CITY OF TORONTO SPADINA MUSEUM GARAGE RESTORATION AND SITE ACCESSIBILITY 285 SPADINA ROAD, TORONTO, ON M5R 2V5 ISSUE FOR RETENDER AND PERMIT APPLICATION PERMIT

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LANDSCAPE

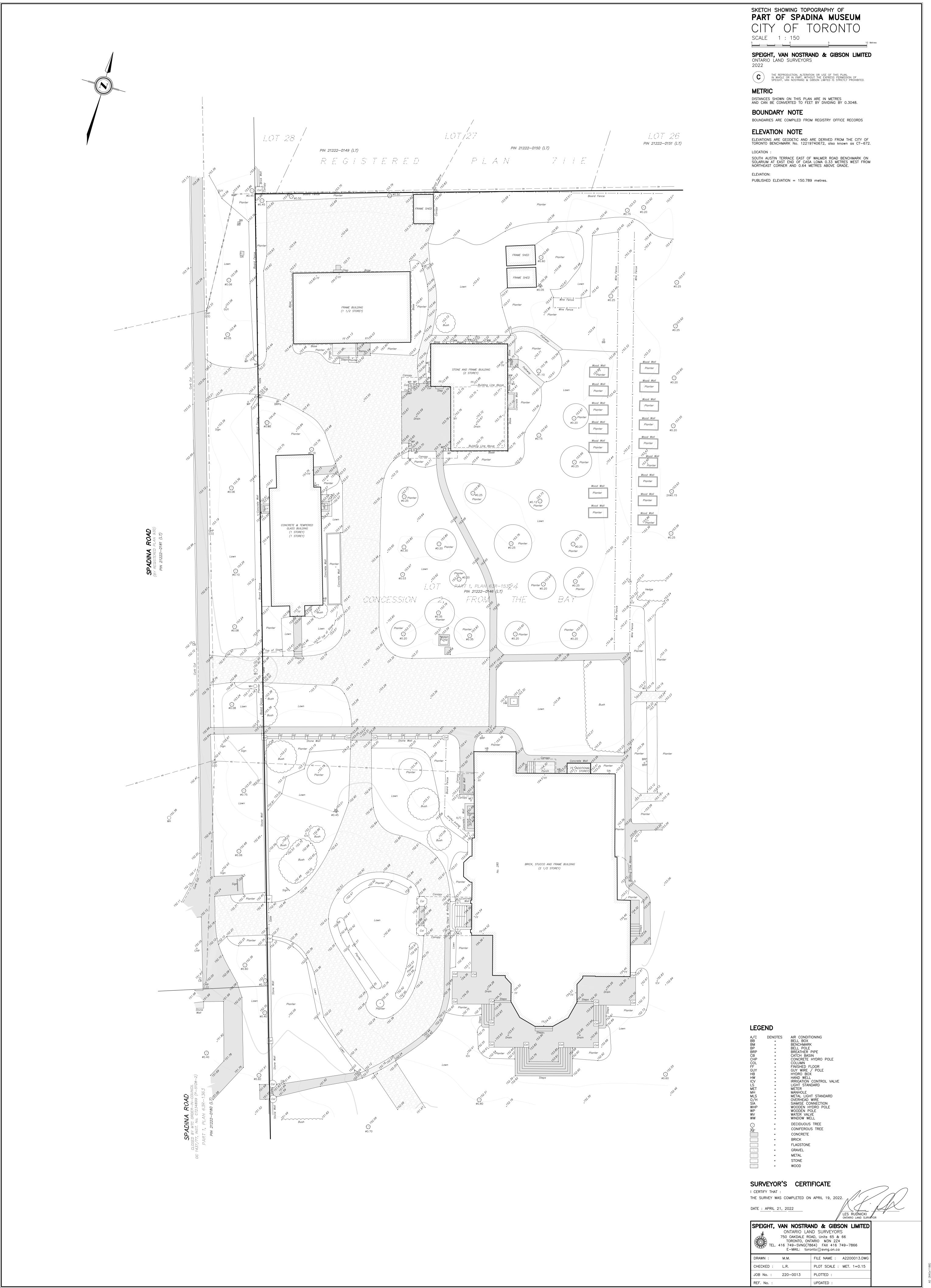
Landscape	plan

- 12 LANDSCAPE DETAILS LANDSCAPE DETAILS 13
- LANDSCAPE DETAILS

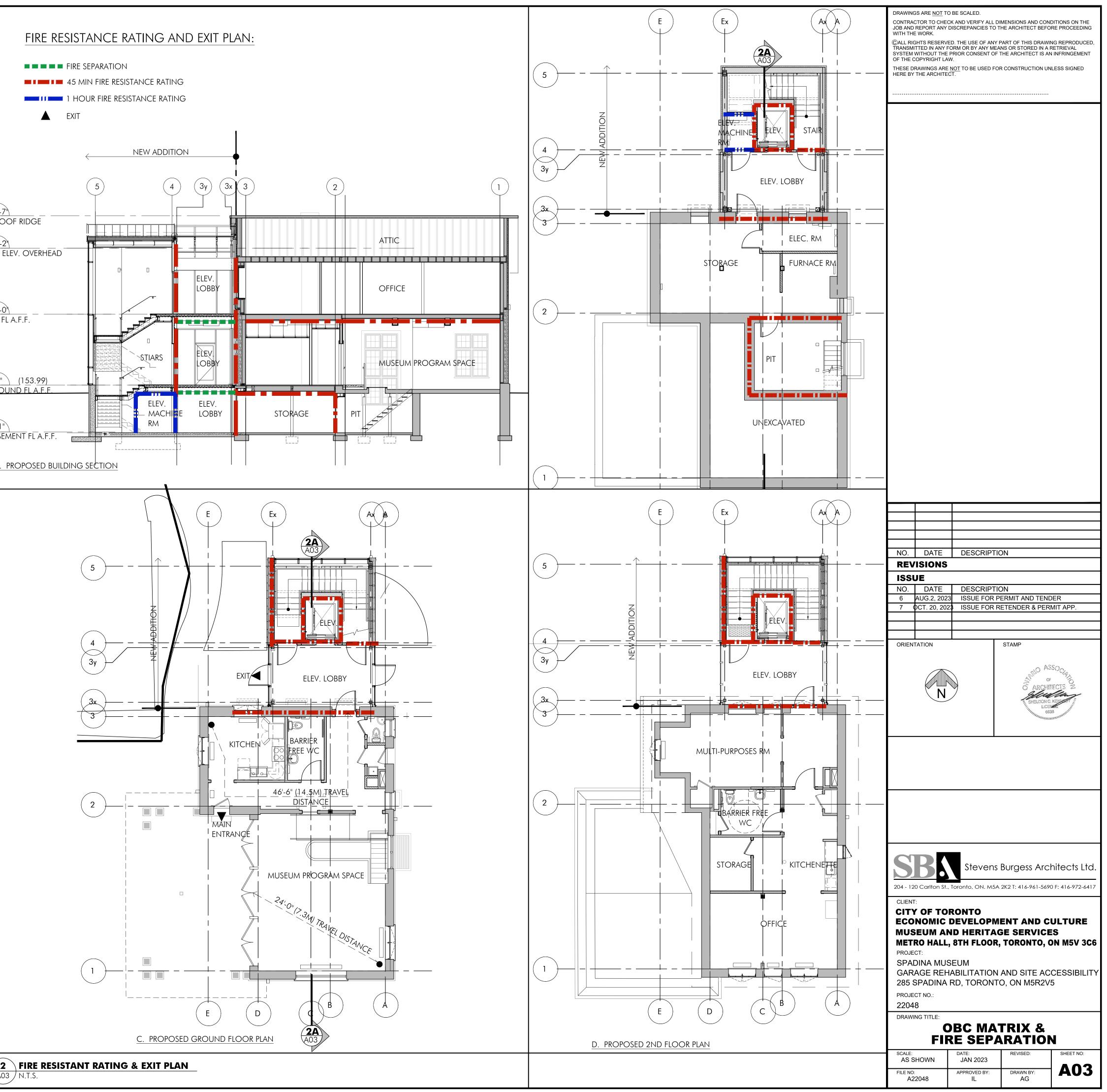
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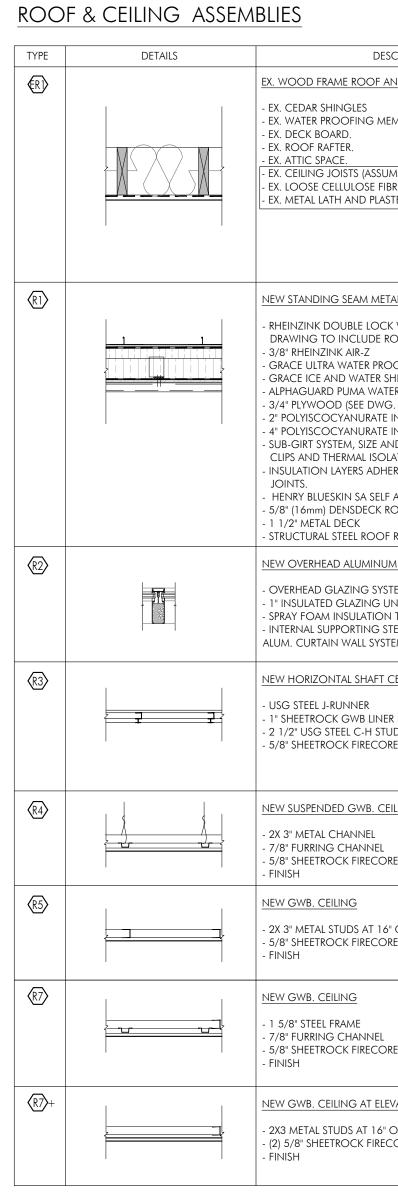




ΞM	ONTARIO'S 2012 BUILDING CODE DATA MATRIX PART 3 OR 9							OBC REFERENCE REFERENCES ARE TO DIVISION B		
		DA	177 171/-	лн\ГА					UNLESS NOTED	re to division b [A] for division a r division c
1	PROJEC	CT DESCRIPTION:			Σ	NEW ADDITION ALTERATIOI	11	PART 11 1.1 TO 11.4	PART 3	D PART 9
2	MAJOR	R OCCUPANCY(S)	: EXISTIN	IG: GR DSED: C	OUP D OFF		RAGE G		1.1.2. [A]	9.10.2.
3	BUILDI	NG AREA (m²): E	EXISTING:		NEW	: <u>42</u>	TOT	AL: 160 <u>m²</u>	1.4.1.2. [A]	1.4.1.2. [A]
4	GROSS	5 AREA (m²): E	XISTING:	231.7	NEW	: <u>84</u>	TOT	AL: <u>315.7 m²</u>	1.4.1.2. [A]	1.4.1.2. [A]
5	NUMBE	er of storeys	ABC	ove gra	ADE: <u>2</u>	BELC	ow gra	DE: <u>1</u>	1.4.1.2. [A] & 3.2.1.1	1.4.1.2. [A] & 9.10.4.
5		ER OF STREETS/FIR		ER ACC	ESS: <u>1</u>				3.2.2.10. & 3.2.5.	9.10.20.
7		NG CLASSIFICATIO		V: <u>GRC</u>	DUP A, DIV 2	2, UP TO 2 ST	oreys,		3.2.2.2083	9.10.2.
3	SPRINK	iler system prof	POSED:		□ SELE □ SELE □ BAS	IRE BUILDING ECTED COMP ECTED FLOOR EMENT IN T REQUIRED	ARTMEN AREAS	its F Roof Rating	3.2.2.2083 3.2.1.5. 3.2.2.17. INDEX	9.10.8.2.
9	STAND	PIPE REQUIRED:			□ YES				3.2.9.	N/A
0	FIRE AL	ARM REQUIRED			□ YES	NO			3.2.4.	9.10.18.
1	WATER	SERVICE/SUPPLY	IS ADEQ	UATE:	🛛 YES	D NO			3.2.5.7.	N/A
2	HIGH E	BUILDING:			□ YES	NO NO			3.2.6.	N/A
3	RESTRIC ACTUA	TRUCTION CTIONS: LL CONSTRUCTIO TIMBER CONSTRU	N: 🗆	PERMIT COMBL	TED JSTIBLE 🗖	NON-COME REQUIRED NON-COME NO			3.2.2.2083	9.10.6.
4	MEZZA	NINE(S) AREA (m²)	: <u>n/a</u>						3.2.1.1.(3)-(8)	9.10.4.1.
5	BASEM	Pant load basei Ent: Signed. Dor: Signed. -oor: Signed.	D ON: OCCUF OCCUF OCCUF	PANCY:	<u>GROUP</u> <u>AN</u> A2 - MU	⁷ PERSON ⊠ <u>D - OFFICE</u> <u>CILLARY</u> SEUM PROGR OFFICE	AM	N OF BUILDING LOAD: <u>0</u> LOAD 30 LOAD 10	3.1.17.	9.9.1.3.
6	BARRIE	R FREE DESIGN:		Ø Y	es d nc	D EXPLAIN	۱:		3.8.	9.5.2.
		ARRIER FREE ENTR								
78		DOUS SUBSTANC						Design No. OR	3.3.1.2. & 3.3.1.19. 3.2.2.25	9.10.1.3.(4) 9.10.8. & 9.10.9.
	(FRR) EX	ANCE RATING . GF: DDITION GF:	0.75HR 0.75 HR (IF NON-COMBUSTIBLE CONSTRUCTION, NO FRR REQUIRED, ONLY FIRE			MBUSTIBLE FRR	Desci	2 (SB-2)	-	
	SEPARATIC					2.3.12 (SB-2)			-	
	CONSTRU			75 HR (II DNSTRU QUIRED	F NON-COI CTION, NC , ONLY FIRE DN REQ.)	FRR	2.3.1	2 (58-2)		
		. ROOF: DDITION ROOF:			REQUIRED.	IF			4	
					required. (Mbustible)					
	Members: CC			75 HR (I	F NON COI JCTION. FRF).)				-	
9	SPATIA OPENII	l separation - c NGS			,) DR WALLS WITH	H UNPR	OTECTED	3.2.3.	9.10.14.
	WALL	Area of EBH (m²)	L.D. (m)	L/H or H/L	Permitted Maximum % of Openings	Proposed % of Openings	FRR (HRS)	Listed Design OR Description (SG-2)	Construction Type required	Cladding Type required
	NORTH	^{5.6m x 8.2m} 40.5m ²	±12.1m	<3:1	100%	34m² /40.5m² 84%	N/A	N/A	COMBUSTIBLE OR NON- COMBUSTIBLE	NO RATING REQ.
	EAST	7.6m x 6.4m 48m ²	OVER 20m	<3:1	100%	^{19m²} /48m² 40%	N/A	N/A	COMBUSTIBLE OR NON- COMBUSTIBLE	NO RATING REQ.
	WEST	^{7.6m x 6.4m} 48m ²	4.8m	<3:1	47%	^{19m²} /48m² 40%	0.75	\$1c	COMBUSTIBLE OR NON- COMBUSTIBLE	NON-COMBUSTIBLE
0	PLUMB	ING FIXTURE REQ	UIREMEN	IT	1	ı		<u> </u>		<u> </u>
	-	OCCUPANCY		JPANT PAD		TURE EQ.		FIXTURE ROVIDED		
ł	BASEMENT	GROUP D	C)		0		0		
	GROUND FL	GROUP A2	3	0		1ALE & 1ALE	WASHRO	ARRIER FREE DOM & 1 UNISEX ASHROOM	3.7.4.3A	
						ERCLOSET			-	



'PE	DETAILS	DESCRIPTION	REQ. F.R.R./REFERENCE/NOTES			NEW SHAFT WALL (TO U/S OF RATED ASSEMBLY)	FRR 45 MIN. REQUIRED. FRR 60 MIN. PROVIDED (ULC W45
]}∧		EXISTING FOUNDATION WALL: - EX. CONCRETE FOUNDATION WALL. - CUT FOUNDATION WALL TO SUIT INSTALLATION OF NEW FOUNDATION WALL/FOOTING. - MODIFY EXISTING WEEPING TILE AND CONNECT NEW WEEPING TILE TO EXISTING. MECHANICALLY PEMOVE UNEVEN SUBFACE AT EVENTOR LORPY SUBFAND.				- FINISH 5/8" (16mm) FIRECORE GYPSUM PANEL - 2 1/2" (64mm) CGC C-H STUDS 0.5mm (25 GAUGE) @ 24" O.C 1" (25mm) GYPSUM LINER PANEL NEW INTERIOR WALL (INFILL WALL AROUND ELEVATOR DOOR ROUGH OPENING):	FRR 90 MIN. REQUIRED.
јув		- MECHANICALLY REMOVE UNEVEN SURFACE AT ELEVATOR LOBBY SIDE AND PREPARE FOR NEW CEMENT PARGING EXISTING FOUNDATION WALL: - SIKA DRAINAGE MAT 420		(V)		- (2) 5/8" TYPE X GYPSUM BOARD - 2X4 METAL STUD @ 16" O.C. WITH BATT INSULATION (ROXUL SAFE "N" SOUND) - (2) 5/8" TYPE X GYPSUM BOARD - FINISH.	FRR 120 MIN. PROVIDED (REF. W/ #S6B, SB-3) STC 55
		- SIKAPROOF-A+ WATERPROOFING SYSTEM. - EX. CONC. FOUNDATION WALL. MODIFY EXISTING WEEPING TILE AND CONNECT NEW WEEPING TILE TO EXISTING.		~~>		NEW INTERIOR WALL (TO U/S OF CEILING: - FINISH - 5/8" TYPE X GYPSUM BOARD (1/2" GYPSUM BOARD @ GROUND FLOOR ELEVATOR LOBBY ONL' - 2X4 METAL STUD @ 16" O.C. - SPRAY FOAM INSULATION WITHIN STUD CAVITY (@ GROUND FLOOR ELEVATOR LOBBY ONLY)	n
À		EXISTING EXTERIOR WALL (ON GROUND FL): - EX. STONE CLADDING - EX. AIR SPACE - EX. WATERPROOFING MEMBRANE. - EX. EXTERIOR SHEATHING. - EX. 2X6 WOOD STUDS.	R21 PROVIDED (R3.5/INCH)			NEW INTERIOR WALL (TO U/S OF RATED ASSEMBLY): - (2) 5/8" TYPE X GYPSUM BOARD - 2X4 METAL STUD @ 16" O.C.	FRR 60 MIN. REQUIRED. FRR 60 MIN. PROVIDED (OBC, TA 2.3.12, SB-2)
B		- EX. LATH AND PLASTER. - EX. FINISH - EX. FINISH - EX. FINISH - NEW 5/8" THK. GWB. - NEW FINISH EXISTING EXTERIOR WALL (ON 2ND FLOOR):	INSULATION UPGRADES NOT REQ.			NEW INTERIOR WALL (TO U/S OF CEILING) - FINISH. - 5/8" MOLD TOUGH ®PANELS FIRECODE X GYPSUM BOARD - 2X4 METAL STUD @ 16" O.C. - 5/8" MOLD TOUGH ®PANELS FIRECODE X GYPSUM BOARD - FINISH.	
		EX. STUCCO FINISH (ASSUME STUCCO ON METAL LATH ON 1X2 FURRING STRIPS) EX. WATERPOOFING MEMBRANE. EX. EXTERIOR SHEATHING. EX. 2X6 WOOD STUDS. EX. LATH AND PLASTER. EX. FINISH EX. FINISH EX. FINISH EX. EXTERIOR WALL EX. FINISH	FOR EX. BLDG. R21 PROVIDED (R3.5/INCH)			NEW INTERIOR WALL (TO U/S OF CEILING) - FINISH - 5/8" TYPE X GYPSUM BOARD. - 2X4 WOOD STUDS @ 16" O.C. WITH SOUND ABSORPTIVE BATT INSULATION (ROXUL SAFE"N" SOUND)	
		ONLY) - NEW AIR VAPOUR BARRIER (AT EXTER WALL ONLYO - NEW 5/8" THK. GWB. - NEW FINISH	IOR			- 5/8" TYPE X GYPSUM BOARD - FINISH NEW INTERIOR WALL (TO U/S OF RATED ASSEMBLY) - FINISH - 5/8" TYPE X GYPSUM BOARD. - 2X4 WOOD STUDS @ 16" O.C. WITH SOUND ABSORPTIVE BATT INSULATION (ROXUL SAFE "N"	FRR 45 MIN. REQUIRED. FRR 45 MIN. PROVIDED (REF. W1 SB-3) STC 36
		EX. INTERIOR WALL (FOR WALLS TO REMAIN) - NEW FINISH - REPLACE EX. METAL LATH AND PLASTER WITH NEW 5/8" THK. GYPSUM. - EX. 2X4 WD STUD - REPLACE EX. LATH AND PLASTER WITH NEW 5/8" THK. GYPSUM. - NEW FINISH				SOUND) - 5/8" TYPE X GYPSUM BOARD - FINISH <u>NEW INTERIOR WALL (TO U/S OF CEILING)</u> - FINISH	
	M	EX. INTERIOR WALL (FOR WALLS TO REMAIN) - NEW FINISH - REPLACE EX. METAL LATH AND PLASTER WITH NEW 5/8" TYPE X GYPSUM.		<u></u>		- 5/8" TYPE X GYPSUM BOARD. - 2X6 WOOD STUDS @ 16" O.C. WITH SOUND ABSORPTIVE BATT INSULATION (ROXUL SAFE "N" SOUND) - 5/8" TYPE X GYPSUM BOARD - FINISH	
	GARAGE 101 SIDE	- EX. 2X4 WD STUD - EX. CEMENTICIOUS PLASTER FINISH TO REMAIN AT GARAGE SIDE				NEW INTERIOR WALL (TO U/S OF CEILING) - FINISH - 5/8" TYPE X GYPSUM BOARD. - 2X6 WOOD STUDS @ 16" O.C. WITH SOUND ABSORPTIVE BATT INSULATION (ROXUL SAFE "N" SOUND) - 2X4 WOOD STUD @ 16" O.C. - 5/8" TYPE X GYPSUM BOARD.	FRR 45 MIN. REQUIRED. FRR 45 MIN. PROVIDED
		 FROM 6" (150MM) BELOW GRADE TO TOP OF FOUNDATION INSTALL CEMENT PANEL PARGED OR TECH-CRETE INSULATED WALL PANELS WHERE FOUNDATION IS EXPOSED ABOVE GRADE. SIKA DRAINAGE MAT 420 3" (75MM) RIGID EXTRUDED POLYSTYRENE INSULATION WITH SHIPLAPPED EDGES (R5 PER INCH = R15 ci) SIKAPROOF-A CONTINUOUS WATER PROOFING MEMBRANE CAST IN PLACE REINFORCED CONCRETE ON FOOTING. REFER TO STRUCTURAL FOR FOUNDATION WALL THICKNESS. 4" DIA. WEEPING TILE & FILTER FABRIC AROUND FOOTING, COVERED WITH 6" OF CRUSHED STONE. CAPILLARY BREAK BETWEEN WALL/FOOTING, WALL/SLAB, AND FOOTING/SLAB. SIKAPROOF-A CONTINUOUS UNDER FOOTING AND SLAB WATERPROOFING MEMBRANE. 	R-15 ci PROVIDED. REFER TO STRUCTURAL FOR REINFORCING AND WALL THICKNESS.	FLOOF TYPE F	R ASSEMBLIES DETAILS	DESCRIPTION EXISTING CONCRETE FLOOR (BASEMENT):	REQ. F.R.R./REFERENCE/NOTE
		- ARCHITECTURAL CONCRETE FINISH ON EXPOSED INTERIOR SIDE. NEW EXTERIOR ALUM. CURTAIN WALL SYSTEM - CURTAIN WALL SYSTEM (6" DEPTH FOR EAST AND WEST WALLS, 10 1/2" DEPTH		€F⋧		 EX. CONC. SLAB. MODIFIED CONC. SLAB TO SUIT NEW FOOTINGS AND TRENCHING FOR MECHANICAL. MAKE GOOD EX. CONC. SLAB. EXISTING WOOD FLOOR (GROUND FL, BETWEEN GRID 3 & 2): 	FRR 45 MIN. REQUIRED FOR
		FOR NORTH WALL) - SPRAY FOAM INSULATION TO FILL FRAME CAVITY. - 1" INSULATED GLAZING UNIT. - SUPPORTING CHANNEL STEEL REINFORCING TO SUIT (PROVIDED BY CURTAIN WALL SUPPLIER)				 REPLACE EX. FINISH WITH NEW FINISH. NEW 1/2" PLYWOOD SUBSTRATE. EX. SUB FLOOR. CUT EX. WOOD JOISTS (2X10 @ 16" O.C.) FOR INSTALLATION OF NEW BEAMS. (REFER TO STRUCTURAL) (ASSUME EX. WOOD JOISTS FRR. 10 MIN.) NEW BEAMS (REFER TO STRUCTURAL) 	COMBUSTIBLE CONSTRUCTIO FRR 50 MIN. PROVIDED. REF. 2.3.12 IN SB-2.
		NEW INTERIOR CONCRETE WALL FOR ELEVATOR SHAFT TO U/S OF ROOF DECK - 8" (203MM) CONCRETE BLOCK REINFORCED AND GROUTED. TOP OF BLOCK TO FOLLOW SLOPED ROOF DECK. - 5/8" TYPE X. GWB - FINISH	FRR 45 MIN. REQUIRED. FRR 2.5H PROVIDED (REF. WALL TYPE B2d, SB-3)	¢F3>		- NEW (2) 1/2" THK. TYPE X GYPSUM BOARD (FRR. 45 MIN.) - NEW FINISH EXISTING WOOD FLOOR (2ND FLOOR, BETWEEN GRID 1 & 2): - REPLACE EXISTING FINISH WITH NEW FINISH.	FRR 45 MIN. REQUIRED FOR COMBUSTIBLE CONSTRUCTIO
		NEW STANDING SEAM WALL - 0.8mm RHEINZINK 1.5" DOUBLE LOCK STANDING SEAM (ENGINEERING SHOP DRAWING TO INCLUDE SHEET METAL, GAUGE, SUB-GIRT SYSTEM AND STEEL STUDS) - 1/2" AIR SPACE (GIRT ANGLE TO PROTRUDES 1/2" FROM FACE OF INSULATION)	R-17 ci REQUIRED. R-22.5 ci PROVIDED. 45 MIN. FRR REQUIRED. 60 MIN. FRR PROVIDED (UL U425,			 - EX. SUB FLOOR. - EX. 2X10 WOOD JOISTS (ASSUME JOIST SPACING AT 16" O.C.) - EX. CEMENTITIOUS PLASTER FINISH TO REMAIN. - NEW (2) 1/2" THK. TYPE X GYPSUM BOARD (FRR. 45MIN.) - NEW FINISH 	FRR 45 MIN. PROVIDED. REF. 2.3.12 IN SB-2.
		 2" (50mm) MINERAL WOOL SEMI-RIGID INSULATION 4" (100mm) MINERAL WOOL SEMI-RIGID INSULATION SUB-GIRT SYSTEM, SIZE TO SUIT (GALVANIZED "Z" GIRT ANGLES WITH ISO CLIPS AND THERMAL ISOLATOR). INSULATION LAYERS ADHERED IN ADHESIVES, STAGGER INSULATION PANEL JOINTS. HENRY BLUESKIN SA SELF-ADHERED AIR-VAPOR BARRIER 5/8" (16mm) DENSGLASS EXTERIOR SHEATHING. 2X6 (0.8mm, 20 GAUGE) STRUCTURAL STEEL STUDS @ 24" O.C. (FILL STUD CAVITY WITH BATT INSULATION, FULL HEIGHT, "ROXUL SAFE "N" SOUND, TO MAINTAIN FIRE RESISTANT RATING BETWEEN ELEVATOR LOBBY AND STAIR C & D. SEE DWG. A104 & A10E) 	ULC-S101) REFER TO STRUCTURAL FOR REINFORCING AND WALL THICKNESS.	€F.≱		EXISTING WOOD FLOOR (2ND FLOOR, BETWEEN GRID 2 & 3): - REPLACE EXISTING FINISH WITH NEW FINISH - EX. SUB FLOOR. - EX. 2X10 WOOD JOISTS (ASSUME JOIST SPACING AT 16" O.C.) - REMOVE EX. LATH AND PLASTER PLASTER - NEW (2) 1/2" TYPE X GYPSUM BOARD (FRR. 45 MIN.) - NEW FINISH	FRR 45 MIN. REQUIRED FOR COMBUSTIBLE CONSTRUCTIO FRR 45 MIN. PROVIDED. REF. 2.3.12IN SB-2.
		A105) - 5/8" (16mm) DENSARMOR PLUS FIREGUARD - FINISH <u>NEW INTERIOR WALL (TO U/S OF RATED ASSEMBLY)</u>	FRR 60 MIN. REQUIRED. FRR 60 MIN. PROVIDED (REF. S2a, SB-3)	(F1)		NEW CONCRETE SLAB IN BASEMENT: - FINISH. - 4" (100MM) POURED IN PLACE CONCRETE - SIKAPROOF-A+ WATERPROOFING MEMBRANE - 4" MOULDED POLYSTYRENE INSULATION (R=5 PER INCH.	R-16.4ci REQUIRED. R-20 ci PROVIDED.
		 FINISH. 5/8" TYPE X GYPSUM BOARD 2X4 METAL STUD @ 16" O.C. WITH SOUND ABSORPTIVE BATT INSULATION (ROXUL SAFE "N" SOUND) (2) 5/8" TYPE X GYPSUM BOARD FINISH. 	STC 36	(F2)		TOTAL R=20) - 4" CRUSHED STONE - MIN. 6" COMPACTED GRANULAR <u>NEW ELEVATOR BASE SLAB</u> : - 12" THK. POURED IN PLACE CONCRETE	
		NEW INTERIOR WALL (TO U/S OF CEILING): - FINISH. - 5/8" TYPE X GYPSUM BOARD - 2X4 METAL STUD @ 16" O.C. WITH SOUND ABSORPTIVE BATT INSULATION (ROXUL SAFE "N" SOUND)				- SIKAPROOF A WATERPROOFING MEMBRANE - MIN. 6" COMPACTED GRANULAR	
		- 5/8" TYPE X GYPSUM BOARD - FINISH.		(F3)			FRR NOT REQUIRED FOR



COLUMN AND BEAM ASSEMBLIES

TYPE	DETAILS	DESCRIPTION	REQ. F.R.R./REFERENCE/NOTES
		NEW GWB TO U/S OF RATED ASSEMBLY: - FINISH - (2) 1/2" THK. TYPE X. GWB AROUND WOOD POSTS. - REFER TO STRUCTURAL FOR WOOD POSTS DIMENSION.	45 MIN. FRR REQUIRED. 50 MIN. FRR PROVIDED OBC TABLE 2.3.4.A IN SB-2.
<u>(B1)</u>		NEW GWB TO U/S OF RATED ASSEMBLY: - FINISH. - (2) 1/2" THK. TYPE X. GWB - 2X3 BLOCKING CUT TO SUIT AND MINERAL WOOL BATT INSULATION - LINTEL (REFER TO STRUCTURAL) WITH (2) 1/2" THK. TYPE X. GWB. AT UNDERSIDE OF LINTEL. - 2X3 BLOCKING CUT TO SUIT AND MINERAL WOOL BATT INSULATION. - (2) 1/2" THK. TYPE X. GWB. - FINISH	45 MIN. FRR REQUIRED. 50 MIN. FRR PROVIDED OBC TABLE 2.3.12 & 2.3.13 IN SB-2.

ESCRIPTION		REQ. F.R.R./REFERENCE/NOTES	
AND CEILING ASSEMBLY:	- CUT JOISTS TO SUIT NEW BEAMS	INSULATION UPGRADES NOT REQ FOR EX. BLDG.	
MEMBRANE.	(REFER TO STRUCTURAL) - REMOVE EXISTING LOOSE CELLULOSE FIBRE INSULATION - NEW 9.5" THK. BATT INSULATION	FRR. NOT REQUIRED.	
SUME 2X10 @ 16" O.C.) FIBRE INSULATION ASTER	 (ROCKWOOL COMFORTBATT) (R = 35) ENSURE ATTIC VENTILATION IS MAINTAINED. REMOVE EX. METAL LATH AND PLASTER. NEW AIR VAPOUR BARRIER NEW 5/8" TYPE X. GWB NEW FINISH 		
ETAL ROOF:		R-35 ci REQUIRED. R-35 ci PROVIDED.	
CK WITH 1.5" STANDING SEAM ROOF SHEET METAL, GAUGE A ROOFING MEMBRANE.	FRR NOT REQUIRED FOR NON-COMBUSTIBLE CONSTRUCTION.		
SHIELD ATERPROOFING SYSTEM (SEE DV VG. FOR AREA) TE INSULATION (R=5.8 PER INCH TE INSULATION (R=5.8 PER INCH AND SPACING TO SUIT. (GALV/ DLATOR) HERED IN TYPE 2 ASPHALT, STAC LF ADHERED AIR-VAPOR BARRIER ROOF BOARD OF RAFTER (REFER TO STRUCTUR	H = R11.6 CI) H = R23.2 CI) ANIZED "Z" ANGLES ON ISO GGER INSULATION PANEL	FRR NOT REQUIRED FOR NON-COMBUSTIBLE CONSTRUCTION.	
UM CURTAIN WALL SYSTEM: 'STEM (7" DEPTH) UNIT. DN TO FILL FRAME CAVITY STEEL REINFORCEMENT TO SUI STEM SUPPLIER)	FRR NOT REQUIRED FOR NON-COMBUSTIBLE CONSTRUCTION.		
<u>CEILING</u>		FRR 45 MIN. REQUIRED. FRR 45 MIN. PROVIDED (ULC W452	
IER PANEL TUDS (25 GAGE) @ 24" O.C. DRE GWB PANEL. JOINTS FINISI	HED.		
CEILING			
l Dre GWB Panel, JOINTS FINISI	HED.		
6" O.C. DRE GWB PANEL. JOINTS FINISI	HED.		
- Dre Gwb Panel, Joints Finisi	HED.		
LEVATOR MACHINE ROOM		FRR 60 MIN. REQUIRED. FRR 60MIN. PROVIDED (OBC. SB2,	
ecore gwb panel. Joints Fit	TABLE 2.3.12)		

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SRA	Stevens Burgess Architects Ltd.
204 - 120 Carlton St., Toro	onto, ON. M5A 2K2 T: 416-961-5690 F: 416-972-6417
MUSEUM AND	NTO VELOPMENT AND CULTURE HERITAGE SERVICES TH FLOOR, TORONTO, ON M5V 3C6
SPADINA MUSEL GARAGE REHAB	JM ILITATION AND SITE ACCESSIBILITY , TORONTO, ON M5R2V5

 NO.
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 AUG.2, 2023
 ISSUE FOR PERMIT AND TENDER

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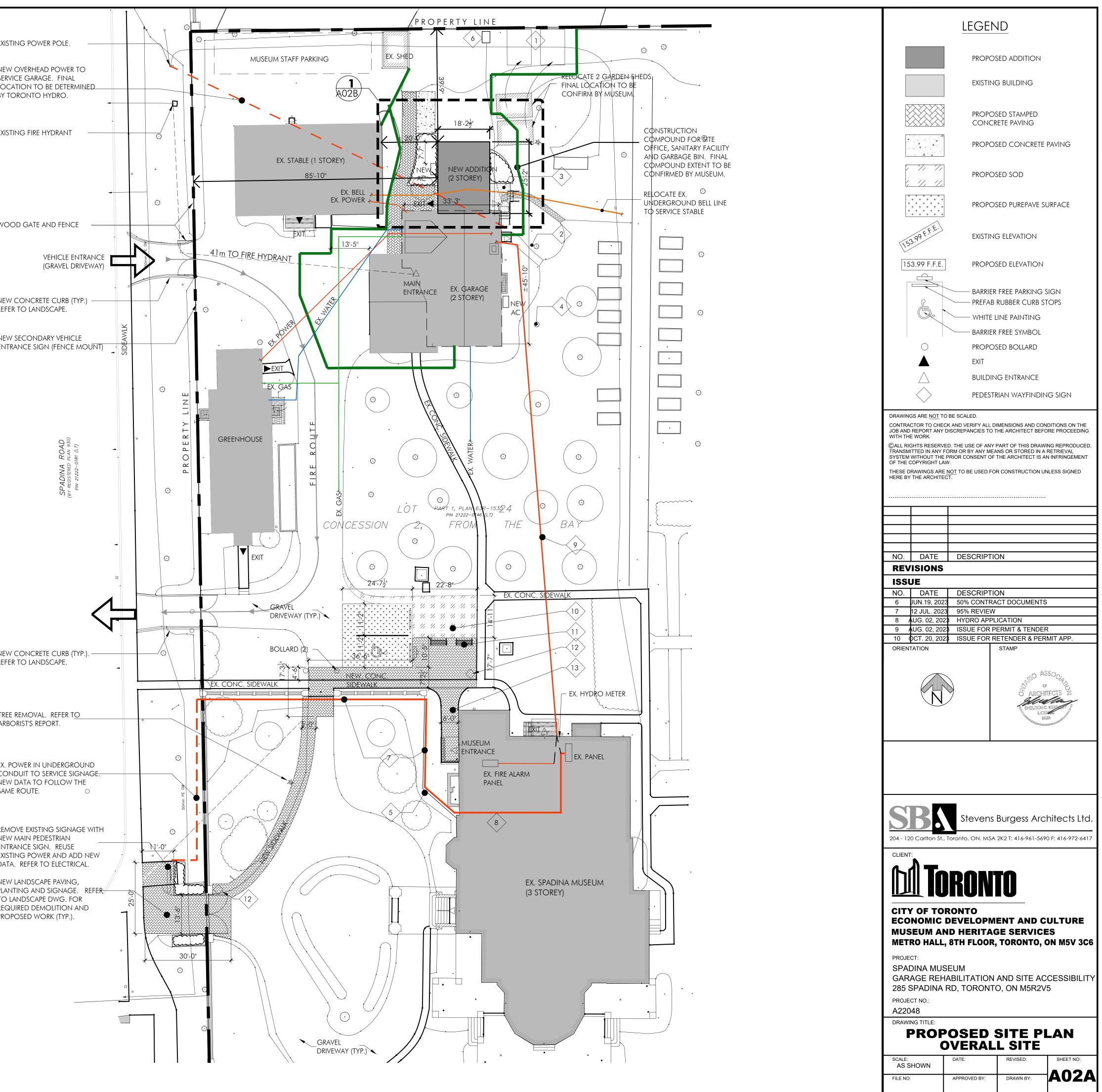
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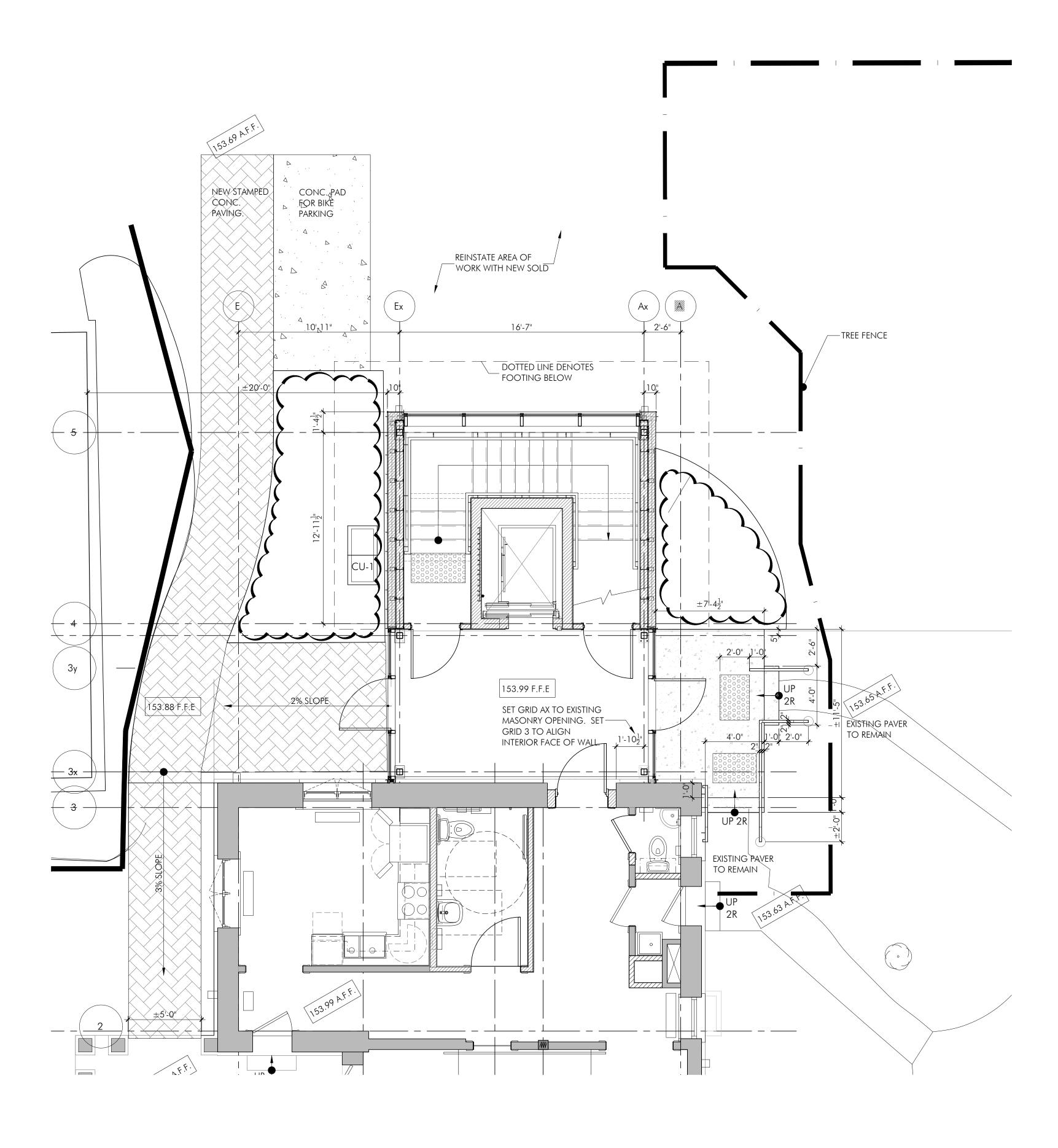
ORIENTATION

