



1 FIRST FLOOR-STAGING
A2011 Scale: 1 : 100

CONSTRUCTION STAGING LEGEND

- STAGE 1
- STAGE 2
- EMERGENCY EXIT
- TRAVEL PATH

STAGING GENERAL NOTES

- EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORK CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
- ALL STAGES ARE TO BE COMPLETED IN SEQUENTIAL ORDER.
- IF AN EXIT WILL BE BLOCKED DUE TO CONSTRUCTION, THE GC IS TO PROVIDE A TEMPORARY EXIT LOCATION THAT IS APPROVED BY THE ARCHITECT AND THE FIRE DEPARTMENT. SHOULD THE WORK BE ABLE TO BE COMPLETED OVER THE COURSE OF A WEEKEND OR AFTER HOURS, THE GC IS TO OBTAIN APPROVAL FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- IF EXISTING FIRE ALARM SYSTEM NEEDS TO BE TEMPORARILY INTERRUPTED TO COMPLETE THE WORK, A FULL TIME FIRE WATCH SHALL BE PROVIDED.
- CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:
A) TEMPORARY SIGNAGE
B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.
- ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORK.
- PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.
- WORK LISTED IN STAGES IS FOR REFERENCE ONLY. EACH STAGE MUST BE COMPLETED AS PER CONTRACT DOCUMENTS BEFORE STARTING THE NEXT STAGE AND SHALL NOT AFFECT NORMAL OPERATION OR EXITING OF THE FACILITY.
- FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.
- KEEP EXITS CLEAR FROM OBSTRUCTIONS DURING CONSTRUCTION.

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E	ADDENDUM 02	2023-09-05

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PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**FIRE HALL 212 & EMS
STATION 25
8500 SHEPPARD AVE. E.**

