



Wednesday, August 23, 2023

MARKET BUILDING INTERIOR RENOVATIONS

CONTRACT NO. 11220

Addendum No. 2

The following addendum is to be read in conjunction with and form an integral part of the tender and contract documents. Acknowledgement of receiving the addendum will be made online in the appropriate area.

It is the responsibility of the Prime Contractor to ensure all parties submitting bids are aware of this addendum and its contents.

Clarifications

Bid Close is extended to 2:00:00pm, Wednesday September 6, 2023 Revise Section 00100 Instructions to Bidders 1 Invitation to Bid 1 Tender Call para 3 to read “....*Electronic Proposal only, before 2:00:00pm, local time, on September 6, 2023.*”

See attached Room Finish Schedule Section 01013.

Refer to the attached Specification Section 04260 Adhered Masonry Veneer.

Refer to the attached Hardware Groups Schedule to be included in Specification Section 08710 Finish Hardware.

Section 09660 – Resilient Tile Flooring – the following are acceptable products:

- Luxury Vinyl Tile – Polyflor Expona Commercial Wood PUR
- Base – Roppe Pinnacle Rubber Base
- Rubber Stair Treads – American Biltrite Marathon Stair Treads

QUESTION 1

The elevator machine room appears to be enclosed with a block wall. Is this going to be installed directly over the slab or will the slab need to be thickened/ a footing installed for the wall?

ANSWER 1

Existing concrete slab on grade to be sawcut and new 8"x20" 20MPa poured concrete strip footing to be installed c/w 2-15M continuous reinforcing bars. Pin new footing to existing slab c/w 10M dowels x 16" long with 6" embedment (set in epoxy) at 12" o.c.

QUESTION 2

Does the existing wall along the back side of the machine room meet the fire rating requirements for this space?

ANSWER 2

Existing west wall of elevator shaft is 3 wythe brick masonry wall and is to remain. Masonry meets required fire separation requirements.

QUESTION 3

Are we to assume that all returns around the windows are damaged and in need of repair?

ANSWER 3

Yes.

QUESTION 4

Please provide more detail on the wood feature wall. Specifically around the existing door.

ANSWER 4

Wood feature wall is carried as part of cash allowance. Details on door framing will be determined at time with wall fabricator.

QUESTION 5

Provide additional details on the stair refinishing.

ANSWER 5

Stair treads are to be sanded and re stained to match existing finish with new clear urethane top coat.

QUESTION 6

Can you confirm the extent of the stone veneer on the elevator shaft? The ID drawings indicate paint on two side on the main floor and nothing is shown on the second floor plan. The renderings suggest it is stone veneer over the entire block wall.

ANSWER 6

Veneer Wraps the entire shaft up stairs and down the stair wall and the entrance on the main floor elevator wall has veneer. Stone veneer material was specified in Addendum No. 1.

QUESTION 7

Provide details on the angles shown at the top of the elevator shaft. Several are not sized

ANSWER 7

For bidding assume clip size of 8"x8" x 18ga. x 24" long for items not sized. Clips are to span across two rafters.

QUESTION 8

Structural drawings refer to the floors slabs as hollow core, and other plans refer to it as SOG and Wood Frame Construction please clarify this. "SAW CUT EXISTING HOLLOW CORE SLABS AFTER BLK INSTALLATIONS. PROVIDE CLEAN FACE TO SUIT ELEVATOR SHAFT REQ"

ANSWER 8

Existing second floor framing per drawings is wood joists not concrete.

QUESTION 9

Can you provide details on the construction of the existing wall behind the new elevator shaft. Is there a footing under this wall? Will underpinning be required etc?

ANSWER 9

Assume existing masonry wall adjacent to new elevator slab will not require underpinning.

QUESTION 10

The Trades are requesting an extension on the closing. Can you provide 1 week + a day extension?

ANSWER 10

Bid closing is extended to **2:00:00PM WEDNESDAY SEPTEMBER 6, 2023.**

QUESTION 11

Please provide details on the interior window frame material/construction.

ANSWER 11

Hollow metal frames to be wraparound type for wall type noted in schedule.

QUESTION 12

Provide photos of the electrical room that was not accessible during the site visit.

ANSWER 12

See attached photos of the electrical room. No work is to be completed in this space under the contract.

QUESTION 13

Please provide details of existing electrical panel.

ANSWER 13

See answer 20.

QUESTION 14

Are the existing textured walls being left as is or will the texture need to be removed and made smooth? And if so indicate how you want them finished and the extent of the textured walls.

ANSWER 14

Existing textured wall finish to remain. All interior painted surfaces are to be repainted.

QUESTION 15

There is a mechanical louvre shown in the corridor (113) venting to the outside, is this being installed in the transom window above the door? Please provide additional details.

ANSWER 15

Venting is to be through the roof and terminate with goose neck vent.

QUESTION 16

Appendix A is missing the following drawings which are included in the drawing set. A7.1, A7.2 & A7.3.

ANSWER 16

Amend Tender Form 00300 Appendix A to include drawings A7.1, A7.2 and A.7.3.

QUESTION 17

Appendix A indicates the following drawings but are not indicated on the drawing set or have drawings available (A3.4 & A3.5).

ANSWER 17

Delete reference to drawings A3.4 and A3.5 in Tender Form 00300 Appendix A

QUESTION 18

Location of pad ftg F07 ?

ANSWER 18

Delete reference to pad footing F07.

QUESTION 19

What scopes should be included as an alternative price.

ANSWER 19

The Alternative Price form is provided for contractors to be able to provide alternative pricing to specified items provided they follow the procedures noted in that section.

QUESTION 20

Which of the following items from division 01500 Construction Facilities, apply to this project for the general contractor to provide on site and include price in the bid?

ANSWER 20

Contractor is to provide required measures to make the project site safe.

Contractor to provide temporary washrooms, construction compound to be on north side of building on Market Street and fenced with 1.8m high temporary fencing. Parking to be provided on Market Street.

Contractor may use interior space for contractor office provided it doesn't hinder construction work.

Contractor may use existing services during construction but is responsible for full cleaning of heating system including furnaces, HVAC units and ductwork prior to Owner Take-over.

QUESTION 21

As per drawing A1.2 NOTE 8 - TEMPORARILY REMOVE EXISTING WINDOW SHADES PRIOR TO CONSTRUCTION. REINSTALL UPON COMPLETION. Please clarify if the window shades are to be removed & reinstalled as a roller shade specification has been provided in Section 12500.

ANSWER 21

Contractor to remove and salvage existing roller shades for re-installation under contract. Delete specification section 12500 Manual Roller Shades.

QUESTION 22

In Notes to Tenderers the bid documents state that the site visit was mandatory. Can you please confirm whether that is the case?

ANSWER 22

Bid Meeting was not mandatory per Specification Section 00100 – 6 Site Examination item 1, on page 9 of 11.

QUESTION 23

I have gone through the specs, I do not see the colour the architect selected for the plastic laminate on the cabinetry section. Are there specific specs for the cabinet/ countertop finished that I am missing?

ANSWER 23

For pricing, millwork case work to be finished in Melamine Daybreak by Tafisa. Plastic laminate countertops to be Arctic Snow by Arborite. See attached Updated 01013 Room Finish Schedule.

QUESTION 24

Are Lambton Doors Series 5-8500 acceptable wood door for this project.

ANSWER 24

Lambton doors series 5-8500 are acceptable for this project. All wood doors are to be stain grade.

QUESTION 25

Can you confirm the type of walls that are required to be removed?

ANSWER 25

Gypsum on metal studs & glass block wall.

QUESTION 26

Can you provide flooring type to all rooms that are required to be removed?

ANSWER 26

Carpet, ceramic tile, LVT,

QUESTION 27

What is the slab thickness that requires slab cutting?

ANSWER 27

Assume a concrete slab thickness of 4" (100mm). Underslab granular material is noted to be 8" compacted granular 'A' base.

QUESTION 28

What are the dimensions of block glass wall to be removed?

ANSWER 28

8"x8" glass squares roughly 4'x7'-4".

QUESTION 29

What are the dimensions of the high windows to be removed?

ANSWER 29

Roughly 8'-6" by 2'-6"

QUESTION 30

Please indicate exactly what areas of drywall ceiling is being replaced in the open room 117.

ANSWER 30

Refer to drawing A4.2 the section 2 and 3 show the areas of the ceiling on the north side of the building that is being replaced to match the south side ceiling.

