

VICTORIA PARK COMMUNITY HOUSING

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**Addendum #04**

**Victoria Park Community Housing**

155 Queen St N  
Hamilton, ON L8R 2V6

**PROJECT NUMBER: 12228**  
**DATE ISSUED: October 11, 2023**

- 1 **Question:**  
Door elevation for type B was removed but door #100 is still listed as type B on door schedule A05.03, please clarify if this is to be type F?

**Response:**  
*Yes, door 100 shall be a "F" type door.*
- 2 **Question:**  
Door #102 is listed as paint grade wood door type FG on door schedule, but FG elevation indicates full glass panel aluminum door, please clarify which is required?

**Response:**  
*Door 102 shall be a "F" type door, Wood.*
- 3 **Question:**  
Doors #205.1 & 205.2 (1 double door) is indicated on door schedule as wood door material w/ aluminum finish type FG, but type FG elevation indicates full glass panel aluminum door, please clarify which is required?

**Response:**  
*Doors 205.1 and 205.2 shall be Aluminum Doors.*
- 4 **Question:**  
Dwg.#3/A03.04 revised the width of the millwork MW-04 in Print Room to 3,470mm but the elevation 4/A03.04 still show the original length of 3,830mm, please clarify?

**Response:**  
*Plan dimension to govern.*
- 5 **Question:**  
Please clarify if the solid surface sills at exterior windows indicated in Addendum 3 Q&A #34 is to be terrazzo (ST-01), if not please provide specs required?

**Response:**  
*All solid surface sills for all existing and new windows shall be from Caesarstone – 2141 Blizzard*
- 6 **Question:**  
In the recent Addendum #3 – the RCP shows Window Shade Detail WS and WSBO – can you please confirm we are only providing WS and not WSBO?

**Response:**  
*Please review the RCP plan for all locations of either one of the items. Detail provided is typical if one or the other is applied.*

7 **Question:**  
In the recent Addendum #3 – the new flooring drawings (A01.07 and A01.08) show the porcelain tile in the washrooms laid out in a herringbone pattern, but the material finish schedule says PTL-01 to be installed “Monolithic”(Straight Lay). Please advise which pattern is to be installed as there are pricing differences between the two installation methods.

**Response:**  
*Install tile as shown on A01.07 and A01.08.*

8 **Question:**  
In addendum 2 it was stated that the question below would be addressed in Addendum 3, but it has still yet to be addressed. Please advise.

16 Question:  
In regards to the Bonding Forms, can our bonding company use their own version of these forms? I noticed on the Undertaking to Bond form there is no line for a signature.

**Response:**  
Will be address with Addendum 3

**Response:**  
*Bonding Form has been attached to this Addendum 4.*

9 **Question:**  
GL Ax & A  
Arch (Detail 1 on A04.03) shows it to be a infill from top of HSS at header to u/s of deck then a parapet fastened to the top side of the deck.  
Struct (Detail 3 on S4.03) shows the horizontal HSS being proud of the columns with a single stud from top of HSS at header passing by the roof deck and creating the parapet.  
Clarify.

**Response:**  
Defer to Structural detail as it will govern.

10 **Question:**  
GL 21X & 21  
Arch (Detail 2 on A04.03) shows it to be a double stud framed wall 6” and 3 5/8”.  
Struct (Detail 2 on S4.03) shows it being a single stud wall.  
Clarify.

**Response:**  
Above roof deck and joists, defer to Structural detail (C150 girt cantilevered beyond gridline).  
Below roof deck and joists, frame wall as indicated in Architectural detail (6” and 3 5/8” metal studs).

**CONSULTANT:**

**D P A I**

Design Partners in  
Architecture and Interiors

VPCH Office Expansion  
155 Queen St N  
Hamilton, ON L8R 2V6

**Construction Tender  
ARCHITECTURAL ADDENDUM  
No. 04**

Wednesday, October 11, 2023

**1. GENERAL INSTRUCTIONS**

**.1 *Date of Issue: October 11, 2023***

**.2 *Revised Closing date: October 18, 2023***

**.3** All bidders are hereby advised that the information contained in the Permit/Tender Documents, dated September 22, 2023, for the noted captioned project, has been amended to include the information contained within this document, and such information shall be covered in the Tender submission, and shall form part of the *Contract*. This Addendum forms part of the *Contract Documents* and is to be read, interpreted, and coordinated with other parts of the *Contract Documents*. Acknowledge receipt of this Addendum by referencing on the bid form.

**2. DOUCMENTS**

**.1** Replace Undertaking to Bond document with issued Undertaking to Bond with signature line.

**3. CLOSEING DATE**

**.1** Revise closing date to Wednesday October 18<sup>th</sup>, 2pm 2023.

**4. ARCHITECTURAL DRAWNGS**

**.1** *Replace the following Issued for Permit/Tender drawings with issued for Addendum No. 4, dated October 10, 2023 in its entirety (attached hereto).*

.i A01.09 RENOVATION PLAN & FURN PLAN

.ii A01.10 RENOVATION PLAN & FURN PLAN

.iii Insert attached Detail of Window Sill – Solid Surface to Drawing A A01.07 FLOOR FINISH PLAN.

