARY REMOVE EXISTING DUPLEX WALL-MOUNTED OUTLET PANEL & COORDINATE W/ B.S.M. FOR STORAGE.
- TEMPORARY REMOVE EXISTING PUSH BUTTON & CARD READER & COORDINATE WITH CORPORATION SECURITY. COORDINATE W/ B.S.M. FOR STORAGE.
- TEMPORARY DISCONNECT FIRE ALARM, REMOVE EXISTING FIRE ALARM MANUAL PULL STATION & PROGRAM PANEL TO ENSURE NO FAULT IN FIRE ALARM SYSTEM. COORDINATE W/ B.S.M. FOR STORAGE.
- TEMPORARY REMOVE EXISTING MAP ON THE WALL. COORDINATE W/ B.S.M. FOR STORAGE.
- TEMPORARY REMOVE EXISTING ELEVATOR CONTROL PANEL. COORDINATE W/ B.S.M. FOR STORAGE.
- DEMOLISH AND REMOVE EXISTING WALL PROTECTION - REMOVE FROM SITE.
- CUT & REMOVE EXISTING GWB. AS REQUIRED TO FACILITATE PROPOSED CONSTRUCTION.
- REMOVE AND REPLACE EXISTING 25 X100 CONTINUOUS WOOD BLOCKING IF DETERIORATED.
- REMOVE EXISTING SHELF & FASTENERS OF THE BANKING WINDOW, PATCH & MAKE GOOD.
- REMOVE EXISTING WOOD HANDRAIL ASSEMBLY - REMOVE FROM SITE.
- TEMPORARY REMOVE EXISTING MAILBOX. COORDINATE W/ B.S.M. FOR STORAGE.
- TEMPORARY REMOVE EXISTING PUSH BUTTON. COORDINATE W/ B.S.M. FOR STORAGE.

## CONSTRUCTION NOTES

- INSTALL NEW CRASH RAIL ASSEMBLY.
- INSTALL NEW CORNER GUARDS OR RE-INSTATE EXISTING CORNER GUARDS (MODIFY & MAKE GOOD IF REQUIRED) AS PER ORIGINAL LOCATION WITH BOTTOM ALIGNED WITH TOP OF WALL BASE.
- RESERVED.
- REINSTATE EXISTING EMERGENCY EYE WASH STATION.
- REINSTATE EXISTING DUPLEX WALL-MOUNTED OUTLET PANEL.
- REINSTATE EXISTING PUSH BUTTON & CARD READER.
- REPROGRAM FIRE ALARM PANEL AS REQUIRED TO ENSURE NO TROUBLE IN SYSTEM AND REINSTALL EXISTING FIRE ALARM MANUAL PULL STATION.
- REINSTATE EXISTING MAP ON THE WALL AFTER NEW WALL PROTECTION INSTALLATION.
- REINSTATE EXISTING ELEVATOR CONTROL PANEL AFTER NEW WALL PROTECTION INSTALLATION.
- INSTALL NEW WALL PROTECTION.
- REPLACE AND PAINT ANY DETERIORATED GWB. TO MATCH EXISTING AS REQUIRED TO FACILITATE PROPOSED CONSTRUCTION.
- RESERVED.
- PLAM FINISHED PLY BOARD OF THE BANKING WINDOW, SECURELY FASTENED INTO NEW SUPPORT U/S - MATCH NEW HANDRAIL .
- INSTALL NEW HANDRAIL ASSEMBLY.
- REINSTATE EXISTING MAILBOX AFTER HANDRAIL REPLACEMENT.
- REINSTATE EXISTING PUSH BUTTON AFTER WALL PROTECTION REPLACEMENT.

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# MontgomerySisam

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#	Date:	Revision:	By
revisions			

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## INTERIOR HANDRAIL REPLACEMENT

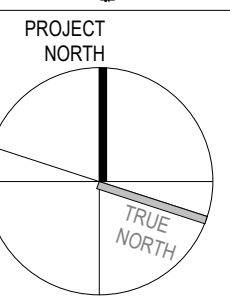
3197 LAKESHORE BLVD. W., ETOBICOKE

## GENERAL INFORMATION

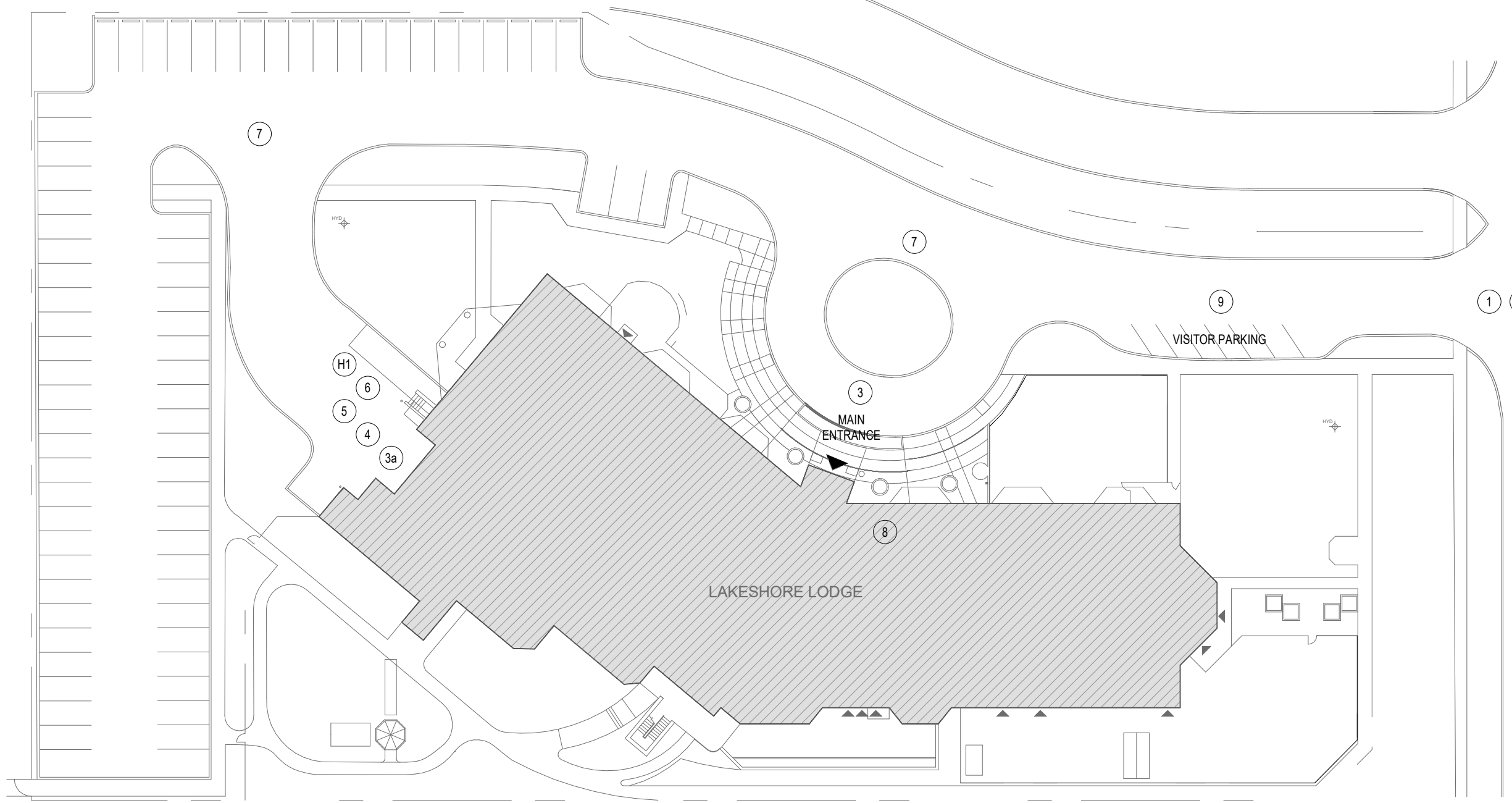
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drawn by:	MY
reviewed by:	AR
job number:	21508.F03
plot date:	2019-12-19

drawing number:

# A0.02



LEGEND	
①	ACCESS TO SITE AND LOADING DOCKS
②	DESIGNATED PARKING AREA FOR CONSTRUCTION VEHICLES(RESERVED)
②a	ACCESS TO DESIGNATED PARKING AREA FOR CONSTRUCTION VEHICLES(RESERVED)
③	MAIN ENTRANCE
③a	SERVICE ENTRANCE
④	LOADING DOCKS
⑤	EQUIPMENT AND MATERIAL DROP-OFF
⑥	CONTRACTORS DISPOSAL BIN
⑦	ACCESS FOR EMERGENCY VEHICLES
⑧	MEETING AREA FOR SITE VISITS
⑨	VISITOR PARKING
H1	SITE HOARDING (TO BE CONFIRMED BY HOME)



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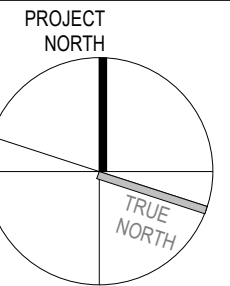
**INTERIOR HANDRAIL REPLACEMENT**

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**CONSTRUCTION CONTROL PLAN**

scale:	1 : 500
drawn by:	MY
reviewed by:	AR
job number:	21508.F03
plot date:	2019-12-19

drawing number: **A0.03**



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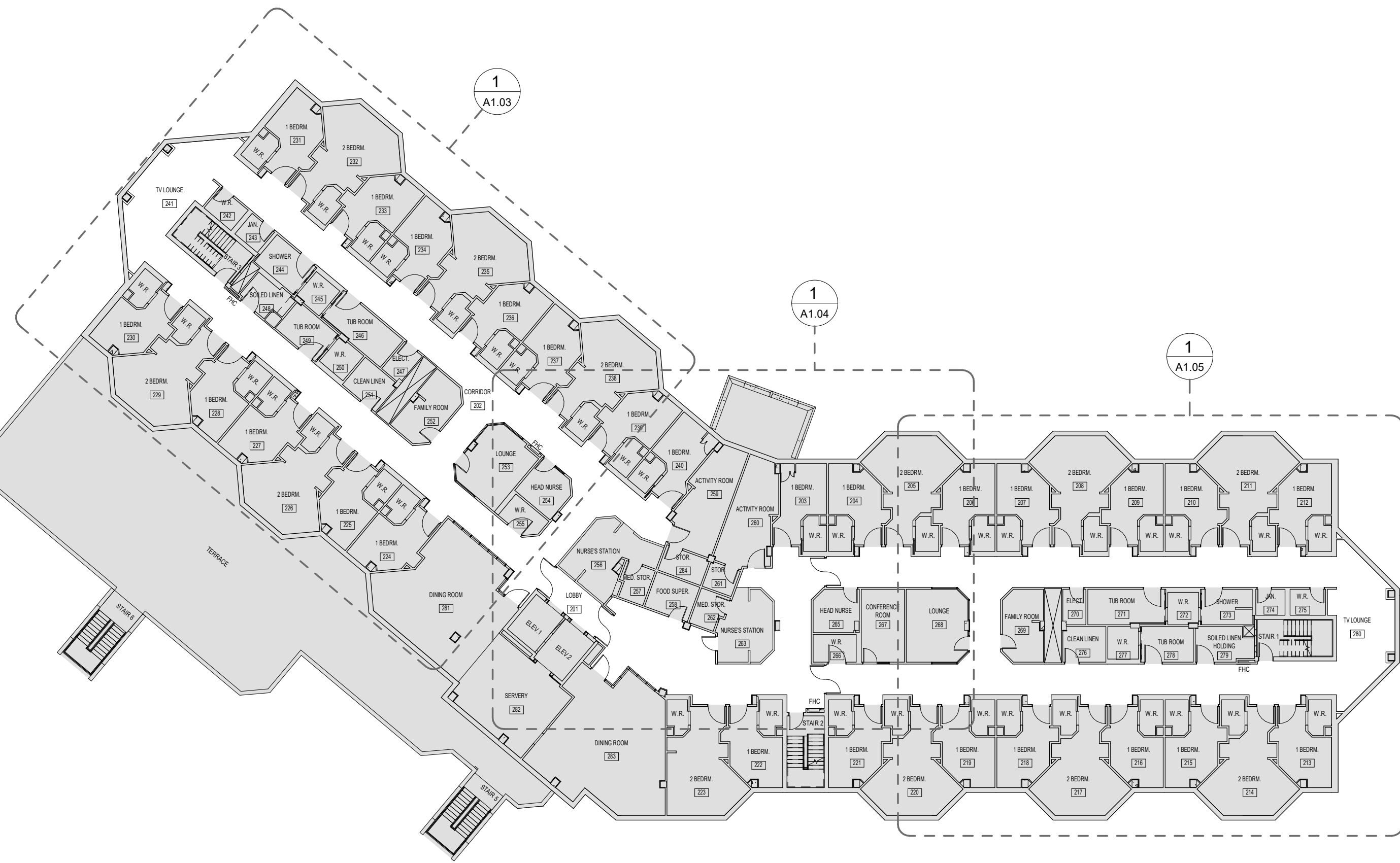
**INTERIOR HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD., ETOBICOKE

**AREA OF WORK PLAN - LEVEL 2**

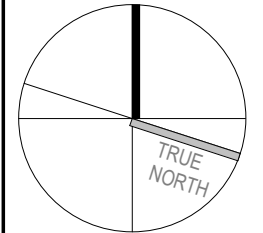
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 drawn by: MY  
 reviewed by: AR  
 job number: 21508.F03  
 plot date: 2019-12-19

drawing number: **A0.04**



**1** AREA OF WORK PLAN - LEVEL 2  
 A0.04 1 : 250

PROJECT  
NORTH



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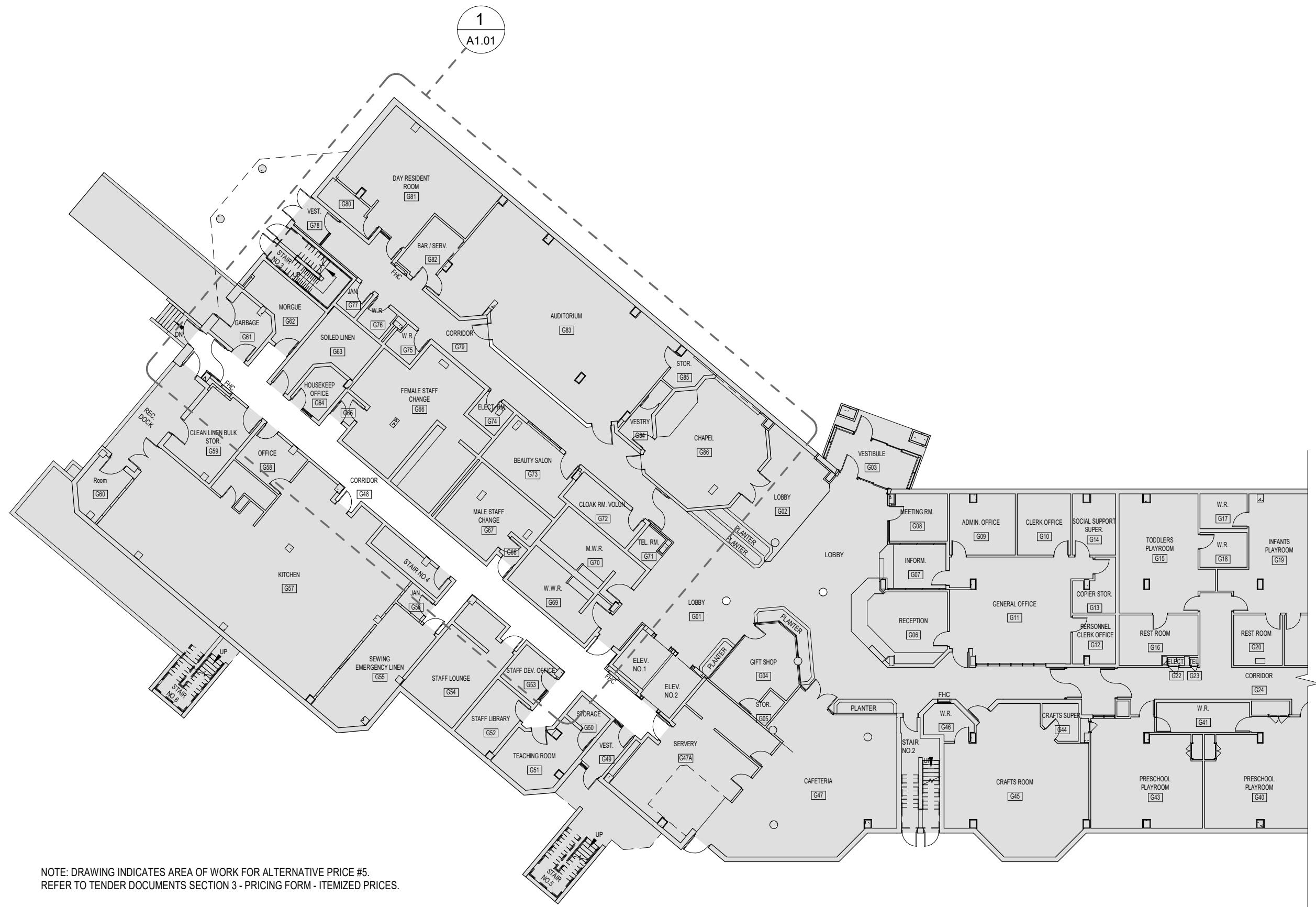
**INTERIOR  
HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD. W., ETOBICOKE

**AREA OF WORK PLAN -  
LEVEL 1 - ALTERNATIVE  
PRICE #1**

scale:	1 : 250
drawn by:	MY
reviewed by:	AR
job number:	21508.F03
plot date:	2019-12-19

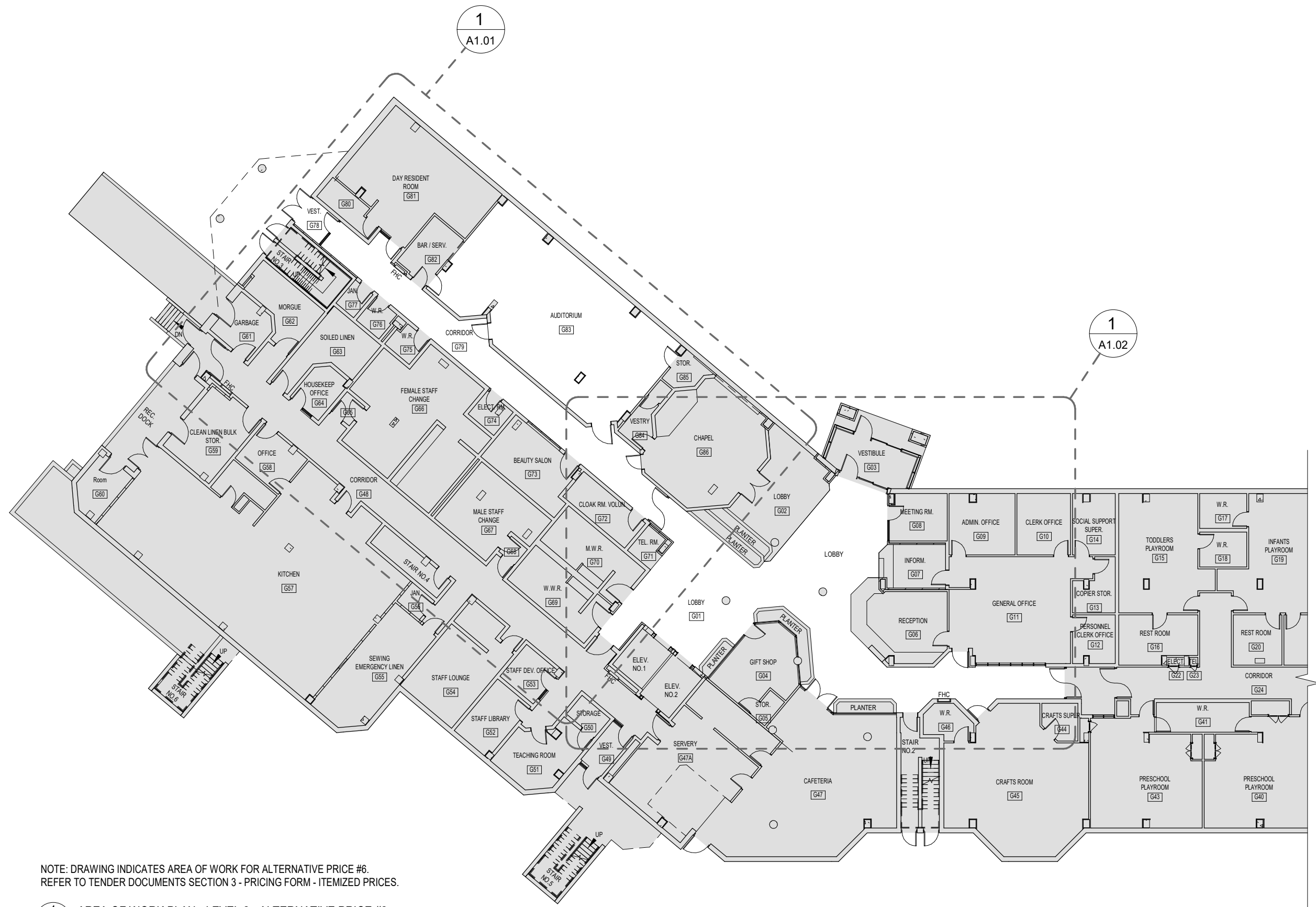
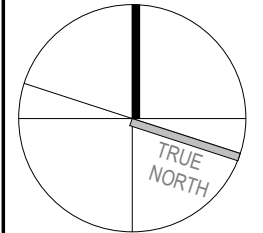
drawing number:  
**A0.05**



NOTE: DRAWING INDICATES AREA OF WORK FOR ALTERNATIVE PRICE #5.  
REFER TO TENDER DOCUMENTS SECTION 3 - PRICING FORM - ITEMIZED PRICES.

**1** AREA OF WORK PLAN - LEVEL 1 - ALTERNATIVE PRICE #1  
A0.05 1 : 250

PROJECT  
NORTH



1  
A1.01

1  
A1.02

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**INTERIOR  
HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD. W., ETOBICOKE

**AREA OF WORK PLAN -  
LEVEL 1 - ALTERNATIVE  
PRICE #2**

scale: 1 : 250  
 drawn by: MY  
 reviewed by: AR  
 job number: 21508.F03  
 plot date: 2019-12-19

drawing number:  
**A0.06**

NOTE: DRAWING INDICATES AREA OF WORK FOR ALTERNATIVE PRICE #6.  
 REFER TO TENDER DOCUMENTS SECTION 3 - PRICING FORM - ITEMIZED PRICES.

1  
A0.06 AREA OF WORK PLAN - LEVEL 2 - ALTERNATIVE PRICE #2  
 1 : 250



EXISTING CONDITION  
PHOTO - ECP01



EXISTING CONDITION  
PHOTO - ECP02



EXISTING CONDITION  
PHOTO - ECP03



EXISTING CONDITION  
PHOTO - ECP04



EXISTING CONDITION  
PHOTO - ECP05



EXISTING CONDITION  
PHOTO - ECP06



EXISTING CONDITION  
PHOTO - ECP07



EXISTING CONDITION  
PHOTO - ECP08



EXISTING CONDITION  
PHOTO - ECP09



EXISTING CONDITION  
PHOTO - ECP10



EXISTING CONDITION  
PHOTO - ECP11



EXISTING CONDITION  
PHOTO - ECP12



EXISTING CONDITION  
PHOTO - ECP13



EXISTING CONDITION  
PHOTO - ECP14



EXISTING CONDITION  
PHOTO - ECP15



EXISTING CONDITION  
PHOTO - ECP16



EXISTING CONDITION  
PHOTO - ECP17



EXISTING CONDITION  
PHOTO - ECP18



EXISTING CONDITION  
PHOTO - ECP19



EXISTING CONDITION  
PHOTO - ECP20



EXISTING CONDITION  
PHOTO - ECP21

2	2019-08-28	ISSUED FOR TENDER	MSA
#	Date:	Revision:	By
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**INTERIOR  
HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD. W., ETOBICOKE

**EXISTING CONDITIONS  
PHOTOS (ECP) - LEVEL 1**

scale:  
 drawn by: MY  
 reviewed by: AR  
 job number: 21508.F03  
 plot date: 2019-12-19

drawing number:  
**A0.08**





EXISTING CONDITION PHOTO - ECP01



EXISTING CONDITION PHOTO - ECP02



EXISTING CONDITION PHOTO - ECP03



EXISTING CONDITION PHOTO - ECP04



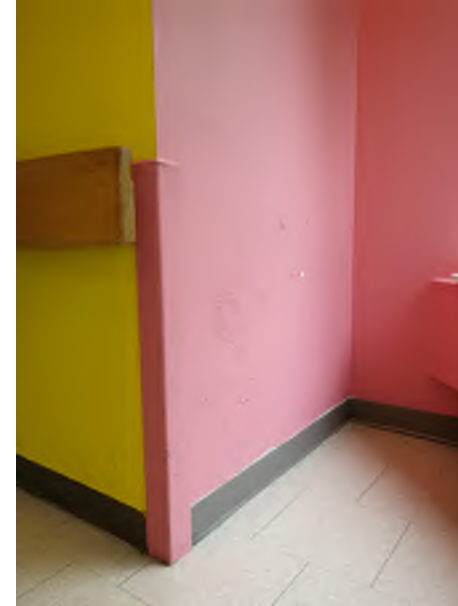
EXISTING CONDITION PHOTO - ECP05



EXISTING CONDITION PHOTO - ECP06



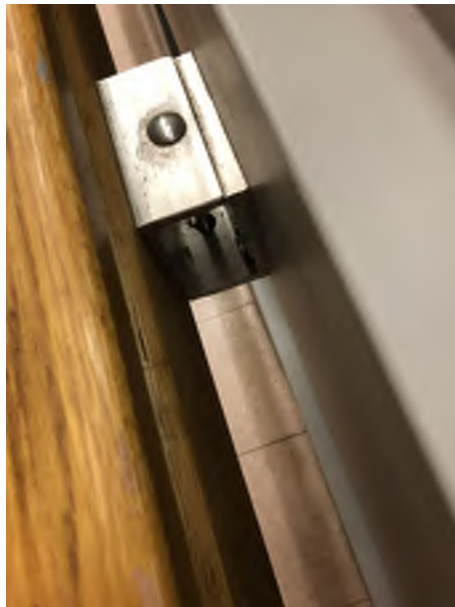
EXISTING CONDITION PHOTO - ECP07



EXISTING CONDITION PHOTO - ECP08



EXISTING CONDITION PHOTO - ECP09



EXISTING CONDITION PHOTO - ECP10



EXISTING CONDITION PHOTO - ECP11



EXISTING CONDITION PHOTO - ECP12



EXISTING CONDITION PHOTO - ECP13

4	2022-05-19	ISSUED FOR TENDER	MSA
1	2019-12-19	ISSUED FOR CONSTRUCTION	MSA
#	Date:	Revision:	By
revisions			

