

project: General Interior Renovations of 250 College
St. Ground, 8, 9, 10, & 11th floors ADD # 01

CAMH RFP # 1175.23 date: 2023-08-30
HJA proj no: 22-48

page 1 of: 16 + Attachment

This addendum forms part of the contract documents and is to be read, interpreted, and co-ordinated with all other parts. The cost of all contained herein is to be included in the stipulated bid price. The following revisions supersede the information contained in the original drawings and specifications issued for the above-named project to the extent referenced and shall become part thereof. Acknowledge receipt of this Addendum by inserting its number on the tender form. Failure to do so may subject bidder to disqualification.

Issued to CAMH by email

1.0 SUBMISSION DEADLINE

- 1.1 REVISE Submission Date to Monday September 18, 2023 – 3:00pm ET
- 1.2 Work to Start, Substantial Completion, and Completion dates in 3.1.1 Timetable of the RFP will remain the same.

2.0 QUESTIONS

Similar questions received from Bidders have not been repeated in the Q&A section of this addendum.

.1 GENERAL QUESTIONS

Question 1.1 Please provide a list of mandatory trades who work in the building (building manual)?

Response: The following are the mandatory trades to be carried by the Contractor. The Contractor may select their own qualified sub-contractors to perform the work for all other trade sections required by the work.

BAS – Jonhson Controls
Fire Alarm and Sprinklers – Safe Assured
Cameras, maglocks and card readers - Fitch

Question 1.2 Based on the site drawings do we need IPAC hoarding or any regular hoarding during the construction phase?

Response: Provide IPAC measures stipulated in CAMH Prevention of Construction or Maintenance Related Infectious Hazards policy AF 5.5.6 with effective date June 7, 2023 issued with this addendum
Construction Activity – Type C
Population Risk Group: 1
Preventative Measures: Class II-Orange

For clarity, the 9th and 10th are the only unoccupied floors. All other floors (ground, 8th, and 11th) are occupied outside of the scope of work areas.

- Question 1.3 Is there a mandatory company for scan, cut and core? Also do we include engineering review fee?
- Response: No mandatory scanning or coring company. Contractor to engage a qualified company to carryout this work. Yes, cost of engineering review to be included in the bid. See 2.4.4 on dwg AS-04.
- Question 1.4 Clarify if Bid Bond is required. If so, what's the term and what is the validity period of this proposal.
- Response: As per Mandatory Requirement # 3, Proponents are to provide a letter from Surety for ability to provide Bonds for 50% Labour and 50% Materials. Validity of bonds to end of warranty period. Discussions about the terms of these bonds will be made with successful proponent at the post conditional award stage.
- Question 1.5 To what name should bid bond be issued?
- Response: A bid bond is not required. Per Mandatory Requirement # 3, Proponents are to provide a letter from Surety for ability to provide Bonds for 50% Labour and 50% Materials. Discussions as to whom the labour and material bonds will be made with the successful proponent at the post conditional award stage.
- Question 1.6 Does this project require builder's risk and wrap up insurance?
- Response: Per Mandatory requirement # 1, Proponents are to confirm ability to meet CAMH's standard insurance requirements of General Liability insurance with limits not less than \$5,000,000 per occurrence. The cost of this insurance is to be included in the bid.
- Question 1.7 The top of page 2 states:
"Each proponent is requested to provide three (3) references from clients who have obtained similar goods or services to those requested in the RFP from the proponent in the last 3 years."
- Can proponents provide client references from the past 7 years?
- Response: Yes proponent may provide Client references from past 7 years.
- Question 1.8 Please indicate what is the phasing of this project? Are we allowed to do work simultaneously in all floors or any specific sequence to be followed?
- Response: Phasing of the Work is not required. The Contractor may work on all floors simultaneously. Indicate approach to carrying out construction in project schedule to be submitted with the bid.
- Question 1.9 Could you please provide a copy of the Contractors and sub-contractors that attended the meeting?
- Response: CAMH is unable to share this information

- Question 1.10 Bid Price to be inclusive of Cash Allowance of \$61,500. Is this correct?
Response: Correct.
- Question 1.11 Please confirm if we must take into consideration of abatement in our demolition scope of work? Because the price bid sheet asks us to include allowance for this scope of work. However, in the site walkthrough the designer mentioned it must be included in demolition scope of work. please clarify
Response: As mentioned in the bidders meeting, all abatement that is required for items identified to be removed or that will be disturbed to carryout the work are to be carried in the base bid and not in the cash allowance. The DSS report issued with the tender documents identifies where asbestos occurs, and the Abatement specifications indicates the abatement procedures to be employed. The Cash allowance of \$61,500 is for the sole purpose of addressing unforeseen conditions where additional abatement may be necessary.
- Question 1.12 Is all the work regular hours?
Response: See 1.13 Work Restrictions on dwg AS-01
- Question 1.13 Please confirm if we can bring our trades to see site.
Response: CAMH will not be able to accommodate additional visits
- Question 1.14 Please confirm how long bids are to be valid?
Response: From Submission Date until Contract Signing. Refer to section 4.3.2 Timeframe for Negotiations in the RFP. Notwithstanding the above, the validity of the bid shall not be less than 60days from date of submission.
- Question 1.15 Please specify if there is any union requirements for any trade in this building.
Response: No union requirements.
- Question 1.16 Please confirm that all non-fixed fixtures are to be removed by CAMH prior to construction.
Response: All loose furnishings and computers will be removed by CAMH prior to Contractor commencing work on site.
- Question 1.17 Please provide information on the base building Structural Engineer (conflicts with Architectural Specification AS-03- Note # 1.26.3, AS-04 2.4.4). Please confirm direction, or contact for BB Structural Engineer.
Response: There is no base building engineer. Bidder shall include for a professional engineer licensed to practice in the Province of Ontario to undertake the structural review work identified in the bid documents.
- Question 1.18 In appendix "C" the bid form, there's unit prices for the access control & communication, should we only account for the conduit/outlet box rough-in for both disciplines, are we to carry the Security & Comms contractors price in our quote, if so can we get their contacts?
Response: The access control and communication line items referred to in the above question are in the Itemized Price Breakdown of Schedule C and not the Unit Price

section of Schedule C. Itemized price is the price for a particular component of the work indicated in the table from the Total Bid Price submitted. The sum of the itemized components shall total the Bid Price.

Question 1.19 It has been requested that we provide our current CAD7 WSIB Rating Form or Merit Adjusted Premium Statement (whichever applies). The Merit Adjusted Premium Program and CAD7 program were discontinued in 2020. Please let us know if you would like us to submit our CAD7 from 2020 or if you would like a different document submitted.

Response: Submit WSIB Clearance certificate with a minimum validity period to the bid submission date.

.2 ARCHITECTURAL QUESTIONS

Question 2.1

Appendix A indicates the Form of Agreement to be CCDC 2 - 2020 as amended by your Supplementary Conditions, a Stipulated Price Contract. Article A-1 of CCDC 2 - 2020 sets out, in Item 1.1, "perform the Work required by the Contract Documents for.....". The basis of the Bid Price and the elements that form the Contract are the Bid Documents that the Bidders are to utilize to establish the requirements including approximate quantities, even on existing structures. There isn't a single dimension provided on any of the Architectural Drawings, nothing for any Bidder, Supplier or Subcontractor to establish the quantities of materials to be either removed or provided. The fifth point of Item A within Appendix E indicates expectation that the Bidder is to take measurements to determine the extent of the work. This would mean that the Bidder's Documents, with the Bidder's dimensions, would have to be the basis of the Contract, not those prepared by the Consultants, and there is a high probability that Bidders will have different quantities based upon their attempt to understand the design intent exposing the Owner to risk that the Bidder's quantities do not meet the design expectation. Is this what the Owner wants, that each Bidder has their own quantities potentially leaving a difference of opinion between the Consultant and Contractor as to the actual requirements? Why are Bidders completing the Drawings? Additionally when Bidders assemble the information and convey to invited Subcontractors and Suppliers the Bidders are now asking the Subcontractors and Suppliers to disregard the Consultants Drawings / Specifications, that such no longer are to be considered the Bid Documents, that what the Contractor has been required to amend and issue is what the Trades are to utilize in pricing the proposed work, entirely contradicting the Instructions to Bidders and the intent of Item 1.1 of Article A-1 of CCDC 2 - 2020. Please have the Consultants complete their Bid Documents by providing the required dimensions including indication of the heights so that Trades, such as Painters, can determine surface areas of walls and bulkheads, etc..

If the Consultants will not provide dimensions and the Owner is prepared to assume the risk associated with having Bidders determining the actual extent of the requirements please allocate no less than 5 business days for Bidders, with their selected Subcontractors and Suppliers, to have uninterrupted and free access to all areas subject to the proposed renovations so to measure each

room, space and corridor to complete the dimensioning requirements; this would allow Bidders a business day per floor plus an additional day for follow-up / supplemental review, to document all required measurements. Given the current indication of the initial date for the Mandatory Site Visit and the time requirement for Bidders to accumulate the required information please then allow the Bidders 2 business days to tabulate and distribute the supplemented Bid Documents and maintained the currently allowed 5 business days for Bidders to collect, tabulate and populate your RFI Form for submission through this portal. As such please revise Item 3.1.1 Timetable of the RFP to allocate the 5 business days for site review and measuring, 2 business days for tabulation and distribution of supplemental Bid Information, and 5 business days for review and assembly of questions into your RFI Form resulting in need for further revision to the date for final addenda and Bid Closing. Alternatively, please have the Consultants provide the missing information, specifically dimensions of all spaces, including provision of vertical dimensions including floor to floor heights, and the re-issue the updated and complete Bid Documents.

Response: Drawings A-500 and A-501 dated Aug 28, 2023 are issued with this addendum. These drawings provide overall approximate dimensions and areas of the areas of work. These drawings are issued for the express purpose to enable bidders to perform approximate takeoffs to provide work and materials requested. Verification of actual as-built site dimensions for all aspects of the work will be the responsibility of the successful bidder.

Ceiling heights within the work area are indicated in New Ceiling plans in dwgs A-207 to A-212

Question 2.2

Fixtures, furniture and equipment supplied by owner. Please indicate if we are to allow for installation or installation by others? - if installation by General contractor please indicate if we require to transport / upload all staff from any specific location - clarify if any bolted furniture or equipment to be installed by general contractor

Response: All fixtures, furniture and equipment will be supplied and installed by Owner's vendor. Contractor to co-ordinate this work . See 1.3 in Dwg AS-01 and 1.33 in Dwg AS-03. There is no bolted down furniture to be installed under this contract. Exceptions to the above are as follows which are to be work provided under this contract:

- .1 Relocation and installation of large screen wall mounted monitors located at 33 Russell (building adjacent to 250 College) as noted in 1.3.1.3 on Dwg AS-01. The Contractor is to walk the 33 Russell site with CAMH where CAMH will identify the large screen monitors and associated mounting racks and cables to be relocated and installed to the boardrooms and meeting rooms within the area of work in 250 College Street. One monitor is to be installed in each of the boardroom and meeting rooms in the area of work. The Contractor shall include for installation of surface mounted plywood blocking when installing on existing walls and blocking within walls when installing in new partitions. Exposed blocking shall be painted prior to installation of monitors. Contractor shall provide recessed power and data outlets for each monitor installed. Locate outlets behind the monitor. Review location with consultant prior to installation.
- .2 Two portable AC units located at 33 Russell are to be moved to Workstation 819 and connected to ductwork provided under this Contract. See mechanical and electrical dwgs.

- .3 The above items are located on various floors at 33 Russell. There is an elevator at 33 Russell available to the Contractor to move these items

Question 2.3 9.6.3.3 indicates only MPI Environmentally Paint will be acceptable for use - but product listed as acceptable under 9.6.3.1 Ultra Spec Scuff-X product are not listed on the MPI Approved Product List. Please confirm if MPI approved products meeting this requirement from other manufacturers will be accepted?

Response: Ultra Spec Scuff X paint is to be used on all surfaces identified in 9.6.3.1. All other surfaces identified to receive paint finish shall be from a manufacturer's top line MPI listed environmentally friendly paint. See 9.6.3.2 and 9.6.3.3.

Question 2.4

- 1) We have some notes on the project to patch and repair wall scars with a VCT. However, the areas effected call for CPT. I'm sure this is something overlooked by the design team. The example below can be found on drawing A-205. It's noted throughout the drawings that ask for the repair of wall scars.
- 2) The noted VCT-1 is mentioned to match existing. Is it possible to get the actual spec to ensure the product is still available and to provide accurate pricing?

Response:

- 1) Carpet tile is to be provided as specified. It is to be installed over the existing VCT. It is assumed in the design that there is no existing VCT flooring in the areas where partitions are called to be removed. The intent of key notes such as 06 on dwg A-205 is to fill in these floor areas with VCT to make flush with adjacent VCT prior to installation of carpet tile so the finished carpet tile flooring will lay flat without having a depression along where partitions or millwork has been removed.
- 2) See 9.3.11.2 on AS-05 and as indicated on drawings A-203, 204, 205 under Materials & Finishes Schedule. The Consultant reserves the right to request different colours from the same VCT tile series in lieu of the colours specified. Allow up to 4 different colours to be used on this project.

Question 2.5 Please provide deck height.

Response: Approximate height to underside of floor slab above exclusive of beams are as follows:

1. Ground floor: 10'-8" ft ±
2. Tower floors (8th, 9th, 10th and 11th): 10'-5" ft ±
3. Penthouse where condenser and refrigerant lines are to run: 15'-2" ft ±

Ceiling heights are provided on Reflected Ceiling Plans. GC to verify on site.

Approximate ceiling heights are shown on A-201 to A-212

Question 2.6 Please provide a window schedule / quantities and approximate dimensions for all windows requiring roller shades

Response: See item 7.2 of this addendum

Question 2.7 Is GC to include for removing old blinds and installing new ones for full floor on ground, 8th and 11th floor as well? Or only for the area where scope of work is done? Please clarify?

Response: Removal of existing blinds and installation of new ones are only within the area of work on ground, 8th, 9th, 10th, and 11th floors. See also answer to question 2.6.

Question 2.8 The architectural Drawings on A-100 specify "Existing access control to be deactivated. See electric for devices to be activated and/or removed". Please confirm the necessary hardware and door preparations required to enable the function to work properly.

Response: For doors where access control devices are to be deactivated (see dwg A-100 and Electrical dwgs), existing door hardware are to be left in place unless noted otherwise on Door Schedule 3/A-001.

Question 2.9 No hardware schedule identified on tender documents / please clarify. At site meeting it was mentioned a hardware consultant will be required. Please indicate what is the scope of services to be provided by this hardware consultant and confirm hardware consultant will be part of general contractor cost

Response: See hardware requirements on Door Schedule & Legend on 3/A-001 and 8.5 Hardware in dwg AS-05. The scope of work to be provided by the hardware supplier's consultant is identified in 8.5.1.

Question 2.10 Are there "As Built Structural" Drawings for this building?

Response: There are some basic structural drawings for the original building. They will be provided to the successful bidder.

Question 2.11 Please clarify if all perimeter washrooms in 9F & 10F are to receive new self leveling & vinyl flooring as per note:9.3.2 of AS-05 (as these areas are hatched NIC as per related demo & construction plans

Response: All washrooms on 9th and 10th floors are not included in scope of work except for installation of door stops in 3 washrooms per 8.5.11 on dwg AS-05.

Question 2.12 on A111 existing cameras are to stay or removed

Response: All existing cameras are to be removed in all areas where referenced in Electrical Drawings with letter 'R'

3.0 ELECTRICAL AND COMMUNICATION QUESTIONS

Question 3.1 Please provide model # or pre-approved manufacturer for new occupancy sensors on this project. Secondly, can you please clarify what time of relays are required.

Response: All new shall be watt stopper/Legrand DT-305 series or equal, ceiling type. Provide all additional relays as required.

Question 3.2 Please confirm if 3rd party fire alarm verification is required on this project.

- Response: Yes, use approved building vendor (see General section of questions)
- Question 3.3 Please provide model # or pre-approved manufacturer. For Pac Poles used on this project. Additionally, can you please provide the height required?
- Response: Legrand AMDTP-4 SERIES, 9' adjustable height.
- Question 3.4 Please confirm that only switches that have been removed "R" as per demo drawings are to be replaced
- Response: Correct
- Question 3.5 In room 1001 have "ER" abbreviation is beside 2 fixtures. Please confirm if we are to provide & install 2 new type "A" fixtures. Or reuse existing.
- Response: These fixtures are relocated see E208 noted as 'RE'
- Question 3.6 Please confirm if we are to carry decommissioning costs for existing nurse call system. And if so, please provide contact info for nurse call system vendor.
- Response: Not to be decommissioned, all devices are to be removed and wiring coiled back into ceiling space.
- Question 3.7 Please confirm if we are to supply and install a new rack on the following floors: Ground, 8, 9 10 & 11TH Floor
- Response: New Rack is only on 9th floor in room 950.
- Question 3.8 Please confirm the use of armored cable (AC90) is acceptable for use on this project.
- Response: Only in plenum ceilings and branch wiring in stud walls.
- Question 3.9 Please confirm that all switches shown on the drawings that are not "bolded" are existing to remain. And new switches are not required.
- Response: Switches on demo plans are all existing to remain unless tagged as 'R'.
- Question 3.10 On Drawing E3.02 point 10 it says cabling to be done by owner, can you please clarify if communications scope is done by GC or owner?
- Response: All data wiring and scope by the electrical contractor and their applicable comms sub.
- Question 3.11 Confirm for the new door security we are only doing a conduit/outlet box rough-in, the demo as well as the cabling & devices are supplied & installed by others.
- Response: All security devices are roughed in by the electrical contractor, add new wiring to extend circuit for relocated devices (readers). Salvage devices where noted, all commissioning by owners security contractor.
- Question 3.12 Where is the Nurse Call Control Panel located?
- Response: Nurse control panels are located in rooms G189, 947, 1053

- Question 3.13 Which Drawings takes precedence for the quantity & locations of existing cameras to be removed on the 9th floor? A-110 show 8 to be removed, E-306 shows 11. A-110 shown below referencing E-3.06
- Response: **E-306 takes precedence.** All cameras are to be removed in all areas as noted on Electrical plans as 'R'.
- Question 3.14 Please confirm which notation we are to follow. A-111 notation (shown below) request existing cameras to remain. E-308 show the cameras to be removed. Please advise. Please confirm if 3rd party fire alarm verification is required on this project.
- Response: E-308 takes precedence. 3rd party FA verification is required. See question 1.1 in General Questions section of this addendum for FA vendor to be carried.
- Question 3.15 Please confirm all existing lighting circuits are 120V.
- Response: **Yes.**
- Question 3.16 G3000 wiremold is not manufactured in 2 channel. Please clarify which type of wiremold you would like us to supply and install.
- Response: Utilize LEGRAND G5000 Series.
- Question 3.17 Please confirm if Belden is an approved manufacturer/vendor on this project
- Response: **Yes.**
- Question 3.18 With reference to DWG C2.1 drawing note number 12 and 13, please confirm if we have to supply the mentioned 44U 4-Post Rack with indicated VCM and PDU on the ground floor North side and south side Hubrooms and on the 9th floor Hubroom (Room 931)?
- Response: New rack is only required on the 9th floor.
- Question 3.19 Can you confirm if there is cabling manufacture we must quote? The specs do not mention any specific MFG only spec requirement for the data cabling.
- Response: Belden or equal cabling is expected.
- Question 3.20 On drawing E2.01 reference note N-1, there aren't any switches shown in room G176, confirm we are removing the existing emergency switch & connecting all the lights to the existing normal switch or is this new switching?
- Response: Correct.
- Question 3.21 On drawings E2.02, 03 in room G69B confirm we are removing the switch at the 2nd door and adding a new switch at the door leading into the rooms from the corridor, I'm guessing as there aren't any existing switches shown.
- Response: There is a switch at the door into room from corridor, all lights in the spaces to be consolidated to be controlled from that same switch.

- Question 3.22 On drawing E2.03 reference note #1, confirm there is 2 switches in each room, it's not consistent, & we're removing the emergency switch & just connecting both lights to the normal switch, can we get a wiring diagram of how these fixtures are wired now?
- Response: A wiring diagram is not available. Make allowance to remove switching ULC954 relay and wire fixture to normal lighting controlled switch.
- Question 3.23 Drawing E2.05 has 5 drawing reference notes however I can only find N-5, please advise.
- Response: Ignore notes N-1.2.3.4 for this drawing.
- Question 3.24 Drawing E2.07 can we get a spec for the ceiling occupancy sensors, on drawing E1.2 the legend refers to the ceiling mtd. occupancy sensors as OCC, the ones on the drawing are OS1, are these 120v or low voltage with a power pack?
- Response: Sensor shall be LEGRAND low voltage, provide added relays to operate all corridor fixtures together.
- Question 3.25 Confirm the new pac poles are part of the furniture?
- Response: No, all by electrical trades, see previous question regarding pac poles.
- Question 3.26 What make are the existing electrical panels?
- Response: Varied, to be confirmed on site.
- Question 3.27 On drawing E3.06 in general note #3 are the security devices being removed by the base building security contractor?
- Response: No, removed by electrical contractor and turned over to owner, salvaged devices such as readers to be reused as noted.
- Question 3.28 On drawing E3.07 note #2, confirm the new Comm rack is in storage/copier room #931, are we to carry the Comms contractor price in our quote, if so can we get the contact?
- Response: All comms costs carried by electrical contractor, same to carry their own vendor/sub to complete all work.
- Question 3.29 Confirm that V700 wiremold is suitable for the surface mounted raceways, is the standard colour ok?
- Response: Yes, suitable for concealing of new receptacle single circuits and ethernet cabling drops.
- Question 3.30 On drawing C1.1 spec section #10 there is existing cable tray, can we get a layout drawing of this existing cable tray so we know where J-Hooks are required?
- Response: None exists, use J hooks in ceiling plenum, add where specified spaced in notes and spec.
- Question 3.31 On drawing C1.1 is the new fiber back=bone being supplied & installed by the Comms contractor.

Response: No, supplied by electrical trade, see Addendum E1.

Question 3.32 On drawing E1.3 Luminaire Schedule, the exit lights are to have both A/C & D/C voltage, are both voltages available at the exit lights we're replacing?

Response: Yes.

Question 3.33 On drawings E3.06 & 08 drawing reference note #3, is the Nurse Call contractor taking care of this, are we to carry the Nurse Call contractors price in our quote, if so can we get the contact?

