

37 NORTON AVE,
NORTH YORK

2 LOCATION MAP

SCALE = N.T.S.

GENERAL NOTES:

- THE PROPOSED GENERAL SCOPE OF WORK OF THIS PROJECT IS DEMOLITION OF ENTIRE EXISTING TWO-STORY RESIDENTIAL STRUCTURES (APPROX. 4,225 SQ. FT., USED AS A RESIDENTIAL DWELLING), REMOVAL OF FOUNDATION WALLS, FOOTINGS, BASEMENT FLOOR, UPPER PORTION OF THE HOUSE, AS WELL AS REMOVAL OF ALL ONSITE FEATURES SUCH AS DRIVEWAYS, SIDEWALKS, PAVERS, RAILINGS, DECKS, GARDENS, LANDSCAPE RETAINING WALLS, ETC. THE SCOPE OF WORK INCLUDES ALSO REMOVAL AND DISPOSAL OF ALL DEMOLITION DEBRIS INCLUDING CONCRETE, TIMBER, STEEL, ORGANIC MATERIAL, MECHANICAL, PLUMBING, ELECTRICAL EQUIPMENT, OIL STORAGE TANK, INTERIOR AND EXTERIOR COMPONENTS AS WELL AS PREVIOUSLY CUT AND REMOVED SHRUBS AND FENCES.
- CONTRACTOR SHALL VERIFY ALL INFORMATION ON SITE, & SHALL REPORT TO OWNER, CITY PROJECT MANAGER AND/OR CONSULTANT IMMEDIATELY FOR ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- CONTRACTOR SHALL PROVIDE ALL LABOUR, MATERIALS, EQUIPMENT, PLANT & SUPERVISION REQUIRED TO COMPLETE ALL WORK AS SHOWN, SPECIFIED, DRAWN AND AS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL EXISTING WATER, ELECTRICAL, SEWER AND OTHER SERVICES IN THE AREA OF DEMOLITION ARE CUT OFF, DISCONNECTED, CAPPED, DIVERTED AND OR REMOVED AS REQUIRED. IF ANY OF THE SERVICES ARE STILL CONNECTED A CONTRACTOR SHALL DISCONNECT ALL SERVICES AS REQUIRED UNDER THE DEMOLITION WORK, APPROVED DEMOLITION PERMIT AND UTILITIES CONFIRMATION WILL BE PROVIDED TO THE SUCCESSFUL PROPONENT.
- CONTRACTOR SHALL FOLLOW AND OBTAIN CITY OF TORONTO MUNICIPAL CODE CHAPTER 591 - NOISE, MAKE SURE EMISSION OF SOUND RESULTING FROM ANY OPERATION OF CONSTRUCTION EQUIPMENT OR ANY CONSTRUCTION EXCEEDS THE MAXIMUM SOUND LEVEL PERMITTED UNDER THE NOISE BY-LAW. NO NOISE CAUSE BY ANY CONSTRUCTION ACTIVITIES FROM 7 P.M. TO 7 A.M. THE NEXT DAY, EXCEPT UNTIL 9 A.M. ON SATURDAYS, ALL DAY ON SUNDAYS AND STATUTORY HOLIDAYS. CONTRACTOR SHALL RESPONSIBLE TO PROVIDE NOISE MITIGATION PLAN AND APPLY FOR NOISE EXEMPTION PERMIT IF THEY CANNOT MEET THE CHAPTER 591 REQUIREMENTS.
- CONTRACTOR SHALL FOLLOW THE VIBRATION STUDY REPORT AND OBTAIN CITY OF TORONTO BY-LAW 514-2008 - VIBRATION CONTROL CRITERIA, FOR ANY DEMOLITION /CONSTRUCTION ACTIVITIES OR METHODS THAT HAVE THE POTENTIAL TO CAUSE VIBRATIONS WHICH MAY HAVE IMPACT ON BUILDINGS OR STRUCTURE OUTSIDE OF THE CONSTRUCTION SITE.
- CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL INVESTIGATION REPORT. MAKE SURE EXISTING CONDITIONS OF GRADING SURFACE, SUBSURFACE, & GROUNDWATER LEVEL, COORDINATE W/ CITY AND CITY'S ENGAGED GEOTECHNICAL ENGINEER DURING THE DEMOLITION /CONSTRUCTION.
- DEVELOP, MAINTAIN AND IMPLEMENT ENVIRONMENTAL PLANS AND CONTROLS: ALL REQUIRED MONITORING, WITH RESPECT TO: EROSION AND SEDIMENTATION CONTROL AND MONITORING; POLLUTION CONTROL; DUST CONTROL AND MONITORING DEMOLITION, HAZARDOUS MATERIAL REMOVALS AND MONITORING. SUBMIT ENVIRONMENTAL PLAN TO CONSULTANT AND OWNER FOR REVIEW. CONTRACTOR IS TO ENGAGE ALL REQUIRED CONSULTANTS AND TESTING AGENCIES NECESSARY TO CARRY OUT AND MONITOR THESE ACTIVITIES.
- PROVIDE A LIST OF DISPOSAL SITES TO BE USED.
- MAINTAIN THE SITE IN AN ORGANIZED, ORDERLY, HAZARD-FREE AND SAFE CONDITION ON A DAILY BASIS AND CARRY OUT CONSTRUCTION WASTE SEPARATION AND MANAGEMENT PRACTICE.
- PRIOR TO ANY DEMOLITION WORK STARTING, ERECT A PROTECTION FENCE WITH A PRIVACY SCREEN AND PROVIDE PROTECTION FOR ADJACENT PUBLIC PARKS AND HOUSES.
- CONTRACTOR SHALL PROVIDE TEMPORARY SITE FACILITIES IF REQUIRED WITHIN THE DESIGNATED WORK AREA CONSISTING OF A PORTABLE WASHROOM, POWER, POTABLE WATER SUPPLY AND DISPOSAL BINS AND TO BE LOCATED AT AN AREA AGREED UPON WITH THE OWNER AND/OR CITY. THE CONTRACTOR SHALL INCLUDE THE COST OF THESE SERVICES.
- ALLOCATE CONSTRUCTION AREA FOR CLEANING, CLEARING, AND MAINTENANCE OF SITE ACCESS ROUTES AND APPROACH ROADS AND FOR TRAFFIC CONTROL MEASURES, AS REQUIRED.
- CONTRACTOR SHALL PREVENT ANY DAMAGES TO THE EXISTING ROAD SIDE STORM WATER DRAINAGE. ASSUME RESPONSIBILITY FOR CARE, CUSTODY AND CONTROL OF SITE AND PERFORM WORK TO EXTENT COVERED IN CONTRACT DOCUMENTS. MAKE GOOD DAMAGE TO EXISTING SITE AND EXISTING BUILDINGS (IF ANY) DUE TO WORK OF THIS CONTRACT.
- CONTRACTOR SHALL FOLLOW AND OBTAIN HAZARDOUS BUILDING MATERIALS SURVEY REPORT (PROVIDED BY THE OWNER/CITY), SAFELY REMOVE ANY HAZARDOUS MATERIALS.
- SAFELY DEMOLISH AND REMOVE FROM SITE THE STRUCTURES NOTED ABOVE. CLEAN CONSTRUCTION MATERIALS TO BE TRUCKED TO A REGISTERED CONSTRUCTION DEBRIS SITE AND MAINTAIN LOG OF ALL MATERIALS LEAVING SITE.

