# THE CENTER FOR ADDICTION AND MENTAL HEALTH 250 COLLEGE STREET, TORONTO, ON

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# **Issued for Tender** Aug 8, 2023

CONSTRUCTION PLAN GROUND FLOOR SOUTH CONSTRUCTION PLAN GROUND FLOOR NORTH **CONSTRUCTION PLAN 8TH FLOOR** CONSTRUCTION PLAN 9TH FLOOR **CONSTRUCTION PLAN 10TH FLOOR** 

**NEW CEILING PLAN GROUND** 

FLOOR NORTH

NEW CEILING PLAN 9TH FLOOR

FIXTURES, FURNITURE & EQUIPMENT PLAN GROUND FLOOR SOUTH

FIXTURES, FURNITURE & EQUIPMENT PLAN GROUND FLOOR NORTH FIXTURES, FURNITURE & EQUIPMENT PLAN 8TH FLOOR FIXTURES, FURNITURE & EQUIPMENT PLAN 9TH FLOOR FIXTURES, FURNITURE & **EQUIPMENT PLAN 10TH FLOOR** 

FIXTURES, FURNITURE & **EQUIPMENT PLAN 11TH FLOOR** 

**CONSTRUCTION PLAN 11TH FLOOR** FLOOR SOUTH NEW CEILING PLAN GROUND **NEW CEILING PLAN 8TH FLOOR** 

**NEW CEILING PLAN 10TH FLOOR NEW CEILING PLAN 11TH FLOOR** 

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HANSON + JUNG

**A-000** 

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Drawn:

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**AS NOTED** 

Drawing Number:



# DOOR SCHEDULE AND LEGEND

DOOR SCHEDULE																
Room							Frame					Hardware and Special Requirements				
No.	Name	No.	Туре	Width	Height *	Thickness	Label	Face	Core	Finish	Material	Elevation	Label	Profile	Finish	
GROUND FLOOR																
G69B	INJECTION ROOM	D69B	-	± 2'-8"	±6'-11"	± 1-3/4"	-	PLAM	WD	PLAM	EX.	-	-	EX	PT4	CR, ES, LS1, HI, OI
G185	WORKSTATION	D185	-	3'-2"	7'-9''	1-3/4"	-	PS	нм	PT-4	нм	-	-	-	PT4	HI, LS1
G142	WASHROOM	D142	-	EX	EX	EX	-	EX	EX	PT-4	EX	-	-	EX	PT4	DB, TT, WS
G145	WASHROOM	D145	-	EX	EX	EX	-	EX	EX	PT-4	EX	-	-	EX	PT4	BP, WS
G149B	WASHROOM	D149B	-	EX	EX	EX	-	EX	EX	PT-4	EX	-	-	EX	EX.	LS3
G151	WASHROOM	D151B	-	EX	EX	EX	-	EX	EX	PT-4	EX	-	-	EX	PT4	LS3
G152A	WASHROOM	D152A	-	EX	EX	EX	-	EX	EX	PT-4	EX	-	-	EX	PT4	TT*, WS
G170	WASHROOM	D170	-	EX	EX	EX	-	EX	EX	PT-4	EX	-	-	EX	PT4	TT*
G180	WASHROOM	D180	-	EX	EX	EX	-	EX	EX	PT-4	EX	-	-	EX	PT4	TT*, WS
9TH FLO	OR								•							
947	STAFF LUNCH ROOM	D947A	-	± 3'	± 6'-11"	± 1-3/4"	-	PLAM	WD	PLAM	EX.	-	-	EX	PT4	CH, LS1
947	STAFF LUNCH ROOM	D947B	-	± 3'	± 6'-11"	± 1-3/4"	-	EX	EX	PT-4	EX.	-	-	EX	PT4	HI, LS1
950	COPY ROOM & IT CLOSET	D950	-	± 3'	± 6'-11"	± 1-3/4"	-	PLAM	WD	PLAM	EX.	-	-	EX	PT4	HI, LS1
944	CORRIDOR	D944	-	± 3'	± 6'-11"	± 1-3/4"	-	EX	EX	PT-4	EX.	-	-	EX	PT4	HI, LS2
942	CORRIDOR	D942	-	± 3'	± 6'-11"	± 1-3/4"	-	EX	EX	PT-4	EX.	-	-	EX	PT4	HI, LS2
10TH FLC	DOR			-												
1019	COPY ROOM	D1019	-	± 3'	± 6'-11"	± 1-3/4"	-	PLAM	WD	PLAM	EX.	-	-	EX	PT4	HI, LS1
1024	COPY ROOM	D1024	-	± 3'	± 6'-11"	± 1-3/4"	-	PLAM	WD	PLAM	EX.	-	-	EX	PT4	HI, LS1
1052	STORAGE ROOM	D1052	-	± 3'	± 6'-11"	± 1-3/4"	-	PLAM	WD	PLAM	EX.	-	-	EX	PT4	HI, LS1
1053	MEETING ROOM	D1053A	-	± 3'	± 6'-11"	± 1-3/4"	-	PLAM	WD	PLAM	EX.	-	-	EX	PT4	HI, LS1
1053	MEETING ROOM	D1053B	-	± 3'	± 6'-11"	± 1-3/4"	-	PLAM	WD	PLAM	EX.	-	-	EX	PT4	HI, LS1
1057	CORRIDOR	D1057	-	± 3'	± 6'-11"	± 1-3/4"	-	EX	EX	PT-4	EX.	-	-	EX	PT4	HI, LS2
1044	CORRIDOR	D1044	-	± 3'	± 6'-11"	± 1-3/4"	-	EX	EX	PT-4	EX.	-	-	EX	PT4	HI, LS2

I. EXISTING DOOR FRAME AND DOOR DIMENSIONS PROVIDED ARE APPROXIMATE ONLY. SITE VERIFY ALL DIMENSIONS. SITE VERIFY OPENINGS FOR NEW DOORS TO BE INSTALLED.

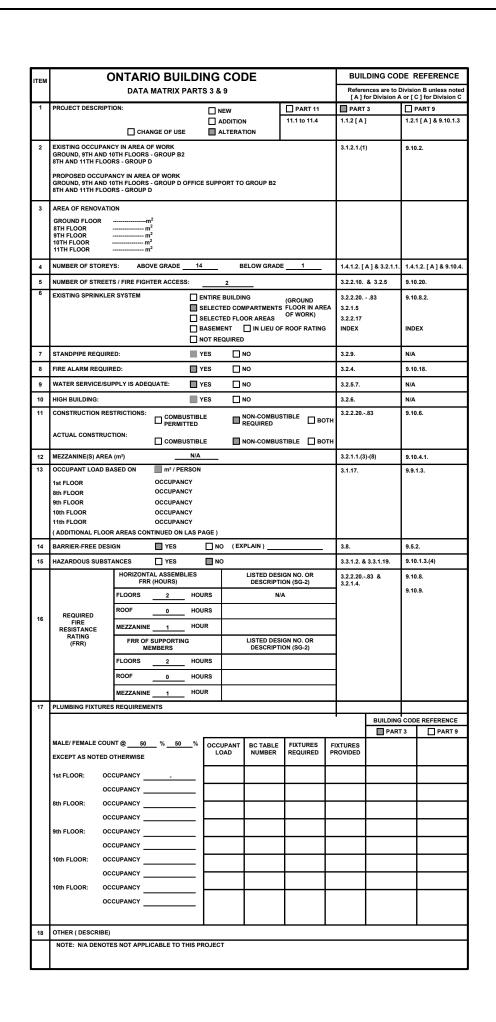
3. PT-4 PAINT COLOUR TO LATER SELECTION. . RE-USE EXISTING DOOR CLOSER WITH NEW DOOR WHERE APPLICABLE.

. REFER TO PAINT SPECIFICATIONS FOR ALL OTHER DOORS WITHIN AREA OF WORK TO BE PAINTED. 6. PROVIDE 4 HINGES FOR NEW DOORS IN NEW DOOR FRAMES. PROVIDE HINGES TO MATCH HINGE PREP FOR NEW DOORS INSTALLED INTO EXISTING FRAMES.

### HARDWARE ABBREVIATIONS

ADO	AUTO DOOR OPERATOR	HR	HOUR	
BFS BFDK BP	BARRIER FREE SIGNAGE BARRIER FREE DOOR KIT BLANK PLATE	KP	2 KICKPLATE 16. GA. STAINLESS STEEL	PROVIDE NEW LOCKSET WITH LEVER HANDLE MANUF: SCHLAGE PRODUCT: ND70PD ANSI F84 - RHODES LEVER T FUNCTION: CLASSROOM LOCK
CH CL CR	CONTINUOUS HINGE CLOSER CARD READER	MDL ML	MORTISE DEADLOCK MORTISE LOCKSET WITH LEVER HANDLE	FINISH: 626 SATIN CHROME
DB DP DO	DEAD BOLT DOOR PULL DOOR OPERATOR PUSH BUTTONS	OI OL	OCCUPANCY INDICATOR OFFICE LOCKSET	MANUF: SCHLAGE PRODUCT: ND10S ANSI F75 - RHODES LEVER TR FUNCTION: PASSAGE LATCH
ES EX	ELECTRIC STRIKE EXISTING	PP PT	PUSH PLATE PAINT FINISH (ALL SIDES) COLOUR TO LATER SELECTION BY ARCHITECT	FINISH: 626 SATIN CHROME LS3: PROVIDE NEW LOCKSET WITH LEVER HANDLE
FB FRR	FLUSH BOLTS (TOP AND BOTTOM) FIRE RESISTANCE RATING	SW	DOOR SWEEP	MANUF: SCHLAGE PRODUCT: ND92PD ANSI F109 - RHODES LEVER FUNCTION: ENTRANCE LOCK
FS HC	FLOOR OR WALL STOP HONEY COMB	THR TT	THRESHOLD THUMB TURN	FINISH: 626 SATIN CHROME
HI HM	HINGES HOLLOW METAL	WD WS	WOOD WEATHERSTRIP	

### **03** DOOR SCHEDULE & LEGEND A-001/ N.T.S



\* MODIFY EXISTING MORTISE LOCK SET TO RECEIVE THUMBTURN ADD-ON ON WC SIDE. PROVIDE NEW MORTISE LOCKSET SIMILAR TO EXIST AND WITH THUMBTURN IF SUCH MODIFICATION IS NOT POSSIBLE.

H LEVER HANDLE - RHODES LEVER TRIM

RHODES LEVER TRIM

- RHODES LEVER TRIM

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### **DIVISION 1 - GENERAL REQUIREMENTS**

1.1 SCOPE OF WORK

.1 WORK IS TO RENOVATE INTERIOR SPACE TO ACCOMMODATE OFFICE DEPARTMENTAL MOVE FROM 33 RUSSELL.

- 1.4 DEFINITIONS ARCHITECTURAL WORK IS LOCATED ON THE GROUND, 8<sup>TH</sup>, 9<sup>TH</sup>, 10<sup>TH</sup> AND 11<sup>TH</sup> FLOORS OF THE BUILDING WITHIN THE .1 THE DEFINITIONS CONTAINED IN THE CCDC 2-2020 STIPULATED PRICE CONTRACT ARE HEREBY MADE PART AREAS OUTLINED IN DWGS. OF THESE DRAWINGS AND SPECIFICATIONS .3 ARCHITECTURAL WORK ALSO INCLUDES: .2 THE FOLLOWING DEFINITIONS ARE ADDED TO THIS .1 PATCHING OF ROOFING ON GROUND FLOOR ROOF CONTRACT: AND TOWER ROOF AT NEW PENETRATIONS FOR .1 "ADDENDUM" - A DOCUMENT THAT AMENDS THE BID EXTERIOR ROOF TOP EQUIPMENT. ROOFING PATCH DOCUMENTS DURING THE BIDDING PERIOD AND TO BE COMPATIBLE WITH EXISTING ROOFING BECOMES PART OF THE CONTRACT DOCUMENTS SYSTEM. WHEN A CONTRACT IS EXECUTED. (PLURAL: .2 INSTALLATION OF DOOR STOPS AND LOCK ADDENDA) CYLINDERS IN WASHROOMS NOTED IN THESE .2 "BIDDER" – A COMPANY INVITED BY THE OWNER TO SPECIFICATIONS. SUBMIT AN OFFER TO PROVIDE THE WORK IDENTIFIED IN THE BID DOCUMENTS. .4 REFER TO M&E DWGS FOR SCOPE OF WORK INCLUDING .3 "BID DOCUMENTS" – DOCUMENTS REFERENCED IN WORK OUTSIDE OF ARCHITECTURAL AREAS SCOPE OF WORK. THE REQUST FOR PROPOSALS ISSUED BY THE OWNER FOR THIS PROJECT. .5 INSTALL LARGE SCREEN MONITORS AND WALL MOUNT .4 "GENERAL REQUIREMENTS" THAT PART OF THE BRACKETS PROVIDED BY OWNER IN ALL MEETING ROOMS CONTRACT DOCUMENTS WHICH SETS FORTH MANY AND ELSEWHERE AS INDICATED. MONITORS AND WALL OF THE RIGHTS, RESPONSIBILITIES AND MOUNT BRACKETS ARE LOCATED IN 33 RUSSELL RELATIONSHIPS OF THE PARTIES INVOLVED IN A (BUILDING NEXT DOOR TO 250 COLLEGE) IN ROOMS CONTRACT. IT ALSO CONTAINS BIDDING IDENTIFIED BY OWNER. REMOVE AND INSTALL IN ROOMS AT 250 COLLEGE AS DESIGNATED BY OWNER. PROVIDE INSTRUCTIONS AND TERMS ASSOCIATED WITH A BID PLYWOOD OR 16 GA STEEL SHEET BACKING ON WALLS SUBMISSION. FOR MOUNTING OF WALL BRACKETS .. .5 "**ITEMIZED PRICE**" - PRICE FOR A SPECIFIC COMPONENT OF THE WORK CONTAINED IN THE ABATEMENT AND DEMOLITION WORK WILL BE NECESSARY OFFER (BASE BID PRICE). ITEMIZED PRICES SHALL AND BE INCLUDED AS PART OF THE BID. REFER TO INCLUDE ALL LABOUR, MATERIALS, PRODUCTS, ABATEMENT SPECIFICATIONS. EQUIPMENT, SERVICES, STATUTORY CHARGES, AND STRUCTURAL CONFIRMATION: CONTRACTOR TO ENGAGE RESPECTIVE OVERHEAD, PROFIT, TAXES PROFESSIONAL STRUCTURAL ENGINEER TO REVIEW THAT (EXCLUDING HST), DISBURSEMENTS AND RELATED THE EXISTING STRUCTURE IS NOT COMPROMISED AT CHARGES REQUIRED TO PROVIDE THE SPECIFIC LOCATIONS WHERE CORES REQUIRED BY THE WORK ARE COMPONENT OF WORK. MADE IN THE BUILDING STRUCTURE. "INSTALL" - OPERATIONS TO INSTALL ALL COMPONENTS OF THE WORK AT THE PROJECT SITE REFER TO THESE SPECIFICATIONS FOR ADDITIONAL INCLUDING THE ACTUAL UNLOADING, UNPACKING, QUANTITIES OF WORK TO BE INCLUDED AS PART OF THE ASSEMBLY, ERECTING, PLACING, ANCHORING, CONTRACT. APPLYING, WORKING TO DIMENSION, FINISHING CURING, PROTECTING, CLEANING AND SIMILAR .9 REFER TO THESE SPECIFICATIONS AND DRAWINGS FOR OPERATIONS FULL SCOPE. "PROVIDE" – SUPPLY AND INSTALL, COMPLETE AND READY FOR INTENDED USE 1.2 GENERAL "REPLACE" – REMOVE COMPONENT OR ASSEMBLY THE CONTRACTOR SHALL PROVIDE ALL LABOUR OFF SITE AND PROVIDE NEW COMPONENT OR (INCLUDING ANY OVERTIME HOURS), PRODUCTS, ASSEMBLY AS SPECIFIED. WHERE THERE IS NO MATERIALS, TOOLS, EQUIPMENT, FABRICATION AND SPECIFICATION, PROVIDE TO MATCH EXISTING. ANCILLARY ITEMS NECESSARY TO EXECUTE ALL WORK .9 "**REMOVE**" - TO REMOVE OFF-SITE UNLESS AND SERVICES SHOWN ON THESE DRAWINGS AND INDICATED IN DOCUMENTS OTHERWISE AND SPECIFICATIONS EXCEPT WHERE NOTED AS NOT IN DISPOSE OF LEGALLY. CONTRACT (N.I.C.) OR SPECIFICALLY NOTED AS BEING BY .10 "SUPPLY" - SUPPLY AND DELIVER TO THE PROJECT OWNER. SITE, READY FOR UNLOADING, UNPACKING, ASSEMBLY, INSTALLATION AND SIMILAR CONTRACTOR SHALL COORDINATE THE WORK OF THE OPERATIONS. SUB-CONTRACTORS, SUPPLIERS AND OWNER FURNISHED WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR **1.5 ABBREVIATIONS** SCHEDULING OWNER FURNISHED WORK. .1 THE FOLLOWING ABBREVIATIONS ARE USED IN THE SPECIFICATIONS: .3 THESE CONTRACT DOCUMENTS INCLUDE THE FOLLOWING AHJ – AUTHORITIES HAVING JURISDICTION REQUIREMENTS AND NOTES WHICH APPLY TO ALL ALUM – ALUMINUM DRAWINGS FOR THE WORK. THESE REQUIREMENTS GC – CONTRACTOR AS DEFINED IN CCDC 2-2020 SHALL EXTEND TO CHANGES. EXTRAS AND ADDITIONS HM – HOLLOW METAL AGREED TO DURING THE COURSE OF WORK BETWEEN .5 HWT – HOT WATER TANK THE CONTRACTOR, AND OWNER. .6 INSUL – INSULATION .7 LL – LANDLORD AND THEIR AUTHORIZED BUILDING .4 THE REQUIREMENTS STIPULATED IN DIVISION 1 OF THESE FACILITIES MANAGEMENT SPECIFICATION SHALL APPLY TO ALL OTHER 8 M&E – MECHANICAL AND ELECTRICAL SPECIFICATION DIVISIONS OF THESE CONTRACT .9 MISC – MISCELLANEOUS DOCUMENTS. .10 N/A – NOT APPLICABLE .11 NIC – NOT IN CONTRACT SHOULD ANY PORTION OF THE CONTRACT DOCUMENTS .12 OSHA – OCCUPATIONAL HEALTH AND SAFETY ACT PROVE TO BE FOR WHATEVER REASON UNENFORCEABLE. .13 RFI – REQUEST FOR INFORMATION SUCH UNENFORCEABILITY SHALL NOT EXTEND TO THE .14 SBO – SUPPLIED BY OWNER REMAINDER OF THE CONTRACT NOR SHALL IT VOID ANY .15 SI – SUPPLEMENTAL INSTRUCTION OTHER PROVISIONS OF THE CONTRACT. .16 T&G - TONGUE AND GROOVE .17 U.N.O. – UNLESS NOTED OTHERWISE THE ABBREVIATION "GC" USED IN THESE SPECIFICATIONS .18 V.I.F. – VERIFY IN FIELD AND DRAWINGS SHALL MEAN THE 'CONTRACTOR" AS .19 VOC – VOLATILE ORGANIC COMPOUND DEFINED IN CCDC 2 -2020. .20 WB – WATER BASED OR WATER BORNE ABBREVIATED LANGUAGE USED IN THE CONTRACT .2 REFER TO ABBREVIATION LEGEND ON DWGS A-001 FOR DOCUMENTS; WORDS AND MEANINGS SHALL BE ABBREVIATIONS USED IN THE ARCHITECTURAL INTERPRETED AS APPROPRIATE. WORDS IMPLIED, BUT DRAWINGS. REFER TO STRUCTURAL, MECHANICAL AND NOT STATED, SHALL BE INFERRED AS THE SENSE ELECTRICAL DRAWINGS FOR ADDITIONAL ABBREVIATIONS REQUIRES. SINGULAR WORDS SHALL BE INTERPRETED AS USED WITHIN EACH OF THESE DISCIPLINES DRAWINGS. PLURAL, AND PLURAL WORDS SHALL BE INTERPRETED AS SINGULAR AS APPLICABLE TO THE CONTEXT OF THE 1.6 RESPONSIBILITIES OF BIDDERS DURING BID PHASE CONTRACT DOCUMENTS. REQUIREMENTS EXPRESSED IN .1 THIS SUB-SECTION IS TO SUPPLEMENT THE THE IMPERATIVE MOOD ARE TO BE PERFORMED BY INSTRUCTIONS TO BIDDERS ISSUED BY CAMH IN THE BID CONTRACTOR. THE WORDS "SHALL," "SHALL BE," OR CALL. THE CAMH INSTRUCTIONS SHALL SUPERCEDE THE "SHALL COMPLY WITH," DEPENDING ON THE CONTEXT, REQUIREMENTS OF THIS SUB-SECTION WHERE THERE IS ARE IMPLIED WHERE A COLON (:) IS USED WITHIN A A DIRECT AND SPECIFIC CONFLICT. SENTENCE OR PHRASE. .2 THE BIDDER SHALL BE RESPONSIBLE FOR DEFINING THE ALL REFERENCES TO STANDARDS, CODES AND COMPONENT(S) OF WORK NECESSARY TO OBTAIN ALL **REGULATIONS IN THE TECHNICAL SPECIFICATIONS ARE** BIDS REQUIRED TO PROVIDE THE COMPLETE WORK TO THE LATEST EDITION. REQUIRED BY THESE BID DOCUMENTS. 1.3 **OWNER FURNISHED WORK** .3 THE BIDDER SHALL BE RESPONSIBLE FOR PROVIDING THE THE OWNER WILL: NECESSARY BID DOCUMENTS TO SUB-CONTRACTORS .1 SUPPLY AND INSTALL FURNITURE, CASEWORK, AND SUPPLIERS IN SOLICITING BIDS TO CARRYOUT THE APPLIANCES RESPONSIBILITIES AND WORK STIPULATED IN THESE BID .2 SUPPLY AND INSTALL AV EQUIPMENT INCLUDING BUT DOCUMENTS. NOT LIMITED TO SMART BOARDS, VIDEO CONFERENCING EUIPMENT. .4 BIDDERS SHALL FULLY ACQUAINT THEMSELVES WITH THE
  - .3 SUPPLY LARGE SCREEN MONITORS AND RACKS FOR INSTALLATION UNDER THIS CONTRACT.
  - .4 NEW IT EQUIPMENT U.N.O. ON DWGS OTHERWISE.

ISSUED FOR TENDER DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO SUBMITTING A BID.

- .5 ONLY WRITTEN INSTRUCTIONS ISSUED IN THE FORM OF ADDENDUM BY THE OWNER DURING THE BID PHASE SHALL BE INCLUDED IN THE BID. THE OWNER WILL NOT BE RESPONSIBLE FOR ANY ORAL INSTRUCTIONS PROVIDED DURING THE BID PHASE.
- .6 ANY DETAILS OR NOTES REQUIRING FIELD VERIFICATION BY THE CONTRACTOR ARE TO BE DONE DURING THE BID PROCESS. DISCREPANCIES FOUND AFTER THE CONTRACTOR IS SELECTED WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND CORRECTED AT THE CONTRACTOR'S EXPENSE.
- .7 THE BIDDERS SHALL IDENTIFY ANY DISCREPANCIES NOTED WITHIN THE DRAWINGS AND SPECIFICATIONS OR BETWEEN THE DRAWINGS, SPECIFICATIONS AND OBSERVABLE SITE CONDITIONS TO THE CONSULTANT FOR CLARIFICATION PRIOR TO BID SUBMISSION. FAILURE TO DO SO SHALL MEAN ACCEPTING THE CONSULTANT'S INTERPRETATION OF THE CONSTRUCTION REQUIRED TO ACHIEVE THE DESIGN INTENT CONTAINED IN THE BID DOCUMENTS. THE OWNER WILL NOT ENTERTAIN CLAIMS FOR EXTRAS IN CONNECTION IN SUCH INSTANCES.
- .8 SUB-CONTRACTOR QUALIFICATIONS .1 ONLY SOLICIT AND RECEIVE BIDS FROM SUB-CONTRACTORS EXPERIENCED IN PERFORMING THE WORK AND WHO WILL PROVIDE EXPERIENCED, SKILLED AND QUALIFIED WORKMEN TO CARRYOUT THEIR WORK ON THIS PROJECT IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED. THIS INCLUDES WORK IDENTIFIED AS BY "OWN FORCES".
  - OWNER RESERVES THE RIGHT TO REQUEST FROM THE BIDDER, ADDITIONAL BIDS AND/ OR ALTERNATE COMPANIES TO BE ENGAGED FOR ANY SPECIFIC FRADES INCLUDING "OWN FORCES" WORK TO BE PERFORMED BY THE GC.
- .9 BASE BUILDING TRADES CONSULT WITH OWNER FOR ANY MANDATORY BASE BUILDING TRADES TO BE USED.
- .2 SUCH TRADES SHALL BE INCLUDED IN THE BID. .10 SITE VISIT
- BIDDERS SHALL ATTEND MANDATORY VISIT PRIOR TO SUBMITTING A BID. PROPONENTS WHO DO NOT ATTEND THE MEETING WILL BE EXCLUDED FROM BIDDING.
- .2 IT IS THE RESPONSIBILITY AND DESCRETION OF THE BIDDER TO INVITE SUB-CONTRACTORS TO VISIT THE SIE TO FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS/ LOCATIONS OF UTILITIES AND THE PROCEDURES THE OWNER EXPECTS THE CONTRACTOR TO FOLLOW DURING CONSTRUCTION INCLUDING BUT NOT LIMITED TO THE FOLLOWING. COST ASSOCIATED WITH THE LL REQUIREMENTS SHALL BE INCLUDED IN THE BID:
- .1 WORK HOUR RESTRICTIONS
- ACCESS TO THE CONSTRUCTION SITE
- TRASH REMOVAL DURING CONSTRUCTION PARKING OF CONSTRUCTION VEHICLES
- DELIVERIES, STORAGE, STAGING AREAS ANY OTHER ITEMS NECESSARY TO COMPLY
- WITH ALL ASPECTS OF THE LEASE AND OWNER'S OBLIGATIONS TO THE LANDLORD.
- .3 NO SUBSEQUENT CLAIM FOR ADDITIONAL COSTS OR EXTENSION TO SCHEDULE WILL BE ACCEPTED BY THE OWNER DUE TO ANY CLAIM OF LACK OF KNOWLEDGE OF CONDITIONS OR CIRCUMSTANCES ABOUT WHICH THE CONTRACTOR COULD HAVE NFORMED THEMSELVES INCLUDING:
  - .1 EXISTING CONDITIONS THAT WERE VISIBLE AT THE TIME OF THE BID
- .2 OWNER CONSTRUCTION REQUIREMENTS IN PLACE AT TIME OF BID
- 1.7 SUBSTITUTION
- BID SHALL BE BASED ON ALL SPECIFIED MATERIALS, PRODUCTS, SYSTEMS AND EQUIPMENT INDICATED IN THE TENDER DOCUMENTS WITHOUT EXCEPTION.
- .2 WHERE THE TERM "OR APPROVED EQUAL" IS USED. INFORMATION MUST BE SUBMITTED TO THE CONSULTANT FOR REVIEW AND ACCEPTANCE DURING THE TENDER PHASE. ONLY PRODUCTS ACCEPTED BY THE CONSULTANT AT THEIR SOLE DISCRETION AND WHICH APPROVAL FROM THE CONSULTANT HAS BEEN PROVIDED IN WRITING VIA ADDENDUM MAY BE INCLUDED IN THE BASE BID.
- .3 IN LIEU OF REQUESTING APPROVAL FOR AN APPROVED EQUAL DURING THE BID PHASE, THE BIDDER MAY SUBMIT PROPOSED SUBSTITUTIONS WITH THE BID IN THE FORM OF AN ALTERNATE PRICE. ALTERNATE PRICES ARE NOT TO BE INCLUDED IN THE BASE BID. THE SPECIFIED PRODUCT SHALL ONLY BE INCLUDED IN THE BASE BID. SUBMIT WITH BID THE FOLLOWING SUPPORTING INFORMATION FOR PROPOSED ALTERNATE(S):
- .1 DETAILED INFORMATION OF THE PROPOSED SUBSTITUTION.
- .2 COST OF EACH PROPOSED SUBSTITUTION EXPRESSED AS A CREDIT, EXTRA, OR NO CHANGE TO THE BID PRICE.
- IMPACT TO CONSTRUCTION SCHEDULE FOR EACH PROPOSED SUBSTITUTION.

- .4 THE BIDDER SHALL INCLUDE THE COST AND SCHEDULE IMPACT OF ALL AFFECTED COMPONENTS OF THE WORK THAT WOULD RESULT FROM THE ALTERNATE(S).
- .5 THE OWNER. RESERVES THE RIGHT TO ACCEPT OR REJECT ANY OR ALL PROPOSED SUBSTITUTIONS AND WILL REVISE THE BID PRICE ACCORDINGLY.
- 1.8 CASH ALLOWANCES
  - COSTS INCLUDED IN CASH ALLOWANCES: COST OF PRODUCT TO GC LESS APPLICABLE TRADE DISCOUNTS; DELIVERY TO SITE, AND APPLICABLE TAXES
  - .2 CASH ALLOWANCES ARE TO INCLUDE SUPPLY AND INSTALLATION UNLESS NOTED OTHERWISE. INCLUDE IN THE CASH ALLOWANCE AMOUNT, PROVISION FOR DELIVERY, PRODUCT HANDLING AT THE SITE, INCLUDING UNLOADING, UN-CRATING, STORAGE, PROTECTION OF PRODUCTS FROM ELEMENTS AND FROM DAMAGE, LABOUR FOR INSTALLATION AND FINISHING.
  - GC'S INSURANCE, TAXES, BONDING IF APPLICABLE OVERHEAD AND PROFIT, SUPERVISION COSTS ASSOCIATED WITH A CASH ALLOWANCE ITEM ARE TO BE INCLUDED IN THE BASE BID AND NOT IN THE CASH ALLOWANCE.
  - .4 REFER TO BID FORM FOR CASH ALLOWANCE SCHEDULE
- 1.9 UNIT PRICES
- .1 THE VALUE FOR A SINGLE UNIT OF WORK AS STATED IN A SCHEDULE OF UNIT PRICES FOR A COMPONENT OF WORK THAT IS IDENTIFIED IN THE BID DOCUMENTS.
- THE UNIT PRICE INSERTED WILL BE USED TO CALCULATE THE VALUE TO IMPLEMENT THE PORTION OF THE WORK COMPONENT AUTHORIZED BY THE OWNER TO BE CARRIED OUT.
- THE OWNER RESERVES THE RIGHT NOT TO CARRYOUT ANY OR ALL OF THE WORK COMPONENT IDENTIFIED IN THE UNIT PRICE SCHEDULE.
- THE UNIT PRICE VALUE INSERTED WILL BE USED TO CALCULATE THE DEDUCTION FROM THE CONTRACT VALUE FOR ANY UNCONSTRUCTED PORTION OF THE WORK COMPONENT FOR WHICH A QUANTITY OF WORK HAS BEEN IDENTIFIED.
- .5 THE UNIT PRICE VALUE INSERTED MAY ALSO BE USED TO CALCULATE SIMILAR ADDITIONAL WORK **NOT** INCLUDED IN THE CONTRACT PRICE.
- UNIT PRICES SHALL INCLUDE ALL LABOUR, MATERIALS, PRODUCTS, EQUIPMENT, SERVICES, STATUTORY CHARGES, AND RESPECTIVE OVERHEAD, PROFIT, TAXES (EXCLUDING HST), DISBURSEMENTS AND OTHER RELATED CHARGES TO THE CONTRACTOR AND SHALL BE THE TOTAL COST TO THE OWNER.
- .7 THE OWNER SHALL BE UNDER NO OBLIGATION TO ACCEPT THE UNIT PRICES AS SUBMITTED. THE OWNER RESERVES THE RIGHT TO REVIEW, NEGOTIATE AND MODIFY UNIT PRICES AS MUTUALLY AGREED UPON BY THE PARTIES PRIOR TO FINALIZATION OF THE CONTRACT.
- 1.10 INFECTION PREVENTION AND CONTROL ABIDE BY CAMH IPAC CONTROL MEASURES TO BE
  - IMPLEMENTED ON PROJECT ARRANGE A MEETING WITH CAMH PM AND IPAC REPRESENTATIVE TO REVIEW IPAC PROTOCOLS DURING CONSTRUCTION.
  - PROVIDE DUST PROOF HOARDING ON OCCUPIED FLOORS TO SEPARATE CONSTRUCTION AREA FROM OCCUPIED AREAS TO SATISFACTION OF CAMH IPAC TEAM
  - .4 PROVIDE STICKY WALKOFF MATS AT FOLLOWING LOCATIONS. CHANGE OUT ON A DAILY BASIS AT MINIMUM AND MORE OFTEN AS CONSTRUCTION ACTIVITY REQUIRES.
  - .1 DOORWAYS TO ELEVATOR LOBBIES ON ALL UPPER FLOOR WORK AREA
  - .2 AT ALL ENTRANCE TO WORK AREA ON GROUND FLOOR
- 1.11 BUILDING REGULATIONS:
  - .1 THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES AND COMPLY WITH THE OWNER'S CONSTRUCTION REQUIREMENTS.
- .2 COORDINATE THE USE OF ELEVATORS AND LOADING DOCKS WITH OWNER
- 1.12 OCCUPIED SPACES
  - .1 GROUND FLOOR IS PARTIALLY OCCUPIED EXCEPT IN THE AREA OF WORK WHICH IS VACANT
- .2 9TH AND 10TH FLOORS ARE VACANT. .3 THE 8<sup>TH</sup> AND 11<sup>TH</sup> FLOORS ARE OCCUPIED BY ANOTHER TENANT. CONTRACTOR TO CO-ORDINATE AND ARRANGE FOR ACCESS TO THIS FLOOR THROUGH THE OWNER. THE CONTRACTOR MAY BE REQUIRED TO CARRYOUT WORK ON THIS FLOOR DURING OFF BUSINESS HOURS. THE CONTRACTOR SHALL INCLUDE WORKING DURING NON-BUSINESS HOURS IN THE CONTRACT PRICE.
- .4 THE CONTRACTOR SHALL LEAVE THE WORKPLACE ON OCCUPIED FLOORS CLEAN, SAFE AND FREE OF EQUIPMENT AND MATERIALS AT THE BEGINNING OF EACH BUSINESS DAY.

- .5 CONTRACTOR SHALL ERECT HOARDING TO SEPARATE THE WORK FROM THE REST OF THE PREMISES.
- .6 THE CONTRACTOR SHALL PREVENT ACCESS BY BUILDING OCCUPANTS INTO THE AREA OF WORK.
- .7 MAINTAIN ACCESS TO WORK AREA CLEAR AND FREE OF OBSTRUCTIONS.
- .8 DO NOT DISRUPT BUILDING OPERATION AND LIFE SAFETY SYSTEMS.
- .9 DO NOT BLOCK ACCESS TO ANY EXITS WITHIN AND OUTSIDE OF WORK AREA.

### 1.13 WORK RESTRICTIONS

INCLUDE IN BID THE COST FOR ALL AFTER HOURS OR WEEKEND WORK REQUIRED BY THE WORK RESTRICTIONS OF THIS SECTION OR AS NECESSARY TO MEET PROJECT SCHEDULE. OWNER WILL NOT ENTERTAIN ADDITIONAL FEE FOR AFTER HOURS WORK.

.2 HOURS OF WORK.

- .1 THE AREA OF WORK IS AVAILABLE TO THE CONTRACTOR TO CARRYOUT WORK ON A 24/7 BASIS EXCEPT AS FOLLOWS:
  - .1 WORK HOURS RESTRICTION THAT MAY BE IMPOSED BY OWNER ON A TEMPORAY BASIS. .2 CO-ORDINATE HOURS OF WORK FOR EXCESSIVE NOISE GENERATING WORK WITH OWNER. PROVIDE A FORECAST OF NOISE **GENERATING WORK TO OWNER AT LEAST 2** WEEKS PRIOR TO START OF SUCH ACTIVITY. THE REQUEST TO UNDERTAKE SUCH WORK WILL BE REVIEWED BY THE OWNER ON A CASE BY CASE BASIS AND THE HOURS THAT SUCH WORK MAY BE CARRIED OUT MAY BE SUBJECT TO RESTRICTION AT THE OWNER'S DESCRETION. SUCH RESTRICTIONS MAY INCLUDE AFTER HOURS, WEEKEND AND STATUTORY HOLIDAY WORK.
  - .3 AFTER HOURS IS DEFINED AS BETWEEN 6PM TO
  - .4 WEEKEND IS DEFINED AS THE TIME PERIOD BETWEEN FRIDAY 6PM TO MONDAY 6AM.
  - .5 PRIOR ARRANGEMENT TO ACCESS AREAS OF THE BUILDING OUTSIDE OF THE ARCHITECTURAL DEFINED SCOPE OF WORK AREAS ON THE GROUND, 8<sup>TH</sup>, 9<sup>TH</sup>, 10<sup>TH</sup> AND 11<sup>TH</sup> FLOORS IS REQUIRED AND PERMISSION TO ENTER SUCH AN AREA AT A CERTAIN TIME IS SUBJECT TO OWNER AND TENANT'S AUTHORIZATION. GIVE MINIMUM 5 BUSINESS DAYS ADVANCE NOTICE PRIOR TO ACCESS. HOURS OF WORK WILL BE LIMITED.
- .3 REFER TO DEMOLITION SPECIFICATION SECTION FOR ADDITIONAL RESTRICTIONS.
- .4 NO CHANGES TO THE CONTRACT PRICE WILL BE ACCEPTED FOR COMPLIANCE WITH BUILDING OWNER'S RULES AND REGULATIONS.
- .5 CONFINE OPERATIONS TO WITHIN SCOPE OF WORK AREAS IDENTIFIED IN THE DRAWINGS.
- .6 THE WORK WILL BE DONE IN AN OCCUPIED BUILDING ACCESSIBLE TO THE PUBLIC. IT IS IMPERATIVE THAT THE CONTRACTOR, IT'S SUB-CONTRACTORS AND ALL THEIR PERSONNEL TREAT THE BUILDING STAFF AND BUILDING OCCUPANTS WITH CONSIDERATION AND RESPECT.
- .7 DO NOT CREATE UNNECESSARY NOISE OR DISRUPTION OF BUSINESS ACTIVITIES OR TO BUILDING OCCUPANTS.
- .8 CONDUCT WORK IN A MANNER GIVING PRIME CONSIDERATION TO PROTECTION OF THE PUBLIC, PROTECTION FROM THE WEATHER, CONTROL OF NOISE, SHOCKS AND VIBRATION; CONTROL OF DIRT AND DUST; ORDERLY ACCESS FOR AND STORAGE OF MATERIALS; PROTECTION OF EXISTING BUILDING, PROTECTION OF ADJACENT SURFACES AND PROPERTY; COORDINATE AND COOPERATE WITH THE OWNER AND LL AT ALL TIMES.
- .9 PERFORM ALL WORK DURING THE HOURS DESIGNATED BY OWNER. AS MAY BE FURTHER RESTRICTED BY THE LANDLORD'S REGULATIONS AND REQUIREMENTS.
- .10 ADHERE TO APPROVED LOCATIONS FOR TRASH CHUTES, ROUTES TO BE USED BY WORKERS, USE OF ELEVATORS, AND AREAS FOR STORAGE OF MATERIALS.
- .11 MAINTAIN ACCESS TO ACCESS TO BASE BUILDING MECHANICAL ROOM(S), ELECTRICAL ROOM(S), TELECOM ROOMS AND SECURITY ROOM ON 24/7 BASIS.
- **1.14 EXAMINATION OF DRAWINGS & SITE PRIOR TO CONSTRUCTION** .1 THE CONTRACTOR SHALL, BEFORE COMMENCING WORK, REVIEW ALL CONSTRUCTION DOCUMENTS AND VERIFY ALL GOVERNING DIMENSIONS AT THE BUILDING. THE CONTRACTOR SHALL EXAMINE ALL ADJOINING WORK OR AREAS UPON WHICH THE PERFORMANCE OF THE WORK IS IN ANY WAY DEPENDENT. ANY VARIATIONS OR DISCREPANCIES SHALL BE REPORTED, WITH ALL DUE EXPEDIENCY, TO THE CONSULTANT PRIOR TO THE FABRICATION OR ERECTION OF THE WORK IN QUESTION.
- .2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS

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JURISDICTION AND REQUEST THEY CARRYOUT SAME EXAMINATION AND SITE REVIEW PRIOR TO COMMENCING THEIR PORTION OF THE WORK.

- 1.15 PRE-CONSTRUCTION CONDITION SURVEY .1 PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CARRYOUT A THOROUGH PRE-CONSTRUCTION CONDITION SURVEY IN THE FULL AREA OF WORK.
  - .2 AT THE COMMENCEMENT OF CONSTRUCTION, ASSESS THE CONTRACTOR SHALL INVESTIGATE ALL AREAS UNDERNEATH PROPOSED RECESSED FLOOR BOX LOCATION AND ALL CORE AND DRAIN LOCATIONS. DOCUMENT ALL CEILING CONDITIONS AND LAYOUT ALL PROPOSED ROUTING OF SERVICES. SHOULD ANY INTERERFERENCES ARISE, BRING TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
  - .3 DOCUMENT ANY MISSING OR DAMAGED ITEMS THAT ARE IDENTIFIED IN THE CONTRACT TO REMAIN, BE REUSED OR OTHERWISE INCORPORATED INTO THE WORK. THE SURVEY SHALL IDENTIFY THE MISSING OR DAMAGED COMPONENT AND BE SUPPLEMENTED WITH PHOTOGRAPHS.
  - .4 SUBMIT FINDINGS TO CONSULTANT WITHIN FIVE (5) BUSINESS DAYS AFTER BEING GRANTED ACCESS TO SITE.
  - .5 THE CONTRACTOR WILL ASSUME RESPONSIBILITY FOR SUCH MISSING OR DAMAGED ITEMS FOR FAILURE TO SUBMIT SURVEY. THE OWNER WILL NOT ENTERTAIN ANY CLAIM FOR ADDITIONAL COMPENSATION FOR SUCH ITEMS SHOULD THE CONTRACTOR FAIL TO SUBMIT PRECONSTRUCTION SURVEY.
  - .6 THE CONTRACTOR SHALL NOT INCLUDE OBSERVABLE ITEMS THAT WERE DAMAGED OR MISSING AT THE TIME OF THE SITE EXAMINATION DURING THE BID PHASE.
- .7 UNLESS OTHERWISE NOTED, ALL MATERIAL AND PRODUCTS TO BE NEW & FREE OF DEFECTS, AND BE COMPLETELY INSTALLED, HOOKED-UP, MADE OPERATIONAL AND FUNCTIONAL FOR THE PURPOSE INTENDED, AND THAT ALL COSTS FOR THIS BE INCLUDED IN THE CONTRACTOR'S BID.

### 1.16 DRAWINGS AND SPECIFICATIONS

- IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE JOB AND ANY OMISSIONS IN THESE <u>SPECIFICATIONS AND DRAWINGS SHALL NOT BE</u> CONSTRUED AS RELIEVING THE CONTRACTOR OF SUCH RESPONSIBILITIES IN THE CONTRACT EXCEPT FOR ITEMS SPECIFICALLY NOTED OR COULD NOT HAVE BEEN REASONABLY FORESEEN DUE TO SITE CONDITIONS.
- .2 DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY. AND TO BE READ AS WHOLE. SPECIFIC INFORMATION MAY BE FOUND IN EITHER OR BOTH.
- .3 DRAWINGS ARE COMPLEMENTARY TO EACH OTHER AND TO BE READ AS WHOLE. CONSTRUCTION REQUIREMENTS FOR A COMPONENT OF THE WORK MAY BE FOUND IN ONE OR MORE DRAWINGS AND WITHIN DIFFERENT DISCIPLINE SECTIONS. NO CLAIM FOR EXTRAS WILL BE ENTERTAINED WHERE THE CONTRACTOR OR TRADES CITE ONLY PORTIONS OF THE DRAWINGS WERE CONSULTED IN PRICING OR IN CONSTRUCTION.
- .4 GENERALLY, DRAWINGS INDICATE GRAPHICALLY, THE DIMENSIONS AND LOCATION OF COMPONENTS AND EQUIPMENT. SPECIFICATIONS INDICATE SPECIFIC COMPONENTS, ASSEMBLIES, AND IDENTIFY QUALITY.
- .5 DRAWINGS, SPECIFICATIONS, DIAGRAMS AND SCHEDULES ARE COMPLEMENTARY, EACH TO THE OTHER, AND WHAT IS REQUIRED BY ONE. TO BE BINDING AS IF REQUIRED BY ALL.
- .6 THE CONSTRUCTION DRAWINGS ARE GENERAL DIAGRAMMATIC REPRESENTATIONS OF THE WORK, AND DO NOT INDICATE OR SPECIFY IN DETAIL, EVERY CONDITION AND COMPONENT OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL LABOUR, MATERIALS AND EQUIPMENT, FABRICATE ALL ASSEMBLIES AND INSTALL ALL EQUIPMENT AND SYSTEMS TO PRODUCE A COMPLETE, INTEGRATED AND FULLY FUNCTIONAL WORK PRODUCT IN ACCORDANCE WITH ALL MATERIAL AND EQUIPMENT MANUFACTURER'S REQUIREMENTS, INDUSTRY STANDARDS AND NATIONAL, PROVINCIAL AND LOCAL LAWS, CODES AND REGULATIONS.
- .7 DRAWINGS INDICATE GENERAL LOCATION AND ROUTE OF CONDUIT AND WIRE/CONDUCTORS. INSTALL CONDUIT OR WIRING/CONDUCTORS AND PLUMBING PIPING NOT SHOWN OR INDICATED BY NOTE, BY GRAPHIC, OR DIAGRAMMATICALLY IN SCHEMATIC OR RISER DIAGRAMS TO PROVIDE AN OPERATIONAL ASSEMBLY OR SYSTEM.
- .8 THE CONTRACTOR SHALL VERIFY WITH THE CONSULTANT THAT DRAWINGS ARE THE LATEST ISSUE PRIOR TO COMMENCING CONSTRUCTION, & SHALL MAINTAIN ONE COPY AT THE SITE, INCLUDING ALL ADDENDA, CHANGE **ORDERS & SUPPLEMENTAL INSTRUCTIONS.**
- .9 SHOULD ANY CONFLICT OR DISCREPANCY APPEAR BETWEEN DOCUMENTS, WHICH LEAVES DOUBT AS TO THE INTENT OR MEANING, APPLY THE PRECEDENCE OF DOCUMENTS SECTION OF THE GENERAL CONDITIONS OR OBTAIN GUIDANCE OR DIRECTION FROM CONSULTANT.

- .10 EXAMINE ALL DISCIPLINE DRAWINGS, SPECIFICATIONS, SCHEDULES, DIAGRAMS AND RELATED WORK TO ENSURE THAT WORK CAN BE SATISFACTORILY EXECUTED.
- .11 ALL SPECIFICATION SECTIONS AND DRAWINGS ARE AFFECTED AND GOVERNED BY REQUIREMENTS OF THE DIVISION 01 - GENERAL CONDITIONS.
- .12 THE CONTRACTOR IS HEREBY SPECIFICALLY DIRECTED, AS A CONDITION OF THE CONTRACT, TO ACQUAINT THEMSELVES WITH THE ARTICLES CONTAINED IN THE GENERAL NOTES, AND TO NOTIFY AND APPRISE ALL SUBCONTRACTORS, SUPPLIERS AND ALL OTHER PARTIES OF THE CONTRACT OF, AND BIND THEM TO ITS CONDITIONS.
- .13 NOTIFY CONSULTANT IMMEDIATELY OF ANY APPARENT CONFLICTS, ERRORS, OR OMISSIONS IN THE CONSTRUCTION DRAWINGS; ANY APPARENT MISAPPLICATION OF ANY PRODUCT, SYSTEM OR ASSEMBLY FOR THE INTENDED USE, OR ANY DISCOVERED EXISTING CONDITIONS THAT ARE CONTRARY TO THE CONDITIONS INDICATED IN THE CONSTRUCTION DRAWINGS. THE CONSULTANT SHALL PROVIDE INTERPRETATION AND CLARIFICATION AND, IF REQUIRED, THE CONSULTANT WILL MAKE APPROPRIATE REVISIONS TO THE CONSTRUCTION DRAWINGS AND ISSUE SUCH IN THE FORM OF A SUPPLEMENTARY INSTRUCTION.

### 1.17 PRECEDENCE OF DOCUMENTS

- LATER DATED DOCUMENTS SHALL GOVERN OVER EARLIER DOCUMENTS OF THE SAME TYPE.
- .2 IN THE EVENT OF CONFLICT WITHIN AND BETWEEN THE CONTRACT DOCUMENTS, THE ORDER OF PRIORITY WITHIN SPECIFICATIONS AND DRAWINGS FOR THIS
- PROJECT ARE FROM HIGHEST TO LOWEST: .1 THE AGREEMENT AND DEFINITIONS BETWEEN THE OWNER AND THE CONTRACTOR,
- .2 THE DEFINITIONS CONTAINED IN THE CCDC 2-2020 AND DIVISION 01 - GENERAL CONDITIONS ON DRAWINGS
- SUPPLEMENTARY CONDITIONS, .4 THE GENERAL CONDITIONS OF CCDC 2-2020 AND **DIVISION 01- GENERAL CONDITIONS. WHERE THERE**
- IS A CONFLICT BETWEEN THE GENERAL CONDITIONS OF THE CCDC AND DIVISION 01, THE MORE STRINGENT REQUIREMENT WILL GOVERN. .5 SCHEDULES ON DRAWINGS IDENTIFYING
- RESPONSIBLE PARTIES FOR FURNISH AND INSTALLATION OF COMPONENTS AND EQUIPMENT .6 SECTIONS OF DIVISIONS 02 THROUGH 49 OF THE SPECIFICATIONS,
- .7 ALL OTHER SCHEDULES ON DRAWINGS: .8 MATERIAL AND FINISHING SCHEDULES WITHIN THE
- SPECIFICATIONS, THEN .9 MATERIAL AND FINISHING SCHEDULES ON
- DRAWINGS, THEN KEYNOTES AND DEFINITIONS THERETO, THEN DIAGRAMS, .10 DRAWINGS;
- DRAWINGS OF LARGER SCALE SHALL GOVERN OVER THOSE OF SMALLER SCALE OF THE SAME DATE, THEN DRAWINGS WITH A LATER DATE SHALL GOVERN OVER THOSE OF EARLIER DATES.
- LOCATION OF UTILITY OUTLETS INDICATED ON ARCHITECTURAL DETAIL DRAWINGS TAKES PRECEDENCE OVER POSITIONS OR MOUNTING HEIGHTS LOCATED ON MECHANICAL OR ELECTRICAL DRAWINGS.
- DRAWINGS AND DIAGRAMS FOR MECHANICAL AND ELECTRICAL WORK SHALL BE CONSIDERED AS DIAGRAMMATIC ONLY, NOT TO BE USED FOR ANY STRUCTURAL GUIDANCE OR PHYSICAL LAYOUT. IN CASE OF CONFLICT, UNLESS OTHERWISE NOTED, THE ARCHITECTURAL DRAWINGS SHOWING LOCATIONS FOR MECHANICAL AND ELECTRICAL ITEMS AND ACCESSORIES SHALL TAKE PRECEDENCE.
- .6 IN THE EVENT OF CONFLICT BETWEEN DOCUMENTS, THE DECISION OF THE CONSULTANT SHALL BE FINAL. REFER TO MEDIATION AND ARBITRATION PROCESSES IN CCDC 2 IF THE CONTRACTOR DISPUTES THE DECISION OF THE CONSULTANT.

