

Friday, September 22, 2023

DOCUMENT - 2023-518T
Gender Neutral Changeroom Upgrades at Tomken and Rising Hill
Reporting Stations for Peel Regional Paramedic Services, City of
Mississauga and Brampton, Project 23602

ADDENDUM 2

Number of Pages:14

Referring to the above **Document 2023-518T - Gender Neutral Changeroom Upgrades at Tomken and Rising Hill Reporting Stations for Peel Regional Paramedic Services, City of Mississauga and Brampton, Project 23602**, please note the following:

1. **Delete:** Drawings A02, A03 and A04 from Appendix 5.3 for both locations in their entirety.

Replace with: Appendix 5.3 – Addendum 2, Drawings attached:

6825 Tomken Road, Mississauga, ON

- A02 Part Plan - Existing Washroom Demolition Floor Plan & RCP, Photos – Existing Conditions
- A03 Part Plan – Proposed Gender-Neutral Shower & Washroom Plan, RCP, Washroom Accessories & Shower Stall Notes
- A04 Typ. Washroom Accessories Installation Detail, Door Schedule & Room Finish Schedule

25 Rising Hill Ridge, Brampton, ON

- A02 Demolition – Part of Existing Floor Plan & RCP, Notes & Photos – Existing Condition
- A03 Washroom & Shower Plan, Details and Accessories
- A04 Washroom & Shower RCP, Door Schedule and Room Finish Schedule

2. **Question:**
Would it be possible to use an alternative ADO (Record HA-8) that meets and/or exceeds the specified ADO (Horton 4100)?

Answer:

Refer to item 1.37 (Product Substitutions) of Section 01 00 00 of the Specification.

3. **Question:**

The notes specify that actuators are the single gang, CM-221/A42 (Camden Value Wave) and that the backbox should be recessed. Since Camden does not offer a recessed/flush mount single gang enclosure, ADO vendor recommends using the CX-WC13XFM (Flush Mount Aura Kit) or CX-WC16 (Surface Mount Wave Kit).

Answer:

Provide specified actuator with flush-mounted box and furring around the box.

4. **Question:**

Could you please provide the existing locations of the sprinklers that require to be relocated and/or replaced at both locations (Tomken and Rising Hills)?

Answer:

Refer to item 1 of this Addendum and attached revised drawing A02 existing sprinkler head locations at Tomken. Further, refer to attached revised drawing A02 for existing sprinkler head locations at Rising Hill.

5. **Question:**

Could you please provide clarifications regarding the plumbing pipes that need to be removed and new pipes? is it required to saw-cut the existing CMU block walls to remove existing pipes? Also, the same question for new pipes, is it required to saw-cut the CMU walls to install new pipes?

Answer:

Provide cutting and repairs of the concrete masonry unit walls and new finishes to achieve installation of the new plumbing and drainage piping.

6. **Question:**

Are new electrical conduits to be surface mounted, or do we have to saw-cut the CMU walls to install them?

Answer:

All electrical conduits shall be concealed. Provide cutting and repairs of the concrete masonry unit walls and new finishes to achieve finishing of the conduits.

7. **Question:**
Is it possible please to schedule a site visit (for both sites) to be more familiar with the existing conditions and take photos for more clarity for our sub-contractors?
- Answer:**
Refer to response to Question 6 of the Addendum 1.
8. **Question:**
May you please provide an extension to the closing date? just a few days?
- Answer:**
Closing date has been extended to September 29, 2023 (Friday).
9. **Question:**
Could you please confirm the HVAC scope of work at Rising Hills Location? Are the two existing exhaust grills to be relocated or to remain?
- Answer:**
Provide two new grilles and access door. Provide necessary modifications of duct to suit installation of grilles.
10. **Question:**
Is BAS required in addition to Air Balancing for both locations (Tomken & Rising Hills)? If yes, could you please provide the base building BAS contractor?
- Answer:**
BAS work is not required.
11. **Question:**
Is there a preferred (or pre-qualified) sprinkler contractor that we have to hire? or we can use our own sprinkler contractor?
- Answer:**
There is no preferred sprinkler contractor for this project. Sprinkler contractors working on this project shall be licensed and certified in accordance with applicable regulations.
12. **Question:**
Could you please advise the base building fire alarm/fire protection contractor - if any?

Answer:

There is no preferred fire alarm/fire protection contractor for this project. Fire alarm/fire protection contractors working on this project shall be licensed and certified in accordance with applicable regulations.

13. **Question:**

Please confirm that the entirety of the project will be awarded to a single bidder. And that the two sites will not be separated or partially awarded.

Answer:

The project will be awarded to a single bidder covering both the sites.

14. **Question:**

The specifications noted that working hours are only 7a to 3p. Is it firm that workers will need to leave the site by 3p? Or is it that there cannot be noisy work after this time?

Answer:

Refer to item 1.10.3 of the Section 01 00 00 of the Specification regarding working hours. Only noisy work can be scheduled after hours with prior approval of the Agency.

15. **Question:**

Please provide Floor tile specification for F-2 (Mississauga Tomken Road)?

Answer:

Change the F2 - Ceramic floor tile to be Porcelain Tile: 'Regal series' by Olympia Tile, size: 600mm x 300mm, color: Beige, finish: Matte.

16. **Question:**

There is discrepancy between room finish schedule and drawing A03,detail 1 (Rising Hall Brampton), Storage rm 205 drawing shows existing floor finish to remain, however, on finish schedule it states new epoxy floor with 8" cove base? Please clarify.

Answer:

Provide new epoxy flooring and cove in Storage Room 205.

17. **Question:**

Can you please confirm the following plumbing fixtures' scope of work for Tomken Location?

- a- All existing 4 WCs and 3 lavatories to be removed and disposed of?
- b- Supply & install new 3 WC-1 and new 3 L-1?

- c- Lavatory L-1 mentioned in specifications (section 22 42 00) is discontinued by all mentioned manufacturers (American Standards, Crane Plumbing no longer exists, Eljer does not have Freestyle model)
- d- The faucet mentioned in the specifications is discontinued.
- e- Can you please advise how to install carriers for the wall-hung lavatories since the existing walls are CMU clock walls? Do we have to cut the CMU block wall to install the carriers and then patch the walls?
- f- Detail 1//M02 indicates to remove a fixture outside the toilet stall at men's washroom (room 0205), can you please advise what type is this fixture?

Answer:

- a. Correct. All WCs and LAVs are to be removed as shown on the drawings and disposed of.
- b. Correct.
- c. Delete the item 2.3.1 from Section 22 42 00, description for L-1 and associated accessories and replace with the specifications below:
 - i. L-1: American Standard- Basin 0954004EC.020 009700.020
 - 1. Wall-hung Lavatory, Vitreous china, EverClean® antimicrobial surface, White finish, 102 mm (4") centerset, Rear overflow, Faucet ledge with recessed self-draining deck, For concealed arm or wall support, Acrylic shroud, conceals control box and thermostatic mixing valve (0097000), Soap dispenser, When installed with a below deck electronics faucet which has the control box, the accessories will not fit under the shroud and will need to be installed outside the shroud,
 - ii. McGuire – Fixture drain.
 - 1. 155A Straight drain, Cast brass, Chrome-plated finish, Open grid PO plug, 7/32" (5.5 mm) Ø holes size, 17 gauge 32 mm (1-1/4") Ø tailpiece diameter, 17 gauge 17152 mm (6") long
 - iii. McGuire – Supply
 - 1. LFBV170 Lead free, Chrome-plated finish, Lavatory Supply
 - iv. McGuire – P-trap
 - v. T&S Brass Faucet: B-0890-CR-VR05
 - 1. 4" centerset deck mount mixing faucet with polished chrome plated brass body and integral spout, 0.5 GPM vandal resistant non-aerated spray device, ceramic cartridges with check valves, 4" wrist action handles, vandal resistant screws and 1/2" NPSM male inlets. Certified to ASME A112.18.1/CSA B125.1, NSF 61-Section 9

and NSF 372. Meets ADA ANSI/ICC A117.1 requirements.