1 GENERAL NOTES

SCALE = N.T.S.

Tree Protection Barriers

- Tree protection barriers must be constructed with a solid wood frame clad with plywood or approved equivalent. Height of hoarding may be less than 8 ft. to accommodate any branches that may be lower.
- Tree protection barriers for trees situated on the City road allowance where visibility must be maintained can be 1.2m (4ft.) high and consist of orange plastic web snow fencing on a wood frame made of 2 x 4s.
- Where some excavate or fill has to be temporarily located near a tree protection barrier, plywood must be used to ensure no material enters the Tree Protection Zone.
- No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.

Note:
Sediment control fencing shall be installed in locations indicated in an Urban Forestry approved Tree Protection Plan. The sediment control fencing must be installed to Ontario Provincial Standards (OPSD-213.130) heavy duty silt fence barrier and to the satisfaction of Urban Forestry. See Detail TP- 2

Toronto

Parks, Forestry and Recreation

Urban Forestry

February 2016

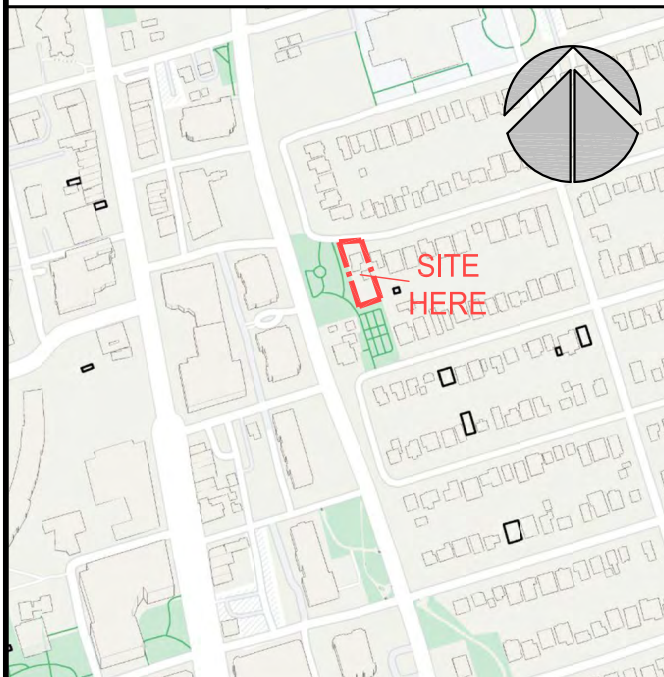
Detail TP-1

CITY STAMP

ARCHITECT

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KEY MAP - LOCATION

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2	ISSUED FOR DEMO PERMIT & TENDER	JUL 18/23
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CLIENT



PROJECT TITLE

37 NORTON AVENUE
DEMOLITION

NORTH YORK, ONTARIO M2N 4A2

SHEET TITLE

GENERAL NOTES
LOCATION MAP
TREE PROTECTION FENCE

STAMP



PROJECT NORTH

Scale: AS NOTED

Date: APR 24, 2023

Drawn By: CT

Checked By: FM

Project No.: 23007

Revision: 00

Sheet No.:

A000

TREE PROTECTION LEGEND

REFER TO TREE PROTECTION & INVENTORY PLAN - TPP

TREE PROTECTION ZONE

TREE PROTECTION FENCE WITH ORANGE SNOW WEBS.

TREE PROTECTION FENCE WITH SOLID WOOD BOARDS.

ARCHAEOLOGICAL POTENTIAL NOTES

- DEMOLITION AND EXCAVATION OF THE EXISTING STRUCTURE SHALL BE LIMITED & REQUIRED IN ORDER TO ACCESS SUBGRADE FOUNDATIONS OR SERVICES WITHIN A PREVIOUSLY DISTURBED SETTING.
- IN THE EVENT THAT DEEPLY BURIED AND/OR PREVIOUSLY UNDOCUMENTED ARCHAEOLOGICAL REMAINS ARE ENCOUNTERED ON THE PROPERTY DURING CONSTRUCTION ACTIVITIES, CONTRACTOR SHAL CONTACT CITY'S HERITAGE DEPARTMENT IMMEDIATELY AT (416) 338-1095 OR AT Eric.Beales@toronto.ca.
- IN THE EVENT THAT HUMAN REMIANS ARE ENCOUNTERED DURING CONSTRUCTION, CONTRACTOR SHALL STOP ALL WORK ON SITE AND IMMEDIATELY CONTACT TORONTO POLICE SERVICES AND THE REGISTEAR/MANAGER BURIALS OF THE MINISTRY OF PUBLIC AND BUSINESS SERVICES DELIVERY AT FBCSARegistrar@ontario.ca.
- IF ANY EXPANSIONS TO THE BOUNDARIES OF THE AREA OF IMPACT ARE PROPOSED (INCLUDING FUTURE PARK DESIGN AND LANDSCAPING WORK), CONTRACTOR SHALL REACH OUT THE CITY'S HERITAGE DEPARTMENT IMMEDIATELY FOR FURTHER REVIEW AND COMMENT.