### 1.18 MEASUREMENTS

- DO NOT SCALE DRAWINGS. USE DIMENSIONS IDENTIFIED ON DRAWINGS ONLY.
- .2 PARTITIONS ARE DIMENSIONED FROM FACE OF GYPSUM BOARD TO FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED. DIMENSIONS MARKED "CLEAR" OR "HOLD" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES, TILES, FRP, ETC.
- .3 ALL OPENINGS AND DIMENSIONS LABELED "HOLD" OR "CLEAR" ARE CRITICAL AND ARE NOT TO BE ADJUSTED WITHOUT WRITTEN CONSENT OF CONSULTANT.
- .4 ALL ELECTRICAL BACK BOXES, FLOOR DRAINS, TRENCH DRAINS, FLOOR SINKS, FIXTURES OR FITTINGS ARE TO BE LOCATED AND POSITIONED IN ACCORDANCE WITH LOCATION INDICATED IN DRAWINGS. REQUEST CLARIFICATION FROM CONSULTANT WHERE LOCATION INFO IS NOT PROVIDED. IF NO SUCH REQUEST FOR CLARIFICATION HAS BEEN MADE, THE CONSTRUCTION MANAGER OR CONSULTANT RESERVES THE RIGHT TO RELOCATE THESE BOXES AND THE CONTRACTOR WILL BE

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### RESPONSIBLE FOR THE COSTS AND REPAIRS OF ALL FINISHES RESULTING FROM SUCH RELOCATIONS.

.5 DIMENSIONS ARE AS FOLLOWS, UNLESS OTHERWISE NOTED .1 TO INSIDE FACE OF JAMB AT DOORS & OTHER

- OPENINGS .2 TO TOP OF FINISHED FLOORS TO BOTTOM OF FINISHED CEILINGS
- .4 TO INSIDE FACE OF FINISHED MILLWORK

### 1.19 CONFLICTING INFORMATION

.1 IN CASE OF CONFLICT IN INFORMATION PROVIDED EEN DRAWINGS OR BETWEEN DRAWINGS AND FICATIONS, NOTIFY CONSULTANT FOR WRITTEN FICATION PRIOR TO PROCEEDING WITH TRUCTION.

> CONTRACTOR WILL BE RESPONSIBLE FOR ECTING WORK TO CONSULTANT'S SATISFACTION AT CONTRACTOR'S OWN COST IF THE CONTRACTOR NOT SEEK SUCH CLARIFICATION PRIOR.

### NG CLARIFICATION DURING CONSTRUCTION

IT WRITTEN REQUEST FOR CLARIFICATION VIA A EST FOR INFORMATION (RFI) DOCUMENT. SUBMIT CONSULTANT.

RACTOR SHALL NOT PROCEED WITH WORK ON THE CTED PORTION UNTIL THE CONSULTANT PROVIDES CTION AND CLARIFICATION IN WRITING.

RE TO NOTIFY THE CONSULTANT PRIOR TO EEDING WITH RELATED WORK WILL RESULT IN THE RACTOR CORRECTING SUCH ITEMS AT THE RACTOR'S EXPENSE.

### RINTENDENT

RACTOR SHALL PROVIDE A SITE SUPERINTENDENT IS PROJECT.

ITE SUPERINTENDENT SHALL BE PRESENT ANY TIME ( IS CARRIED OUT ON THE SITE.

ERSON DESIGNATED BY THE CONTRACTOR AS THE SUPERINTENDENT SHALL REMAIN FOR THE FULL TION OF THE WORK AND NO SUBSTITUTION IS ITTED WITHOUT CONSENT OR REQUEST BY THE

SUPERINTENDENT SHALL BE THE DESIGNATED GENCY CONTACT FOR THE CONTRACTOR UNLESS TERNATE CONTACT AGREEABLE TO THE OWNER IS IDED.

### CTION MEETINGS

UCT AND CHAIR WEEKLY ON-LINEMEETINGS WITH R AND CONSULTANT. PREPARE MINUTES OF INGS AND CIRCULATE TO ATTENDEES WITHIN 24 HOURS OF MEETING.

.2 CONDUCT AND CHAIR SEPARATE WEEKLY MEETING WITH SUB-TRADES.

### 1.23 PROGRESS REPORTING DURING CONSTRUCTION

.1 SUBMIT WEEKLY ANNOTATED PROGRESS PHOTOGRAPHS OF WORK TO THE OWNER AND CONSULTANT.

.2 SUBMIT UPDATED DETAILED PROJECT SCHEDULE ON A MONTHLY BASIS. INCLUDE STRATEGIC PLAN TO MAKE UP SLIPPAGE IN THE PROJECT SCHEDULE.

### 1.24 STANDARDS, CODES AND PERMITS

.1 BUILDING PERMIT HAS BEEN APPLIED AND PAID FOR BY THE OWNER. PICK UP BUILDING PERMIT WHEN ISSUED BY THE ISSUING AUTHORITY IF REQUESTED BY THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL OTHER PERMITS RELATING TO THE CONSTRUCTION OF THIS PROJECT AND SHALL INCLUDE FOR SUCH IN THE BID PRICE.

.2 GIVE ALL NOTICES AND COMPLY WITH ALL NATIONAL, PROVINCIAL AND LOCAL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS BEARING ON THE CONDUCT OF THE WORK. IF THE CONTRACTOR OBSERVES THAT THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE THEREWITH, PROMPTLY NOTIFY THE CONSULTANT NECESSARY CHANGES SHALL BE MADE IN ACCORDANCE WITH THE GENERAL CONDITIONS.

.3 WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF GOVERNING STANDARDS AND CODES AND THE AUTHORITIES HAVING JURISDICTION. IF THE CONTRACTOR KNOWINGLY PERFORMS ANY WORK WHICH IS CONTRARY TO SUCH LAWS, ORDINANCES, CODES, RULES AND REGULATIONS, HE SHALL PROMPTLY MAKE CHANGES AS REQUIRED TO COMPLY THEREWITH AND BEAR ALL COSTS ARISING THEREFROM.

.4 CONFLICTS: IN CASE OF CONFLICTS BETWEEN THE DRAWINGS AND THE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION, THE MOST RESTRICTIVE REQUIREMENTS SHALL GOVERN. BRING SUCH CONFLICTS TO THE CONSULTANT AND CONSTRUCTION MANAGER IMMEDIATELY FOR DIRECTION.

- .5 WHERE CODES OR REGULATIONS OTHER THAN THOSE LISTED IN THIS SECTION ARE REFERRED TO IN VARIOUS SECTIONS OF THE SPECIFICATIONS AND DRAWINGS, IT SHALL BE UNDERSTOOD THAT THEY APPLY TO THIS WORK AS FULLY AS IF CITED HEREIN.
- .6 LOADS AND CODE RESTRICTIONS FOR ALL DESIGN CONSIDERATIONS SHALL CONFORM TO ALL GOVERNING CODES.

### 1.25 TEMPORARY FACILITIES AND UTILITIES

- PROVIDE AND MAINTAIN ALL TEMPORARY FACILITIES, CONTROLS, AND CONSTRUCTION AIDS UNTIL THEY ARE REPLACED BY PERMANENT WORK, OR UNTIL PROJECT SUBSTANTIAL PERFORMANCE, AS APPROPRIATE.
- COSTS FOR TEMPORARY FACILITIES, UTILITY SERVICES, CONTROLS, AND CONSTRUCTION AIDS AND SIMILAR ITEMS SPECIFIED IN THIS SECTION OR AS REQUIRED TO PERFORM THE WORK ARE TO BE INCLUDED IN THE BID AND ARE NOT CHARGEABLE TO THE OWNER. AND WILL NOT BE ACCEPTED AS A BASIS OF CLAIMS FOR A SUBSEQUENT CHANGE ORDER.

### .3 SANITARY FACILITIES

- CONTRACTOR MAY USE EXISTING BUILDING WASHROOM FACILITIES ON THE GROUND, 9<sup>TH</sup> AND 10<sup>TH</sup> FLOORS SUBJECT TO OWNER APPROVAL.
- MAINTAIN WASHROOM FACILITIES IN TIDY CONDITION AT ALL TIMES.
- .3 PROVIDE TOILET TISSUE, PAPER TOWELS, PAPER CUPS, CLEANING COMPOUNDS AND SIMILAR MATERIALS.
- .4 CONTRACTOR SHALL ENGAGE AND PAY FOR SERVICES OF A PROFESSIONAL CLEANING COMPANY TO CLEAN THESE FACILITIES ON A DAILY BASIS. FAILURE TO DO SO WILL RESULT IN BACK CHARGES BY THE LANDLORD TO THE CONTRACTOR FOR SUCH SERVICES UNLESS THE CONTRACTOR REACHES AN ALTERNATE ARRANGEMENT WITH THE LANDLORD.
- .4 TEMPORARY POWER
- POWER LOCATED WITHIN THE AREA OF WORK IS PROVIDED TO THE CONTRACTOR AS IS. THE OWNER WILL PAY FOR THE ELECTRICAL ENERGY REQUIRED FOR TEMPORARY LIGHTING AND POWER. THE CONTRACTOR IS REQUIRED TO HIRE AN ELECTRICIAN LICENSED IN THE PROVINCE OF ONTARIO TO PROVIDE TEMPORARY FEEDERS AND PANELS OF SUFFICIENT CAPACITY TO FURNISH ELECTRIC LIGHT AND POWER WHILE UNDER CONSTRUCTION.
- OBTAIN APPROVAL FROM LANDLORD FOR PROPOSED TEMPORARY POWER INSTALLATION. PROVIDE TO SUIT CONSTRUCTION REQUIREMENTS.
- .5 TEMPORARY LIGHTING .1 PROVIDE ADEQUATE ILLUMINATION LEVEL REQUIRED FOR A SAFE WORKING ENVIRONMENT
- .2 EXISTING LAY-IN GRID CEILING LIGHT FIXTURES MAY BE USED SUBJECT TO OWNER APPROVAL. IF USED, MAKE GOOD ANY DAMAGE TO FIXTURES AND THOROUGHLY CLEAN ALL FIXTURES UPON COMPLETION OF THE WORK.
- .3 DO NOT USE ANY NEW OR EXISTING ACCENT OR RECESSED LIGHT FIXTURES FOR TEMPORARY LIGHTING. FULLY PROTECT THESE FIXTURES FROM DUST.
- .6 TEMPORARY LOADING, BRACING AND SHORING .1 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING THE WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION AND/OR MISALIGNMENT IN ACCORDANCE WITH APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.
- .2 WORK AND/OR CONSTRUCTION OPERATIONS SHALL NOT UNDERMINE THE STRUCTURAL INTEGRITY OF THE BUILDING. CONTRACTOR SHALL ENGAGE AND PAY FOR A PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE PROVINCE OF THE WORK TO **REVIEW ALL LOADING ASSOCIATED WITH PROPOSED** CONSTRUCTION PROCESSES, MATERIALS AND EQUIPMENT.
- .3 DO NOT OVERLOAD EXISTING STRUCTURE. ENGAGE AND PAY ENGINEER TO DESIGN ANY TEMPORARY BRACING, SHORING, STRUCTURES OR SUPPORTS TO FACILITATE CONSTRUCTION OPERATION.

### 1.26 CUTTING AND DRILLING:

- .1 CUTTING, CHASING, DRILLING OR DEMOLITION OF WALLS, SLABS, ETC. REQUIRING THE USE OF JACK HAMMERS OR OTHER HEAVY HAND OR POWER TOOLS SHALL BE PERFORMED AFTER REGULAR BUSINESS HOURS ON AN OVERTIME BASIS IF NECESSARY, UNLESS THE LANDLORD AND ANY AFFECTED TENANTS EXPRESSLY PERMIT IT, IN WRITTEN FORM, TO BE OTHERWISE.
- .2 INCLUDE SCANNING AND X-RAY OF FLOOR SLAB AT ALL CORE LOCATIONS. ALLOW FOR ONE RESCANNING OF ALL FLOOR CORE LOCATIONS.
- .3 ENGAGE PROFESSIONAL ENGINEER LICENCED TO PRACTICE IN THE PROVINCE OF ONTARION TO REVIEW:

- .1 EACH SCAN ON SITE AND PROVIDE APPROVAL TO CORE OR CUT AS APPLICABLE AT THE PROPOSED
- LOCATION. .2 COST OF PROFESSIONAL ENGINEER'S SERVICE TO BE INCLUDED IN BASE BID.

### 1.27 FIRE RATED ASSEMBLIES

.1 MAINTAIN THE INTEGRITY AND CONTINUITY OF EXISTING FIRE SEPARATIONS AND THE FIRE RATING FOR SUCH FIRE SEPARATIONS IMPACTED BY THE WORK

FIRE RESISTANCE RATING FOR EXISTING ASSEMBLIES.

- .1 FLOORS: 2HRS .2 EXIT STAIRS: 2HRS
- .3 SERVICE CHASES:2HRS
- .4 ELEVATOR SHAFTS: 2HRS .2 MAINTAIN INTEGRITY OF NEW ASSEMBLIES WHER
- FIRE RATING FOR SUCH FIRE SEPARATIONS. .3 WHERE A FIRE RESISTANCE CLASSIFICATION IS INDICATED OR REQUIRED FOR CONSTRUCTION, PROVIDE ULC LISTED MATERIALS, ACCESSORIES, SYSTEMS AND APPLICATION PROCEDURES APPROPRIATE FOR THE FIRE RATED CONSTRUCTION
- .4 USE COMBUSTIBLE OF TYPE MATERIALS PERMITTED BY APPLICABLE CODES FOR USE IN NON-COMBUSTIBLE CONSTRUCTION. ALL WOOD SHALL BE FIRE-RETARDANT TREATED.
- .5 PROVIDE ULC LISTED SATIN FINISH CLASS 'A' FIRE RETARDANT COATINGS ON ALL EXPOSED WOOD FINISHES

### 1.28 CONSTRUCTION SAFETY

- .1 THE CONTRACTOR SHALL ACT IN THE ROLE OF "CONSTRUCTOR" AS DEFINED IN THE OSHA AND BE RESPONSIBLE FOR ALL WORKPLACE SAFETY REQUIRED UNDER THE WORKPLACE HEALTH AND SAFETY STANDARDS STIPULATED IN OHSA FOR ALL WORKERS INCLUDING THE OWNER'S VENDORS.
- .2 THE COST FOR ASSUMING THE ROLE OF THE CONSTRUCTOR AND PROVIDING ALL ASSOCIATED WORK PLACE SAFETY ON THIS PROJECT SHALL BE INCLUDED IN THE BID.
- THE CONTRACTOR SHALL ADVISE THE OWNER IN THE BID F THE OWNER'S VENDORS CONTRACTS WILL NEED TO BE ASSIGNED TO THE CONTRACTOR.

### **1.29 HAZARDOUS MATERIALS**

- FULLY FAMILIARIZE ALL WORKERS WITH THE PRESENCE OF DESIGNATED/ HAZARDOUS SUBSTANCE IDENTIFIED IN THE SURVEY PRIOR TO COMMENCING WORK ON THIS PROJECT.
- WORK INCLUDES ABATEMENT OF AFFECTED COMPONENTS.
- .3 REVIEW WITH OWNER WHERE PRESENCE OF DESIGNATED SUBSTANCES SUCH AS ASBESTOS HAS BEEN IDENTIFIED AND WHICH THE WORK WILL LIKELY DISTURB. AWAIT INSTRUCTIONS FROM OWNER.
- .4 IF THE CONTRACTOR ENCOUNTERS HAZARDOUS MATERIALS, & IF REASONABLE PRECAUTIONS WILL BE INADEQUATE TO PREVENT EXPOSURE, FORESEEABLE BODILY INJURY OR DEATH TO PERSONS RESULTING FROM A MATERIAL OR SUBSTANCE ENCOUNTERED ON THE SITE. THE CONTRACTOR SHALL. UPON RECOGNIZING THE CONDITION, IMMEDIATELY STOP WORK IN THE AFFECTED AREA & REPORT THE CONDITION TO THE OWNER IN WRITING.
- COMPLY WITH APPLICABLE ENVIRONMENTAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION PERTAINING TO HAZARDOUS SUBSTANCES.

### 1.30 LIFE SAFETY:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HEALTH AND SAFETY ON THE SITE UNTIL HANDOVER OF PROJECT TO THE OWNER. FULLY COMPLY WITH AND MAINTAIN IN PLACE ALL WORKPLACE HEALTH AND SAFETY REQUIREMENTS AND PROCEDURES LEGISLATED IN THE PROVINCIAL AND LOCAL HEALTH AND SAFETY REGULATIONS GOVERNING THE WORK.
- .2 DO NOT CLOSE OR OBSTRUCT EGRESS WIDTH TO EXITS OR BLOCK ANY EXITS. DO NOT DISABLE OR DISRUPT FIRE OR LIFE SAFETY SYSTEMS WITHOUT 10 BUSINESS DAYS PRIOR WRITTEN NOTICE TO OWNER
- .3 FIRE WATCH BEFORE WORK WITH THE FIRE ALARM ANNUNCIATOR PANEL RELOCATION OR ANY HEAT-GENERATING EQUIPMENT COMMENCES, FURNISH APPROPRIATE & TRAINED PERSONNEL TO SERVE AS FIRE WATCH(ES) FOR LOCATION(S) WHERE WORK IS TO BE PERFORMED. FIRE WATCH PERSONNEL SHALL HAVE THE AUTHORITY TO ENFORCE FIRE SAFETY. STATION FIRE WATCH ACCORDING TO NFPA REQUIREMENTS. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS. COORDINATE SUCH WORK WITH THE

DESIGNATED WITH A FIRE SEPARATION AND THE

ASSEMBLIES REQUIRING THE FIRE RATING.

LANDLORD AND PROVIDE ADDITIONAL MEASURES REQUESTED.

- .4 THE CONTRACTOR SHALL MAINTAIN, FOR THE ENTIRE LENGTH OF THEIR CONTRACT, EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS TO CONFORM TO LOCAL BUILDING CODE REQUIREMENTS AND LANDLORD REQUIREMENTS.
- .5 CONTRACTOR SHALL INSTALL PORTABLE FIRE EXTINGUISHERS PER REQUIREMENTS OF THE BUILDING AND FIRE CODES AND AS REQUIRED BY THE AHJ DURING CONSTRUCTION.
- .6 THE CONTRACTOR SHALL MEET WITH THE FIRE DEPARTMENT TO REVIEW ABOVE PROCEDURES. COMPLY WITH FIRE DEPARTMENT REQUESTS.

1.31 INSPECTIONS BY AUTHORITY HAVING JURISDICTION (AHJ): .1 PRECONSTRUCTION INSPECTIONS: .1 ARRANGE FOR INSPECTION BY THE BUILDING, PLUMBING AND MECHANICAL INSPECTORS ONCE LAYOUT OF PARTITIONS, DRAINS AND ROOFTOP EQUIPMENT (IF APPLICABLE) HAS BEEN COMPLETED.

- .2 DURING THIS INSPECTION, THE CONTRACTOR IS TO REVIEW THE PROJECT SCOPE FOR THE ABOVE COMPONENTS WITH THE INSPECTORS TO CONFIRM THEY ARE IN AGREEMENT WITH THE PROPOSED WORK UPON WHICH THE BUILDING PERMIT WAS SSUED. CONTRACTOR SHALL ADVISE THE CONSULTANT OF ANY DISCREPANCIES BETWEEN <u>THE INSPECTOR'S REQUIREMENTS FROM THAT OF</u> <u>THE CONTRACT DOCUMENTS.</u>
- .3 REPORT ANY DISCREPANCIES BETWEEN THE INSPECTOR'S REQUIREMENTS AND THE DRAWINGS TO THE CONSULTANT IMMEDIATELY.
- .2 INSPECTIONS DURING CONSTRUCTION: .1 ASCERTAIN WITH THE AHJ STAGES DURING CONSTRUCTION IN WHICH SPECIFIC COMPONENTS OF THE WORK REQUIRE AHJS INSPECTIONS.
- .2 MAKE ARRANGEMENTS WITH PRIOR NOTICE REQUIRED BY AHJ AT THE REQUIRED STAGES.
- .3 ARRANGE FOR FRAMING SUBTRADE'S ENGINEER TO REVIEW THE WORK PRIOR TO BOARDING.
- .4 ARRANGE FOR CONSULTANT REVIEW FRAMING, ELECTRICAL, PLUMBING, MECHANICAL PRIOR TO BOARDING OR CONCEALMENT
- .3 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OPENING ANY COVERED WORK PRIOR TO REVIEW BY CONSULTANT OR AHJ AND MAKING GOOD FINISHES AND ASSEMBLIES.
- .4 FINAL INSPECTIONS AND DOCUMENT REQUIREMENTS: .1 UPON COMPLETION OF THE WORK THE CONTRACTOR SHALL NOTIFY THE CONSULTANT TO PREPARE A DEFICIENCY LIST OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK. SUBSTANTIAL PERFORMANCE AND FINAL PAYMENT WILL BE CONTINGENT ON THE COMPLETION OF THESE ITEMS UNDER THE TERMS OF THE OWNER-CONTRACTOR AGREEMENT.
  - .2 THE CONTRACTOR SHALL ARRANGE FOR ALL CONSULTANT SITE REVIEWS AND AHJ INSPECTIONS NECESSARY TO OBTAIN CERTIFICATE OF OCCUPANCY.
  - **REVIEW WITH AHJ ALL DOCUMENTATION REQUIRED** TO BE SUBMITTED PRIOR TO OR AT TIME OF FINAL INSPECTION, A MINIMUM OF 2 WEEKS PRIOR TO OCCUPANCY. INFORM THE CM AND CONSULTANT OF SUCH DOCUMENTATION REQUIREMENT.
- .5 CONTRACTOR TO PROVIDE THE FOLLOWING DOCUMENTS PRIOR TO REQUESTING FINAL REVIEW BY THE CONSULTANT BUT NO LATER THAN ONE WEEK IN
- ADVANCE OF THE TURN OVER DATE .1 GYPSUM BOARD ASSEMBLIES CERTIFICATION (REFER TO DIVISION 9)
- .2 ACOUSTIC PANEL CEILING CERTIFICATION (REFER TO DIVISION 9)
- .3 AIR BALANCING REPORT .4 SPRINKLER CERTIFICATION
- 5 FIRE ALARM VERIFICATION
- ELECTRICAL SAFETY AUTHORITY CERTIFICATION .7 OTHER DOCUMENTS AS STIPULATED IN MECHANICAL AND ELECTRICAL DRAWINGS
- .6 COMPLIANCE LETTERS OR APPLICABLE SCHEDULES REQUIRED FROM THE CONSULTANT BY THE AHJ WILL ONLY BE PROVIDED BY THE CONSULTANT ONCE SUBMISSION OF THE ABOVE REFERENCED DOCUMENTS HAVE BEEN MADE AND THE DEFICIENCIES IDENTIFIED IN CONSULTANT'S SITE REVIEW REPORTS HAVE BEEN SATISFACTORILY REMEDIED

**1.32 EXECUTION AND LAYOUT OF WORK** 

- .1 EXERCISE PROPER PRECAUTIONS TO VERIFY ALL EXISTING CONDITIONS AND LAYOUT OF WORK, LAYOUT ALL PARTITIONS TO CONFIRM COMPLIANCE WITH ALL DIMENSIONS ON THE DRAWINGS.
- .2 REPORT ANY DISCREPANCIES TO CONSULTANT AND AWAIT INSTRUCTIONS PRIOR TO INSTALLATION OF

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PARTITIONS. CONTRACTOR IS RESPONSIBLE FOR ANY ERROR RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTIONS. ANY SUCH ERROR WILL NOT BE CONSIDERED AS A BASIS FOR EXTRA COMPENSATION.

- .3 CONTRACTOR SHALL PROMPTLY NOTIFY CONSULTANT IF SUBSURFACE OR OTHERWISE CONCEALED PHYSICAL CONDITIONS DIFFER MATERIALLY FROM THOSE INDICATED IN THE CONTRACT DOCUMENTS, OR DIFFER FROM THOSE CONDITIONS ORDINARILY FOUND TO EXIST & GENERALLY RECOGNIZED AS INHERENT IN CONSTRUCTION ACTIVITIES OF THIS NATURE.
- .4 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL ON-SITE CONDITIONS. BEGINNING OF INSTALLATION MEANS ACCEPTANCE OF EXISTING SUBSTRATE AND SITE CONDITIONS.
- .5 LAYING OUT
- .1 LAYOUT ALL PARTITIONS ON SLAB WITH CHALK TO CONFIRM ALL REQUIRED DIMENSIONS ARE ACHIEVED PRIOR TO FRAMING. REPORT DISCREPANCIES TO CONSULTANT AND AWAIT INSTRUCTIONS BEFORE FRAMING.
- .2 AT THE COMMENCEMENT OF CONSTRUCTION, THE GC SHALL SITE VERIFY PROPOSED DRAIN AND PLUMBING RUNS DO NOT INTERFERE WITH EXISITNG BUILDING SYSTEMS.
- .3 PRIOR TO FRAMING, LOCATE ALL FLOOR CORES DRAINS. SCAN AND/ OR X-RAY THE FLOOR SLAB AT THESE LOCATIONS PER STRUCTURAL ENGINEER'S REQUIREMENTS.
- .4 CARRY OUT SCANNING AND X-RAY AFTER HOURS IN ACCORDANCE WITH THE LANDLORD'S REQUIREMENTS. REQUEST STRUCTURAL ENGINEER TO REVIEW ACCEPTABILITY OF PROPOSED CORE LOCATION AND SIZE. PROVIDE MINIMUM 72 HOURS ADVANCE NOTICE. COMMENCE WITH FRAMING ONLY AFTER RECEIVING ENGINEER'S APPROVAL. AWAIT INSTRUCTIONS FROM CONSULTANT PRIOR TO FRAMING IF REQUIRES RELOCATION OF CORE(S).
- .5 ENGAGEMENT OF STRUCTURAL ENGINEER. CONFIRM WITH OWNER IF STRUCTURAL ENGINEER TO BE ENGAGED DIRECTLY BY CONTRACTOR.
- .6 NOTIFY TO CONTRACTOR IS RESPONSIBLE FOR LAYING OUT AND CO-ORDINATING THE WORK WITH ALL SUBTRADES TO ENSURE INSTALLATION OF THE WORK OF A SPECIFIC TRADE WILL NOT INTERFERE WITH THE WORK OF ANOTHER TRADES ABILITY TO ACHIEVE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING SUCH WORK AT THEIR OWN COST DUE TO NOT ACHIEVING DESIGN INTENT AS A RESULT OF NOT HAVING COORDINATED THE LAYOUT AND INSTALLATION OF THE AFFECTED TRADES.
- REPORT DISCREPANCIES TO CONSULTANT AND AWAIT INSTRUCTIONS.
- .6 ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE, AND IN PROPER ALIGNMENT.
- .7 FOR BUILT-IN WORK SURROUNDED BY PARTITIONS, INCLUDING BUT NOT LIMITED TO APPLIANCES AND FURNISHINGS, CONTRACTOR SHALL CONFIRM THAT FLOOR SLAB DOES NOT VARY BY MORE THAN 1/4" IN 20'-0". NOTIFY CONSULTANT IF THIS TOLERANCE IS EXCEEDED.
- .8 DIMENSIONS SHOWN AS V.I.F. SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD BY LAYING OUT THE PARTITIONS. CONTRACTOR SHALL NOTIFY THE CONSULTANT OF ANY DISCREPANCY IN DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK IN THAT AREA.
- .9 METHODS OF CONSTRUCTION
- .1 NEITHER THE OWNER NOR THE CONSULTANTS WILL HAVE CONTROL OVER, BE IN-CHARGE OF, OR BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, THE CONTRACTOR'S FAILURE TO PERFORM THE WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION DRAWINGS OR CONTRACT, OR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES OR ANY OTHER PERSONS OR ENTITIES PERFORMING PORTIONS OF THE WORK.
- .10 WORK NOT PARTICULARLY DETAILED, NOTED OR SPECIFIED, SHALL BE CONSTRUCTED TO BE THE SAME AS SIMILAR PARTS THAT ARE DETAILED. NOTED OR SPECIFIED.
- .11 THE GENERAL CHARACTER OF DETAIL WORK IS SHOWN ON THE CONTRACT DOCUMENTS. SUBSEQUENT CLARIFICATIONS MAY BE MADE BY ADDITIONAL LAYOUTS OR LARGE SCALE OR FULL SIZE DETAILS.
- .12 THE CONTRACTOR SHALL, IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, APPLY, INSTALL, CONNECT, ERECT, CLEAN AND/OR CONDITION MANUFACTURED ARTICLES, MATERIALS AND/OR EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF CONFLICT BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE

CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE CONSULTANT BEFORE PROCEEDING.

### 1.33 CO-ORDINATION

- CONTRACTOR IS FULLY RESPONSIBLE FOR COORDINATING THE WORK OF THIS CONTRACT INCLUDING SCHEDULING, SUBMITTALS, WORK AND OTHER ACTIVITIES INCLUDED IN VARIOUS SECTIONS TO ASSURE EFFICIENT AND ORDERLY SEQUENCE OF INSTALLATION OF INTERDEPENDENT CONSTRUCTION ELEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ACTUAL INSTALLED LOCATION AND INTERFACE OF WORK, AND TO MAKE PROVISIONS TO ACCOMMODATE ITEMS SCHEDULED FOR LATER INSTALLATION.
- .2 THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK BY OWNER'S VENDORS INCLUDING BUT NOT LIMITED TO, TELEPHONE, DATA AND "OWNER'S VENDORS" ITEMS. CONTRACTOR SHALL COORDINATE EXACT LOCATIONS AND SHALL DO THE CUTTING, FITTING AND PATCHING REQUIRED TO RECEIVE THE WORK OF OTHERS AS SHOWN OR REASONABLY IMPLIED BY THE DRAWINGS AND SPECIFICATIONS.
- .3 THE CONTRACTOR SHALL CONTACT LOCAL UTILITY COMPANIES TO VERIFY ALL ELEVATIONS, SIZES, LOCATIONS AND CONNECTION POINTS FOR ALL UTILITIES AFFECTED BY THIS PROJECT. THE OWNER SHALL COORDINATE AND OBTAIN ALL APPLICATIONS FOR, AND ENSURE ALL UTILITIES ARE TURNED ON PRIOR TO COMPLETION OF WORK.
- WHERE INSTALLATION OF ONE COMPONENT DEPENDS ON INSTALLATION OF OTHER COMPONENTS BEFORE OR AFTER ITS OWN INSTALLATION. SCHEDULE ACTIVITIES IN THE SEQUENCE REQUIRED TO OBTAIN EFFICIENT INSTALLATION WITH THE LEAST AMOUNT OF ALTERATIONS, OR CUTTING AND PATCHING, TO COMPLETED WORK.
- .5 THE CONTRACTOR SHALL BE RESPONSIBLE TO UNCOVER WORK COMPLETED IN ORDER TO INSTALL ILL-TIMED WORK, AT NO ADDITIONAL COST TO THE OWNER.
- .6 THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXTENT, NATURE, AND SCOPE OF WORK DESCRIBED IN THE CONTRACT DOCUMENTS AND WILL COORDINATE WITH THE LANDLORD OR LANDLORD'S REPRESENTATIVE, THE INTERFACING OF THE LANDLORDS WORK AND THE WORK SHOWN AND DESCRIBED IN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE AT THEIR EXPENSE TO MAINTAIN ALL AREAS OF THE CONSTRUCTION SITE, INCLUDING THOSE AREAS NIC AND OTHER TENANT SPACES AND IS RESPONSIBLE FOR ALL REPAIRS, CLEANING, AND REPLACEMENT CAUSED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR. IF CONTRACTOR'S FAILURE TO COMPLETE THE REPAIRS IN A TIMELY FASHION, THEY WILL BE DONE SO BY A CONTRACTOR SELECTED BY THE OWNER'S REPRESENTATIVE AND BACK CHARGED ACCORDING TO THE PROJECT. TIMELY FASHION CAN INCLUDE, BUT NOT LIMITED TO ANY AMOUNT OF TIME, WHICH WILL DISRUPT THE OPERATION OF A TENANT'S WORK PLACES, BUILDING OPERATIONS, ACCESS, SAFETY OR HEALTH RISK, ETC.

### 1.34 PROTECTION:

- EXERCISE CARE DURING THE WORK TO ASSURE THAT THE BUILDING AND TENANT AREAS ARE PROTECTED FROM DAMAGE THAT COULD OCCUR BECAUSE OF THIS WORK. CONTRACTOR SHALL PROVIDE PROTECTION FOR EXISTING AREAS AND NEW WORK AREAS ANY DAMAGES DUE TO THIS WORK OR ACCIDENTS SHALL BE REPAIRED, REPLACED. OR PATCHED AT THE CONTRACTOR'S SOLE EXPENSE. CONTRACTOR SHALL PROVIDE DUST PROOF BARRICADES AROUND ALL AREAS OF NEW WORK AS NECESSARY TO PROTECT ADJACENT TENANT AREAS FROM DAMAGE.
- PROTECT ALL CONSTRUCTED ASSEMBLIES AND MATERIALS TO BE INCORPORATED INTO THE WORK FROM DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING GOOD SUCH DAMAGE TO THE SATISFACTION OF THE OWNER AND THE CONSULTANT'S SATISFACTION.

### 1.35 MATERIALS

.1 ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY ASPECT UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS, EQUIPMENT AND ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS UNLESS NOTED OTHERWISE.

### 1.36 PARKING

NO PARKING WILL BE PROVIDED BY CAMH ON THE PREMISES. CONTRACTOR, SUB TRADES, SUPPLIERS AND THEIR EMPLOYEES ARE RESPONSIBLE FOR THEIR OWN PARKING AND ASSOSIATED COSTS.

### 1.37 SUBMITTALS GENERAL

- .1 SUBMIT DOCUMENTS AND SAMPLES REQUESTED IN
- THE SUBMITTAL SCHEDULE .2 ALLOW THE FOLLOWING TIME IN THE CONSTRUCTION SCHEDULE FOR CONSULTANT REVIEW:
- .1 SHOP DRAWINGS: 5 BUSINESS DAYS .2 SAMPLES: 2 BUSINESS DAYS
- .3 DO NOT PROCEED WITH FABRICATION OR INSTALLATION UNTIL COMMENT IS RECEIVED FROM CONSULTANT FOR ITEMS SUBMITTED.

### .4 THE CONTRACTOR SHALL PROVIDE THE WORK IN ACCORDANCE WITH THE COMMENTS RECEIVED FROM THE CONSULTANT'S REVIEW. THE CONTRACTOR SHALL MAKE GOOD IN A MANNER ACCEPTABLE TO THE CONSULTANT FOR DEVIATIONS FROM COMMENTS INDICATED ON THE REVIEWED SHOP DRAWINGS.

.2 CONSTRUCTION SCHEDULE WITHIN ONE WEEK OF THE AWARD OF THE CONTRACT THE CONTRACTOR SHALL SUBMIT AN ITEMIZED CONSTRUCTION PROGRESS SCHEDULE.

.2 THE SCHEDULE SHALL INCLUDE ANTICIPATED DELIVERY DATES OF ALL LONG LEAD TIME MATERIALS.

.3 REVISE SCHEDULE TO INCORPORATE OWNERS AND CONSULTANT'S COMMENTS.

.4 UPDATE SCHEDULE ON A BI-WEEKLY BASIS AS CONSTRUCTION PROGRESSES AND SUBMIT TO OWNER AND CONSULTANT. IDENTIFY SCHEDULE SLIPPAGE AND HOW LOST TIME WILL BE MADE UP.

### .3 SAMPLES .1 SUBMIT BY COURIER TO THE CONSULTANT FOR REVIEW TWO (2) 12"X12" OR IN SIZE APPROPRIATE SAMPLES FOR EACH MATERIAL, COLOUR AND FINISH SPECIFIED FOR WHICH SAMPLES ARE REQUESTED IN THE SUBMITTAL SCHEDULE AND IN MECHANICAL AND ELECTRICAL DRAWINGS.

### .4 SHOP DRAWINGS:

.1

.1 THE CONTRACTOR SHALL SUBMIT IN PDF FORMAT TO THE CONSULTANT FOR REVIEW AND COMMENT THE SHOP DRAWINGS REQUESTED IN THE SUBMITTAL SCHEDULE AND IN MECHANICAL AND ELECTRICAL DRAWINGS.

.5 MOCK-UPS

- .1 PROVIDE MOCK-UPS FOR SYSTEM COMPONENTS AS INDICATED IN SUBMITTAL SCHEDULE. .2 ERECT MOCK-UPS WHERE DIRECTED BY
- CONSULTANT. .3 APPROVED MOCKUPS WILL FORM THE ACCEPTABLE
- STANDARD OF WORK AND WHERE PERMITTED BY THE CONSULTANT, MAY BE INCORPORATED INTO THE FINAL CONSTRUCTION.
- .4 REJECTED MOCK-UPS SHALL BE DISMANTLED AND REDONE UNTIL ACCEPTED BY CONSULTANT.

### .6 SUBMITTAL SCHEDULE

.1 THE TABLE BELOW ARE THE MINIMUM PRODUCT / SYSTEM SUBMISSION REQUIREMENTS FOR THE ARCHITECTURAL COMPONENTS ON THIS PROJECT.

.2 REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL DWGS AND SPECIFICATIONS FOR ADDITIONAL SUBMISSION REQUIREMENTS.

### .3 REFER TO TRADE SECTIONS AND DRAWINGS FOR ADDITIONAL PRODUCT / SYSTEM SUBMISSION REQUIREMENTS.

.4 CONTRACTOR'S PRE-REVIEW:

- .1 REVIEW ALL SHOP DRAWINGS, PRODUCT DATA AND SAMPLES:
- .2 PRIOR TO SUBMISSION TO CONSULTANT,
- VERIFY AND MARK-UP AS FOLLOWS: .1 PROPER TITLE, ORIGINAL DATE, DRAWING
- NUMBER (WHICH SHALL BE CHANGED IF RESUBMITTED). .2 REVISION NUMBERS AND DATES.
- DESIGNATION OF PROJECT CONTRACTOR, SUBCONTRACTOR AND/OR SUPPLIER.
- .3 IDENTIFY ERRORS, INCONSISTENCIES, AND OMISSIONS DISCOVERED IN THE CONTRACT DOCUMENTS AND FIELD CONDITIONS MUST BE REPORTED AT ONCE TO THE CONSULTANT.
- .4 PROMPTLY REPORT TO THE CONSULTANT INFORMATION THAT ANY DESIGN. PROCESS, OR PRODUCT INFRINGES ON A PATENT.
- .5 NAMES OF SUBCONTRACTOR(S) AND SUPPLIER(S). INCLUDE NAME(S) OF CONTACT PERSON(S), ADDRESS, TELEPHONE AND FAX NUMBER(S).

PRODUCT	PRODUCT DATA	SHOP DWGS	SAMPLES	MOCK UP
DOORS AND FRAMES	YES	YES	NO	NO
FIRE STOPPING	YES- SEE NOTE 1	NO	NO	NO
DOOR HARDWARE	YES	YES – HDWR SCHED ULE	NO	NO
GLAZING FILM	YES	NO	YES	NO
CARPET TILES	YES – SEE NOTE 2	NO	YES	NO
RESILIENT SHEET VINYL	YES	NO	YES	NO
VCT	YES	NO	YES	NO
PAINT	YES	NO	YES -PAINT DRAW DOWNS EA	NO

			COLOUR	
BLINDS	YES	NO	YES	NO
AIR DIFFUSERS AND GRILLES	YES	YES	YES - COLOUR SAMPLE	NO
light Fixtures	YES	YES	NO	NO

- NOTE 1: ULC LISTING INCLUDING MANUFACTURER'S SPECIAL INSTALLATION REQUIREMENTS. PROVIDE LISTING FOR EACH TYPE OF
- APPLICATION CONDITION NOTE 2: INCLUDE TRANSITION STRIPS AND BASE CAP
- NOTE 3: MILLWORK HARDWARE ONLY
- NOTE 4: PLASTIC LAMINATE ONLY

### 1.38 CLOSEOUT

- .1 DELIVER CLOSE OUT PACKAGE TO OWNER IN A SINGLE PACKAGE IN A SINGLE PACKAGE AND INCLUDE (3) THREE ORIGINAL BOUND HARD COPIES AND (1) DIGITAL SET
- .2 INCLUDE THE FOLLOWING CLOSEOUT DOCUMENTS: WARRANTY
  - BUILDING PERMIT
- OCCUPANCY PERMIT
- CERTIFICATES OF APPROVAL FROM AHJ CONSULTANT'S REVIEWED SHOP DRAWINGS
- PRODUCT CUT SHEETS
- .7 AS-BUILT DRAWINGS FOR ALL DISCIPLINES IN FULL SIZE HARDCOPY AND SCANNED PDF FORMAT ON DVD OR FLASH DRIVE
- MSDS SHEETS, OWNERS OPERATIONS AND MAINTENANCE MANUALS AND MAINTENANCE SCHEDULES.
- .3 STORE MAINTENANCE MATERIALS SPECIFIED AT LOCATION DESIGNATED BY THE OWNER.

### 1.39 WARRANTY

- .1 PROVIDE STANDARD ONE YEAR WARRANTY ON ALL WORK AND MATERIALS AGAINST DEFECTS IN DESIGN, PROVIDE EXTENDED WARRANTY FOR WORKMANSHIP AND MATERIALS AS INDICATED IN TECHNICAL SECTIONS.
- .2 WARRANTY COMMENCES FROM DATE OF SUBSTANTIAL PERFORMANCE. SUBSTANTIAL PERFORMANCE SHALL BE AS DEFINED IN THE CONSTRUCTION LIEN ACT.
- .3 CORRECT ALL DEFECTS OCCURRING IN THE WARRANTY PERIOD TO THE SATISFACTION OF THE OWNER AT NO COST TO THE OWNER.

### **1.40 DEFECTIVE WORK**

.1 DEFECTIVE WORK SHALL BE REPLACED, REWORKED AND/OR REFINISHED BY THE CONTRACTOR TO THE APPROVAL OF THE CONSULTANT AT NO ADDITIONAL COST TO THE OWNER FOR THE DURATION OF THE WARRANTY PERIOD.

### 1.41 CLEANING:

- .1 THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS OR BY OTHER CONTRACTORS UNDER SEPARATE CONTRACTS. CONTRACTOR SHALL CONFINE HIS OPERATIONS FOR REMOVAL TO SUCH METHODS AS MAY BE AGREEABLE WITH THE LANDLORD. PREMISES TO BE SWEPT CLEAN ON A DAILY BASIS.
- .2 CARRY OUT A FULL AND THOROUGH FINAL CLEANING IMMEDIATELY PRIOR TO TURNOVER OF PREMISES TO THE OWNER.
- .3 FLOORING:
- .1 THOROUGHLY VACUUM ALL FLOORING WITHIN WORK AREAS.
- MOP ALL SHEET RESILIENT FLOORS CLEAN, WAX AND BUFF ALL EXISTING AND NEW VCT
- FLOORING PRIOR TO TURN OVER TO OWNER.
- .4 KITCHEN 1023 AND 941 .1 THOROUGHLY CLEAN ALL STAINLESS STEEL COUNTERS, WALL AND FLOOR TILES AND ROLLING GRILLES
- .5 LEAVE PREMISES CLEAN, FREE OF DEBRIS, CONSTRUCTION MATERIALS AND EQUIPMENT UPON TURNOVER OF THE PREMISES TO THE OWNER.

### 1.42 AS BUILT RECORD DRAWINGS:

- .1 DURING THE COURSE OF CONSTRUCTION, ACTUAL LOCATIONS SHALL BE INDICATED TO SCALE IN RED INK ON THE DRAWINGS FOR ALL RUNS OF MECHANICAL AND ELECTRICAL WORK INCLUDING CONCEALED DEVIATIONS FROM THE DRAWINGS. REFER TO MECHANICAL AND ELECTRICAL SPECIFICATIONS FOR ADDITIONAL MECHANICAL AND ELECTRICAL AS BUILT RECORD REQUIREMENTS.
- .2 FINAL PAYMENT WILL BE WITHHELD UNTIL AS-BUILT RECORD DRAWINGS AND ALL CLOSEOUT DOCUMENTS HAVE BEEN PROVIDED AND APPROVED BY THE CONSULTANT.

### **DIVISION 2 - DEMOLITION**

### 2.1 SELECTIVE DEMOLITION

.1 CARRYOUT DEMOLITION PER REQUIREMENTS OF THIS SECTION AND AS INDICATED ON ARCHITECTURAL MECHANICAL AND ELECTRICAL DRAWINGS. REFER TO

### SECTION 2.3 ASBESTOS ABATEMENT FOR ASBESTOS CONTAINING MATERIALS AND ITS REMOVAL PROCESS.

DEMOLITION SCHEDULE: .1 PARTITIONS NOTED IN DRAWINGS

### .2 CEILINGS:

- .1 CEILINGS IDENTIFIED IN DRAWINGS. .2 GYPSUM BOARD CEILING AREAS REQUIRED TO ACCOMMODATE INSTALLATION OF M&E SYSTEMS
- .3 ANY METAL CEILING TILES AND PANELS THAT NEEDS TO BE TEMPORARILY REMOVED ARE TO BE REINSTATED. DO NOT THROW OUT ANY METAL CEILING COMPONENTS. TAKE CARE NOT
- TO DAMAGE PANELS AND RETAINER CLIPS .4 REINSTATE INSULATION REMOVED ABOVE METAL CEILING PLENUM WITH NEW FOIL BACK MINERAL WOOL BATT INSULATION LAID ABOVE HEATING LOOP.

### .3 FLOORING AND BASE:

- .1 REMOVE EXISTING CARPET AND BASE WHERE INDICATED ON DWGS. ASSUME IN BID THERE IS ANOTHER LAYER OF ASBESTOS CONTAINING LOORING BELOW. REMOVE THIS ADDITIONAL LAYER OF FLOORING AND MASTIC DOWN TO ULLY EXPOSE CONCRETE FLOOR.
- .2 OTHER FLOORING TYPE AND BASES ELSEWHERE AS NOTED ON DWGS. REFER TO
- .4 BUILT IN MILLWORK AS NOTED ON DWGS.
- .5 EXISTING SIGNS (OTHER THAN ROOM IDENTIFICATION SIGNS), WHITE BOARDS, BULLETIN BOARDS, PICTURES, MIRRORS, HAND SANITIZER STATIONS
- .6 WINDOW BLINDS
- .7 OPENING REQUIRED IN EXISTING WALLS AND PIPE CHASES FOR NEW PLUMBING
- .8 FOR DOORS NOTED IN DRAWINGS TO BE REMOVED, REMOVE DOORS ONLY AND NOT THE FRAME UNLESS SPECIFICALLY NOTED OTHEREWISE. CONFIRM WITH OWNER IF THE REMOVED DOORS AND HARDWARE ARE TO BE SALVAGED AND TURNED OVER. STORE AT LOCATION(S) REQUESTED. IF OWNER DOES NOT REQUIRE IT TO BE SALVAGED, DISPOSE ITEMS.
- .9 OTHER ITEMS AS NOTED ON ARCHITECTURAL MECHANICAL AND ELECTRICAL/ COMM DRAWINGS
- THE SCOPE OF DEMOLITION WORK HAS BEEN INDICATED FOR THE CONTRACTOR'S GENERAL INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE FULL SCOPE, EXTENT, NATURE AND MANNER OF DEMOLITION REQUIRED, THE CONTRACTOR SHALL CARRY OUT A WALKTHROUGH WITH THE DEMOLITION CONTRACTOR DURING THE BID PERIOD TO FULLY REVIEW ALL DEMO SCOPE AND EXISTING SITE CONDITIONS.

### .4 DISCREPANCIES

- .1 CARRYOUT A FULL REVIEW OF DRAWINGS NOTING ITEMS TO BE DEMOLISHED AND CONFIRM WITH AS AS-BUILT CONDITION. <u>REPORT TO CONSULTANT AND</u> AWAIT INSTRUCTION WHERE DISCREPANCIES IN DEMOLITION REQUIREMENTS ARE NOTED BETWEEN DRAWINGS.OR BETWEEN DRAWINGS AND AS-BUILT CONDITIONS. DO NOT CARRYOUT SUCH DEMOLITION UNTIL INSTRUCTIONS ARE RECEIVED.
- .5 NOTIFY THE CONSULTANT OF ANY UNEXPECTED FIELD CONDITIONS PRIOR TO PROCEEDING.

### 2.2 GENERAL REQUIREMENTS

- COMPLY WITH APPLICABLE LOCAL AND PROVINCIAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
- ONLY WORKMEN SKILLED AND KNOWLEDGEABLE IN THEIR RESPECTIVE TRADES SHALL BE EMPLOYED IN THE DEMOLITION.
- NOT WITHSTANDING THE REQUIREMENTS CONTAINED IN THIS SPECIFICATION SECTION, CARRYOUT DEMOLITION WORK IN COMPLIANCE WITH LL REQUIREMENTS INCLUDING BUT NOT LIMITED TO HOURS WHEN SUCH WORK MAY BE CARRIED OUT, DISPOSAL, HOARDING, DUST CONTROL, SITE CLEANLINESS, ETC.
- .4 FURNISH ALL LABOR AND MATERIALS/ EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
- .5 THE CONTRACTOR MAY ENCOUNTER HIDDEN OR UNCOVERED CONDITIONS, NOT SHOWN ON THE DRAWINGS, REQUIRING ADDITIONAL WORK FOR THE COMPLETION OF THIS CONTRACT. SEE ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO THE ARCHITECTURAL WHICH MAY ENCOMPASS FURTHER WORK REQUIRING DEMOLITION AND REMOVAL AND WHICH ARE HEREBY INCLUDED UNDER THIS CONTRACT.

- .1 THE CONTRACTOR SHALL INSPECT THE SITE PRIOR TO PROCEEDING AND VERIFY THE INFORMATION HEREIN SUPPLIED.
- .2 IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE CONSULTANT BEFORE PROCEEDING.
- .6 CONTRACTOR SHALL TAKE SPECIAL CARE TO DEMOLISH ONLY THAT WORK WHICH IS REQUIRED TO BE DEMOLISHED AND NOT TO DISTURB ANY WORK WHICH IS TO REMAIN. IF IN THE COURSE OF DEMOLITION, THE CONTRACTOR DESTROYS OR DISTURBS ANY WORK WHICH IS TO REMAIN, THEN THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, REPAIR OR REPLACE SUCH WORK AS NECESSARY TO SATISFACTION OF LL AND PROJECT MANAGER AS APPLICABLE.
- .7 DUST CONTROL AND GARBAGE REMOVAL .1 ERECT AND MAINTAIN DUSTPROOF BARRIERS AS REQUIRED TO PREVENT THE SPREAD OF DUST. FUMES, SMOKE, ETC. TO OTHER PARTS OF THE FLOOR, ADJACENT SUITES OR BUILDING, UPON COMPLETION OF WORK, REMOVE BARRIERS AND REPAIR SURFACES DAMAGED TO MATCH ADJACENT SURFACES.
- .2 THE CONTRACTOR SHALL REMOVE AND DISCARD ALL DEMOLISHED ITEMS IN A MANNER APPROVED BY THE AUTHORITY(IES) HAVING JURISDICTION.
- .3 PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM DEMOLITION/ CONSTRUCTION AREA, KEEP AREA CLEAN.
- .4 REMOVE FROM THE SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- .5 DEBRIS REMOVAL MUST BE PERFORMED IN ACCORDANCE WITH THE BUILDINGS RULES AND **REGULATIONS FOR SCHEDULING THE USE OF THE** ELEVATOR, REMOVALS, ETC. CONTACT THE BUILDING MGMT. OFFICE TO OBTAIN SCHEDULE FOR THE USE OF THE ELEVATOR(S) PRIOR TO SUBMITTING BID. ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES.
- .8 NO EXISTING SMOKE DETECTOR, PUBLIC ADDRESS SPEAKER, FIRE ALARM BOX OR SIMILAR DEVICE, INCLUDING THE ASSOCIATED WIRING SHALL BE DAMAGED DURING DEMOLITION AND SUBSEQUENT CONSTRUCTION. RELOCATION OF SMOKE DETECTORS, PUBLIC ADDRESS SPEAKERS AND FIRE ALARM EQUIPMENT, NECESSITATED BY NEW CONSTRUCTION, SHALL BE ACCOMPLISHED AS A FIRST PRIORITY, AND PER THE PLANS. NO ACTIVE SMOKE DETECTOR SHALL BE COVERED OR OTHERWISE REMOVED OR USED FOR OTHER THAN ITS INTENDED PURPOSE.
- .9 PROVIDE AND MAINTAIN BARRICADES, LIGHTING AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATION TO PROTECT WORKERS AND OCCUPANTS OF THE BUILDING.
- .10 REMOVE DESIGNATED PARTITIONS. CEILINGS. COMPONENTS, BUILDING EQUIPMENT AND FIXTURES AS REQUIRED FOR NEW WORK.
- .11 REMOVE ALL PARTITIONS SHOWN, INCLUDING DOORS, FRAMES, HARDWARE, SWITCHES, PLUMBING FIXTURES, EXTRANEOUS PIPING, CONTROLS, ETC
- .12 SHORE EXISTING STRUCTURE, WHERE REQUIRED, DURING DEMOLITION AND CONSTRUCTION. DO NOT ENDANGER STRUCTURAL STABILITY OF THE BUILDING OR ANY PORTION OF THE BUILDING, THE SCOPE OF DEMOLITION WORK HAS BEEN INDICATED FOR THE CONSTRUCTION WORKERS AND BUILDING OCCUPANTS.
- .13 DEMOLISH BASE AT ALL WALLS AND COLUMNS U.N.O. WALLS TO PREPARE FOR NEW BASE.
- .14 AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE DISCARDED PROPERLY OR RELOCATED TO STAGING AREA IF DETERMINED TO BE REUSED.
- .15 CONTRACTOR SHALL PROTECT EXISTING WORK TO REMAIN.