Response: See previous notes regarding decommissioning of nurse call system.

Question 3.34 On drawing E3.00 drawing general note #3 are we responsible for the removal of the security devices or is this being done by the owners security contractor?

Response: See previous notes.

Question 3.35 On drawing E3.01 security notes #2 & #3 it mentions we're to do the conduit/outlet box rough-in, the wiring & devices are by others, also to extend the control wiring/power from the local panel, is this the security control panel & where is it located, also what size empty conduit do we need to extend as we don't know how many wires are required?

Response: See previous notes, all existing security panels are in corridor closets adjacent to electrical panel shown on each floor.

Question 3.36 In appendix "C" the bid form, there's unit prices for the access control & communication, should we only account for the conduit/outlet box rough-in for both disciplines, are we to carry the Security & Comms contractors price in our quote, if so can we get their contacts?

Response: See response to question 1.18. Bid price to include all access control and communication work identified in the drawings.

Question 3.37 There's a limited amount of Fire Alarm work to be done, are we to carry the Fire Alarm contractors price in our quote, if so can we get the contact?

Response: FA verification is part of scope of work. Contractor shall carry base building FA vendor identified in this addendum.

Question 3.40 Where is the Fire Alarm Control Panel located?

Response: Main security room on ground floor.

Question 3.41 Do we need to carry 3rd party Fire Alarm verification, if so can we get a contact?

Response: Yes, architect to provide vendor details.

Question 3.42 Do the receptacles & data outlets need lamacoid identification?

Response: No, label maker style is acceptable.

- Question 3.43 Please confirm the cabling manufacturer / system we must quote on? - The specs do not mention any specific MFG, only spec requirements for the data cabling
Response: Belden or equal cabling is expected.
- Question 3.44 There are some new bold device markings on C2.3 & C2.4 which are not marked with "N-2" , please clarify if those are "N-2"
Response: See previous notes.
- Question 3.45 On drawing E3.01 ground floor north drawing reference note N-2 mentions taking the comms cables to the new rack in room #931, on drawing E3.03 ground floor south drawing reference note N-2 mentions taking the comms cables to the new rack in #166, since this is the same floor shouldn't they all go to the same place?
Response: See previous notes.
- Question 3.46 On drawing E3.01 if the cables have to go to #931 indicate where we should core the slab in order to get there.
Response: Coring is shown in corridor closets near electrical panel, sleeves identified.
- Question 3.47 On drawing E3.03 drawing general note #18 where is this Fire Alarm DGP?
Response: Main security room on ground floor.
- Question 3.48 There are some new bold device markings on C2.3 & C2.4 which are not marked with "N-2" , please clarify if those are "N-2"
Response: See previous notes.
- Question 3.49 Note N-5 is noted in the legend, but not found on drawings. Please confirm the (3) locations highlighted on the drawings are new exit signs, and that the remaining existing exit signs are to remain untouched.
Response: This is accurate, new exit signs on new lighting plans are intended to be tagged with note 'N-5'
- Question 3.50 There are some new bold device markings on C2.3 & C2.4 which are not marked with "N-2" , please clarify if those are "N-2"
Response: Yes these outlets are new as designated per note 'N-2'

4.0 MECHANICAL QUESTIONS

- Question 4.1 Please confirm if sprinkler work is part of the project? We don't see any associated drawings
Response: Only a portion of the Ground Floor Plan is sprinklered. There is no sprinkler work involved under this project and therefore there are no sprinkler drawings issued. All Existing sprinkler heads in partial ground floor are to remain.
- Question 4.2 Can you please clarify if GC will be installing client supplied furniture and equipment does? or does GC need to co-ordinate only?

Response: For mechanical equipment, refer to the 8th floor drawing notes, where the portable AC units are provided by CAMH and installed by mechanical contractor. GC shall coordinate work to assist mechanical contractor with ceiling removals and repairs to match existing as required.

Question 4.3 Please identify scope of work for sprinkler system if any and identify who base building sprinkler contractor is?

Response: Only a portion of the Ground Floor Plan is sprinklered. There is no sprinkler work involved under this project and therefore there are no sprinkler drawings issued. All Existing sprinkler heads in partial ground floor are to remain.

Question 4.4 Fixtures, furniture and equipment supplied by owner. Please indicate if we are to allow for installation or installation by others? - if installation by General contractor please indicate if we require to transport / upload all staff from any specific location - clarify if any bolted furniture or equipment to be installed by general contractor.

Response: For mechanical equipment, refer to the 8th floor drawing notes, where the portable AC units are provided by CAMH and installed by mechanical contractor. GC shall coordinate work to assist mechanical contractor with ceiling removals and repairs to match existing as required.

Question 4.5 Can you please provide some pictures of the roof by new mechanical work?

Response: The CU unit location on the roof has been revised. The photo indicates the roof area at the revised location. Low roof at mechanical penthouse level.

Question 4.6 On drawing M-200, M-201, M-202 and M-203 there is a general note stating to allow relocation of sanitary, vent, domestic cold water and hot water risers per floor. Is this one riser only from 8th to 10th floor or multiple risers on each floor?

Response: General note #4 is not applicable to these plans anymore and therefore it has been deleted.

Question 4.7 "Existing plumbing services that continue to serve as a riser shall be relocated_____". We request to consider this item as a cash allowance. Without knowing the new location and path we can not allocate proper cost for this. This work may lead to big amount.

Response: General note #4 is not applicable to these plans anymore and therefore it has been deleted.

Question 4.8 Can you please confirm specification of AC-8 Unit mention on Sheet M-300

Response: AC-8 is not applicable to the project. AC-8 unit has been deleted along with the associated refrigerant piping, condensate pump and pumped condensate line.

Question 4.9 Please confirm if AC-08 is to be a part of this construction. It is shown on M-300, but it is not identified on the equipment schedule on M-103. Only 7 units are identified. Please confirm.

- Response: AC-8 is not applicable to the project. AC-8 unit has been deleted along with the associated refrigerant piping, condensate pump and pumped condensate line.
- Question 4.10 Please confirm the location for note #8 details. The notation is not shown on the drawing, M-301.
- Response: Please refer to the updated drawings which indicate the proper tagging of the HVAC system.
- Question 4.11 "Can you please provide details of the existing services in the Mechanical Chase
- Size of existing Sanitary Stack
- Condition of existing Sanitary Stack (assumed currently able to accept modifications for new HB connection
- Location of existing Vent Piping in the Mechanical Chase
- Response: Please refer to the updated drawings for more information on the approximate location of all the services inside the mechanical shaft for 9th and 10th floor.
- Question 4.12 Confirm that new Hub Drains are required for 9, 10 and 11th floors (noted in legend for 10&11th floor, not shown on 9th notes. Are we able to tie into the existing vent line, or are we to provide a new dedicated vent line as a part of this scope (if new HB's are required). Note below found on M-301 only
- Response: Please refer to the updated floor plans for the required hub drains. Hub drain is to be connected to the existing sanitary drain line and provided with P-trap, trap seal primer, vent piping etc. All new piping is to be connected to the existing within the pipe chase.
- Question 4.13 Please provide information on the base building Structural Engineer (conflicts with Architectural Specification AS-03- Note # 1.26.3, AS-04 2.4.4) Please confirm direction, or contact for BB Structural Engineer.
- Response: Please refer to the updated floor plans and revised notes in regards to this question. Note #3 has been deleted.

5.0 ACCEPTABLE ALTERNATES

- .1 **No request for alternate products were received during the question period. All bids are to be priced based on materials, products, and systems specified.**

6.0 RFP DOCUMENT

- .1 Appendix C – Rate Bid Form
.1 Reissued with this addendum

7.0 ARCHITECTURAL

- .1 Drawing A-001 Symbol Legend, Abbreviation Legend, Door Schedule & Legend, Location Plan, OBC Matrix.
.1 Drawing dated August 30, 2023 reissued with this addendum.
- .2 Drawing AS-05
.1 ADD 8.5.1.3 to read: "CONFIRM WITH CAMH THAT SPECIFIED CYLINDRICAL AND MORTISE LOCKSET AND DEADBOLT HARDWARE ACCEPTS CAMH'S CYLINDER FOR PATENTED KEYWAY.

- .2 REVISE acceptable product in 8.5.6 to "SCHLAGE ND OR DORMAKABA C100"
 - .3 REVISE 8.5.6.3 to read: "CYLINDER AND KEYS FOR LOCKSETS WILL BE PROVIDED BY CAMH"
 - .4 REVISE 8.5.8 to read: "DEADBOLT – SCHLAGE B SERIES SINGLE CYLINDER. CYLINDER AND KEYS PROVIDED BY CAMH."
 - .5 REVISE 9.3.1.2 to read: "RESILIENT SHEET VINYL FLOORING SYSTEM COMPLETE WITH INTEGRAL COVE BASE."
 - .6 DELETE 9.3.1.4
 - .7 REVISE 9.3.2 to read: "PROVIDE RESILIENT SHEET VINYL FLOORING AND RESILIENT VINYL TILE FLOORING WHERE INDICATED IN DRAWINGS. PROVIDE VINYL BASE AT ALL NEW RESILIENT VINYL TILE FLOORING AND ELSEWHERE AS INDICATED IN DRAWINGS"
 - .8 REVISE 12.1.16 – SCHEDULE to read:
 - ".1 EXTERIOR WINDOWS WITHIN WORK AREA
GROUND FLOOR: 27 WINDOWS *
8TH FLOOR: 22 WINDOWS
9TH FLOOR: 97 WINDOWS
10TH FLOOR: 94 WINDOWS
11TH FLOOR: 23 WINDOWS
TOTAL NUMBER OF WINDOWS TO RECEIVE ROLLER SHADES IS APPROX 263.
TYPICAL WINDOW OPENING DIMESNIONS APPROX 32" X 68". CONTRACTOR TO SITE VERIFY DIMENIONS OF ALL WINDOW OPENINGS PRIOR TO FABRICATION.
* GROUND FLOOR WINDOWS ARE WIDER OR NARROWER IN WIDTH BY APPROXIMATELY 12" FROM THE STANDARD WINDOW WIDTH NOTED. ROLLER SHADES ARE ONLY REQUIRED IN G40, G41, G44, G45, G200, G202.
-
- .3 Drawing A-104 Demolition Plan 9th Floor
 - .1 Drawing dated August 30, 2023 reissued with this addendum.
- .4 Drawing A-105 Demolition Plan 10th Floor
 - .1 Drawing dated August 30, 2023 reissued with this addendum.
- .5 Drawing A-110 Demolition Ceiling Plan 9th Floor
 - .1 Drawing dated August 30, 2023 reissued with this addendum
- .6 Drawing A-111 Demolition Ceiling Plan 10th Floor
 - .1 Drawing dated August 30, 2023 reissued with this addendum
- .7 Drawing A-201 Construction Plan Ground Floor South
 - .1 Drawing dated August 30, 2023 reissued with this addendum
- .8 Drawing A-203 Construction Plan 8th Floor
 - .1 Drawing dated August 30, 2023 reissued with this addendum

- .9 Drawing A-205 Construction Plan 10th Floor
 - .1 Drawing dated August 30, 2023 reissued with this addendum
- .10 Drawing A-207 New Ceiling Plan Ground Floor South
 - .1 Drawing dated August 30, 2023 reissued with this addendum
- .11 Drawing A-208 New Ceiling Plan Ground Floor North
 - .1 Drawing dated August 30, 2023 reissued with this addendum
- .12 Drawing A-210 New Ceiling Plan 9th Floor
 - .1 Drawing dated August 30, 2023 reissued with this addendum
- .13 Drawing A-211 New Ceiling Plan 10th Floor
 - .1 Drawing dated August 30, 2023 reissued with this addendum
- .14 Drawing A-212 New Ceiling Plan 11th Floor
 - .1 Drawing dated August 30, 2023 reissued with this addendum
- .15 Drawing A-303 Furniture, Fixture and Equipment Plan 8th Floor
 - .1 Drawing dated August 30, 2023 reissued with this addendum
- .16 ADD following drawings dated August 30, 2023 issued with this addendum
 - .1 A-400 Interior Elevations
 - .2 A-500 Ground Floor Plan
 - .3 A-501 8th, 9th, 10th and 11th Floor Plans.

8.0 Mechanical Addendum M-1 dated August 30, 2023 issued with this addendum

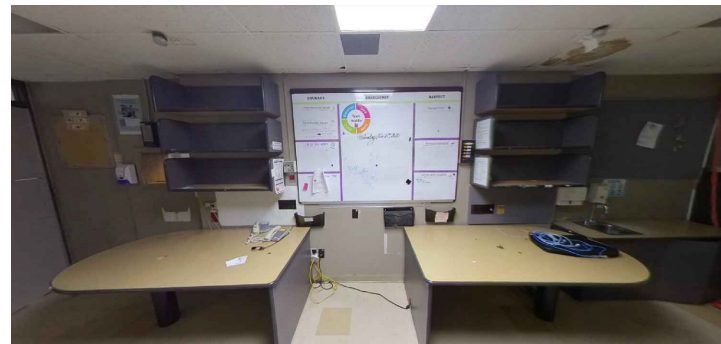
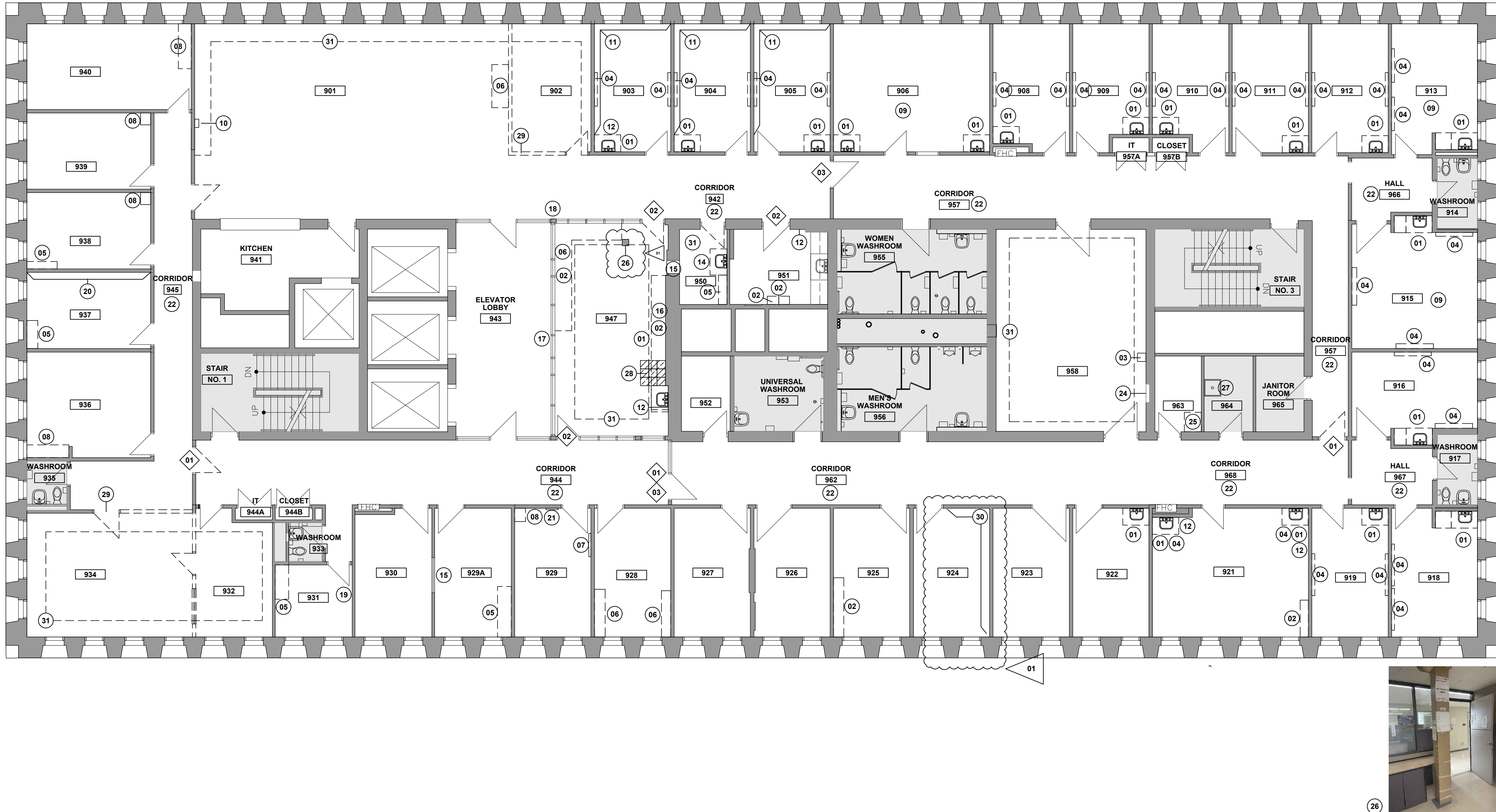
9.0 Electrical Addendum E1 dated August 30, 2023 issued with this addendum.

end of addendum

Prepared by:

Wilson Jung

hanson + jung architects inc.



16



23



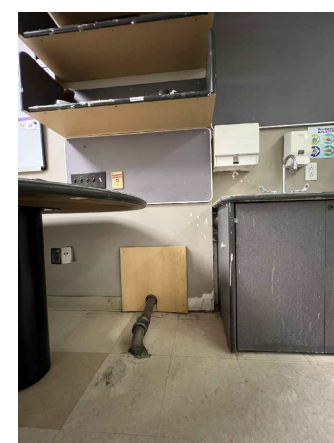
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GENERAL NOTE 14



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28



26

01 DEMOLITION PLAN 9TH FLOOR

A-104/ 1/8" = 1'0"

SYMBOL LEGEND

- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE DEMOLISHED TO UNDERSIDE OF SLAB
- NEW PARTITION
- EXISTING DOOR AND FRAME ASSEMBLY TO REMAIN
- EXISTING DUAL SWING DOOR AND FRAME ASSEMBLY TO REMAIN
- EXISTING DOOR TO BE REMOVED, FRAME TO REMAIN, MAINTAIN EXISTING HINGE FOR INSTALLATION OF NEW DOOR.
- AREA NOT IN SCOPE OF WORK
- WALL BASE TO BE REMOVED
- DENOTES FLOOR TILES TO BE REMOVED AND REPLACED WITH NEW

DEMOLITION PLAN GENERAL NOTES

- CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.
- ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION. ALL WORK TO COMPLY WITH CSA Z317.13 CURRENT EDITION.
- REFER TO SPECIFICATIONS FOR WORK RESTRICTIONS, IPAC PROCEDURES AND HOARDING REQUIREMENTS WHEN CARRYING OUT DEMOLITION WORK
- CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES TO REMAIN, INCLUDING BUT NOT EXCLUSIVELY FLOORING, DAMAGED BY DEMOLITION TO SATISFACTION OF CONSULTANT AND OWNER.
- GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING DEMOLITION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.
- REFER ALSO TO THE ENGINEERING DRAWINGS ADDITIONAL MECHANICAL AND ELECTRICAL DEMOLITION REQUIREMENTS.
- MAINTAIN INTEGRITY OF ACCESS TO ALL EXISTING FIRE EXITS AT ALL TIMES DURING DEMOLITION.
- PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS.
- PATCH AND MAKE GOOD ALL FINISHES WHERE EXISTING EQUIPMENT, ACCESSORIES, FIXTURES, MILLWORK, WALL PROTECTION, GRAB BARS, ESCUTCHEON PLATES ETC HAVE BEEN REMOVED.
- FIRESTOP PENETRATIONS LEFT BY REMOVAL OF DEMOLISHED ITEMS IN EXISTING FIRE SEPARATIONS SCHEDULED TO REMAIN. SEE SPECIFICATIONS FOR FIRE STOPPING REQUIREMENTS.
- REMOVE ALL ELECTRICAL AND COMMUNICATION OUTLETS, SWITCHES AND ALL SUCH OTHER CONTROLS AND EQUIPMENT ON PARTITIONS SCHEDULED TO BE REMOVED - REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- REMOVE ALL WALL MOUNTED PAINTINGS, BOARDS, SIGNS, FRAMES, FILE HOLDERS, COAT RACKS AND MIRRORS IN CORRIDORS AND ROOMS.
- REMOVE ALL EXISTING EXTERIOR AND INTERIOR BLINDS/CURTAINS AND TRACKS/RODS ON WALLS AND DOORS. PATCH AND MAKE GOOD HOLES.

DEMOLITION PLAN KEY NOTES

- EXISTING UPPER AND LOWER MILLWORK TO BE REMOVED COMPLETE WITH DROP IN SINK. REFER ALSO TO MECHANICAL DRAWINGS
- EXISTING MILLWORK TO BE REMOVED
- EXISTING DRINKING FOUNTAIN TO BE REMOVED.
- EXISTING WALL MOUNTED LIGHT FIXTURES TO BE REMOVED ALONG WITH THEIR SWITCHES. REFER ALSO TO ELECTRICAL DRAWINGS
- EXISTING WALL MOUNTED METAL SHELVES AND TRACKS TO BE REMOVED
- EXISTING WALL MOUNTED SHELVES TO BE REMOVED
- EXISTING WALL MOUNTED MIRROR TO BE REMOVED
- EXISTING FIXED CABINETS TO BE REMOVED
- EXISTING ROOM DIVIDER CURTAINS AND CEILING MOUNTED CURTAIN TRACKS TO BE REMOVED.
- EXISTING WALL MOUNTED CONDUIT TO BE REMOVED.
- EXISTING LAMINATED WALL PROTECTION TO REMAIN.
- EXISTING SURFACE MOUNTED SOAP DISPENSER/PAPER TOWEL DISPENSER TO BE REMOVED.
- EXISTING SURFACE MOUNTED ELECTRICAL JUNCTION BOX TO BE REMOVED ALONG WITH THE FEEDING PLASTIC PIPE.
- EXISTING LOWER MILLWORK TO BE REMOVED COMPLETE WITH DROP IN SINK. REFER ALSO TO MECHANICAL DRAWINGS
- EXISTING WINDOW AND WINDOW FRAME TO REMAIN.
- REMOVE ALL WALL MOUNTED ITEMS EXCEPT ELECTRICAL OUTLETS, INCLUDING BUT LIMITED TO SHELVES, BOARDS, FILE HOLDERS, SOAP DISPENSERS, CALL BUTTONS, SPEAKERS, JUNCTION BOXES, PANELS, CONDUITS, ETC AND ALL FEEDING PIPES. SEE PICTURE FOR REFERENCE.
- REMOVE FLOOR IDENTIFICATION PANEL ATTACHED TO THE WINDOW.
- REMOVE WALL MOUNTED WOODEN SUGGESTIONS BOX.
- REMOVE WALL MOUNTED COAT RACK.
- EXISTING WALL PAPER TO BE REMOVED.
- EXISTING WALL FILE HOLDERS TO BE REMOVED.
- REMOVE ALL WALL MOUNTED PAINTINGS, BOARDS, SIGNS, FRAMES, FILE HOLDERS, COAT RACKS AND MIRRORS IN CORRIDORS.
- SCRAPE OUT PRE-EXISTING LEFT OVER TAPE AND PATCH WALL PRIOR TO PAINT. SEE PICTURE FOR REFERENCE.
- BUILT-IN WALL SHELVES TO REMAIN.
- METAL CABINET FIXED TO THE WALL TO BE REMOVED.
- EXISTING PIPE CHASE TO BE REMOVED. PIPE TO REMAIN. SEE PICTURE FOR REFERENCE.
- EXISTING JANITOR SINK TO REMAIN.
- REMOVE WOODEN PANEL AND 9 FLOOR TILES WHERE FLOOR PIPE EXISTS. PIPE TO REMAIN. SEE PICTURE FOR REFERENCE.
- REMOVE EXISTING RETURN AIR GRILLE. REFER TO MECHANICAL DRAWINGS.
- SCRAPE OFF DELAMINATED PLASTER AND PREPARE WALL FOR A NEW LAYER OF PLASTER AND PAINT.
- REMOVE EXISTING WALL BASE AND PREPARE FOR RECEIVING NEW FLOORING AND WALL BASE.