DEMOLITION LEGEND

- EXISTING HOUSE & DETACHED TWO-CAR GARAGE (INCLUDING FOOTINGS, SLABS, MOST OF FOUNDATION WALLS, FLOORS, UPPER STRUCTURES, WALLS, DOORS, WINDOWS, ROOFS, MECHANICAL & ELECTRICAL COMPONENTS, ETC.), TO BE REMOVED.
- EXISTING CONCRETE PAVER, STEPS & STAIRS, RETAINING WALLS, AND/OR PATIO (INCLUDING COMPACTED BASE), TO BE REMOVED .
- EXISTING SHED (INCLUDING FOUNDATION & FOOTING), TO BE REMOVED .
- EXISTING ASPHALT PAVED DRIVEWAY (INCLUDING FOUNDATION), TO BE REMOVED .

DEMOLITION NOTES

- PROVIDE DEWATERING SERVICE TO REMOVE FLOODING WATER OUT OF EXISTING BASEMENT, AVOID ANY OIL, GREASE, OR CHEMICAL CONTAMINATED ITEMS DURING THE WATER DISCHARGING.
- BACKFILL EXISTING BASEMENT PIT WITH NATIVE MATERIALS, RESTORE SITE GRADING & KEEP MINIMUM IMPACT TO GRADING CHANGE.
- COMPACTED NATIVE MATERIALS AFTER REMOVING ANY EXISTING CONCRETE AND/OR ASPHALT PAVING.
- PROVIDE TREE PROTECTION AS PER CITY OF TORONTO TREE PROTECTION PLAN, ERECT TREE PROTECTION FENCE BEFORE ANY DEMOLITION ACTIVITY, & REMAIN THE FENCE TILL ALL DEMOLITION COMPLETED. ALL OTHER EXISTING BUSHES, SHRUBS AND DEBRIS TO BE REMOVED AND DISPOSED.
- DURING THE DEMOLITION AND ANY OTHER WORK UNDER THIS CONTRACT, CONTRACTOR SHALL PROTECT ALL EXISTING COMPONENTS NOT LIMITED WITHIN PROPERTY LINES, SUCH AS PUBLIC WALKWAYS, LAWNS, CURBS/SIDEWALKS, ETC SURROUND THE PROPERTY. IF ANY DAMAGE CAUSED/AFFECTED BY CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL RESTORE TO ORIGINAL CONDITION.