QUESTION 31

As per the elevation drawings, between gridline 6 & 7 it looks like the corridor wall is to extend to the underside of the deck. Please clarify if this is the intention for fire separation.

This wall looks like it is P109. Please confirm how we're to rate this wall, as the assembly is tile backer on one side and drywall on the other. This wall would have to be boarded from ground to the deck and taped for the separation. Therefore, is the intent to have drywall all the way up and tile backer on the drywall itself to the height that it's required?

ANSWER 31

Wall is not a fire separation. New wall is to extend to match existing bulkhead height.

QUESTION 32

All non fixed furnishing and chattels to be removed prior to construction. We're assuming the owner will have the area cleared out. Please confirm.

ANSWER 32

Owner will remove all materials that they want to salvage from the building or coordinate with successful proponent.

QUESTION 33

Can you provide the name of the installer for the current sprinkler system or company currently maintaining it?

ANSWER 33

Taplay Fire Protection Inc. 519 421 3111 is currently maintaining the existing sprinkler system.

QUESTION 34

Please confirm if the wood floor that is required for removal is LVT.

ANSWER 34

New LVT flooring is wood grain finish.

QUESTION 35

Please confirm the location of the millwork in drawing 2/4.3 in the floor plan.

ANSWER 35

Millwork is located in Open Room 117 and Kitchenette 118 per drawing A2.1, A4.2 and A4.3.

QUESTION 36

Can Contemporary from TIER® Natural Stone be accepted as an alternate veneer stone product?

ANSWER 36

Yes this can be an acceptable alternative.

QUESTION 37

Is all the chair rail and baseboard trim is to be removed?

ANSWER 37

Yes, chair rail and wall base to be removed. Wall base is being replaced. Repair walls and prep to receive paint finish where chair rail is removed.

QUESTION 38

The structural steel spec calls for angles to be installed at mechanical and electrical openings. Is this required for the two openings in the wood joist floor?

ANSWER 38

Wood framed openings through floor to be per detail 7/S2.3.

QUESTION 39

There are cameras shown on the electrical plans, can you provide specifications on what you want here?

ANSWER 39

Cameras are to be supplied and installed by Owner. Raceways are under this contract.

QUESTION 40

Based on the Section 14210 under regulatory requirements, item number 1 says that the elevator shall conform to CAN /CSA B355.94 Lifts for person with physical disabilities. LULA is regulated by the B44-19. Please clarify.

Based on the Section 14210 under regulatory requirements, item number 2 says Code classifications: Type C. LULA is not a type C and type C is a class in the B355 code. Please clarify.

Based on the Section 14210 under Products General, item number 4 says that the maximum floor shall be 21.5 sq ft. The maximum square ft for a LULA (by code) is 18. Please clarify.

Based on the Section 14210 under Products Landing Entrances, doors are to be manual swing type. LULA doors would be 2 speed sliding and not swing type. Please clarify.

ANSWER 41

See attached revised LULA Hole-Less Hydraulic Elevator Specification Section 14210

Craig Wallace
Manager of Building & Facilities/CBO
CW/cw

END OF ADDENDUM

Tender Form
Section 00300

22-05-0014

Market Building Interior Renovations

City of Woodstock

Project Date: August, 4, 2023

Pow Peterman, Consulting Engineers (reproduction without the author's written permission is prohibited)

REVISED ISSUED: AUGUST 22, 2023

Project Location 21 Market Street E., Woodstock, Ontario, N4S 1C4

Submitted to City of Woodstock Bidding System at <http://cityofwoodstock.bidsandtenders.ca>

Owner City of Woodstock
500 Dundas Street, Woodstock, Ontario, N4S 1C4

We,

Company Name

of,

Business Address

Having examined the documents dated as listed in Appendix "A" to this tender issued by Pow Peterman,

AND

Having examined the addenda issued for this tender by Pow Peterman, Consulting Engineers

List total number of addenda received

AND

Having visited the project site, hereby offer to enter into a contract to perform the work required by the tender documents for the stipulated price of:

Written Submitted Price in Canadian Dollars

This value shall include all specified cash and contingency allowances and applicable taxes in force at this date except as may be otherwise provided in the tender document.

CONTRACT PRICE (excluding H.S.T.)

Value of H.S.T.

TOTAL VALUE OF CONTRACT (as written above)

Tender Form
Section 00300

22-05-0014

Market Building Interior Renovations

City of Woodstock

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DECLARATIONS

We hereby declare that:

(a) We have reviewed the deadlines required by this project and agree to substantially complete the work by March 24 2024. In addition we offer to complete the work in a shorter period of time as indicated below.

☐

Unless otherwise indicated here, construction will commence within 5 working days after the award of contract

☐

weeks after award of contract that construction will be substantially complete. (Insert a number here ONLY if there is an offer to complete the work sooner than required).

(b) No person, firm or corporation other than the undersigned has any interest in this tender or in the proposed contract for which this tender is made.

(c) The information submitted on all Appendices to this Tender: Sub-trades, Unit Prices, Alternative Prices and Separate Prices form an integral part of this tender.

(d) This tender is open to acceptance for period of Sixty (60) Days from the date of tender closing.

SIGNATURES:

Signed, sealed and submitted for on behalf of:

Name of Company

Street Address or Postal Box

City, Province & Postal Code

Telephone

Fax

Email

Signature:

Name & Title:

Dated: Month/Day/Year

Apply Seal above

22-05-0014

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City of Woodstock

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APPENDIX "A" TO TENDER

LIST OF TENDER DOCUMENTS

The following is the list or description of the tender documents referred to in the tender for the project.

1 Standard Construction Document CCDC 2

2 Specifications Dated

August 4, 2023

3 Drawings: Dated

August 4, 2023

Architectural:

A1.1 to A1.5 inclusive;
A2.1 to A2.6 inclusive;
A3.1 to A3.3 inclusive;
A4.1 to A4.4 inclusive;
A5.1 only;
A6.1 to A6.2 inclusive;
A7.1 to A7.3 inclusive.

Structural

S0.0 only;
S2.0 to S2.3 inclusive.

Mechanical:

M1.1 to M1.2 inclusive;
M2.1 to M2.2 inclusive;
M3.1 to M3.3 inclusive;
M4.1 only.

Electrical:

E0.1 to E0.2 inclusive;
E1.1 only; E2.1 only;
E3.1 only;
E4.1 to E4.4 inclusive.

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APPENDIX "B" TO TENDER

LIST OF PROPOSED SUBCONTRACTORS

- 1 The submission of this appendix is required as necessary information attached to the bid. It is intended to propose subtrades qualified to complete the work. The appendix must include subcontractors that are specifically listed in this document or where manufacturer approved subtrades are required. Nothing in these documents is intended to bind the bidder/contractor to use of any specific company unless specifically stated in these documents.
- 2 Substitution of subcontractors is permitted but only with the Owner's knowledge and approval. Substitutions must meet all qualifications of these documents. Agreement to a substitution is done without change to the tender or contract price.
- 3 The owner reserves the right to be informed of any changes and the right of refusal under the requirement of Section 00100 of this document. No compensation will be permitted for exchange of unqualified listed Subcontractors either found at time of tender or discovered during the execution of the work.
- 4 The work of this project must be completed by qualified Subcontractors (a submission may be rejected if it is determined that it indicates more than one Subcontractor in each category, a non qualified Subcontractor or lists own forces which are not qualified for the work proposed).
- 5 The following are the subcontractors we propose to use for the Divisions or Sections of work listed hereunder.

Demolition

Concrete Work

Masonry

Structural Steel

Miscellaneous Metal

Rough Carpentry

Finished Carpentry

Sealant & Caulking

Wood Doors

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Glass & Glazing

Metal Studs & Drywall

Acoustic Ceiling

Tile Work

Resilient Tile Flooring

Painting and Finishing

Washroom Accessories

Toilet Partitions

Elevator

Mechanical

Control Systems

Electrical

Tender Form
Section 00300

22-05-0014

Market Building Interior Renovations

City of Woodstock

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REVISED ISSUED: AUGUST 22, 2023

APPENDIX "C" TO TENDER

LIST OF UNIT PRICES

The following are our Unit Prices of work listed hereunder. The Unit Price listed applies only to perform the Units of the work during the time schedule for such work in the project schedule. The Unit Price shall include all overhead and profits and shall be net to the Owner for work in place. Please note that these prices are to exclude H.S.T.