**END OF ADDENDUM No. 04**

## UNDERTAKING TO BOND

**CONTRACT NO.** RFT-2023-01

**TO:** Victoria Park Management

**AND TO:** \_\_\_\_\_(the "Contractor")

We, the undersigned, hereby undertake and agree to become bound as Surety for the Contractor in:

(a) a Performance Bond in an amount equal to 50% of the Estimated Contract Price and conforming to Form 32 - Performance Bond under Section 85.1 of the Construction Act; and

(b) a Labour and Material Payment Bond in an amount equal to 50% of the Estimated Contract Price and conforming to Form 31 - Labour and Material Payment Bond under Section 85.1 of the Construction Act, if the bid for the construction of Ground Floor Renovation and Second Floor Construction at 155 Queen Street North, Hamilton, Ontario.

If the above-mentioned bid is accepted, the undersigned will execute the bonds within 10 Business Days of notification of acceptance of the Bid.

**DATED THIS** \_\_\_\_\_ day of \_\_\_\_\_ .

\_\_\_\_\_  
Name – Surety

Signature of Authorized Person Signing for Surety

(Place Surety corporate seal above)

I have authority to bind the Corporation

\_\_\_\_\_



VPCH OFFICE EXPANSION

155 QUEEN ST NORTH  
HAMILTON, ONTARIO



25 Main Street West  
Hamilton, Ontario  
L8P 1H1 Canada

T: 905-522-0220

DRAWINGS ARE NOT TO BE SCALED.

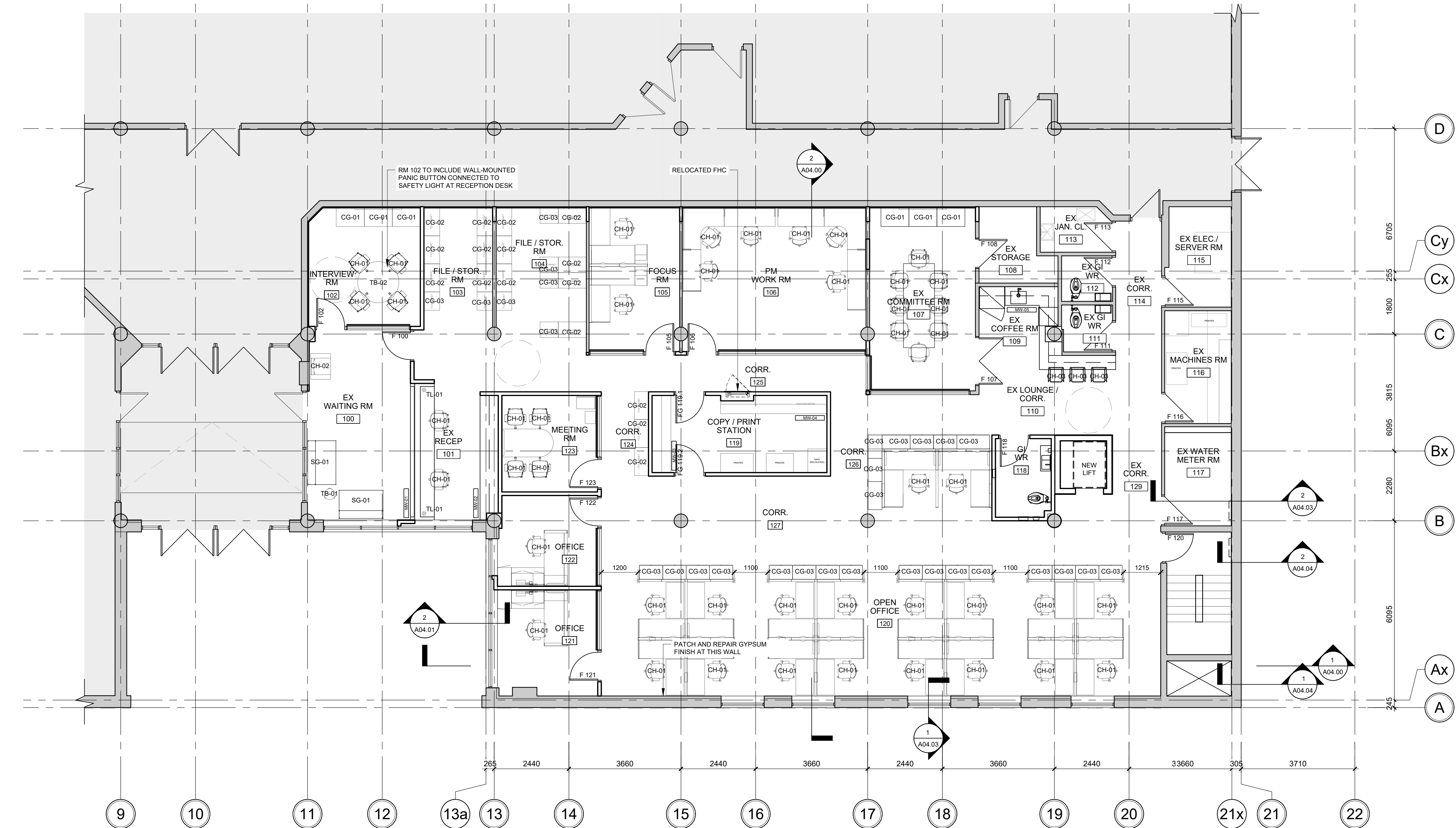
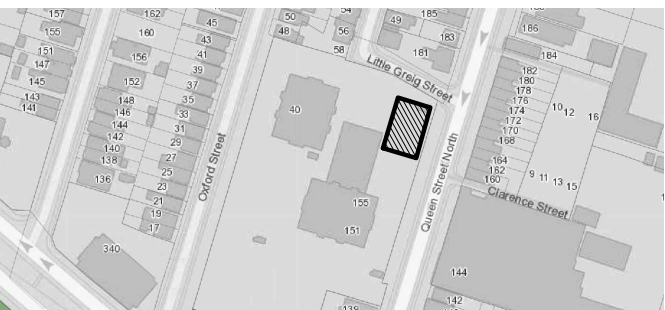
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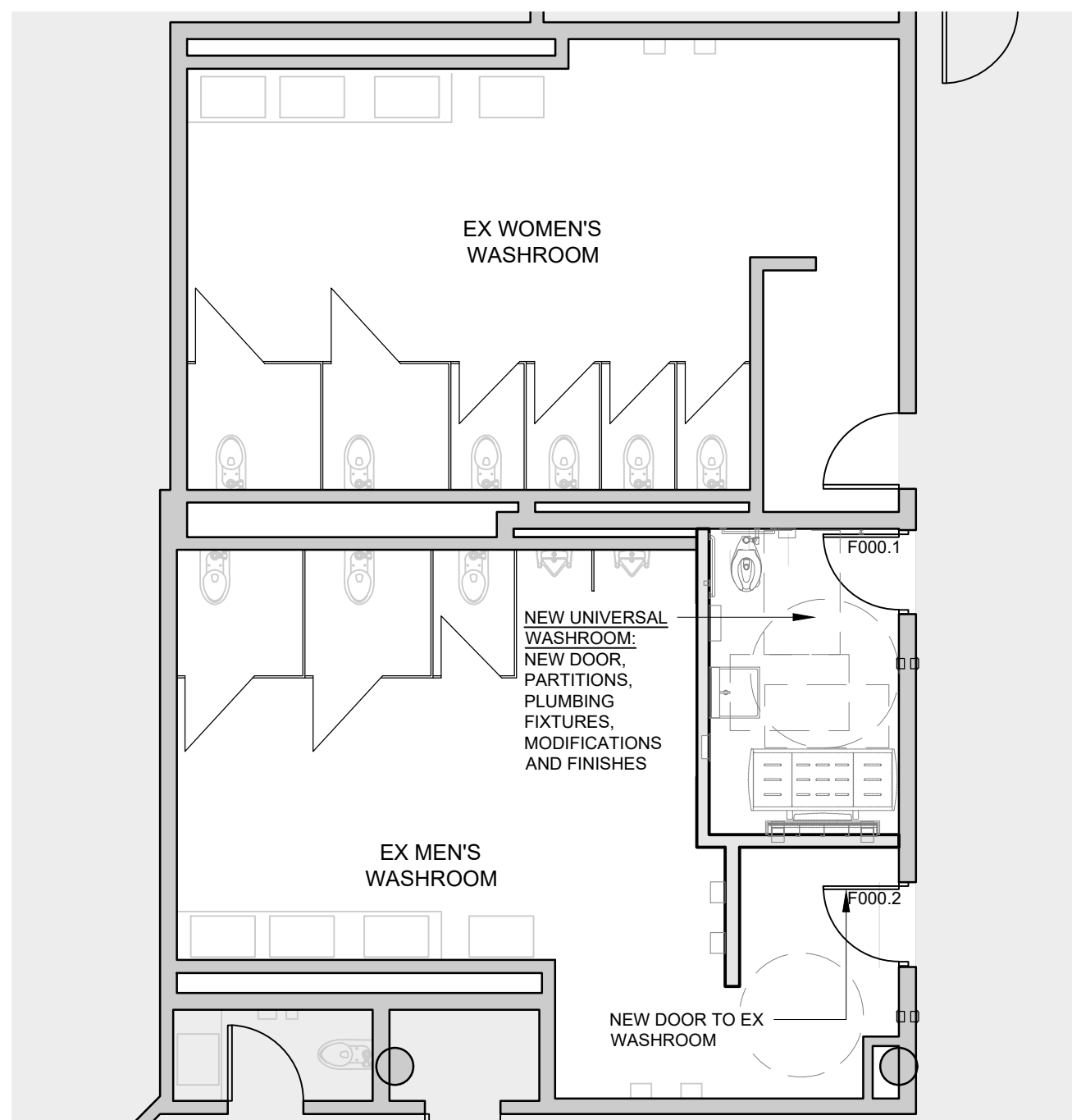
SEALS