TREE PROTECTION PLAN NOTES

- CONTRACTOR, CONSULTANT, & OWNER SHALL REVIEW AND TO DISCUSS POTENTIAL IMPACTS TO TREES LOCATED NEAR OR WHOLLY ON ADJACENT PROPERTIES OR ON SHARED BOUNDARY LINES WITH THEIR NEIGHBORS. SHOULD SUCH TREES BE INJURED TO THE POINT OF INSTABILITY OR DEATH THE APPLICANT MAY BE HELD RESPONSIBLE THROUGH CIVIL ACTION. THE APPLICANT WOULD ALSO BE REQUIRED TO REPLACE SUCH TREES TO THE SATISFACTION OF URBAN FORESTRY;
- TREE PROTECTION BARRIERS SHALL BE INSTALLED TO STANDARDS AS DETAILED IN THIS DOCUMENT AND TO THE SATISFACTION OF URBAN FORESTRY;
- TREE PROTECTION BARRIERS MUST BE INSTALLED USING PLYWOOD CLAD HOARDING (MINIMUM 19MM OR ¾" THICK) OR AN EQUIVALENT APPROVED BY URBAN FORESTRY;
- TREE PROTECTION SIGNAGE MUST BE ATTACHED TO ALL SIDES OF THE BARRIER;
- PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY SUCH AS SITE ALTERATION, DEMOLITION OR CONSTRUCTION, THE TREE PROTECTION MEASURES SPECIFIED ON THIS PLAN MUST BE INSTALLED TO THE SATISFACTION OF URBAN FORESTRY;
- ONCE ALL TREE/SITE PROTECTION MEASURES HAVE BEEN INSTALLED, URBAN FORESTRY STAFF MUST BE CONTACTED TO ARRANGE FOR AN INSPECTION OF THE SITE AND APPROVAL OF THE TREE/SITE PROTECTION REQUIREMENTS. PHOTOGRAPHS THAT CLEARLY SHOW THE INSTALLED TREE/SITE PROTECTION SHALL BE PROVIDED FOR URBAN FORESTRY REVIEW;
- WHERE CHANGES TO THE LOCATION OF THE APPROVED TPZ OR SEDIMENT CONTROL OR WHERE TEMPORARY ACCESS TO THE TPZ IS PROPOSED, URBAN FORESTRY MUST BE CONTACTED TO OBTAIN APPROVAL PRIOR TO ALTERATION;
- TREE PROTECTION BARRIERS MUST REMAIN IN PLACE AND IN GOOD CONDITION DURING DEMOLITION, CONSTRUCTION AND/OR SITE DISTURBANCE, INCLUDING LANDSCAPING, AND MUST NOT BE ALTERED, MOVED OR REMOVED UNTIL AUTHORIZED BY URBAN FORESTRY;
- NO CONSTRUCTION ACTIVITIES INCLUDING GRADE CHANGES, SURFACE TREATMENTS OR EXCAVATION OF ANY KIND ARE PERMITTED WITHIN THE AREA IDENTIFIED ON THE TREE PROTECTION PLAN OR SITE PLAN AS A MINIMUM TREE PROTECTION ZONE (TPZ). NO ROOT CUTTING IS PERMITTED. NO STORAGE OF MATERIALS OR FILL IS PERMITTED WITHIN THE TPZ. NO MOVEMENT OR STORAGE OF VEHICLES OR EQUIPMENT IS PERMITTED WITHIN THE TPZ. THE AREA(S) IDENTIFIED AS A TPZ MUST BE PROTECTED AND REMAIN UNDISTURBED AT ALL TIMES;
- ALL ADDITIONAL TREE PROTECTION OR PRESERVATION REQUIREMENTS, ABOVE AND BEYOND THE INSTALLATION OF TREE PROTECTION BARRIERS, MUST BE UNDERTAKEN OR IMPLEMENTED AS DETAILED IN THE URBAN FORESTRY APPROVED ARBORIST REPORT AND/OR THE APPROVED TREE PROTECTION PLAN AND TO THE SATISFACTION OF URBAN FORESTRY;
- IF THE MINIMUM TREE PROTECTION ZONE (TPZ) MUST BE REDUCED TO FACILITATE CONSTRUCTION ACCESS, THE TREE PROTECTION BARRIERS MUST BE MAINTAINED AT A LESSER DISTANCE AND THE EXPOSED PORTION OF TPZ MUST BE PROTECTED USING A HORIZONTAL ROOT PROTECTION METHOD APPROVED BY URBAN FORESTRY;
- ANY ROOTS OR BRANCHES INDICATED ON THIS PLAN WHICH REQUIRE PRUNING, AS APPROVED BY URBAN FORESTRY, MUST BE PRUNED BY AN ARBORIST. ALL PRUNING OF TREE ROOTS AND BRANCHES MUST BE IN ACCORDANCE WITH GOOD ARBORICULTURAL PRACTICE. ROOTS THAT HAVE RECEIVED APPROVAL FROM URBAN FORESTRY TO BE PRUNED MUST FIRST BE EXPOSED USING PNEUMATIC (AIR) EXCAVATION, BY HAND DIGGING OR BY A USING LOW PRESSURE HYDRAULIC (WATER) EXCAVATION. THE WATER PRESSURE FOR HYDRAULIC EXCAVATION MUST BE LOW ENOUGH THAT ROOT BARK IS NOT DAMAGED OR REMOVED. THIS WILL ALLOW A PROPER PRUNING CUT AND MINIMIZE TEARING OF THE ROOTS. THE ARBORIST RETAINED TO CARRY OUT CROWN OR ROOT PRUNING MUST CONTACT URBAN FORESTRY NO LESS THAN THREE WORKING DAYS PRIOR TO CONDUCTING ANY SPECIFIED WORK;
- THE APPLICANT/OWNER SHALL PROTECT ALL BY-LAW REGULATED TREES IN THE AREA OF CONSIDERATION THAT HAVE NOT BEEN APPROVED FOR REMOVAL THROUGHOUT DEVELOPMENT WORKS TO THE SATISFACTION OF URBAN FORESTRY;
- CONVICTIONS OF OFFENCES RESPECTING THE REGULATIONS IN THE STREET TREE BY-LAW AND PRIVATE TREE BY-LAW ARE SUBJECT TO FINES. A PERSON CONVICTED OF AN OFFENCE UNDER THESE BY-LAWS IS LIABLE TO A MINIMUM FINE OF \$500 AND A MAXIMUM FINE OF \$100,000 PER TREE, AND /OR A SPECIAL FINE OF \$100,000. THE LANDOWNER MAY BE ORDERED BY THE CITY TO STOP THE CONTRAVENING ACTIVITY OR ORDERED TO UNDERTAKE WORK TO CORRECT THE CONTRAVENTION;
- PRIOR TO SITE DISTURBANCE THE OWNER MUST CONFIRM THAT NO MIGRATORY BIRDS ARE MAKING USE OF THE SITE FOR NESTING. THE OWNER MUST ENSURE THAT THE WORKS ARE IN CONFORMANCE WITH THE MIGRATORY BIRD CONVENTION ACT AND THAT NO MIGRATORY BIRD NESTS WILL BE IMPACTED BY THE PROPOSED WORK.