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

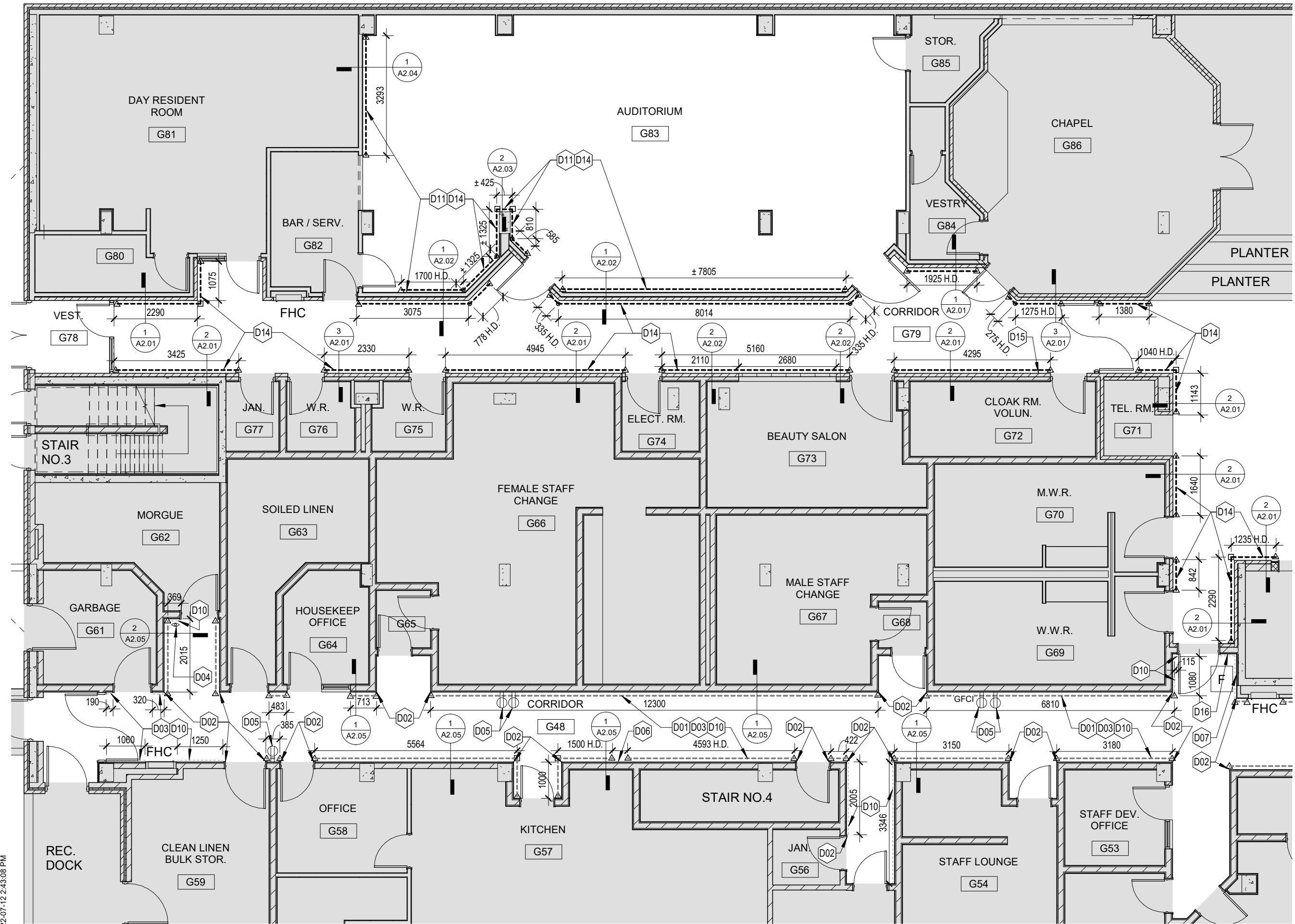
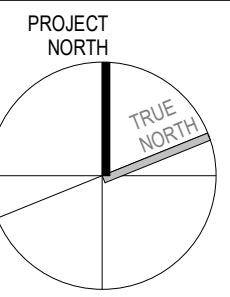
## INTERIOR HANDRAIL REPLACEMENT

3197 LAKESHORE BLVD. W., ETOBICOKE

### EXISTING CONDITIONS PHOTOS (ECP) - LEVEL 2

scale:  
 drawn by: MY  
 reviewed by: AR  
 job number: 21508.F03  
 plot date: 2019-12-19

drawing number: **A0.09**



4	2022-05-19	ISSUED FOR TENDER	MSA
2	2019-08-28	ISSUED FOR TENDER	MSA
#	Date:	Revision:	By
revisions			

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**INTERIOR HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD. W., ETOBICOKE

**DEMO. PLAN LEVEL 1 (SOUTH WING)**

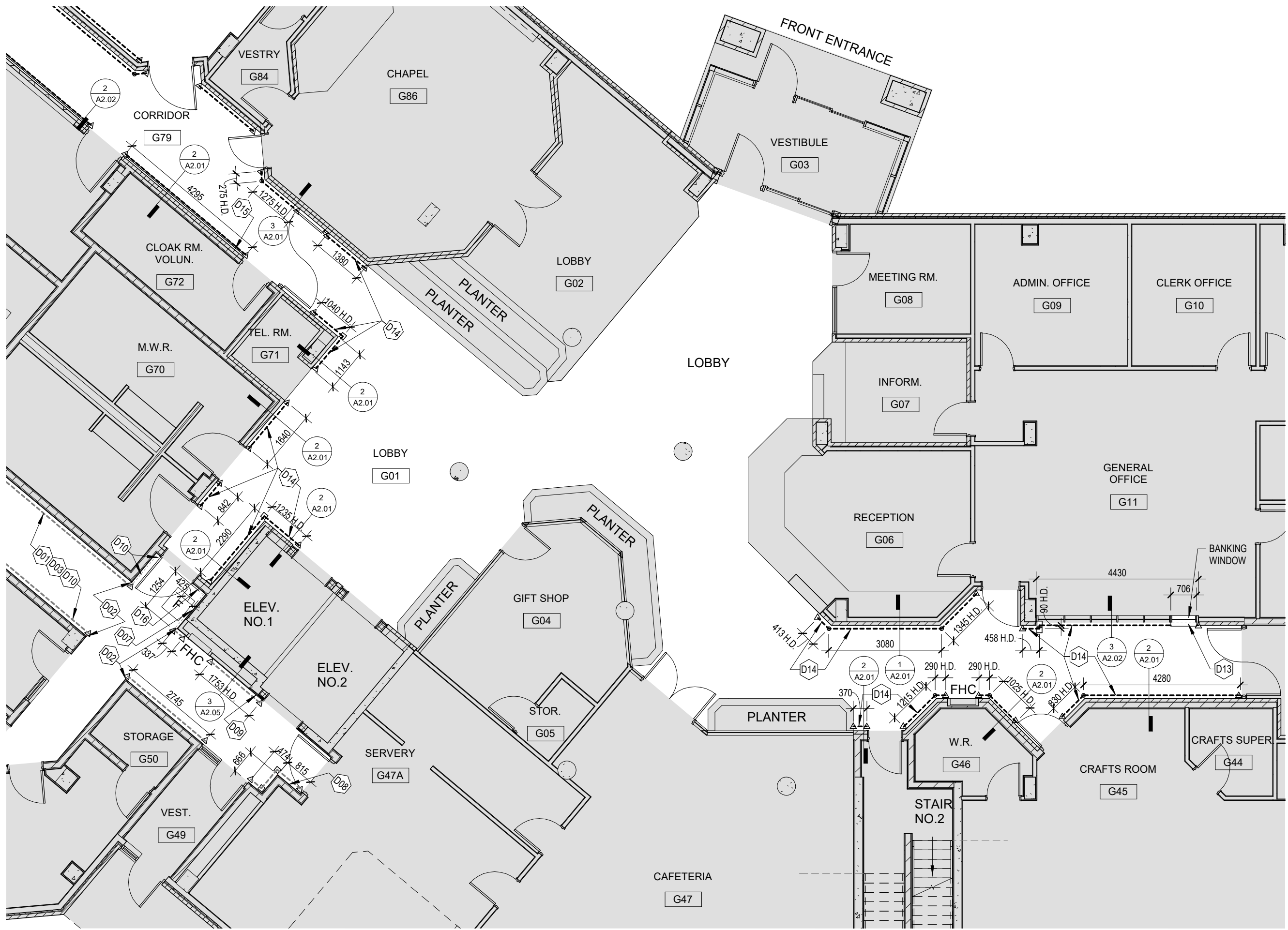
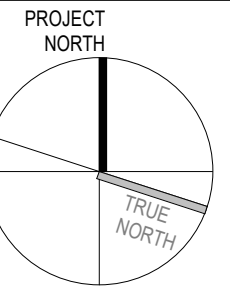
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 drawn by: MY  
 reviewed by: AR  
 job number: 21508.F03  
 plot date: 2019-12-19

drawing number: **A1.01**

2022-07-12 2:43:08 PM

**1** DEMO. PLAN - LEVEL 1 (SOUTH WING)  
 A1.01 1 : 100

NOTE:  
 DEMOLITION NOTES INCLUSIVE  
 D01 - D16



4	2022-05-19	ISSUED FOR TENDER	MSA
2	2019-08-28	ISSUED FOR TENDER	MSA
#	Date:	Revision:	By

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**INTERIOR HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD. W., ETOBICOKE

**DEMO. PLAN LEVEL 1 (CENTRE AREA)**

scale:	1 : 100
drawn by:	MY
reviewed by:	AR
job number:	21508.F03
plot date:	2019-12-19

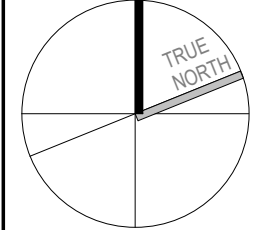
drawing number: **A1.02**

**1** DEMO. PLAN -LEVEL 1 (CENTRE AREA)  
 A1.02 1: 100

NOTE:  
 DEMOLITION NOTES  
 INCLUSIVE

2022-07-12 2:43:10 PM

PROJECT  
NORTH



4	2022-05-19	ISSUED FOR TENDER	MSA
1	2019-12-19	ISSUED FOR CONSTRUCTION	MSA
#	Date:	Revision:	By

revisions

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

**INTERIOR  
HANDRAIL REPLACEMENT**

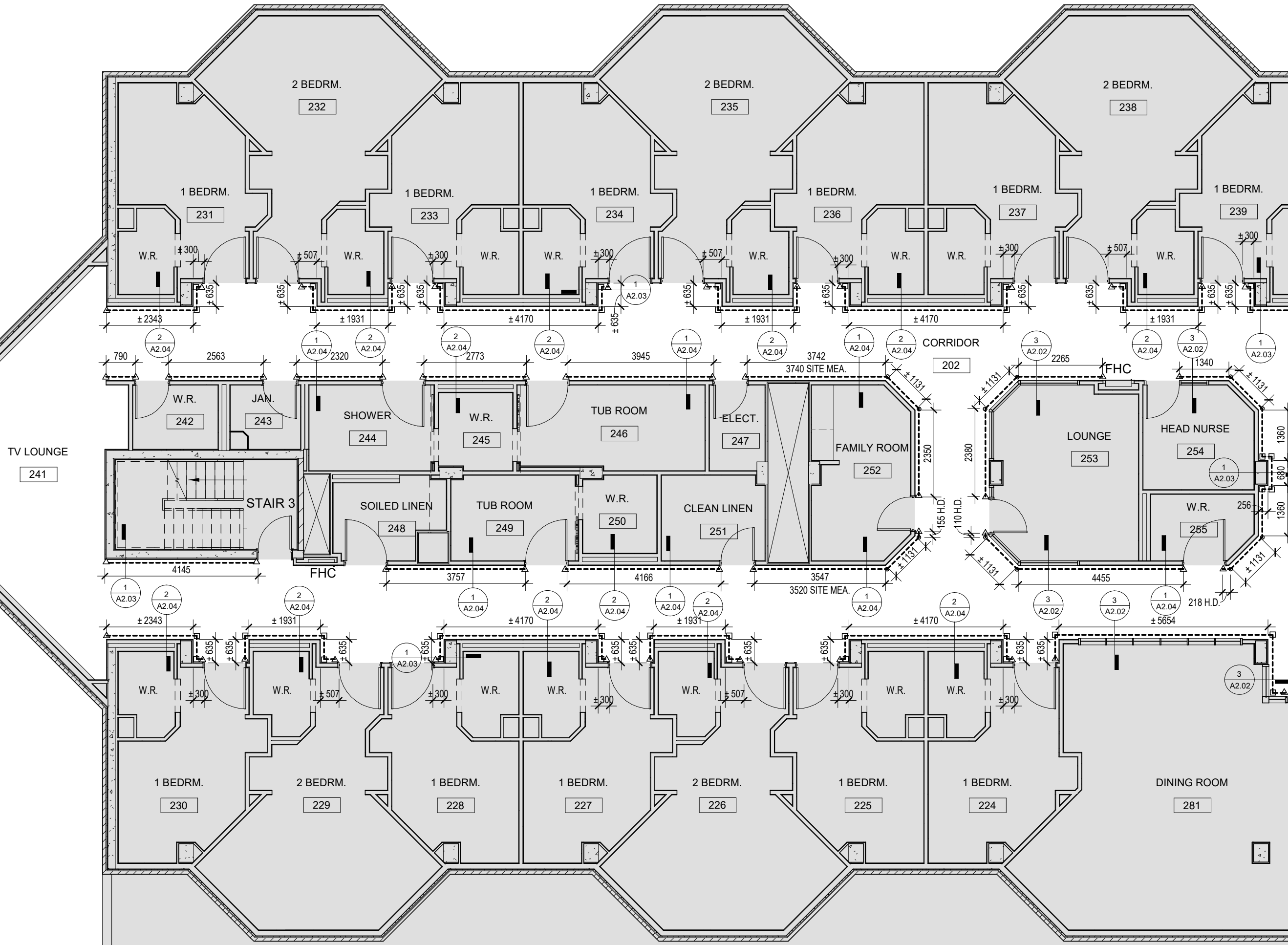
3197 LAKESHORE BLVD., ETOBICOKE

**DEMO. PLAN LEVEL 2  
(SOUTH WING)**

scale: 1 : 100  
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 reviewed by: AR  
 job number: 21508.F03  
 plot date: 2019-12-19

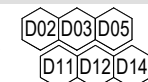
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**A1.03**

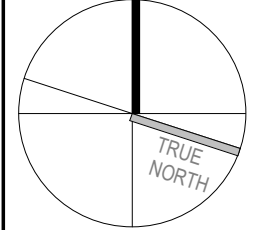


**1** DEMO. PLAN - LEVEL 2 (SOUTH WING)  
 A1.03 1 : 100

NOTE:  
DEMOLITION NOTES  
INCLUSIVE

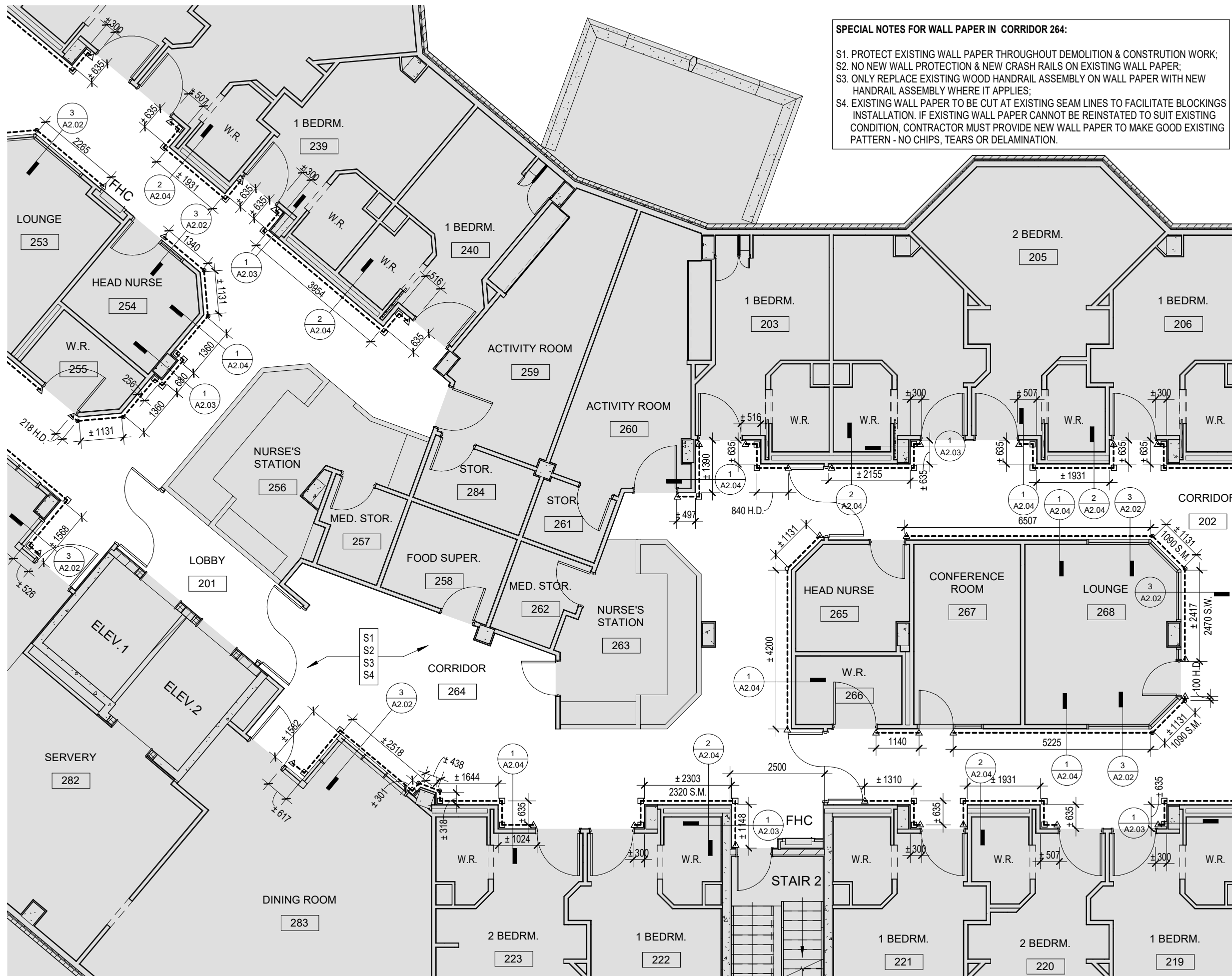


PROJECT  
NORTH



**SPECIAL NOTES FOR WALL PAPER IN CORRIDOR 264:**

- S1. PROTECT EXISTING WALL PAPER THROUGHOUT DEMOLITION & CONSTRUCTION WORK;
- S2. NO NEW WALL PROTECTION & NEW CRASH RAILS ON EXISTING WALL PAPER;
- S3. ONLY REPLACE EXISTING WOOD HANDRAIL ASSEMBLY ON WALL PAPER WITH NEW HANDRAIL ASSEMBLY WHERE IT APPLIES;
- S4. EXISTING WALL PAPER TO BE CUT AT EXISTING SEAM LINES TO FACILITATE BLOCKINGS INSTALLATION. IF EXISTING WALL PAPER CANNOT BE REINSTATED TO SUIT EXISTING CONDITION, CONTRACTOR MUST PROVIDE NEW WALL PAPER TO MAKE GOOD EXISTING PATTERN - NO CHIPS, TEARS OR DELAMINATION.



4	2022-05-19	ISSUED FOR TENDER	MSA
1	2019-12-19	ISSUED FOR CONSTRUCTION	MSA
#	Date:	Revision:	By
revisions			

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**INTERIOR HANDRAIL REPLACEMENT**

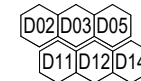
3197 LAKESHORE BLVD., ETOBICOKE

**DEMO. PLAN LEVEL 2 (CENTRE AREA)**

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drawn by:	MY
reviewed by:	AR
job number:	21508.F03
plot date:	2019-12-19

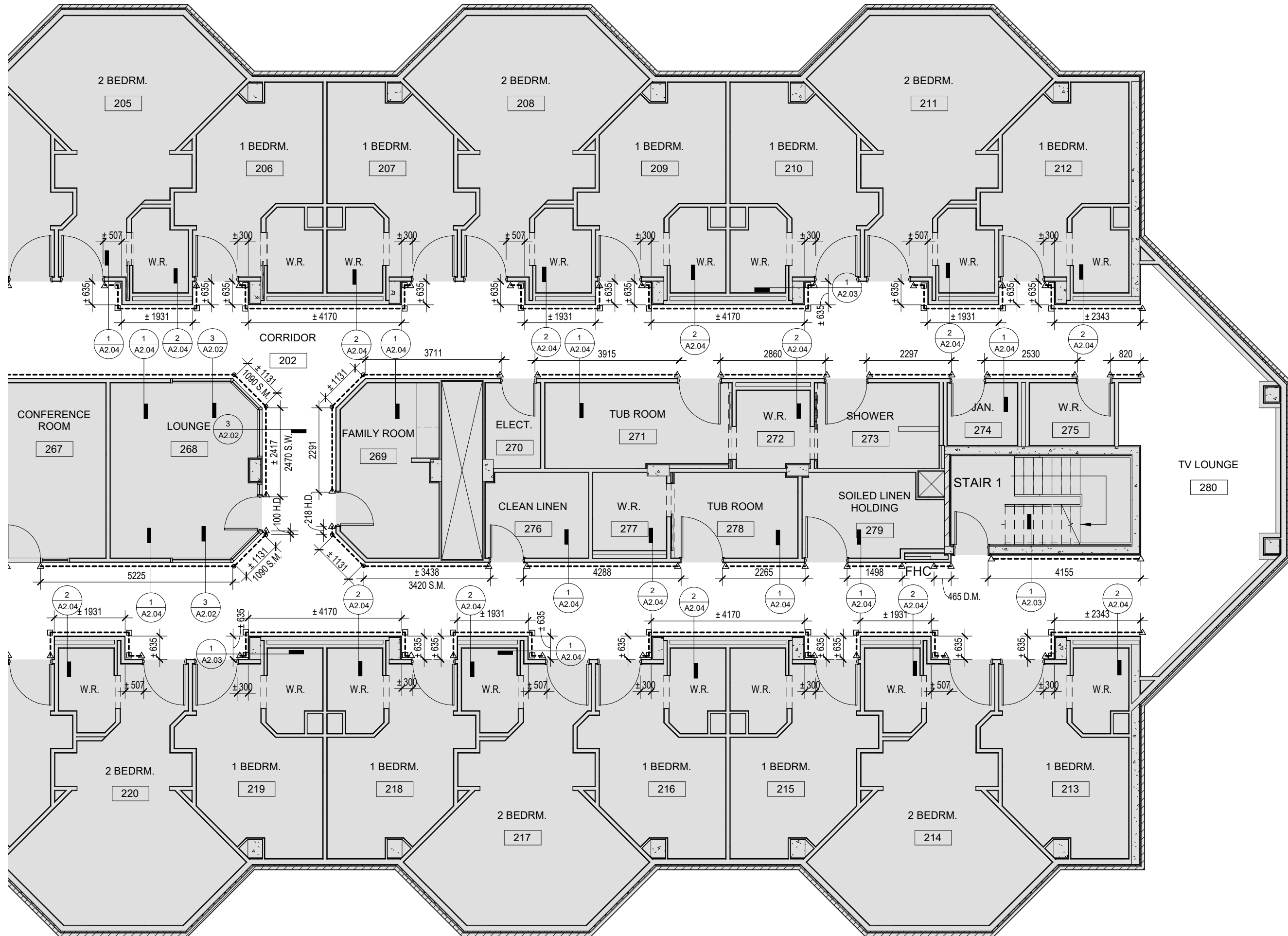
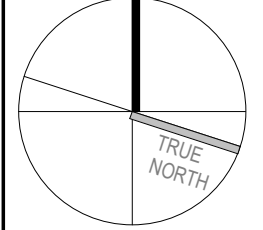
drawing number: **A1.04**

NOTE:  
DEMOLITION NOTES  
INCLUSIVE



**1** DEMO. PLAN - LEVEL 2 (CENTRE AREA)  
A1.04 1 : 100

PROJECT  
NORTH



4	2022-05-19	ISSUED FOR TENDER	MSA
1	2019-12-19	ISSUED FOR CONSTRUCTION	MSA
#	Date:	Revision:	By
revisions			

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**INTERIOR  
HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD., ETOBICOKE