PROJECT NO:
9119-19-0162 / IBI 22260

DRAWN BY:
K. BELGACEM

CHECKED BY:
L. BANDIERA

PROJECT MGR:
L.SOSA

APPROVED BY:
M. KUO

SHEET TITLE
**FIRST FLOOR STAGING
AND EXITING PLAN**

SHEET NUMBER

G01-312-A2011

ISSUE

E

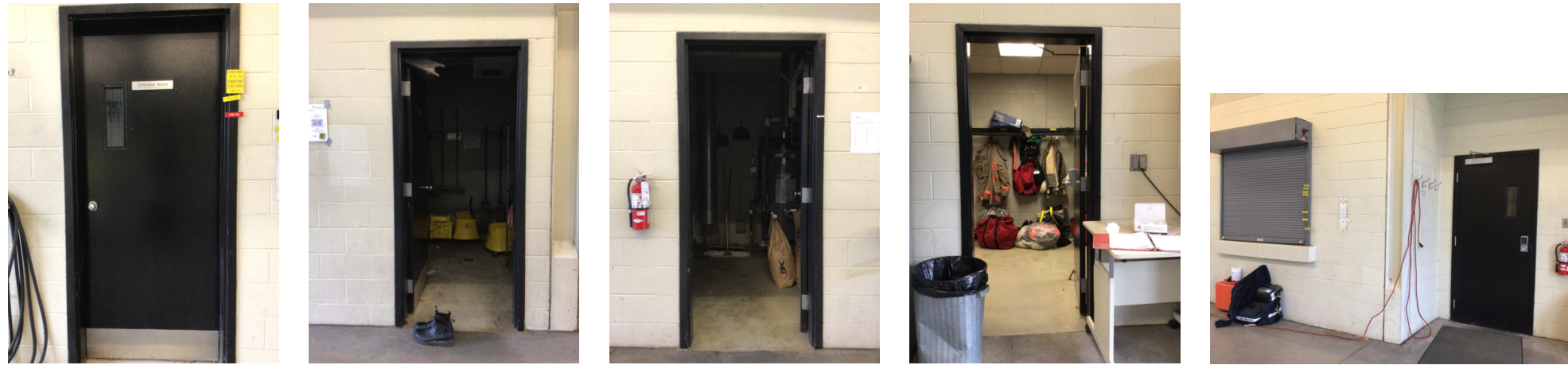


PHOTO 1: DOOR 135

PHOTO 2: DOOR 136

PHOTO 3: DOOR 137

PHOTO 4: DOOR 138

PHOTO 5: DOOR 102



PHOTO 6: DOOR 103

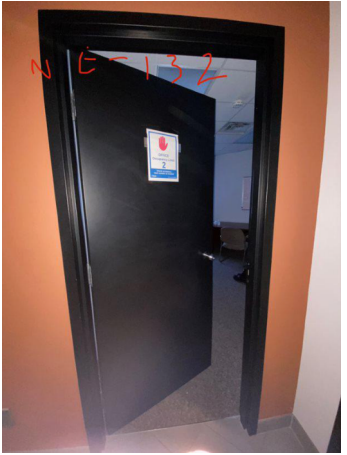
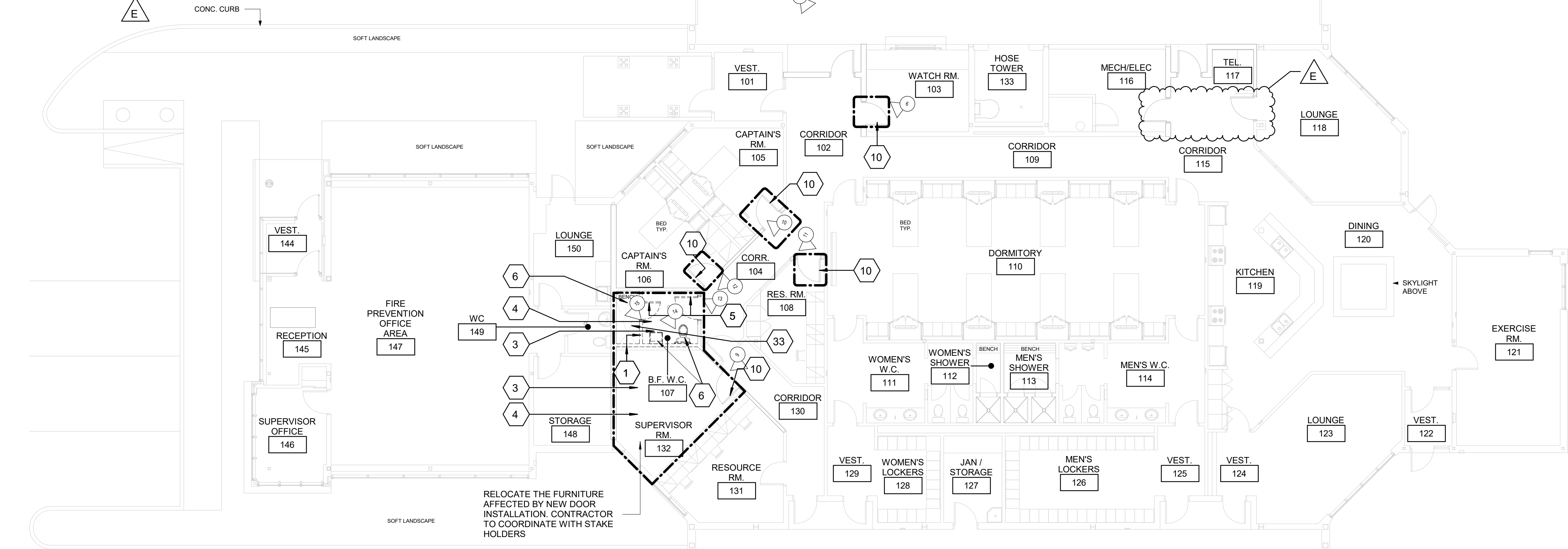


PHOTO 9: DOOR 132



PHOTO 10: DOOR 105



DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN

- EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE TO BE REMOVED

- EXISTING DOOR TO REMAIN

- DASHED AREA INDICATES AREA OF WORK

DEMOLITION GENERAL NOTES

- REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

DEMOLITION KEY NOTES

- | NO | DESCRIPTION |
|----|--|
| 1 | REMOVE EXISTING WALL AND/OR COLUMN ENCLOSURE INCLUDING BUT NOT LIMITED TO TILE, CORNER GUARDS, METAL PANELS, WALL MOUNTED FIXTURES AND FINISHES AS INDICATED. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AT LOCATION OF DEMOLISHED AREA. |
| 3 | REMOVE EXISTING FLOORING AND BASE. REMOVE EXISTING TILE FLOORING TO CLOSEST FULL TILE OR TO EXTENT SHOWN. REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW FLOOR FINISHES. REFER TO FINISH SCHEDULE. |
| 4 | REMOVE EXISTING CEILING TO THE EXTENT OF THE PROPOSED ROOM SIZE. |
| 5 | REMOVE EXISTING DOOR AND FRAME. CUT PARTITION TO ACCOMMODATE NEW DOOR AND FRAME. REPAIR ADJACENT AFFECTED WALL SURFACES. REFER TO DETAIL D1002 AND 1/D2300. |
| 6 | REMOVE EXISTING PLUMBING FIXTURES AND WASHROOM ACCESSORIES, CAP PLUMBING PIPES. |
| 10 | REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS. |
| 33 | REMOVE EXISTING TILES, CLEAN AND PREPARE SURFACE TO RECEIVE NEW TILE. |

PATCH AND PAINT DOOR FRAMES AND PANELS AS NECESSARY DUE TO REMOVAL AND INSTALLATION OF DOOR HARDWARE.

