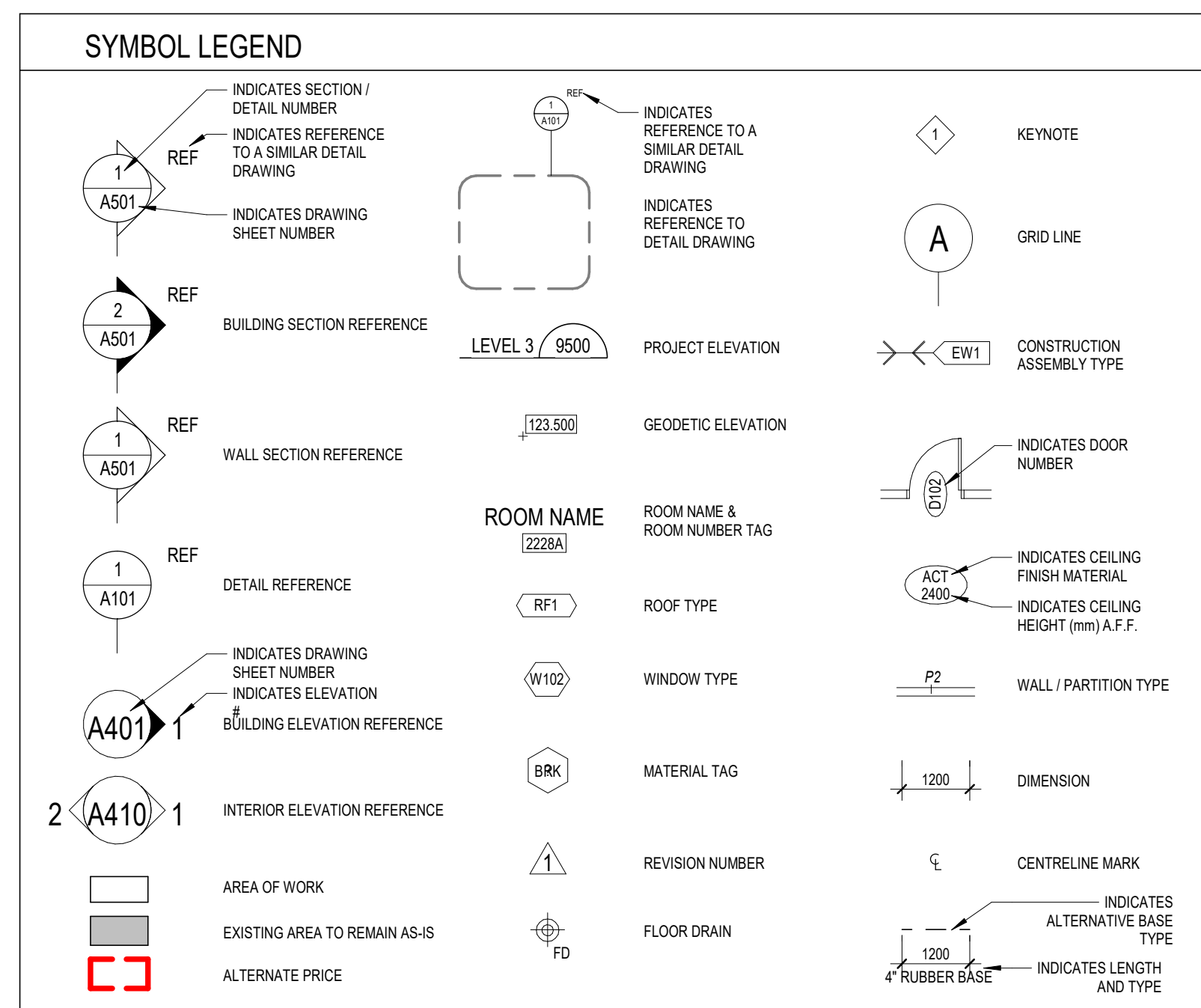
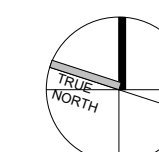


**21500.F99\_015**  
*ISSUED FOR REVIEW*

**CUMMER LODGE - FLOORING REPLACEMENT**  
**SENIOR SERVICES AND LONG-TERM CARE**  
**205 CUMMER AVE.**  
**NORTH YORK, ONTARIO**



### PHASING & CONSTRUCTION NOTES

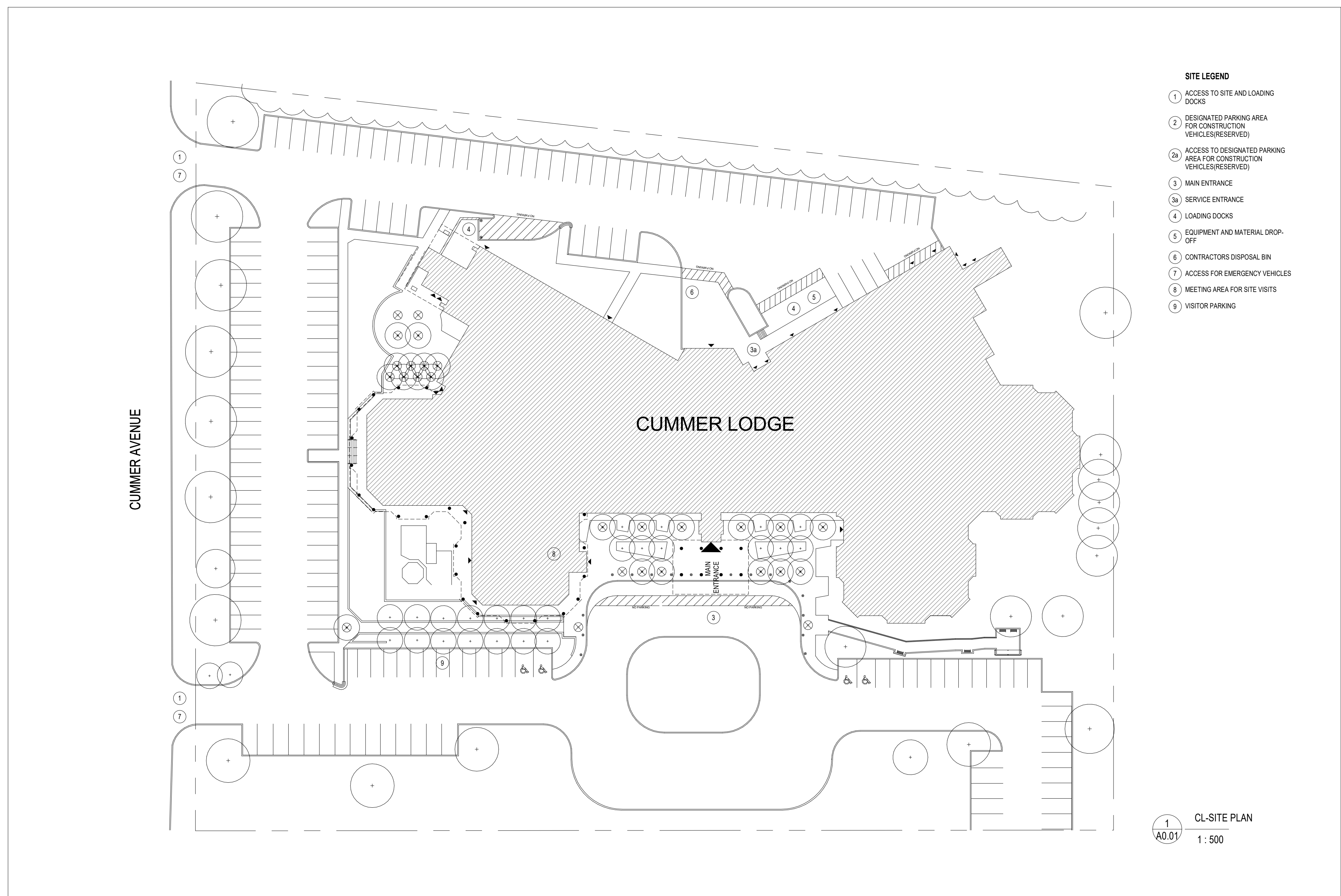
1. THE WORK OF THIS CONTRACT SHALL BE PERFORMED IN PHASES. ALL PHASING WILL BE SUBJECT TO APPROVAL FROM THE MANAGER OF BUILDING SERVICES AND AS IDENTIFIED IN THE MINISTRY OF HEALTH OPERATIONAL PLAN FOR THE WORK
2. ALL WORK WITHIN THIS PROJECT WILL BE COMPREHENSIVELY SCHEDULED WITH THE HOME PRIOR TO START-UP ON SITE. CONTRACTORS WILL BE REQUIRED TO ADHERE TO THIS SCHEDULE FOR THE DURATION OF THE WORK. NO WORK SHALL BE LEFT IN AN UNFINISHED STATE AT DAYS END. ALL AREAS OF WORK SHALL BE MADE SAFE AND COMPLETELY OPERATIONAL AT THE END OF EACH DAY'S WORK. ALL REPAIR/REPLACEMENT WORK WITHIN RESIDENT ROOMS IS EXPECTED TO TAKE PLACE OVER THE COURSE OF A SINGLE DAY. RESIDENT ROOMS ARE TO BE COMPLETE AND FULLY OCCUPIABLE AT THE COMPLETION OF EACH DAY'S WORK OMITTING THE NEED TO RELOCATE RESIDENTS. RESIDENT ROOMS SHOULD BE RETURNED TO THE RESIDENT EXACTLY AS THEY WERE HANDED OVER TO THE CONTRACTOR THAT MORNING. REFER ALSO TO THE OPERATIONAL PLANS ISSUED FOR EACH HOME.
3. THE REQUIRED MOVING AND REINSTALLATION OF ALL FURNITURE IS TO BE INCLUDED IN THE BASE BID PRICE. IT IS EXPECTED THAT ALL AREAS WILL BE HANDED BACK TO THE HOME IN A RESTORED AND FULLY FUNCTIONAL ORDER BY THE CONTRACTOR. TEMPORARY STORAGE FOR ALL REMOVED FURNITURE AND EQUIPMENT WILL BE PROVIDED BY AND COORDINATED WITH THE HOME.
4. THE CONTRACTOR SHALL PROVIDE THE FOLLOWING MOCK-UPS:
  - CONSTRUCT ONE (1) RESIDENT ROOM, INCLUDING BUT NOT LIMITED TO NEW FLOORING, NEW BASE, PATCH / REPAIR WORK AND ALL OTHER WORK AS PER THE CONTRACT DOCUMENTS.
  - ARRANGE FOR THE CONSULTANTS REVIEW AND ACCEPTANCE. ALLOW 48HRS AFTER ACCEPTANCE BEFORE PROCEEDING WITH WORK. MOCK-UP MAY REMAIN AS PART OF THE WORK IF ACCEPTED BY THE CONSULTANT. REMOVE AND DISPOSE OF MOCK-UPS THAT DO NOT CONFORM TO THE WORK UPON ACCEPTANCE. MOCK-UP SHALL SERVE AS A MINIMUM STANDARD OF QUALITY FOR THE BALANCE OF THE RELATED WORK. THE LOCATION OF THE MOCK-UPS SHALL BE DETERMINED BY THE HOME.

### GENERAL NOTES

1. REPAIR, PATCH & MAKE GOOD ALL EXISTING STRUCTURE AND FINISHES AFFECTED BY CONSTRUCTION.
2. ALL REQUIRED CUTTING & FITTING INCLUDING ELECTRICAL & MECHANICAL TO CONNECT THE EXISTING WORK WITH THE NEW WORK SHALL BE PERFORMED AS PART OF THIS CONTRACT AS AN ENTIRE OR COMPLETE WORK IN A PROFESSIONAL AND WHOLE MANNER.
3. ALL NEW WORK TO MAKE GOOD EXISTING; SHALL MATCH EXISTING IN MATERIAL, CONSTRUCTION AND FINISH UNLESS OTHERWISE SPECIFIED.
4. CONTRACTOR SHALL PERFORM ALL NECESSARY DEMOLITION, ALTERATIONS AND NEW CONSTRUCTIONS AS REQUIRED TO MAKE THE WORK A COMPLETE JOB, INCLUDING BUT NOT LIMITED TO WORK SHOWN ON DRAWINGS AND SPECIFICATIONS.
5. ANY OPENINGS IN FIRE RATED WALLS, CEILINGS AND FLOORS TO BE RETURNED TO EQUIVALENT CONDITION PRIOR TO THE OPENING. ALL ELECTRICAL & MECHANICAL PENETRATIONS TO BE SEALED WITH FIRE STOP MATERIAL AS PER SPECIFICATION. ALL ELECTRICAL & MECHANICAL PENETRATIONS TO BE SEALED WITH FIRE STOP MATERIAL AS REQUIRED BY O.B.C.
6. ALL ITEMS INDICATED IN THE CONTRACT DOCUMENTS AS 'COORDINATION ITEMS' OR ITEMS IDENTIFIED AS NIC, INCLUDING BUT NOT LIMITED TO EQUIPMENT AND OTHER SPECIALTY ITEMS IDENTIFIED AS TO BE SUPPLIED AND INSTALLED BY OTHER PARTIES OR ALLOWANCES WILL REQUIRE THE COMMON ACTION OR EFFORT OF THE GENERAL CONTRACTOR IN RELATION TO THE OVERALL PROJECT. WITH RESPECT TO ALL COORDINATION ITEMS IDENTIFIED, THE GENERAL CONTRACTOR IS EXPECTED TO:
  - a. REVIEW ALL ITEMS IDENTIFIED AS 'COORDINATION ITEMS' IN THE DRAWINGS AND COMMUNICATE WITH THE REQUIRED RESPONSIBLE PARTIES OF THE DEVICES THE DETAILED REQUIREMENTS OF EACH ITEM AS IT IMPACTS THE WORK OF GENERAL CONTRACTOR AND AS IT RELATES TO THE OVERALL COMPLETION OF THE PROJECT.
  - b. VERIFY THE EXISTING CONDITION AND ANY LIMITATIONS OF THE DEVICE AS INSTALLED IN THE PROPOSED LOCATION.
  - c. PROVIDE ALL REQUIRED ROUGH-INS, RELATED CONSTRUCTIONS AND CONNECTIONS REQUIRED BY THE DEVICES OF OTHERS TO SUIT THE COORDINATION ITEM AND AS INDICATED IN THE CONTRACT DOCUMENTS.
  - d. SCHEDULE AND COORDINATE THE WORK OF OTHERS INTO THE OVERALL CONSTRUCTION SEQUENCE TO AVOID UNNECESSARY DELAY TO THE COMPLETION OF THE OVERALL PROJECT.
  - e. ENSURE THAT THE PROPOSED ITEM IS INSTALLED AS INTENDED AND IS MADE FULLY OPERATIONAL AT THE COMPLETION OF THE WORK.
7. THE EXISTING PORTIONS OF THESE PLANS ARE TAKEN FROM ARCHIVE DRAWINGS AND LIMITED SITE SURVEY INFORMATION. CONTRACTOR TO SITE VERIFY ALL DIMENSIONS, CONDITIONS AND LEVELS ON SITE PRIOR TO FABRICATIONS/ INSTALLATIONS. ALL DIMENSIONS ARE PER SITE REVIEW AND EXIST ARCH. DWGS. ALL DISCREPANCIES BETWEEN CONDITIONS SHOWN AND SITE CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT. PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL VISIT THE SITE AND EXAMINE THE FOLLOWING:
  - 1. VERIFY EXISTING AREAS WITHIN THE SCOPE OF WORK WITH RESPECT TO THE PROPOSED FOR PROBLEMS AND ANY LIMITATIONS.
  - 2. VERIFY EXISTING ARCHITECTURE, STRUCTURE AND ALL ADJACENT FINISHES IMPACTED BY THE WORK.
  - 3. UPON EXAMINING ALL OF THE ABOVE AGAINST THE DRAWINGS AND SPECIFICATIONS AND TERMS OF THE CONTRACT, THE CONTRACTOR MUST SATISFY HIMSELF THAT THE PROPOSED WORK CAN BE CARRIED OUT AS INTENDED, TO THE SATISFACTION OF THE OWNER, AT NO ADDITIONAL COST TO THE CONTRACT.
8. PROTECT ALL FINISHES TO REMAIN PART OF THE FINAL PRODUCT. ALL FINISHES DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE MADE GOOD BY THE GC.
9. COORDINATE ALL WORK WITH THE HOME AND FOLLOW ALL HOME PROTOCOLS.
10. RESERVED.
11. COORDINATE ALL WORK WITH ARCHITECTURAL DRAWINGS AND SPECIFICATIONS. WHERE A DISCREPANCY IS DISCOVERED BETWEEN THE DOCUMENTS NOTIFY THE ARCHITECT.
12. ALL REMOVED AND DEMOLISHED MATERIAL TO BE REMOVED FROM THE SITE. LOCATION OF REMOVAL RECEPTACLE TO BE CO-ORDINATED WITH BUILDING MAINTENANCE DEPARTMENT.
13. PREPARE ALL SUBSTRATES IN ACCORDANCE W/ MANUFACTURERS RECOMMENDATIONS.
14. PROVIDE SMOOTH, LEVEL AND WATERTIGHT TRANSITION BETWEEN NEW AND EXISTING FLOOR FINISHES.
15. ALL PRODUCTS SHALL BE INSTALLED AS PER MANUFACTURE INSTRUCTIONS
16. PROVIDE LETTER FROM FLOORING MANUFACTURER INDICATING SUITABILITY OF FLOOR AND WALL SUBSTRATES TO RECEIVE INSTALLATION PRIOR TO COMMENCING EPOXY COATING WORK.

### FINISH / MATERIAL / PRODUCT SCHEDULE

REFERENCE	PRODUCT	MANUFACTURER	TYPE	COLOUR	COMMENTS
CC1	COVE CAP	ALTRO	C7	FULL COLOUR RANGE	COLOUR TO BE VERIFIED BY ARCHITECT.
FL01	SHEET FLOORING	FORBO	LINOLEUM	FULL COLOUR RANGE	COLOUR TO BE VERIFIED BY ARCHITECT. ETU PASTE TO BE UTILISED FOR ALL LINOLEUM SHEET FLOORING
FL02	SHEET FLOORING	FORBO	LINOLEUM	FULL COLOUR RANGE	COLOUR TO BE VERIFIED BY ARCHITECT. ETU PASTE TO BE UTILISED FOR ALL LINOLEUM SHEET FLOORING
FL03	RESILIENT SHEET FLOORING	ALTRO	ORCHESTRA	FULL COLOUR RANGE	COLOUR TO BE VERIFIED BY ARCHITECT. VINYL SHEET TO BE HELD WELDED.
FL04	EPOXY	STONEHARD	REFER TO SPEC.	FULL COLOUR RANGE	COLOUR TO BE VERIFIED BY ARCHITECT.



1 A0.01 CL-SITE PLAN 1:500

### DEMOLITION AND INSTALLATION NOTES FOR ALL DRAWINGS

- TEMPORARILY REMOVE ALL FURNITURE AND EQUIPMENT IN FLOOR REPLACEMENT AREAS. STORAGE LOCATION TO BE COORDINATED WITH BUILDING MAINTENANCE DEPARTMENT.
- DEMOLISH ALL EXISTING FLOORING AND BASE TO EXISTING SUBSTRATE AS INDICATED ON DRAWINGS. REPAIR ANY CRACKS AND/OR SKIM COATS FOR NEW LEVEL FLOOR FINISH. REMOVE EXISTING FLOOR ALONG WELD SEAM WHERE POSSIBLE.
- CLEAN AND PREPARE SURFACES FOR NEW FLOORING AS REQUIRED.
- EXISTING DRAINS TO REMAIN. PROTECT DURING DEMOLITION. IF EXISTING FLOOR DRAIN IS NOT CLAMPING - FOLLOW MANUFACTURER FLOORING INSTRUCTION FOR MODIFICATION OF EXISTING FLOOR DRAINS.
- ALL REMOVED AND DEMOLISHED MATERIAL TO BE REMOVED FROM THE SITE. LOCATION OF REMOVAL RECEPTACLE TO BE COORDINATED WITH BUILDING MAINTENANCE DEPARTMENT.
- ALL BASEBOARD HEATER COVERS INTERFERING WITH INSTALLATION OF NEW BASE TO BE TEMPORARILY REMOVED AND RE-INSTATED AFTER COMPLETION OF THAT SECTION OF WORK. CONTRACTOR TO COORDINATE WITH OWNER.
- ALL EXISTING CORNER GUARDS IMPACTED BY REPLACEMENT OF FLOOR BASE TO BE REMOVED IF REQUIRED, MODIFIED AS REQUIRED AND RE-INSTATED.
- EXISTING MILLWORK TO REMAIN. DEMOLITION AND NEW FLOOR REPLACEMENT AREA OF WORK TO BE COMPLETED UP TO BASE OF EXISTING MILLWORK. PROTECT MILLWORK AND MAKE GOOD OF ANY DAMAGES.
- CONTRACTOR SHALL REPAIR SUBFLOOR AS REQUIRED BY MANUFACTURE SPECIFICATION OF FINISHED FLOOR MATERIAL. REPAIR PITS & CRACKS. LEVEL AS REQUIRED. APPLY SELECTIVE SORTED COATS & SELF LEVELER TO ENSURE NO TELEGRAPHING OF SUBFLOOR. ASSUME TOLERANCE OF 1/16" FOR SELF LEVELING.
- REPAIR ANY CONSTRUCTION DAMAGE. TOUCH UP PAINT TO MATCH EXISTING COLOURS WHERE REQUIRED THROUGHOUT DUE TO DEMOLITION WORK.
- IN CASE OF NEW PENETRATION IN WALLS/FLOORS MAKE GOOD AND REPAIR AS REQUIRED.
- PROTECT/GUARD ALL AREAS OF WORK AS REQUIRED DURING RENOVATION WORK. PROVIDE DUST TIGHT FLOOR TO CEILING HOARDING ASSEMBLY TO FULLY SEPARATE ALL AREAS OF WORK FROM OCCUPIED AREAS OF THE HOME TO THE SATISFACTION OF THE BUILDING SERVICES MANAGER AND THE MINISTRY OF HEALTH OPERATIONAL PLAN FOR THE WORK.
- PROTECT FINISHED INSTALLATION AFTER INSTALLATION IS COMPLETE.
- BUILDING EXPANSION JOINTS TO BE MAINTAINED DURING DEMOLITION AND INSTALLATION. ANY VOIDS IN STRUCTURAL CONCRETE ADJACENT TO EXPANSION JOINTS TO BE MADE GOOD CREATING A LEVEL SURFACE ON EITHER SIDE OF JOINT.
- ALL JOINTS BETWEEN EXISTING SHEET FLOORING AND NEW SHEET FLOORING TO BE WELDED CREATING A SEAMLESS TRANSITION.
- NEW FLOORING TO BE DRESSED AROUND AND SEALED AGAINST EXISTING FLOOR DRAINS, POP UPS AND PROTRUDING PIPE WORK.
- MAKE GOOD ALL WALL DAMAGED BY THE REMOVAL OF EXISTING WALL BASE. NEW WALL TO MATCH EXISTING ABOVE. TAPE ALL JOINTS NO FINISH REQUIRED BELOW LINE OF NEW WALL BASE.
- RE-INSTALL EXISTING FURNITURE AND EQUIPMENT AS PER ORIGINAL LAYOUT.
- INSTALL NEW CORNER GUARDS AS PER ORIGINAL LOCATION WITH BOTTOM ALIGNED WITH TOP OF WALL BASE.
- NEW FLOORING NEED NOT GO ALL THE WAY UNDER BASEBOARD DIFFUSERS. REFER DEMO NOTE D06. NEW FLOORING TO BE CONTINUED INSIDE RESIDENT ROOM CLOSETS.

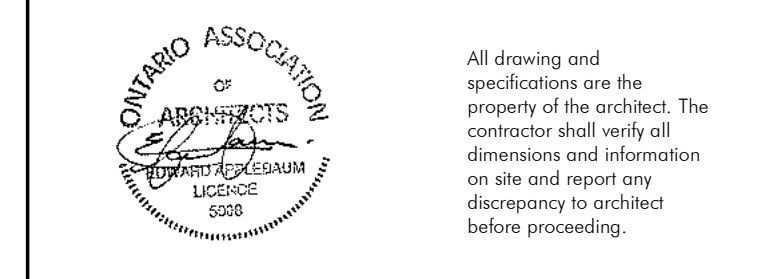
### DRAWING LIST

A0.00	COVER PAGE
A0.01	GENERAL INFORMATION
A0.10	AREA OF WORK PLAN - LEVEL 3
A0.21	EXISTING CONDITION PHOTOS - LEVEL 3 - NORTH WING
A1.01	LEVEL 3 - NE WING DEMO/PROPOSED PLAN
A1.02	LEVEL 3 - NW WING DEMO/PROPOSED PLAN
AS.4.18&19	1A/1Ax1B/2D/1C/1Cx/1Cy/1Cz UNITS DETAIL ARCHIVED PLANS
AS.4.20&21	1D/1Dx1Dy/1Dz/1E/1Ex/1F/1Fz UNITS DETAIL ARCHIVED PLANS
AS.4.22&23	1G/2E/2Ex/2Ey/2Az/2Ax/2Ay/2B UNITS DETAIL ARCHIVED PLANS
AS.4.24&25	2F/2Fz/2G/2Gx/1H/2H/2Hz UNITS DETAIL ARCHIVED PLANS
AS.4.26	NW SUPPORT CORE/TV LOUNGE ARCHIVED PLANS
AS.4.27	NW SUPPORT CORE/ACTIVATION RM ARCHIVED PLANS
AS.4.30	NE SUPPORT CORE/TUB RM ARCHIVED PLANS
A9.01	DETAILS - SEAMING DIAGRAM & ROOM FINISH SCHEDULE
A9.02	DETAILS - TYP. TUBI SHOWER ROOM

### ABBREVIATION SCHEDULE

ACT	ACOUSTIC CEILING TILE	GL	GLASS	RB	RESILIENT BASE
AFF	ABOVE FINISHED FLOOR	GWB	GYPSPUM WALL BOARD	RCP	REFLECTED CEILING PLAN
ADJ	ADJUSTABLE	HC	HOLLOW CORE	R.O.	ROUGH OPENING
BSM	BUILDING SERVICE MANAGER	HB	HOSE BIB	RSF	RESILIENT SHEET FLOORING
CG	CORNER GUARD	HD	HAND DRIVER	SD	SOAP DISPENSER
CJ	CONTROL JOINT	HM	HOLLOW METAL	SF	SAFETY FLOORING
CMU	CONCRETE MASONRY UNIT	HIM	HOLLOW INSULATED METAL	SH	SHOWER
CONC	CONCRETE	HT	HEIGHT	SCR	SHOWER CURTAIN ROD
CO	CLEAN OUT	INT	INTERIOR	SM	SIMILAR
CT	CERAMIC TILE	LL	LOOSE LINTEL	SO	EMERGENCY SHUT OFF
LVT	LUXURY VINYL TILE	S	SPEAKER	S	SPEAKER
MATL	MATERIAL	STL	STAINLESS STEEL	STL	STEEL
MAX	MAXIMUM	STN	STONE	SV	SHEET VINYL
MIN	MINIMUM	TEMP	TEMPORARY	T	THERMOSTAT
MIR	MIRROR	MWB	MOISTURE RESISTANT GWB	TERR	TERRAZZO
DIAMETER	DIAMETER	NA	NOT APPLICABLE	T.O.	TOP OF
ELEV	ELEVATION	NC	NURSE CALL	TYP	TYPICAL
(E)	EXISTING	NIC	NOT IN CONTRACT	US	UNDERSIDE OF
EL	EMERGENCY LIGHT	NTS	NOT TO SCALE	U.N.O.	UNLESS NOTED OTHERWISE
ECP	EXISTING CONDITION PHOTO	O.C.	ON CENTRE	VB	VAPOUR BARRIER
E.GWB	EXISTING WALL BOARD	O.H.	OVER HEAD	V.I.F.	VERIFY IN FIELD
FA	FIRE ALARM DEVICE	PLAM	PLASTIC LAMINATE	VR	VAPOUR RETARDER
FEC	FIRE EXTINGUISHER CABINET	PLM	PLUMBINUS	WD	WOOD
FHC	FIRE HOSE CABINET	PLY	PLYWOOD	WF	WINDOW FILM
FD	FIRE DAMPER	FLR	FLOOR	WP	WALL PROTECTION
FIX	FIXED	PTW	PRESSURE TREATED WOOD	WS	WINDOW SHADE
FIN	FINISH	PT	PAINT	W	WITH
FLR	FLOOR	PTD	PAPER TOWEL DISPENSER	ZV	ZONE VALVE
FRR	FIRE RESISTANT RATING	QU	QUAD RECEPTACLE PLATE		
GA	GAUGE				
GALV	GALVANIZED				
GB	GRAB BAR				