- EXISTING MAGLOCK TO BE DEACTIVATED. SEE ELECTRICAL DWG FOR REMOVAL OF CARD READER, KEY SWITCHES AND AND FIRE ALARM PULL.
- EXISTING ELECTRIC STRIKE TO BE DEACTIVATED. SEE ELECTRICAL DWG FOR REMOVAL OF CARD READER, KEY SWITCHES AND FIRE ALARM PULL.
- EXISTING LOCKSET TO BE REMOVED AND REPLACED. REFER TO DOOR SCHEDULE FOR REPLACEMENT.

SHEET ISSUANCE

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1	HJA ADDENDUM 1	30 08 2023
NO		

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3	ISSUED FOR TENDER	08-08-2023
2	PRE-TENDER COST ESTIMATE	14-07-2023
1	REVIEW	10-04-2023
NO	ACTION	DY MO YR

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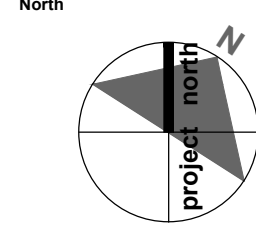
Project Title:

**250 COLLEGE STREET
MOVE CONSOLIDATION -
INTERIOR RENOVATION**
Ground, 8th, 9th, 10th and 11th Floors

Sheet Title:

**DEMOLITION PLAN
9TH FLOOR**

Project



Stamp



Date:
11 08 2023

Scale:
AS NOTED

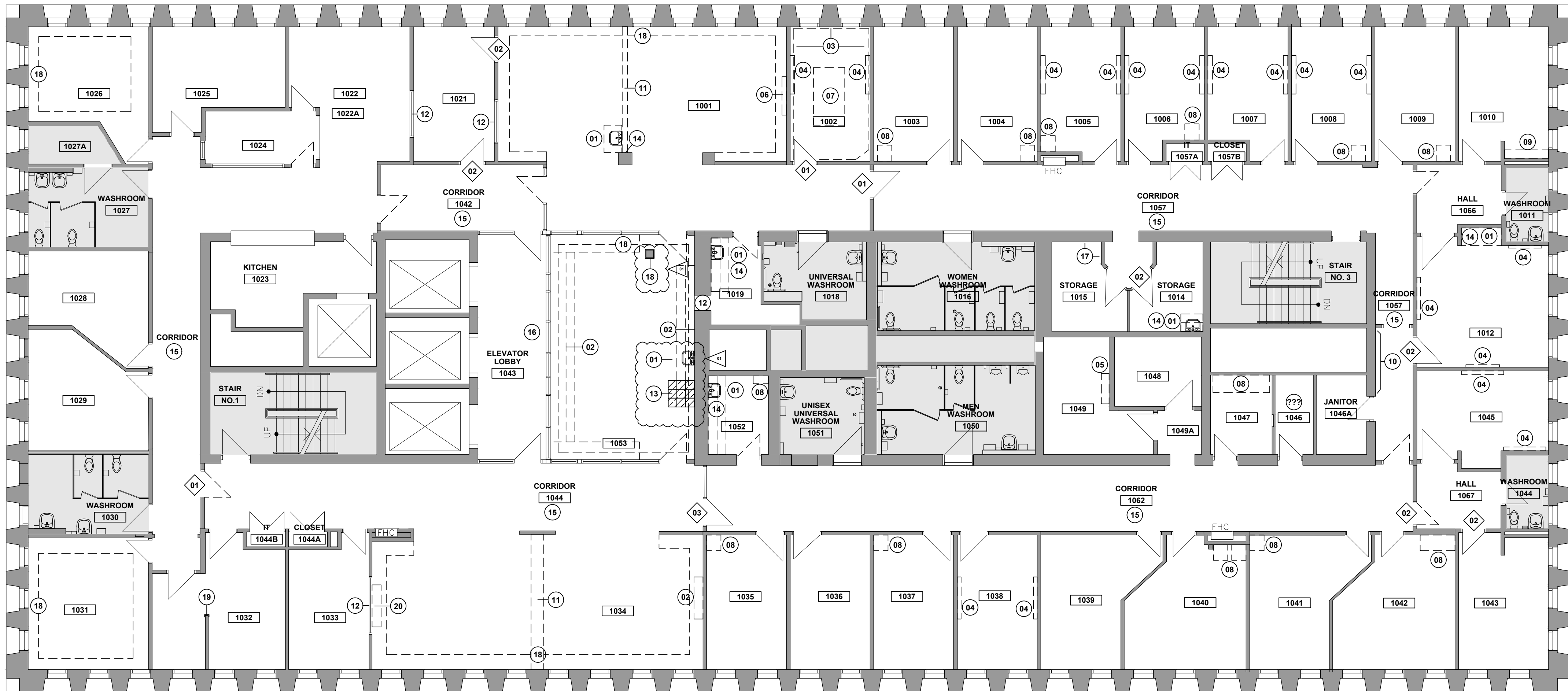
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Checked:
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A-104



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SHEET ISSUANCE

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1	REVIEW	10-04-2023
NO	ACTION	DY MO YR

Client:

CAMH

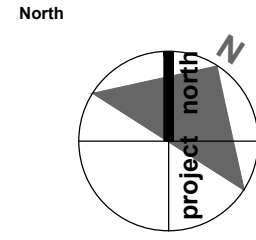
Project Title:

250 COLLEGE STREET
MOVE CONSOLIDATION -
INTERIOR RENOVATION
Ground, 8th, 9th, 10th and 11th Floors

Sheet Title:

DEMOLITION PLAN
10TH FLOOR

Project North



Stamp



Date:
11 08 2023

Project No.:
22-48

Scale:
AS NOTED

Drawn:
JJ

Checked:
WJ

Drawing Number:

A-105

01 DEMOLITION PLAN 10TH FLOOR

A-104 1/8" = 1'-0"

SYMBOL LEGEND

- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- NEW PARTITION
- EXISTING DOOR AND FRAME ASSEMBLY TO REMAIN
- EXISTING DUAL SWING DOOR AND FRAME ASSEMBLY TO REMAIN
- EXISTING DOOR TO BE REMOVED, FRAME TO REMAIN UNLESS SPECIFICALLY NOTED OTHERWISE
- AREA NOT IN SCOPE OF WORK
- WALL BASE TO BE REMOVED
- DENOTES FLOOR TILES TO BE REMOVED AND REPLACED WITH NEW

02 SYMBOL LEGEND

A-104 N.T.S

DEMOLITION PLAN GENERAL NOTES

- CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.
- ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION. ALL WORK TO COMPLY WITH CSA Z317.13 CURRENT EDITION.
- GENERAL CONTRACTOR IS TO REVIEW & FOLLOW THE BUILDING'S CONSTRUCTION GUIDELINES PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK. ALL NOISE AND NOXIOUS WORK TO BE DONE AFTER HOURS AND ARRANGED WITH BUILDING BEFOREHAND. SEAL OFF SITE WITH HOARDING AS REQUIRED FOR DURATION OF CONSTRUCTION SO NOT TO DISTURB DAY TO DAY OPERATIONS.
- CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES DENOTES TO REMAIN, INCLUDING BUT NOT EXCLUSIVELY FLOORING, DAMAGED BY DEMOLITION.
- GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING DEMOLITION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.
- REFER ALSO TO THE ENGINEERING DRAWINGS ADDITIONAL MECHANICAL AND ELECTRICAL DEMOLITION REQUIREMENTS.
- MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING DEMOLITION.
- PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS.
- PATCH AND MAKE GOOD ALL FINISHES WHERE EXISTING EQUIPMENT, ACCESSORIES, FIXTURES, MILLWORK, WALL PROTECTION, GRAB BARS, ESCUTCHEON PLATES ETC HAVE BEEN REMOVED.
- FIRESTOP ALL NEW AND EXISTING PENETRATIONS IN EXISTING FIRE SEPARATIONS SCHEDULED TO REMAIN.
- REMOVE ALL WALL MOUNTED DEVICES, ACCESSORIES, SHELVING, WHITEBOARDS, ETC IN AREA OF WORK UNLESS SPECIFICALLY NOTED TO REMAIN.
- REMOVE ALL ELECTRICAL OUTLETS, SWITCHES DATA OUTLETS, DEVICES ETC. ON PARTITIONS SCHEDULED TO BE REMOVED - REFER ALSO TO ELECTRICAL DRAWINGS.
- REMOVE ALL WALL MOUNTED PAINTINGS, BOARDS, SIGNS, FRAMES, FILE HOLDERS, COAT RACKS AND MIRRORS IN CORRIDORS AND ROOMS.
- REMOVE ALL EXISTING EXTERIOR AND INTERIOR BLINDS AND TRACKS ON WALLS AND DOORS.
- REMOVE ALL NAME TAGS WITHOUT DAMAGING THE DOOR SIGN, ROOM NUMBER SIGN TO REMAIN.
- REMOVE ALL WALL MOUNTED HAND SANITIZERS.

03 DEMOLITION PLAN GENERAL NOTES

A-104 N.T.S

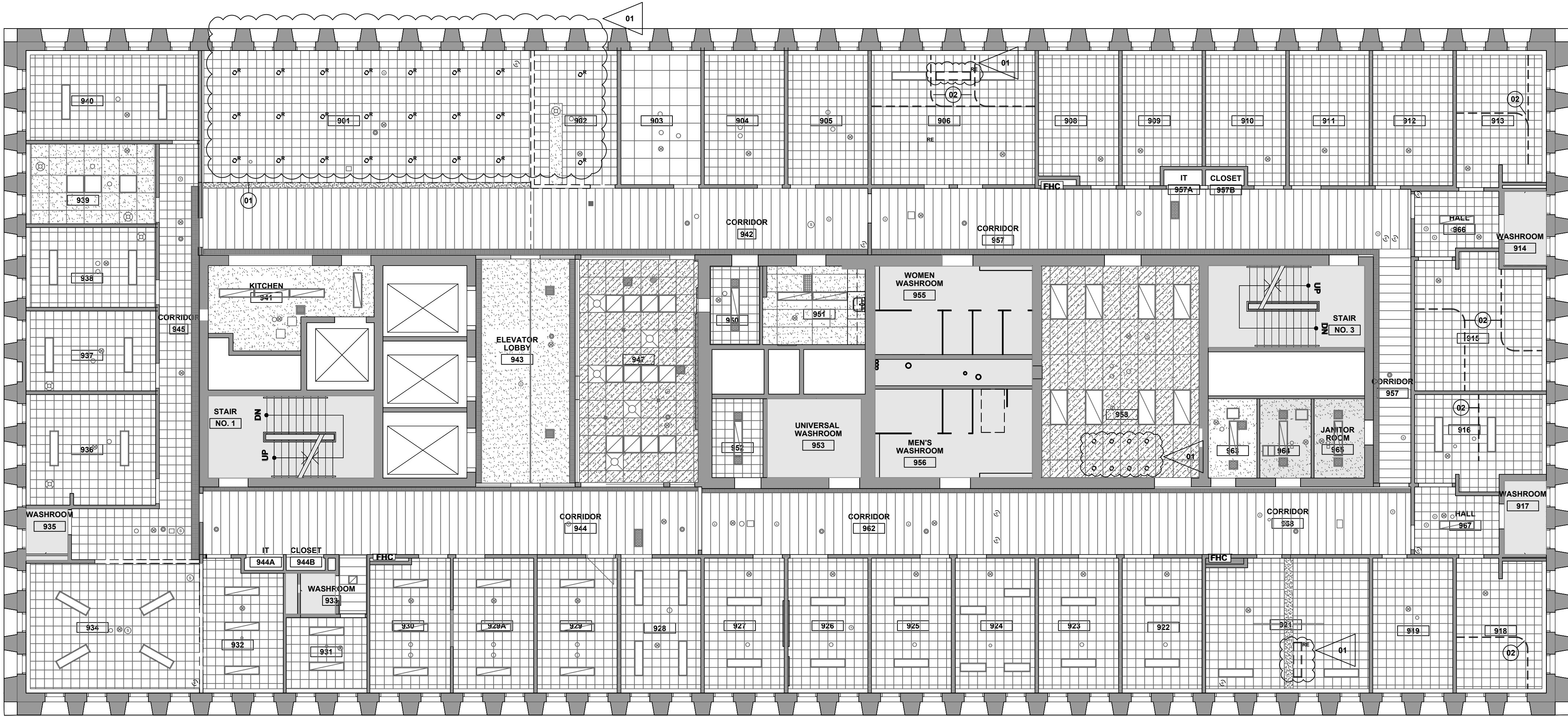
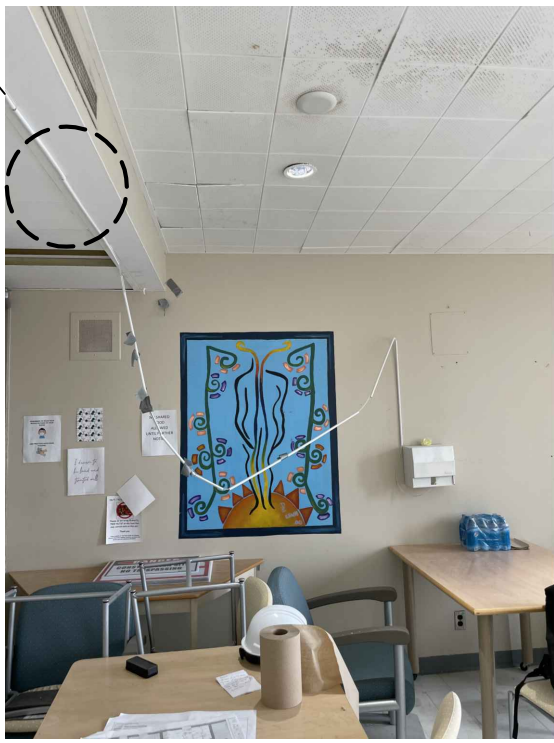
DEMOLITION PLAN KEY NOTES

- EXISTING MILLWORK TO BE REMOVED COMPLETE WITH DROP IN SINK. REFER ALSO TO MECHANICAL DRAWINGS
- EXISTING UPPER AND LOWER MILLWORK TO BE REMOVED
- REMOVE EXISTING ACRYLIC WALL PANELS LAMINATED TO THE WALL. REFER TO ELECTRICAL DRAWINGS.
- EXISTING WALL MOUNTED LIGHT FIXTURES TO BE REMOVED
- EXISTING WALL MOUNTED METAL SHELVES TO BE REMOVED
- EXISTING WALL MOUNTED WOOD SHELVES TO BE REMOVED
- REMOVE EXISTING METAL BED BOLTED TO THE FLOOR.
- FIXED CABINETS TO BE REMOVED.
- EXISTING LOCKERS TO BE REMOVED.
- REMOVE PLASTER FROM FULL WALL SURFACE AND PREPARE WALL FOR A NEW LAYER OF PLASTER AND PAINT.
- EXISTING 3' HIGH WALL TO BE DEMOLISHED.
- EXISTING WINDOW AND FRAME TO REMAIN.
- REMOVE FLOOR TILES AND FLOOR PIPES. REFER TO MECHANICAL DRAWINGS FOR REMOVAL AND CAPPING OF PIPES. SEE ATTACHED PICTURE FOR REFERENCE.
- EXISTING SURFACE MOUNTED SOAP DISPENSER/PAPER TOWEL DISPENSER TO BE REMOVED.
- REMOVE ALL WALL MOUNTED PAINTINGS, BOARDS, SIGNS, FRAMES, FILE HOLDERS, COAT RACKS AND MIRRORS IN CORRIDORS.
- REMOVE MAIN DIRECTORY SIGNAGE.
- EXISTING WALL MOUNTED COAT RACK TO BE REMOVED.
- EXISTING WALL BASE TO BE REMOVED.
- EXISTING CORNER GUARDS TO BE REMOVED PRIOR TO INSTALLATION OF NEW DRY WALL.
- EXISTING CEILING TV MOUNT TO BE REMOVED COMPLETE WITH ALL ATTACHMENTS. SEE PICTURE FOR REFERENCE.

- EXISTING MAGLOCK TO BE DEACTIVATED. SEE ELECTRICAL DWG FOR REMOVAL OF CARD READER, KEY SWITCHES AND FIRE ALARM PULL
- EXISTING ELECTRIC STRIKE TO BE DEACTIVATED. SEE ELECTRICAL DWG FOR REMOVAL OF CARD READER, KEY SWITCHES AND FIRE ALARM PULL
- EXISTING LOCKSET TO BE REMOVED. REFER TO DOOR SCHEDULE FOR REPLACEMENT PRODUCT.

04 DEMOLITION PLAN KEY NOTES

A-104 N.T.S



01 DEMOLITION CEILING PLAN 9TH FLOOR
A-110 1/8" = 1'-0"

SYMBOL LEGEND

	EXISTING LIGHT FIXTURE TO REMAIN
	EXISTING RECESSED LIGHT FIXTURE TO REMAIN
	EXISTING RETURN AIR GRILLE TO REMAIN
	EXISTING DIFFUSER TO REMAIN
	EXISTING HEAT/SMOKE DETECTOR TO REMAIN
	EXISTING EMERGENCY LIGHT TO REMAIN
	EXISTING SPRINKLER HEAD TO REMAIN
	EXISTING SPEAKER TO REMAIN
	EXISTING CAMERA TO BE REMOVED AND RETURNED TO OWNER
	EXISTING RECESSED LIGHT FIXTURE TO BE REMOVED
	EXISTING RECESSED LIGHT FIXTURE TO BE RELOCATED

DEMOLITION PLAN GENERAL NOTES

- CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.
- ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION. ALL WORK TO COMPLY WITH CSA Z317.13 CURRENT EDITION.
- GENERAL CONTRACTOR IS TO REVIEW & FOLLOW THE BUILDING'S CONSTRUCTION GUIDELINES PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK. ALL NOISE AND NOXIOUS WORK TO BE DONE AFTER HOURS AND ARRANGED WITH BUILDING BEFOREHAND. SEAL OFF SITE WITH HOARDING AS REQUIRED FOR DURATION OF CONSTRUCTION SO NOT TO DISTURB DAY TO DAY OPERATIONS.
- CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES DENOTES TO REMAIN, INCLUDING BUT NOT EXCLUSIVELY FLOORING, DAMAGED BY DEMOLITION.
- GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING DEMOLITION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.
- REFER ALSO TO THE ENGINEERING DRAWINGS ADDITIONAL MECHANICAL AND ELECTRICAL DEMOLITION REQUIREMENTS.
- MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING DEMOLITION.
- PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS.
- PATCH AND MAKE GOOD ALL FINISHES WHERE EXISTING EQUIPMENT, ACCESSORIES, FIXTURES, MILLWORK, WALL PROTECTION, GRAB BARS, ESCUTCHEON PLATES ETC HAVE BEEN REMOVED.
- FIRESTOP ALL NEW AND EXISTING PENETRATIONS IN EXISTING FIRE SEPARATIONS SCHEDULED TO REMAIN.
- REMOVE ALL EXISTING CEILING MOUNTED CURTAIN TRACKS.

DEMOLITION PLAN KEY NOTES

- EXISTING PLASTIC PIPE TO BE REMOVED. SEE PICTURE FOR REFERENCE
- EXISTING CEILING MOUNTED CURTAIN TRACKS TO BE REMOVED.