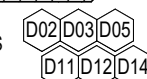
**DEMO. PLAN LEVEL 2  
(NORTH WING)**

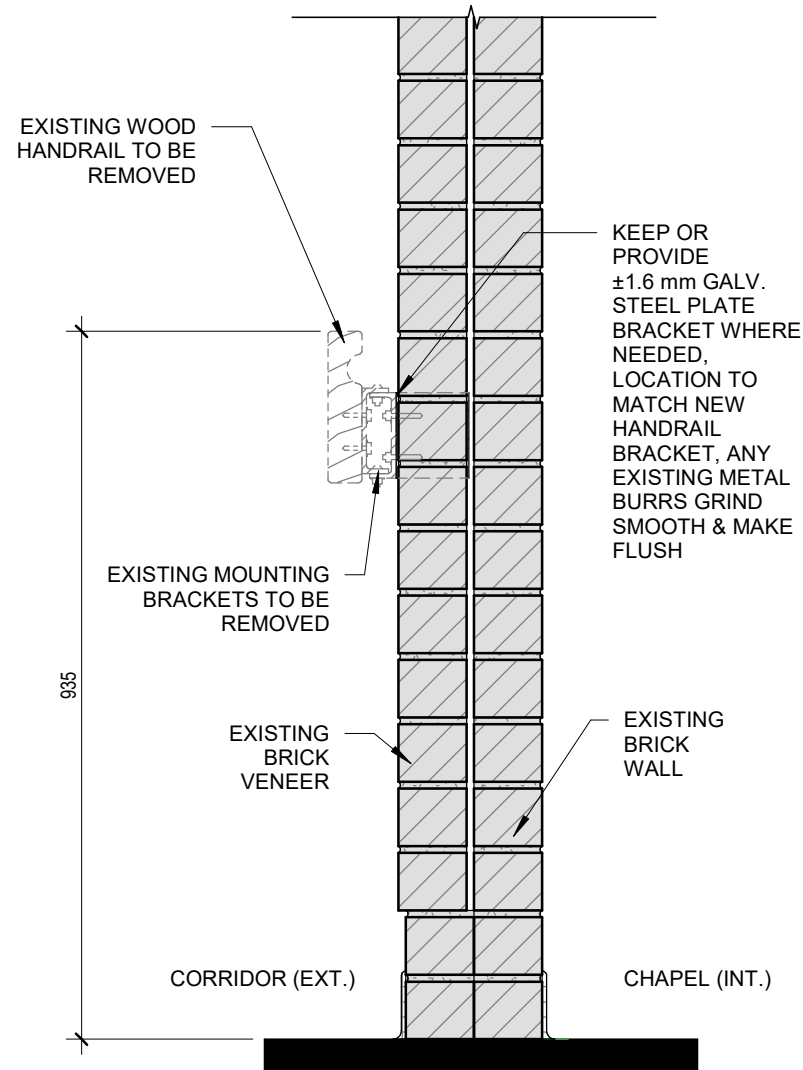
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 job number: 21508.F03  
 plot date: 2019-12-19

drawing number: **A1.05**

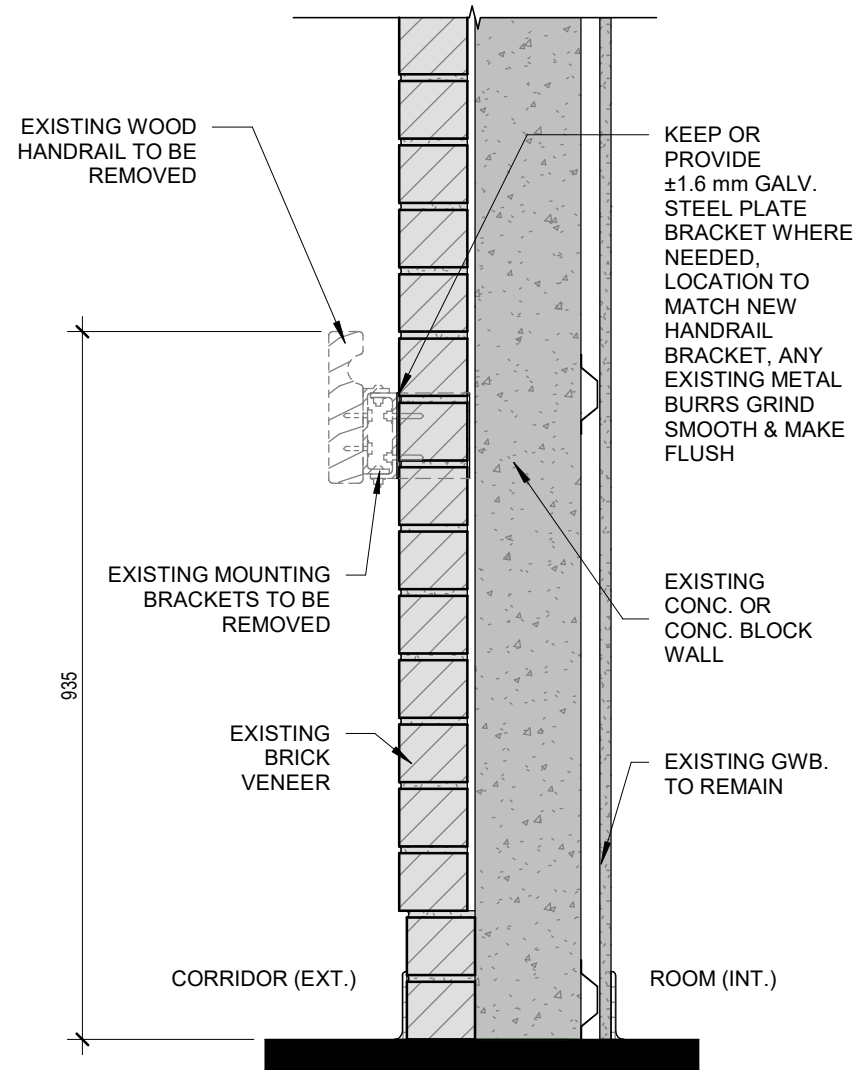
1 DEMO. PLAN - LEVEL 2 (NORTH WING)  
 A1.05 1 : 100

NOTE:  
DEMOLITION NOTES  
INCLUSIVE

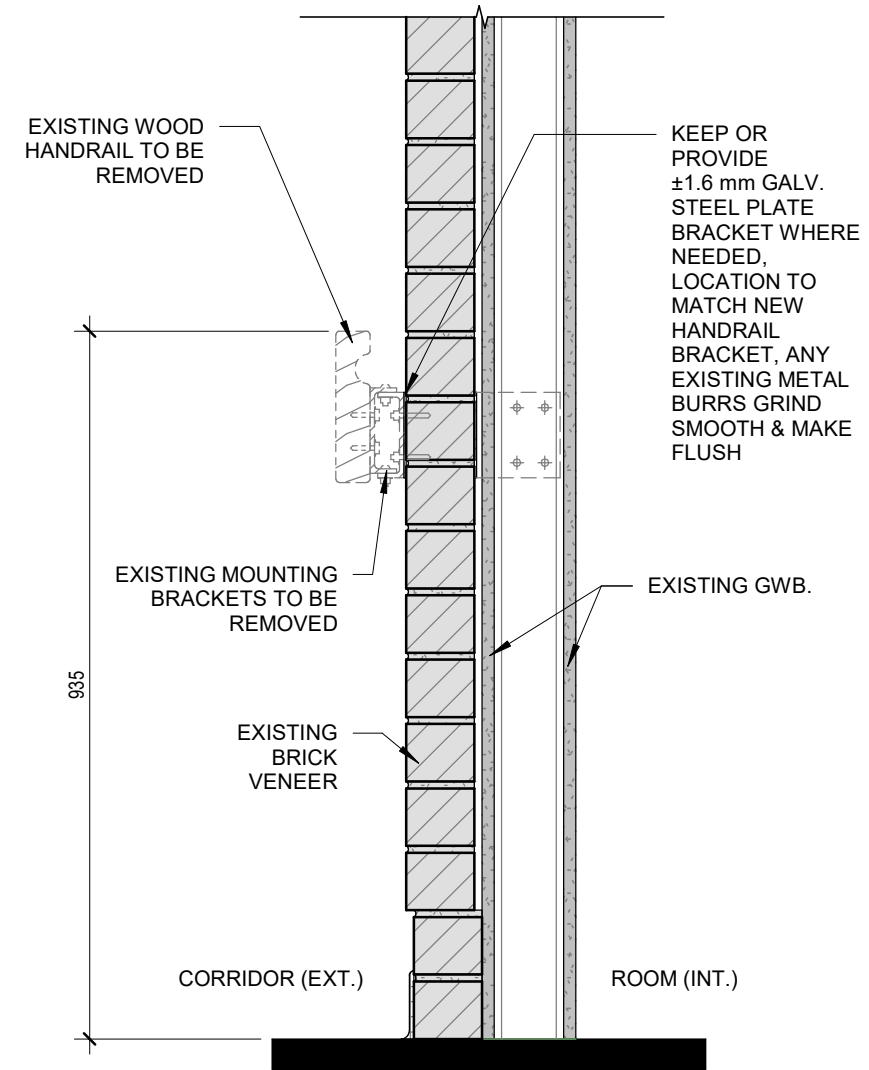




3 WOOD HANDRAIL AT BRICK@BRICK-DEMO. SECTION  
 A2.01 1 : 10



2 WOOD HANDRAIL AT BRICK@CONC.-DEMO. SECTION  
 A2.01 1 : 10



1 WOOD HANDRAIL AT BRICK@DRYWALL-DEMO. SECTION  
 A2.01 1 : 10

4	2022-05-19	ISSUED FOR TENDER	MSA
2	2019-08-28	ISSUED FOR TENDER	MSA
#	Date:	Revision:	By

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

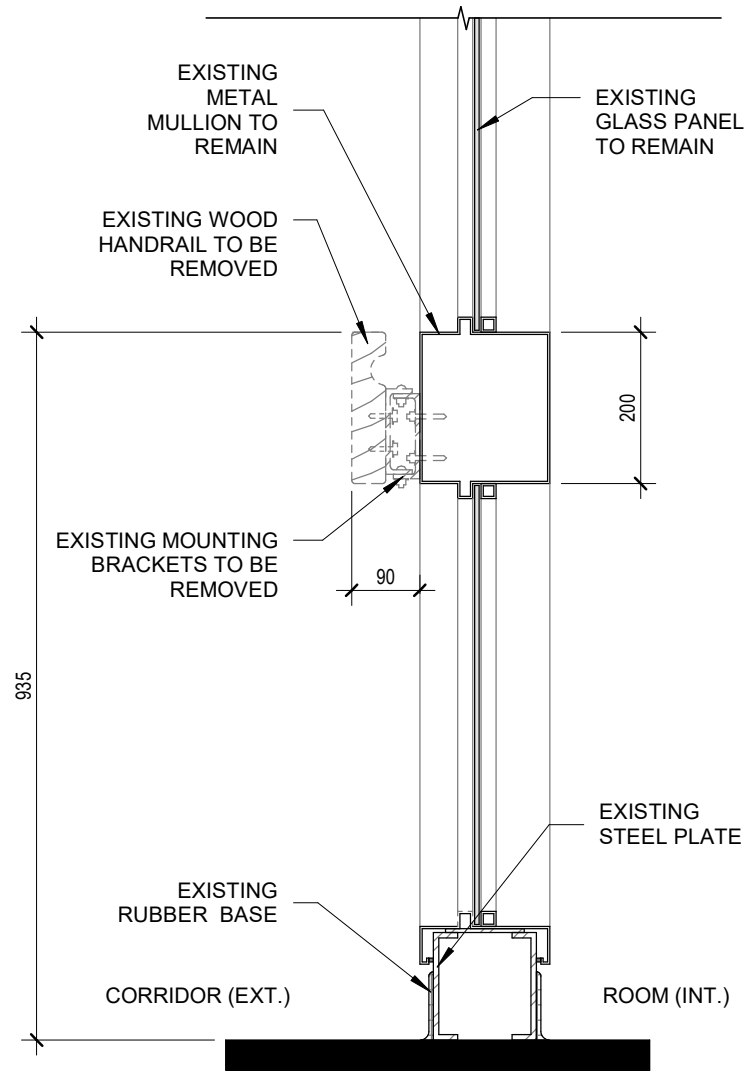
**INTERIOR HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD. W., ETOBICOKE

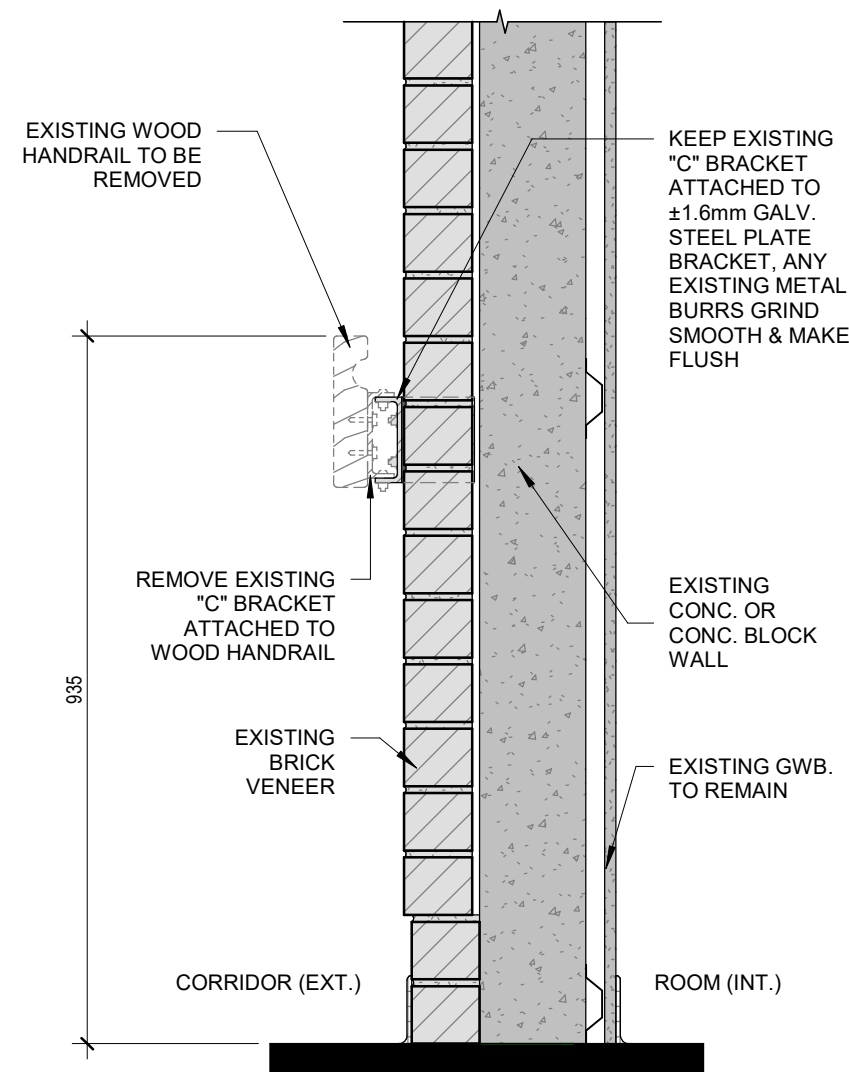
**TYP. EXISTING WOOD HANDRAIL DEMO. SECTIONS**

scale: 1 : 10  
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 reviewed by: AR  
 job number: 21508.F03  
 plot date: 2019-12-19

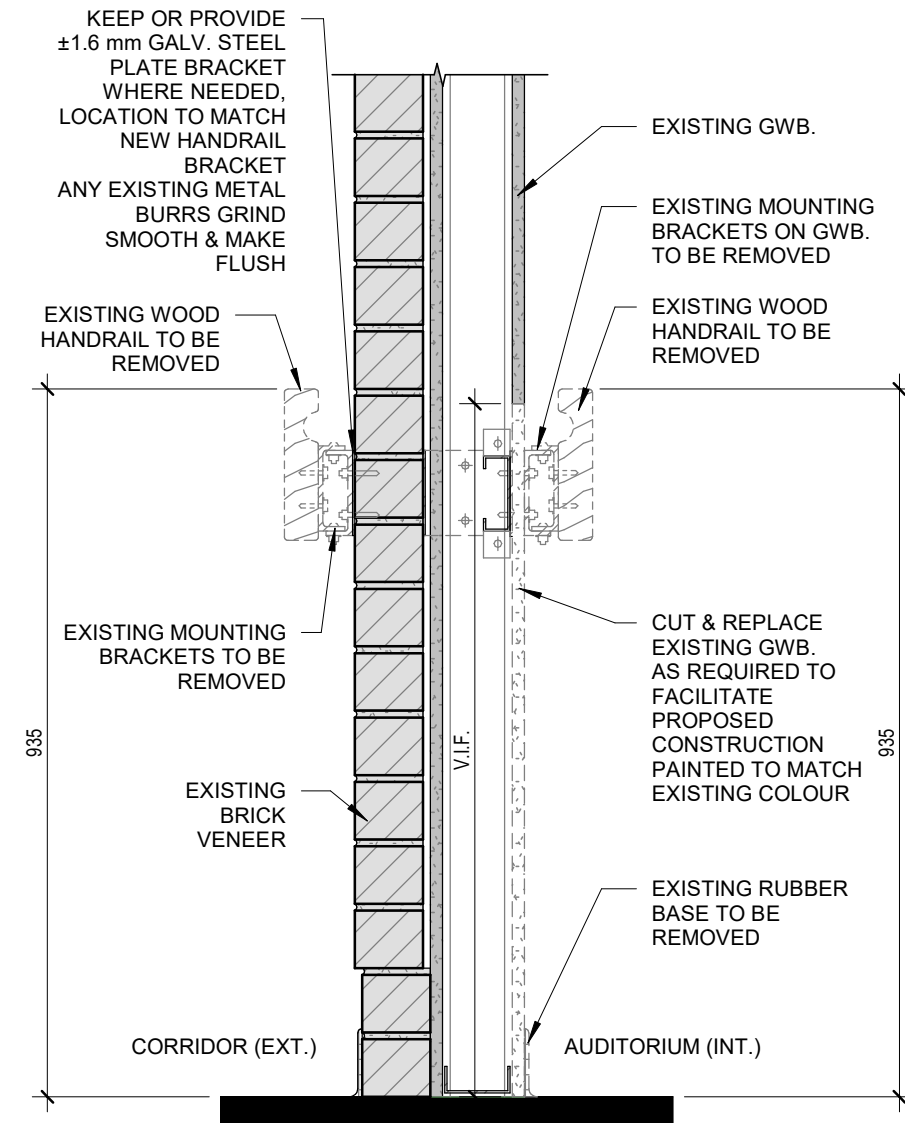
drawing number: **A2.01**



**3** WOOD HANDRAIL AT METAL MULLIONS - DEMO. SECTION  
 A2.02 1 : 10



**2** WOOD HANDRAIL AT BRICK NEXT TO GLASS BLOCK WALL-DEMO. SECTION  
 A2.02 1 : 10



**1** WOOD HANDRAIL IN AUDITORIUM-DEMO. SECTION  
 A2.02 1 : 10

4	2022-05-19	ISSUED FOR TENDER	MSA
1	2019-12-19	ISSUED FOR CONSTRUCTION	MSA
#	Date:	Revision:	By
revisions			

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**INTERIOR HANDRAIL REPLACEMENT**

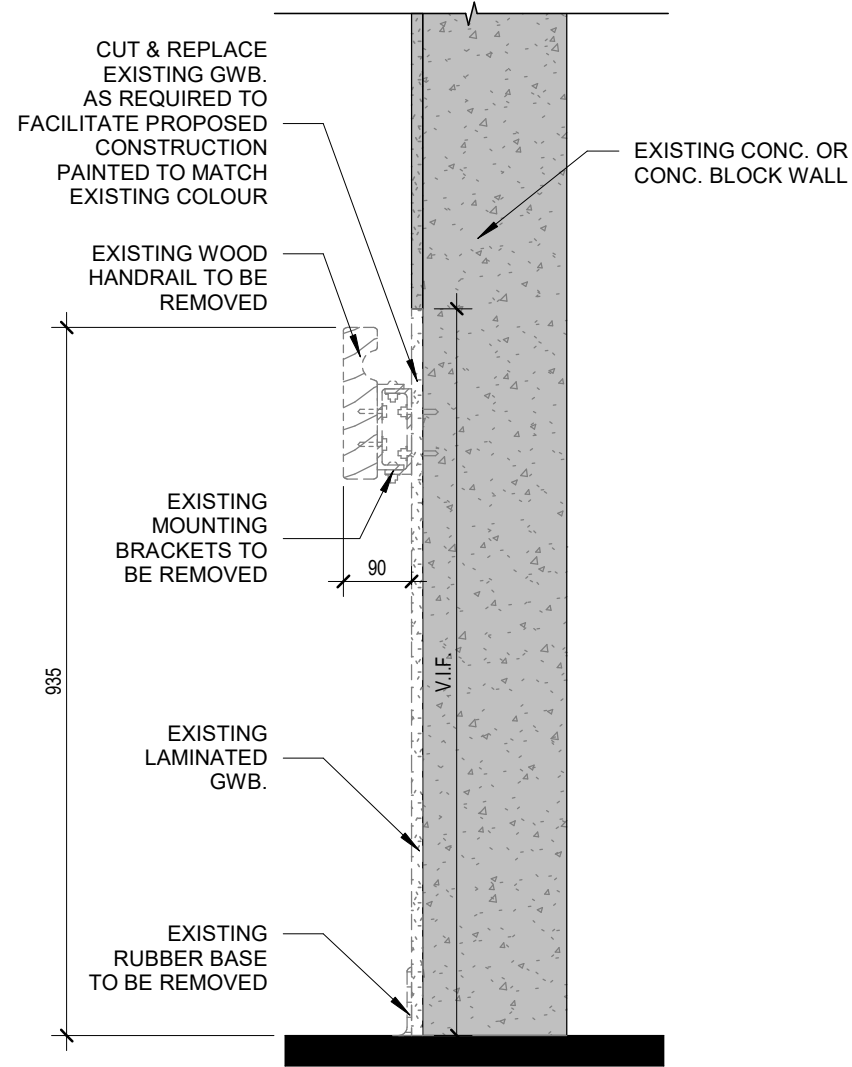
3197 LAKESHORE BLVD. W., ETOBICOKE

**TYP. EXISTING WOOD HANDRAIL DEMO. SECTIONS**

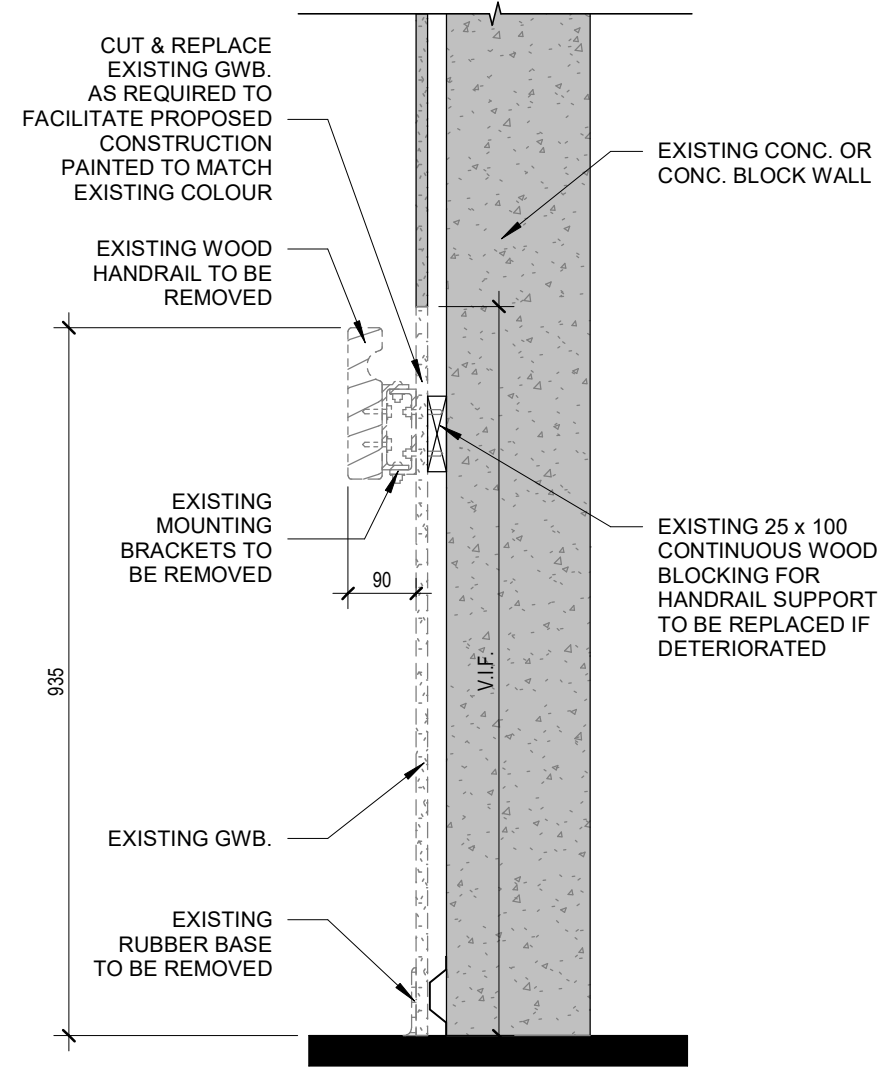
scale: 1 : 10  
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 reviewed by: AR  
 job number: 21508.F03  
 plot date: 2019-12-19

drawing number: **A2.02**





**2** WOOD HANDRAIL AT GWB. LAMIN. ON CONC. - DEMO. SECTION  
 A2.03 1 : 10



**1** WOOD HANDRAIL AT GWB. ON CONC. - DEMO. SECTION  
 A2.03 1 : 10

4	2022-05-19	ISSUED FOR TENDER	MSA
1	2019-12-19	ISSUED FOR CONSTRUCTION	MSA
#	Date:	Revision:	By
revisions			

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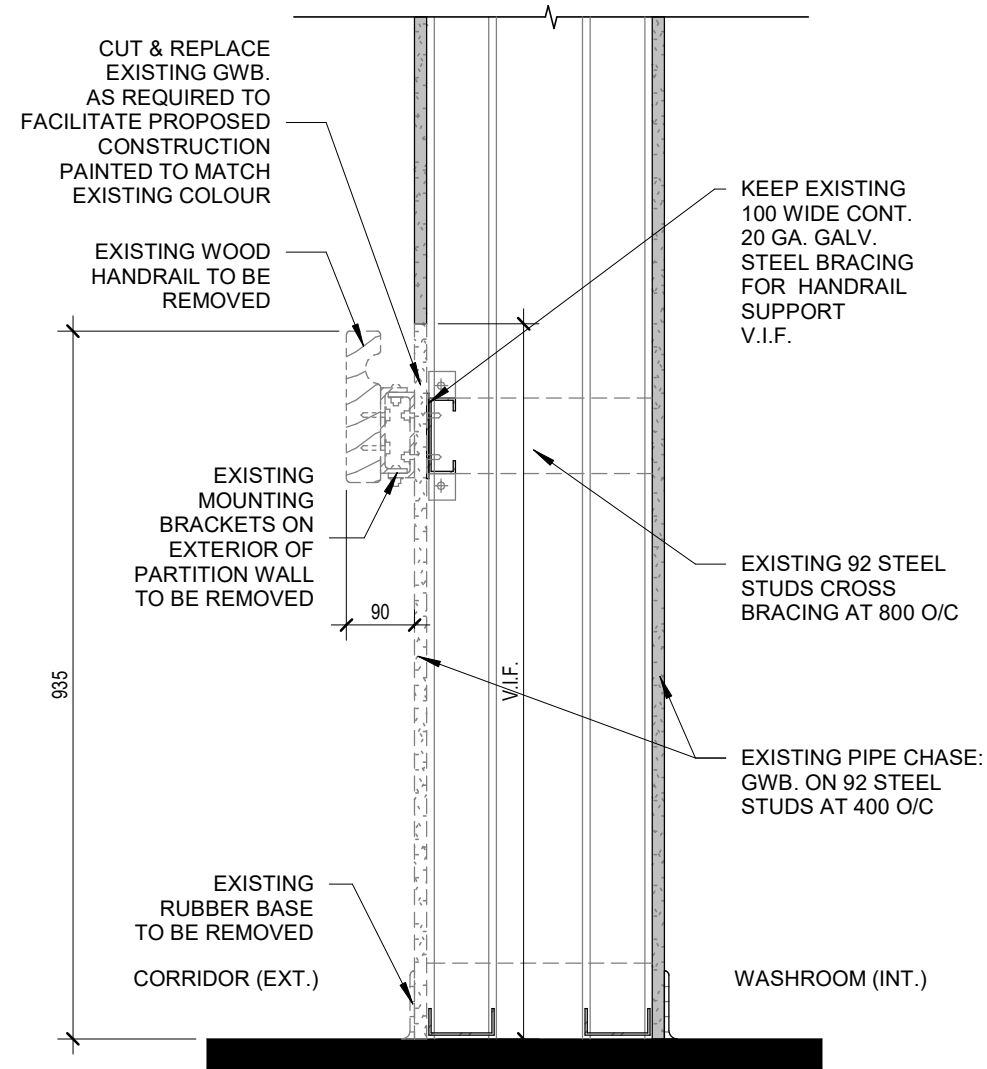
**INTERIOR  
 HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD. W., ETOBICOKE