DRAWING TITLE: CONSTRUCTION ASSEMBLIES

SCALE: AS SHOWN	DATE: JAN 2023	REVISED:	SHEET NO:
FILE NO: A22048	APPROVED BY:	DRAWN BY: AG	A04

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GE	NERAL NOTES:	
GIBSO	SED SITE PLAN IS BASED ON SURVEY PREPARED BY SPEIGHT, VAN NOSTRAND & N LIMITED. DATED APRIL 21, 2022. IT IS GC'S RESPONSIBILITY TO CONFIRM IG SITE CONDITION.	
stora Layou	TRUCTION COMPOUND ARE FOR SITE OFFICE, SANITARY FACILITY, MATERIAL GE AND GARBAGE BIN. GC TO SUBMIT CONSTRUCTION COMPOUND T FOR OWNER'S REVIEW. LIMITED PARKING IS AVAILABLE FOR CONTRACTOR'S AX. OF 2). LOCATION TO BE CONFIRMED WITH OWNER.	
TO DE	DSED SITE PLAN PROVIDES AN OVERVIEW OF WORK ON THE PROPERTY. REFER TAIL SHOWN IN ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND CAPE DWG AND SPECIFICATION.	
IS GC'S	GROUND UTILITIES AND SERVICES SHOWN ARE FOR INFORMATION ONLY. IT 5 RESPONSIBILITY TO IDENTIFY AND CONFIRM ALL UNDERGROUND UTILITY AND ES PRIOR TO WORK.	
	NA MUSEUM, STABLE, GREENHOUSE AND THE GROUND WILL BE OPEN FOR THROUGHOUT DURATION OF WORK.	
 IN PC RE FII PR TF 	ISTS'S REPORT AND TREE PROTECTION PLAN: ISTALL TREE PROTECTION PLAN AS PER CITY OF TORONTO'S TREE PROTECTION DLICY AND SPECIFICATIONS FOR CONSTRUCTION NEAR TREES. FER TO ARBORISTS' REPORT AND TREE PROTECTION PLAN FOR ALL EQUIREMENT. NAL CONSTRUCTION COMPOUND IS ONLY PERMITTED AT OUTSIDE OF TREE ROTECTION ZONE. REE PROTECTION FENCE SHALL NOT BE RELOCATED/MOVED WITHOUT ONSENT FROM ARBORIST.	
ARCHE	REE REMOVAL SHALL BE COMPLETED BY CERTIFIED ARBORIST. OLOGY: CULTURAL HERITAGE RESOURCES ARE ENCOUNTERED DURING PERFORMANCE	
O IN	F WORK, CONTACT CONSULTANT IMMEDIATELY AND SUSPEND WORK IN IMEDIATE AREA UNTIL ASSESSMENT UNTIL FURTHER NOTICE.	
	IG SERVICES (POWER, SECURITY AND WATER) FROM GARAGE TO STABLE AND HOUSE TO BE MAINTAINED FOR THE DURATION OF THE WORK.	
DURAT	IG HOSE BIB ON EAST SIDE OF GARAGE TO BE MAINTAINED FOR THE ION OF THE WORK. EXISTING HOSE BIB ON NORTH SIDE OF GARAGE TO BE ATED TO NEW LOCATION. REFER TO MECHANICAL.	
<u>SITE</u>	PLAN NOTES RELOCATE EXISTING GARDEN SHEDS (2): 1 REMOVE EXISTING PLANTS IN THE AREA AND PREPARE GROUND FOR GARDEN SHEDS. ENSURE GROUND IS LEVEL.	
SITE	<u>RELOCATE EXISTING GARDEN SHEDS (2):</u> .1 REMOVE EXISTING PLANTS IN THE AREA AND PREPARE GROUND	
$\frac{\text{SITE}}{1}$	 <u>RELOCATE EXISTING GARDEN SHEDS (2)</u>: .1 REMOVE EXISTING PLANTS IN THE AREA AND PREPARE GROUND FOR GARDEN SHEDS. ENSURE GROUND IS LEVEL. .2 TRIM BACK OVERHEAD BRANCHES FOR REQUIRED HEADROOM CLEARANCE FOR GARDEN SHEDS. CONTACT HYDRO AS REQUIRED PRIOR TO PROCEED WORK. .3 RELOCATE GARDEN SHEDS AS SOON AS PROJECT STARTS UP. PROVIDE ACCESS TO GARDEN SHEDS FOR USER TO STORE GARDEN TOOLS. REMOVE AND DISPOSE OF FOUR (4) TREE TRUNKS 	
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$SITE$ $ \begin{array}{c} 2\\ 3\\ 4\\ 5\\ \end{array} $ $ \begin{array}{c} 6\\ 6\\ \end{array} $	 <u>RELOCATE EXISTING GARDEN SHEDS (2):</u> REMOVE EXISTING PLANTS IN THE AREA AND PREPARE GROUND FOR GARDEN SHEDS. ENSURE GROUND IS LEVEL. TRIM BACK OVERHEAD BRANCHES FOR REQUIRED HEADROOM CLEARANCE FOR GARDEN SHEDS. CONTACT HYDRO AS REQUIRED PRIOR TO PROCEED WORK. RELOCATE GARDEN SHEDS AS SOON AS PROJECT STARTS UP. PROVIDE ACCESS TO GARDEN SHEDS FOR USER TO STORE GARDEN TOOLS. REMOVE AND DISPOSE OF FOUR (4) TREE TRUNKS RELOCATE EXISTING STONE URN AND PILLAR TO EAST OF GARDEN SHEDS AT FINAL LOCATION. TRIM BACK EXISTING FORSYTHIA AT EAST ELEVATION FOR INSTALLATION OF NEW AC UNIT AND PAVER. EXISTING FENCE REPAIR AND REPAINT: EXISTING POSTS TO REMAIN. REPALCE 2 SECTIONS OF LATTICE FENCE IN BETWEEN POSTS. REPAINT LATTICE FENCE AND POSTS (BOTH SIDES). COLOUR TO MATCH EXISTING. 	
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1 SITE PLAN - PROPOSED A02B SCALE: 1/4" = 1'-0"

LEGEND

PROPOSED ADDITION

EXISTING BUILDING

PROPOSED STAMPED CONCRETE PAVING

PROPOSED CONCRETE PAVING

PROPOSED SOD

PROPOSED PUREPAVE SURFACE

EXISTING ELEVATION

PROPOSED ELEVATION

— BARRIER FREE PARKING SIGN — PREFAB RUBBER CURB STOPS

WHITE LINE PAINTING

- BARRIER FREE SYMBOL

PROPOSED BOLLARD

BUILDING ENTRANCE

PEDESTRIAN WAYFINDING SIGN

DRAWINGS ARE <u>NOT</u> TO BE SCALED. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE

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JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

EXIT

 \bigcirc ALL RIGHTS RESERVED. THE USE OF ANY PART OF THIS DRAWING REPRODUCED, TRANSMITTED IN ANY FORM OR BY ANY MEANS OR STORED IN A RETRIEVAL SYSTEM WITHOUT THE PRIOR CONSENT OF THE ARCHITECT IS AN INFRINGEMENT OF THE COPYRIGHT LAW. THESE DRAWINGS ARE <u>NOT</u> TO BE USED FOR CONSTRUCTION UNLESS SIGNED HERE BY THE ARCHITECT.

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NO.	DATE	DESCRIP	ΓΙΟΝ	
6	JUN.19, 2023	50% CONT	RACT DOCUMENTS	
7	12 JUL. 2023	95% REVIE	W	
8 A	UG. 02, 202	B HYDRO AP	PLICATION	
9 A	UG. 02, 202	ISSUE FOR	PERMIT & TENDER	
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	ASSO OF ARCHITECTS BILLICENTE 6638			
Stevens Burgess Architects Ltd. 204 - 120 Carlton St., Toronto, ON. M5A 2K2 T: 416-961-5690 F: 416-972-6417				
CLIENT	:			

CITY OF TORONTO ECONOMIC DEVELOPMENT AND CULTURE MUSEUM AND HERITAGE SERVICES METRO HALL, 8TH FLOOR, TORONTO, ON M5V 3C6

PROJECT:

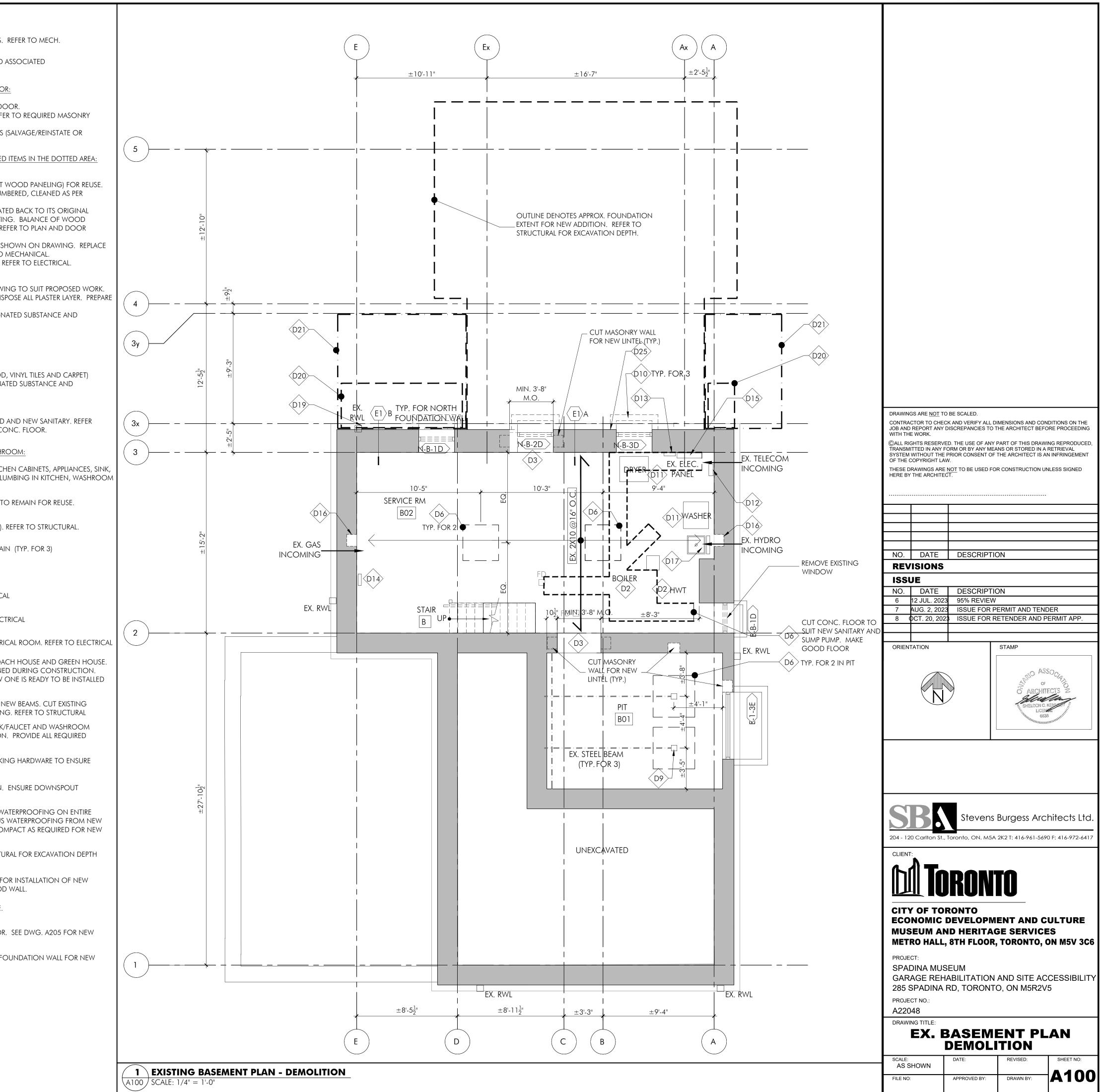
SPADINA MUSEUM

GARAGE REHABILITATION AND SITE ACCESSIBILITY 285 SPADINA RD, TORONTO, ON M5R2V5 PROJECT NO.:

A22048

DRAWING TITLE:	SED SI Addit		N AT
SCALE: AS SHOWN	DATE:	REVISED:	
FILE NO:	APPROVED BY:	DRAWN BY:	A02B

SYMB	OL LEGEND	DEM	OLITION NOTES
	AREA NOT IN SCOPE		REMOVE EXISTING RADIATOR AND ASSOCIATED PIPES. R
	EXISTING WALL TO REMAIN NEW WALL		REMOVE EXISTING SHOWER, HWT TANK, BOILER AND AS PLUMBINGS. REFER TO MECH.
 ESTIBULE	EXISTING WALL TO BE REMOVED ROOM NAME AND ROOM NUMBER		REMOVE EXISTING WALL/WINDOW TO SUIT NEW DOOR:
	EXISTING DOOR TO REMAIN UNLESS NOTED OTHERWISE		 REMOVE EXISTING WINDOW AND WALL FOR NEW DOC CUT MASONRY FOR REQUIRED LINTEL BEARING (REFER OPENING AND STRUCTURAL REINFORCEMENT.) REFER TO DETAIL DWG. FOR EXISTING WOOD TRIMS (S,
	NEW DOOR		
``\ 	EXISTING DOOR TO BE DEMOLISHED		FOR REMOVAL OF WALL, PLASTER LAYER AND SALVAGED I
 ⟩ ↓₽	CONSTRUCTION ASSEMBLY WINDOW NUMBER		 SALVAGE ALL EXISTING WOOD ELEMENTS (EXCEPT W ALL SALVAGED ITEMS SHALL BE DOCUMENTED, NUMB ABATEMENT PROCEDURE, STORE AND REINSTATE. MAJORITY OF WOOD ELEMENTS WILL BE REINSTATEE
	DOOR NUMBER "E" = EXISTING TO REMAIN "N" = NEW "D" = EXISTING TO BE DEMOLISHED		LOCATION OR RELOCATED AS SHOWN ON DRAWING ELEMENTS WILL BE REMOVED AND DEMOLISHED. REFE SCHEDULE. - REMOVE AND REINSTATE EXISTING RADIATOR AS SHO
	"M" = EXISTING TO BE MODIFIED AND REINSTATED "R" = RELOCATE AND MODIFY		ALL WATER PIPES SERVICING RADIATORS. REFER TO M - REMOVE ELECTRICAL AS SHOWN ON DRAWING. REF
)	NEW FIRE PULL. REFER TO ELEC. NEW THERMOSTAT. REFER TO MECH.		 REMOVE WALLS AND FLOOR AS SHOWN ON DRAWING FOR WALLS TO REMAIN IN PLACE, REMOVE AND DISPORT NEW GWB.
	NEW DUPLEX RECEPTACLE. REFER TO ELEC. NEW TELEPHONE OUTLET. REFER TO ELEC.		4. REFER TO ENVIRONMENTAL CONSULTANT'S DESIGNAT HAZARDOUS MATERIALS ABATEMENT PROCEDURE.
	NEW DATA OUTLET. REFER TO ELEC. NEW TELEPHONE AND DATA OUTLET. REFER TO ELEC.	D5	FOR FLOOR FINISHES IN THE DOTTED AREA:
_	NEW REINFORCING BEAM ABOVE (FOR EXISTING BUILDING). REFER TO STRUCTURAL. STAIR OPENING TO BE INFILLED. REFER TO STRUCTURAL.		 REMOVE ALL EXISTING FLOOR FINISHES (HARDWOOD, V REFER TO ENVIRONMENTAL CONSULTANT'S DESIGNATE HAZARDOUS MATERIALS ABATEMENT PROCEDURE. PREPARE FOR NEW FLOOR FINISH
	NEW EXISTING TO REMAIN	D6	CUT EXISTING CONC. SLAB FOR NEW CONCRETE PAD A TO STRUCTURAL AND MECHANICAL. MAKE GOOD CON
сц	EXISTING TO BE REMOVED MECHANICAL DRAWING		FOR KITCHENETTE, KITCHEN, WASHROOM AND BATHRO
ECH EC. /F	ELECTRICAL DRAWING		- EXCEPT NOTED OTHERWISE, REMOVE EXISTING KITCHE SHOWER, VANITY, TOILET, BATHTUB ASSOCIATED PLUM AND BATHROOM. REFER TO MECH.
			EXISTING KITCHEN EXHAUST VENT THROUGH ROOF TO
			REPLACE EXISTING COLUMNS WITH NEW (TYP. FOR 2). RE
		¢10	DEMOLISH EXISTING WINDOW WELL AND FLOOR DRAIN
		¢11>	DEMOLISH EXISTING WASHER AND DRYER
		©12>	EXISTING DATA RACK TO REMAIN. REFER TO ELECTRICAL
		¢13>	EXISTING SECURITY PANEL TO REMAIN. REFER TO ELECTR
			RELOCATE EXISTING SECURITY PANEL TO NEW ELECTRICA
		D15	EXISTING ELECTICAL PANEL PROVIDES POWER TO COACH POWER TO ALL THREE BUILDINGS SHALL BE MAINTAINED EXISTING PANEL CAN ONLY BE REMOVED WHEN NEW ON
		D 16	TO MINIMIZE DOWNTIME. REFER TO ELECTRICAL. CUT EXISTING FLOOR JOISTS FOR INSTALLATION OF NEW MASONRY WALL AT GRID E & A FOR REQUIRED BEARING.
		D17	SALVAGE EXISTING LAUNDRY SINK, KITCHENETTE SINK/FA SINK/FAUCET. RELOCATE FIXTURE TO NEW LOCATION. PLUMBING TO SUIT. REFER TO MECHANICAL.
		D18	REMOVE EXISTING STORM WINDOWS. REMOVE LOCKING WINDOW OPERATION FROM EXTERIOR SIDE
		D19	MAKE GOOD EXISTING DOWNSPOUT CONNECTION. E
		D20	EXCAVATE TO EXISTING FOOTING DEPTH FOR NEW WAT NORTH FOUNDATION WALL. PROVIDE CONTINUOUS W TO EXISTING FOUNDATION WALL. BACKFILL AND COMF
		D21	FLUSH ENTRY. AREA FOR FLUSH ENTRY BACKFILL. REFER TO STRUCTURA AND ASSEMBLY
			CAREFULLY CUT EXISTING CEMENT PARGING FNIISH FOR COLUMNS, BEAMS AND MECH. GRILLES. MAKE GOOD V
		D23	SALVAGE EXISTING SECURITY KEYPAD AND REINSTATE.
			RELOCATE EXISTING WOOD LOCKERS TO 2ND FLOOR. LOCATIONS.
			PROVIDE PROVISION TO CORE THROUGH EXISTING FOL



SYMB	OL LEGEND	DEM	olition notes
	AREA NOT IN SCOPE		REMOVE EXISTING RADIATOR AND ASSOCIATED PIPES. REFER
	EXISTING WALL TO REMAIN		
	NEW WALL		REMOVE EXISTING SHOWER, HWT TANK, BOILER AND ASSOC PLUMBINGS. REFER TO MECH.
	EXISTING WALL TO BE REMOVED ROOM NAME AND ROOM NUMBER	Ŷ	REMOVE EXISTING WALL/WINDOW TO SUIT NEW DOOR:
NEW VESTIBULE B14-1	ROOM NAME AND ROOM NUMBER		- REMOVE EXISTING WINDOW AND WALL FOR NEW DOOR.
	EXISTING DOOR TO REMAIN UNLESS NOTED OTHERWISE		 - REMOVE EXISTING WINDOW AND WALL FOR NEW DOOR. - CUT MASONRY FOR REQUIRED LINTEL BEARING (REFER TO R OPENING AND STRUCTURAL REINFORCEMENT.) - REFER TO DETAIL DWG. FOR EXISTING WOOD TRIMS (SALVA)
	NEW DOOR		REPRODUCE TO MATCH)
	EXISTING DOOR TO BE DEMOLISHED	D4	FOR REMOVAL OF WALL, PLASTER LAYER AND SALVAGED ITEMS 1. PRIOR TO PLASTER REMOVAL:
< <u>\1</u> >	CONSTRUCTION ASSEMBLY		- SALVAGE ALL EXISTING WOOD ELEMENTS (EXCEPT WOOD ALL SALVAGED ITEMS SHALL BE DOCUMENTED, NUMBERED
(WIN#)	WINDOW NUMBER		ABATEMENT PROCEDURE, STORE AND REINSTATE.
(B19)	– DOOR NUMBER "E" = EXISTING TO REMAIN		- MAJORITY OF WOOD ELEMENTS WILL BE REINSTATED BAC LOCATION OR RELOCATED AS SHOWN ON DRAWING. BA
(N)	"N" = NEW "D" = EXISTING TO BE DEMOLISHED		ELEMENTS WILL BE REMOVED AND DEMOLISHED. REFER TO SCHEDULE.
	"M" = EXISTING TO BE MODIFIED AND REINSTATED "R" = RELOCATE AND MODIFY		- REMOVE AND REINSTATE EXISTING RADIATOR AS SHOWN ALL WATER PIPES SERVICING RADIATORS. REFER TO MECHA - REMOVE ELECTRICAL AS SHOWN ON DRAWING. REFER TO
	NEW FIRE PULL. REFER TO ELEC.		
(T) Ø	NEW THERMOSTAT. REFER TO MECH. NEW DUPLEX RECEPTACLE. REFER TO ELEC.		 REMOVE WALLS AND FLOOR AS SHOWN ON DRAWING TC FOR WALLS TO REMAIN IN PLACE, REMOVE AND DISPOSE A FOR NEW GWB.
₩ ▼	NEW TELEPHONE OUTLET. REFER TO ELEC.		4. REFER TO ENVIRONMENTAL CONSULTANT'S DESIGNATED S HAZARDOUS MATERIALS ABATEMENT PROCEDURE.
\checkmark	NEW DATA OUTLET. REFER TO ELEC.		
\mathbf{V}	NEW TELEPHONE AND DATA OUTLET. REFER TO ELEC.		FOR FLOOR FINISHES IN THE DOTTED AREA:
	NEW REINFORCING BEAM ABOVE (FOR EXISTING BUILDING). REFER TO STRUCTURAL.		- REMOVE ALL EXISTING FLOOR FINISHES (HARDWOOD, VINYL - REFER TO ENVIRONMENTAL CONSULTANT'S DESIGNATED SU
	STAIR OPENING TO BE INFILLED. REFER TO STRUCTURAL.		HAZARDOUS MATERIALS ABATEMENT PROCEDURE. - PREPARE FOR NEW FLOOR FINISH
N E. D	NEW EXISTING TO REMAIN EXISTING TO BE REMOVED	D6	CUT EXISTING CONC. SLAB FOR NEW CONCRETE PAD AND N TO STRUCTURAL AND MECHANICAL. MAKE GOOD CONC. F
MECH	MECHANICAL DRAWING		FOR KITCHENETTE, KITCHEN, WASHROOM AND BATHROOM:
elec. O/f R.R.	ELECTRICAL DRAWING OUTSIDE OF FRAME EXISTING TO BE REINSTATED		 EXCEPT NOTED OTHERWISE, REMOVE EXISTING KITCHEN CA SHOWER, VANITY, TOILET, BATHTUB ASSOCIATED PLUMBING AND BATHROOM. REFER TO MECH.
			EXISTING KITCHEN EXHAUST VENT THROUGH ROOF TO REMA
		D9	REPLACE EXISTING COLUMNS WITH NEW (TYP. FOR 2). REFER
		D10	DEMOLISH EXISTING WINDOW WELL AND FLOOR DRAIN (TYP
		Ø11	DEMOLISH EXISTING WASHER AND DRYER
		D12	EXISTING DATA RACK TO REMAIN. REFER TO ELECTRICAL
		D13	EXISTING SECURITY PANEL TO REMAIN. REFER TO ELECTRICAL
		D14	RELOCATE EXISTING SECURITY PANEL TO NEW ELECTRICAL RC
		D15	EXISTING ELECTICAL PANEL PROVIDES POWER TO COACH HC POWER TO ALL THREE BUILDINGS SHALL BE MAINTAINED DURI EXISTING PANEL CAN ONLY BE REMOVED WHEN NEW ONE IS TO MINIMIZE DOWNTIME. REFER TO ELECTRICAL.
		D16	CUT EXISTING FLOOR JOISTS FOR INSTALLATION OF NEW BEAMASONRY WALL AT GRID E & A FOR REQUIRED BEARING. REFE
			SALVAGE EXISTING LAUNDRY SINK, KITCHENETTE SINK/FAUCE SINK/FAUCET. RELOCATE FIXTURE TO NEW LOCATION. PRO PLUMBING TO SUIT. REFER TO MECHANICAL.
		D18	REMOVE EXISTING STORM WINDOWS. REMOVE LOCKING HA WINDOW OPERATION FROM EXTERIOR SIDE
		D19	MAKE GOOD EXISTING DOWNSPOUT CONNECTION. ENSUR CONNECTS TO WEEPING TILE.
			EXCAVATE TO EXISTING FOOTING DEPTH FOR NEW WATERPR

EXCAVATE TO EXISTING FOOTING DEPTH FOR NEW WATERPROOFING ON ENTIRE NORTH FOUNDATION WALL. PROVIDE CONTINUOUS WATERPROOFING FROM NEW TO EXISTING FOUNDATION WALL. BACKFILL AND COMPACT AS REQUIRED FOR NEW FLUSH ENTRY.

AREA FOR FLUSH ENTRY BACKFILL. REFER TO STRUCTURAL FOR EXCAVATION DEPTH and assembly

(D20)

(D21)

(D23)

Q24

D25

CAREFULLY CUT EXISTING CEMENT PARGING FNIISH FOR INSTALLATION OF NEW (D22) COLUMNS, BEAMS AND MECH. GRILLES. MAKE GOOD WALL.

SALVAGE EXISTING SECURITY KEYPAD AND REINSTATE.

RELOCATE EXISTING WOOD LOCKERS TO 2ND FLOOR. SEE DWG. A205 FOR NEW locations.

PROVIDE PROVISION TO CORE THROUGH EXISTING FOUNDATION WALL FOR NEW SANITARY. REFER TO MECH.

PES. REFER TO MECH.

ND ASSOCIATED

EFER TO REQUIRED MASONRY

MS (SALVAGE/REINSTATE OR

GED ITEMS IN THE DOTTED AREA:

PT WOOD PANELING) FOR REUSE. IUMBERED, CLEANED AS PER

TATED BACK TO ITS ORIGINAL WING. BALANCE OF WOOD REFER TO PLAN AND DOOR

S SHOWN ON DRAWING. REPLACE TO MECHANICAL. . REFER TO ELECTRICAL.

AWING TO SUIT PROPOSED WORK. DISPOSE ALL PLASTER LAYER. PREPARE

GNATED SUBSTANCE AND

OD, VINYL TILES AND CARPET) NATED SUBSTANCE AND

AD AND NEW SANITARY. REFER CONC. FLOOR.

ITCHEN CABINETS, APPLIANCES, SINK, PLUMBING IN KITCHEN, WASHROOM

F TO REMAIN FOR REUSE.

2). REFER TO STRUCTURAL.

DRAIN (TYP. FOR 3)

TRICAL ROOM. REFER TO ELECTRICAL

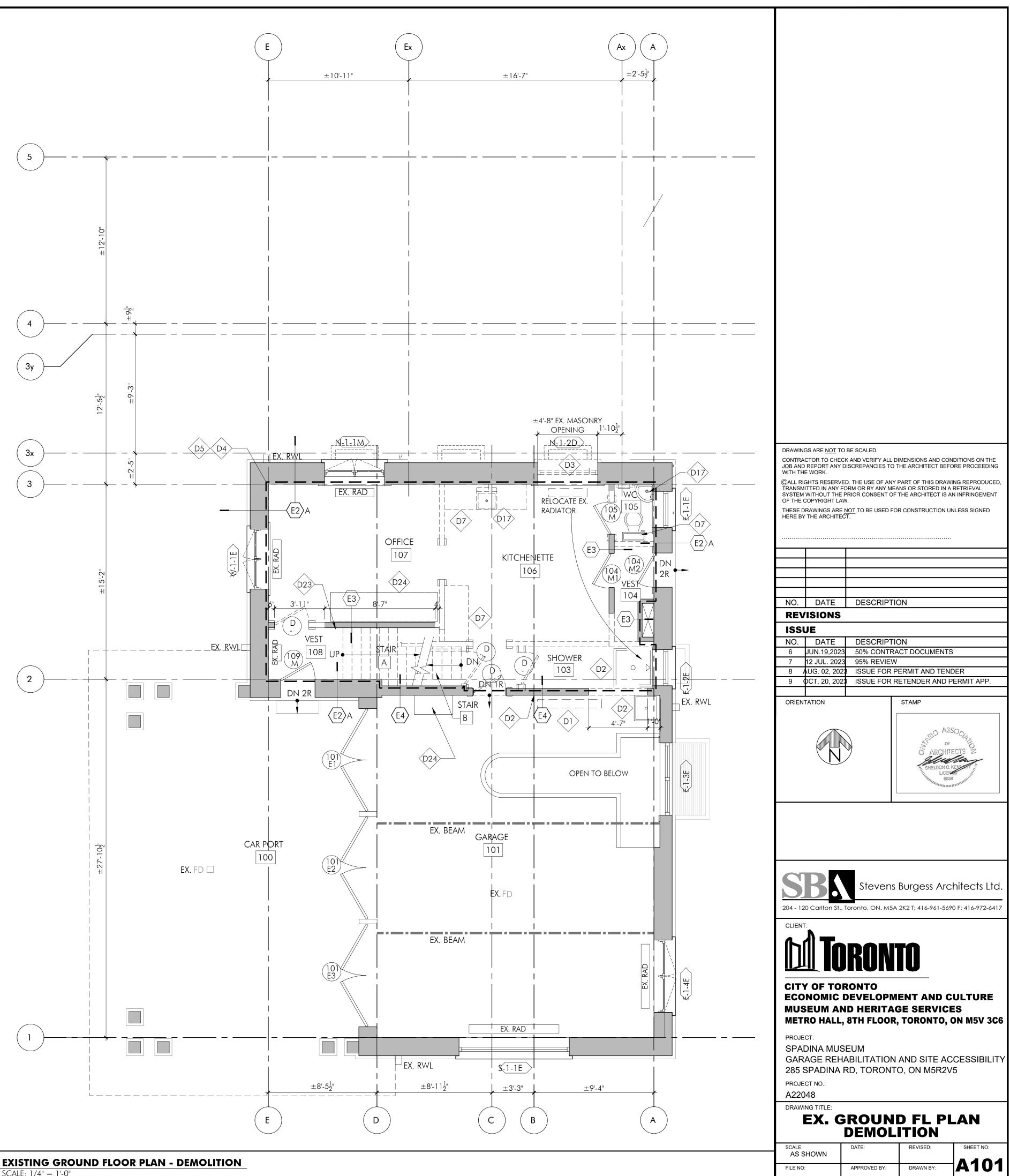
OACH HOUSE AND GREEN HOUSE. INED DURING CONSTRUCTION. W ONE IS READY TO BE INSTALLED

F NEW BEAMS. CUT EXISTING RING. REFER TO STRUCTURAL

NK/FAUCET AND WASHROOM ION. PROVIDE ALL REQUIRED

CKING HARDWARE TO ENSURE

DN. ENSURE DOWNSPOUT





SYMB	OL LEGEND	DEM	OLITION NOTES
	AREA NOT IN SCOPE		REMOVE EXISTING RADIATOR AND ASSOCIATED PIPES. REFER
	EXISTING WALL TO REMAIN		
	NEW WALL		REMOVE EXISTING SHOWER, HWT TANK, BOILER AND ASSOC PLUMBINGS. REFER TO MECH.
	EXISTING WALL TO BE REMOVED		
NEW VESTIBULE	ROOM NAME AND ROOM NUMBER		REMOVE EXISTING WALL/WINDOW TO SUIT NEW DOOR:
	EXISTING DOOR TO REMAIN UNLESS NOTED OTHERWISE		 REMOVE EXISTING WINDOW AND WALL FOR NEW DOOR. CUT MASONRY FOR REQUIRED LINTEL BEARING (REFER TO FOPENING AND STRUCTURAL REINFORCEMENT.) REFER TO DETAIL DWG. FOR EXISTING WOOD TRIMS (SALVA)
	NEW DOOR		REPRODUCE TO MATCH)
	EXISTING DOOR TO BE DEMOLISHED	D4	FOR REMOVAL OF WALL, PLASTER LAYER AND SALVAGED ITEMS
$\langle \forall 1 \rangle$	CONSTRUCTION ASSEMBLY		- SALVAGE ALL EXISTING WOOD ELEMENTS (EXCEPT WOOI ALL SALVAGED ITEMS SHALL BE DOCUMENTED, NUMBEREE
(WIN#)	WINDOW NUMBER		ABATEMENT PROCEDURE, STORE AND REINSTATE.
	– DOOR NUMBER		- MAJORITY OF WOOD ELEMENTS WILL BE REINSTATED BAILLOCATION OR RELOCATED AS SHOWN ON DRAWING. BA
(B19) N	"E" = EXISTING TO REMAIN - "N" = NEW		ELEMENTS WILL BE REMOVED AND DEMOLISHED. REFER TO SCHEDULE.
	"D" = EXISTING TO BE DEMOLISHED "M" = EXISTING TO BE MODIFIED AND REINSTATED "R" = RELOCATE AND MODIFY		- REMOVE AND REINSTATE EXISTING RADIATOR AS SHOWN ALL WATER PIPES SERVICING RADIATORS. REFER TO MECH. - REMOVE ELECTRICAL AS SHOWN ON DRAWING. REFER T
	NEW FIRE PULL. REFER TO ELEC.		
T	NEW THERMOSTAT. REFER TO MECH.		 REMOVE WALLS AND FLOOR AS SHOWN ON DRAWING TO FOR WALLS TO REMAIN IN PLACE, REMOVE AND DISPOSE A
φ	NEW DUPLEX RECEPTACLE. REFER TO ELEC.		FOR NEW GWB. 4. REFER TO ENVIRONMENTAL CONSULTANT'S DESIGNATED S
▼	NEW TELEPHONE OUTLET. REFER TO ELEC.		HAZARDOUS MATERIALS ABATEMENT PROCEDURE.
\bigtriangledown	NEW DATA OUTLET. REFER TO ELEC.		
\mathbf{V}	NEW TELEPHONE AND DATA OUTLET. REFER TO ELEC.		FOR FLOOR FINISHES IN THE DOTTED AREA:
	NEW REINFORCING BEAM ABOVE (FOR EXISTING BUILDING). REFER TO STRUCTURAL.		- REMOVE ALL EXISTING FLOOR FINISHES (HARDWOOD, VINY - REFER TO ENVIRONMENTAL CONSULTANT'S DESIGNATED SU
	STAIR OPENING TO BE INFILLED. REFER TO STRUCTURAL.		HAZARDOUS MATERIALS ABATEMENT PROCEDURE. - PREPARE FOR NEW FLOOR FINISH
Ν	NEW		CUT EXISTING CONC. SLAB FOR NEW CONCRETE PAD AND 1
E.	EXISTING TO REMAIN		TO STRUCTURAL AND MECHANICAL. MAKE GOOD CONC. F
D MECH	EXISTING TO BE REMOVED MECHANICAL DRAWING		FOR KITCHENETTE, KITCHEN, WASHROOM AND BATHROOM:
ELEC.	ELECTRICAL DRAWING		
O/F R.R.	OUTSIDE OF FRAME EXISTING TO BE REINSTATED		- EXCEPT NOTED OTHERWISE, REMOVE EXISTING KITCHEN CA SHOWER, VANITY, TOILET, BATHTUB ASSOCIATED PLUMBING AND BATHROOM. REFER TO MECH.
			EXISTING KITCHEN EXHAUST VENT THROUGH ROOF TO REM
		D9	REPLACE EXISTING COLUMNS WITH NEW (TYP. FOR 2). REFER
		D10	DEMOLISH EXISTING WINDOW WELL AND FLOOR DRAIN (TYP
		D11	DEMOLISH EXISTING WASHER AND DRYER
		D12	EXISTING DATA RACK TO REMAIN. REFER TO ELECTRICAL
		Ф13>	EXISTING SECURITY PANEL TO REMAIN. REFER TO ELECTRICAL
		D14	RELOCATE EXISTING SECURITY PANEL TO NEW ELECTRICAL RO
		D15	EXISTING ELECTICAL PANEL PROVIDES POWER TO COACH HO POWER TO ALL THREE BUILDINGS SHALL BE MAINTAINED DUR EXISTING PANEL CAN ONLY BE REMOVED WHEN NEW ONE IS TO MINIMIZE DOWNTIME. REFER TO ELECTRICAL.
		D16	CUT EXISTING FLOOR JOISTS FOR INSTALLATION OF NEW BE MASONRY WALL AT GRID E & A FOR REQUIRED BEARING. REF
		Ø17	SALVAGE EXISTING LAUNDRY SINK, KITCHENETTE SINK/FAUCE SINK/FAUCET. RELOCATE FIXTURE TO NEW LOCATION. PRC PLUMBING TO SUIT. REFER TO MECHANICAL.
		D18	REMOVE EXISTING STORM WINDOWS. REMOVE LOCKING HA WINDOW OPERATION FROM EXTERIOR SIDE

MAKE GOOD EXISTING DOWNSPOUT CONNECTION. ENSURE DOWNSPOUT CONNECTS TO WEEPING TILE.

(19)

D23

Q24

Q25

- EXCAVATE TO EXISTING FOOTING DEPTH FOR NEW WATERPROOFING ON ENTIRE **D20** NORTH FOUNDATION WALL. PROVIDE CONTINUOUS WATERPROOFING FROM NEW TO EXISTING FOUNDATION WALL. BACKFILL AND COMPACT AS REQUIRED FOR NEW FLUSH ENTRY.
- (D21) AREA FOR FLUSH ENTRY BACKFILL. REFER TO STRUCTURAL FOR EXCAVATION DEPTH AND ASSEMBLY
- CAREFULLY CUT EXISTING CEMENT PARGING FNIISH FOR INSTALLATION OF NEW **D22** COLUMNS, BEAMS AND MECH. GRILLES. MAKE GOOD WALL.
 - SALVAGE EXISTING SECURITY KEYPAD AND REINSTATE.
 - RELOCATE EXISTING WOOD LOCKERS TO 2ND FLOOR. SEE DWG. A205 FOR NEW locations.
 - PROVIDE PROVISION TO CORE THROUGH EXISTING FOUNDATION WALL FOR NEW SANITARY. REFER TO MECH.

FER TO MECH.

OCIATED

O REQUIRED MASONRY LVAGE/REINSTATE OR

EMS IN THE DOTTED AREA:

OD PANELING) FOR REUSE. RED, CLEANED AS PER

BACK TO ITS ORIGINAL BALANCE OF WOOD R TO PLAN AND DOOR

WN ON DRAWING. REPLACE CHANICAL. R TO ELECTRICAL.

TO SUIT PROPOSED WORK. SE ALL PLASTER LAYER. PREPARE

D SUBSTANCE AND

NYL TILES AND CARPET)) SUBSTANCE AND

D NEW SANITARY. REFER . Floor.

CABINETS, APPLIANCES, SINK, BING IN KITCHEN, WASHROOM

EMAIN FOR REUSE.

ER TO STRUCTURAL.