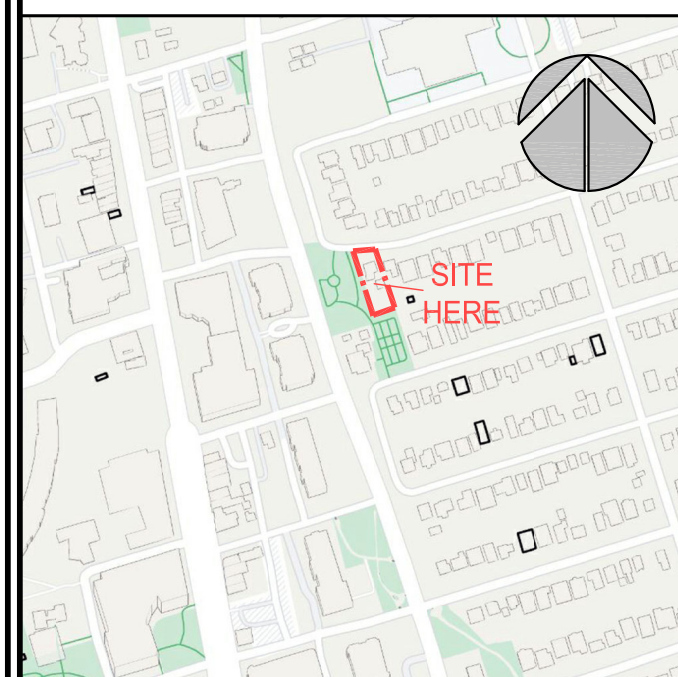
CITY STAMP

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KEY MAP - LOCATION SCALE: MTS