### 2.3 ASBESTOS ABATEMENT

- .1 THE FOLLOWING DOCUMENTS PREPARED BY SAFETECH ENVIRONMENTAL FOR THIS PROJECT ARE ISSUED WITH THE BID DOCUMENTS FORMING PART OF THE CONTRACT. .1 DESIGNATED SUBSTANCES AND HAZARDOUS
- BUILDING MATERIALS ASSESSMENT REPORT DATED OCTOBER 27, 2022 .2 HAZARDOUS BUILDING MATERIALS REMOVAL
- SPECIFICATIONS DATED JANUARY 3, 2023
- .2 ASBESTOS ABATEMENT OF MATERIAL AND ASSEMBLIES IDENTIFIED TO BE REMOVED IN THE DRAWIGS IS TO BE INCLUDED IN THE BASE BID AND NOT FROM THE CASH ALLOWANCE FOR ADDITIONAL ASBESTOS ABATEMENT.

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- .3 FOLLOW REMOVAL PROCEDURES IDENTIFIED BY THE DOCUMENTS REFERENCED IN 2.3.1 OF THIS SPECIFICATION SECTION AND AS MAY BE FURTHER DEFINED OR CLARIFIED BY THE ENVIRONMENTAL CONSULTANT
- .4 FACILITATE INSPECTIONS OF THE WORK BY ENVIRONMENTAL CONSUTLANT ENGAGED BY THE OWNER.
- .5 DO NOT PROCEED WITH REMOVALS UNTIL CONTAINMENT FACILITIES HAVE BEEN REVIEWED AND APPROVED BY THE ENVIRONMENTAL CONSULTANT.

### 2.4 CUTTING, CORING, AND PATCHING

- .1 ANY CUTS OR PENETRATIONS IN EXISTING WORK REQUIRED TO ACCOMPLISH NEW WORK SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND SHALL BE DONE NEATLY AND WITHOUT DISTURBANCE OF ANY ADJACENT WORK TO REMAIN.
- .2 PRIOR TO CUTTING OR CORING ANY SUSPENDED CONCRETE SLAB OR ANY CONCRETE BEAMS OR WALLS, INVESTIGATE BY TELEMETRICALLY SCANNING THE ELEMENT FOR PRESENCE OF EMBEDDED SERVICES (PIPING, CABLING, CONDUIT, ETC.), AND FOR LOCATIONS OF REINFORCING STEEL IN SUSPENDED CONCRETE SLABS AND BEAMS.
- .3 A SCAN IS TO BE PERFORMED FOR EACH PROPOSED CUT OR CORE THROUGH FLOOR SLABS AND STRUCTURAL WALLS.
- .4 PROFESSIONAL ENGINEER REVIEW ENGAGE AND PAY FOR THE SERVICES OF A PROFESSIONAL STRUCTURAL ENGINEER LICENSED TO PRACTICE IN THE PROVINCE OF ONTARIO TO PROVIDE THE FOLLOWING SERVICES:
- REVIEW EACH SCAN ON SITE TO CONFIRM THE PROPOSED CUT AND CORING LOCATION IS ACCEPTABLE AND WILL NOT COMPROMISE THE STRUCTURE.
- REVIEW PROPOSED CUTTING OF EXISTING CONCRETE WALL TO WIDEN EXISTING DOOR WAY FOR NEW DOOR 1051 INTO UNISEX WC 1051 DOES NOT COMPROMISE THE INTEGRITY OF THE STRUCTURE.
- .3 PROVIDE A SUMMARY OF THE SCANS REVIEWED. SUBMIT WRITTEN REPORTS TO CONSULTANT SUMMARIZING INVESTIGATIONS AND CONCLUSIONS.
- .4 SEEK CONSULTANT'S DIRECTION WHERE INVESTIGATIONS REVEAL THAT CUTTING OR CORING REQUIRED IN CONTRACT WOULD CUT OR DAMAGE EMBEDDED SERVICES OR CUT OR DAMAGE REINFORCING STEEL IN SUSPENDED CONCRETE SLABS OR BEAMS.
- .5 CONTRACTOR SHALL PROVIDE SCANS OF ALTERNATE LOCATION FOR THEIR ENGINEER'S REVIEW AND APPROVAL. INCLUDE COSTS FOR ANY SUCH ADDITIONAL SCANS IN THE CONTRACT.
- .6 ACCEPTABLE TELEMETRIC SCANNING SYSTEMS INCLUDE X-RAY SCANNING OR GROUND PENETRATING RADAR OF SUSPENDED SLABS, CONCRETE BEAMS AND WALLS.
- .1 MAGNETIC RADIO SCANNERS NOT ACCEPTABLE FOR TELEMETRIC SCANNING.
- .2 THE TERM X-RAYS INCLUDE GAMMA RAY METHODS. AND PROCEDURES THAT USE
- ELECTRICALLY GENERATED X-RAYS. .3 WHERE X-RAYS EMPLOYED:
- .4 PROVIDE OWNER MINIMUM 5 WORKING DAYS ADVANCE NOTICE OF SCANNING TIME IN ORDER TO PROVIDE SUFFICIENT ADVANCE NOTICE TO PERSONAL THAT MAY BE AFFECTED BY THE X-RAY WORK.
- .5 CONFORM TO OWNER'S RADIATION PROTECTION REQUIREMENTS PRIOR TO START OF ANY X-RAY WORK.
- .5 EXECUTE CUTTING AND CORING TO PREVENT DAMAGE TO ALL EMBEDDED SERVICES. MAKE GOOD ALL DAMAGE
  - ARISING FROM CUTTING EMBEDDED SERVICES. EXECUTE CUTTING AND CORING TO PREVENT DAMAGE (CUTTING IN WHOLE OR IN PART) REINFORCING STEEL IN SUSPENDED CONCRETE
- .2 DO NOT COMMENCE CUTTING WITHOUT CONSULTANT'S PRIOR AUTHORIZATION.
- .3 MAKE GOOD DAMAGE ARISING FROM CUTTING REINFORCING STEEL IN SUSPENDED CONCRETE SLABS AND BEAMS. INCLUDE ENGAGEMENT OF PROFESSIONAL ENGINEER TO PROVIDE DESIGN OF REMEDIAL MEASURES.
- .6 CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING GOOD ANY PORTIONS OF THE EXISTING BUILDING ELEMENTS DAMAGED AS A RESULT OF CARRYING OUT THE WORK. REPAIR WORK SHALL BE MADE TO THE SATISFACTION OF THE OWNER.
- .7 CUT ALL EDGES OF MATERIALS DURING DEMOLITION IN A MANNER SUITABLE FOR REPAIR AND MATCHING OF WORK.

### 2.5 COMPONENTS FOR REUSE AND SALVAGE

- DOCUMENT WITH PHOTOS THE CONDITIONS FOR ALL ITEMS SCHEDULED FOR REMOVAL AND REINSTALLATION, PRIOR TO REMOVAL. ANY DAMAGE TO ITEM(S) NOT DOCUMENTED AND DEEMED BY THE CONSULTANT OR OWNER TO HAVE BEEN DAMAGED BY THE WORK SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- .2 ALL METAL CEILING TILES AND PANELS ARE TO BE REUSED. DO NOT DISPOSE.
- .3 ITEMS TO BE REUSED MAY BE LOCATED IN OTHER PARTS OF THE PREMISES IN THE BUILDING OR FROM OTHER SITES OCCUPIED BY THE OWNER. SUCH ITEMS WILL BE INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL SAFELY STORE ALL COMPONENTS TO BE REUSED AND PROTECT FROM DAMAGE.
- .4 CONTRACTOR SHALL MAKE GOOD ALL DAMAGES TO ADJACENT SURFACES IN THE OTHER PREMISES RESULTING FROM REMOVAL OF COMPONENTS THAT ARE TO BE REINSTATED IN THIS PROJECT.
- COMPONENTS TO BE SALVAGED OR REUSED CAREFULLY REMOVE AND STORE ITEMS IDENTIFIED TO BE REUSED.
- .2 CAREFULLY REMOVE AND RETURN TO OWNER ITEMS NOT IDENTIFIED TO BE REUSED:
- .1 CARD READERS, MAG LOCKS, ELECTRIC STRIKES, AND CCTV IDENTIFIED TO BE
- DISCONNECTED AND REMOVED.
- .2 BULLETIN BOARDS .3 OTHER ITEMS AS INDICATED ON
- ARCHITECTURAL, MECHANICAL, ELECTRICAL AND COMM DRAWINGS.
- .3 OWNER RESERVES THE RIGHT TO AS PART OF THE CONTRACT:
- .1 REQUEST ADDITIONAL ITEMS TO BE SALVAGED BY THE CONTRACTOR.
- .2 REQUEST GC TO DISPOSE OF ITEMS PREVIOUSLY IDENTIFIED TO BE SALVAGED
- .4 ITEMS NOT SALVAGED ARE TO BE REMOVED.

### 2.6 NOISY WORK AND WORK HOURS RESTRICTIONS

- NOTIFY AND SEEK APPROVAL FROM OWNER TO CARRYOUT ANY NOISY OR ODOUR CREATING WORK DURING MONDAY-FRIDAY 6AM-6PM. THE OWNER MAY RESTRICT SUCH WORK AT THEIR DISCRETION TO AFTER HOURS OR TO THE WEEKEND.
- .2 UNLESS APPROVED OTHERWISE BY THE OWNER, ALL NOISY WORK SHALL BE CARRIED OUT AFTER HOURS OR ON WEEKENDS SUBJECT TO OWNER APPROVAL. COST FOR SUCH WORK IS TO BE INCLUDED IN THE BID.
- .3 AFTER HOURS IS DEFINED AS MONDAY TO FRIDAY 6PM TO 6AM.
- .4 CAP AND SHUT OFF ALL UNUSED OR RELOCATED UTILITIES PER LANDLORD, CITY AND PROVINCIAL REQUIREMENTS.
- .5 EXITS AND FIRE SEPARATIONS .1 ALL EXITS MUST REMAIN ACCESSIBLE AT ALL TIMES DURING DEMOLITION. AND EGRESS PATHS INCLUDING STAIRWAYS SHALL BE CLEAR OF DEBRIS.
- .2 PROVIDE AND MAINTAIN BARRICADES, LIGHTING AND GUARDRAILS AS REQUIRED BY LL AND APPLICABLE CODES AND REGULATION TO PROTECT WORKERS AND OCCUPANTS OF THE BUILDING.
- .3 WHEN DEMOLITION INTERACTS WITH RATED CONSTRUCTION, USE CAUTION TO MAINTAIN INTEGRITY OF SUCH RATED CONSTRUCTION, PATCH AND REPAIR AS NECESSARY.
- .4 MECHANICAL AND ELECTRICAL DEMOLITION .1 DEMOLISH ALL EXISTING ELECTRICAL/TEL/DATA DEVICES. SWITCHES. U.N.O.
- .2 WHERE BUILDING HAS A FIRE ALARM SYSTEM, SUCH SYSTEM WITHIN THE SUITE SHALL REMAIN IN OPERATION UNTIL NEW FIRE ALARM IS COMMISSIONED. PROVIDE ALL NECESSARY TEMPORARY PROVISIONS TO ENSURE THAT FIRE ALARM PANEL REMAINS FUNCTIONAL FOR ENTIRETY OF PROJECT. REFER TO ELECTRICAL DOCUMENTS FOR FIRE ALARM COMMISSIONING REQUIREMENTS. PROVIDE FIRE WATCH AS NECESSARY. SEEK APPROVAL OF LL FOR FIREWATCH AND MONITOR OTHER AREAS OF THE BUILDING DESIGNATED BY THE LL IMPACTED BY THE TEMPORARY DISRUPTION TO THE FIRE ALARM SYSTEM.
- .3 AT EXISTING FLOOR CORES THAT ARE TO BE ABANDONED, FIRESAFE HOLES AND FILL FOR RATING.
- .4 REFER TO MECHANICAL DEMOLITION DRAWINGS AND SPECIFICATIONS. FOR EXTENT OF DEMOLITION OF ALL EXISTING HVAC DUCTWORK & EQUIPMENT. RE-USE OR RELOCATE ALL ABOVE CEILING DUCTWORK, DIFFUSERS. **GRILLES, SPRINKLER PIPES OR OTHER** EQUIPMENT, AS REQUIRED FOR PROPER

- DISTRIBUTION WITH NEW LAYOUT, UNLESS DIRECTED OTHERWISE.
- .5 REFER TO SPRINKLER DEMOLITION DRAWINGS AND SPECIFICATIONS FOR EXTENT OF DEMOLITION OF ALL EXISTING SPRINKLER LINES AND HEADS.
- REFER TO PLUMBING DEMOLITION DRAWINGS AND SPECIFICATIONS FOR EXTENT OF DEMOLITION OF ALL EXISTING PLUMBING FIXTURE AND PLUMBING LINES U.N.O.
- .7 REFER TO ELECTRICAL DEMOLITION DRAWINGS AND SPECIFICATIONS FOR EXTENT OF DEMOLITION OF ALL EXISTING ELECTRICAL FIXTURE AND WIRING U.N.O.
- .8 THE ELECTRICAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHT AND POWER IN THE SPACE DURING DEMOLITION AND CONSTRUCTION.
- CAREFULLY REMOVE ALL EXISTING LIGHT FIXTURES AND LENSES (WHERE NOTED TO BE REUSED OR RELOCATED) AND STORE IN SAFE PLACE. PROTECT FROM DAMAGE. INSPECT EACH FIXTURE AND REPAIR OR REPLACE PARTS AS REQUIRED. ALL RELOCATED FIXTURES SHALL BE IN FULL OPERATING ORDER. ALL TUBES AND/OR BALLASTS NOT REUSED SHALL BE DISPOSED OF IN A PROPER MANNER.
- .10 ALL EXISTING FLOOR MOUNTED OUTLETS, WHERE NOTED TO BE REMOVED OR RELOCATED, SHALL BE CAPPED OFF AT THE NEAREST JUNCTION BOX, FILL AND LEVEL FLOOR TO ACCEPT NEW FLOOR COVERING. FOR SUSPENDED SLABS, FLOOR PATCH SHALL BE OF CONCRETE FOR FULL DEPTH OF SLAB TO MAINTAIN 2 HOUR RATING OF THE SLAB.
- .11 AT PARTITIONS TO BE REMOVED, REMOVE AND CAP ALL OUTLETS, SWITCHES, WIRES, THERMOSTATS, ETC. BACK TO SOURCE UNLESS PERMITTED OTHERWISE IN DRAWINGS.

**DIVISION 3 - CONCRETE** 

**DIVISION 4 - MASONRY** 

**DIVISION 5 - METALS** 

5.1 (NOT USED)

3.1 (NOT USED)

4.1 (NOT USED)

### **DIVISION 6 - WOODWORK AND CABINETRY**

6.1 CARPENTRY CONTRACTOR TO FURNISH AND INSTALL ALL WOOD BLOCKING AND OTHER WOOD REINFORCING AND BACKING WHERE INDICATED ON THE DRAWINGS OR WHERE REQUIRED FOR ADEQUATE SUPPORT OF NEW WORK INCLUDING BUT NOT LIMITED TO SUPPORT FOR MILLWORK, WASHROOM ACCESSORIES, TOILET AND URINAL PARTITIONS, AND PLUBMING FIXTURE CARRIERS.

.2 ALL WOOD BLOCKING, BACKING AND PLYWOOD SHEATHING SHALL BE FIRE-RETARDANT TREATED WITH ULC LISTED PRODUCT. FIRE RETARDANT TREATED MATERIAL SHALL BEAR ULC APPROVED IDENTIFICATION.

.3 PROVIDE ALL VARIOUS WOOD BLOCKINGS, EDGINGS, NAILERS, FURRING, SHEATHING, FRAMING MEMBERS AS REQUIRED FOR RECEIPT OF VARIOUS FINISHES AND SURFACING MATERIALS, MILLWORK, EQUIPMENT, ETC.

- .4 MATERIAL:
- .1 LUMBER FOR BLOCKING AND NAILERS AS INDICATED OR REQUIRED SHALL BE: HEM FIR, DOUGLAS FIR, EASTERN SPRUCE, EASTERN HEMLOCK, OR SOUTHERN PINE, SURFACED DRIED STUD OR UTILITY GRADE.

.2 WOOD MEMBERS SHALL BE OF SIZES INDICATED ON THE DRAWINGS **OR** OF SIZE REQUIRED BY THE COMPONENT BEING BRACED.

.3 FIRE RETARDANT TREATED WOOD

- .1 ALL WOOD BLOCKING AND PLYWOOD SHALL BE OF FIRE-RETARDANT TREATED WOOD (FRTW) AS DEFINED IN THE NATIONAL BUILDING CODE OF CANADA AND IN COMPLIANCE WITH CAN/CSA 080 SERIES OF STANDARDS, WOOD PRESERVATION.
- MAXIMUM FLAME SPREAD TO BE 25. LUMBER AND PLYWOOD USED SHALL BEAR
- LABEL FROM INDEPENDENT TESTING LABORATORY TO INDICATE THE PRODUCT
- COMPLIANCE AS A FRTW.

### **DIVISION 7 - THERMAL AND MOISTURE PROTECTION**

### 7.1 FIRESTOPPING

.1 SECTION INCLUDES FIRE STOPPING AT FLOOR AND FIRE RATED PARTITIONS.

- .2 RELATED SECTIONS
- .1 GYPSUM BOARD ASSEMBLIES
- **REFER TO DIVISION 23 HVAC AND 26 ELECTRICAL** FOR ADDITIONAL REQUIREMENTS.
- .3 THE REQUIREMENTS OF THIS SECTION SHALL APPLY TO THESE DIVISIONS IN ADDITION TO OTHER FIRE STOPPING REQUIREMENTS STIPULATED IN THESE DIVISIONS.
- .4 IT IS RESPONSIBILITY OF THE CONTRACTOR TO CLEARLY IDENTIFY WITH EACH DIVISION THE FIRE STOPPING WORK TO BE CARRIED OUT BY EACH DIVISION.
- .3 REFERENCES
- .1 ASTM E84-10B STANDARD TEST METHOD FOR SURFACE BURNING CHARACTERISTICS OF BUILDING MATERIALS.
- .2 ASTM E119-10B STANDARD TEST METHODS FOR FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIALS.
- ASTM E814-11A STANDARD TEST METHOD FOR FIRE TESTS OF PENETRATION FIRESTOP SYSTEMS .4 ASTM E1966-07 - STANDARD TEST METHOD FOR FIRE-
- **RESISTIVE JOINT SYSTEMS.** CAN/ULC-S101-07 - STANDARD METHODS OF FIRE
- ENDURANCE TESTS OF BUILDING CONSTRUCTION AND MATERIALS. .6 CAN/ULC-S102-10 - STANDARD METHOD OF TEST FOR
- SURFACE BURNING CHARACTERISTICS OF BUILDING MATERIALS AND ASSEMBLIES.
- .7 CAN/ULC-S115-05 STANDARD METHOD OF FIRE TESTS OF FIRESTOP SYSTEMS.
- .8 FM (FACTORY MUTUAL) FM 4991-2001, APPROVAL STANDARD FOR APPROVAL OF FIRESTOP CONTRACTORS.
- FCIA (FIRESTOP CONTRACTORS INTERNATIONAL ASSOCIATION) - MANUAL OF PRACTICE.
- .10 NFPA 251 STANDARD METHODS OF TESTS OF FIRE ENDURANCE OF BUILDING CONSTRUCTION AND MATERIALS, 2006 EDITION.
- .11 UL 263-2011 STANDARD FOR FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIALS (14TH EDITION).
- .12 UL 1479-2003 STANDARD FOR FIRE TESTS OF THROUGH-PENETRATION FIRESTOPS (3RD EDITION).
- .13 UL 1709-2011 STANDARD FOR RAPID RISE FIRE TESTS OF PROTECTION MATERIALS FOR STRUCTURAL STEEL (4TH EDITION).
- .14 UL 2079-2004 STANDARD FOR TESTS FOR FIRE RESISTANCE OF BUILDING JOINT SYSTEMS (4TH EDITION).
- .15 ULC BUILDING MATERIALS DIRECTORY. .16 WHI (INTERTEK/WARNOCK HERSHEY).
- .4 DEFINITIONS
- .1 FIRESTOPPING (FIRE-SAFING): A SEALING OR STUFFING MATERIAL OR ASSEMBLY PLACED IN SPACES BETWEEN BUILDING MATERIALS TO ARREST THE MOVEMENT OF SMOKE, HEAT, GASES, OR FIRE THROUGH WALL OR FLOOR OPENINGS.
- .5 SYSTEM DESCRIPTION
- FIRESTOPPING SYSTEMS INSTALLED TO RESIST SPREAD OF FIRE AND PASSAGE OF SMOKE AND OTHER GASES AT GAPS AND PENETRATIONS THROUGH FIRE RESISTANCE RATED ROOF, WALL, FLOOR ASSEMBLIES, MATERIALS AND COMPONENTS.
- .2 MATERIALS SHALL BE COMPATIBLE WITH SUBSTRATE TO WHICH IT WILL BE APPLIED AGAINST.
- .6 PERFORMANCE REQUIREMENTS
- MATERIALS, ACCESSORIES AND APPLICATION PROCEDURES LISTED BY WHI, ULC OR TESTED TO CAN/ULC-S115 TO COMPLY WITH BUILDING CODE REQUIREMENTS.
- .2 FIRE RATING REQUIREMENTS OF FIRE STOP
- SYSTEMS: .1 FLOOR DECKS: 2 HRS
- .2 DEMISING PARTITIONS BETWEEN CRU B01 AND
- ADJACENT SPACES
- .3 OTHER AREAS NOTED ON DRAWINGS
- .7 QUALITY ASSURANCE
- .1 WORK OF THIS SECTION SHALL ONLY BE CARRIED OUT BY A FIRM SPECIALIZING IN THE INSTALLATION OF FIRE STOP MATERIALS AND SYSTEMS.
- .8 FIRESTOPPING MATERIALS: CAN/ULC-S101, ASTM E119, ASTM E814 TO ACHIEVE A FIRE RATING AS NOTED IN PERFORMANCE REQUIREMENTS OF THIS SECTION AND ON DRAWINGS.
- .9 EXAMINATION VERIFY OPENING CONFIGURATIONS, PENETRATING ITEMS, SUBSTRATES, AND OTHER CONDITIONS AFFECTING PERFORMANCE OF FIRESTOPPING ARE READY TO RECEIVE THE WORK OF THIS SECTION.

- .2 DO NOT PROCEED WITH INSTALLATION UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
- .10 PREPARATION .1 CLEAN SUBSTRATE SURFACES OF DIRT, DUST, GREASE, OIL, LOOSE MATERIAL, OR OTHER MATTER WHICH MAY AFFECT BOND OF FIRESTOPPING MATERIAL
- .2 REMOVE INCOMPATIBLE MATERIALS WHICH MAY
- AFFECT BOND. .3 INSTALL BACKING, DAMMING MATERIALS TO ARREST
- LIQUID MATERIAL LEAKAGE.
- .11 APPLICATION .1 APPLY PRIMER AND FIRESTOPPING MATERIALS TO MANUFACTURER'S WRITTEN INSTRUCTIONS AND AS REQUIRED BY LISTED ASSEMBLY.
- .2 INSTALL MATERIAL AT WALLS OR PARTITION OPENINGS WHICH CONTAIN PENETRATING SLEEVES, PIPING, DUCTWORK, CONDUIT AND OTHER ITEMS, REQUIRING FIRESTOPPING.
- .3 AT ALL NEW FLOOR DRAINS TO MAINTAIN A 2HR FIRE RATING.

### 7.2 JOINT SEALANTS

- .1 SEALANT TYPE AND SCHEDULE .1 TYPE A (INTERIOR SEALANT FOR APPLICATION IN NON-TILE JOINTS IN WASHROOMS): MILDEW RESISTANT ONE COMPONENT NEUTRAL CURE SILICONE SEALANT: CAN/CGSB-19.22 M89. TREMSIL 200 BY TREMCO OR APPROVED EQUAL
- .2 <u>TYPE B</u> (FOR APPLICATION TO PAINTED NON-MOVING INTERIOR JOINTS): PAINTABLE ACRYLIC LATEX TO CGSB 19 GP 17M. TREMFLEX 834 BY TREMCO.
- .3 <u>TYPE C</u> NOT USED.
- .4 <u>TYPE D</u> (FOR APPLICATION IN JOINTS IN ALL NEW GYPSUM BOARD PARTITIONS): SINGLE COMPONENT, NON-SKINNING, NON-HARDENING SYNTHETIC RUBBER SEALANT CONFORMING TO CAN/CGSB 19.21 M87. TREMCO ACOUSTICAL SEALANT OR APPROVED EQUAL
- .5 <u>TYPE E</u> (FOR APPLICATION IN VERTICAL INSIDE CORNER TILE JOINTS IN ALL WASHROOMS, TRAY WASH AND JANITOR ROOM. 100% SILICONE BY MAPEI MAPESIL T. COLOUR TO MATCH SELECTED GROUT COLOUR.

JOINT TYPE	SEALANT TYPE	SEALANT TYPE
JOINTS BETWEEN PLUMBING FIXTURES AND TILED WALL SURFACES	TYPE A	WHITE
ACOUSTIC PARTITION	TYPE D	DARK GREY
VERTICAL AND HORIZONTAL INSIDE CORNER JOINTS OF TILED SURFACES	TYPE E	TO MATCH SELECTED GROUT COLOUR
ALL OTHER INTERIOR JOINTS EXPOSED TO VIEW	TYPE B	WHITE

- .2 INSTALLATION .1 PERFORM INSTALLATION IN ACCORDANCE WITH ASTM C1193 FOR SOLVENT RELEASE AND LATEX BASE SEALANTS.
  - .2 PERFORM INSTALLATION OF ACOUSTICAL SEALANTS PER ASTM C919 AND AS INDICATED IN SPECIFICATION SECTION 9.1 GYPSUM BOARD ASSEMBLIES.

### **DIVISION 8 - OPENINGS**

- 8.1 DOORS AND HARDWARE
  - .1 THE CONTRACTOR SHALL FURNISH AND INSTALL NEW FLUSH PANEL HM DOORS, FRAMES AND HARDWARE AS SPECIFIED AND DETAILED ON THE DRAWINGS.
- .2 ALL NEW HARDWARE SHALL BE AS SPECIFIED ON THE DRAWINGS AND SPECIFICATIONS. CONTRACTOR SHALL SUBMIT A FINISH HARDWARE SCHEDULE FOR THE CONSULTANT'S REVIEW AND APPROVAL PRIOR TO ORDERING MATERIALS.
- CONCEAL WIRING IN CONDUIT WHERE LOW VOLTAGE WIRING FOR DOOR HARDWARE AND AUTO DOOR OPERATOR DEVICES CANNOT NE CONCEALED IN WALL AND MUST BE SURFACE MOUNTED. ACCEPTABLE PRODUCT: WIREMOLD 500/700 COMPLETE WITH PREFABRICATED ELBOWS AND CONNECTORS AND JUNCTION BOCES. PAINT FINISH TP MATCH COLOUR OF ADJACENT FINISH.
- .4 REFERENCES .1 ALL WORK TO COMPLY WITH LATEST EDITION OF
- REFERENCED STANDARDS. .2 ASTM A653/A653M - SPECIFICATION FOR STEEL SHEET, ZINC COATED (GALVANIZED) OR ZINC IRON ALLOY COATED (GALVANNEALED) BY THE HOT DIP PROCESS.
- .3 ASTM E90 STANDARD TEST METHOD FOR LABORATORY MEASUREMENT OF AIRBORNE SOUND

- TRANSMISSION LOSS OF BUILDING PARTITIONS AND ELEMENTS.
- .4 CSA G40.20-04/G40.21 GENERAL REQUIREMENTS FOR ROLLED OR WELDED STRUCTURAL QUALITY STEEL/STRUCTURAL QUALITY STEEL
- .5 CSA W59 WELDED STEEL CONSTRUCTION (METAL ARC WELDING).
- .6 CANADIAN STEEL DOOR MANUFACTURERS ASSOCIATION (CSDMA), RECOMMENDED DIMENSIONAL STANDARDS FOR COMMERCIAL STEEL DOORS AND FRAMES. .7 CANADIAN STEEL DOOR MANUFACTURERS
- ASSOCIATION (CSDMA), SELECTION AND USAGE GUIDE FOR STEEL DOORS AND FRAMES.
- .8 DHI DOOR HARDWARE INSTITUTE: THE INSTALLATION OF COMMERCIAL STEEL DOORS AND STEEL FRAMES, INSULATED STEEL DOORS IN WOOD FRAMES AND BUILDER'S HARDWARE. .9 NFPA 80 - STANDARD FOR FIRE DOORS AND FIRE
- WINDOWS. .10 NORTH AMERICAN ARCHITECTURAL WOODWORK STANDARDS (NAAWS) – 2017 EDITION, PUBLISHED JOINTLY BY ARCHITECTURAL WOODWORK MANUFACTURERS ASSOCIATION OF CANADA (AWMAC) AND THE WOODWORK INSTITUTE (WI).
- .11 ANSI A135.4 BASIC HARDBOARD.
- .12 ANSI/WDMA I.S. 1A INDUSTRY STANDARD FOR INTERIOR ARCHITECTURAL WOOD FLUSH DOORS

### 8.2 FLUSH WOOD DOORS

- .1 QUALITY ASSURANCE .1 PERFORM WORK IN ACCORDANCE WITH NAAWS QUALITY STANDARD, PREMIUM GRADE.
- .2 FINISH DOORS IN ACCORDANCE WITH NAAWS QUALITY STANDARD, GRADES IDENTIFIED IN SCHEDULE.
- .3 MANUFACTURER: COMPANY SPECIALIZING IN MANUFACTURING THE PRODUCTS SPECIFIED IN THIS SECTION WITH MINIMUM THREE YEARS DOCUMENTED EXPERIENCE.
- .2 DOOR
- .1 FLUSH INTERIOR DOORS: 44 MM (1 3/4 INCHES) THICK; SOLID CORE CONSTRUCTION, NON-FIRE RATED. .2 MANUFACTURE DOORS TO ANSI/WDMA I.S. 1A-13
- EXTRA HEAVY DUTY PERFORMANCE LEVEL.
- .3 CONSTRUCTION: 5 PLY UREA FORMALDEHYDE (UF) FREE CONSTRUCT WITH 5 PLY MATERIALS SECURELY BONDING THE STILES AND RAILS TO THE CORE USING RADIO FREQUENCY METHODOLOGY. ABRASIVE PLANE BONDED CORE MATERIALS PRIOR TO FACE APPLICATION
- .4 SOUND RATING FOR SINGLE DOOR LEAF ASSEMBLY: ASTM E413, MINIMUM STC 35.
- .5 CORE (SOLID, NON-RATED): UF FREE
- PARTICLEBOARD. CORE DENSITY: MIN 20 KG/SQ. M OR HIGHER CROSSBAND: UF FREE 3.2MM (1/8") THICK HIGH
- DENSITY FIBREBOARD (HDF). .8 STILES: STRUCTURAL COMPOSITE LUMBER
- LAMINATED TO HARDWOOD. .9 TOP AND BOTTOM RAILS: STRUCTURAL COMPOSITE LUMBER.
- .10 HIGH PRESSURE DECORATIVE LAMINATE (HPDL) FACING (INTERIOR): NEMA LD-3, GENERAL PURPOSE (HGS) TYPE 107, 1.22MM (0.048") LAMINATED TO 3.2 MM (0.125 INCH) THICK CROSSBAND. COLOUR AND FINISH TO LATER SELECTION FROM WILSON ART'S STANDARD RANGE.
- .11 FACING ADHESIVE: NAAWS TYPE I WATERPROOF, PVA (UF FREE).

### .3 FABRICATION

- .1 FABRICATE NON-RATED DOORS IN ACCORDANCE WITH NAAWS QUALITY STANDARDS REQUIREMENTS. .2 FULLY BOND STILES AND RAILS TO CORE AND ABRASIVE PLANE ASSEMBLED UNIT PRIOR TO
- LAMINATION OF FACES. .3 ASSEMBLE DOORS USING NAAWS TYPE 1 ADHESIVE .4 FACTORY APPLY DOOR FACINGS IN ACCORDANCE WITH NAAWS STANDARDS TO RECEIVE PLASTIC
- LAMINATE FACINGS. .5 PROVIDE BLOCKING REINFORCEMENT ON ALL NON-RATED, AS REQUIRED FOR HARDWARE TO PREVENT THE NEED FOR THROUGH-BOLTING.
- .6 VERTICAL EXPOSED EDGE OF STILES: NON-FIRE RATED: NAAWS TYPE C PLASTIC LAMINATE SAME AS DOOR FACING.
- .7 FIT DOOR EDGE TRIM TO EDGE OF STILES AFTER APPLYING VENEER FACING.
- .8 BOND EDGE BANDING TO CORES
- .9 FACTORY DRILL PILOT HOLES FOR HINGES .10 FACTORY MACHINE DOORS FOR FINISH HARDWARE IN ACCORDANCE WITH HARDWARE REQUIREMENTS AND DIMENSIONS. DO NOT MACHINE FOR SURFACE HARDWARE. PROVIDE SOLID BLOCKING FOR THROUGH BOLTED HARDWARE.
- .11 FACTORY FIT DOORS FOR FRAME OPENING DIMENSIONS IDENTIFIED ON SHOP DRAWINGS.
- .12 CUT AND CONFIGURE EXTERIOR DOOR EDGE TO RECEIVE RECESSED WEATHER STRIPPING DEVICES.
- .13 PROVIDE EDGE CLEARANCES IN ACCORDANCE WITH NAAWS. BEVEL LOCK AND HINGE STILE TO NAAWS, 3 DEGREE BEVEL.
- .4 INSTALLATION .1 INSTALL DOORS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
- Ŷ HANSON + JUNGARCHITECTS INC 477 richmond st. w. suite 301 toronto ontario m5v 3e7 t 416.340.7373 f 416. 340.0005 hjarchitects.ca  $\sim$ his drawing is the property of the Architect and unauthorized reproduction is bited under the copyright act. tronic files, when provided, are instruments of service and the sole property son + Jung Architects Inc.. No alteration or reproduction shall be made without ritten permission from Hanson + Jung Architects Inc. e Contractor shall check and verify all dimensions and report any discrepance to the Architect prior to construction: do not scale this drawing. nis drawing shall not be used for construction purposes unless properly signed nd sealed by the Archited 5 **ISSUED FOR TENDER** 08-08-2023 2 PRE-TENDER COST ESTIMATE 14-07-2023 10-04-2023 1 REVIEW NO ACTION DY MO YR CAMH **250 COLLEGE STREET MOVE CONSOLIDATION -**INTERIOR RENOVATION Ground, 8th, 9th, 10th and 11th Floors Sheet Title: **ARCHITECTURAL SPECIFICATIONS** Stamp Project No 22-48 14 07 2023 Drawn: Checked: WJ JJ **AS NOTED** Drawing Number:

- TRIM NON-RATED DOOR WIDTH BY CUTTING
- EQUALLY ON BOTH JAMB EDGES. TRIM DOOR HEIGHT BY CUTTING BOTTOM EDGES TO
- A MAXIMUM OF 19 MM (3/4 INCH).
- MACHINE CUT FOR HARDWARE .5 CONFORM TO NAAWS REQUIREMENTS FOR FIT AND CLEARANCE TOLERANCES.
- .6 CONFORM TO NAAWS SECTION 1300 REQUIREMENTS FOR MAXIMUM DIAGONAL DISTORTION.
- MAXIMUM VERTICAL DISTORTION (BOW): 3 MM (1/8 INCH) MEASURED WITH STRAIGHT EDGE OR TAUT STRING, TOP TO BOTTOM, OVER AN IMAGINARY 915 X
- 2130 MM (36 X 84 INCHES) SURFACE AREA. MAXIMUM WIDTH DISTORTION (CUP): 3 MM (1/8 INCH) MEASURED WITH STRAIGHT EDGE OR TAUT STRING, EDGE TO EDGE, OVER AN IMAGINARY 915 X 2 130 MM (36 X 84 INCHES) SURFACE AREA.

### 8.3 HOLLOW METAL DOORS

- .1 NON-RATED INTERIOR DOORS: ANSI/SDI A250.8, LEVEL 2 -HEAVY DUTY, MODEL 1, FULL FLUSH DESIGN, HAVING 18-GAGE, MINIMUM 0.042 INCH (1.0 MM) STEEL FACES, WITH A MINIMUM STC RATING OF 32.
- .2 FIRE RESISTANT RATED INTERIOR DOORS: ANSI 250.8 HAVING 18-GAGE, MINIMUM 0.042 INCH (1.0 MM) STEEL FACES, WITH A MINIMUM STC RATING OF 32.
- .3 DOOR CORE: LAMINATED HONEYCOMB CORE; STRUCTURAL SMALL CELL 25.4 MM (1 INCH) MAXIMUM KRAFT PAPER HONEYCOMB, SANDED TO REQUIRED THICKNESS.
- .4 LONGITUDINAL EDGES: MECHANICALLY INTER-LOCKED. ADHESIVE ASSISTED WITH VISIBLE EDGE SEAMS FOR LAMINATED CORE DOORS.
- .5 CUT OPENINGS FOR DOOR LOUVERS SPECIFIED IN MECHANICAL SPECIFICATIONS AND DRAWINGS
- .6 REINFORCE DOOR TO RECEIVE SPECIFIED HARDWARE

### 8.4 DOOR AND SIDELITE FRAMES

- .1 FRAMES SHALL BE:
- HOLLOW METAL FRAMES SPECIFIED IN THE DOOR SCHEDULE SHALL HAVE MINIMUM GAGE THICKNESS OF 16GA (1.5MM). CORNERS TO BE SHOP WELDED FRAMES WITH MITRED JOINTS ARC-WELDED, REINFORCED AND GROUND SMOOTH. CONSTRUCTION. KNOCK DOWN FRAMES NOT PERMITTED.
- .2 THROAT SIZE: WRAP AROUND TYPE TO SUIT SPECIFIED WALL THICKNESS.
- .3 FABRICATION
- .1 PRE-MACHINE JAMBS AND PREPARE HARDWARE WITH CONCEALED REINFORCEMENT PLATES. DRILLED AND TAPPED AS REQUIRED AND FASTENED WITHIN FRAME WITH CONCEALED SCREWS.
- .2 PROVIDE CORNER REINFORCEMENTS AND ALIGNMENT CLIPS FOR PRECISE MITERED CONNECTIONS WITHOUT ANY GAPS IN SEAM.
- .3 FABRICATE ALL COMPONENTS TO ALLOW SECURE INSTALLATION WITHOUT EXPOSED FASTENERS
- .4 PROVIDE FRAMES WITH HINGES PRE-INSTALLED EXCEPT AT LOCATION WHERE ELECTRIC TRANSFER HINGE IS SPECIFIED.
- .5 REINFORCE FRAME TO RECEIVE SPECIFIED DOOR HARDWARE
- .6 PROVIDE CONDUITS IN FRAME FOR LOW VOLTAGE WIRING
- .2 INSTALL DOORS AND FRAMES TO CSDMA AND PER MANUFACTURERS INSTRUCTIONS

### 8.5 HARDWARE:

- .1 SITE VERIFICATION: .1 HARDWARE SUPPLIER SHALL SITE VERIFY ALL EXISTING DOORS WHERE NEW HARDWARE IS TO BE
  - PROVIDED INCLUDING BUT NOT LIMITED TO VERIFICATION OF DOOR THICKNESS, BACKSET, AND MORTISE SIZE
- .2 CONFIRM DOOR CAN ACCEPT SPECIFIED HARDWARE. WHERE DOOR CANNOT ACCEPT SPECIFIED HARDWARE, PROVIDE ALTERNATE OF EQUAL QUALITY ACCEPTABLE TO CONSULTANT.
- .2 HARDWARE SCHEDULE:
- UPON COMPLETION OF SITE VERIFICATION. PREPARE A DETAILED HARDWARE SCHEDULE IDENTIFYING HARDWARE TO BE PROVIDED.
- INCLUDE PRODUCT CUT SHEET FOR EACH 2 HARDWARE TYPE.
- .3 SUBMIT TO CONSULTANT FOR REVIEW PRIOR TO ORDER.
- .3 REFER TO DRAWINGS FOR HARDWARE REQUIREMENTS.
- .4 PROVIDE ALL MECHANICAL AND ELECTRICAL DOOR HARDWARE
- .5 ALL HARDWARE TO EXCEED ANSI/BHMA STANDARD **PRODUCT GRADE 1**

- .6 CYLINDRICAL LOCKETS WITH LEVER HANDLES. ACCEPTABLE PRODUCT: SCHLAGE ND SERIES OR <u>SARGENT EQUIVALENT ONLY WILL BE ACCEPTED FOR USE</u> ON THIS PROJECT. ALL LOCKSETS TO BE FROM SINGLE MANUFACTURER.
- .1 LEVER STYLE SCHLAGE RHODES,
- .2 FINISH 26D
- .3 SINGLE CYLINDER, KEYED TO CAMH KEYING SYSTEM AND REQUIREMENTS. PROVIDE 2 KEYS PER LOCK. .4 STRIKE PLATE TO FIT INTO EXISTING FRAME
- .7 MORTISE LOCKSET: SCHLAGE L SERIES OR SARGENT EQUIVALENT.
- DEADBOLT SARGENT 480 SERIES OR SCHLAGE EQUIVALENT. PROVIDE SINGLE CYLINDER, KEYED TO CAMH KEYING SYSTEM AND REQUIREMENTS. PROVIDE 2 KEYS PER LOCK.
- .9 WEATHERSTRIPPING: PROVIDE WEATHERSTRIP WHERE NOTED ON GROUND FLOOR WASHROOM DOORS. WEATHER STRIPPING IS TO BE MOUNTED ON HINGE AND LATCH SIDES OF DOOR TO FILL GAP BETWEEN DOOR STILE AND FRAME TO PROVIDE SIGHT LINE PRIVACY. ACCEPTABLE PRODUCT: KNC W-13S OR EQUAL. MOUNT ON WASHROOM SIDE. CUT ALUM HOUSING AROUND LOCKSET ROSE IF THERE IS INTERFERENCE.
- .10 KICKPLATES STANILESS STEEL: 10" HIGH X WIDTH OF DOOR. PROVIDE ON BOTH SIDES OF EVERY NEW DOOR IN THIS CONTRACT.
- .11 DOOR STOPS: GALLERY GSH 240 DOMED WALL MOUNT STOP. INSTALL IN WASHROOM 953, 1027, AND 1030

### 8.6 ARCHITECTURAL WINDOW FILM

- SCOPE OF WORK: PROVIDE DECORATIVE PRIVACY WINDOW FILM AT LOCATIONS INDICATED
- .2 SUBMITTALS: SEE DIVISION 1.36
- .3 QUALITY ASSURANCE: .1 SINGLE MANUFACTURER WITH MINIMUM OF 10 YEARS EXPERIENCE.
- .2 INSTALLATION SHALL BE PERFORMED BY COMPANY ON FILM MANUFACTURER'S RECOMMENDED LIST.
- .4 DELIVER, HANDLE AND STORE PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- .5 EXTRA MATERIAL: PROVIDE 25 SQ FT ADDITIONAL MATERIAL OF EACH TYPE. DELIVER IN PROTECTIVE PACKAGING WITH PRODUCT NUMBER IDENTIFIED.
- MATERIAL: VINYL FILM WITH ACRYLIC, PRESSURE SENSITIVE, PERMANENT ADHESIVE, FLAME SPREAD: CLASS A 25 MAX, SMOKE DEVELOPED: 450 MAX.
- .7 ACCEPTABLE PRODUCT: 3M CRYSTAL AND FASARA GLASS FINISH OR APPROVED EQUAL. REFER TO DWGS FOR FILM PATTERN AND TYPE.
- .8 THOROUGHLY CLEAN GLASS SUBSTRATE BEFORE APPLYING FILM IN ACCORDANCE WTH MANUFACTURER'S INSTRUCTIONS. REMOVE ALL HAZE AND SURFACE CONTAMINATION.
- .9 DO NOT PROCEED WITH APPLICATION UNTIL ALL OTHER FINISHING WORK IN THE AREA HAS BEEN COMPLETED.
- .10 INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- .11 CLEANING: USE CLEANING METHOD PRESCRIBED BY MANUFACTURER AFTER INSTALLATION OF FILM.
- .12 SCHEDULE:
- ALL GLAZING AT STAFF LUNCH ROOM 947 ALL GLAZING AT MEETING ROOM 1053
- ALL OTHER LOCATIONS AS INDICATED ON DWGS

**DIVISION 9 - FINISHES** 

4 REFER TO DRAWINGS FOR PATTERNS. WHERE THERE ARE NO PATTERNS INDICATED. PROVIDE FILM ON FULL SURFACE OF GLAZING.

9.1 GYPSUM BOARD ASSEMBLIES .1 GENERAL

- .1 THE CONTRACTOR SHALL PROVIDE:
- .1 INTERIOR PARTITIONS .2 LAMINATION SUPPLEMENTED WITH MECHANCAL FASTENERS OF NEW LAYER OF GYPSUM TILE BACKER BOARD OVER EXISTING PLASTER OR GYPSUM BOARD SURFACES TO RECEIVE NEW WALL TILES.
- .3 FURRING AND FACINGS ON EXIST INTERIOR COLUMNS
- .4 FURRING AND FACINGS TO CONCEAL PLUMBING STACKS IN STAFF LUNCH ROOM 947 AND MEETING ROOM 1053. PROVIDE KEYED PRIMED METAL ACCESS HATCH WHERE NEEDED TO ACCESS PLUMBING.
- .5 HEAVY GAUGE STUD FRAMING FOR PLUMBING CARRIER CONNECTION AND SUPPORT WHERE REQUIRED.
- .6 INTERIOR CEILINGS AND BULKHEADS

.2 FRAMING

.7 DOOR OPENING FRAMING: INSTALL DOUBLE STUDS AT DOOR FRAME JAMBS. INSTALL STUD TRACKS ON EACH SIDE OF OPENING, AT FRAME HEAD HEIGHT, AND BETWEEN STUDS AND ADJACENT STUDS.

.9 ERECT FURRING CHANNELS AT 400MM (16") ON CENTRE, NOT MORE THAN 100MM (4") FROM ABUTTING WALLS, FLOOR AND CEILING LINES. SECURE IN PLACE ON ALTERNATE CHANNEL FLANGES AT MAXIMUM 600MM (24") ON CENTRE.

PATCHING INTERIOR GYPSUM BD ASSEMBLIES OTHER CONSTRUCTION WHERE INDICATED ON THE DRAWINGS.

.2 ALL GYPSUM BOARD MATERIALS SHALL CONFORM WITH APPLICABLE SECTIONS OF ASTM C1396/C1396M-09A. ASTM C1278/C1278M-07A .1 NEW CEILINGS AND WALL SURFACES IN WASHROOMS NOT RECEIVING TILE FINISH ACCEPTABLE PRODUCT CGC <sup>1</sup>/<sub>2</sub>" SHEETROCK ULTRALIGHT MOLD TOUGH GYPSUM BOARD OR APPROVED EQUAL.

.3 PERFORM WORK IN ACCORDANCE WITH LATEST EDITION OF ASTM C754-09A, ASTM C840-08, GA-214, GA-216, GA-253, GA-254 AND GA -600.

.4 ALL NEW PARTITION CONSTRUCTION SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. NOT WITHSTANDING WALL ASSEMBLIES INDICATED IN DRAWINGS, CONFORM TO BUILDING STANDARD SPECIFICATIONS WHERE REQUIRED BY LANDLORD.

THE CONTRACTOR SHALL MARK LOCATION OF ALL NEW PARTITIONS ON THE FLOOR SLAB FOR REVIEW BY THE CONSULTANT PRIOR TO COMMENCEMENT OF FRAMING WORK. SEEK INSTRUCTIONS FROM CONSULTANT WHERE THERE IS/ARE DISCREPANCY(IES) IN DIMENSIONS INDICATED ON DRAWINGS AND AS BUILT SITE CONDITIONS.

.1 MATERIALS TO ASTM C645-09A

.2 STUDS AND TRACKS: GALVANIZED SHEET STEEL 20 GAUGE MINIMUM. PROVIDE HEAVIER GAUGE AS REQUIRED TO SPAN HEIGHT OF PARTITION OR WHERE A HEAVIER GAUGE IS NOTED OTHERWISE OR DETAILED IN DRAWINGS.

.3 FOR ALL SUSPENDED CEILING BULKHEADS SUPPORTED FROM SLAB, PROVIDE MIN. 16 GAUGE FRAMING

.4 BRACE ALL CEILINGS TO THE UNDERSIDE OF STRUCTURE VIA METAL STUD FRAMING.

.5 PROVIDE SLOTTED DEFLECTION TRACKS FOR ALL PARTITIONS EXTENDING TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE.

.6 ERECT METAL STUDS AT 400MM (16") ON CENTRE UNO.

.8 BLOCKING: BOLT OR SCREW STEEL CHANNELS TO STUDS, SCREW WOOD BLOCKING TO STUDS. INSTALL BLOCKING FOR SUPPORT OF WASHROOM ACCESSORIES, TOILET PARTITIONS, MILLWORK,

- .10 CEILING AND SOFFIT FRAMING INSTALLATION .1 INSTALL TO MANUFACTURER'S WRITTEN INSTRUCTIONS AND TO GA-216.
- .2 COORDINATE LOCATION OF HANGERS AND RAMING WITH OTHER WORK
- .3 INSTALL CEILING FRAMING INDEPENDENT OF WALLS, COLUMNS, AND ABOVE CEILING WORK .4 REINFORCE OPENINGS IN CEILING SUSPENSION SYSTEM WHICH INTERRUPT MAIN CARRYING CHANNELS OR FURRING CHANNELS, WITH LATERAL CHANNEL BRACING. EXTEND BRACING MINIMUM 600 MM (24") PAST EACH END OF
- OPENINGS. .5 LATERALLY BRACE ENTIRE SUSPENSION SYSTEM.

### .3 GYPSUM BOARD

MATERIALS AND ACCESSORIES TO ASTM C475/C475M-02 (R2007), ASTM C1396M-09A, ASTM C1047-10A, ASTM C1278/C1278M-07A, CAN/CGSB-71.25-M88

### .2 PRODUCT:

.1 TAPERED EDGES WITH REGULAR CORE.

### .3 THICKNESS:

- .1 INTERIOR WALL APPLICATION: 16MM (5/8") THICK U.N.O; .2 INTERIOR CEILING APPLICATION:
- NEW CEILINGS:13MM (1/2") THICK .
- .2 TO MATCH THICKNESS OF EXISTING GYPSUM BOARD WHERE INSTALLING IN EXISTING CEILINGS ASSEMBLIES.