UNIT PRICE

DESCRIPTION

ADDITION (\$)

DELETION (\$)

HOURLY RATES FOR CHANGE DIRECTIVES

Indicate the following hourly rates. Please note that this amount should include wages and benefits for work related to Change Directives or approved Delays of Project. All stipulated overhead and profit percentages are not to be included in this amount but will be covered in Supplementary General Conditions Section 00800.

- 1 On-site Superintendent's Hourly Charge

\$

- 2 Qualified Tradesmen under the Direct Employ of the Contractor

\$

- 3 Labourer

\$

Tender Form
Section 00300

22-05-0014

Market Building Interior Renovations

City of Woodstock

Project Date: August, 4, 2023

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REVISED ISSUED: AUGUST 22, 2023

APPENDIX "D" TO TENDER

ALTERNATIVE PRICES

- 1 The following are our prices for the alternative work listed hereunder. The prices shall include all overhead and profits and shall be net cost of the Owner for the work in place. Please note that these prices are to exclude H.S.T.
- 2 The Owner reserves the right to accept or reject any alternate prices up to Sixty (60) days from tender closing, regardless of the date the contract may be signed.
- 3 Alternative prices are listed here at the discretion of the bidder. However all submitted prices are binding.
- 4 These prices are offered under the conditions of Section 01100 - Alternatives and Substitution Procedures

	DESCRIPTION	ADDITION (\$)	DELETION (\$)
1			
2			
3			
4			
5			
6			

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APPENDIX "G" TO TENDER

NOT PART OF THE TENDER DOCUMENTS

SUBMISSION CHECKLIST

- 1 This appendix contains a list of tender items quite often overlooked in tender submissions. It is not intended to be a complete list nor does it form any part of the contract documents. Bidders are not required to complete or submit this Appendix

☐

Tender Documents - all required sections of the documents have been completed including Appendices B, C, E and as request Appendix F

☐

Subcontractors - all listed subcontractors meeting the conditions of the contract documents. Bidders can use 'own forces' only if they meet the requirements listed

☐

Materials - all listed subcontractors have confirmed to the bidder that it is their intent to use the specified materials and procedures

☐

Bonding - as stipulated in the documents

☐

Addendum - The content of all addenda has been reviewed and accounted for in the submission

☐

Allowances - All allowances including the Contingency Allowance have been included in the submission

22-05-0014

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Requirements of Division 0, 1 and all contract drawings shall apply to all sections of this document. These sections have been created in order to organize the contract documents. It can not be assumed in any way that they limit the responsibility of the contractor, any Subcontractor or supplier to complete the full scope of the work indicated in the contract documents as a whole.

The contractor and subcontractors are responsible for providing the materials, equipment and procedures as specified within these documents, including the specification, drawings or addenda. It is the responsibility of this contract to provide all materials available on the date the contract was signed. Products no longer available or discontinued before the contract date will be subject to revision by a Change Order. Products discontinued or no longer available subsequent to the contract date shall be substituted with the Consultant's approval by the Contractor for products of similar or superior quality at no additional cost.

The intent of this section is to indicate basic or default finishes to areas being architecturally modified. It must be read in conjunction with all drawings and other contract documents that may indicate different finish treatments in specific areas of rooms or to the exterior. Existing rooms affected only by cutting and patching of Mechanical or Electrical trades are not listed in this section and shall be repaired to match existing finishes.

E1	LULA Hole-Less Hydraulic Elevator		
	Floor	Luxury Vinyl Tile: Gerflor Creation 70 2.5mm (0.10") thick, 184mm x 1219mm (7.25" x 48")	#0545 Serena
	Base	Rubber Cove Base: Johnsonite Rubber 102mm (4") high as indicated	#63 Burnt Umber
E2	Machine Room		
	Floor	Sealed Concrete:	Grey
	Base	Rubber Cove Base: Johnsonite Rubber 102mm (4") high as indicated	#63 Burnt Umber
	Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	White
100	Vestibule		
	Floor	Ceramic Tile Floor - Type 1: Centura Purestone 300mm x 600mm x (12" x 24")	#PIE03776 Grigio Matte
	Base	Base to match Floor - Type 1: Centura Purestone 150mm (6")	#PIE03776 Grigio Matte
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	White
	Doors	Strip and Refinish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Doors (2)	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
101	Elevator Lobby		
	Floor	Ceramic Tile Floor - Type 1: Centura Purestone 300mm x 600mm x (12" x 24")	#PIE03776 Grigio Matte
	Base	Base to match Floor - Type 1: Centura Purestone 150mm (6")	#PIE03776 Grigio Matte
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	White
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect

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102	Lobby		
	Floor	Luxury Vinyl Tile: Gerflor Creation 70 2.5mm (0.10") thick, 184mm x 1219mm (7.25" x 48")	#0545 Serena
	Floor (2)	Carpet - Type 1 (Tile): Centura KOOL 20 oz. (500mm x 500mm) 19.68" x 19.68"	15408 Houle
	Base	Rubber Cove Base: Johnsonite Rubber 102mm (4") high as indicated	#63 Burnt Umber
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Walls (2)	RealStone: Adhered Thin Veneer Stone Wall Panel - Shadowstone Linear Smooth	Berkshire Buff
	Ceiling	Acoustical Panels Type 2: Armstrong Type 3150PB, Optima PB, Square Lay-In	White
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
	Comments	Manual Roller Shades	
103	Office		
	Floor	Carpet - Type 1 (Tile): Centura KOOL 20 oz. (500mm x 500mm) 19.68" x 19.68"	15408 Houle
	Base	Rubber Cove Base: Johnsonite Rubber 102mm (4") high as indicated	#63 Burnt Umber
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Ceiling	Acoustical Panels Type 2: Armstrong Type 3150PB, Optima PB, Square Lay-In	White
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
	Comments	Manual Roller Shades	
104	Media Room		
	Floor	Luxury Vinyl Tile: Gerflor Creation 70 2.5mm (0.10") thick, 184mm x 1219mm (7.25" x 48")	#0545 Serena
	Base	Rubber Cove Base: Johnsonite Rubber 102mm (4") high as indicated	#63 Burnt Umber
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Ceiling	Acoustical Panels Type 2: Armstrong Type 3150PB, Optima PB, Square Lay-In	White
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect

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105	Office Floor	Carpet - Type 1 (Tile): Centura KOOL 20 oz. (500mm x 500mm) 19.68" x 19.68"	15408 Houle
	Base	Rubber Cove Base: Johnsonite Rubber 102mm (4") high as indicated	#63 Burnt Umber
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Ceiling	Acoustical Panels Type 2: Armstrong Type 3150PB, Optima PB, Square Lay-In	White
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
	Comments	Manual Roller Shades	
106	Closet Floor	Luxury Vinyl Tile: Gerflor Creation 70 2.5mm (0.10") thick, 184mm x 1219mm (7.25" x 48")	#0545 Serena
	Base	Rubber Cove Base: Johnsonite Rubber 102mm (4") high as indicated	#63 Burnt Umber
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Ceiling	Acoustical Panels Type 2: Armstrong Type 3150PB, Optima PB, Square Lay-In	White
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
107	Existing Storage Floor	Existing to Remain:	
	Base	Existing to Remain:	
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	White
	Doors	Paint Eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Frames	Paint Eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
108	Office Floor	Carpet - Type 1 (Tile): Centura KOOL 20 oz. (500mm x 500mm) 19.68" x 19.68"	15408 Houle
	Base	Rubber Cove Base: Johnsonite Rubber 102mm (4") high as indicated	#63 Burnt Umber
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Ceiling	Acoustical Panels Type 2: Armstrong Type 3150PB, Optima PB, Square Lay-In	White
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
	Comments	Manual Roller Shades	

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109	Office Floor	Carpet - Type 1 (Tile): Centura KOOL 20 oz. (500mm x 500mm) 19.68" x 19.68"	15408 Houle
	Base	Rubber Cove Base: Johnsonite Rubber 102mm (4") high as indicated	#63 Burnt Umber
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Ceiling	Acoustical Panels Type 2: Armstrong Type 3150PB, Optima PB, Square Lay-In	White
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
	Comments	Manual Roller Shades	
110	Office Floor	Carpet - Type 1 (Tile): Centura KOOL 20 oz. (500mm x 500mm) 19.68" x 19.68"	15408 Houle
	Base	Rubber Cove Base: Johnsonite Rubber 102mm (4") high as indicated	#63 Burnt Umber
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Ceiling	Acoustical Panels Type 2: Armstrong Type 3150PB, Optima PB, Square Lay-In	White
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
	Comments	Manual Roller Shades	
111	Meeting Room Floor	Carpet - Type 1 (Tile): Centura KOOL 20 oz. (500mm x 500mm) 19.68" x 19.68"	15408 Houle
	Base	Rubber Cove Base: Johnsonite Rubber 102mm (4") high as indicated	#63 Burnt Umber
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	White
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
	Comments	Manual Roller Shades	
112	Meeting Room Floor	Carpet - Type 1 (Tile): Centura KOOL 20 oz. (500mm x 500mm) 19.68" x 19.68"	15408 Houle
	Base	Rubber Cove Base: Johnsonite Rubber 102mm (4") high as indicated	#63 Burnt Umber
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	White
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
	Comments	Manual Roller Shades	