1 2022-07-08 ISSUED FOR TENDER MSA  
# date: revision: revision:  
revisions



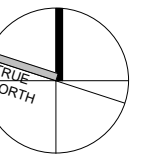
All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

### CUMMER LODGE - FLOORING REPLACEMENT

205 CUMMER AVE.  
NORTH YORK, ONTARIO

### GENERAL INFORMATION

scale: As indicated  
drawn by: SK  
reviewed by: AR  
job number: 21500.F99\_015  
plot date: 2022-07-08  
drawing number:



**AREA OF WORK LEGEND**

- AREA OF WORK
- EXISTING AREA TO REMAIN AS-IS
- ALTERNATE PRICE AREA



1 2022-07-08 ISSUED FOR TENDER MSA  
# date: revision: by:  
revisions:



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**CUMMER LODGE - FLOORING REPLACEMENT**

205 CUMMER AVE.  
NORTH YORK, ONTARIO

**AREA OF WORK PLAN - LEVEL 3**

scale: 1 : 200  
drawn by: SK  
reviewed by: AR  
job number: 21500.F99\_015  
plot date: 2022-07-08  
drawing number:

**A0.10**

CORRIDORS



DINING AREA



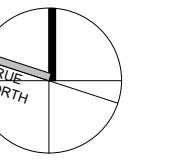
SHOWER & TUB ROOMS



RESIDENT ROOMS



OFFICES



1 2022-07-08 ISSUED FOR TENDER MSA  
# date: revision: by:  
revisions

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CUMMER LODGE - FLOORING REPLACEMENT

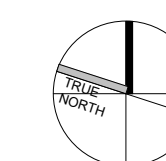
205 CUMMER AVE.  
NORTH YORK, ONTARIO

EXISTING CONDITION PHOTOS - LEVEL 3 - NORTH WING

scale:  
drawn by: SK  
reviewed by: AR  
job number: 21500.F99\_015  
plot date: 2022-07-08

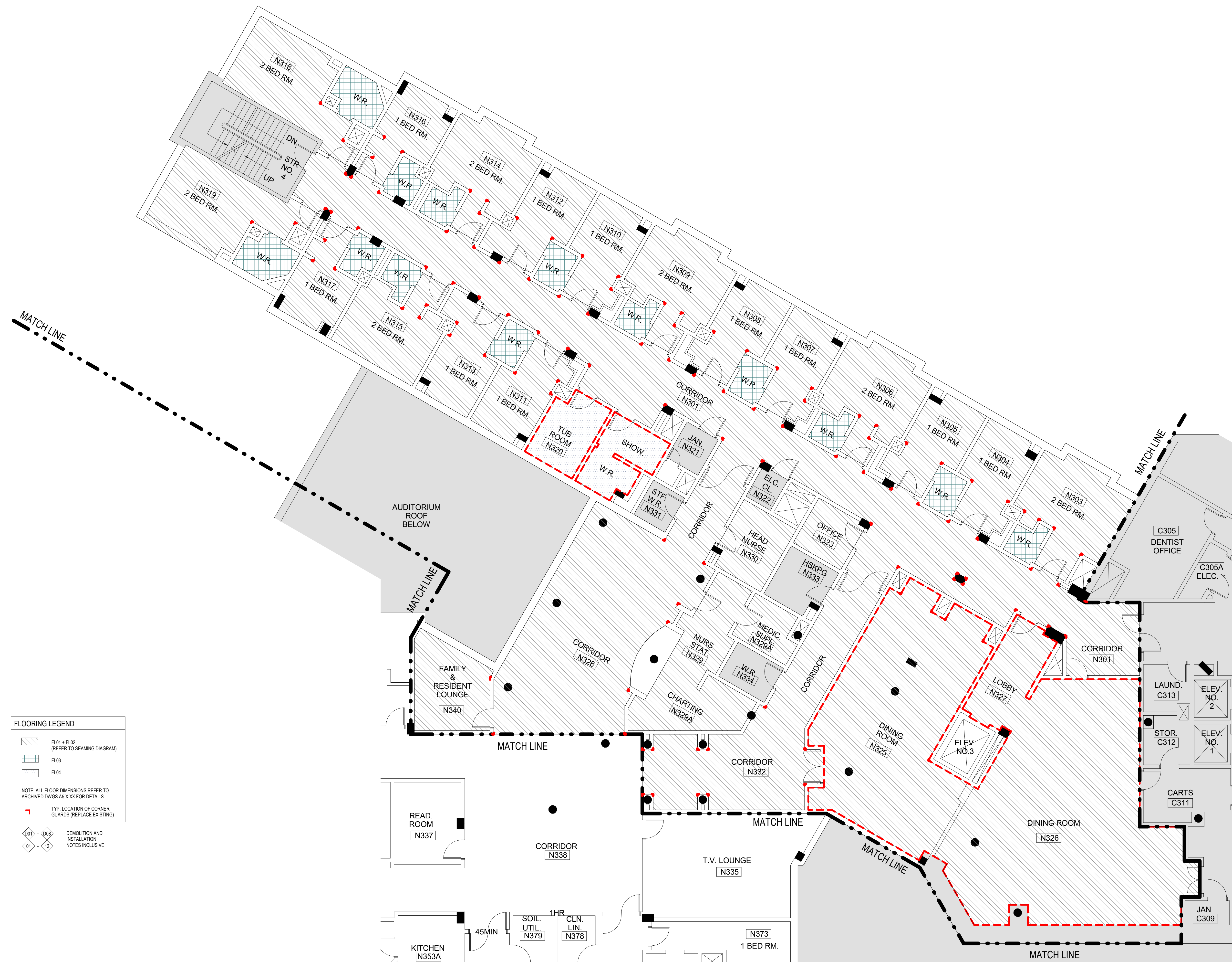
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A0.21



**AREA OF WORK LEGEND**

- AREA OF WORK
- EXISTING AREA TO REMAIN AS-IS
- ALTERNATE PRICE AREA



**FLOORING LEGEND**

- FL01 + FL02 (REFER TO SEAMING DIAGRAM)
- FL03
- FL04

NOTE: ALL FLOOR DIMENSIONS REFER TO ARCHIVED DWGS AS.X.XX FOR DETAILS.

TYP. LOCATION OF CORNER GUARDS (REPLACE EXISTING)

DEMOLITION AND INSTALLATION NOTES INCLUSIVE

- 01 - 08
- 01 - 12

2	2022-07-08	ISSUED FOR TENDER	MSA
1	2021-08-04	ISSUED FOR CONSTRUCTION	MSA
#	date:	revision:	by:



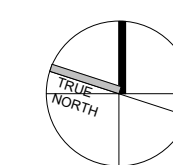
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**CUMMER LODGE - FLOORING REPLACEMENT**  
205 CUMMER AVE.  
NORTH YORK, ONTARIO

**LEVEL 3 - N/E WING DEMO/PROPOSED PLAN**

scale:	As indicated
drawn by:	MY
reviewed by:	AR
job number:	21500.F99_015
plot date:	2022-07-08

drawing number: **A1.01**



AREA OF WORK LEGEND

- AREA OF WORK
- EXISTING AREA TO REMAIN AS-IS
- ALTERNATE PRICE AREA

#	date	revision	by
2	2022-07-08	ISSUED FOR TENDER	MSA
1	2021-08-04	ISSUED FOR CONSTRUCTION	MSA

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

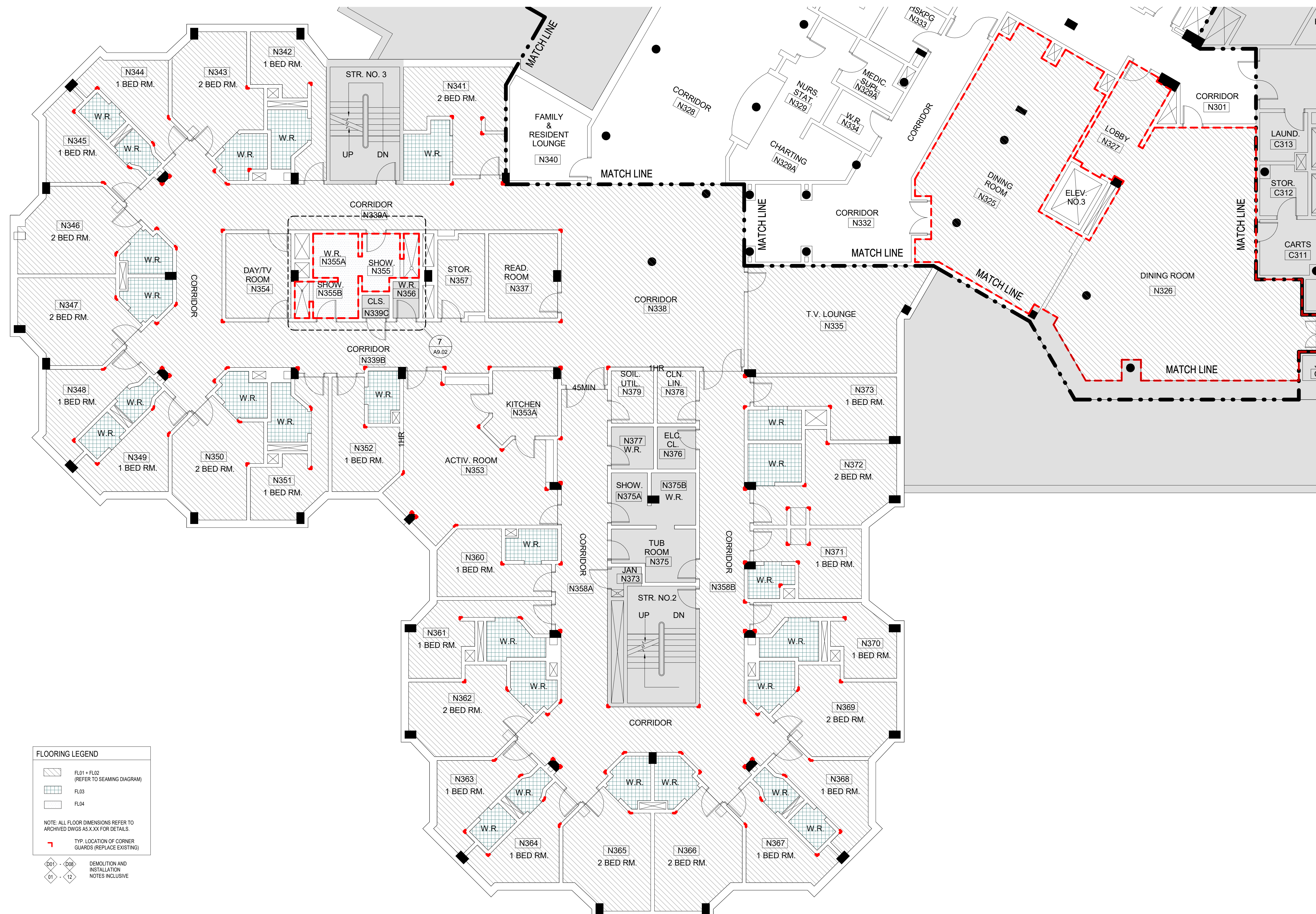
CUMMER LODGE - FLOORING REPLACEMENT

205 CUMMER AVE.  
NORTH YORK, ONTARIO

LEVEL 3 - N/W WING  
DEMO/PROPOSED PLAN

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reviewed by:	AR
job number:	21500.F99_015
plot date:	2022-07-08
drawing number:	

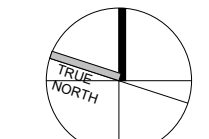
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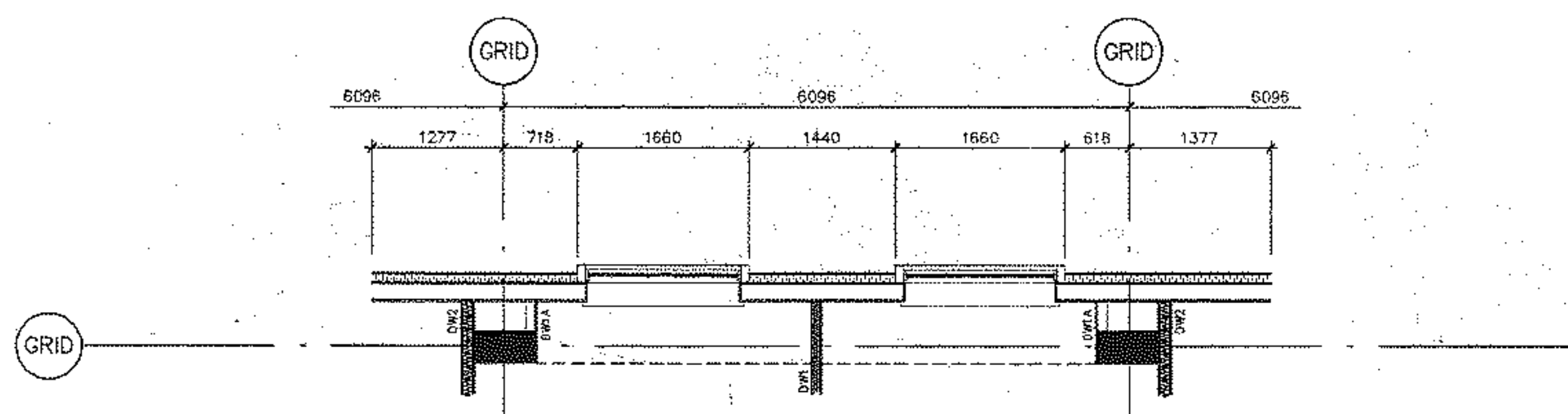
FLOORING LEGEND

- FL01 + FL02  
(REFER TO SEAMING DIAGRAM)
  - FL03
  - FL04
- NOTE: ALL FLOOR DIMENSIONS REFER TO ARCHIVED DWGS AS X.XX FOR DETAILS.
- TYP. LOCATION OF CORNER GUARDS (REPLACE EXISTING)
- DEMOLITION AND INSTALLATION NOTES INCLUSIVE

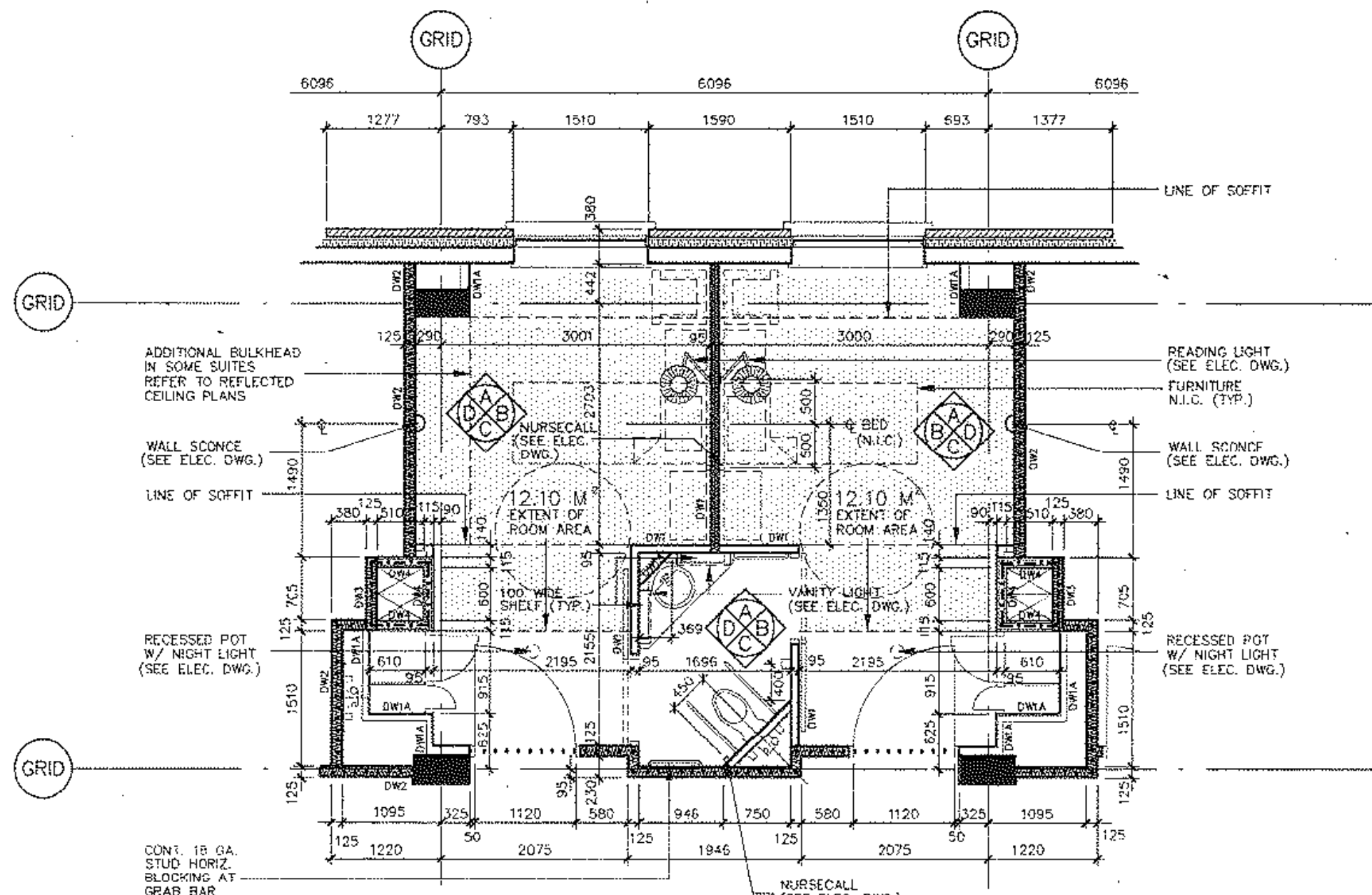
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A1.02 LEVEL 3 - N/W WING DEMO/ PROPOSED PLAN  
1: 100



**NOTE:**  
THESE ARE ARCHIVE DRAWINGS AND  
REFERENCE FOR DIMENSIONS ONLY  
AND CONTEXT. ALL DIMENSIONS SHALL  
BE V.I.F



4TH FLOOR WALL CONDITION

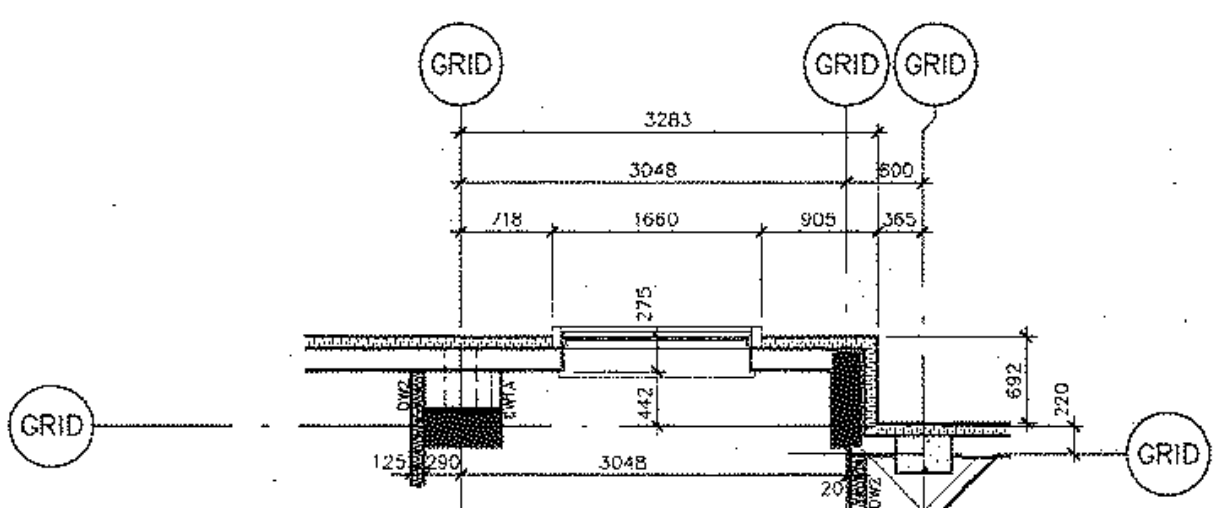


RESIDENT ROOM TYPE 1A

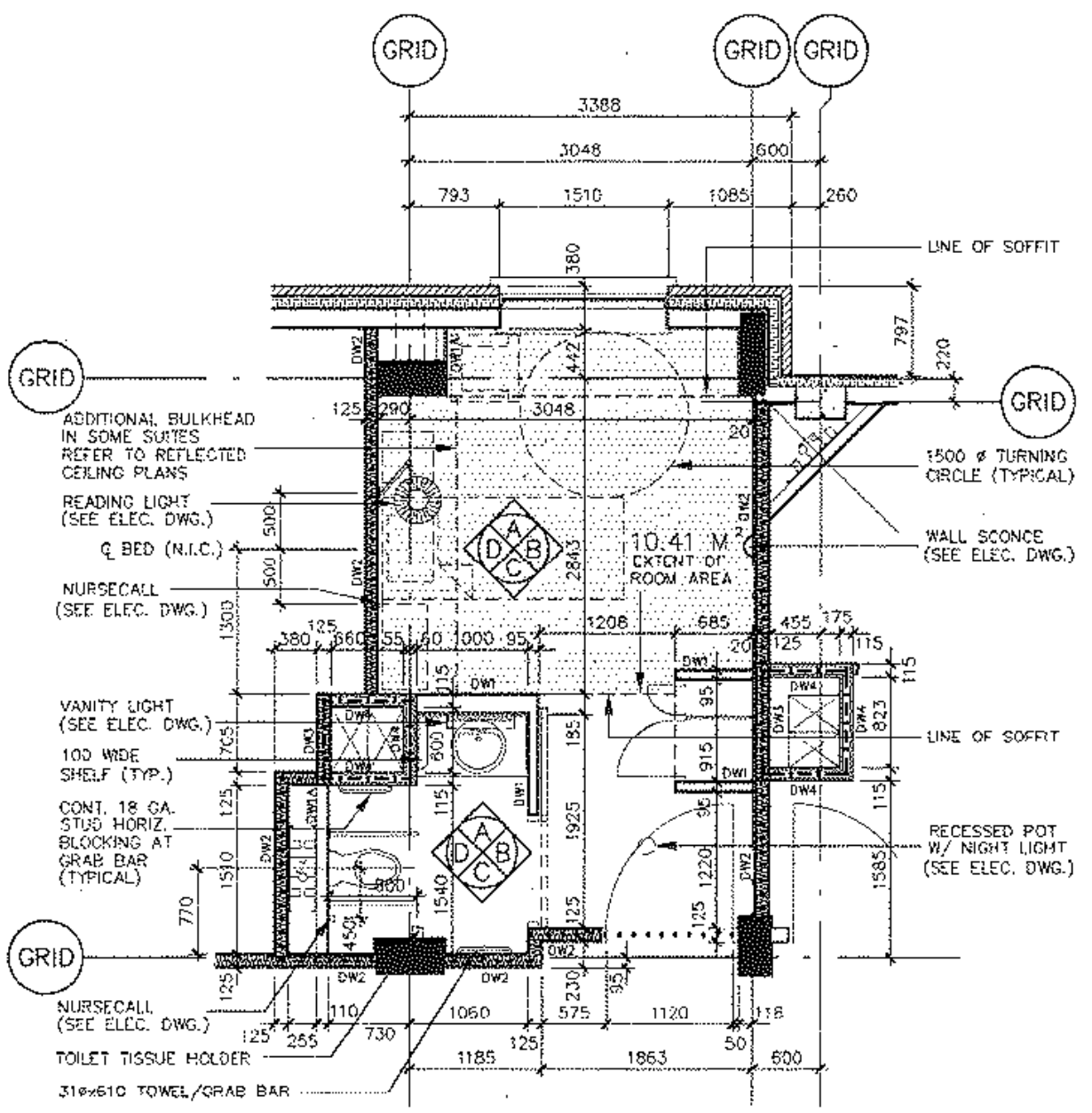
ROOMS - 5205,5305,5405, 5210,5310,5410, N211,N311,N411  
ROOMS (REVERSED) - 5211,5311,5411, N204,N304,N404,  
N207,N307,N407, N210,N310,N410

RESIDENT ROOM TYPE 1Ax

ROOMS - 5206,5306,5406, 5212,5312,5412, N213,N313,N413  
ROOMS (REVERSED) - 5213,5313,5413, N205,N305,N405,  
N208,N308,N408, N212,N312,N412