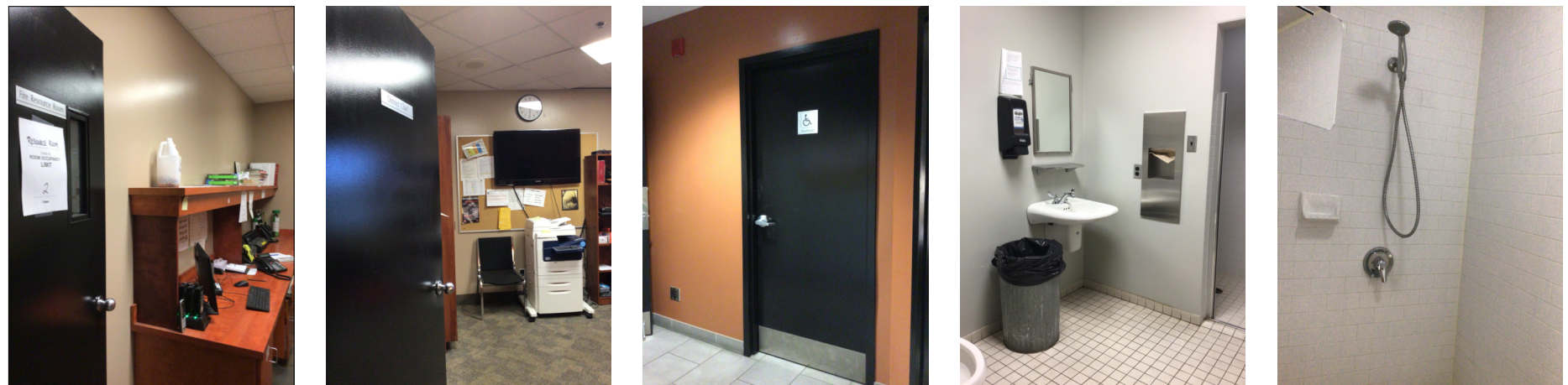


PHOTO 11: DOOR 108

PHOTO 12: DOOR 106

PHOTO 13: DOOR 107

PHOTO 14: WASHROOM 107

PHOTO 15: WASHROOM 107



PHOTO 16: DOOR 139

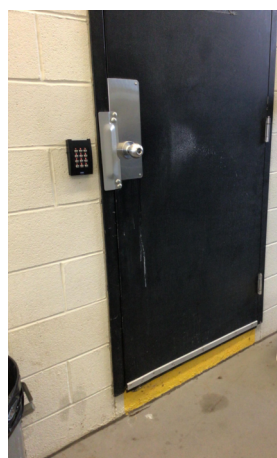


PHOTO 17: DOOR 140



PHOTO 18: DOOR 141

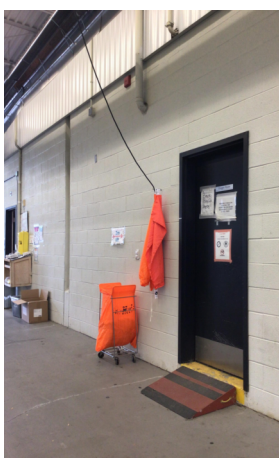


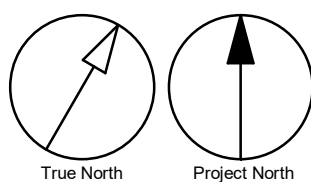
PHOTO 19: DOOR 142



PHOTO 20: DOOR 143

1 FIRST FLOOR-DEMOLITION
A2111 Scale: 1 : 100

Scale 1:100
0 2.5 5 10 m



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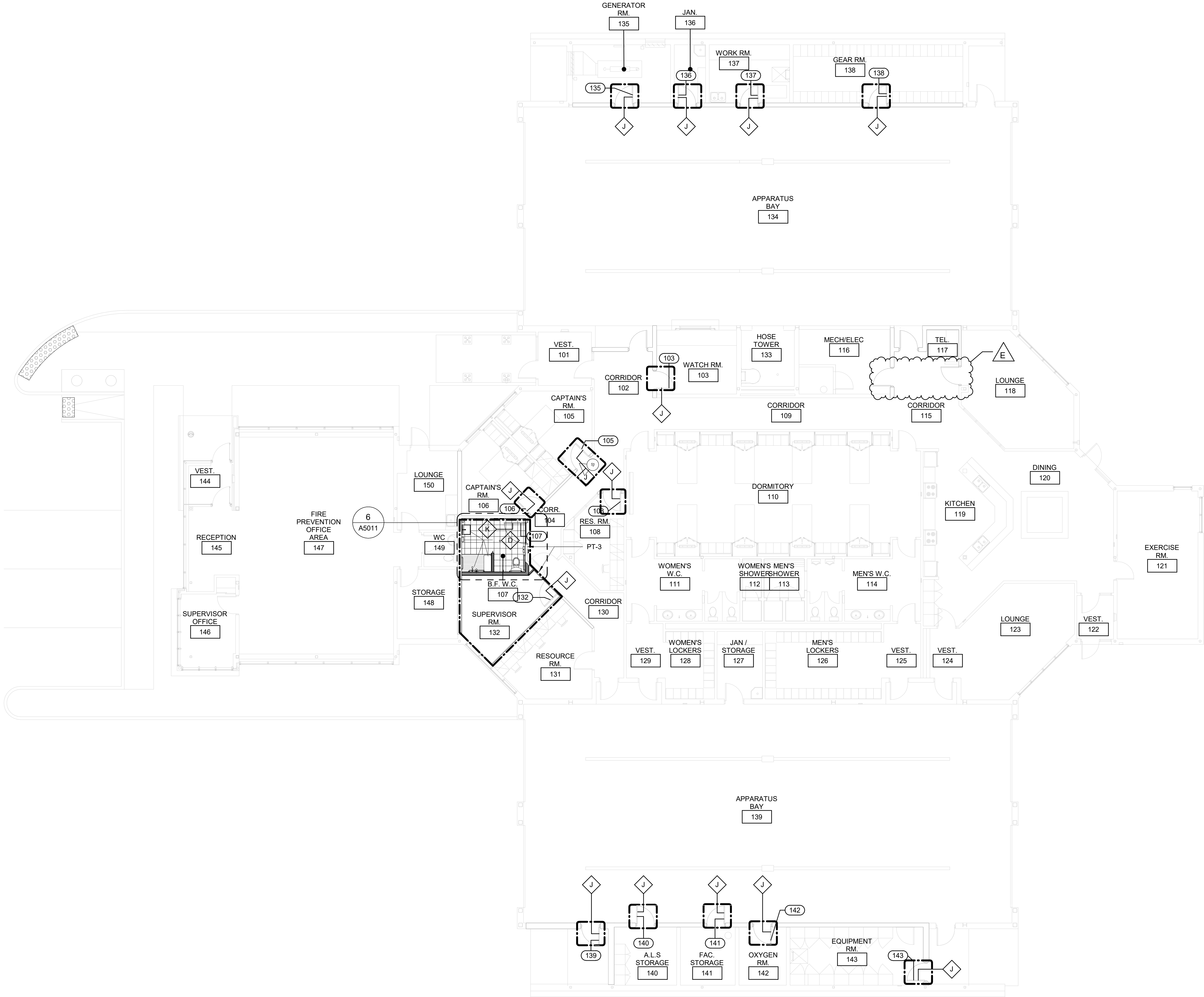
PROJECT MGR:
L.SOSA

APPROVED BY:
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SHEET TITLE
**FIRST FLOOR
DEMOLITION PLAN**

SHEET NUMBER
G01-312-A2111

ISSUE
E



CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW EXTERIOR WALL
REFER TO WALL SCHEDULE
- NEW PARTITION
REFER TO PARTITION SCHEDULE
- EXISTING DOOR TO REMAIN
- NEW DOOR AND/ OR
NEW HARDWARE
- DASHED AREA INDICATES
AREA OF WORK

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
D	INSTALL NEW WASHROOM ACCESSORIES - REFER TO DETAILS 1/D1201, 2/D1201, 3/D1201, 4/D1201, 5/D1201.
J	EXISTING DOOR TO REMAIN, DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.
K	INSTALL NEW DOOR AND FRAME, REFER TO DOOR SCHEDULE A9001, G0004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

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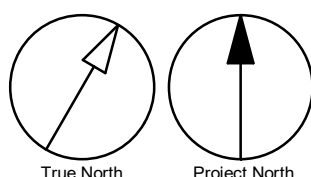
FIRST FLOOR
PROPOSED PLAN