(TYP. FOR 3)

:AL

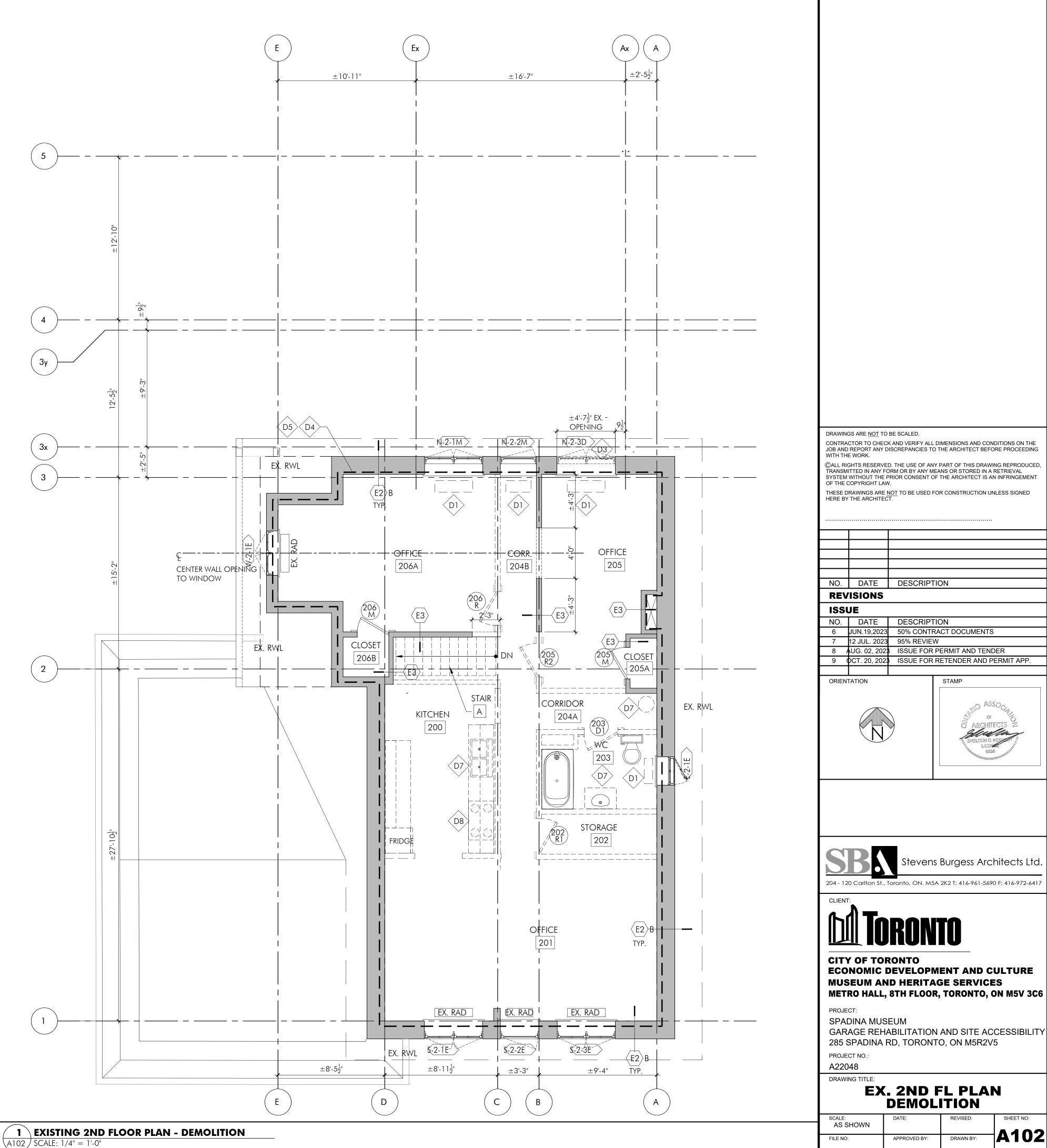
ROOM. REFER TO ELECTRICAL

HOUSE AND GREEN HOUSE. OURING CONSTRUCTION. E IS READY TO BE INSTALLED

BEAMS. CUT EXISTING REFER TO STRUCTURAL JCET AND WASHROOM

ROVIDE ALL REQUIRED

HARDWARE TO ENSURE



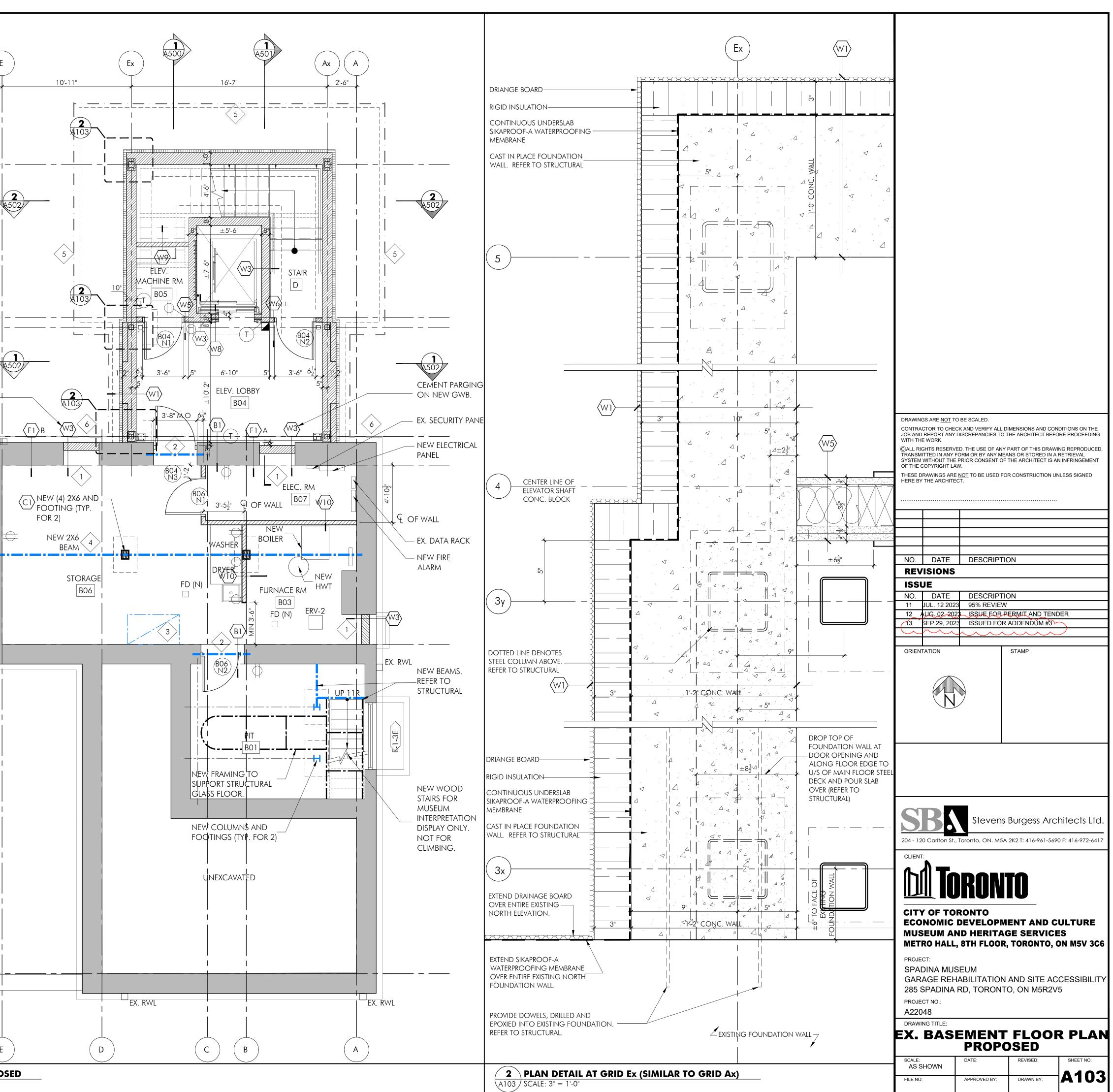
1 CEXISTING 2ND FLOOR PLAN - DEMOLITION

ECONOMIC DEVELOPMENT AND CULTURE

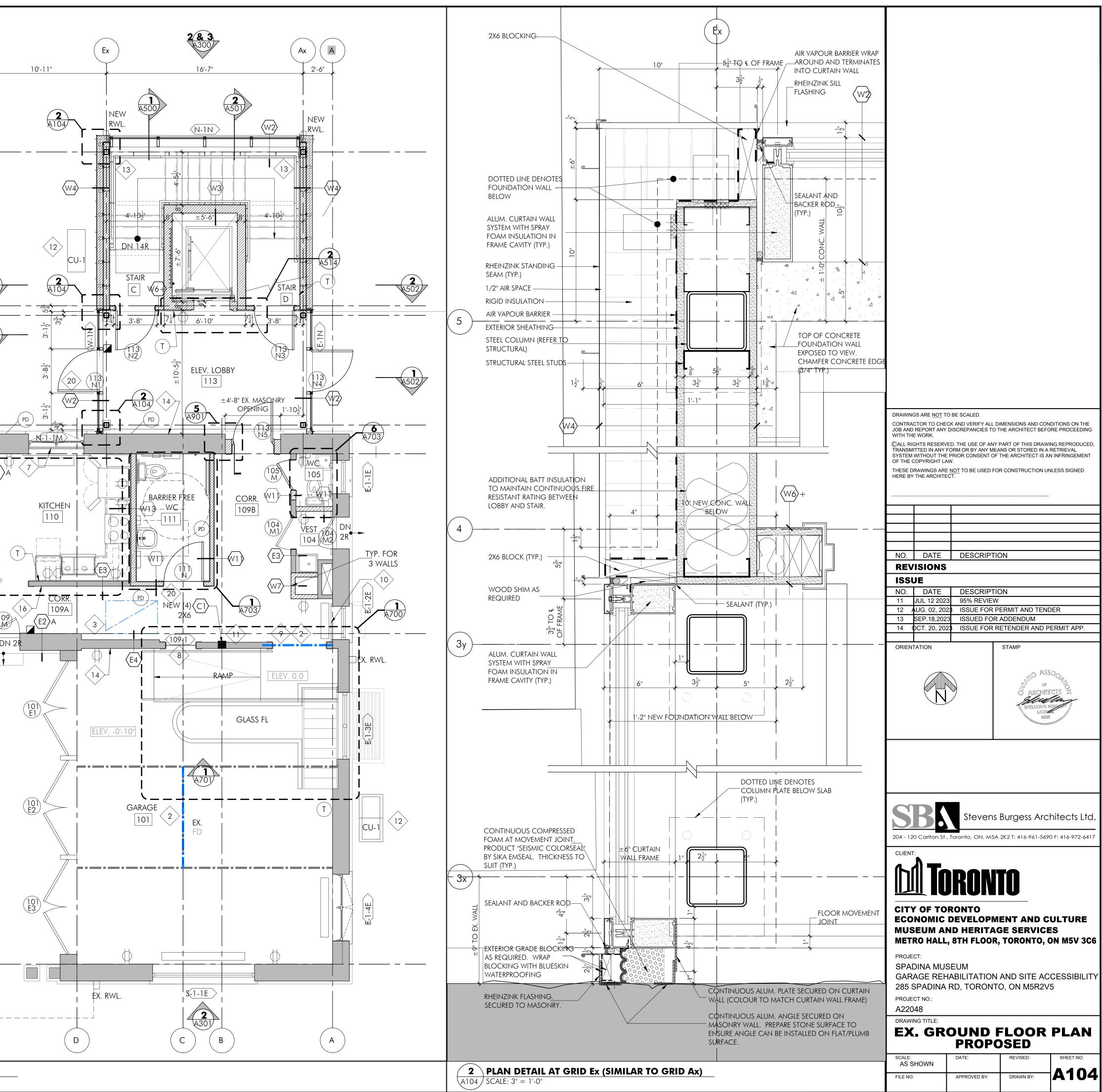
GARAGE REHABILITATION AND SITE ACCESSIBILITY

SYMB	ol legend									
	AREA NOT IN SCOPE EXISTING WALL TO REMAIN								E	
	NEW WALL								+	
	EXISTING WALL TO BE REMOVED									
NEW VESTIBULE B14-1	ROOM NAME AND ROOM NUMBER								· · · · · · · · · · · · · · · · · · ·	
	EXISTING DOOR TO REMAIN UNLESS NOTED OTHERWISE									
	NEW DOOR	5							 1-	
	EXISTING DOOR TO BE DEMOLISHED								NIG	2
	CONSTRUCTION ASSEMBLY WINDOW NUMBER									150
VVIIN#			2'-11 <u>7</u> "							
(B19) N	"E" = EXISTING TO REMAIN $-"N" = NEW$		12'-1							
	"D" = EXISTING TO BE DEMOLISHED "M" = EXISTING TO BE MODIFIED AND REINSTATED "R" = RELOCATE AND MODIFY				CENTER EI	_evator Sh	4FT			
	NEW FIRE PULL. REFER TO ELEC.				CONC. BL	.OCK TO GR	RID 4			
T	NEW THERMOSTAT. REFER TO MECH.	(4)-			\		· . <u></u>		-	
Φ	NEW DUPLEX RECEPTACLE. REFER TO ELEC.									
\bigtriangledown	NEW TELEPHONE OUTLET. REFER TO ELEC. NEW DATA OUTLET. REFER TO ELEC.	3y)-								
V	NEW TELEPHONE AND DATA OUTLET. REFER TO ELEC.			ā						150 150
	NEW REINFORCING BEAM ABOVE (FOR EXISTING BUILDING). REFER TO STRUCTURAL.		$2^{1}-5\frac{1}{2}$	بہ- 19		ONC. BLO ENT FOUN			 	
	STAIR OPENING TO BE INFILLED. REFER TO STRUCTURAL.					NUOUS W. ANE REQ.				
N	NEW	3x			REQ.)					
E.	EXISTING TO REMAIN			2'-5"]
D MECH	EXISTING TO BE REMOVED MECHANICAL DRAWING	(3)-			\					
ELEC. O/F	ELECTRICAL DRAWING OUTSIDE OF FRAME									
R.R.	EXISTING TO BE REINSTATED						Ğ.			
\underline{CON}	ISTRUCTION NOTES FILL MASONRY OPENING WITH CONC. BLOCK		15'-2"				+			
\sim	NEW LINTEL. REFER TO STRUCTURAL						č			
$\langle 3 \rangle$	NEW 2X10 FLOOR JOISTS TO INFILL STAIR OPENING. INSTALL NEW PLYWOOD SUBFLOOR, THICKNESS TO MATCH ADJACENT. REFER TO STRUCTURAL						Ğ	EX. RWL		
4	CUT EXISTING WOOD JOISTS ABOVE FOR INSTALLATION OF NEW BEAMS. REFER TO STRUCTURAL.	2								
5	NEW WEEPING TILE TO BE TIED TO EXISTING WEEPING TILE								 	
6	EXISTING WEEPING TILE									
	NEW FIRE RATED GLASS. REFER TO WINDOW DETAILS.									
	NEW GLAZING INFILL AT EXISTING DOOR OPENING. REFER TO									
	WINDOW DETAILS.									
9	REUSE OR REPLICATE WOOD TRIM AND CASING AROUND DRYWALL OPENING TO KITCHEN, GARAGE, OFFICE AND MULTIPURPOSES ROOM.									
	RECREATE WINDOW CASING and SILL TO MATCH ORIGINAL (INTERIOR SIDE).		$\frac{1}{2}$							
	FURRED OUT NEW COLUMN ON CORRIDOR SIDE FOR REQUIRED FIRE RESISTANT RATING TO MINIMIZE DISTURBANCE ON GARAGE SIDE.		27'-10 <u>7</u> "							
12	NEW CONDENSER ON CONC. PAD. REFER TO MECHANICAL.									
13	NEW BASEBOARD HEATER. REFER TO MECHANICAL.									
	NEW WALL OPENINGS WITH WALL GRILLES. FINAL OPENING LOCATION TO BE MARKED ON SITE AND REVIEW WITH CONSULTATNS. MAINTAIN FIRE RESISTANT RATING AS REQUIRED. REFER TO MECHANICAL FOR									
15	GRILLE SIZE. RE-FRAME STUD WALL AS REQUIRED TO SUIT NEW BEAM.									
	REINSTATE EXISTING SECURITY KEYPAD									
	NEW FAN COIL UNIT. FLOOR MOUNT. REFER TO MECH.	(1)			+ _					
18	NEW ADJUSTABLE SHELVES:									
	- METAL RAILS AND BRACKETS. PROVIDE WOOD BLOCKING WITHIN WALL TO SECURE RAILS.									
	 - (5) 3/4" THK. SOLID CORE OAK SHELVES IN CLEAR STAIN. - SHELF DIMENSION (12" DEEP X FULL WIDTH TO SUIT CLOSET) - TYPICAL FOR CUSTODIAL CLOSET 208A AND CUSTODIAL STORAGE 									~
\wedge	209A.								E	
19	REINSTATE WOOD LOCKERS FROM GROUND FLOOR.		EXI	STING	BASEM	ENT FLO	OR P	LAN - PF	ROPOS	 5EI
$\langle 20 \rangle$	INSTALL NEW BARRIER FREE SIGNAGE AND DIRECTIONAL SIGN. SUPPLY	A103		E: 1/4" :						

20>	INSTALL NEW BARRIER FREE SIGNAGE AND DIRECTIONAL SIGN. SUPPLY
$\langle 20 \rangle$	OF SIGNAGE TO BE DRAWN AGAINST FURNITURE CASH ALLOWANCE



SYMB	OL LEGEND					
	AREA NOT IN SCOPE					E
	EXISTING WALL TO REMAIN					
7//////////////////////////////////////	NEW WALL					
	EXISTING WALL TO BE REMOVED ROOM NAME AND ROOM NUMBER					
B14-1						
	EXISTING DOOR TO REMAIN UNLESS NOTED OTHERWISE					
	NEW DOOR	5	_			
- \ \	EXISTING DOOR TO BE DEMOLISHED					
	Construction assembly					
	WINDOW NUMBER	21-				
(B19) N	– DOOR NUMBER "E" = EXISTING TO REMAIN	12^{i} - $11\frac{1}{2}^{i}$				
	"N" = NEW "D" = EXISTING TO BE DEMOLISHED					
	"M" = EXISTING TO BE MODIFIED AND REINSTATED "R" = RELOCATE AND MODIFY		-	R ELEVATOR SHAF		
	NEW FIRE PULL. REFER TO ELEC.					4502
T	NEW THERMOSTAT. REFER TO MECH.					<u> </u>
Φ	NEW DUPLEX RECEPTACLE. REFER TO ELEC.					
▼	NEW TELEPHONE OUTLET. REFER TO ELEC.	3y				4502
∇	NEW DATA OUTLET. REFER TO ELEC. NEW TELEPHONE AND DATA OUTLET. REFER TO ELEC.		"8" "6			
	NEW REINFORCING BEAM ABOVE (FOR EXISTING BUILDING).	12'-5 ¹ "	0			
	REFER TO STRUCTURAL. STAIR OPENING TO BE INFILLED. REFER TO STRUCTURAL.					EX.
N	NEW	3x			_ 4 702	RWL.
E.	EXISTING TO REMAIN		2'-5"			
D MECH	EXISTING TO BE REMOVED MECHANICAL DRAWING					
ELEC.	ELECTRICAL DRAWING					
O/F R.R.	OUTSIDE OF FRAME EXISTING TO BE REINSTATED					
CON	NSTRUCTION NOTES					
~		5-2"	A300			
$\langle 1 \rangle$	FILL MASONRY OPENING WITH CONC. BLOCK	1				
2	NEW LINTEL. REFER TO STRUCTURAL					9
3	NEW 2X10 FLOOR JOISTS TO INFILL STAIR OPENING. INSTALL NEW PLYWOC SUBFLOOR, THICKNESS TO MATCH ADJACENT. REFER TO STRUCTURAL		r			EX. RWL.
4	CUT EXISTING WOOD JOISTS ABOVE FOR INSTALLATION OF NEW BEAMS. REFER TO STRUCTURAL.		- - +			
5	NEW WEEPING TILE TO BE TIED TO EXISTING WEEPING TILE					20
6	EXISTING WEEPING TILE					
7	NEW FIRE RATED GLASS. REFER TO WINDOW DETAILS.					
8	NEW GLAZING INFILL AT EXISTING DOOR OPENING. REFER TO					
\sim	WINDOW DETAILS. REUSE OR REPLICATE WOOD TRIM AND CASING AROUND DRYWALL					
9	OPENING TO KITCHEN, GARAGE, OFFICE AND MULTIPURPOSES ROOM.					
	RECREATE WINDOW CASING and SILL TO MATCH ORIGINAL (INTERIOR SIDE).	=				CAR PORT
$\langle 11 \rangle$	FURRED OUT NEW COLUMN ON CORRIDOR SIDE FOR REQUIRED FIRE RESISTANT RATING TO MINIMIZE DISTURBANCE ON GARAGE SIDE.	27'-10 <u>1</u> "			FD 🗆	100
	NEW CONDENSER ON CONC. PAD. REFER TO MECHANICAL.					
13	NEW BASEBOARD HEATER. REFER TO MECHANICAL.					
	NEW WALL OPENINGS WITH WALL GRILLES. FINAL OPENING LOCATION					
$\langle 14 \rangle$	TO BE MARKED ON SITE AND REVIEW WITH CONSULTATNS. MAINTAIN FIRE RESISTANT RATING AS REQUIRED. REFER TO MECHANICAL FOR GRILLE SIZE.					
15	RE-FRAME STUD WALL AS REQUIRED TO SUIT NEW BEAM.					
16	REINSTATE EXISTING SECURITY KEYPAD					
17	NEW FAN COIL UNIT. FLOOR MOUNT. REFER TO MECH.					
			<u> </u>			
(18)						
	 METAL RAILS AND BRACKETS. PROVIDE WOOD BLOCKING WITHIN WALL TO SECURE RAILS. (5) 3/4" THK. SOLID CORE OAK SHELVES IN CLEAR STAIN. 					
	- (5) 3/4" THK. SOLID CORE OAK SHELVES IN CLEAR STAIN. - SHELF DIMENSION (12" DEEP X FULL WIDTH TO SUIT CLOSET) - TYPICAL FOR CUSTODIAL CLOSET 208A AND CUSTODIAL STORAGE		 			
	209A.					E
<19>	REINSTATE WOOD LOCKERS FROM GROUND FLOOR.					
20	INSTALL NEW BARRIER FREE SIGNAGE AND DIRECTIONAL SIGN. SUPPLY OF SIGNAGE TO BE DRAWN AGAINST FURNITURE CASH ALLOWANCE.		CALE: 1/4" =		OOR PLAN	- PROPOSED

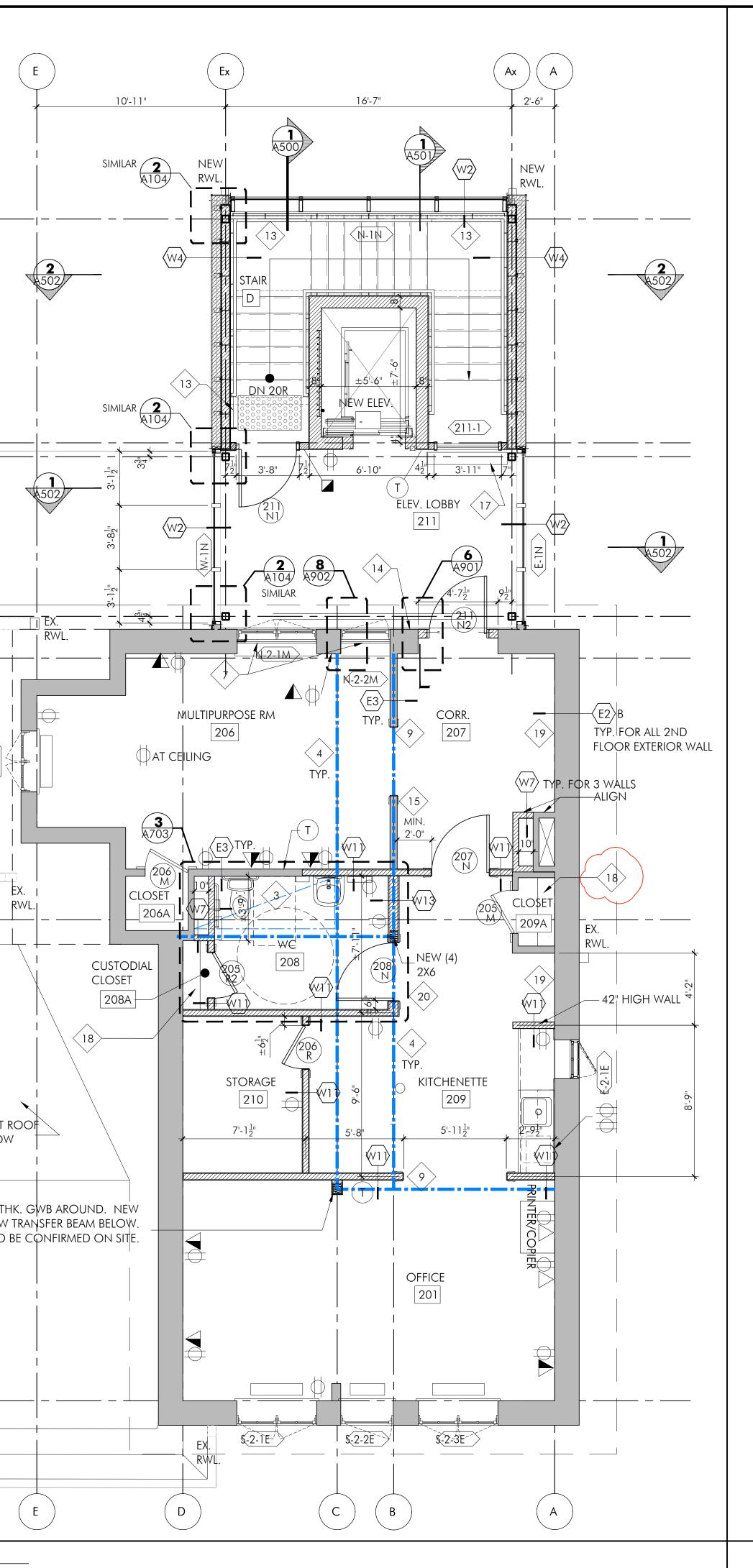


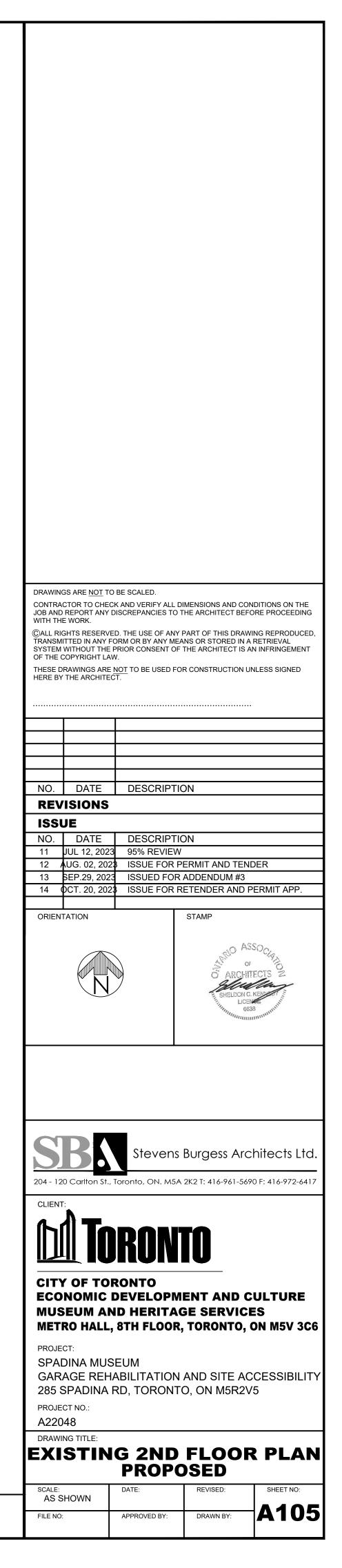
			
SYMB	OL LEGEND		
	AREA NOT IN SCOPE		
	EXISTING WALL TO REMAIN		
	NEW WALL EXISTING WALL TO BE REMOVED		
NEW VESTIBULE	ROOM NAME AND ROOM NUMBER		
B14-1	EXISTING DOOR TO REMAIN UNLESS		
	NOTED OTHERWISE	5	
	NEW DOOR		
	EXISTING DOOR TO BE DEMOLISHED		
<pre>WIN#></pre>	WINDOW NUMBER 	2 ⁻ 9 ⁻	
(B19) N	"E" = EXISTING TO REMAIN $-"N" = NEW$		
	"D" = EXISTING TO BE DEMOLISHED "M" = EXISTING TO BE MODIFIED AND REINSTATED "R" = RELOCATE AND MODIFY		
	NEW FIRE PULL. REFER TO ELEC.		
Ţ	NEW THERMOSTAT. REFER TO MECH.		
φ	NEW DUPLEX RECEPTACLE. REFER TO ELEC.		
	NEW TELEPHONE OUTLET. REFER TO ELEC. NEW DATA OUTLET. REFER TO ELEC.	(3γ)	
\mathbf{v}	NEW TELEPHONE AND DATA OUTLET. REFER TO ELEC.	9 ⁻ .3"	
	NEW REINFORCING BEAM ABOVE (FOR EXISTING BUILDING). REFER TO STRUCTURAL.	12	
	STAIR OPENING TO BE INFILLED. REFER TO STRUCTURAL.	3x	
N E.	NEW EXISTING TO REMAIN	2 ⁻ -5 ⁻	
D MECH	EXISTING TO BE REMOVED MECHANICAL DRAWING		+
ELEC. O/F	ELECTRICAL DRAWING OUTSIDE OF FRAME		
R.R.	EXISTING TO BE REINSTATED		
	ISTRUCTION NOTES FILL MASONRY OPENING WITH CONC. BLOCK	15'-2"	<u> </u>
	NEW LINTEL. REFER TO STRUCTURAL		
	NEW 2X10 FLOOR JOISTS TO INFILL STAIR OPENING. INSTALL NEW PLYWOO SUBFLOOR, THICKNESS TO MATCH ADJACENT. REFER TO STRUCTURAL		
4	CUT EXISTING WOOD JOISTS ABOVE FOR INSTALLATION OF NEW BEAMS. REFER TO STRUCTURAL.		
5	NEW WEEPING TILE TO BE TIED TO EXISTING WEEPING TILE		
6	EXISTING WEEPING TILE		
	NEW FIRE RATED GLASS. REFER TO WINDOW DETAILS.		
8	NEW GLAZING INFILL AT EXISTING DOOR OPENING. REFER TO WINDOW DETAILS.		
9	REUSE OR REPLICATE WOOD TRIM AND CASING AROUND DRYWALL OPENING TO KITCHEN, GARAGE, OFFICE AND MULTIPURPOSES ROOM.		
	RECREATE WINDOW CASING and SILL TO MATCH ORIGINAL (INTERIOR SIDE).		
$\langle 11 \rangle$	FURRED OUT NEW COLUMN ON CORRIDOR SIDE FOR REQUIRED FIRE RESISTANT RATING TO MINIMIZE DISTURBANCE ON GARAGE SIDE.	27'-1	
	NEW CONDENSER ON CONC. PAD. REFER TO MECHANICAL.		NEW (4) 2X6 WITH 5/8" THE COLUMN TO SIT ON NEW T
13	NEW BASEBOARD HEATER. REFER TO MECHANICAL.		FINAL LOCATION TO B
14	NEW WALL OPENINGS WITH WALL GRILLES. FINAL OPENING LOCATION TO BE MARKED ON SITE AND REVIEW WITH CONSULTATNS. MAINTAIN FIRE RESISTANT RATING AS REQUIRED. REFER TO MECHANICAL FOR GRILLE SIZE.		
15	RE-FRAME STUD WALL AS REQUIRED TO SUIT NEW BEAM.		
16	REINSTATE EXISTING SECURITY KEYPAD		
17	NEW FAN COIL UNIT. FLOOR MOUNT. REFER TO MECH.		
18	NEW ADJUSTABLE SHELVES:		
	 METAL RAILS AND BRACKETS. PROVIDE WOOD BLOCKING WITHIN WALL TO SECURE RAILS. (5) 3/4" THK. SOLID CORE OAK SHELVES IN CLEAR STAIN. SHELF DIMENSION (12" DEEP X FULL WIDTH TO SUIT CLOSET) TYPICAL FOR CUSTODIAL CLOSET 208A AND CUSTODIAL STORAGE 209A. 		
19	REINSTATE WOOD LOCKERS FROM GROUND FLOOR.		
	INSTALL NEW BARRIER FREE SIGNAGE AND DIRECTIONAL SIGN SUPPLY	1 EXISTING SECOND FLOO	OR PLAN - PROPOSED

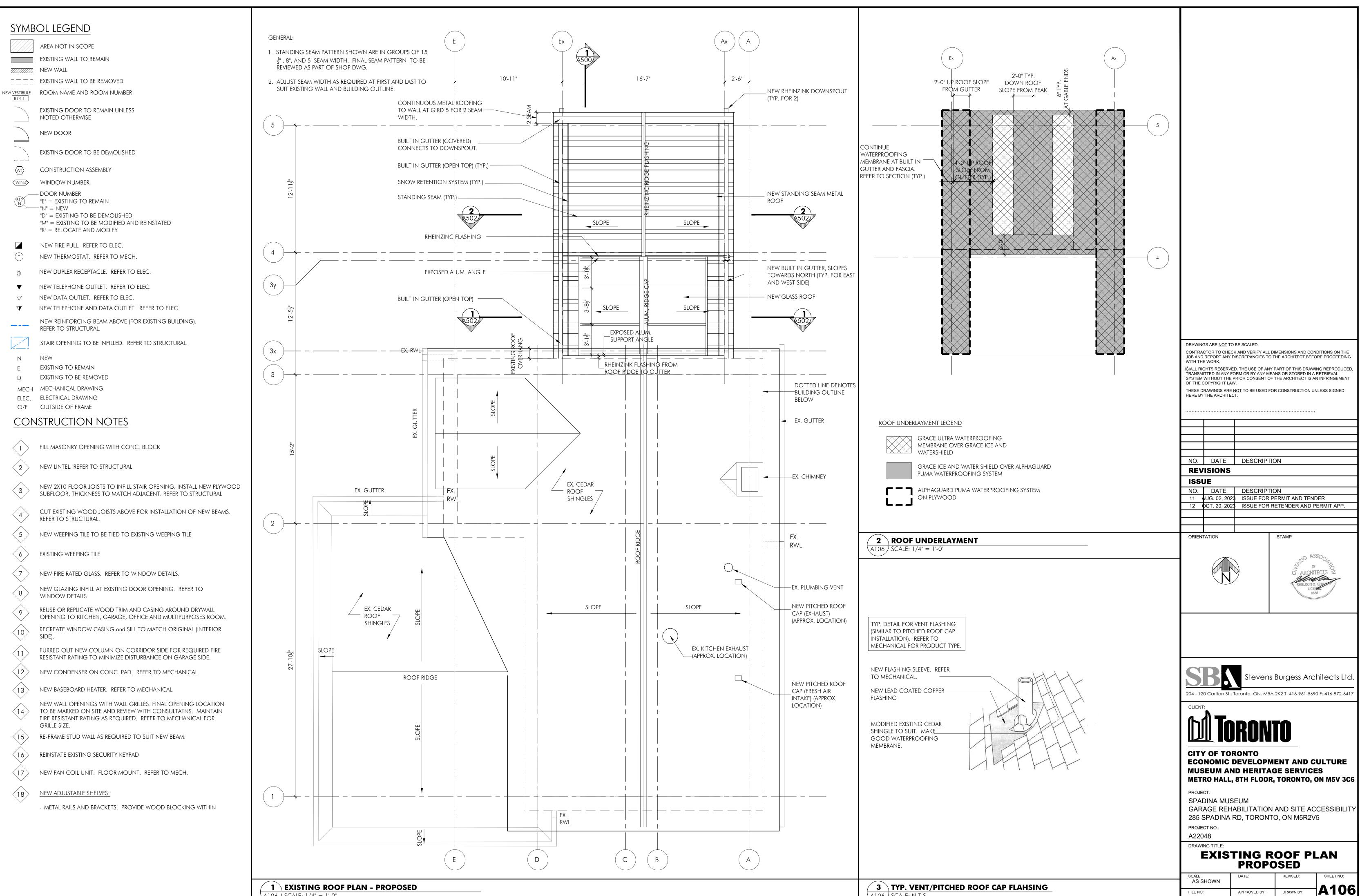
INSTALL NEW BARRIER FREE SIGNAGE AND DIRECTIONAL SIGN. SUPPLY OF SIGNAGE TO BE DRAWN AGAINST FURNITURE CASH ALLOWANCE.