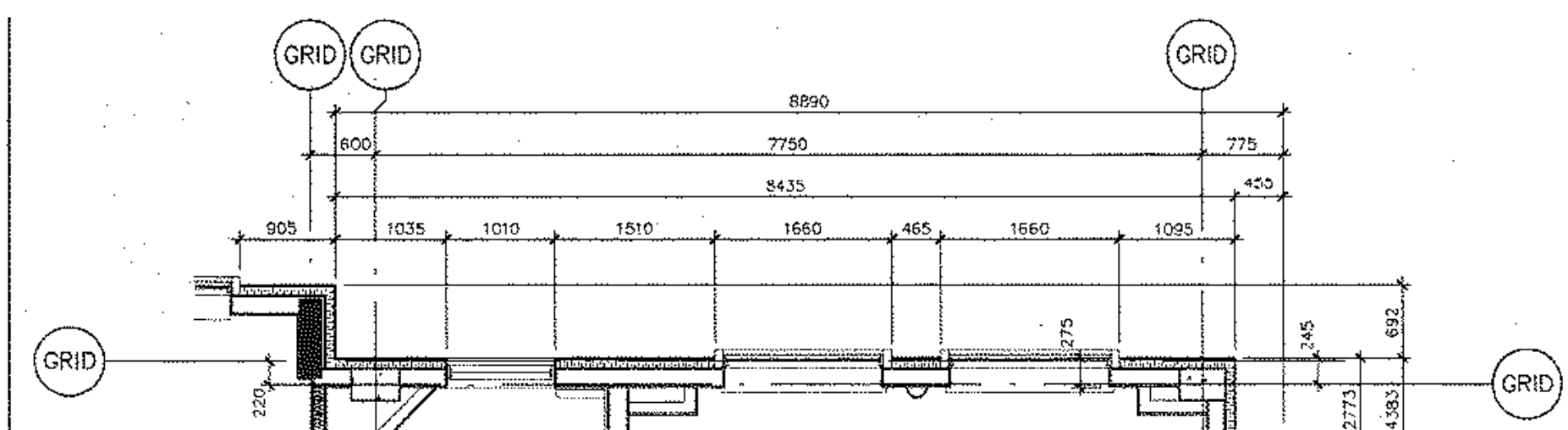


4TH FLOOR WALL CONDITION

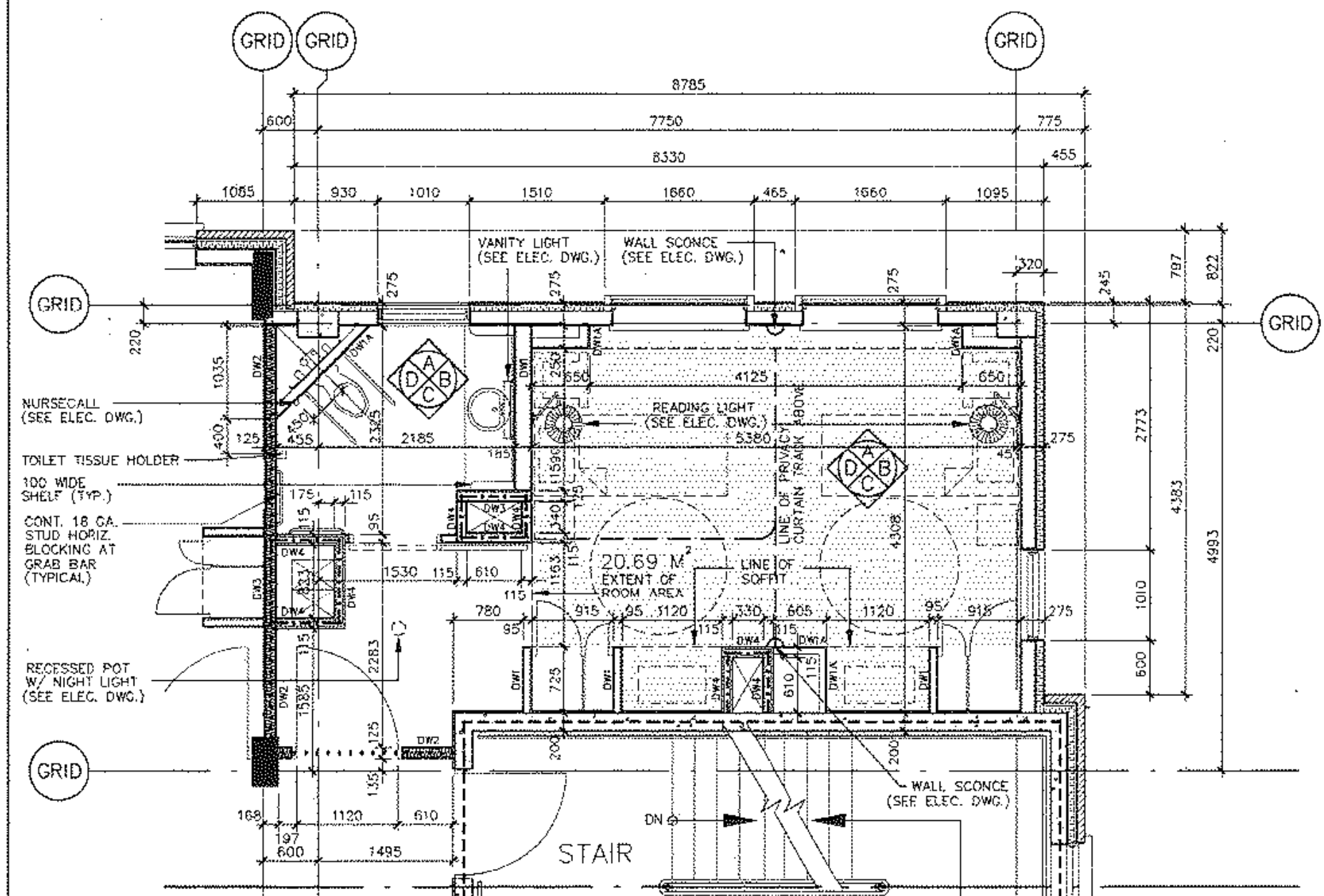


RESIDENT ROOM TYPE 1B

ROOMS - 5216,5316,5416, N217,N317,N417  
ROOMS (REVERSED) - 5217,5317,5417, N216,N316,N416

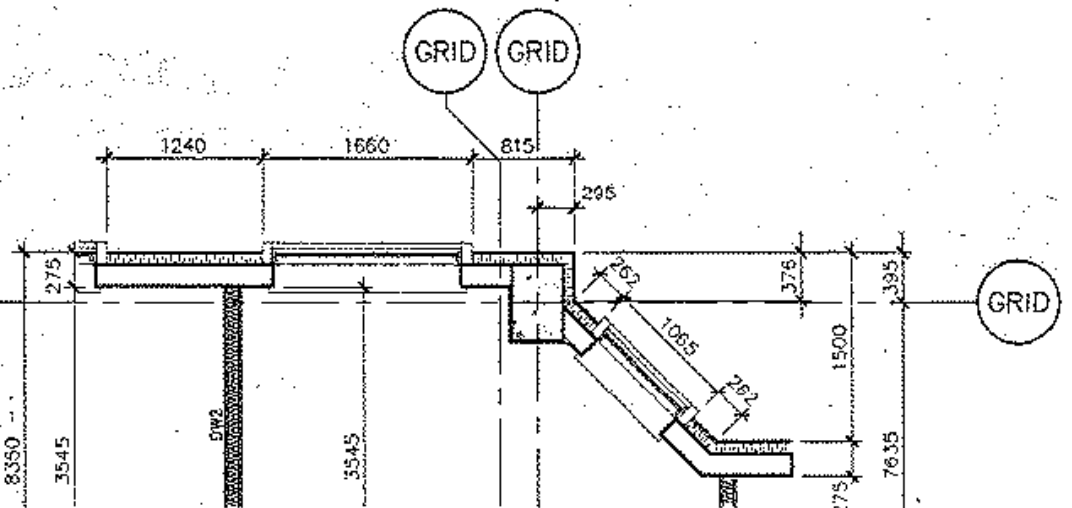


4TH FLOOR WALL CONDITION

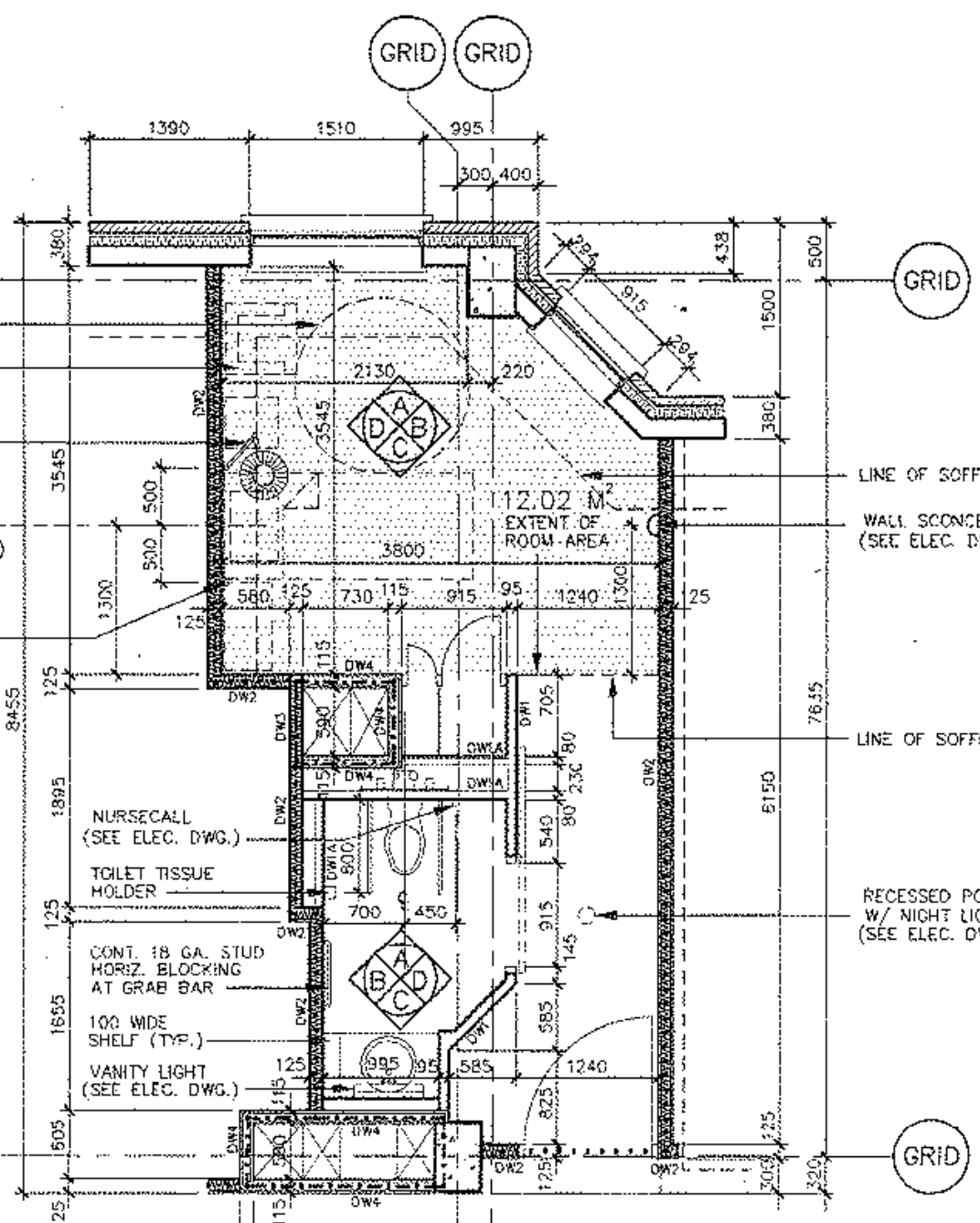


RESIDENT ROOM TYPE 2D

ROOMS - 5218,5318,5418, N219,N319,N419  
ROOMS (REVERSED) - 5219,5319,5419, N218,N318,N418

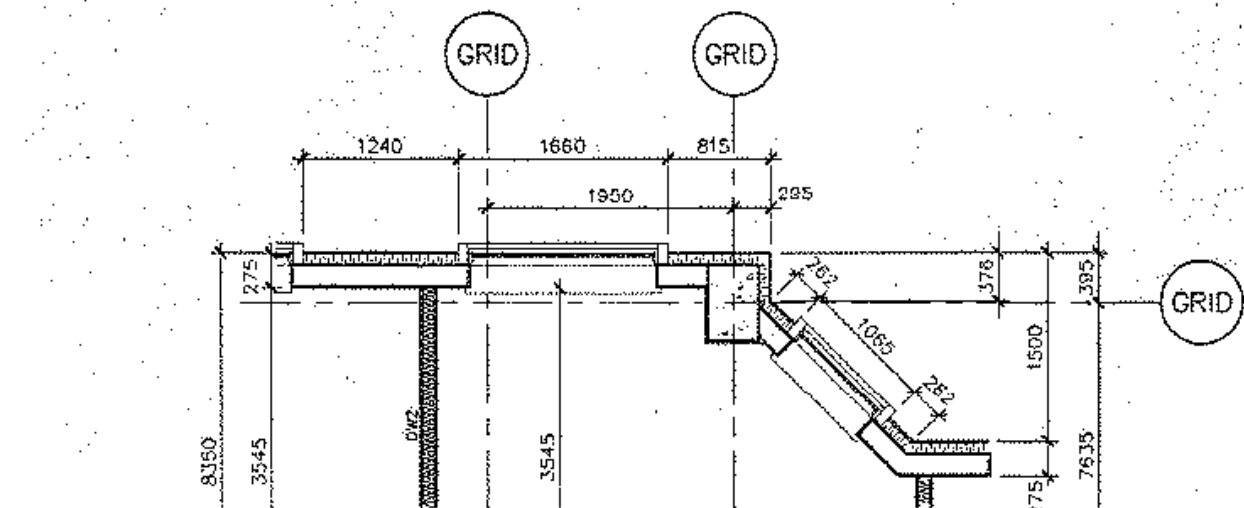


4TH FLOOR WALL CONDITION

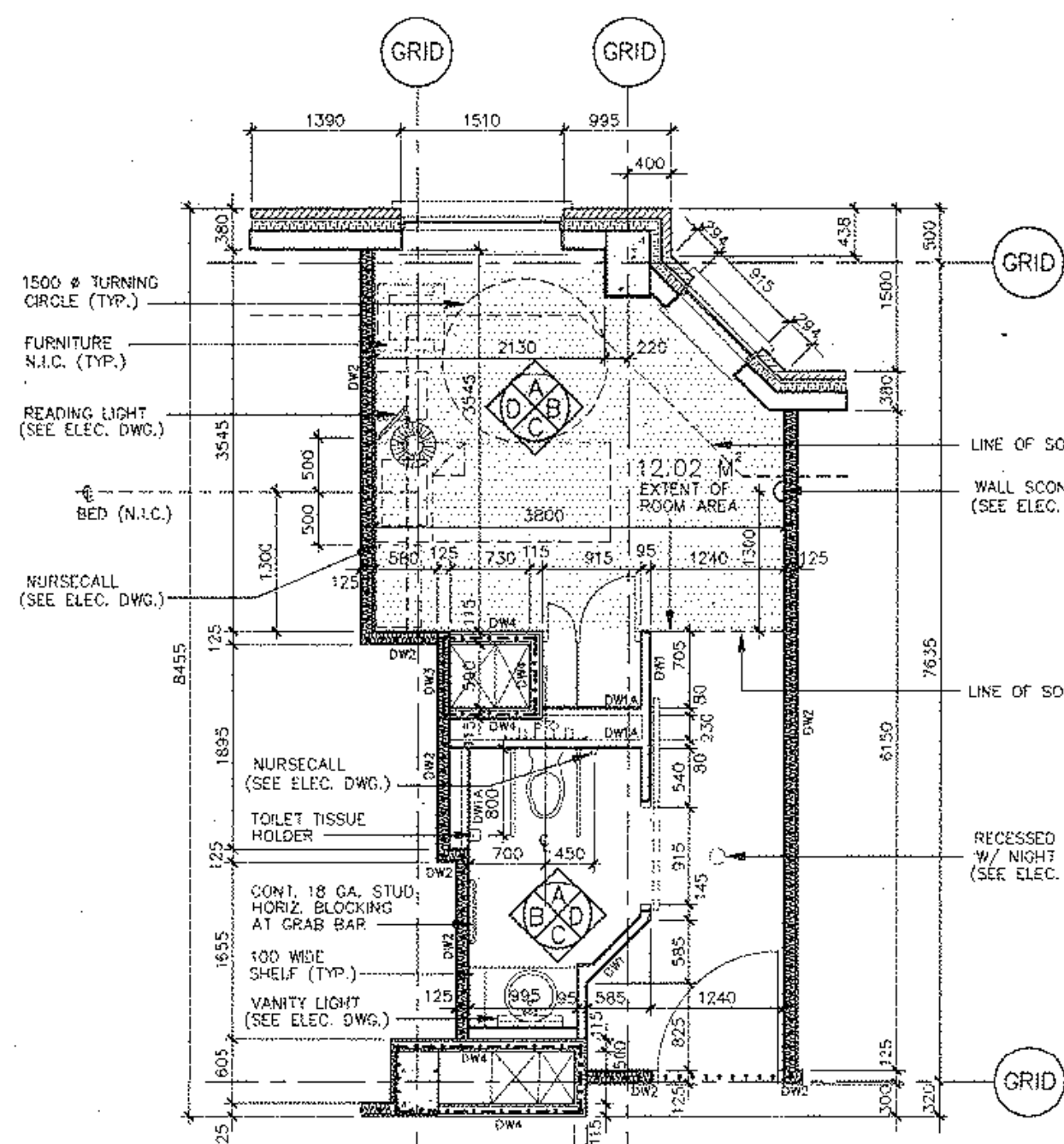


RESIDENT ROOM TYPE 1C

ROOMS - N242,N342,N442, N261,N361,N461  
ROOMS (REVERSED) - S260,S360,S460

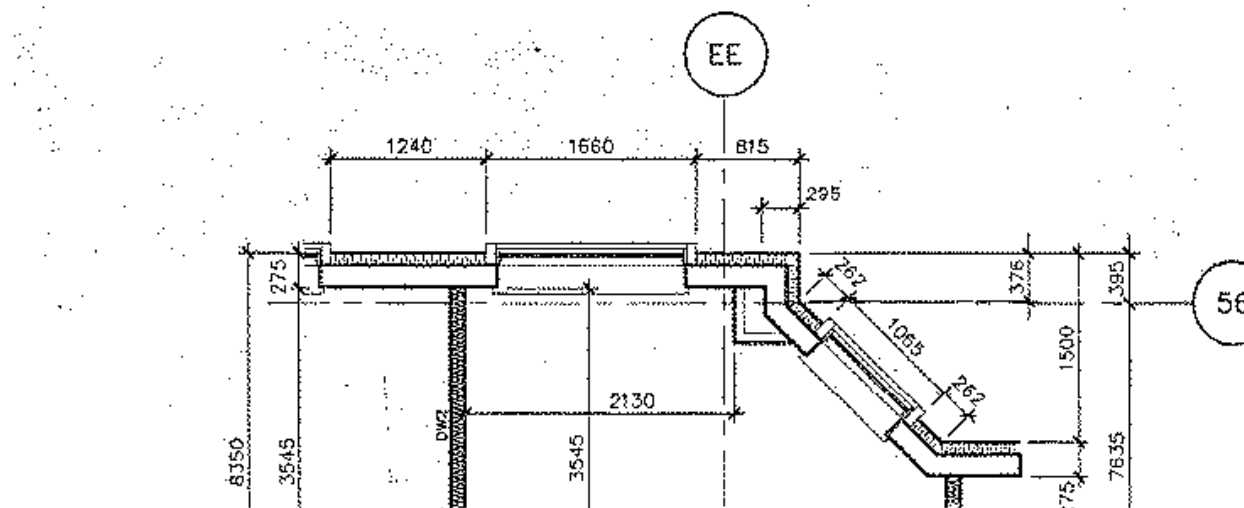


4TH FLOOR WALL CONDITION

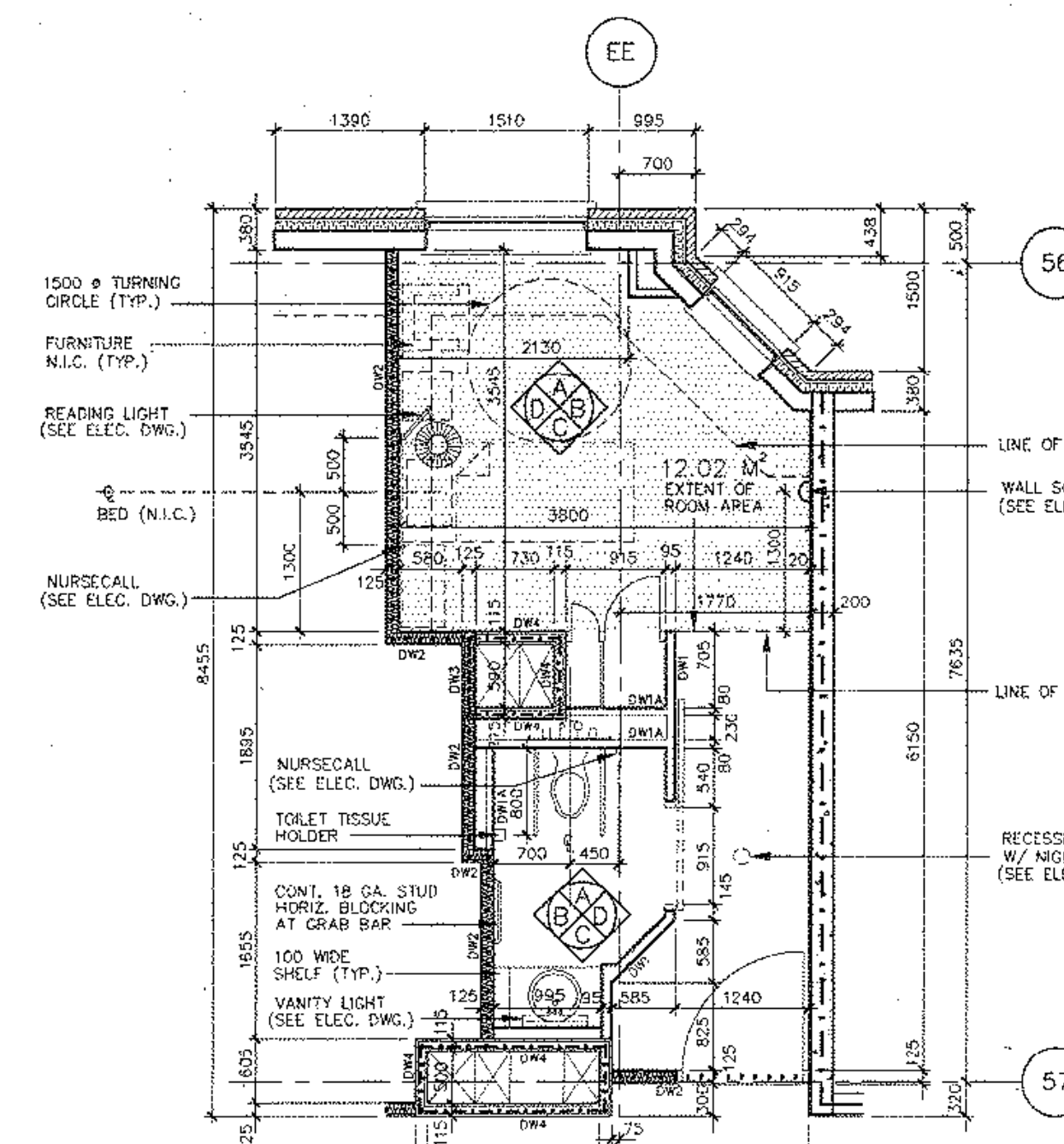


RESIDENT ROOM TYPE 1Cx

ROOMS - S250,S350,S450  
ROOMS (REVERSED) - N251,N351,N451

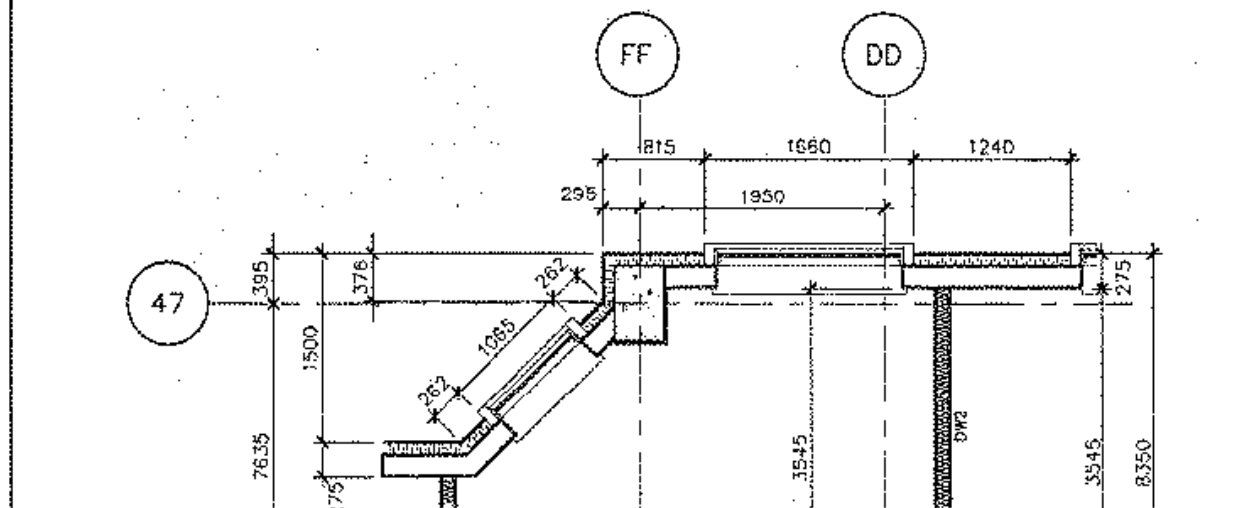


4TH FLOOR WALL CONDITION

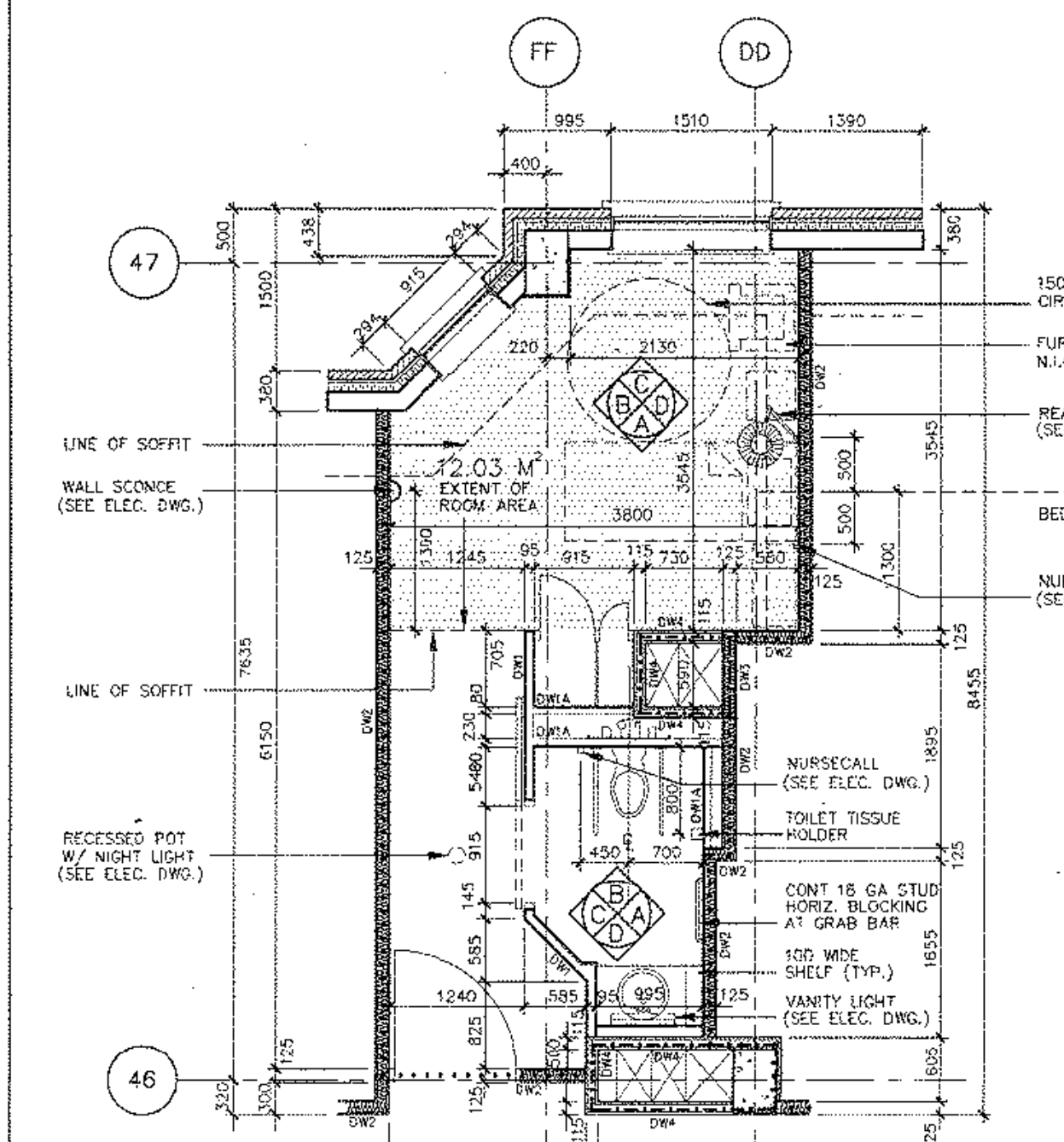


RESIDENT ROOM TYPE 1Cy

ROOMS - S269,S369,S469



4TH FLOOR WALL CONDITION



RESIDENT ROOM TYPE 1Cz

ROOMS - N270,N370,N470

1 2022-07-08 ISSUED FOR TENDER MSA  
# date: revision  
revisions



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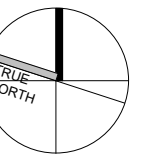
CUMMER LODGE - FLOORING REPLACEMENT

205 CUMMER AVE  
NORTH YORK, ONTARIO

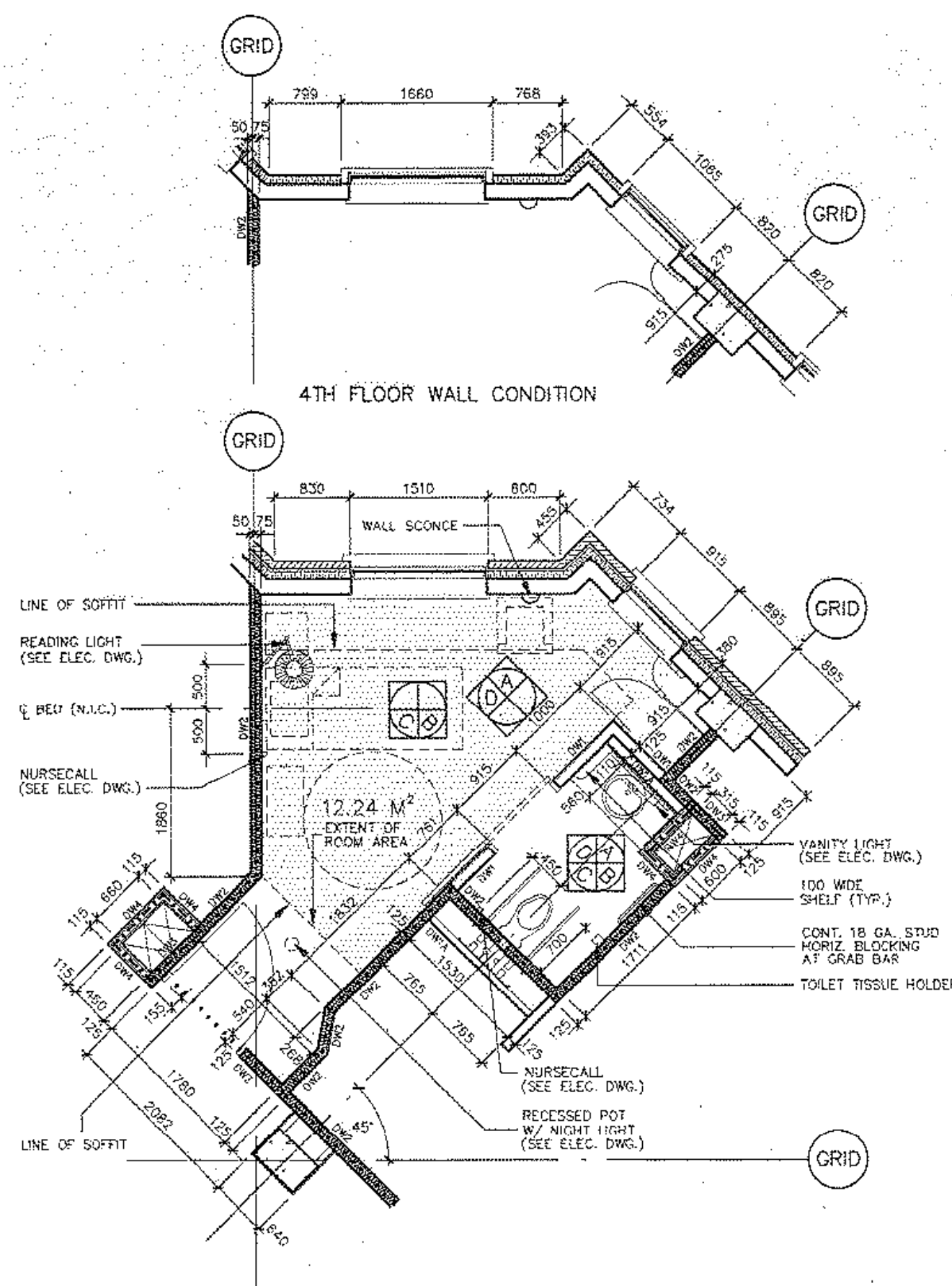
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UNITS DETAIL ARCHIVED PLANS

scale: 1 : 60  
drawn by: SK  
reviewed by: AR  
job number: 21500.F99\_015  
plot date: 2022-07-08