### .4 ACCESSORIES

.1 CORNER BEADS:

600, GA-216

- .1 GA-216 METAL D-100-90 CORNER BEAD BY BAILEY METAL PRODUCTS OR EQUAL METAL EDGE TRIM: GA-216
- .1 CONTROL JOINT,
- .2 CONTROL JOINT NO. 093 BY USG OR EQUAL .3 D-4411 CHANNEL TRIM WHERE GYPSUM BOARD BUTTS DISSIMILAR MATERIAL BY BAILEY METAL PRODUCTS OR EQUAL
- .4 D-300 DRYWALL REVEAL TRIMS BY BAILEY METAL PRODUCTS OR EQUAL. PROVIDE WHERE REVEAL IN GYPSUM BOARD IS INDICATED.
- JOINT COMPOUND: GA-216. REINFORCING TAPE, ADHESIVE, AND WATER.
- .5 JOINT COMPOUND: ASBESTOS-FREE, DUST-CONTROLLED. TEXTURED FINISH MATERIALS: LATEX BASED
- TEXTURING MATERIAL, TEXTURE TO MATCH EXISTING
- GYPSUM BOARD FASTENERS: ASTM C1002, TYPE S. .5 GYPSUM BOARD INSTALLATION .1 INSTALL GYPSUM BOARD IN ACCORDANCE WITH GA-
- .2 ERECT SINGLE LAYER BOARDS WITH ENDS AND EDGES OCCURRING OVER FIRM BEARING
- USE SCREWS TO FASTEN TO METAL STUD FRAMING
- .4 PLACE CORNER BEADS AT EXTERNAL CORNERS. PLACE D200 TYPE EDGE TRIM WHERE GYPSUM BOARD ABUTS DISSIMILAR MATERIALS.
- .5 PLACE CONTROL JOINTS WHERE INDICATED AND WHERE GYPSUM BOARD SURFACE EXCEEDS 9M (29'-
- .6 NEW GYPSUM BOARD CONSTRUCTION ADJOINING EXISTING CONSTRUCTION IN THE SAME PLANE SHALL BE FLUSH WITH NO VISIBLE JOINTS, UNLESS OTHERWISE NOTED.

### 9.2 GYPSUM BOARD AND PLASTER REPAIR

.1 SCOPE OF WORK:

- WORK SCOPE 1: REMOVE RESIDUAL ADHESIVES LEFT ON ALL WALL SURFACES FROM REMOVAL OF WALL MOUNTED ITEMS.WITHIN THE AREA OF WORK.
- .2 WORK SCOPE 2: FILL AND PATCH SMOOTH DENTS AND HOLES INCLUDING ALL SCREW HOLES IN WALLS AND PARTITIONS WITHIN THE AREA OF WORK. REMOVE WALL PLUGS PRIOR TO PATCHING.
- WORK SCOPE 3: PATCHING OF GAPS AND HOLES IN WALL SURFACES LEFT BY REMOVAL OF EXISTING MILLWORK
- .4 WORK SCOPE 4: FILLING, PATCHING AND REPAIR WORK IDENTIFIED IN DWGS.
- WORK SCOPE 4: REMOVE EXISTING LOOSE AND 5 DELAMINATED PLASTER COATING (APPROX 1MM THICKNESS) ON CONCRETE WALLS IN BUILDING CORE. PARGE ENTIRE SURFACE IN SUCH AREAS OF REPAIR WITH NEW PLASTER MATERIAL PRIOR TO PAINTING.
- .2 QUANTITIES OF REPAIR FOR WORK SCOPE 1 TO 3 TO BE NCLUDED IN ITS ENTIRETY IN THE BID
- .3 QUANTITIES OF REPAIR WORK SCOPE 5
- IDENFITIFED PLASTER REPAIR AT LOCATIONS INDICATED IN DRAWINGS ARE TO BE INCLUDED IN BID .2 ADDITIONAL REPAIRS:
  - .1 INCLUDE IN BID THE FOLLOWING QUANTITY OF REPAIRS IN ADDITION TO THE IDENTIFIED AREAS OF REPAIR:
    - .1 GROUND FLOOR: 1,000 FT2
  - .2 9<sup>TH</sup> FLOOR: 1,000 FT2
  - .3 10<sup>TH</sup> FLOOR: 1,000 FT2
- .3 THE GC SHALL IDENTIFY AND TABULATE THE TOTAL AREAS OF THE ADDITIONAL REPAIR WORK.
- .4 THE GC SHALL CONVENE A MEETING WITH THE CONSULTANT TO REVIEW THE PROPOSED AREAS FOR ADDITIONAL REPAIR WORK. THE CONTRACTOR CAN PROCEED WITH THE REPAIR WORK ONCE AGREED TO BY THE CONSULTANT.
- .5 AGREED TO UNIT PRICE WILL BE USED TO ESTABLISH THE CREDIT OR EXTRA TO THE CONTRACT PRICE FOR THE TOTAL QUANTITY OF ADDITIONAL REPAIRS CARRIED OUT.
- .4 MOCK UP WORK SCOPE 4
- PREPARE MOCKUP OF THE REPAIR WORK AT UP TO 6 LOCATIONS IDENTIFIED BY THE CONSULTANT TO **REVIEW THE METHODS USED TO CARRYOUT THE** PLASTER REPAIR WORK THAT WILL YIELD THE BEST RESULTS.
- .5 PRODUCTS:
- WORK SCOPE 1 TO 3: DURABOND 90 JOINT COMPOUND OR APPROVED EQUAL WORK SCOPE 4: USG APEX VENEER FINISH OR
- APPROVED EQUAL

- .6 GYPSUM BOARD FINISHING .1 GYPSUM BOARD FINISH LEVELS SPECIFIED IN THIS SECTION ARE DEFINED IN GA-214-96 "RECOMMENDED
- .2 FINISHING LEVELS
  - .1 ALL PLASTER REPAIR AREAS. .2 LEVEL 4 FINISH
  - ALL GYPSUM BOARD SURFACES EXPOSED TO VIEW WHERE A PAINT FINISH HAS BEEN SPECIFIED AND WHERE A LEVEL 5 FINISH HAS NOT BEEN INDICATED. .3 LEVEL 3 FINISH
  - .1 ALL GYPSUM AND CEMENT BOARD SURFACES TO BE CLAD WITH WAINSCOTING, CERAMIC TILES OR FRP.
  - .4 LEVEL 1 FINISH CONCEALED GYPSUM BOARD SURFACES ABOVE CEILINGS

### .7 ACOUSTIC PARTITIONS

.1 WHERE PARTITIONS ARE DESIGNATED TO BE CONSTRUCTED FULL HEIGHT TO UNDERSIDE OF DECK ABOVE, INSTALL GYPSUM BOARD 9MM SHORT AT TOP AND BOTTOM OF ACOUSTIC PARTITIONS.

- .2 INSTALL CONTINUOUS BEAD OF TYPE D ACOUSTIC SEALANT BETWEEN GYPSUM BOARD AND ADJACENT SLAB.INSTALL TYPE D - ACOUSTIC SEALANT IN JOINT AROUND ALL M&E AND EQUIPMENT PENETRATIONS THROUGH ACOUSTIC PARTITION. ACOUSTIC INSULATION
- .3 INSUL -1: SOUND ATTENUATION INSULATION FOR USE WHERE INSULATION IN PARTITIONS IS INDICATED IN DRAWINGS; CAN/ULC-S702-97, ASTM C665 TYPE 1, CAN/ULC-S114-M80 NON-COMBUSTIBLE, SEMI-RIGID MINERAL FIBRE BLANKET, 3 1/2" THICK MINIMUM. ACCEPTABLE PRODUCTS: ROXUL AFB
- .4 ACOUSTIC SEALANT: NON-HARDENING, SINGLE COMPONENT, NON-SKINNING, FOR USE IN CONJUNCTION WITH GYPSUM BOARD; ACOUSTICAL SEALANT MANUFACTURED BY TREMCO. PROVIDE CONTINUOUS BEAD OF ACOUSTIC SEALANT IN GAP BETWEEN GYPSUM BOARD AND CONCRETE DECK AT TOP AND BOTTOM OF ALL PARTITIONS EXTENDING TO UNDERSIDE OF SLAB.

### 9.3 **RESILIENT FLOORING**

- SECTION INCLUDES: SELF-LEVELING UNDERLAYMENT OVER CONCRETE
- FLOOR SUBSTRATE
- RESILIENT SHEET FLOORING SYSTEMS: SHEET VINYL FLOORING SYSTEMS.
  - .3 VINYL TRANSITION STRIPS.
  - .4 INTEGRATED COVE BASE .5 VINYL COMPOSITE TILE
  - .6 VINYL BASE
- .2 PROVIDE IN ALL EXISTING WASHROOMS LOCATED ALONG THE BUILDING PERIMETER OF THE 9<sup>TH</sup> AND 10<sup>TH</sup> FLOORS
- .3 PROVIDE SELF-LEVELLING UNDERLAYMENT OVER ENTIRE SURFACE OF ALL FLOOR AREAS TO RECEIVE FLOORING OF THIS SECTION

### .4 REFERENCES

- .1 ASTM E84 TEST METHOD FOR SURFACE BURNING CHARACTERISTICS OF BUILDING MATERIALS
- .2 ASTM F1303, STANDARD SPECIFICATION FOR SHEET
- VINYL FLOOR COVERING WITH BACKING.
- .3 ASTM F2170, STANDARD METHOD FOR DETERMINING RELATIVE HUMIDITY IN CONCRETE FLOOR SLABS USING IN SITU PROBES
- .4 CSA-A23.1-09/A23.2-09 CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION/TEST METHODS AND STANDARD PRACTICES FOR CONCRETE.
- (RFCI) RESILIENT FLOOR COVERING INSTITUTE .6 RFCI STANDARD SLAB MOISTURE TEST METHOD (CALCIUM CHLORIDE METHOD) AS A
- SUPPLEMENTARY TEST METHOD TO ASTM F2170 .7 ACI 302.2R-06 GUIDE FOR CONCRETE SLABS THAT RECEIVE MOISTURE-SENSITIVE FLOORING MATERIALS
- .8 RFCI RECOMMENDED WORK PRACTICES FOR REMOVAL OF RESILIENT FLOOR COVERING
- .5 BOND TEST:
- .1 ONCE SELF-LEVELING COMPOUND HAS FULLY CURED, INSTALL 3' X 3' PIECES OF MATERIAL ADHERED WITH THE APPROPRIATE ADHESIVE TO VERIFY QUALITY OF ADHESION. REMOVE HALF OF EACH PIECE AFTER 24 HOURS, THEN THE OTHER HALF AFTER 48 HOURS. TO HELP ASSESS **RESISTANCE TO INDENTATION, PLACE END USER** EQUIPMENT ONTO A SAMPLE FOR 72 HOURS. DOCUMENT ALL RESULTS. PROVIDE RESULTS TO CONSULTANT. .2 PERFORM ONE BOND TEST ON EACH FLOOR.
- .3 REDO UP TO 3 ADDITIONAL BOND TEST PER FLOOR WHEN REQUESTED BY CONSULTANT.
- INSTALLER QUALIFICATIONS:

- LEVELS OF GYPSUM BOARD FINISH"
- .1 LEVEL 5 FINISH

- .1 TRAINING: INSTALLER WHO HAS ATTENDED AN ALTRO FLOORING INSTALLATION TRAINING CLINIC OR WHO HAS SUCCESSFULLY INSTALLED ALTRO PREVIOUSLY.
- .2 AWARDED FLOORING CONTRACTOR MUST USE IN-HOUSE INSTALLERS.
- .7 DO NOT PROCEED WITH INSTALLATION UNTIL CONTRACTOR, FLOORING MANUFACTURER AND FLOORING INSTALLER IS SATISFIED THAT THE FLOORING CONDITION IN THE AREA OF WORK IS ACCEPTABLE TO RECEIVE THE FLOORING. COMMENCEMENT OF INSTALLATION WILL BE DEEMED ACCEPTANCE OF CONDITIONS BEING SUITABLE FOR APPLICATION OF THE FLOORING PRODUCT.
- .8 ENVIRONMENTAL REQUIREMENTS .1 TEMPERATURE REQUIREMENTS: IF STORAGE TEMPERATURE IS BELOW 65F (18C) OR THE FLOOR TEMPERATURE IS BELOW 50F (18C), MOVE FLOORING PRODUCT TO A WARMER PLACE AND ALLOWED TO REACH THIS TEMPERATURE BEFORE UNROLLING OR INSTALLATION. FOR FURTHER INFORMATION, REFER TO FLOORING MANUFACTURER'S CURRENT INSTALLATION PRACTICES.
- .2 MAINTAIN AIR TEMPERATURE AND STRUCTURAL BASE TEMPERATURE AT FLOORING INSTALLATION AREA BETWEEN 68F (20C) AND 80F (26C) FOR 48 HOURS BEFORE, DURING AND 24 HOURS AFTER INSTALLATION.
- .3 STORE MATERIALS FOR THREE DAYS PRIOR TO INSTALLATION IN AREA OF INSTALLATION TO ACHIEVE TEMPERATURE STABILITY
- .4 MAINTAIN AMBIENT TEMPERATURE REQUIRED BY ADHESIVE MANUFACTURER THREE DAYS PRIOR TO, DURING, AND 24 HOURS AFTER INSTALLATION OF MATERIALS
- .9 MAINTENANCE MATERIAL .1 PROVIDE 3 SQ M OF SHEET VINYL AND 30 LIN FT OF WELDING ROD OF EACH COLOUR SPECIFIED.
- .10 WARRANTY WARRANT PRODUCT AND INSTALLATION FORM DELAMINATION, CRACKING, SEPARATION OF JOINTS, STAINING AND FADING FOR AN EXTENDED WARRANTY PERIOD OF 1 YEAR FOR A TOTAL WARRANTY PERIOD OF 2 YEARS.
- .11 PRODUCTS
- SHEET VINYL FLOORING: NON-WOVEN POLYESTER/ CELLUSLOSE, GLASS FIBER REINFORCEMENT.
  - SHEET THICKNESS: 2 MM (0.08") SIZE: 2M (6.7') ROLL WIDTH
  - ROLL LENGTH: 20M (66')
- ACCEPTABLE PRODUCT: UNLESS NOTED SPECIFICALLY ON DRAWING OTHERWISE, PROVIDE ALTRO ORCHESTRA OR APPROVED EQUAL. COLOUR TO LATER SELECTION BY CONSULTANT .5 ACCESSORIES:
- .1 COVE FORMER ACCEPTABLE MATERIAL, SIZED TO SUIT APPLICATION: ALTRO COVE FORMER 20R - 24 MM (1") RADIUS.
- .2 CAP STRIP: ACCEPTABLE MATERIAL, SIZED TO SUIT APPLICATION, VINYL: .1 ALTRO CAP STRIP C7. COLOUR TO LATER SELECTION BY CONSULTANT
- .2 RESILIENT VINYL TILE FLOORING (VCT)
- .1 BASIS OF DESIGN: TARKETT VCT II OR APPROVED EQUAL
- .2 REFERENCE: TO COMPLY WITH ASTM F1066-
- 04(2018) .3 TILE STANDARD TYPE II (THROUGH PATTERN) .4 THICKNESS: 3.17MM (0.125")
- .5 SIZE: 305 X 305MM (12" X 12")
- .6 COLOUR: REFER TO DWGS
- .3 SELF LEVELLING COMPOUND: .1 GRAY PORTLAND CEMENT-BASED "MOISTURE TOLERANT" UNDERLAYMENTS, AND PATCHING COMPOUNDS. USE FOR FILLING CRACKS, HOLES OR LEVELING. LEVELING AND PATCHING COMPOUNDS: LATEX-MODIFIED, MOISTURE RESISTANT, SILICATE FREE, PORTLAND CEMENT BASED OR BLENDED HYDRAULIC-CEMENT-BASED FORMULATION.
  - .2 ACCEPTABLE PRODUCT: MAPEI NOVAPLAN 2 PLUS OR AS APPROVED BY RESILIENT SHEET AND TILE MANUFACTURERS.
  - .3 PRIMER FOR SELF LEVELLING COMPOUND AS RECOMMENDED BY SELF LEVELLING COMPOUND MANUFACTUER.
- .4 BASE: 4" (100MM) JOHSONITE TRADITIONAL DURACOVE TOED THEHERMOPLASTIC 1/8" (3MM) THICK RUBBER OR APPROVED EQUAL
- .5 ADHESIVE FOR RESILIENT TILE AND BASE .1 AS RECOMMENDED BY BASE MANUFACTURER
- .12 EXAMINATION
  - VERIFY CONCRETE FLOORS ARE DRY TO A MAXIMUM MOISTURE CONTENT ACCEPTABLE TO FLOORING MANUFACTURER, AND EXHIBIT NEGATIVE ALKALINITY, CARBONIZATION, OR DUSTING.
- HANSON + JUNGARCHITECTSINC 477 richmond st. w. suite 301 toronto ontario m5v 3e7 t 416.340.7373 f 416. 340.0005 hjarchitects.ca 5 his drawing is the property of the Architect and unauthorized reproduction is bited under the copyright act. tronic files, when provided, are instruments of service and the sole property on + Jung Architects Inc.. No alteration or reproduction shall be made without itten permission from Hanson + Jung Architects Inc. Contractor shall check and verify all dimensions and report any discrepance to the Architect prior to construction; do not scale this drawing. nis drawing shall not be used for construction purposes unless properly signed and sealed by the Archited 5 ISSUED FOR TENDER 08-08-2023 2 PRE-TENDER COST ESTIMATE 14-07-2023 10-04-2023 1 REVIEW NO ACTION DY MO YR Client: CAMH Proiect Title 250 COLLEGE STREET **MOVE CONSOLIDATION -**INTERIOR RENOVATION Ground, 8th, 9th, 10th and 11th Floors Sheet Title: **ARCHITECTURAL SPECIFICATIONS** Project North Stamp Project No 22-48 14 07 2023 Drawn: Checked: WJ JJ **AS NOTED** Drawing Number:

- .2 VERIFY FLOOR AND LOWER WALL SURFACES ARE FREE OF SUBSTANCES THAT MAY IMPAIR ADHESION OF NEW ADHESIVE AND FINISH MATERIALS.
- .13 PREPARATION
- .1 REMOVE ANY EXISTING ADHESIVE RESIDUE TO
- EXPOSE ORIGINAL SUBSTRATE REMOVE SUB FLOOR RIDGES AND BUMPS
- PROHIBIT TRAFFIC UNTIL FILLER IS CURED.
- VACUUM CLEAN SUBSTRATE.
- .5 LEVEL FLOOR AS REQUIRED TO ENSURE A SMOOTH AND EVEN SURFACE.
- .14 INSTALLATION SELF-LEVELLING COMPOUND MIX TO SELF-LEVELLING CONSISTENCY IN ACCORDANCE WITH MANUFACTURER'S
- INSTRUCTIONS .2 APPLY PRIMER OVER CONCRETE SUBSTRATE IF REQUIRED BY SELF-LEVELING COMPOUND MANUFACTURER.
- .3 APPLY OVER ENTIRE FLOOR SURFACE TO FILL MINOR OR LOCAL LOW SPOTS, CRACKS, JOINTS, HOLES, AND OTHER DEFECTS TO ACHIEVE SMOOTH, FLAT, HARD SURFACE.
- .4 PLACE TO MINIMUM 3MM THICKNESS AND MAXIMUM 12.7 MM THICKNESS OVER ONE PASS. .5 DO NOT INSTALL SELF-LEVELING OVER EXPANSION
- JOINTS AIR CURE IN ACCORDANCE WITH SELF-LEVELING MANUFACTURER'S INSTRUCTIONS
- .15 INSTALLATION SHEET FLOORING
- DO NOT COMMENCE WITH FLOORING INSTALLATION UNTIL SELF-LEVELING COMPOUND HAS FULLY CURED.
- .2 INSTALL IN STRICT ACCORDANCE WITH
- MANUFACTURER'S WRITTEN INSTRUCTIONS.
- .3 SPREAD ONLY ENOUGH ADHESIVE TO PERMIT INSTALLATION OF MATERIALS BEFORE INITIAL SET. .4 SET FLOORING IN PLACE, PRESS WITH HEAVY
- ROLLER TO ATTAIN FULL ADHESION.
- .5 LAY FLOORING WITH JOINTS AND SEAMS IN ACCORDANCE WITH SEAMING PLAN. PARALLEL TO BUILDING LINES TO PRODUCE MINIMUM NUMBER OF SEAMS
- .6 INSTALL SHEET FLOORING PARALLEL TO LENGTH WIDTH OF ROOM. PROVIDE MINIMUM OF 1/3 FULL ROLL WIDTH. DOUBLE CUT SHEET; PROVIDE CONTINUOUSLY HEAT WELDED SEAL. BUTT JOINT
- .7 TERMINATE FLOORING AT CENTERLINE OF DOOR **OPENINGS WHERE ADJACENT FLOOR FINISH IS** DISSIMILAR.
- INSTALL EDGE STRIPS AT UNPROTECTED OR EXPOSED EDGES, AND WHERE FLOORING TERMINATES. SECURE METAL STRIPS BEFORE AFTER INSTALLATION OF FLOORING WITH STAINLESS STEEL SCREWS. SECURE RESILIENT STRIPS BY ADHESIVE.
- SCRIBE FLOORING TO WALLS, COLUMNS, CABINETS, FLOOR OUTLETS, AND OTHER APPURTENANCES TO PRODUCE TIGHT JOINTS.
- .10 SEAL AND PROTECT AS REQUIRED BY MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- .16 INSTALLATION INTEGRAL BASE FOR SHEET FLOORING .1 INSTALL COVE FORMER, SHEET VINYL AND CAP STRIP IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- .17 INSTALLATION- RESILIENT VINYL TILE FLOORING .1 INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- INSTALL WITH MANUFACTURER'S ADHESIVE .2 SPECIFIED FOR THE SITE CONDITIONS AND FOLLOW
- ADHESIVE LABEL FOR PROPER USE. .3 FOLLOW TILE MANUFACTURER'S RECOMMENDATION FOR TILE ORIENTATION.
- .4 OPEN ENOUGH CARTONS OF FLOOR TILES TO COVER EACH AREA, AND MIX TILE TO ENSURE SHADE
- VARIATIONS DO NOT OCCUR WITHIN ANY ONE AREA. .5 ROLL THE FLOORING IN BOTH DIRECTIONS USING A 100 POUND THREE-SECTION ROLLER.
- .18 CLEANING
- .1 WAIT 48 HRS AFTER INSTALLATION BEFORE PERFORMING INITIAL CLEANING.
- .2 REMOVE ACCESS ADHESIVE FROM FLOOR, BASE. AND WALL SURFACES WITHOUT DAMAGE.
- .3 CLEAN, SEAL, AND WAX FLOOR AND BASE SURFACES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- .4 PROTECTION OF FINISHED WORK
- PROHIBIT TRAFFIC ON FLOOR FINISH FOR 72 HOURS AFTER INSTALLATION. PROTECT FLOORING FROM CONSTRUCTION
- EQUIPMENT AND TRAFFIC AT ALL TIMES UNTIL HANDOVER TO CLIENT.
- 9.4 TILE CARPETING
  - .1 REFERENCES 1 CRI CARPET INSTALLATION STANDARD
- .2 PRODUCTS:
- .1 TILE AND BASE REFER TO DRAWINGS
- .2 ADHESIVE .1 AS RECOMMENDED BY CARPET TILE AND TRIM MANUFACTURER OF SUBSTRATE TO WHICH CARPET TILE WILL BE APPLIED.
- .2 TAC TILES CONNECTORS CQUEST GB & GLASBAC BY INTERFACE FOR INSTALLATION OF FLOATING CARPET TILE SYSTEM OVER RESILIENT SHEET FLOORING

- .3 ACCESSORIES:
- .1 PVC CAP STRIP ALONG TOP OF CARPET BASE ACCEPTABLE PRODUCT: JOHNSONITE CCC-XX-A CARPET COVE CAP
- .2 RUBBER FLOOR TRANSITION STRIPS ACCEPTABLE PRODUCT: JOHNSONITE SLIM LINE **TRNSITIONS SLT-XX-A**
- .3 VINYL FLOOR BASE: HEIGHT AND COLOUR TO MATCH EXISTING. USE PREFORMED OUTER
- CORNERS. .4 REFER TO DWGS FOR COLOUR SELECTION
- 9.5 ACOUSTIC CEILING TILES
  - REPLACE EXISTING CEILING TILES IN ROOMS AND CORRIDIORS WHERE INDICATED IN DRAWINGS. REPLACE EXISTING STAINED AND OR DAMAGED CEILING TILES WITH NEW TO MATCH EXISTING WHERE INDICATED
  - ON DRAWINGS. IN ADDITION TO ITEMS 9.5.1 AND 9.5.2 ABOVE, ALLOW FOR REPLACEMENT OF 100 ADDITIONAL ACOUSTIC CEILING
- TILES ON THIS PROJECT .4 PROVIDE TILES TO MATCH ADJACENT TILES WHERE NEW ACT IS INSTALLED WITHIN EXISTING FIELD .
- INCLUDE COST FOR CUT OUTS OF OPENINGS IN CEILING TILES TO ACCOMMODATE CEILING JUNCTION BOXES, LIGHT FIXTURES, SPRINKLERS, INTERCOMS, SPEAKERS IN BID.
- 9.6 PAINTING
- .1 QUALITY STANDARD AND ASSURANCE:
  - .1 CARRYOUT THE WORK OF THIS SECTION IN ACCORDANCE WITH THE FOLLOWING STANDARD EXCEPT WHERE GREATER REQUIREMENTS ARE SPECIFIED IN THE DRAWINGS:
  - .1 PDCA PAINTING DECORATING CONTRACTORS OF AMERICA/ MPI - THE MASTERS PAINTER INSTITUTE - ARCHITECTURAL PAINTING SPECIFICATION MANUAL - CURRENT EDITION
  - .2 USE ONLY COATING AND FINISHING SYSTEMS LISTED IN ABOVE REFERENCED SPECIFICATION MANUAL.
  - .3 USE ONLY TRAINED, QUALIFIED AND **EXPERIENCED APPLICATORS WITH MINIMUM 5** YEARS.
- .2 ACCEPTABLE MANUFACTURERS:
- .1 BENJAMIN MOORE OR APPROVED EQUAL
- .3 ACCEPTABLE PRODUCTS:
- .1 WALL, DOOR AND FRAME SURFACES DESIGNATED TO RECEIVE PAINT FINISH, .1 ACCEPTABLE PRODUCT BENJAMIN MOORE

ULTRA SPEC SCUFF-X OR APPROVED EQUAL

- .2 PAINT PRODUCT TO BE USED FOR ALL OTHER SURFACES SHALL BE SELECTED FROM TOP OF LINE PRODUCTS LISTED IN MPI SPECIFICATION MANUAL. PRODUCTS NOT LISTED WILL NOT BE ACCEPTED FOR USE.
- .3 ONLY MPI ENVIRONMENTALLY FRIENDLY PAINT WILL BE ACCEPTABLE FOR USE. PAINT AND FINISHING MATERIALS SHALL BE LOW VOC ONLY WITH A VOC E RATING OF E3. WHERE A PRODUCT WITH E3 RATING FOR A COATING IS NOT AVAILABLE, USE THE LOWEST VOC AVAILABLE FOR THE COATING.
- .4 ALL PAINT SYSTEM SHALL BE PRODUCT OF A SINGLE MANUFACTURER EXCEPT FOR SPECIALTY COATINGS.
- .4 SUBMITTALS
- SUBMIT DRAW DOWN SAMPLES OF EACH COLOUR .2 SUBMIT PRODUCT CUT SHEET COMPLETE WITH VOC E RATING
- .5 SCHEDULE OF ITEMS TO BE PAINTED AND COLOURS .1 PREPARE SURFACE AND PAINT THE FOLLOWING WITHIN THE AREA OF WORK IDENTIFIED ON EACH FLOOR.
  - .1 WALLS .1 GROUND FLOOR: ALL WALLS AND PARTITIONS INDICATED IN DWGS TO RECEIVE PAINT FINISH
  - .2 9<sup>TH</sup> AND 10<sup>TH</sup> FLOORS: ALL WALLS AND
  - PARTITIONS EXCEPT WITH IN WASHROOMS. .3 8<sup>TH</sup> FLOOR: WITHIN EACH ROOM ONLY
  - .4 11<sup>TH</sup> FLOOR: AS INDICATED IN DWGS TO RECEIVE PAINT FINISH
  - .2 CEILINGS:
  - .1 ALL NEW, EXISTING AND REPAIRED GYPSUM BD CEILING AND BULKHEAD SURFACES.EXCEPT WITHIN WASHROOMS. .2 ALL PERFORATED METAL CEILING TILES AND PANELS EXCEPT WITHIN
  - WASHROOMS.
  - .3 DOORS: .1 ALL NEW AND EXISTING DOORS AND FRAMES (BOTH SIDES) WITHIN AREAS OF WORK ON ALL FLOORS
  - .2 PASSENGE ELEVATOR, FREIGHT ELEVATOR AND EXIT STAIRWELL DOORS ON FLOOR SIDE ONLY
  - GROUND FLOOR WASHROOM DOORS AND .3 FRAMES (BOTH SIDES). WASHROOM ON CORRIDOR SIDE OF 9<sup>TH</sup> AND 10<sup>TH</sup> FLOORS.

.7 PREPARATION

- .4 EXCEPTIONS TO DOORS TO RECEIVE PAINT FINISH:
- .1 PAINT ONLY THE INSIDE FACE OF DOORS AND FRAMES FOR 8<sup>TH</sup> FLOOR
- .2 NO PAINTING REQUIRED TO DOORS ON 11<sup>TH</sup> FLOOR
- .3 ALUMINUM DOORS AND FRAMES
- .4 EXPOSED WOOD VENEER, AND PLASTIC LAMINATE FACED DOORS
- .4 ACRYLIC WALL PROTECTION PANELS
- .5 MILLWORK IN ROOM 951
- .6 ROLLING COIL DOORS IN 9<sup>TH</sup> AND 10<sup>TH</sup> FLOOR KITCHENS
- .7 EXPOSED CONDUITS AND JUNCTION BOXES
- .8 STEEL GRILLES
- .9 EXPOSED DUCTS
- .10 EXPOSED CONDUITS
- .11 ALL SURFACES DISRUPTED AND REPAIRED IN THE PROCESS OF INSTALLING NEW BUILDING SYSTEMS AND COMPONENTS.
- .12 ALL OTHER SURFACES IDENTIFIED IN DRAWINGS

.2 REFER TO DRAWINGS FOR COLOURS

- .1 MPI GLOSS SHEEN RATING FOR PAINTED
- SURFACES AS FOLLOWS UNLESS NOTED IN DRAWINGS AND SCHEDULES OTHERWISE:
- .1 WALLS: G3 EGGSHELL
- CEILING: G1 FLAT DOORS AND FRAMES: G4 SATIN
- .4 METAL BAFFLES: G4 SATIN

### .6 EXAMINATION

.3 SHEEN

THE CONDITION AND PREPARATION REQUIREMENTS FOR ALL SURFACES SHALL BE IN ACCORDANCE WITH MPI PAINTING MANUAL REQUIREMENTS.

- .2 VERIFY THAT SUBSTRATE CONDITIONS ARE READY TO RECEIVE WORK AS INSTRUCTED BY THE PRODUCT MANUFACTURER.
- .3 EXAMINE SURFACES SCHEDULED TO BE FINISHED PRIOR TO COMMENCEMENT OF WORK.
- .4 REPORT ANY CONDITION THAT MAY POTENTIALLY AFFECT PROPER APPLICATION.
- .5 COMMENCEMENT OF WORK OF THIS SECTION WILL SIGNIFY ACCEPTANCE THAT THE SUBSTRATE IS SUITABLE TO RECEIVE THE COATING SPECIFIED.
- .6 TEST SHOP APPLIED PRIMER FOR COMPATIBILITY WITH SUBSEQUENT COVER MATERIALS.
- .7 MEASURE MOISTURE CONTENT OF SURFACES USING AN ELECTRONIC MOISTURE METER. DO NOT APPLY FINISHES UNLESS MOISTURE CONTENT OF SURFACES ARE BELOW THE FOLLOWING MAXIMUMS:
- .8 PLASTER AND GYPSUM WALLBOARD: 12%.
- .9 MASONRY, CONCRETE, AND CONCRETE UNIT MASONRY: 12%.
- .10 INTERIOR WOOD: 15%.
- .11 EXTERIOR WOOD: 15%.
- .12 CONCRETE FLOORS: 5% OR AS REQUIRED BY PAINT MANUFACTURER.
- .1 PREPARE SURFACES TO RECEIVE PAINT AND COATINGS PER MPI SPECIFICATION MANUAL.
- .2 ALL WALLS, DOORS, FRAMES AND WOODWORK SHALL BE FREE FROM DEFECTS AND BE FILLED AND SANDED SMOOTH PRIOR TO RECEIVING PAINTED AND/OR TRANSPARENT FINISHES. NEW WORK SHALL BE PRIMED AND SHALL BE PAINTED WITH NOT LESS THAN TWO FINISH COATS. PREVIOUSLY FINISHED WORK SHALL RECEIVE NOT LESS THAN TWO FINISH COATS. MAIN AND CROSS TEES TO BE INSTALLED 4' ON CENTRE.
- .3 THE PAINTING CONTRACTOR SHALL EXAMINE ALL WALL SURFACES AND PROVIDE NECESSARY TOUCH-UP PATCHING AND/OR PAINTING UPON COMPLETION OF WORK BY ALL TRADES.
- .8 COATING SCHEDULE INTERIOR SURFACES
- .1 CONCRETE WALLS AND CEILINGS UNPAINTED: INT 3 1A
- .1 ONE (1) COAT PRIMER, ALKALI RESISTANT, WB
- .2 TWO (2) COAT LATEX, MPI GLOSS LEVEL G1 -FLAT FOR CEILINGS; G3 EGGSHELL FOR WALLS

- .2 CONCRETE WALLS AND CEILINGS PREVIOUSLY PAINTED: INT 3.1A
- .1 ONE (1) COAT PRIMER, ALKALI RESISTANT, WB .2 ONE (1) COAT LATEX, MPI GLOSS LEVEL G1 – FLAT FOR CEILINGS; G3 EGGSHELL FOR WALLS
- .3 CONCRETE BLOCK UNPAINTED: INT 4.1A
- ONE (1) COAT PRIMER, ALKALI RESISTANT, WB .2 TWO (2) COAT OF PRIMER SEALER LATEX.
- .3 ONE (1) COAT LATEX, MPI GLOSS LEVEL G4 -SATIN CLOTH.
- CONCRETE BLOCK PREVIOUSLY PAINTED: INT 4.2A
- ONE (1) COAT OF PRIMER SEALER LATEX. .2 ONE (1) COAT OF LATEX, MPI GLOSS LEVEL G4 -SATIN CLOTH.
- .5 STEEL UNPRIMED: INT 5.1S
- .1 ONE (1) COAT RUST INHIBITIVE PRIMER. .2 TWO (2) COATS INSTITUTIONAL LOW ODOR/ VOC ENAMEL, MPI GLOSS LEVEL G5 – SEMI GLOSS FOR EXPOSED COLUMNS; MPI GLOSS LEVEL G1 - FOR EXPOSED STEEL DECK, BEAMS AND OWSJ.
- .6 STEEL PRIMED OR PREVIOUSLY PAINTED: INT 5.1S INSTITUTIONAL LOW ODOR/ VOC (FOR USE FOR METAL CEILING BAFFLES)
- .1 TWO (2) COATS INSTITUTIONAL LOW ODOR/ VOC ENAMEL, MPI GLOSS LEVEL G5 – SEMI GLOSS FOR EXPOSED COLUMNS; MPI GLOSS LEVEL F1 -FOR EXPOSED STEEL DECK, BEAMS AND OWSJ.
- STEEL GALVANIZED (DOORS, FRAMES NEW: INT 5.3A
- .1 ONE (1) COAT GALVANIZE PRIMER. .2 TWO (2) COATS OF LATEX ENAMEL, MPI GLOSS
- .8 STEEL GALVANIZED (DOORS, FRAMES NEW: INT 5.3A
- ONE (1) COAT GALVANIZE PRIMER. .2 TWO (2) COATS OF LATEX ENAMEL, MPI GLOSS LEVEL G5 – SEMI GLOSS.
- .9 PLASTER, GYPSUM BOARD NEW: INT 9.2A

LEVEL G5 - SEMI-GLOSS.

- .1 ONE (1) COAT PRIMER SEALER.
- .2 TWO (2) COATS LATEX ENAMEL, MPI GLOSS LEVEL G3 – EGGSHELL
- .10 PLASTER, GYPSUM BOARD PREVIOUSLY PAINTED: INT 9.2A
- .1 ONE (1) COAT LATEX PRIMER SEALER. .2 ONE (1) COAT LATEX ENAMEL, MPI GLOSS LEVEL G3 – EGGSHELL

### **DIVISION 10 - SPECIALITIES**

10.1 (NOT USED)

### **DIVISION 11 - EQUIPMENT**

11.1 (NOT USED).

### **DIVISION 12 - FURNISHINGS**

- 12.1 MANUALLY OPERATED ROLLER SHADES
- .1 GRADE: COMMERCIAL .2 QUALITY ASSURANCE:
- .1 INSTALLER SHALL HAVE 5 YEARS EXPERIENCE INTALLING SPECIFIED PRODUCT.
- .2 ALL MATERIALS SHALL BE FROM A SINGLE
- MANUFACTURER.
- .3 MOUNTING AND CONFIGURATION: SURFACE MOUNTED SINGLE SOLAR SHADE
- .4 FABRIC:
- COMPLY WITH NFPA 701. IDENTIFY PRODUCTS WITH APPROPRIATE MARKING OF APPLICABLE TESTING AGENCY
- .2 3% OPENESS SOLAR SHADE OF PVC-COATED POLYESTER. POLYESTER LIGHT FILERING FABRIC.
- .3 BLINDS SHALL BE OF FULL PIECE FABRIC ONLY. NO SEAMS.
- .4 ANTI-MICROBIAL
- .5 ROLLER TUB: ALUMINUM
- .6 FASCIA:
- .1 CONTINUOUS REMOVABLE EXTRUDED ALUMINUM FASCIA THAT ATTACHES TO SHADE MOUNTING BRACKETS WITHOUT THE USE OF ADHESIVES,
- MAGNETIC STRIPS, OR EXPOSED FASTENERS. FASCIA SHALL BE ABLE TO BE INSTALLED ACROSS TWO OR MORE SHADE BANDS IN ONE PIECE.

- .3 FASCIA SHALL FULLY CONC ROLLER AND FABRIC ON TH
- .4 PROVIDE BRACKET OR FASO MOUNTING CONDITIONS EX ROLLER SHADE BRACKETS
- .5 NOTCHING OF FASCIA FOR NOT BE ACCEPTABLE.VALAN SQUARE FASCIA
- BOTTOM RAIL: EXTRUDED ALUMI BAR OF SUFFICIENT WEIGHT FOR OPERATION.
- .8 COLOUR: TO BE SELECTED FROM STANDARD RANGE.
- .9 ACCESS AND MATERIAL REQUIR .1 PROVIDE SHADE HARDWAR REMOVAL OF SHADE ROLLE WITHOUT REMOVING HARD AND WITHOUT REQUIRING SUPPORTS TO BE REMOVED
- .2 PROVIDE SHADE HARDWAR REMOVAL AND RE-MOUNTIN WITHOUT HAVING TO REMO DRIVE OR OPERATING SUPP
- .3 USE ONLY DELRIN ENGINEE DUPONT FOR ALL PLASTIC ( HARDWARE. STYRENE BASE POLYESTER, OR REINFORCE BE ACCEPTABLE.
- .10 MANUAL OPERATED CHAIN DRIV BRACKETS:
- .1 PROVIDE FOR UNIVERSAL, DRIVE CAPACITY, ALLOWING AT FRONT, REAR OR NON-O DRIVE END BRACKETS. UNIV ADJUSTABLE FOR FUTURE
- .2 PROVIDE HARDWARE CAPA A REMOVABLE FASCIA, FOR **REVERSE ROLL, WHICH SHA** WITHOUT EXPOSED FASTEN KIND.
- .3 PROVIDE SHADE HARDWAR FOR REMOVABLE REGULAR FASCIA TO BE MOUNTED CO TWO OR MORE SHADE BANE EXPOSED FASTENERS OF A
- .4 PROVIDE SHADE HARDWAR MULTI-BANDED MANUALLY CAPABLE OF SMOOTH OPER OFFSET A MAXIMUM OF 6 DE OF THE PLANE PERPENDICU OF THE CURVE, FOR A 12 DI
- .5 PROVIDE POSITIVE MECHAN DRIVE MECHANISM TO SHAI FRICTION FIT CONNECTORS CONNECTION TO SHADE RC ACCEPTABLE
- .6 PROVIDE SHADE HARDWAR MINIMUM 1/8-INCH (3 MM) TH HEAVIER AS REQUIRED TO OF THE FULL WEIGHT OF EA
- .11 DRIVE BRACKET / BRAKE ASSEME
  - .1 DRIVE BRACKET SHALL BE F ALL ACCESSORIES, INCLUDI FASCIA, ROOM DARKENING CHANNELS, CENTER SUPPO FOR MULTI-BANDED SHADE
- .2 DRIVE SPROCKET AND BRA ROTATE AND BE SUPPORTE (9.5 MM) STEEL PIN.

.12 FABRICATION

.13 MOUNTING

<ul> <li>.3 FASCIA SHALL FULLY CONCEAL BRACKETS, SHADE ROLLER AND FABRIC ON THE TUBE.</li> <li>.4 PROVIDE BRACKET OR FASCIA END CAPS WHERE MOUNTING CONDITIONS EXPOSE OUTSIDE OF ROLLER SHADE BRACKETS.</li> <li>.5 NOTCHING OF FASCIA FOR MANUAL CHAIN SHALL NOT BE ACCEPTABLE.VALANCE: ALUMINUM WITH SQUARE FASCIA</li> <li>BOTTOM RAIL: EXTRUDED ALUMINUM OVAL BASE HEM BAR OF SUFFICIENT WEIGHT FOR PROPER SHADE OPERATION.</li> <li>COLOUR: TO BE SELECTED FROM MANUFACTURER'S STANDARD RANGE.</li> <li>ACCESS AND MATERIAL REQUIREMENTS:</li> <li>.1 PROVIDE SHADE HARDWARE ALLOWING FOR THE REMOVAL OF SHADE ROLLER TUBE FROM BRACKETS WITHOUT REMOVING HARDWARE FROM OPENING</li> </ul>	<ul> <li>.3 PROVIDE ALL BRACKETS AND MOUNTING ACCESSORIES INCLUDING SPECIALIZED BRACKETS WHERE BLIND HEADRAIL/ VALANCE CANNOT BE MOUNTED FLUSH WITH FACE OF WALL REQUIRING IT TO PROJECT BEYOND THE FACE OF THE WALL.</li> <li>.14 INSTALLATION         <ol> <li>DO NOT INSTALL WINDOW TREATMENTS UNTIL CONSTRUCTION AND FINISH WORK IN SPACES, INCLUDING PAINTING, IS COMPLETE AND DRY.</li> <li>INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCITON AND IN PROPER RELATIONSHIP WITH ADJACENT CONSTRUCTION.</li> <li>A ADJUST AND BALANCE ROLLER SHADES TO OPERATE SMOOTHLY, EASILY, SAFELY , AND FREE FROM BINDING OR MALFUNCTION THROUGHOUT THE ENTIRE OPERATIONAL RANGE.</li> <li>CLEANING</li></ol></li></ul>	<image/> <image/> <image/> <image/> <image/> <text></text>
<ul> <li>AND WITHOUT REQUIRING END OR CENTER SUPPORTS TO BE REMOVED.</li> <li>2 PROVIDE SHADE HARDWARE THAT ALLOWS FOR REMOVAL AND RE-MOUNTING OF THE SHADE BANDS WITHOUT HAVING TO REMOVE THE SHADE TUBE, DRIVE OR OPERATING SUPPORT BRACKETS.</li> <li>.3 USE ONLY DELRIN ENGINEERED PLASTICS BY DUPONT FOR ALL PLASTIC COMPONENTS OF SHADE HARDWARE. STYRENE BASED PLASTICS, AND/OR POLYESTER, OR REINFORCED POLYESTER WILL NOT BE ACCEPTABLE.</li> <li>MANUAL OPERATED CHAIN DRIVE HARDWARE AND PDACKETS:</li> </ul>	IMMEDIATELY PRIOR TO TURNOVER TO OWNER. USE ONLY CLEANING METHODS APPROVED BY MANUFACTURER. .16 SCHEDULE: .1 ALL EXTERIOR WINDOWS WITHIN WORK AREA ON EACH FLOOR. WINDOW OPENINGS APPROX 32" X 68". DIVISION 13 - SPECIAL CONSTRUCTION 13.1 (NOT APPLICABLE)	
<ul> <li>BRACKETS:</li> <li>.1 PROVIDE FOR UNIVERSAL, REGULAR AND OFFSET DRIVE CAPACITY, ALLOWING DRIVE CHAIN TO FALL AT FRONT, REAR OR NON-OFFSET FOR ALL SHADE DRIVE END BRACKETS. UNIVERSAL OFFSET SHALL BE ADJUSTABLE FOR FUTURE CHANGE.</li> <li>.2 PROVIDE HARDWARE CAPABLE OF INSTALLATION OF A REMOVABLE FASCIA, FOR BOTH REGULAR OR REVERSE ROLL, WHICH SHALL BE INSTALLED WITHOUT EXPOSED FASTENING DEVICES OF ANY KIND.</li> <li>.3 PROVIDE SHADE HARDWARE SYSTEM THAT ALLOWS FOR REMOVABLE FOR OUT AN OR DEVICES FOR ANY</li> </ul>	DIVISION 14 - CONVEYING SYSTEM 14.1 (NOT APPLICABLE)	
<ul> <li>FOR REMOVABLE REGULAR OR REVERSE ROLL FASCIA TO BE MOUNTED CONTINUOUSLY ACROSS TWO OR MORE SHADE BANDS WITHOUT REQUIRING EXPOSED FASTENERS OF ANY KIND. </li> <li>PROVIDE SHADE HARDWARE SYSTEM THAT ALLOWS</li> <li>MULTI-BANDED MANUALLY OPERATED SHADES TO BE CAPABLE OF SMOOTH OPERATION WHEN THE AXIS IS OFFSET A MAXIMUM OF 6 DEGREES ON EACH SIDE OF THE PLANE PERPENDICULAR TO THE RADIAL LINE OF THE CURVE, FOR A 12 DEGREES TOTAL OFFSET. </li> <li>PROVIDE POSITIVE MECHANICAL ENGAGEMENT OF</li> <li>DRIVE MECHANISM TO SHADE ROLLER TUBE. FRICTION FIT CONNECTORS FOR DRIVE MECHANISM CONNECTION TO SHADE ROLLER TUBE ARE NOT ACCEPTABLE </li> <li>PROVIDE SHADE HARDWARE CONSTRUCTED OF</li> <li>MINIMUM 1/8-INCH (3 MM) THICK PLATED STEEL OR HEAVIER AS REQUIRED TO SUPPORT 150 PERCENT OF THE FULL WEIGHT OF EACH SHADE.</li></ul>		This drawing is the property of the Architect and unauthorized reproduction is prohibited under the copyright act.         Electronic files, when provided, are instruments of service and the sole property of Hanson + Jung Architects Inc         The Contractor shall check and verify all dimensions and report any discrepancies to the Architect prior to construction; do not scale this drawing.         This drawing shall not be used for construction purposes unless properly signed and sealed by the Architect.         8       .         7       .         6       .         5       .         4       .
<ul> <li>DRIVE BRACKET / BRAKE ASSEMBLY:</li> <li>1 DRIVE BRACKET SHALL BE FULLY INTEGRATED WITH ALL ACCESSORIES, INCLUDING, BUT NOT LIMITED TO: FASCIA, ROOM DARKENING SIDE AND SILL CHANNELS, CENTER SUPPORTS AND CONNECTORS FOR MULTI-BANDED SHADES.</li> <li>2 DRIVE SPROCKET AND BRAKE ASSEMBLY SHALL ROTATE AND BE SUPPORTED ON A WELDED 3/8 INCH (9.5 MM) STEEL PIN.</li> <li>3 BRAKE SHALL BE AN OVER-RUNNING CLUTCH DESIGN WHICH DISENGAGES TO 90 PERCENT DURING THE RAISING AND LOWERING OF A SHADE. THE BRAKE SHALL WITHSTAND A PULL FORCE OF 50 LBS. (22 KG) IN THE STOPPED POSITION.</li> <li>4 ASSEMBLY SHALL BE FULLY MOUNTED ON THE STEEL SUPPORT BRACKET, AND FULLY INDEPENDENT OF THE SHADE TUBE ASSEMBLY, WHICH MAY BE REMOVED AND REINSTALLED WITHOUT EFFECTING THE ROLLER SHADE LIMIT ADJUSTMENTS.</li> <li>5 DRIVE CHAIN: NO. 10 QUALIFIED STAINLESS STEEL CHAIN RATED TO 90 LB. (41 KG) MINIMUM BREAKING STRENGTH. NICKEL PLATE CHAIN SHALL NOT BE</li> </ul>		3       ISSUED FOR TENDER       08-08-2023         2       PRE-TENDER COST ESTIMATE       14-07-2023         1       REVIEW       10-04-2023         NO       ACTION       DY MO YR         Client:         Project Title:         250 COLLEGE STREET MOVE CONSOLIDATION - INTERIOR RENOVATION         MOVE CONSOLIDATION - INTERIOR RENOVATION         Ground, 8th, 9th,10th and 11th Floors
ACCEPTED. FABRICATION .1 SITE VERIFY ALL WINDOW DIMENSIONS PRIOR TO FABRICATION. .2 ALLOW CLEARANCES FOR OPERATING HARDWARE THROUGH ENTIRE OPERATING RANGE. MOUNTING		Sheet Title: ARCHITECTURAL SPECIFICATIONS
<ul> <li>.1 CONDITION 1: BLINDS SHALL BE FABRICATED AND MOUNTED TO THE UNDERSIDE OF THE WINDOW HEAD OPENING. BRACKETS TO PROVIDE SYMMETRICAL LIGHT GAPS OF 0.75" MAX ON EACH SIDE OF SHADES</li> <li>.2 CONDITION 2: INSTALL AT ALL LOCATIONS WHERE THERE IS AN INTERIOR SECURITY WINDOW INSTALLED AT THE EXTERIOR WINDOW. BLINDS SHALL BE SURFACE MOUNTED TO FACE OF WALL AT HEAD OF WINDOW EXTENDING PAST WINDOW OPENING BY MINIUM 1' ON EACH SIDE OF WINDOW OPENING</li> </ul>		Project North       Stamp         Image: Date:       Project No.:         14 07 2023       22-48         Scale:       Drawn:       Checked:         AS NOTED       JJ       WJ         Drawing Number:       Recent Content Conten Content Content Content Conten Content Con



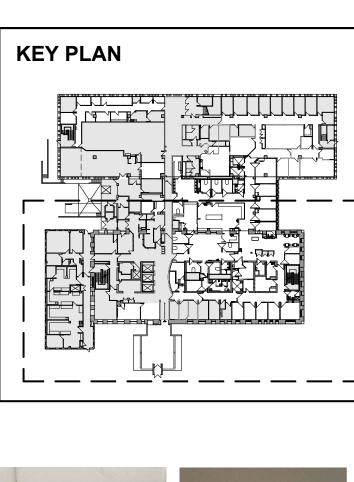


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•	EXISTING ACCESS CONTROL TO BE DEACTIVATED - SEE ELEC FOR DEVICES TO BE ACTIVATED AND/OR		4	S	
•	REMOVED		Č		
ML ES	EXIST MAG LOCK EXIST ELECTRIC STRIKE		C		
FP CR K	EXIST FIRE ALARM PULL EXIST CARD READER EXIST KEY SWITCH		8		
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	$\bigcirc$	SEE PICTURE FOR REFERENCE.
	(16)	REMOVE PANEL AND CUT AROUND NEATLY TO PREPA
	(15)	REMOVE COVER PANEL AND PREPARE WALL FOR INF SEE PICTURE FOR REFERENCE.
	14	REMOVE BOTH PANELS COVERING THE WALL. CUT NI PREPARE WALL FOR INSTALLATION OF NEW GYP.BD.
	13	REMOVE METAL PANEL AND REPLACE WITH NEW RET
	(12)	REMOVE EXISTING WALL BASE IN THIS ROOM AND PR BASE AND FLOORING INSTALLATION.
	$\bigcirc$	
	(11)	EXISTING BOLTED TABLES AND CHAIRS TO BE REMO
	10	REMOVE WOODEN PANELS AND PATCH WALL AREA V SEE PICTURE FOR REFERENCE.
	(09)	REMOVE TV COMPLETE WITH THE BASE. SEE ON THI
	(08)	EXISTING DRINKING FOUNTAIN TO BE REMOVED.
	07	ACRYLIC SIGN LAMINTED TO THE WALL TO BE REMO
	06	FOLDING SECURITY CLOSURES TO BE REMOVED.
	05	EXISTING LOCKERS TO BE REMOVED
	04	EXISTING WALL MOUNTED CABINETS TO BE REMOVE
	03	EXISTING METAL BED BOLTED TO THE FLOOR TO BE PATCH SMOOTH BOLT HOLES IN FLOOR
	(02)	EXISTING HAND WASH SINK TO BE REMOVED, HAND DISPENSER, PAPER TOWEL DISPENSER AND MIRROF BE REMOVED
	(01)	EXISTING WALL MOUNTED SHELVES TO BE REMOVE







(09)



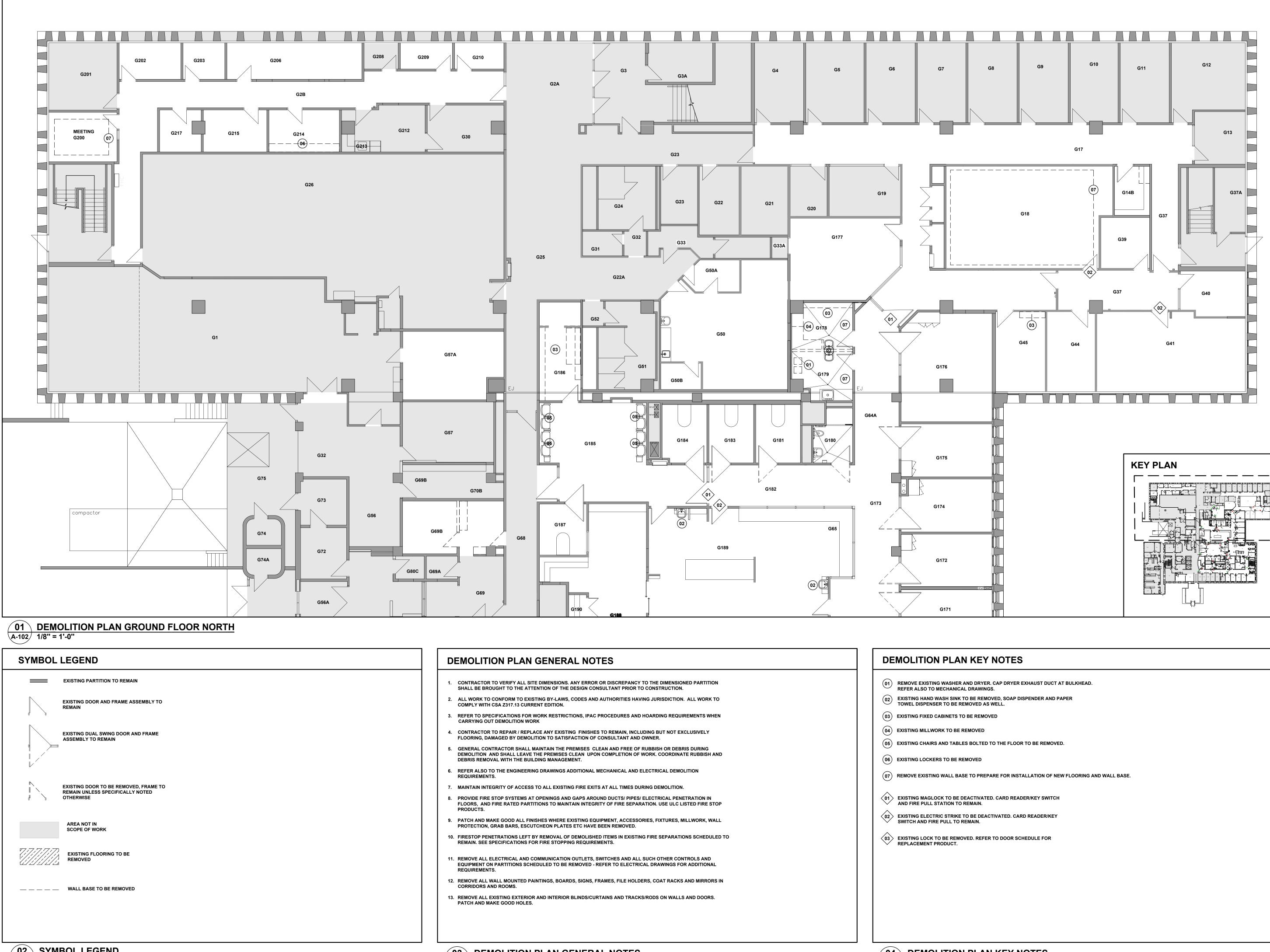


>	EXISTING MAGLOCK TO BE DEACTIVATED. SEE ELECTRICAL DWG FOR REMOVAL OF CARD READER, KEY SWITCH AND FIRE ALARM PULL
>	EXISTING ELECTRIC STRIKE TO BE DEACTIVATED. SEE ELECTRICAL DWG FOR REMOVAL OF CARD READER, KEY SWITCH AND

TIVATED. SEE ELECTRICAL KEY SWITCH AND FIRE ALARM PULL

(03) EXISTING LOCK TO BE REMOVED. REFER TO DOOR SCHEDULE FOR REPLACEMENT PRODUCT.