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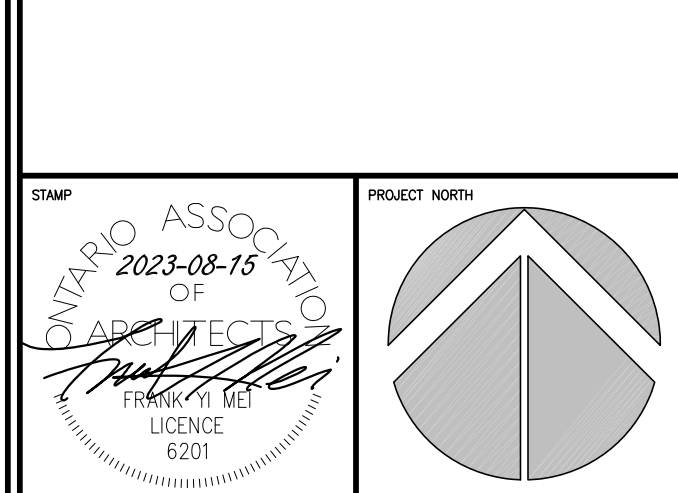
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37 NORTON AVENUE
DEMOLITION

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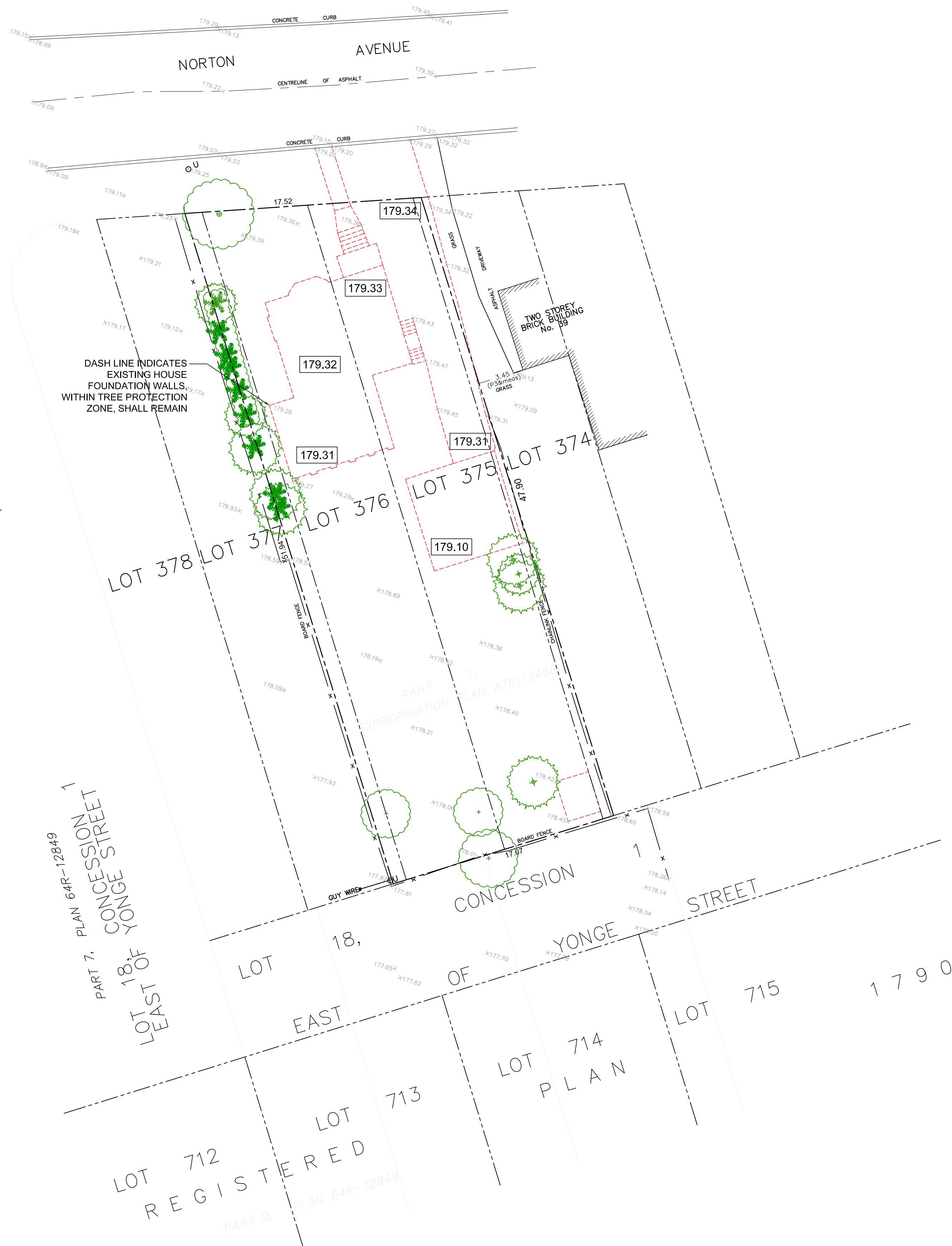
DEMOLITION SITE PLAN
TREE PROTECTION NOTES