20

1 EXISTING SECOND FLOOR PLAN - PROPOSED A105 SCALE: 1/4" = 1'-0"

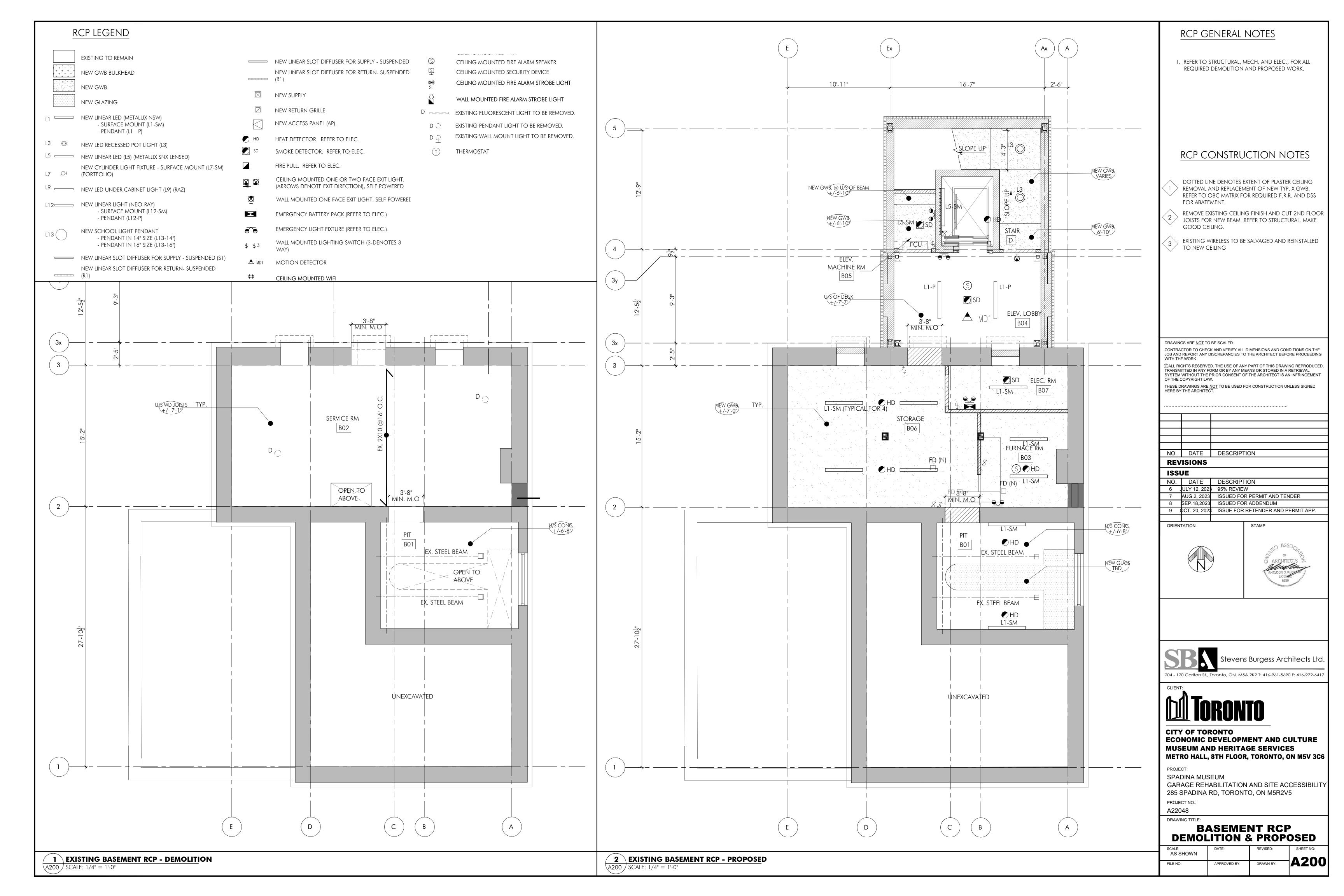


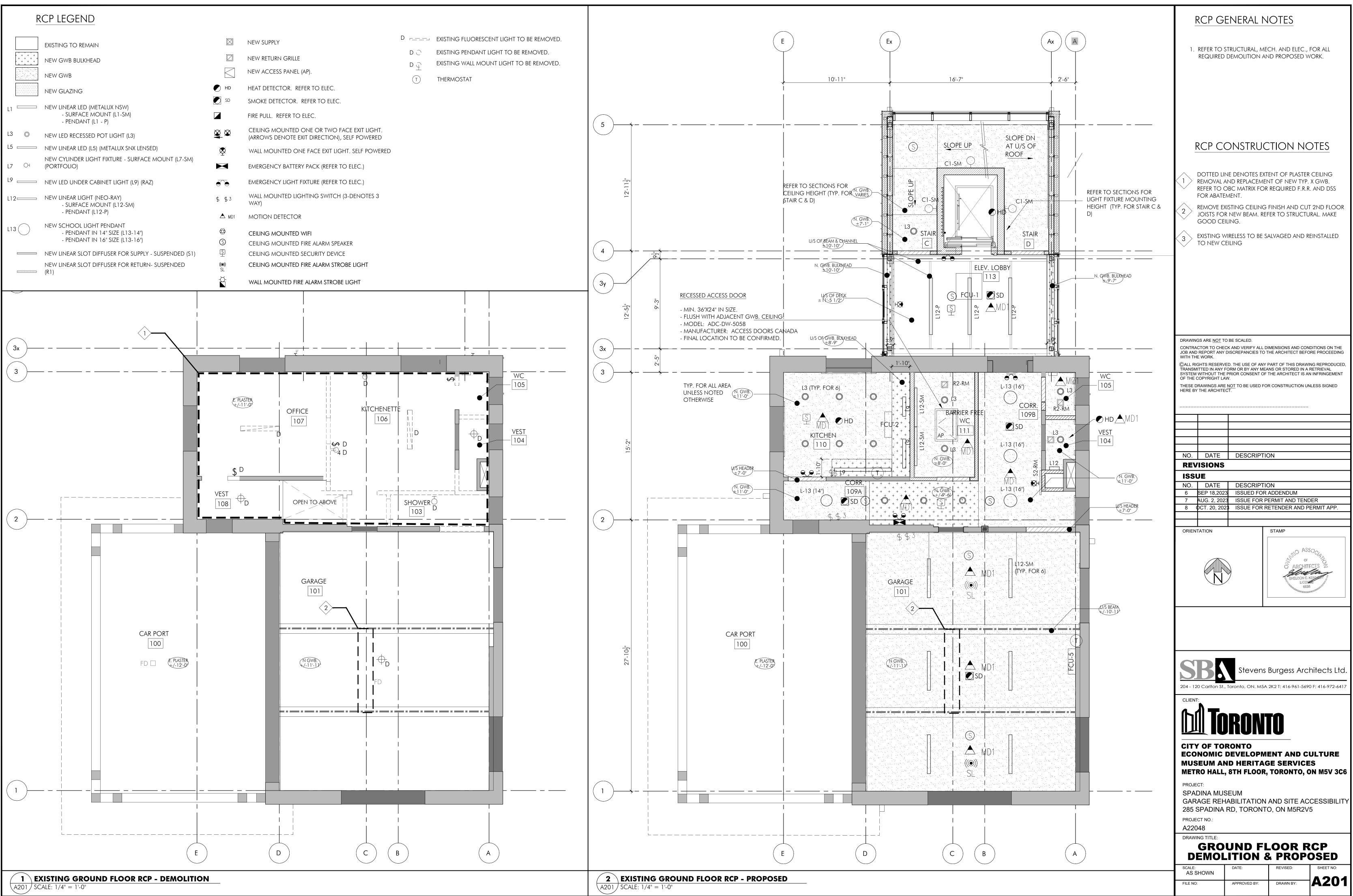


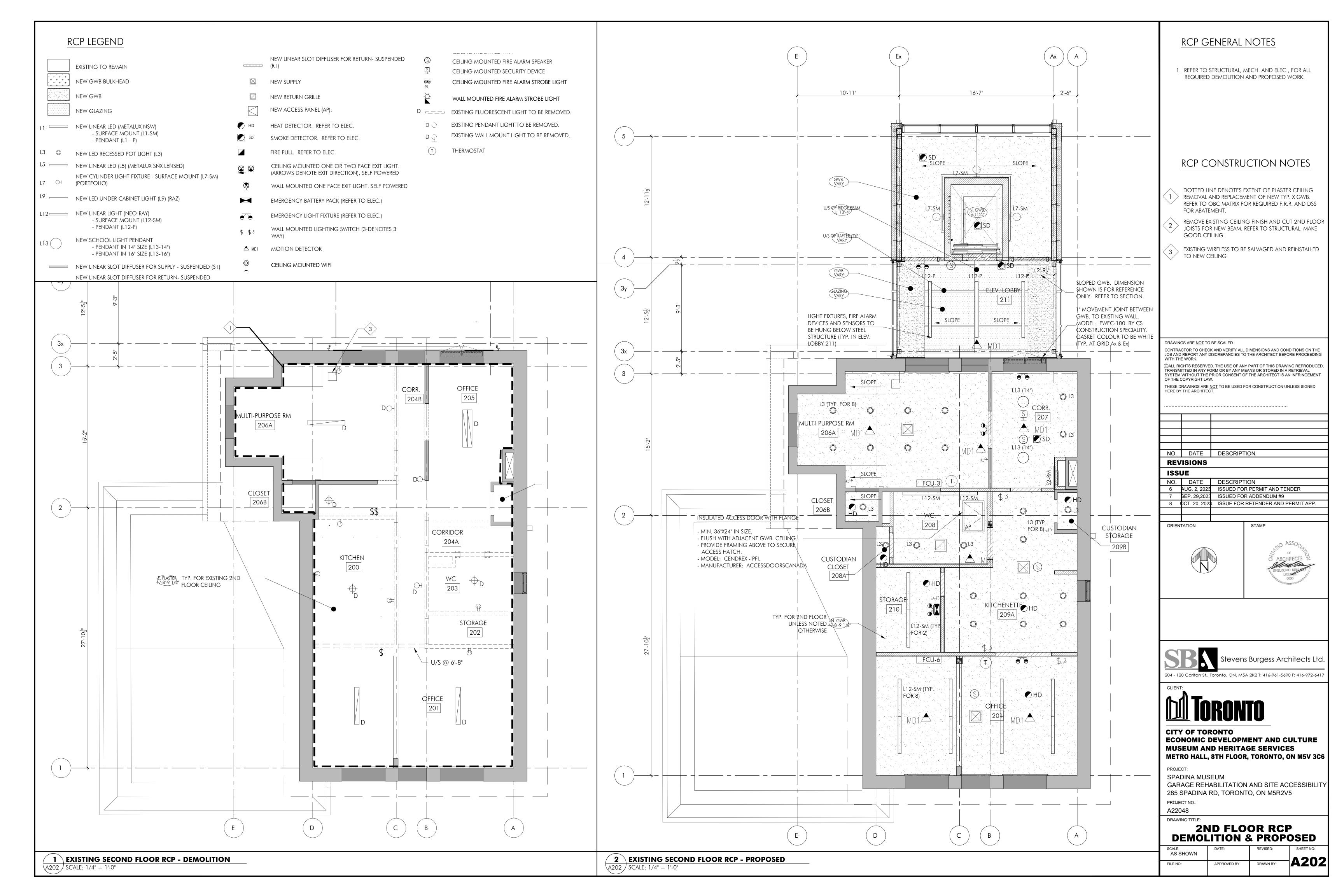


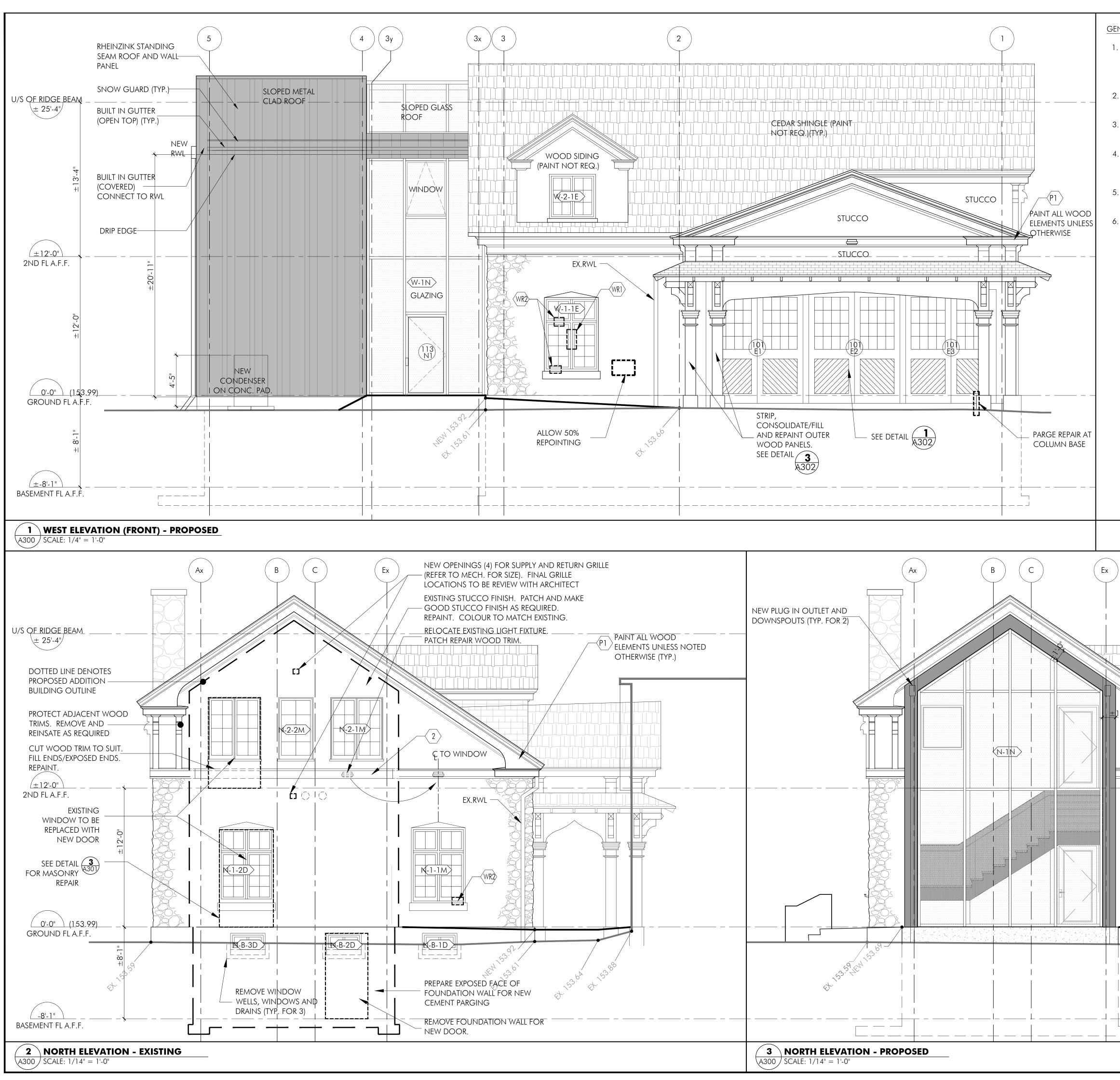
A106 / SCALE: 1/4" = 1'-0"

3	ITP. VENI/PI
A106/	SCALE: N.T.S.









REPAIR LEGEND: GENERAL NOTES: - WINDOW NUMBER 1. ALL EXTERIOR WOOD ELEMENTS TO BE REPAINTED. (INCLUDING ALL WINDOWS, DOORS, COLUMNS, CAPITALS ₩-1-1E> "E" = EXISTING TO REMAINDECORATIVE TRIMS, BRACKETS, SOFFIT, FASCIA, ETC. REFER TO "N" = NEWPHOTOS) REMOVE LOOSE PAINT BY SCRAPPING AND SANDING. "D" = EXISTING TO BE DEMOLISHED "M" = MODIFIED2. PAINTING NOT REQUIRED ON EXISTING WOOD SIDING, CEDAR SHINGLES AND GARAGE DOORS. - DOOR NUMBER D 3. REPLACE SEALANT BETWEEN WOOD SILL AND CONCRETE SILL, TYP. "E" = EXISTING TO REMAINFOR ALL. - "N" = NEW "D" = EXISTING TO BE DEMOLISHED 4. REFER TO DOOR SCHEDULE FOR ALL HARDWARE REPLACEMENT. "M" = MODIFIED AND REINSTATERESTORE ALL INTERIOR AND EXTERIOR DOORS AS REQUIRED TO WOOD SILL ws SUIT NEW HARDWARE. CONSERVE/CONSOLIDATE SEVERELY WEATHERED WOOD SILL 5. PROTECT ALL EXISTING WOOD ELEMENTS DURING CONSTRUCTION. $\langle CS \rangle$ CONCRETE SILL REPAIR CASH ALLOWANCE FOR CONSERVATION AND RESTORATION OF \square DAMAGED GLASS PANE TO BE GARAGE DOOR 101E1, 101E2 & 101E3. REPLACED $\langle WR1 \rangle$ WOOD REPAIR TYPE 1: DUTCHMAN GENERAL: GC TO OBTAIN QUOTATIONS AND QUALIFICATION FROM • (WR2) WOOD REPAIR TYPE 2: EPOXY REPAIR PAINT CONSERVATORS FOR OWNER'S APPROVAL. WR3 WOOD REPAIR TYPE 3: REPLACE GC TO CO-ORDINATE PAINT CONSERVATOR FOR DAMAGED MUNTIN BAR EXECUTION OF WORK. (CR) ALL CONSERVATION WORK BY PAINT CONSERVATOR TO BE CONCRETE REPAIR DONE IN-SITU. PROVIDE CONSERVATION REMOVE AND INSTALL NEW SEALANT DOCUMENTATION AS PART OF AS BUILT. AT STONE AND WOOD CONNECTION. TYP. FOR FOUR INTERIOR SIDE: LOCATIONS AT COLUMNS SURFACE CLEAN TO REMOVE SURFACE GRIME. SALVAGE WOOD TRIM AND REINSTATE LOCALIZED REMOVAL OF PAINT SMUDGES. $\left\langle 2\right\rangle$ AT ELEVATOR LOBBY. FILL ENDS PAINT LARGE AREAS TO VISUALLY INTEGRATE SURFACE. WHEN EXPOSED TO VIEW. REPAINT. USING BRUSHES TO REMOVE LOOSE BLOOM. EXTERIOR SIDE: SURFACE CLEAN TO REMOVE SURFACE GRIME. DRAWINGS ARE NOT TO BE SCALED. USE BRUSHES TO REMOVE LOOSE BLOOM. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING LOCALIZED REMOVAL OF PAINT SMUDGES. WITH THE WORK. PAINT LARGE AREAS TO VISUALLY INTEGRATE ©ALL RIGHTS RESERVED. THE USE OF ANY PART OF THIS DRAWING REPRODUCED, TRANSMITTED IN ANY FORM OR BY ANY MEANS OR STORED IN A RETRIEVAL SYSTEM WITHOUT THE PRIOR CONSENT OF THE ARCHITECT IS AN INFRINGEMENT EXTERIOR SIDE (SEPARATE PRICE): OF THE COPYRIGHT LAW IN ADDITION TO MECHANICALLY REMOVING THE BLOOM, THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED HERE BY THE ARCHITECT REMOVE REMAINING BLOOM USING SOLVENT METHODS (REFER TO BARRY BRIGGS REPORT IN APPENDIX). NO. DATE DESCRIPTION REVISIONS ISSUE NO. DATE DESCRIPTION 6 JUN. 16, 2023 50% CONTRACT DOCUMENTS 7 JUL.12, 2023 95% REVIEW 8 AUG.2, 2023 ISSUED FOR PERMIT AND TENDER PAINT ALL WOOD 9 OCT. 20, 2023 ISSUE FOR RETENDER AND PERMIT APP. ELEMENTS UNLESS NOTED OTHERWISE (TYP.) ORIENTATION STAMP EX. STABLE STUCCO _stucco EX. RWL Stevens Burgess Architects Ltd. 204 - 120 Carlton St., Toronto, ON. M5A 2K2 T: 416-961-5690 F: 416-972-641 CLIENT M-1-1M> **CITY OF TORONTO** ECONOMIC DEVELOPMENT AND CULTURE **MUSEUM AND HERITAGE SERVICES** METRO HALL, 8TH FLOOR, TORONTO, ON M5V 3C6 PROJECT: SPADINA MUSEUM GARAGE REHABILITATION AND SITE ACCESSIBILITY 285 SPADINA RD, TORONTO, ON M5R2V5 PROJECT NO .: A22048 DRAWING TITLE WEST AND NORTH ELEVATIONS RESTORATION _____ _ __ __ _ SHEET NO: SCALE: REVISED: AS SHOWN A300

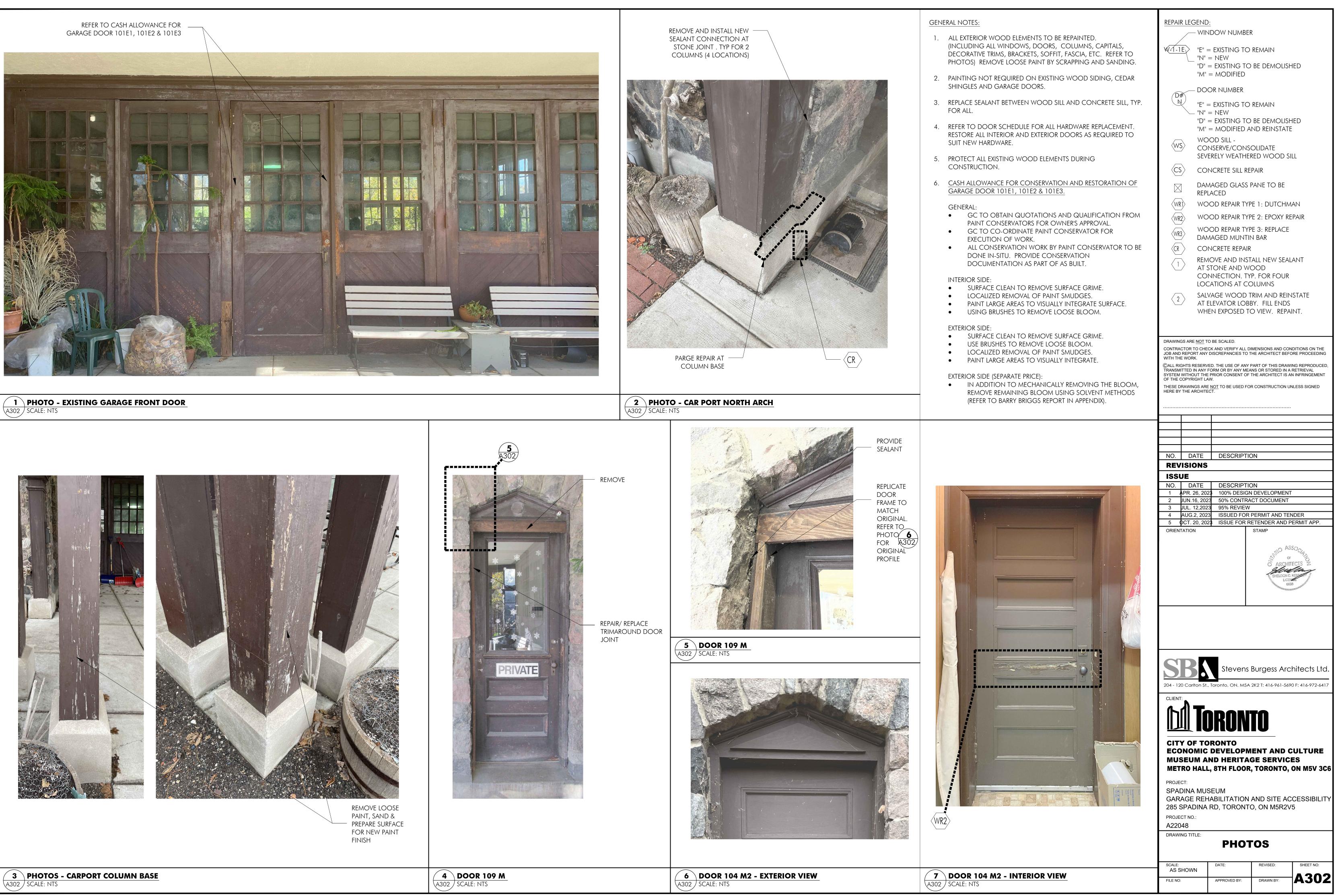
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REPAIR LEGEND: GENERAL NOTES: - WINDOW NUMBER 1. ALL EXTERIOR WOOD ELEMENTS TO BE REPAINTED. (INCLUDING ALL WINDOWS, DOORS, COLUMNS, CAPITALS, ₩-1-1E> "E" = EXISTING TO REMAINDECORATIVE TRIMS, BRACKETS, SOFFIT, FASCIA, ETC. REFER TO "N" = NEWPHOTOS) REMOVE LOOSE PAINT BY SCRAPPING AND SANDING. "D" = EXISTING TO BE DEMOLISHED "M" = MODIFIED2. PAINTING NOT REQUIRED ON EXISTING WOOD SIDING, CEDAR SHINGLES AND GARAGE DOORS. - DOOR NUMBER (D# 3. REPLACE SEALANT BETWEEN WOOD SILL AND CONCRETE SILL, TYP. $\langle N \rangle$ "E" = EXISTING TO REMAINFOR ALL. - "N" = NEW "D" = EXISTING TO BE DEMOLISHED4. REFER TO DOOR SCHEDULE FOR ALL HARDWARE REPLACEMENT. "M" = MODIFIED AND REINSTATERESTORE ALL INTERIOR AND EXTERIOR DOORS AS REQUIRED TO wood sill - $\langle WS \rangle$ SUIT NEW HARDWARE. CONSERVE/CONSOLIDATE SEVERELY WEATHERED WOOD SILL 5. PROTECT ALL EXISTING WOOD ELEMENTS DURING CONSTRUCTION. $\langle CS \rangle$ CONCRETE SILL REPAIR 6. CASH ALLOWANCE FOR CONSERVATION AND RESTORATION OF DAMAGED GLASS PANE TO BE \square GARAGE DOOR 101E1, 101E2 & 101E3. REPLACED $\langle WR1 \rangle$ WOOD REPAIR TYPE 1: DUTCHMAN GENERAL: (WR2) GC TO OBTAIN QUOTATIONS AND QUALIFICATION FROM WOOD REPAIR TYPE 2: EPOXY REPAIR • PAINT CONSERVATORS FOR OWNER'S APPROVAL WOOD REPAIR TYPE 3: REPLACE WR3 GC TO CO-ORDINATE PAINT CONSERVATOR FOR DAMAGED MUNTIN BAR EXECUTION OF WORK. (CR) ALL CONSERVATION WORK BY PAINT CONSERVATOR TO BE CONCRETE REPAIR • DONE IN-SITU. PROVIDE CONSERVATION REMOVE AND INSTALL NEW SEALANT $\left(1\right)$ DOCUMENTATION AS PART OF AS BUILT. AT STONE AND WOOD CONNECTION. TYP. FOR FOUR INTERIOR SIDE: LOCATIONS AT COLUMNS SURFACE CLEAN TO REMOVE SURFACE GRIME. SALVAGE WOOD TRIM AND REINSTATE LOCALIZED REMOVAL OF PAINT SMUDGES. $\left\langle 2\right\rangle$ AT ELEVATOR LOBBY. FILL ENDS PAINT LARGE AREAS TO VISUALLY INTEGRATE SURFACE. WHEN EXPOSED TO VIEW. REPAINT. USING BRUSHES TO REMOVE LOOSE BLOOM. • EXTERIOR SIDE: SURFACE CLEAN TO REMOVE SURFACE GRIME. DRAWINGS ARE <u>NOT</u> TO BE SCALED. USE BRUSHES TO REMOVE LOOSE BLOOM. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE LOCALIZED REMOVAL OF PAINT SMUDGES. JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. PAINT LARGE AREAS TO VISUALLY INTEGRATE. • ©ALL RIGHTS RESERVED. THE USE OF ANY PART OF THIS DRAWING REPRODUCED, TRANSMITTED IN ANY FORM OR BY ANY MEANS OR STORED IN A RETRIEVAL SYSTEM WITHOUT THE PRIOR CONSENT OF THE ARCHITECT IS AN INFRINGEMENT EXTERIOR SIDE (SEPARATE PRICE): OF THE COPYRIGHT LAW. IN ADDITION TO MECHANICALLY REMOVING THE BLOOM, • THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED HERE BY THE ARCHITECT REMOVE REMAINING BLOOM USING SOLVENT METHODS (REFER TO BARRY BRIGGS REPORT IN APPENDIX). NO. DATE DESCRIPTION REVISIONS ISSUE NO. DATE DESCRIPTION 6 JUN. 16, 2023 50% CONTRACT DOCUMENT 7 JUL. 12,2023 95% REVIEW 8 AUG.2, 2023 ISSUED FOR PERMIT AND TENDER 4 ØCT. 20, 2023 ISSUE FOR RETENDER AND PERMIT APP. ORIENTATION STAMP Stevens Burgess Architects Ltd. 204 - 120 Carlton St., Toronto, ON. M5A 2K2 T: 416-961-5690 F: 416-972-641 CLIENT **CITY OF TORONTO** ECONOMIC DEVELOPMENT AND CULTURE MUSEUM AND HERITAGE SERVICES METRO HALL, 8TH FLOOR, TORONTO, ON M5V 3C6 PROJECT: SPADINA MUSEUM GARAGE REHABILITATION AND SITE ACCESSIBILITY 285 SPADINA RD, TORONTO, ON M5R2V5 PROJECT NO .: A22048 DRAWING TITLE: EAST AND SOUTH ELEVATIONS RESTORATION REVISED: SHEET NO: SCALE: AS SHOWN A301 DRAWN BY: FILE NO: APPROVED BY:



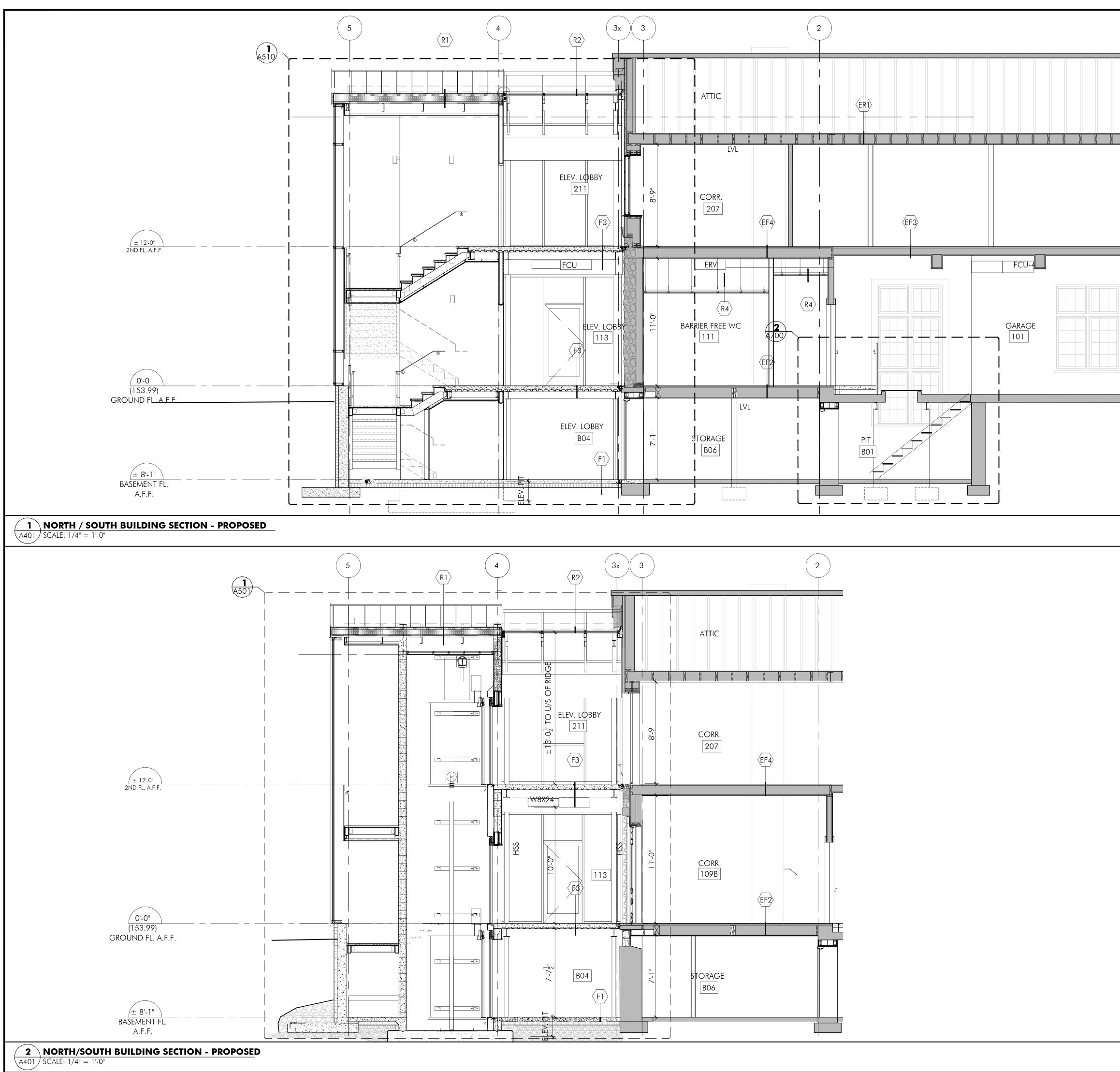


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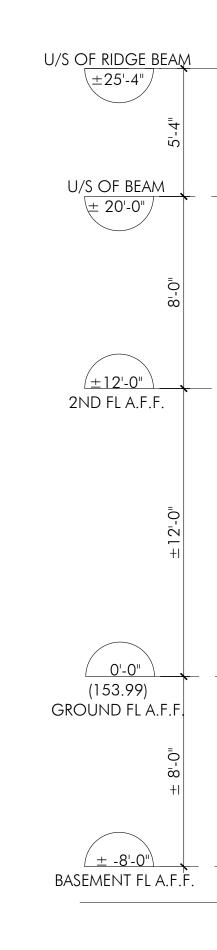


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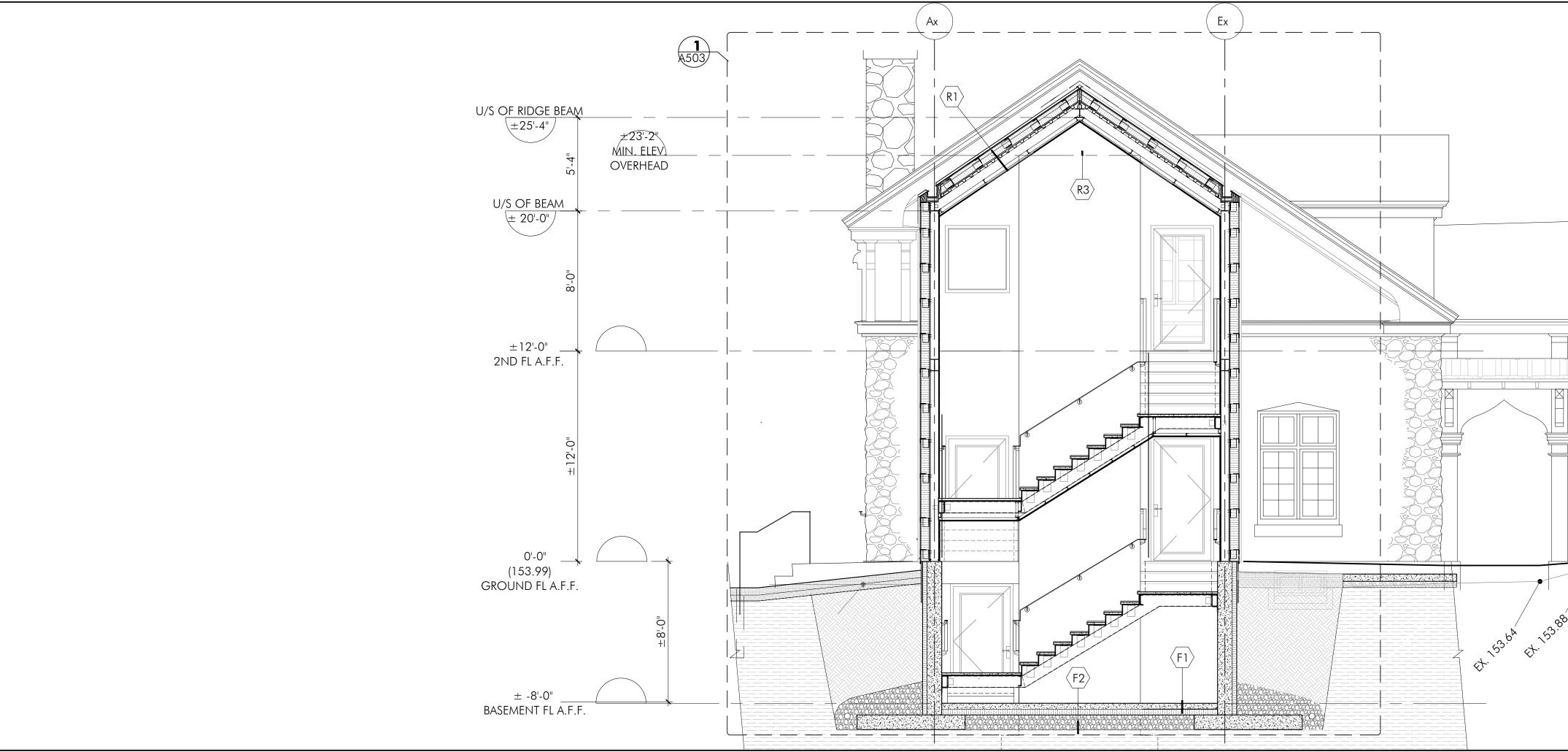


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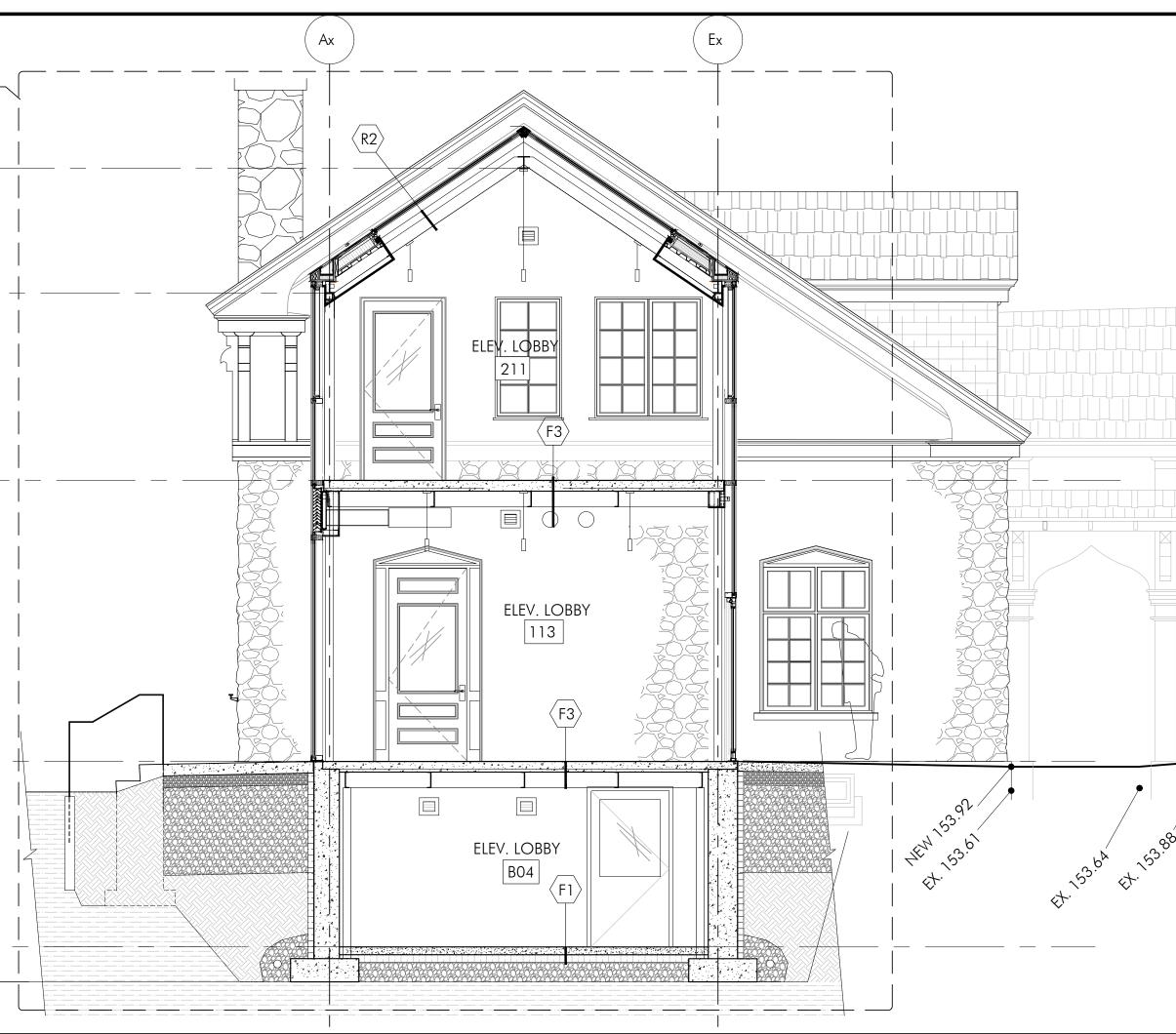




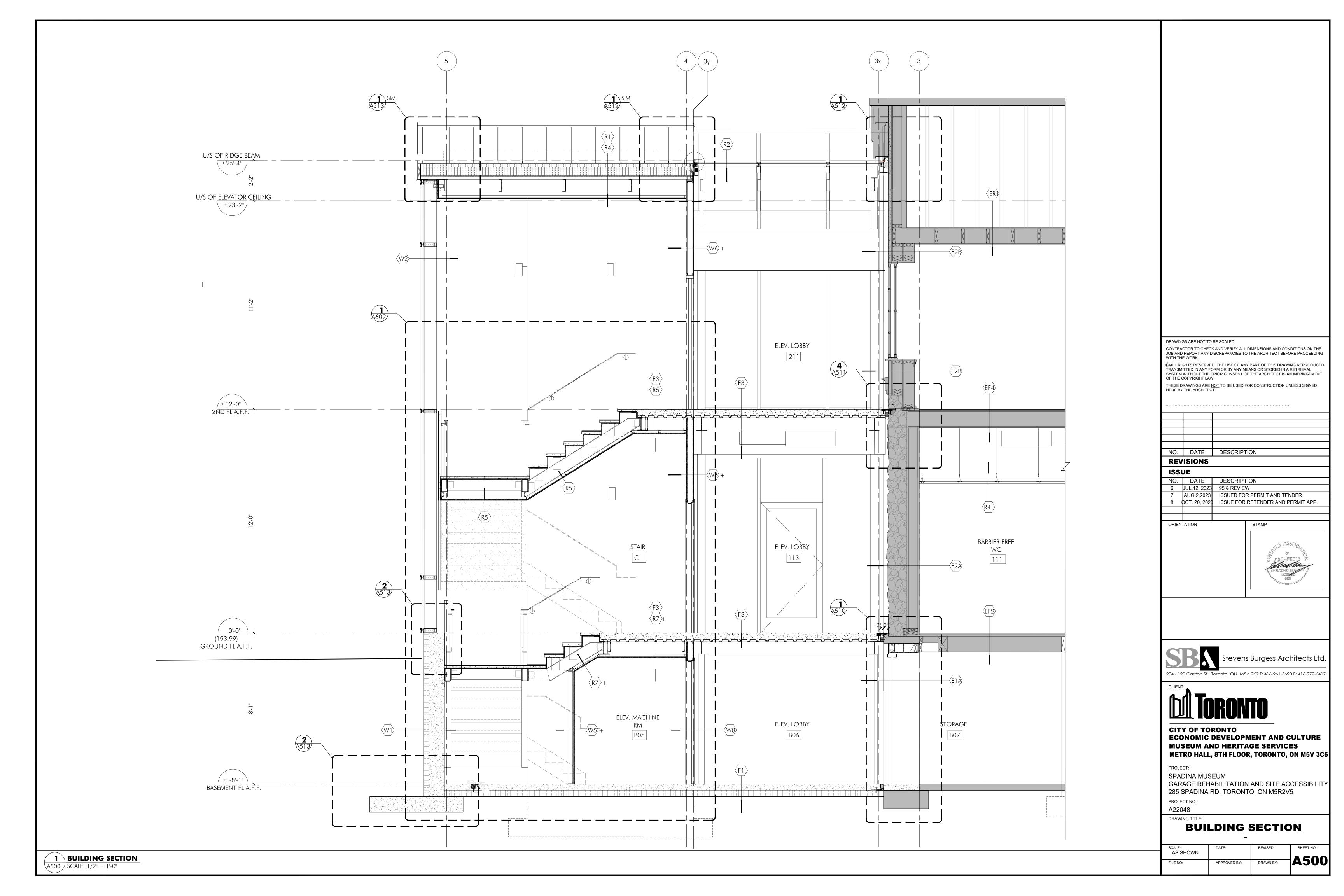
1 EAST / WEST BUILDING SECTION - PROPOSED A402 SCALE: 1/14" = 1'-0"

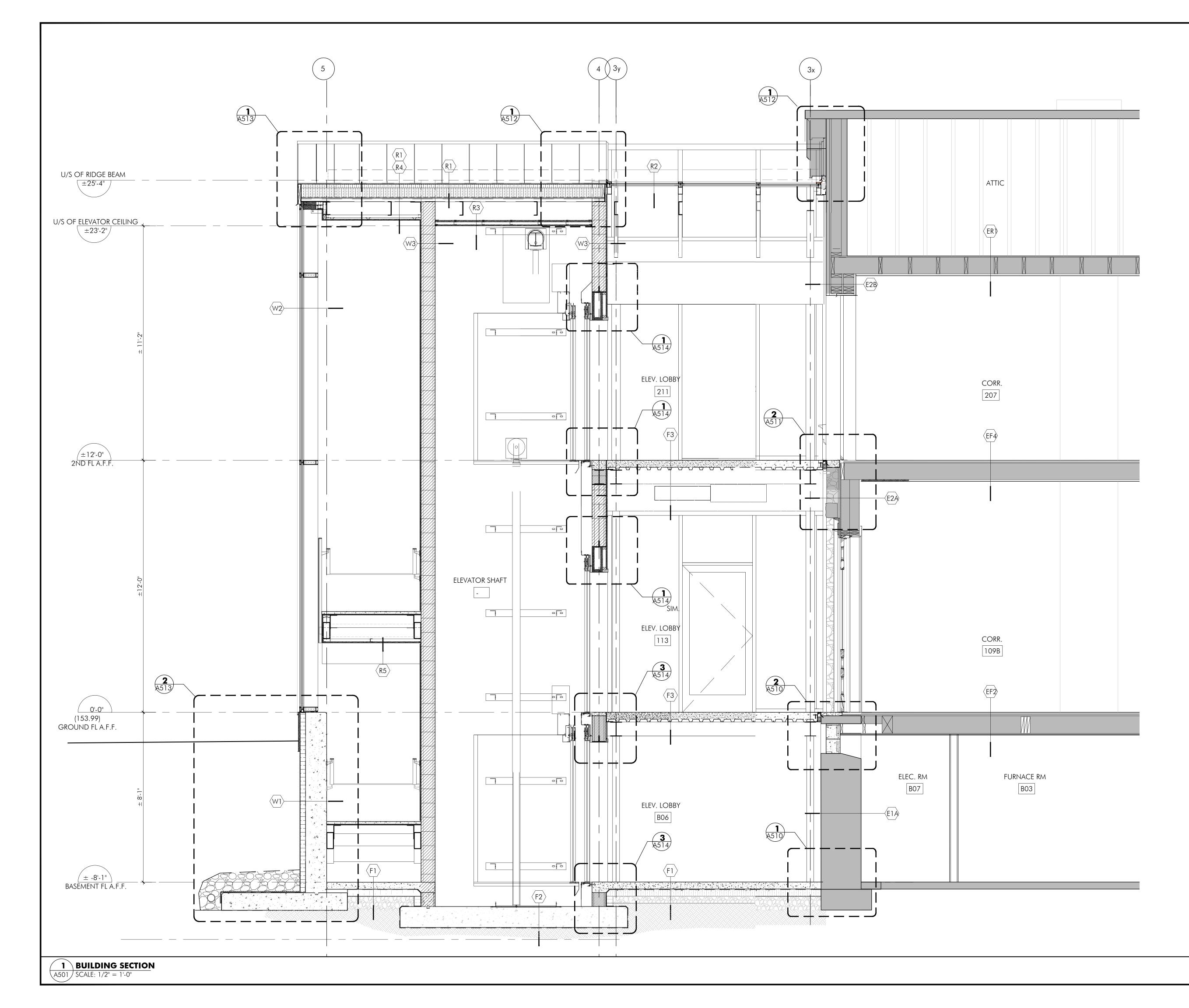


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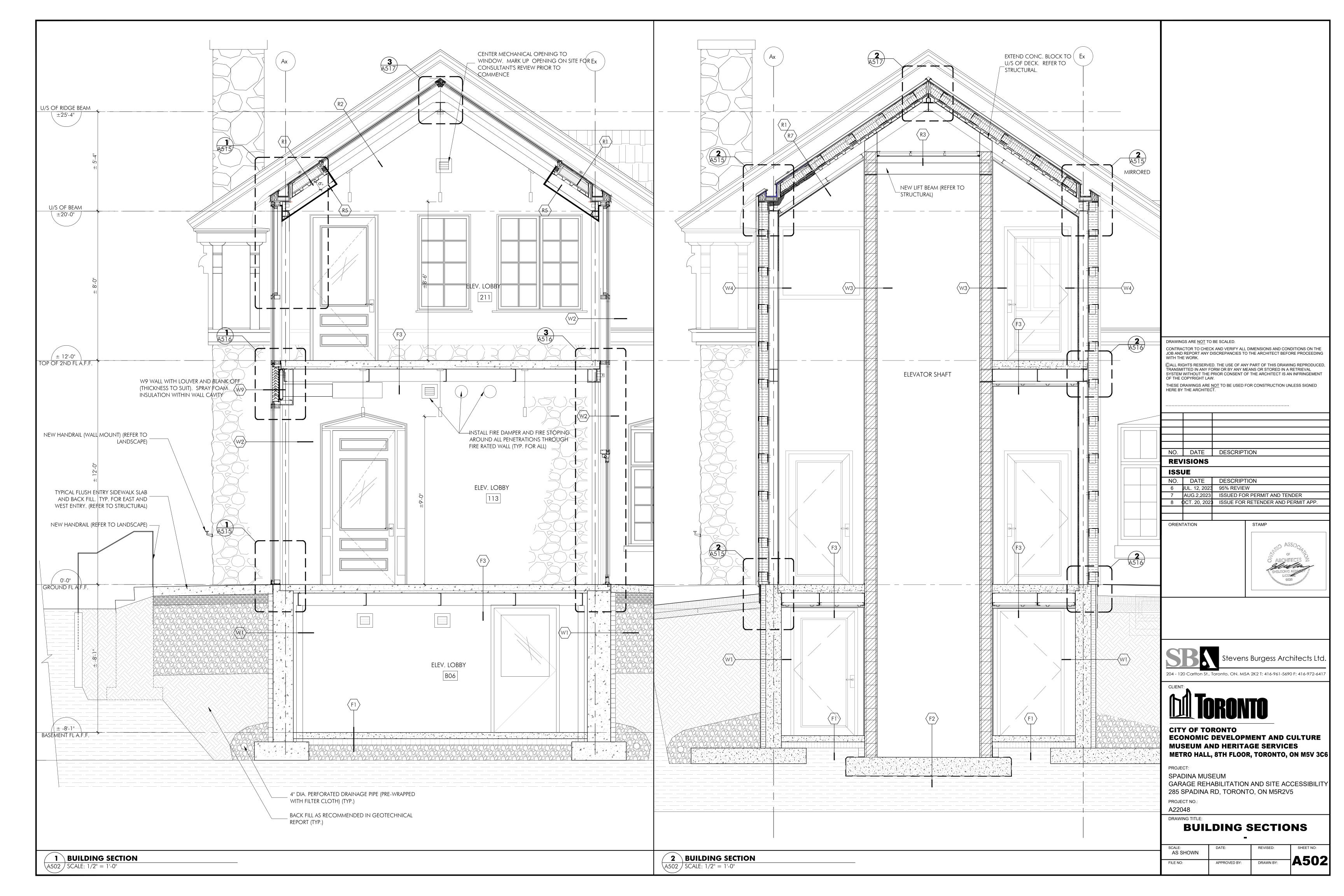