02 SYMBOL LEGEND
A-110 N.T.S

03 DEMOLITION PLAN GENERAL NOTES
A-110 N.T.S

04 DEMOLITION PLAN KEY NOTES
A-110 N.T.S

SHEET ISSUANCE

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1	HJA ADDENDUM 1	30 08 2023
NO		

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1	REVIEW	10-04-2023
NO	ACTION	DY MO YR

Client:

CAMH

Project Title:

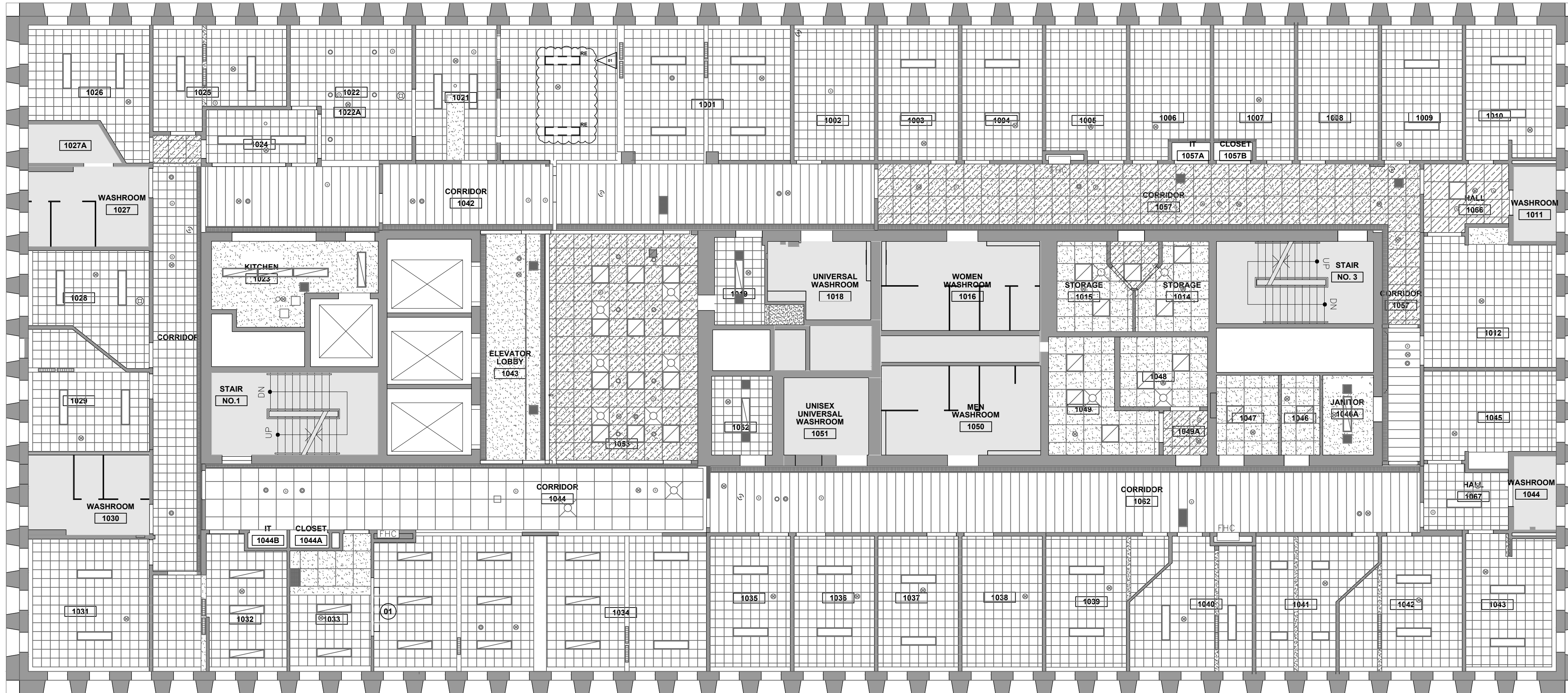
**250 COLLEGE STREET
MOVE CONSOLIDATION -
INTERIOR RENOVATION**
Ground, 8th, 9th,10th and 11th Floors

Sheet Title:

**DEMOLITION CEILING PLAN
9TH FLOOR**

Project North 	Stamp
Date: 11 08 2023	Project No.: 22-48
Scale: AS NOTED	Drawn: JJ
	Checked: WJ
Drawing Number:	

A-110



01 DEMOLITION CEILING PLAN 10TH FLOOR
A-111 1/8" = 1'-0"

SYMBOL LEGEND

	NOT IN ARCHITECTURAL LIMITS OF WORK. REFER TO MECHANICAL & ELECTRICAL DWGS FOR LIMITS OF WORK FOR THESE DISCIPLINES.		EXISTING LIGHT FIXTURE TO REMAIN
	EXISTING WALL TO REMAIN		EXISTING RECESSED LIGHT FIXTURE TO REMAIN
	EXISTING WALL OR ITEM TO BE REMOVED		EXISTING RETURN AIR GRILLE TO REMAIN
	ROOM NAME AND NUMBER		EXISTING DIFFUSER TO REMAIN
	EXISTING DECORATIVE BLANK WHITE COVER PLATE TO REMAIN		EXISTING HEAT/SMOKE DETECTOR TO REMAIN
	EXISTING CEILING ACCESS PANEL COVER TO REMAIN		EXISTING EMERGENCY LIGHT TO REMAIN
	EXISTING GYPSUM BOARD BULKHEAD OR CEILING REMAIN		EXISTING SPRINKLER HEAD TO REMAIN
	EXISTING ACOUSTIC CEILING TILES AND GRID TO REMAIN		EXISTING SPEAKER TO REMAIN
	EXISTING EGGRATES LIGHTING TO REMAIN		EXISTING CAMERA TO BE REMOVED.
	EXISTING METAL CEILING PANELS TO REMAIN		EXISTING LIGHT FIXTURE TO BE RELOCATED
	EXISTING ACOUSTIC CEILING TILES TO BE REMOVED. DEVICES THAT NEEDS TO BE REMOVED ARE TO BE STORED SAFELY ON SITE AND RE-INSTATED AFTER INSTALLATION OF NEW TILES.		

DEMOLITION PLAN GENERAL NOTES

- CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.
- ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION. ALL WORK TO COMPLY WITH CSA Z317.13 CURRENT EDITION.
- GENERAL CONTRACTOR IS TO REVIEW & FOLLOW THE BUILDING'S CONSTRUCTION GUIDELINES PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK. ALL NOISE AND NOXIOUS WORK TO BE DONE AFTER HOURS AND ARRANGED WITH BUILDING BEFOREHAND. SEAL OFF SITE WITH HOARDING AS REQUIRED FOR DURATION OF CONSTRUCTION SO NOT TO DISTURB DAY TO DAY OPERATIONS.
- CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES DENOTES TO REMAIN, INCLUDING BUT NOT EXCLUSIVELY FLOORING, DAMAGED BY DEMOLITION.
- GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING DEMOLITION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.
- REFER ALSO TO THE ENGINEERING DRAWINGS ADDITIONAL MECHANICAL AND ELECTRICAL DEMOLITION REQUIREMENTS.
- MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING DEMOLITION.
- PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS.
- PATCH AND MAKE GOOD ALL FINISHES WHERE EXISTING EQUIPMENT, ACCESSORIES, FIXTURES, MILLWORK, WALL PROTECTION, GRAB BARS, ESCUTCHEON PLATES ETC HAVE BEEN REMOVED.
- FIRESTOP ALL NEW AND EXISTING PENETRATIONS IN EXISTING FIRE SEPARATIONS SCHEDULED TO REMAIN.
- REMOVE ALL CEILING MOUNTED TRACKS/CURTAIN RODS.

DEMOLITION PLAN KEY NOTES

- EXISTING CEILING MOUNTED MILLWORK TO BE REMOVED.

02 SYMBOL LEGEND
A-111 N.T.S

03 DEMOLITION PLAN GENERAL NOTES
A-111 N.T.S

04 DEMOLITION PLAN KEY NOTES
A-111 N.T.S

SHEET ISSUANCE

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1	HJA ADDENDUM 1	30 08 2023
NO		

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4	ISSUED FOR PERMIT	11-08-2023
3	ISSUED FOR TENDER	08-08-2023
2	PRE-TENDER COST ESTIMATE	14-07-2023
1	REVIEW	10-04-2023
NO	ACTION	DY MO YR

Client:

CAMH

Project Title:

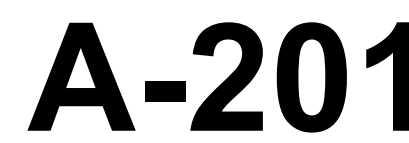
**250 COLLEGE STREET
MOVE CONSOLIDATION -
INTERIOR RENOVATION**
Ground, 8th, 9th, 10th and 11th Floors

Sheet Title:

**DEMOLITION CEILING PLAN
10TH FLOOR**

Project North	Stamp
Date: 11 08 2023	Project No.: 22-48
Scale: AS NOTED	Drawn: JJ
	Checked: WJ
Drawing Number:	

A-111

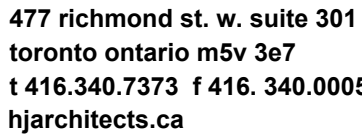


02 **SYMBOL LEGEND**
A-201 N.T.S

03	MATERIALS & FINISH SCHEDULE
A-201	N.T.S

04 CONSTRUCTION PLAN GENERAL NOTES
A-201 N.T.S

05 CONSTRUCTION PLAN KEY NOTES



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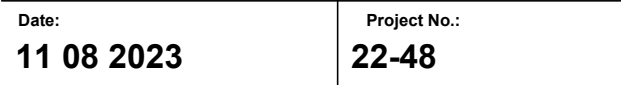
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**250 COLLEGE STREET
MOVE CONSOLIDATION -
INTERIOR RENOVATION**
Ground, 8th, 9th, 10th and 11th Floors

**CONSTRUCTION PLAN
8TH FLOOR**



Drawing Number:

A-203

A-203 $1/8" = 1'-0"$

EXISTING PARTITION TO REMAIN

NEW PARTITION

EXISTING DOOR AND FRAME ASSEMBLY TO REMAIN

AREA NOT IN
SCOPE OF WORK

**DENOTES FLOOR AREA TO BE COVERED
WITH NEW VINYL FLOOR TILES.**

**DENOTES FLOOR AREA TO RECEIVE
NEW CARPET.**

FLOOR FINISHES

CARPET TILE - FIELD COLOUR
MANUF: INTERFACE MODULAR
STYLE #: CT102
COLOUR: SLATE
DIMENSIONS: 50cm X 50cm
INSTALLATION: ASHLAR
INSTALLATION NOTES: INSTALL WITH TAC TILES CONNECTORS - CQUEST GB & GLASBAC

VINYL TILE
MANUF: TARKETT

STYLE #: VCT II
COLOUR: 326 DUNES
DIMENSIONS: 12" x 12"

WALL BASE:

VINYL WALL BASE
MANUF: TARKETT
STYLE: JOHNSONITE TRADITIONAL VINYL 1/8"
COLOUR: MATCH EXISTING
HEIGHT: 4"

CARPET TILE - FIELD COLOUR
MANUF: INTERFACE MODULAR
STYLE #: CT102
COLOUR: SLATE
HEIGHT: MATCH EXISTING

WALLS FINISHES AND SPECIALITY

TYPICAL WALL PAINT - FIELD COLOUR
MANUF: BENJAMIN MOORE
COLOUR:
FINISH: EGGSHELL
REMARKS:

TYPICAL CEILING PAINT - FIELD COLOUR
MANUF: BENJAMIN MOORE
COLOUR:
FINISH:
REMARKS:

1. CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.
2. ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION.
3. CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ANY DAMAGED EXISTING CONCRETE FLOOR SLAB AND G.W.B. ON PARTITIONS, BULKHEADS, ETC. AND MAKE READY FOR NEW FINISH.
4. CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES, INCLUDING BUT NOT LIMITED TO FLOORING, WALLS, AND CEILINGS DAMAGED BY CONSTRUCTION. TOUCH-UP PAINTED SURFACES AFTER COMPLETION OF ALL INSTALLATION.
5. GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING CONSTRUCTION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.
6. REFER TO THE ENGINEERING DRAWINGS FOR ALL POWER, DATA & SECURITY REQUIREMENTS, LOCATIONS & SPECIFICATIONS.
7. PROVIDE IN-WALL BLOCKING BETWEEN STUDS AS REQUIRED AT ALL ALL-HUNG ITEMS INCLUDING EQUIPMENT, ACCESSORIES AND MILLWORK.
8. MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING CONSTRUCTION.
9. PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS.
10. PATCH HOLES IN WALLS WHERE WALL MOUNTED ITEMS HAVE BEEN REMOVED, INCLUDING BUT NOT LIMITED TO SHELVES, PAINTINGS, BOARDS, SIGNS, FRAMES, FILE HOLDERS, COAT RACKS AND MIRRORS IN CORRIDORS AND ROOMS.
11. REPLACE BROKEN, DAMAGED OR MISSING SECTIONS OF PLASTIC EGCGRATE AT CEILING LIGHT COVE ALONG CORRIDORS ON GROUND, 9TH, AND 10TH FLOORS TO MATCH EXISTING.

- 01 PROVIDE NEW CARPET TO MATCH EXISTING WHERE MILLWORK HAS BEEN REMOVED.
- 02 PATCH WALL WHERE MILLWORK IS REMOVED PRIOR TO PAINTING. AND PROVIDE NEW CARPET WALL BASE.
- 03 PROVIDE NEW VINYL COMPOSITION TILES AND WALL BASE.
- 04 PROVIDE TRANSITION STRIP WHERE TWO DIFFERENT FLOORING TYPES MEET.

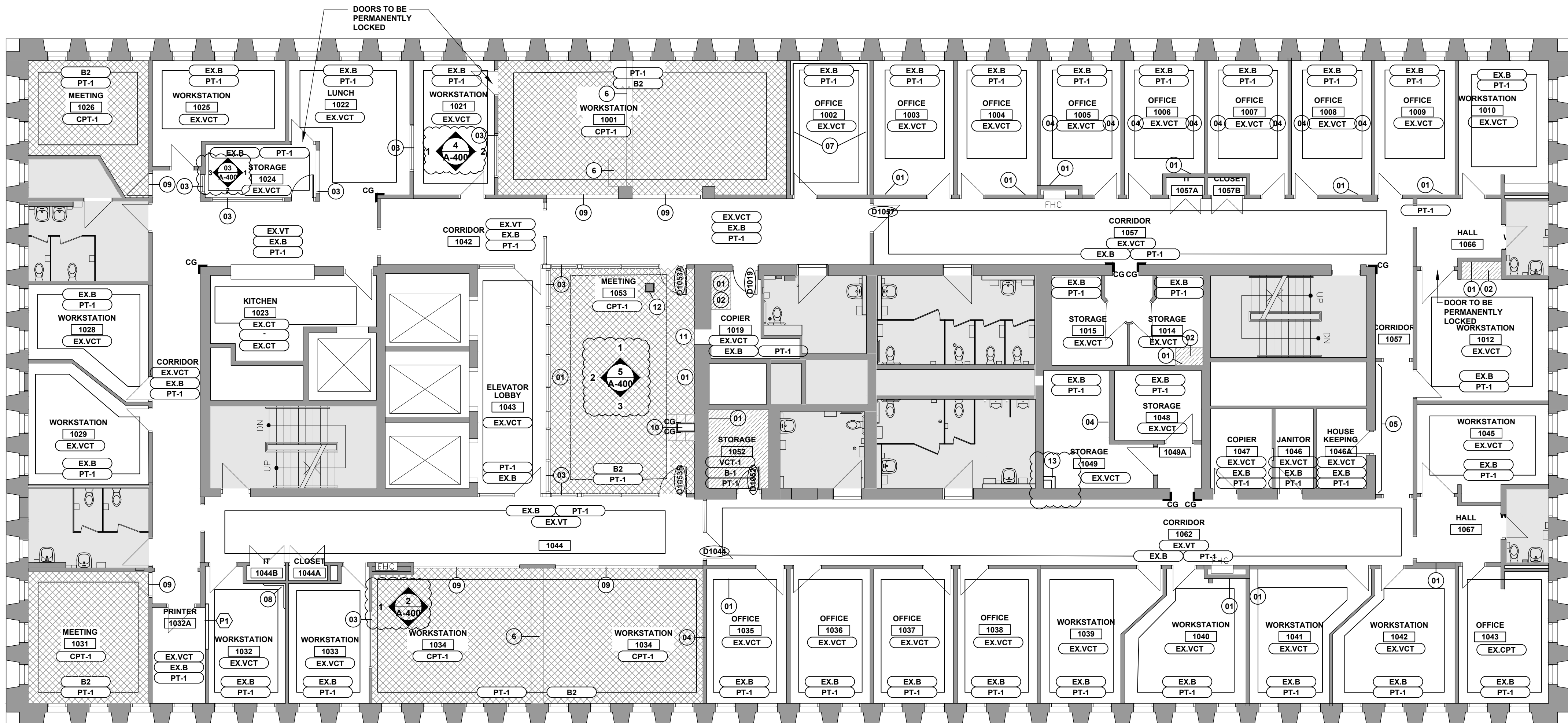
05 PAINT EXISTING BUILT-IN SHELVES

A-203 **N.T.S**

A-203 / N.T.S

A-203 / N.T.S

-203) N.T.S



01 CONSTRUCTION PLAN 10TH FLOOR
A-205/ 1/8" = 1'-0"

SYMBOL LEGEND

- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- NEW DOOR AND EXISTING FRAME ASSEMBLY
- EXISTING DOOR AND FRAME ASSEMBLY TO REMAIN
- EXISTING DUAL SWING DOOR AND FRAME ASSEMBLY TO REMAIN
- AREA NOT IN SCOPE OF WORK
- DENOTES FLOOR AREA TO BE COVERED WITH NEW CARPET TILES.
- DENOTES FLOOR AREA TO RECEIVE NEW VINYL TILES (VCT-1)
- DOOR NUMBER. REFER TO DOOR SCHEDULE
- PARTITION/WALL
- NEW CORNER GUARD

INTERIOR PARTITION/WALL TYPE 1
TO U/S OF CEILING

- GYPSUM BOARD
- 3 3/4" METAL STUDS AT 16" O.C.
- 3 1/2" MINERAL WOOL SOUND ATTENUATION BATTS
- GYPSUM BOARD

NOTE:
STUDS AND GYP BD THICKNESS TO MATCH EXISTING WHERE INFILLING OPENINGS. NEW PARTITION TO BE FLUSH WITH ADJACENT EXISTING PARTITION. PAINT BOTH SIDES. COLOUR TO MATCH EXISTING IN ROOMS NOT IDENTIFIED TO RECEIVE PAINT. OTHERWISE ALL COLOURS TO LATER SELECTION BY ARCHITECT.

MATERIALS & FINISHES SCHEDULE

- FLOOR FINISHES**
 - CPT-1** CARPET TILE - FIELD COLOUR
MANUF: INTERFACE MODULAR
STYLE #: CT102
COLOUR: SLATE
DIMENSIONS: 50cm X 50cm
INSTALLATION: ASHLAR
INSTALLATION NOTES: INSTALL WITH TAC TILES CONNECTORS - CQUEST GB & GLASBAC
 - VCT-1** VINYL TILE
MANUF: TARKETT
STYLE #: VCT 11
COLOUR: 326 DUNES
DIMENSIONS: 12" x 12"
 - WALL BASE:**
 - B-1** VINYL WALL BASE
MANUF: TARKETT
STYLE: JOHNSONITE TRADITIONAL VINYL 1/2"
COLOUR: MATCH EXISTING
HEIGHT: 4"
 - B-2** CARPET TILE - FIELD COLOUR
MANUF: INTERFACE MODULAR
STYLE #: CT102
COLOUR: SLATE
HEIGHT: MATCH EXISTING
 - WALLS FINISHES AND SPECIALTY**
 - PT-1** TYPICAL WALL PAINT - FIELD COLOUR
MANUF: BENJAMIN MOORE
COLOUR: EGGSHELL
 - PT-3** TYPICAL CEILING PAINT - FIELD COLOUR
MANUF: BENJAMIN MOORE
COLOUR: FLAT
 - PT-4** TYPICAL DOORS & FRAMES PAINT - FIELD COLOUR
MANUF: BENJAMIN MOORE
COLOUR: SATIN
- CORNER GUARD**
 - CG** MANUF: CONSTRUCTION SPECIALTIES
PRODUCT: ACROVYN VA SERIES
MODEL: VA-250MN
COLOUR: SOLID COLOUR TO LATER SELECTION
SIZE: 2 1/2" X 2 1/2" X FULL HT OF WALL
- NOTE:**
STUDS AND GYP BD THICKNESS TO MATCH EXISTING WHERE INFILLING OPENINGS. NEW PARTITION TO BE FLUSH WITH ADJACENT EXISTING PARTITION. PAINT BOTH SIDES. COLOUR TO MATCH EXISTING IN ROOMS NOT IDENTIFIED TO RECEIVE PAINT. OTHERWISE ALL COLOURS TO LATER SELECTION BY ARCHITECT.

CONSTRUCTION PLAN GENERAL NOTES

- CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.
- ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ANY DAMAGED EXISTING CONCRETE FLOOR SLAB AND G.W.B. ON PARTITIONS, BULKHEADS, ETC. AND MAKE READY FOR NEW FINISH.
- CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES, INCLUDING BUT NOT LIMITED TO FLOORING, WALLS, AND CEILINGS DAMAGED BY CONSTRUCTION. TOUCH-UP PAINTED SURFACES AFTER COMPLETION OF ALL INSTALLATION.
- GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING CONSTRUCTION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.
- REFER TO THE ENGINEERING DRAWINGS FOR ALL POWER, DATA & SECURITY REQUIREMENTS, LOCATIONS & SPECIFICATIONS.
- PROVIDE IN-WALL BLOCKING BETWEEN STUDS AS REQUIRED AT ALL ALL-HUNG ITEMS INCLUDING EQUIPMENT, ACCESSORIES AND MILLWORK.
- MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING CONSTRUCTION.
- PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS.
- PATCH HOLES IN WALLS WHERE WALL MOUNTED ITEMS HAVE BEEN REMOVED, INCLUDING BUT NOT LIMITED TO SHELVES, PAINTINGS, BOARDS, SIGNS, FRAMES, FILE HOLDERS, COAT RACKS AND MIRRORS IN CORRIDORS AND ROOMS.
- REPLACE BROKEN, DAMAGED OR MISSING SECTIONS OF PLASTIC EGGRATE AT CEILING LIGHT COVE ALONG CORRIDORS ON GROUND, 9TH, AND 10TH FLOORS TO MATCH EXISTING.