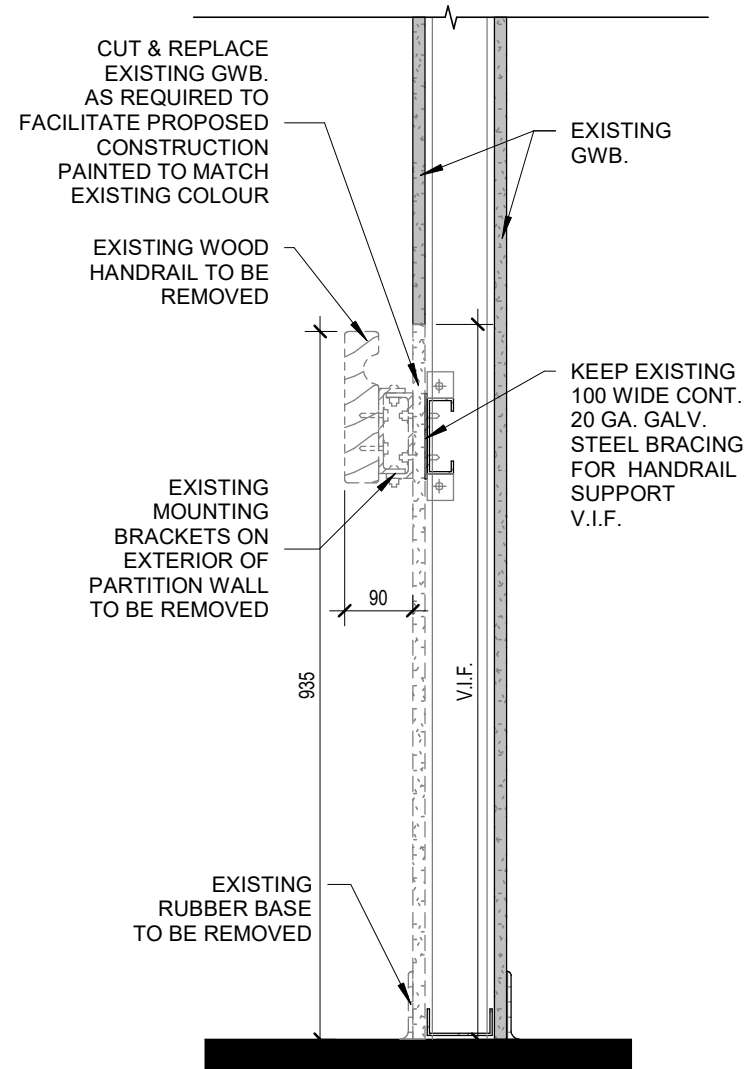
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 HANDRAIL DEMO. SECTIONS**

scale: 1 : 10  
 drawn by: MY  
 reviewed by: AR  
 job number: 21508.F03  
 plot date: 2019-12-19

drawing number:  
**A2.03**



**2** WOOD HANDRAIL AT DRYWALL (PIPE CHASE)- DEMO. SECTION  
 A2.04 1 : 10



**1** WOOD HANDRAIL AT DRYWALL - DEMO. SECTION  
 A2.04 1 : 10

4	2022-05-19	ISSUED FOR TENDER	MSA
1	2019-12-19	ISSUED FOR CONSTRUCTION	MSA
#	Date:	Revision:	By
revisions			

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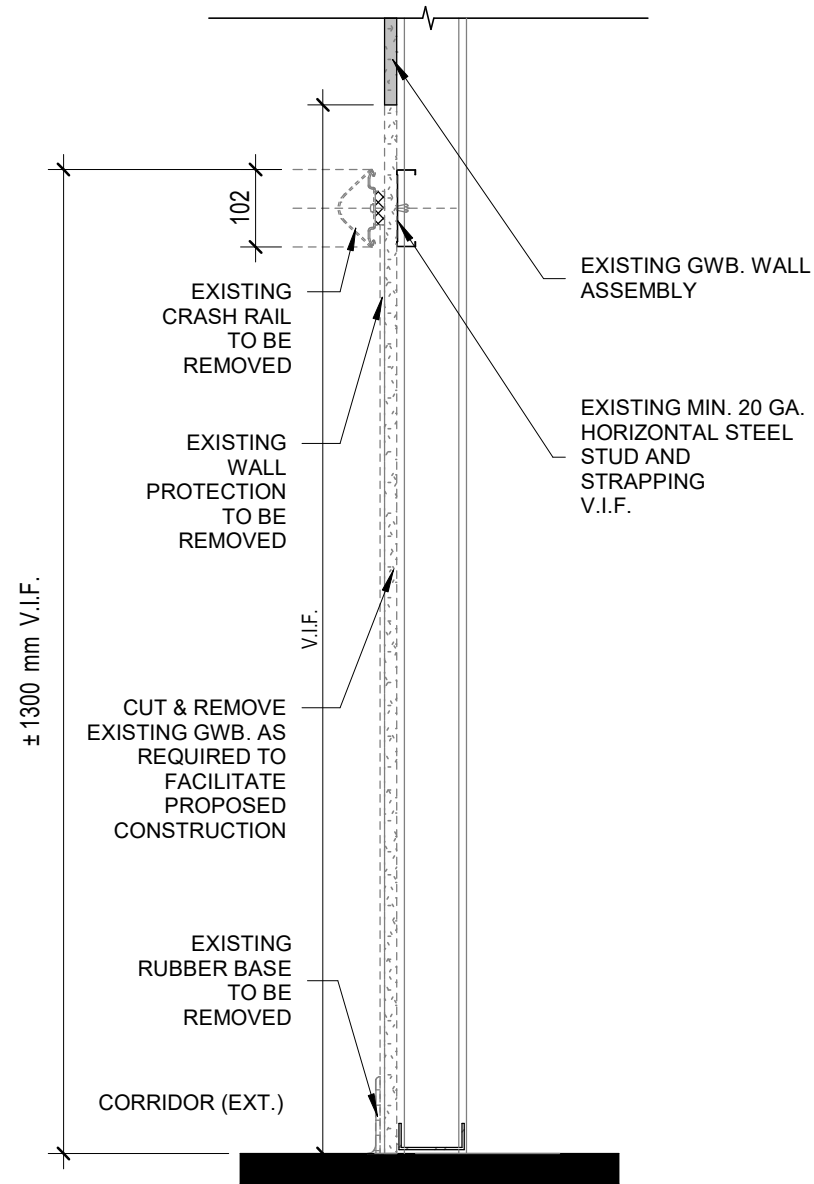
**INTERIOR HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD. W., ETOBICOKE

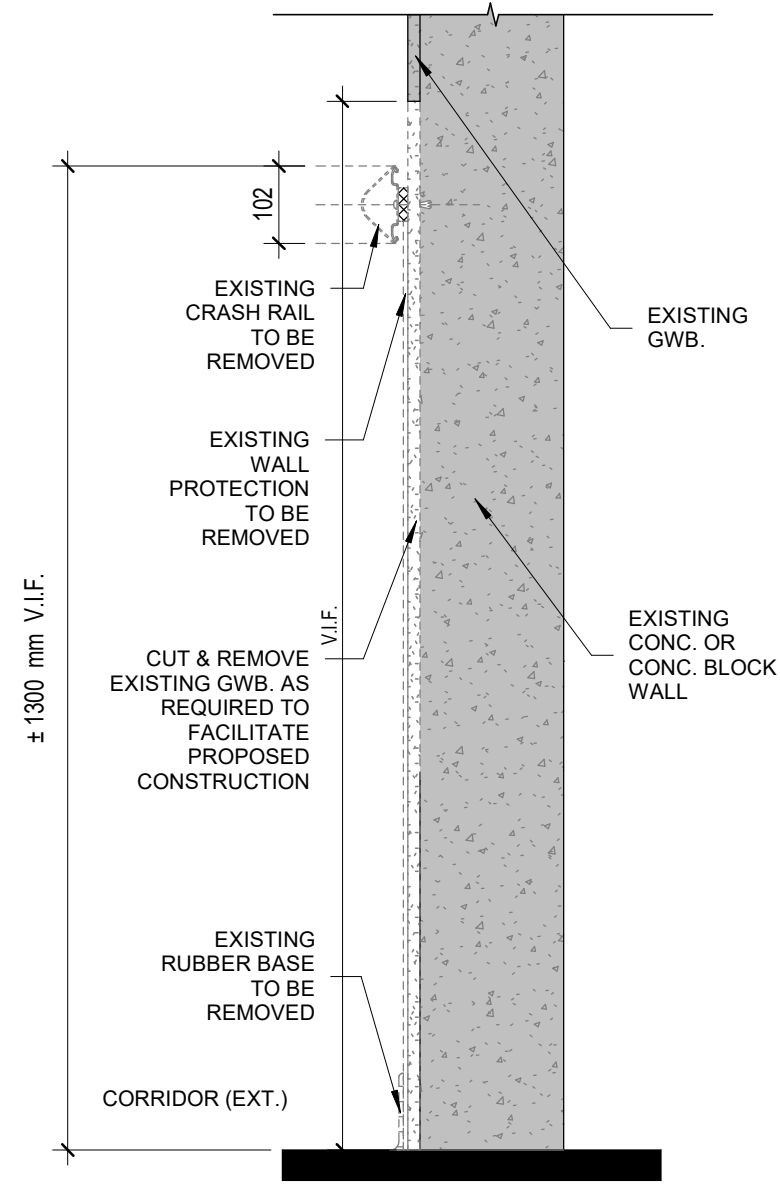
**TYP. EXISTING WOOD HANDRAIL DEMO. SECTIONS**

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 plot date: 2019-12-19

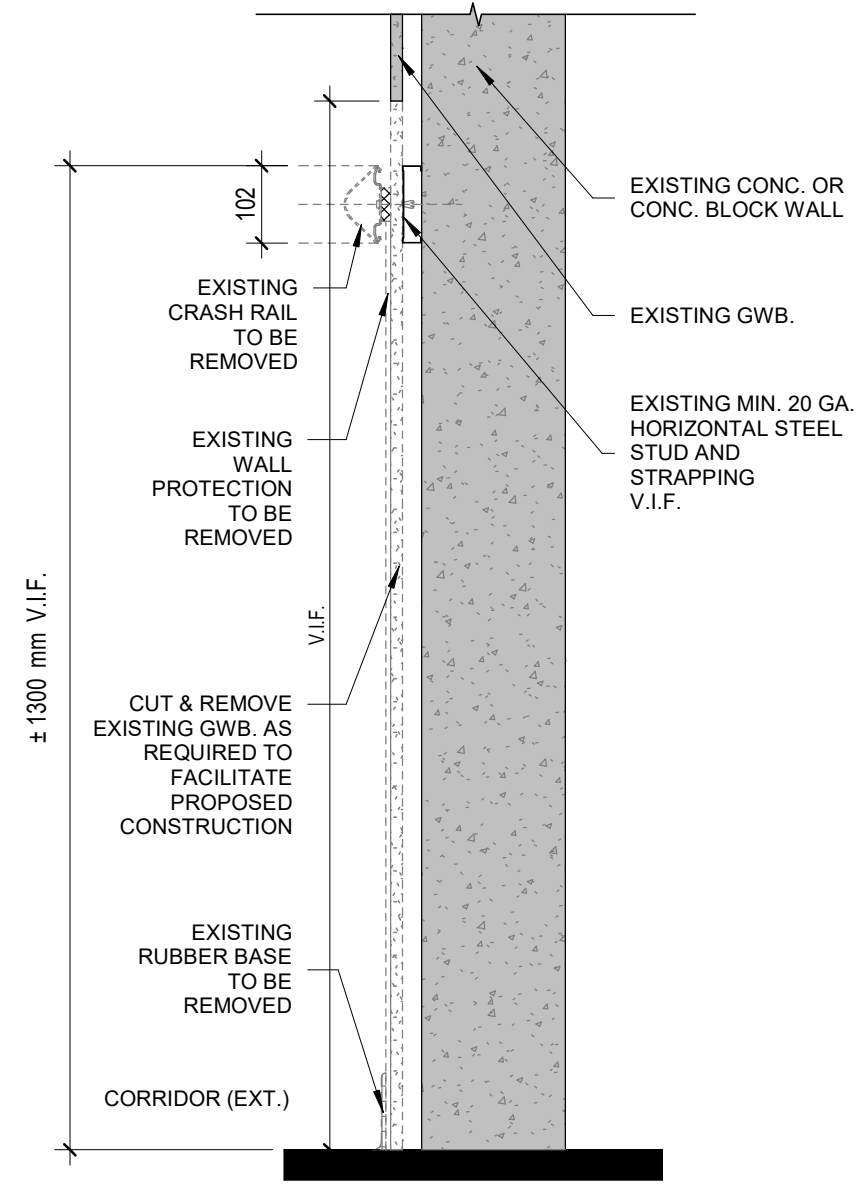
drawing number: **A2.04**



**3** CRASH RAIL AT DRYWALL  
 A2.05 1 : 10



**2** CRASH RAIL AT LAMI. CONCRETE  
 A2.05 1 : 10



**1** CRASH RAIL AT DRYWALL ON CONCRETE  
 A2.05 1 : 10

2	2019-08-28	ISSUED FOR TENDER	MSA
#	Date:	Revision:	By
revisions			

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**INTERIOR HANDRAIL REPLACEMENT**

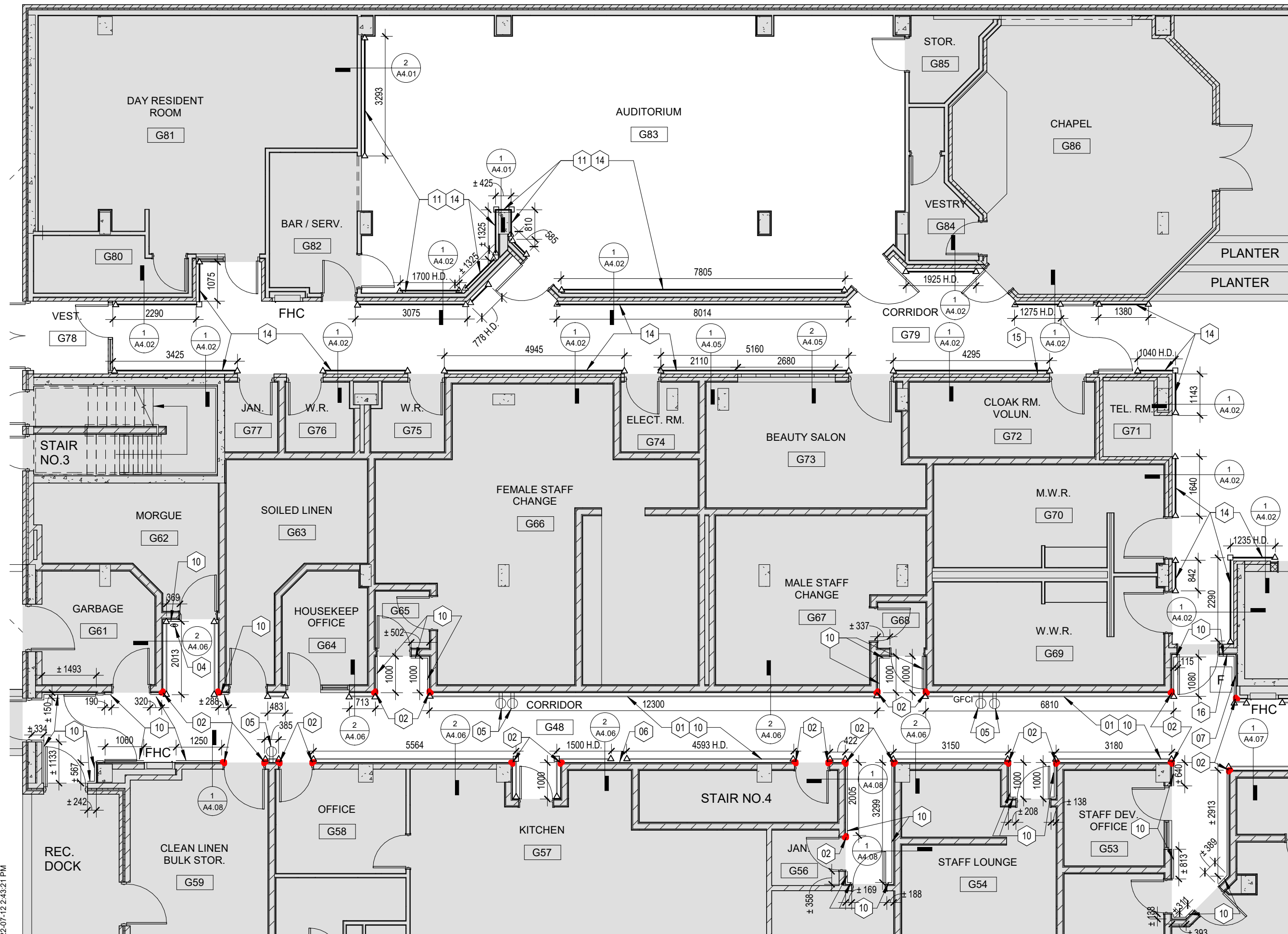
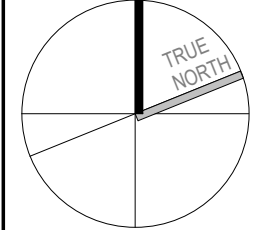
3197 LAKESHORE BLVD. W., ETOBICOKE

**TYP. EXISTING CRASH RAIL DEMO. DETAILS**

scale: 1 : 10  
 drawn by: MY  
 reviewed by: AR  
 job number: 21508.F03  
 plot date: 2019-12-19

drawing number: **A2.05**

PROJECT  
NORTH



4	2022-05-19	ISSUED FOR TENDER	MSA
2	2019-08-28	ISSUED FOR TENDER	MSA
#	Date:	Revision:	By

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**INTERIOR HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD. W., ETOBICOKE

**PROPOSED PLAN\_LEVEL 1 (SOUTH WING)**

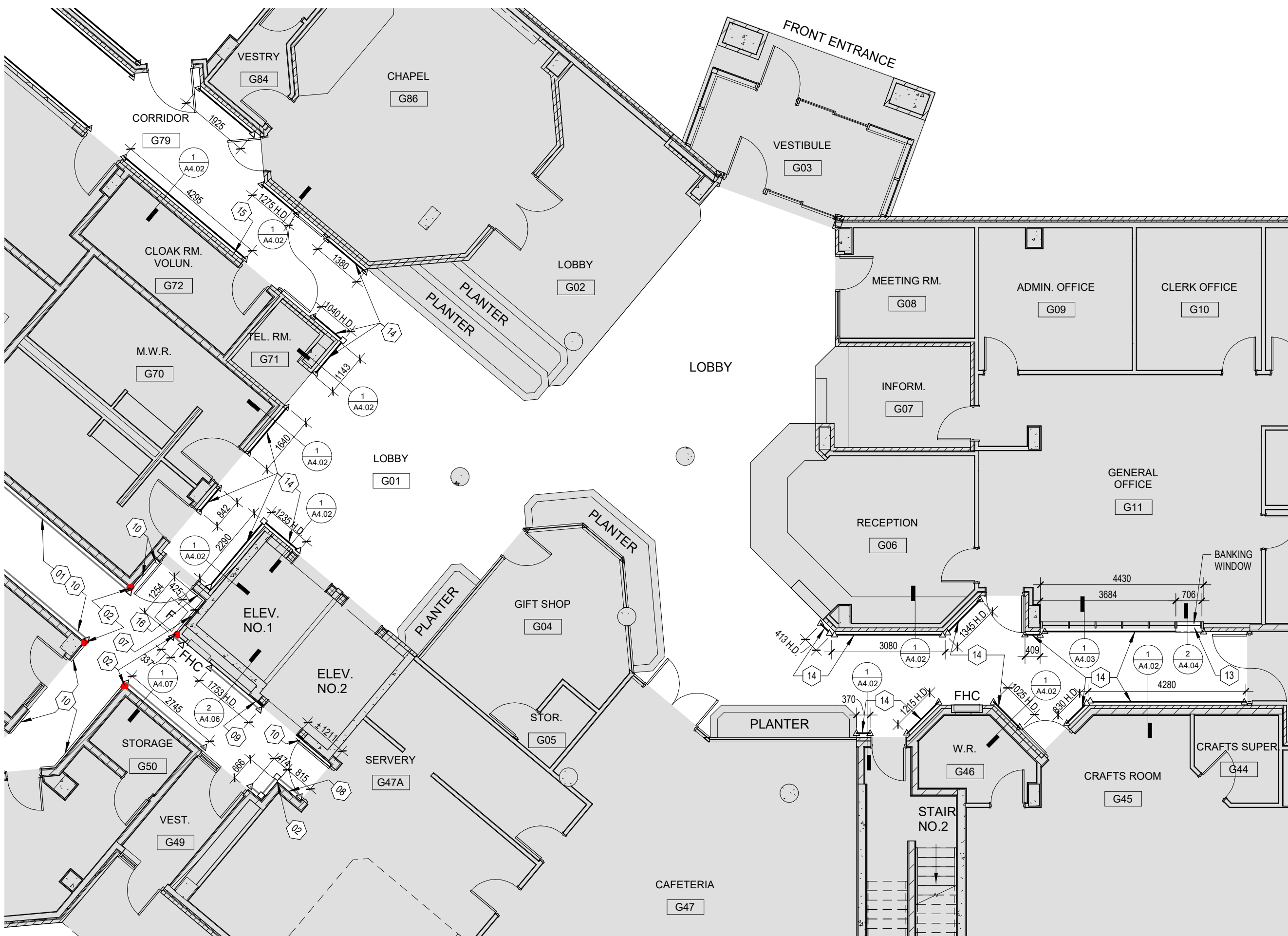
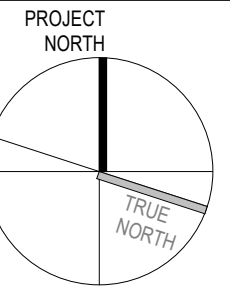
scale: 1 : 100  
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 reviewed by: AR  
 job number: 21508.F03  
 plot date: 2019-12-19

drawing number: **A3.01**

1 PROPOSED PLAN - LEVEL 1 (SOUTH WING)  
 A3.01 1: 100

NOTE: U.N.O., NEW WALL PROTECTION SHOULD COVER THE ENTIRE LOWER WALL PORTION (FROM WALLBASE UP ±1219mm(4') OF BACK OF HOUSE CORRIDOR - G48, CUT TO FIT EXISTING WALL CONDITION TO ACCOMODATE ALL EXISTING DEVICES ON THE WALL. CONSTRUCTION NOTES INCLUSIVE:

2022-07-12 2:43:21 PM



4	2022-05-19	ISSUED FOR TENDER	MSA
2	2019-08-28	ISSUED FOR TENDER	MSA
#	Date:	Revision:	By
revisions			

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**INTERIOR HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD. W., ETOBICOKE

**PROPOSED PLAN\_LEVEL 1 (CENTRE AREA)**

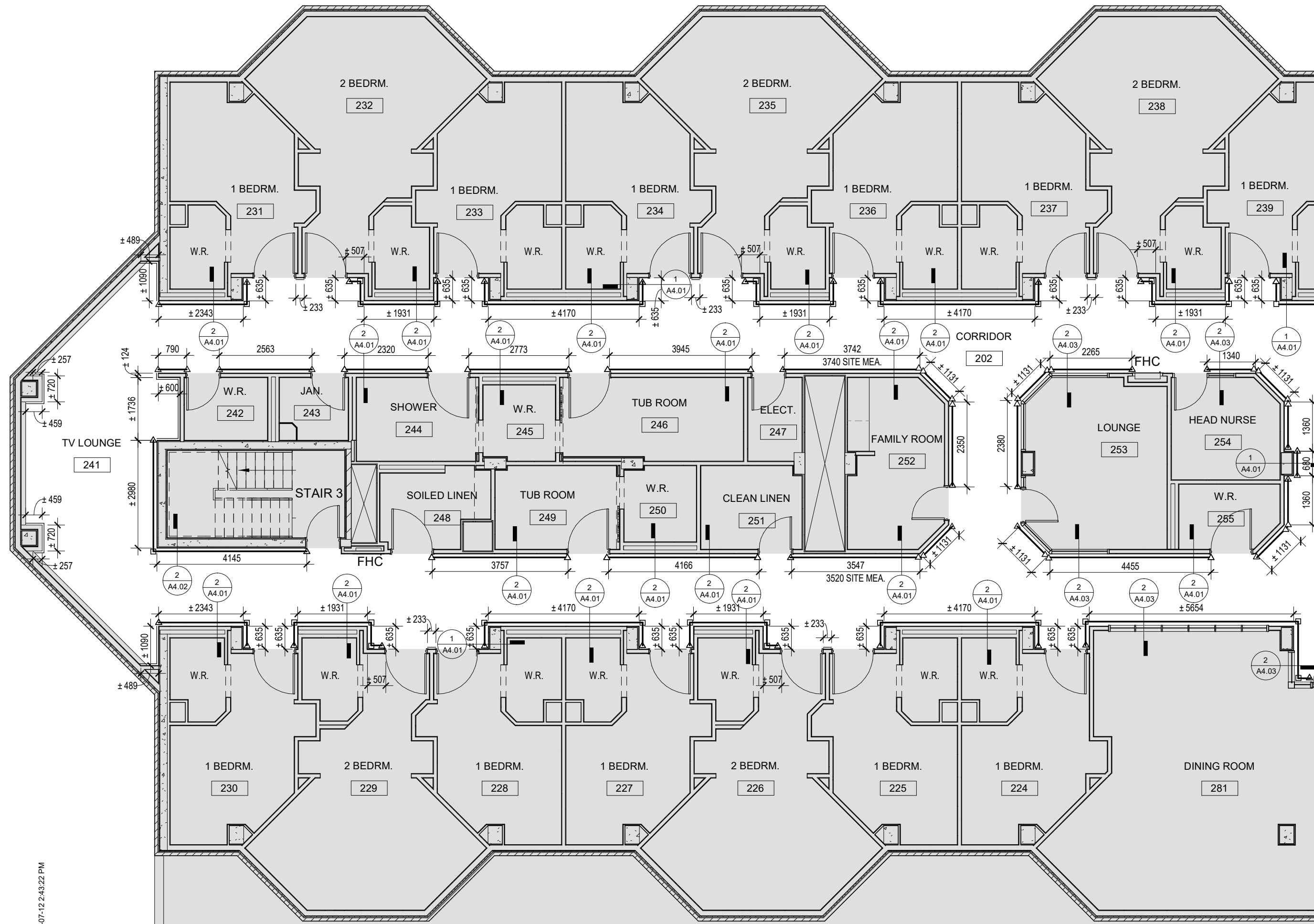
scale: 1 : 100  
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 reviewed by: AR  
 job number: 21508.F03  
 plot date: 2019-12-19

drawing number: **A3.02**

**1** PROPOSED PLAN -LEVEL 1 (CENTRE AREA)  
 A3.02 1: 100

NOTE: NEW WALL PROTECTION SHOULD COVER THE ENTIRE LOWER WALL PORTION (FROM WALLBASE UP ±1219mm(4''), REFER TO A4.08) OF BACK OF HOUSE CORRIDOR - G48, CUT TO FIT EXISTING WALL CONDITION TO ACCOMMODATE ALL EXISTING DEVICES ON THE WALL. CONSTRUCTION NOTES INCLUSIVE:

2022-07-12 2:43:22 PM



4	2022-05-19	ISSUED FOR TENDER	MSA
1	2019-12-19	ISSUED FOR CONSTRUCTION	MSA
#	Date:	Revision:	By
			revisions

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**INTERIOR HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD. W., ETOBICOKE

**PROPOSED PLAN\_LEVEL 2 (SOUTH WING)**

scale: 1 : 100  
 drawn by: MY  
 reviewed by: AR  
 job number: 21508.F03  
 plot date: 2019-12-19

drawing number:

**A3.03**

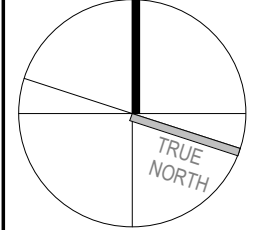
1 PROPOSED PLAN - LEVEL 2 (SOUTH WING)  
 A3.03 1 : 100

NOTE: NEW WALL PROTECTION SHOULD COVER THE ENTIRE LOWER WALL PORTION (FROM WALLBASE UP ±800mm, REFER TO A4.09) OF LOBBY 201, CORRIDOR 202 / 264 AND TV LOUNGE 241 / 280, CUT TO FIT EXISTING WALL CONDITION TO ACCOMMODATE ALL EXISTING DEVICES ON THE WALL. CONSTRUCTION NOTES INCLUSIVE:

01 02 10 11 14

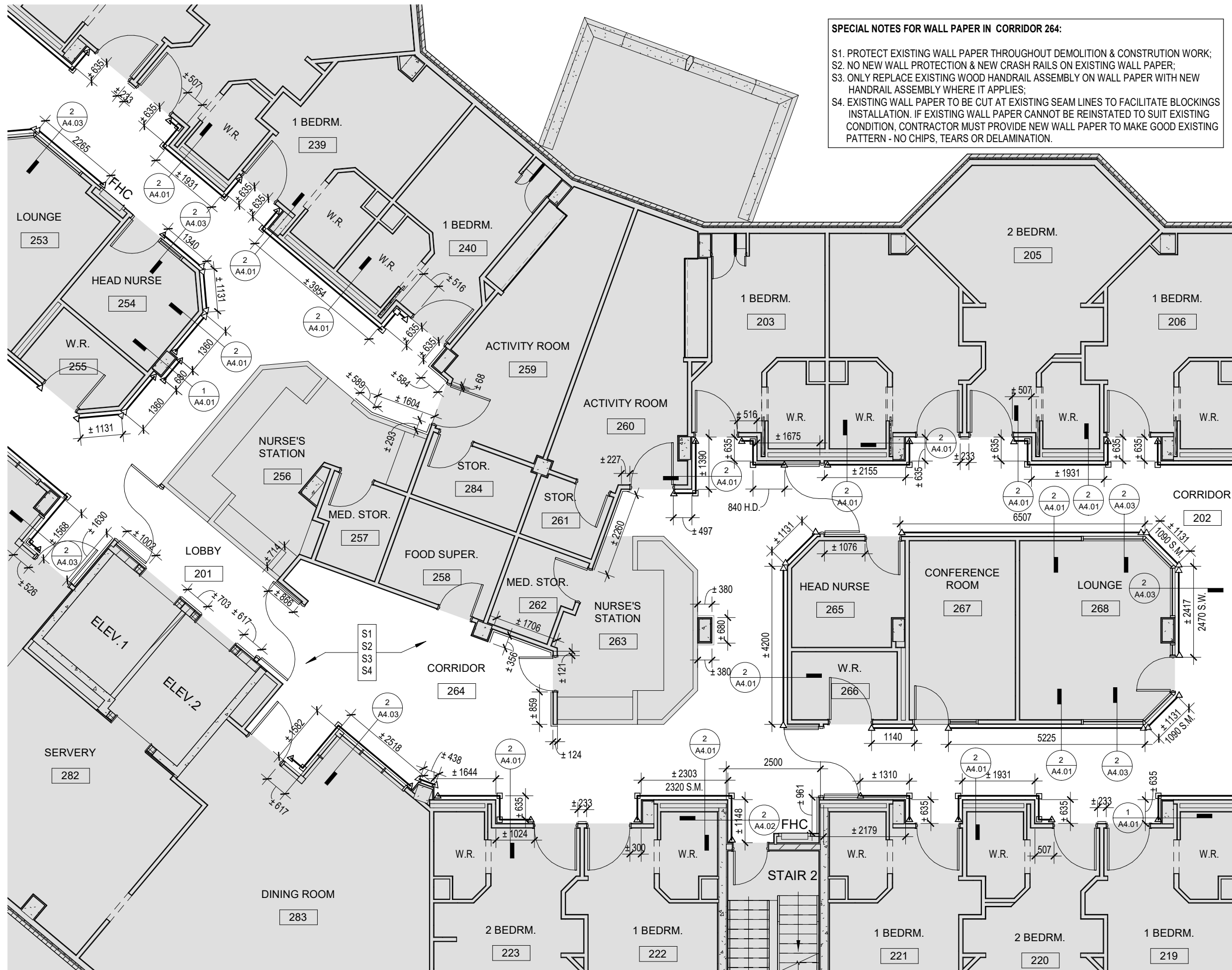
2022-07-12 2:43:22 PM

PROJECT  
NORTH



**SPECIAL NOTES FOR WALL PAPER IN CORRIDOR 264:**

- S1. PROTECT EXISTING WALL PAPER THROUGHOUT DEMOLITION & CONSTRUCTION WORK;
- S2. NO NEW WALL PROTECTION & NEW CRASH RAILS ON EXISTING WALL PAPER;
- S3. ONLY REPLACE EXISTING WOOD HANDRAIL ASSEMBLY ON WALL PAPER WITH NEW HANDRAIL ASSEMBLY WHERE IT APPLIES;
- S4. EXISTING WALL PAPER TO BE CUT AT EXISTING SEAM LINES TO FACILITATE BLOCKINGS INSTALLATION. IF EXISTING WALL PAPER CANNOT BE REINSTATED TO SUIT EXISTING CONDITION, CONTRACTOR MUST PROVIDE NEW WALL PAPER TO MAKE GOOD EXISTING PATTERN - NO CHIPS, TEARS OR DELAMINATION.



4	2022-05-19	ISSUED FOR TENDER	MSA
1	2019-12-19	ISSUED FOR CONSTRUCTION	MSA
#	Date:	Revision:	By
revisions			

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**INTERIOR HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD. W., ETOBICOKE

**PROPOSED PLAN\_LEVEL 2 (CENTRE AREA)**

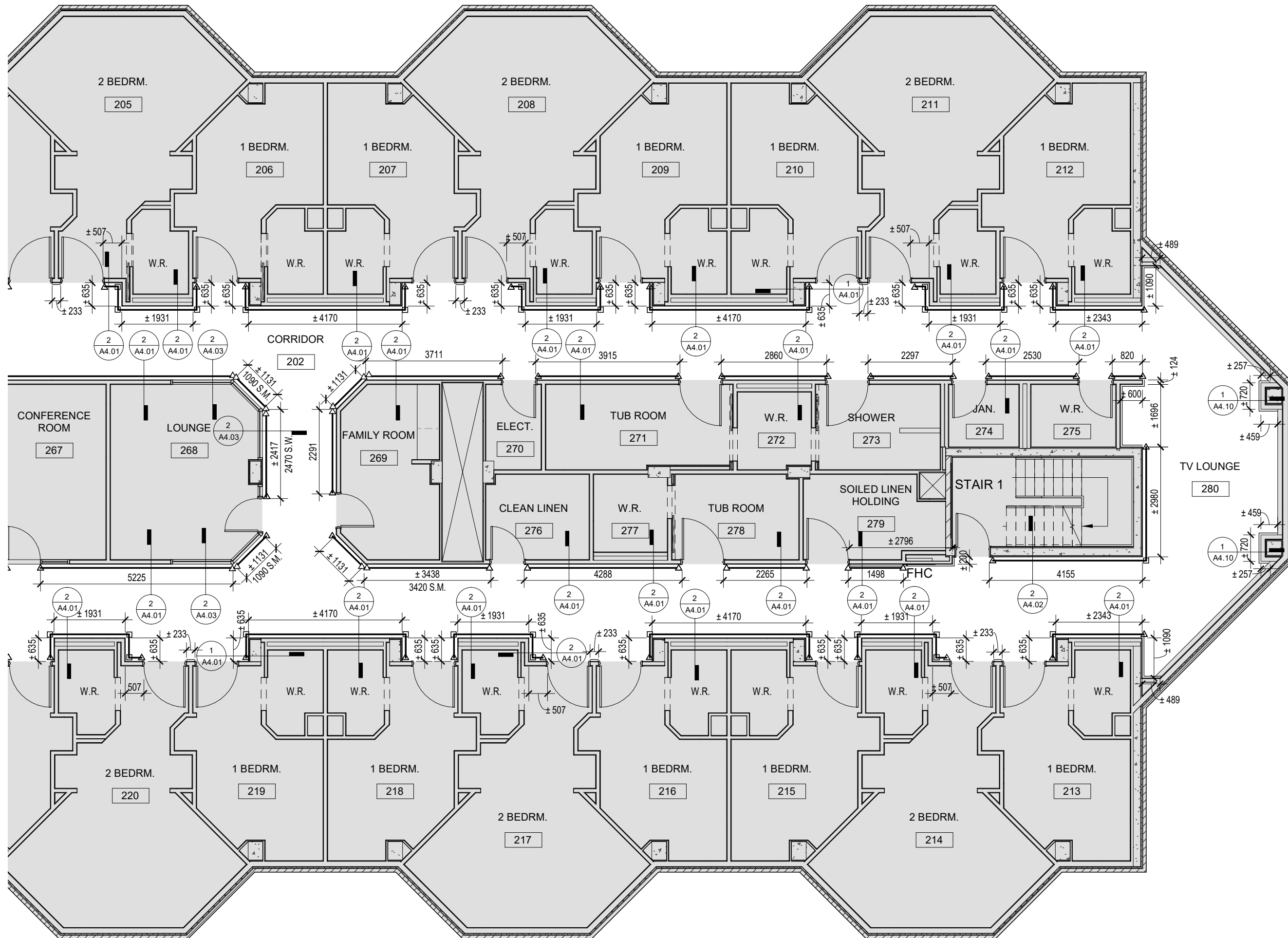
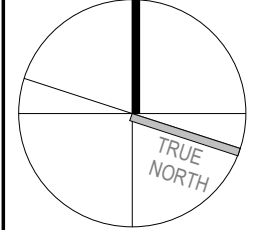
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 reviewed by: AR  
 job number: 21508.F03  
 plot date: 2019-12-19

drawing number: **A3.04**

**1** PROPOSED PLAN - LEVEL 2 (CENTRE AREA)  
A3.04 1 : 100

NOTE: U.N.O., NEW WALL PROTECTION SHOULD COVER THE ENTIRE LOWER WALL PORTION (FROM WALLBASE UP ±800mm, REFER TO A4.09) OF LOBBY 201, CORRIDOR 202 / 264 AND TV LOUNGE 241 / 280, CUT TO FIT EXISTING WALL CONDITION TO ACCOMMODATE ALL EXISTING DEVICES ON THE WALL. CONSTRUCTION NOTES INCLUSIVE:

PROJECT  
NORTH



4	2022-05-19	ISSUED FOR TENDER	MSA
1	2019-12-19	ISSUED FOR CONSTRUCTION	MSA
#	Date:	Revision:	By

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

**INTERIOR HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD., ETOBICOKE

**PROPOSED PLAN\_LEVEL 2 (NORTH WING)**

scale: 1 : 100  
 drawn by: MY  
 reviewed by: AR  
 job number: 21508.F03  
 plot date: 2019-12-19

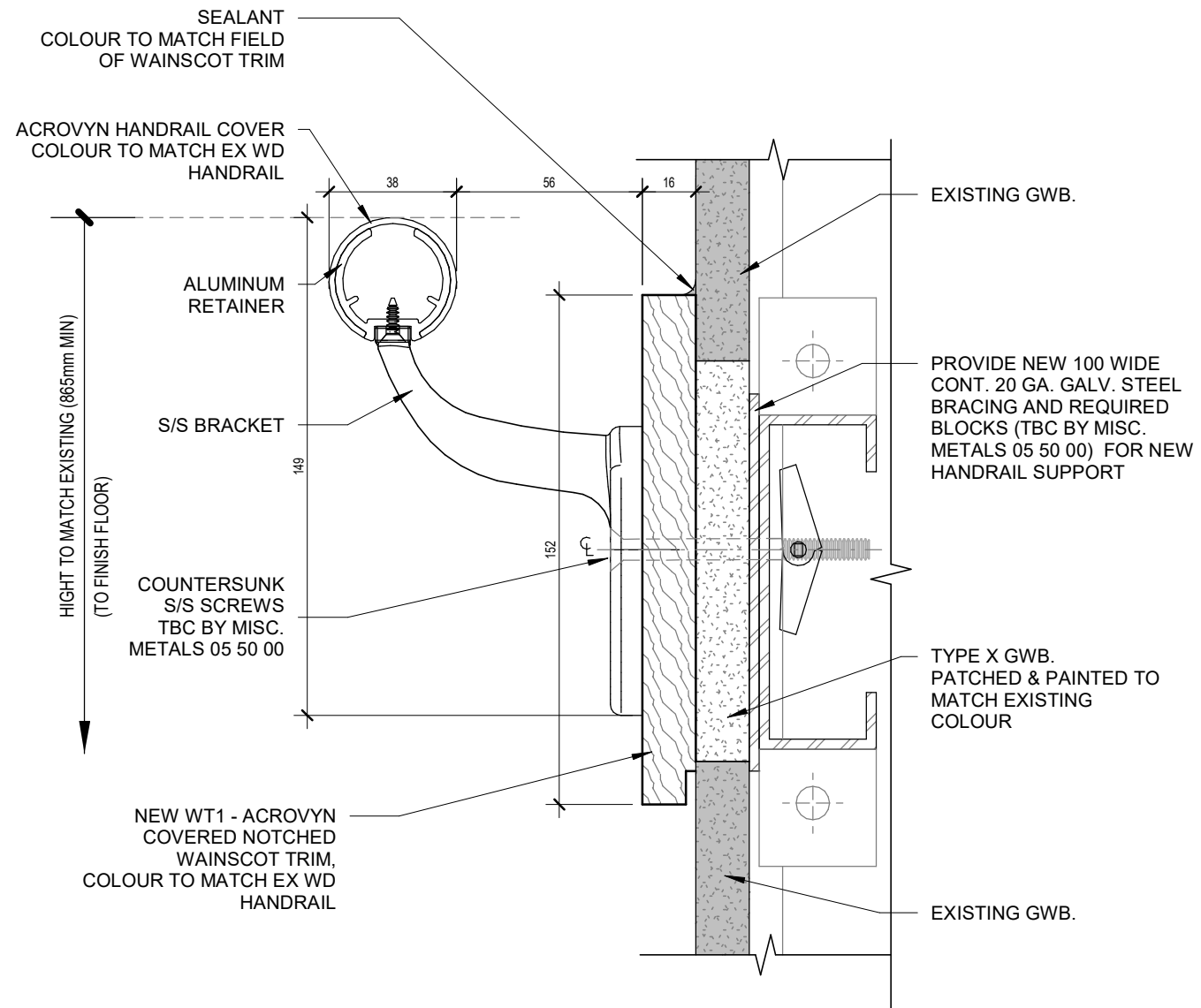
drawing number: **A3.05**

1 PROPOSED PLAN - LEVEL 2 (NORTH WING)  
 A3.05 1 : 100

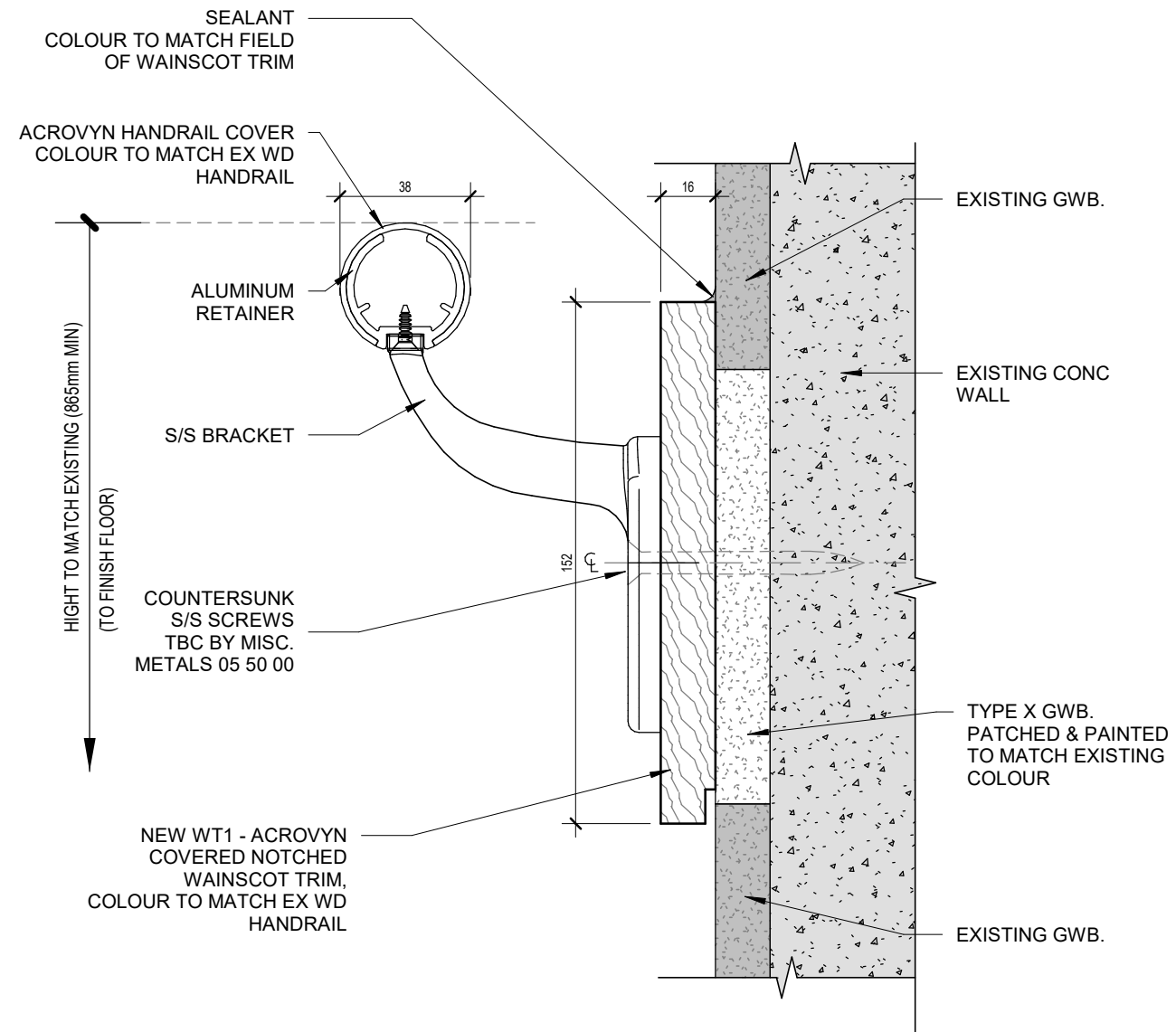
NOTE: NEW WALL PROTECTION SHOULD COVER THE ENTIRE LOWER WALL PORTION (FROM WALLBASE UP ±800mm, REFER TO A4.09) OF LOBBY 201, CORRIDOR 202 / 264 AND TV LOUNGE 241 / 280, CUT TO FIT EXISTING WALL CONDITION TO ACCOMMODATE ALL EXISTING DEVICES ON THE WALL.  
 CONSTRUCTION NOTES INCLUSIVE:

01 02 10 11 14





**2** PROPOSED HANDRAIL AT DRYWALL DETAIL  
 A4.01 1:2



**1** PROPOSED HANDRAIL AT GWB LAMINATED CONC  
 A4.01 1:2

4	2022-05-19	ISSUED FOR TENDER	MSA
3	2019-07-12	DESIGN SIGN-OFF/COSTING	MSA
#	Date:	Revision:	By

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

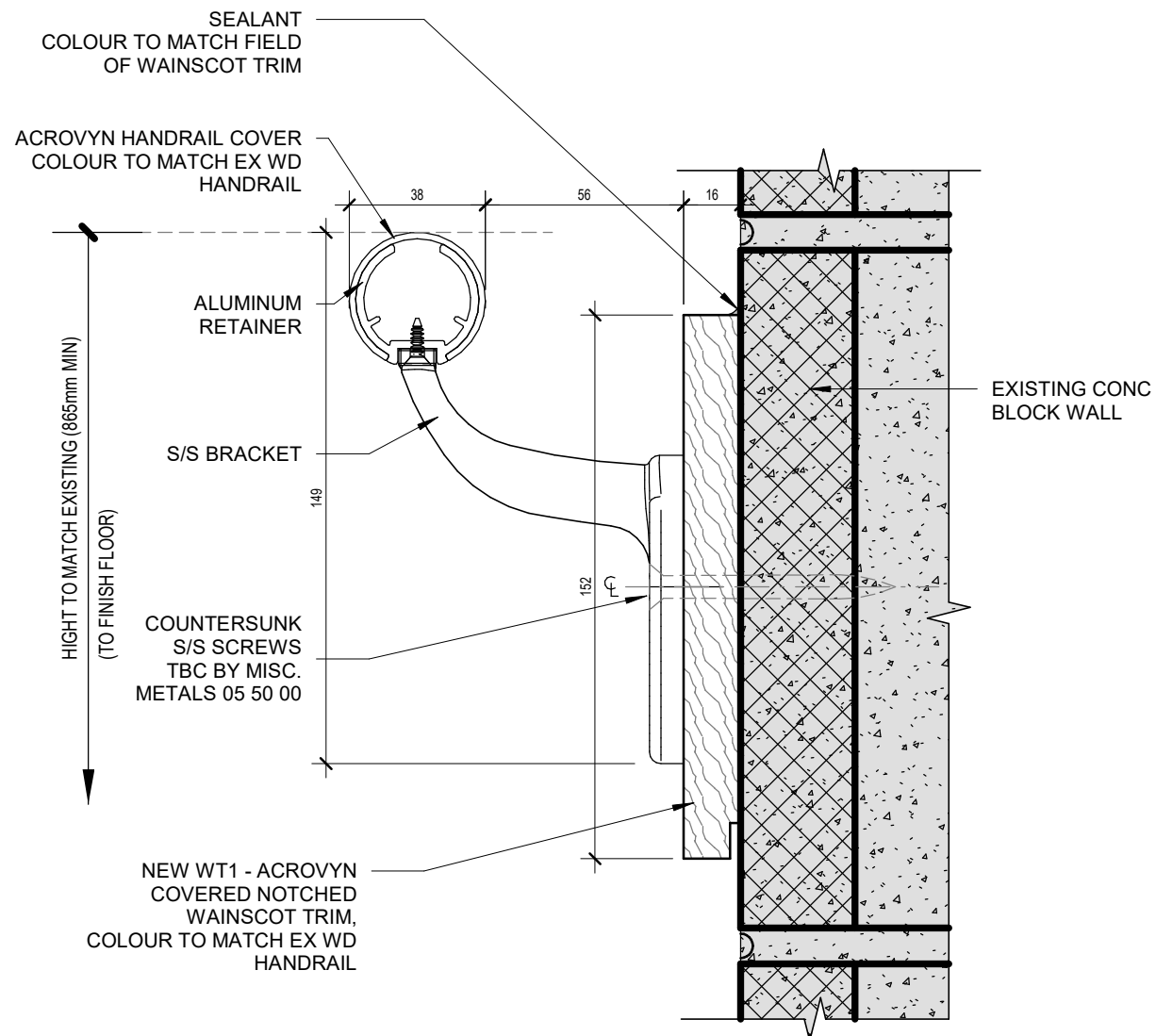
**INTERIOR  
 HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD. W., ETOBICOKE