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113	Corridor		
	Floor	Ceramic Tile Floor - Type 1: Centura Purestone 300mm x 600mm x (12" x 24")	#PIE03776 Grigio Matte
	Base	Base to match Floor - Type 1: Centura Purestone 150mm (6")	#PIE03776 Grigio Matte
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	White
	Doors	Strip and Refinish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Doors (2)	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
114	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
	Women's Washroom		
	Floor	Ceramic Tile Floor - Type 1: Centura Purestone 300mm x 600mm x (12" x 24")	#PIE03776 Grigio Matte
	Base	Base to match Wall - Type 1: Centura York 300mm x 600mm (12" x 24")	#PIE03776 Grigio Matte
	Walls	Ceramic Tile - Wall: Centura York 300mm x 600mm (12" x 24")	#MNTYRK30071N Bone Matte
	Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	White
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
115	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
	Comments	Washroom Accessories	
		Wall Tile Grout:	#908 Dove Grey
		Floor Tile Grout:	#939 Mist
		P.Lam Toilet Partitions	
	Men's Washroom		
	Floor	Ceramic Tile Floor - Type 1: Centura Purestone 300mm x 600mm x (12" x 24")	#PIE03776 Grigio Matte
115	Base	Base to match Wall - Type 1: Centura York 300mm x 600mm (12" x 24")	#PIE03776 Grigio Matte
	Walls	Ceramic Tile - Wall: Centura York 300mm x 600mm (12" x 24")	#MNTYRK30071N Bone Matte
	Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	White
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
	Comments	Washroom Accessories	
		Wall Tile Grout:	#908 Dove Grey
115		Floor Tile Grout:	#939 Mist
		P.Lam Toilet Partitions	

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116	Vestibule		
	Floor	Ceramic Tile Floor - Type 1: Centura Purestone 300mm x 600mm x (12" x 24")	#PIE03776 Grigio Matte
	Base	Base to match Floor - Type 1: Centura Purestone 150mm (6")	#PIE03776 Grigio Matte
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	White
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
117	Open Room		
	Floor	Luxury Vinyl Tile: Gerflor Creation 70 2.5mm (0.10") thick, 184mm x 1219mm (7.25" x 48")	#0545 Serena
	Base	Rubber Cove Base: Johnsonite Rubber 102mm (4") high as indicated	#63 Burnt Umber
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	as selected by Architect
	Millwork	Countertops: Plastic Laminate	#P1014 Terrazzo Grande by Arborite
	Millwork (2)	Millwork: Plastic Laminate on partial board core 19mm (¾") medium density particle board.	#T764 Daybreak by Tafisa
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
118	Kitchenette		
	Floor	Ceramic Tile Floor - Type 1: Centura Purestone 300mm x 600mm x (12" x 24")	#PIE03776 Grigio Matte
	Base	Base to match Floor - Type 1: Centura Purestone 150mm (6")	#PIE03776 Grigio Matte
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Walls (2)	Ceramic Tile - Wall: Centura Lanse 50mm x 250mm (2" x 10")	#EQULA27482 Grey Matte
	Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	White
	Millwork	Countertops: Plastic Laminate	#P394 Arctic Snow by Arborite
	Millwork (2)	Millwork: Plastic Laminate on partial board core 19mm (¾") medium density particle board.	#T764 Daybreak by Tafisa
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
	Comments	Backsplash Tile Grout: Floor Tile Grout:	#949 Silverado #939 Mist

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119	Universal Washroom		
	Floor	Ceramic Tile Floor - Type 1: Centura Purestone 300mm x 600mm x (12" x 24")	#PIE03776 Grigio Matte
	Base	Base to match Wall - Type 1: Centura York 300mm x 600mm (12" x 24")	#PIE03776 Grigio Matte
	Walls	Ceramic Tile - Wall: Centura York 300mm x 600mm (12" x 24")	#MNTYRK30071N Bone Matte
	Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	White
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
	Comments	Washroom Accessories	
		Wall Tile Grout:	#908 Dove Grey
		Floor Tile Grout:	#939 Mist
120	Mop Room		
	Floor	Ceramic Tile Floor - Type 1: Centura Purestone 300mm x 600mm x (12" x 24")	#PIE03776 Grigio Matte
	Base	Base to match Floor - Type 1: Centura Purestone 150mm (6")	#PIE03776 Grigio Matte
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	White
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
ST1	Stair 1		
	Floor	Ceramic Tile Floor - Type 1: Centura Purestone 300mm x 600mm x (12" x 24")	#PIE03776 Grigio Matte
	Floor (2)	Carpet - Type 2 (Broadloom): Centura Contrax II HD Broadloom 79.25" Broadloom	60013 Blue Zircon
	Base	Base to match Floor - Type 1: Centura Purestone 150mm (6")	#PIE03776 Grigio Matte
	Base (2)	Wood natural finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Walls (2)	RealStone: Adhered Thin Veneer Stone Wall Panel - Shadowstone Linear Smooth	Berkshire Buff
	Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	White
	Casework	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
	Comments	Stainless Steel & Glass Guards & Handrail System	
		Stainless Steel Tactile Indicators	

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ST2	Stair 2		
	Floor	Luxury Vinyl Tile: Gerflor Creation 70 2.5mm (0.10") thick, 184mm x 1219mm (7.25" x 48")	#0545 Serena
	Floor (2)	Rubber Stair Tread: Johnsonite Angle Fit Rubber Stair Tread with Integrated Riser in Raised Round Finish with Solid Colour Rubber Insert for the visually impaired lengths to match or exceed full tread width and depth	colour of tread and contrast strip as selected by Architect from complete and extended colour range
	Base	Rubber Cove Base: Johnsonite Rubber 102mm (4") high as indicated	as selected by Architect
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	White
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
	Comments	Painted Handrails & Guards Stainless Steel Tactile Indicators	
200	Second Floor Lobby		
	Floor	Luxury Vinyl Tile: Gerflor Creation 70 2.5mm (0.10") thick, 184mm x 1219mm (7.25" x 48")	#0545 Serena
	Base	Rubber Cove Base: Johnsonite Rubber 102mm (4") high as indicated	#63 Burnt Umber
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Walls (2)	RealStone: Adhered Thin Veneer Stone Wall Panel - Shadowstone Linear Smooth	Berkshire Buff
	Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	White
	Millwork	Countertops: Plastic Laminate	#P394 Arctic Snow by Arborite
	Millwork (2)	Millwork: Plastic Laminate on partial board core 19mm (¾") medium density particle board.	#T764 Daybreak by Tafisa
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
201	Office		
	Floor	Carpet - Type 1 (Tile): Centura KOOL 20 oz. (500mm x 500mm) 19.68" x 19.68"	15408 Houle
	Base	Rubber Cove Base: Johnsonite Rubber 102mm (4") high as indicated	as selected by Architect
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	as selected by Architect
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
	Comments	Manual Roller Shades	