CONSTRUCTION PLAN KEY NOTES

- 01 PATCH AND REPAIR WALL WHERE FIXED CABINETS ARE REMOVED PRIOR TO PAINTING.
- 02 PROVIDE NEW VINYL TILES (VCT-1) AND VINYL WALL BASE (B-1) WHERE MILLWORK HAS BEEN REMOVED.
- 03 PROVIDE PATTERNED FILM ON EXISTING GLAZING.
PRODUCT: 3M FASARA GLASS FINISH SH2EMOS, FROST/MATTE, OSLO, WHITE
- 04 PATCH AND REPAIR WALL WHERE WALL MOUNTED LIGHT FIXTURES HAVE BEEN REMOVED PRIOR TO PAINTING.
- 05 APPLY NEW PLASTER FINISH OVE THE ENTIRE WALL PRIOR TO PAINT.
- 06 PROVIDE NEW VINYL TILES (VCT-1) WHERE WALLS HAS BEEN REMOVED PRIOR TO INSTALLATION OF CARPET.
- 07 1/2" GYPSUM BOARD TO BE LAMINATED AND MECHANICALLY FASTENED TO EXISTING DRY WALL.
- 08 PROVIDE NEW WALL BASE (B-1).
- 09 PROVIDE FLOOR TRANSITION STRIP WHERE FLOOR MATERIAL CHANGES.
SEE SPECIFICATIONS FOR PRODUCT. COLOUR: 178 IRONSTONE CG
- 10 PROVIDE 9 FLOOR TILES (VCT-1) TO REPLACE EXISTING PRIOR TO INSTALLATION OF NEW CARPET TILES. AND BUILD A NEW DRY WALL FROM TOP OF FLOOR TO U/S OF CEILING WITH A FOOTPRINT OF 8' X 24" TO COVER EXISTING FLOOR PIPES.
- 11 INFILL WINDOW OPENING WITH NEW GYPSUM BOARD.
- 12 PROVIDE NEW WALL BASE (B1) TO EXISTING COLUMN.
BUILD A NEW DRY WALL (TWO LAYERS OF 1/2" GYPSUM BOARD AND 3 3/4" METAL STUDS IN BETWEEN) WITH A FOOTPRINT NO MORE THAN 12"x12" TO COVER NEW REFRIGERANT PIPES. SAME WALL TO BE BUILT IN SAME LOCATION ON 9TH, 11TH AND 12TH FLOOR. SEE MECHANICAL DRAWINGS.

SHEET ISSUANCE

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1	HJA ADDENDUM 1	30 08 2023
NO		

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2	PRE-RENDER COST ESTIMATE	14-07-2023
1	REVIEW	10-04-2023
NO	ACTION	DY MO YR

Client:

CAMH

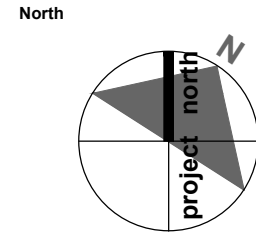
Project Title:

250 COLLEGE STREET
MOVE CONSOLIDATION -
INTERIOR RENOVATION
Ground, 8th, 9th, 10th and 11th Floors

Sheet Title:

CONSTRUCTION PLAN
10TH FLOOR

Project



Stamp



Date:
11 08 2023

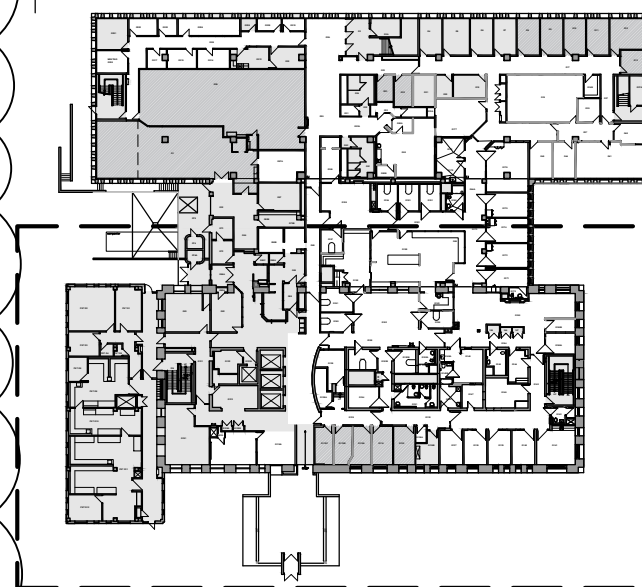
Project No.:
22-48

Scale:
AS NOTED

Drawn:
JJ

Checked:
WJ

Drawing Number:



SHEET ISSUANCE		
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NO	ACTION	DY MO YR

Client:

CAMH

SYMBOL LEGEND	
	NOT IN ARCHITECTURAL LIMITS OF WORK. REFER TO MECHANICAL & ELECTRICAL DWGS FOR LIMITS OF WORK FOR THESE DISCIPLINES.
	EXISTING WALL TO REMAIN
	NEW WALL
ROOM NAME 	ROOM NAME AND NUMBER
	EXISTING DECORATIVE BLANK WHITE COVER PLATE TO REMAIN
	EXISTING CEILING ACCESS PANEL COVER TO REMAIN
	EXISTING GYPSUM BOARD BULKHEAD OR CEILING TO REMAIN
	24" x 24" EXISTING SUSPENDED ACOUSTIC TILES TO REMAIN
	PROVIDE NEW 24" x 24" SUSPENDED ACOUSTIC CEILING TILES
	EXISTING EGGRATES LIGHTING TO REMAIN
	EXISTING METAL CEILING PANELS TO REMAIN
	EXISTING LIGHT FIXTURE TO REMAIN
	EXISTING RECESSED LIGHT FIXTURE TO REMAIN
	EXISTING RETURN AIR GRILLE TO REMAIN
	EXISTING DIFFUSER TO REMAIN
	EXISTING HEAT/SMOKE DETECTOR TO REMAIN
	EXISTING EMERGENCY LIGHT TO REMAIN
	EXISTING SPRINKLER HEAD TO REMAIN
	EXISTING SPEAKER TO REMAIN

02 **SYMBOL LEGEND**
A-207 N.T.S

CONSTRUCTION PLAN GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.
2. ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION.
3. CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ANY DAMAGED EXISTING CONCRETE FLOOR SLAB AND G.W.B. ON PARTITIONS, BULKHEADS, ETC. AND MAKE READY FOR NEW FINISH.
4. CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES, INCLUDING BUT NOT LIMITED TO FLOORING, WALLS, AND CEILINGS DAMAGED BY CONSTRUCTION. TOUCH-UP PAINTED SURFACES AFTER COMPLETION OF ALL INSTALLATION.
5. GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING CONSTRUCTION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.
6. REFER TO THE ENGINEERING DRAWINGS FOR ALL POWER, DATA & SECURITY REQUIREMENTS, LOCATIONS & SPECIFICATIONS.
7. PROVIDE IN-WALL BLOCKING BETWEEN STUDS AS REQUIRED AT ALL ALL-HUNG ITEMS INCLUDING EQUIPMENT, ACCESSORIES AND MILLWORK.
8. MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING CONSTRUCTION.
9. PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS.
10. PATCH HOLES IN WALLS WHERE WALL MOUNTED ITEMS HAVE BEEN REMOVED, INCLUDING BUT NOT LIMITED TO SHELVES, PAINTINGS, BOARDS, SIGNS, FRAMES, FILE HOLDERS, COAT RACKS AND MIRRORS IN CORRIDORS AND ROOMS.
11. REPLACE BROKEN, DAMAGED OR MISSING SECTIONS OF PLASTIC EGGRATE AT CEILING LIGHT COVE ALONG CORRIDORS ON GROUND, 9TH, AND 10TH FLOORS TO MATCH EXISTING.

03 CONSTRUCTION PLAN GENERAL NOTES
A-207 N.T.S

CONSTRUCTION PLAN KEY NOTES	



04 CONSTRUCTION PLAN KEY NOTES
A-207 N.T.S

Project Title:

**250 COLLEGE STREET
MOVE CONSOLIDATION -
INTERIOR RENOVATION**
Ground, 8th, 9th, 10th and 11th Floors

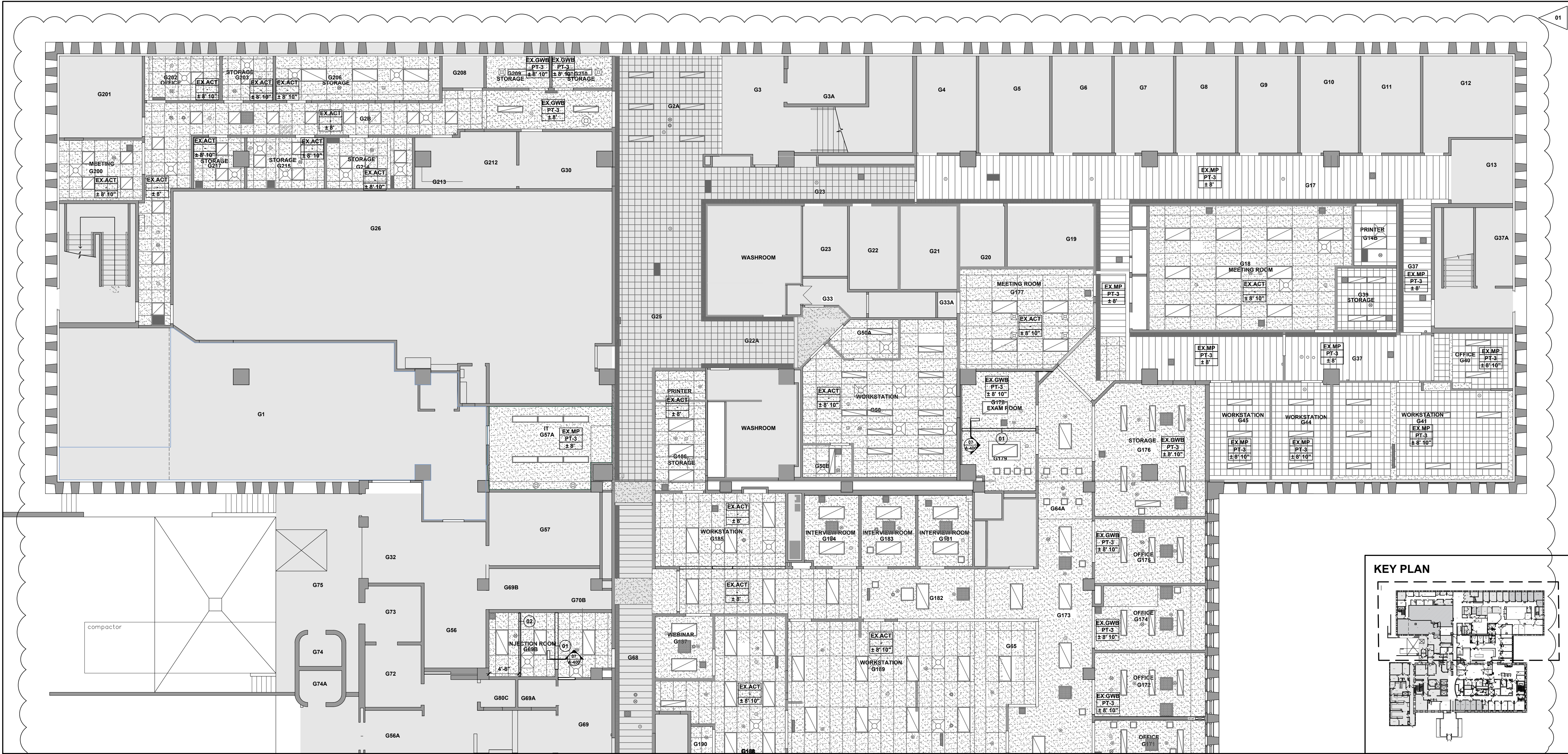
Sheet Title:

**NEW CEILING PLAN
GROUND FLOOR SOUTH**

<p>Project North</p> 	<p>Stamp</p> 	
<p>Date: 11 08 2023</p>	<p>Project No.: 22-48</p>	
<p>Scale: AS NOTED</p>	<p>Drawn: JJ</p>	<p>Checked: WJ</p>
<p>Revising Number:</p>		

Drawing Number:

A-207



01 NEW CEILING PLAN GROUND FLOOR NORTH
A-208 1/8" = 1'-0"

SYMBOL LEGEND

	NOT IN ARCHITECTURAL LIMITS OF WORK. REFER TO MECHANICAL & ELECTRICAL DWGS FOR LIMITS OF WORK FOR THESE DISCIPLINES.		EXISTING LIGHT FIXTURE TO REMAIN
	EXISTING WALL TO REMAIN		EXISTING RECESSED LIGHT FIXTURE TO REMAIN
	NEW WALL		EXISTING RETURN AIR GRILLE TO REMAIN
	ROOM NAME AND NUMBER		EXISTING DIFFUSER TO REMAIN
	EXISTING DECORATIVE BLANK WHITE COVER PLATE TO REMAIN		EXISTING HEAT/SMOKE DETECTOR TO REMAIN
	EXISTING CEILING ACCESS PANEL COVER TO REMAIN		EXISTING EMERGENCY LIGHT TO REMAIN
	EXISTING GYPSUM BOARD BULKHEAD OR CEILING REMAIN		EXISTING SPRINKLER HEAD TO REMAIN
	24" x 24" EXISTING SUSPENDED ACOUSTIC CEILING TILES TO REMAIN		EXISTING SPEAKER TO REMAIN
	PROVIDE NEW 24" x 24" SUSPENDED ACOUSTIC CEILING TILES TO REPLACE STAINED TILES		EXISTING CAMERA TO REMAIN
	EXISTING EGGRATES LIGHTING TO REMAIN		
	EXISTING METAL CEILING PANELS TO REMAIN		

02 SYMBOL LEGEND
A-208 N.T.S

CONSTRUCTION PLAN GENERAL NOTES

- CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.
- ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ANY DAMAGED EXISTING CONCRETE FLOOR SLAB AND G.W.B. ON PARTITIONS, BULKHEADS, ETC. AND MAKE READY FOR NEW FINISH.
- CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES, INCLUDING BUT NOT LIMITED TO FLOORING, WALLS, AND CEILINGS DAMAGED BY CONSTRUCTION. TOUCH-UP PAINTED SURFACES AFTER COMPLETION OF ALL INSTALLATION.
- GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING CONSTRUCTION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.
- REFER TO THE ENGINEERING DRAWINGS FOR ALL POWER, DATA & SECURITY REQUIREMENTS, LOCATIONS & SPECIFICATIONS.
- PROVIDE IN-WALL BLOCKING BETWEEN STUDS AS REQUIRED AT ALL ALL-HUNG ITEMS INCLUDING EQUIPMENT, ACCESSORIES AND MILLWORK.
- MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING CONSTRUCTION.
- PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS.
- PATCH HOLES IN WALLS WHERE WALL MOUNTED ITEMS HAVE BEEN REMOVED, INCLUDING BUT NOT LIMITED TO SHELVES, PAINTINGS, BOARDS, SIGNS, FRAMES, FILE HOLDERS, COAT RACKS AND MIRRORS IN CORRIDORS AND ROOMS.
- REPLACE BROKEN, DAMAGED OR MISSING SECTIONS OF PLASTIC EGGRATE AT CEILING LIGHT COVE ALONG CORRIDORS ON GROUND, 9TH, AND 10TH FLOORS TO MATCH EXISTING.

03 CONSTRUCTION PLAN GENERAL NOTES
A-208 N.T.S

CONSTRUCTION PLAN KEY NOTES

- 01 ADD METAL STUDS WHERE PRE-EXISTING WALL IS DEMOLISHED AND FINISH THE BOTTOM WITH GYPSUM WALL BOARD. SEE TYPICAL DETAIL 10/400
- 02 PROVIDE NEW CEILING MOUNTED CURTAIN AND TRACK.

04 CONSTRUCTION PLAN KEY NOTES
A-208 N.T.S

SHEET ISSUANCE

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1	HJA ADDENDUM 1	30 08 2023
NO		

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4	ISSUED FOR PERMIT	11-08-2023
3	ISSUED FOR TENDER	08-08-2023
2	PRE-TENDER COST ESTIMATE	14-07-2023
1	REVIEW	10-04-2023
NO	ACTION	DY MO YR

Client:

CAMH

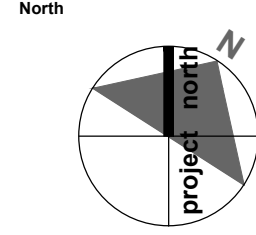
Project Title:

250 COLLEGE STREET
MOVE CONSOLIDATION -
INTERIOR RENOVATION
Ground, 8th, 9th, 10th and 11th Floors

Sheet Title:

NEW CEILING PLAN
GROUND FLOOR NORTH

Project



Stamp



Date:

11 08 2023

Project No.:

22-48

Scale:

AS NOTED

Drawn:

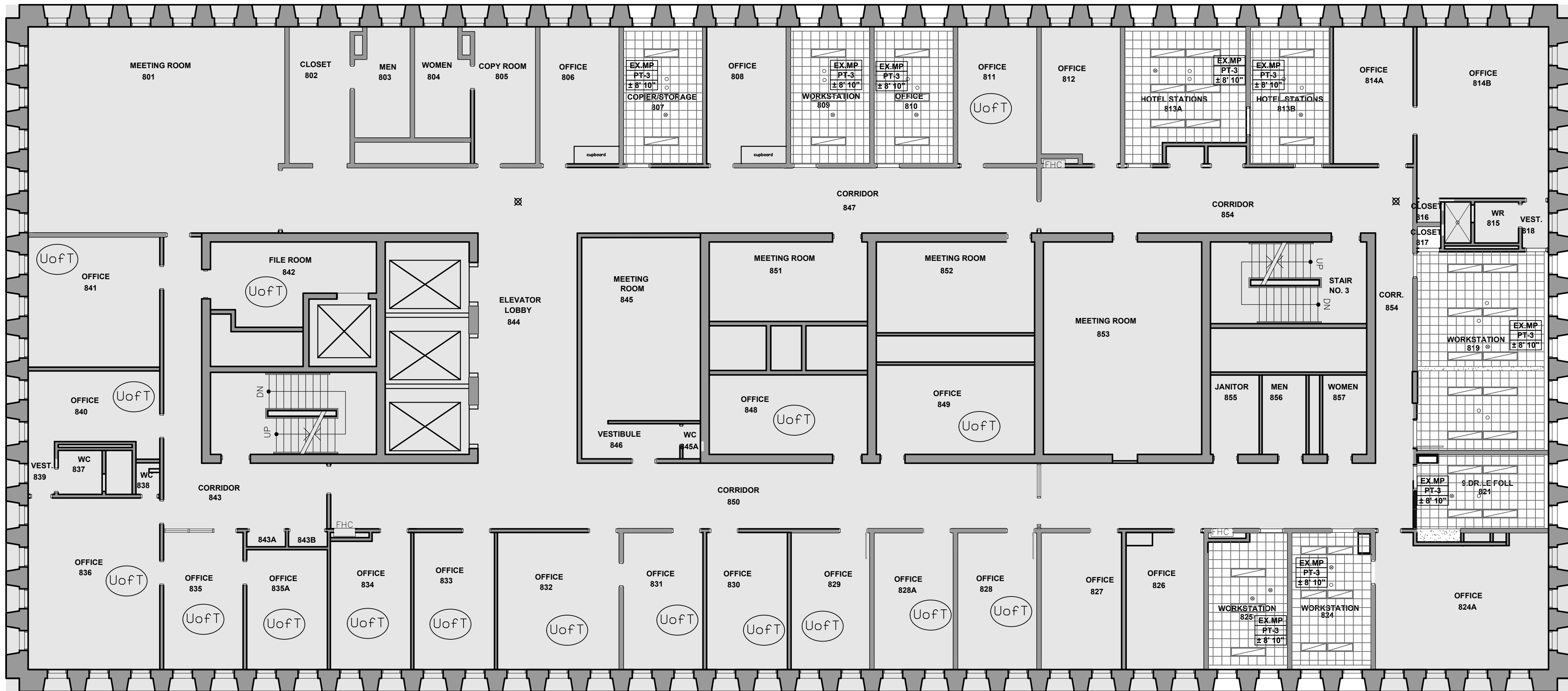
JJ

Checked:

WJ

Drawing Number:

A-208



01 NEW CEILING PLAN 8TH FLOOR
A-209 1/8" = 1'-0"

SYMBOL LEGEND

	NOT IN ARCHITECTURAL LIMITS OF WORK. REFER TO MECHANICAL & ELECTRICAL DWGS FOR LIMITS OF WORK FOR THESE DISCIPLINES.		EXISTING LIGHT FIXTURE TO REMAIN
	EXISTING WALL TO REMAIN		EXISTING RECESSED LIGHT FIXTURE TO REMAIN
	NEW WALL		EXISTING RETURN AIR GRILLE TO REMAIN
	ROOM NAME AND NUMBER		EXISTING DIFFUSER TO REMAIN
	EXISTING DECORATIVE BLANK WHITE COVER PLATE TO REMAIN		EXISTING HEAT/SMOKE DETECTOR TO REMAIN
	EXISTING CEILING ACCESS PANEL COVER TO REMAIN		EXISTING EMERGENCY LIGHT TO REMAIN
	EXISTING GYPSUM BOARD BULKHEAD OR CEILING REMAIN		EXISTING SPRINKLER HEAD TO REMAIN
	24" x 24" EXISTING SUSPENDED ACOUSTIC CEILING TILES TO REMAIN		EXISTING SPEAKER TO REMAIN
	PROVIDE NEW 24" x 24" SUSPENDED ACOUSTIC CEILING TILES TO REPLACE STAINED TILES		EXISTING CAMERA TO REMAIN
	EXISTING EGGRATES LIGHTING TO REMAIN		NEW EXIT SIGN. SEE ELECTRICAL DRAWINGS
	EXISTING METAL CEILING PANELS TO REMAIN		

CONSTRUCTION PLAN GENERAL NOTES

- CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.
- ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ANY DAMAGED EXISTING CONCRETE FLOOR SLAB AND G.W.B. ON PARTITIONS, BULKHEADS, ETC. AND MAKE READY FOR NEW FINISH.
- CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES, INCLUDING BUT NOT LIMITED TO FLOORING, WALLS, AND CEILINGS DAMAGED BY CONSTRUCTION. TOUCH-UP PAINTED SURFACES AFTER COMPLETION OF ALL INSTALLATION.
- GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING CONSTRUCTION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.
- REFER TO THE ENGINEERING DRAWINGS FOR ALL POWER, DATA & SECURITY REQUIREMENTS, LOCATIONS & SPECIFICATIONS.
- PROVIDE IN-WALL BLOCKING BETWEEN STUDS AS REQUIRED AT ALL ALL-HUNG ITEMS INCLUDING EQUIPMENT, ACCESSORIES AND MILLWORK.
- MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING CONSTRUCTION.
- PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS.
- PATCH HOLES IN WALLS WHERE WALL MOUNTED ITEMS HAVE BEEN REMOVED, INCLUDING BUT NOT LIMITED TO SHELVES, PAINTINGS, BOARDS, SIGNS, FRAMES, FILE HOLDERS, COAT RACKS AND MIRRORS IN CORRIDORS AND ROOMS.
- REPLACE BROKEN, DAMAGED OR MISSING SECTIONS OF PLASTIC EGGRATE AT CEILING LIGHT COVE ALONG CORRIDORS ON GROUND, 9TH, AND 10TH FLOORS TO MATCH EXISTING.