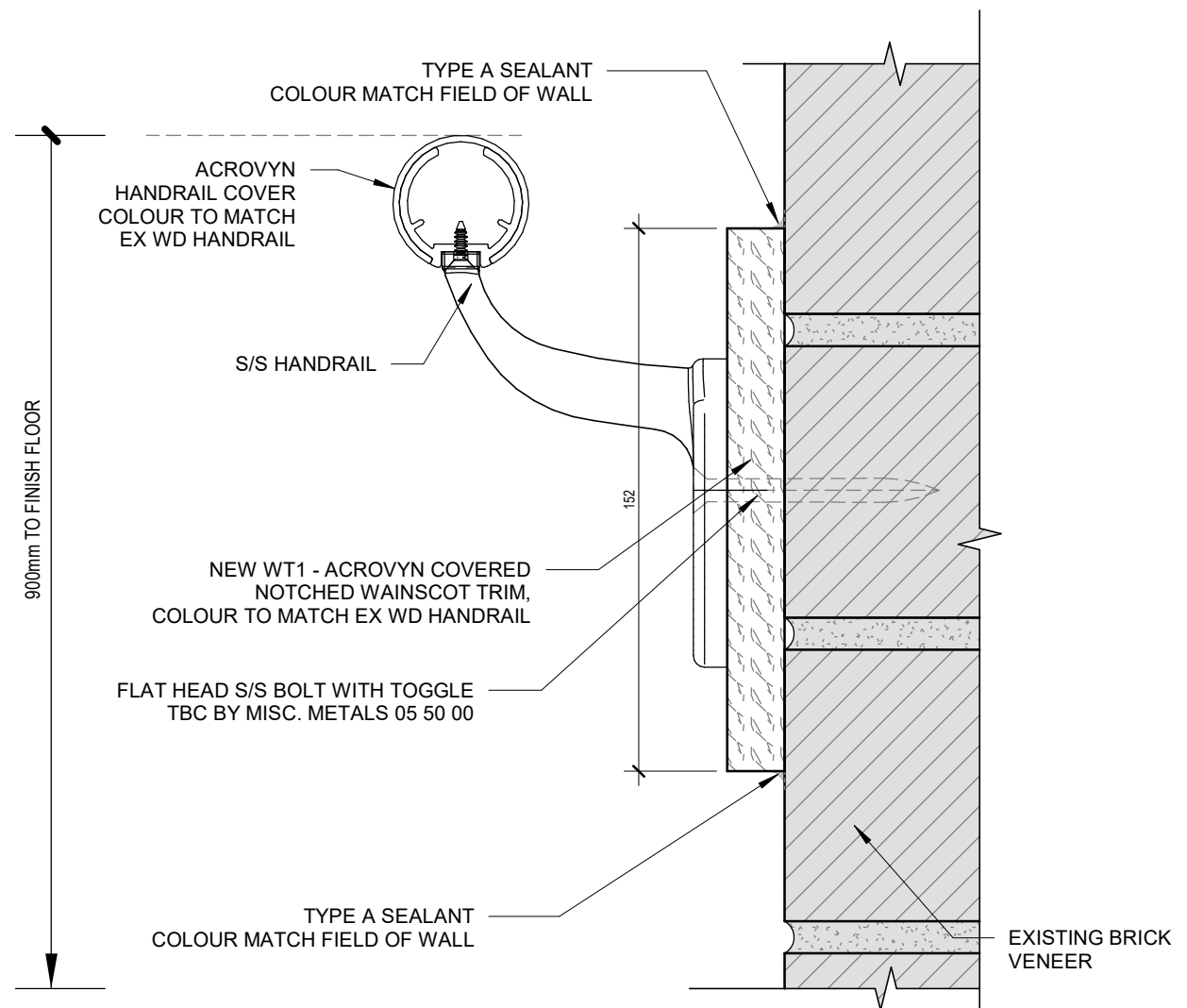
**TYPICAL PROPOSED  
 HANDRAIL DETAILS**

scale: 1:2  
 drawn by: MY  
 reviewed by: AR  
 job number: 21508.F03  
 plot date: 2019-12-19

drawing number:  
**A4.01**



**2** PROPOSED HANDRAIL AT CONC BLOCK WALL  
 A4.02 1:2



**1** PROPOSED NEW HANDRAIL AT BRICK VENEER  
 A4.02 1:2

4	2022-05-19	ISSUED FOR TENDER	MSA
#	Date:	Revision:	By
revisions			

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

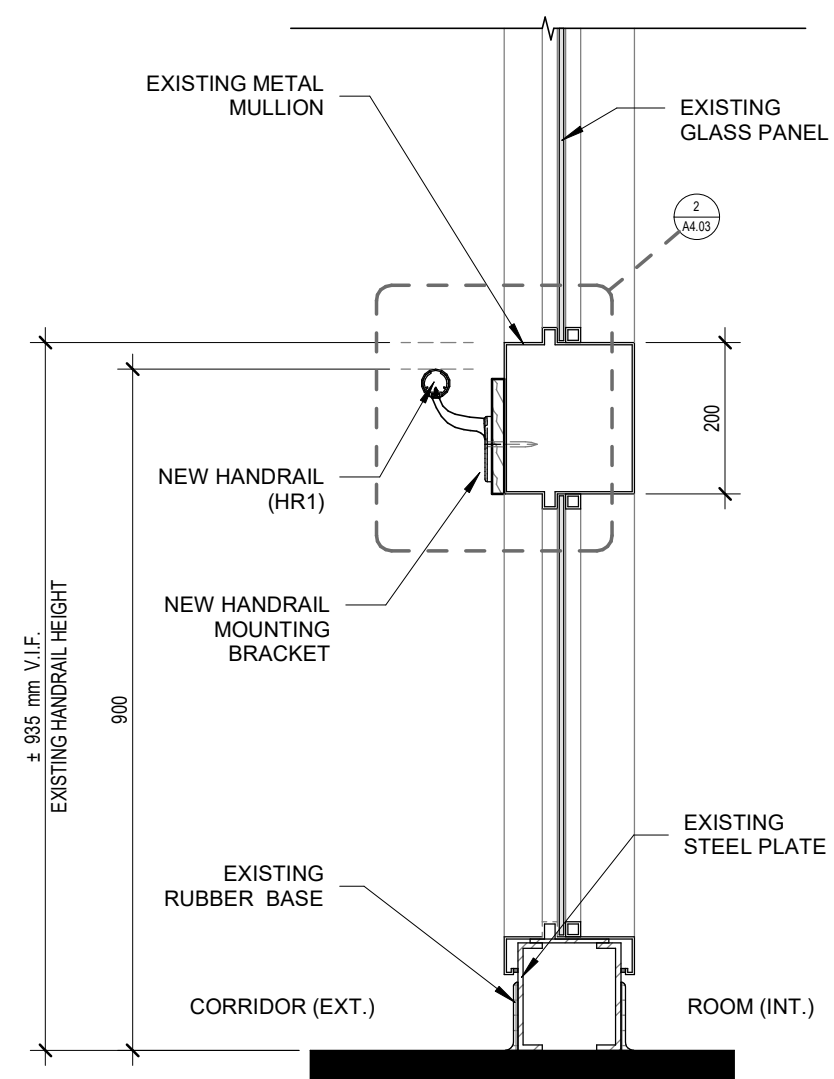
**INTERIOR HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD. W., ETOBICOKE

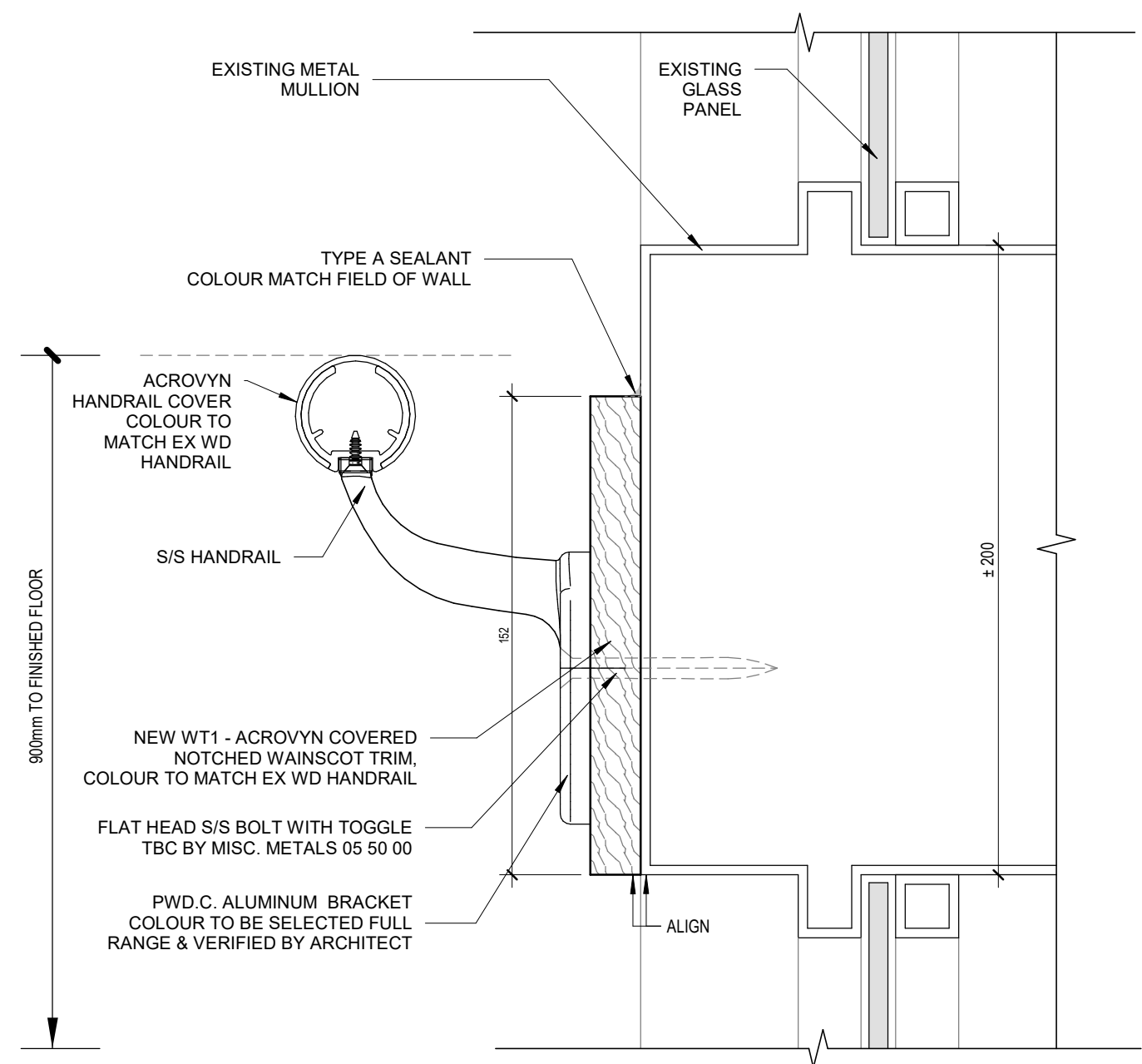
**TYPICAL PROPOSED HANDRAIL DETAILS**

scale:	1:2
drawn by:	SK
reviewed by:	AR
job number:	21508.F03
plot date:	2019-12-19

drawing number: **A4.02**



1 NEW HANDRAIL AT METAL MULLIONS SECTION  
 A4.03 1:10



2 NEW HANDRAIL AT METAL MULLIONS CALLOUT  
 A4.03 1:2

1	2019-12-19	ISSUED FOR CONSTRUCTION	MSA
#	Date:	Revision:	By
revisions			

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

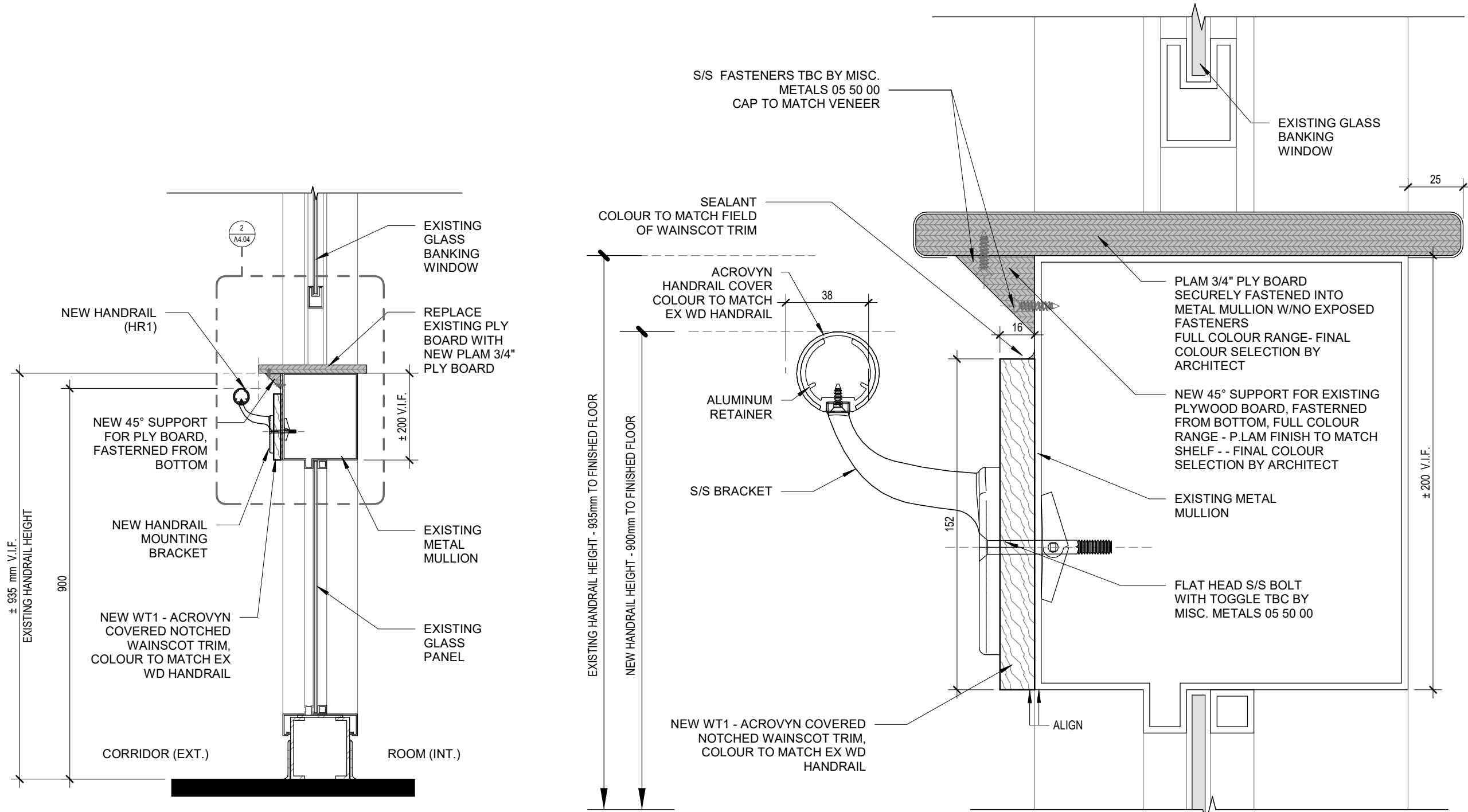
**INTERIOR HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD. W., ETOBICOKE

**TYP. NEW HANDRAIL DETAILS**

scale:	As indicated
drawn by:	MY
reviewed by:	AR
job number:	21508.F03
plot date:	2019-12-19

drawing number:  
**A4.03**



1 NEW HANDRAIL AT BANKING WINDOW SECTION  
 A4.04 1:10

2 NEW HANDRAIL AT BANKING WINDOW CALLOUT  
 A4.04 1:2

4	2022-05-19	ISSUED FOR TENDER	MSA
2	2019-08-28	ISSUED FOR TENDER	MSA
#	Date:	Revision:	By

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

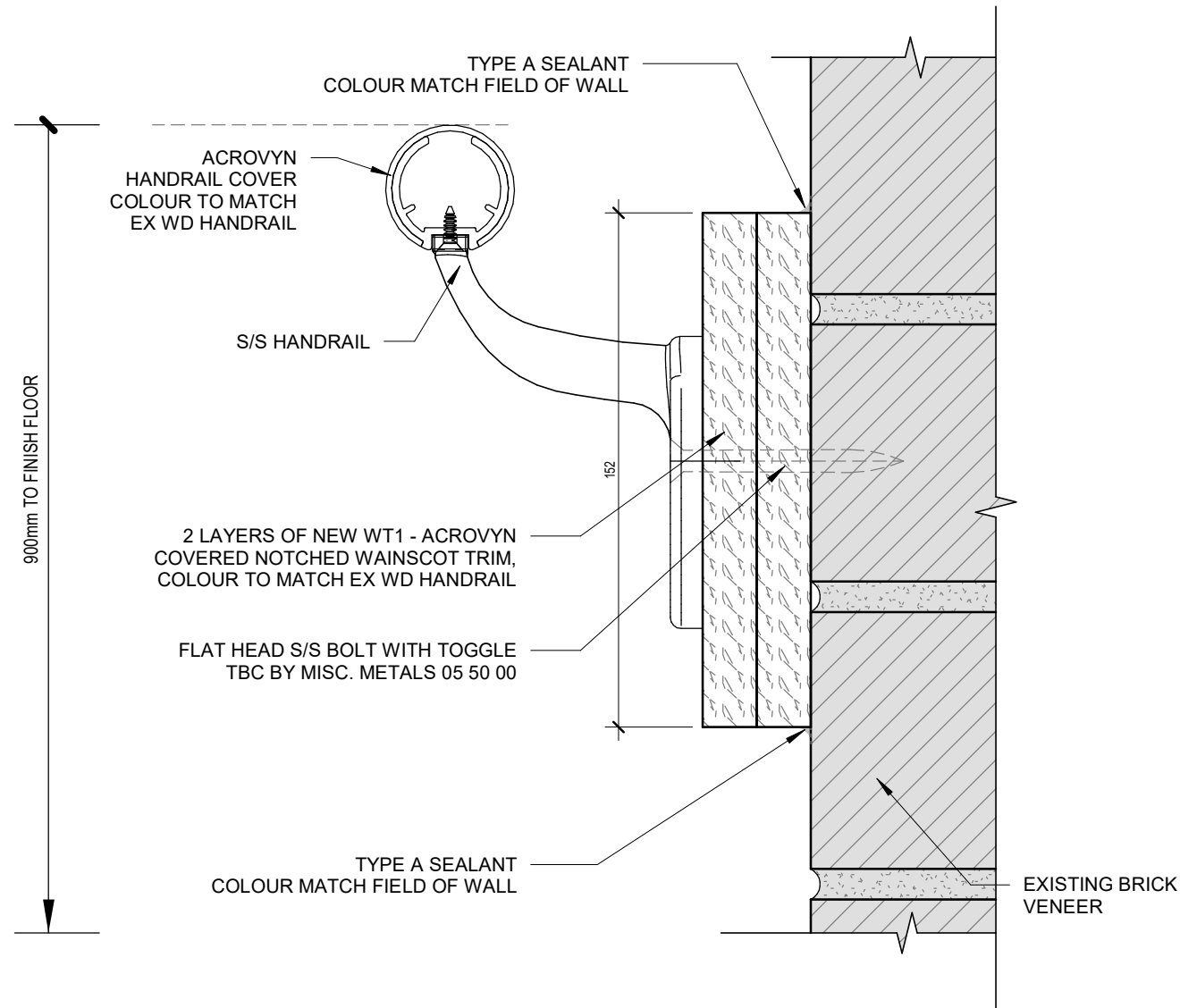
**INTERIOR HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD. W., ETOBICOKE

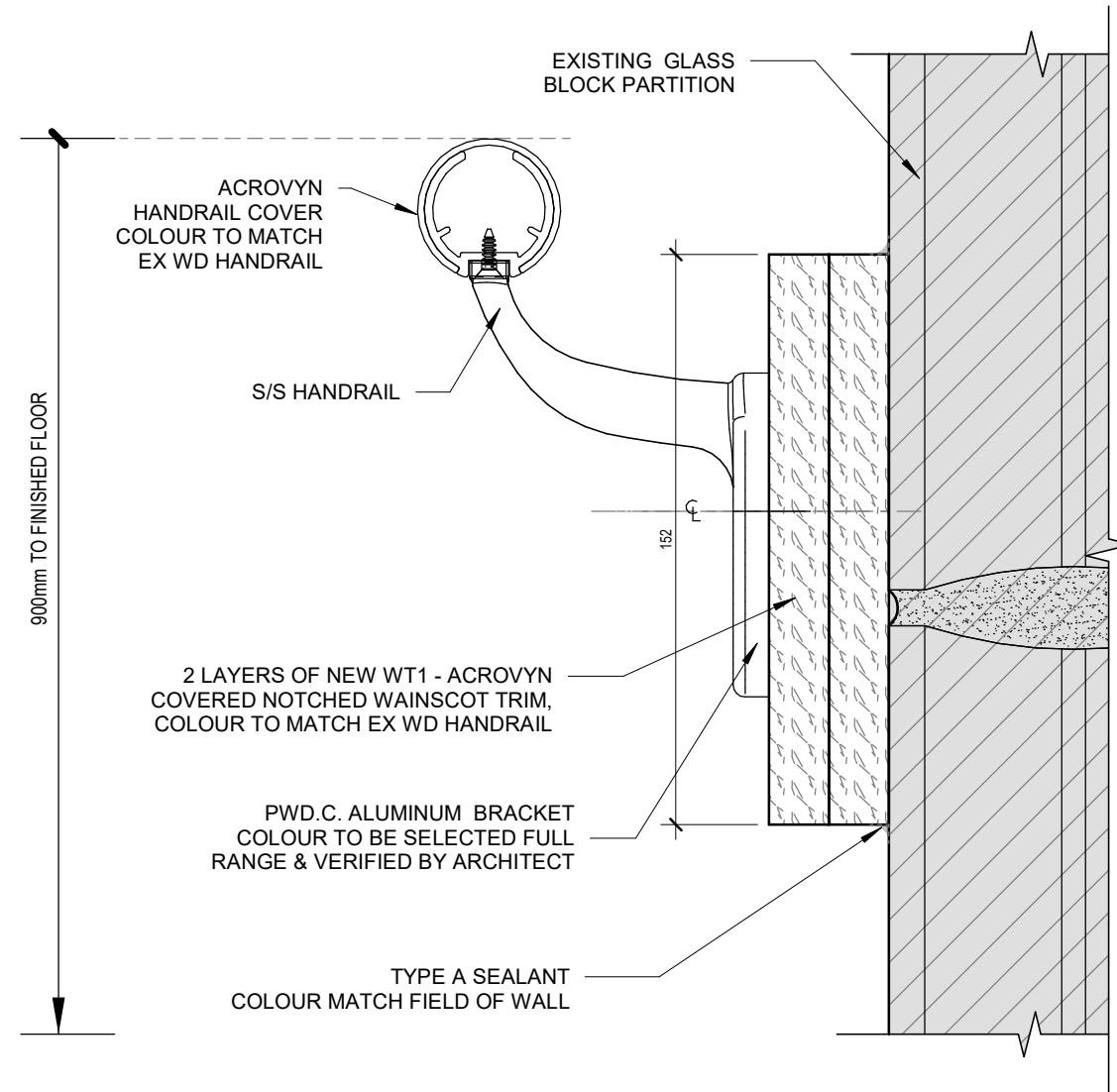
**NEW HANDRAIL AT BANKING WINDOW DETAILS**

scale:	As indicated
drawn by:	MY
reviewed by:	AR
job number:	21508.F03
plot date:	2019-12-19

drawing number: **A4.04**



**1** NEW HANDRAIL AT BRICK NEXT TO GLASS BLOCK WALL CALLOUT  
 A4.05 1:2



**2** NEW HANDRAIL OVER GLASS BLOCK WALL CALLOUT  
 A4.05 1:2

4	2022-05-19	ISSUED FOR TENDER	MSA
2	2019-08-28	ISSUED FOR TENDER	MSA
#	Date:	Revision:	By
revisions			

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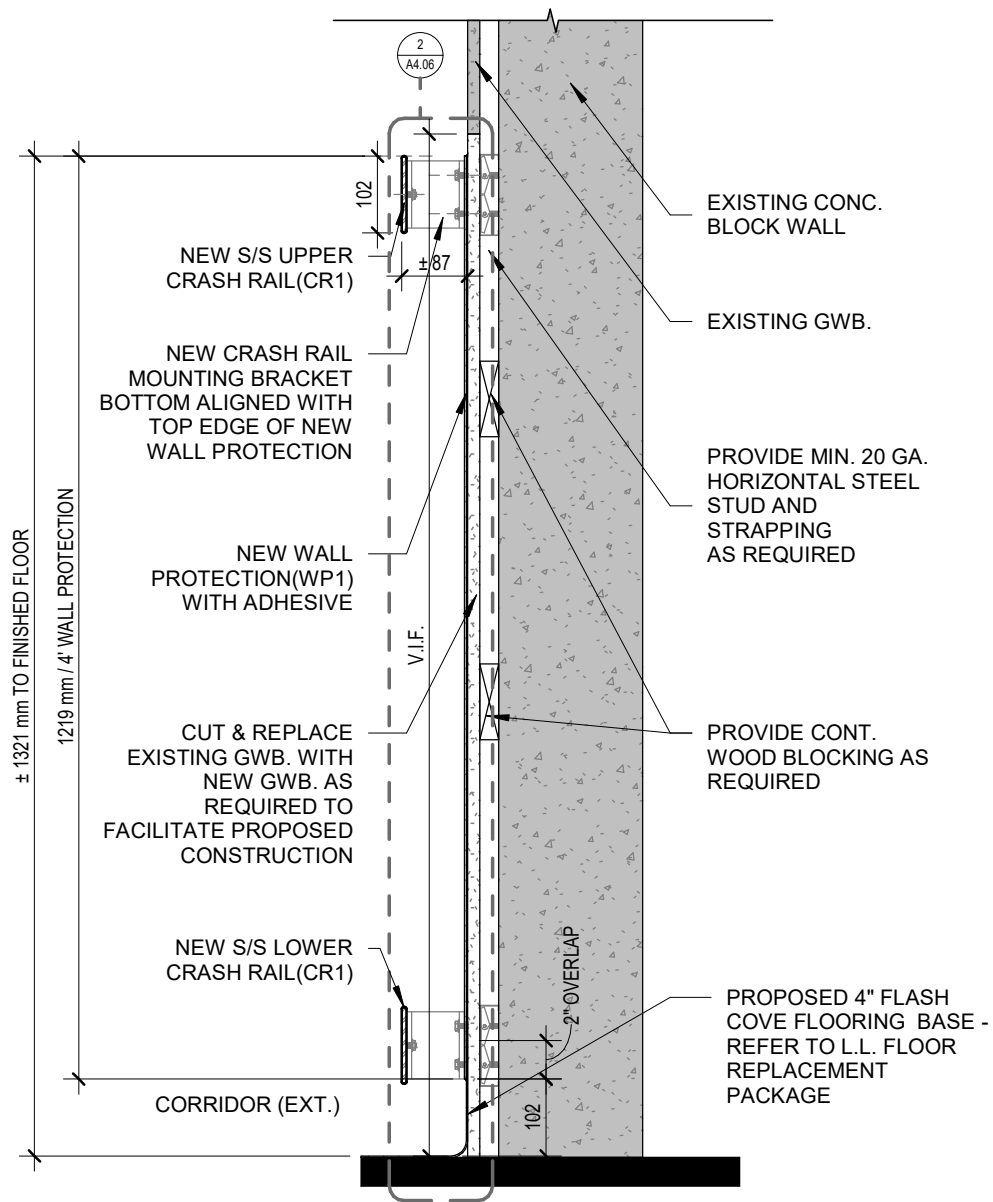
**INTERIOR HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD. W., ETOBICOKE