- d. Refer to response to question 17 c.
- e. For the carrier, the plate would be recessed in the wall or bolted to the face wall with appropriate anchors to comply with a barrier free installation. Note if mounted on the face of the wall, part of the plate will be exposed. The basin does not cover the full width and height of the plate.
- f. The fixture is tagged as KS-1 on the mechanical drawings. Specifications for KS-1 are as follows
 - i. Franke – LBS6808-1-3 1140G
 - 1. 203 mm (8") centerset, With faucet ledge, 20 gauge Type 302 Stainless steel Polished to #4 satin finish, Factory installed EZ TORQUE™ fasteners, Factory applied rim seal, Center back waste location, 38 mm x 76 mm (1-1/2" x 3") brass tailpiece, 1140G 89 mm (3 1/2") all metal basket strainer, Undercoated to reduce condensation and resonance,
 - ii. McGuire – Supply
 - 1. LFCK2167 Lead Free, Pipe to compression, Integral check supply kit, Chrome-plated finish, 1/2" I.P.S x 1/2" O.D, 305 mm (12") chrome-plated risers, Wheel handle, Faucet, Shallow wall flange.
 - iii. McGuire – P-trap
 - 1. 8912C Heavy cast brass, Adjustable p-trap, 292 mm (11-1/2") length, With cleanout plug, Shallow steel flange, Neoprene gasket, Seamless tubular brass bend, Slipnuts
 - iv. T&S Brass – B-1121/ B-0199-06-WS
 - 1. 8" deck mount mixing faucet with chrome plated brass body, 8" swing nozzle with 2.2 GPM aerator, compression cartridges with spring checks, lever handles, 1/2" NPT male inlets and chrome plated escutcheon. Certified to ASME A112.18.1/CSA B125.1, NSF 61-Section 9 and NSF 372. Meets ADA ANSI/ICC A117.1 requirements.

18. **Question:**

On the Rising Hill location, the material schedule under Storage Room 205 notes F1 Tile Flooring to Match F1 Tile Flooring. Although, F1 is noted as epoxy. Please clarify.

Answer:

Change New Tile Flooring in Storage Room 205 to New Epoxy Flooring and match to F1.

19. **Question:**
On the Interior Finishes Schedule, F2 is a 12x24 ceramic floor tile with a 4-inch ceramic base. However, referencing the specification manual, we could not find the required product for floor tile F2. Please advise on the product specification required for F2, ceramic floor tile.
- Answer:**
Refer to response to Question 15 of this Addendum.
20. **Question:**
Please clarify which tiles should be used in the two rooms? The specification only lists 4 wall tiles (Our subtrade is assuming a pattern because there is no elevation). Please also confirm if a tile base is required?
- Answer:**
Refer to item 2.2.2 of the Section 09 30 00 of the Specification – Tiling for the ceramic wall tiling in the two washrooms and base to be epoxy cove as proposed, but the base size to change to 4" high from 8" high.
21. **Question:**
Can you please provide specs for F2 12 x 24 tile for the Corridor at 6825 Tomken?
- Answer:**
Refer to response to question 15 of this Addendum.
22. **Question:**
Could you kindly provide more clarification regarding demolition note No. 6? Are all existing wall tiles to be removed and disposed of to expose the wall structure and prepare it to receive the new wall tiles? if this is the case, why in the same comment did they mention patching and repairing wall tiles' surface using special repair kit? Will all walls in the new gender-neutral washroom and B/F washroom receive new wall tiles?
- Answer:**
Refer to revised drawings A02, A03 and A04 attached to this addendum for both the sites.
23. **Question:**
Is there an elevator for the 2nd floor access?
- Answer:**
Elevators are available at both the sites and shall be provided to the Contractor upon request during construction.

24. **Question:**
Is there asbestos abatement included in tender. Is there any report?
Please let us know.

Answer:

There is no report with the Region of Peel. However, the following steps shall be taken if mould is encountered in work areas during construction.

- a. Do not continue working in that area where mould is encountered/found and make the areas safe.
- b. Notify the Region of Peel. Region will advise to the Contractor to engage a Consultant for assessing the type of mould and provide a report highlighting the extent and all the necessary procedures required for remediation of the same.
- c. Provide pricing for all the work associated with mould remediation including fee charged by the Consultant.
- d. The cost associated with this work will be paid from Cash Allowance and will be paid at actuals.

25. **Question:**
Will another addendum be issued soon?

Answer:

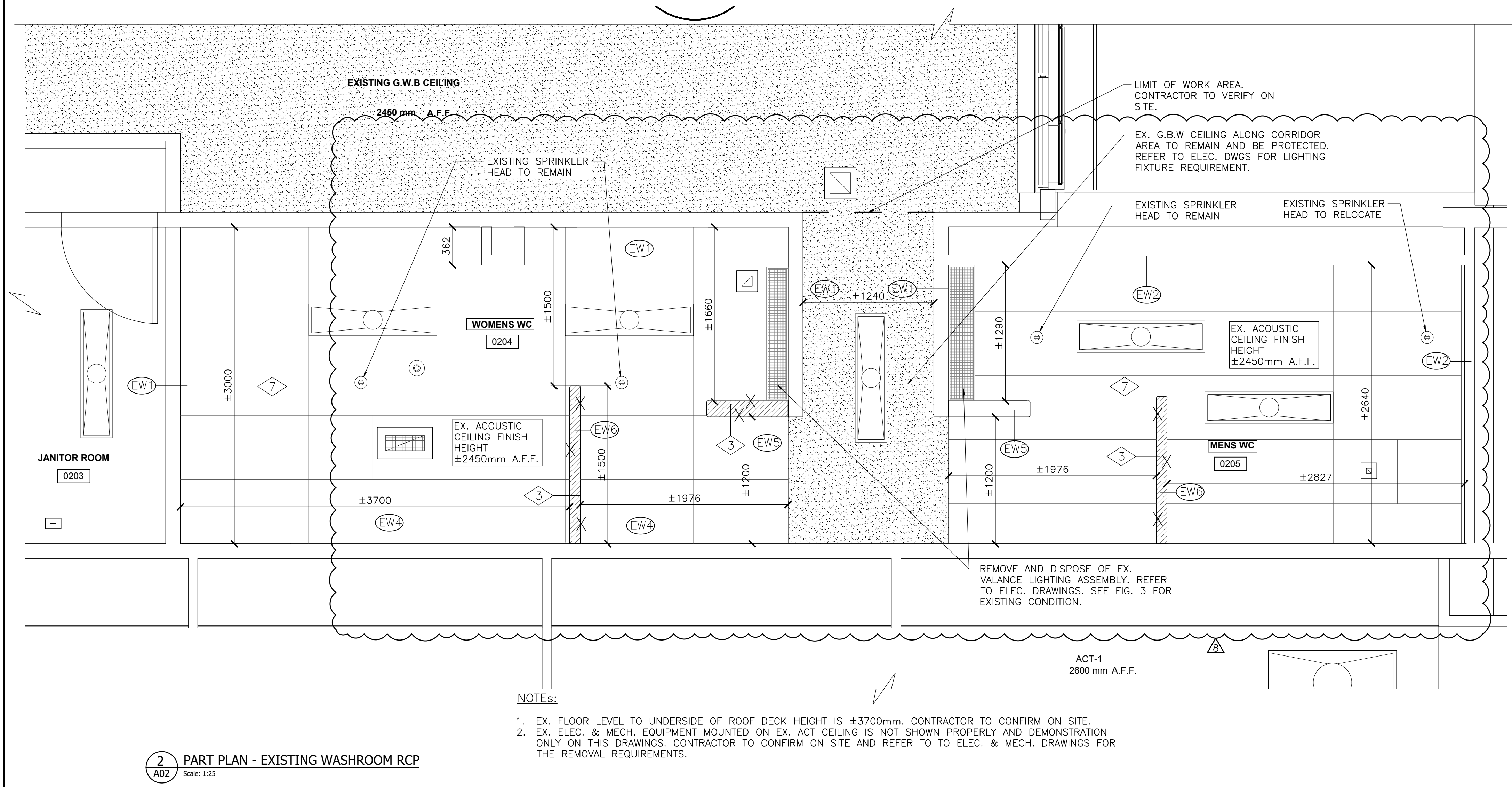
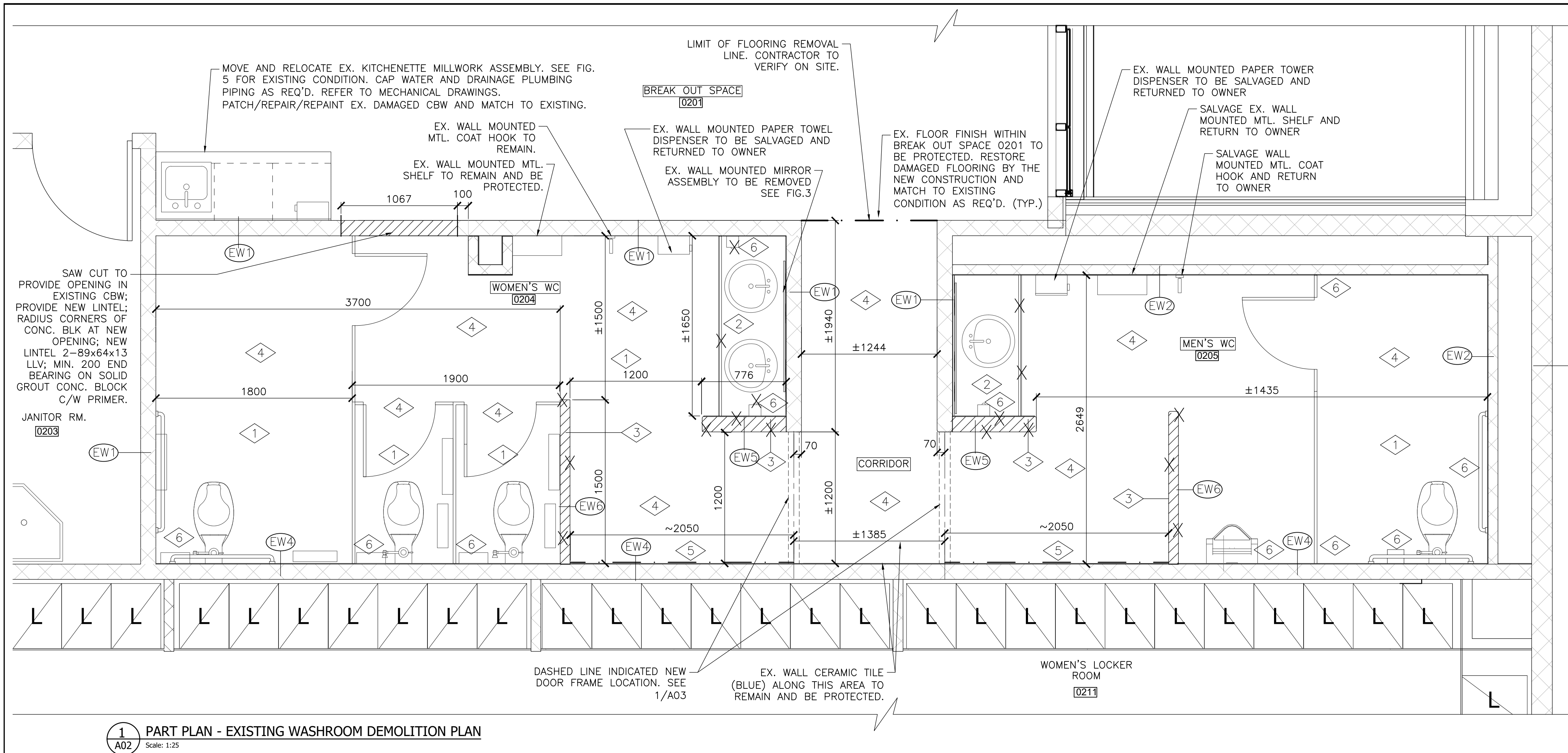
Addendum-2 is issued today.

- 26 **Question:**
The revised closing date of September 29th is Friday, it can be hard to receive sufficient quotations from subcontractors. Is it possible to extend it to the middle of the following week?

Answer:

The closing date has been extended to Friday, September 29, 2024.

Karen McCullough
Senior Procurement Analyst



DEMOLITION NOTES:

1. REMOVE AND DISPOSE OF EXISTING WASHROOM PARTITIONS, TOILETS, URINAL, SANITARY BINS AND SANITARY NAPKIN DISPOSALS C/W ACCESSORIES WITHIN EXISTING MEN'S AND WOMEN'S WASHROOM. REMOVE EXISTING TOILET PAPER DISPENSERS, WALL MOUNTED S.S. (SEE FIG.1 & 2). SHUT OFF AND CAP EX. PLUMBING PIPING INCLUDING WATER SUPPLY AND DRAINAGE PIPING AS REQ'D. REFER TO MECHANICAL DRAWINGS.
2. REMOVE AND DISPOSE OF EXISTING COUNTERTOP & BACKSPLASH ASSEMBLY C/W SINKS, FAUCETS, WALL MOUNTED SOAP DISPENSER AND ACCESSORIES. EXISTING WALL MOUNTED MIRROR TO REMAIN AND BE PROTECTED. SHUT OFF AND CAP EX. PLUMBING PIPING INCLUDING WATER SUPPLY AND DRAINAGE PIPING AS REQ'D. REFER TO MECHANICAL DRAWINGS. SEE FIG. 3 FOR EXISTING CONDITION.
3. CUT TO REMOVE EXISTING CONC. BLOCK PARTITION WALL AS SHOWN.
4. DEMOLISH EX. FLOOR TILES C/W COVE BASE ALONG EX. MEN'S AND WOMEN'S WASHROOMS TO EXPOSE EXISTING CONC. SLAB FLOOR FINISH.
5. CUT TO REMOVE EXISTING WALL CERAMIC TILES (BLUE SECTION, SEE FIG. 4) TO BACKER BOARD SHOWN DASHDOT LINE AREA. CLEAN/PATCH/REPAIR/DAMAGED BACKER BOARD AND PREPARE SURFACE FOR NEW CERAMIC TILES INSTALLATION AS REQUIRED.
6. REMOVE EXISTING WALL TILES AND FINISHES.
7. REMOVE AND DISPOSE OF EX. ACOUSTIC CEILING TILES, TRIMS, T-BARS, LIGHTING FIXTURES C/W ACCESSORIES. EXISTING CEILING HUNG BAR TO REMAIN AND SALVAGED. EXISTING FIRE SPRINKLER SYSTEM AND VENTILATION SYSTEM TO REMAIN. REFER TO ELEC. & MECHANICAL DRAWINGS FOR MORE INFORMATION.