Room Finish Schedule

Section 01013

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202	Office		
	Floor	Carpet - Type 1 (Tile): Centura KOOL 20 oz. (500mm x 500mm) 19.68" x 19.68"	15408 Houle
	Base	Rubber Cove Base: Johnsonite Rubber 102mm (4") high as indicated	#63 Burnt Umber
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	White
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
	Comments	Manual Roller Shades	
203	Washroom		
	Floor	Luxury Vinyl Tile: Gerflor Creation 70 2.5mm (0.10") thick, 184mm x 1219mm (7.25" x 48")	#0545 Serena
	Base	Rubber Cove Base: Johnsonite Rubber 102mm (4") high as indicated	#63 Burnt Umber
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	White
	Millwork	Countertops: Plastic Laminate	#P394 Arctic Snow by Arborite
	Millwork (2)	Millwork: Plastic Laminate on partial board core 19mm (¾") medium density particle board.	#T764 Daybreak by Tafisa
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
204	Corridor		
	Floor	Luxury Vinyl Tile: Gerflor Creation 70 2.5mm (0.10") thick, 184mm x 1219mm (7.25" x 48")	#0545 Serena
	Base	Rubber Cove Base: Johnsonite Rubber 102mm (4") high as indicated	#63 Burnt Umber
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	White
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
	Comments	Washroom Accessories	
205	Office		
	Floor	Carpet - Type 1 (Tile): Centura KOOL 20 oz. (500mm x 500mm) 19.68" x 19.68"	15408 Houle
	Base	Rubber Cove Base: Johnsonite Rubber 102mm (4") high as indicated	#63 Burnt Umber
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	White
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
	Comments	Manual Roller Shades	

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205.1	Closet		
	Floor	Luxury Vinyl Tile: Gerflor Creation 70 2.5mm (0.10") thick, 184mm x 1219mm (7.25" x 48")	#0545 Serena
	Base	Rubber Cove Base: Johnsonite Rubber 102mm (4") high as indicated	#63 Burnt Umber
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	White
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
206	Office		
	Floor	Carpet - Type 1 (Tile): Centura KOOL 20 oz. (500mm x 500mm) 19.68" x 19.68"	15408 Houle
	Base	Rubber Cove Base: Johnsonite Rubber 102mm (4") high as indicated	#63 Burnt Umber
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	White
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
207	Comments	Manual Roller Shades	
	Meeting Room		
	Floor	Carpet - Type 1 (Tile): Centura KOOL 20 oz. (500mm x 500mm) 19.68" x 19.68"	15408 Houle
	Base	Rubber Cove Base: Johnsonite Rubber 102mm (4") high as indicated	#63 Burnt Umber
	Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
	Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	White
	Casework	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
	Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
	Comments	Manual Roller Shades	

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208**Meeting Room**

Floor	Carpet - Type 1 (Tile): Centura KOOL 20 oz. (500mm x 500mm) 19.68' x 19.68"	15408 Houle
Base	Rubber Cove Base: Johnsonite Rubber 102mm (4") high as indicated	#63 Burnt Umber
Walls	Paint eggshell: Benjamin Moore Architectural Coatings Regal Aquavelvet 319-01	as selected by Architect
Ceiling	Drywall, painted: Benjamin Moore Moorespec Interior Acrylic Latex Flat 564	White
Casework	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
Doors	Stained finish: Benjamin Moore Stays Clear Satin 423	as selected by Architect
Frames	Paint semi gloss: Benjamin Moore Moorecraft Super Spec Latex Semi-Gloss Enamel 276-01	as selected by Architect
Comments	Manual Roller Shades	

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1 GENERAL

1 RELATED REQUIREMENTS

- 1 Section 04200: Masonry
- 2 Section 06100: Rough Carpentry
- 3 Section 09250: Gypsum Board

2 GENERAL

- 1 Requirements of Division 0, 1 and all contract drawings shall apply to all sections of this document. These sections have been created in order to organize the contract documents. It can not be assumed in any way that they limit the responsibility of the contractor, any Subcontractor or supplier to complete the full scope of the work indicated in the contract documents as a whole.
- 2 The contractor and subcontractors are responsible for providing the materials, equipment and procedures as specified within these documents, including the specification, drawings or addenda. It is the responsibility of this contract to provide all materials available on the date the contract was signed. Products no longer available or discontinued before the contract date will be subject to revision by a Change Order. Products discontinued or no longer available subsequent to the contract date shall be substituted with the Consultant's approval by the Contractor for products of similar or superior quality at no additional cost.
- 3 Build in all items supplied by others which are required to be built into masonry as the Work progresses, including but not limited to door frames, anchors, bolts, sleeves, electrical outlet boxes, inserts, loose lintels, shelf angles, loose door jambs and guards, panels and any other items required to be built into masonry work.
- 4 Upon request, make available to the Architect, laboratory test reports certifying compliance of masonry units and mortar ingredients with specification requirements.

3 QUALIFICATIONS

- 1 Provide for all work to be done by individuals skilled and experienced in the trade and specializing in the type of work specified as approved by the manufacturer.

4 REFERENCE STANDARD

- 1 At the Architects request submit laboratory test reports certifying compliance of masonry units and mortar ingredients with specification requirements.

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5 SUBMITTALS

- 1 Submit samples in accordance with Section 01300.
- 2 Product Data: For each variety of stone, stone accessory, and manufactured product.
- 3 Samples:
 1. For each stone type indicated.
 2. For each colour of mortar required.

6 PRODUCT DELIVERY, STORAGE AND HANDLING

- 1 Ensure that materials are delivered to job site in dry condition.
- 2 Store under waterproof cover on pallets or plank platforms held off ground by means of plank or timber skids.
- 3 During construction cover tops of walls, projections and sills with waterproof sheeting at end of each day's work.

7 COLD WEATHER REQUIREMENTS

- 1 Do not use frozen materials or materials mixed or coated with ice or frost. Do not build on frozen substrates. Comply with cold-weather construction requirements contained in ACI 530.1/ASCE 6/TMS 602.
- 2 Cold-Weather Cleaning: Use liquid cleaning methods only when air temperature is 40 deg F (4 deg C) and above and will remain so until mortar has dried.

8 HOT WEATHER REQUIREMENTS

- 1 Comply with hot-weather construction requirements contained in ACI 530.1/ASCE 6/TMS 602.

9 WARRANTY

- 1 **Thin Adhered Veneer installed over steel or wood framing:** The Contractor warrants the work of this Section to be in accordance with the Contract Documents and free from faults and defects in materials and workmanship for a period of 15 years. The manufacturer of adhesives, liquid air and water barrier, mortars, pointing mortars and other installation materials shall provide written fifteen (15) year warranty, which covers materials and labour.

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2 PRODUCTS

1 MANUFACTURER

- 1 Basis-of-Design Products: Provide prefabricated stone panels by RealStone Systems;
www.realstonesystems.com.

2 DESCRIPTION

- 1 Prefabricated stone wall panels are factory fabricated thin (1/2 to 2 inches deep) veneer modular panels consisting of a number of reclaimed and recycled natural stone units adhered together to allow installation as small panels. Panels are fabricated in a modular shape to allow covering a large surface area in less time than individually set stones.

3 STONE VARIETIES

- 1 **Granite:** Comply with ASTM C 615.
- 2 **Limestone:** Comply with ASTM C 568, Oolitic.
- 3 **Marble:** Comply with ASTM C 503, Classification II Dolomite, Group A.
- 4 **Quartz-Based Stone:** Comply with ASTM C 616, Classification I for Sandstone, Classification II for Quartzitic Sandstone and Classification III for Quartzite.
- 5 **Slate:** Comply with ASTM C 629, Classification II Interior, with a fine, even grain and unfading colour, from clear, sound stock.

4 WALL PANELS

- 1 **Wall Panel Stone Pattern:** Shadowstone
- 2 **Wall Panel Stone Colour:** Berkshire Buff
- 3 **Finish:** Shadowstone: Linear Smooth
- 4 **Individual Panel Size:** 24 inches (610 mm) long by 6 inches (152 mm) high.
 1. Provide matching factory fabricated fingered corner units 24 inches (610 mm) long by 12 inches (305 mm) high.
 2. Provide matching factory fabricated end units 24 inches (610 mm) long by 6 inches (152 mm) high finished on both ends.

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- 5 **Panel Thickness:** Varies randomly from 1/2 inch (13 mm) to 1-1/2 inches (38 mm).
- 6 Fabricate panels using multiple pieces of stone to same overall rectangular size. Utilize individual stone pieces of heights and lengths and thicknesses to achieve desired aesthetic effect.
 1. Adhere individual stones together.
 2. Adhere to plastic backing mat of 0.06 to 0.08 inch (1.5 to 2 mm) thickness.

5 CEMENT BOARD

- 1 **Backer Board:** Cementitious, water durable board; surfaced with reinforcing mesh on front and back; long edges wrapped; and complying with ANSI A118.9 ASTM C 1325 (PermaBase Brand Cement Board); 1/2" x 4 ft. x 8ft.
- 2 **Fasteners:**
 1. **For 22 ga. or lighter framing:** Screws Hi-Lo thread screws (No. 8) wafer head, corrosion-resistant in length to suit and complying with ASTM C 1002.
 2. **For 20 ga. or heavier framing:** Drill point screws (No. 8) wafer head, corrosion-resistant in length to suit and complying with ASTM C 1002.
- 3 **Joint Treatment: Tape:** Alkali-resistant fibreglass mesh tape intended for use with cement board.
- 4 **Bonding Materials: Mortar:** Latex-portland cement mortar in accordance with ANSI A118.4.