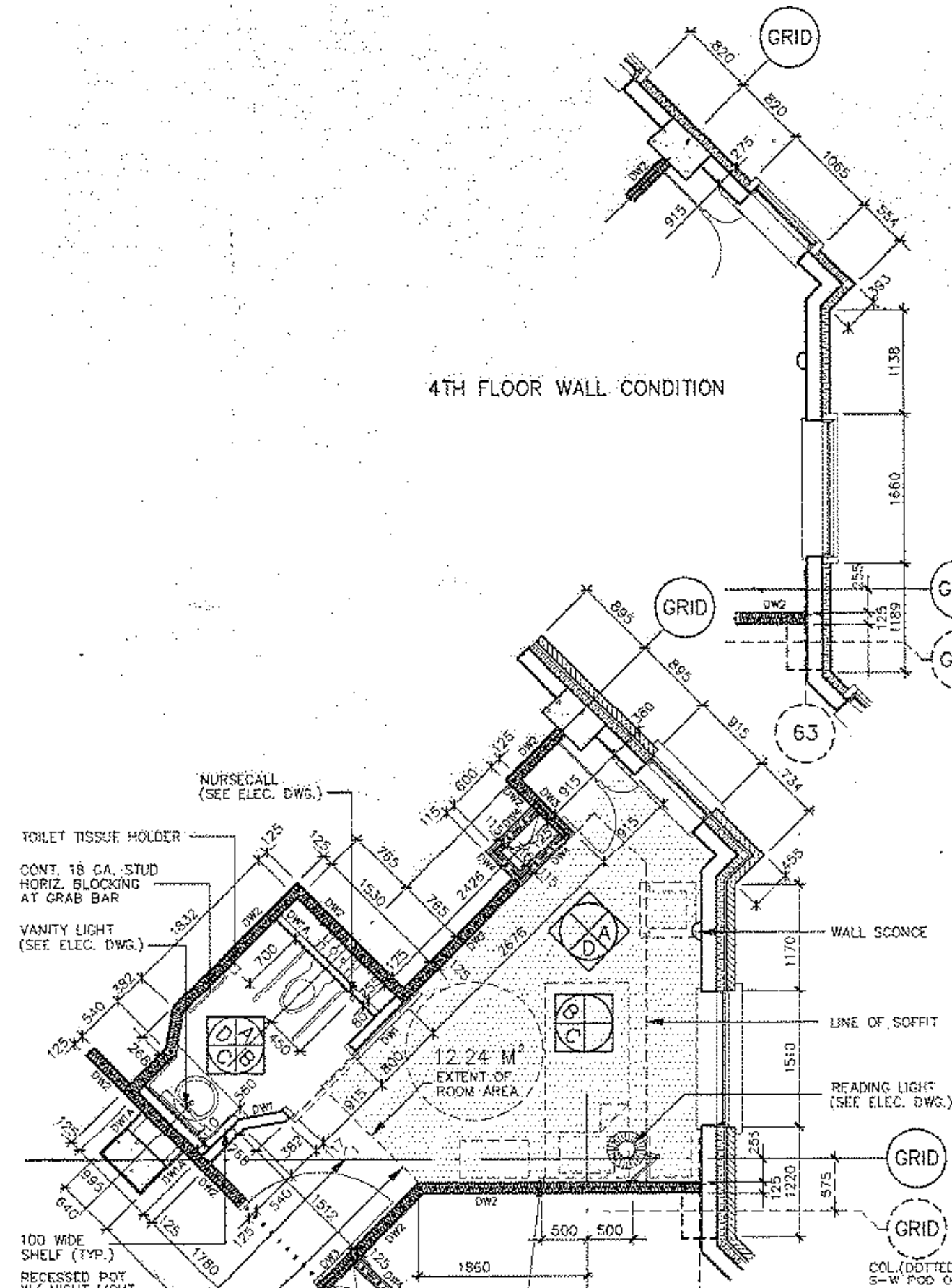
drawing number:  
A5.4.18&19



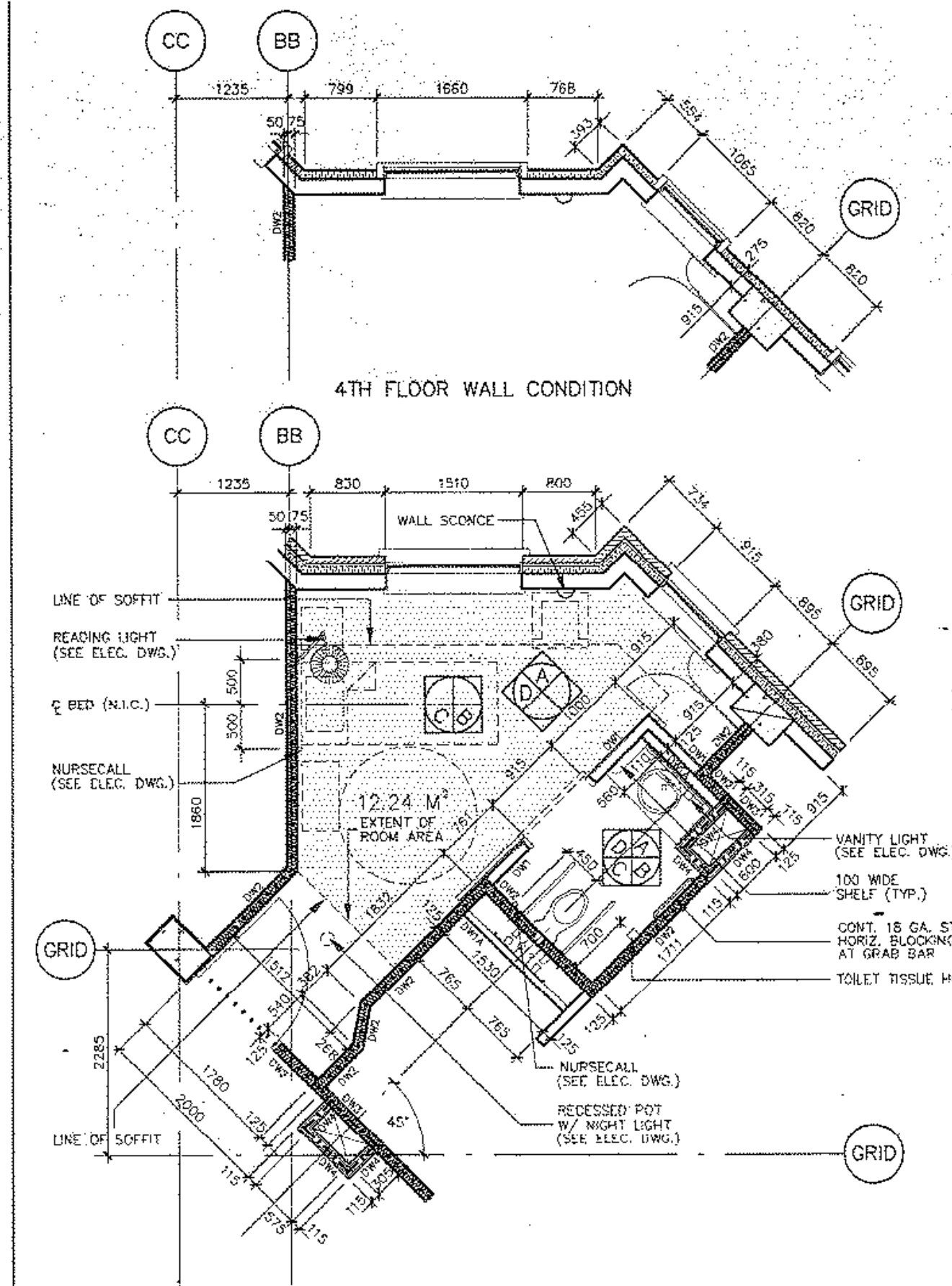
**NOTE:**  
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AND CONTEXT. ALL DIMENSIONS SHALL  
BE V.I.F



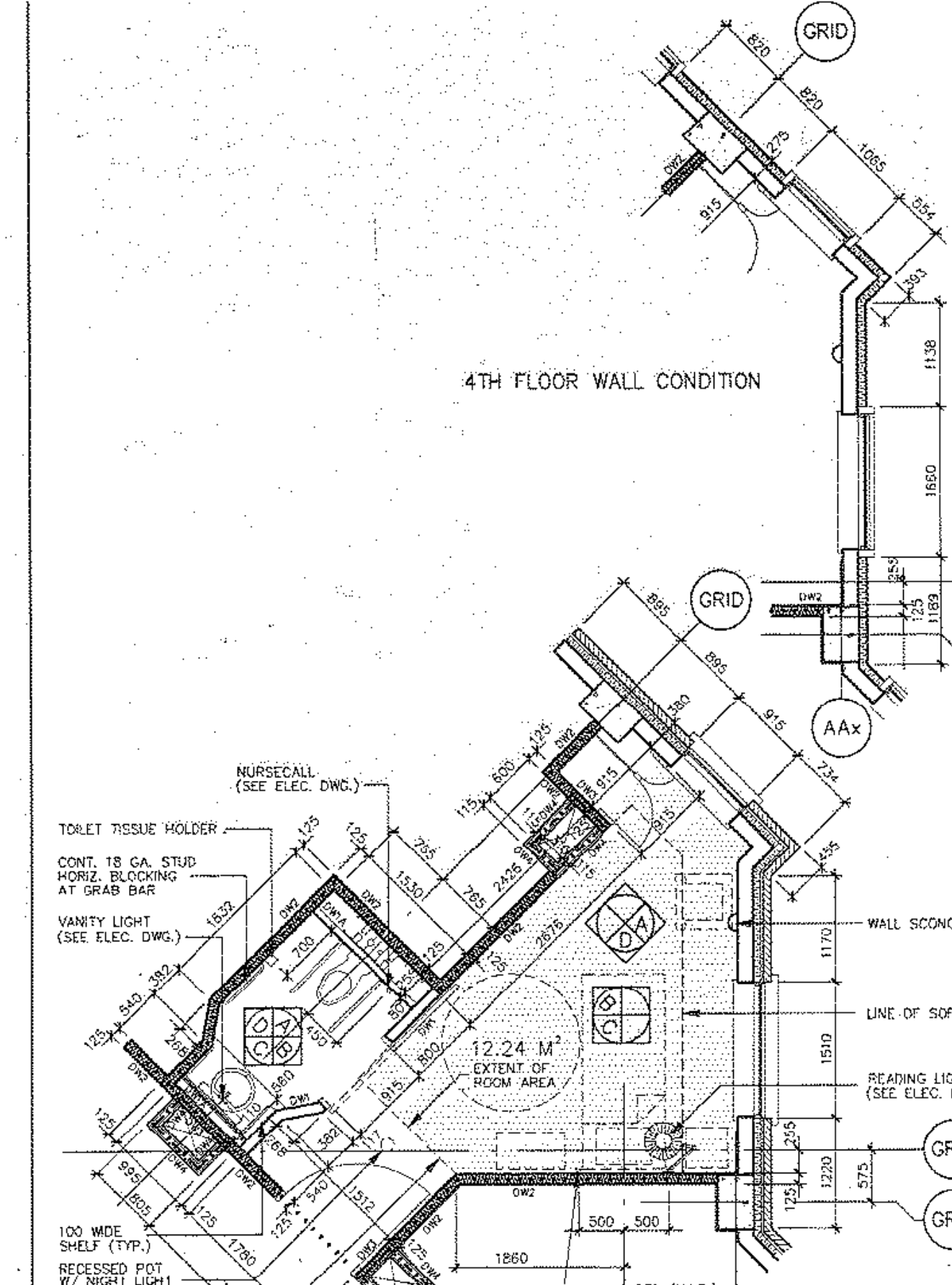
**RESIDENT ROOM TYPE 1D**  
ROOMS - N249,N349,N449, N268,N368,N468, S243,S343,S443  
ROOMS (REVERSED) - N244,N344,N444, N263,N363,N463,  
S248,S348,S448



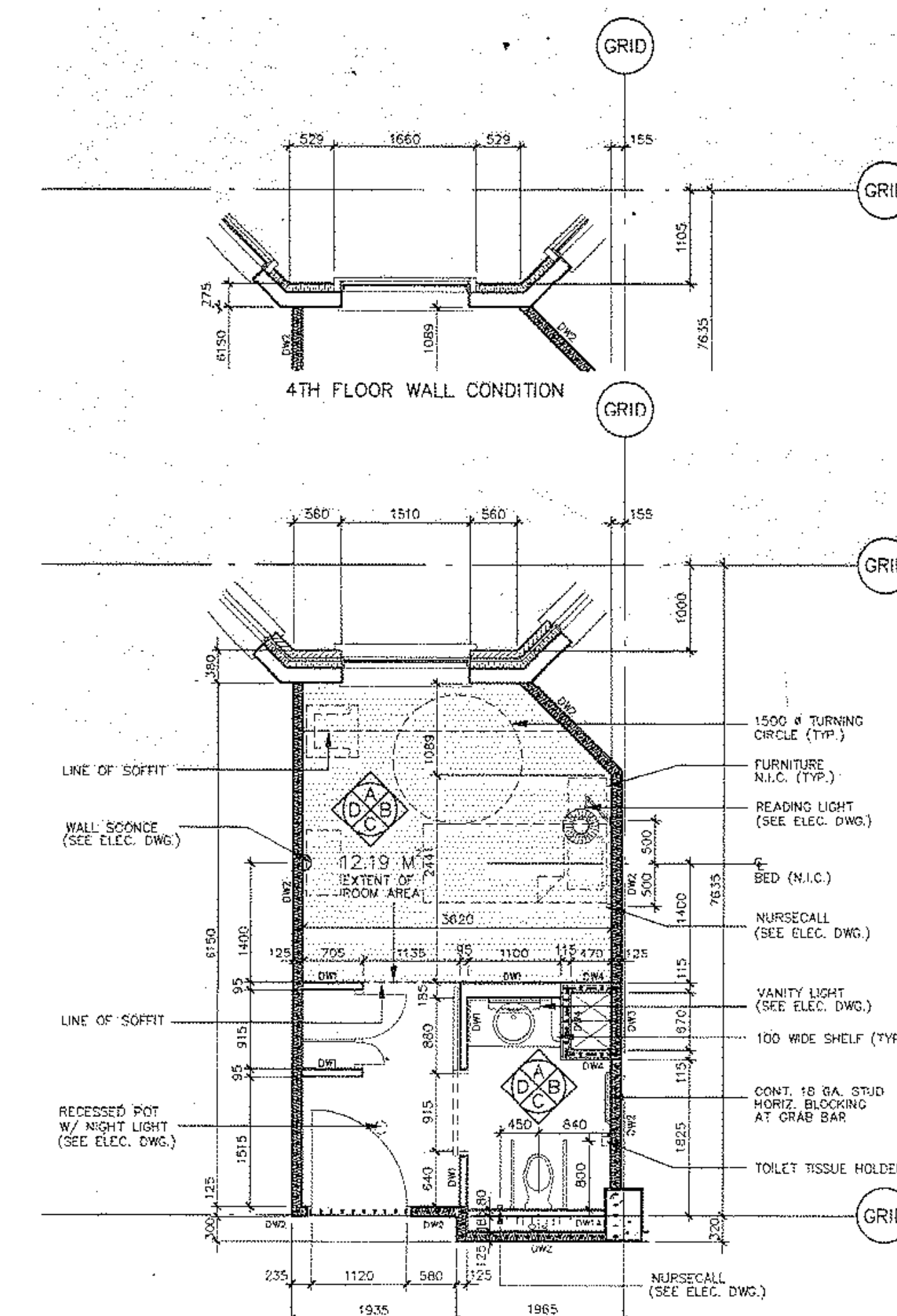
**RESIDENT ROOM TYPE 1Dx**  
ROOMS - N248,N348,N448, N267,N367,N467, S244,S344,S444  
ROOMS (REVERSED) - N245,N345,N445, N264,N364,N464,  
S247,S347,S447



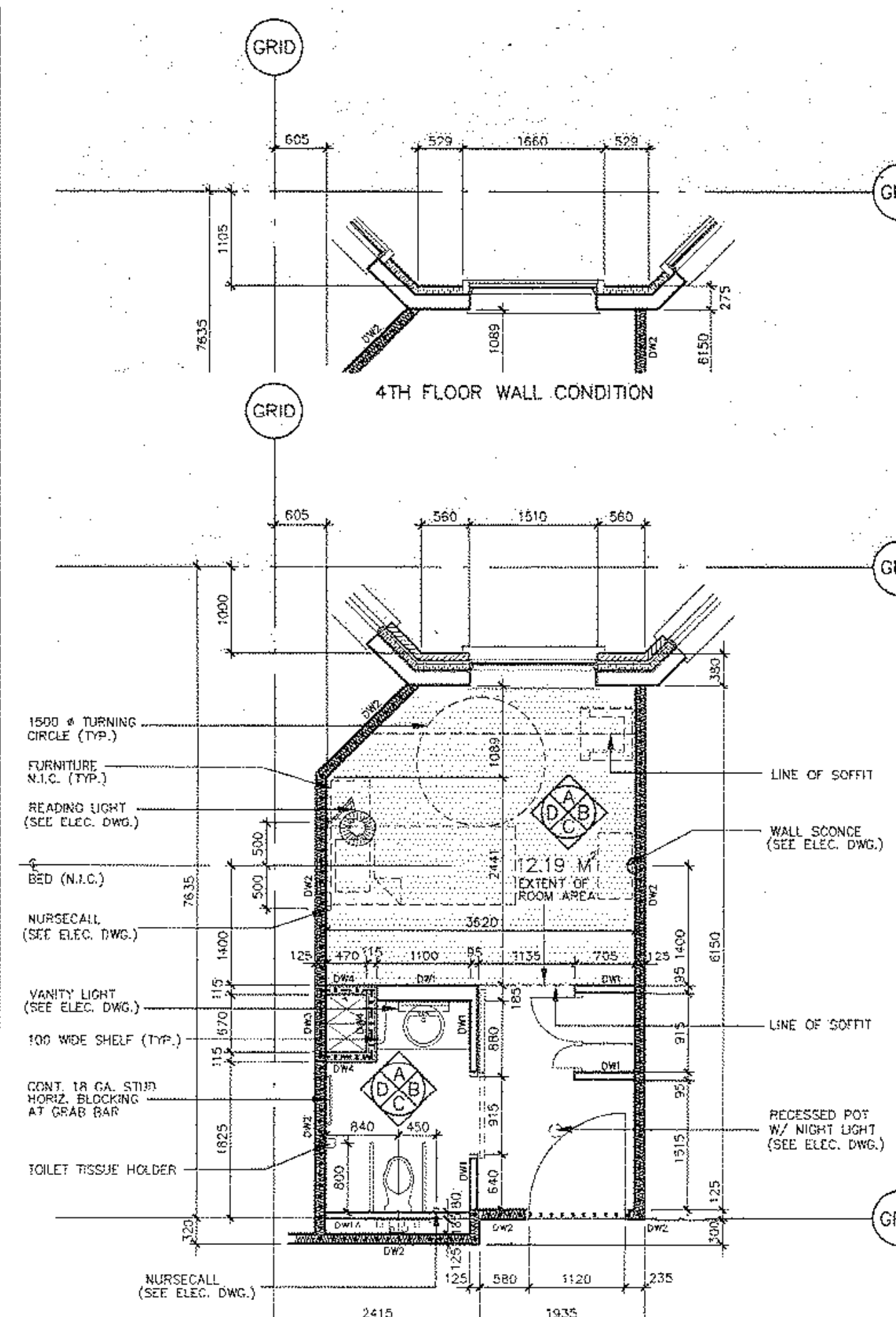
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ROOMS - S282,S362,S462  
ROOMS (REVERSED) - S267,S367,S467



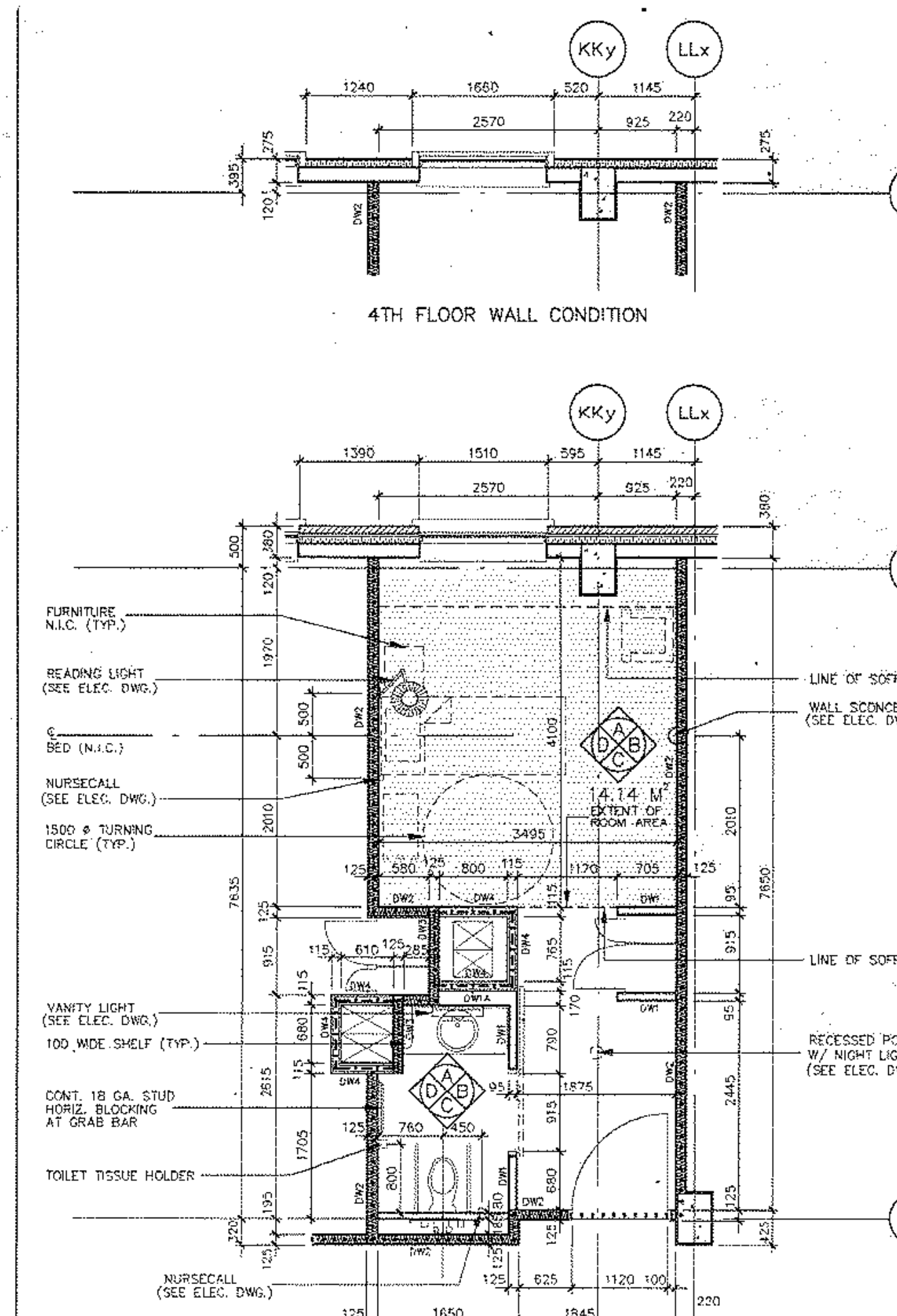
**RESIDENT ROOM TYPE 1Dz**  
ROOMS - S263,S363,S463  
ROOMS (REVERSED) - S266,S366,S466



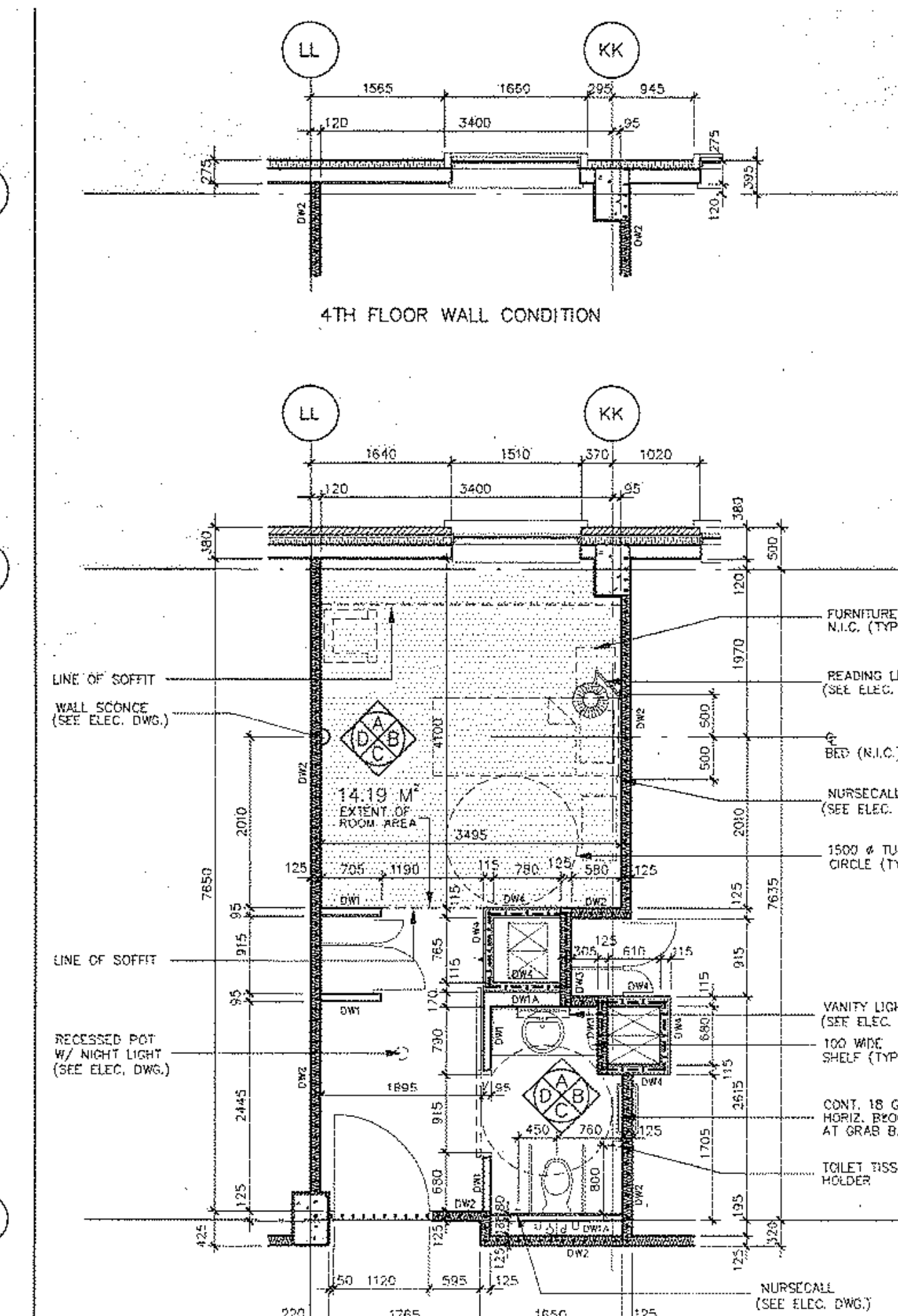
**RESIDENT ROOM TYPE 1E**  
ROOMS - S251,S351,S451  
ROOMS (REVERSED) - N252,N352,N452