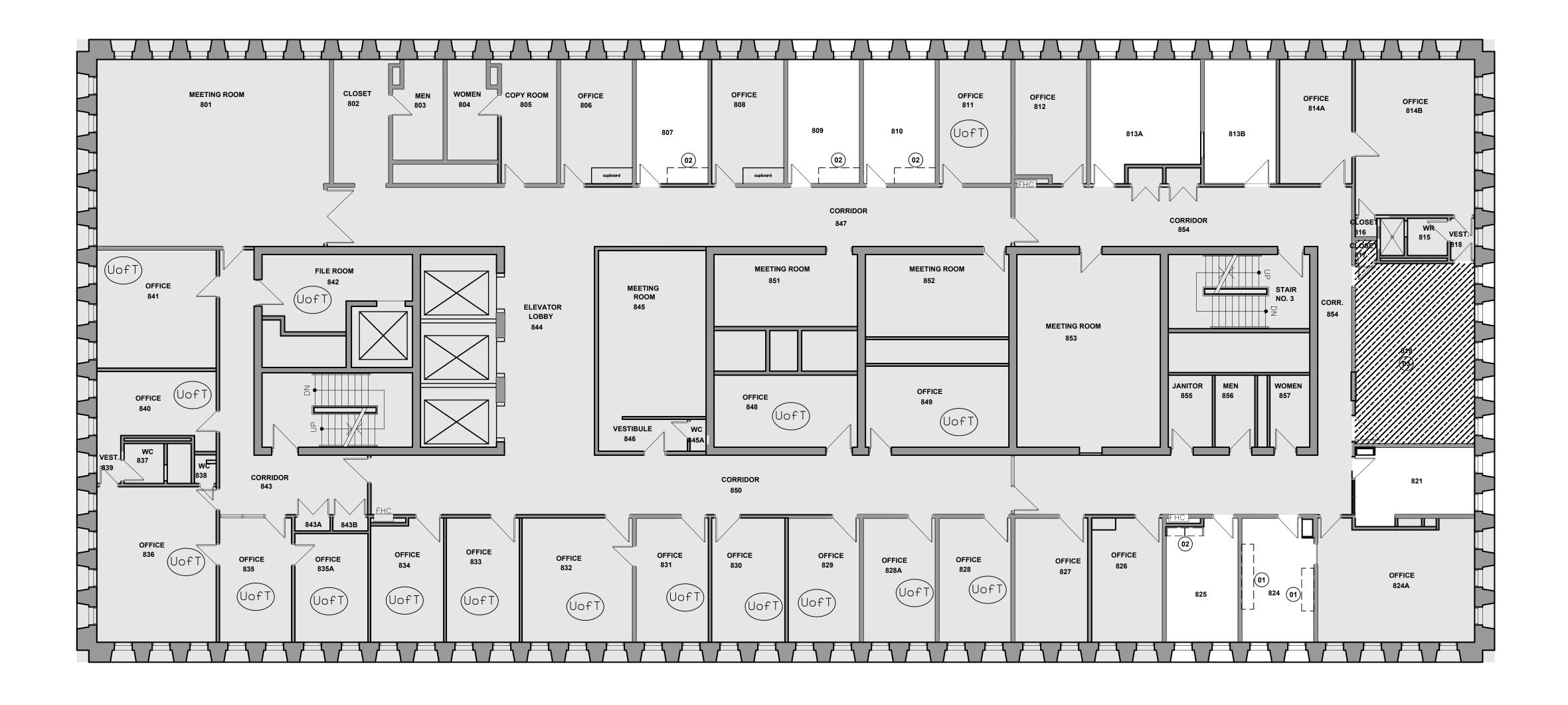
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1       REVIEW       10-04-20         NO       ACTION       DY MO YI         Clent:       CAMH       Stamp         Project Title:         250 COLLEGE STREET MOVE CONSOLIDATION - INTERIOR RENOVATION CONSOLIDATION PLAN GROUND FLOOR NORTH         Sheet Title:         DEMOLITION PLAN GROUND FLOOR NORTH         Stamp         North         Stamp         Dete: Title:         Date: 11000 PLAN GROUND FLOOR NORTH         Date: 12-2023         14 07 2023         Stamp: 2020			ER	08-08-202
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Cleme Cleme Cleme CAMH Project Title: 250 COLLEGE STREET MOVE CONSOLIDATION 4 State Title: DEMOLITION PLAN GROUND FLOOR NORTH Project North Project Net 14 07 2023 Scale: Project Project No: 22-48 Project No: 22-48	1	REVIEW		10-04-202
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14 07 2023         22-48           Scale:         Drawn:         Checked:		t	Stamp	
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Drawing Number:



### **01** DEMOLITION PLAN 8TH FLOOR A-103 1/8" = 1'0"

# SYMBOL LEGEND

\_\_\_\_\_ \_\_\_\_\_ 

REMAIN

ASSEMBLY TO REMAIN

EXISTING DOOR AND FRAME ASSEMBLY TO

EXISTING PARTITION TO REMAIN

NEW PARTITION

EXISTING DOOR TO BE REMOVED, FRAME TO REMAIN UNLESS SPECIFICALLY NOTED

EXISTING DUAL SWING DOOR AND FRAME

AREA NOT IN

SCOPE OF WORK

DENOTES AREA WITH EXISTING

CARPET TO BE REMOVED

OTHERWISE

Н

02 SYMBOL LEGEND A-103 N.T.S

- CARRYING OUT DEMOLITION WORK

- REQUIREMENTS.
- PRODUCTS.

- REQUIREMENTS. CORRIDORS AND ROOMS.
- PATCH AND MAKE GOOD HOLES.

**03** DEMOLITION PLAN GENERAL NOTES A-103 N.T.S

# DEMOLITION PLAN GENERAL NOTES

I. CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION. 2. ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION. ALL WORK TO

COMPLY WITH CSA Z317.13 CURRENT EDITION. 3. REFER TO SPECIFICATIONS FOR WORK RESTRICTIONS, IPAC PROCEDURES AND HOARDING REQUIREMENTS WHEN

4. CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES TO REMAIN, INCLUDING BUT NOT EXCLUSIVELY FLOORING, DAMAGED BY DEMOLITION TO SATISFACTION OF CONSULTANT AND OWNER.

5. GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING DEMOLITION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.

6. REFER ALSO TO THE ENGINEERING DRAWINGS ADDITIONAL MECHANICAL AND ELECTRICAL DEMOLITION

7. MAINTAIN INTEGRITY OF ACCESS TO ALL EXISTING FIRE EXITS AT ALL TIMES DURING DEMOLITION.

8. PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP

9. PATCH AND MAKE GOOD ALL FINISHES WHERE EXISTING EQUIPMENT, ACCESSORIES, FIXTURES, MILLWORK, WALL PROTECTION, GRAB BARS, ESCUTCHEON PLATES ETC HAVE BEEN REMOVED. 10. FIRESTOP PENETRATIONS LEFT BY REMOVAL OF DEMOLISHED ITEMS IN EXISTING FIRE SEPARATIONS SCHEDULED TO

REMAIN. SEE SPECIFICATIONS FOR FIRE STOPPING REQUIREMENTS. 11. REMOVE ALL ELECTRICAL AND COMMUNICATION OUTLETS, SWITCHES AND ALL SUCH OTHER CONTROLS AND EQUIPMENT ON PARTITIONS SCHEDULED TO BE REMOVED - REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL

12. REMOVE ALL WALL MOUNTED PAINTINGS, BOARDS, SIGNS, FRAMES, FILE HOLDERS, COAT RACKS AND MIRRORS IN 13. REMOVE ALL EXISTING EXTERIOR AND INTERIOR BLINDS/CURTAINS AND TRACKS/RODS ON WALLS AND DOORS.

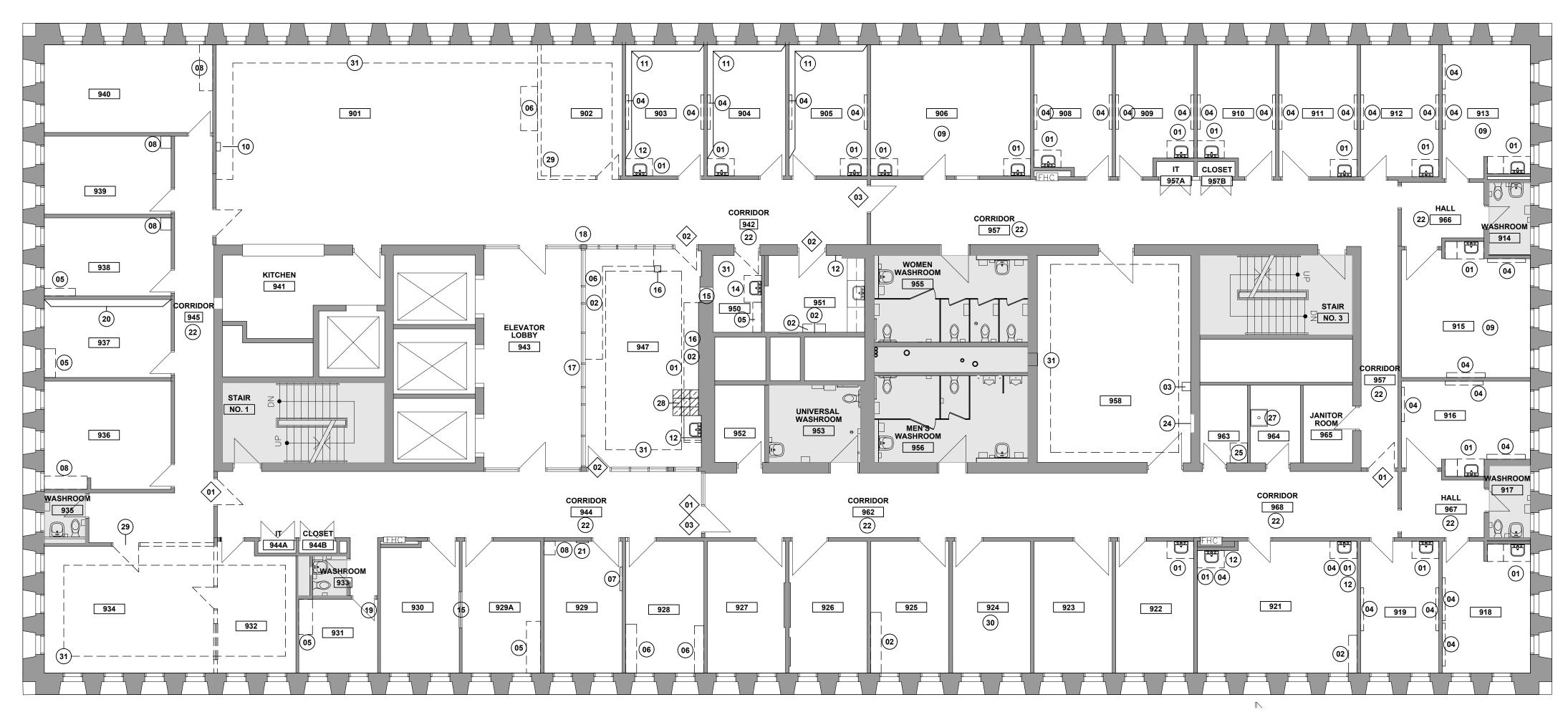
# DEMOLITION PLAN KEY NOTES

(01) EXISTING WALL MOUNTED CABINETS TO BE REMOVED.

(02) EXISTING MILLWORK TO BE REMOVED.

(03) EXISTING CARPET AND BASE TO BE REMOVED.

2     PRE-TENDER COST ESTIMATE     14-07-2       1     REVIEW     10-04-2       NO     ACTION     DY MO       Client:     CAMH	Prohibited under the copyright act. Electronic files, when provided, are instruments of service and the sole proper damon + Jung Architects Inc No alteration or reproduction shall be made with the permission from Hanson + Jung Architects Inc The Contractor shall check and verify all dimensions and report any discrepare of the Architect prior to construction; do not scale this drawing. This drawing shall not be used for construction purposes unless properly signing sealed by the Architect.          8       .       .         7       .       .         6       .       .         7       .       .         6       .       .         3       ISSUED FOR TENDER       08-08-2         2       PRE-TENDER COST ESTIMATE       14-07-2         1       REVIEW       10-04-2         NO       ACTION       DY MO         Cleant Cost ESTIMATE         Project Title:			ARCHITECTS 477 richmono toronto ontar	s in c d st. w. suite 3 io m5v 3e7 3 f 416. 340.0	
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### **O1** DEMOLITION PLAN 9TH FLOOR A-104 1/8" = 1'0"

A-104 N.T.S

# SYMBOL LEGEND EXISTING PARTITION TO REMAIN EXISTING PARTITION TO BE DEMOLISHED TO UNDERSIDE OF SLAB $\equiv$ $\equiv$ $\equiv$ NEW PARTITION \_\_\_\_\_ EXISTING DOOR AND FRAME ASSEMBLY TO REMAIN EXISTING DUAL SWING DOOR AND FRAME ASSEMBLY TO REMAIN EXISTING DOOR TO BE REMOVED, FRAME TO REMAIN. MAINTAIN EXISTING HINGE FOR Ц INSTALLATION OF NEW DOOR. AREA NOT IN SCOPE OF WORK \_\_\_\_ WALL BASE TO BE REMOVED DENOTES FLOOR TILES TO BE REMOVED AND REPLACED WITH NEW **02** SYMBOL LEGEND

# **DEMOLITION PLAN GENERAL NOTES**

- CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.
- 2. ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION. ALL WORK TO COMPLY WITH CSA Z317.13 CURRENT EDITION.
- 3. REFER TO SPECIFICATIONS FOR WORK RESTRICTIONS, IPAC PROCEDURES AND HOARDING REQUIREMENTS WHEN CARRYING OUT DEMOLITION WORK
- 4. CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES TO REMAIN, INCLUDING BUT NOT EXCLUSIVELY FLOORING, DAMAGED BY DEMOLITION TO SATISFACTION OF CONSULTANT AND OWNER.
- 5. GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING DEMOLITION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.
- 6. REFER ALSO TO THE ENGINEERING DRAWINGS ADDITIONAL MECHANICAL AND ELECTRICAL DEMOLITION REQUIREMENTS.
- 7. MAINTAIN INTEGRITY OF ACCESS TO ALL EXISTING FIRE EXITS AT ALL TIMES DURING DEMOLITION.
- 8. PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS.
- 9. PATCH AND MAKE GOOD ALL FINISHES WHERE EXISTING EQUIPMENT, ACCESSORIES, FIXTURES, MILLWORK, WALL PROTECTION, GRAB BARS, ESCUTCHEON PLATES ETC HAVE BEEN REMOVED. 10. FIRESTOP PENETRATIONS LEFT BY REMOVAL OF DEMOLISHED ITEMS IN EXISTING FIRE SEPARATIONS SCHEDULED TO
- 11. REMOVE ALL ELECTRICAL AND COMMUNICATION OUTLETS, SWITCHES AND ALL SUCH OTHER CONTROLS AND EQUIPMENT ON PARTITIONS SCHEDULED TO BE REMOVED - REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- 12. REMOVE ALL WALL MOUNTED PAINTINGS, BOARDS, SIGNS, FRAMES, FILE HOLDERS, COAT RACKS AND MIRRORS IN CORRIDORS AND ROOMS. 13. REMOVE ALL EXISTING EXTERIOR AND INTERIOR BLINDS/CURTAINS AND TRACKS/RODS ON WALLS AND DOORS.

PATCH AND MAKE GOOD HOLES.

# **DEMOLITION PLAN KEY NOTES**

(01) EXISTING UPPER AND LOWER MILLWORK TO BE REMOVED COMPLETE WITH DROP IN SINK. REFER ALSO TO MECHANICAL DRAWINGS	(17) REMOVE FLOOR IDENTIFICATION PANEL ATTACHED TO THE
02 EXISTING MILLWORK TO BE REMOVED	(18) REMOVE WALL MOUNTED WOODEN SUGGESTIONS BOX.
03 EXISTING DRINKING FOUNTAIN TO BE REMOVED.	
<b>04</b> EXISTING WALL MOUNTED LIGHT FIXTURES TO BE REMOVED ALONG WITH THEIR SWITCHES. REFER ALSO TO ELECTRICAL DRAWINGS	(19) REMOVE WALL MOUNTED COAT RACK.
05 EXISTING WALL MOUNTED METAL SHELVES AND TRACKS TO BE REMOVED	<b>20</b> EXISTING WALL PAPER TO BE REMOVED.
06 EXISTING WALL MOUNTED SHELVES TO BE REMOVED	21) EXISTING WALL FILE HOLDERS TO BE REMOVED.
(07) EXISTING WALL MOUNTED MIRROR TO BE REMOVED	$\bigcirc$
<b>EXISTING FIXED CABINETS TO BE REMOVED</b>	(22) REMOVE ALL WALL MOUNTED PAINTINGS, BOARDS, SIGNS, FILE HOLDERS, COAT RACKS AND MIRRORS IN CORRIDORS.
(09) EXISTING ROOM DIVIDER CURTAINS AND CEILING MOUNTED CURTAIN TRACKS TO BE REMOVED.	(23) SCRAPE OUT PRE-EXISTING LEFT OVER TAPE AND PATCH W PRIOR TO PAINT.
(10) EXISTING WALL MOUNTED CONDUIT TO BE REMOVED.	SEE PICTURE FOR REFERENCE.
$\overbrace{(11)}$ EXISTING LAMINATED WALL PROTECTION TO REMAIN.	(24) BUILT-IN WALL SHELVES TO REMAIN.
(12) EXISTING SURFACE MOUNTED SOAP DISPENSER/PAPER TOWEL	(25) METAL CABINET FIXED TO THE WALL TO BE REMOVED.
DISPENSER TO BE REMOVED.	
(13) EXISTING SURFACE MOUNTED ELECTRICAL JUNCTION BOX TO BE REMOVED ALONG WITH THE FEEDING PLASTIC PIPE.	(26) NOT USED.
(14) EXISTING LOWER MILLWORK TO BE REMOVED COMPLETE WITH DROP	27) EXISTING JANITOR SINK TO REMAIN.
✓ IN SINK. REFER ALSO TO MECHANICAL DRAWINGS	(28) REMOVE WOODEN PANEL AND 9 FLOOR TILES WHERE FLOO PIPE TO REMAIN. SEE PICTURE FOR REFERENCE.
(15) EXISTING WINDOW AND WINDOW FRAME TO REMAIN.	

- 16 REMOVE ALL WALL MOUNTED ITEMS EXCEPT ELECTRICAL OUTLETS, INCLUDING BUT LIMITED TO SHELVES, BOARDS, FILE HOLDERS, SOAP DISPENSERS, CALL BUTTONS, SPEAKERS, JUNCTION BOXES, PANELS, CONDUITS..ETC AND ALL FEEDING PIPES. SEE PICTURE FOR REFERENCE.

- REMAIN. SEE SPECIFICATIONS FOR FIRE STOPPING REQUIREMENTS.



04 DEMOLITION PLAN KEY NOTES A-104 N.T.S

- TTACHED TO THE ESTIONS BOX.
- IOVED.
- BOARDS, SIGNS, FRAMES,
- APE AND PATCH WALL
- E REMOVED.
- LES WHERE FLOOR PIPE EXISTS. RENCE.
- (29) REMOVE EXISTING RETURN AIR GRILLE. REFER TO MECHANICAL DRAWINGS.
- 30 SCRAPE OFF DELAMINATED PLASTER AND PREPARE WALL FOR A NEW LAYER OF PLASTER AND DAINT
- (31) REMOVE EXISTING WALL BASE AND PREPARE FOR RECEIVING NEW FLOORING AND WALL BASE.











**GENERAL NOTE 14** 





(28)

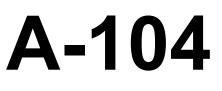
WINDOW.	

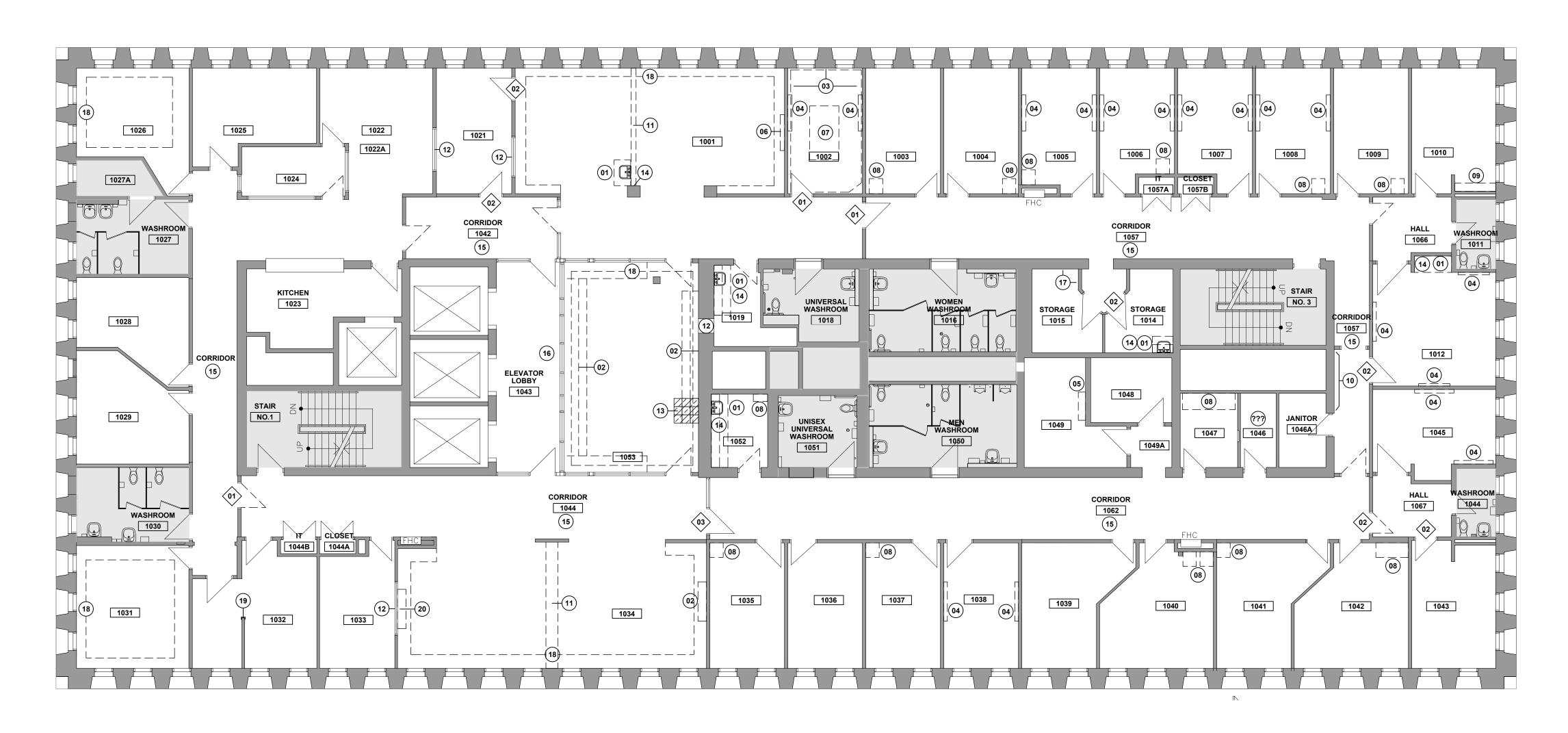
01	EXISTING MAGLOCK TO BE DEACTIVATED. CARD READER AND FIRE PULL STATION TO REMAIN.
02	EXISTING ELECTRIC STRIKE TO BE DEACTIVATED. CARD READER AND FIRE PULL TO REMAIN.

03 EXISTING LOCK TO BE REMOVED AND REPLACED. REFER TO DOOR SCHEDULE FOR REPLACEMENT. SCHEDULE FOR REPLACEMENT.

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Drawing Number:	





### **(01) DEMOLITION PLAN 10TH FLOOR** A-104 1/8" = 1'-0"

SYMBOL	LEGEND
_	EXISTING PARTITION TO REMAIN
===	EXISTING PARTITION TO BE REMOVED
	NEW PARTITION
	EXISTING DOOR AND FRAME ASSEMBLY TO REMAIN
	EXISTING DUAL SWING DOOR AND FRAME ASSEMBLY TO REMAIN
	EXISTING DOOR TO BE REMOVED, FRAME TO REMAIN UNLESS SPECIFICALLY NOTED OTHERWISE
	AREA NOT IN SCOPE OF WORK
	WALL BASE TO BE REMOVED
	DENOTES FLOOR TILES TO BE REMOVED AND REPLACED WITH NEW
02 SYN A-104 N.T.S	MBOL LEGEND s

# **DEMOLITION PLAN GENERAL NOTES**

- 1. CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.
- 2. ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION. ALL WORK TO COMPLY WITH CSA Z317.13 CURRENT EDITION.
- 3. GENERAL CONTRACTOR IS TO REVIEW & FOLLOW THE BUILDING'S CONSTRUCTION GUIDELINES PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK. ALL NOISE AND NOXIOUS WORK TO BE DONE AFTER HOURS AND ARRANGED WITH BUILDING BEFOREHAND. SEAL OFF SITE WITH HOARDING AS REQUIRED FOR DURATION OF CONSTRUCTION SO NOT TO DISTURB DAY TO DAY OPERATIONS.
- 4. CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES DENOTES TO REMAIN, INCLUDING BUT NOT EXCLUSIVELY FLOORING, DAMAGED BY DEMOLITION.
- 5. GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING DEMOLITION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.
- 6. REFER ALSO TO THE ENGINEERING DRAWINGS ADDITIONAL MECHANICAL AND ELECTRICAL DEMOLITION REQUIREMENTS.
- 7. MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING DEMOLITION. 8. PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS.
- 9. PATCH AND MAKE GOOD ALL FINISHES WHERE EXISTING EQUIPMENT, ACCESSORIES, FIXTURES, MILLWORK, WALL PROTECTION, GRAB BARS, ESCUTCHEON PLATES ETC HAVE BEEN REMOVED.
- 10. FIRESTOP ALL NEW AND EXISTING PENETRATIONS IN EXISTING FIRE SEPARATIONS SCHEDULED TO REMAIN.
- 11. REMOVE ALL WALL MOUNTED DEVICES, ACCESSORIES, SHELVING, WHITEBOARDS, ETC IN AREA OF WORK UNLESS SPECIFICALLY NOTED TO REMAIN.
- 12. REMOVE ALL ELECTRICAL OUTLETS, SWITCHES DATA OUTLETS, DEVICES ETC. ON PARTITIONS SCHEDULED TO BE REMOVED - REFER ALSO TO ELECTRICAL DRAWINGS.
- 13. REMOVE ALL WALL MOUNTED PAINTINGS, BOARDS, SIGNS, FRAMES, FILE HOLDERS, COAT RACKS AND MIRRORS IN CORRIDORS AND ROOMS.
- 14. REMOVE ALL EXISTING EXTERIOR AND INTERIOR BLINDS AND TRACKS ON WALLS AND DOORS.
- 15. REMOVE ALL NAME TAGS WITHOUT DAMAGING THE DOOR SIGN, ROOM NUMBER SIGN TO REMAIN.
- 16. REMOVE ALL WALL MOUNTED HAND SANITIZERS.

# **DEMOLITION PLAN KEY NOTES**

- 01 EXISTING MILLWORK TO BE REMOVED COMPLETE WITH DROP IN SINK. REFER ALSO TO MECHANICAL DRAWINGS (02) EXISTING UPPER AND LOWER MILLWORK TO BE REMOVED (03) REMOVE EXISTING ACRYLIC WALL PANELS LAMINATED TO THE WALL (04) EXISTING WALL MOUNTED LIGHT FIXTURES TO BE REMOVED (05) EXISTING WALL MOUNTED METAL SHELVES TO BE REMOVED (06) EXISTING WALL MOUNTED WOOD SHELVES TO BE REMOVED (07) REMOVE EXISTING METAL BED BOLTED TO THE FLOOR.
  - (08) FIXED CABINETS TO BE REMOVED.
  - (09) EXISTING LOCKERS TO BE REMOVED.
  - (10) REMOVE PLASTER FROM FULL WALL SURFACE AND PREPARE WALL FOR A NEW LAYER OF PLASTER AND PAINT
  - FOR A NEW LAYER OF PLASTER AND PAINT. (11) EXISTING 3' HIGH WALL TO BE DEMOLISHED.
  - (12) EXISTING WINDOW AND FRAME TO REMAIN.
  - (13) REMOVE FLOOR TILES AROUND FLOOR PIPES. PIPES TO REMAIN.
  - (14) EXISTING SURFACE MOUNTED SOAP DISPENSER/PAPER TOWEL DISPENSER TO BE REMOVED.

### **04** DEMOLITION PLAN KEY NOTES A-104/ N.T.S

- 15 REMOVE ALL WALL MOUNTED PAINTINGS, BOARDO, STATES, FILE HOLDERS, COAT RACKS AND MIRRORS IN CORRIDORS. REMOVE ALL WALL MOUNTED PAINTINGS, BOARDS, SIGNS, FRAMES,
- (16) REMOVE MAIN DIRECTORY SIGNAGE.
- (17) EXISTING WALL MOUNTED COAT RACK TO BE REMOVED.
- (18) EXISTING WALL BASE TO BE REMOVED.
- (19) EXISTING CORNER GUARDS TO BE REMOVED PRIOR TO INSTALLATION OF NEW DRY WALL.
- (20) EXISTING CEILING TV MOUNT TO BE REMOVED COMPLETE WITH ALL ATTACHMENTS. SEE PICTURE FOR REFERENCE.





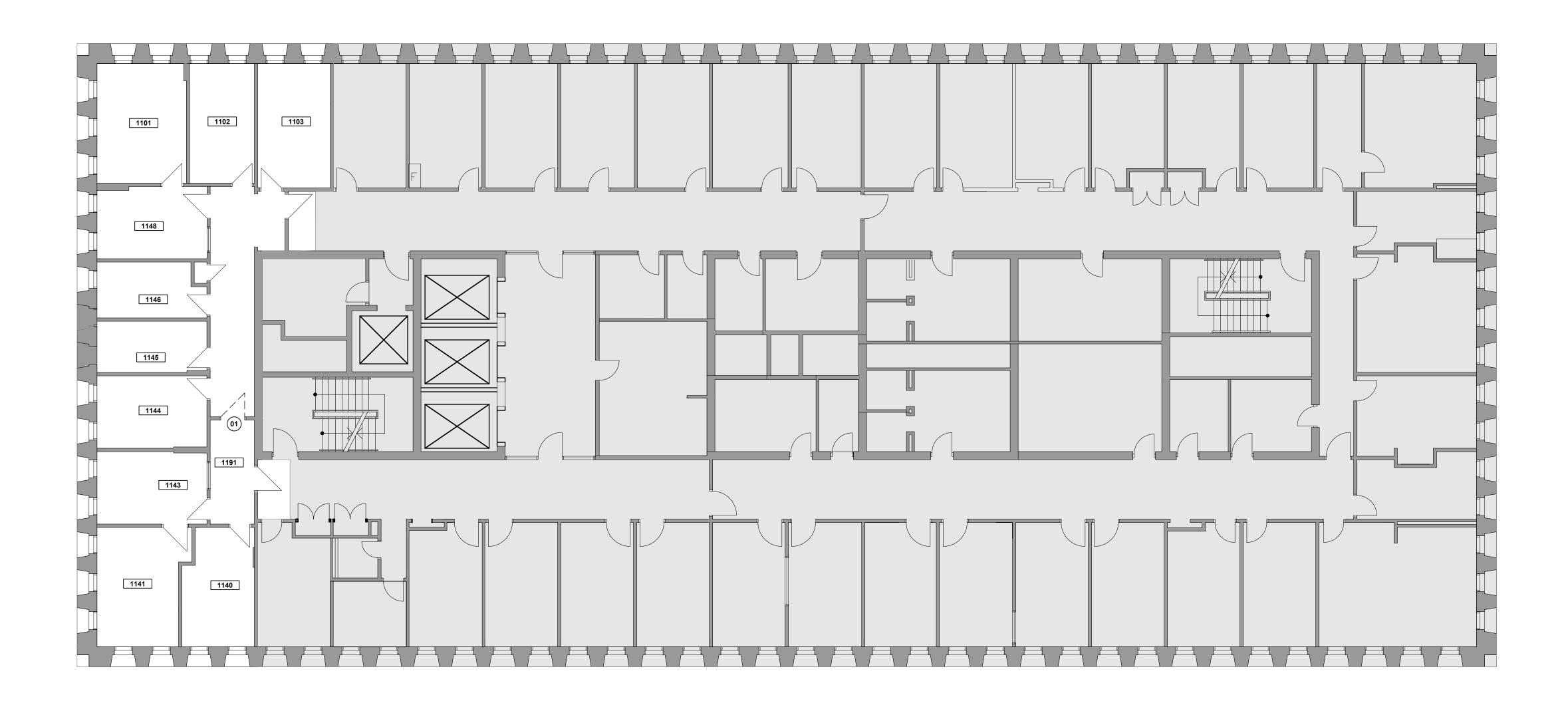
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**CONTINUE OF A CONTINUE OF A C** REMOVAL OF CARD READER, KEY SWITCH AND FIRE ALARM PULL **(02)** EXISTING ELECTRIC STRIKE TO BE DEACTIVATED. SEE ELECTRICAL DWG FOR REMOVAL OF CARD READER, KEY SWITCH AND FIRE ALARM PULL

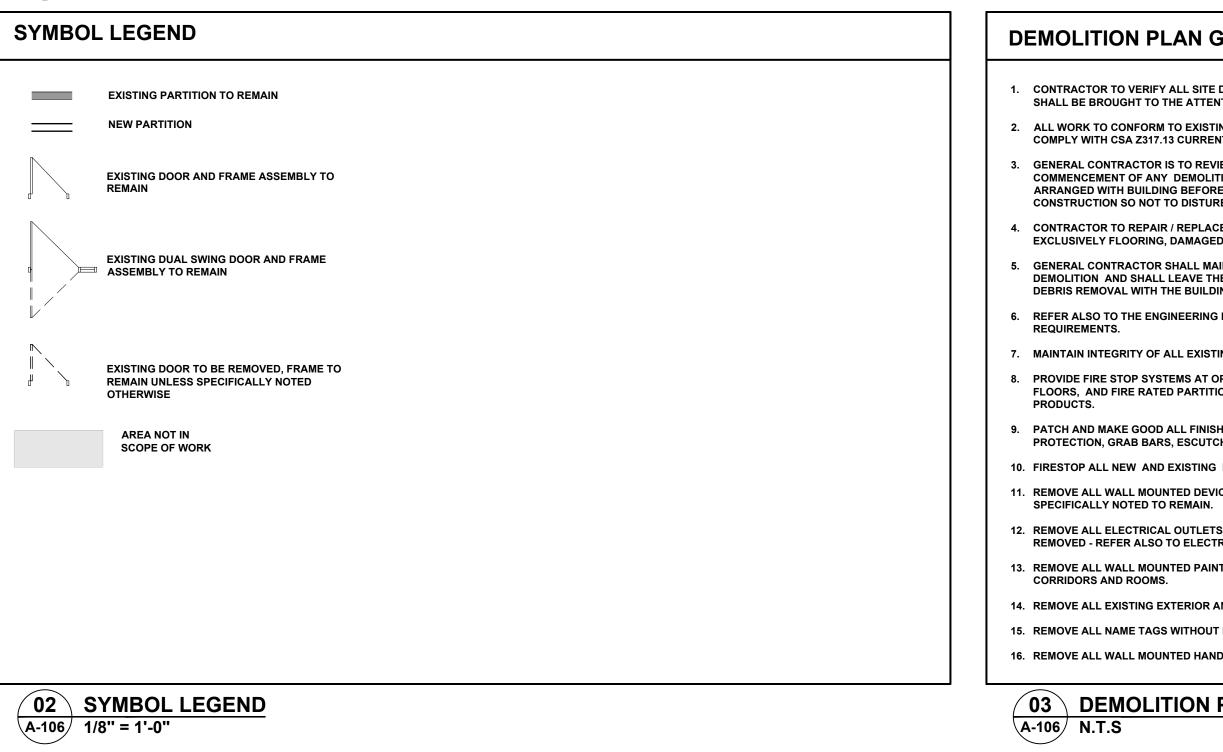
(03) EXISTING LOCK TO BE REMOVED. REFER TO DOOR SCHEDULE FOR REPLACEMENT PRODUCT.

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**01** DEMOLITION PLAN 11TH FLOOR A-106 1/8" = 1'-0"



### DEMOLITION PLAN GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.

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4. CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES DENOTES TO REMAIN, INCLUDING BUT NOT EXCLUSIVELY FLOORING, DAMAGED BY DEMOLITION.

5. GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING DEMOLITION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.

6. REFER ALSO TO THE ENGINEERING DRAWINGS ADDITIONAL MECHANICAL AND ELECTRICAL DEMOLITION

7. MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING DEMOLITION.

8. PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP

9. PATCH AND MAKE GOOD ALL FINISHES WHERE EXISTING EQUIPMENT, ACCESSORIES, FIXTURES, MILLWORK, WALL PROTECTION, GRAB BARS, ESCUTCHEON PLATES ETC HAVE BEEN REMOVED.

10. FIRESTOP ALL NEW AND EXISTING PENETRATIONS IN EXISTING FIRE SEPARATIONS SCHEDULED TO REMAIN. 11. REMOVE ALL WALL MOUNTED DEVICES, ACCESSORIES, SHELVING, WHITEBOARDS, ETC IN AREA OF WORK UNLESS

12. REMOVE ALL ELECTRICAL OUTLETS, SWITCHES DATA OUTLETS, DEVICES ETC. ON PARTITIONS SCHEDULED TO BE REMOVED - REFER ALSO TO ELECTRICAL DRAWINGS.

13. REMOVE ALL WALL MOUNTED PAINTINGS, BOARDS, SIGNS, FRAMES, FILE HOLDERS, COAT RACKS AND MIRRORS IN

14. REMOVE ALL EXISTING EXTERIOR AND INTERIOR BLINDS AND TRACKS ON WALLS AND DOORS.

15. REMOVE ALL NAME TAGS WITHOUT DAMAGING THE DOOR SIGN, ROOM NUMBER SIGN TO REMAIN.

16. REMOVE ALL WALL MOUNTED HAND SANITIZERS.

**03** DEMOLITION PLAN GENERAL NOTES

# DEMOLITION PLAN KEY NOTES

(01) EXISTING DOOR TO BE REMOVED. FRAME TO REMAIN.

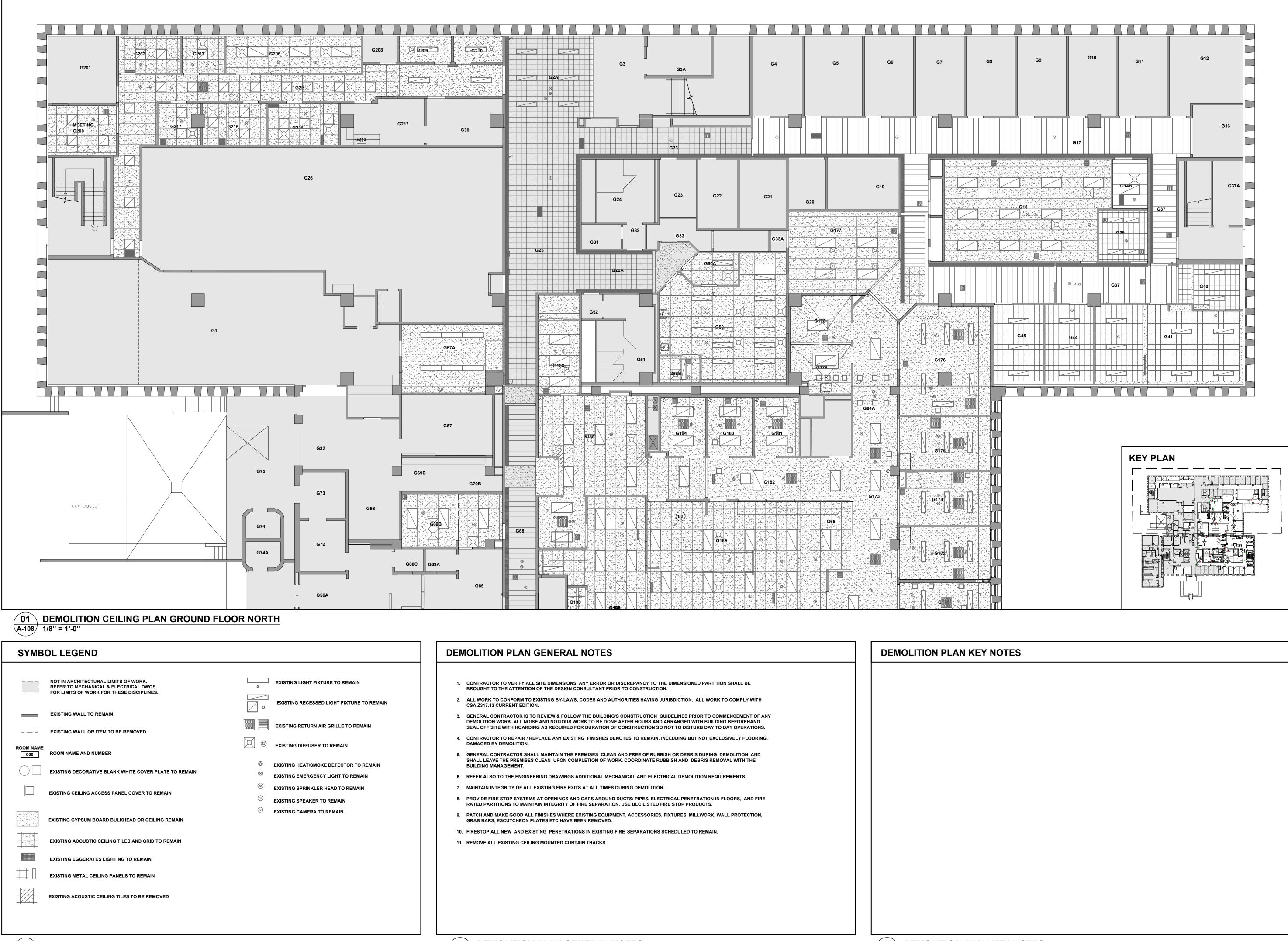
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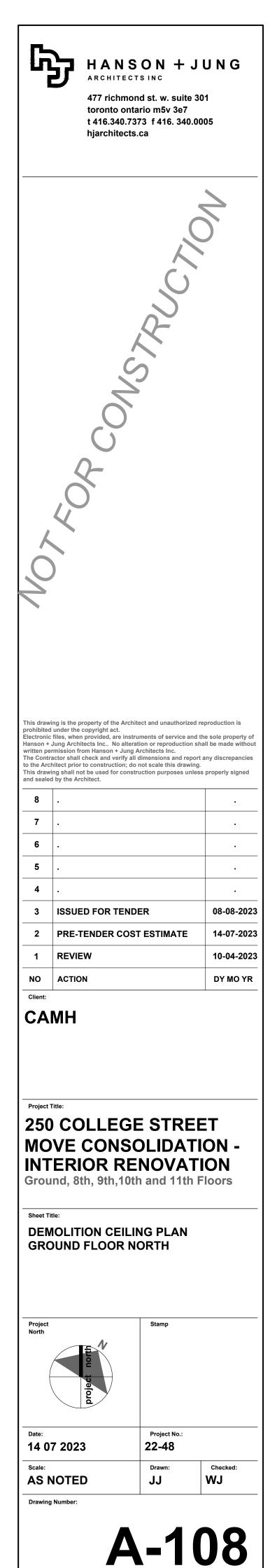
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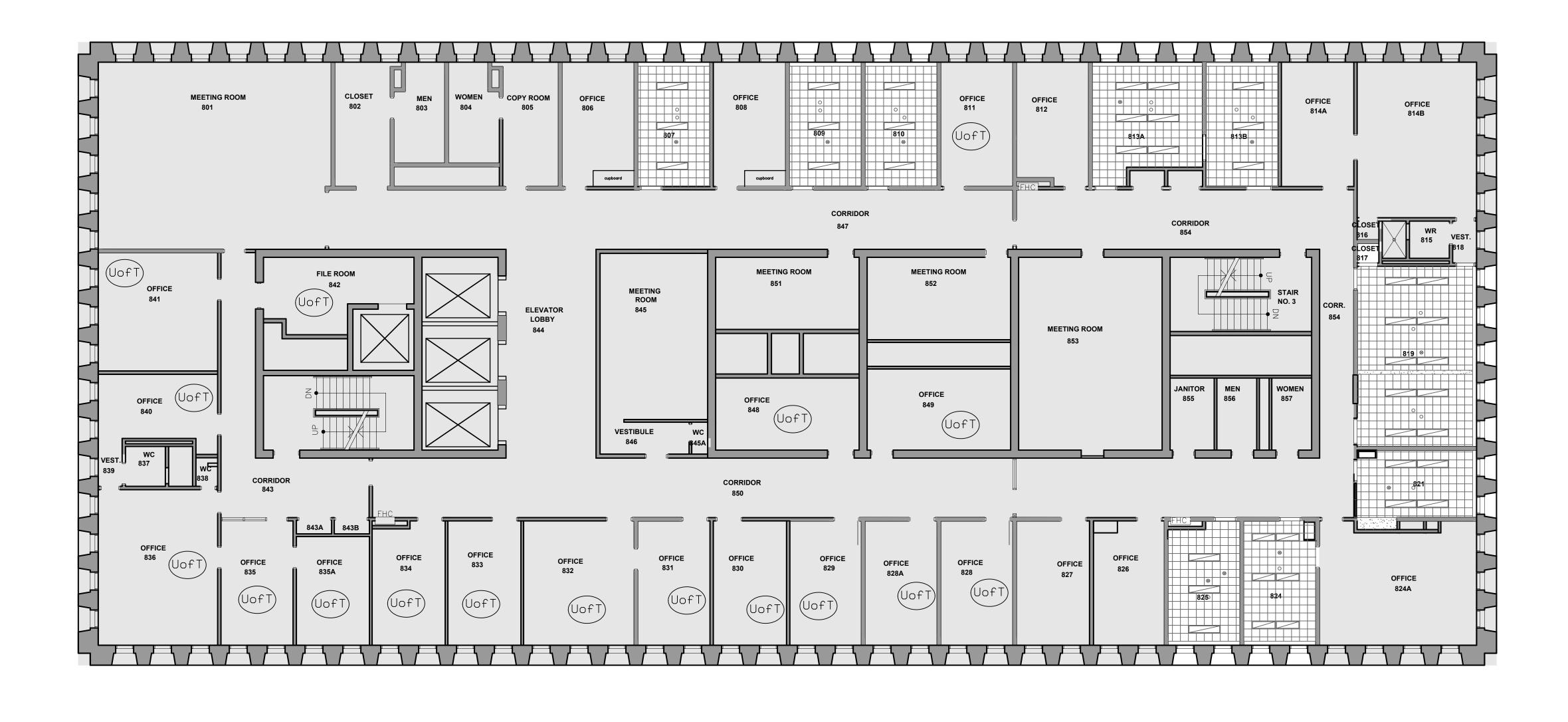