6 ADHERED MASONRY VENEER INSTALLATION MATERIALS & ACCESSORIES

- 1 **Cementitious backer board units:** size, thickness and installation as specified by cement board backer manufacturer, complying with ANSI A 118.9.
- 2 **Latex Portland Cement Mortar:** MVIS Veneer Mortar to ASTM C270 and ASTM C482.
- 3 **Latex Portland Cement Pointing Mortar/Grout:** MVIS Premium Pointing Mortar to ASTM C91 and ASTM E84.

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3 EXECUTION

1 GENERAL

- 1 Verify conditions are ready to receive work.
- 2 Inspect materials to fit and finish prior to installation. Do not set unacceptable units.
- 3 Beginning of installation means acceptance of existing conditions.

2 CUTTING MASONRY UNITS

- 1 Cut masonry units with set saw.
- 2 Presoak units using clean water prior to cutting.
- 3 Clean cut units using a stiff fibre brush and clean water. Allow units to surface dry prior to placement.
- 4 Finish cut edges to match face when exposed in wall.

3 COURSING

- 1 Remove chipped, cracked and otherwise damaged units in exposed masonry and replace with undamaged units.
- 2 Place masonry to lines and levels indicated.
- 3 Maintain masonry courses to uniform width. Make vertical and horizontal joints equal and of uniform thickness.

4 QUALITY CONTROL

- 1 Engineer will inspect installed masonry and reject masonry that is chipped, cracked, or blemished (streaked, stained or otherwise damaged) as described below.
 1. Masonry will be inspected to be free of cracks or other blemishes on the finished face or front edges of the masonry units exceeding 3/8" or that can be seen from a distance of 10 feet.
 2. Units shall exhibit a texture approximately equal to the approved sample when viewed under diffused daylight illumination at a 20-foot distance.

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3. Minor chipping resulting from shipment and delivery shall not be grounds for rejection. Minor chips shall not be obvious under diffused daylight illumination from a 20-foot distance.

4. Make good rejected masonry as directed by Engineer.

5 ADJUSTING AND CLEANING

- 1 Repair chips on smooth finished units with patch kits furnished by manufacturer.
- 2 Clean masonry units as recommended by manufacturer.

6 PROTECTION

- 1 Protect units from damage resulting from subsequent construction operations.
- 2 Use protection materials and methods which will not stain or damage units.
- 3 Remove protection materials upon Substantial Completion, or when risk of damage is no

7 SUBSTRATE EXAMINATION

- 1 Verify conditions are ready to receive work.
- 2 Inspect finish materials for fit and finish prior to installation. Do not set unacceptable units.
- 3 Verify that surfaces to be covered with adhered masonry veneer, brick, stone are: Sound, rigid and conform to good design/engineering practices; i.e. level, clean, free of dust dirt, oil, grease, sealers, etc.

8 SURFACE PREPARATION

- 1 Install cement backer units in accordance with cement backer unit manufacturer's installation instructions and ANSI A118.11.

9 INSTALLATION - ADHERED MASONRY VENEER

- 1 Install in accordance with ANSI A108 and TCNA. Cut and fill adhered masonry veneer neatly around corners, fittings and obstructions. Perimeter pieces to be minimum half unit, brick or stone. Chipped, cracked split pieces and edges are not acceptable. Make joints even, straight, plumb and of uniform width to tolerance $\pm 1/16"$ over 8' (1.5mm in 2.4m). Install divider strips at junction of flooring and dissimilar materials.

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- 2 **Direct Adhered Method:** Install latex portland cement mortar in compliance with current revisions of ANSI A108.02 (3.11) A108.1B and ANSI A108.5. Use the appropriate trowel notch size to ensure proper bedding of the adhered masonry veneer, selected so that 100% coverage of the back surface of the Thin Adhered Veneer is achieved. Work the latex portland cement mortar over the substrate. Beat each piece/unit into the latex portland cement mortar with a beating block or rubber mallet to insure 100% full bedding and flatness. Allow installation to set until firm. Clean excess latex portland cement mortar from adhered masonry veneer face and joints between pieces.

10 PROTECTION AND CLEANING

- 1 Protect finished installation. Close areas to other trades and traffic until adhered masonry veneer being installed and set firmly.
- 2 Extend period for protection of veneer work at lower temperatures, below 60°F (15°C), and at high relative humidity (>70%R.H.) due to retarded set times of mortars/adhesives.
- 3 Replace or restore work of other trades damaged or soiled by work under this section.
- 4 Clean excess mortar/epoxy from veneer surfaces with water before they harden and as work progresses.
- 5 Do not contaminate open mortar/caulk joints when cleaning. Sponge wash veneers diagonally across joints. Do not use acids for cleaning.
- 6 Polish with clean dry cloth.

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1 GENERAL

1 RELATED REQUIREMENTS

- 1 Section 03300: Building of Poured Concrete Hoistway
- 2 Section 04200: Masonry
- 3 Section 05500: Miscellaneous Metal Fabrication
- 4 Section 09660: Resilient Tile Flooring
- 5 Division 15: General Mechanical Provisions
- 6 Division 16: General Electrical Provisions

2 GENERAL

- 1 Requirements of Division 0, 1 and all contract drawings shall apply to all sections of this document. These sections have been created in order to organize the contract documents. It can not be assumed in any way that they limit the responsibility of the contractor, any Subcontractor or supplier to complete the full scope of the work indicated in the contract documents as a whole.
- 2 To establish a standard for tendering purposes, the Drawings and Specifications are based on DELTA Elevator Co. Ltd. - LULA Hole-less Hydraulic Elevator rated 635kg.
- 3 Include cost of all applicable inspections and permits etc.
- 4 The lift shall be complete with machine, controls, cab, signal and safety devices, electric wiring and all necessary fittings to provide an operating unit in compliance with applicable codes

3 QUALIFICATIONS

- 1 Provide for all work to be done by individuals skilled and experienced in the trade and specializing in the type of work specified licensed under the requirements of the governing authority.

4 GENERAL INFORMATION

- 1 The manufacturer shall be company specializing the manufacturing elevator equipment of a similar nature for a period of at least the last ten (10) years. Installation crews to have at least on Technical Standards and Safety Authority (TSSA) Elevating Device Mechanic - Class A, licensed technician. All installers shall be permanent employees of the manufacturer.
- 2 Shop drawings are prepared by the equipment manufacturer, using good drafting procedures, and are submitted to the Architect for approval prior to installation. Approved shop drawings are submitted by Concord to the applicable enforcing authority with any required fees.

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- 3 License fees for the first year of operation are the responsibility of the Contractor and after that period are the responsibility of the Owner.
- 4 As part of this contract the lift contractor will provide twelve (12) months of regular service and maintenance from date of approval by inspectors. Inspections shall be performed once every two month minimum
- 5 As part of this contract the lift contractor will provide emergency service 24 hour per day, 365 days per year for the warranty period.
- 6 The entire lift and all components parts carry a one (1) year guarantee.
- 7 The guarantee shall be for the replacement, at not cost of defective parts, provided the lift is properly used.
- 8 The car speed is approximately 0.1 mps in both directions while carrying rated load, or to maximum permitted by the code.

5 REGULATORY REQUIREMENTS

- 1 Installation, elevator components, accessories and operation must comply with the CSA B44-2019 Elevator Code currently in effect and all other governing Codes and By-Laws.
- 2 All welding of elevator components shall be done by a CWB certified company according to CSA Standards W47.1 and W59.

2 PRODUCTS

1 GENERAL

- 1 Rated Load: 635 kg. (1,400 lbs.)
- 2 Rated Speed: 0.15m/sec. (29.5 ft./min.).
- 3 Approximate Travel Distance: 4.19m (13.75 ft) - Maximum travel permitted 9m (29.52 ft.)
- 4 Maximum floor shall be 1.67 sq.m. (18 sq. ft.) constant pressure loading and car controls, automatic levelling.
- 5 Car Dimensions: 1067mm wide x 1524 mm deep. Specifications are based on DELTA Model 4260F
- 6 Operation: Automatic. Down Collective.
- 7 Car Controls: Illuminated Type with faceplate in Stainless Steel #4 Finish.
- 8 Hall Call Stations: Illuminated Type. Stainless steel #4 Cover Plates.