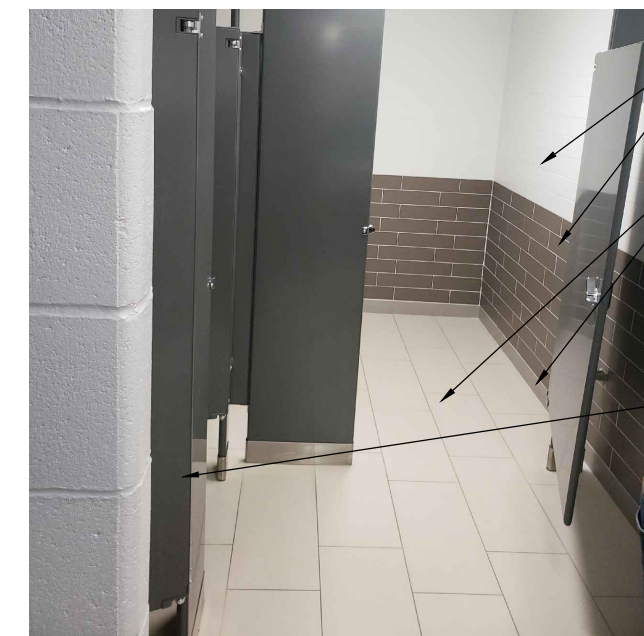


FIG. 1. TYP. EX. WASHROOM PARTITION



FIG. 2. TYP. EX. B/F WASHROOM



FIG. 3. TYP. EX. WASHROOM COUNTER-TOP

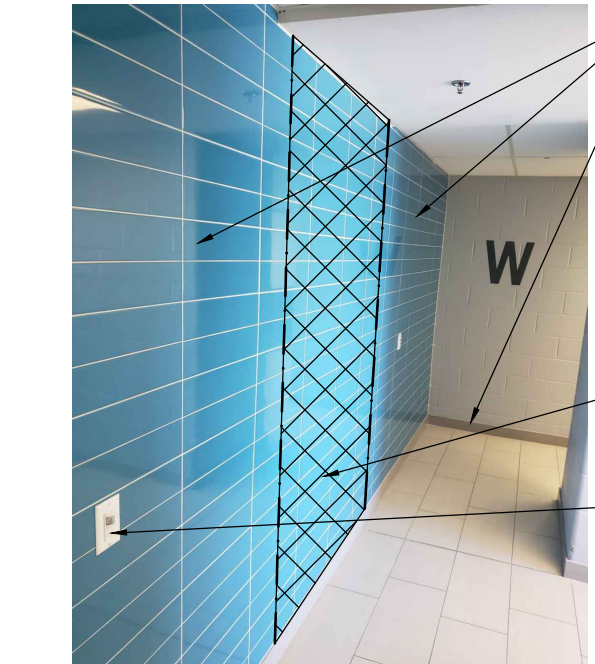


FIG. 4. CORRIDOR WALL CERAMIC TILE



FIG. 5. EX. KITCHENETTE MILLWORK

- REMOVE EX. WALL CERAMIC TILE FINISH (TYP. ALL WASHROOM WALLS)
- REMOVE AND DISPOSE OF EX. CERAMIC COVE BASE & FLOOR CERAMIC TILES C/W MORTAR BED TO EXPOSE EXISTING WALL AND SLAB BASE. PATCH/REPAIR EXISTING BASE SLAB SURFACE FOR NEW FLOOR TILES INSTALLATION AS REQ'D.
- REMOVE AND DISPOSE OF EX. WASHROOM PARTITIONS C/W ACCESSORIES. REFER TO NOTE 6 FOR WALL TILE HOLES REPAIR.
- REMOVE EX. WALL MOUNTED TOILET PAPER DISPENSER AND RETURN TO OWNER
- EX. WALL MOUNTED S.S. SIDE GRAB & REAR TO REMAIN AND BE SALVAGED. (TYP.)
- REMOVE AND DISPOSE OF EX. SANITARY NAPKIN DISPENSER. REFER TO NOTE 6 FOR WALL TILE HOLES REPAIR. (TYP.)
- REMOVE AND DISPOSE OF EX. SANITARY BIN. (TYP.)
- REMOVE AND DISPOSE OF EX. CERAMIC COVE BASE & FLOOR CERAMIC TILES C/W MORTAR BED TO EXPOSE EXISTING WALL AND SLAB BASE. PATCH/REPAIR EXISTING BASE SURFACE FOR NEW FLOOR TILES INSTALLATION AS REQ'D.
- SALVAGE EX. MTL. SHELF, COAT HOOK AND RETURN TO OWNER
- EX. LIGHTING VALANCE ASSEMBLIES TO BE REMOVED AND DISPOSED OF. (TYP.)
- EX. WALL MOUNTED MIRROR TO BE REMOVED (TYP.)
- SALVAGE EX. PAPER TOWER DISPENSER AND RETURN TO OWNER
- REMOVE AND RELOCATE EX. SOAP DISPENSER. REFER TO NOTE 6 FOR WALL TILE HOLES REPAIR.
- REMOVE AND DISPOSE OF EX. COUNTERTOP, BACKSPLASH C/W SINKS FAUCETS, CAP & SHUT OFF WATER PLUMBING PIPING AS REQ'D.
- REMOVE AND DISPOSE OF EX. WALL CERAMIC TILE, COVE BASE & FLOOR CERAMIC TILES C/W MORTAR BED TO EXPOSE EXISTING WALL AND SLAB BASE. PATCH/REPAIR EXISTING BASE SURFACE FOR NEW FLOOR TILES INSTALLATION AS REQ'D.
- SHADE AREA INDICATES EX. BULE WALL TILE TO REMAIN AND BE PROTECTED. SEE 1/A03 FOR EXTENT.
- REFER TO ELEC. DWGS FOR EX. SWITCH REMOVAL. (TYP.)
- SALVAGE EX. PAPER TOWER DISPENSER AND RETURN TO OWNER. SEE NOTE 6 FOR EX. HOLE REPAIR.
- SALVAGE EX. SOAP PAPER TOWER DISPENSER AND RETURN TO OWNER. SEE NOTE 6 FOR EX. HOLE REPAIR.
- REMOVE AND DISPOSE OF THIS SECTION EX. BACKSPLASH .
- PATCH/REPAIR/REPAINT EX. WALL SURFACE AND MATCH TO SURROUNDING WALL.
- REMOVE AND RELOCATE EX. KITCHENETTE MILLWORK. CAP AND SHUT OFF WATER PLUMBING PIPING AS REQ'D. REFER TO MECH. DWGS.



ISSUES AND REVISIONS			
No.	ISSUE OR REVISION TO DRAWING	DATE	BY
1	ISSUED FOR DESIGN REVIEW	30/05/2022	C.M.
2	REVISED PER CLIENT COMMENTS	29/06/2022	C.M.
3	REVISED PER CLIENT COMMENTS	03/08/2022	C.M.
4	REVISED PER CLIENT COMMENTS	14/09/2022	C.M.
5	ISSUED FOR 50% DESIGN REVIEW	13/04/2023	C.M.
6	ISSUED FOR 100% DESIGN REVIEW	02/05/2023	C.M.
7	ISSUED FOR TENDER	21/07/2023	C.M.
Δ	ISSUED FOR ADDENDUM NO. 2	20/09/2023	C.M.