**RESIDENT ROOM TYPE 1Ex**  
ROOMS - S259,S359,S459  
ROOMS (REVERSED) - N260,N360,N460



**RESIDENT ROOM TYPE 1F**  
ROOMS - S271,S371,S471



**RESIDENT ROOM TYPE 1Fx**  
ROOMS - N273,N373,N473

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205 CUMMER AVE.  
NORTH YORK, ONTARIO

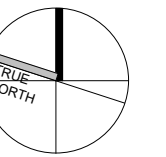
**1D/1Dx/1Dy/1Dz/1E/1Ex/1F/1Fx  
UNITS DETAIL ARCHIVED PLANS**

scale: 1 : 60  
drawn by: MY  
reviewed by: AR  
job number: 21500.F99.015  
plot date: 2022-07-08  
drawing number:

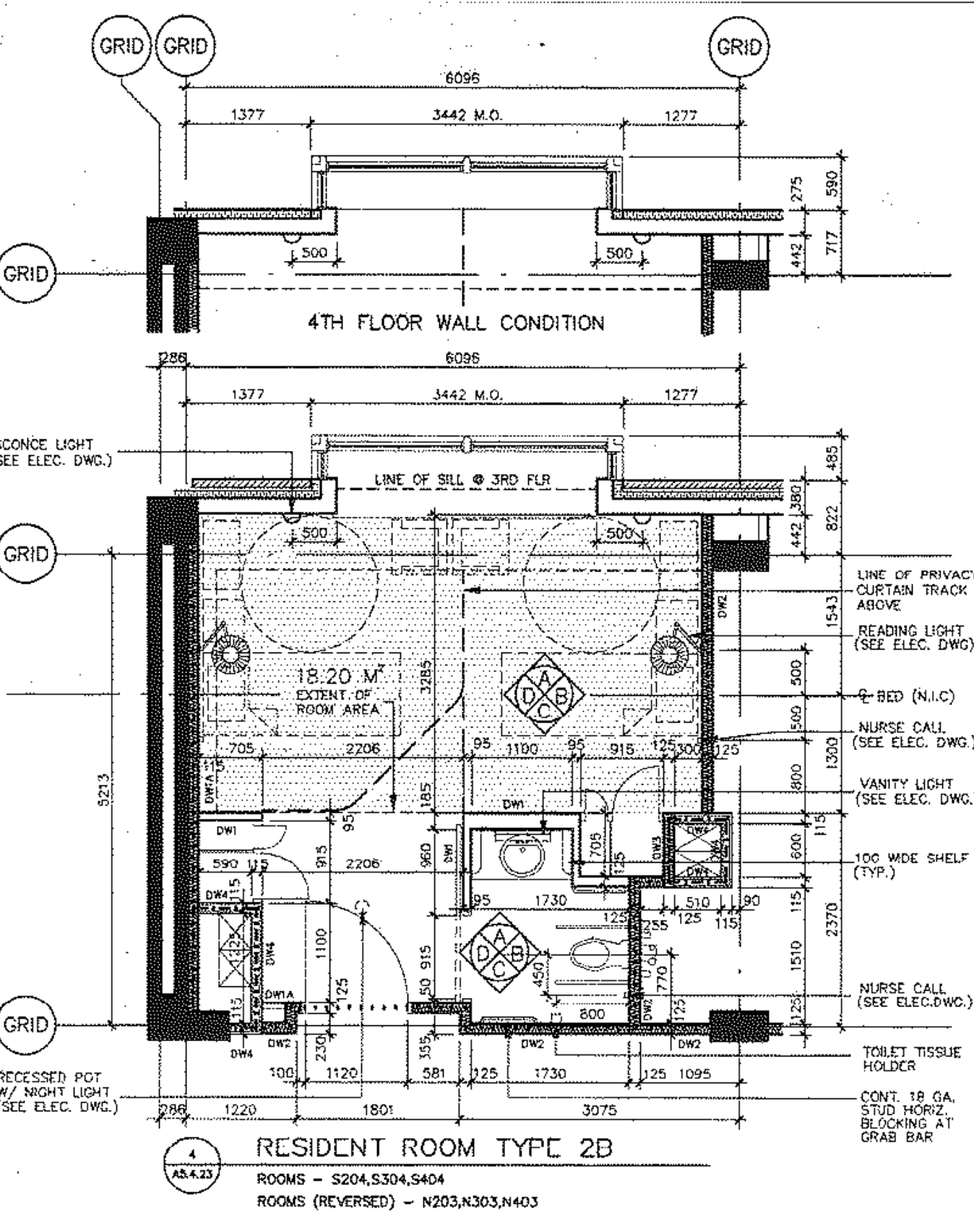
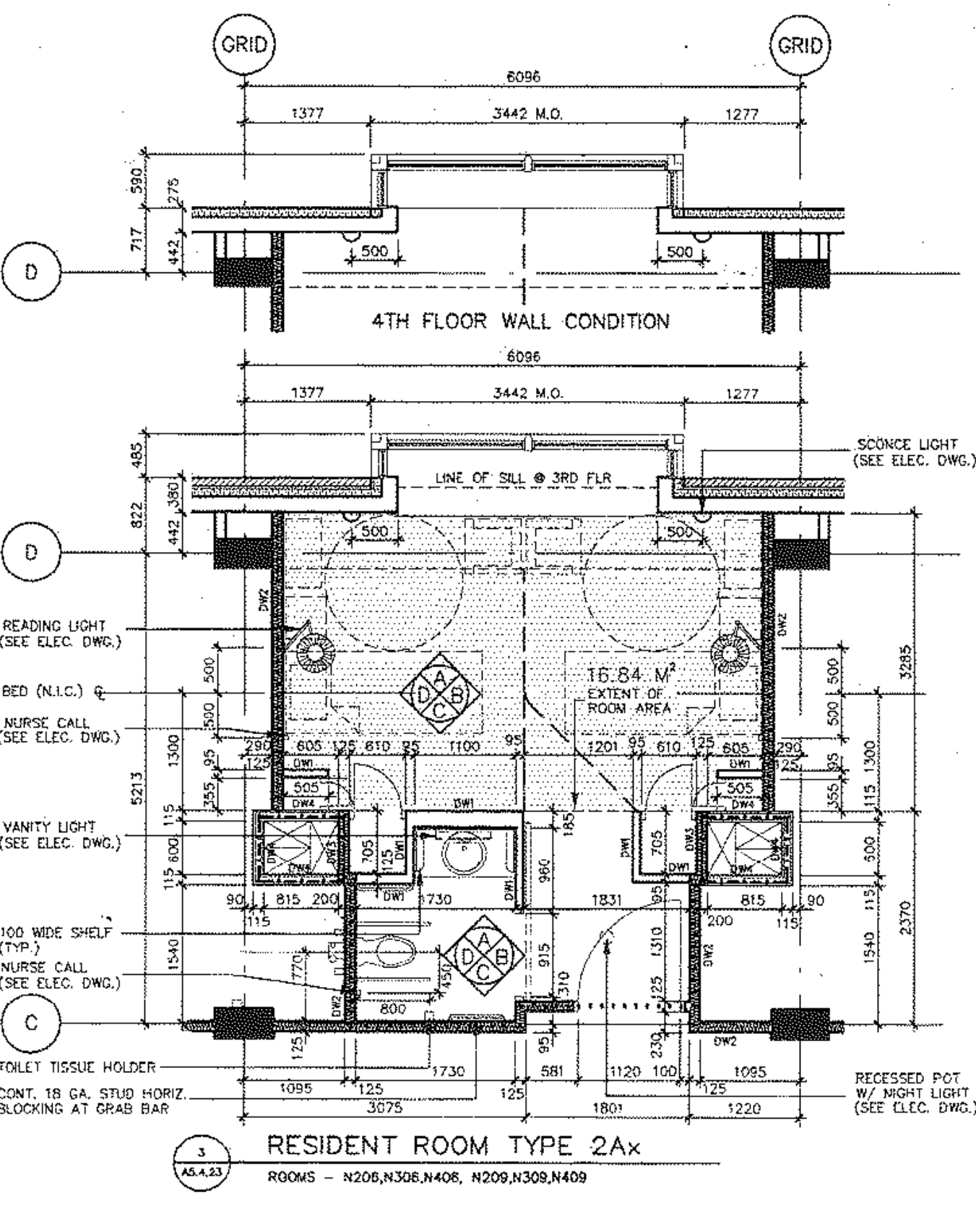
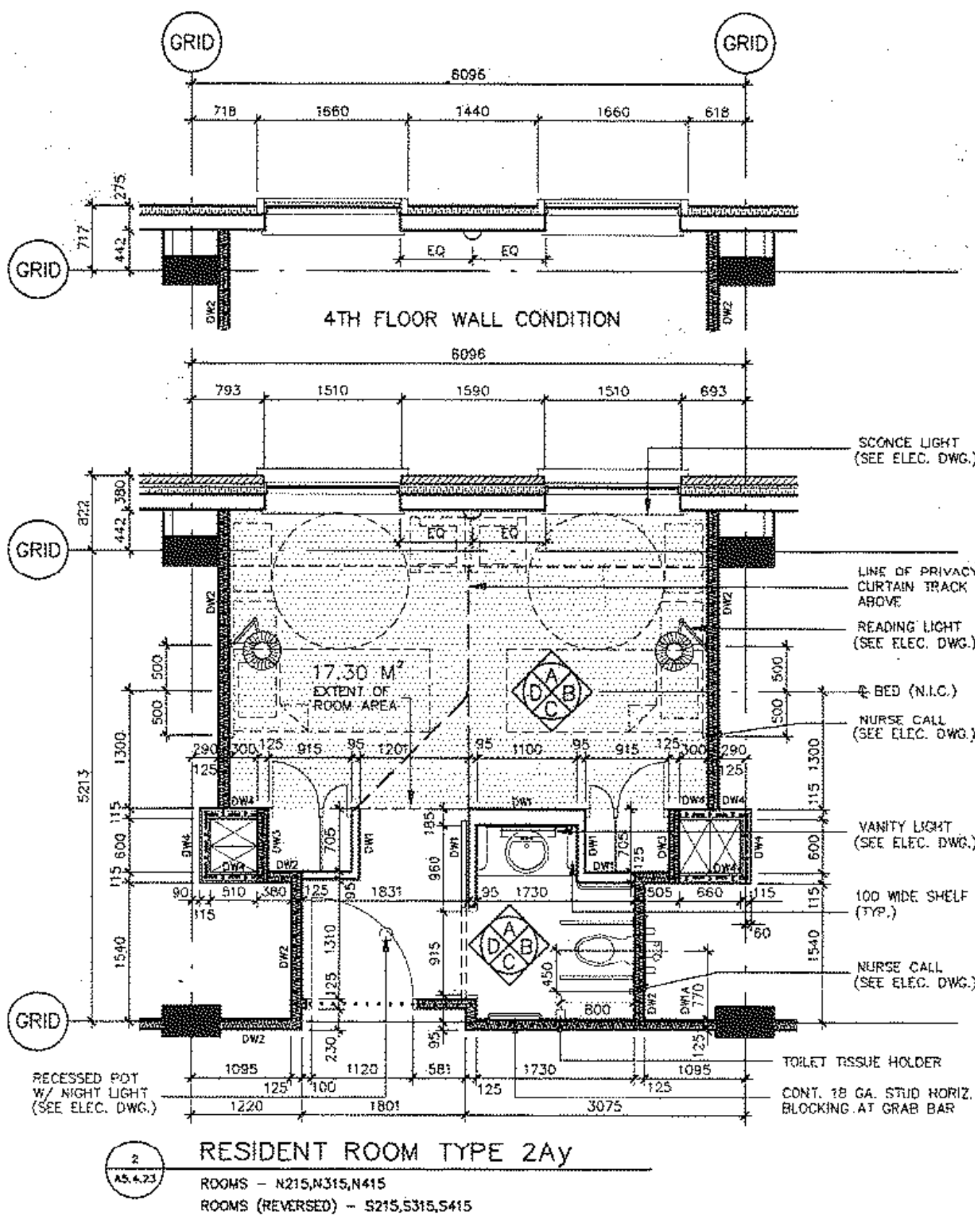
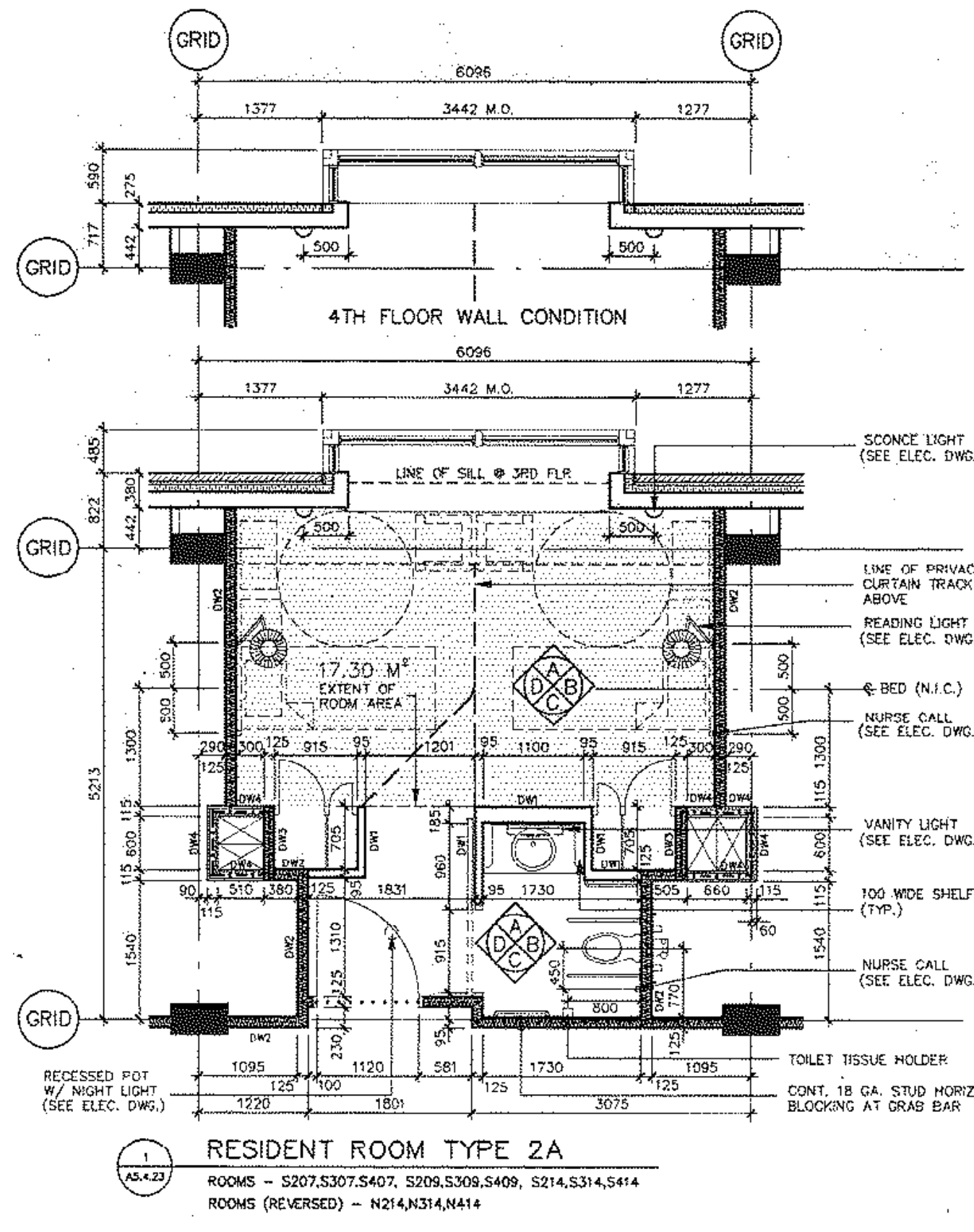
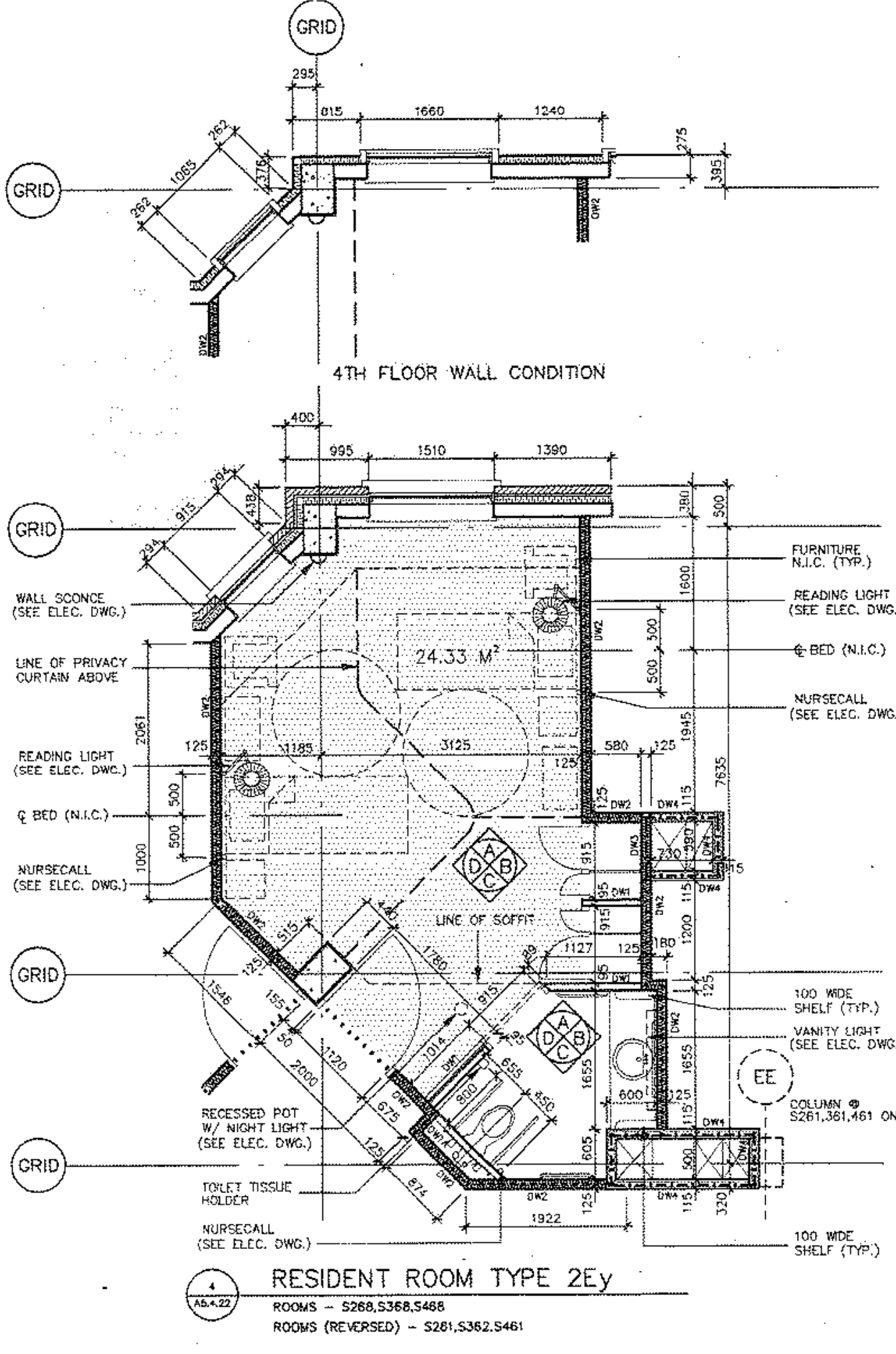
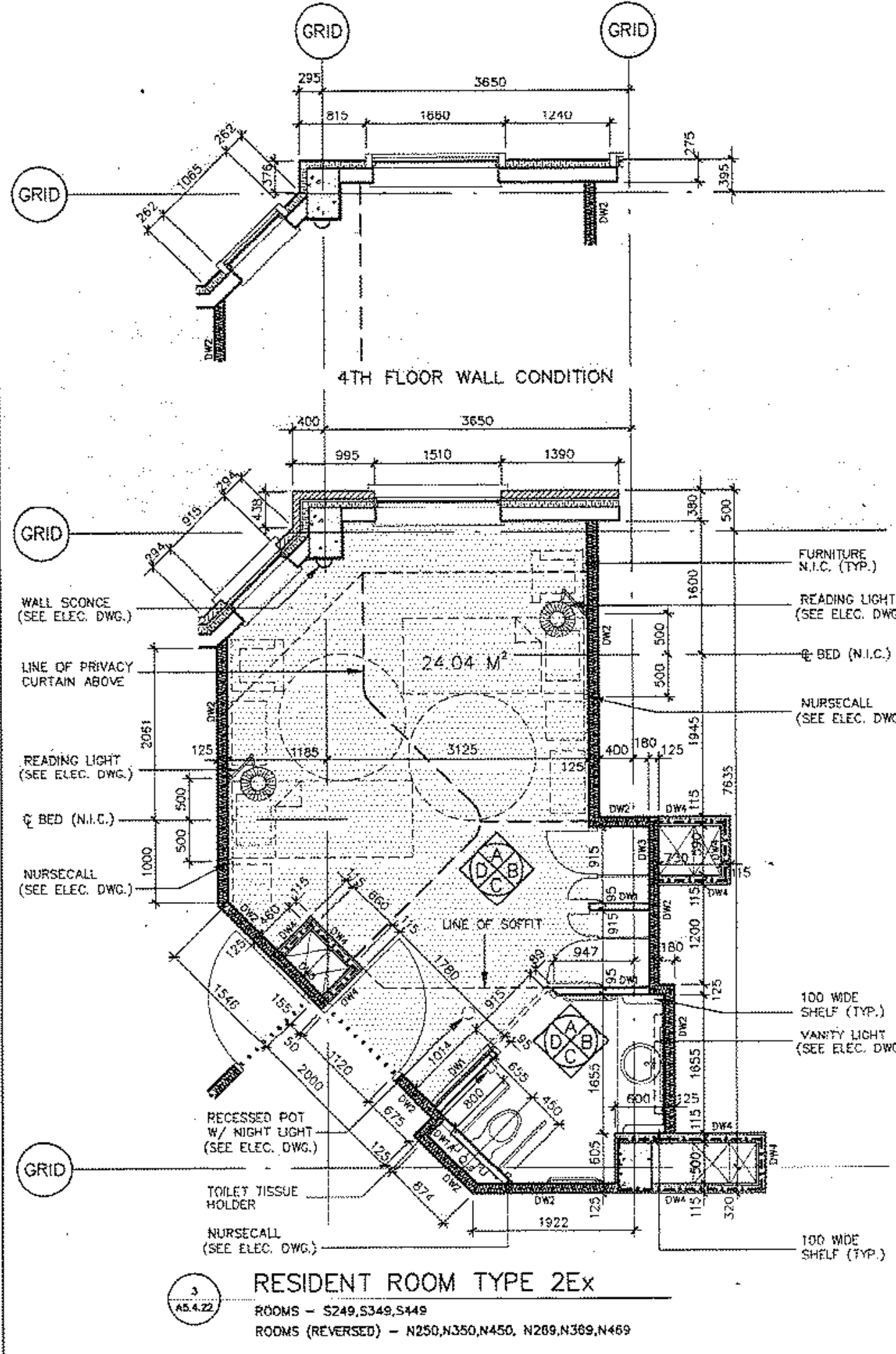
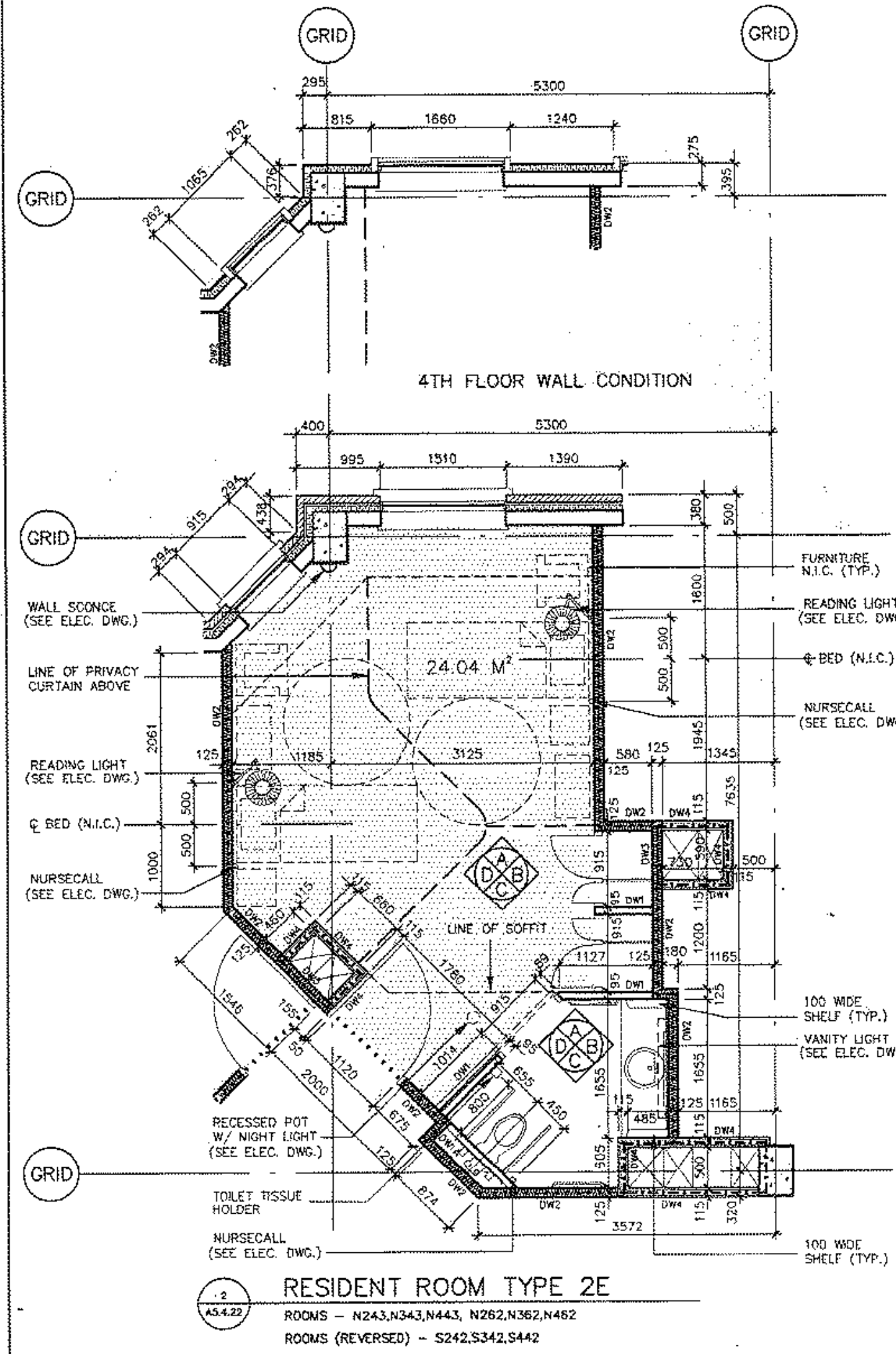
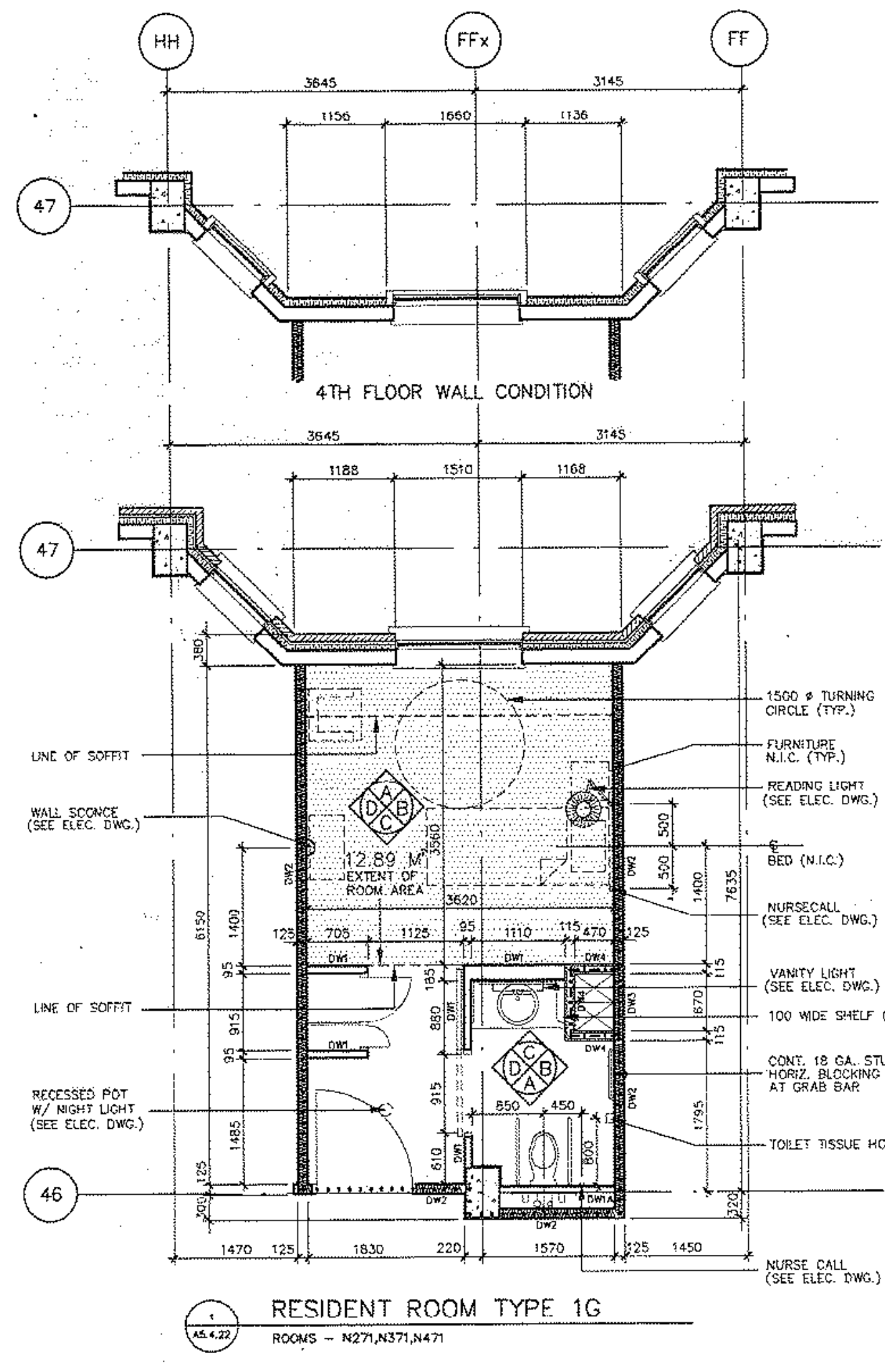
## A5.4.20&21