Key Plan:



1 RENOVATION PLAN - LEVEL 1 - FURNITURE AND FINISHES  
SCALE: 1:75



2 RENOVATION PLAN - LEVEL 1 WASHROOMS  
SCALE: 1:75

GENERAL RENOVATION PLAN NOTES:

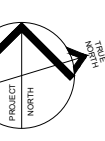
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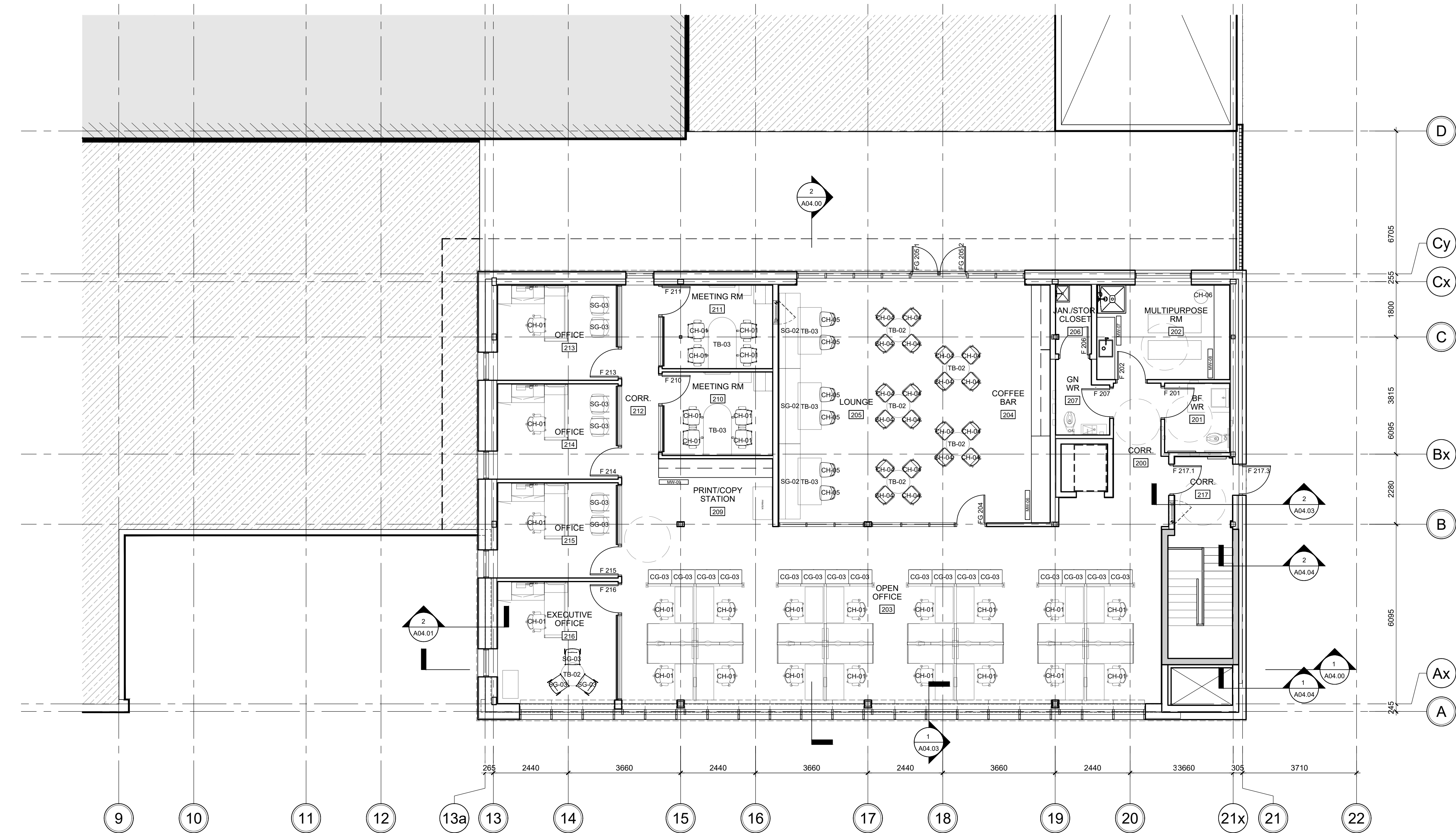
RENOVATION PLAN  
LEVEL 1  
FURNITURE PLAN



ISSUE DATE:	2023.09.06
DRAWN BY: MM	CHECKED BY: SL
PROJECT NO.: 12228	SCALE: 1:75
DRAWING NO.:	REVISION:

A01.09 00





1 ADDITION PLAN - LEVEL 2 - FURNITURE AND FINISHES  
SCALE: 1:75

GENERAL RENOVATION PLAN NOTES:

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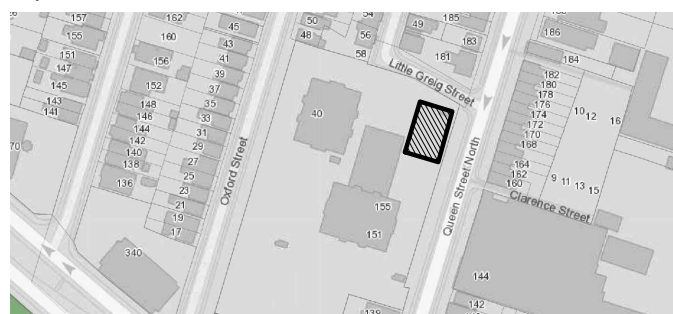
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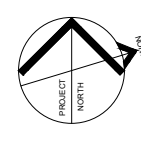
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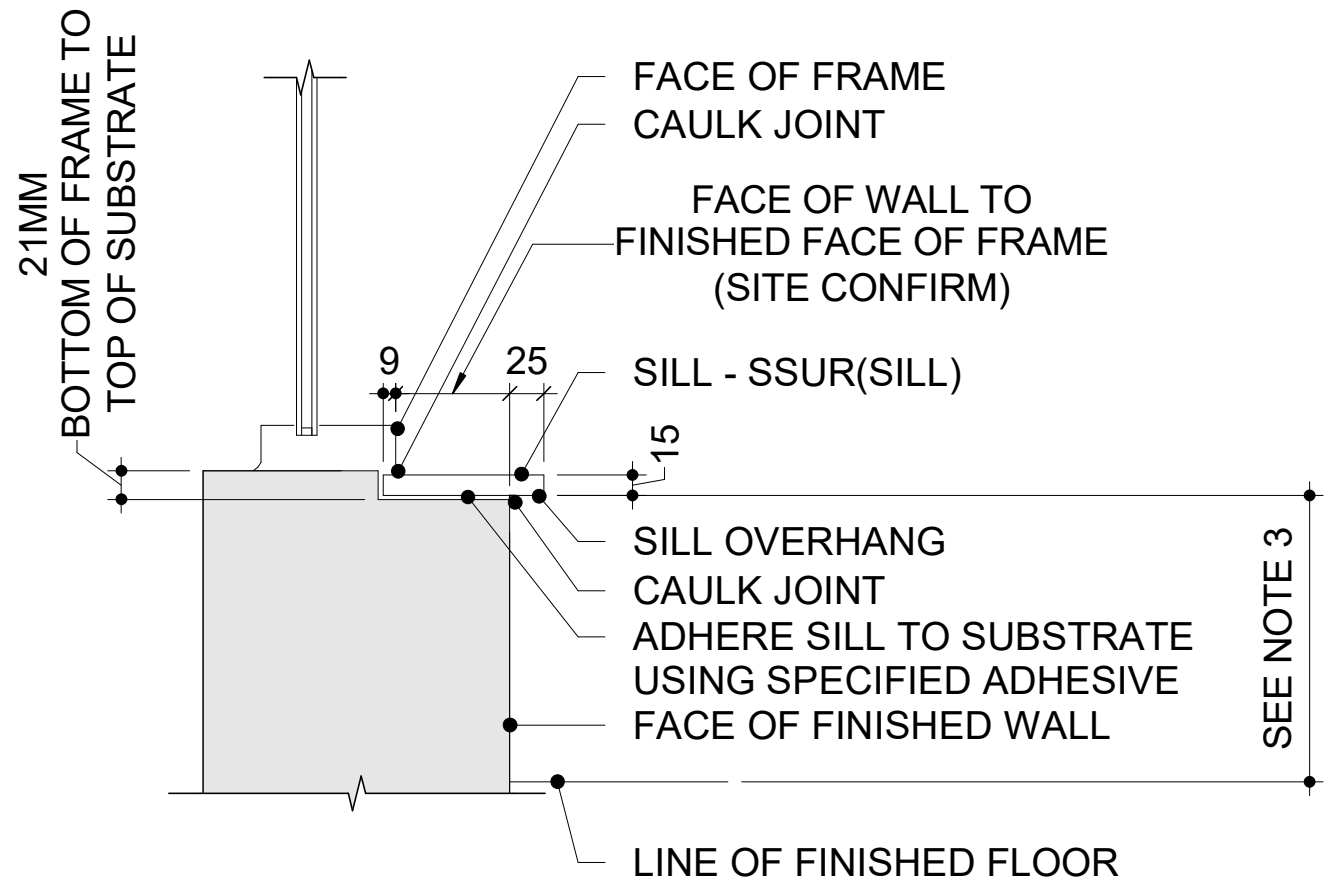
ADDITION PLAN  
LEVEL 2  
FURNITURE PLAN



ISSUE DATE:	2023.09.06
DRAWN BY: MM	CHECKED BY: SL
PROJECT NO.: 12228	SCALE: 1 : 75
DRAWING NO.:	REVISION:

A01.10 00