10 PEEL CENTRE DRIVE
BRAMPTON, ONTARIO
L6T 4B9
TEL: (905) 791-7800

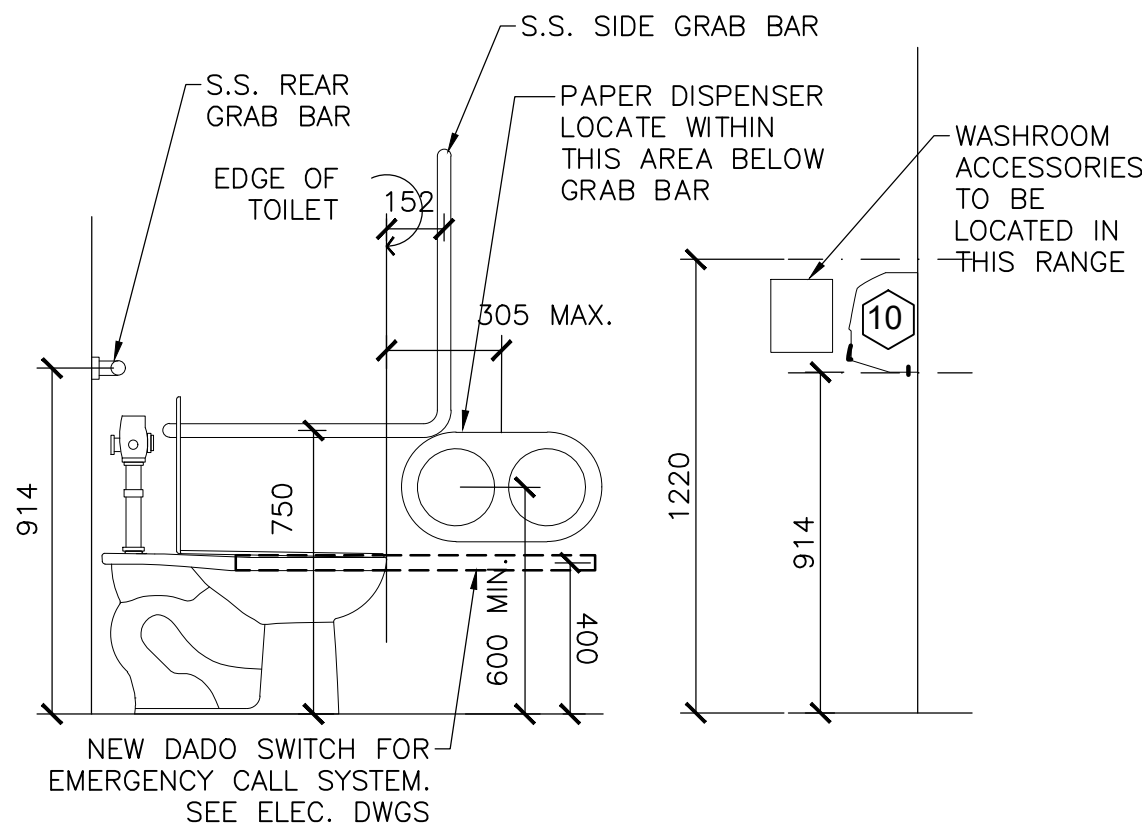


2902 SOUTH SHERIDAN WAY,
SUITE 300
OAKVILLE, ON. L6J 7L6
TEL: (905) 274-7556
FAX: (905) 274-5382
E-mail: info@moon-matz.com

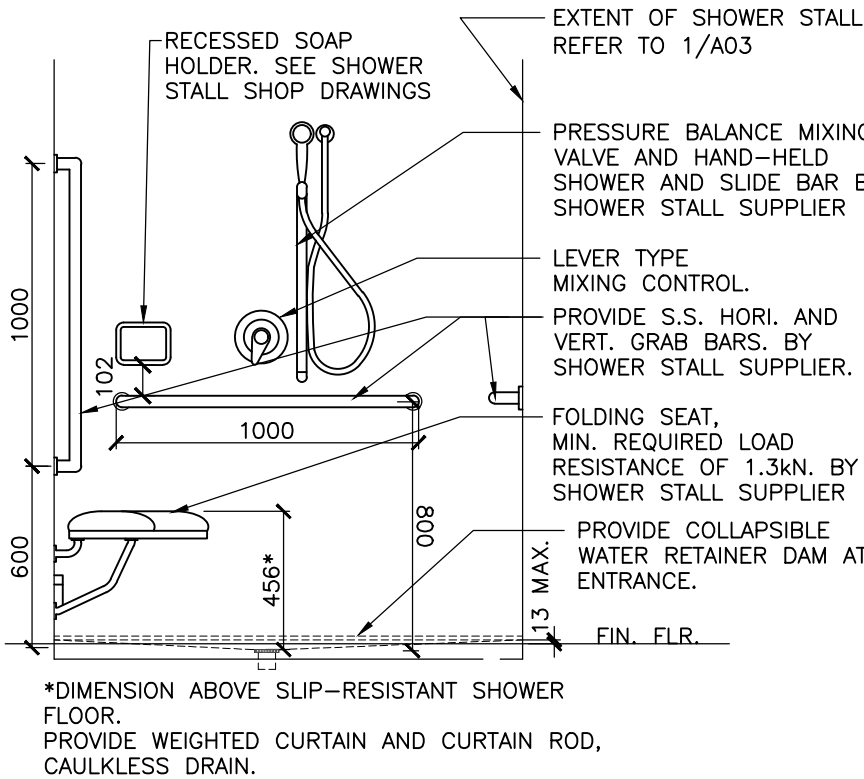
PROJECT TITLE AND ADDRESS
**GENDER NEUTRAL CHANGEROOM AT
TOMKEN AND RISING HILL**
6825 TOMKEN ROAD, MISSISSAUGA, ONTARIO

DRAWING TITLE
**PART PLAN - EXISTING WASHROOM
DEMOLITION FLOOR PLAN & RCP,
PHOTOS - EXISTING CONDITIONS**

TRUE NORTH	CONSTRUCTION NORTH
DRAWN BY B.L.	CHECKED BY C.M.
SCALE AS SHOWN	DATE 30/05/2022
CONSULTANT PROJECT NUMBER 6543	REGION OF PEEL PROJECT NUMBER 23602
PURCHASING DOCUMENT NUMBER	DRAWING NUMBER A02



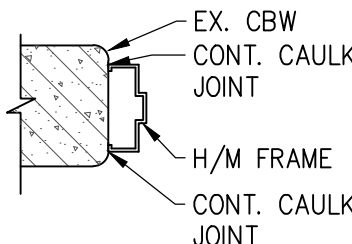
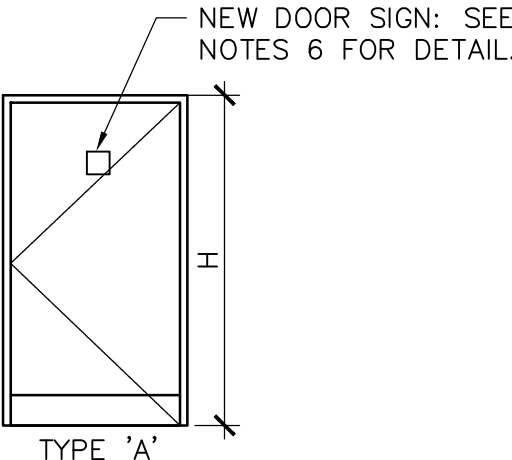
1
A04 TYP. WASHROOM ACCESSORIES INSTALLATION DETAIL
Scale: 1:20



2
A04 TYP. SHOWER ACCESSORIES INSTALLATION DETAIL
Scale: 1:20

DOOR SCHEDULE

TAG				DOOR											FRAME					HARDWARE					REMARKS					
				SIZE				MATERIAL				FINISHES			MATERIAL		FINISH			PAIRS OF HINGES			CLOSER & DOOR STOP	EXIT DEVICE		LOCKSET REQUIRED	DOOR OPENER REQUIRED			
DOOR NUMBER	DOOR TO BE REPLACED	DOOR TO REMAIN	NEW DOOR	TYPE	DOOR WIDTH	DOOR HEIGHT	DOOR THICKNESS	SINGLE/PAIR	FIRE RATING (HOURS)	SOLID WOOD	GALVANIZED STEEL	HOLLOW METAL	THERMALLY INSULATED	LITE	GALVANIZED STEEL	PAINT	STAIN	ALUMINUM THRESHOLD	GALVANIZED STEEL	HOLLOW METAL	THERMALLY INSULATED	PAINT	STAIN	JAMB TYPE	PAIRS OF HINGES	CLOSER & DOOR STOP	EXIT DEVICE	LOCKSET REQUIRED	DOOR OPENER REQUIRED	
D01			•	A	±1098	±2374	45	S				•				•				•		•		A	2	•		•		
D02			•	A	±965	±2134	45	S				•				•				•		•		A	2	•		•	•	PROVIDE REDUCER AT FLOORING TRANSITION
D03			•	A	±1098	±2374	45	S				•				•				•		•		A	2	•		•		