2022.07.12.12.30.48 PM





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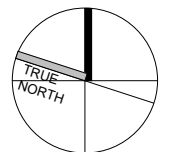
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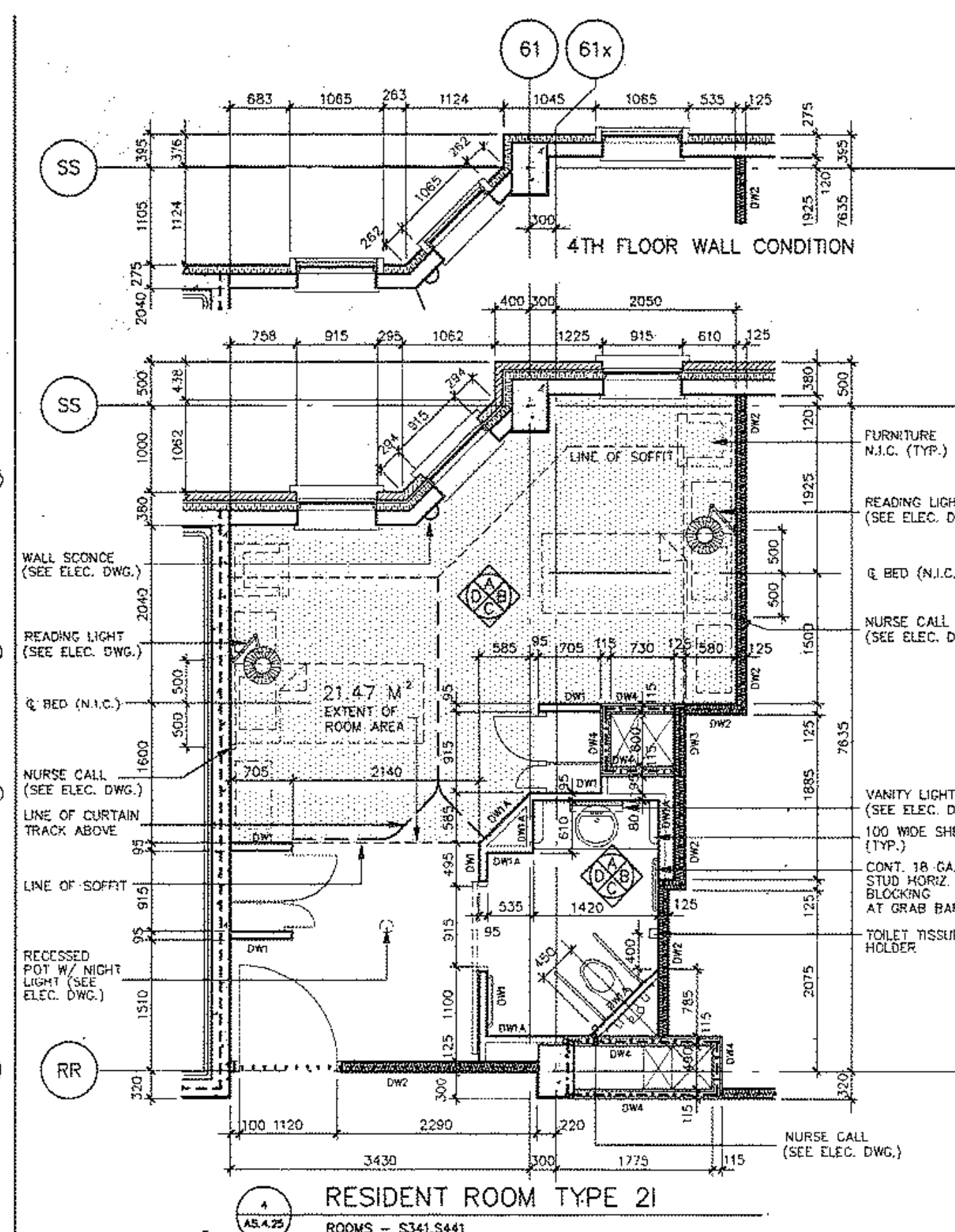
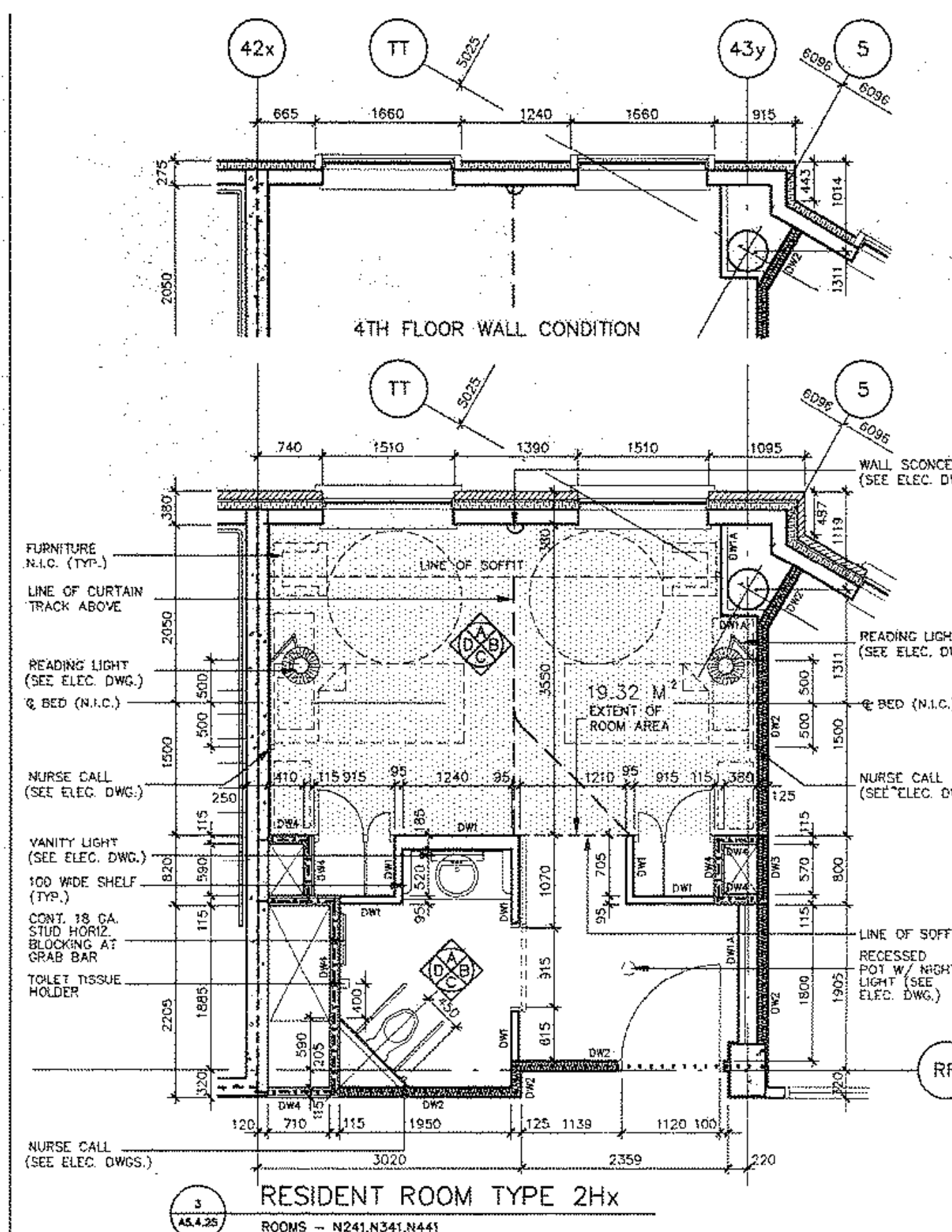
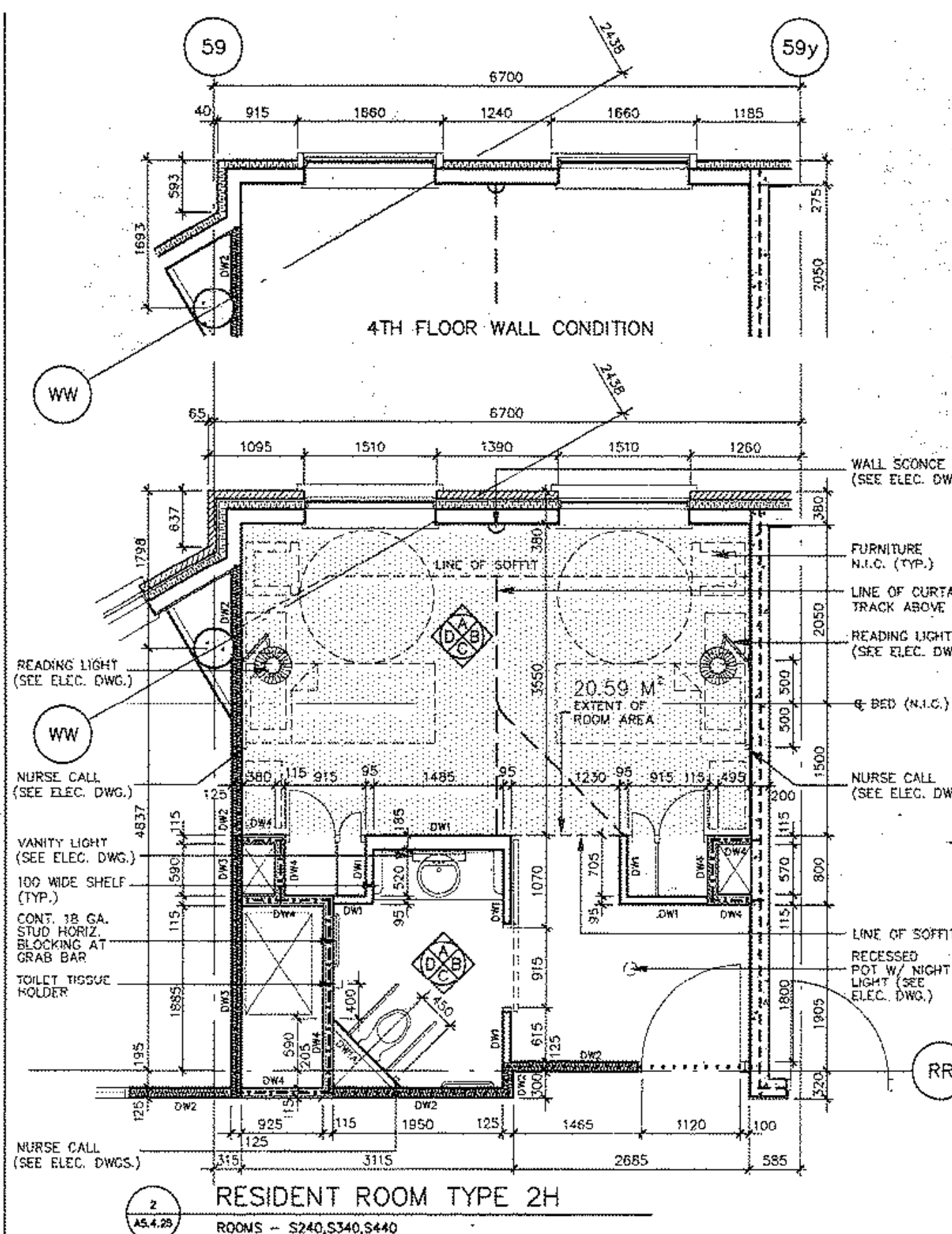
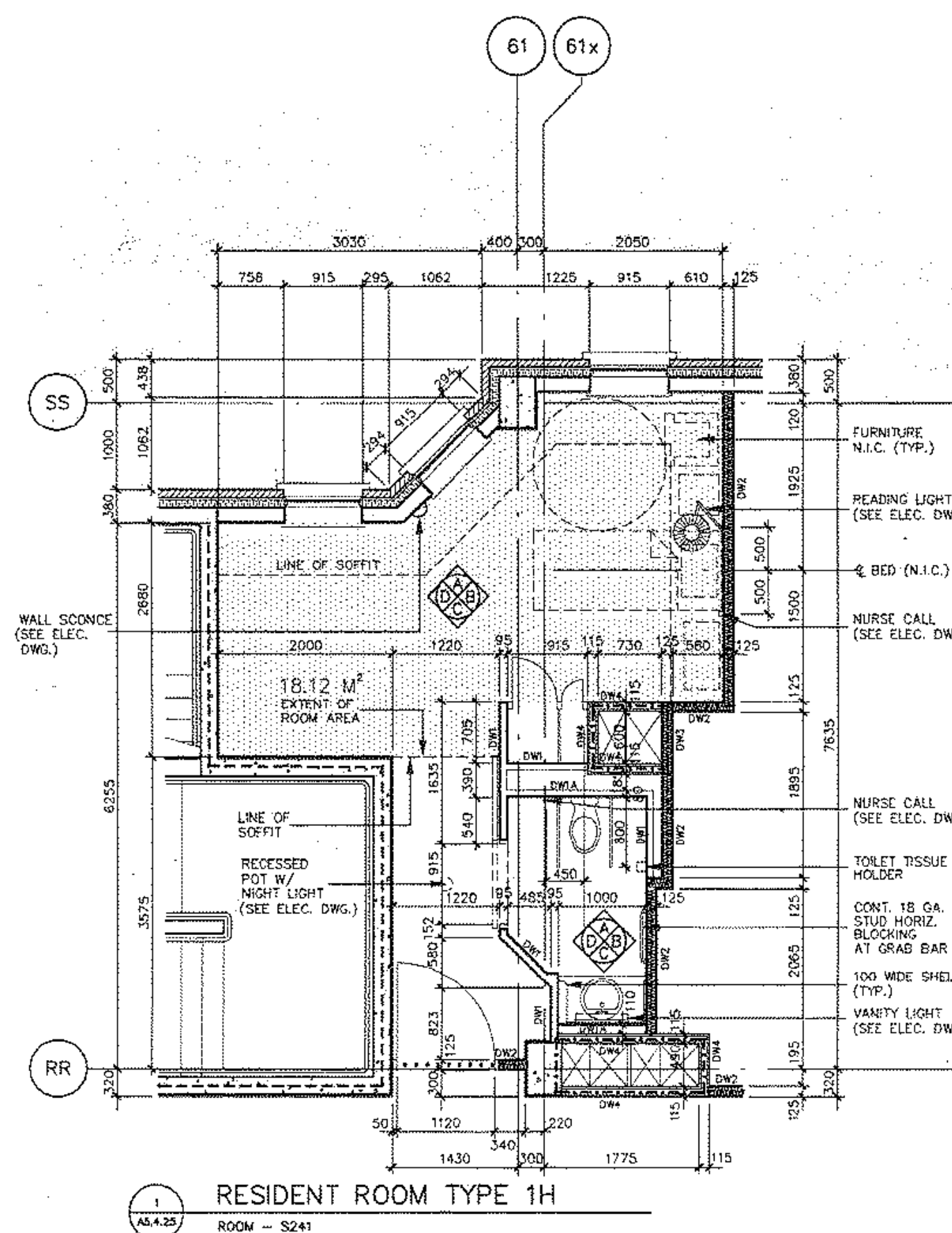
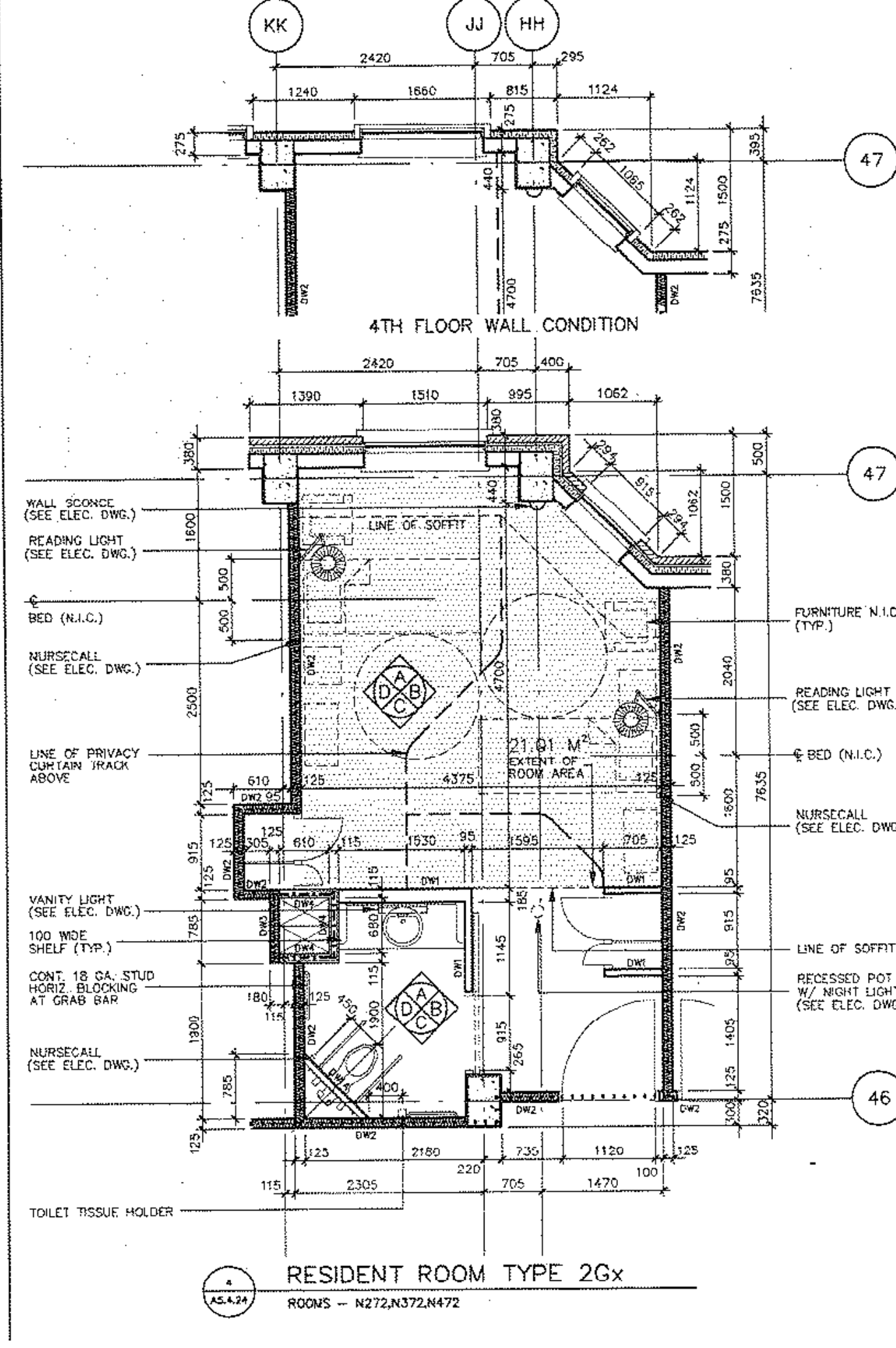
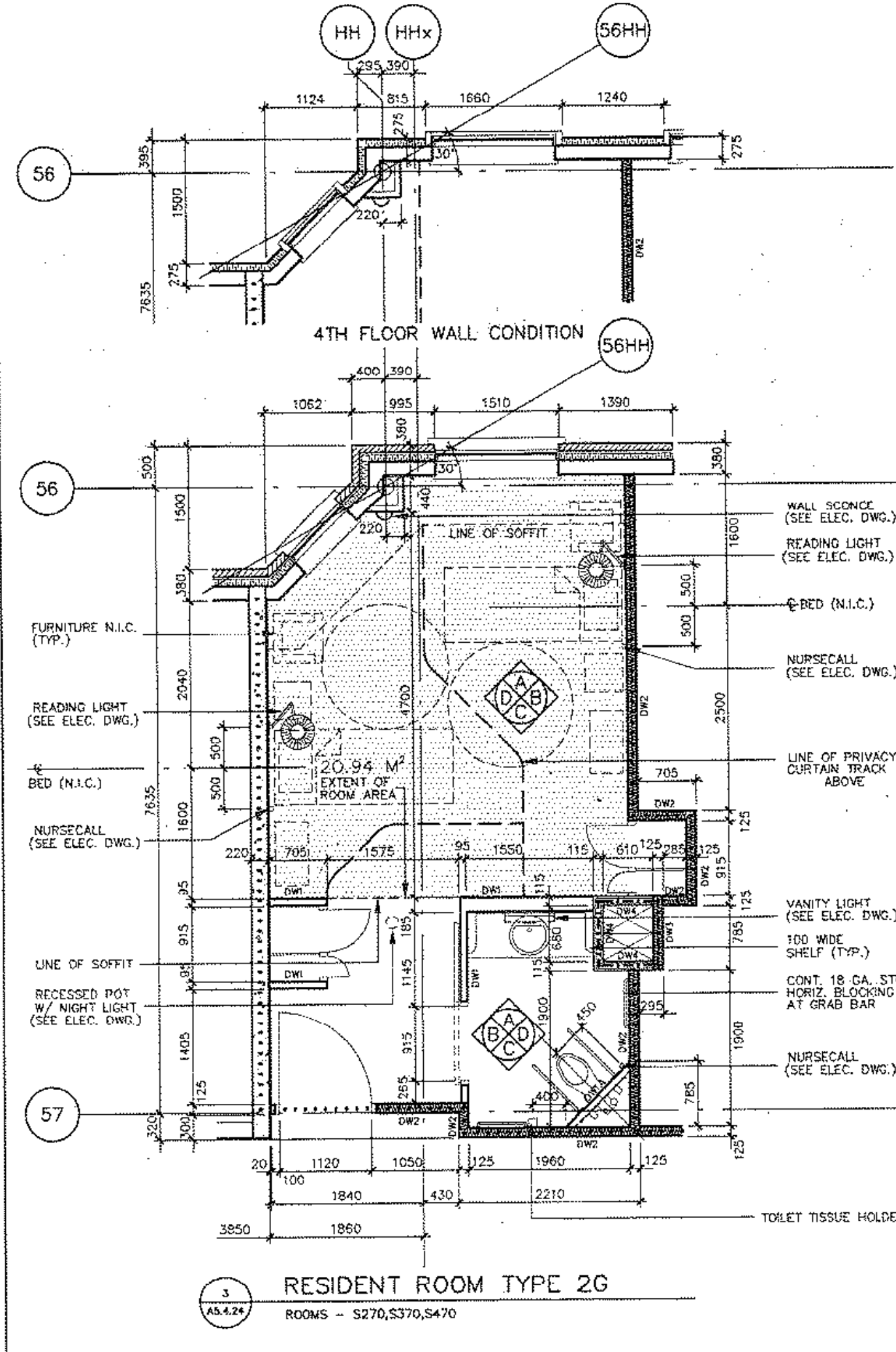
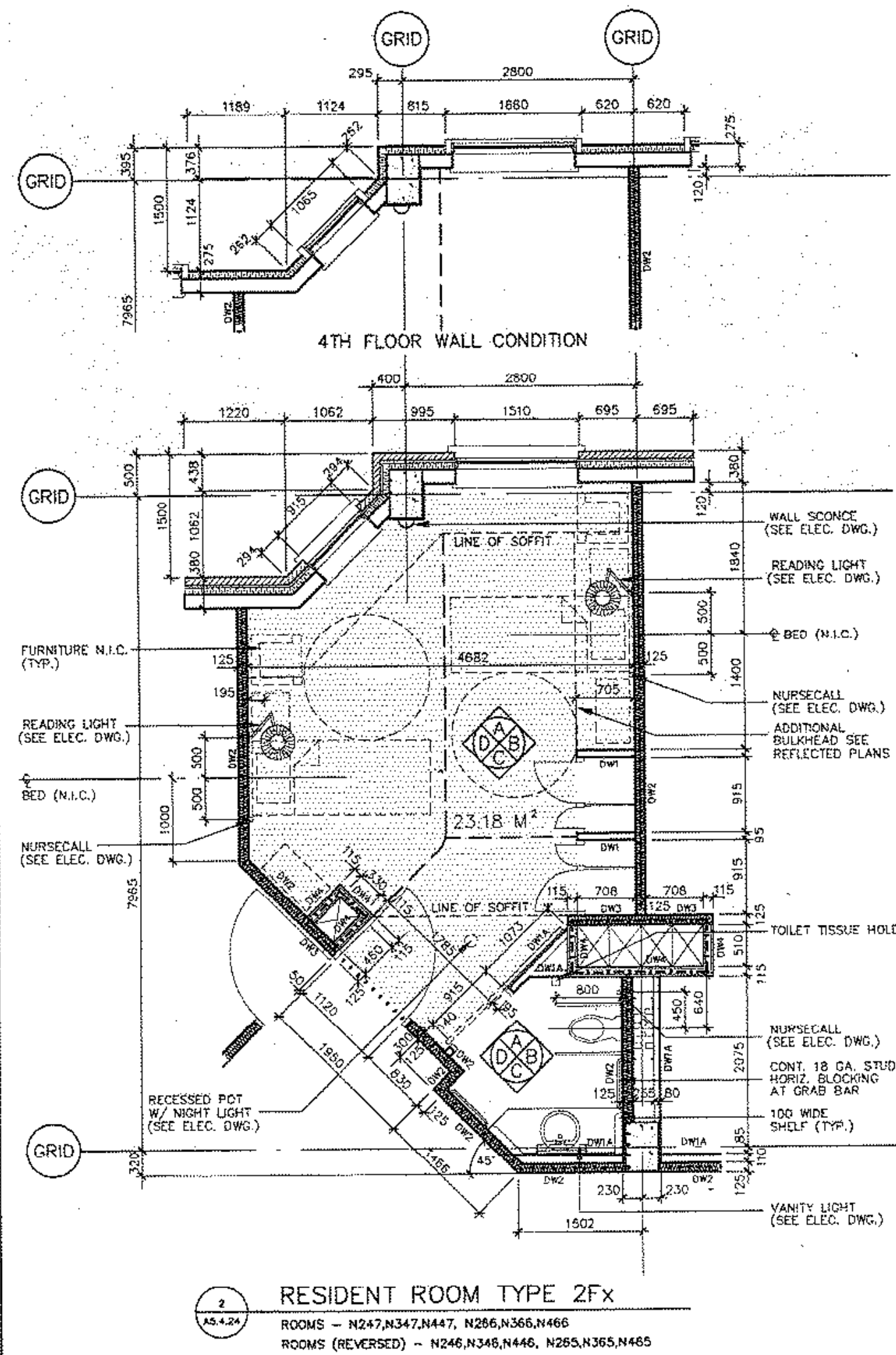
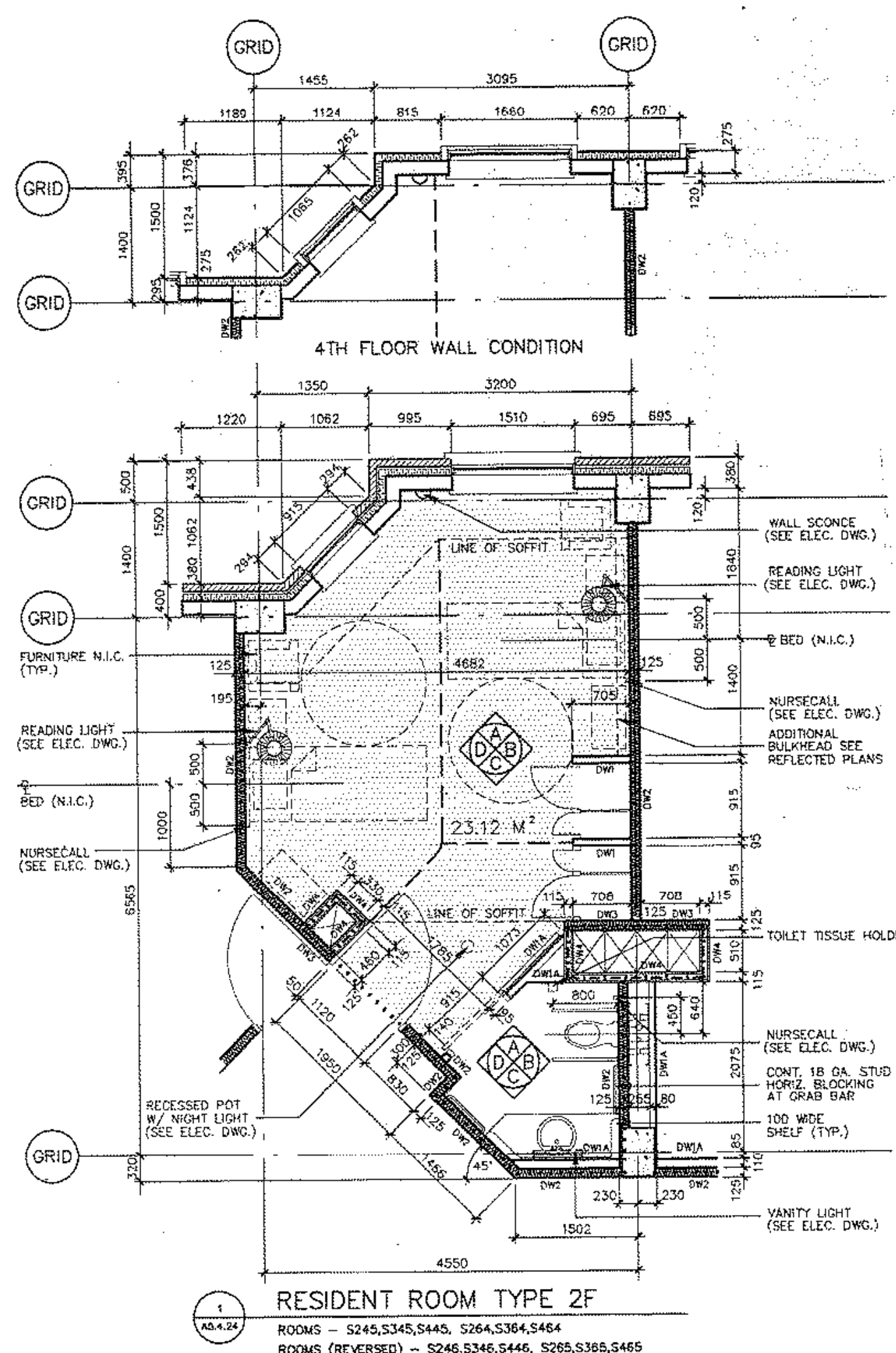
205 CUMMER AVE  
 NORTH YORK, ONTARIO