Scale:	AS NOTED	Date:	APR 24, 2023
Drawn By:	CT	Checked By:	FM
Project No.:	23007	Revision:	00

Sheet No.:

A100



179.31	DENOTES OF PROPOSED ELEVATION
179.34	DENOTES OF EXISTING ELEVATION

1. AFTER DEMOLISHING & BACKFILLING, PROVIDE RE-GRADING & KEEP MINIMUM IMPACT TO CHANGE THE EXISTING GRADING.
2. TO PROTECT EXISTING TREE ROOTS, DO NOT USE HEAVY MACHINERY EQUIPMENT FOR RE-GRADING & RE-SODDING AT AREA WHERE BEYOND THE PROPOSED TREE PROTECTION ZONE INDICATED IN TREE PROTECT PLANS.
3. SUB-GRADE SHALL BE PREPARED TO A PROCTOR DENSITY BETWEEN 80% AND 85%.
4. DEBRIS, ROOTS, BRANCHES, VISIBLE AND NOXIOUS WEEDS, STONES, BUILDING MATERIALS AND OTHER OBJECTIONABLE MATERIAL THAT MAY INTERFERE WITH PROPER GROWTH AND DEVELOPMENT OF THE PLANNED FINISHED LANDSCAPING SHALL BE REMOVED.
5. ALL SUB-GRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 150MM AND PLACED TO ACHIEVE STABILITY. GRADIENTS SHALL BE WITHIN THE RANGE OF 2% (MIN.) TO 3:1 (MAX.)
6. FINISHED GRADE SURFACE SHALL BE SMOOTH AND UNIFORM, AND BE FIRM AGAINST DEEP FOOTPRINTING WITH A FINE LOOSE SURFACE TEXTURE.
7. CONTRACTOR SHALL ENSURE FINAL GRADING ALONG PROPERTY LINES MATCH WITH THE SURROUND GRADING BESIDE THIS PROPERTY.

1 GRADING PLAN
A200 SCALE = 1 : 200

A200

NAME: D:\MEI ASSO\Projects\23007-37 Norton Ave Demo\09_SHEETS\37_A000_NOTES_A100_DEMO_A200_GRADE_A300_SOD.dwg

LEGEND

AREA OF TOPSOIL AND SOD INSTALLATION.

NOTES

1. CONTRACTOR SHALL COORDINATE WITH THE CITY FOR ADJACENT PARK GRADING PLAN.

2. AS ALTERNATIVE OPTION OF SODDING, CONTRACTOR COULD OFFER AN OPTIONAL PRICE IN BID FORM BY PROVIDING A SEEDING PROCEDURE. THE ALTERNATIVE SHALL BE REVIEWED AND APPROVED BY THE CITY PROJECT MANAGER PRIOR TO DEMOLITION.

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SHEET TITLE

TOPSOIL & SOD PLAN

STAMP

ONARIO ASSOCIATION
OF
ARCHITECTS
FRANK M. MEI
LICENCE
6201

2023-08-15

PROJECT NORTH

Scale: AS NOTED

Date: APR 24, 2023

Drawn By: CT

Checked By: FM

Project No.: 23007

Revision: 00

Sheet No.: A300



AVENUE
DORIS
(DEDICATED BY REGISTERED PLAN BA-540)
(CONFIRMED BY PLAN BA-540)

1
PART 7, PLAN 64R-12849
CONCESSION STREET
LOT 18, OF
EAST OF YONGE

LOT 712
REGISTERED
PART 9, PLAN 64R-12849

LOT 18, EAST OF YONGE STREET
LOT 714 PLAN
LOT 715
1 7 9 0