## SSUR(SILL) - SOLID SURFACE SILL DETAIL



### NOTE:

1. SAMPLE SUBMITTAL REQUIRED PRIOR TO FABRICATION
2. ENSURE SILL PLACED ON LEVEL, SOUND SUBSTRATE SUITABLE FOR THIS APPLICATION
3. ENSURE THAT SILL OVERHANG DOES NOT CONFLICT WITH MECHANICAL OR ELECTRICAL ELEMENTS (i.e. BASEBOARD HEATERS, ETC.). REPORT ANY CONFLICTS TO CONSULTANT PRIOR TO INSTALLATION
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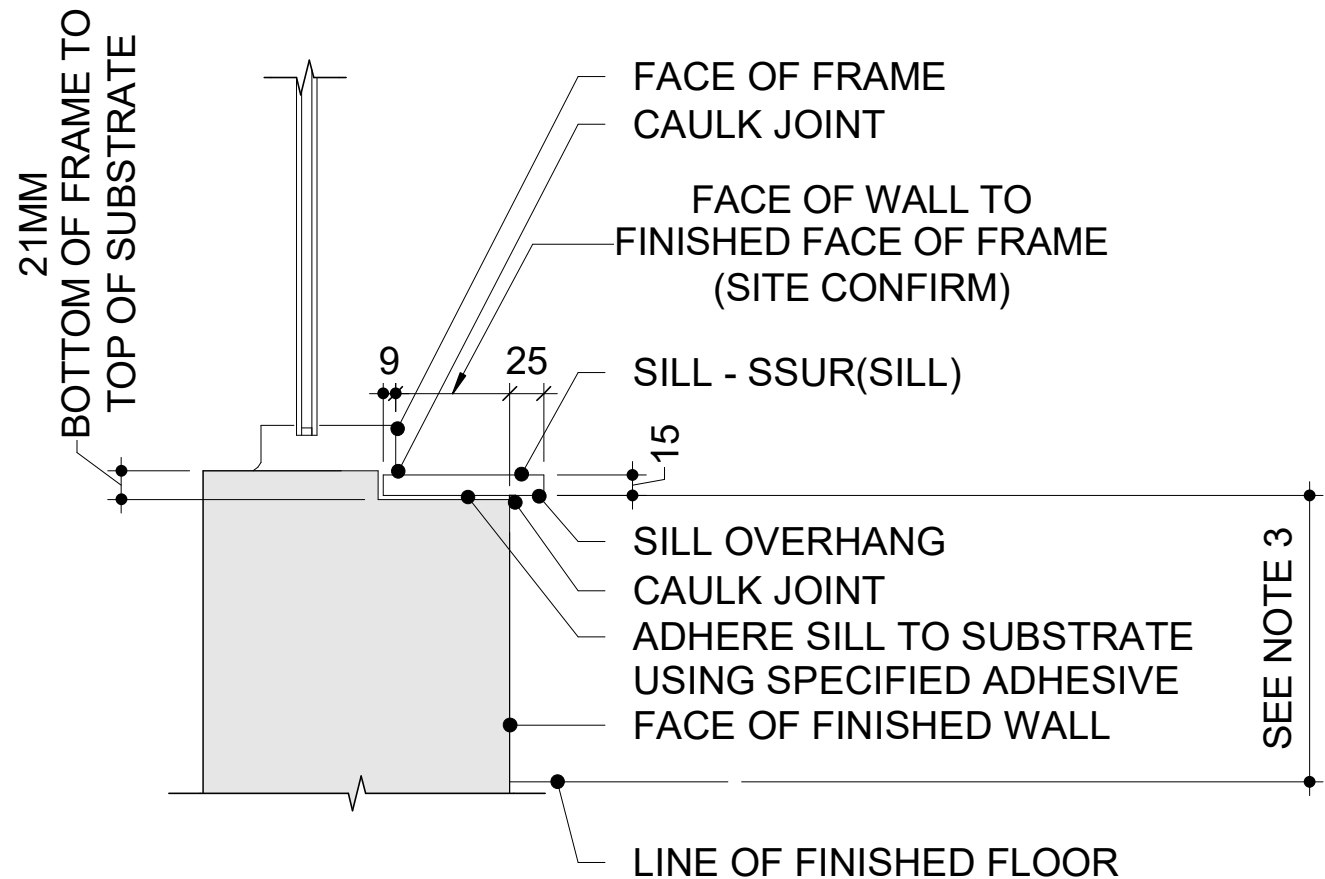
Signature of Authorized Person Signing for Surety