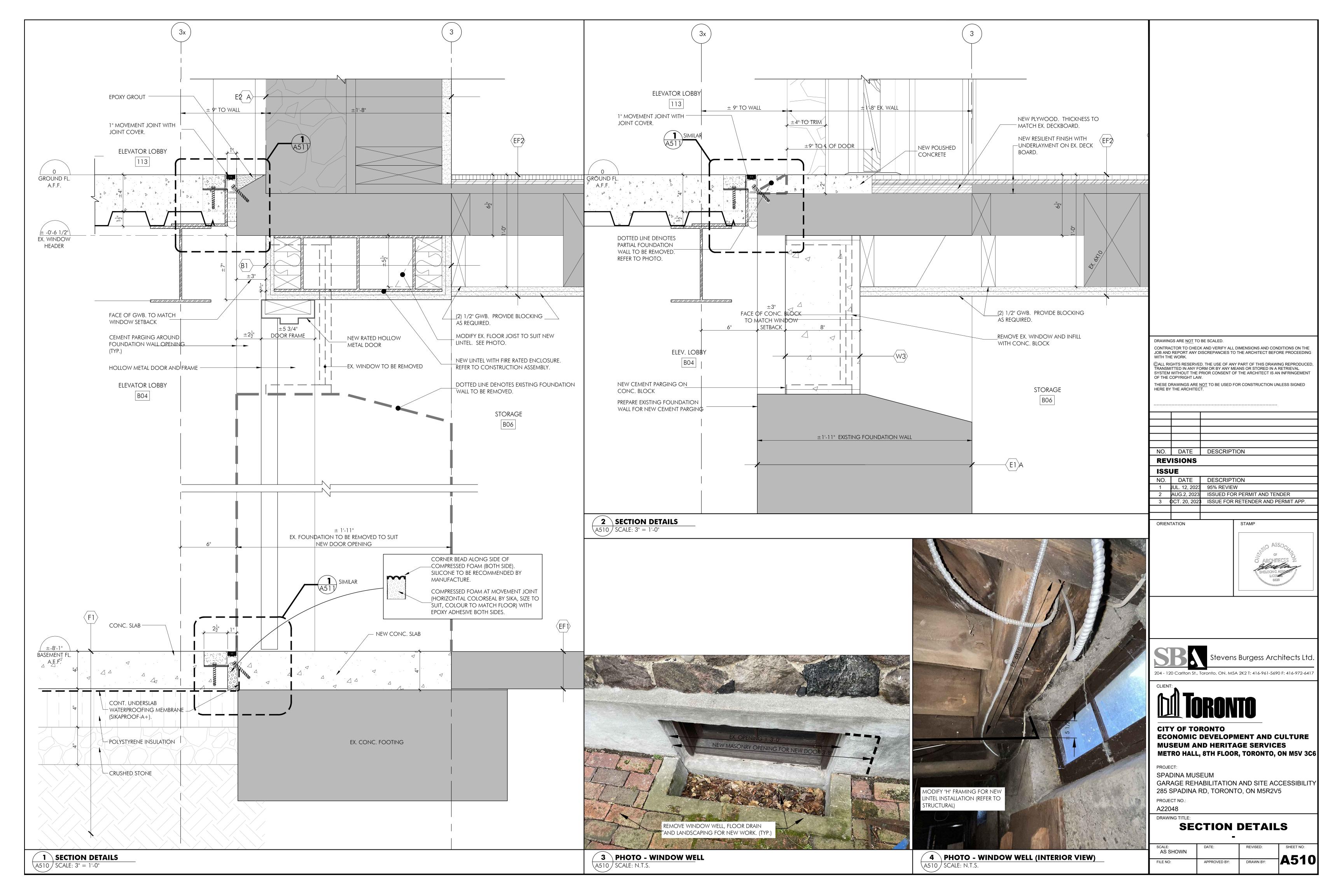
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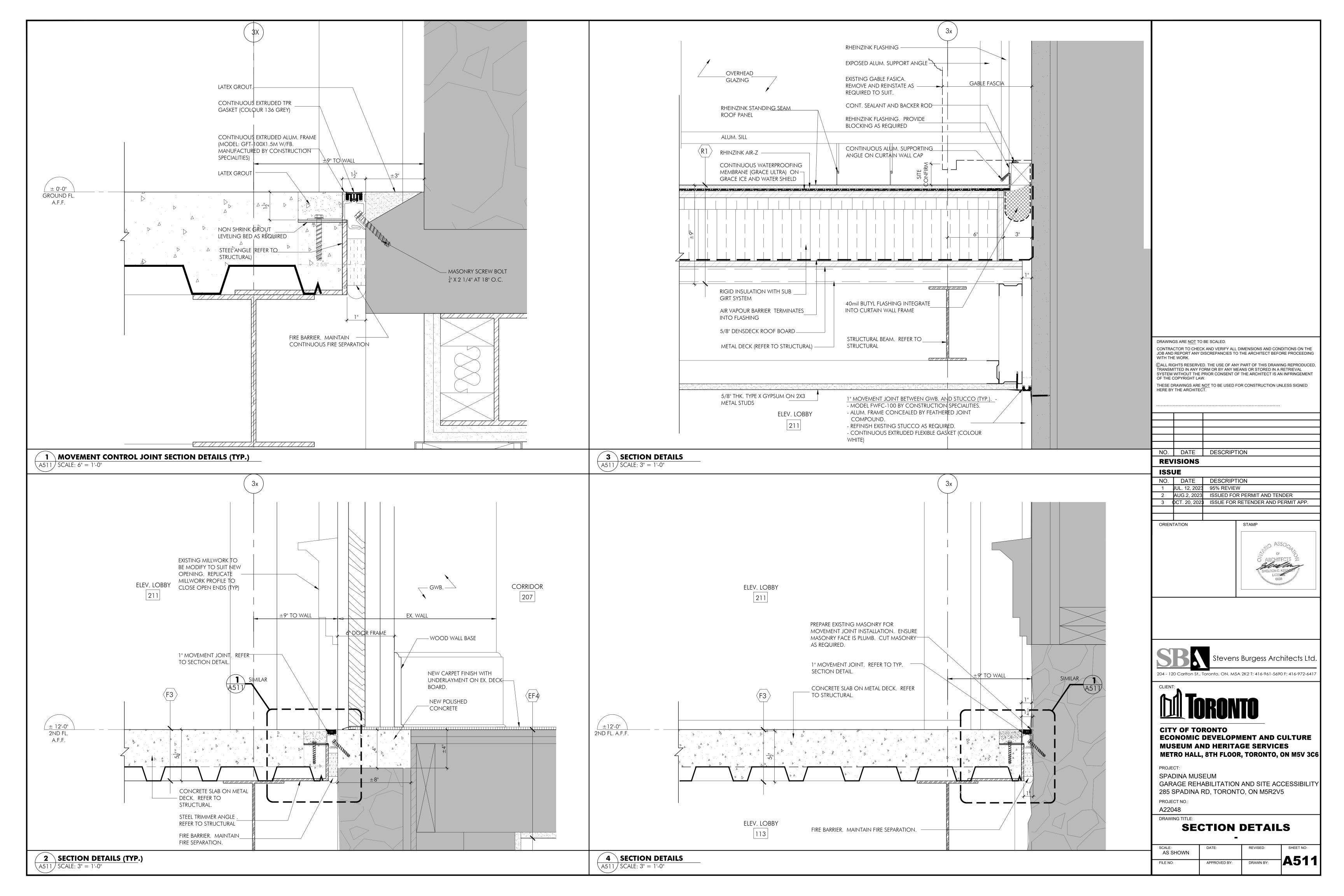


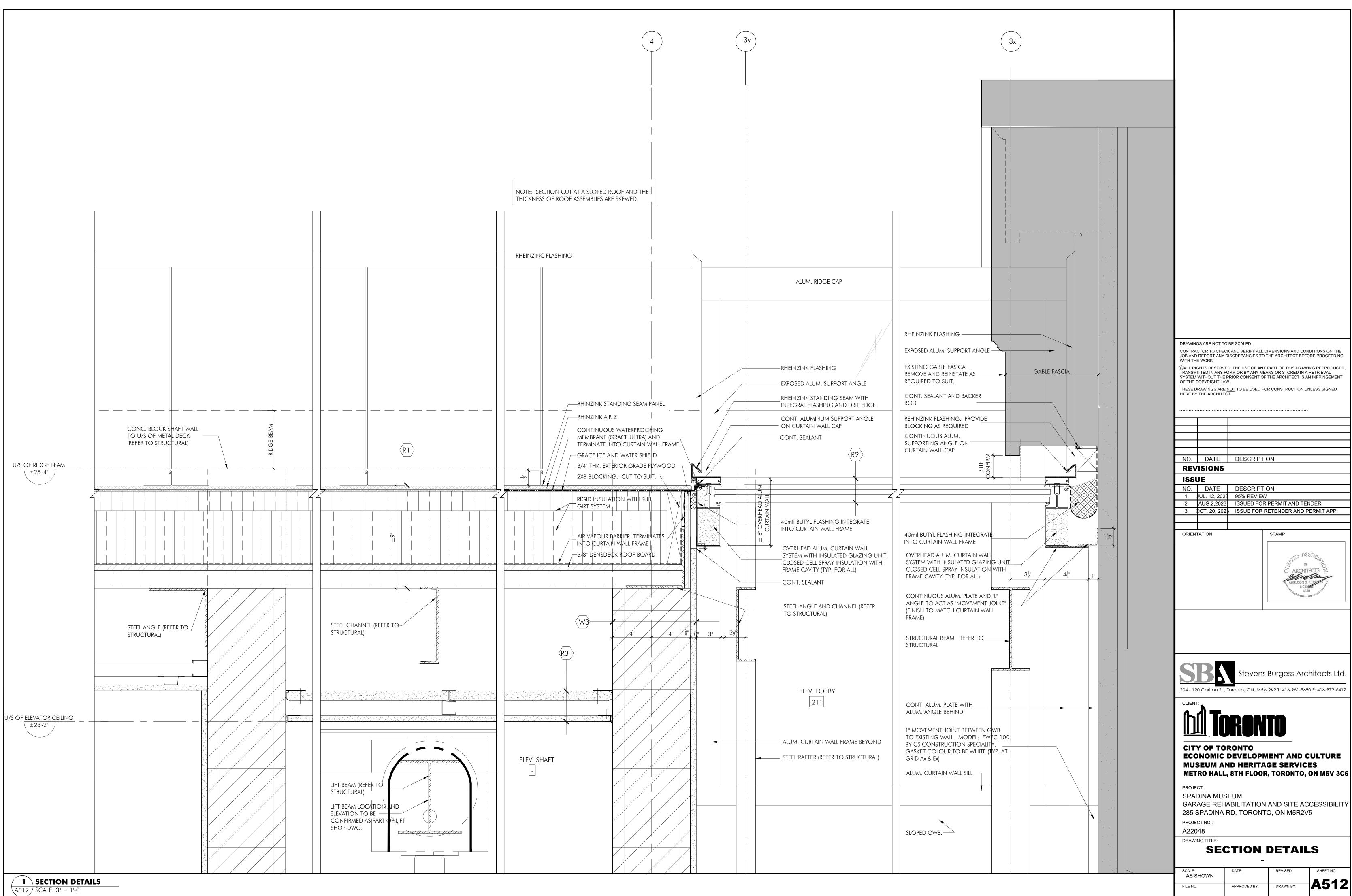


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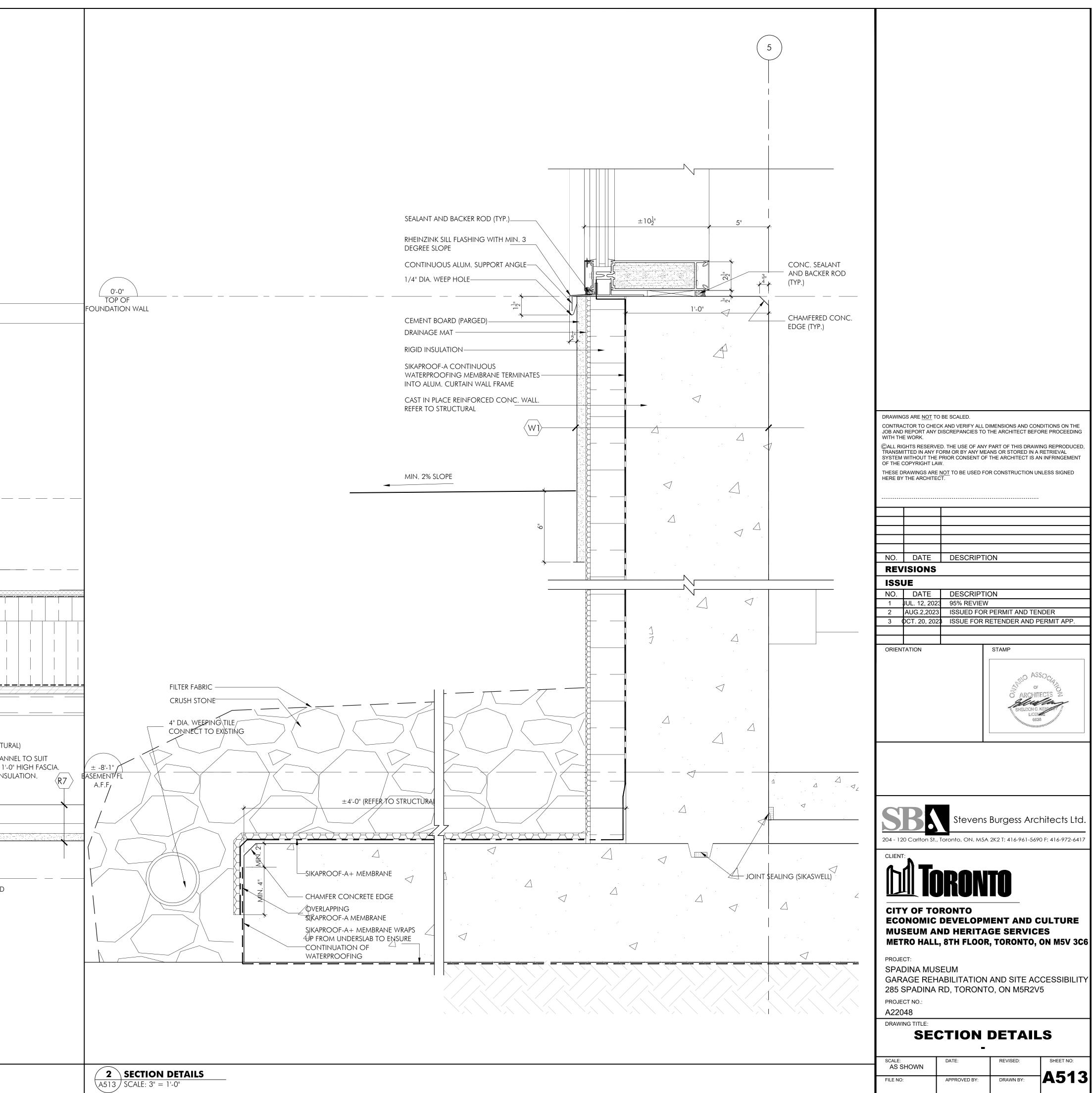




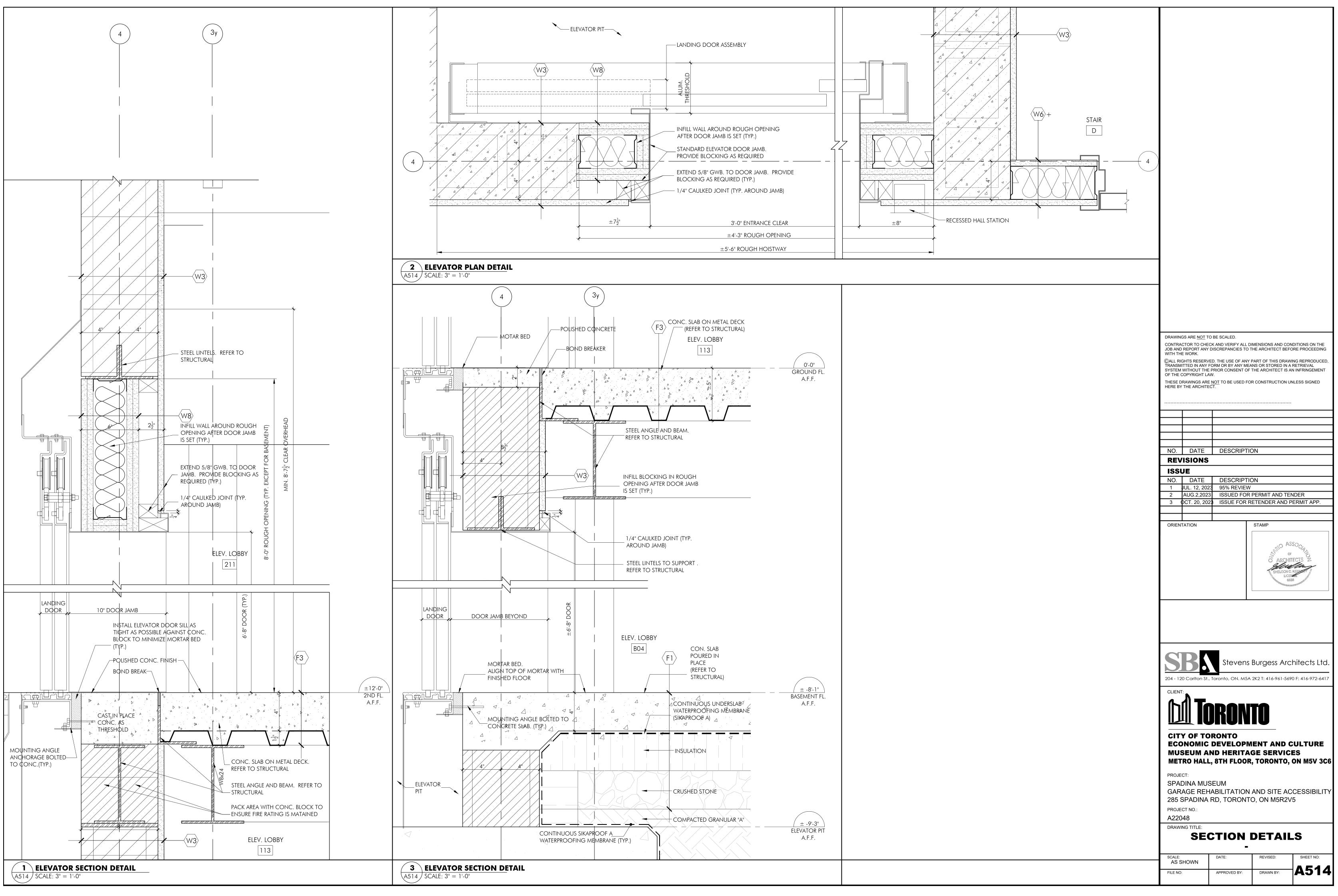


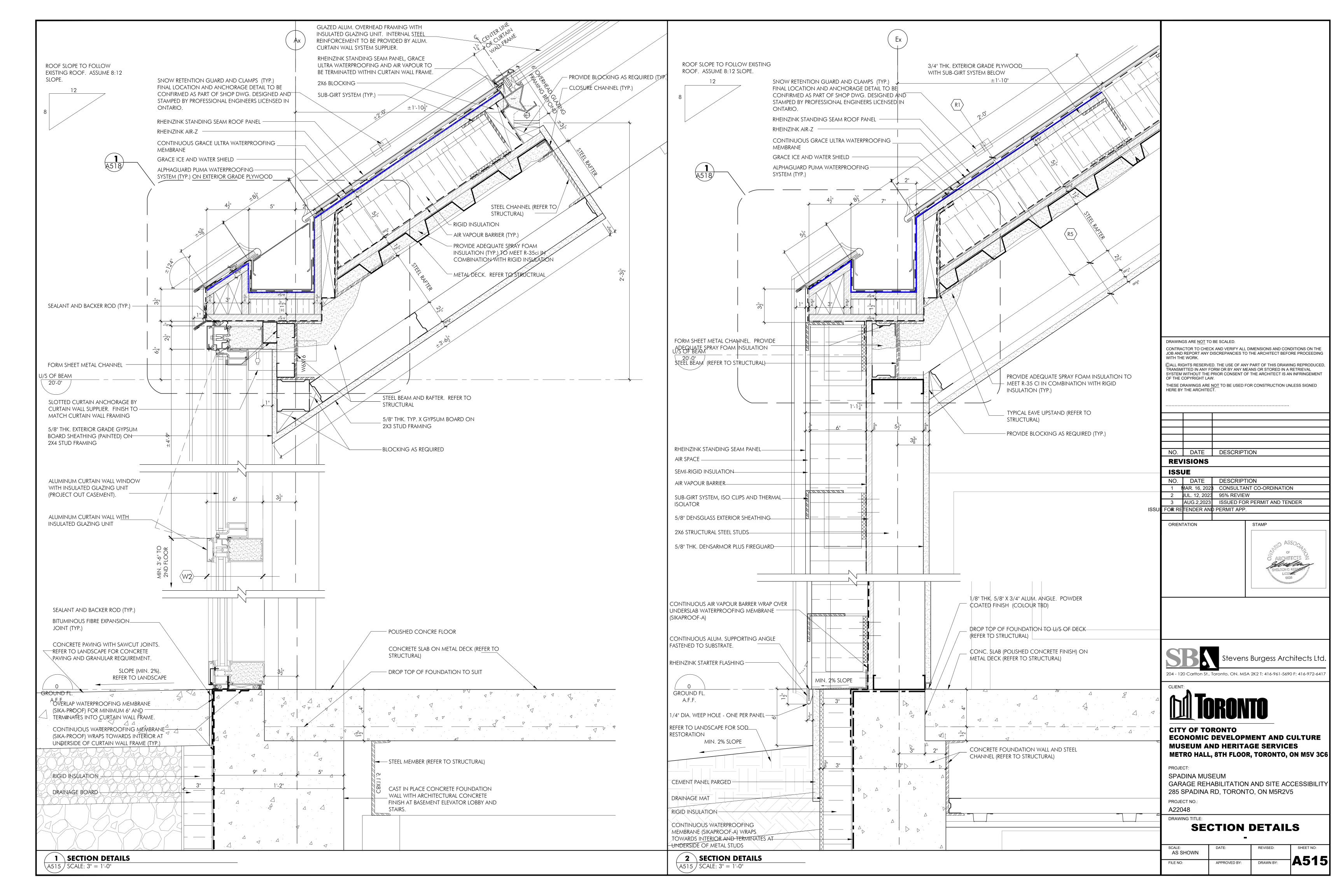


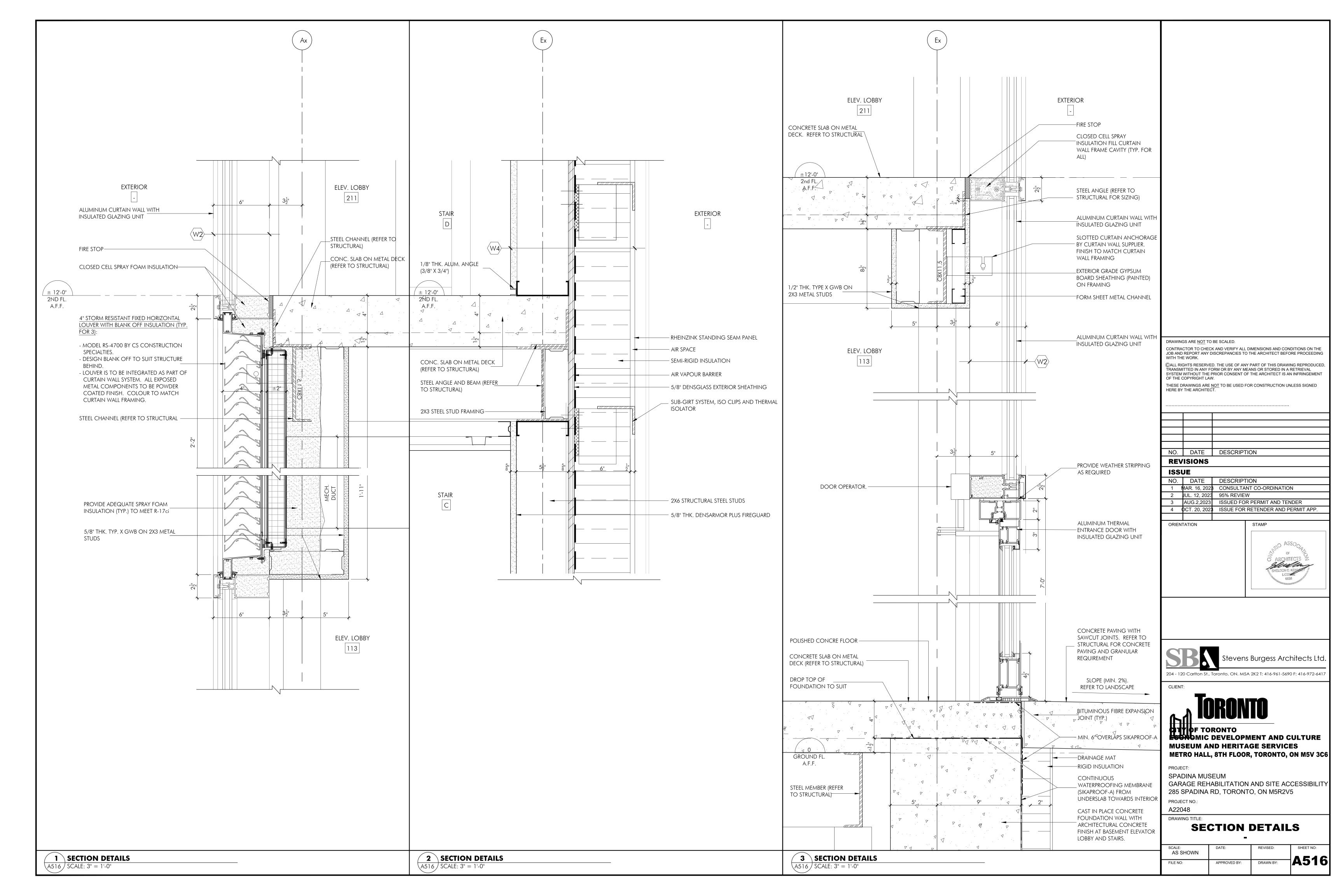
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	RHEINZINK STANDING SEAM ROOF PANEL		
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	CONTINUOUS ALUM. SUPPORTING ANGLE FROM TOP OF HEADER. RHEINZINK STARTER FLASHING WITH		
	DRIP EDGE. 1/4" DIA. WEEP HOLE - ONE PER PANEL SOLDER @ 6" O.C.		EAM AND BENT REFER TO STRUC HEET METAL CH
	JAMB FLASHING SEALANT AND BACKER ROD (TYP.) SPRAY FOAM INSULATION WITHIN CURTAIN WALL FRAME. INTERNAL STEEL REINFORCEMENT TO BE	REQUIRE PROVIDE FORM SI	ED HEIGHT FOR E SPRAY FOAM HEET METAL EL (TYP.).
/S of elevator ceilii	SECURED TO STEEL STRUCTURE AND CONC. FOUNDATION. SLOTTED CURTAIN ANCHORAGE BY CURTAIN WALL SUPPLIER. FINISH TO MATCH CURTAIN WALL FRAMING		IDED CEILING
±23'-2"	5/8" THK. EXTERIOR GRADE GYPSUM BOARD SHEATHING (PAINTED) ON FRAMING		
	ALUMINUM CURTAIN WALL WITH		
1 SECTION (A513) SCALE: 6" =	DETAILS		

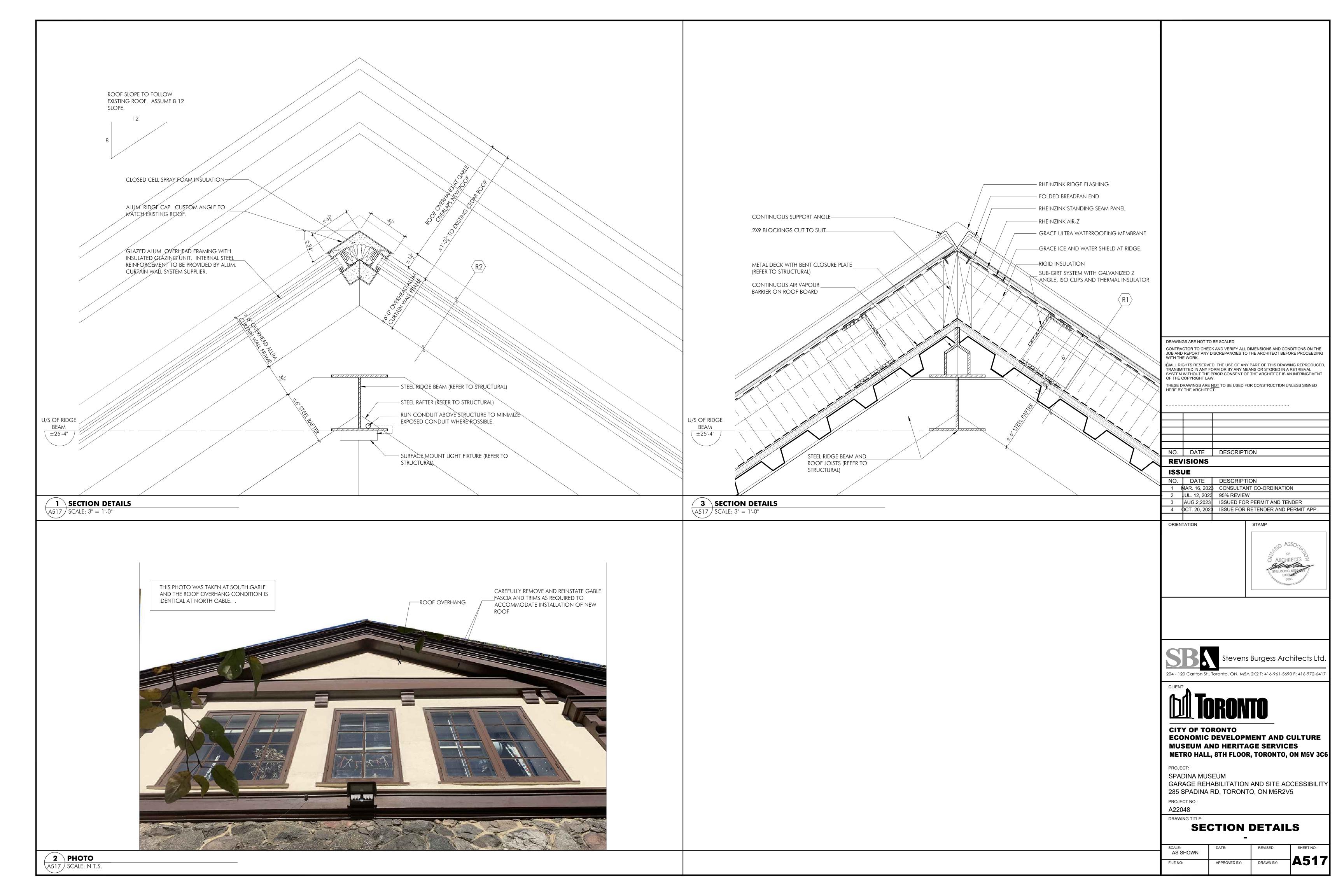


SHEET NO:







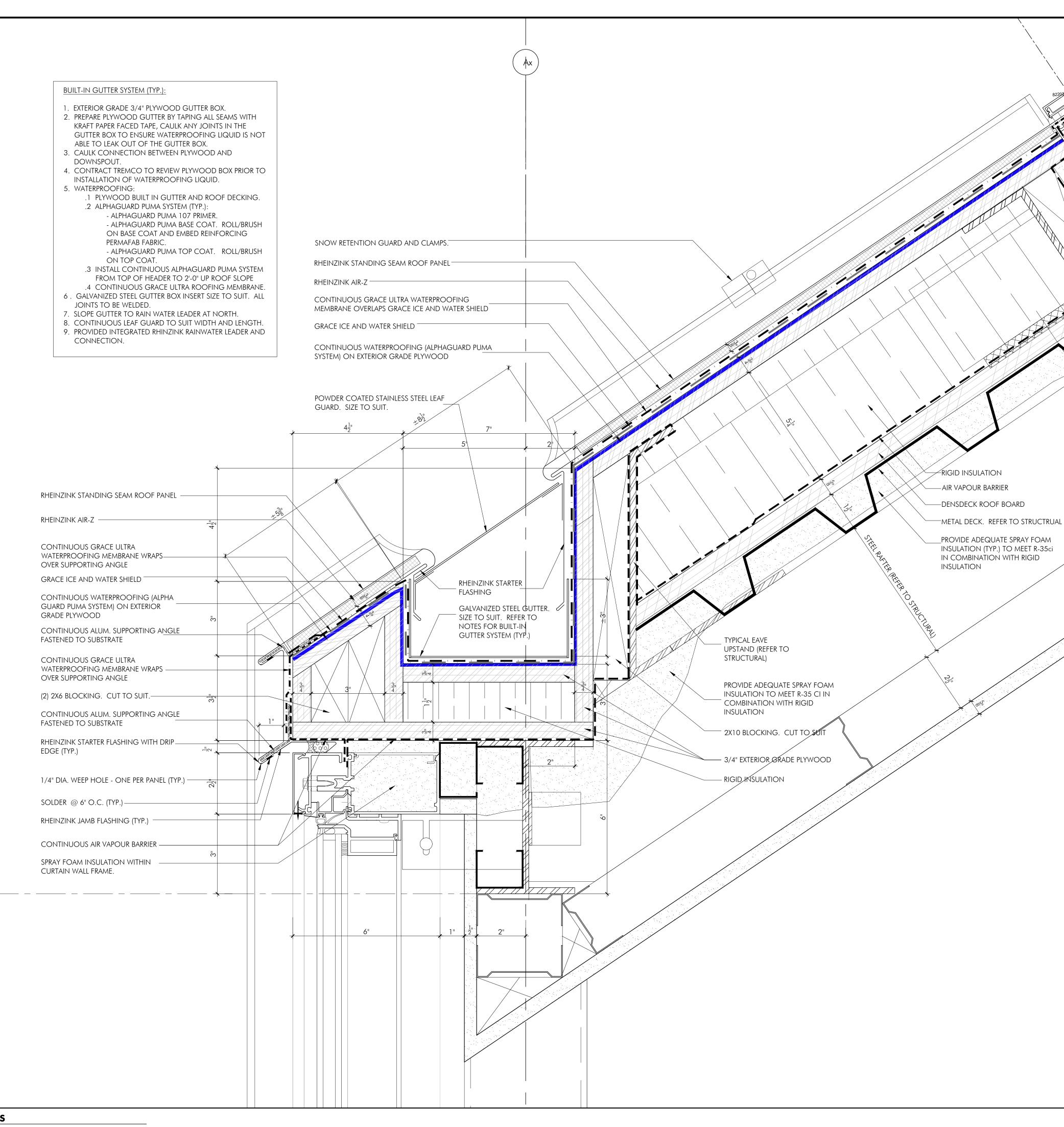


- 2. PREPARE PLYWOOD GUTTER BY TAPING ALL SEAMS WITH KRAFT PAPER FACED TAPE, CAULK ANY JOINTS IN THE GUTTER BOX TO ENSURE WATERPROOFING LIQUID IS NOT

- .2 ALPHAGUARD PUMA SYSTEM (TYP.):

 - FROM TOP OF HEADER TO 2'-0" UP ROOF SLOPE

- CONNECTION.



U/S OF BEAM 20'-0"

1 SECTION DETAILS (A515) SCALE: 6" = 1'-0"

DRAWINGS ARE <u>NOT</u> TO BE SCALED.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ©ALL RIGHTS RESERVED. THE USE OF ANY PART OF THIS DRAWING REPRODUCED, TRANSMITTED IN ANY FORM OR BY ANY MEANS OR STORED IN A RETRIEVAL

SYSTEM WITHOUT THE PRIOR CONSENT OF THE ARCHITECT IS AN INFRINGEMENT OF THE COPYRIGHT LAW. THESE DRAWINGS ARE <u>NOT</u> TO BE USED FOR CONSTRUCTION UNLESS SIGNED HERE BY THE ARCHITECT.

NO. DATE DESCRIPTION REVISIONS ISSUE NO. DATE DESCRIPTION 1 MAR. 16, 2028 CONSULTANT CO-ORDINATION 2 JUL. 12, 2023 95% REVIEW 3 AUG.2,2023 ISSUED FOR PERMIT AND TENDER 4 OCT. 20, 202 ISSUE FOR RETENDER AND PERMIT APP. ORIENTATION STAMP





Stevens Burgess Architects Ltd.