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- 9 Entrance Type: Two speed sliding
- 10 Floors served: 2, main and second floor
- 11 Cab Openings Required: 1
- 12 Power Supply: 208V 3 phase 60 Hz fused with 12 amp type D fuses.
- 13 Lighting Supply: 120V, 60 Hz, 15 amp.
- 14 Jack Type: Hole-less Hydraulic

2 CAR CAB FEATURES

- 1 Shell Enclosure:
 - Car Top: Minimum 1.5mm (16 ga.) steel, white enamel finish
 - Shell Walls: 1.5mm (16 ga.) steel - cage frame type construction.
 - Strike Column: 1.5mm (16 ga.) stainless steel #4
 - Fascia: 1.5mm (16 ga.) stainless steel #4
 - Car doors: 1.5mm (16 ga.) stainless steel #4 car door
- 2 Side Walls: Raised plastic laminate hang on panels
- 3 Ceiling: Stainless steel #4 panel with compact LED down lights
- 4 Front Return: Stainless steel #4
- 5 Car Door: Stainless steel #4
- 6 Base: Stainless steel #4
- 7 Reveals: Stainless steel #4
- 8 Finished Flooring: to be supplied and installed by flooring contractor
- 9 Hoistway doors and frames: At all floors: Stainless steel #4
- 10 Car sill: Extruded aluminum
- 11 Overall Height: 2134mm (7'0") 2134mm clear inside
- 12 Car operating Station: Top row of buttons located in compliance with CSA B44 Elevator Code Appendix E for accessibility.
- 13 Handrail: Located on all non-entrance walls: 6mm x 63mm flat stainless steel #4
- 14 Pad Hooks: Included
- 15 Protective Pads: Yes - one set

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16 Certificate Frame: Mounted on elevator cab wall.

3 PUMPING UNIT AND CONTROLLER

- 1 The jack(s) shall be designed and constructed in accordance with the applicable requirements of the CSA B44 Elevator Code. It (they) shall be of sufficient size to lift the gross load the height specified, and shall be factory tested to insure adequate strength and freedom from leakage.
- 2 The jack unit(s) shall consist of the following parts: A plunger of heavy seamless steel tubing accurately turned and polished; a stop ring electrically welded to the plunger to prevent the plunger from leaving the cylinder; a package seal of suitable design and quality; a drip ring around the cylinder top; a cylinder of steel pipe complete with a pipe connection and air bleeder.

4 ROPED HYDRAULIC FEATURES

- 1 Safety: An instantaneous safety shall be provided which will be actuated by a friction governor and governor tension sheave. The instantaneous safety shall be automatic, and reset by running the car in the up direction.
- 2 Governor: The governor shall be located in the hoistway overhead. The governor shall include an electrically activated means of manually tripping the governor from the machine room for annual no load and five-year full-load safety tests. The design shall not require a governor access door.
- 3 Plunger(s), Cylinders(s), and Sheave(s): A sheave shall be located at the top of each plunger and shall be guided through its travel by a set of plunger rails. Each plunger and cylinder shall be installed plumb and shall operate freely with minimum friction.
- 4 Ropes: Minimum two (2) 9.5 mm aircraft cables. Ropes shall be fastened to the top of the cylinder jack stands, travel over the plunger sheave(s) and attach to the bottom of the elevator car frame.

5 PUMPING UNIT

- 1 The pumping unit shall be a unit of integral design and shall include an electric motor connected to a pump, a hydraulic control system, a storage tank, necessary piping connections, and a controller, all compactly designed as a single self-contained unit. The motor and pump assembly shall be mounted on a rubber isolated inner base.

6 PUMP

- 1 The pump shall be a positive displacement screw type to give smooth operation and shall be designed and manufactured for elevator service.

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7 MOTOR

- 1 The motor shall be of the alternating current, single or polyphase squirrel cage induction type and shall be of a design adapted to electro-hydraulic requirements.

8 HYDRAULIC CONTROL SYSTEM

- 1 The hydraulic control system shall be of compact design suitable for operation under the required pressures. The control valve shall be a manifold with up, down, and check valve sections. A control section including solenoid valves will direct the main valve and control up and down starting, transition from full speed to levelling speed, up and down stops, pressure relief and manual lowering. Down speed and up and down levelling will be controlled at the main valve sections. All of these functions shall be fully adjustable for maximum smoothness and to meet contract conditions. All control systems shall be pre-adjusted at the factory.
- 2 The manual lowering feature shall permit lowering the elevator at slow speed in the event of power failure or for adjusting purposes.

9 LEVELLING DEVICE

- 1 The elevator shall be provided with an automatic levelling device which brings the car to a stop within 6 mm (1/4") of the landing level regardless of load or direction of travel. Landing level will be maintained within the levelling zone irrespective of the hoistway doors being open or closed.

10 STORAGE TANK

- 1 The storage tank shall be constructed of steel, and shall be provided with a cover and a filter screen mounted over the suction inlet. Tank design shall incorporate a reserve capacity. An initial supply of oil sufficient for proper operation shall be provided.

11 PIPING

- 1 Pipe of adequate size and thickness shall be installed between the pumping unit and the cylinder head. A shut off valve shall be provided for maintenance and adjusting purposes.

12 CONTROLLER

- 1 A microprocessor controller shall be provided, including necessary starting switches of adequate size together with all relays, switches and hardware required to accomplish the operation specified. Overload protection shall be provided to protect the motor against overloading

13 CAR STALL PROTECTIVE CIRCUIT

- 1 A protective circuit shall be provided which will stop the motor and the pump and return the car to its lowest landing in the event the car does not reach its designed landing within a predetermined time interval. This circuit will permit a normal exit from the car but prevent further operation of the elevator until the issue has been corrected.

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14 WIRING

- 1 All wiring and electrical interconnections shall comply with the governing codes. Insulated wiring shall have flame retardant and moisture proof outer covering, and shall be run in conduit, tubing or electrical wire-ways. Travelling cables shall be flexible and suitably suspended to relieve strain on individual conductors.

15 HOISTWAY OPERATING DEVICES

- 1 Normal terminal stopping devices shall be provided. When an emergency terminal stopping device is also required, it shall be furnished and the controller switches and circuitry arranged in accordance with the requirements of the CSA B44 Elevator Code.

16 PIT SWITCH

- 1 An emergency stop switch shall be located in the pit.

17 PIT MAINTENANCE STAND

- 1 Provide a non-removable means to mechanically hold the car above the pit floor to provide an area in the pit for maintenance and inspection as per requirements of the CSA B44 Elevator Code.

18 PLATFORM

- 1 The car platform shall have a fabricated frame of formed and structural steel shapes, rigidly welded. Sub-flooring shall be wood floor. The underside of the platform shall be fireproofed. The platform shall be manufactured by a CWB certified shop and be equipped with an aluminium threshold.

19 CAR FRAME

- 1 A suitable car frame fabricated from formed or structural steel members shall be provided with adequate bracing to support the platform and car enclosure. The crosshead or rope connection member shall be of sufficient strength to lift the fully loaded car.

20 DOOR OPERATION

- 1 Doors to the car and at the hoistway entrances shall be power operated by means of a quality operator mounted on top of the car. The motor shall have positive control over the door movement for smooth operation. An infrared detector shall be provided to cause re-opening should an obstruction be sensed.
- 2 Door operation shall be automatic at each landing with door opening initiated as the car arrives at the landing and closing taking place after expiration of a time interval. A car door electric contact shall prevent starting the elevator away from the landing unless the car door is in its closed position.

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- 3 An approved positive interlock shall be provided for each hoistway entrance which shall prevent operation unless all doors for that elevator are closed and shall maintain the doors in their closed position while the elevator is away from the landing. Provide emergency access to the hoistway as required by governing Codes.
- 4 At each landing served, a hoistway entrance of the type and size as previously described. Each entrance shall consist of flush hollow metal doors with built in hanger assembly, frames assembled for one piece unit installation, extruded aluminum sill, fascia, toe guard, hanger cover, header, hanger track assembly, and formed structural strut supports. Entrance design and construction must be in compliance with NBC 2006 requirements for fire labels.
- 5 Sill Supporting angles required for flush hoistway construction.