CONSTRUCTION PLAN KEY NOTES

02 SYMBOL LEGEND
A-209 N.T.S

03 CONSTRUCTION PLAN GENERAL NOTES
A-209 N.T.S

04 CONSTRUCTION PLAN KEY NOTES
A-209 N.T.S

SHEET ISSUANCE

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1	HJA ADDENDUM 1	30 08 2023
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2	PRE-TENDER COST ESTIMATE	14-07-2023
1	REVIEW	10-04-2023
NO	ACTION	DY MO YR

Client:

CAMH

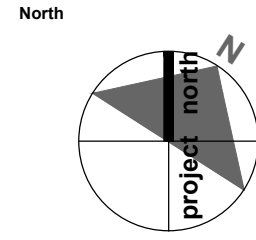
Project Title:

**250 COLLEGE STREET
MOVE CONSOLIDATION -
INTERIOR RENOVATION**
Ground, 8th, 9th,10th and 11th Floors

Sheet Title:

**NEW CEILING PLAN
8TH FLOOR**

Project



Stamp



Date:

11 08 2023

Project No.:

22-48

Scale:

AS NOTED

Drawn:

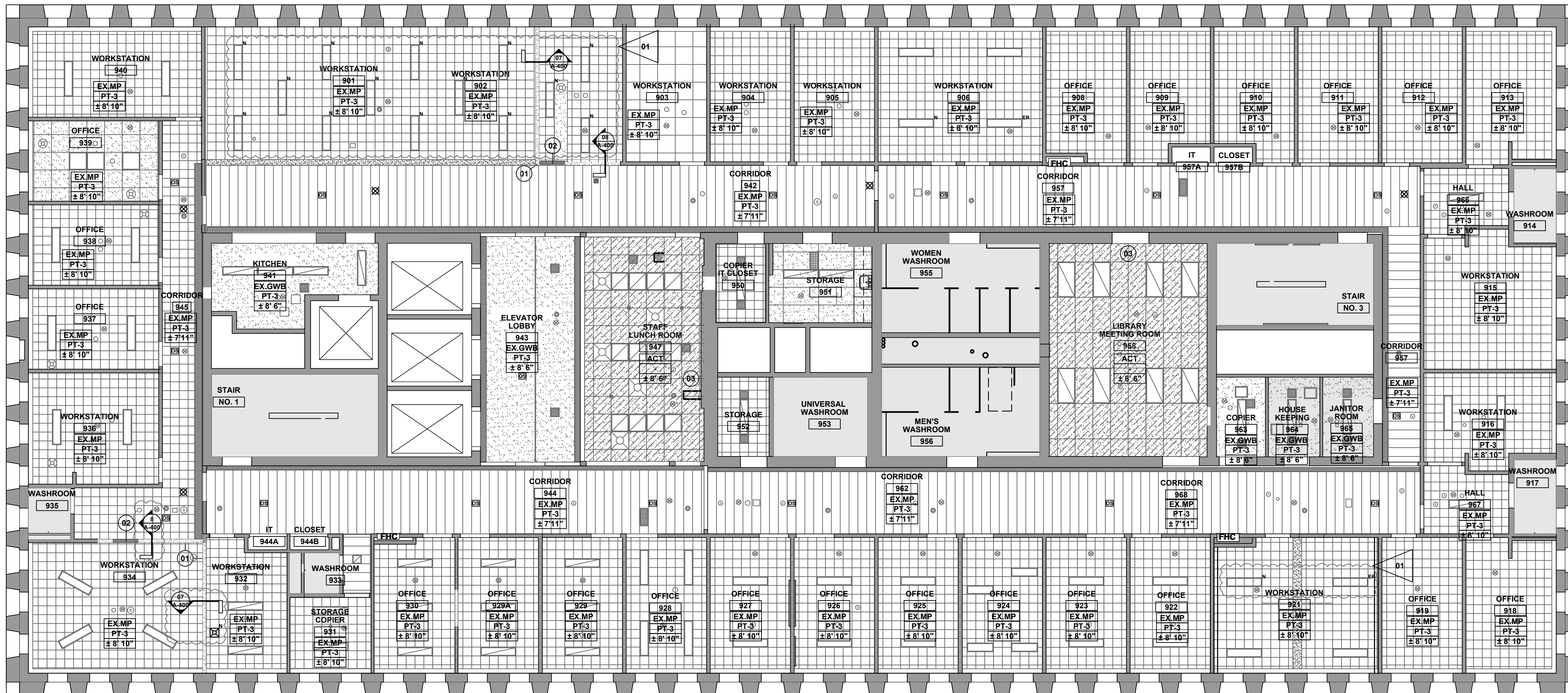
JJ

Checked:

WJ

Drawing Number:

A-209



01 NEW CEILING PLAN 9TH FLOOR

A-210 1/8" = 1'-0"

SYMBOL LEGEND

	NOT IN ARCHITECTURAL LIMITS OF WORK. REFER TO MECHANICAL & ELECTRICAL DWGS FOR LIMITS OF WORK FOR THESE DISCIPLINES.		EXISTING LIGHT FIXTURE TO REMAIN
	EXISTING WALL TO REMAIN		EXISTING RECESSED LIGHT FIXTURE TO REMAIN
ROOM NAME			EXISTING RETURN AIR GRILLE TO REMAIN
	ROOM NAME AND NUMBER		EXISTING DIFFUSER TO REMAIN
	EXISTING DECORATIVE BLANK WHITE COVER PLATE TO REMAIN		EXISTING HEAT/SMOKE DETECTOR TO REMAIN
	EXISTING CEILING ACCESS PANEL COVER TO REMAIN		EXISTING EMERGENCY LIGHT TO REMAIN
	EXISTING GYPSUM BOARD BULKHEAD OR CEILING REMAIN		EXISTING SPRINKLER HEAD TO REMAIN
	EXISTING ACOUSTIC CEILING TILES AND GRID TO REMAIN		EXISTING SPEAKER TO REMAIN
	EXISTING EGGRATES LIGHTING TO REMAIN		NEW RETURN AIR GRILLE
	EXISTING METAL CEILING PANELS TO REMAIN		EXISTING LIGHT FIXTURE IN NEW LOCATION
	NEW ACOUSTIC CEILING TILES.		NEW LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS
	NEW GYPSUM BOARD BULKHEAD /CEILING		NEW OCCUPANCY SENSOR. SEE ELECTRICAL DRAWINGS
			NEW EXIT SIGN. SEE ELECTRICAL DRAWINGS
			NEW SUPPLY AIR DIFFUSER. SEE MECHANICAL DRAWINGS

02 SYMBOL LEGEND

A-210 N.T.S

CONSTRUCTION PLAN GENERAL NOTES

- CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.
- ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ANY DAMAGED EXISTING CONCRETE FLOOR SLAB AND G.W.B. ON PARTITIONS, BULKHEADS, ETC. AND MAKE READY FOR NEW FINISH.
- CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES, INCLUDING BUT NOT LIMITED TO FLOORING, WALLS, AND CEILINGS DAMAGED BY CONSTRUCTION. TOUCH-UP PAINTED SURFACES AFTER COMPLETION OF ALL INSTALLATION.
- GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING CONSTRUCTION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.
- REFER TO THE ENGINEERING DRAWINGS FOR ALL POWER, DATA & SECURITY REQUIREMENTS, LOCATIONS & SPECIFICATIONS.
- PROVIDE IN-WALL BLOCKING BETWEEN STUDS AS REQUIRED AT ALL ALL-HUNG ITEMS INCLUDING EQUIPMENT, ACCESSORIES AND MILLWORK.
- MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING CONSTRUCTION.
- PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS.
- PATCH HOLES IN WALLS WHERE WALL MOUNTED ITEMS HAVE BEEN REMOVED, INCLUDING BUT NOT LIMITED TO SHELVES, PAINTINGS, BOARDS, SIGNS, FRAMES, FILE HOLDERS, COAT RACKS AND MIRRORS IN CORRIDORS AND ROOMS.
- REPLACE BROKEN, DAMAGED OR MISSING SECTIONS OF PLASTIC EGGRATE AT CEILING LIGHT COVE ALONG CORRIDORS ON GROUND, 9TH, AND 10TH FLOORS TO MATCH EXISTING.

03 CONSTRUCTION PLAN GENERAL NOTES

A-210 N.T.S

CONSTRUCTION PLAN KEY NOTES

- ADD METAL STUDS WHERE WALL IS REMOVED. FINISH BOTTOM WITH GYPSUM WALL BOARD. SEE DETAILS 1/400 AND 1/400
- PROVIDE NEW SUPPLY AIR GRILLE. REFER TO MECHANICAL DRAWINGS.
- ALLOW FOR REMOVAL AND REINSTATEMENT OF RADIANT CEILING METAL PANELS TO FACILITATE INSTALLATION OF NEW AC UNIT. SALVAGE AND PROTECT METAL PANELS. REFER TO MECHANICAL DRAWINGS.

04 CONSTRUCTION PLAN KEY NOTES

A-210 N.T.S

SHEET ISSUANCE

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1	REVIEW	10-04-2023
NO	ACTION	DY MO YR

Client:

CAMH

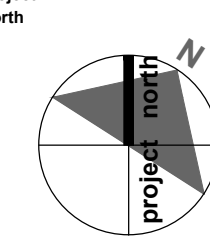
Project Title:

**250 COLLEGE STREET
MOVE CONSOLIDATION -
INTERIOR RENOVATION**
Ground, 8th, 9th, 10th and 11th Floors

Sheet Title:

**NEW CEILING PLAN
9TH FLOOR**

Project



Stamp



Date:

11 08 2023

Project No.:

22-48

Scale:

AS NOTED

Drawn:

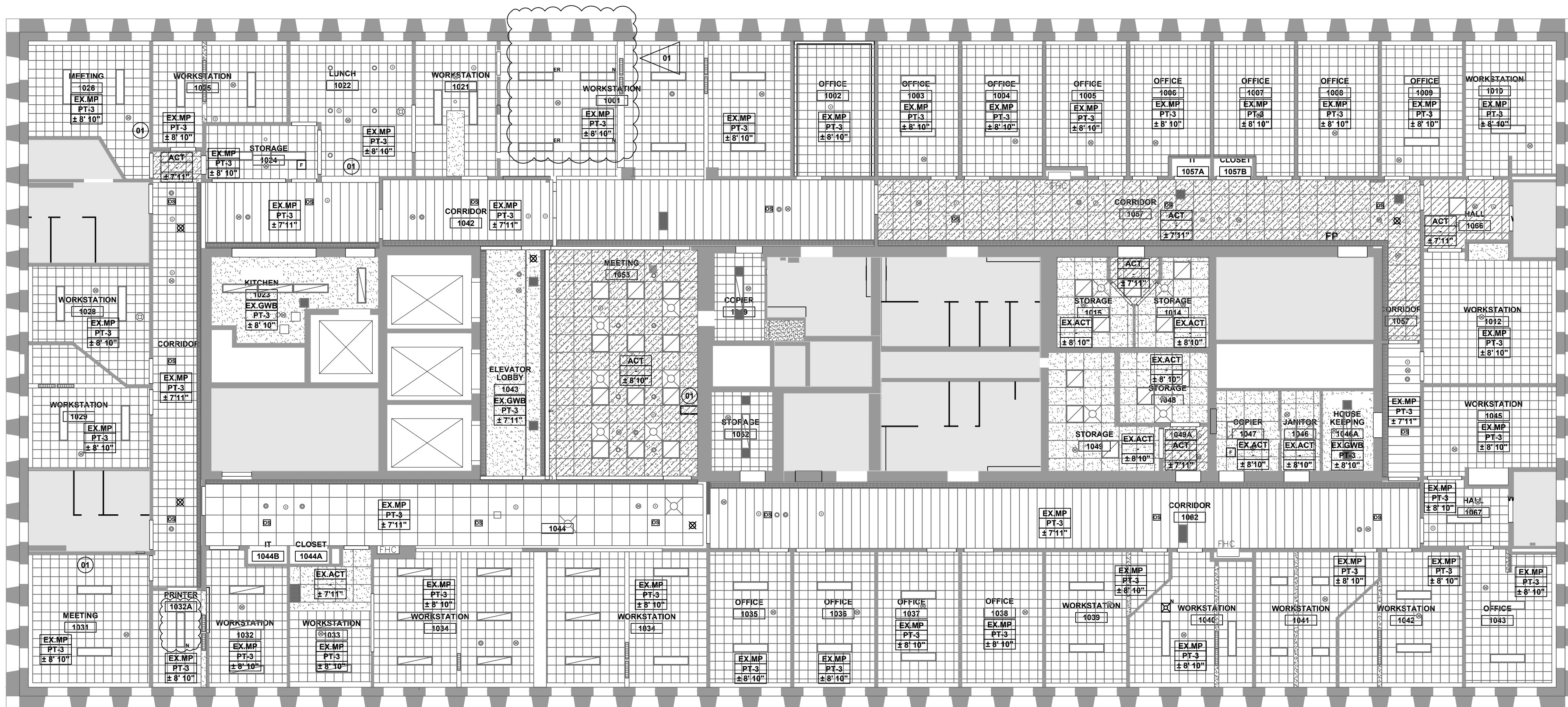
JJ

Checked:

WJ

Drawing Number:

A-210



01 NEW CEILING PLAN 10TH FLOOR
A-211 1/8" = 1'-0"

SYMBOL LEGEND

	NOT IN ARCHITECTURAL LIMITS OF WORK. REFER TO MECHANICAL & ELECTRICAL DWGS FOR LIMITS OF WORK FOR THESE DISCIPLINES.		EXISTING LIGHT FIXTURE TO REMAIN
	EXISTING WALL TO REMAIN		EXISTING RECESSED LIGHT FIXTURE TO REMAIN
ROOM NAME			EXISTING RETURN AIR GRILLE TO REMAIN
	ROOM NAME AND NUMBER		EXISTING DIFFUSER TO REMAIN
	EXISTING DECORATIVE BLANK WHITE COVER PLATE TO REMAIN		EXISTING HEAT/SMOKE DETECTOR TO REMAIN
	EXISTING CEILING ACCESS PANEL COVER TO REMAIN		EXISTING EMERGENCY LIGHT TO REMAIN
	EXISTING GYPSUM BOARD BULKHEAD OR CEILING REMAIN		EXISTING SPRINKLER HEAD TO REMAIN
	EXISTING ACOUSTIC CEILING TILES AND GRID TO REMAIN		EXISTING SPEAKER TO REMAIN
	EXISTING EGGRATES LIGHTING TO REMAIN		NEW LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS
	EXISTING METAL CEILING PANELS TO REMAIN		EXISTING LIGHT FIXTURE IN NEW LOCATION
	NEW ACOUSTIC CEILING TILES.		NEW OCCUPANCY SENSOR. SEE ELECTRICAL DRAWINGS
			NEW EXIT SIGN. SEE ELECTRICAL DRAWINGS
			NEW SUPPLY AIR DIFFUSER. SEE MECHANICAL DRAWINGS
			NEW CEILING MOUNTED EXHAUST FAN. SEE MECHANICAL DRAWINGS

CONSTRUCTION PLAN GENERAL NOTES

- CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.
- ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ANY DAMAGED EXISTING CONCRETE FLOOR SLAB AND G.W.B. ON PARTITIONS, BULKHEADS, ETC. AND MAKE READY FOR NEW FINISH.
- CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES, INCLUDING BUT NOT LIMITED TO FLOORING, WALLS, AND CEILINGS DAMAGED BY CONSTRUCTION. TOUCH-UP PAINTED SURFACES AFTER COMPLETION OF ALL INSTALLATION.
- GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING CONSTRUCTION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.
- REFER TO THE ENGINEERING DRAWINGS FOR ALL POWER, DATA & SECURITY REQUIREMENTS, LOCATIONS & SPECIFICATIONS.
- PROVIDE IN-WALL BLOCKING BETWEEN STUDS AS REQUIRED AT ALL ALL-HUNG ITEMS INCLUDING EQUIPMENT, ACCESSORIES AND MILLWORK.
- MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING CONSTRUCTION.
- PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS.
- PATCH HOLES IN WALLS WHERE WALL MOUNTED ITEMS HAVE BEEN REMOVED, INCLUDING BUT NOT LIMITED TO SHELVES, PAINTINGS, BOARDS, SIGNS, FRAMES, FILE HOLDERS, COAT RACKS AND MIRRORS IN CORRIDORS AND ROOMS.
- REPLACE BROKEN, DAMAGED OR MISSING SECTIONS OF PLASTIC EGGRATE AT CEILING LIGHT COVE ALONG CORRIDORS ON GROUND, 9TH, AND 10TH FLOORS TO MATCH EXISTING.

03 CONSTRUCTION PLAN GENERAL NOTES
A-211 N.T.S

CONSTRUCTION PLAN KEY NOTES

- 01 ALLOW FOR REMOVAL AND REINSTATEMENT OF RADIANT CEILING METAL PANELS TO FACILITATE INSTALLATION OF NEW AC UNIT. SALVAGE AND PROTECT METAL PANELS. REFER TO MECHANICAL DRAWINGS.

04 CONSTRUCTION PLAN KEY NOTES
A-211 N.T.S

SHEET ISSUANCE

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1	HJA ADDENDUM 1	30 08 2023
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1	REVIEW	10-04-2023
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Client:

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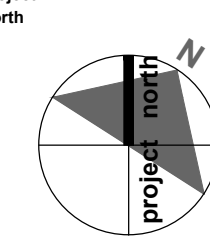
Project Title:

250 COLLEGE STREET
MOVE CONSOLIDATION -
INTERIOR RENOVATION
Ground, 8th, 9th, 10th and 11th Floors

Sheet Title:

NEW CEILING PLAN
10TH FLOOR

Project North



Stamp



Date:

11 08 2023

Project No.:

22-48

Scale:

AS NOTED

Drawn:

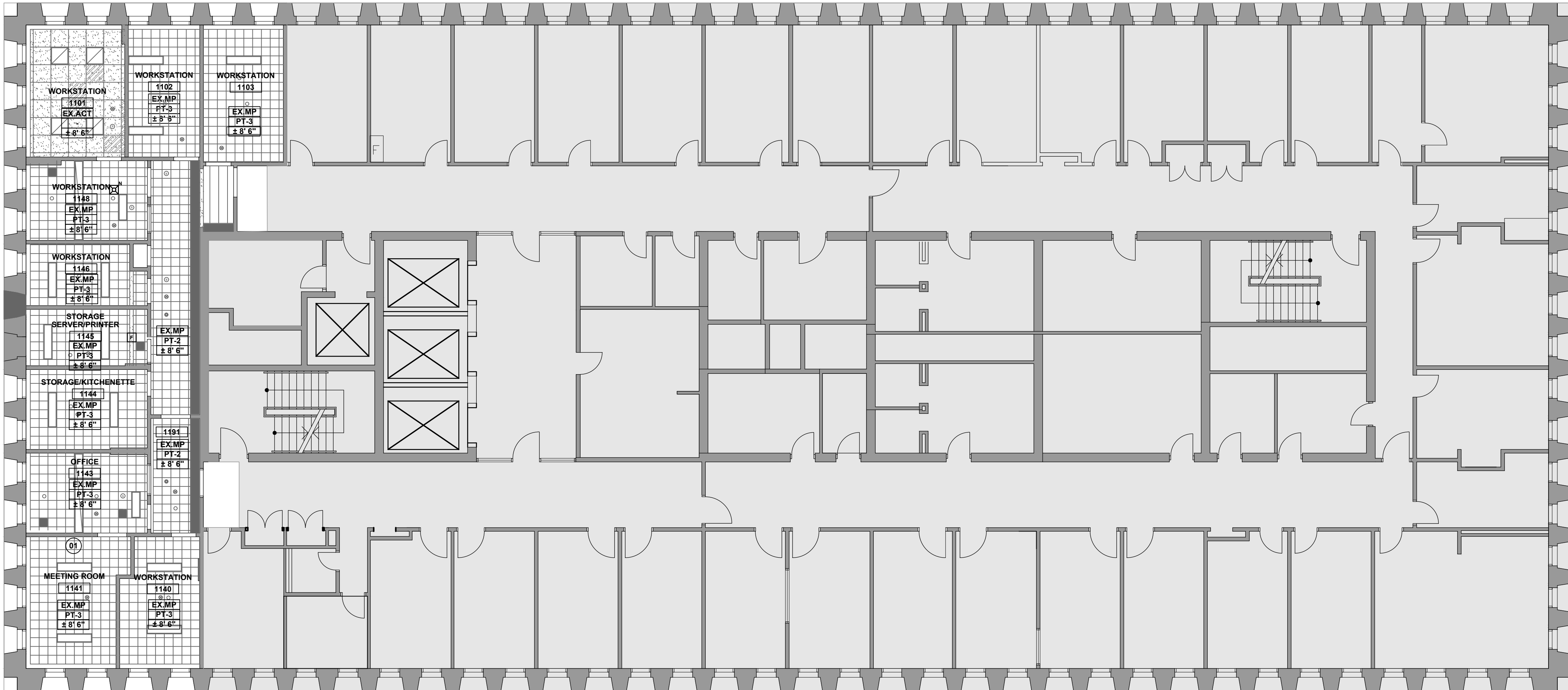
JJ

Checked:

WJ

Drawing Number:

A-211



01 NEW CEILING PLAN 11TH FLOOR
A-212 1/8" = 1'0"

SYMBOL LEGEND

- NOT IN ARCHITECTURAL LIMITS OF WORK. REFER TO MECHANICAL & ELECTRICAL DWGS FOR LIMITS OF WORK FOR THESE DISCIPLINES.
- EXISTING WALL TO REMAIN
- NEW WALL
- ROOM NAME
- ROOM NAME AND NUMBER
- EXISTING DECORATIVE BLANK WHITE COVER PLATE TO REMAIN
- EXISTING CEILING ACCESS PANEL COVER TO REMAIN
- EXISTING GYPSUM BOARD BULKHEAD OR CEILING REMAIN
- 24" x 24" EXISTING SUSPENDED ACOUSTIC CEILING TILES TO REMAIN
- PROVIDE NEW 24" x 24" SUSPENDED ACOUSTIC CEILING TILES TO REPLACE STAINED TILES
- EXISTING EGGRATES LIGHTING TO REMAIN
- EXISTING METAL CEILING PANELS TO REMAIN

- EXISTING LIGHT FIXTURE TO REMAIN
- EXISTING RECESSED LIGHT FIXTURE TO REMAIN
- EXISTING RETURN AIR GRILLE TO REMAIN
- EXISTING DIFFUSER TO REMAIN
- EXISTING HEAT/SMOKE DETECTOR TO REMAIN
- EXISTING EMERGENCY LIGHT TO REMAIN
- EXISTING SPRINKLER HEAD TO REMAIN
- EXISTING SPEAKER TO REMAIN
- EXISTING CAMERA TO REMAIN

- NEW SUPPLY AIR DIFFUSER. SEE MECHANICAL DRAWINGS
- NEW CEILING MOUNTED EXHAUST FAN. SEE MECHANICAL DRAWINGS

01

CONSTRUCTION PLAN GENERAL NOTES

- CONTRACTOR TO VERIFY ALL SITE DIMENSIONS. ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.
- ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ANY DAMAGED EXISTING CONCRETE FLOOR SLAB AND G.W.B. ON PARTITIONS, BULKHEADS, ETC. AND MAKE READY FOR NEW FINISH.
- CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES, INCLUDING BUT NOT LIMITED TO FLOORING, WALLS, AND CEILINGS DAMAGED BY CONSTRUCTION. TOUCH-UP PAINTED SURFACES AFTER COMPLETION OF ALL INSTALLATION.
- GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING CONSTRUCTION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.
- REFER TO THE ENGINEERING DRAWINGS FOR ALL POWER, DATA & SECURITY REQUIREMENTS, LOCATIONS & SPECIFICATIONS.
- PROVIDE IN-WALL BLOCKING BETWEEN STUDS AS REQUIRED AT ALL ALL-HUNG ITEMS INCLUDING EQUIPMENT, ACCESSORIES AND MILLWORK.
- MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING CONSTRUCTION.
- PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/ PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS.
- PATCH HOLES IN WALLS WHERE WALL MOUNTED ITEMS HAVE BEEN REMOVED, INCLUDING BUT NOT LIMITED TO SHELVES, PAINTINGS, BOARDS, SIGNS, FILE HOLDERS, COAT RACKS AND MIRRORS IN CORRIDORS AND ROOMS.
- REPLACE BROKEN, DAMAGED OR MISSING SECTIONS OF PLASTIC EGGRATE AT CEILING LIGHT COVE ALONG CORRIDORS ON GROUND, 9TH, AND 10TH FLOORS TO MATCH EXISTING.