SHEET NUMBER

G01-312-A2411

ISSUE

E



1 x 1

DOOR SCHEDULE															
DOOR NO.	LOCATION	DOOR				PANEL			FRAME		DOOR HARDWARE			FIRE RATING (MINUTES)	REMARKS
		TYPE	WIDTH	HEIGHT	THICKNESS	MAT.	FIN.	GLASS	MAT.	FIN.	SECURITY ACCESS CONTROL DEVICE	BFPB	PANIC DEVICE		
FIRST FLOOR															
103	WATCH RM.	EXIST	EXIST	EXIST	EXIST	EXIST	PT3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE DOOR HARDWARE. REFER TO DOOR GENERAL NOTE 2.
105	CAPTAIN'S RM.	EXIST	EXIST	EXIST	EXIST	EXIST	PT3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE DOOR HARDWARE. REFER TO DOOR GENERAL NOTE 2.
106	CAPTAIN'S RM.	EXIST	EXIST	EXIST	EXIST	EXIST	PT3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE DOOR HARDWARE. REFER TO DOOR GENERAL NOTE 2.
107	BARRIER FREE WASHROOM	A(L)	1067	2135	45	HM	PT3	<-->	HM	PT3	<-->	YES	<-->	NA	
108	RES. RM.	EXIST	EXIST	EXIST	EXIST	EXIST	PT3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE DOOR HARDWARE. REFER TO DOOR GENERAL NOTE 2.
132	SUPERVISOR RM.	EXIST	EXIST	EXIST	EXIST	EXIST	PT3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE DOOR HARDWARE. REFER TO DOOR GENERAL NOTE 2.
135	GENERATOR RM.	EXIST	EXIST	EXIST	EXIST	EXIST	PT3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE DOOR HARDWARE. REFER TO DOOR GENERAL NOTE 2.
136	JAN.	EXIST	EXIST	EXIST	EXIST	EXIST	PT3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE DOOR HARDWARE. REFER TO DOOR GENERAL NOTE 2.
137	WORK RM.	EXIST	EXIST	EXIST	EXIST	EXIST	PT3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE DOOR HARDWARE. REFER TO DOOR GENERAL NOTE 2.
138	GEAR RM.	EXIST	EXIST	EXIST	EXIST	EXIST	PT3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE DOOR HARDWARE. REFER TO DOOR GENERAL NOTE 2.
139	APPARATUS BAY	EXIST	EXIST	EXIST	EXIST	EXIST	PT3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE DOOR HARDWARE. REFER TO DOOR GENERAL NOTE 2.
140	A.L.S STORAGE	EXIST	EXIST	EXIST	EXIST	EXIST	PT3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE DOOR HARDWARE. REFER TO DOOR GENERAL NOTE 2.
141	FAC. STORAGE	EXIST	EXIST	EXIST	EXIST	EXIST	PT3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE DOOR HARDWARE. REFER TO DOOR GENERAL NOTE 2.
142	OXYGEN RM.	EXIST	EXIST	EXIST	EXIST	EXIST	PT3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE DOOR HARDWARE. REFER TO DOOR GENERAL NOTE 2.
143	EQUIPMENT RM.	EXIST	EXIST	EXIST	EXIST	EXIST	PT3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE DOOR HARDWARE. REFER TO DOOR GENERAL NOTE 2.



DOOR SCHEDULE GENERAL NOTES

- 1
- DOOR HEIGHT IS FOR INFORMATION ONLY. DOOR HEIGHT TO MATCH EXISTING DOOR HEIGHT AND IS TO BE SITE MEASURED.
- 2
- REFER TO DOOR HARDWARE SCHEDULE AND TO THE SPECIFICATIONS FOR A COMPLETE SET OF DOOR HARDWARE.

REPAIR AND PAINT DOOR FRAMES AND PANELS AS NECESSARY DUE TO REMOVAL AND INSTALLATION OF HARDWARE.

DOOR ABBREVIATIONS

*	DENOTES YES
ALUM	ALUMINUM
ANOD	ANODIZED
BFAO	BARRIER-FREE AUTOMATIC OPENER
BFPB	BARRIER-FREE PUSH BUTTON
BFWO	BARRIER-FREE WAVE TO OPEN
CR	CARD READER
EXIST	EXISTING
FBM	FINGER BIOMETRIC
GWG	GEORGIAN WIRE GLASS
HM	HOLLOW METAL
IHM	INSULATED HOLLOW METAL
ITGL	INSULATED TEMPERED (SAFETY) GLASS
KP	KEY PAD
OBM	OCULAR BIOMETRIC
PF	PRE FINISHED
PLAM	PLASTIC LAMINATE
PT	PAINT
SIM	SIMILAR
SS	STAINLESS STEEL
TGL	TEMPERED GLASS
WD	WOOD

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SHEET TITLE

DOOR AND ROOM
FINISH SCHEDULES

SHEET NUMBER

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ISSUE

E