JAMB DETAIL 'A'



FIG. 6



FIG. 7



FIG. 8

DOOR NOTES:

- PROVIDE NEW HARDWARE AND ACCESSORIES FOR DOOR D02, AS SPECIFIED. AUTO DOOR OPERATOR SYSTEM TO BE HORTON 4100 SERIES C/W IN SWING UNIT FOR B/F WASHROOM, PARALLEL ARM ASSEMBLY C/W POWER SUPPLY & CONTROLLER; ACTUATOR KIT - THOUGHTLESS 12/24 VDA SWITCHES; ELECTRIC STRIKE FAIL SECURE; DOOR CONTACT; CAMDEN VALUEWAVE #CM-221/A42 (RED/GREEN L.E.D) W/ ACCESSIBILITY SYMBOL (RECESSED BOXES, AS SHOWN ON PLAN) FOR 'LOCKED WHEN LIT' AND OCCUPIED WHEN LIT; RECESSED DOOR LOCK PUSH LOCK PUSH BUTTON 'PUSH TO LOCK DOOR'; RECESSED DADO EMERGENCY PUSH BUTTON DEVICE C/W AUDIO/VISUAL EMERGENCY INDICATOR AT EXTERIOR SIDE OF DOOR AT HEADER; WASHROOM RELAY KIT, - SILENCES - GREY RUBBER, MORTISE LOCKS; PRIVACY SET, STAINLESS STEEL FINISH, HEAVY DUTY GRADE 1, SCHLAGE 'J' SERIES 'MARIN' STYLE LEVER OR EQ; DOOR STOP TO BE BALDWIN 4100 OR EQ. TH, LOW PROFILE, MILL ALUMINUM FINISH, PEMKO MODEL 270A.
- PROVIDE NEW HARDWARE AND ACCESSORIES FOR DOOR D01 & D03, AS SPECIFIED. MORTISE LOCKS; PRIVACY SET, STAINLESS STEEL FINISH, HEAVY DUTY GRADE 1, SCHLAGE 'J' SERIES 'MARIN' STYLE LEVER OR EQ; DOOR STOP TO BE BALDWIN 4100 OR EQ. DOOR CLOSER: HEAVY DUTY; PARALLEL ARM (PULL SIDE) LCN MODEL 4040XP; PA SHOE-4040-62A.
- NEW HOLLOW METAL DOOR AND FRAME TO BE 16 GA., FULL MORTISE HINGE: TWO (2) PAIR HEAVY DUTY BEARING HINGES; MCKINNEY MODEL T4 NRP, COMPLETE WITH NON-REMOVEABLE PIN; SATIN STAINLESS STEEL FINISH 630. CONTINUOUSLY WELDED EDGE, FINISHED WITH TWO COATS OF PAINT, COLOUR TO MATCH EXISTING BASE BUILDING SECOND FLOOR DOORS COLOUR OR BY THE OWNER.
- DOOR PROTECTION PLATES: 200 X 850MM KICK PLATE, 1.27 MM THICK, SS#4 FINISH FOR DOORS D01 AND D03. 300 X 900MM KICK PLATE, 1.27 MM THICK, SS#4 FINISH FOR DOOR D02
- DOOR LOCK/KEY/CYLINDER HARDWARE SHOULD BE KEYED TO OWNER STANDARD (MEDECO). COORDINATE WITH OWNER AS REQ'D.
- DOOR SIGNAGE: PROVIDE ALL GENDER RESTROOM SIGN ON DOOR D03 - ALUM. 6"x9"x1/8" BRAILLE SIGN "ALL GENDER RESTROOM" WITH GRAPHIC AND INTERNATIONAL ALL GENDER SYMBOL; REFER TO FIG. 6. PROVIDE BARRIER FREE ALL-GENDER RESTROOM SIGN ON DOOR D02 - ALUM. 8"x8"x1/8" BRAILLE SIGN "RESTROOM" WITH GRAPHIC AND INTERNATIONAL ALL GENDER SYMBOL; REFER TO FIG. 7. PROVIDE SIGNS ON DOOR D01 - 6"x9"x1/8" BRAILLE SIGN "ALL GENDER RESTROOM" WITH GRAPHIC AND INTERNATIONAL ALL GENDER SYMBOL; REFER TO FIG. 6 AND ALUM. 8"x8"x1/8" BRAILLE SIGN "SHOWER" WITH GRAPHIC AND INTERNATIONAL ALL GENDER SYMBOL; REFER TO FIG. 8.
- THE DOORS DIMENSIONS SHOWN ON DRAWINGS & SCHEDULE ARE APPROXIMATE. CONTRACTOR TO BE CONFIRMED ALL DOOR DIMENSIONS ON SITE PRIOR TO ORDERING /INSTALLATION OF NEW DOOR.

INTERIOR ROOM FINISH SCHEDULE

DESCRIPTION	FINISH	COLOUR	COMMENTS
F1	FLOOR	NEW EPOXY NON-SLIP FLOORING.	SEE COMMENTS
F2	FLOOR	NEW 24"x12" PORCELAIN FLOOR TILE	BEIGE, MATTE FINISH
P1	WALLS & G.W.B CEILING	CONC BLOCK WALL & G.W.B CEILING. NEW PAINT: 1 COAT PRIMER & 2 COATS FINISH ACRYLIC PAINT.	TO MATCH EXISTING WALL TILE
T1	WALLS	NEW CERAMIC WALL TILE. SIZE AND COLOUR TO MATCH EXISTING (CT-1/CT-2/CT-3).	SEE COMMENTS
NEW B/F WASHROOM 0204	FLOOR	NEW EPOXY NON-LIP FLOORING.	MATCH 'F1' FLOORING.
	TOILET	INSTALL NEW TOILET, AND WASHROOM ACCESSORIES AS SHOWN	TO LATER SELECTION BY OWNER
	CEILING	NEW 24"x48" ACOUSTIC CEILING PANEL SYSTEM C/W GALV. STEEL SUSPENSION SYSTEM AND ACCESSORIES	WHITE
	WALLS	PROVIDE NEW CERAMIC WALL TILE AS SHOWN ON 1/A03. SIZE AND COLOUR TO MATCH EXISTING.	COLOUR & SIZE TO MATCH EXISTING
NEW GENDER -NEUTRAL W/C 0204a	FLOOR	NEW EPOXY NON-SLIP FLOORING.	MATCH TO 'F1' FLOORING.
	TOILET	PROVIDE NEW TOILET, AND WASHROOM ACCESSORIES AS SHOWN	TO LATER SELECTION BY OWNER
	SHOWER STALL	PROVIDE NEW B/F SHOWER STALL C/W SHOWER WASHROOM ACCESSORIES AS SHOWN	NEW SHOWER STALL C/W ACCESSORES: REFER TO A03.
	CEILING	NEW ACOUSTIC CEILING PANEL SYSTEM C/W GALV. STEEL SUSPENSION SYSTEM AND ACCESSORIES	WHITE
CORRIDOR	FLOOR	NEW 24"x12" TILE.	MATCH TO 'F2' FLOORING.
	CEILING	PROVIDE NEW PAINT FOR EXISTING G.W.B CEILING.	MATCH 'P1' PAINT FINISH REQUIREMENT.
	WALLS	PROVIDE NEW PAINT FOR EXISTING CONC. BLOCK WALL SURFACES	MATCH 'P1' PAINT FINISH REQUIREMENT.
	WALLS	PROVIDE NEW PORCELAIN WALL TILE AS SHOWN ON 1/A03. SIZE AND COLOUR TO MATCH EXISTING.	COLOUR & SIZE TO MATCH EXISTING
GENDER-NEUTRAL WASHROOM 0205	FLOOR	NEW FLOORING.	MATCH 'F1' EPOXY NON-SLIP FLOORING.
	TOILET	INSTALL NEW TOILET, AND WASHROOM ACCESSORIES AS SHOWN	TO LATER SELECTION BY OWNER
	CEILING	NEW G.W.B GREEN BOARD CEILING SYSTEM C/W GALV. STEEL SUSPENSION SYSTEM AND ACCESSORIES	WHITE
	WALLS	PROVIDE NEW CERAMIC WALL TILE AS SHOWN ON 1/A03. SIZE AND COLOUR TO MATCH EXISTING.	COLOUR & SIZE TO MATCH EXISTING