02 SYMBOL LEGEND A-107 N.T.S

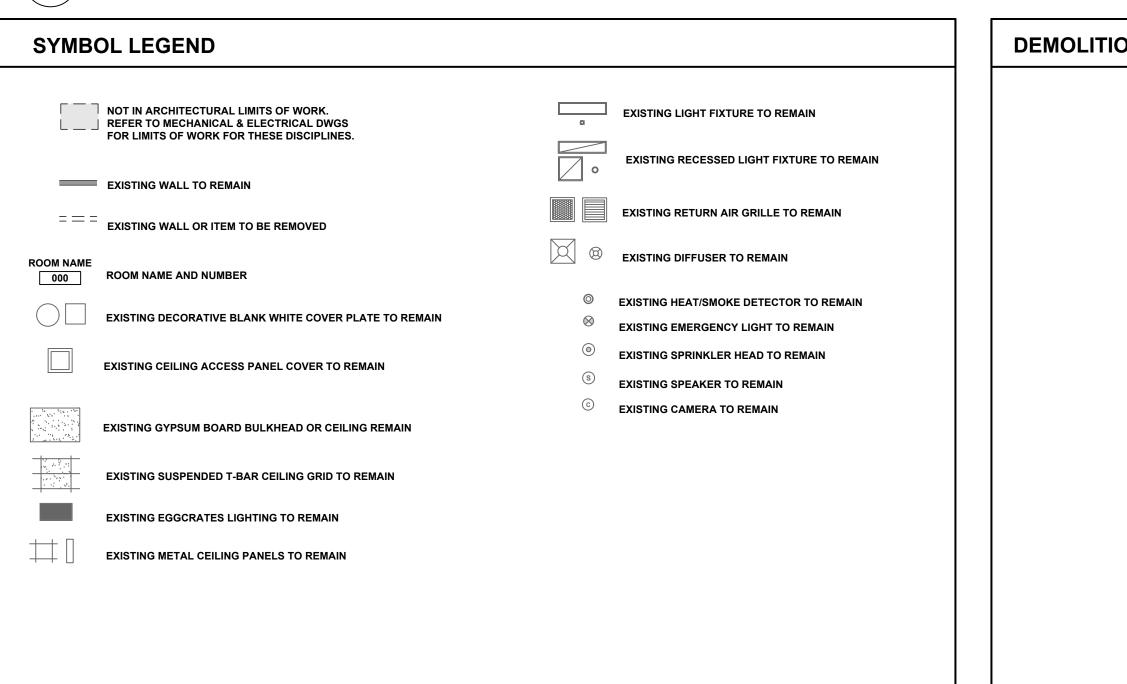
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### 01 DEMOLITION CEILING PLAN 8TH FLOOR A-109 1/8" = 1'-0"

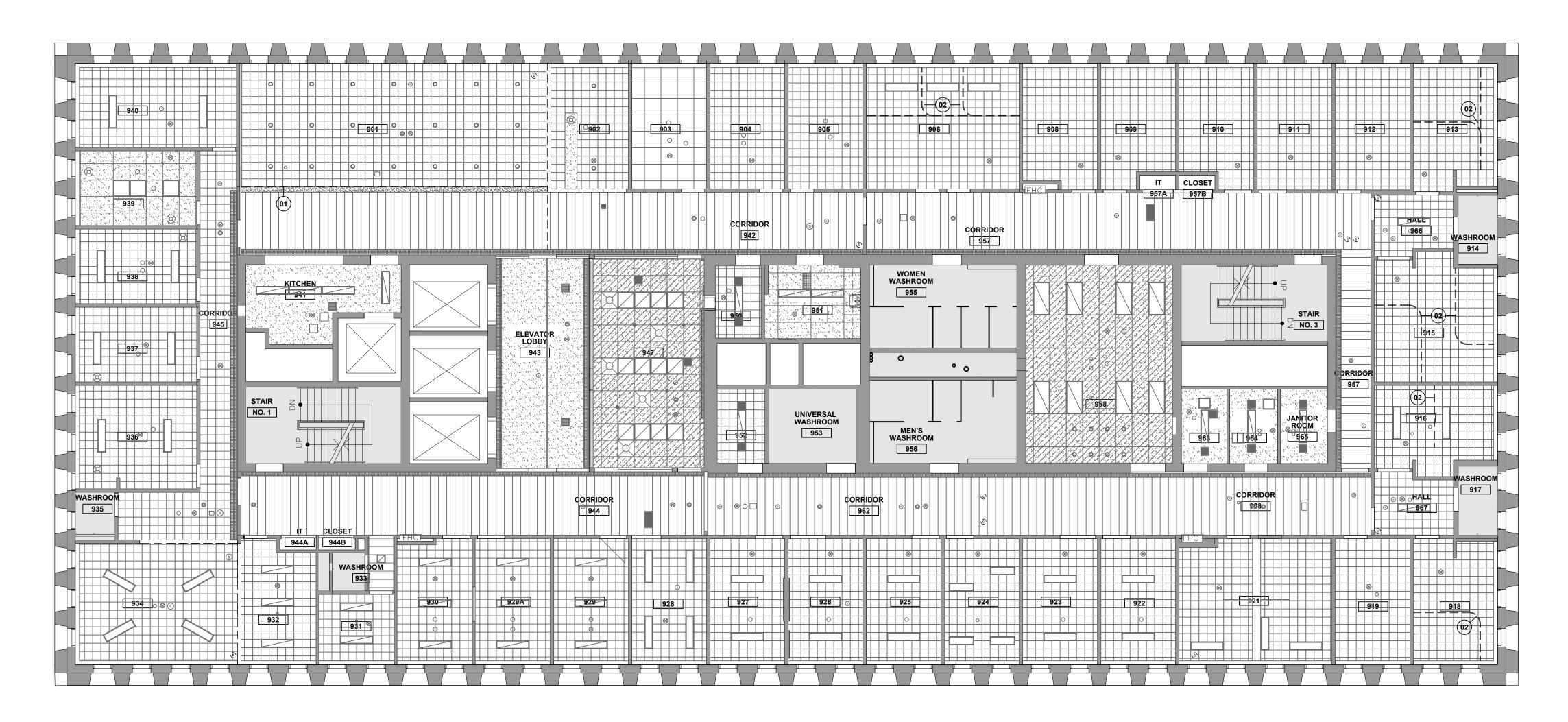




DEMOLITION PLAN GENERAL NOTES	DEMOLITION PLAN KEY NOTES
03 DEMOLITION PLAN GENERAL NOTES A-109 N.T.S	 04 DEMOLITION PLAN KEY NO A-109 N.T.S

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### **01** DEMOLITION CEILING PLAN 9TH FLOOR A-110 1/8" = 1'-0"

# SYMBOL LEGEND

NOT IN ARCHITECTURAL LIMITS OF WORK. **REFER TO MECHANICAL & ELECTRICAL DWGS** FOR LIMITS OF WORK FOR THESE DISCIPLINES. EXISTING WALL TO REMAIN = = = EXISTING WALL OR ITEM TO BE REMOVED ROOM NAME 000 ROOM NAME AND NUMBER EXISTING DECORATIVE BLANK WHITE COVER PLATE TO REMAIN EXISTING CEILING ACCESS PANEL COVER TO REMAIN EXISTING GYPSUM BOARD BULKHEAD OR CEILING REMAIN EXISTING ACOUSTIC CEILING TILES AND GRID TO REMAIN EXISTING EGGCRATES LIGHTING TO REMAIN EXISTING METAL CEILING PANELS TO REMAIN

+171

A-110 N.T.S

02 SYMBOL LEGEND

EXISTING ACOUSTIC CEILING TILES TO BE REMOVED. GRID TO REMAIN. ANY CEILING MOUNTED DEVICES THAT NEEDS TO BE REMOVED MUST BE STORED SAFELY AND RE-INSTATED AFTER INSTALLATION OF NEW CEILING TILES. EXISTING LIGHT FIXTURE TO REMAIN EXISTING RECESSED LIGHT FIXTURE TO REMAIN

EXISTING RETURN AIR GRILLE TO REMAIN

EXISTING DIFFUSER TO REMAIN

- EXISTING HEAT/SMOKE DETECTOR TO REMAIN 0
- EXISTING EMERGENCY LIGHT TO REMAIN  $\otimes$
- EXISTING SPRINKLER HEAD TO REMAIN
- EXISTING SPEAKER TO REMAIN (s)
- EXISTING CAMERA TO BE REMOVED AND RETURNED TO OWNER

- DAMAGED BY DEMOLITION.
- BUILDING MANAGEMENT.

- 11. REMOVE ALL EXISTING CEILING MOUNTED CURTAIN TRACKS.



### DEMOLITION PLAN GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.

2. ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION. ALL WORK TO COMPLY WITH CSA Z317.13 CURRENT EDITION.

3. GENERAL CONTRACTOR IS TO REVIEW & FOLLOW THE BUILDING'S CONSTRUCTION GUIDELINES PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK. ALL NOISE AND NOXIOUS WORK TO BE DONE AFTER HOURS AND ARRANGED WITH BUILDING BEFOREHAND. SEAL OFF SITE WITH HOARDING AS REQUIRED FOR DURATION OF CONSTRUCTION SO NOT TO DISTURB DAY TO DAY OPERATIONS. 4. CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES DENOTES TO REMAIN, INCLUDING BUT NOT EXCLUSIVELY FLOORING,

. GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING DEMOLITION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE

6. REFER ALSO TO THE ENGINEERING DRAWINGS ADDITIONAL MECHANICAL AND ELECTRICAL DEMOLITION REQUIREMENTS. 7. MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING DEMOLITION.

8. PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE

RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS. 9. PATCH AND MAKE GOOD ALL FINISHES WHERE EXISTING EQUIPMENT, ACCESSORIES, FIXTURES, MILLWORK, WALL PROTECTION,

GRAB BARS, ESCUTCHEON PLATES ETC HAVE BEEN REMOVED.

10. FIRESTOP ALL NEW AND EXISTING PENETRATIONS IN EXISTING FIRE SEPARATIONS SCHEDULED TO REMAIN.

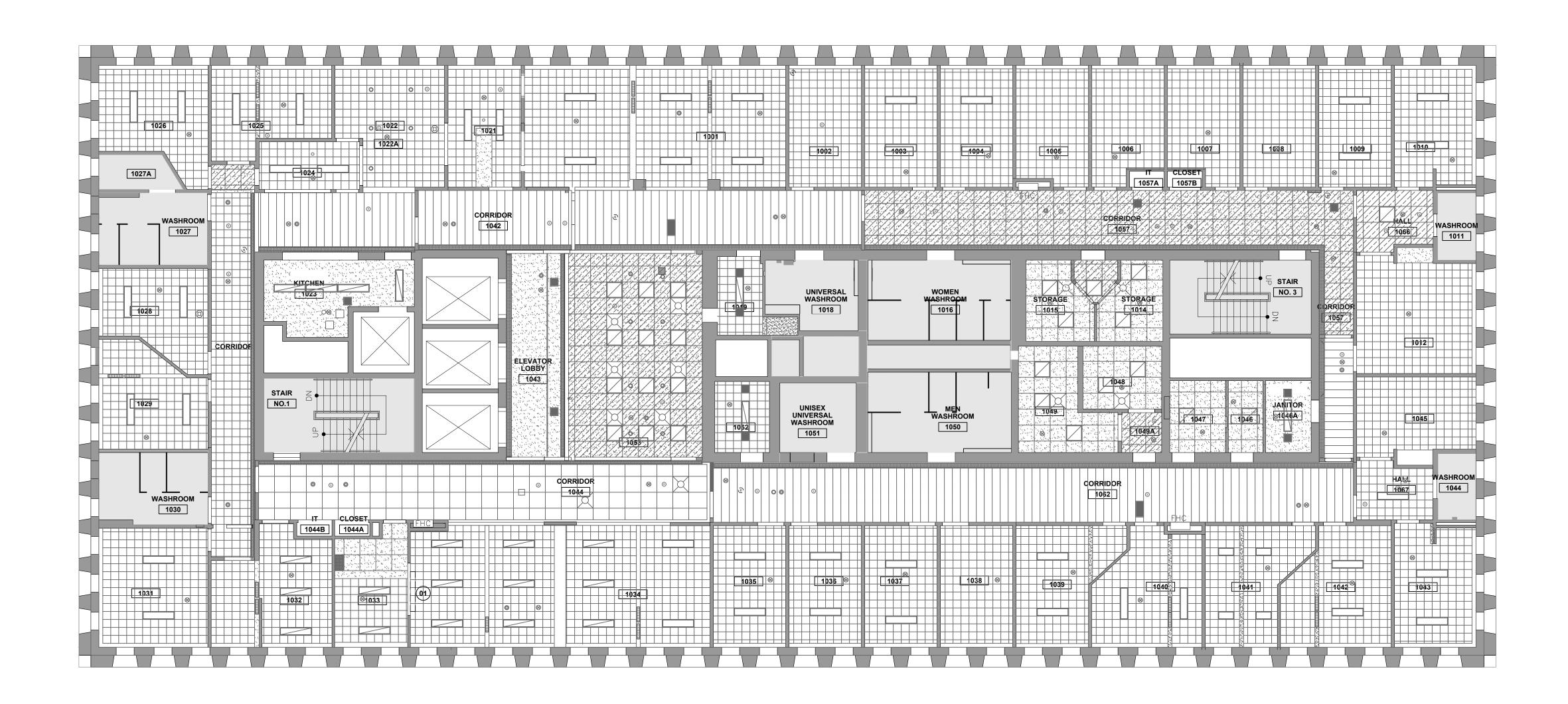
# **DEMOLITION PLAN KEY NOTES**

(01) EXISTING PLASTIC PIPE TO BE REMOVED. SEE PICTURE FOR REFERENCE

(02) EXISTING CEILING MOUNTED CURTAIN TRACKS TO BE REMOVED.

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### **(01) DEMOLITION CEILING PLAN 10TH FLOOR** A-111/ 1/8" = 1'-0"

	NOT IN ARCHITECTURAL LIMITS OF WORK. REFER TO MECHANICAL & ELECTRICAL DWGS FOR LIMITS OF WORK FOR THESE DISCIPLINES.	EXISTING LIGHT FIXTURE TO REMAIN	1. CONT BROU 2. ALL V
		EXISTING RECESSED LIGHT FIXTURE TO REMAIN	CSA Z
	EXISTING WALL TO REMAIN		3. GENE DEMO SEAL
= =	EXISTING WALL OR ITEM TO BE REMOVED		4. CONT DAMA
NAME	ROOM NAME AND NUMBER	Sector 20 Sector	5. GENE SHAL
00		◎ EXISTING HEAT/SMOKE DETECTOR TO REMAIN	6. REFEI
	EXISTING DECORATIVE BLANK WHITE COVER PLATE TO REMAIN	⊗ EXISTING EMERGENCY LIGHT TO REMAIN	7. MAIN
	EXISTING CEILING ACCESS PANEL COVER TO REMAIN	EXISTING SPRINKLER HEAD TO REMAIN	8. PROV RATE
	REMAIN	S EXISTING SPEAKER TO REMAIN	9. PATC
	EXISTING GYPSUM BOARD BULKHEAD OR CEILING REMAIN	ⓒ EXISTING CAMERA TO REMAIN	GRAB 10. FIRES
	EXISTING ACOUSTIC CEILING TILES AND GRID TO REMAIN		11. REMO
	EXISTING EGGCRATES LIGHTING TO REMAIN		
	EXISTING METAL CEILING PANELS TO REMAIN		
	EXISTING ACOUSTIC CEILING TILES TO BE REMOVED. DEVICES THAT NEEDS TO BE REMOVED ARE TO BE STORED SAFELY ON SITE AND RE-INSTATED AFTER INSTALLATION OF NEW TILES.		

### **FION PLAN GENERAL NOTES**

### R TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.

TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION. ALL WORK TO COMPLY WITH CURRENT EDITION.

ONTRACTOR IS TO REVIEW & FOLLOW THE BUILDING'S CONSTRUCTION GUIDELINES PRIOR TO COMMENCEMENT OF ANY N WORK. ALL NOISE AND NOXIOUS WORK TO BE DONE AFTER HOURS AND ARRANGED WITH BUILDING BEFOREHAND. ITE WITH HOARDING AS REQUIRED FOR DURATION OF CONSTRUCTION SO NOT TO DISTURB DAY TO DAY OPERATIONS.

DR TO REPAIR / REPLACE ANY EXISTING FINISHES DENOTES TO REMAIN, INCLUDING BUT NOT EXCLUSIVELY FLOORING, Y DEMOLITION.

ONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING DEMOLITION AND E THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE ANAGEMENT.

TO THE ENGINEERING DRAWINGS ADDITIONAL MECHANICAL AND ELECTRICAL DEMOLITION REQUIREMENTS.

TEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING DEMOLITION. RE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE

TITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS. MAKE GOOD ALL FINISHES WHERE EXISTING EQUIPMENT, ACCESSORIES, FIXTURES, MILLWORK, WALL PROTECTION,

### , ESCUTCHEON PLATES ETC HAVE BEEN REMOVED.

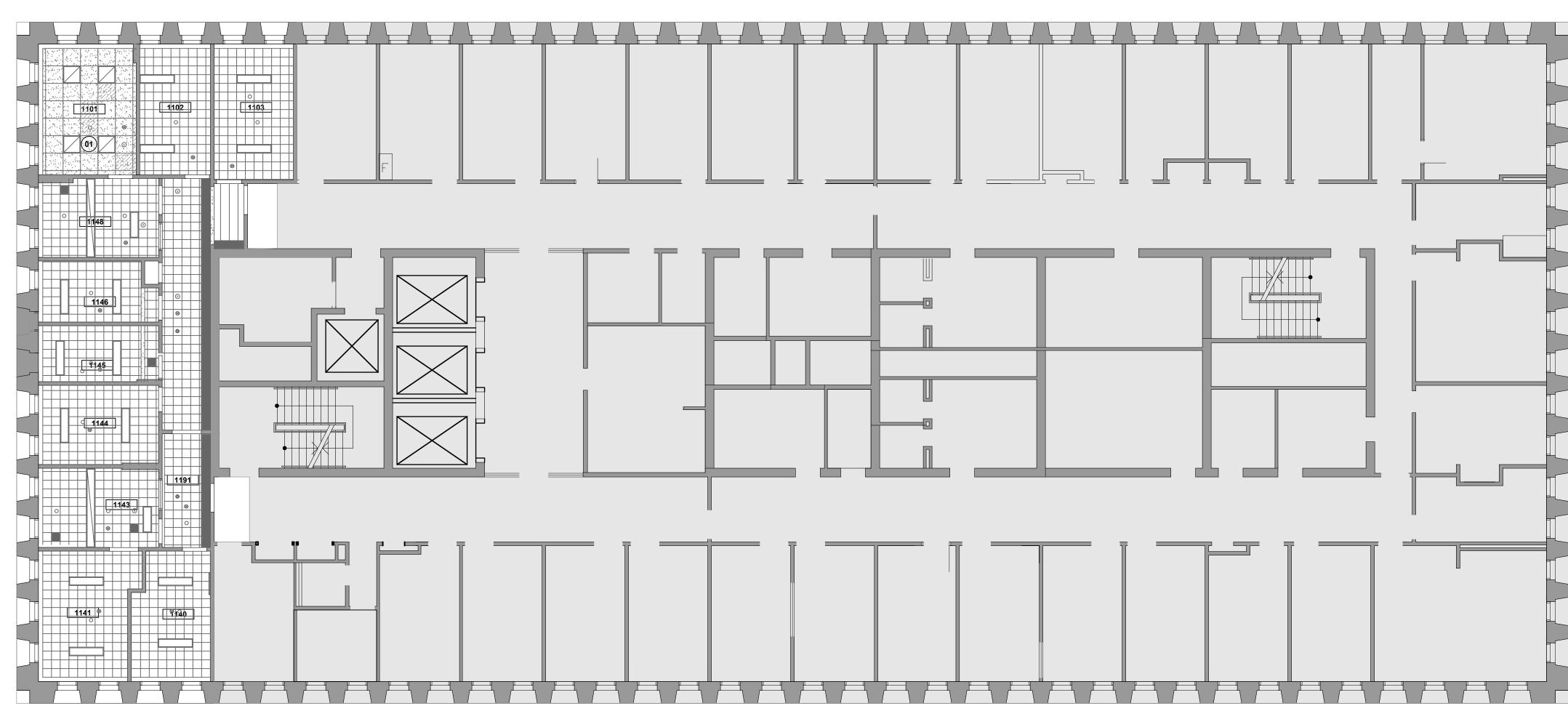
L NEW AND EXISTING PENETRATIONS IN EXISTING FIRE SEPARATIONS SCHEDULED TO REMAIN. L CEILING MOUNTED TRACKS/CURTAIN RODS.

# **DEMOLITION PLAN KEY NOTES**

(01) EXISTING CEILING MOUNTED MILLWORK TO BE REMOVED.



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### **(01) DEMOLITION CEILING PLAN 11TH FLOOR** A-112 1/8" = 1'-0"

SYMBC	DL LEGEND			DEMOLITI
	NOT IN ARCHITECTURAL LIMITS OF WORK. REFER TO MECHANICAL & ELECTRICAL DWGS FOR LIMITS OF WORK FOR THESE DISCIPLINES.	α	EXISTING LIGHT FIXTURE TO REMAIN	1. CONTRACTOR BROUGHT TO 1
	EXISTING WALL TO REMAIN		EXISTING RECESSED LIGHT FIXTURE TO REMAIN	2. ALL WORK TO CSA Z317.13 CI
= = =	EXISTING WALL OR ITEM TO BE REMOVED			3. GENERAL CON DEMOLITION W SEAL OFF SITE
DOM NAME	ROOM NAME AND NUMBER		EXISTING RETURN AIR GRILLE TO REMAIN	4. CONTRACTOR DAMAGED BY I
000			EXISTING DIFFUSER TO REMAIN	5. GENERAL CON SHALL LEAVE
$\bigcirc$	EXISTING DECORATIVE BLANK WHITE COVER PLATE TO REMAIN	© ⊗	EXISTING HEAT/SMOKE DETECTOR TO REMAIN	BUILDING MAN 6. REFER ALSO T
$\square$	EXISTING CEILING ACCESS PANEL COVER TO REMAIN	6	EXISTING EMERGENCY LIGHT TO REMAIN	7. MAINTAIN INTE
		s	EXISTING SPEAKER TO REMAIN	8. PROVIDE FIRE RATED PARTIT
	EXISTING GYPSUM BOARD BULKHEAD OR CEILING REMAIN	©	EXISTING CAMERA TO REMAIN	9. PATCH AND MA GRAB BARS, E
	EXISTING SUSPENDED ACOUSTIC CEILING TILES TO REMAIN			10. FIRESTOP ALL
	EXISTING SUSPENDED ACOUSTIC CEILING TILES TO BE REMOVED, GRID TO REMAIN			11. REMOVE ALL E
				12. SCRAPE ANY F
	EXISTING EGGCRATES LIGHTING TO REMAIN			
	EXISTING METAL CEILING PANELS TO REMAIN			



### TION PLAN GENERAL NOTES

### OR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.

TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION. ALL WORK TO COMPLY WITH **3 CURRENT EDITION.** 

CONTRACTOR IS TO REVIEW & FOLLOW THE BUILDING'S CONSTRUCTION GUIDELINES PRIOR TO COMMENCEMENT OF ANY N WORK. ALL NOISE AND NOXIOUS WORK TO BE DONE AFTER HOURS AND ARRANGED WITH BUILDING BEFOREHAND. SITE WITH HOARDING AS REQUIRED FOR DURATION OF CONSTRUCTION SO NOT TO DISTURB DAY TO DAY OPERATIONS.

OR TO REPAIR / REPLACE ANY EXISTING FINISHES DENOTES TO REMAIN, INCLUDING BUT NOT EXCLUSIVELY FLOORING, BY DEMOLITION.

CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING DEMOLITION AND AVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE IANAGEMENT.

TO THE ENGINEERING DRAWINGS ADDITIONAL MECHANICAL AND ELECTRICAL DEMOLITION REQUIREMENTS. TEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING DEMOLITION.

IRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE

TITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS. MAKE GOOD ALL FINISHES WHERE EXISTING EQUIPMENT, ACCESSORIES, FIXTURES, MILLWORK, WALL PROTECTION,

, ESCUTCHEON PLATES ETC HAVE BEEN REMOVED.

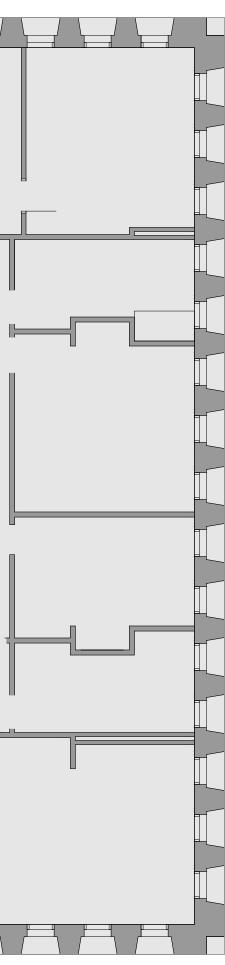
ALL NEW AND EXISTING PENETRATIONS IN EXISTING FIRE SEPARATIONS SCHEDULED TO REMAIN.

### L EXISTING BLINDS AND TRACKS.

Y PAINT THAT IS PEELING OFF OF METAL CEILING PANELS AND PREPARE TO RECEIVE NEW PAINT.

# DEMOLITION PLAN KEY NOTE

01 REPLACE STAINED ACOUSTIC CEILING TILES. ALLOW FOR 6 TILES TO BE REPLACED IN ROOM 1101.



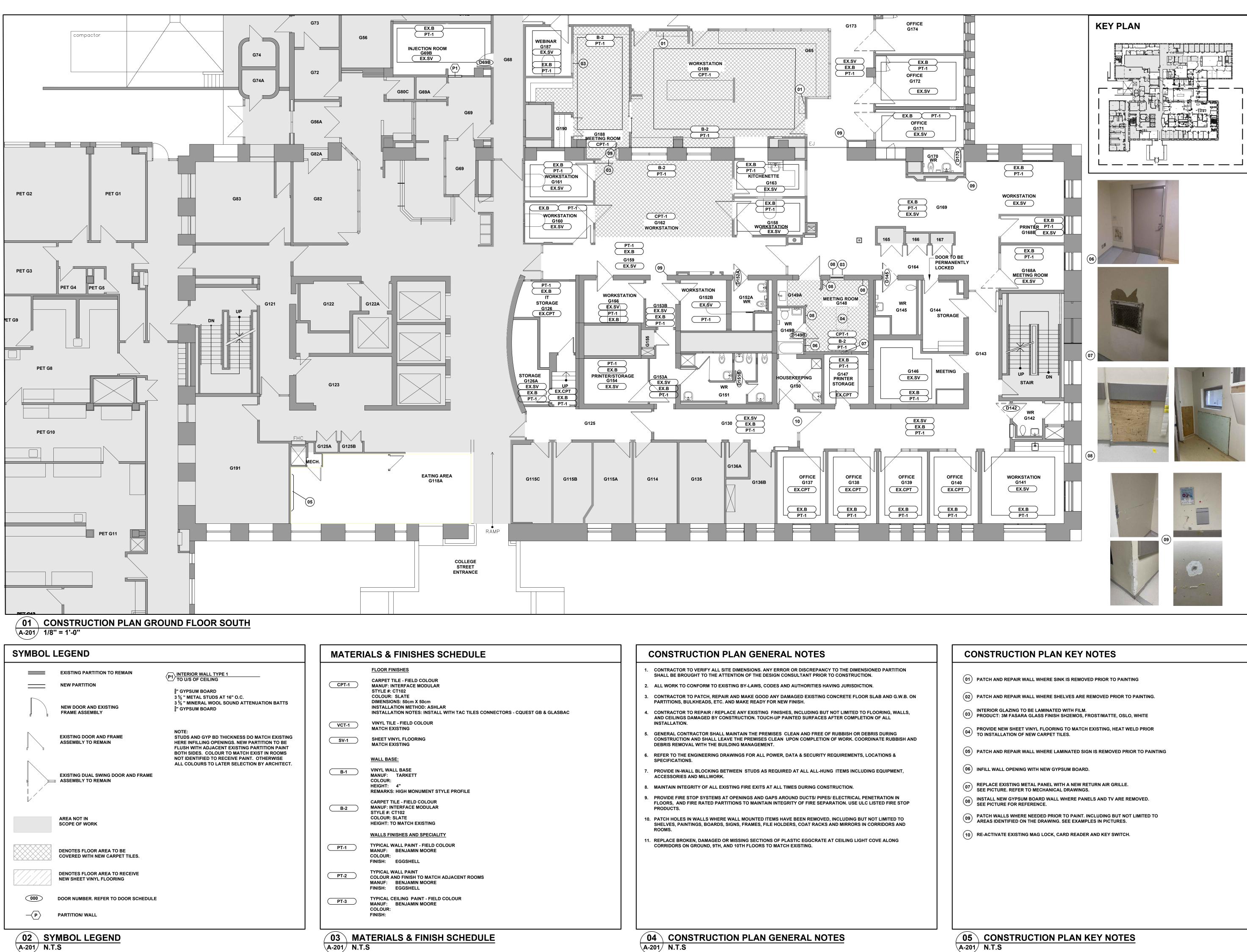
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2       PRE-TENDER COST ESTIMATE       14-07-202         1       REVIEW       10-04-202         NO       ACTION       DY MO YI         Client:       CATHA       DY MO YI         Client:       CATHA       DY MO YI         Client:       CATION       DY MO YI         Client:       CATION       DY MO YI         Client:       CATION       DY MO YI         Stamp       Stamp       Stamp         Project Title:       Stamp       Stamp         Sheet Title:       DEMOLITION CEILING PLAN       Stamp         Project North       Stamp       Stamp         Date:       Project No::       22-48		8		5
2       PRE-TENDER COST ESTIMATE       14-07-203         1       REVIEW       10-04-203         NO       ACTION       DY MO YI         Client:       CAMH         Project Title:         250 COLLEGE STREET MOVE CONSOLIDATION - NTERIOR RENOVATION STOUND, STOUND, 8th, 9th,10th and 11th Floors         Sheet Title:         Dete: North         Stamp         Date: 14 07 2023	prohibited Electronic Hanson + written pp The Contri to the Arc This draw and seale 8 7 6 5	I under the copyright act. files, when provided, are instru Jung Architects Inc No alterati rmission from Hanson + Jung A actor shall check and verify all of hitect prior to construction; do r ing shall not be used for constru- d by the Architect.	ments of service and ion or reproduction sh rchitects Inc. dimensions and report not scale this drawing	the sole property of nall be made without t any discrepancies
2       PRE-TENDER COST ESTIMATE       14-07-203         1       REVIEW       10-04-203         NO       ACTION       DY MO YI         Client:       CAMH         Project Title:         250 COLLEGE STREET MOVE CONSOLIDATION - NTERIOR RENOVATION STOUND, STOUND, 8th, 9th,10th and 11th Floors         Sheet Title:         Dete: North         Stamp         Date: 14 07 2023		ISSUED FOR TENDI	ER	08-08-2023
NO       ACTION       DY MO YI         Client:       CAMH         Project Title:       250 COLLEGE STREET MOVE CONSOLIDATION - SOURCE CONSOLIDATION C				14-07-2023
Client: CAMH Project Title: 250 COLLEGE STREET Store CONSOLIDATION - Store CONSOLIDATI	2			
Project Title:   250 COLLEGE STREET STOCULES STREET STREE		REVIEW		10-04-2023
North Date: 14 07 2023 Project No.: 22-48	1			10-04-2023 DY MO YR
14 07 2023 22-48	1 NO Client: CA Project 250 NO INT Grou Sheet T DEN	ACTION MH Title: OCOLLEGE OVE CONSC ERIOR RE Ind, 8th, 9th,10th itle: MOLITION CEILIN	DLIDAT NOVAT and 11th I	DY MO YR ET ION - ION
	1 NO Client: CA Project 250 NO INT Grou Sheet T DEN 11T	ACTION MH	DLIDAT NOVAT and 11th F	DY MO YR ET ION - ION
Scale: Drawn: Checked: AS NOTED JJ WJ	1 NO Client: CA Project 250 MO INT Grou Sheet T DEN 11T	ACTION MH Title: D COLLEGE OVE CONSC ERIOR RE Ind, 8th, 9th,10th itle: MOLITION CEILIN H FLOOR	DLIDATI NOVAT and 11th F NG PLAN Stamp	DY MO YR ET ION - ION

Drawing Number:

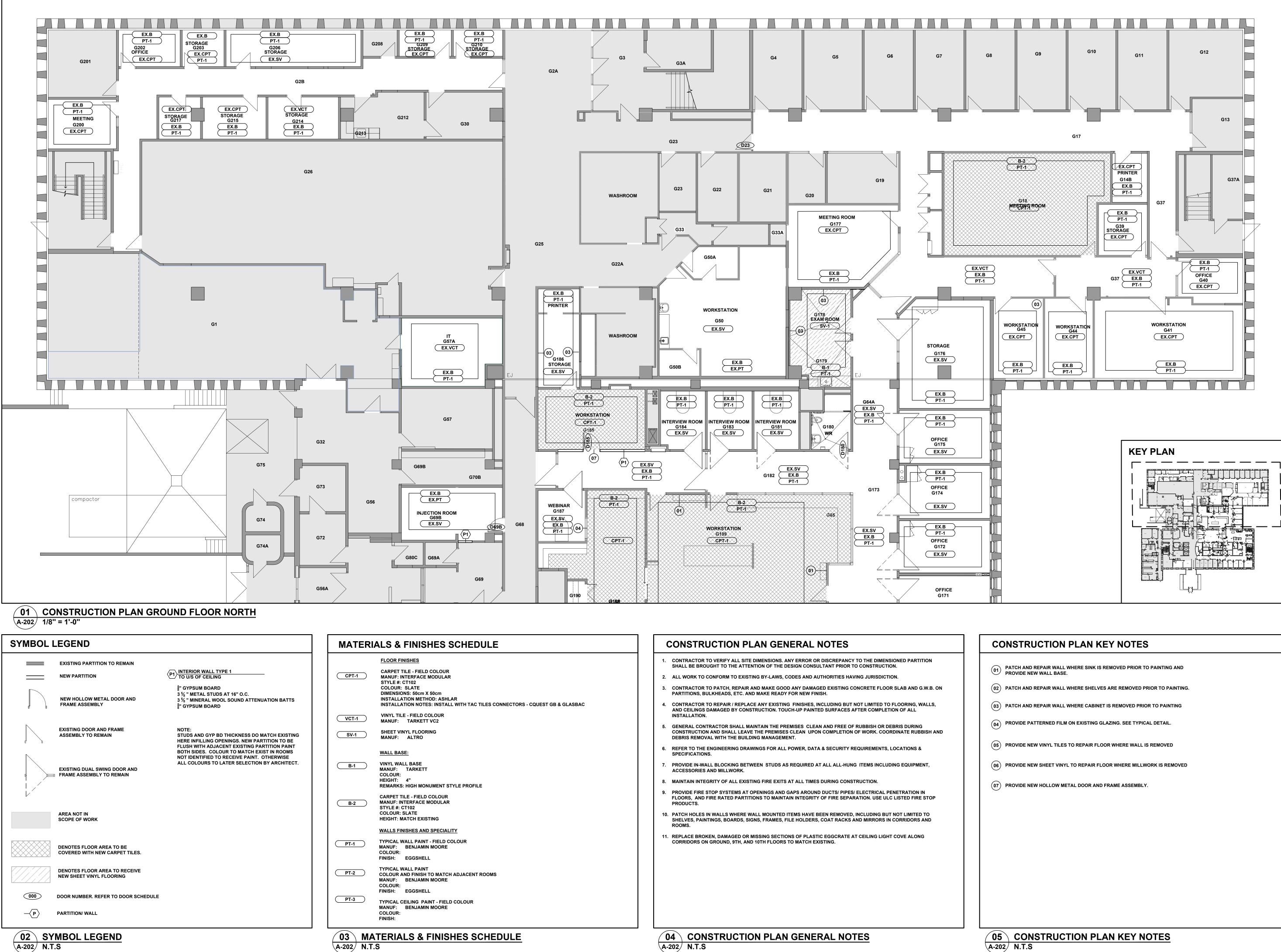
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	CONSTRUCTION PLAN GENERAL NOTES
	1. CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.
	2. ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION.
	3. CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ANY DAMAGED EXISTING CONCRETE FLOOR SLAB AND G.W.B. ON PARTITIONS, BULKHEADS, ETC. AND MAKE READY FOR NEW FINISH.
ECTORS - CQUEST GB & GLASBAC	4. CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES, INCLUDING BUT NOT LIMITED TO FLOORING, WALLS, AND CEILINGS DAMAGED BY CONSTRUCTION. TOUCH-UP PAINTED SURFACES AFTER COMPLETION OF ALL INSTALLATION.
	5. GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING CONSTRUCTION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.
	6. REFER TO THE ENGINEERING DRAWINGS FOR ALL POWER, DATA & SECURITY REQUIREMENTS, LOCATIONS & SPECIFICATIONS.
	7. PROVIDE IN-WALL BLOCKING BETWEEN STUDS AS REQUIRED AT ALL ALL-HUNG ITEMS INCLUDING EQUIPMENT, ACCESSORIES AND MILLWORK.
	8. MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING CONSTRUCTION.
	9. PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS.
	10. PATCH HOLES IN WALLS WHERE WALL MOUNTED ITEMS HAVE BEEN REMOVED, INCLUDING BUT NOT LIMITED TO SHELVES, PAINTINGS, BOARDS, SIGNS, FRAMES, FILE HOLDERS, COAT RACKS AND MIRRORS IN CORRIDORS AND ROOMS.
	11. REPLACE BROKEN, DAMAGED OR MISSING SECTIONS OF PLASTIC EGGCRATE AT CEILING LIGHT COVE ALONG CORRIDORS ON GROUND, 9TH, AND 10TH FLOORS TO MATCH EXISTING.

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Project North	Stamp Project No.: 22-48 Drawn: Checked:
AS NOTED Drawing Number:	JJ WJ

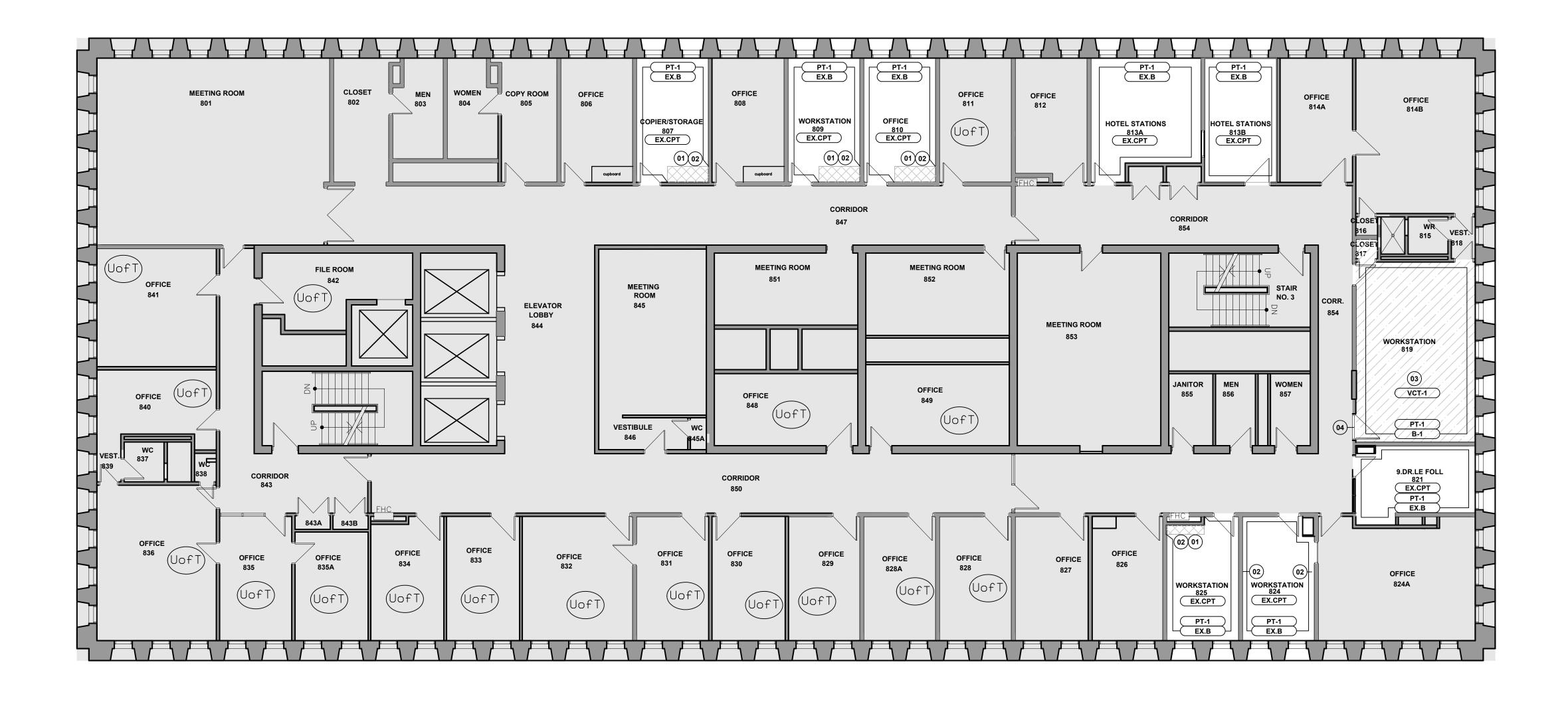
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toronto ontario m5v 3e7

hjarchitects.ca



### 01 CONSTRUCTION PLAN 8TH FLOOR (A-203) 1/8" = 1'-0"

	<b>_</b> ,
SYMBOL LEGEND	
EXISTING PARTITION TO REMAIN	
NEW PARTITION	
EXISTING DOOR AND FRAME ASSEMBLY TO REMAIN	
EXISTING DUAL SWING DOOR AND FRAME ASSEMBLY TO REMAIN	
EXISTING DOOR TO BE REMOVED, FRAME TO REMAIN	
AREA NOT IN SCOPE OF WORK	
DENOTES FLOOR AREA TO BE COVERED WITH NEW VINYL FLOOR TILES.	
DENOTES FLOOR AREA TO RECEIVE NEW CARPET.	
02 CONSTRUCTION PLAN GENERAL NOTES A-203 N.T.S	[

# MATERIALS & FINISHES SCHEDULE

CPT-1	FLOOR FINISHES
	CARPET TILE - FIELD COLOUR MANUF: INTERFACE MODULAR STYLE #: CT102 COLOUR: SLATE DIMENSIONS: 50cm X 50cm INSTALLATION: ASHLAR
(_VCT-1_)	VINYL TILE MANUF: TARKETT STYLE #: VCT II COLOUR: 326 DUNES DIMENSIONS:12" x 12"
	WALL BASE:
<b>B-1</b>	VINYL WALL BASE MANUF: TARKETT STYLE: JOHNSONITE TRADITIONAL VINYL ½" COLOUR: MATCH EXISTING HEIGHT: 4"
<u>B-2</u>	CARPET TILE - FIELD COLOUR MANUF: INTERFACE MODULAR STYLE #: CT102 COLOUR: SLATE HEIGHT: MATCH EXISTING
	WALLS FINISHES AND SPECIALITY
PT-1	TYPICAL WALL PAINT - FIELD COLOUR MANUF: BENJAMIN MOORE COLOUR:
	FINISH: EGGSHELL REMARKS:
PT-2	TYPICAL CEILING PAINT - FIELD COLOUR MANUF: BENJAMIN MOORE COLOUR: FINISH: REMARKS:
03 MA A-203 N.T.	TERIALS & FINISHES SCHE s
$\smile$	

CONSTRUCTION PLAN GENERAL NOTES	
1. CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.	
2. ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION.	
3. CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ANY DAMAGED EXISTING CONCRETE FLOOR SLAB AND G.W.B. C PARTITIONS, BULKHEADS, ETC. AND MAKE READY FOR NEW FINISH.	
4. CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES, INCLUDING BUT NOT LIMITED TO FLOORING, WALLS, AND CEILINGS DAMAGED BY CONSTRUCTION. TOUCH-UP PAINTED SURFACES AFTER COMPLETION OF ALL INSTALLATION.	(03) P (04) P
5. GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING CONSTRUCTION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AN DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.	
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10. PATCH HOLES IN WALLS WHERE WALL MOUNTED ITEMS HAVE BEEN REMOVED, INCLUDING BUT NOT LIMITED TO SHELVES, PAINTINGS, BOARDS, SIGNS, FRAMES, FILE HOLDERS, COAT RACKS AND MIRRORS IN CORRIDORS AND ROOMS.	
11. REPLACE BROKEN, DAMAGED OR MISSING SECTIONS OF PLASTIC EGGCRATE AT CEILING LIGHT COVE ALONG CORRIDORS ON GROUND, 9TH, AND 10TH FLOORS TO MATCH EXISTING.	
04 CONSTRUCTION PLAN GENERAL NOTES	
A-203/ N.T.S	A-203

### NSTRUCTION PLAN KEY NOTES

ROVIDE NEW CARPET TO MATCH EXISTING WHERE MILLWORK HAS BEEN REMOVED.

ATCH WALL WHERE MILLWORK IS REMOVED PRIOR TO PAINTING. NND PROVIDE NEW CARPET WALL BASE.

ROVIDE NEW VINYL COMPOSITION TILES AND WALL BASE.

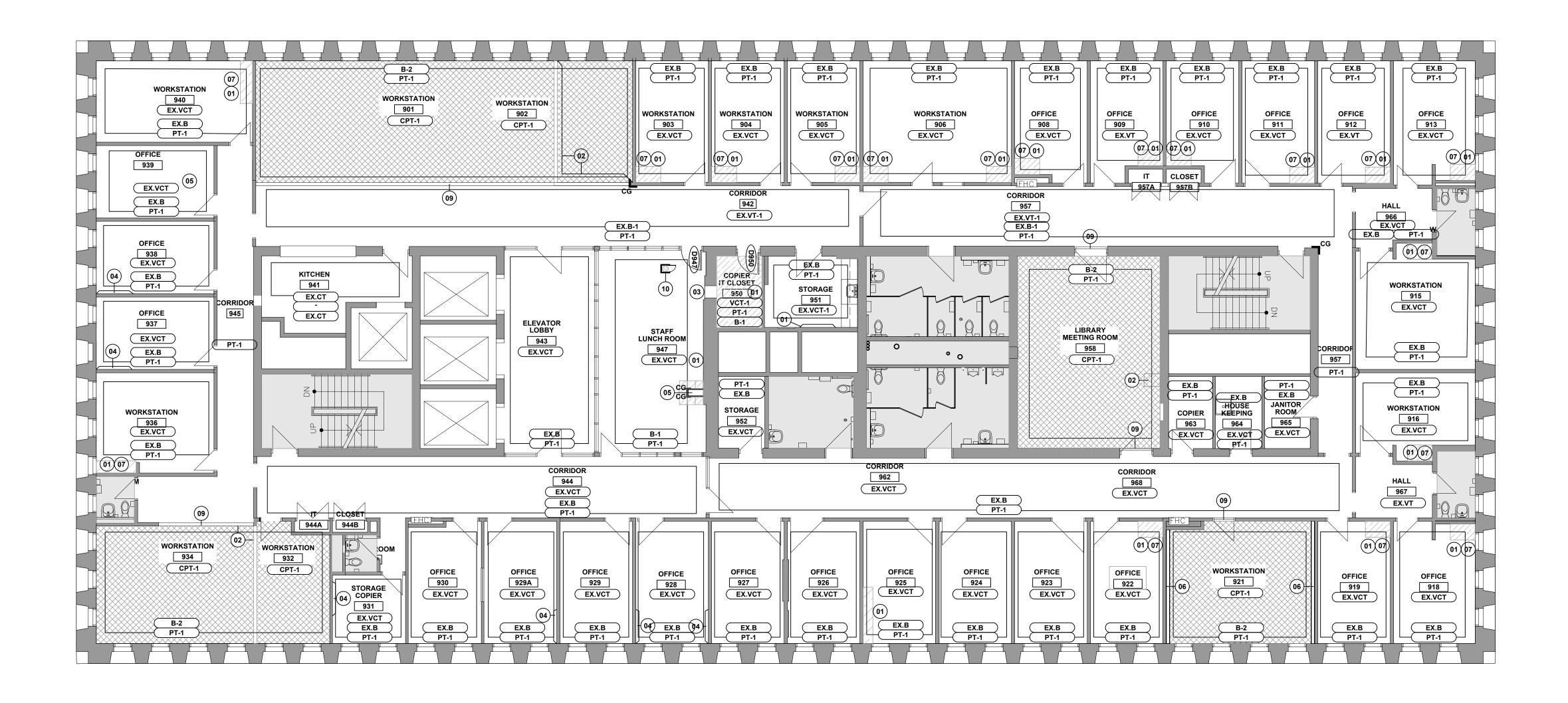
PROVIDE TRANSITION STRIP WHERE TWO DIFFERENT FLOORING

AINT EXISTING BUILT-IN SHELVES.