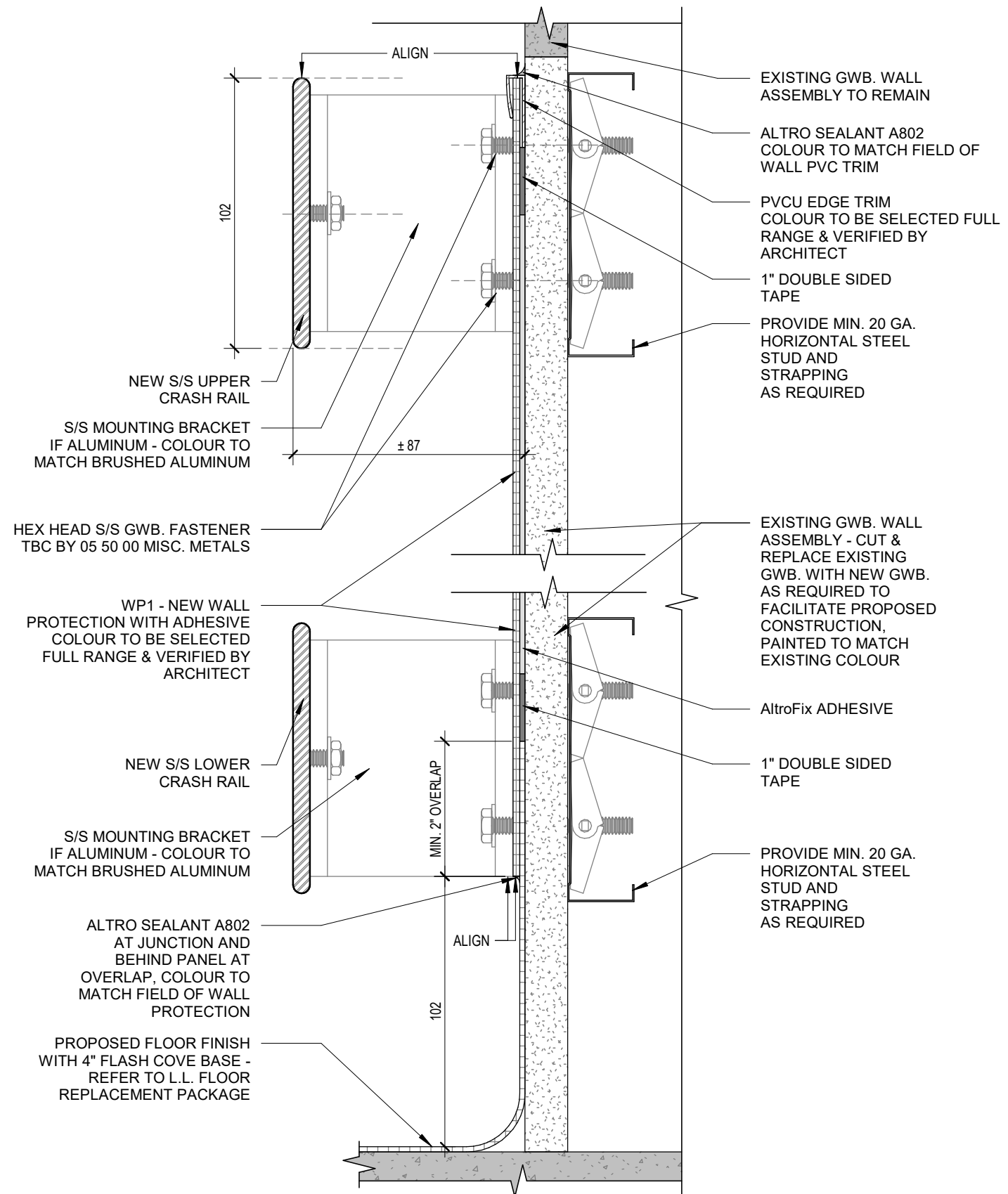
**NEW HANDTAIL OVER GLASS BLOCK WALL DETAILS**

scale:	1:2
drawn by:	MY
reviewed by:	AR
job number:	21508.F03
plot date:	2019-12-19

drawing number: **A4.05**



**1** NEW CRASH RAIL AT DRYWALL ON CONCRETE  
 A4.06 1 : 10



**2** NEW CRASH RAIL AT GWB. CALLOUT  
 A4.06 1 : 2

4	2022-05-19	ISSUED FOR TENDER	MSA
2	2019-08-28	ISSUED FOR TENDER	MSA
#	Date:	Revision:	By

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

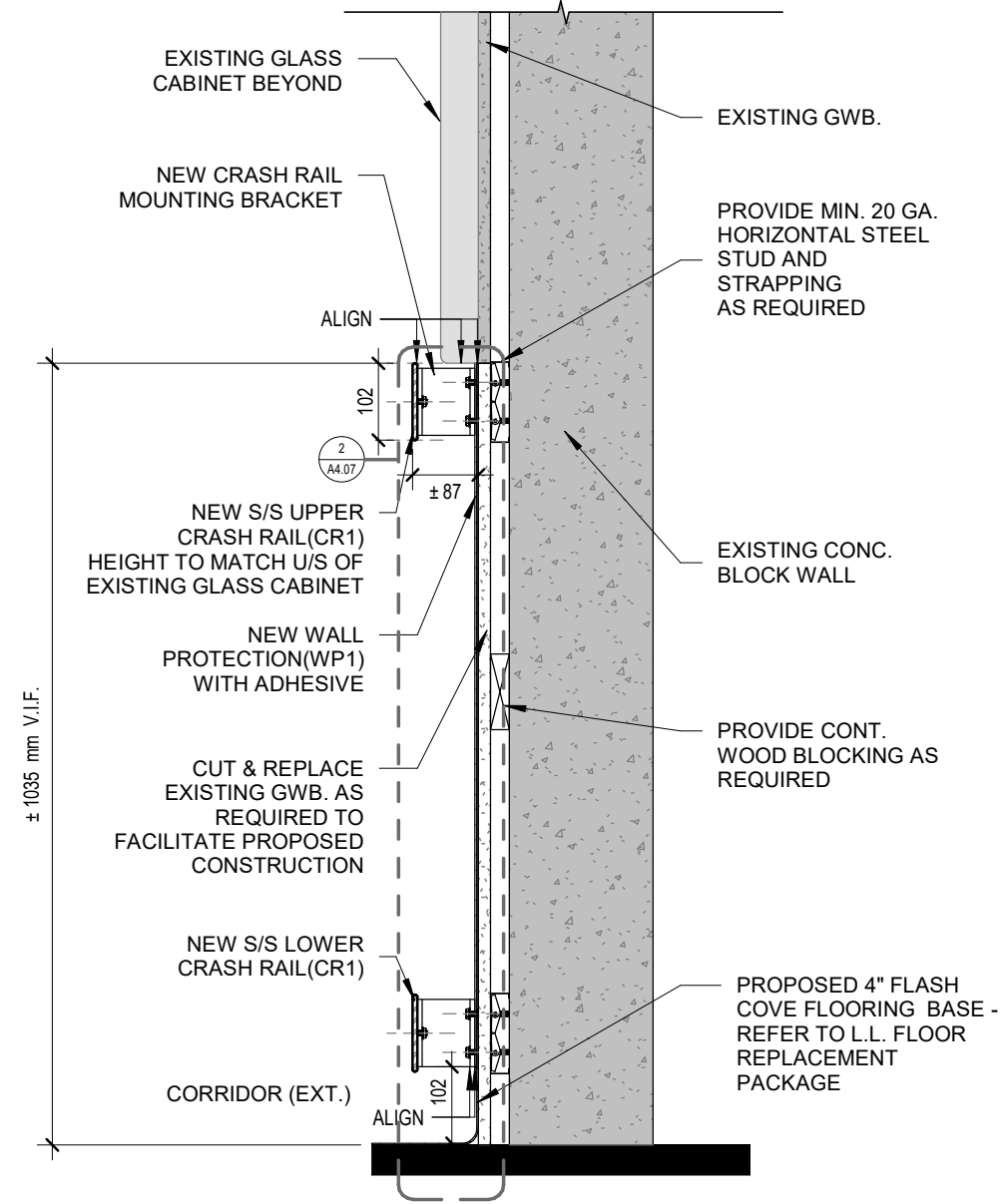
**INTERIOR HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD. W., ETOBICOKE

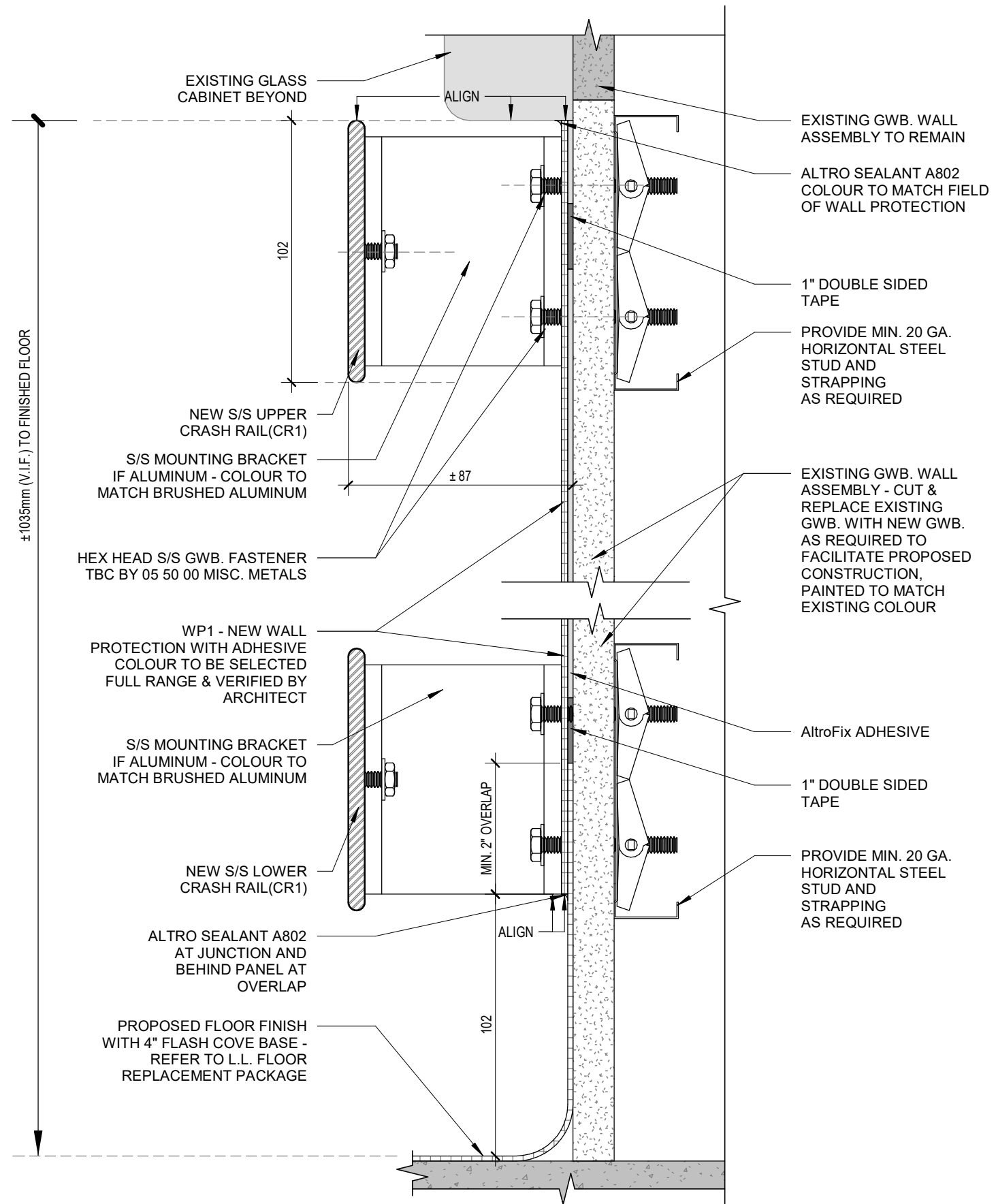
**TYP. NEW CRASH RAIL DETAILS**

scale:	As indicated
drawn by:	MY
reviewed by:	AR
job number:	21508.F03
plot date:	2019-12-19

drawing number: **A4.06**



1 NEW CRASH RAIL AT GWB. UNDER GLASS CABINET  
 A4.07 1:10



2 NEW CRASH RAIL AT GWB. UNDER GLASS CABINET CALLOUT  
 A4.07 1:2

4	2022-05-19	ISSUED FOR TENDER	MSA
2	2019-08-28	ISSUED FOR TENDER	MSA
#	Date:	Revision:	By

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

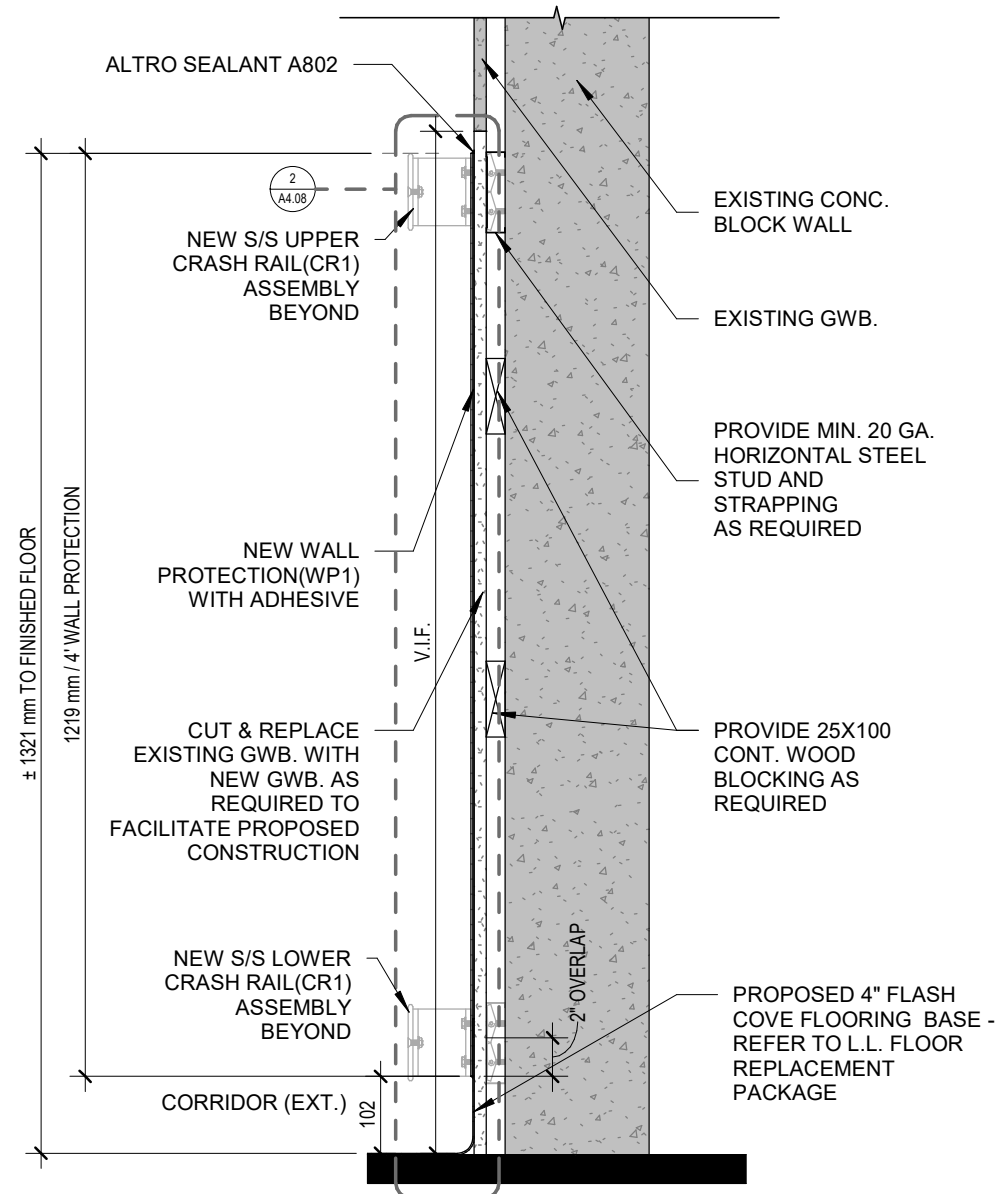
**INTERIOR HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD. W., ETOBICOKE

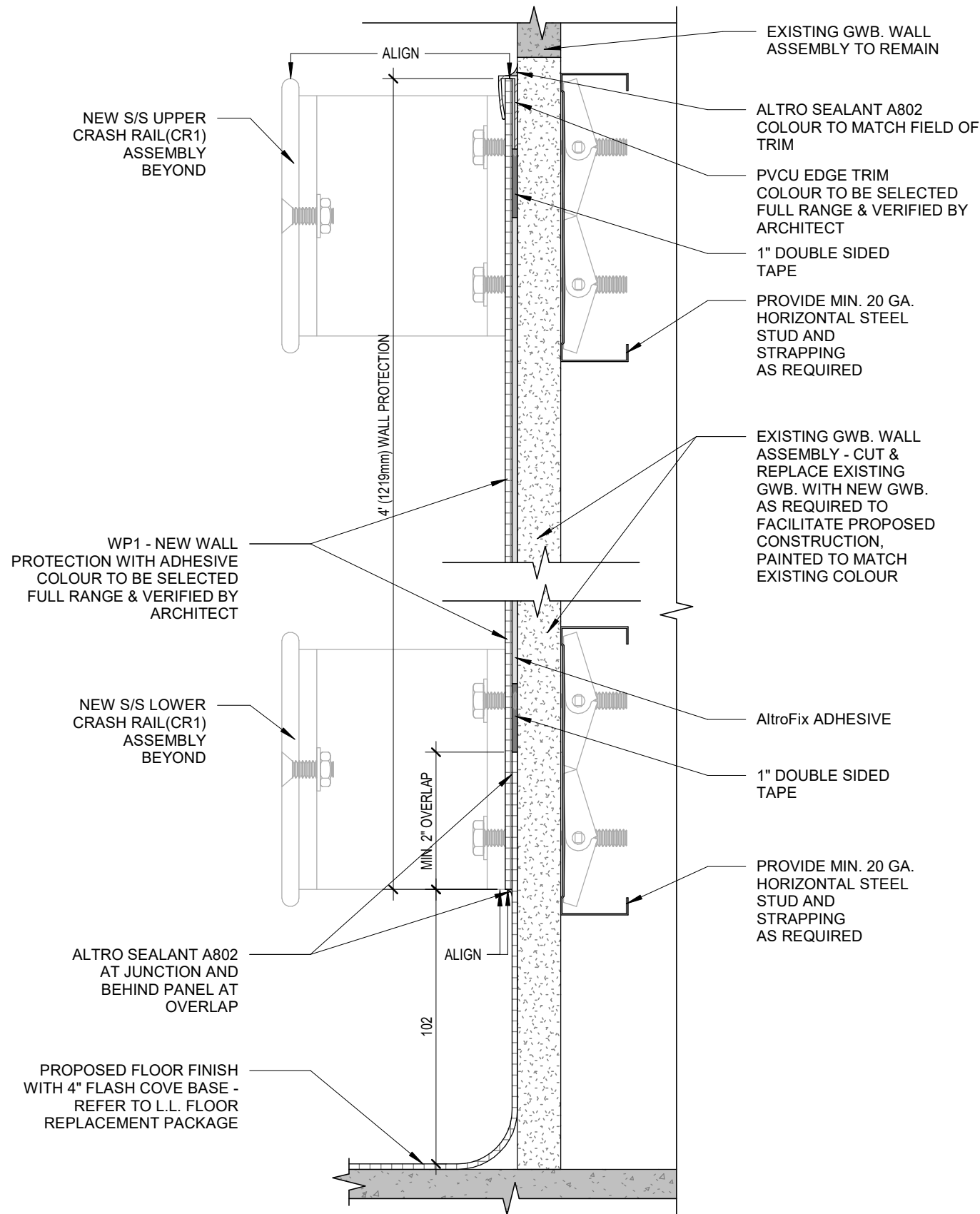
**NEW CRASH RAIL UNDER GLASS CABINET DETAILS**

scale:	As indicated
drawn by:	MY
reviewed by:	AR
job number:	21508.F03
plot date:	2019-12-19

drawing number: **A4.07**



**1** NEW WALL PROTECTION - BACK OF HOUSE - LEVEL 1 SECTION  
 A4.08 1 : 10



**2** NEW WALL PROTECTION - BACK OF HOUSE - LEVEL 1 CALLOUT  
 A4.08 1 : 2

4	2022-05-19	ISSUED FOR TENDER	MSA
2	2019-08-28	ISSUED FOR TENDER	MSA
#	Date:	Revision:	By

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**INTERIOR HANDRAIL REPLACEMENT**

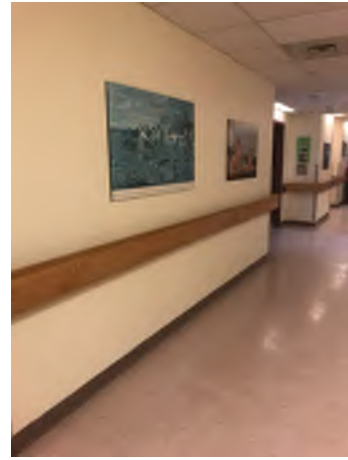
3197 LAKESHORE BLVD. W., ETOBICOKE

**TYP. NEW WALL PROTECTION DETAILS\_LEVEL 1**

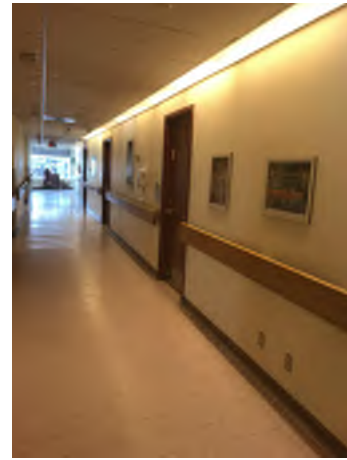
scale:	As indicated
drawn by:	MY
reviewed by:	AR
job number:	21508.F03
plot date:	2019-12-19

drawing number: **A4.08**





EXISTING CONDITION PHOTO - ECP01



EXISTING CONDITION PHOTO - ECP02



EXISTING CONDITION PHOTO - ECP03

NEW WALL PROTECTION (WP2) ON **SECOND FLOOR CORRIDOR** CONSTRUCTION NOTE:

ECP01: TYPICAL NEW WALL PROTECTION AS PER DRAWING 1/A4.09.

ECP02: TYPICAL NEW WALL PROTECTION WITH WALL-MOUNTED OUTLET PANEL:  
 - TEMPORARY REMOVE EXISTING DUPLEX WALL-MOUNTED OUTLET PANEL & COORDINATE W/ B.S.M. FOR STORAGE.  
 - INSTALL NEW WALL PROTECTION (WP2) AS PER DRAWING 1/A4.09.  
 - INSTALL NEW CRASH RAIL (CR2);  
 - REINSTATE EXISTING DUPLEX WALL-MOUNTED OUTLET PANEL.

ECP03: TYPICAL NEW WALL PROTECTION @ EXISTING FHC:  
 - CUT & FIT NEW WALL PROTECTION (WP2) TO THE EXISTING FHC;  
 - INSTALL NEW WALL PROTECTION (WP2) AS PER DRAWING 1/A4.09.

ECP04: **NO** NEW WALL PROTECTION (WP2) ON EXISTING WALL PAPER:

ECP05: **NO** NEW WALL PROTECTION (WP2) ON EXISTING MILLWORKS.

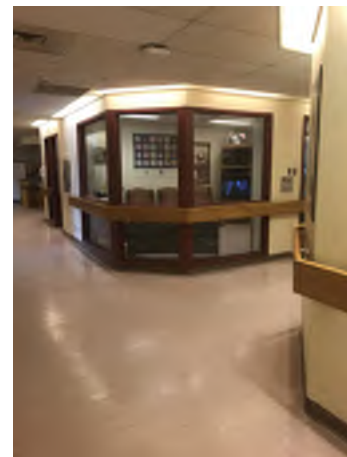
ECP06: **NO** NEW WALL PROTECTION (WP2) ON EXISTING GLASS GLAZING & METAL FRAMES.