(Place Surety corporate seal above)

I have authority to bind the Corporation

\_\_\_\_\_

## SSUR(SILL) - SOLID SURFACE SILL DETAIL



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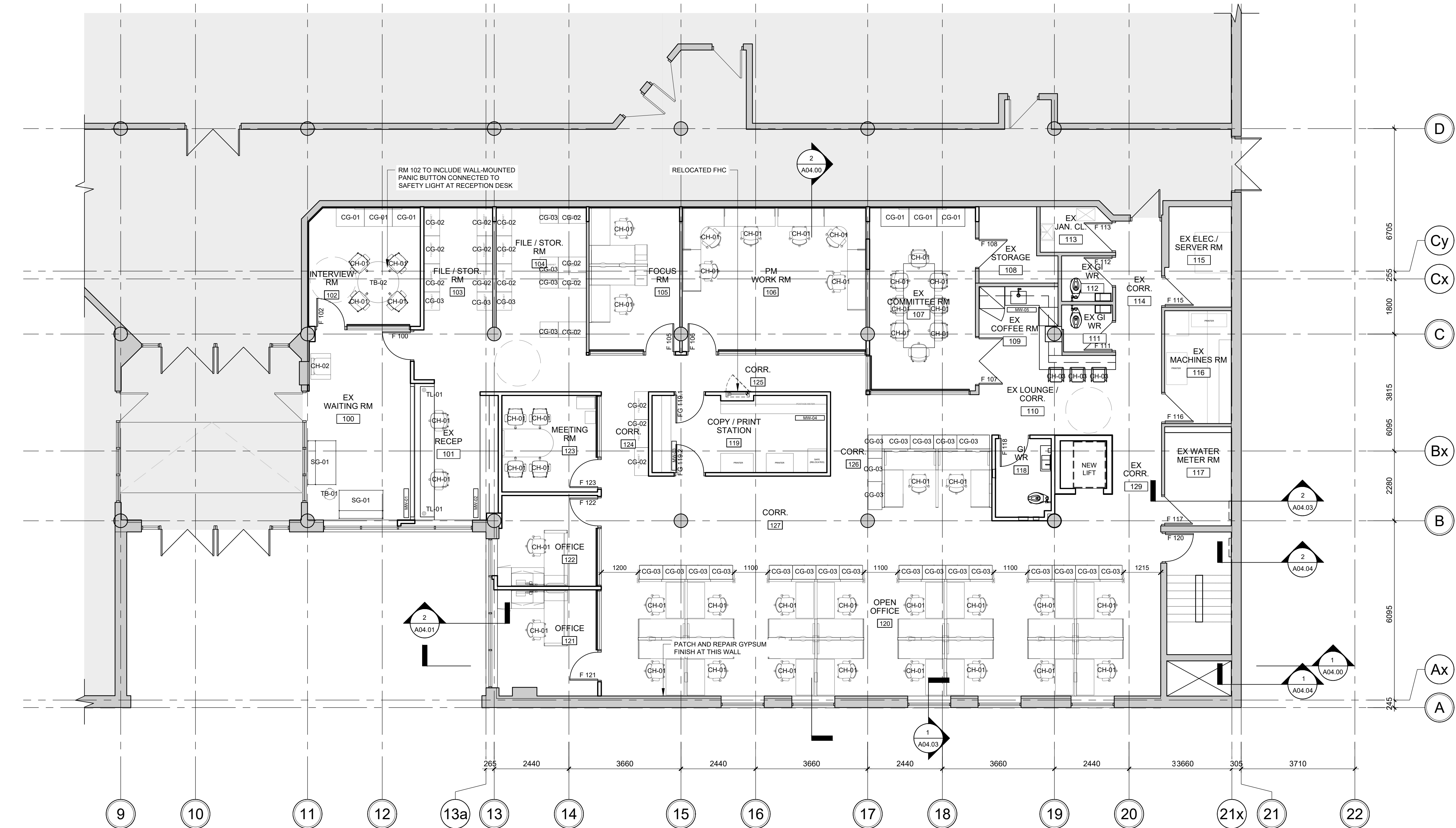
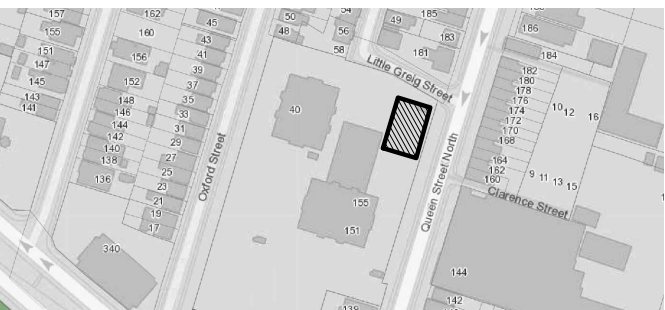
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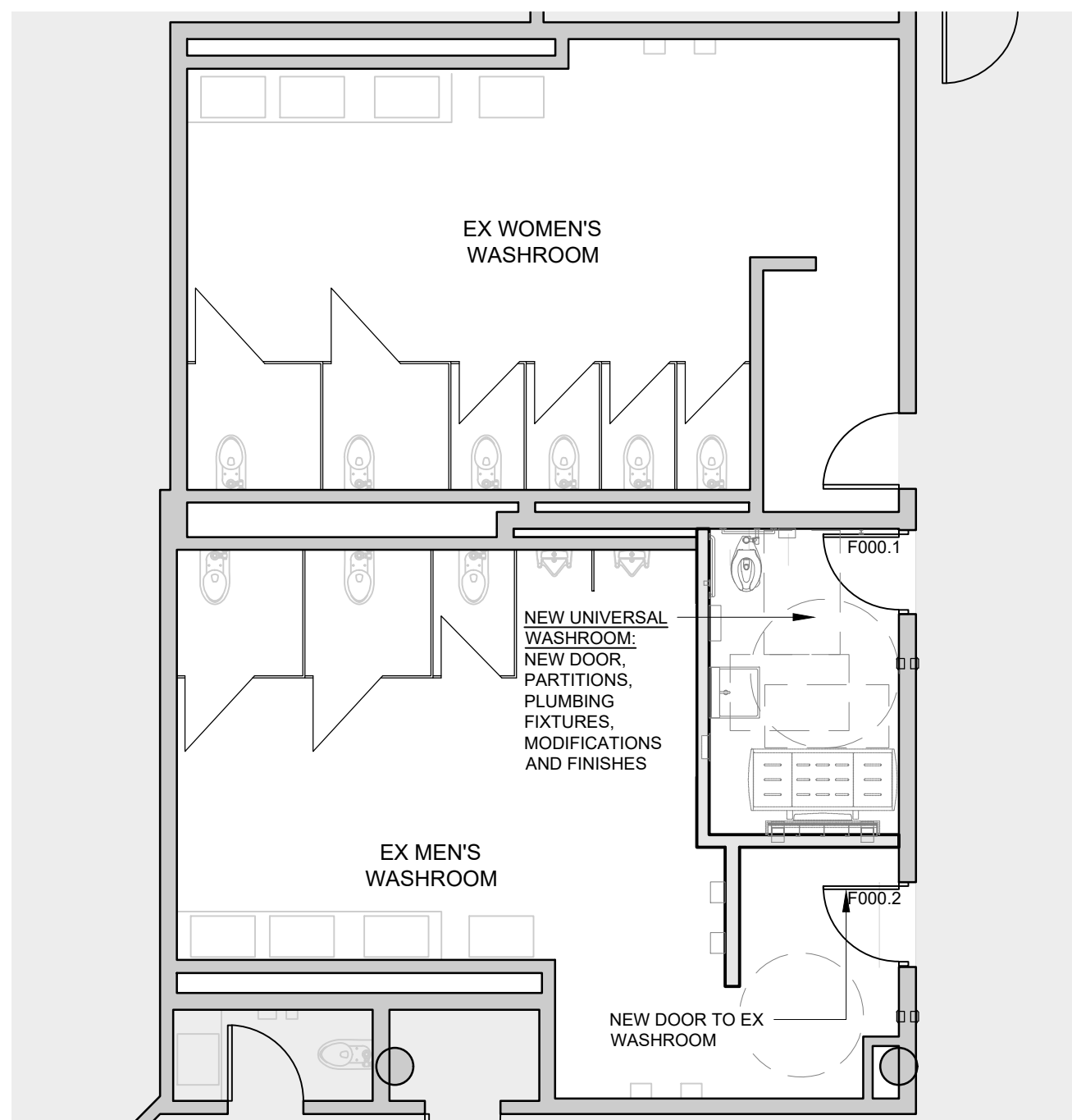
SEALS



Key Plan:



1 RENOVATION PLAN - LEVEL 1 - FURNITURE AND FINISHES  
SCALE: 1:75



2 RENOVATION PLAN - LEVEL 1 WASHROOMS  
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GENERAL RENOVATION PLAN NOTES:

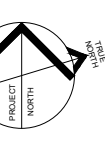
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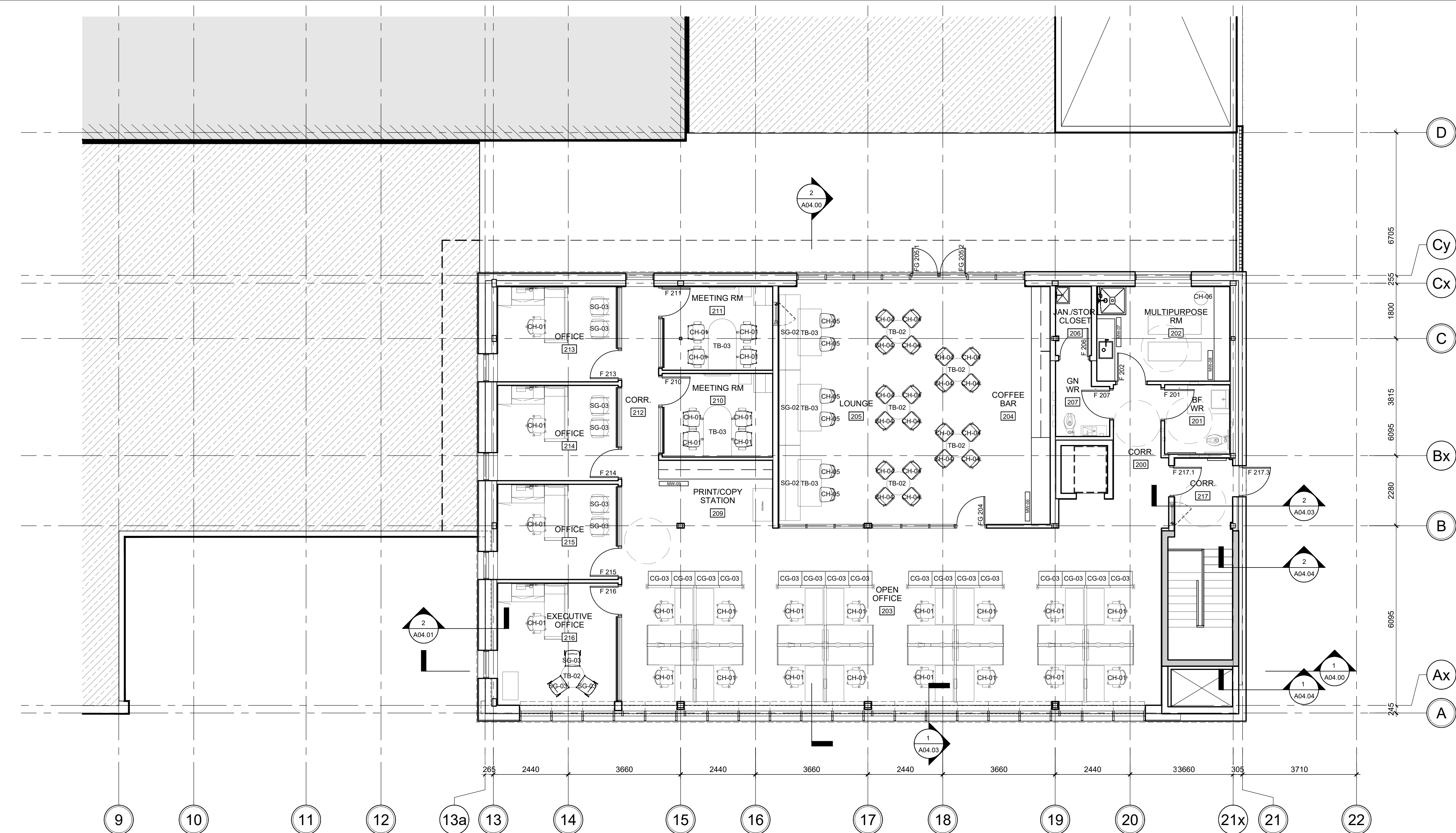
RENOVATION PLAN  
LEVEL 1  
FURNITURE PLAN



ISSUE DATE:	2023.09.06
DRAWN BY: MM	CHECKED BY: SL
PROJECT NO.: 12228	SCALE: 1:75
DRAWING NO.:	REVISION:

A01.09 00





1 ADDITION PLAN - LEVEL 2 - FURNITURE AND FINISHES  
SCALE: 1:75

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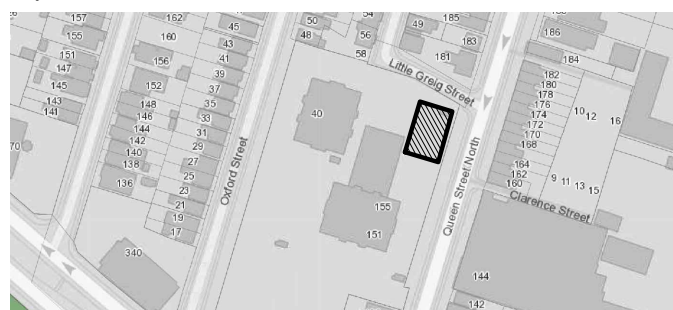
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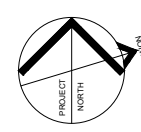
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DRAWING TITLE:

ADDITION PLAN  
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FURNITURE PLAN



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