# HANSON + JUNG 477 richmond st. w. suite 301 toronto ontario m5v 3e7 t 416.340.7373 f 416. 340.0005 hjarchitects.ca SY S This drawing is the property of the Architect and unauthorized reproduction is prohibited under the copyright act. Electronic files, when provided, are instruments of service and the sole property of Hanson + Jung Architects Inc.. No alteration or reproduction shall be made without written permission from Hanson + Jung Architects Inc. The Contractor shall check and verify all dimensions and report any discrepancies to the Architect prior to construction; do not scale this drawing. This drawing shall not be used for construction purposes unless properly signed and sealed by the Architect. 8 7 6 5 • 4 -3 ISSUED FOR TENDER 08-08-2023 2 PRE-TENDER COST ESTIMATE 14-07-2023 10-04-2023 1 REVIEW DY MO YR NO ACTION Client: CAMH Project Title: 250 COLLEGE STREET **MOVE CONSOLIDATION -INTERIOR RENOVATION** Ground, 8th, 9th,10th and 11th Floors Sheet Title: CONSTRUCTION PLAN **8TH FLOOR** Project North Stamp Project No.: Date: 22-48 14 07 2023 Scale: Drawn: Checked: AS NOTED JJ WJ Drawing Number:



05 CONSTRUCTION PLAN KEY NOTES A-203 N.T.S



### 01 CONSTRUCTION PLAN 9TH FLOOR (A-204) 1/8" = 1'-0"

YMBOL L	EGEND		MATERIALS & FINISHES SCHEDULE
			FLOOR FINISHES
	EXISTING PARTITION TO REMAIN	TO U/S OF CEILING	CARPET TILE - FIELD COLOUR TGG
	NEW PARTITION	<sup>동</sup> " GYPSUM BOARD 3 % " METAL STUDS AT 16" O.C. 3 % " MINERAL WOOL SOUND ATTENUATION BATTS	CPT-1 MIANOF. INTERFACE MODULAR STYLE #: CT102 COLOUR: SLATE DIMENSIONS: 50cm X 50cm INSTALLATION: ASHLAR
	NEW DOOR AND EXISTING FRAME ASSEMBLY	<sup></sup> 등" GYPSUM BOARD	VINYL TILE
ф, р	AGSLMDET		VCT-1 MANUF: TARKETT STYLE #: VCT II
		NOTE: STUDS AND GYP BD THICKNESS DO MATCH EXISTING	COLOUR: 326 DUNES DIMENSIONS:12" x 12"
	ASSEMBLY TO REMAIN	HERE INFILLING OPENINGS. NEW PARTITION TO BE FLUSH WITH ADJACENT EXISTING PARTITION PAINT	WALL BASE:
<b>I</b> ∖		BOTH SIDES. COLOUR TO MATCH EXIST IN ROOMS NOT IDENTIFIED TO RECEIVE PAINT. OTHERWISE	B-1 VINYL WALL BASE
		ALL COLOURS TO LATER SELECTION BY ARCHITECT.	STYLE: JOHNSONITE TRADITIONAL VINYL %"
	EXISTING DUAL SWING DOOR AND FRAME ASSEMBLY TO REMAIN		COLOUR: MATCH EXISTING HEIGHT: 4"
			CARPET TILE - FIELD COLOUR
			B-2 MANUF: INTERFACE MODULAR STYLE #: CT102
	AREA NOT IN		COLOUR: SLATE HEIGHT: MATCH EXISTING
	SCOPE OF WORK		WALLS FINISHES AND SPECIALITY
~~~~~			TYPICAL WALL PAINT - FIELD COLOUR
	DENOTES FLOOR AREA TO RECEIVE NEW CARPET TILES.		( <u>PT-1</u> ) MANUF: BENJAMIN MOORE COLOUR: FINISH: EGGSHELL
			FINISH. EUGSHELL
	DENOTES FLOOR AREA TO RECEIVE NEW VINYL TILES. (VCT-1)		PT-3 TYPICAL CEILING PAINT - FIELD COLOUR MANUF: BENJAMIN MOORE
	NEW VINTE TILES. (VCT-I)		COLOUR: FINISH: FLAT
000			TYPICAL DOORS & FRAMES PAINT - FIELD COLOUR
000	DOOR NUMBER. REFER TO DOOR SCHEDULE		PT-4 MANUF: BENJAMIN MOORE COLOUR:
<b>—</b> ( <b>P</b> )	PARTITION/ WALL		FINISH: SATIN
CGL	NEW CORNER GUARD		
	MBOL LEGEND		03 MATERIALS & FNISHES SCHEDULE
204/ N.T.			A-204 N.T.S

	CONSTRUCTION PLAN GENERAL NOTES	CONS
CORNER GUARD CG MANUF: CONSTRUCTION SPECIALTIES PRODUCT: ACROVYN VA SERIES MODEL: VA-250MN COLOUR: SOLOUR TO LATER SELECTION SIZE: 2 ½" X 2 ½" X FULL HT OF WALL SIZE: 2 ½" X 2 ½" X FULL HT OF WALL	<ol> <li>CONTRACTOR TO VERIEY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.</li> <li>ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION.</li> <li>CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ANY DAMAGED EXISTING CONCRETE FLOOR SLAB AND G.W.B. ON PARTITIONS, BULKHEADS, ETC. AND MAKE READY FOR NEW FINISH.</li> <li>CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FUNSHES. INCLUDING BUT NOT LIMITED TO FLOORING, WALLS, AND CELLINGS DAMAGED BY CONSTRUCTION. TOUCH-UP PAINTED SURFACES AFTER COMPLETION OF ALL INSTALLATION.</li> <li>GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEERIS DURING CONSTRUCTION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.</li> <li>REFER TO THE ENCINCERING DRAWINGS FOR ALL POWER, DATA &amp; SECURITY REQUIREMENTS, LOCATIONS &amp; SPECIFICATIONS.</li> <li>PROVIDE IN-WALL BLOCKING BETWEEN STUDS AS REQUIRED AT ALL ALL-HUNG ITEMS INCLUDING EQUIPMENT, ACCESSORIES AND MILLWORK.</li> <li>MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING CONSTRUCTION.</li> <li>PROVIDE IN-WALL BLOCKING BETWEEN STUDS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS.</li> <li>PATCH HOLES IN WALLS WHERE WALL MOUNTED ITEMS HAVE BEEN REMOVED, INCLUDING BUT NOT LIMITED TO SHELVES, PAINTINGS, BOARDS, SIGNS, FRAMES, FILE HOLDERS, COAT RACKS AND MIRRORS IN CORRIDORS AND ROOMS.</li> <li>REPLACE BROKEN, DAMAGED OR MISSING SECTIONS OF PLASTIC EGGCRATE AT CELLING LIGHT COVE ALONG CORRIDORS ON GROUND, 9TH, AND 19TH FLOORS TO MATCH EXISTING.</li> </ol>	01PATCH AN02PROVIDEHAS BEEI03PROVIDEPRODUCT04PATCH AN05PROVIDE06½" GYPSU07PROVIDE08PROVIDE09PROVIDE09PROVIDE10PROVIDEFINISH E2KEEP FORCOVER E311FILL OUTFROM PIP
ULE	04 CONSTRUCTION PLAN GENERAL NOTES	05 C

### STRUCTION PLAN KEY NOTES

AND REPAIR WALL AND PROVIDE NEW WALL BASE (B-1) WHERE MILLWORK IS REMOVED PRIOR TO PAINTING. E NEW VINYL TILES (VCT-1) AND VINYL WALL BASE (B-1) WHERE WALLS EN REMOVED.

E PATTERNED FILM ON EXISTING GLAZING. CT: 3M FASARA GLASS FINISH SH2EMOS, FROST/MATTE, OSLO, WHITE

AND REPAIR WALL WHERE SHELVES ARE REMOVED PRIOR TO PAINTING.

E 9 FLOOR TILES (VCT-1) TO REPLACE EXISTING, AND BUILD A NEW DRY ROM TOP OF FLOOR TO U/S OF CEILING WITH A FOOTPRINT OF 8" X 24" TO EXISTING FLOOR PIPES. SUM BOARD TO BE LAMINATED AND MECHANICALLY FASTENED TO EXISTING DRY WALL.

DE NEW VINYL TILES (VCT-1) AND VINYL WALL BASE (B-1) WHERE DRK HAS BEEN REMOVED.

DE NEW VINYL FLOOR TILES (VCT-1) ON TOP OF EXISTING TILES.

DE FLOOR TRANSITION STRIP WHERE FLOOR MATERIAL CHANGES.

ECIFICATIONS FOR PRODUCT. COLOUR: 178 IROSTONE CG DE ¾" PLAM FACED MDF PANELS ON 1 ½" METAL STUD FURRING AROUND PIPE. DE 4' HIGH HINGED ACCESS DOOR FROM TOP OF FLOOR TO PROVIDE ACCESS LEAN OUT. PROVIDE KEYED CYLINDER AND A MAGNETIC CATCH.

LEAN OUT. PROVIDE REYED CYLINDER AND A MAGN O BE LATER SELECTED BY CONSULTANT. EXPOSED EDGES OF PLAM WITH PANELS.

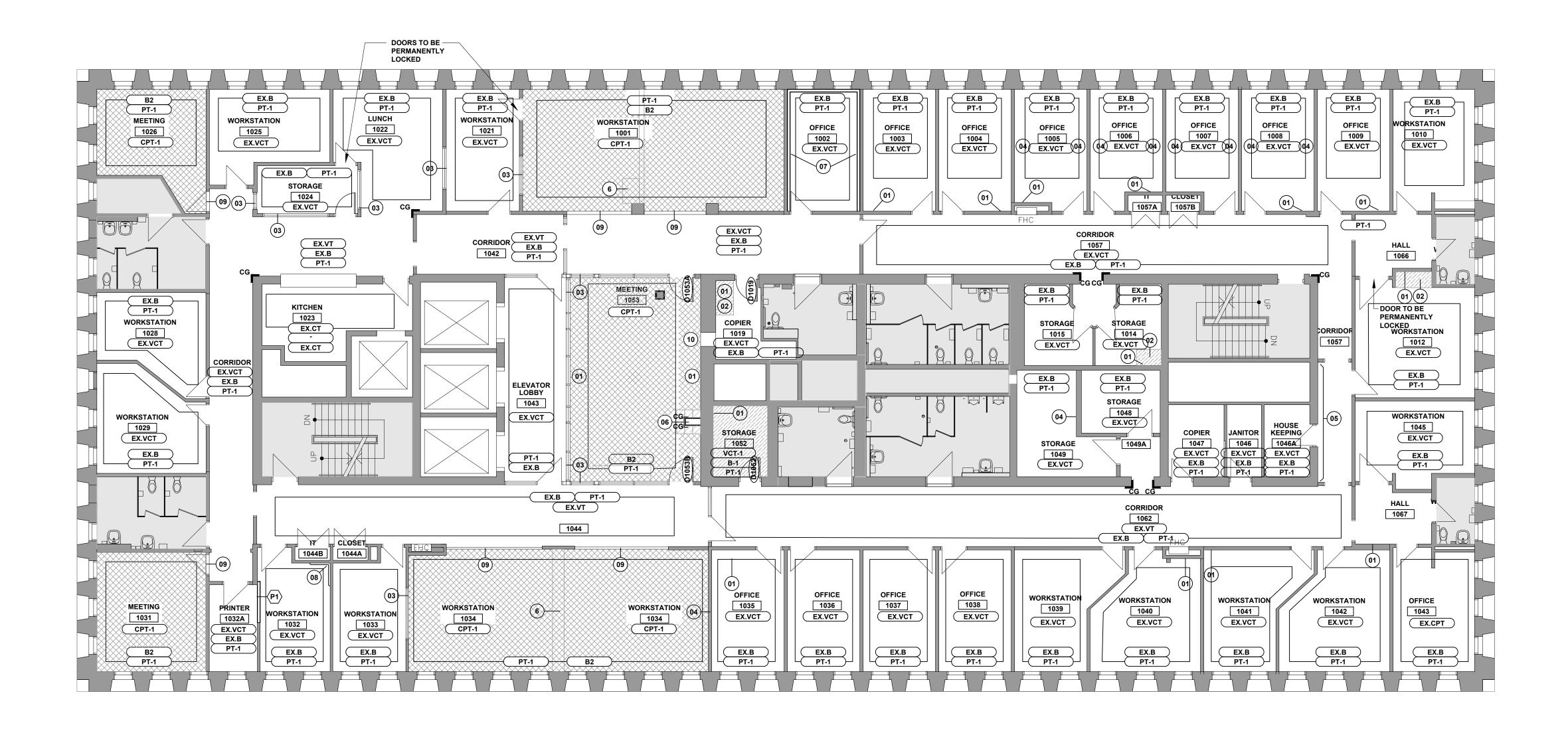
OOT PRINT OF ENCLOSURE AS SMALL AS POSSIBLE.

TO EXTEND TO U/S OF SLAB ABOVE, PLAM TO EXTEND TO U/S OF CEILING. GOOD TILES AND TRACK UPON CLOSURE SO THAT THERE IS NO GAP BETWEEN F MILLWORK AND TILES.

IT WALL AS REQUIRED AND PROVIDE 9 VINYL FLOOR TILES (VCT-1) AS A REPLACEMENT PIPE REMOVAL.

# CONSTRUCTION PLAN KEY NOTES

PRE-TENDER COST ESTIMATE     14-07       REVIEW     10-04       ACTION     DY MO       AMH     Stamp       COLLEGE STREET     OCOLLEGE STREET       OCOLLEGE STREET     OCOLLEGE STREET       OVE CONSOLIDATION F     OCOLLEGE STREET       OCOLLEGE STREET     OCOLLEGE STREET       OCOLLEGE STREET     OCOLLEGE STREET       OVE CONSOLIDATION F     OCOLLEGE STREET       OCOLLEGE STREET     OCOLLEGE STREET       OCOLLEGE STREET <th>the sole property of hall be made without t any discrepancies ss property signed 08-08-202 14-07-202 10-04-202 DY MO YR</th>	the sole property of hall be made without t any discrepancies ss property signed 08-08-202 14-07-202 10-04-202 DY MO YR
d under the copyright act. I clines, when provided, are instruments of service and the sole prop- Jung Architects Inc No atteration or reproduction shall be made emission from Hanson + Jung Architects Inc Irector shall check and verify all dimensions and report any discrep- chitect prior to construction of sole attentis drawing. why shall not be used for construction purposes unless property sid d under the construction of the sole property sid i	the sole property of hall be made without t any discrepancies ss property signed 08-08-2023 14-07-2023 10-04-2023 DY MO YR
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### **(01) CONSTRUCTION PLAN 10TH FLOOR** A-205/ 1/8" = 1'-0"

A-205 1/8 = 1 -0		
SYMBOL LEGEND		MATERIALS & FINISHES SCHEDULE
EXISTING PARTITION TO REMAIN	P1 INTERIOR PARTITION/WALL TYPE 1 TO U/S OF CEILING <sup>§</sup> " GYPSUM BOARD 3 <sup>5</sup> / <sub>8</sub> " METAL STUDS AT 16" O.C. 3 <sup>5</sup> / <sub>8</sub> " MINERAL WOOL SOUND ATTENUATION BATTS	CPT-1 CPT-1 CPT-1 FLOOR FINISHES CARPET TILE - FIELD COLOUR MANUF: INTERFACE MODULAR STYLE #: CT102 COLOUR: SLATE DIMENSIONS: 50cm X 50cm INSTALLATION: ASHLAR
NEW DOOR AND EXISTING FRAME ASSEMBLY	<sup>5</sup> " GYPSUM BOARD	VINYL TILE MANUF: TARKETT
EXISTING DOOR AND FRAME ASSEMBLY TO REMAIN	NOTE: STUDS AND GYP BD THICKNESS DO MATCH EXISTING HERE INFILLING OPENINGS. NEW PARTITION TO BE FLUSH WITH ADJACENT EXISTING PARTITION PAINT BOTH SIDES. COLOUR TO MATCH EXIST IN ROOMS	VCI-1     STYLE #: VCT II       COLOUR:     326 DUNES       DIMENSIONS:12" x 12"       WALL BASE:
EXISTING DUAL SWING DOOR AND FRAME ASSEMBLY TO REMAIN	NOT IDENTIFIED TO RECEIVE PAINT. OTHERWISE ALL COLOURS TO LATER SELECTION BY ARCHITECT.	B-1 VINYL WALL BASE MANUF: TARKETT STYLE: JOHNSONITE TRADITIONAL VINYL ½" COLOUR: MATCH EXISTING HEIGHT: 4"
AREA NOT IN SCOPE OF WORK		B-2 CARPET TILE - FIELD COLOUR MANUF: INTERFACE MODULAR STYLE #: CT102 COLOUR: SLATE HEIGHT: MATCH EXISTING WALLS FINISHES AND SPECIALITY
DENOTES FLOOR AREA TO BE COVERED WITH NEW CARPET TILES.		PT-1 TYPICAL WALL PAINT - FIELD COLOUR MANUF: BENJAMIN MOORE COLOUR: FINISH: EGGSHELL
DENOTES FLOOR AREA TO BE PATCHED AND REPAIRED. PROVIDE TILES TO MATCH EXISTING.		PT-3 TYPICAL CEILING PAINT - FIELD COLOUR MANUF: BENJAMIN MOORE COLOUR: FINISH: FLAT
000 DOOR NUMBER. REFER TO DOOR SCHEDULE		TYPICAL DOORS & FRAMES PAINT - FIELD COLOUR
		(PT-4) MANUF: BENJAMIN MOORE COLOUR: FINISH: SATIN
02 SYMBOL LEGEND		03 MATERIALS & FINISHES SCHEDU
A-205 N.T.S		A-205 N.T.S

E	CONSTRUCTION PLAN GENERAL NOTES	CONSTRUCTION PL
G       MANUF: CONSTRUCTION SPECIALTIES.         PODUCT: ACROVY WA SERIES.         MODEL: WA 2500M         COURT: SOLID COLOUR TO LATER SELECTION.         JET: 2 * X 2 * X FULL HT OF WALL	<ol> <li>CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.</li> <li>ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION.</li> <li>CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ANY DAMAGED EXISTING CONCRETE FLOOR SLAB AND G.W.B. ON PARTITIONS, BULKHEADS, ETC. AND MAKE GOOD ANY DAMAGED EXISTING CONCRETE FLOOR SLAB AND G.W.B. ON PARTITIONS, BULKHEADS, ETC. AND MAKE GOOD ANY DAMAGED EXISTING CONCRETE FLOOR SLAB AND G.W.B. ON PARTITIONS, BULKHEADS, ETC. AND MAKE GOOD ANY DAMAGED EXISTING CONCRETE FLOOR SLAB AND G.W.B. ON PARTITIONS, BULKHEADS, ETC. AND MAKE GOOD ANY DAMAGED EXISTING CONCRETE FLOOR SLAB AND G.W.B. ON PARTITIONS, BULKHEADS, ETC. AND MAKE GOOD ANY DAMAGED EXISTING CONCRETE FLOOR SLAB AND G.W.B. ON PARTITIONS, BULKHEADS, ETC. AND MAKE GOOD ANY DAMAGED EXISTING CONCRETE FLOOR SLAB AND G.W.B. (CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES, INCLUDING BUT NOT LIMITED TO FLOORING, WALLS, AND CELLINGS DAMAGED BY CONSTRUCTION. TOUCH-UP PAINTED SURFACES AFTER COMPLETION OF ALL INSTALLATION.</li> <li>GENERAL CONTRACTOR SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BULKING MANAGEMENT.</li> <li>REFER TO THE ENGINEERING DRAWINGS FOR ALL POWER, DATA &amp; SECURITY REQUIREMENTS, LOCATIONS &amp; SPECIFICATIONS.</li> <li>PROVIDE INWALL BLOCKING BETWEEN STUDS AS REQUIRED AT ALL ALL-HUNG ITEMS INCLUDING EQUIPMENT, ACCESSORIES AND MILLWORK.</li> <li>MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING CONSTRUCTION.</li> <li>PROVIDE IN-WALL BLOCKING STONG STUDS AS REQUIRED AT ALL ALL-HUNG ITEMS INCLUDING BUT NOT IMITED FOR PRODUCTS.</li> <li>PROVIDE FIRE STOP PYSTEMS AT OPENINGS AND GAPS AROUND DUCTS' PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS.</li> <li>PATCH HOLES</li></ol>	<ul> <li>(01) PATCH AND REPAIR WALL WHE</li> <li>(02) PROVIDE NEW VINYL TILES (VC)</li> <li>(03) PROVIDE PATTERNED FILM ON PRODUCT: 3M FASARA GLASS I</li> <li>(04) PATCH AND REPAIR WALL WHE REMOVED PRIOR TO PAINTING.</li> <li>(05) APPLY NEW PLASTER FINISH O</li> <li>(06) PROVIDE NEW VINYL TILES (VC)</li> <li>(06) PROVIDE NEW VINYL TILES (VC)</li> <li>(07) ½" GYPSUM BOARD TO BE LAM EXISTING DRY WALL.</li> <li>(08) PROVIDE NEW WALL BASE (B-1)</li> <li>(09) PROVIDE FLOOR TRANSITION S SEE SPECIFICATIONS FOR PRO</li> <li>(10) PROVIDE 9 FLOOR TILES (VCT-4)</li> <li>(10) INFILL WINDOW OPENING WITH</li> </ul>
EDULE	04 CONSTRUCTION PLAN GENERAL NOTES (A-205) N.T.S	05 CONSTRUCTIO

**ISHES SCHEDULE** 

### NSTRUCTION PLAN KEY NOTES

PATCH AND REPAIR WALL WHERE FIXED CABINETS ARE REMOVED PRIOR TO PAINTING. PROVIDE NEW VINYL TILES (VCT-1) AND VINYL WALL BASE (B-1) WHERE MILLWORK HAS BEEN REMOVED.

PROVIDE PATTERNED FILM ON EXISTING GLAZING.

PRODUCT: 3M FASARA GLASS FINISH SH2EMOS, FROST/MATTE, OSLO, WHITE PATCH AND REPAIR WALL WHERE WALL MOUNTED LIGHT FIXTURES HAVE BEEN REMOVED PRIOR TO PAINTING.

APPLY NEW PLASTER FINISH OVE THE ENTIRE WALL PRIOR TO PAINT.

PROVIDE NEW VINYL TILES (VCT-1) WHERE WALLS HAS BEEN REMOVED PRIOR

 ${\rm \sc 2}^{\prime\prime}$  GYPSUM BOARD TO BE LAMINATED AND MECHANICALY FASTENED TO EXISTING DRY WALL.

PROVIDE NEW WALL BASE (B-1).

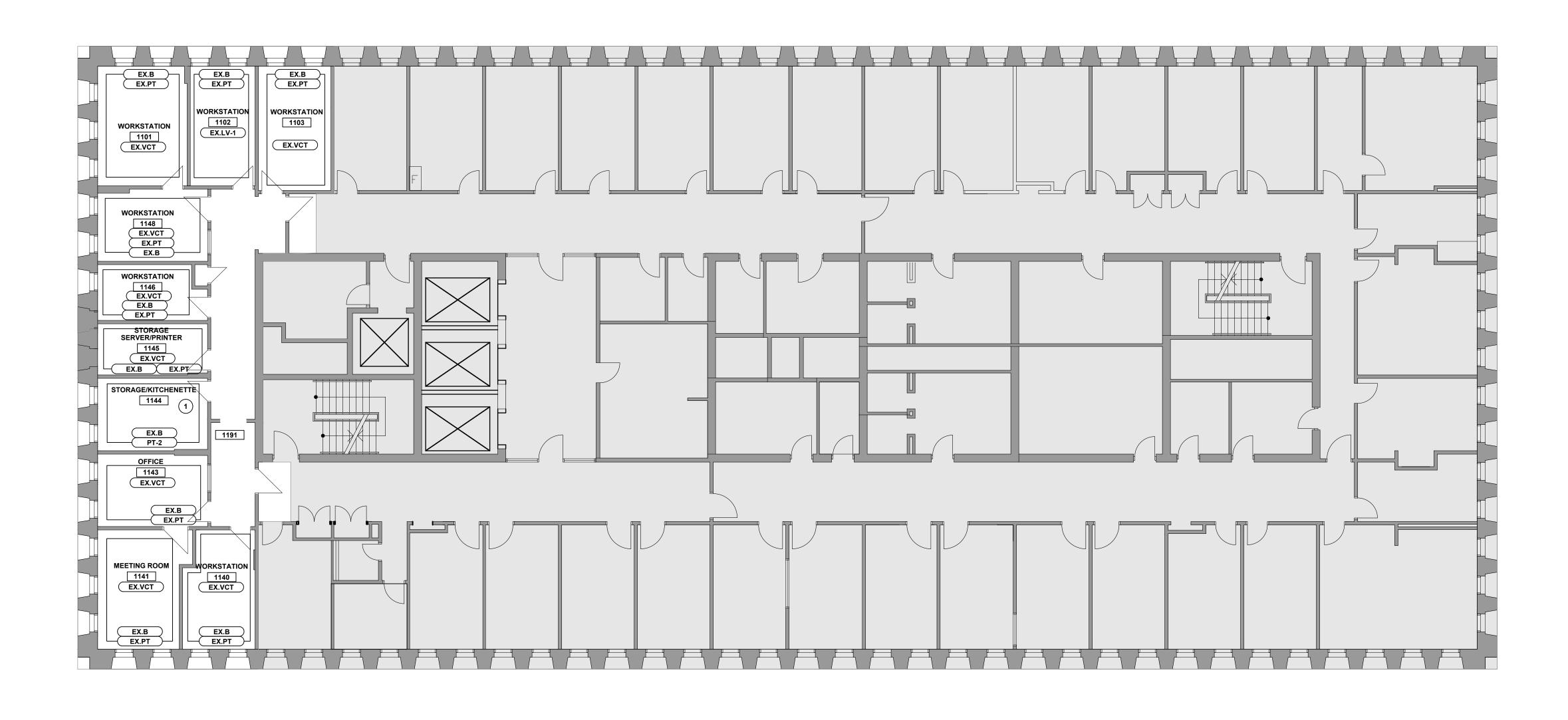
PROVIDE FLOOR TRANSITION STRIP WHERE FLOOR MATERIAL CHANGES. SEE SPECIFICATIONS FOR PRODUCT. COLOUR: 178 IRONSTONE CG

PROVIDE 9 FLOOR TILES (VCT-1) TO REPLACE EXISTING, AND BUILD A NEW DRY WALL FROM TOP OF FLOOR TO U/S OF CEILING WITH A FOOTPRINT OF 8" X 24" TO COVER EXISTING FLOOR PIPES.

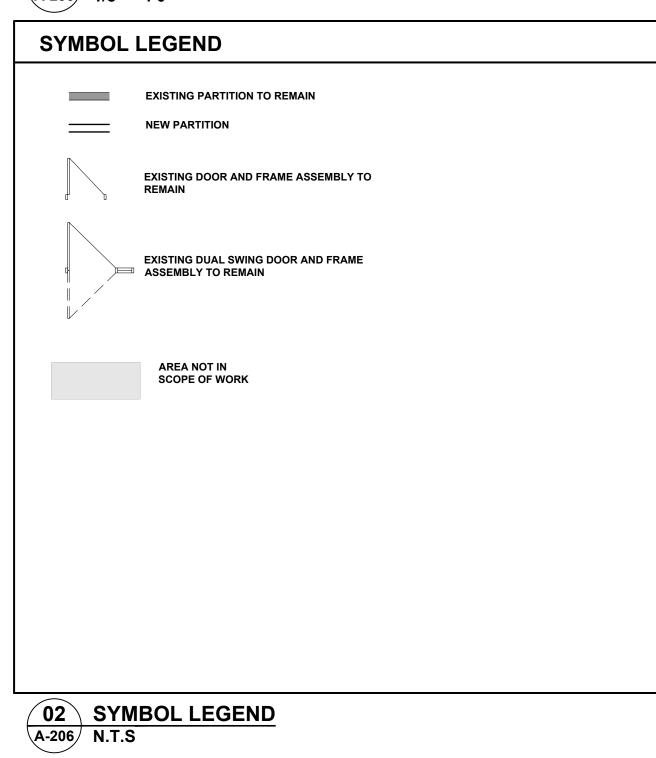
NFILL WINDOW OPENING WITH NEW GYPSUM BOARD.



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### **O1** CONSTRUCTION PLAN 11TH FLOOR A-206 1/8" = 1'0"



# **MATERIALS & FINISHES SCHEDULE**

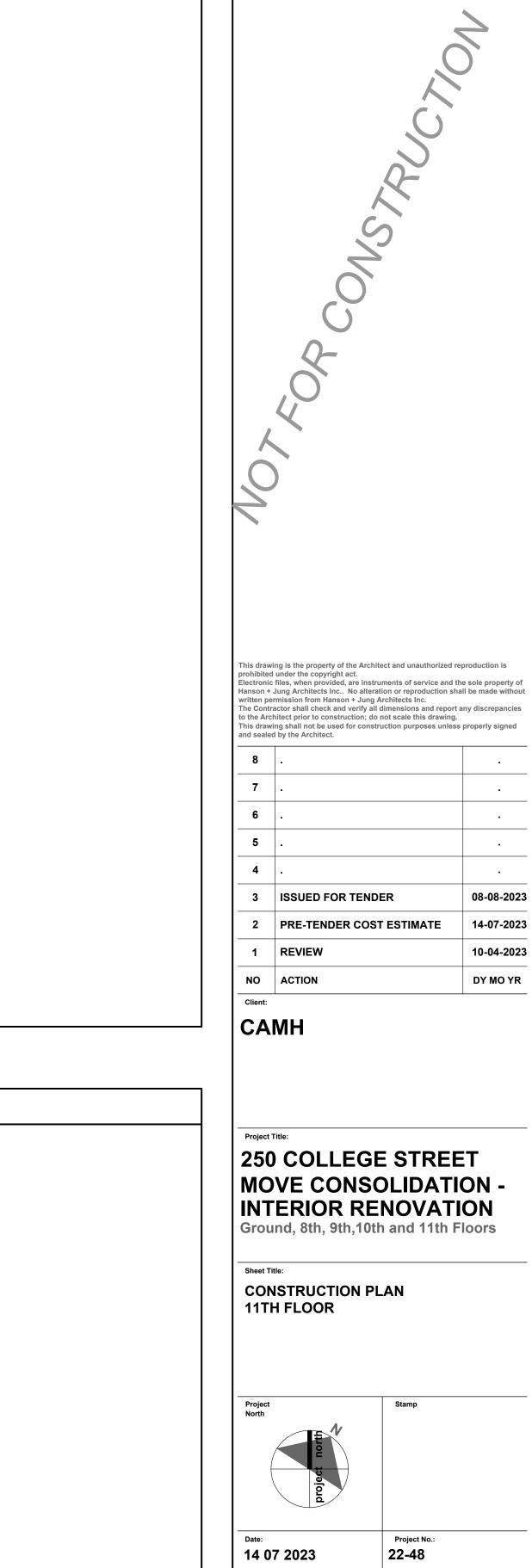
**PT-2** 

WALLS FINISHES AND SPECIALITY TYPICAL WALL PAINT COLOUR: MATCH ADJACENT ROOMS FINISH: MATCH ADJACENT ROOMS MANUF: BENJAMIN MOORE

CONSTRUCTION PLAN GENERAL NOTES	CONS
1. CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.	
2. ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION.	
3. CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ANY DAMAGED EXISTING CONCRETE FLOOR SLAB AND G.W.B. ON PARTITIONS, BULKHEADS, ETC. AND MAKE READY FOR NEW FINISH.	W/
4. CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES, INCLUDING BUT NOT LIMITED TO FLOORING, WALLS, AND CEILINGS DAMAGED BY CONSTRUCTION. TOUCH-UP PAINTED SURFACES AFTER COMPLETION OF ALL INSTALLATION.	
5. GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING CONSTRUCTION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.	
6. REFER TO THE ENGINEERING DRAWINGS FOR ALL POWER, DATA & SECURITY REQUIREMENTS, LOCATIONS & SPECIFICATIONS.	
7. PROVIDE IN-WALL BLOCKING BETWEEN STUDS AS REQUIRED AT ALL ALL-HUNG ITEMS INCLUDING EQUIPMENT, ACCESSORIES AND MILLWORK.	
8. MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING CONSTRUCTION.	
9. PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS.	
10. PATCH HOLES IN WALLS WHERE WALL MOUNTED ITEMS HAVE BEEN REMOVED, INCLUDING BUT NOT LIMITED TO SHELVES, PAINTINGS, BOARDS, SIGNS, FRAMES, FILE HOLDERS, COAT RACKS AND MIRRORS IN CORRIDORS AND ROOMS.	
11. REPLACE BROKEN, DAMAGED OR MISSING SECTIONS OF PLASTIC EGGCRATE AT CEILING LIGHT COVE ALONG CORRIDORS ON GROUND, 9TH, AND 10TH FLOORS TO MATCH EXISTING.	
 04 CONSTRUCTION PLAN GENERAL NOTES	05
A-206 N.T.S	A-206

# **NSTRUCTION PLAN KEY NOTES**

ILL HOLES WHERE ANCHOR PLUGS WERE REMOVED AND PATCH THE WALLS PRIOR TO PAINTING. PAINT WALLS OF THIS ROOM TO MATCH ADJACENT ROOMS.



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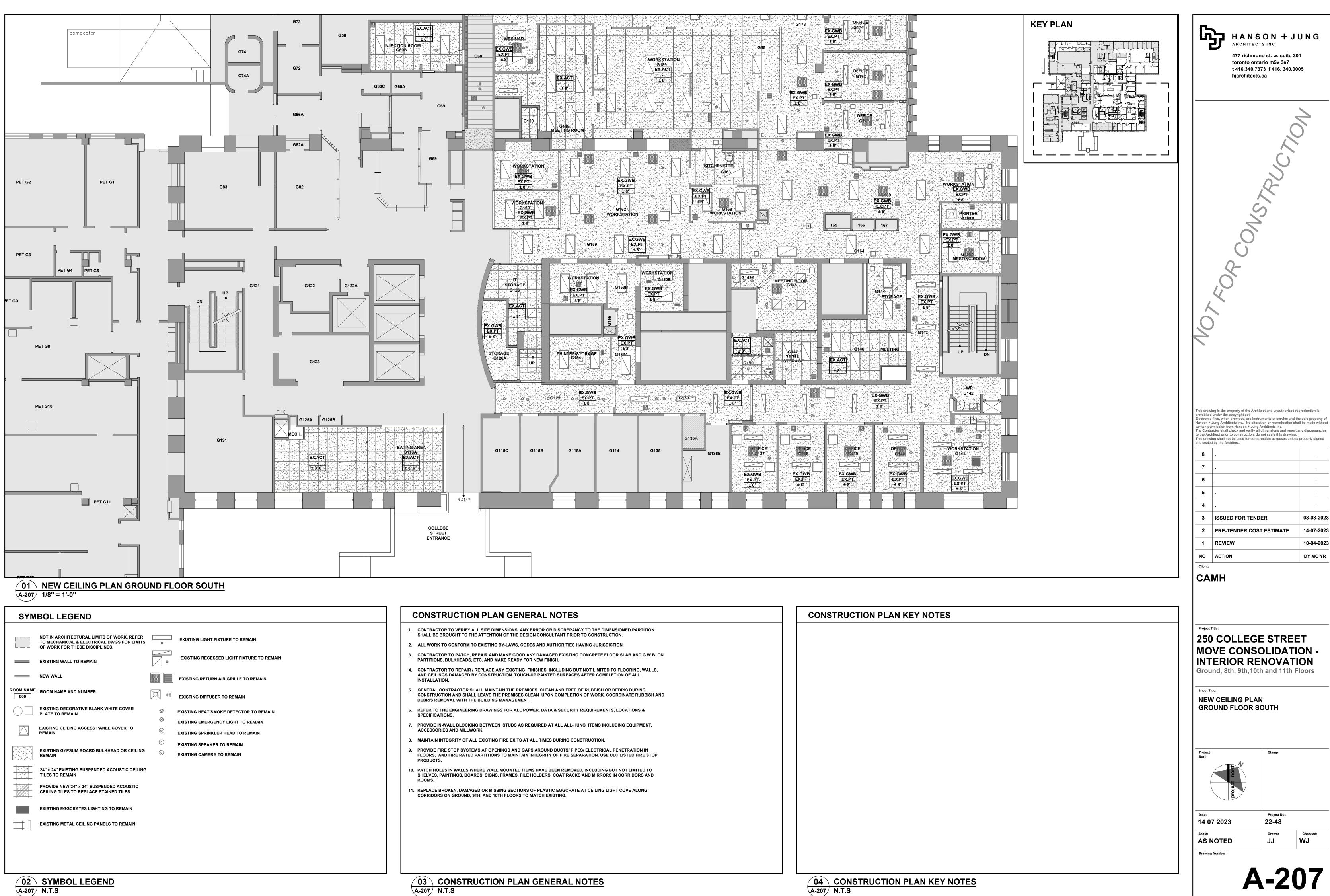
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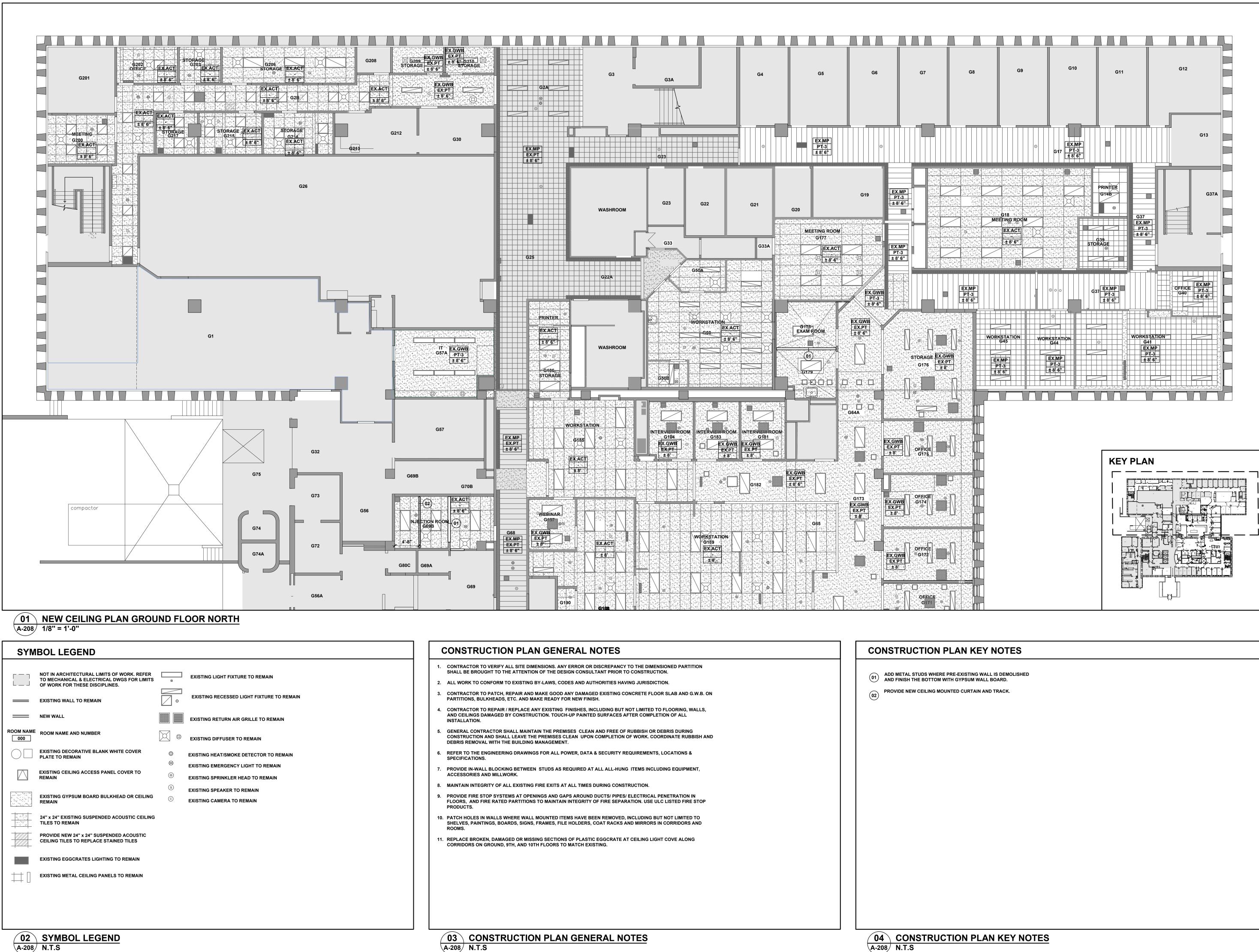
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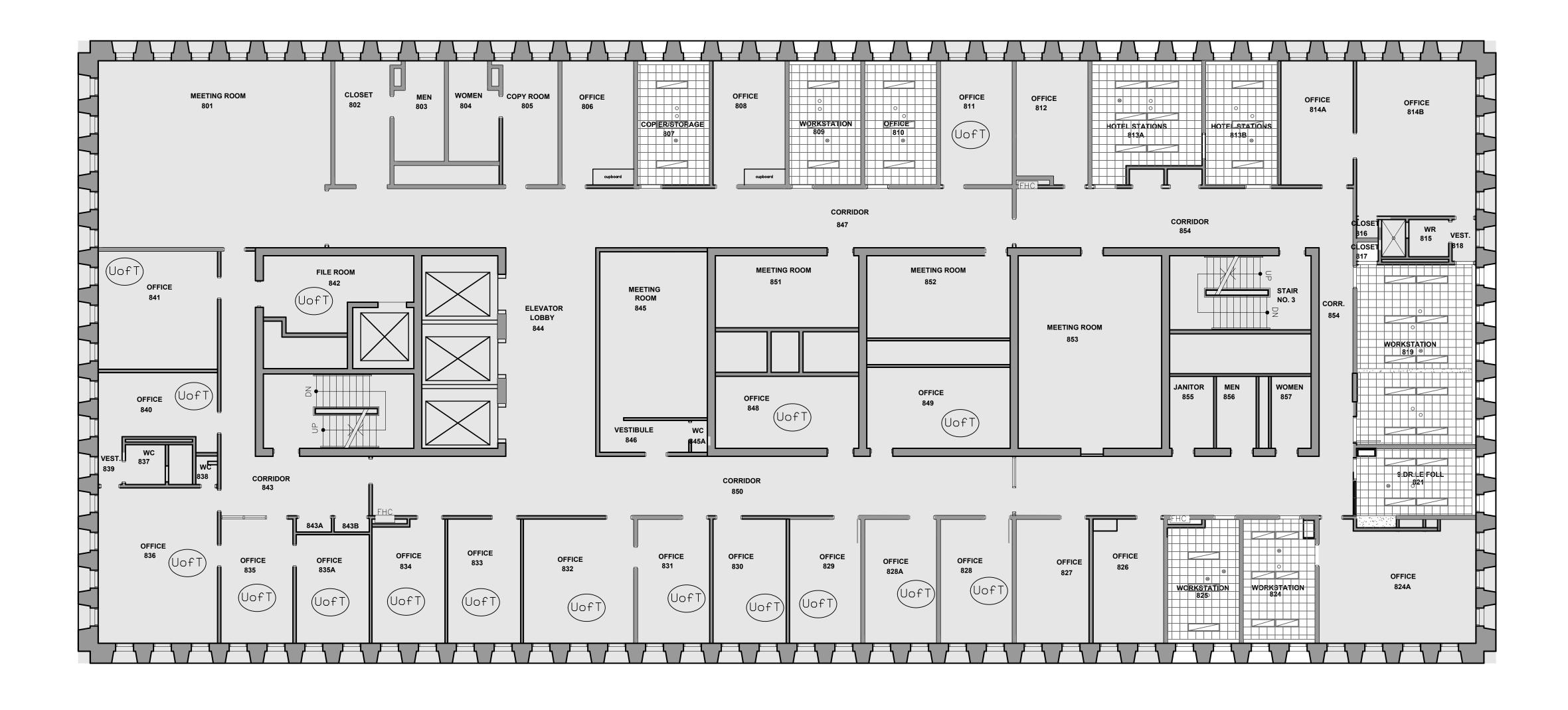
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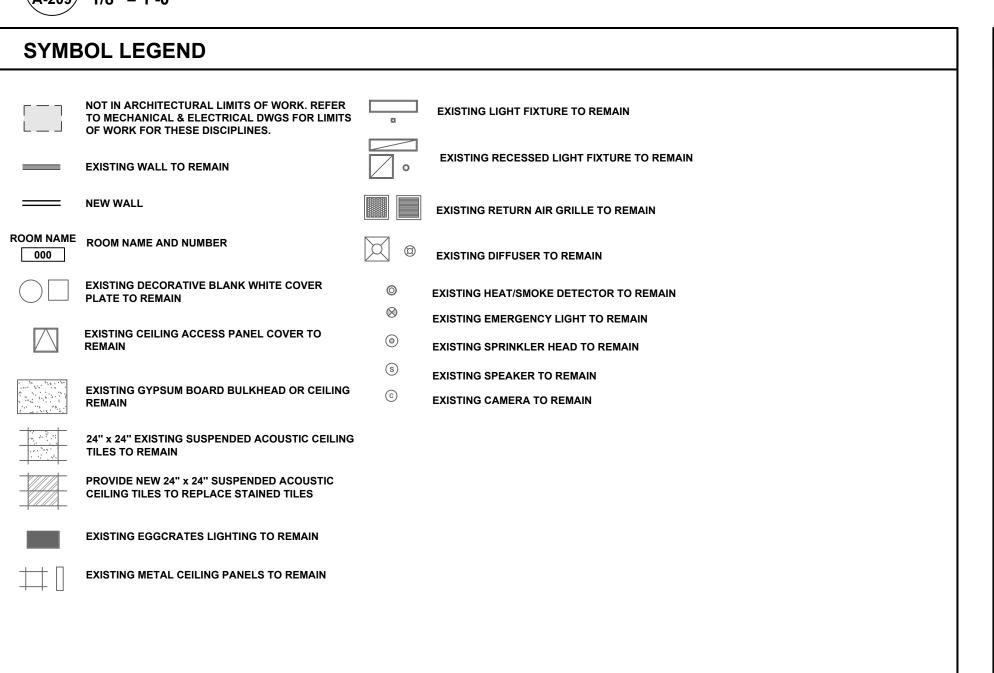




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### 01 NEW CEILING PLAN 8TH FLOOR A-209 1/8" = 1'-0"





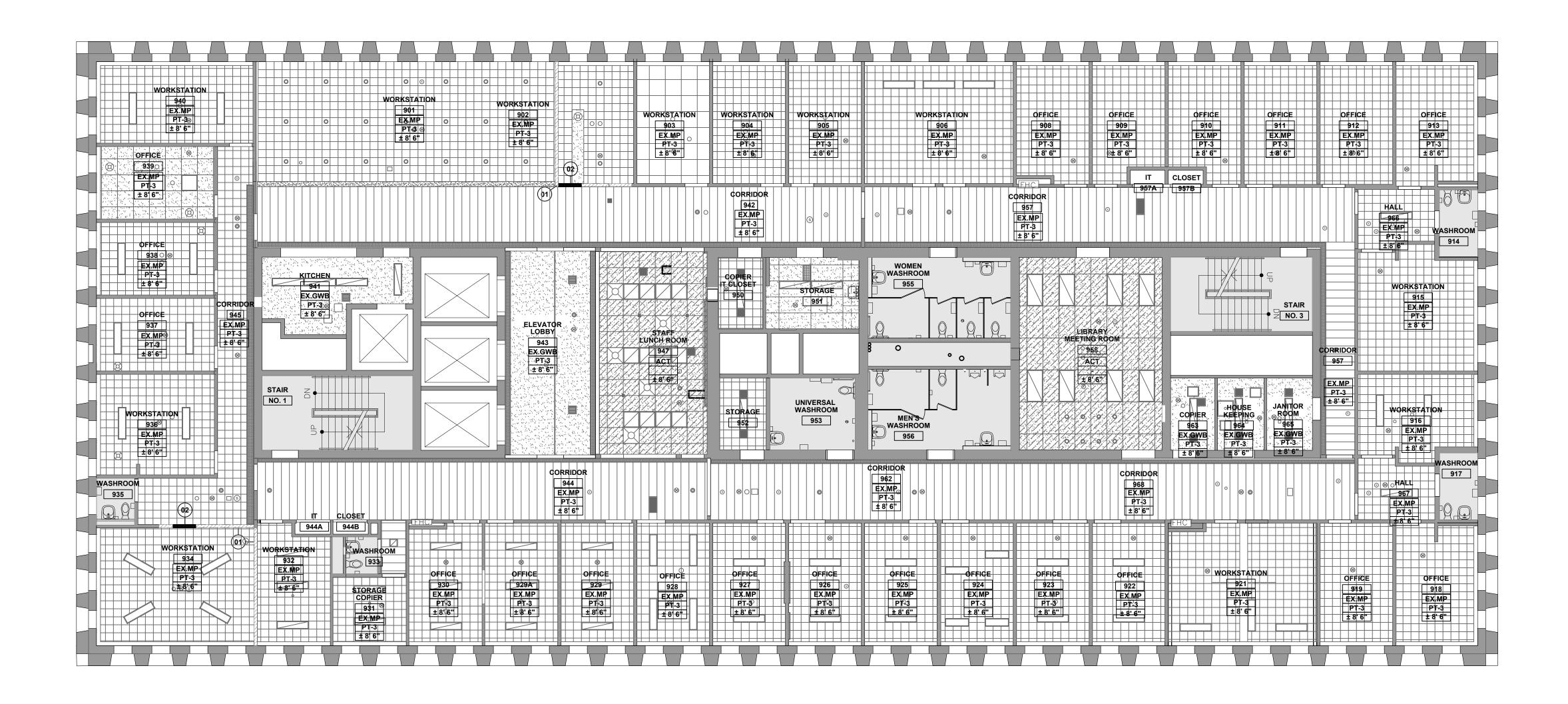