204 - 120 Carlton St., Toronto, ON. M5A 2K2 T: 416-961-5690 F: 416-972-6417



CITY OF TORONTO ECONOMIC DEVELOPMENT AND CULTURE MUSEUM AND HERITAGE SERVICES METRO HALL, 8TH FLOOR, TORONTO, ON M5V 3C6

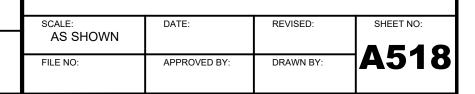
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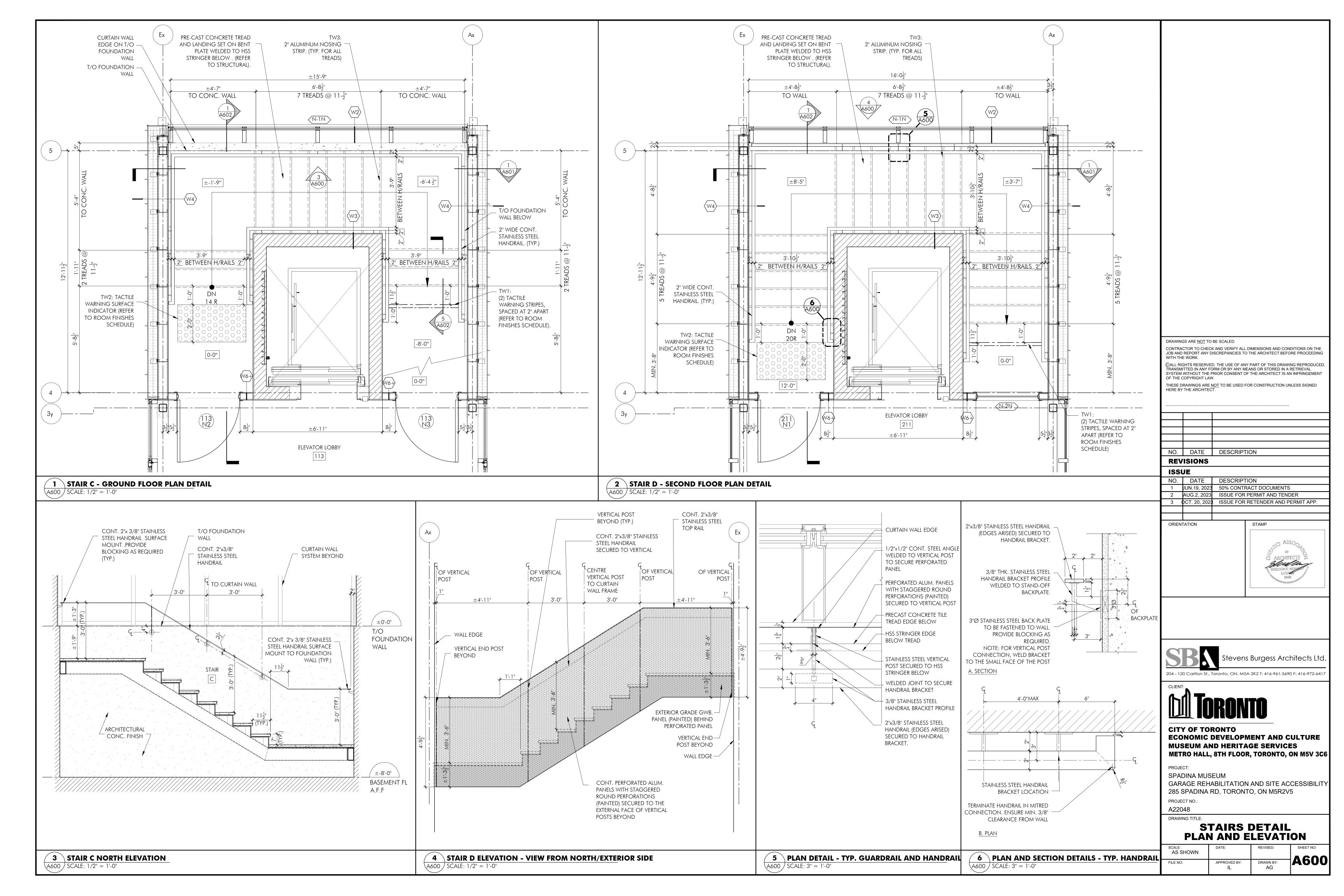
SPADINA MUSEUM

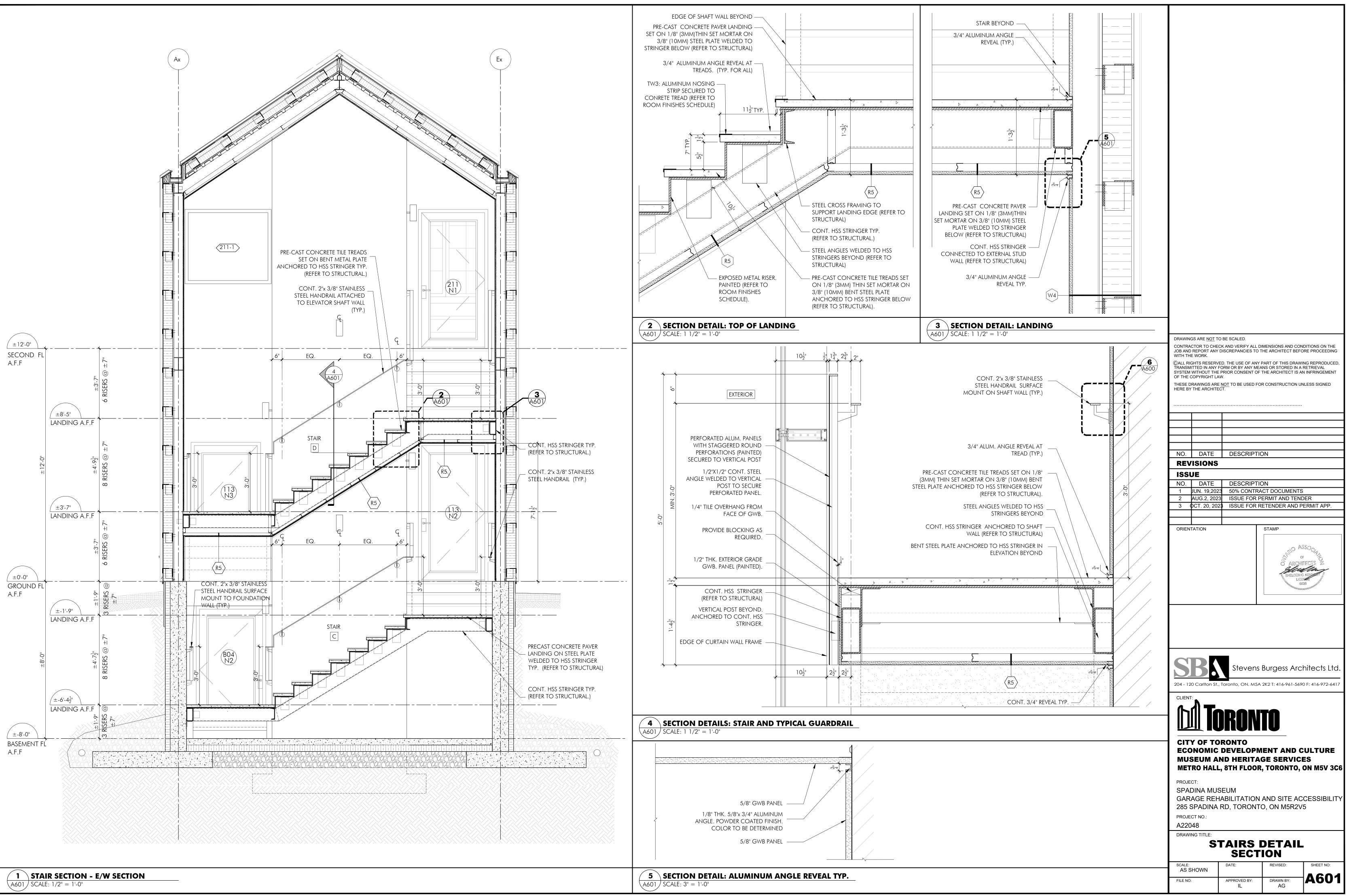
GARAGE REHABILITATION AND SITE ACCESSIBILITY 285 SPADINA RD, TORONTO, ON M5R2V5 PROJECT NO .:

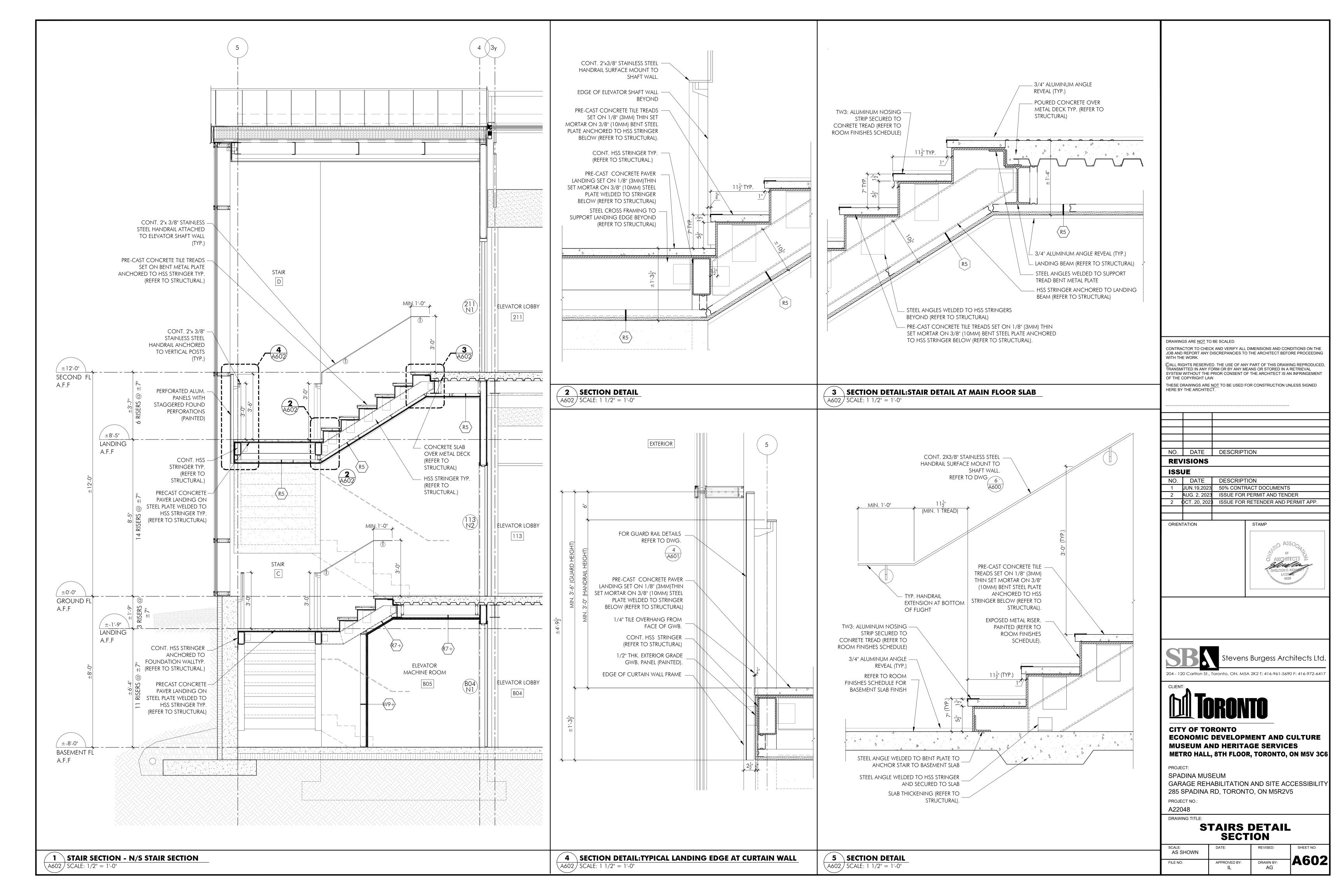
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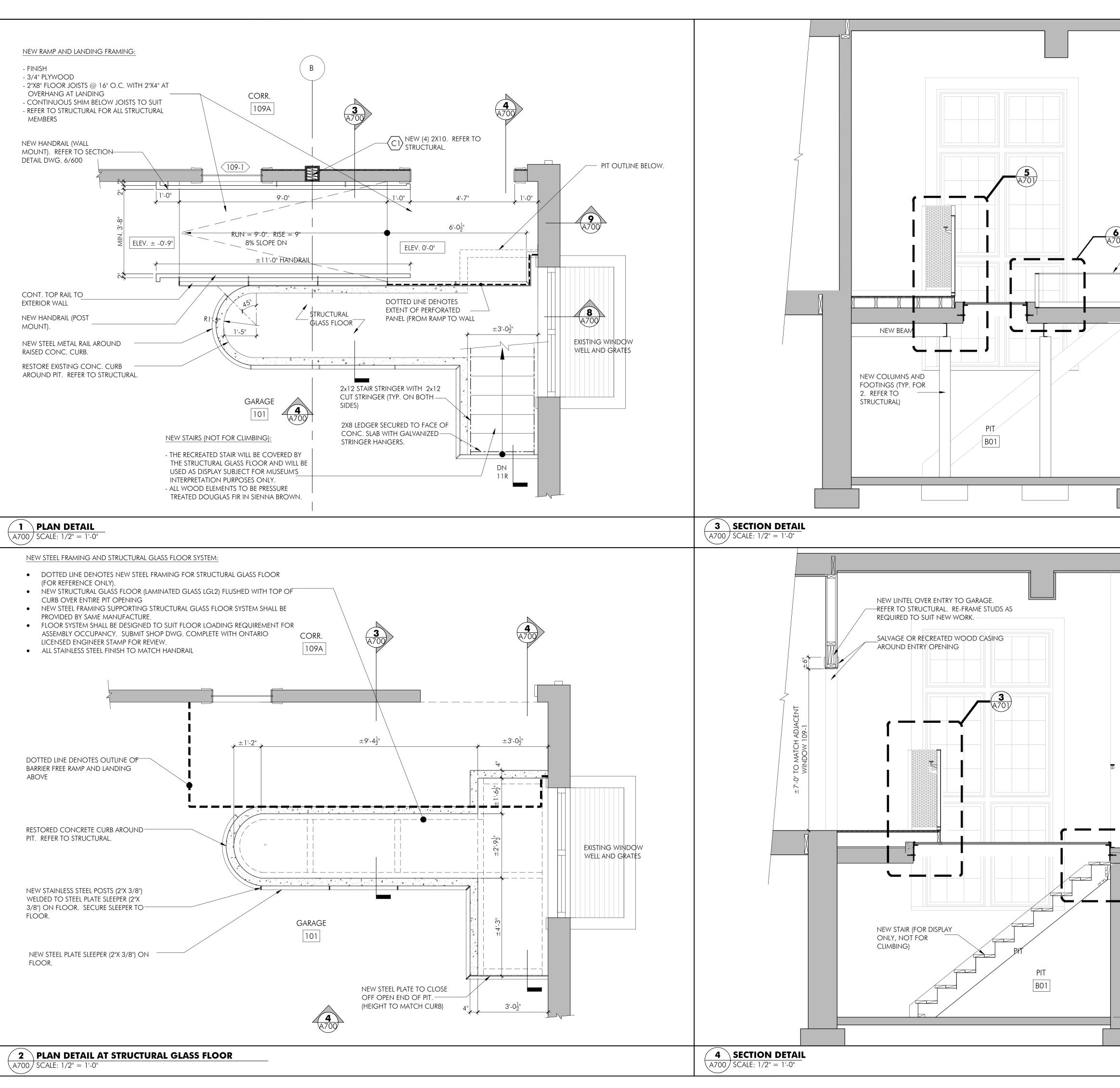
DRAWING TITLE: **SECTION DETAILS**



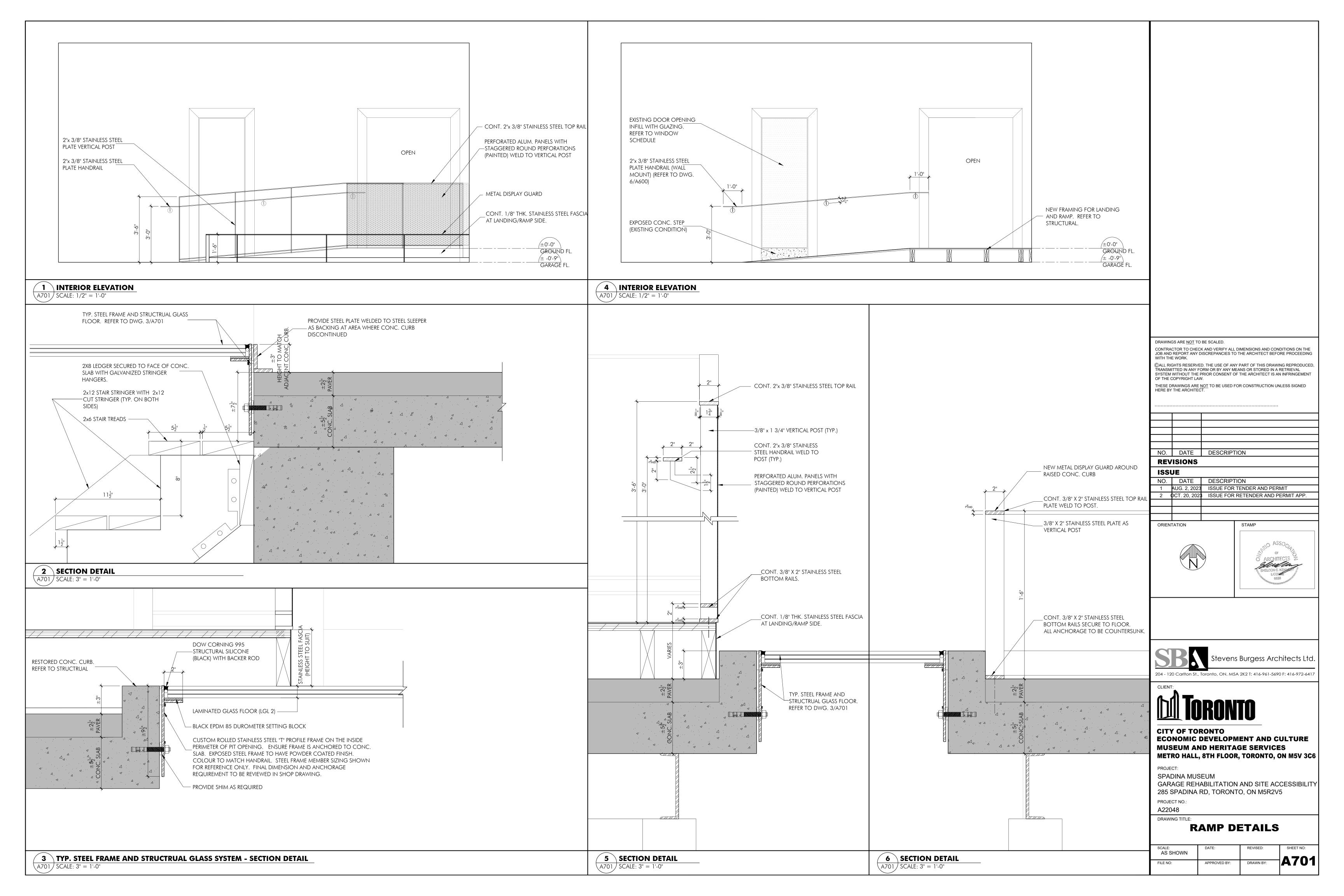


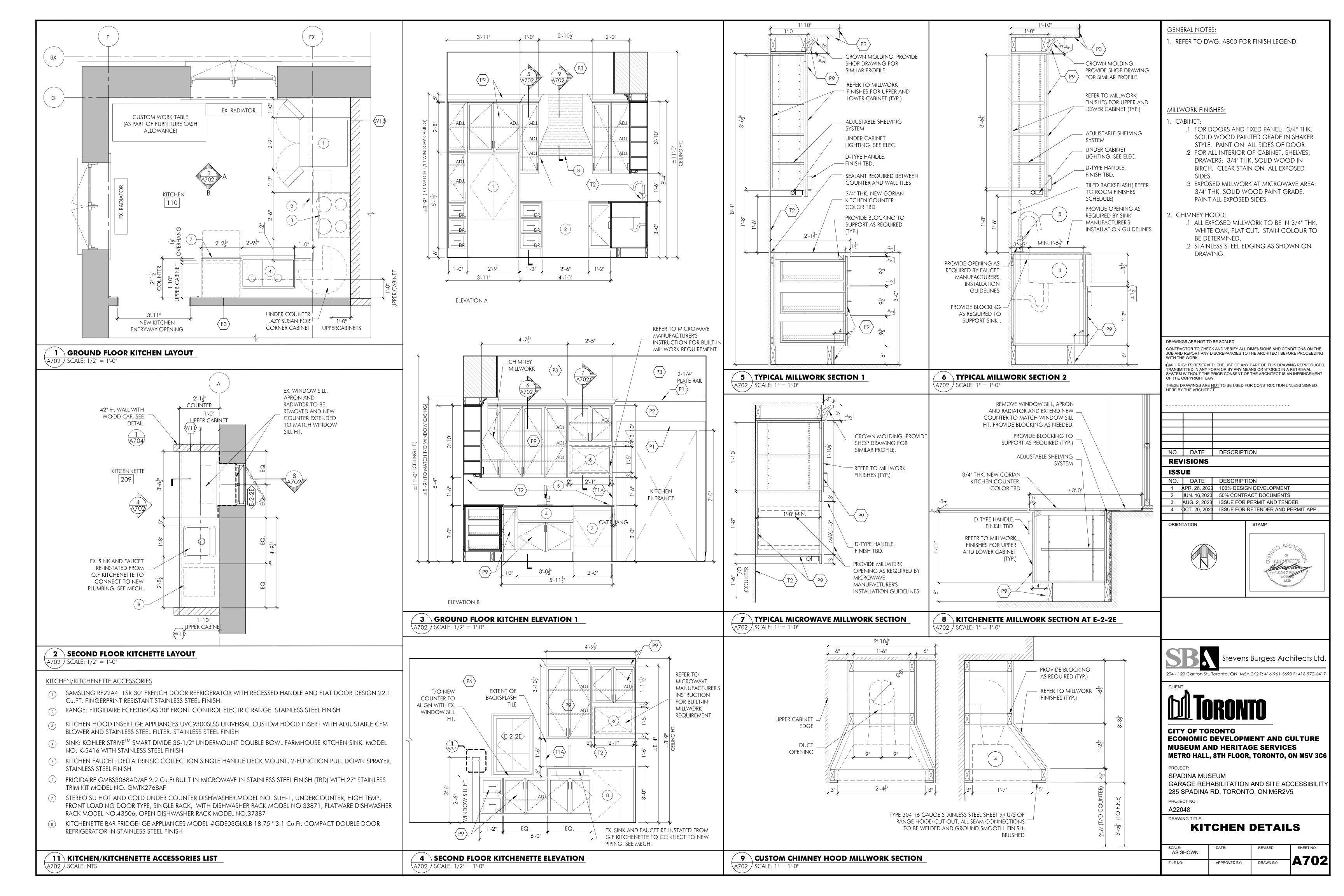


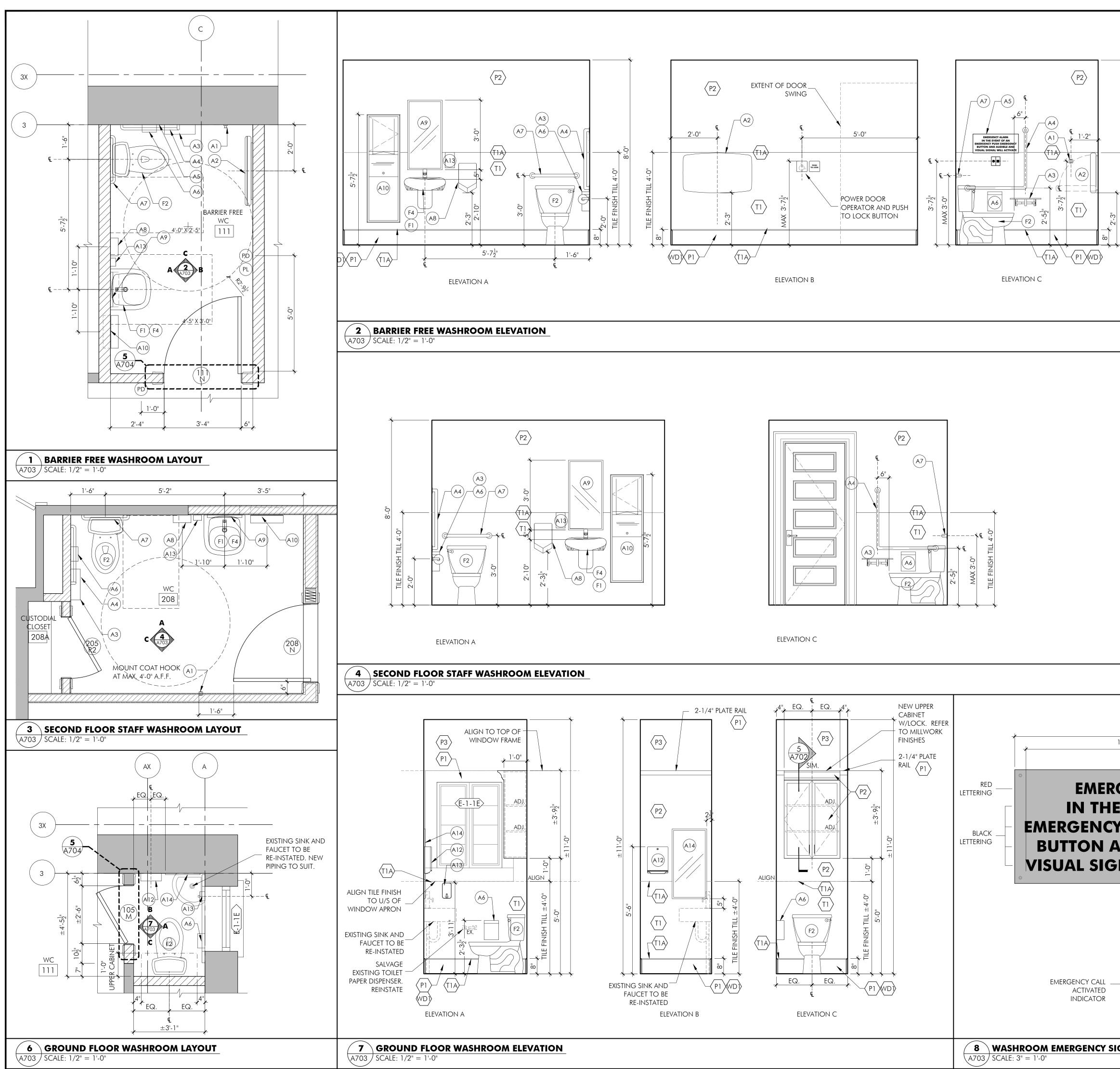




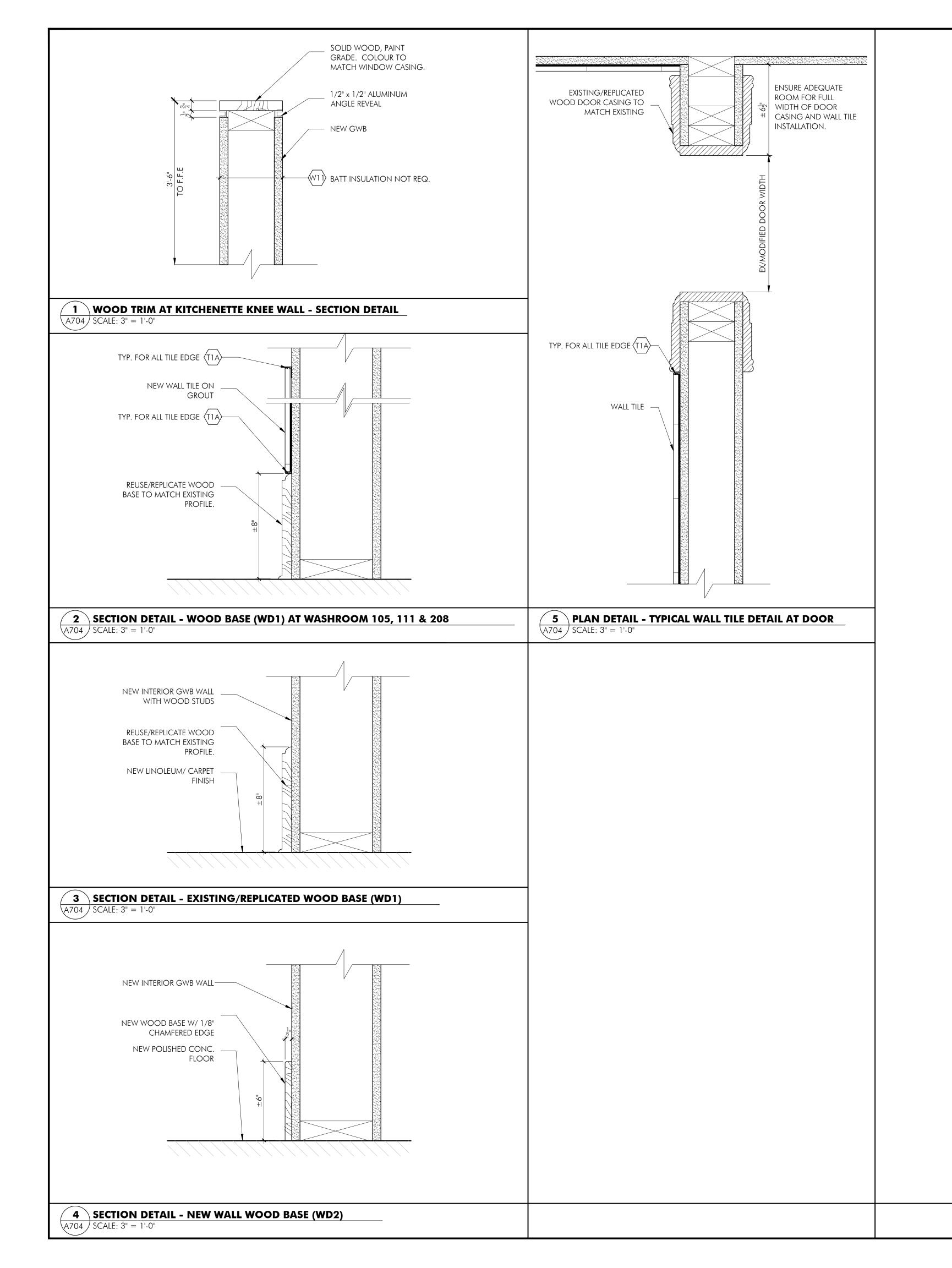
			1. ALL NEW M COATED F 2. ALL WELD .	IETAL COMPONE INISH (TYP.). CO JOINT TO BE SMC	LOUR TBD.	
	101 NEW METAL DISPLAY GUARD AROUND RAISED CURB.					
	_'					
CARAGE 101 101 CARAGE 101			CONTRACTOR TO CH JOB AND REPORT AN WITH THE WORK. ©ALL RIGHTS RESER TRANSMITTED IN ANY SYSTEM WITHOUT TH OF THE COPYRIGHT L THESE DRAWINGS AF	ECK AND VERIFY ALL E Y DISCREPANCIES TO VED. THE USE OF ANY Y FORM OR BY ANY ME. IE PRIOR CONSENT OF AW. RE NOT TO BE USED FO	THE ARCHITECT BEF PART OF THIS DRAW ANS OR STORED IN A THE ARCHITECT IS A	ORE PROCEEDING ING REPRODUCED, RETRIEVAL IN INFRINGEMENT
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MUSEUM AND HERITAGE SERVICES METRO HALL, 8TH FLOOR, TORONTO, ON M5V 3C6 PROJECT: SPADINA MUSEUM GARAGE REHABILITATION AND SITE ACCESSIBILITY 285 SPADINA RD, TORONTO, ON M5R2V5 PROJECT NO.: A22048 DRAWING TITLE: RAMP DETAILS SCALE: AS SHOWN DATE: REVISED: SHEET NO:				DRONTO		
SCALE: DATE: REVISED: SHEET NO: AS SHOWN	±7'-4"		MUSEUM A METRO HALI PROJECT: SPADINA MU GARAGE RE 285 SPADINA PROJECT NO.: A22048 DRAWING TITLE:	ND HERITA L, 8TH FLOOR JSEUM HABILITATION A RD, TORONT	GE SERVICI , TORONTO, AND SITE AC O, ON M5R2V	ES ON M5V 3C6 CESSIBILITY '5
			SCALE:			
				APPROVED BY:	DRAWN BY:	A700







	WASHROOM ACCESSORIES	<u>GENERAL NOTE</u>	ES:		
	(A-1) BOBRICK B-76717 SURFACE MOUNTED ROBE HOOK, SATIN FINISH	1. REFER TO D	WG. A800 FOR	FINISH LEGEN	1D.
\	(A-2) BABY CHANGE TABLE: KOALA KARE KB300-SS BABY CHANGING				
	 STATION . COLOR TBD BOBRICK B-2840 SATIN FINISH STAINLESS STEEL 				
	(A-3) SURFACE-MOUNTED TOILET TISSUE DISPENSER FOR DOUBLE ROLL AND UTILITY SHELF				
	GRAB BAR: BOBRICK MODEL #B-6898.99X30X30 STAINLESS STEEL, SATIN FINISH W/ PEENED GRIPPING SURFACE AND CONCEALED				
	MOUNTING.	MILLWORK FINI	ISHES:		
	 EMERGENCY ALARM CALL BUTTON PANEL AND SIGNAGE; -SEE ELECTRICAL FOR EMERGENCY ALARM CALL SYSTEM 	1. CABINET:			
8 ⁻ 0	SPECIFICATIONS -SEE DETAIL 5/A5 FOR SIGNAGE REQUIREMENTS		doors and fi d wood pain ⁻		
- 0-	-GC TO SUBMIT SHOP DRAWINGS FOR REVIEW	-	E. PAINT ON A ALL INTERIOR C		
	(A-6) SANITARY NAPKIN DISPOSAL. SURFACE MOUNTED. BOBRICK #B-270 CONTURA SERIES. STAINLESS STEEL. SATING FINISH	DRAV	VERS: 3/4" THK	. Solid Woo	DIN
TILE FINISH TILL 4'-0"	(A-7) GRAB BAR: BOBRICK MODEL #B-6806.99X30 STAINLESS STEEL, SATIN FINISH W/ PEENED GRIPPING SURFACE AND CONCEALED	SIDES			
	MOUNTING.		sed millwork thk. solid wc		
	(A-8) DYSON AIRBLADE V HU02 LOW VOLTAGE HAND DRYER. SPRAYED NICKEL FINISH	PAINT	T ALL EXPOSED	SIDES.	
* * *	(A-9) BARRIER FREE DESIGN MIRROR- BOBRICK B-293 1836 SERIES TILT	2. CHIMNEY H			o / // TI // /
	MIRROR WITH STAINLESS STEEL FRAME WITH SATIN FINISH.		XPOSED MILLWO TE OAK, FLAT CI		-
	TOWEL DISPENSER AND WASTE RECEPTACLE. STAINLESS STEEL WITH SATIN FINISH		ETERMINED. ILESS STEEL EDC		
	(A-1)) BOBRICK B-39003 TRIMLINE SERIES RECESSED PAPER TOWEL	DRAV			
	DISPENSER AND WASTE RECEPTACLE WITH BUILT IN TOWEL MATE. STAINLESS STEEL WITH SATIN FINISH				
	BOBRICK B-262 CLASSIC SERIES SURFACE MOUNTED PAPER TOWEL DISPENSER. STAINLESS STEEL WITH SATIN FINISH				
	BOBRICK B-2111 CLASSIC SERIES SURFACE MOUNTED SOAP				
	DISPENSER. STAINLESS STEEL WITH SATIN FINISH				
	MIRROR. GALVANIZED STEEL BACK. SECURED TO CONCEALED WALL HANGER WITH THEFT-RESISTANT MOUNTING.				
	WASHROOM FIXTURES	DRAWINGS ARE NOT TO			
	$(\overline{F-1})$ BARRIER-FREE SINK: AMERICAN STANDARD, MURRO UNIVERSAL	CONTRACTOR TO CHE	CK AND VERIFY ALL DI		
	DESIGN WALL-HUNG SINK, CENTRE HOLE AND SHROUD/KNEE GUARD. COLOUR: WHITE. UNIT TO BE INSTALLED WITH	WITH THE WORK.			
	CONCEALED ARMS BY JR SMITH CARRIER. CARRIER MODEL TO SUIT.	TRANSMITTED IN ANY F SYSTEM WITHOUT THE OF THE COPYRIGHT LA	PRIOR CONSENT OF		
	(F-2) TOILET: AMERICAN STANDARD CADET PRO WITH TOILET SEAT (INCLUDE TOILET SEAT LID). REFER TO MECH.	THESE DRAWINGS ARE HERE BY THE ARCHITE		R CONSTRUCTION UN	ILESS SIGNED
	(F3) NOT USED				
	(F-4) TOUCHLESS FAUCET: SLOAN BASYS MODEL NO. EFX-300-4-PLG-BDT-CP-0.5GPM-MLM-CAP-BAA-FCT CAPACITANCE				
	SENSOR ACTIVATED ELECTRONIC HANDWASHING FAUCETFOR PRE-TEMPERED OR HOT/COLD WATER				
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	EFER TO D		OR FINISH LEGEN	1D.
1. C	SOLIE STYLE .2 FOR A DRAW BIRCH SIDES .3 EXPO 3/4" 1 PAINT CHIMNEY H .1 ALL EX WHIT BE DE	DOORS AND DWOOD PAI ALL INTERIOR VERS: 3/4" TI I. CLEAR STA SED MILLWO THK. SOLID V ALL EXPOSE OOD: (POSED MILL E OAK, FLAT ETERMINED. ILESS STEEL E	FIXED PANEL: 3 NTED GRADE IN ALL SIDES OF D OF CABINET, SH HK. SOLID WOO AIN ON ALL EXPO RK AT MICROWA VOOD PAINT GR D SIDES. WORK TO BE IN CUT. STAIN CC DGING AS SHO	SHAKER OOR. HELVES, D IN OSED AVE AREA: RADE. 3/4" THK. DLOUR TO
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FLOOR FINISHES LEG	END			
EXISTING TO REMAIN		RO	om finish s	CHEDULE
		ROOM NO.	NAME	
SEALED CONCRETE		BASEMEN BO1	PIT	N
		B03	FURNACE RM	GWB - P5 WD2 - P5
		B04 B05	ELEV. LOBBY ELEV.	GWB - P3 WD2 - P5 GWB - P5
+ + GLASS FLOOR		B06	MACHINE RM. STORAGE	WD2 - P5
		B07	ELEC. RM	-
TH THRESHOLD				-
PAINT: (COLOUR NUMBER TO BE FINALIZ (MIN. 1 COAT OF PRIMER AND 2 COATS		GROUND 101	GARAGE	N CP-P4 -
P PAINT COLOUR TBD.P1 COLOUR TO MATCH EXISTING INP2 MUSTARD	TERIOR DOOR (DARK BROWN)	104	VEST WC	GWI
P3 WHITE P4 COLOUR TO MATCH EXISTING GA P5 CHARCOAL GREY.	ARAGE CEILING (CEMENT)	109A & 109B	CORR.	
	TERIOR SIDE WOOD ELEMENTS (DARK BROWN)	110	KITCHEN	GWB
P9 DARK GREEN FOR CABINETS P10 COLOUR TBD (FOR STEEL STAIR RI	SERS)	111	BARRIER FREE WC	
<u>SHEEN:</u> 1. FOR WALL - EGG SHELL.		113	ELEV. LOBBY	GWB - P WD2 - P
 FOR CEILING - FLAT. FOR METAL COMPONENTS - ALKYD S FOR INTERIOR WOOD WORK - SATIN FOR EXTERIOR WOOD WORK - LOW 		SECOND 201	FL. OFFICE	N
WALL, WALL BASE & TILE TRIMS:		206 N	iulti-purpose RM	
GWB GWB. WALL WD1 EXISTING OR REPLICATED WOOD	BASE (+/- 8" HIGH)	206A	CLOSET	
WD2 NEW WOOD BASE (6" HIGH)T1 WASHROOM WALL TILES (TBD.)T2 KITCHEN BACK SPLASH TILES (TBD.)	·	207	CORR.	
T1A SCHLUTER-JOLLY IN ALUM. FINISH SS STAINLESS STEEL PL PLASTIC LAMINATE	(COLOUR TBD). TRIM HEIGHT TO SUIT.	208	BARRIER FREE WC	
CP CEMENT PARGING		208A	CUSTODIAL CLOSET KITCHENETTE	
F1 CONCRETE FINISH WITH SEALER.		209 209A	CLOSET	G\
F2 CONCRETE FINISH WITH POLISHEF3 LINOLEUM TILESF4 CARPET TILES	J CONCRETE.	210	STORAGE	
F5 PORCELAIN FLOOR TILES (TBD.) F6 PRECAST CONCRETE LANDING AN GL STRUCTURAL GLAZING FLOOR	ID TREADS. POLISHED FINISH.	211	ELEV. LOBBY	GWB - P WD2 - P
<u>CEILING:</u> S EXPOSED METAL DECK AND STRUC		STAIR (C & D	-
GWB. GWB. BULKHEAD OR CEILING. GL GLAZING SS STAINLESS STEEL		ELEVA	TOR	AL
THRESHOLD:				
TH1 EXTERIOR THRESHOLD, THERMALLY MANUFACTURED BY KN CROWDE	Y BROKEN. 37/8" WIDE, MODEL CT-74. R. FINISH: ANODIZED BRONZE.	<u>GENERAL</u>	_	
TH2 EXTERIOR THRESHOLD, THERMALLY MANUFACTURED BY KN CROWDE			POSED CONDU DJACENT WALL	,
TH3 INTERIOR THRESHOLD BETWEEN L MODEL: VINPRO-U. HEIGHT: 1/3 ANODIZED ALUMINUM. MANUFA	B". FINISH: BRUSHED ANTIQUE BRONZE		STING RADIATOR	
TH4 INTERIOR THRESHOLD BETWEEN O MODEL: VINPRO-U. HEIGHT:+/- ANODIZED ALUMINUM. MANUF/	1/4". FINISH: BRUSHED ANTIQUE BRONZE	1. NEW P - P/	LATE RAIL (±2 AINT P2 BELOW .ATE RAIL TO BI	/ PLATE RAIL A
TH5 INTERIOR THRESHOLD BETWEEN C MODEL: RENO-U. HEIGHT TO SU MANUFACTURED BY SCHLUTER SY	JIT. FINISH: SATIN ANODIZED ALUMINUM.	- SE	ee finishes pla	AN FOR ROO
TACTILE WARNING SURFACES:			WRAPPED COL	
TW1 2" WIDE COLOUR AND TEXTURAL ENSURE TACTILE STRIP IS FLUSHED RAMP/STAIR WIDTH. MODEL : ECOGLO N30 SERIES N COLOUR: BLACK.	WITH LINOLEUM. LENGTH TO MATCH	COAT	POSED STEEL S ING IN P5 COL TO INTERIOR E	OUR. REFER
MANUFACTURER: KINESIK ENGIN TW2 TACTILE ATTENTION INDICATOR:	EERED PRODUCTS.		NT PARGING RE AND PAINT.	Equired Arc
SIZE: 12" DEEP BY WIDTH OF STAI LOCATION: AT TOP OF LANDING MODEL: ADVANTAGE ONE TACTI ADV-D-1282-BK. FINISH: ALUMINUM-BLACK MANUFACTURER: KINESIK ENGIN PATTERN: INSTALL DOMES IN A SO	E (ON GROUND FLOOR AND 2ND FLOOR) LE WALKING SURFACE INDICATORS DOMES, EERED PRODUCTS. QUARE GRID, WITH CENTRE TO CENTRE BETWEEN 2 1/4". PROVIDE ADEQUATE			
TW3 STAIR NOSING STRIPS: SIZE: 2" ECOGLO FLAT STAIR NOS ON CONCRETE TILE TREADS. LENG MODEL: F7170.	SING GLUED AND MECHANICALLY FASTENED			

ACE RM GWB - P5 GWB - P5 WD2 - P5 WD2 - P5 . LOBBY GWB - P3 СР F1 WD2 - P5 GWB - P5 GWB - P5 FV. HINE RM. WD2 - P5 WD2 - P5 DRAGE GWB - P5 -F1 WD2 - P5 C. RM GWB - P5 GWB - P5 WD2 - P5 WD2 - P5 W Ν E S rage CP-P4 EX., G F.F GWB-P2 & P3. SS BACKSPLASH WD1-P1 GWB - P2 & P3. T1 WD1 - P1 ORR. GWB - P2 & P3. WD1 - P1 CHEN GWB - P2 & P3. T2 BACKSPLASH WD1 - P1 IER FREE GWB - P2. T1 & T1A VC WD1 - P1 LOBBY GWB - P WD2 - P E W S Ν FICE -PURPOS GWB - P6 RM F4 OSET WD1 - P7 DRR. IER FREE GWB - P6. T1 ٧C TODIAL GWB - P6 OSET WD1 - P7 ENETTE GWB - P6. T2 BACKSPLASH WD1 - P7 GWB - P6 OSET WD1 - P7 RAGE GWB - P6 WD1 - P7 LOBBY GWB - P WD2 - P GWB - P3 GWB - P3 GWB - P3 F2, TW ALUM. ANGLE REVEAL PL, SS

WALL & BASE

N/A

W

S

E

D CONDUIT, DUCTS AND MECH. ERV, FAN COILS, DIFFUSERS AND GRILLES TO BE PAINTED. COLOUR TO ENT WALL OR CEILING OR DECK.