21 CAB ENCLOSURE

- 1 The cab enclosure shall consist of 13mm melamine panels fastened to a welded steel frame, trimmed with stainless steel edging and kickplates on all walls. The cab shall have enclosed sides which are a minimum of 2030 mm high. Other standard features of the cab enclosure include:
 1. Emergency lights to automatically operate in the event of a power failure.
 2. Audible alarm to operate when STOP button is pressed.
 3. Alarm to remain operational in the event of a failure in the normal building power supply.
 4. Battery powered emergency lowering will allow the lift to move in a down direction in event of a building power failure.
 5. Cab shall have removable panels for ease of access of all serviceable components from inside the cab enclosure.
 6. Limit and leveling switches shall be behind the removable cab walls in a vandal resistant location.
 7. Key switch and stop button to be pre-assembled, mounted and pre-wired to the cab enclosure.
 8. Traveling cable to be pre-wired to cab enclosure.
 9. To prevent interference with the persons using the lift, the cab key switch, when activated, will prevent the hall buttons from operating.
 10. The cab platform shall be constructed of a steel frame with all welding to be done by Canadian Welding Bureau certified welders. The cab platform and sling shall be of steel, cantilever designed and securely bolted together plumb and square.

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22 GUIDES AND BRACKETS

- 1 Guide brackets shall be of steel and securely fastened to the building structure. Brackets shall securely hold the guides in a plumb and straight position regardless of cab loading. Guide shoes shall be elevator duty, metal with replaceable nylon inserts, for long life, smooth ride and ease of repair. Guides shall be firmly attached to the hoistway walls and shall be of an elevator duty machined T-section type for smooth operation.

23 TELEPHONE

- 1 An ADA-approved AUTODIAL telephone shall be furnished and installed as part of the car station. A separate phone line to the elevator controller shall be provided and located in the elevator machine room under another section of the specifications.

24 NON-PROPRIETARY CONTROLS

- 1 Elevating device control equipment must be non-proprietary. If a site specific service tool or onboard diagnostic tool is required to render the control equipment non-proprietary, it must be provided with the elevating device. The tool must allow full access to fault codes and maintenance related parameters and must allow complete and thorough maintenance service to be performed by any properly licensed and qualified Elevator Contractor. The tool must come with a user's manual that also defines and explains all error codes, including required fixes. The service tool must remain property of the building owner.

3 EXECUTION

1 EXAMINATION

- 1 Verify that the hoistway, pit and machine room are ready for equipment installation and are constructed as per elevator manufacturer's shop drawings.
- 2 Verify that the shaft and openings are of correct size and within tolerances as indicated on elevator manufacturer's shop drawings.
- 3 Confirm that electrical power is available and of correct characteristics per elevator manufacturer's shop drawings.
- 4 Report defects to the Project Manager.

2 INSTALLATION

- 1 The installation is to be carried out by competent mechanics in the employ of the vertical wheelchair lift contractor. The manufacturing company shall have at least ten (10) years experience in the manufacturing, installation and maintenance of vertical wheelchair lifts.

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- 2 Install in accordance with CAN/CSA-B355-94, "Lifts for Persons With Physical Disabilities" safety standards for elevating devices.
- 3 Provide conduit, boxes, wiring and accessories to complete the installation.
- 4 Install hoistway door sills, frames, and headers in hoistway walls ready for masonry work by others.

3 TOLERANCES

- 1 Cab movement on guide rails: smooth movement with little lateral or oscillating movement or vibration.
- 2 Guide rail alignment: plumb and parallel within 3mm in 50m of vertical distance.

4 ADJUSTMENTS

- 1 Adjust for smooth acceleration and deceleration of car so as not to cause passenger discomfort.
- 2 Adjust floor-leveling feature to bring car to within 10mm of level.

5 OWNER'S INSTRUCTION

- 1 After installation is completed, the contractor shall instruct the Owner in the proper use, operation and maintenance requirements of the vertical wheelchair lift. Instruction to also include emergency procedures and safety rules and precautions.

6 INSPECTION AND CLEANING

- 1 Complete all of the work to leave the vertical wheelchair lift in full and satisfactory working operation.

Electrical Room Photos

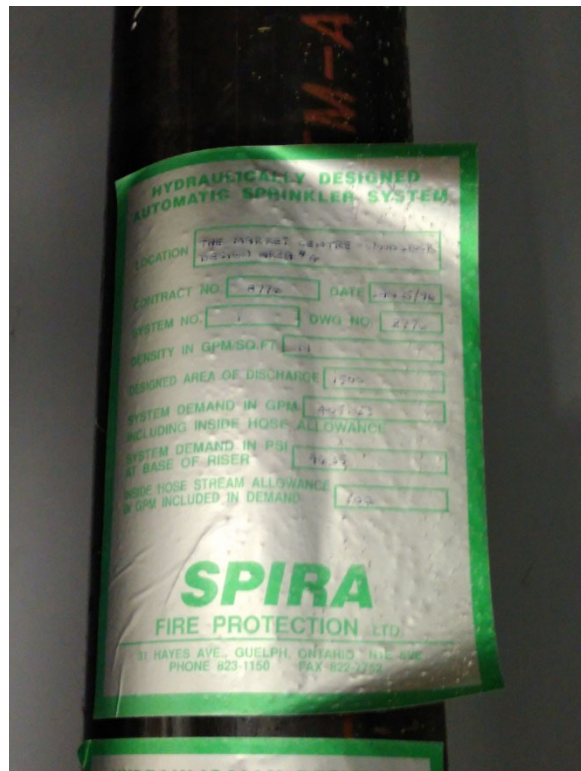




Sprinkler / Water Room Photos







HARDWARE GROUP SCHEDULE
Woodstock Market Building Interior Renovations

1

2	mortar box	welded by frame supplier
3	butt hinges	full mortise, standard weight, 5"
1	current transfer	concealed
		wire raceway to electric hardware
1	door contact	concealed
1	elec. mortise lock	lever x escutcheon
1	overhead stop	concealed
1	closer	surface

2

3	mortar box	welded by frame supplier
6	butt hinges	full mortise, heavy weight, 5"
1	current transfer	concealed
		wire raceway to electric hardware
2	door contact	concealed
1	flush bolt	top and bottom
1	elec. mortise lock	lever x escutcheon
1	closer	surface
1	auto operator	surface
1	astragal	welded by door supplier

3

2	mortar box	welded by frame supplier
3	butt hinges	full mortise, standard weight, 5"
1	current transfer	concealed
		wire raceway to electric hardware
1	door contact	concealed
1	elec. mortise lock	lever x escutcheon
1	auto operator	surface

4

3	butt hinges	full mortise, standard weight, 5"
1	mortise lock	lever x escutcheon
1	closer	surface
1	auto door bottom	concealed

5

3	butt hinges	full mortise, standard weight, 5"
1	mortise lock	lever x escutcheon

6

3	butt hinges	full mortise, standard weight, 5"
1	mortise lock	lever x escutcheon
1	overhead stop	concealed

7

3	butt hinges	full mortise, heavy weight, 5"
1	auto operator	surface

8

0	No Prep Required	
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9

6	butt hinges	full mortise, heavy weight, 5"
1	flush bolt	top and bottom
1	mortise lock	lever x escutcheon
2	overhead stop	concealed
1	astragal	welded by door supplier

10

3	butt hinges	full mortise, heavy weight, 5"
1	mortise lock	lever x escutcheon
1	overhead stop	concealed
1	closer	surface

11

3	butt hinges	full mortise, standard weight, 5"
1	mortise lock	lever x escutcheon
1	closer	surface

12

2	mortar box	welded by frame supplier
3	butt hinges	full mortise, standard weight, 5"
1	current transfer	concealed
		wire raceway to electric hardware
1	door contact	concealed
1	elec. mortise lock	lever x escutcheon

13

2	mortar box	welded by frame supplier
3	butt hinges	full mortise, standard weight, 5"
1	current transfer	concealed
		wire raceway to electric hardware
1	elec. mortise lock	lever x escutcheon

14

1	pocket door frame	pockert door frame
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HARDWARE GROUP ASSIGNMENT
Woodstock Market Building Interior Renovations

Hardware Group	Openings
1	D100
2	D101
3	D102, D102.2, D119, D126
4	D102.1
5	D103, D105, D108, D109, D110, D203, D203.1
6	D106, D107, D111, D112, D207, D208
7	D114, D115
8	D117, D204, power
9	D117.1, D117.2
10	D118
11	D120
12	D201, D202, D206
13	D205
14	D205.1