	CONSTRUCTION PLAN GENERAL NOTES
1.	CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.
2.	ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION.
3.	CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ANY DAMAGED EXISTING CONCRETE FLOOR SLAB AND G.W.B. ON PARTITIONS, BULKHEADS, ETC. AND MAKE READY FOR NEW FINISH.
4.	CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES, INCLUDING BUT NOT LIMITED TO FLOORING, WALLS, AND CEILINGS DAMAGED BY CONSTRUCTION. TOUCH-UP PAINTED SURFACES AFTER COMPLETION OF ALL INSTALLATION.
5.	GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING CONSTRUCTION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.
6.	REFER TO THE ENGINEERING DRAWINGS FOR ALL POWER, DATA & SECURITY REQUIREMENTS, LOCATIONS & SPECIFICATIONS.
7.	PROVIDE IN-WALL BLOCKING BETWEEN STUDS AS REQUIRED AT ALL ALL-HUNG ITEMS INCLUDING EQUIPMENT, ACCESSORIES AND MILLWORK.
8.	MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING CONSTRUCTION.
9.	PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS.
10	. PATCH HOLES IN WALLS WHERE WALL MOUNTED ITEMS HAVE BEEN REMOVED, INCLUDING BUT NOT LIMITED TO SHELVES, PAINTINGS, BOARDS, SIGNS, FRAMES, FILE HOLDERS, COAT RACKS AND MIRRORS IN CORRIDORS AND ROOMS.
11	. REPLACE BROKEN, DAMAGED OR MISSING SECTIONS OF PLASTIC EGGCRATE AT CEILING LIGHT COVE ALONG CORRIDORS ON GROUND, 9TH, AND 10TH FLOORS TO MATCH EXISTING.

# CONSTRUCTION PLAN KEY NOTES

03 CONSTRUCTION PLAN GENERAL NOTES A-209 N.T.S

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### **(01) NEW CEILING PLAN 9TH FLOOR** A-210/ 1/8" = 1'-0"

# SYMBOL LEGEND

NOT IN ARCHITECTURAL LIMITS OF WORK. EXISTING LIGHT FIXTURE TO REMAIN **REFER TO MECHANICAL & ELECTRICAL DWGS** FOR LIMITS OF WORK FOR THESE DISCIPLINES. EXISTING RECESSED LIGHT FIXTURE TO REMAIN EXISTING WALL TO REMAIN EXISTING RETURN AIR GRILLE TO REMAIN INSTALLATION. ROOM NAME ROOM NAME AND NUMBER 000 EXISTING DIFFUSER TO REMAIN EXISTING DECORATIVE BLANK WHITE COVER PLATE TO REMAIN SPECIFICATIONS.  $\odot$ EXISTING HEAT/SMOKE DETECTOR TO REMAIN EXISTING EMERGENCY LIGHT TO REMAIN EXISTING CEILING ACCESS PANEL COVER TO REMAIN EXISTING SPRINKLER HEAD TO REMAIN EXISTING SPEAKER TO REMAIN EXISTING GYPSUM BOARD BULKHEAD OR CEILING REMAIN PRODUCTS. NEW RETURN AIR GRILLE EXISTING ACOUSTIC CEILING TILES AND GRID TO REMAIN ROOMS. **EXISTING EGGCRATES LIGHTING TO REMAIN** EXISTING METAL CEILING PANELS TO REMAIN NEW ACOUSTIC CEILING TILES.

A-210/ N.T.S

### CONSTRUCTION PLAN GENERAL NOTES

CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.

2. ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION.

CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ANY DAMAGED EXISTING CONCRETE FLOOR SLAB AND G.W.B. ON PARTITIONS, BULKHEADS, ETC. AND MAKE READY FOR NEW FINISH.

CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES, INCLUDING BUT NOT LIMITED TO FLOORING, WALLS, AND CEILINGS DAMAGED BY CONSTRUCTION. TOUCH-UP PAINTED SURFACES AFTER COMPLETION OF ALL

GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING CONSTRUCTION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.

REFER TO THE ENGINEERING DRAWINGS FOR ALL POWER, DATA & SECURITY REQUIREMENTS, LOCATIONS &

PROVIDE IN-WALL BLOCKING BETWEEN STUDS AS REQUIRED AT ALL ALL-HUNG ITEMS INCLUDING EQUIPMENT, ACCESSORIES AND MILLWORK.

. MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING CONSTRUCTION.

PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP

10. PATCH HOLES IN WALLS WHERE WALL MOUNTED ITEMS HAVE BEEN REMOVED, INCLUDING BUT NOT LIMITED TO SHELVES, PAINTINGS, BOARDS, SIGNS, FRAMES, FILE HOLDERS, COAT RACKS AND MIRRORS IN CORRIDORS AND

11. REPLACE BROKEN, DAMAGED OR MISSING SECTIONS OF PLASTIC EGGCRATE AT CEILING LIGHT COVE ALONG CORRIDORS ON GROUND, 9TH, AND 10TH FLOORS TO MATCH EXISTING.

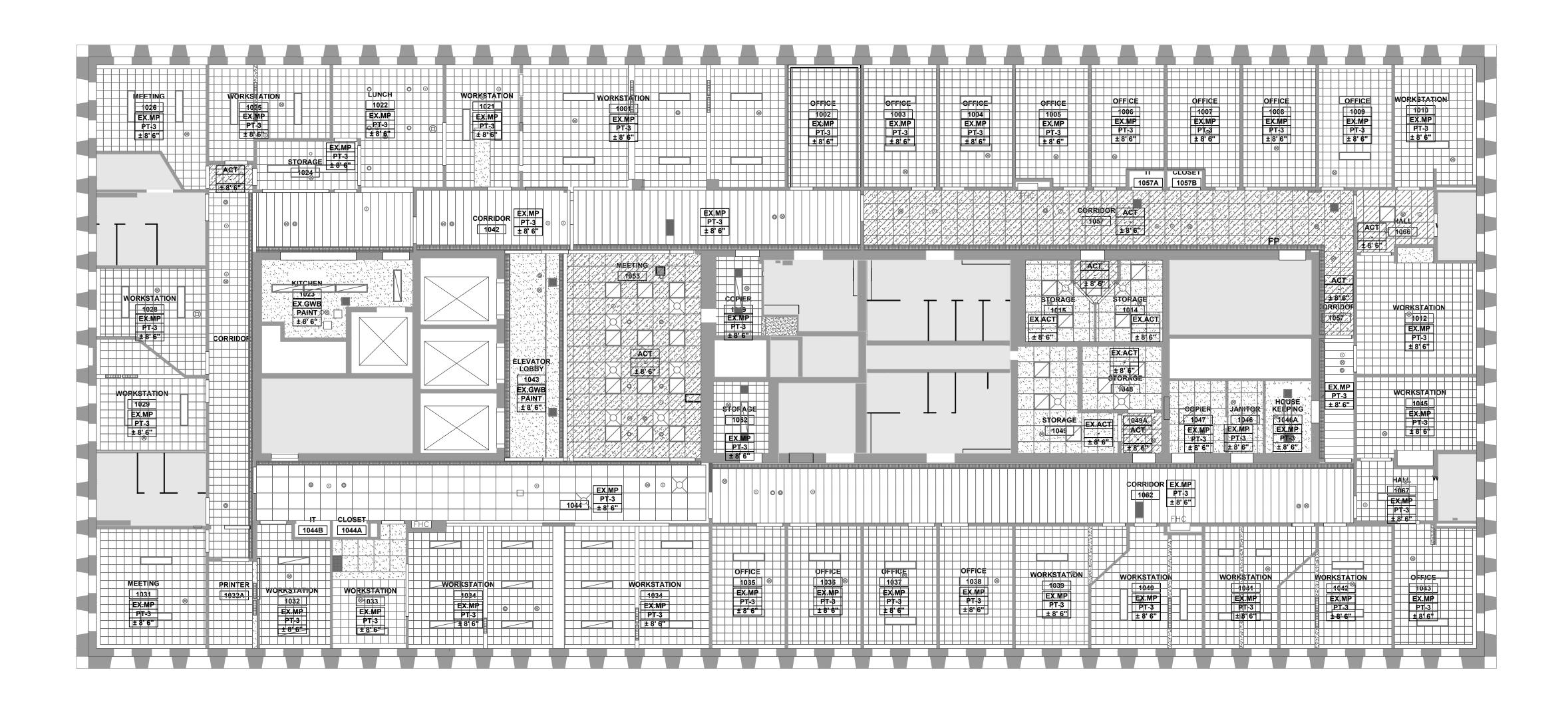
# CONSTRUCTION PLAN KEY NOTES

01 ADD METAL STUDS WHERE WALL IS REMOVED. FINISH BUTTOM WITH GYPSUM WALL BOARD. SEE DETAIL

(02) PROVIDE NEW RETURN AIR GRILLE. REFER TO MECHANICAL DRAWINGS.

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	toronto ontario m5v 3e7 t 416.340.7373 f 416. 340.00 hjarchitects.ca	05
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A-ZIU



### **(01) NEW CEILING PLAN 10TH FLOOR** A-211/ 1/8" = 1'-0"

# SYMBOL LEGEND

CONTRACTOR SHALL BE BRO NOT IN ARCHITECTURAL LIMITS OF WORK. EXISTING LIGHT FIXTURE TO REMAIN REFER TO MECHANICAL & ELECTRICAL DWGS FOR LIMITS OF WORK FOR THESE DISCIPLINES. 2. ALL WORK TO CONTRACTOR EXISTING RECESSED LIGHT FIXTURE TO REMAIN PARTITIONS, CONTRACTOR EXISTING WALL TO REMAIN AND CEILING EXISTING RETURN AIR GRILLE TO REMAIN INSTALLATION ROOM NAME GENERAL CON ROOM NAME AND NUMBER 000 EXISTING DIFFUSER TO REMAIN CONSTRUCTIO DEBRIS REMO EXISTING DECORATIVE BLANK WHITE COVER PLATE TO REMAIN REFER TO THE SPECIFICATION EXISTING HEAT/SMOKE DETECTOR TO REMAIN 0 PROVIDE IN-W EXISTING CEILING ACCESS PANEL COVER TO REMAIN EXISTING EMERGENCY LIGHT TO REMAIN  $\otimes$ ACCESSORIE EXISTING SPRINKLER HEAD TO REMAIN 8. MAINTAIN INTE EXISTING SPEAKER TO REMAIN 9. PROVIDE FIRE EXISTING GYPSUM BOARD BULKHEAD OR CEILING REMAIN FLOORS, AND PRODUCTS. 10. PATCH HOLES EXISTING ACOUSTIC CEILING TILES AND GRID TO REMAIN SHELVES, PAI ROOMS. EXISTING EGGCRATES LIGHTING TO REMAIN 11. REPLACE BRO CORRIDORS ( EXISTING METAL CEILING PANELS TO REMAIN NEW ACOUSTIC CEILING TILES.

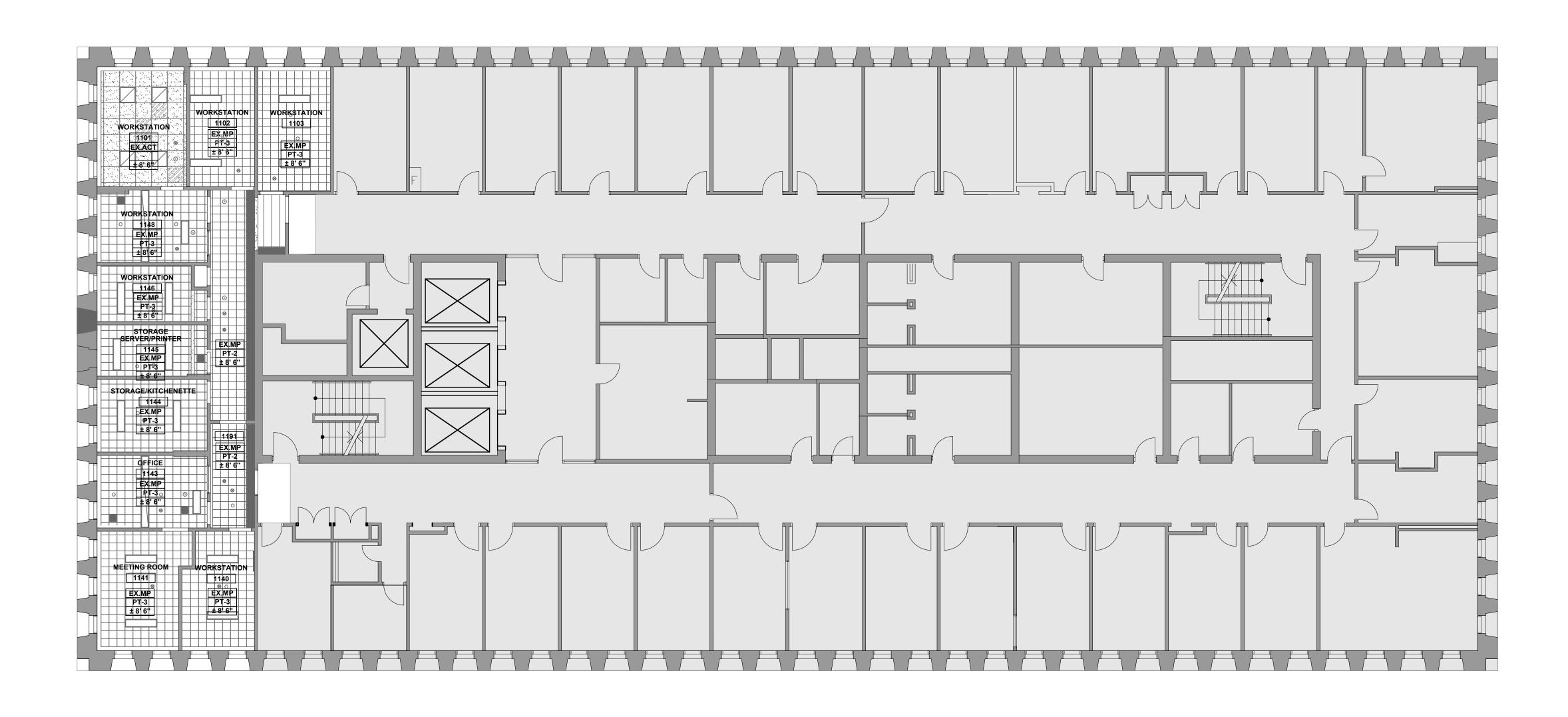
(	CONSTRUCTION PLAN GENERAL NOTES
1.	CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.
2.	ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION.
3.	CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ANY DAMAGED EXISTING CONCRETE FLOOR SLAB AND G.W.B. ON PARTITIONS, BULKHEADS, ETC. AND MAKE READY FOR NEW FINISH.
4.	CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES, INCLUDING BUT NOT LIMITED TO FLOORING, WALLS, AND CEILINGS DAMAGED BY CONSTRUCTION. TOUCH-UP PAINTED SURFACES AFTER COMPLETION OF ALL INSTALLATION.
5.	GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING CONSTRUCTION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.
6.	REFER TO THE ENGINEERING DRAWINGS FOR ALL POWER, DATA & SECURITY REQUIREMENTS, LOCATIONS & SPECIFICATIONS.
7.	PROVIDE IN-WALL BLOCKING BETWEEN STUDS AS REQUIRED AT ALL ALL-HUNG ITEMS INCLUDING EQUIPMENT, ACCESSORIES AND MILLWORK.
8.	MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING CONSTRUCTION.
9.	PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS.
10.	PATCH HOLES IN WALLS WHERE WALL MOUNTED ITEMS HAVE BEEN REMOVED, INCLUDING BUT NOT LIMITED TO SHELVES, PAINTINGS, BOARDS, SIGNS, FRAMES, FILE HOLDERS, COAT RACKS AND MIRRORS IN CORRIDORS AND ROOMS.
11.	REPLACE BROKEN, DAMAGED OR MISSING SECTIONS OF PLASTIC EGGCRATE AT CEILING LIGHT COVE ALONG CORRIDORS ON GROUND, 9TH, AND 10TH FLOORS TO MATCH EXISTING.

# **CONSTRUCTION PLAN KEY NOTES**



**03** CONSTRUCTION PLAN GENERAL NOTES A-211 N.T.S

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# 01 NEW CEILING PLAN 11TH FLOOR A-212 1/8" = 1'0"

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$\square$	REMAIN	۲	EXISTING SPRINKLER HEAD TO REMAIN
		\$	EXISTING SPEAKER TO REMAIN
	EXISTING GYPSUM BOARD BULKHEAD OR CEILING REMAIN	C	EXISTING CAMERA TO REMAIN
20 - 20 - 20 	24" x 24" EXISTING SUSPENDED ACOUSTIC CEILING TILES TO REMAIN		
	PROVIDE NEW 24" x 24" SUSPENDED ACOUSTIC CEILING TILES TO REPLACE STAINED TILES		
	EXISTING EGGCRATES LIGHTING TO REMAIN		
$+\Pi$	EXISTING METAL CEILING PANELS TO REMAIN		

### **MATERIALS & FINISHES SCHEDULE**

	WALLS FINISHES AND SPECIALITY
PT-2	TYPICAL WALL PAINT MANUF: BENJAMIN MOORE COLOUR: MATCH ADJACENT ROOMS FINISH: MATCH ADJACENT ROOMS
PT-3	TYPICAL CEILING PAINT - FIELD COLOUR MANUF: BENJAMIN MOORE COLOUR: FINISH: FLAT

### **CONSTRUCTION PLAN GENERAL NOTES**

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- 11. REPLACE BROKEN, DAMAGED OR MISSING SECTIONS OF PLASTIC EGGCRATE AT CEILING LIGHT COVE ALONG CORRIDORS ON GROUND, 9TH, AND 10TH FLOORS TO MATCH EXISTING.

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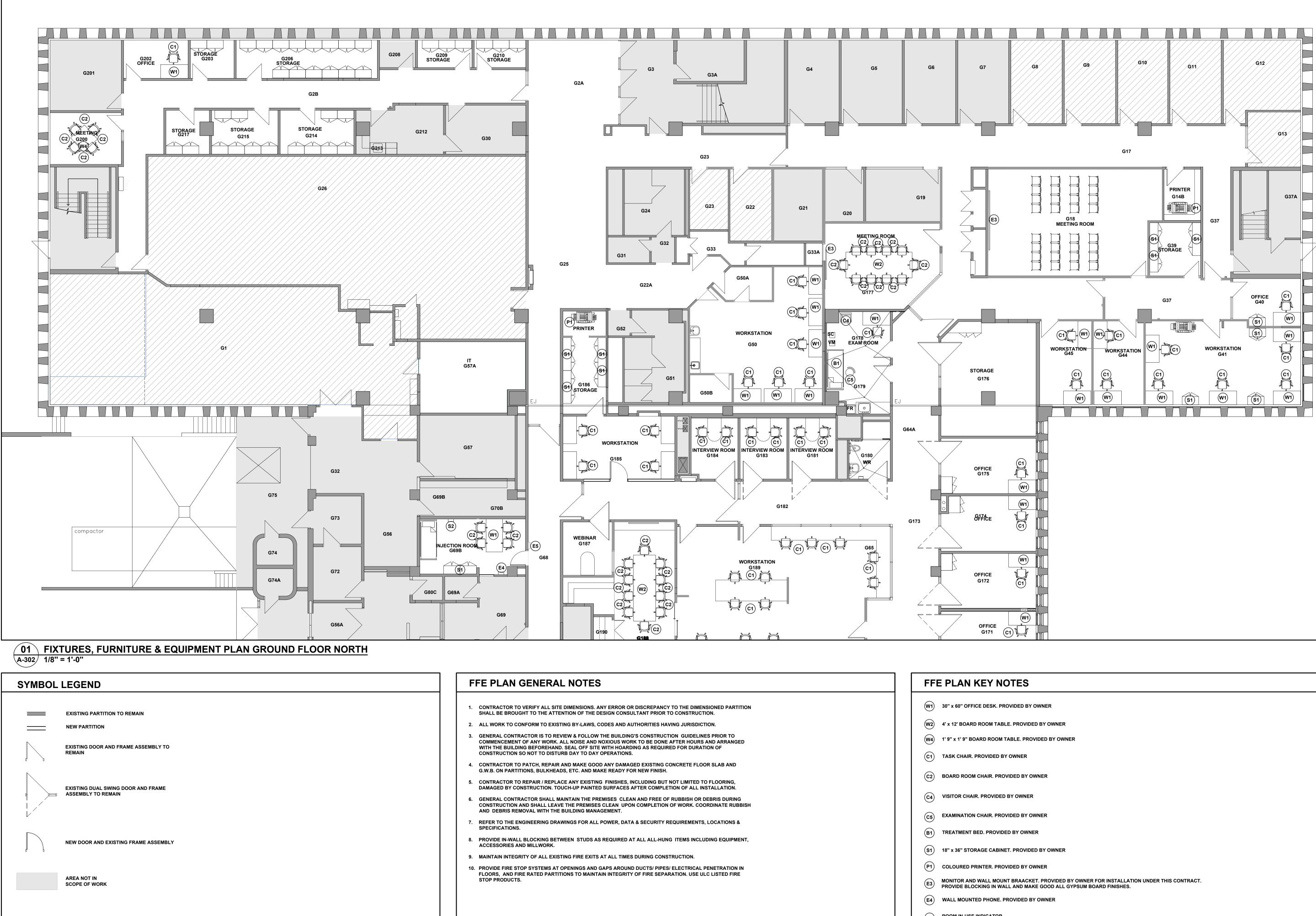


W1)	30" x 60" OFFICE DESK. PROVIDED BY OWNER
(W2)	4' x 12' BOARD ROOM TABLE. PROVIDED BY OWN
(W3)	3' x 8' BOARD ROOM TABLE. PROVIDED BY OWNE
<b>C1</b>	TASK CHAIR. PROVIDED BY OWNER
<b>C2</b>	BOARD ROOM CHAIR. PROVIDED BY OWNER
<b>C3</b>	LUNCH CHAIR. PROVIDED BY OWNER
<b>S1</b>	18" x 36" STORAGE CABINET. PROVIDED BY OWN
(P1)	COLOURED PRINTER. PROVIDED BY OWNER
<b>E3</b>	MONITOR AND WALL MOUNT BRAACKET. PROVID PROVIDE BLOCKING IN WALL AND MAKE GOOD A
(T1)	LUNCH TABLE. PROVIDED BY OWNER.

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IDED BY OWNER FOR INSTALLATION UNDER THIS CONTRACT. ALL GYPSUM BOARD FINISHES.	

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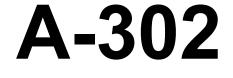


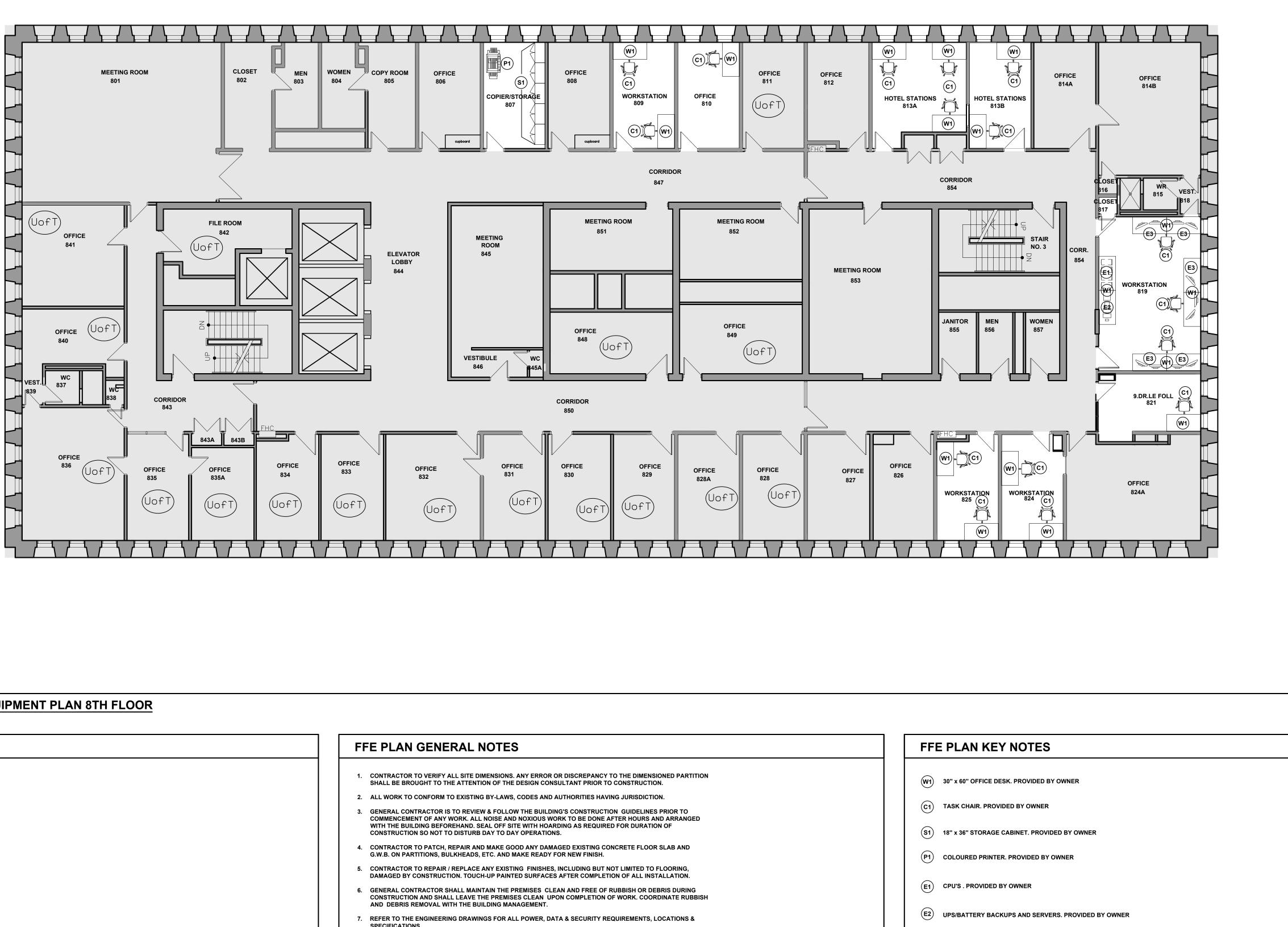
04	4 FFE PLAN KEY NOTES
VM	VITALS MONITORS. PROVIDED BY OWNER.
SC	HUMAN SCALE. PROVIDED BY OWNER.
<b>S2</b>	WALL MOUNTED SHARPS CONTAINER.
<b>E5</b>	ROOM IN-USE INDICATOR.
E4	WALL MOUNTED PHONE. PROVIDED BY OWNER
<b>E3</b>	MONITOR AND WALL MOUNT BRAACKET. PROVIDE PROVIDE BLOCKING IN WALL AND MAKE GOOD AL
(P1)	COLOURED PRINTER. PROVIDED BY OWNER
<b>S1</b>	18" x 36" STORAGE CABINET. PROVIDED BY OWNE
<b>B1</b>	TREATMENT BED. PROVIDED BY OWNER
<b>C</b> 5	EXAMINATION CHAIR. PROVIDED BY OWNER
<b>C4</b>	VISITOR CHAIR. PROVIDED BY OWNER
<b>C2</b>	BOARD ROOM CHAIR. PROVIDED BY OWNER
<b>C1</b>	TASK CHAIR. PROVIDED BY OWNER
<b>W4</b>	1' 9" x 1' 9" BOARD ROOM TABLE. PROVIDED BY O
<b>W2</b>	4' x 12' BOARD ROOM TABLE. PROVIDED BY OWNE
<b>W1</b>	30" x 60" OFFICE DESK. PROVIDED BY OWNER

A-302/ N.T.S

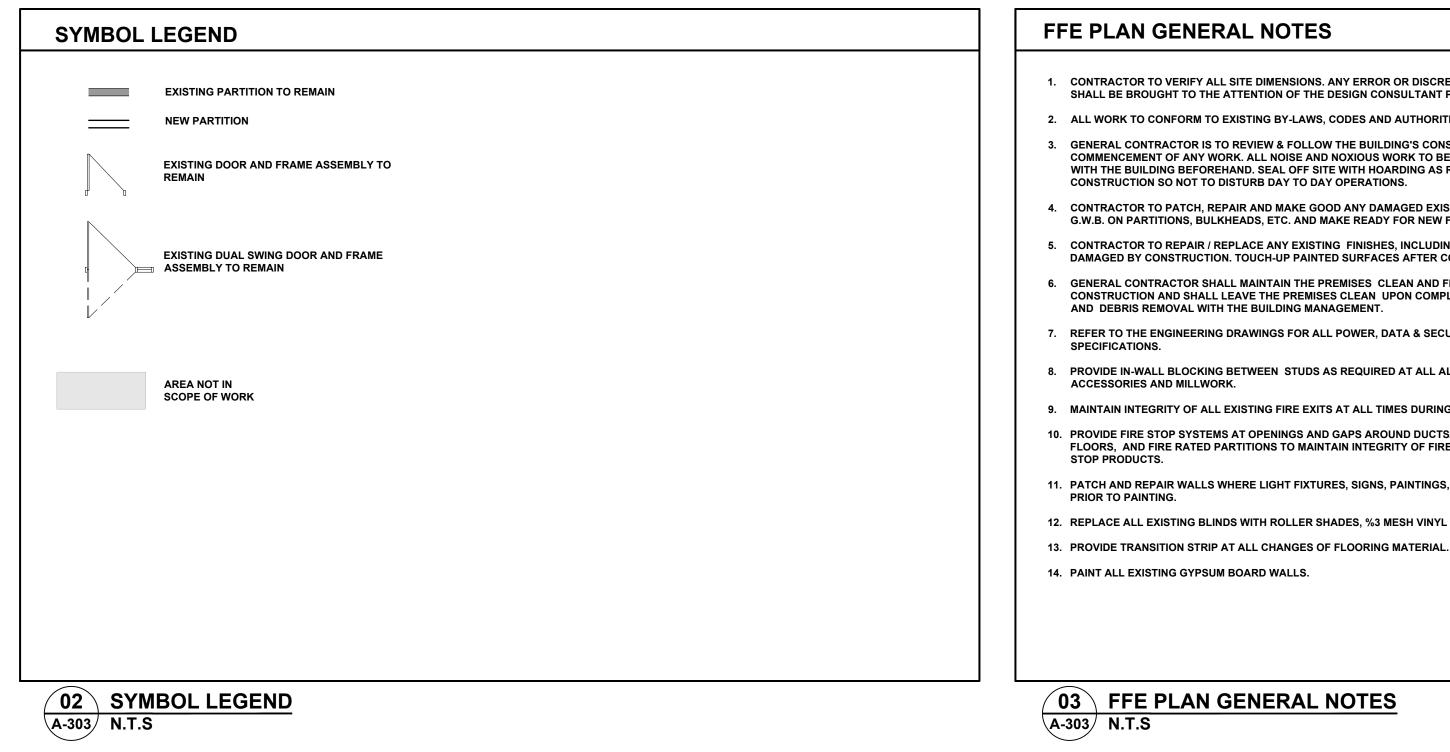
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### **01** FIXTURES, FURNITURE & EQUIPMENT PLAN 8TH FLOOR A-303 1/8" = 1'-0"



8. PROVIDE IN-WALL BLOCKING BETWEEN STUDS AS REQUIRED AT ALL ALL-HUNG ITEMS INCLUDING EQUIPMENT, ACCESSORIES AND MILLWORK. 9. MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING CONSTRUCTION.

10. PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE

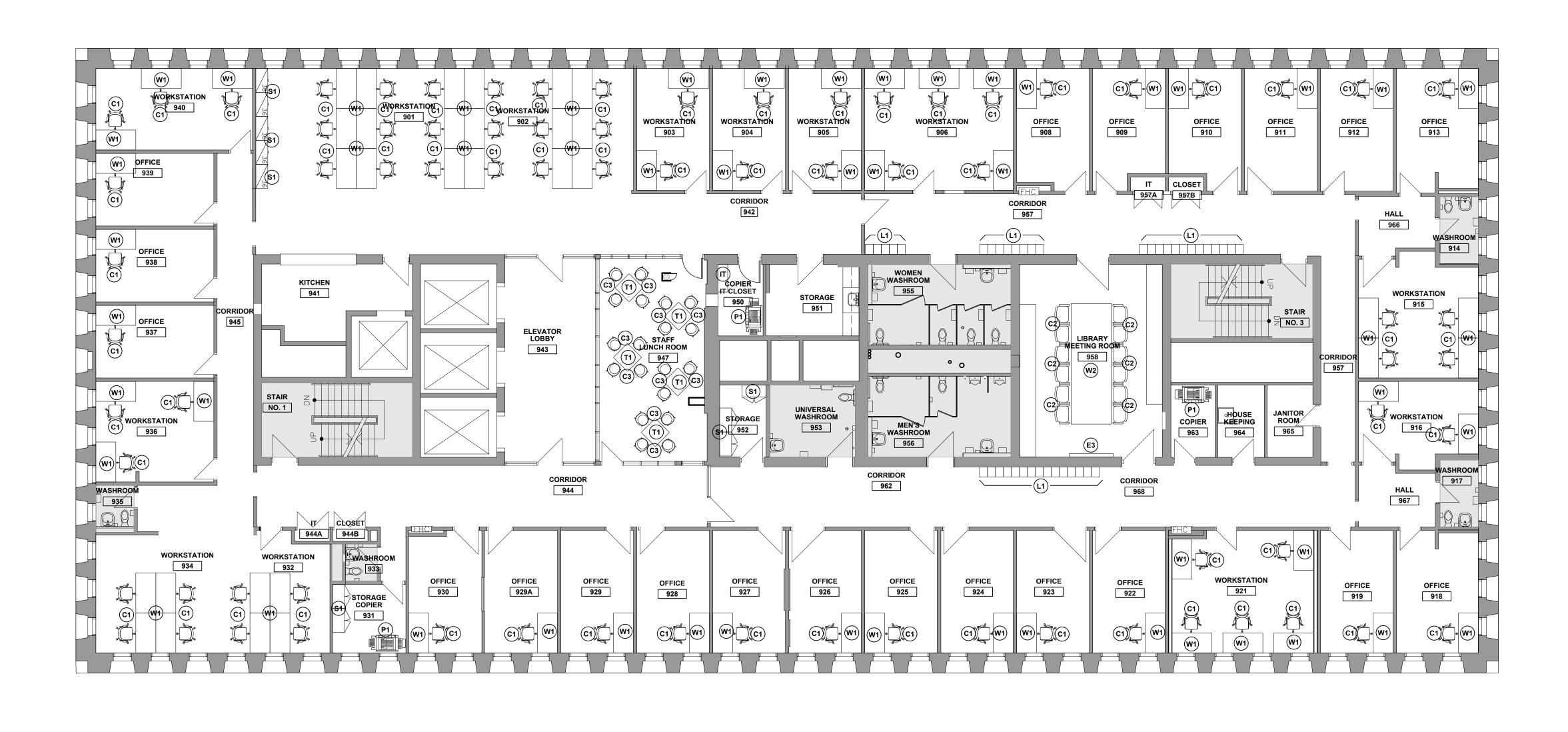
11. PATCH AND REPAIR WALLS WHERE LIGHT FIXTURES, SIGNS, PAINTINGS, FRAMES AND MIRRORS WERE REMOVED

12. REPLACE ALL EXISTING BLINDS WITH ROLLER SHADES, %3 MESH VINYL FABRIC.

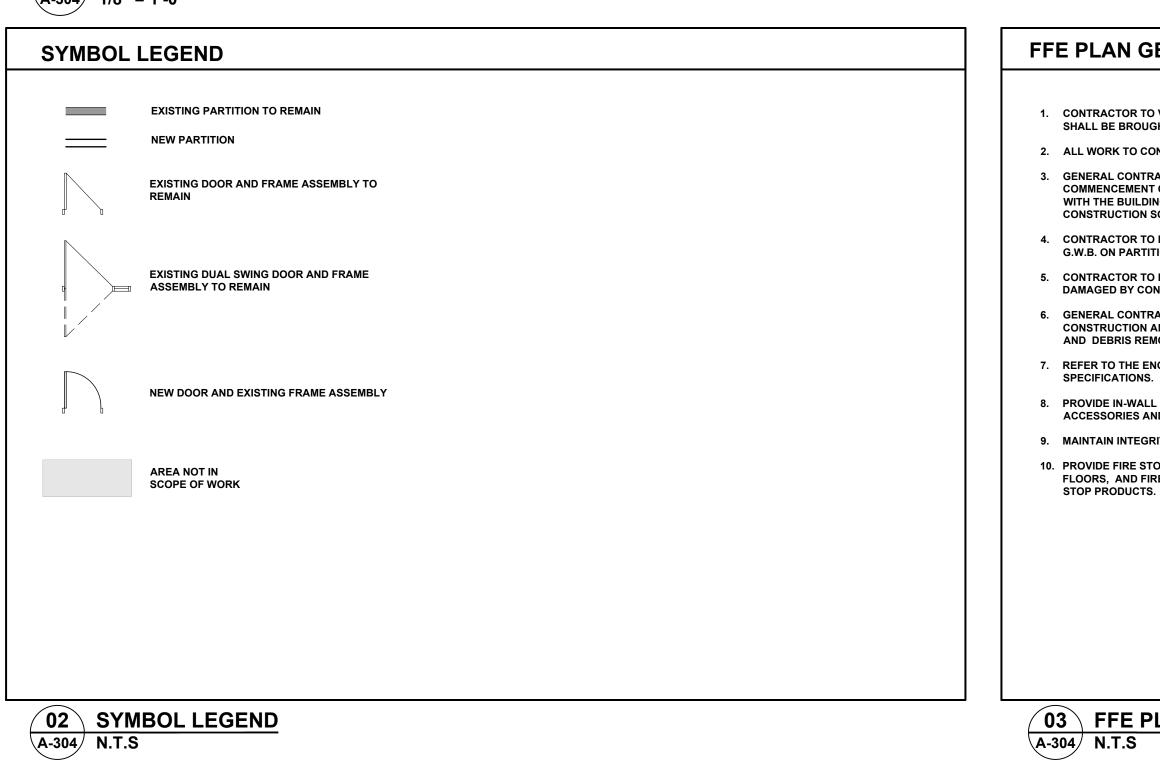
14. PAINT ALL EXISTING GYPSUM BOARD WALLS.

(E3) MONITOR PROVIDED BY OWNER

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### 01 FIXTURES, FURNITURE & EQUIPMENT PLAN 9TH FLOOR A-304 1/8" = 1'-0"



### FFE PLAN GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.

2. ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION.

GENERAL CONTRACTOR IS TO REVIEW & FOLLOW THE BUILDING'S CONSTRUCTION GUIDELINES PRIOR TO COMMENCEMENT OF ANY WORK. ALL NOISE AND NOXIOUS WORK TO BE DONE AFTER HOURS AND ARRANGED WITH THE BUILDING BEFOREHAND. SEAL OFF SITE WITH HOARDING AS REQUIRED FOR DURATION OF CONSTRUCTION SO NOT TO DISTURB DAY TO DAY OPERATIONS.

4. CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ANY DAMAGED EXISTING CONCRETE FLOOR SLAB AND G.W.B. ON PARTITIONS, BULKHEADS, ETC. AND MAKE READY FOR NEW FINISH.

 CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES, INCLUDING BUT NOT LIMITED TO FLOORING, DAMAGED BY CONSTRUCTION. TOUCH-UP PAINTED SURFACES AFTER COMPLETION OF ALL INSTALLATION.
 GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING CONSTRUCTION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH

AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.
7. REFER TO THE ENGINEERING DRAWINGS FOR ALL POWER, DATA & SECURITY REQUIREMENTS, LOCATIONS &

8. PROVIDE IN-WALL BLOCKING BETWEEN STUDS AS REQUIRED AT ALL ALL-HUNG ITEMS INCLUDING EQUIPMENT, ACCESSORIES AND MILLWORK.

9. MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING CONSTRUCTION.

10. PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS.

# FFE PLAN KEY NOTES

<b>W1</b>	30" x 60" OFFICE DESK. PROVIDED BY OWNER
<b>W2</b>	5' x 15" BOARD ROOM TABLE. PROVIDED BY OWNE
<b>C1</b>	TASK CHAIR. PROVIDED BY OWNER
<b>C2</b>	BOARD ROOM CHAIR. PROVIDED BY OWNER
<b>C3</b>	LUNCH CHAIR. PROVIDED BY OWNER
<b>(T1</b> )	LUNCH TABLE. PROVIDED BY OWNER
<b>S1</b>	18" x 36" STORAGE CABINET. PROVIDED BY OWNE
<b>P1</b>	COLOURED PRINTER. PROVIDED BY OWNER
<b>E2</b>	SERVER. PROVIDED BY OWNER
E3	MONITORS. PROVIDED BY OWNER
(L1)	12" x 15" STORAGE LOCKERS. PROVIDED BY OWN
П	IT CLOSET. REFER TO ELECTRICAL DRAWINGS.

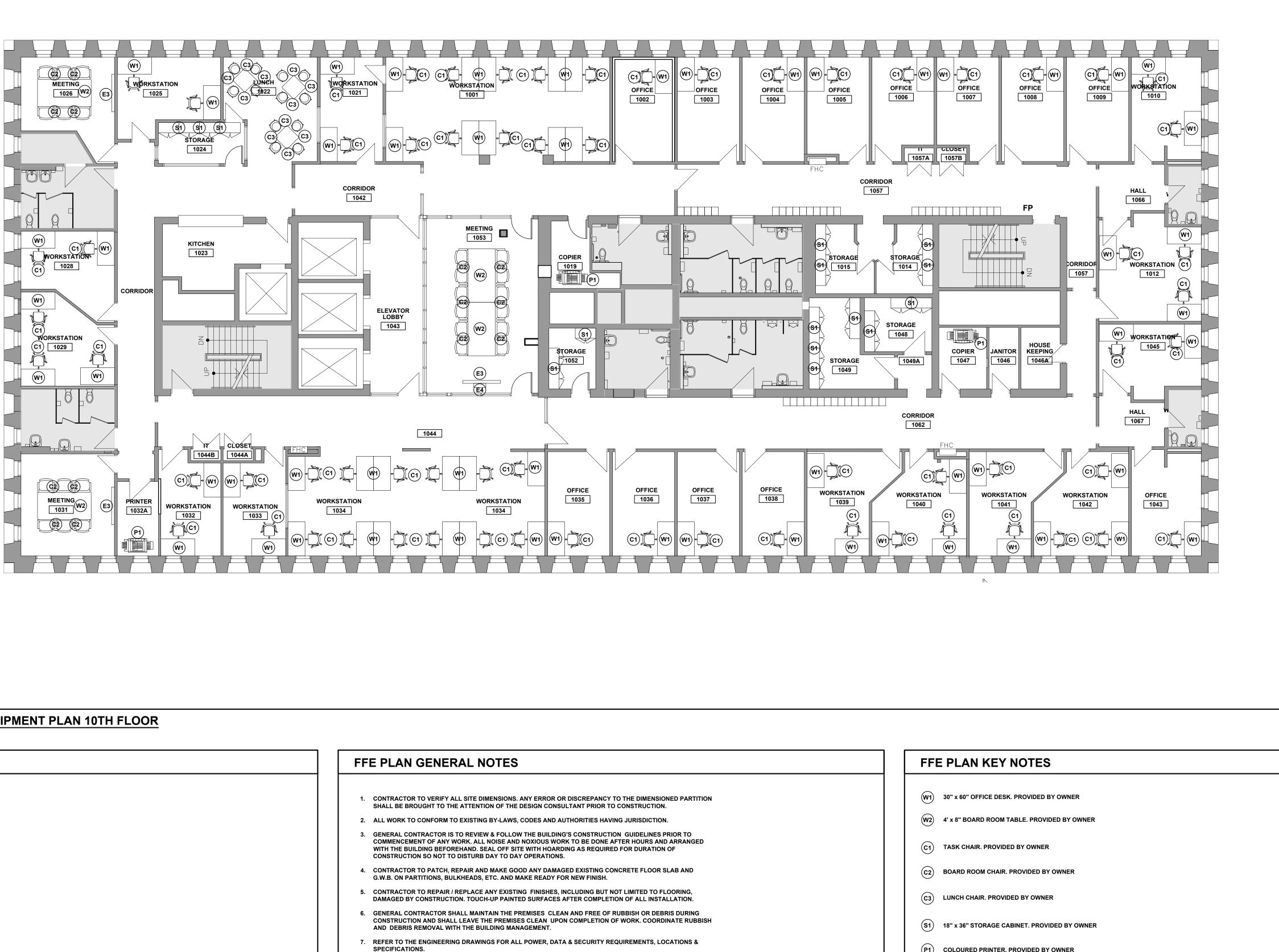
04 FFE PLAN KEY NOTES A-304 N.T.S

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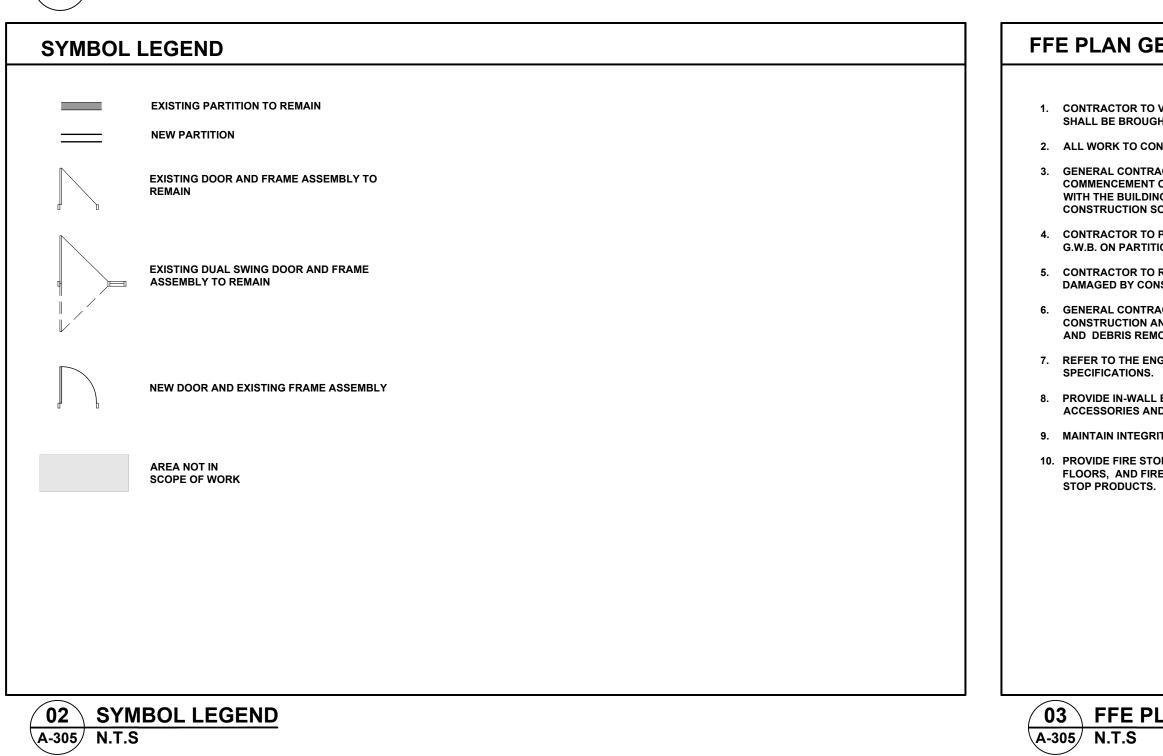
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### **01** FIXTURES, FURNITURE & EQUIPMENT PLAN 10TH FLOOR A-305 1/8" = 1'-0"



8. PROVIDE IN-WALL BLOCKING BETWEEN STUDS AS REQUIRED AT ALL ALL-HUNG ITEMS INCLUDING EQUIPMENT, ACCESSORIES AND MILLWORK.

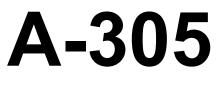
9. MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING CONSTRUCTION.

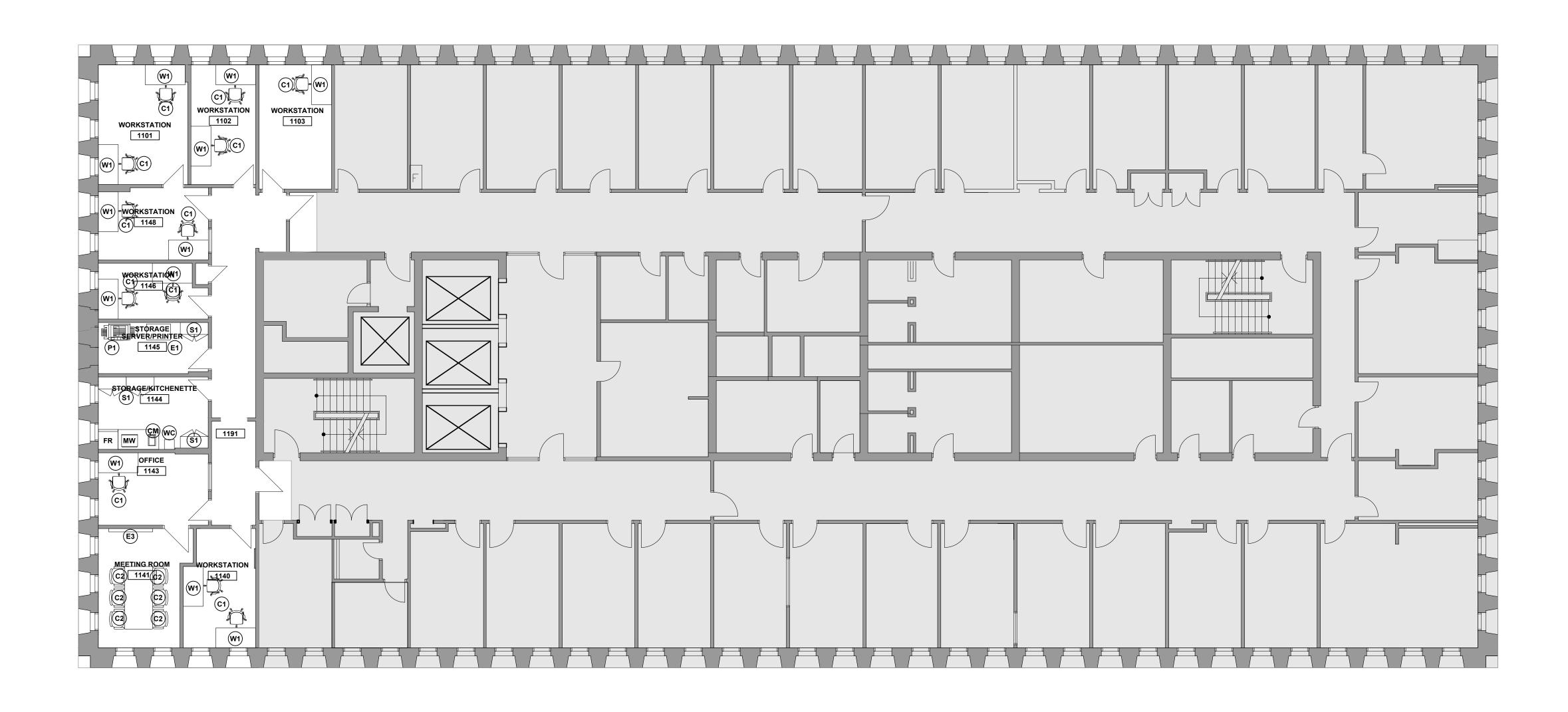
10. PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE

(W1)	30" x 60" OFFICE DESK. PROVIDED BY OWNER
<b>W2</b>	4' x 8" BOARD ROOM TABLE. PROVIDED BY OWNER
<b>C1</b>	TASK CHAIR. PROVIDED BY OWNER
<b>C2</b>	BOARD ROOM CHAIR. PROVIDED BY OWNER
<b>C3</b>	LUNCH CHAIR. PROVIDED BY OWNER
<b>S1</b>	18" x 36" STORAGE CABINET. PROVIDED BY OWNER
(P1)	COLOURED PRINTER. PROVIDED BY OWNER
<b>E2</b>	SERVER. PROVIDED BY OWNER
<b>E3</b>	MONITORS. PROVIDED BY OWNER
<b>E4</b>	MOBILE MONITOR PEDESTAL. PROVIDED BY OWNER
	12" x 15" STORAGE LOCKERS. PROVIDED BY OWNER
Т	IT CLOSET. REFER TO ELECTRICAL DRAWINGS.

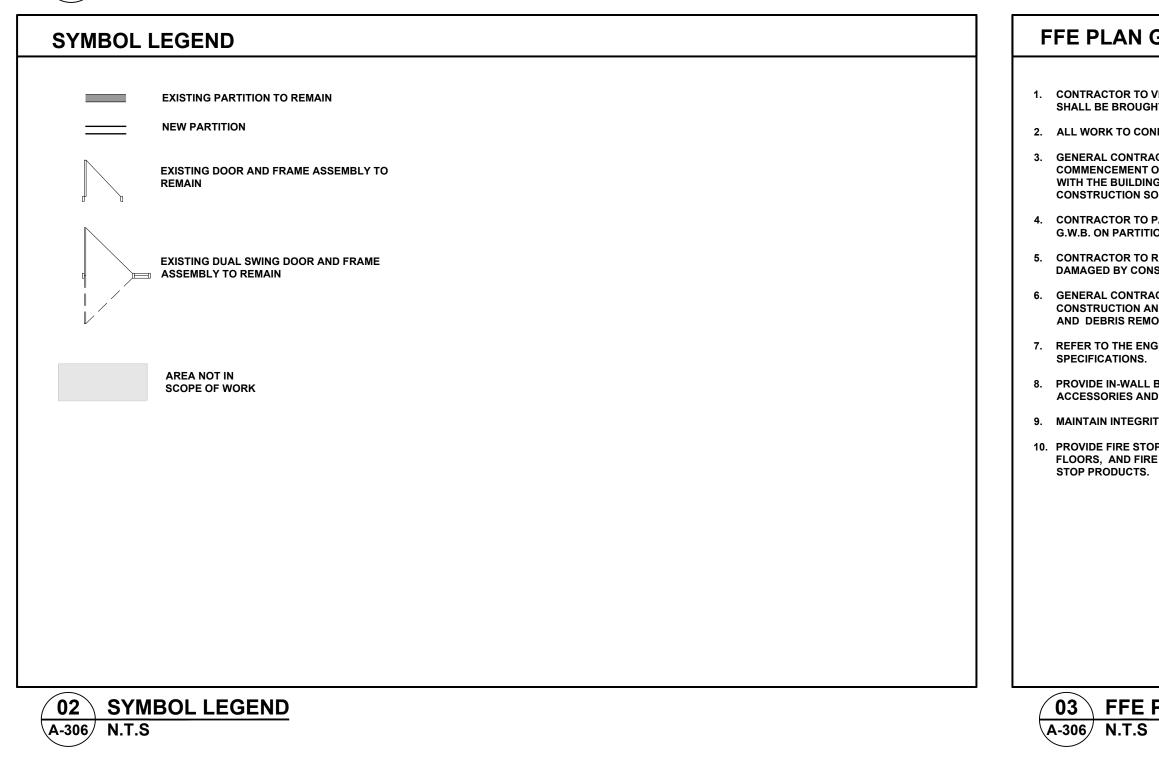
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### 01 FIXTURES, FURNITURE & EQUIPMENT PLAN 11TH FLOOR A-306 1/8" = 1'-0"



### FFE PLAN GENERAL NOTES

CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.

2. ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION.

5. GENERAL CONTRACTOR IS TO REVIEW & FOLLOW THE BUILDING'S CONSTRUCTION GUIDELINES PRIOR TO COMMENCEMENT OF ANY WORK. ALL NOISE AND NOXIOUS WORK TO BE DONE AFTER HOURS AND ARRANGED WITH THE BUILDING BEFOREHAND. SEAL OFF SITE WITH HOARDING AS REQUIRED FOR DURATION OF CONSTRUCTION SO NOT TO DISTURB DAY TO DAY OPERATIONS.

 CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ANY DAMAGED EXISTING CONCRETE FLOOR SLAB AND G.W.B. ON PARTITIONS, BULKHEADS, ETC. AND MAKE READY FOR NEW FINISH.
 CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES, INCLUDING BUT NOT LIMITED TO FLOORING,

DAMAGED BY CONSTRUCTION. TOUCH-UP PAINTED SURFACES AFTER COMPLETION OF ALL INSTALLATION.GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING

CONSTRUCTION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.

REFER TO THE ENGINEERING DRAWINGS FOR ALL POWER, DATA & SECURITY REQUIREMENTS, LOCATIONS & SPECIFICATIONS.

8. PROVIDE IN-WALL BLOCKING BETWEEN STUDS AS REQUIRED AT ALL ALL-HUNG ITEMS INCLUDING EQUIPMENT, ACCESSORIES AND MILLWORK.

9. MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING CONSTRUCTION.

10. PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS.

# FFE PLAN KEY NOTES

(W1)	30" x 60" OFFICE DESK. PROVIDED BY OWNER
(T1)	BOARD ROOM TABLE. PROVIDED BY OWNER
<b>C1</b>	TASK CHAIR. PROVIDED BY OWNER
<b>C2</b>	BOARD ROOM CHAIR. PROVIDED BY OWNER
<b>S1</b>	18" x 36" STORAGE CABINET. PROVIDED BY OWNER
(P1)	COLOURED PRINTER. PROVIDED BY OWNER
E1	SERVER. PROVIDED BY OWNER
<b>E3</b>	MONITOR AND WALL MOUNT BRAACKET. PROVIDE PROVIDE BLOCKING IN WALL AND MAKE GOOD ALI
wc	FREE STANDING WATER COOLER. PROVIDED BY OV
MW	MICROWAVE. PROVIDED BY OWNER
FR	FRIDGE. PROVIDED BY OWNER
CM	COFFEE MACHINE. PROVIDED BY OWNER

04 FFE PLAN KEY NOTES A-306 N.T.S

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IDED BY OWNER FOR INSTALLATION UNDER THIS CONTRACT. ALL GYPSUM BOARD FINISHES.

YOWNER

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