ISSUES AND REVISIONS			
No.	ISSUE OR REVISION TO DRAWING	DATE	BY
1	ISSUED FOR DESIGN REVIEW	30/05/2022	C.M.
2	REVISED PER CLIENT COMMENTS	29/06/2022	C.M.
3	REVISED PER CLIENT COMMENTS	03/08/2022	C.M.
4	REVISED PER CLIENT COMMENTS	14/09/2022	C.M.
5	ISSUED FOR 50% DESIGN REVIEW	13/04/2023	C.M.
6	ISSUED FOR 100% DESIGN REVIEW	02/05/2023	C.M.
7	ISSUED FOR TENDER	21/07/2023	C.M.
Δ	ISSUED FOR ADDENDUM NO. 2	20/09/2023	C.M.



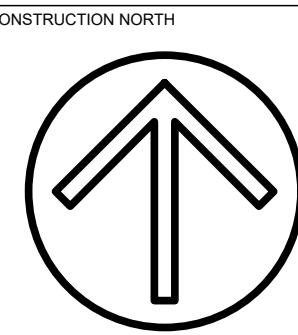
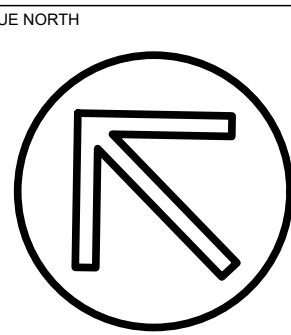
10 PEEL CENTRE DRIVE
BRAMPTON, ONTARIO
L6T 4B9
TEL: (905) 791-7800



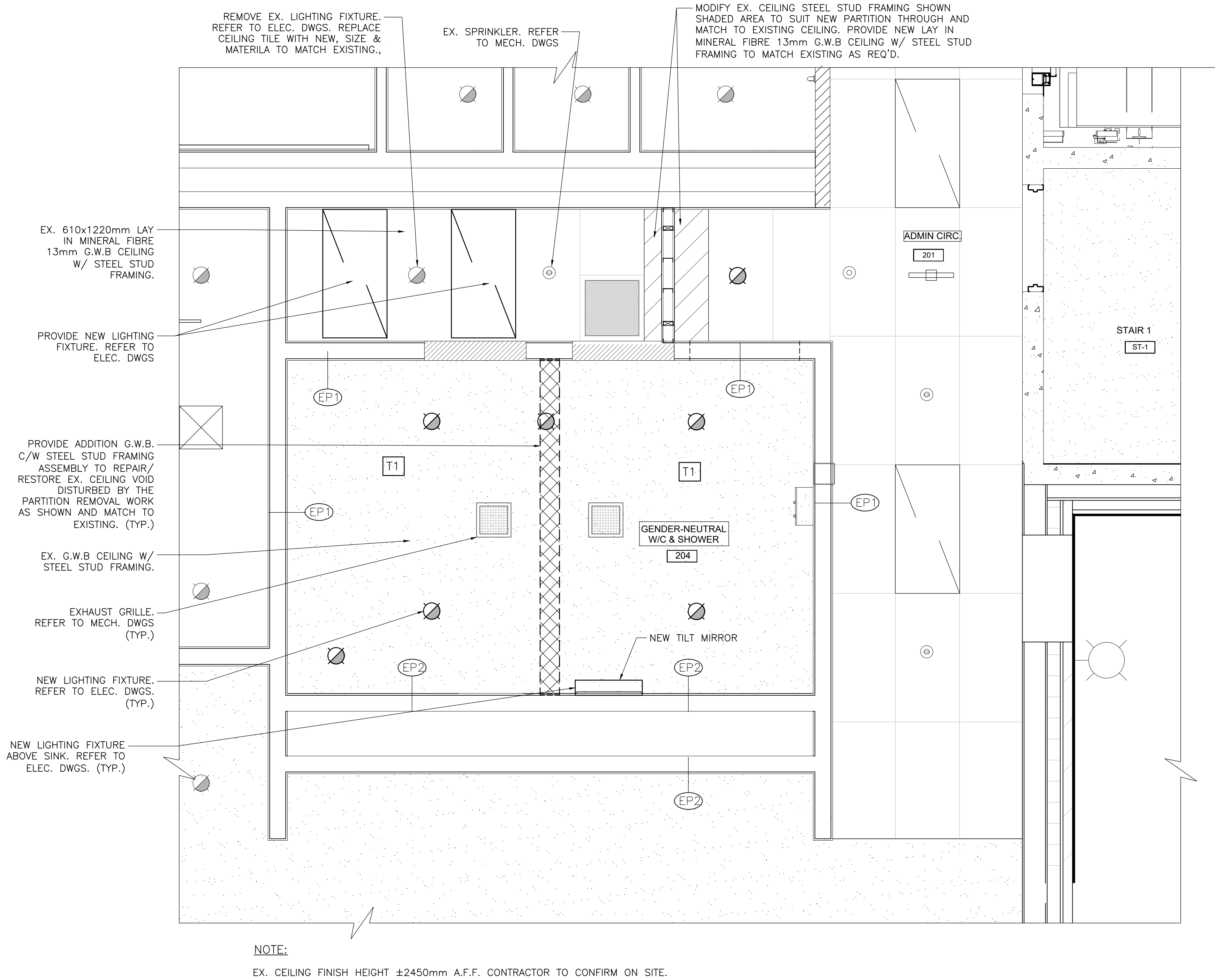
2902 SOUTH SHERIDAN WAY,
SUITE 300
OAKVILLE, ON, L6J 7L6
TEL: (905) 274-7556
FAX: (905) 274-5382
E-mail: info@moon-matz.com

PROJECT TITLE AND ADDRESS
**GENDER NEUTRAL CHANGEROOM AT
TOMKEN AND RISING HILL**
6825 TOMKEN ROAD, MISSISSAUGA, ONTARIO

DRAWING TITLE
**TYP. WASHROOM ACCESSORIES
INSTALLATION DETAIL, DOOR
SCHEDULE & ROOM FINISH SCHEDULE**



DRAWN BY B.L.	CHECKED BY C.M.
SCALE AS SHOWN	DATE 30/05/2022
CONSULTANT PROJECT NUMBER 6543	REGION OF PEEL PROJECT NUMBER 23602
PURCHASING DOCUMENT NUMBER:	DRAWING NUMBER A04