SS

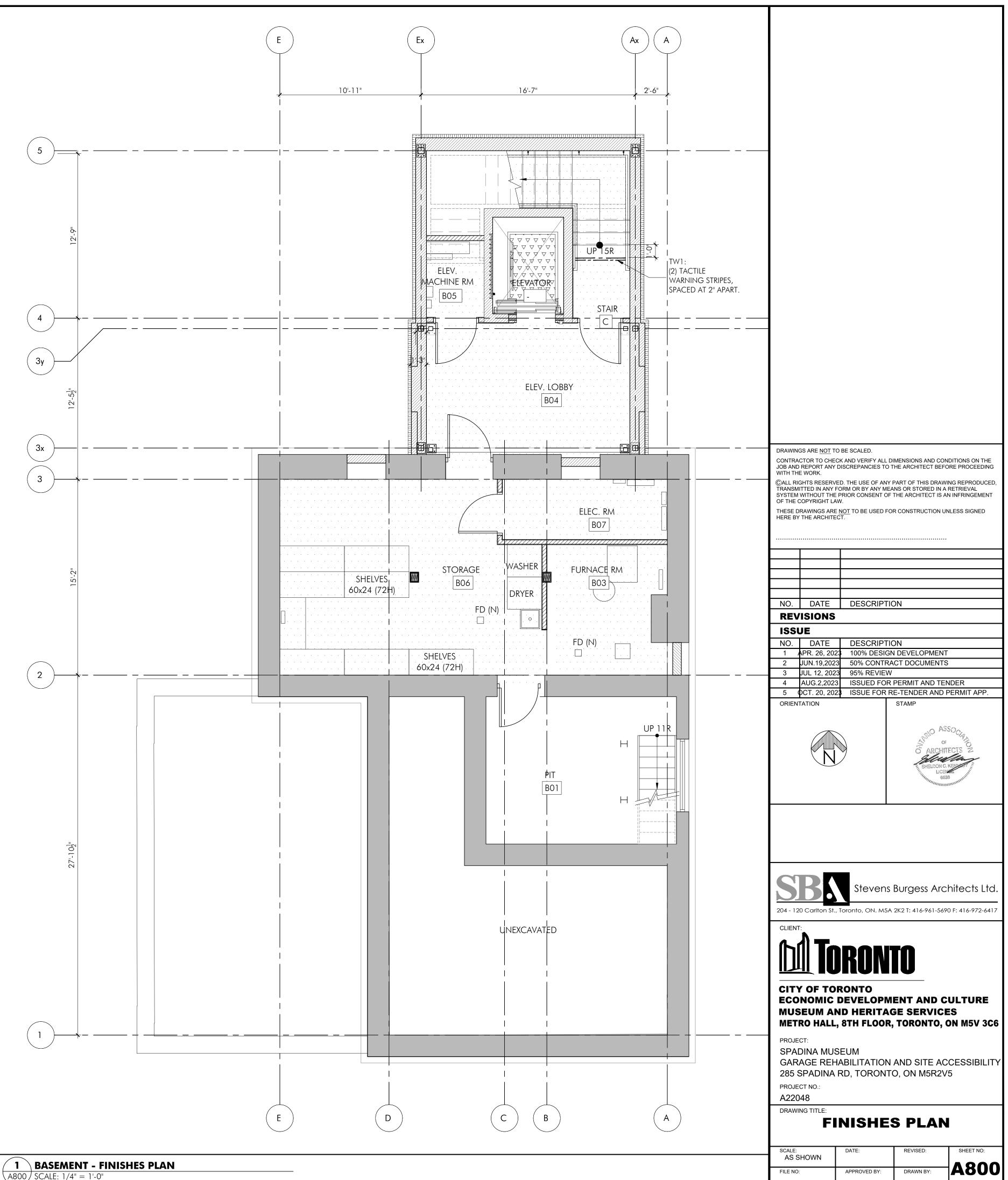
RADIATORS TO BE PAINTED. COLOUR TO MATCH ORIGINAL (GROUND FLOOR). FOR RADIATOR ON ADIATOR TO BE PAINTED TO MATCH ADJACENT WALL.

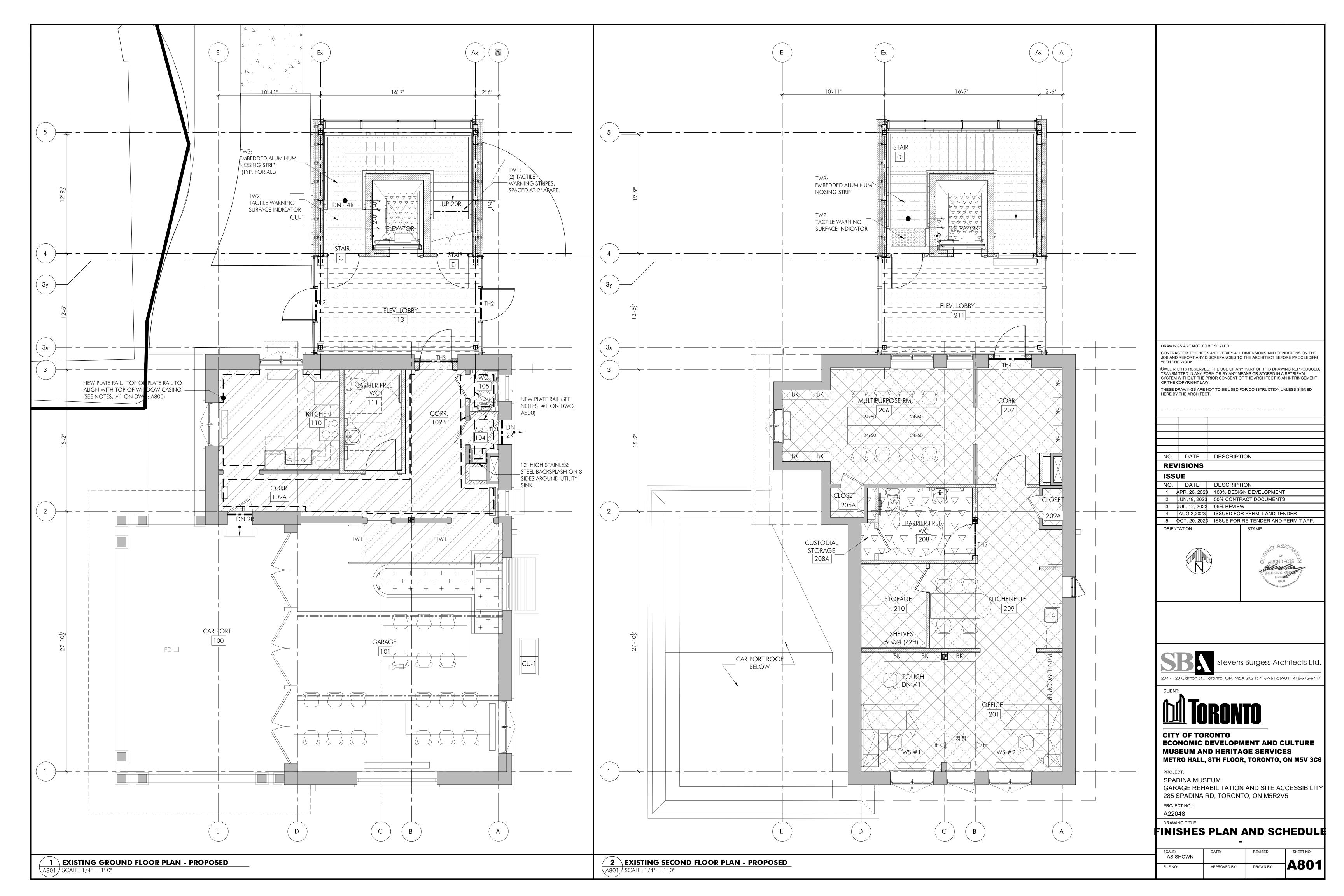
RAIL (±2 1/4" HIGH). T/O PLATE RAIL TO ALIGN T/O WINDOW CASING (±8'-9") 2 BELOW PLATE RAIL AND P3 ABOVE PLATE RAIL. RAIL TO BE PAINTED P1.

NISHES PLAN FOR ROOMS TO INSTALL PLATE RAIL. PLATE RAIL PROFILE TO MATCH ORIGINAL.

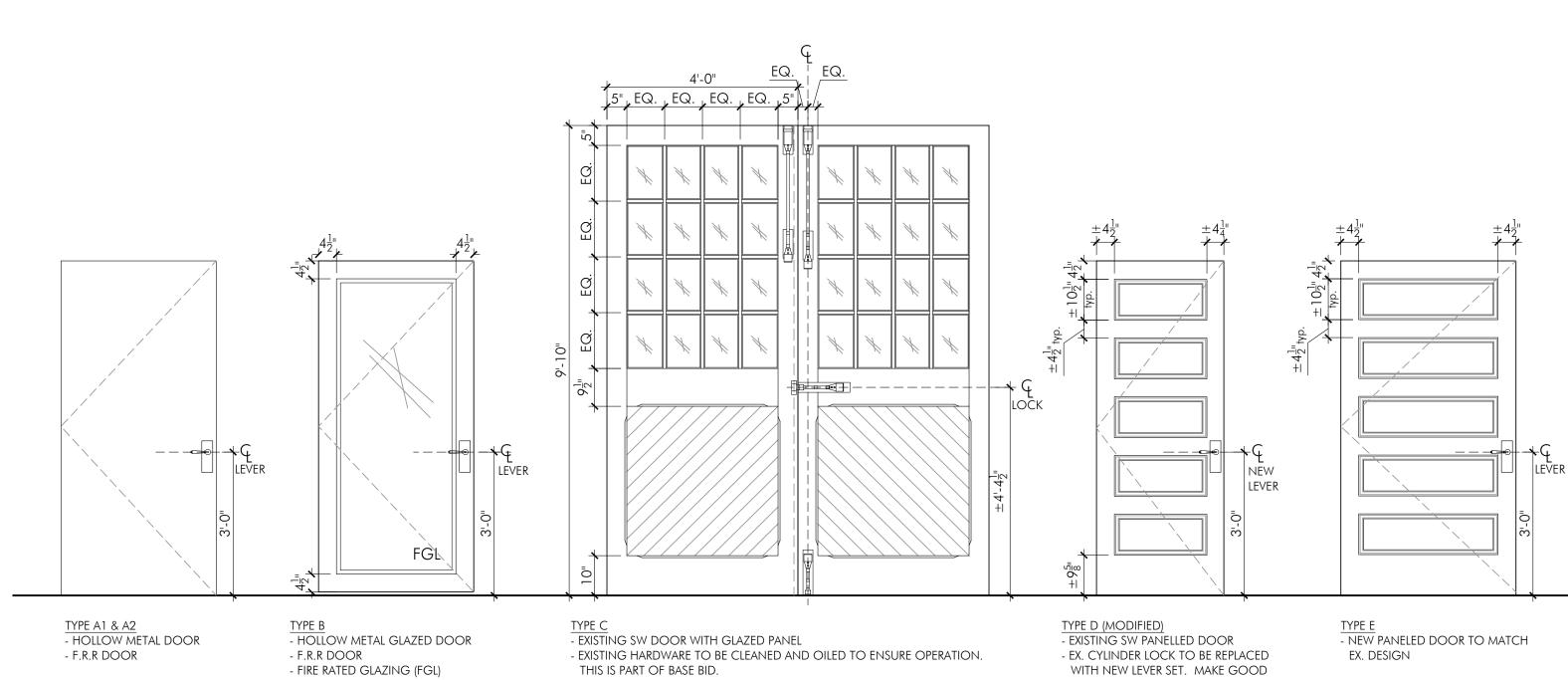
- RAIL (BRACKETS AND ASSOCIATED SUPPORTS) TO BE POWDER COATED IN BLACK.
- PPED COLUMN ENCLOSURE TO BE PAINTED P5.
-) STEEL STRUCTURES SUPPORTING FLOOR ASSEMBLY TO BE PAINTED WITH INTUMESCENT FIREPROOFING N P5 COLOUR. REFER FRR. REQUIREMENT ON DWG. A04.
- ITERIOR ELEVATIONS FOR TILED AREA ON WALL.
- RGING REQUIRED AROUND MASONRY/FOUNDATION OPENINGS. MAKE GOOD CEMENT PARGING WALL PAINT.

FLOOR	CEILING	NOTES
EX	EX & GL	#4 & #6
F1	GWB - P3	#4 & #0
F1	S - P5	
F1	GWB - P3	
F1	GWB - P3	#3
F1	GWB - P3	
EX., GL & F3	P4	#6
F3	GWB - P3	#1
F3	GWB - P3	#1 & #5
F3	GWB - P3	#1
F3	GWB - P3	#1 & #5
F3	GWB - P3	#1 & #5
F2	S - P5 & GWB - P5	
F4	GWB - P3	
F5	GWB - P3	#5
F5	GWB - P3	
F4	GWB - P3	#5
F4	GWB - P3	
F4	GWB - P3	
F2	GWB - P3, S - P3 & GI	
P10	GWB - P3	#2
F5	SS	





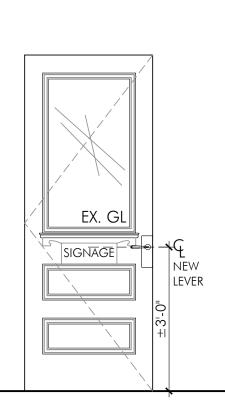
		۲6" _۲
DOOR	WALL HARDWARE NOTES RATING THUL COPERTION State	
DOOR FROM TO SIZE: W x H x T TYPE MAT'L SWING FINISH RATING TYPE WALLMAT'L FINISH RATI		
NO. FROM TO MIN. FROM TO MI		
B04 N1 B04 B05 ±3'-2" x ±6'-7" x 1 3/4" A1 HM LHR P5 P5 60 1 W5 HM P5 P5 60		
$\frac{1}{12} B04 N2 B04 STAIR D \pm 3'-2" \times \pm 6'-7" \times 1 3/4" A2 HM RHR P5 P5 45 1 W6+ HM P5 P5 45$		
Image: B04 N3 B04 B06 ±3'-2" x ±6'-7" x 1 3/4" A2 HM RHR P5 P5 45 1 E1 HM P5 P5 4.5		12 9 9 9
BO6 N1 BO6 BO7 ±3'-2" x ±6'-7" x 1 3/4" A1 HM RHR P5 P5 - 1 W10 HM P5 P5 - 1		
main B06 N2 B06 B01 ±3'-0" x ±6'-7" x 1 3/4" A1 HM RH P5 P5 45 1 E1 HM P5 P5 45		
101 E1 101 100 (2) ±4'-0" x ±9'-10" x 2 1/2" C SW LH/RH EX SW		
101 E1 101 100 (2) ±4'-0" × ±9'-10" × 2 1/2" C SW LH/RH - - EX SW - - - - EX SW - <	- #1 -	
101 E3 101 100 (2) ±4'-0" x ±9'-10" x 2 1/2" C SW E1/R1 EX SW F		
104 M1 109B 104 ±2'-8" x ±7'-0" x 1 3/4" D SW LHR P1 P1 - EX SW P1 P1 -	$\begin{array}{c c c c c c c c c c c c c c c c c c c $	
Identified Identified Identified Identified Identified Identified Identified Identified Identified Identified Identified Identified Identified Identified Identified Identified Identified Identified Identified Identified Identified Identified Identified Identified Identified Identified Identified Identified Identified	- • • • • • • • • • • • • • • • • • • •	
Image: Second		
P 111 N 109A 111 ±3'-4" x ±7'-0" x 1 3/4" E SW RH P1 P1 3 W11 SW P1 P1		
D 109 M 100 109A ±2'-8" x ±7'-0" x 1 3/4" F SW LH P1 P1 - E2A SW P1 P1 -	- O O O #1	
B B B B C <thc< th=""> C <thc< th=""> C <thc< th=""> C C</thc<></thc<></thc<>		<u>TYPE 1 & 2</u> <u>TYPE 3</u>
113 N2 113 STAIR C ±3'-4" x ±7'-0" x 1 3/4" B HM LHR P5 P5 45 1 W6+ HM P5 P5 4.		- HOLLOW METAL DOOR FRAME - SW DOOR FRAME TO MATC - REFER TO DOOR SCHEDULE FOR FRAME DESIGN
113 N3 113 STAIR D ±3'-4" x ±7'-0" x 1 3/4" B HM RHR P5 P5 45 1 W6+ HM P5 P5 45	45 0 0 RESTRICTED ACCESS FROM LOBBY AND FREE ACCESS FROM STAIR SIDE	REQUIRED F.R.R - NON RATED FRAME
		$(6\frac{1}{2})^{-1}$
113 N4 113 EXT. ±3'-6" x ±7'-0" x 2 1/2" G AL RH P P 4 W2 AL P P - 113 N5 113 109B ±3'-4" x ±8'-3" x 1 3/4" H1 SW LHR P1 P1 6 E2A SW P1 P1 44		
	45 • • • • • • • • • • • • • • • • • • •	
Image: Description of the second s	45 00	
$ \begin{array}{c c c c c c c c c c c c c c c c c c c $		
Z 207 N 207 209 ±3'-4" x ±7'-0" x 1 3/4" H2 SW LHR P7 P7 3 W11 SW P7 P7 -		
U 205 M 209 205A ±2'-6" x ±7'-0" x 1 3/4" D SW RHR P7 P7 3 EX SW P7 P7 -	- • • • • • • • • • • • • • • • • • • •	
206 M 206 206A ±2'-6" x ±7'-0" x 1 3/4" D SW LHR P7 P7 3 EX SW P7 P7 -	- O O O 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	
206 R 209 210 ±2'-8" x ±7'-0" x 1 3/4" D SW RH P7 P7 3 W11 SW P7 P7 -	- O O O #2	
202 R 209 210 ±2'-8" x ±7'-0" x 1 3/4" D SW RH P7 P7 3 W11 SW P7 P7 -	- O F F F F F F F F F F F F F F F F F F	5 -90 <i>1</i>
208 N 209 208 ±3'-4" x ±7'-0" x 1 3/4" E SW RH P7 P7 3 W14 SW P7 P7 -		
205 R2 208 208A ±2'-8" x ±7'-0" x 1 3/4" D SW RHR P7 P7 3 W11 SW P7 P7 -		
NOTES:		
	N - NEW DOOR R - RELOCATED/REUSED DOOR	
# 1: RE-INSTATE EXISTING SECURITY CONTACT #2: SALVAGE, CLEAN AND REINSTATE EXISTING DOOR AND CASING. REPLACE EXISTING	EX - EXISTING DOOR D - DOOR TO BE DEMOLISHED/REMOVED	
CYLINDER DOOR KNOB WITH NEW DOOR LEVER SET. MAKE GOOD DOOR	SW - SOLID CORE WOOD	
	GL - GLASS M - MODIFIED	
	HM - HOLLOW METAL	
	AL - ALUMINUM	
	SL - SLIDING DOOR	
	EX - EXISTING FH - FULL HEIGHT	
	RH - RIGHT HAND LH - LEFT HAND	TYPE 5 (CORRIDOR VIEW) TYPE 5 (VIEW FROM ELEV. LOBBY)
	LHR - LEFT HAND REVERSE	- NEW SW DOOR FRAME
	RHR - RIGHT HAND REVERSE P - PAINT - REFER TO FINISHES PLAN	
$\begin{pmatrix} 1 \\ A901 \end{pmatrix} DOOR SCHEDULE SCALE: 1/8" = 1'-0"$		$\begin{array}{ c c c c c }\hline \hline & & & \hline & & & \hline & & & \hline & & & & \hline & & & & \hline & & & \hline & & & & \hline & & \hline & & & \hline & & \hline & & & \hline & \hline & & \hline & \hline & & \hline \\ & \hline & \hline$
VATUR JUALL. 1/0 - 1-0		A701 JCALL. 1/2 - 1-0



THIS IS PART OF BASE BID. - DOOR CONSERVATION IS UNDER CASH ALLOWANCE.

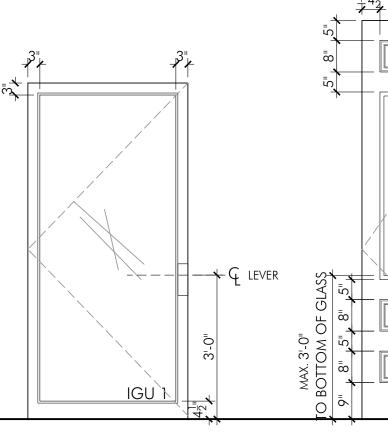
WITH NEW LEVER SET. MAKE GOOD DOOR SLAB.

ex. design

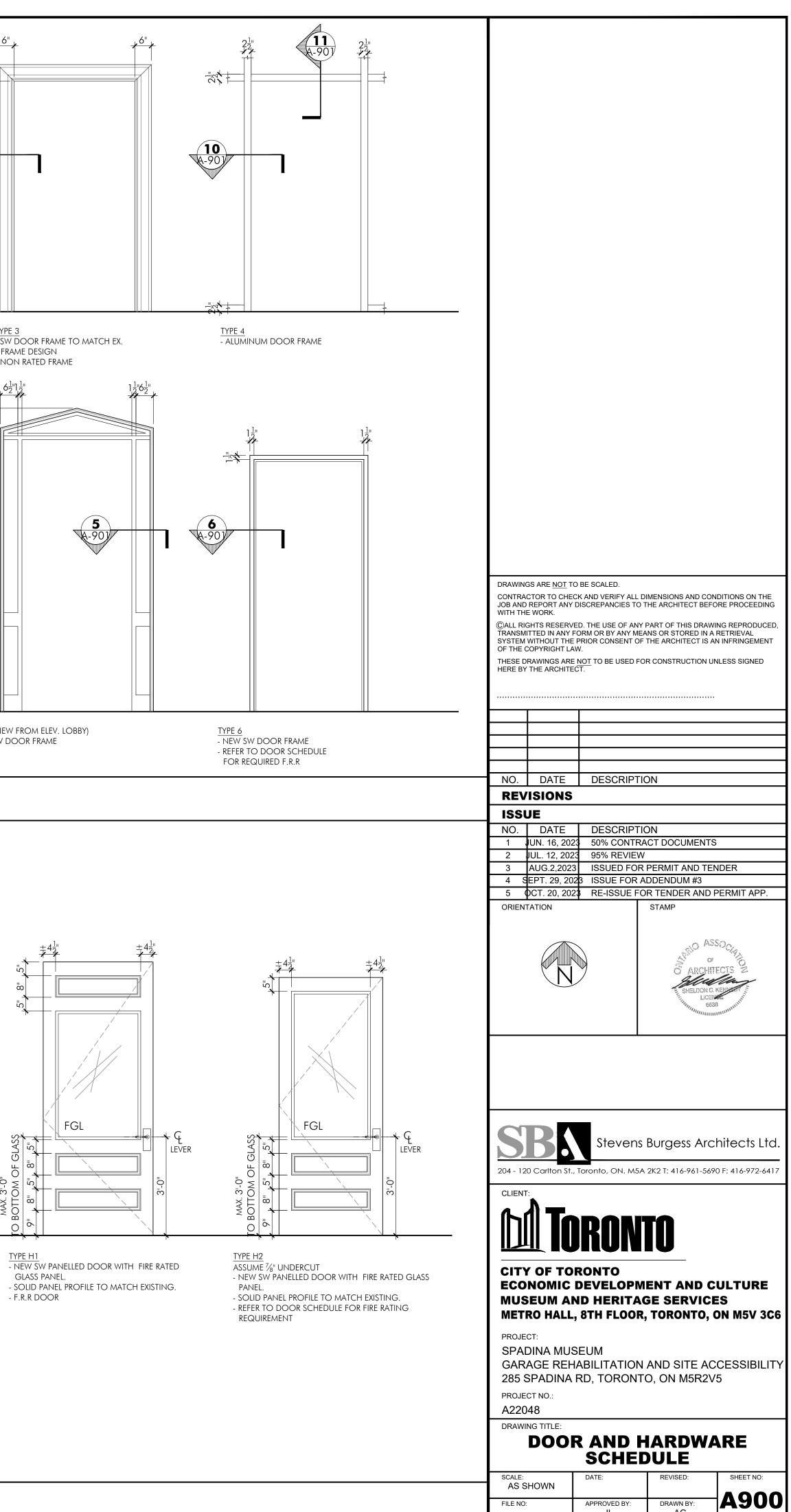


TYPE F (EX. ENTRY DOOR) MODIFIED - EXISTING SW PANELLED DOOR WITH GLASS PANEL.

- EX. CYLINDER LOCK TO BE REPLACED WITH NEW LEVER SET.
- MAKE GOOD DOOR SLAB. - SIGNAGE TO REMAIN ON THE EXTERIOR.



<u>TYPE G</u> (ADDITION ENTRY) - NEW ALUMINUM DOOR WITH INSULATED GLAZING

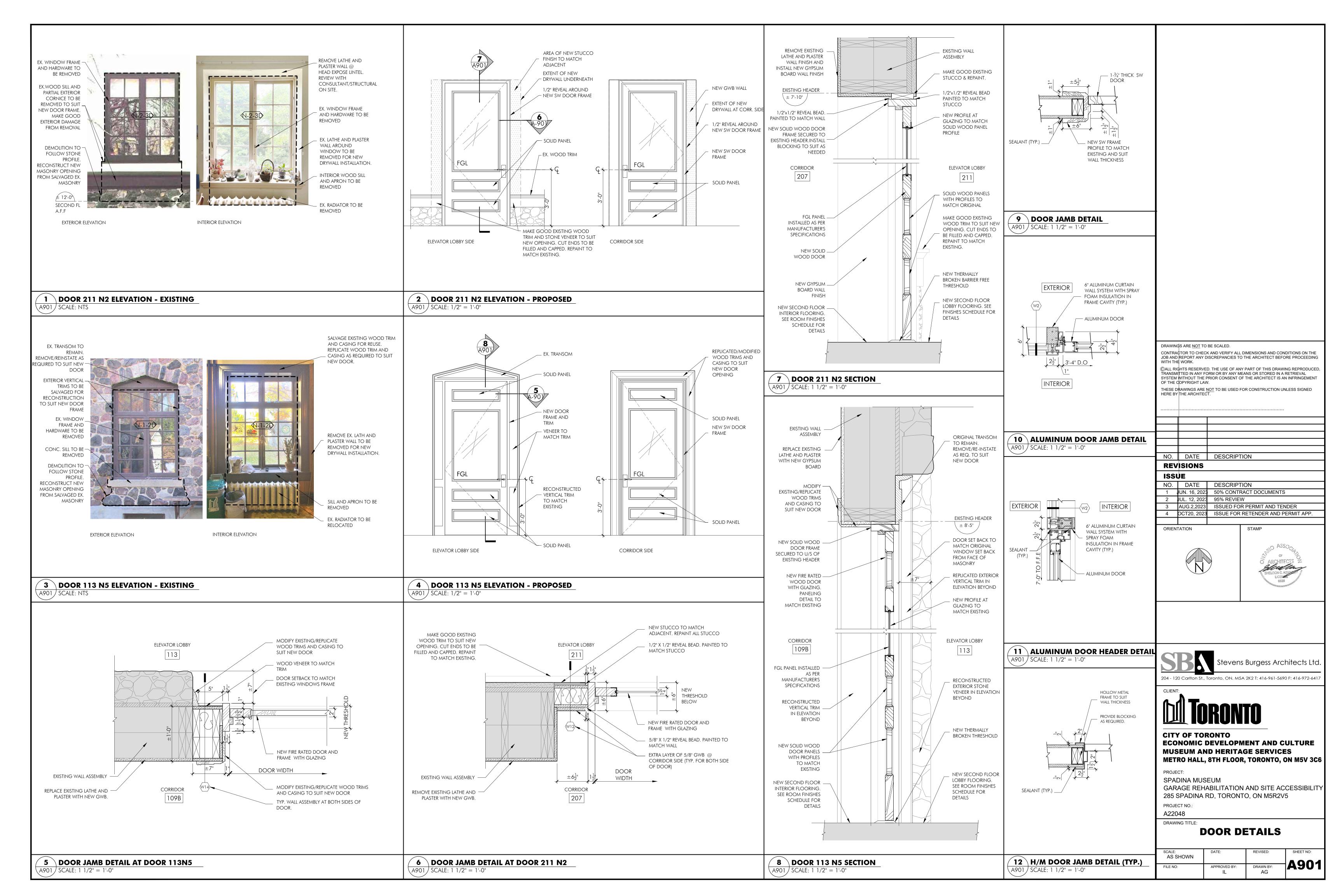


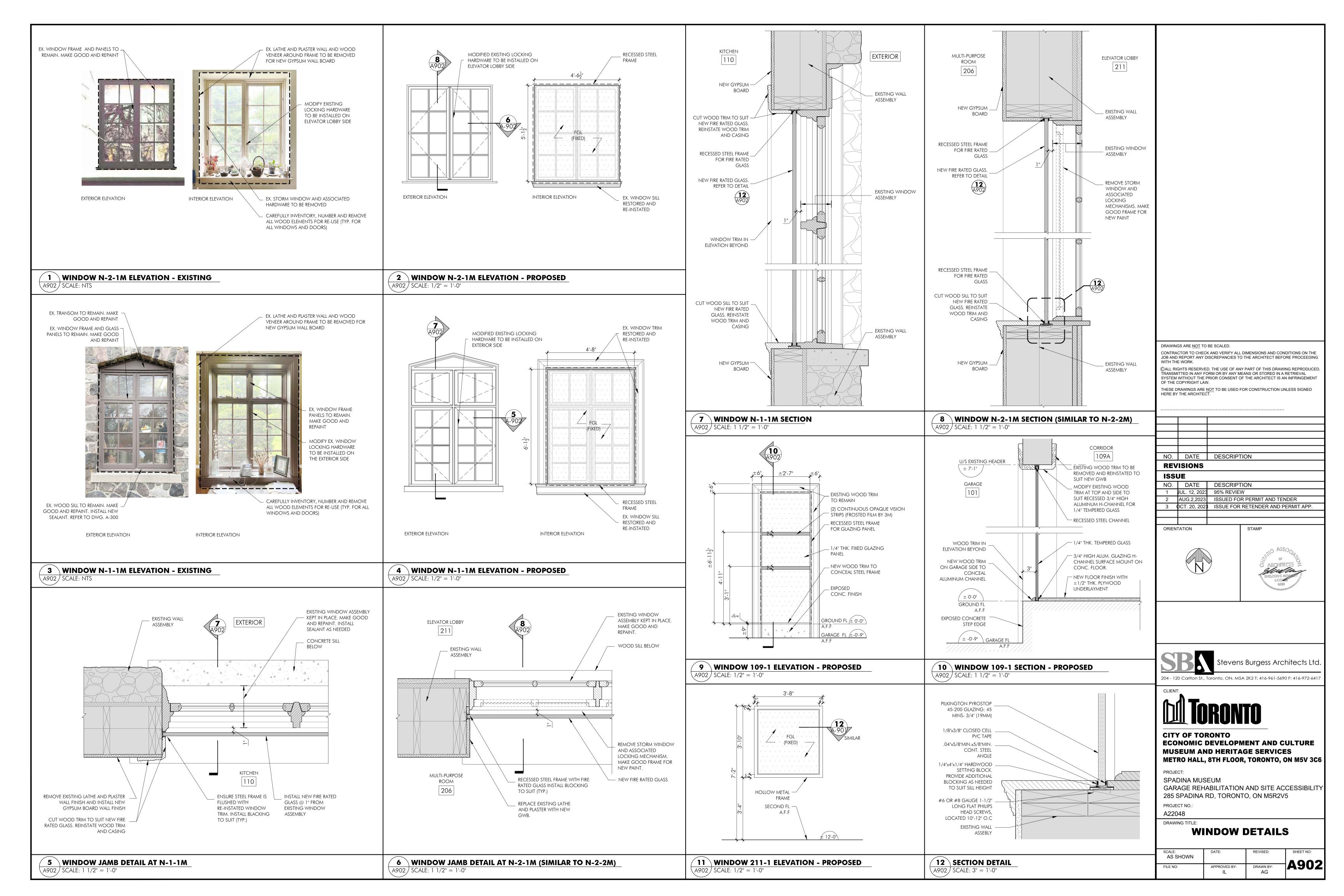
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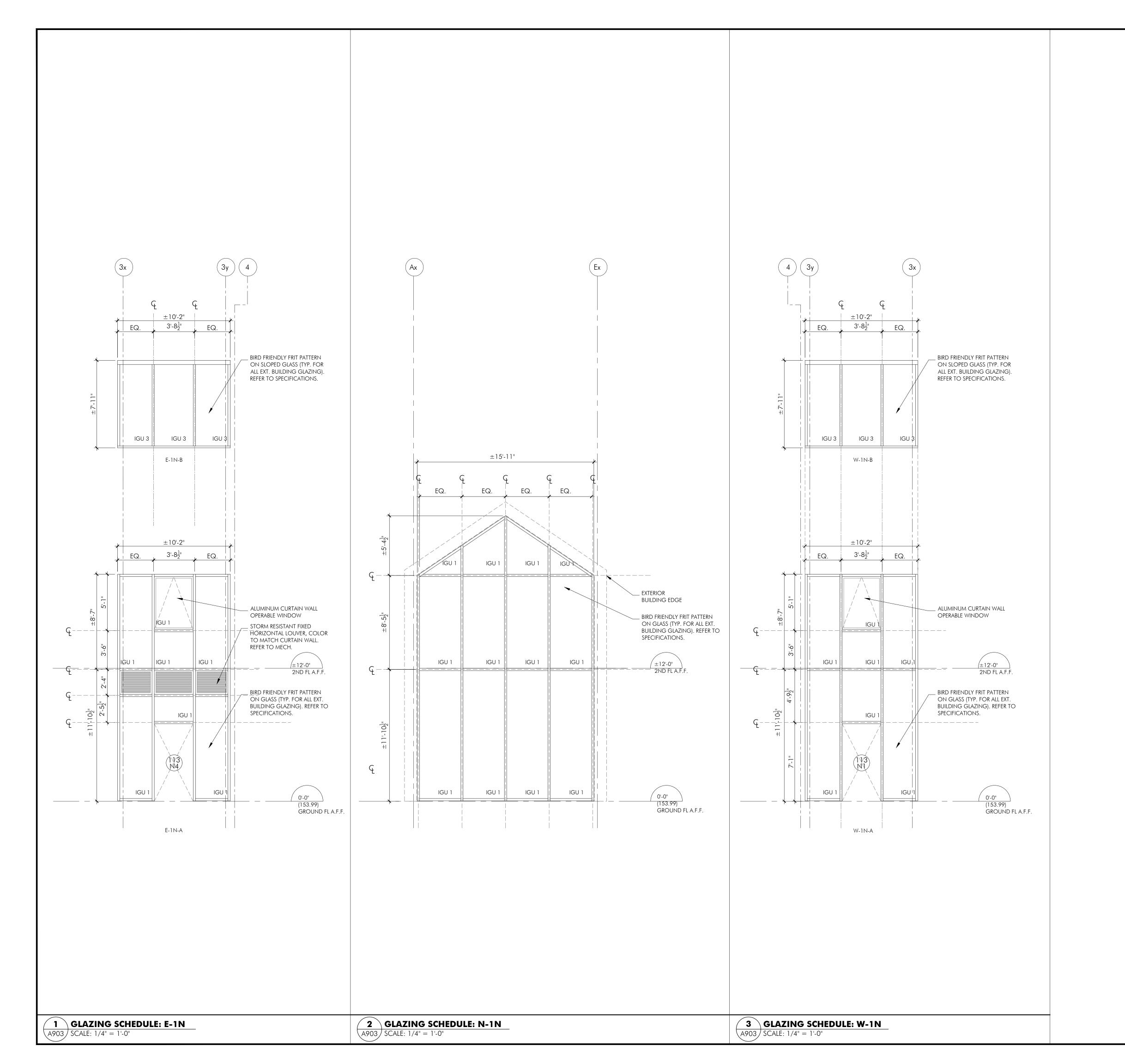
APPROVED BY:

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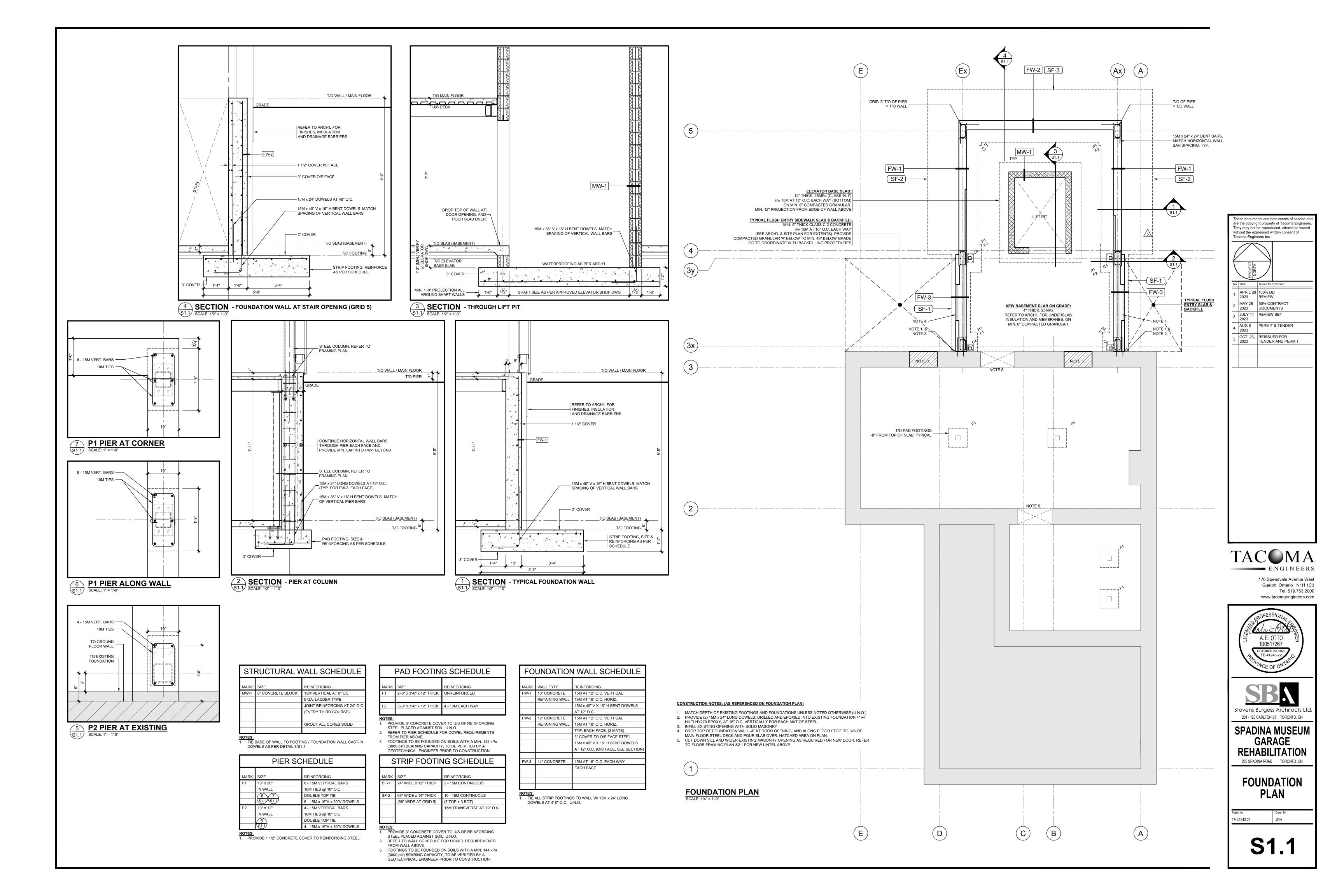
FILE NO:







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CONTRA JOB AND WITH TH ©ALL RI TRANSM SYSTEM OF THE (THESE D) REPORT ANY E WORK. GHTS RESERV IITTED IN ANY F WITHOUT THE COPYRIGHT LA	CK AND VERIFY ALL DISCREPANCIES TO ED. THE USE OF AN FORM OR BY ANY M PRIOR CONSENT O W. <u>NOT</u> TO BE USED F	D THE AF	RCHITECT BEFO OF THIS DRAW R STORED IN A RCHITECT IS A	DRE PROCEEDING ING REPRODUCED, RETRIEVAL N INFRINGEMENT
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ISS NO.	UE DATE	DESCRIPT			
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		Toronto, ON. M5	5A 2K2 T	_	hitects Ltd. 0 F: 416-972-6417
CITY ECO MUS MET PROJE SPAI GAR 285 S PROJE A220	Y OF TO NOMIC SEUM AN RO HALL CT: DINA MUS AGE REH SPADINA SPADINA	DEVELOPI ND HERITA , 8TH FLOO	MEN Age s R, to	SERVICE RONTO, O	ES ON M5V 3C6 CESSIBILITY
DRAWI SCALE:		ZING S -1N,N-1 DATE:	IN,		SHEET NO:
-	SHOWN				A903



CONSTRUCTION NOTES: (AS REFERENCED ON FRAMING PLANS) 1. NEW COMPOSITE FLOOR: 4" CONCRETE SLAB ON 1 1/2" x 22ga. HI-BOND METAL DECK. 2. EXISTING 2x10 AT 16" O.C. CUT JOISTS TO SUIT NEW FLUSH LVL BEAM AND PROVIDE SIMPSON

- STRONG TIE LU210R-18 HANGERS AT EACH JOIST. 3. NEW GLASS FLOOR AND SUPPORTING FRAME, DESIGN BY OTHERS. SUBMIT P.ENG STAMPED SHOP DRAWING FOR REVIEW PRIOR TO FABRICATION. 4. INFILL EXISTING STAIR OPENING w/ FULL LENGTH 2x10 AT 16" O.C. PROVIDE SIMPSON LUS210 METAL JOIST HANGER OR APPROVED EQUIVALENT. 5. STAIRS, LANDINGS, GUARDS AND HANDRAILS BY MISC. METALS FABRICATOR. SUBMIT P.ENG STAMPED DRAWINGS FOR REVIEW PRIOR TO FABRICATION. REFER TO ARCHITECTURAL
- DRAWINGS FOR DESIGN. MINIMUM STRUCTURAL SPECS: 5.1. STRINGERS: HSS 8x4x1/4 (LSV) 5.2. TREADS: 14ga BENT METAL w/ CONCRETE FILL
- 5.3. RISER & GUSSET: 14ga BENT METAL, GUSSET PROFILE TO SUIT DROPPED STRINGER 5.4. LANDINGS: 4" CONCRETE SLAB ON 1 1/2" x 22ga HI-BOND METAL DECK, w/ L4x4x1/4 TRIMMER
- ANGLES. 5.5. SUPPORT LANDINGS ON BUILDING COLUMNS AND ELEVATOR SHAFT WHERE REQUIRED. 5.6. SUPPORT LANDINGS (BASEMENT TO MAIN FLOOR) ON HSS 4x4x1/4 COLUMNS WHERE
- REQUIRED. 6. CURTAIN WALL, BY OTHERS. SUBMIT STAMPED SHOP DRAWINGS
- ROOF GLAZING, BY OTHERS. SUBMIT STAMPED SHOP DRAWINGS 8. STEEL STUD WALLS, BY OTHERS. SUBMIT STAMPED SHOP DRAWINGS 9. 1 1/2" x 22ga. METAL ROOF DECK. (MIN. 3 SPAN CONTINUOUS)
- 10. RESERVED
- 11. L 6x4x1/4 (LSH) TRIMMER ANGLE. SET ANGLE TO SUIT EXPANSION JOINT, REFER TO ARCH'L L4x4x1/4 TRIMMER ANGLE, WELDED TO BEAM BELOW AS PER SHOP DRAWING.
 EXISTING WOOD HEADER & TRIMMERS TO REMAIN, PROVIDE NEW SIMPSON STRONG TIE LU210R-18 JOIST HANGERS TO SUPPORT JOISTS FRAMING INTO HEADER. AND PROVIDE
- SIMPSON STRONG TIE U410R HANGER FROM HEADER TO TRIMMER. 14. MODIFY EXISTING TRIMMER JOISTS TO SUIT NEW OPENING WIDTH, SUCH THAT TRIMMER JOISTS BEAR MIN. 12" FROM EDGE OF NEW OPENING. PROVIDE NEW (2) 2x10 HEADER c/w SIMPSON
- STRONG TIE LUS210-2 EACH END TO TRIMMERS. 15. REINFORCE EXISTING TRIMMER w/ (1) 2x10 SISTER.
- 16. PROVIDE SIMPSON STRONG TIE U410R HANGER TO CONNECT EXISTING TRIMMER TO NEW FLUSH FRAMED LVL FLOOR BEAM.
- 17. L8x6x3/8 ANGLE (LLV) w/ 1/2"Ø THREADED ROD ANCHORS AT 8" O.C. REFER TO DETAIL 2/S3.1 FOR CONNECTIONS. (MIN. 3 ANCHORS PER SECTION OF ANGLE)
- 18. CONT. BENT METAL UPSTAND, REFER TO SECTIONS ON S3.1 FOR PROFILE AT EAVE. 19. BENT METAL UPSTAND TO CAP ELEVATOR WALL & GABLE END OF ROOF. REFER TO SECTION 1/S3.1 FOR PROFILES.