CONSTRUCTION PLAN KEY NOTES

- 01 ALLOW FOR REMOVAL AND REINSTATEMENT OF RADIANT CEILING METAL PANELS TO FACILITATE INSTALLATION OF NEW AC UNIT. SALVAGE AND PROTECT METAL PANELS. REFER TO MECHANICAL DRAWINGS.

01

02 SYMBOL LEGEND
A-212 N.T.S

03 CONSTRUCTION PLAN GENERAL NOTES
A-212 N.T.S

04 CONSTRUCTION PLAN KEY NOTES
A-212 N.T.S

SHEET ISSUANCE

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1	HJA ADDENDUM 1	30 08 2023
NO		

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4	ISSUED FOR PERMIT	11-08-2023
3	ISSUED FOR TENDER	08-08-2023
2	PRE-TENDER COST ESTIMATE	14-07-2023
1	REVIEW	10-04-2023
NO	ACTION	DY MO YR

Client:

CAMH

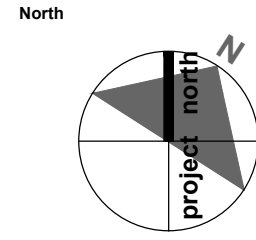
Project Title:

250 COLLEGE STREET
MOVE CONSOLIDATION -
INTERIOR RENOVATION
Ground, 8th, 9th, 10th and 11th Floors

Sheet Title:

NEW CEILING PLAN
11TH FLOOR

Project



Stamp



Date:

11 08 2023

Project No.:

22-48

Scale:

AS NOTED

Drawn:

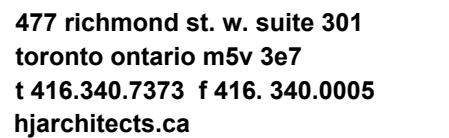
JJ

Checked:

WJ

Drawing Number:

A-212



EXISTING PARTITION TO REMAIN

NEW PARTITION

EXISTING DOOR AND FRAME ASSEMBLY TO REMAIN

EXISTING DUAL SWING DOOR AND FRAME ASSEMBLY TO REMAIN

AREA NOT IN SCOPE OF WORK

1. CONTRACTOR TO VERIFY ALL SITE DIMENSIONS, ANY ERROR OR DISCREPANCY TO THE DIMENSIONED PARTITION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT PRIOR TO CONSTRUCTION.
2. ALL WORK TO CONFORM TO EXISTING BY-LAWS, CODES AND AUTHORITIES HAVING JURISDICTION.
3. GENERAL CONTRACTOR IS TO REVIEW & FOLLOW THE BUILDING'S CONSTRUCTION GUIDELINES PRIOR TO COMMENCEMENT OF ANY WORK, ALL NOISE AND NOXIOUS WORK TO BE DONE AFTER HOURS AND ARRANGED WITH THE BUILDING BEFOREHAND. SEAL OFF SITE WITH HOARDING AS REQUIRED FOR DURATION OF CONSTRUCTION SO NOT TO DISTURB DAY TO DAY OPERATIONS.
4. CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ANY DAMAGED EXISTING CONCRETE FLOOR SLAB AND G.W.B. ON PARTITIONS, BULKHEADS, ETC. AND MAKE READY FOR NEW FINISH.
5. CONTRACTOR TO REPAIR / REPLACE ANY EXISTING FINISHES, INCLUDING BUT NOT LIMITED TO FLOORING, DAMAGED BY CONSTRUCTION. TOUCH-UP PAINTED SURFACES AFTER COMPLETION OF ALL INSTALLATION.
6. GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH OR DEBRIS DURING CONSTRUCTION AND SHALL LEAVE THE PREMISES CLEAN UPON COMPLETION OF WORK. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.
7. REFER TO THE ENGINEERING DRAWINGS FOR ALL POWER, DATA & SECURITY REQUIREMENTS, LOCATIONS & SPECIFICATIONS.
8. PROVIDE IN-WALL BLOCKING BETWEEN STUDS AS REQUIRED AT ALL ALL-HUNG ITEMS INCLUDING EQUIPMENT, ACCESSORIES AND MILLWORK.
9. MAINTAIN INTEGRITY OF ALL EXISTING FIRE EXITS AT ALL TIMES DURING CONSTRUCTION.
10. PROVIDE FIRE STOP SYSTEMS AT OPENINGS AND GAPS AROUND DUCTS/PIPES/ ELECTRICAL PENETRATION IN FLOORS, AND FIRE RATED PARTITIONS TO MAINTAIN INTEGRITY OF FIRE SEPARATION. USE ULC LISTED FIRE STOP PRODUCTS.
11. PATCH AND REPAIR WALLS WHERE LIGHT FIXTURES, SIGNS, PAINTINGS, FRAME AND MIRRORS WERE REMOVED PRIOR TO PAINTING.
12. REPLACE ALL EXISTING BLINDS WITH ROLLER SHADES, ¾ MESH VINYL FABRIC.
13. PROVIDE TRANSITION STRIP AT ALL CHANGES OF FLOORING MATERIAL.
14. PAINT ALL EXISTING GYPSUM BOARD WALLS.

- (W1) 30" x 60" OFFICE DESK. PROVIDED BY OWNER
- (C1) TASK CHAIR. PROVIDED BY OWNER
- (S1) 18" x 36" STORAGE CABINET. PROVIDED BY OWNER
- (P1) COLOURED PRINTER. PROVIDED BY OWNER
- (E1) CPU'S. PROVIDED BY OWNER
- (E2) UPS/BATTERY BACKUPS AND SERVERS. PROVIDED BY OWNER
- (E3) MONITOR PROVIDED BY OWNER
- (AC) PORTABLE AC UNITS. PROVIDED BY OWNER

03 FFE PLAN GENERAL NOTES
A-303 N.T.S

04 FFE PLAN KEY NOTES
A-303 N.T.S

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Client: **CAMH**

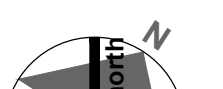

Project Title:

250 COLLEGE STREET MOVE CONSOLIDATION - INTERIOR RENOVATION

Ground, 8th, 9th, 10th and 11th Floors

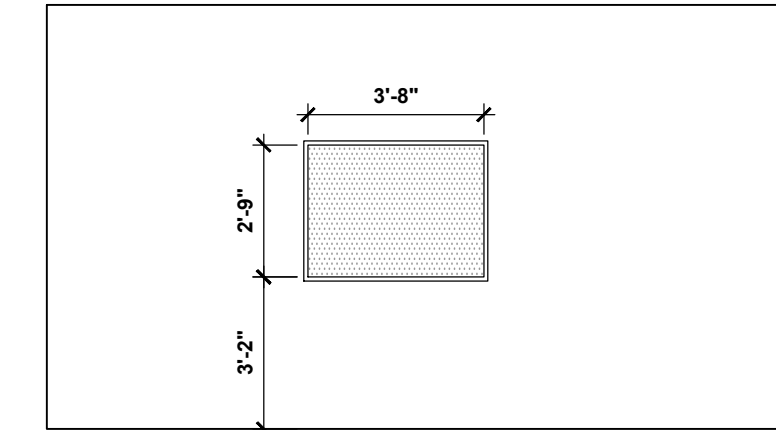
Sheet Title:

**FIXTURES, FURNITURE
& EQUIPMENT PLAN
8TH FLOOR**

<div>Project North</div> <div></div>	<div>Stamp</div> <div></div>	
<div>Date:</div> <div>11 08 2023</div>	<div>Project No.:</div> <div>22-48</div>	
<div>Scale:</div> <div>AS NOTED</div>	<div>Drawn:</div> <div>JJ</div>	<div>Checked:</div> <div>WJ</div>

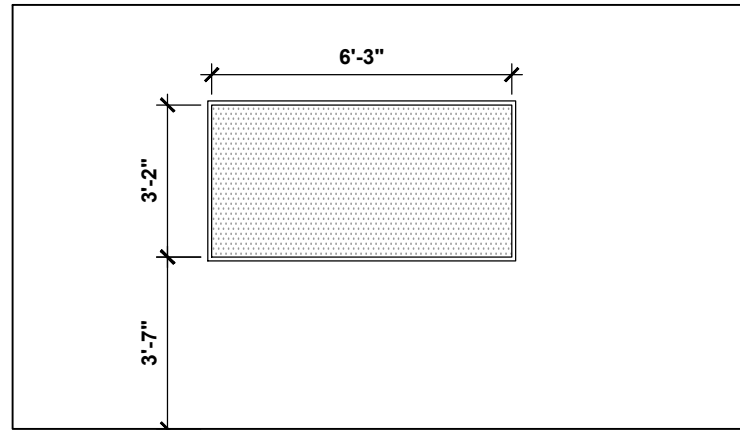
A-303

INTERIOR ELEVATIONS - ROOM 930



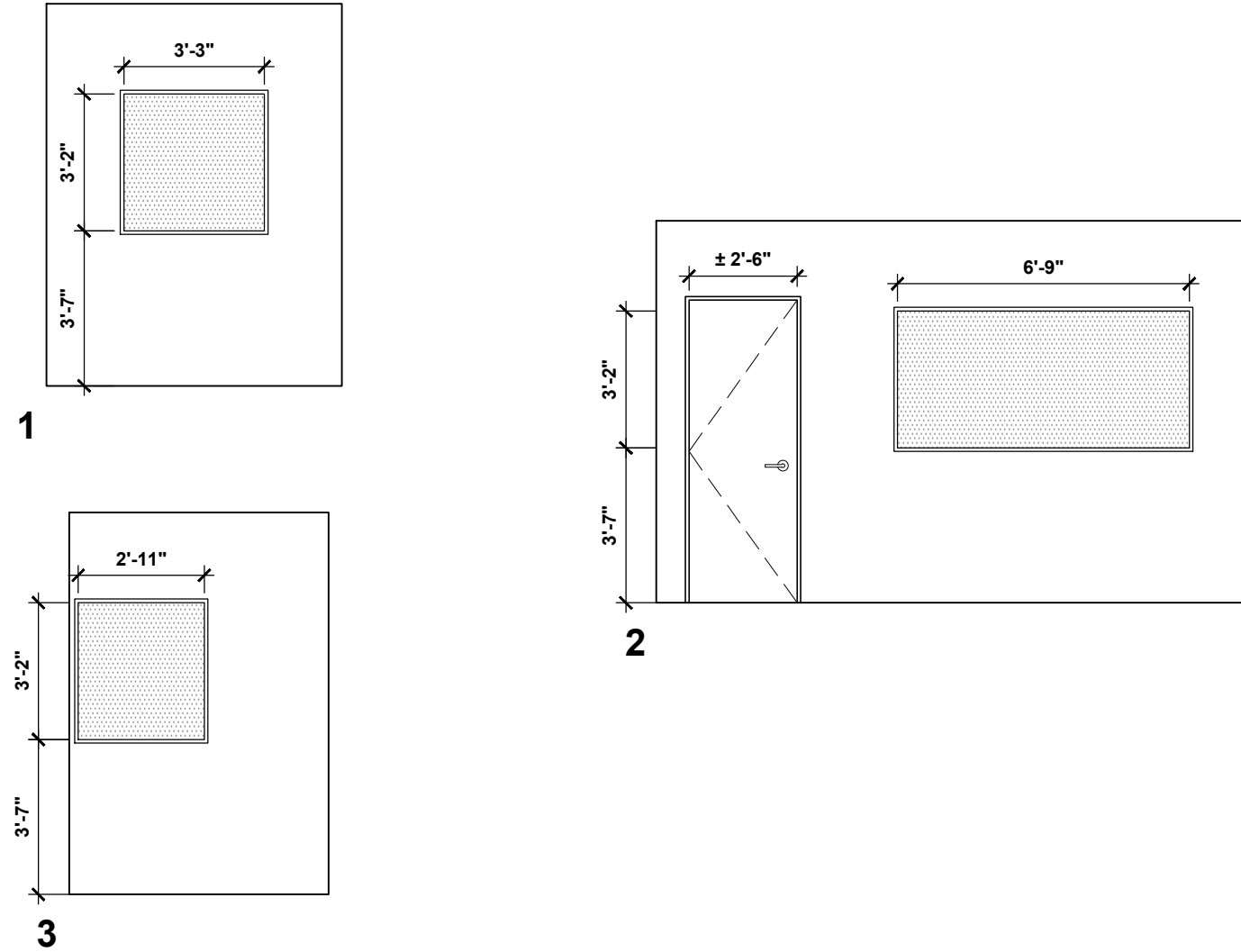
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INTERIOR ELEVATIONS - ROOM 1034



1

INTERIOR ELEVATIONS - ROOM 1024

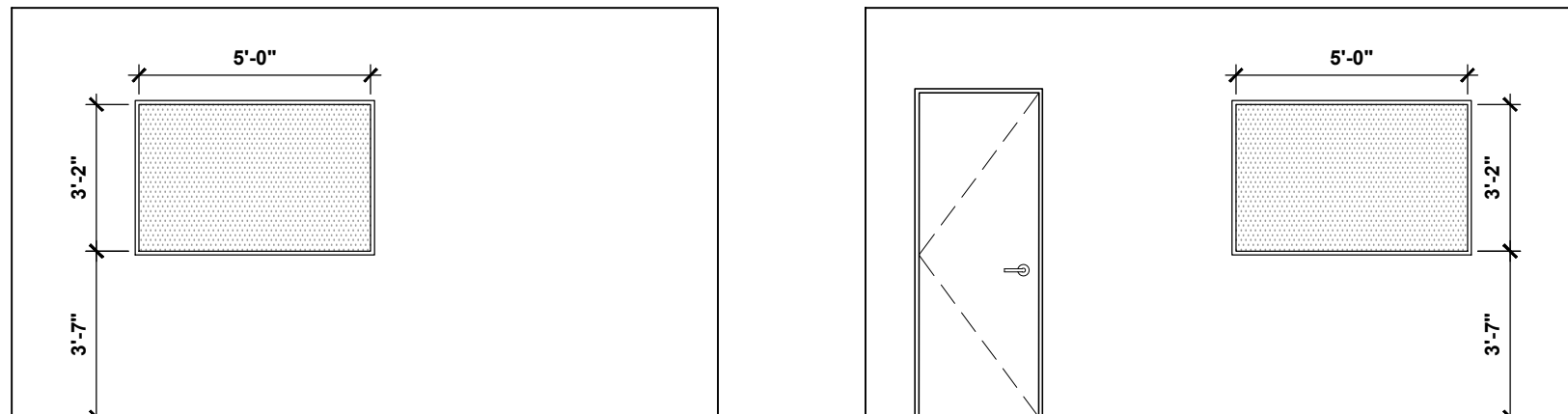


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INTERIOR ELEVATIONS - ROOM 1021



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2

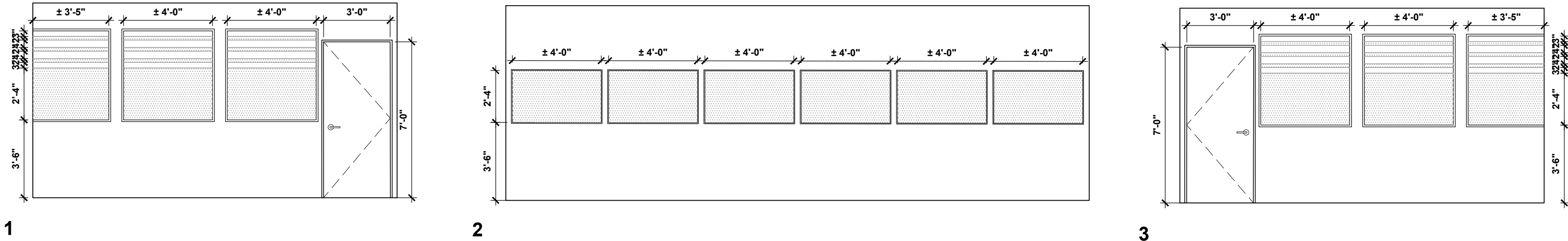
01 INTERIOR ELEVATIONS - ROOM 930
A-400 1/4" = 1'-0"

02 INTERIOR ELEVATIONS - ROOM 1034
A-400 1/4" = 1'-0"

03 INTERIOR ELEVATIONS - ROOM 1024
A-400 1/4" = 1'-0"

04 INTERIOR ELEVATIONS - ROOM 1021
A-400 1/4" = 1'-0"

INTERIOR ELEVATIONS - ROOM 1053



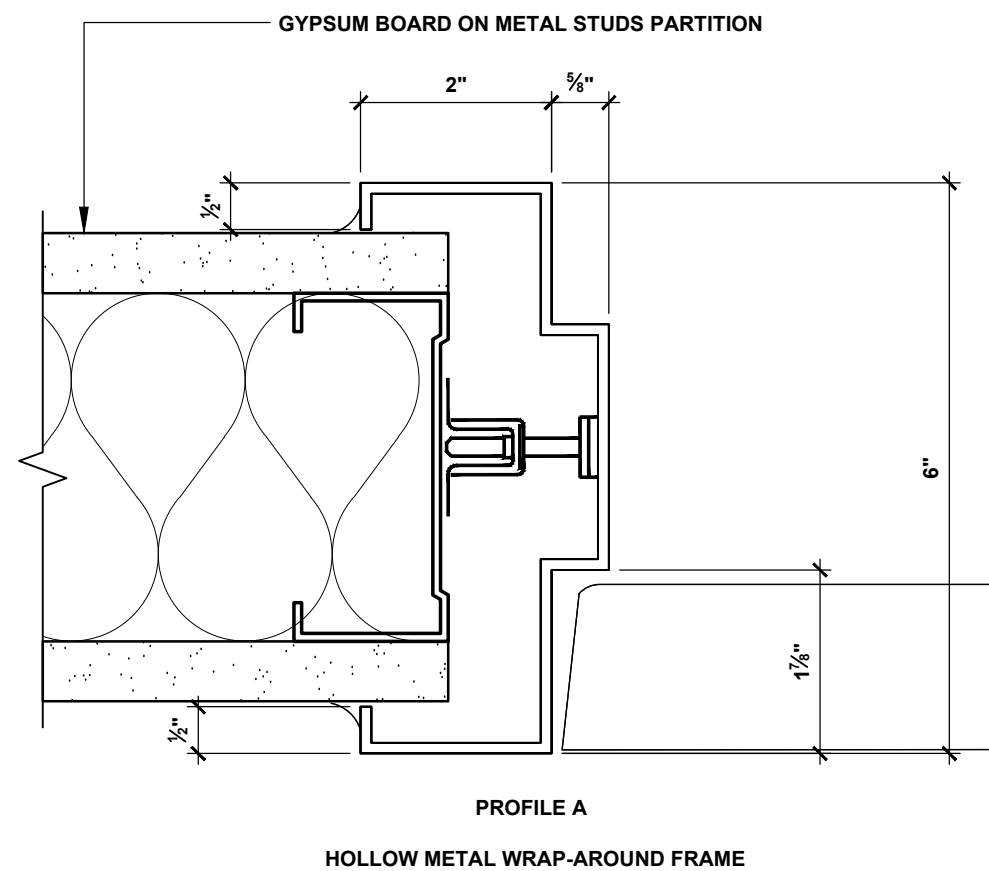
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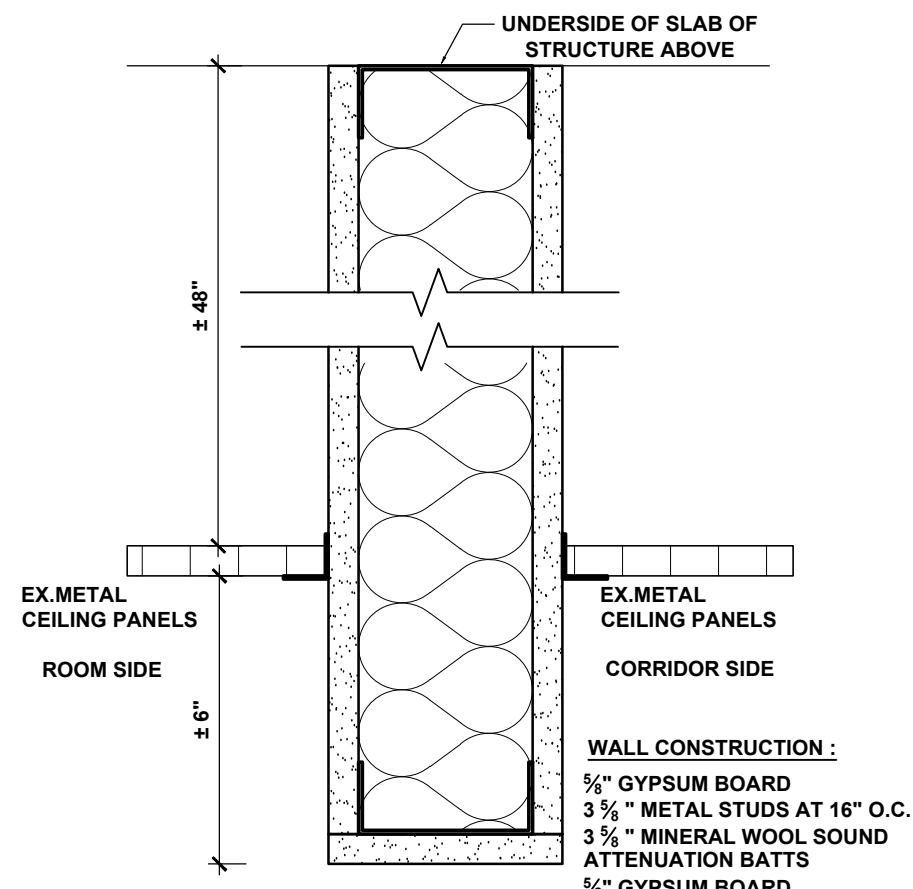
05 INTERIOR ELEVATIONS - ROOM 1053
A-400 1/4" = 1'-0"