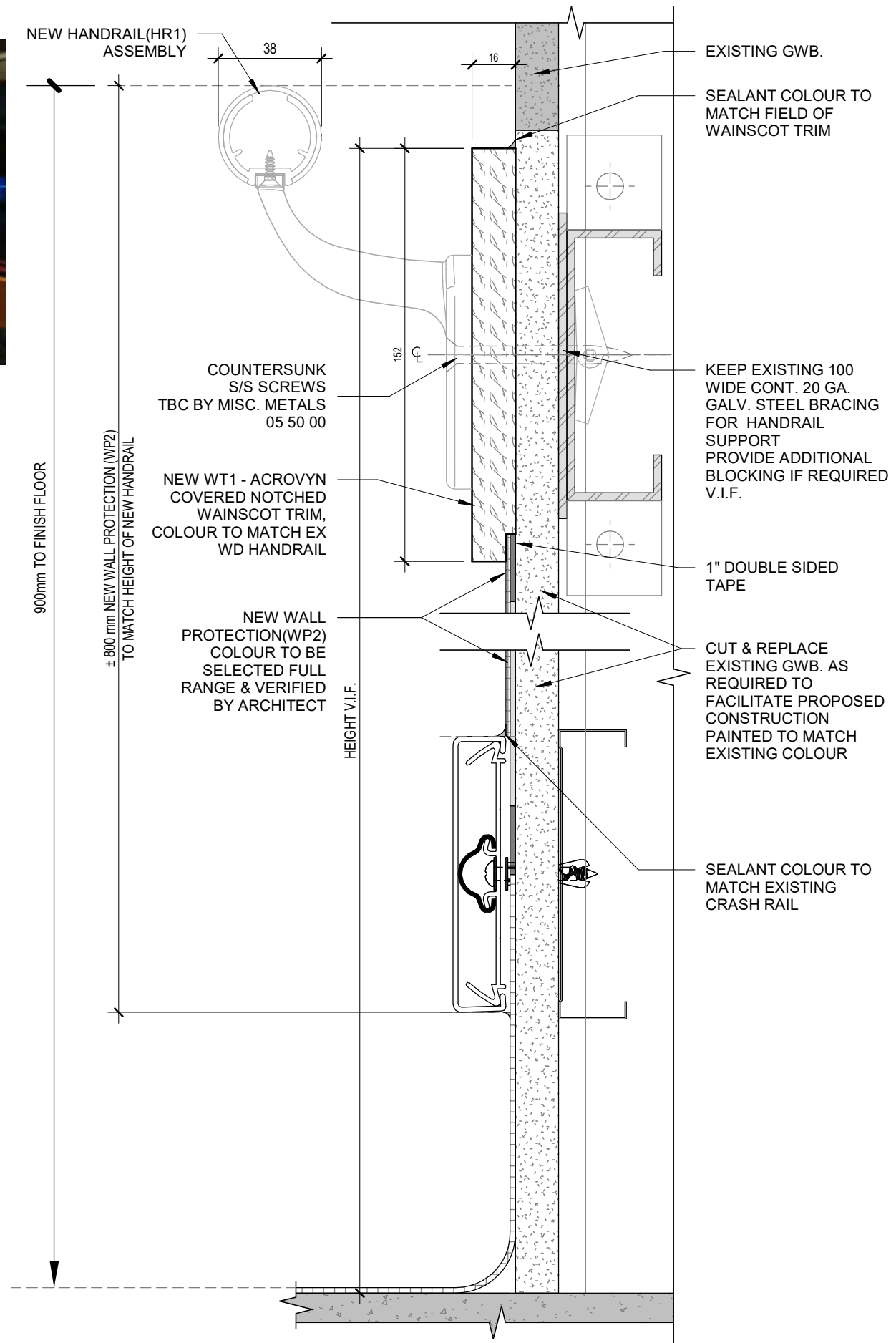
EXISTING CONDITION PHOTO - ECP04



EXISTING CONDITION PHOTO - ECP05



EXISTING CONDITION PHOTO - ECP06



1 TYP. NEW WALL PROTECTION - LEVEL 2 SECTION  
 A4.09 1:2

4	2022-05-19	ISSUED FOR TENDER	MSA
1	2019-12-19	ISSUED FOR CONSTRUCTION	MSA
#	Date:	Revision:	By

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**INTERIOR HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD. W., ETOBICOKE

**TYP. NEW WALL PROTECTION DETAILS\_LEVEL 2**

scale: 1 : 2  
 drawn by: MY  
 reviewed by: AR  
 job number: 21508.F03  
 plot date: 2019-12-19

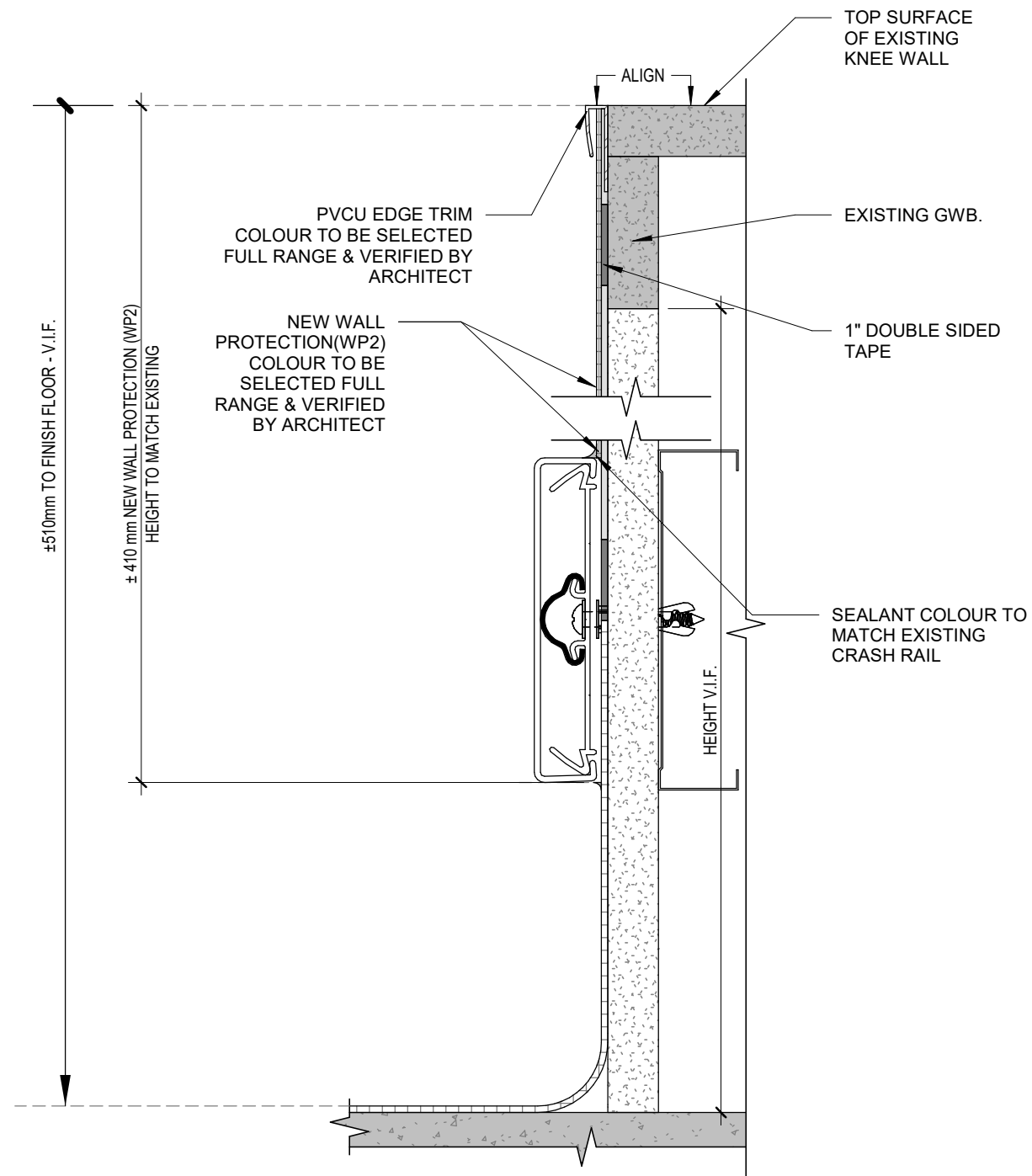
drawing number: **A4.09**



EXISTING CONDITION  
 PHOTO - ECP01

**NEW WALL PROTECTION (WP2) ON KNEE WALL @ TV LOUNGE\_SECOND FLOOR CONSTRUCTION NOTE:**

- TEMPORARY REMOVE EXISTING DUPLEX WALL-MOUNTED OUTLET PANEL & COORDINATE W/ B.S.M. FOR STORAGE;
- REMOVE EXISTING CORNER GUARDS;
- INSTALL NEW WALL PROTECTION (WP2) AS PER DRAWING 1/A4.10;
- INSTALL NEW CRASH RAIL (CR2);
- REINSTATE EXISTING DUPLEX WALL-MOUNTED OUTLET PANEL;
- INSTALL NEW CORNER GUARDS (CG1) AT ORIGINAL LOCATION.



1 TYP. NEW WALL PROTECTION AROUND KNEE WALL @ TV LOUNGE- LEVEL 2 SECTION  
 A4.10 1 : 2

4	2022-05-19	ISSUED FOR TENDER	MSA
1	2019-12-19	ISSUED FOR CONSTRUCTION	MSA
#	Date:	Revision:	By

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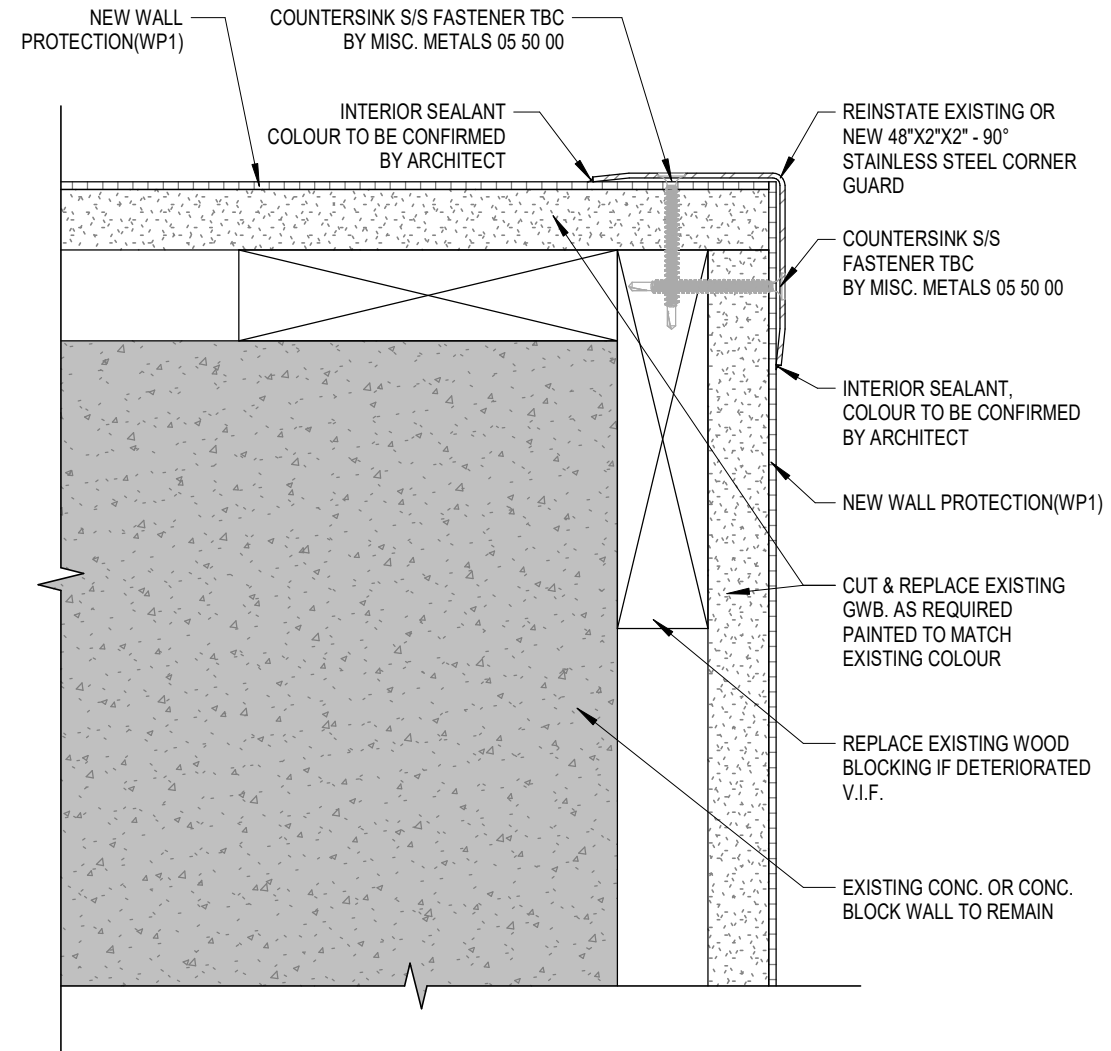
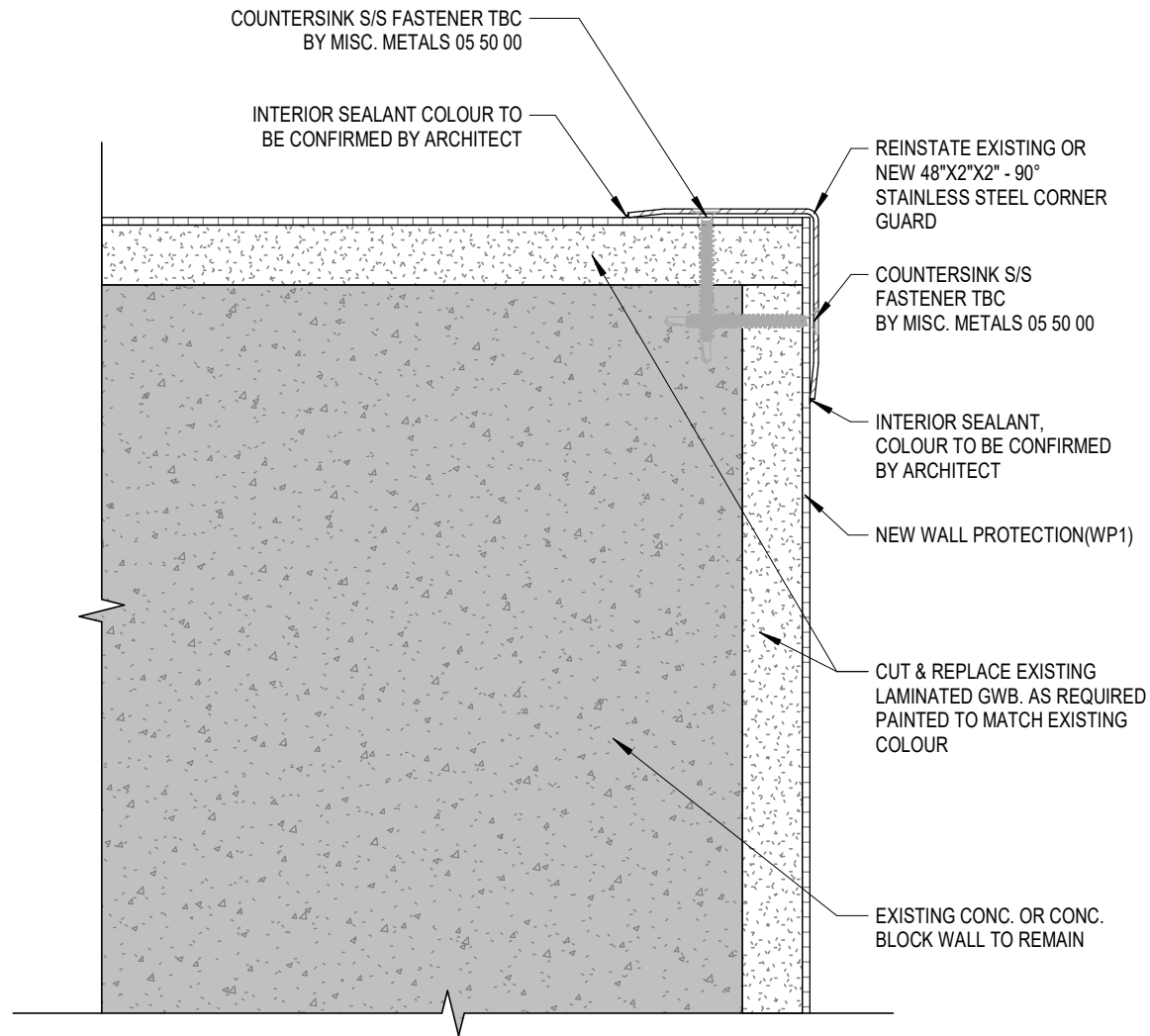
**INTERIOR HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD. W., ETOBICOKE

**TYP. NEW WALL PROTECTION DETAILS\_LEVEL 2**

scale:	1 : 2
drawn by:	MY
reviewed by:	AR
job number:	21508.F03
plot date:	2019-12-19

drawing number: **A4.10**



4	2022-05-19	ISSUED FOR TENDER	MSA
2	2019-08-28	ISSUED FOR TENDER	MSA
#	Date:	Revision:	By

revisions

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**INTERIOR HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD. W., ETOBICOKE

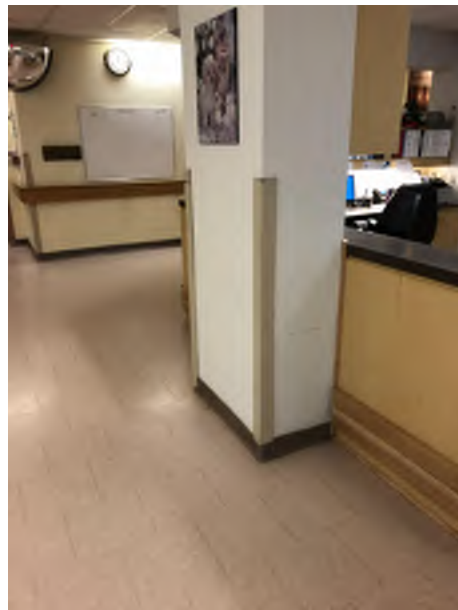
**TYP. CORNER GUARD PLAN DETAILS**

scale: 1 : 2  
 drawn by: MY  
 reviewed by: AR  
 job number: 21508.F03  
 plot date: 2019-12-19

drawing number: **A4.11**

**2** TYP. 02 S/S CORNER GUARD AT BACK OF HOUSE CORRIDOR - G48 - LEVEL 1  
 A4.11 1 : 2

**1** TYP. 01 S/S CORNER GUARD AT BACK OF HOUSE CORRIDOR - G48 - LEVEL 1  
 A4.11 1 : 2



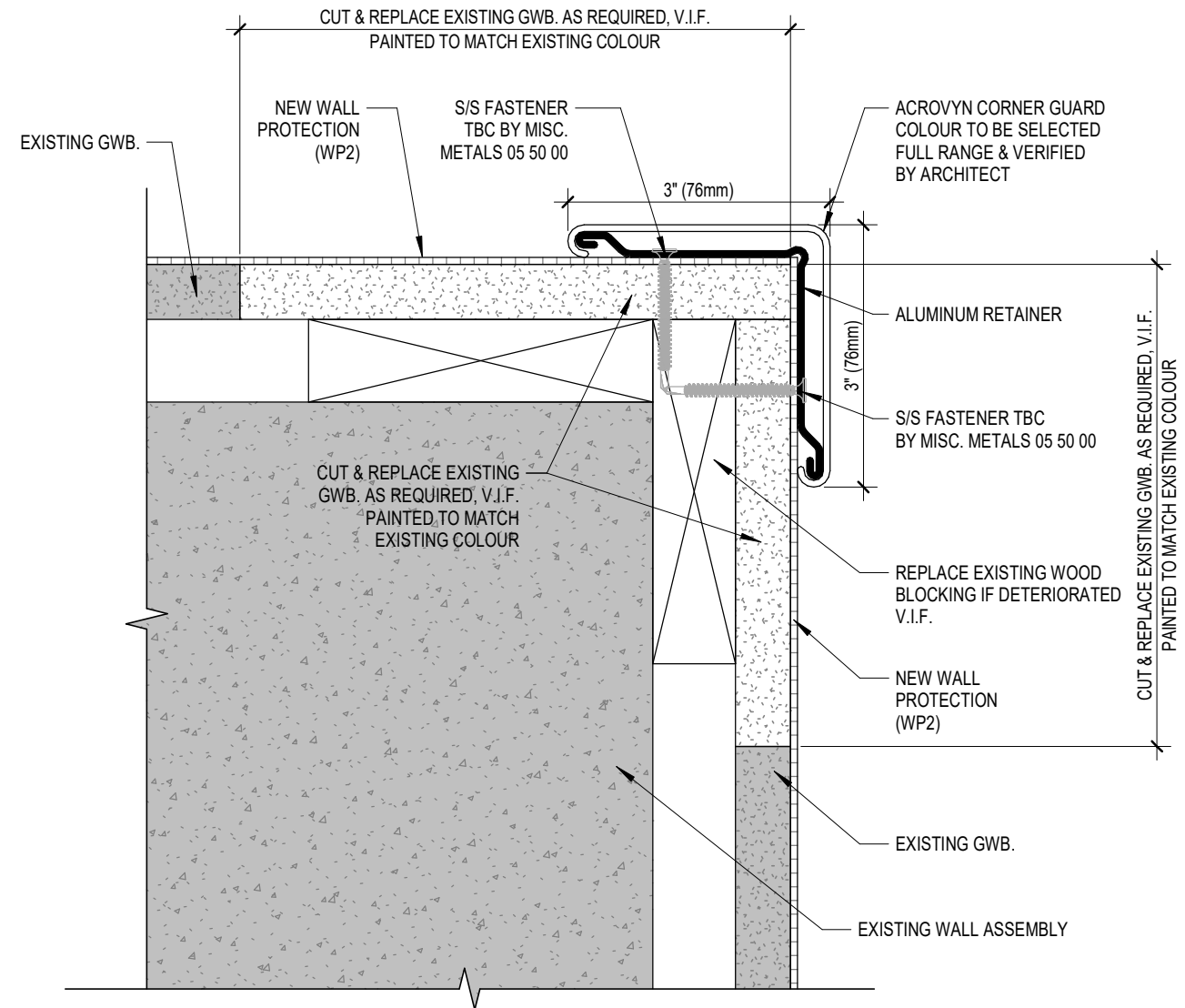
EXISTING CONDITION PHOTO - ECP 01



EXISTING CONDITION PHOTO - ECP 02

NOTE:

1. ALL CORNER GUARDS ON THE SECOND FLOOR - LOBBY 201, CORRIDOR 202 / 264 AND TV LOUNGE 241 / 280 SHOULD BE REPLACED WITH NEW.
2. ALL NEW CORNER GUARDS SHOULD BE BOTTOM ALIGNED WITH THE TOP OF NEW COVE BASE.
3. NEW CORNER GUARD SHOULD BE INSTALLED AS PER ORIGINAL LOCATION - CUT, MODIFIED CORNER GUARDS AND SUBSTRATE AS REQUIRED.



1 TYP. 01 ACROVYN CORNER GUARD DETAIL - LEVEL 2  
 A4.12 1 : 2

4	2022-05-19	ISSUED FOR TENDER	MSA
1	2019-12-19	ISSUED FOR CONSTRUCTION	MSA
#	Date:	Revision:	By
revisions			

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**INTERIOR HANDRAIL REPLACEMENT**

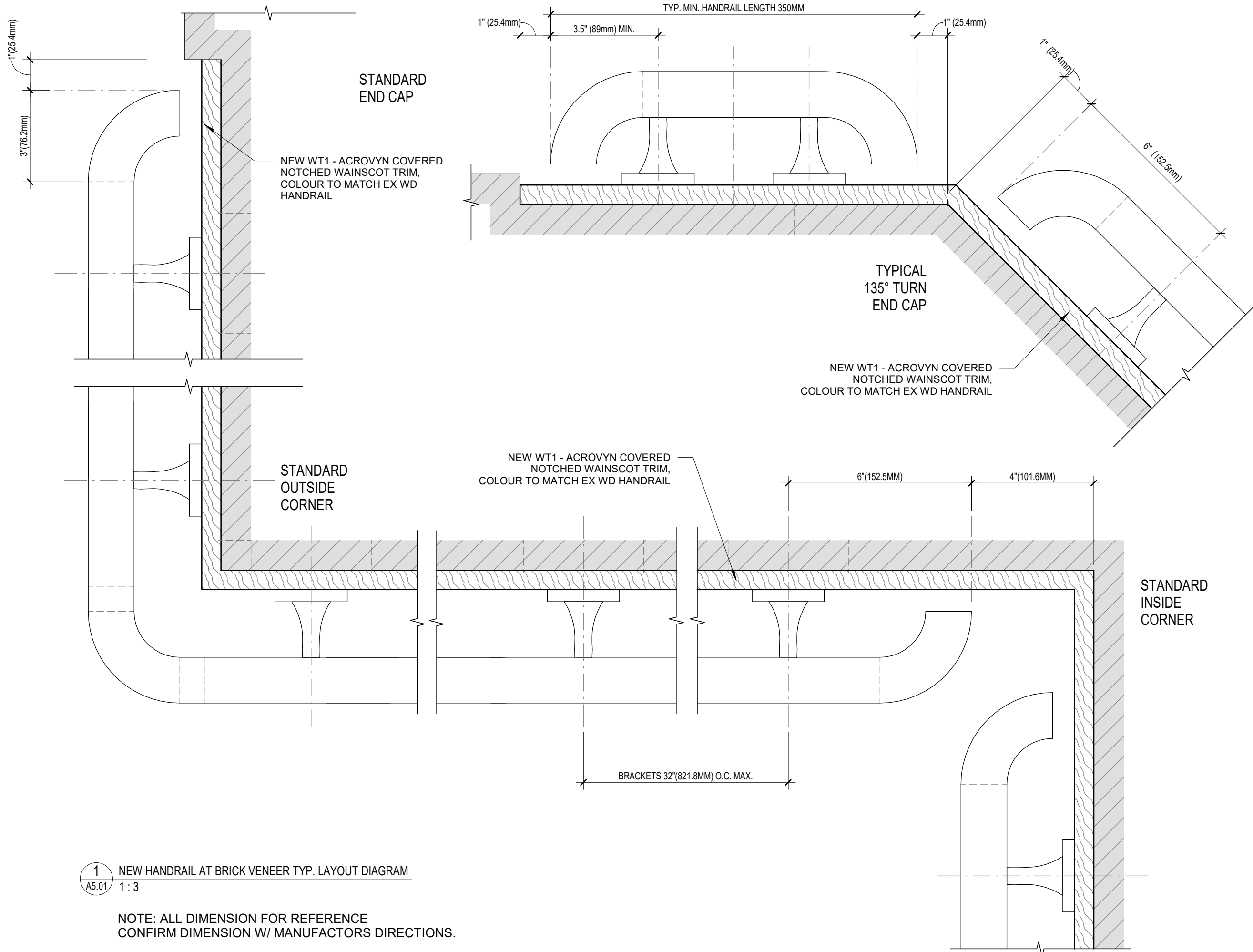
3197 LAKESHORE BLVD. W., ETOBICOKE

**TYP. CORNER GUARD PLAN DETAILS**

scale: 1 : 2  
 drawn by: MY  
 reviewed by: AR  
 job number: 21508.F03  
 plot date: 2019-12-19

drawing number:

**A4.12**



4	2022-05-19	ISSUED FOR TENDER	MSA
2	2019-08-28	ISSUED FOR TENDER	MSA
#	Date:	Revision:	By
revisions			

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**INTERIOR HANDRAIL REPLACEMENT**

3197 LAKESHORE BLVD. W., ETOBICOKE

**NEW HANDRAIL LAYOUT DIAGRAM**

scale: 1 : 3  
 drawn by: MY  
 reviewed by: AR  
 job number: 21508.F03  
 plot date: 2019-12-19

drawing number: **A5.01**

**1** NEW HANDRAIL AT BRICK VENEER TYP. LAYOUT DIAGRAM  
 A5.01 1 : 3

NOTE: ALL DIMENSION FOR REFERENCE  
 CONFIRM DIMENSION W/ MANUFACTORS DIRECTIONS.