INTERIOR ROOM FINISH SCHEDULE

DESCRIPTION	FINISH	COLOUR	COMMENTS
F1	FLOOR	NEW EPOXY NON-SLIP FLOORING.	SEE COMMENTS
P1	WALLS & G.W.B CEILING	EX. G.W.B PARTITION & G.W.B CEILING. NEW PAINT: 1 COAT PRIMER & 2 COATS FINISH LATEX PAINT.	TO MATCH EXISTING WALL TILE
T1	WALLS	NEW CERAMIC WALL TILE 4"x16". SIZE AND COLOUR TO MATCH EXISTING (CT-1/CT-2/CT-3).	SEE COMMENTS
STORAGE ROOM 205	FLOOR	NEW FLOORING.	SEE SPECS
	CEILING	EXISTING LAY IN MINERAL FIBRE G.W.B CEILING PANEL SYSTEM	TO MATCH EXISTING
	WALLS	PROVIDE NEW PAINT FOR EXISTING PARTITION WALL SURFACES	
GENDER-NEUTRAL WASHROOM 204	FLOOR	NEW FLOORING.	SEE SPECS
	TOILET	PROVIDE NEW WASHROOM ACCESSORIES AS SHOWN	
	CEILING	REPAIR / RESTORE EX. G.W.B CEILING SYSTEM. PROVIDE NEW PAINT.	WHITE
	WALLS	PROVIDE NEW CERAMIC WALL TILE.	COLOUR & TO MATCH EXISTING



ISSUES AND REVISIONS			
No.	ISSUE OR REVISION TO DRAWING	DATE	BY
1	ISSUED FOR DESIGN REVIEW	30/05/2022	C.M.
2	REVISED PER CLIENT COMMENTS	29/06/2022	C.M.
3	ISSUED FOR 50% DESIGN REVIEW	13/04/2023	C.M.
4	ISSUED FOR 100% DESIGN REVIEW	01/06/2023	C.M.
5	ISSUED FOR TENDER	21/07/2023	C.M.
6	ISSUED FOR ADDENDUM NO. 2	20/09/2023	C.M.



10 PEEL CENTRE DRIVE
BRAMPTON, ONTARIO
L6T 4B9
TEL: (905) 791-7800



2902 SOUTH SHERIDAN WAY,
SUITE 300
OAKVILLE, ON. L6J 7L6
TEL: (905) 274-7556
FAX: (905) 274-5382
E-mail: info@moon-matz.com

PROJECT TITLE AND ADDRESS
**GENDER NEUTRAL CHANGEROOM AT
TOMKEN AND RISING HILL**
25 RISING HILL RIDGE, BRAMPTON, ONTARIO

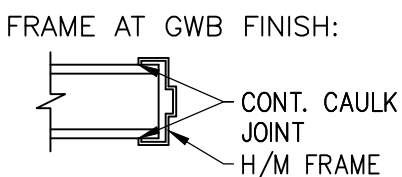
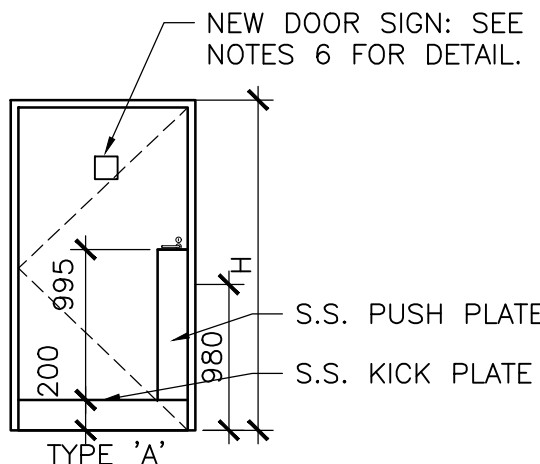
DRAWING TITLE
**WASHROOM & SHOWER RCP, DOOR
SCHEDULE AND ROOM FINISH SCHEDULE**

TRUE NORTH	CONSTRUCTION NORTH
DRAWN BY B.L.	CHECKED BY C.M.
SCALE AS SHOWN	DATE 30/05/2022
CONSULTANT PROJECT NUMBER 6542	REGION OF PEEL PROJECT NUMBER 23602
PURCHASING DOCUMENT NUMBER:	DRAWING NUMBER A04

1 PART PLAN - GENDER-NEUTRAL W/C & SHOWER RCP
A04 Scale: 1:25

DOOR SCHEDULE

TAG				DOOR										FRAME						HARDWARE					REMARKS			
				SIZE			MATERIAL				FINISHES		MATERIAL		FINISH													
DOOR NUMBER	DOOR TO BE REPLACED	DOOR TO REMAIN	NEW DOOR	TYPE	DOOR WIDTH	DOOR HEIGHT	DOOR THICKNESS	SINGLE/PAIR	FIRE RATING (HOURS)	SOLID WOOD	GALVANIZED STEEL	HOLLOW METAL THERMALLY INSULATED LITE	GALVANIZED STEEL	PAINT	STAIN	ALUMINUM THRESHOLD	GALVANIZED STEEL	HOLLOW METAL THERMALLY INSULATED	PAINT	STAIN	JAMB TYPE	PAIRS OF HINGES REQ'D	CLOSER & DOOR STOP	EXIT DEVICE		LOCKSET REQUIRED	DOOR OPENER REQUIRED	
D01			•	A	±1098	±2150	45	S				•		•				•		•		A	2	•		•		PROVIDE REDUCER AT FLOORING TRANSITION
D02			•	A	±914	±2150	45	S				•		•				•		•		A	2	•		•		



JAMB DETAIL 'A'



FIG. 4.



FIG. 5.

DOOR NOTES:

- PROVIDE NEW HARDWARE AND ACCESSORIES FOR DOOR D01 & D02, AS SPECIFIED. MORTISE LOCKS; PRIVACY SET, STAINLESS STEEL FINISH, HEAVY DUTY GRADE 1, SCHLAGE 'J' SERIES 'MARIN' STYLE LEVER OR EQ; DOOR STOP TO BE BALDWIN 4100 OR EQ. DOOR CLOSER: HEAVY DUTY; PARALLEL ARM (PULL SIDE) LCN MODEL 4040XP; PA SHOE-4040-62A.
- NEW HOLLOW METAL DOOR AND FRAME TO BE 16 GA., FULL MORTISE HINGE: TWO (2) PAIR HEAVY DUTY BEARING HINGES; MCKINNEY MODEL T4 NRP, COMPLETE WITH NON-REMOVEABLE PIN, SATIN STAINLESS STEEL FINISH 630. CONTINUOUSLY WELDED EDGE, FINISHED WITH TWO COATS OF PAINT, COLOUR TO MATCH EXISTING BASE BUILDING SECOND FLOOR DOORS COLOUR OR BY THE OWNER.
- DOOR PROTECTION PLATES: 200 X 850 (KICK)mm + 200x995(PUSH)mm KICK PLATE, 1.27 MM THICK, SS#4 FINISH.
- DOOR LOCK/KEY/CYLINDER HARDWARE SHOULD BE KEYED TO OWNER STANDARD (MEDECO). COORDINATE WITH OWNER AS REQ'D.
- DOOR SIGNAGE:
PROVIDE SIGNS ON DOOR D01 - 6"x9"x1/8" BRILLE SIGN "ALL GENDER RESTROOM" WITH GRAPHIC AND INTERNATIONAL ALL GENDER SYMBOL; REFER TO FIG. 4 AND ALUM. 8"x8"x1/8" BRILLE SIGN "SHOWER" WITH GRAPHIC AND INTERNATIONAL ALL GENDER SYMBOL; REFER TO FIG. 5.
- THE DOORS DIMENSIONS SHOWN ON DRAWINGS & SCHEDULE ARE APPROXIMATE. CONTRACTOR TO BE CONFIRMED ALL DOOR DIMENSIONS ON SITE PRIOR TO ORDERING / INSTALLATION OF NEW DOOR.