**1G/2E/2Ex/2Ey/2A/2Ax/2Ay/2B UNITS  
 DETAIL ARCHIVED PLANS**

scale: 1 : 60  
 drawn by: MY  
 reviewed by: AR  
 job number: 21500.F99\_015  
 plot date: 2022-07-08  
 drawing number:



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# date: revision: by:

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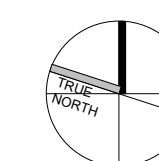
**CUMMER LODGE - FLOORING REPLACEMENT**  
205 CUMMER AVE  
NORTH YORK, ONTARIO

**2F/2Fx/2G/2Gx/1H/2H/2Hx/2I UNITS  
DETAIL ARCHIVED PLANS**

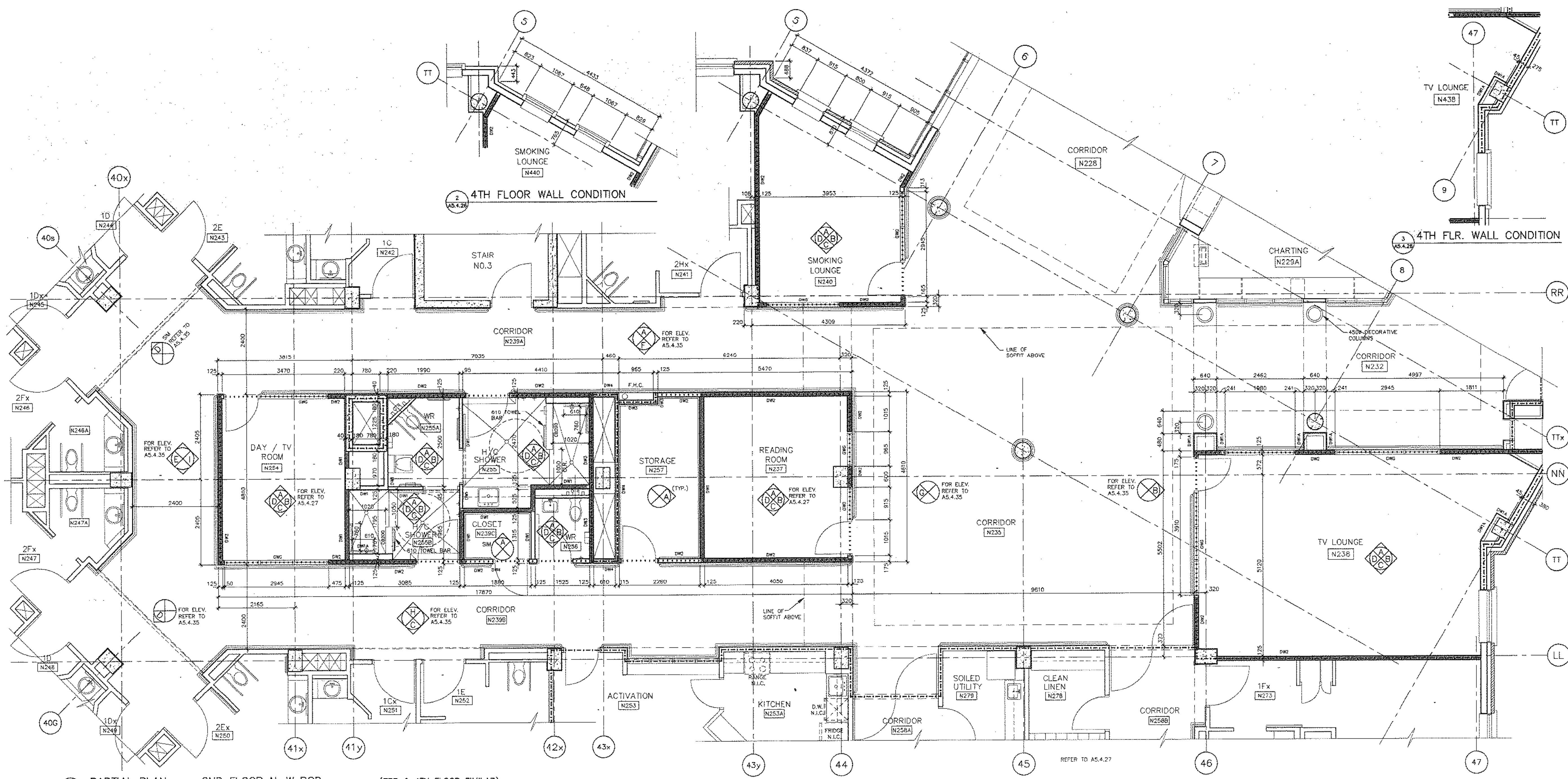
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reviewed by: AR  
job number: 21500.F99\_015  
plot date: 2022-07-08  
drawing number:

## A5.4.24&25

2022.07.12 12:30:49 PM



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1 PARTIAL PLAN - 2ND FLOOR N-W POD (3RD & 4TH FLOOR SIMILAR)

2 2022-07-08 ISSUED FOR TENDER MSA  
1 2021-08-04 ISSUED FOR CONSTRUCTION MSA  
# date: revision: by:

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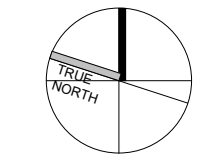
**CUMMER LODGE - FLOORING REPLACEMENT**

205 CUMMER AVE.  
NORTH YORK, ONTARIO

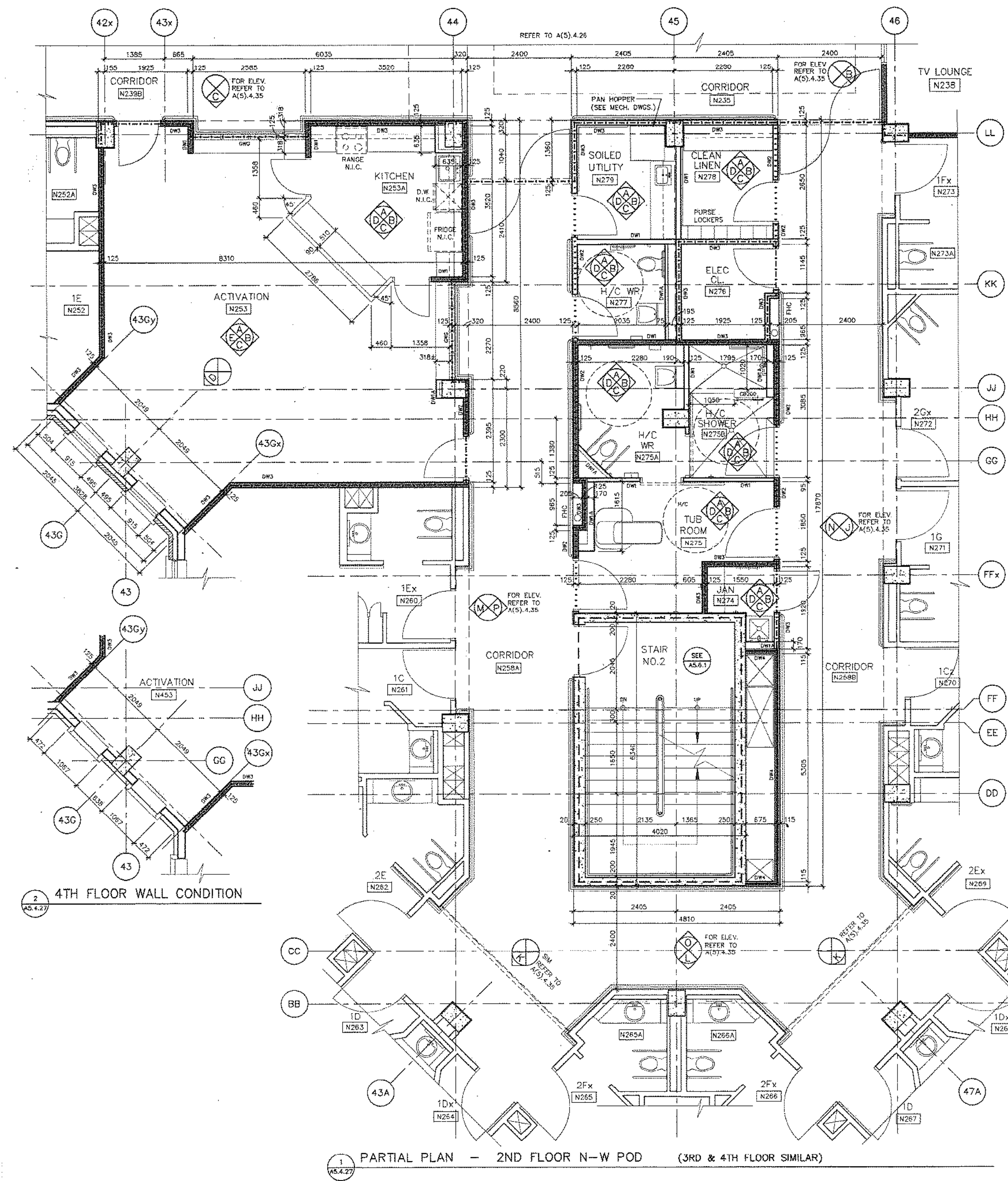
**NW SUPPORT CORE/TV LOUNGE ARCHIVED PLANS**

scale: 1 : 60  
drawn by: MY  
reviewed by: AR  
job number: 21500.F99\_015  
plot date: 2022-07-08  
drawing number:

A5.4.26



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2	2022-07-08	ISSUED FOR TENDER	MSA
1	2021-08-04	ISSUED FOR CONSTRUCTION	MSA
#	date:	revision:	by:
revisions			

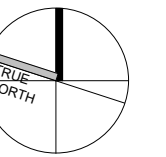
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**CUMMER LODGE - FLOORING REPLACEMENT**  
205 CUMMER AVE.  
NORTH YORK, ONTARIO

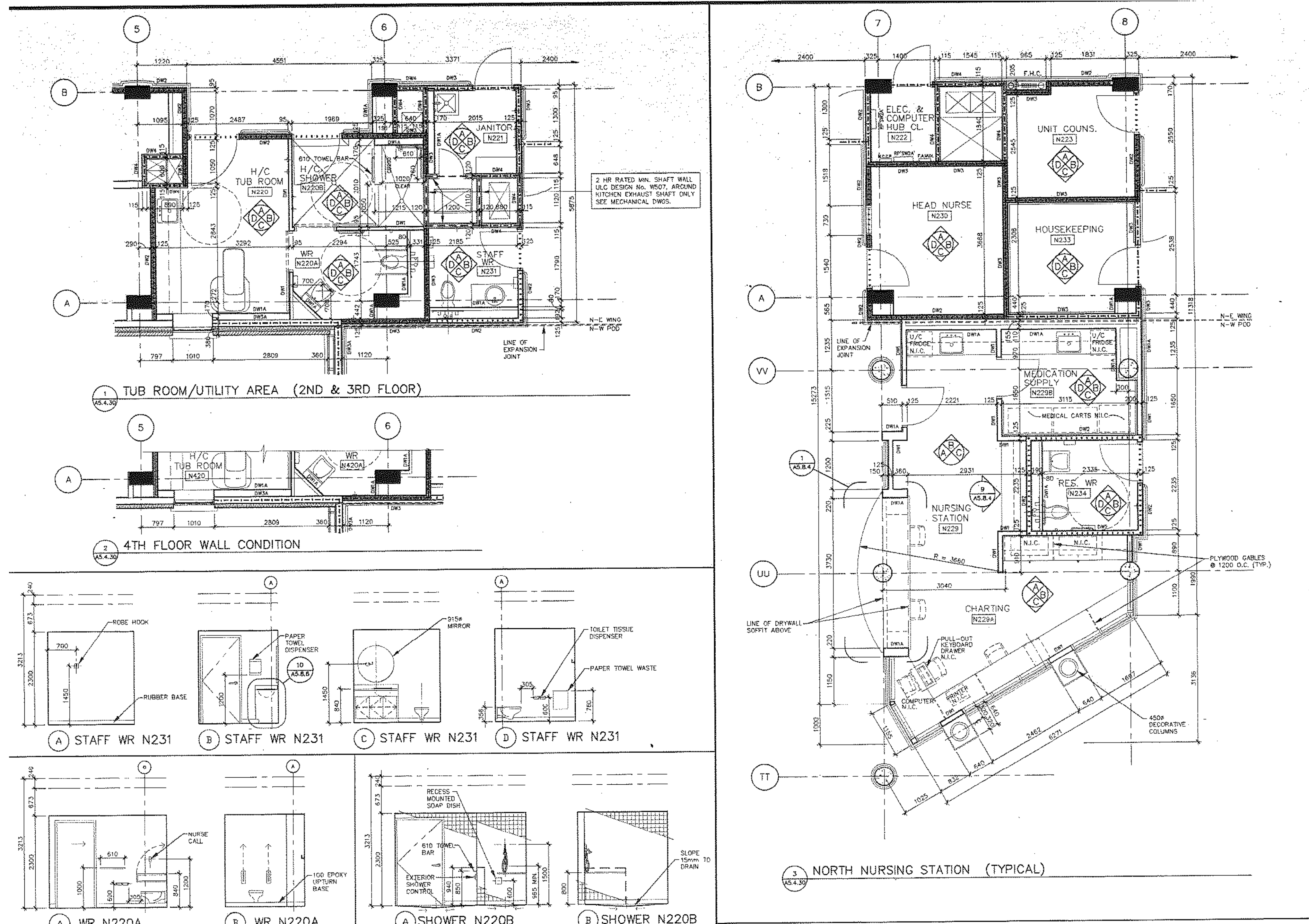
**NW SUPPORT CORE/ACTIVATION RM ARCHIVED PLANS**

scale: 1 : 60  
drawn by: MY  
reviewed by: AR  
job number: 21500.F99\_015  
plot date: 2022-07-08  
drawing number:

A5.4.27



**NOTE:**  
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REFERENCE FOR DIMENSIONS ONLY  
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BE V.I.F



2	2022-07-08	ISSUED FOR TENDER	MSA
1	2021-08-04	ISSUED FOR CONSTRUCTION	MSA
#	date:	revision:	by:
revisions			

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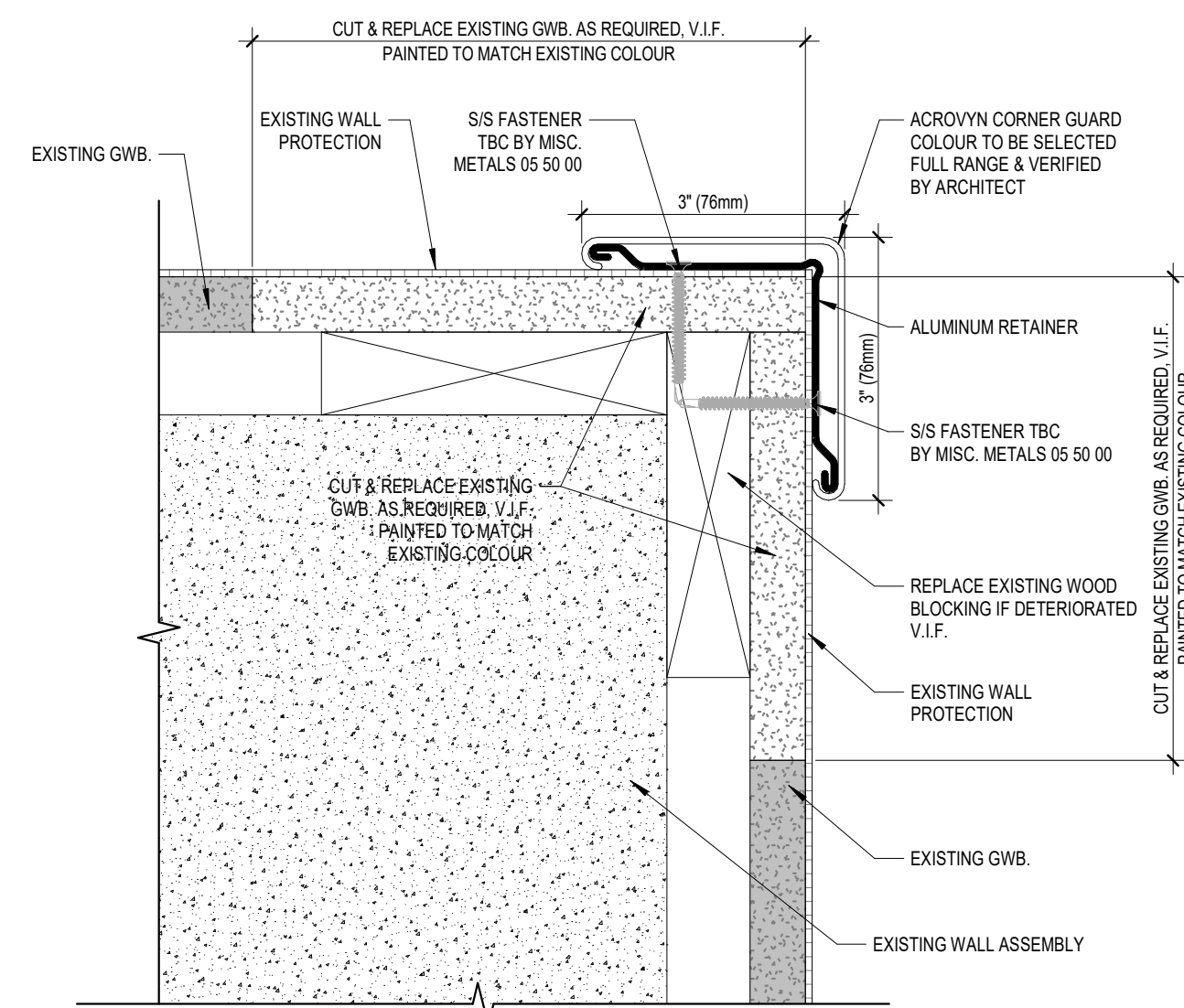
**CUMMER LODGE - FLOORING REPLACEMENT**

205 CUMMER AVE.  
NORTH YORK, ONTARIO

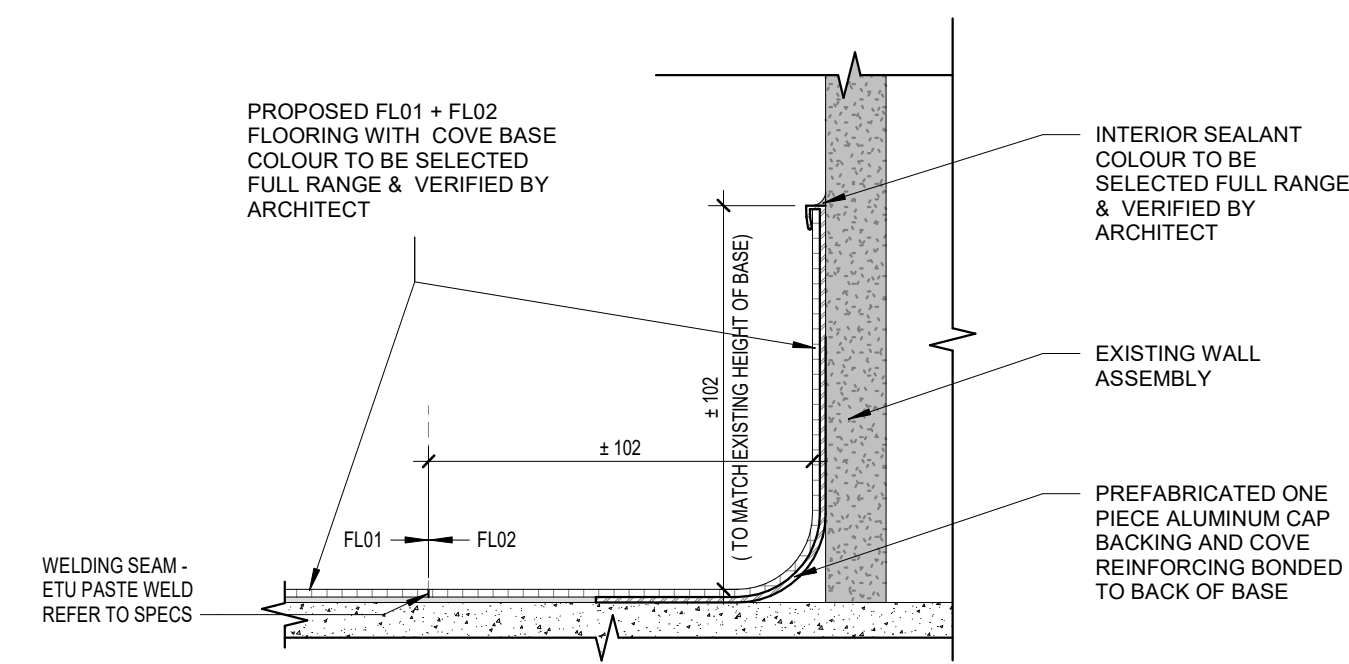
**NE SUPPORT CORE/TUB RM ARCHIVED PLANS**

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reviewed by: AR  
job number: 21500.F99\_015  
plot date: 2022-07-08  
drawing number:

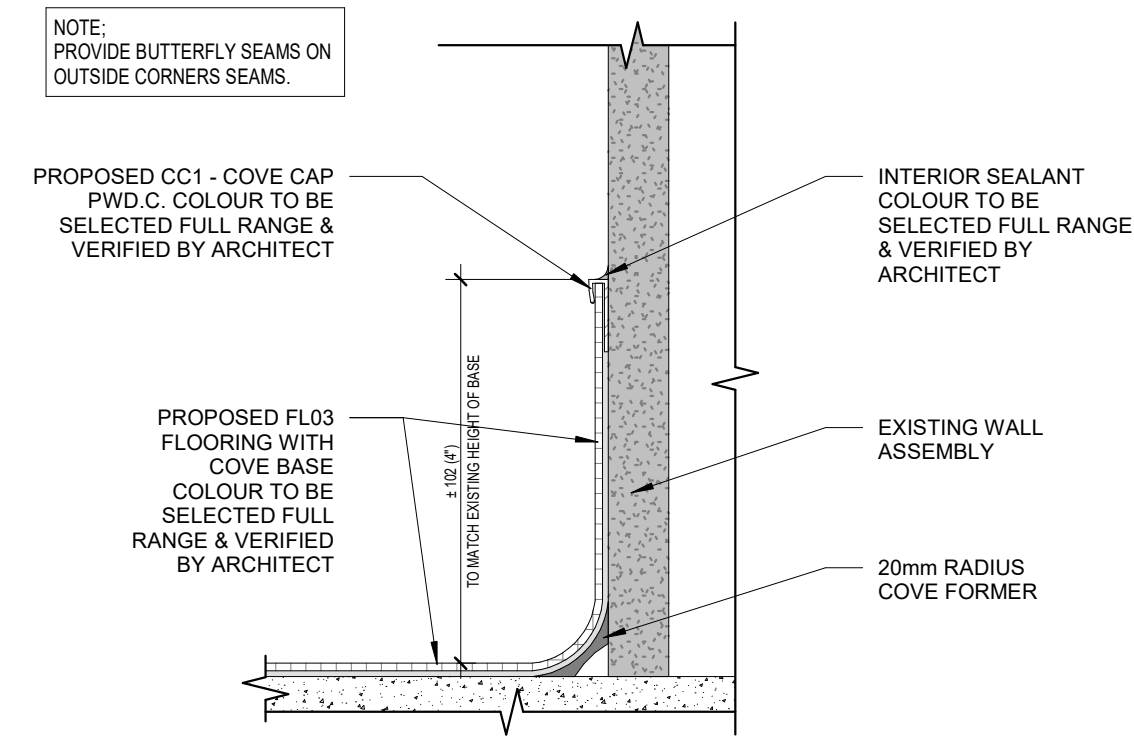
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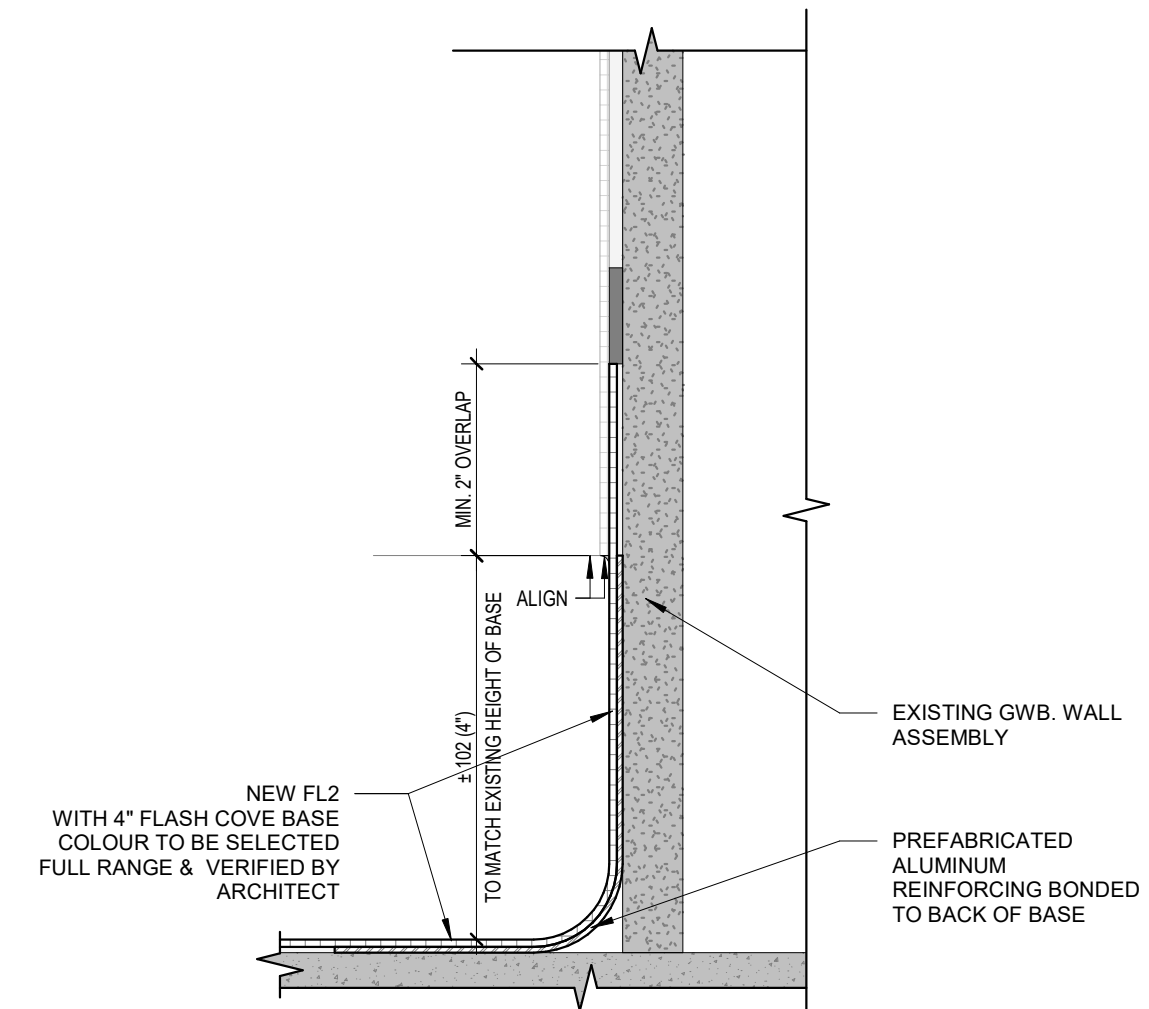
5 TYP. ACROVYN CORNER GUARD DETAIL  
A9.01 1:2