DOOR FRAME PROFILE



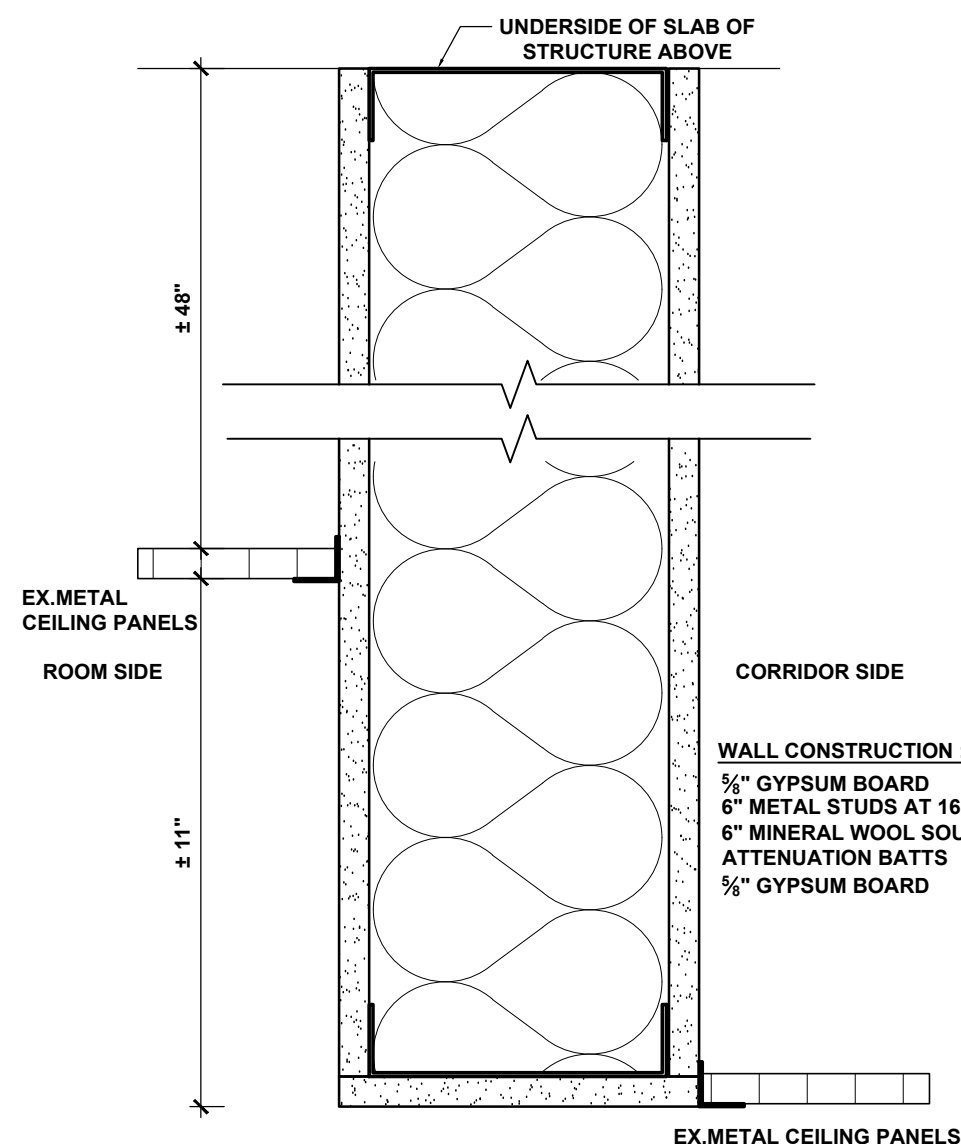
06 DOOR FRAME PROFILE
A-400 6" = 1'-0"

DROP CEILING DETAIL



07 DROP CEILING DETAIL
A-400 3" = 1'-0"

DROP CEILING DETAIL



08 DROP CEILING DETAIL
A-400 3" = 1'-0"

SHEET ISSUANCE

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1	HJA ADDENDUM 1	30 08 2023
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Client:



CAMH

Project Title:

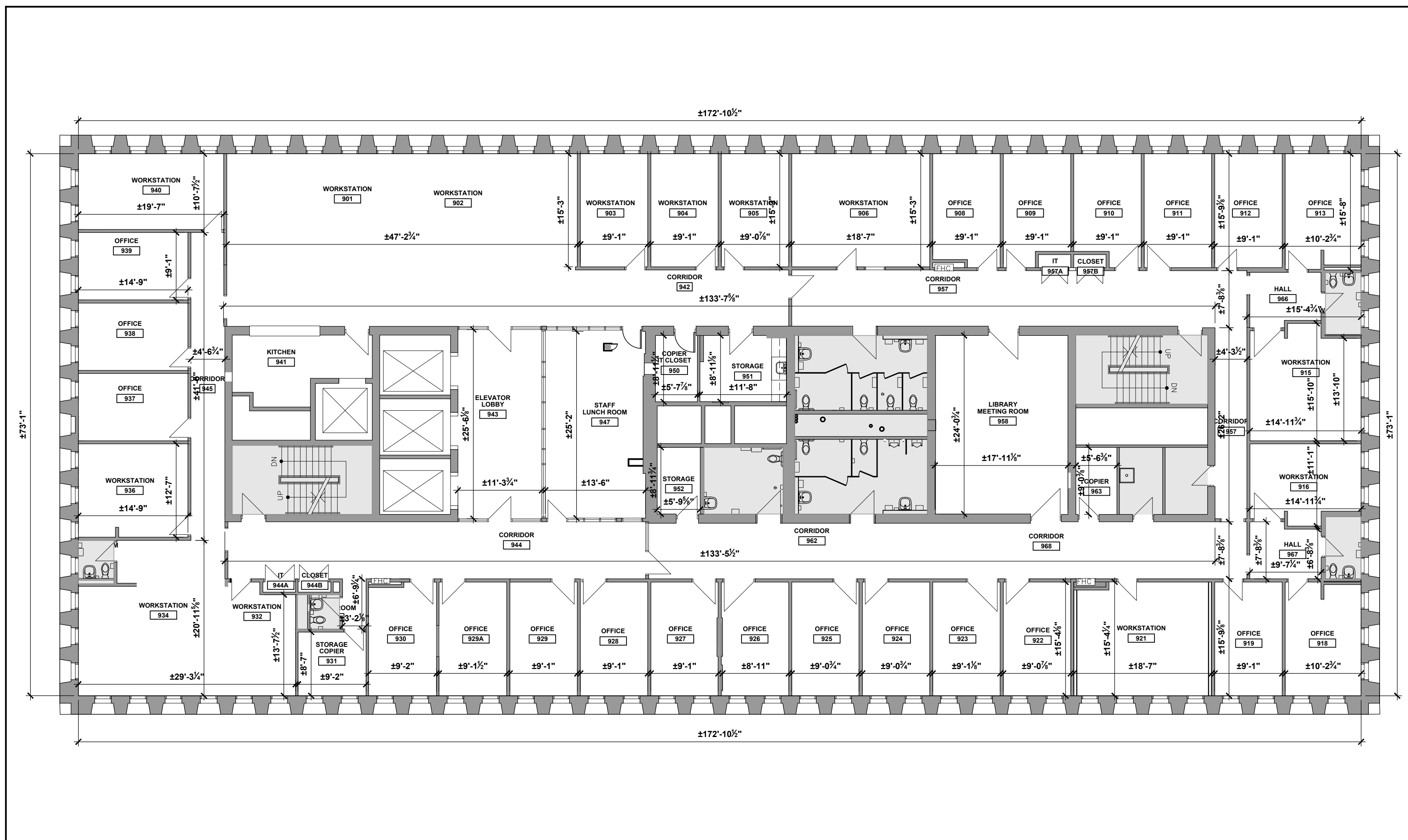
**250 COLLEGE STREET
MOVE CONSOLIDATION -
INTERIOR RENOVATION**
Ground, 8th, 9th, 10th and 11th Floors

Sheet Title:

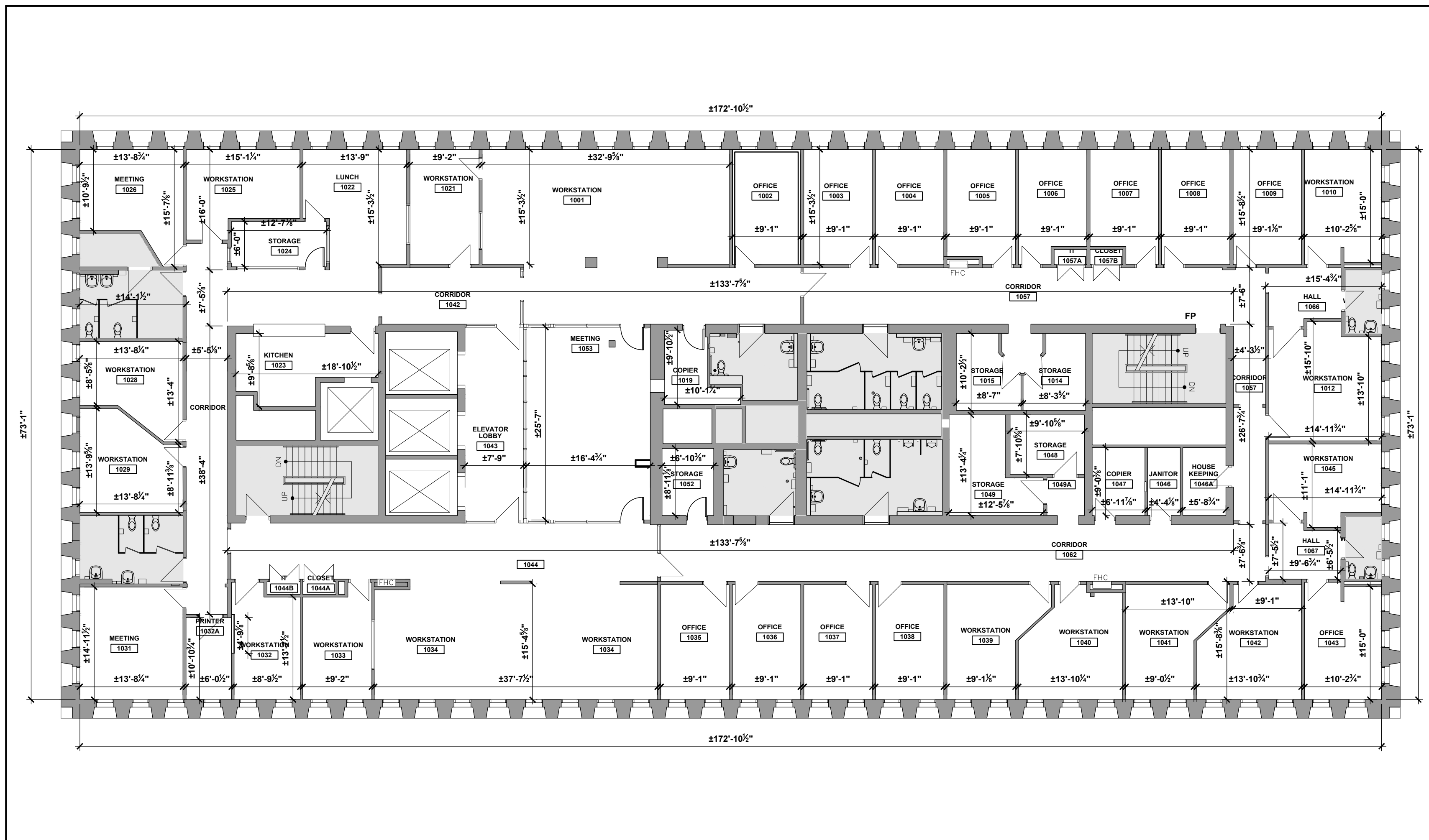
**INTERIOR ELEVATIONS
DOOR FRAME PROFILE
DROP CEILING DETAILS**

<div>project north</div> <div></div>	<div>Stamp</div> <div></div>
<div>date: 11 08 2023</div>	<div>Project No.: 22-48</div>
<div>scale: AS NOTED</div>	<div>Drawn: JJ</div> <div>Checked: WJ</div>
<div>drawing Number:</div>	

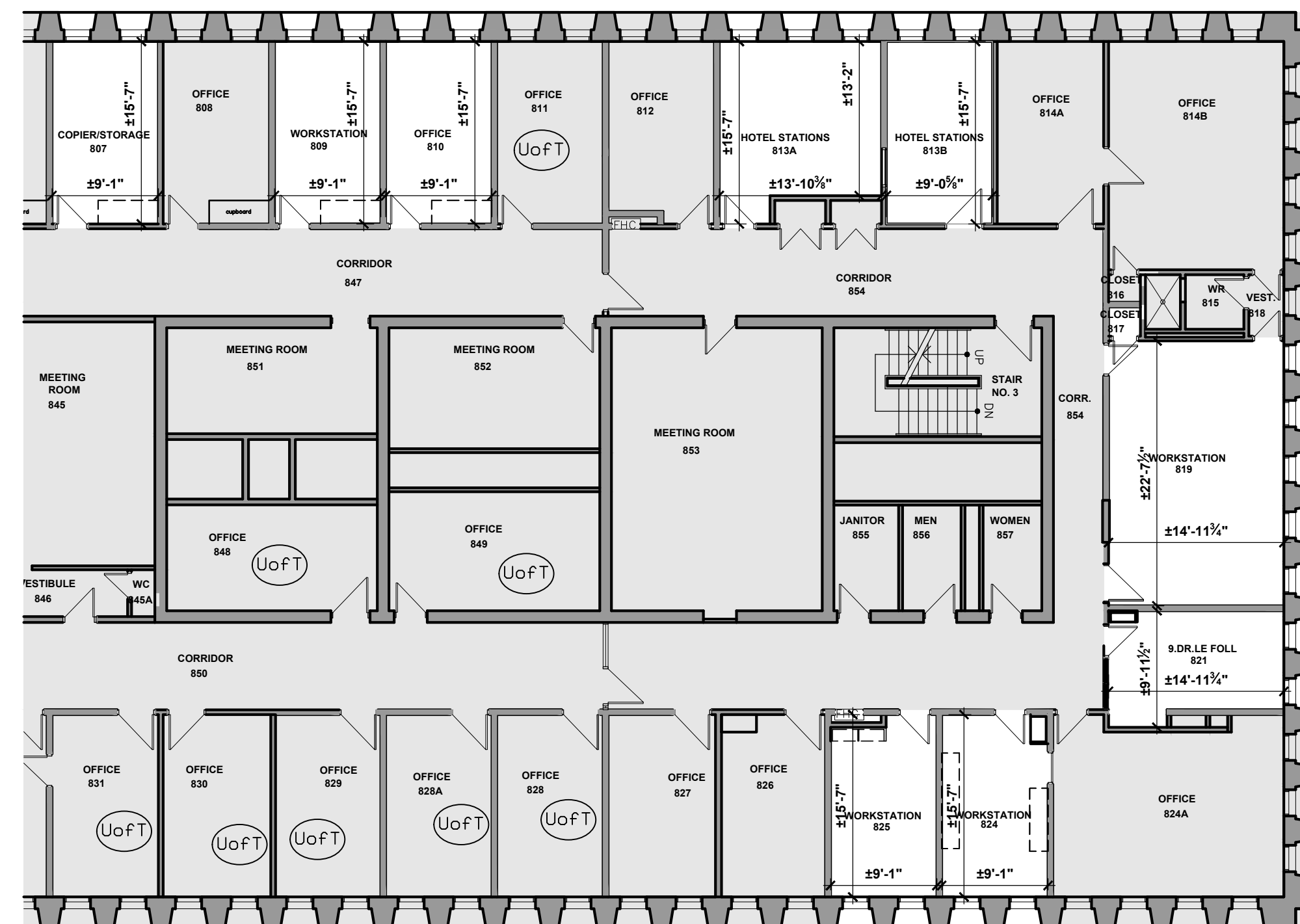
A-400



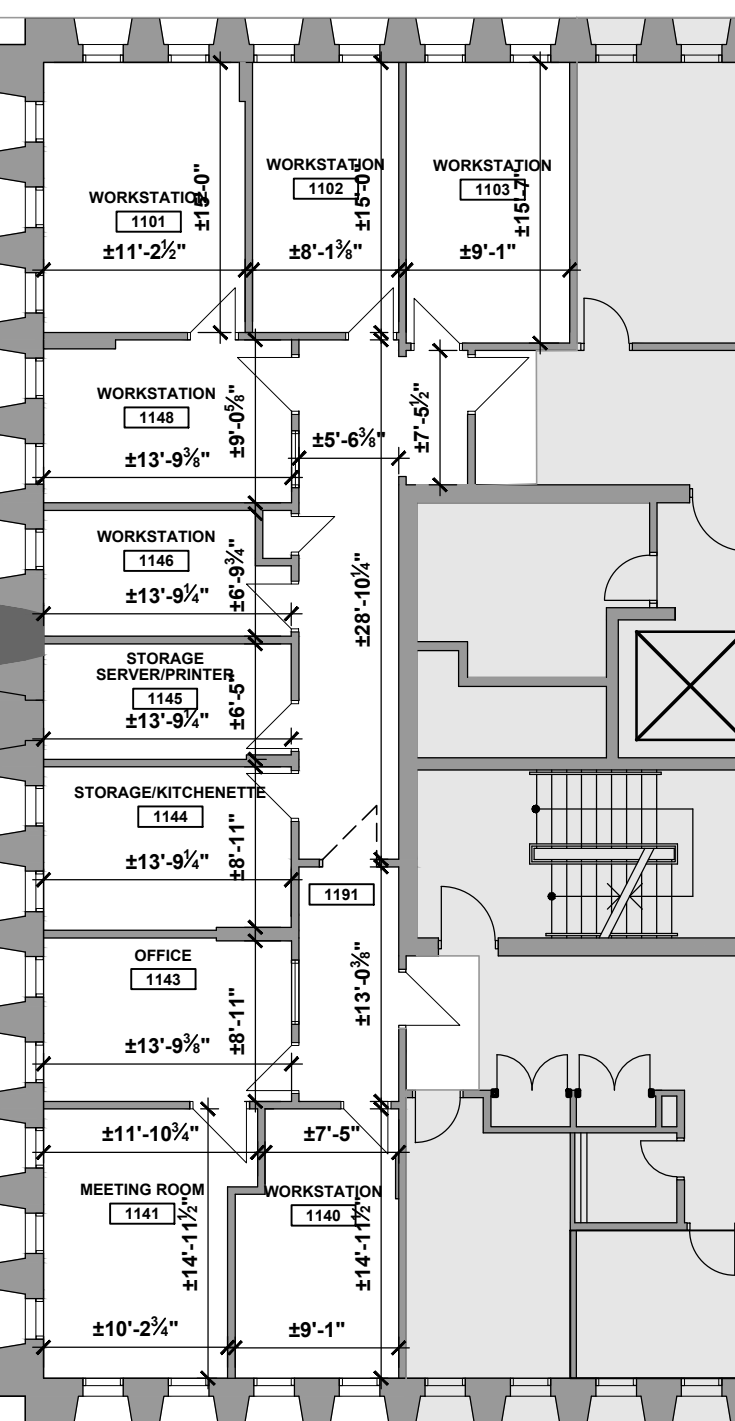
02 9TH FLOOR
A-501 3/32" = 1'-0"



03 10TH FLOOR
A-501 3/32" = 1'-0"



01 8TH FLOOR
A-501 3/32" = 1'-0"



04 11TH FLOOR
A-501 3/32" = 1'-0"

ISSUED FOR REFERENCE ONLY

THE DIMENSIONS IN THIS DRAWING ARE APPROXIMATE
AND HAVE BEEN PROVIDED TO SHOW THE
APPROXIMATE FLOOR PLATE AND ROOM SIZES. ALL
DIMENSIONS ARE TO BE SITE VERIFIED BY THE
CONTRACTOR.

SHEET ISSUANCE

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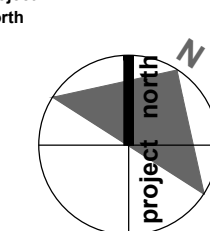
Project Title:

**250 COLLEGE STREET
MOVE CONSOLIDATION -
INTERIOR RENOVATION**
Ground, 8th, 9th, 10th and 11th Floors

Sheet Title:

**DIMENSION FLOOR PLANS
8TH, 9TH, 10TH, AND 11TH**

Project



Stamp



Date:
30 08 2023

Project No.:
22-48

Scale:
AS NOTED

Drawn:
JJ

Checked:
WJ

Drawing Number:

A-501