1 TYP. NEW COVE BASE FOR FLOORING 'FL01 + FL02'  
A9.01 1:2



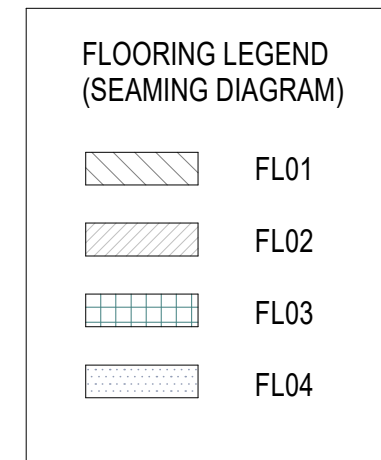
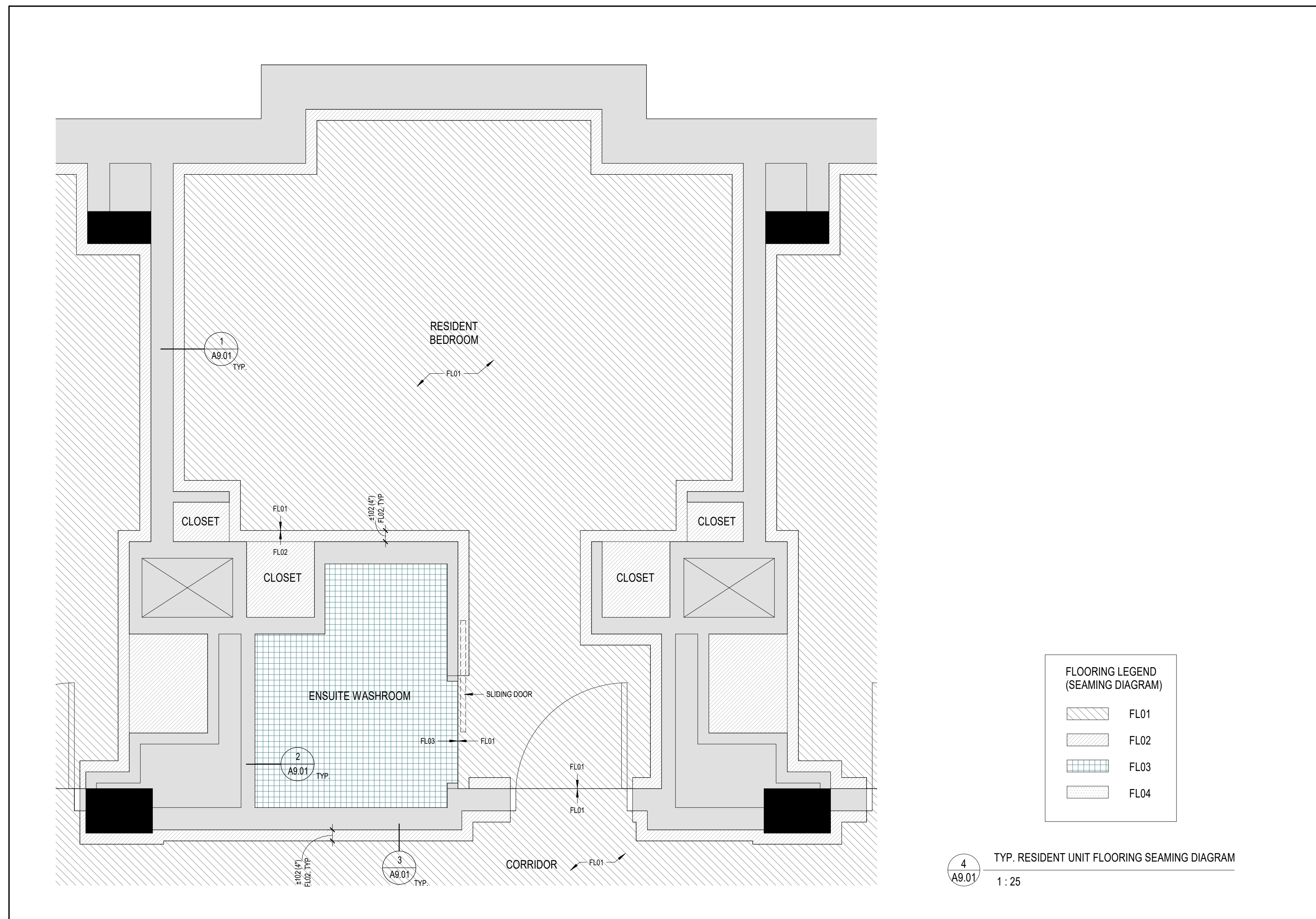
2 TYP. NEW COVE BASE FOR FLOORING - F03  
A9.01 1:2



3 TYP. NEW COVE BASE AT G.W.B. - CORRIDOR DETAIL  
A9.01 1:2

ROOM FINISH SCHEDULE					
LEVEL	ROOM NUMBER	ROOM NAME - UNIT TYPE	FLOORING	BASE	COMMENTS
3	N301, N328, N338, N339A, N339B, 335A, N359B	CORRIDOR	FL01 + FL02	COVE BASE	
3	-	RESIDENT UNIT - TYPICAL	FL01 + FL02	COVE BASE	
3	-	RESIDENT WASHROOM - TYPICAL	FL03	COVE BASE	
3	N320	TUB ROOM	FL04		ALTERNATE PRICE
3	N355, N355B	SHOWER	FL04		ALTERNATE PRICE
3	-, N355A	COMMON AREAS - WASHROOM	FL04		ALTERNATE PRICE
3	N325, N326, N327	DINING ROOM, LOBBY	FL01 + FL02	COVE BASE	ALTERNATE PRICE
3	N329	NURSING STATION	FL01 + FL02	COVE BASE	
3	N329A	CHARTING	FL01 + FL02	COVE BASE	
3	N329A	MEDICAL SUPPLIES	FL01 + FL02	COVE BASE	
3	N330, N323	NURSE MANAGER, OFFICE	FL01 + FL02	COVE BASE	
3	N340	FAMILY & RESIDENT LOUNGE	FL01 + FL02	COVE BASE	
3	N337	READING ROOM	FL01 + FL02	COVE BASE	
3	N335	T.V. LOUNGE	FL01 + FL02	COVE BASE	
3	N353, N353A	ACTIVITY ROOM	FL01 + FL02	COVE BASE	
3	N357	STORAGE/ CLOSET	FL01 + FL02	COVE BASE	
3	N354	DAY T.V. ROOM	FL01 + FL02	COVE BASE	
3	N378	CLEAN UTILITY	FL01 + FL02	COVE BASE	
3	N379	SOILED UTILITY	FL01 + FL02	COVE BASE	

NOTE:  
LINOLEUM FLOORING WILL BE UTILIZING COLD WELD TECHNIQUE AS OPPOSED TO TRADITIONAL HOLD WELD, AND ARMOR COVE DETAIL.  
VINYL FLOORING TO BE INSTALLED IN THE WASHROOMS WILL UTILIZE HOT WELD. VINYL AND LINOLEUM SEAM LOCATIONS WILL ALSO BE HOT WELD.



4 TYP. RESIDENT UNIT FLOORING SEAMING DIAGRAM  
A9.01 1:25

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# date: revision: by:

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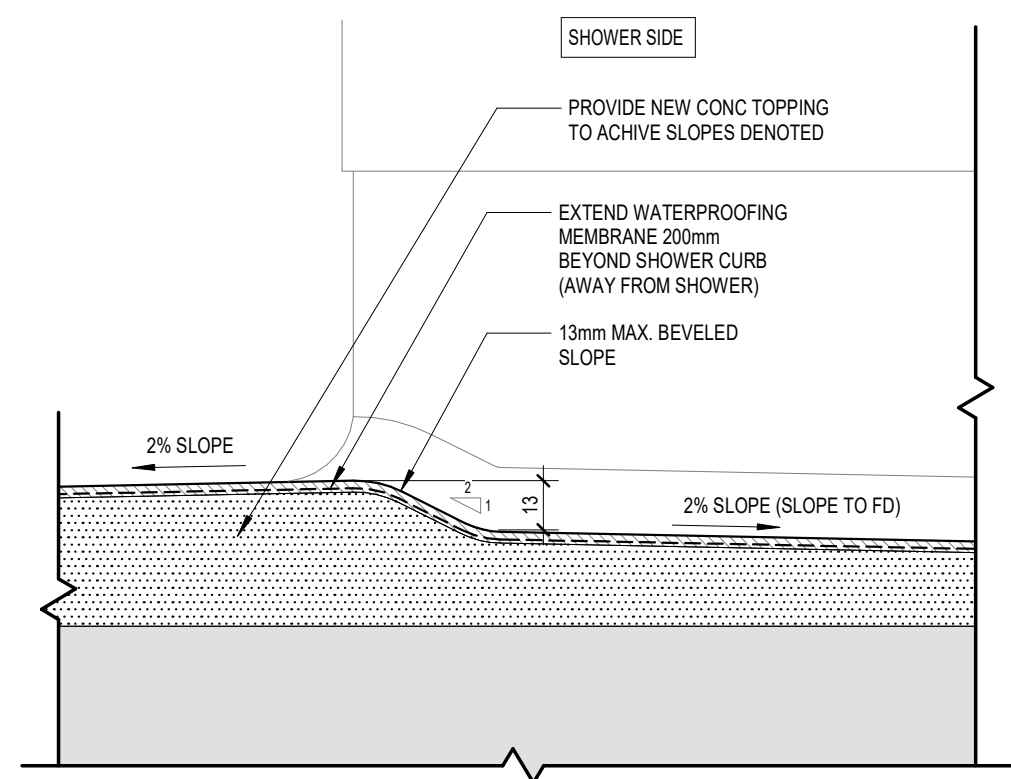
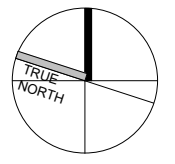
CUMMER LODGE - FLOORING REPLACEMENT

205 CUMMER AVE.  
NORTH YORK, ONTARIO

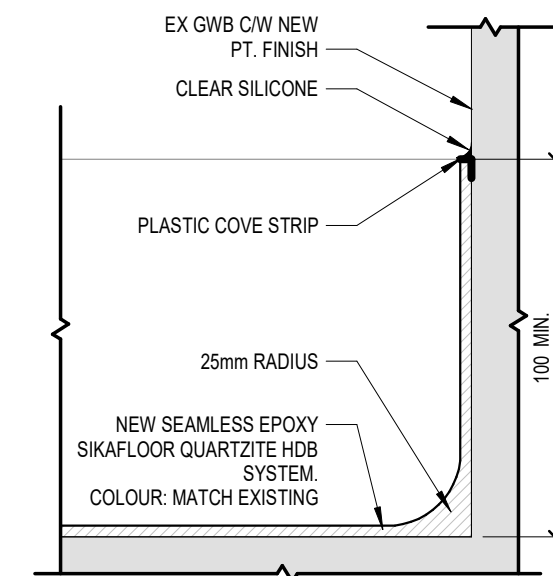
DETAILS, SEAMING DIAGRAM & ROOM FINISH SCHEDULE

scale: As indicated  
drawn by: SK  
reviewed by: AR  
job number: 21500.F99\_015  
plot date: 2022-07-08  
drawing number:

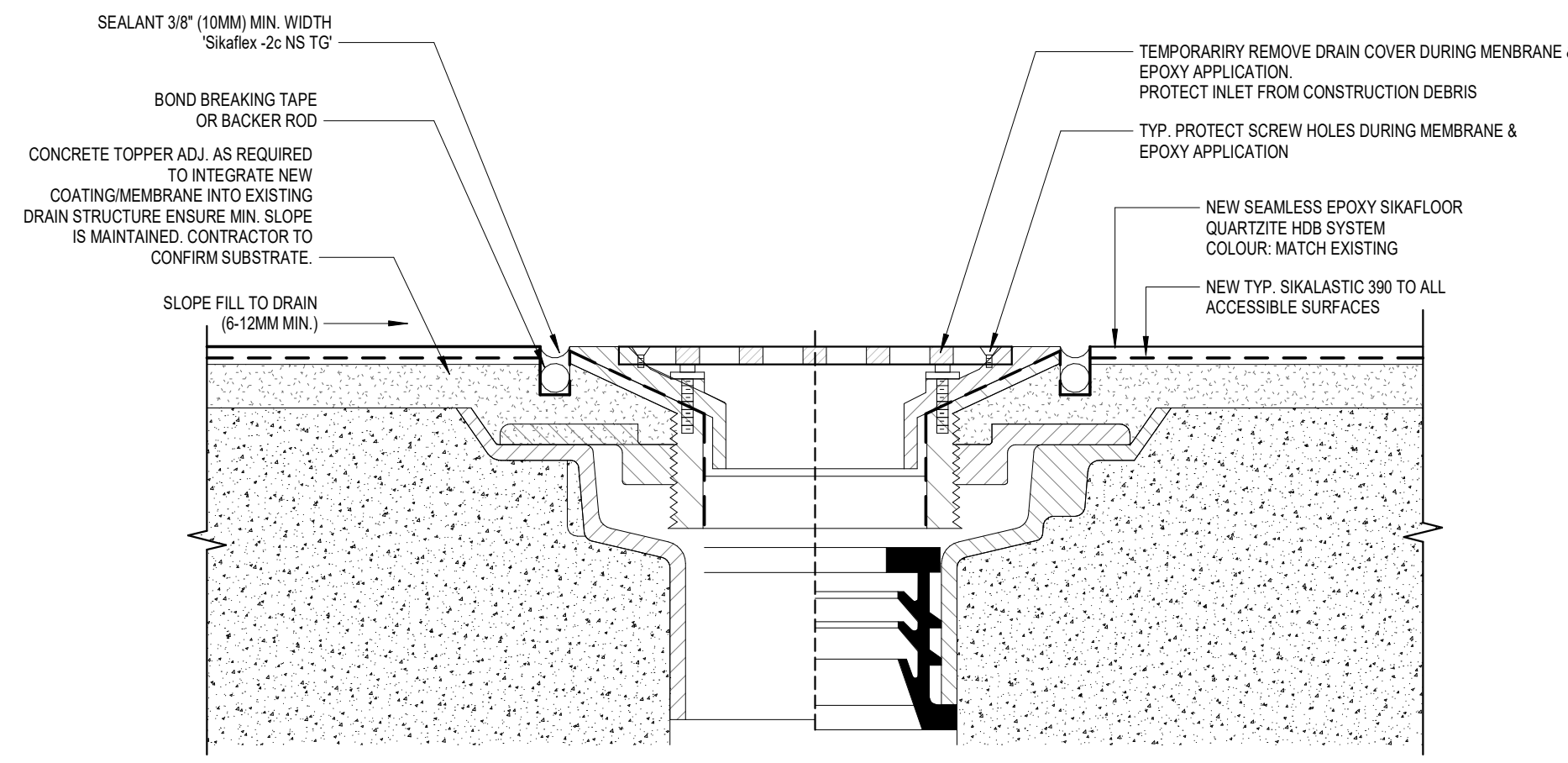
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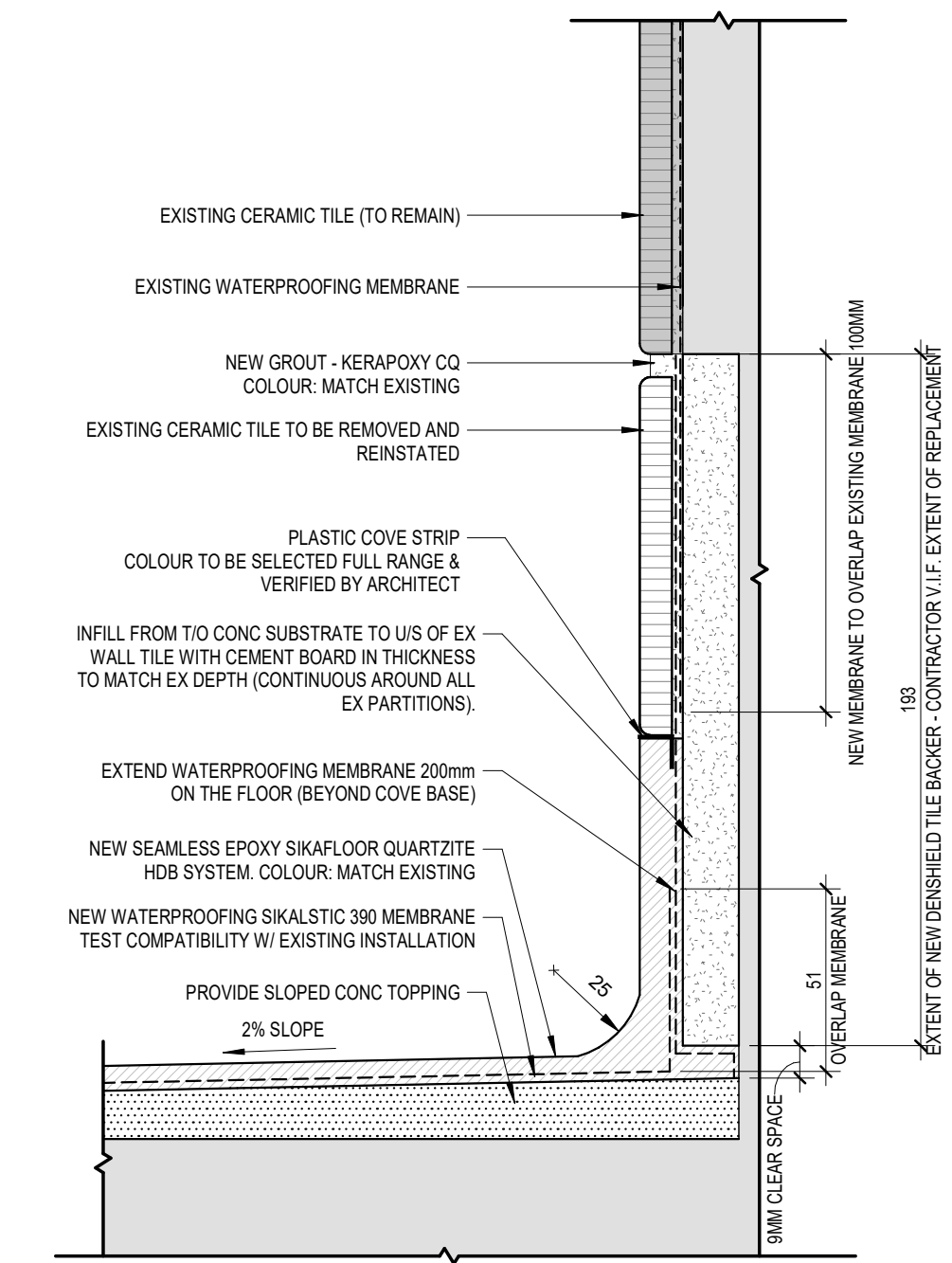
4  
A9.02 TYPICAL SHOWER CURB DETAIL  
1:2



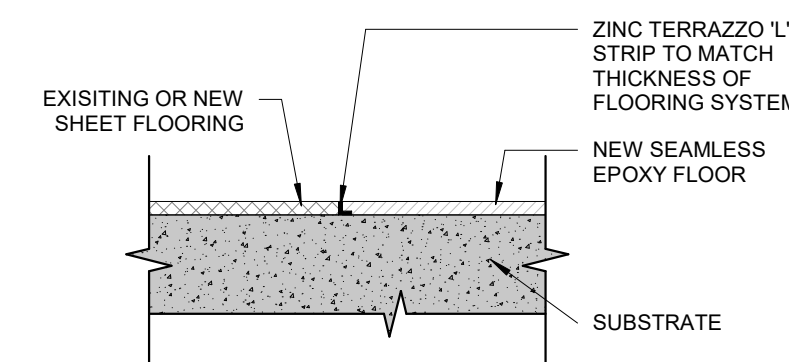
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A9.02 TYPICAL FIN. FLR. @ GWB DETAIL  
1:2



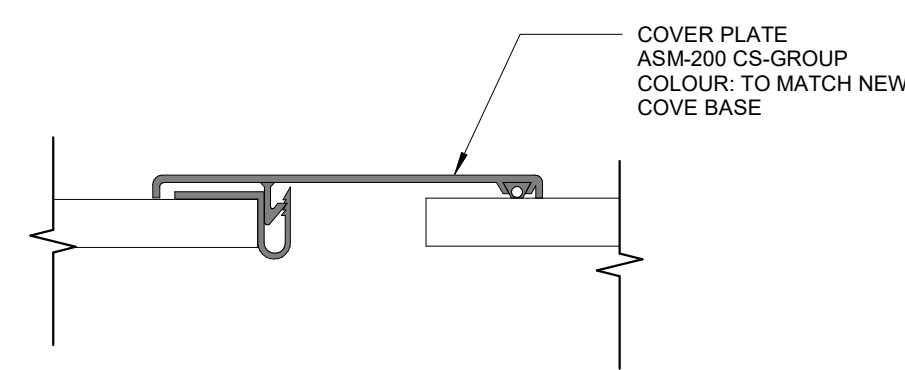
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A9.02 TYPICAL CLAMPING FLOOR DRAIN DETAIL  
1:2



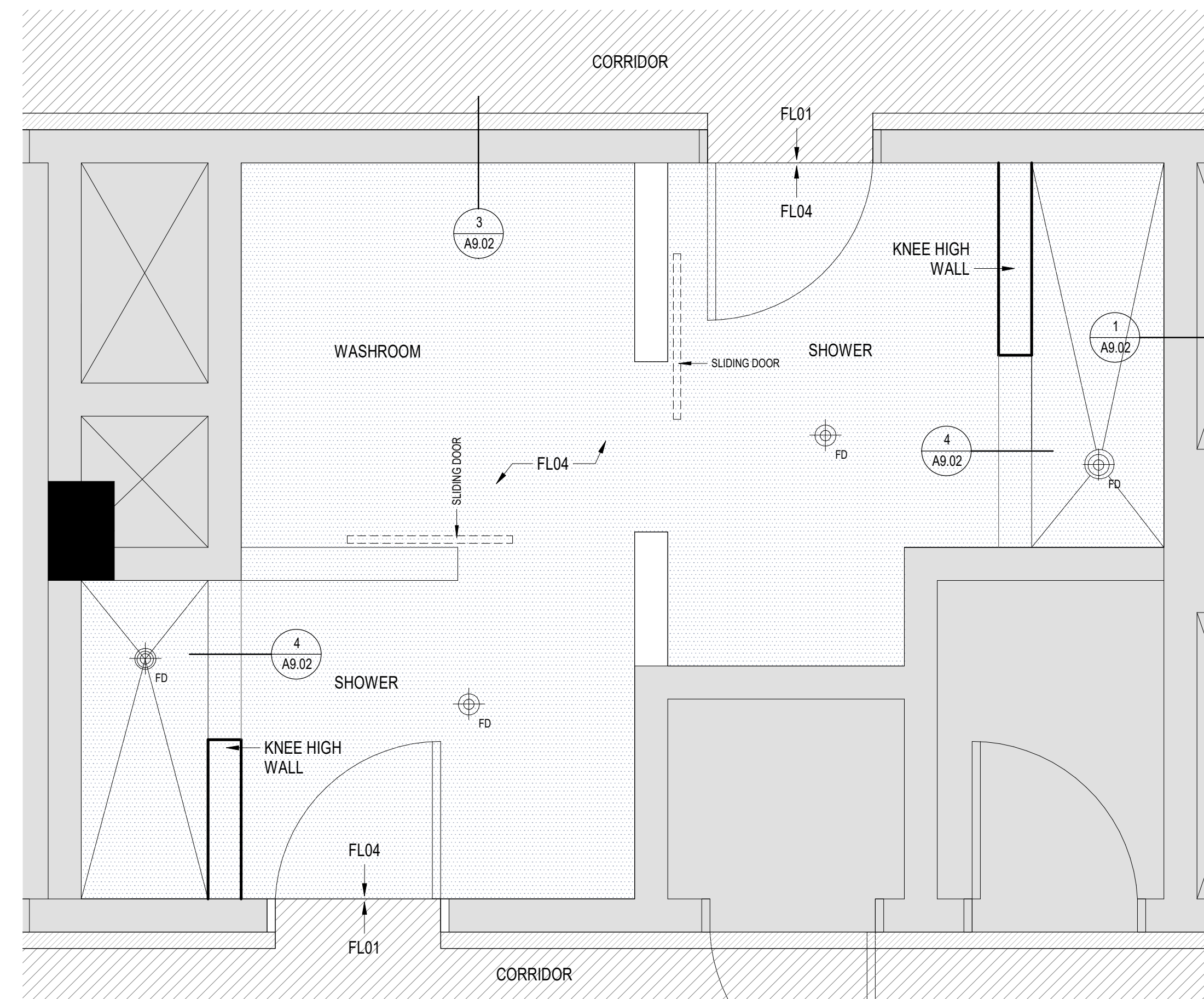
1  
A9.02 TYPICAL FIN. FLR. @ CERAMIC TILE DETAIL  
1:2



5  
A9.02 TYP. FLOOR STOP TRANSITION DETAIL  
1:2



6  
A9.02 TYP. EXPANSION JOINT COVER DETAIL  
1:2



7  
A9.02 TYP. TUB/ SHOWER ROOM  
1:25

FLOORING LEGEND (SEAMING DIAGRAM)

	FL01
	FL02
	FL03
	FL04

NOTE: ALL DIMENSIONS TO BE V.I.F.

1 2022-07-08 ISSUED FOR TENDER MSA  
# date: revision: by:  
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NORTH YORK, ONTARIO

DETAILS - TYP. TUB/ SHOWER ROOM

scale: As indicated  
drawn by: SK  
reviewed by: AR  
job number: 21500.F99\_015  
plot date: 2022-07-08  
drawing number:

A9.02