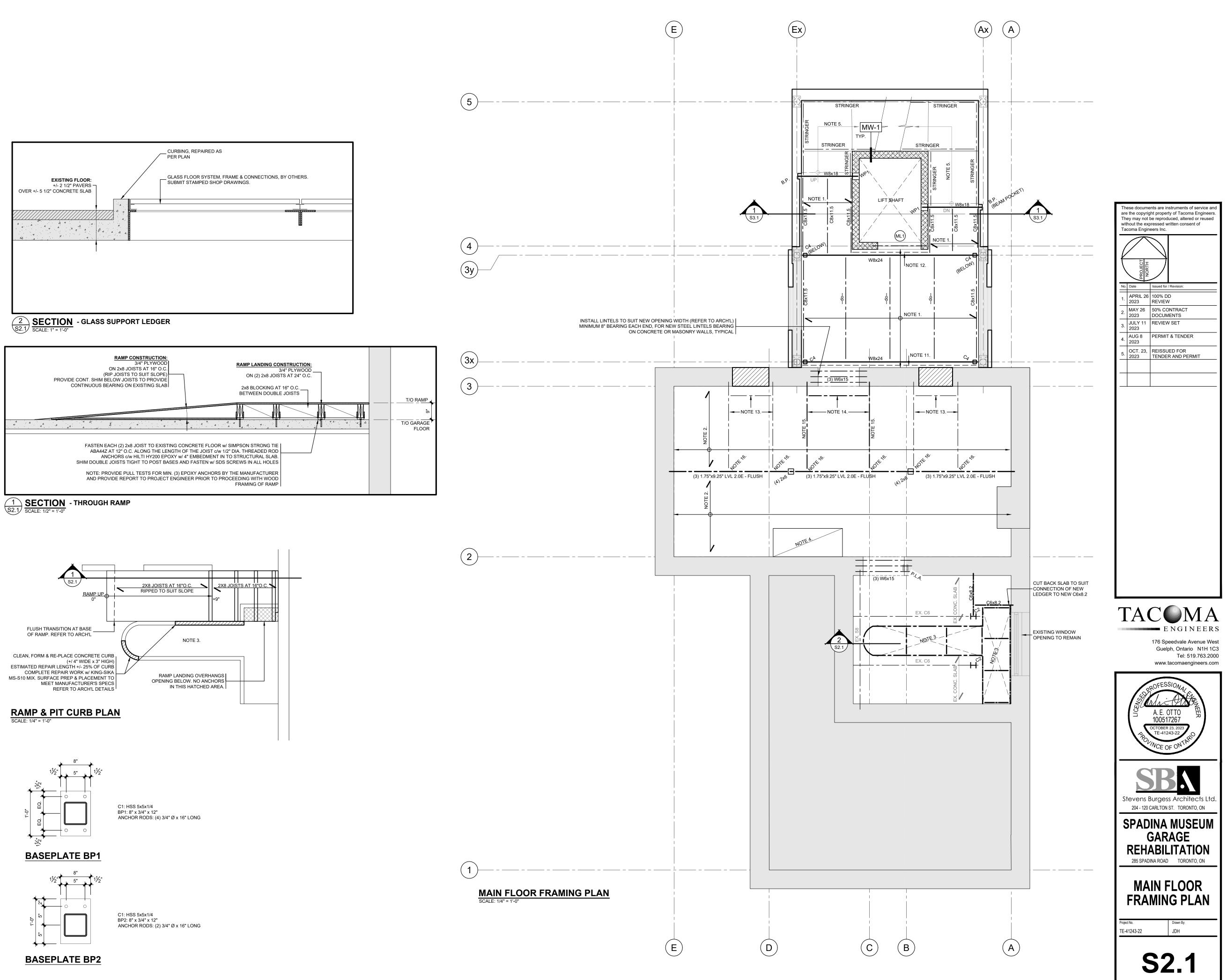
STRUCTURAL WALL SCHEDULE				
SIZE	REINFORCING			
8" CONCRETE BLOCK	15M VERTICAL AT 8" OC.			
	9 GA. LADDER TYPE			
	JOINT REINFORCING AT 24" O.C.			
	(EVERY THIRD COURSE)			
	GROUT ALL CORES SOLID			
	SIZE			

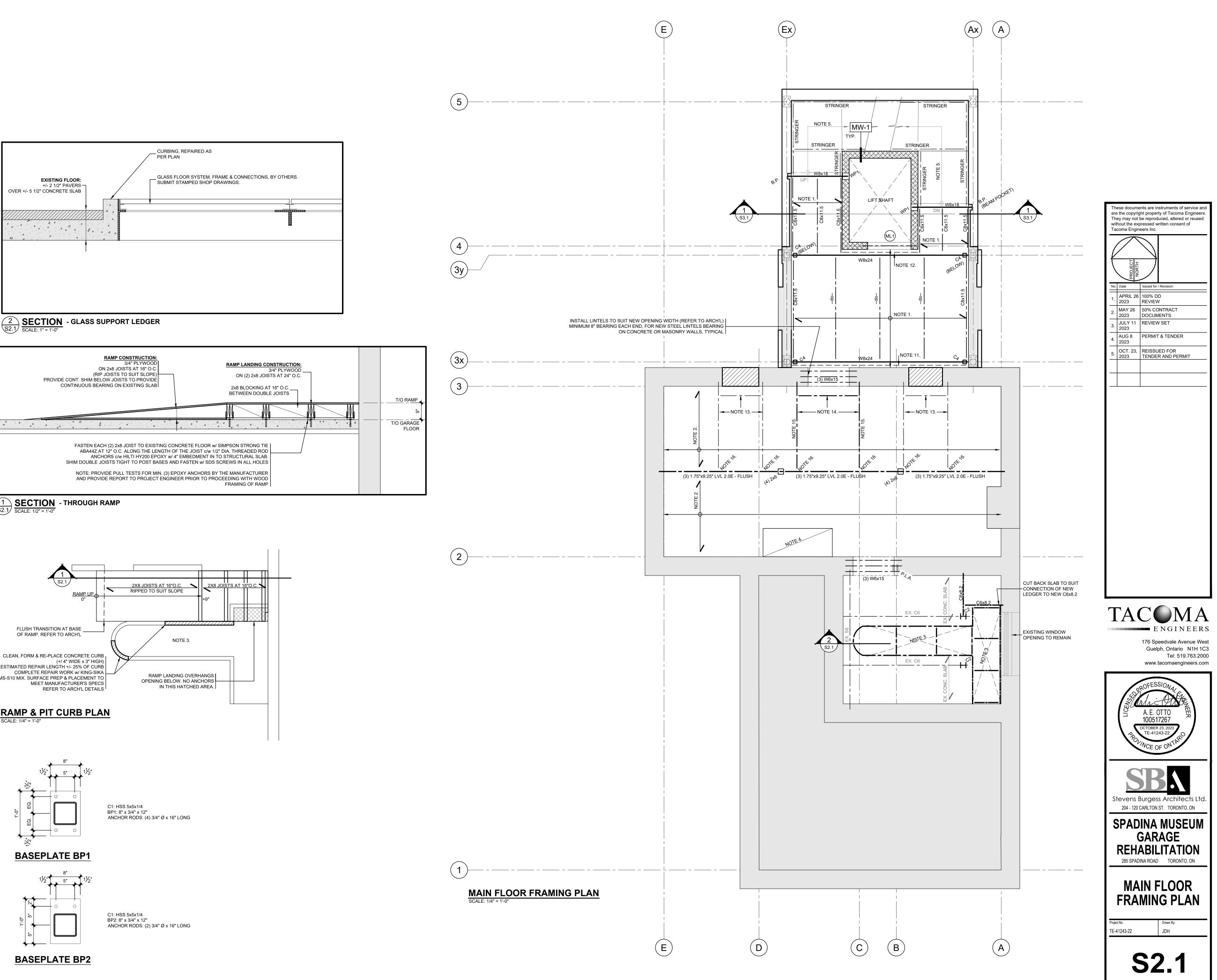
1. TIE BASE OF WALL TO FOOTING / FOUNDATION WALL CAST-IN DOWELS AS PER DETAIL 3/S1.1

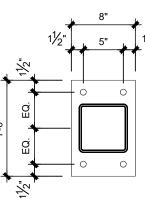
	COLUMN SCHEDULE					
MARK	TYPE	COLUMN SIZE	BASEPLATE SIZE	ANCHOR BOLTS		
C1		HSS 5 x 5 x 1/4	SEE PLAN	SEE PLAN & DETAILS		
C2	I	W6x15	12" x 3/4" x 12"	4 - 3/4" DIA. ANCHOR RODS		
C3						
C4		HSS 4x4x1/4	8" x 3/4" x 12"	4 - 3/4" DIA. ANCHORS		

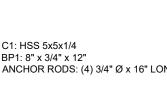
	BLO	CK LIN	ITEL SCHEDULE		
MARK	TYPE	SIZE			
ML1	⊥∟	2 - L 3 1/2 x	2 - L 3 1/2 x 3 1/2 x 1/4		
ML2 NOTES: 1. MIN		TO SUIT W 15M x 12" L 48" OC.	/8" THICK PLATE /ALL THICKNESS & .ONG DOWELS AT EL LINTELS TO BE 8" U.N.O.		
	WA	LL PLA	ATE SCHEDULE		
MARK	SIZE		DOWELS		
WP1	6" x 1/2	" x 6"	1 - 15M x 24" LONG WELDED TO U/S OF PLATE		
NOTES:					

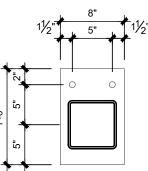
1. GROUT VOIDS SOLID BELOW WALL PLATE. BEAMS TO BEAR FULLY ONTO WALL PLATE.

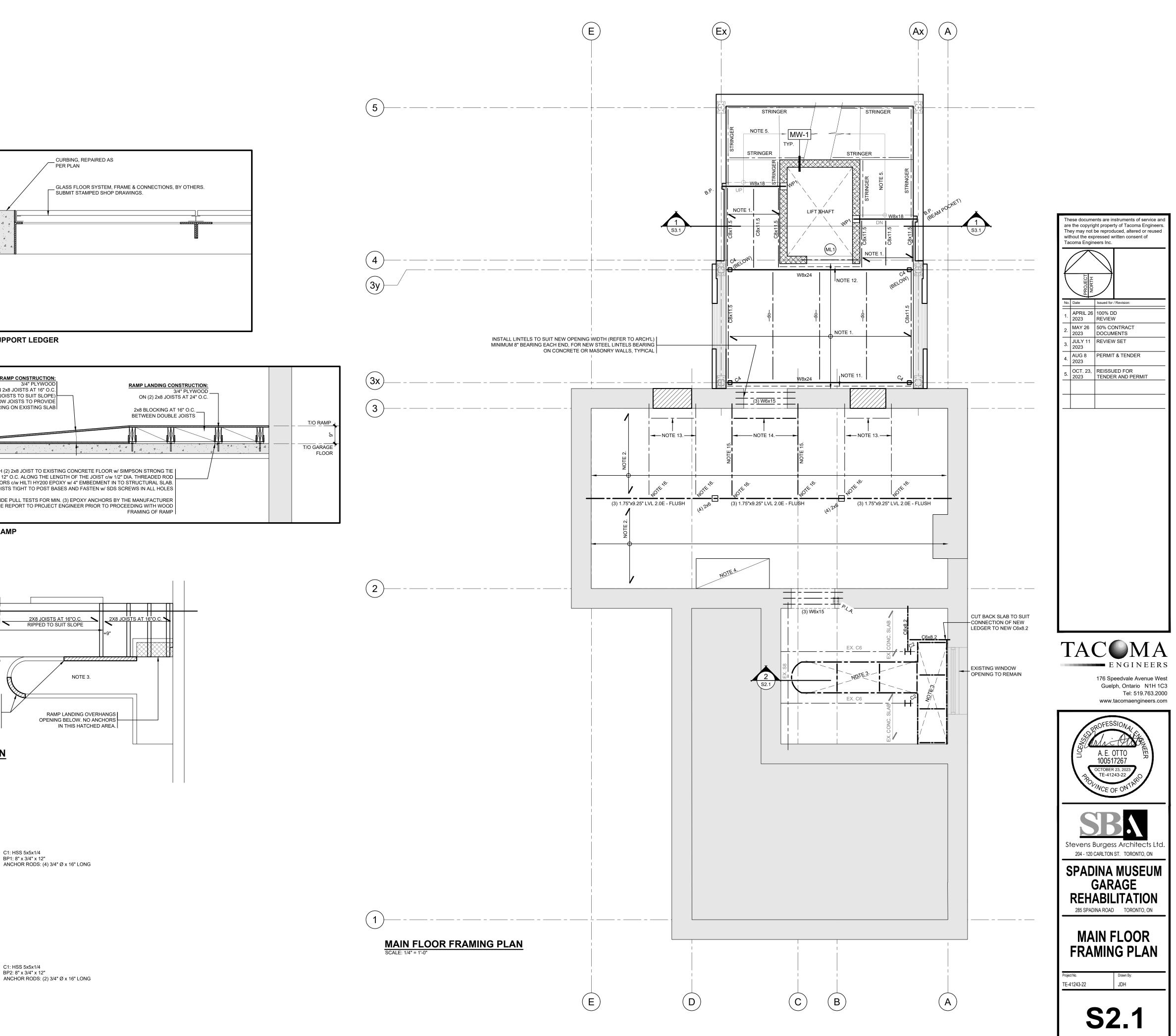


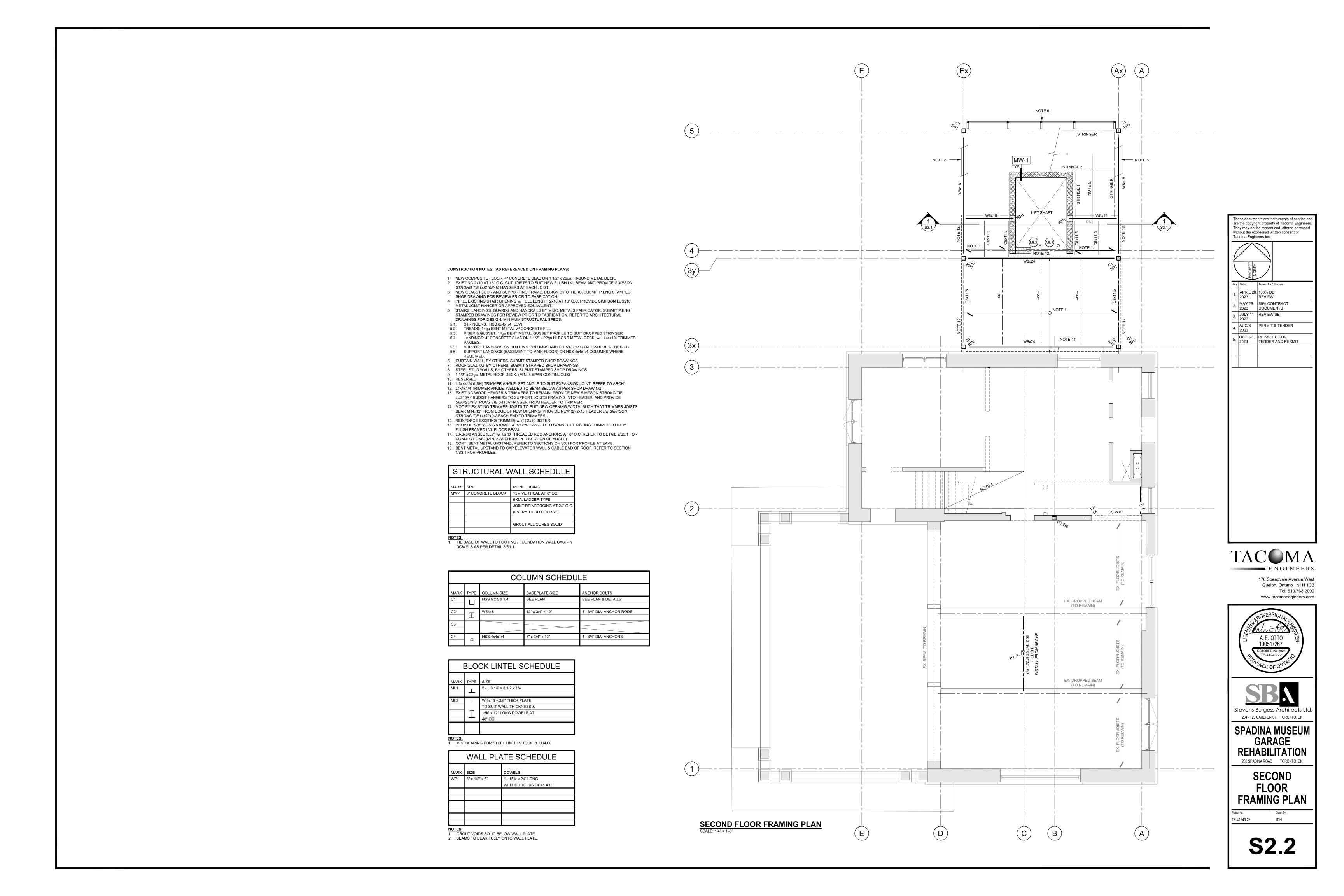


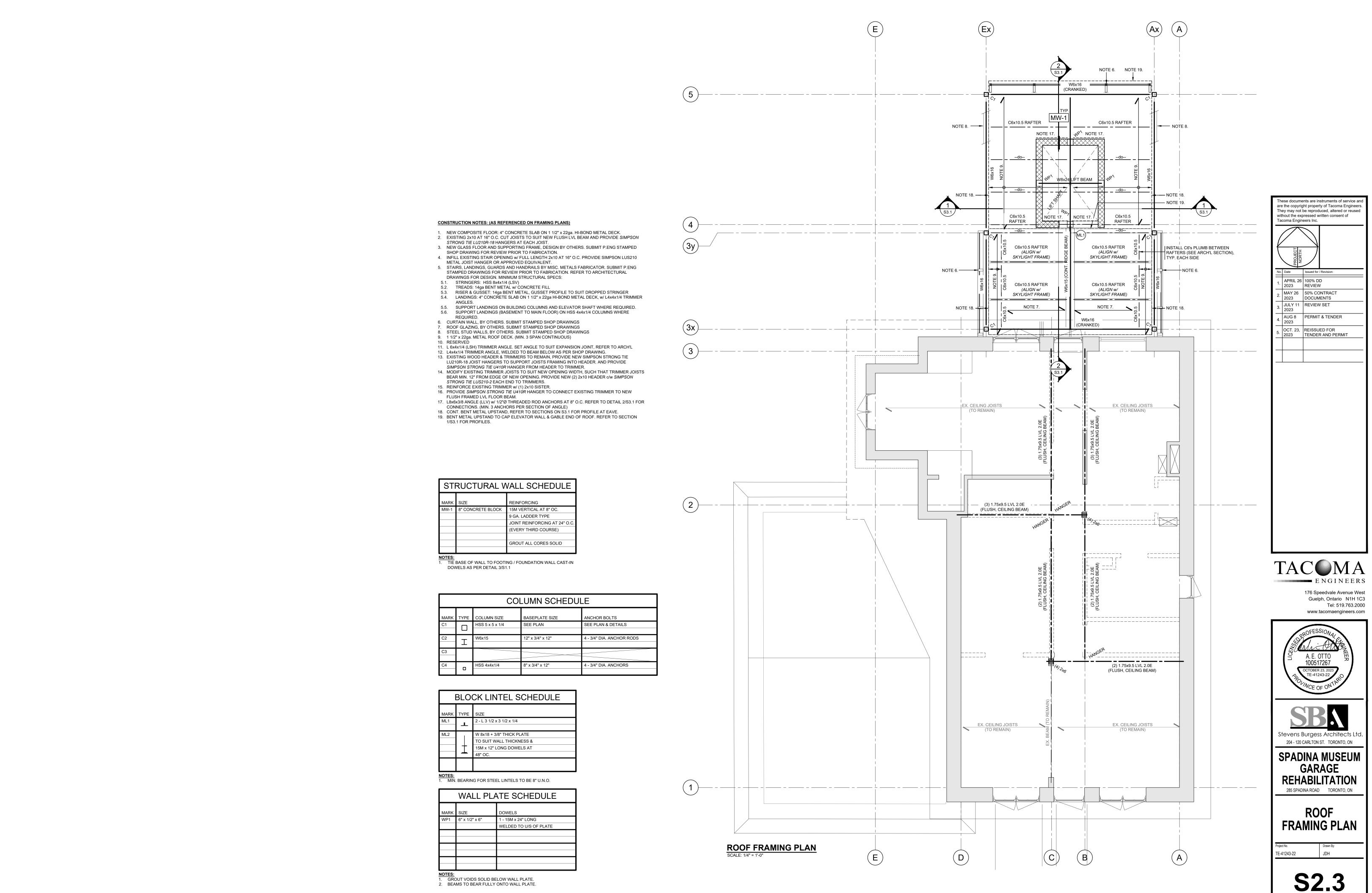


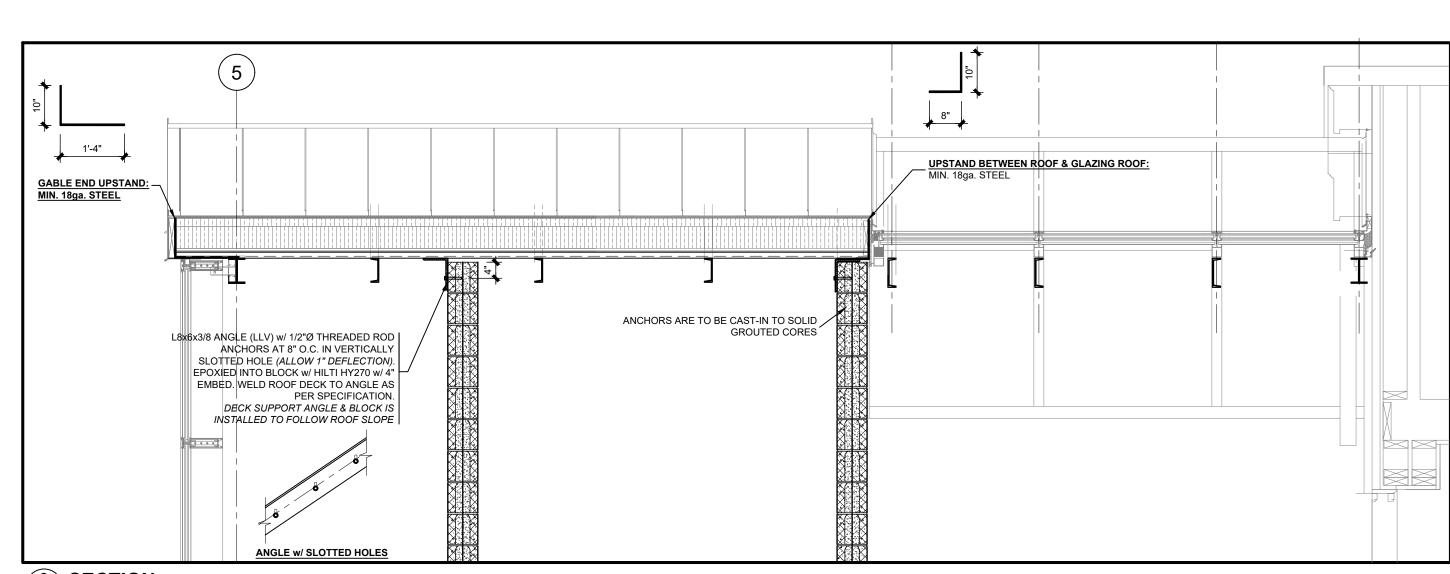


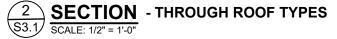




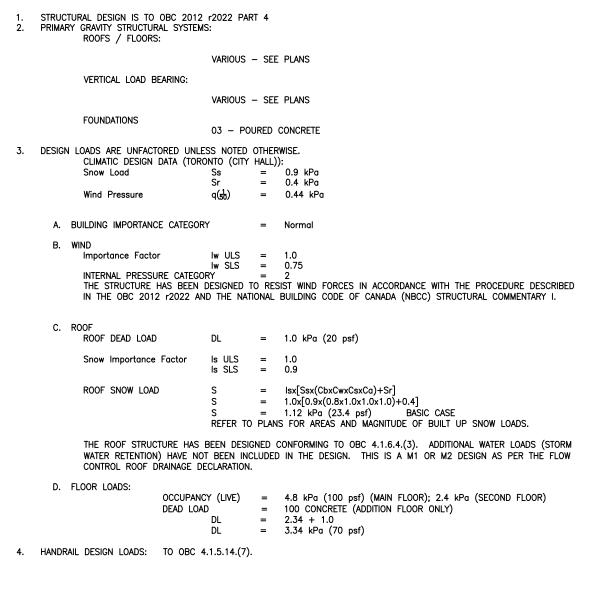








STRUCTURAL DESIGN LOADS:



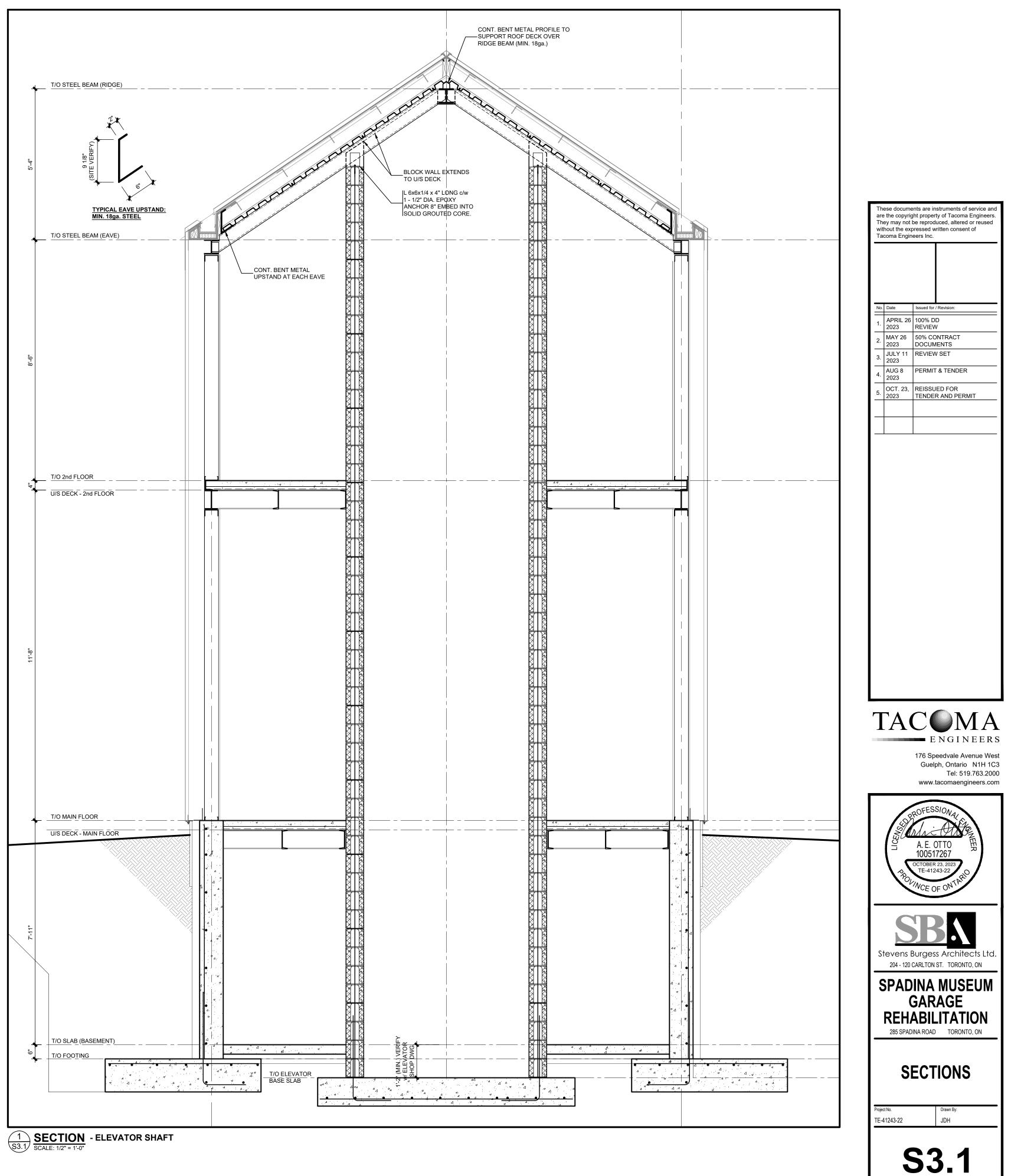
FOUNDATIONS:

- ALL FOOTINGS SHALL BE FOUNDED IN ACCORDANCE WITH RECOMMENDATIONS OF THE GEOTECHNICAL REPORT: NO GEOTECHNICAL REPORT HAS YET BEEN SUPPLIED FOR THIS PROJECT. ALL BEARING PRESSURES HAVE BEEN ASSUMED AND MUST BE VERIFIED ON SITE. PRIOR TO PLACING FOOTINGS [PREFERABLY PRIOR TO COMMENCING CONSTRUCTION].
 DESIGN BEARING PRESSURES ON UNDISTURBED NATIVE SOIL, OR APPROVED ENGINEERED FILL ARE AS FOLLOWS: SLS. kPa (psf) ULS. kPa (psf) LOCATIONS 150 (3000) 225 (4500) ALL FOOTINGS
 SHOULD UNDERGROUND WATER BE ENCOUNTERED, PROVIDE DEWATERING FACILITIES TO KEEP WATER LEVEL BELOW FOOTINGS. REFER TO SOIL ENGINEERS RECOMMENDATIONS FOR REMEDIAL MEASURES.
 LATERAL EARTH PRESSURE FACTORS: DENSITY = 20.4 kN/m3 a = 2.4 kPa or 4.8 kPa or 12.0 kPa (VARIES BY LOCATION)
- q = 2.4 kPa or 4.8 kPa or 12.0 kPa (VARIES BY LOCATION) Ka = 0.50 (FOUNDATION WALLS)
- $K_{d} = 0.35$ (retaining walls and curbs not supported at the top) friction coefficient = 0.35

FOR OTHER PROJECT INFORMATION REFER TO BOUND SPECIFICATIONS. READ IN CONJUNCTION WITH PROJECT DRAWINGS







CITY OF TORONTO SPADINA MUSEUM GARAGE REHABILITATION AND SITE ACCESSIBILITY

CLIENT PROJECT #:A22048 M4S PROJECT #:22626

285 SPADINA ROAD TORONTO, ON M5R 2V5

CONTENT

MECHANICAL DRAWINGS ELECTRICAL DRAWINGS **ISSUED FOR**

ISSUED FOR RE-TENDER/PERMIT ISSUED FOR RE-TENDER/PERMIT



DRAWING LIST				
DWG No.	DESCRIPTION			
CP-000	COVER PAGE AND DRAWING LIST			
M-100	GENERAL NOTES, LEGENDS AND SCHEDULES			
M-101	SCHEDULES			
M-200	BASEMENT- PLUMBING - DEMOLITION			
M-201	BASEMENT - PLUMBING BELOW & ABOVE GRADE - MODIFICATION			
M-202	GROUND FLOOR - PLUMBING - DEMOLITION AND MODIFICATION			
M-203	SECOND FLOOR - PLUMBING - DEMOLITION AND MODIFICATION			
M-300	BASEMENT - HVAC - DEMOLITION AND MODIFICATION			
M-301	GROUND FLOOR - HVAC - DEMOLITION AND MODIFICATION			
M-302	SECOND FLOOR - HVAC - DEMOLITION AND MODIFICATION			
M-303	ATTIC - HVAC - MODIFICATION & BASEMENT MECHANICAL ROOM			
M-500	BASEMENT - HYDRONICS - MODIFICATION			
M-501	GROUND FLOOR - HYDRONICS - MODIFICATION			
M-502	SECOND FLOOR - HYDRONICS - MODIFICATION			
M-800	SCHEMATICS			
M-1000	DETAILS			

DATE

2023/10/20 2023/10/20

KEY PLAN AREA IN CONTRACT

	DRAWING LIST
DWG NO.	DESCRIPTION
E-100	GENERAL NOTES, LEGENDS AND SCHEDULES
E-101	SITE PLAN - ELECTRICAL
E-200	BASEMENT - LIGHTING - DEMOLITION & MODIFICATION
E-201	GROUND FLOOR - LIGHTING - DEMOLITION & MODIFICATION
E-202	SECOND FLOOR - LIGHTING - DEMOLITION & MODIFICATION
E-300	BASEMENT - POWER & SYSTEMS - DEMOLITION & MODIFICATION
E-301	GROUND FLOOR - POWER & SYSTEMS - DEMOLITION & MODIFICATION
E-302	SECOND FLOOR - POWER & SYSTEM - DEMOLITION & MODIFICATION
E-306	ATTIC - POWER & SYSTEMS - MODIFICATION
E-800	LUMINAIRE SCHEDULE
E-801	PANEL SCHEDULES
E-900	SINGLE LINE DIAGRAM
E-1000	DETAILS
E-1001	DETAILS

7 2023/10/20 ISSUED FOR RE-TENDER 2023/10/03 ISSUED FOR ADDENDUM #1 2023/08/04 ISSUED FOR PERMIT/TENDER 4 2023/07/12 ISSUED FOR 95% REVIEW 3 2023/06/02 ISSUED FOR 50% CD REVIEW 2 2023/04/26 ISSUED FOR 100% DD REVIEW 1 2023/04/10 ISSUED FOR 50% REVIEW No. Date Action MAT 4SITE ENGINEERS LTD 620 WILSON AVE., SUITE 3 PHONE: 416-229-6574 , TORONTO, ON. M3K FAX: 416-229-4105 102325

Orientation Project Name and Address: SPADINA MUSEUM GARAGE REHABILITATION AND SITE ACCESSIBILITY 285 SPADINA RD, TORONTO, ON M5R2V5 Drawing title COVER PAGE AND DRAWING LIST roject No. **22626** Scale: N.T.S. Designer:)ate: 2023/01/25 S.N. Checked by: **R.S.** Drawn by: S.N. Drawing file: Client Approval 22626-M Drawing No. Revision No. CP-000 0

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MAT 4SITE ENGINEERS LTD.

I	NTERFERENCES AND	SITE CONSTRAINTS T															_	Q HOSE BIB
4.3. A																	-	FLEX CONNECTION
		CESS AND DELIVERIE ES THAT ARE NOT SH															-	EXPANSION JOINT
																	_	FUNNEL FLOOR DRAIN
																		TEMPERATURE GAUGE
		-					TILATOR SC					 I						
TAC		MODEL		FAN	N МОТО	R (HP)		WINTER	ERMPERATURE	E (°F) SUMMER	WE	IGHT	NOTEC					
TAG	MANUFACTURER	MODEL SYS	EM AIR FLOW (CFM)	E.S.P (IN.)	kW (POWER INPUT)	V/φ/Hz	FILTER	ТЕ	TL	TE	TL (LB)	NOTES					2-WAY CONTROL VALVE
		SUP	340	0.5	0.5	208/1/60	MERV-13	0	51.8	90 7	'9.1		NDOOR USE, TO BE	_				3-WAY CONTROL VALVE
ERV-1	OXYGEN 8	H05 EXHA	JST 340	0.5	0.5	208/1/60	MERV-13	72	20.2	75 8	4		LETE WITH ELECTRIC IEAT AND POST-HEAT				_	3-WAY MIXING VALVE
		SUP	PLY 100	0.75	0.2	120/1/60	MERV-13	_	-	-	-	FOR I	NDOOR USE, HEATING	3			_	
ERV-2	ALDES	E130-HR EXHA	JST 100	0.75	0.2	120/1/60	MERV-13	_	-	-	-	TEMP	01% @32°F OUTSIDE ERATURE, PRE-HEAT POST-HEAT COIL				_	∧ AAV
		SUP	PLY 280	1.1	0.17	208/1/60	MERV-13	0	49.3	90 7	'9.6	FOR I	NDOOR USE, TO BE				_	
ERV-3	OXYGEN 8	SALDA 4X P AI S300 EXHA AI	JST 280	1.1	0.17	208/1/60	MERV-13	72	22.7	75 8	4		LETE WITH ELECTRIC IEAT AND POST-HEAT					AAV X X X X X X X X X X X X X X X X X X
																		PRESSURE GAUGE
				CADA 07		BOILER SCH	IEDULE MAX							-			L	·
TAG	LOCATION	MANUFACTURER	MODEL		OUTPUT	FLUID TYPE	WATER FLOW	ТҮРЕ	WEIGHT (lbs)	DIMENSION L X W X H (in			NOTES					
		PRECISION		RATED KW	(MBH)		(gpm)							_				
B-1	BASEMENT	BOILERS	PCW1-020	20	68	WATER	6.4	ELECTRIC	600	30X20X52	208/3/	60 56		_				
B-2	BASEMENT	PRECISION BOILERS	PCW1-030	30	102	WATER	9.6	ELECTRIC	600	30X20X52	208/3/	60 84						
REFERENC	E NOTES: IC BOILER, TO BE C/V	V CONTROL PANEL																
									CDI	IT SYSTE								
						FAN		ELECTRIC			COOLING	6		HEATING		DIMENSIONS		
TAG	MANUFACTURER	MODEL	LOCATION	REFRIGE	F	X AIR LOW CFM) (in.W		Iz MCA (A) MOP (A)) TOTAL) CAPACITY (MBH)	INDOOR DB/WB (°			INDOOR DB/WB (°F)	OUTDOOR DB/WB (°F)	(WXHXD) (in)	WEIGHT (lbs)	NOTES
CU-1	DAIKIN AC	RXTQ60TAVJUA	OUTSIDE	R410				/1/60 29.1	. 35	(MBH) 57.5	-	-	(МВП) 57	-	(°F) -	35X53X12	225	
CU-2	DAIKIN AC	RXL12QMVJU9A	OUTSIDE	R410	A		208-230/	1/60 13		10.6	-		18	-	_	27x22x11	70	- CONNECTS TO FC-7
FCU-1	DAIKIN AC	FXSQ12TBVJU	ELEVATOR LOB GROUND	BY - R410	A	335 0.0	6 208-230/	/1/60 0.8	15	12	80 / 67	95 / 75	13.5	70 / 60	47 / 43	10X22X32	55	- INCLUDE PROGRAMMABLE THERMOSTAT TO I INSTALLED BY DIV.25.
FCU-2	DAIKIN AC	FXAQ07PVJU	KITCHEN	R410	A	260 -	208-230/	/1/60 0.4	-	7.5	80 / 67	95 / 75	8.5	70 / 70	47 / 43	32X11X10	26	- INCLUDE PROGRAMMABLE THERMOSTAT TO I INSTALLED BY DIV.25. WALL MOUNTED UNIT.
FCU-3	DAIKIN AC	FXAQ07PVJU	BOARD ROC	M R410	A	260 -	208-230/	/1/60 0.4	-	7.5	80 / 67	95 / 75	8.5	70 / 70	47 / 43	32X11X10	26	- INCLUDE PROGRAMMABLE THERMOSTAT TO INSTALLED BY DIV.25. WALL MOUNTED UNIT.
FCU-4	DAIKIN AC	FXAQ18PVJU	GARAGE	R410	A	- 260	208-230/	0.4	15	17.5	80 / 67	95 / 75	20	70 / 70	47 / 43	42X12X10	31	- INCLUDE PROGRAMMABLE THERMOSTAT TO INSTALLED BY DIV.25. WALL MOUNTED UNIT.
FCU-5	DAIKIN AC	FXSQ18TBVJU	ELEVATOR LOE 2ND	BBY - R410	A	- 190		-	15	18	80 / 67	95 / 75		70 / 60	47 / 43	10X40X32	77	- INCLUDE PROGRAMMABLE THERMOSTAT TO INSTALLED BY DIV.25. WALL MOUNTED UNIT.
FCU-6	DAIKIN AC	FXAQ07PVJU	OFFICE	R410	A	260 -	208-230/	0.4	-	7.5	80 / 67	95 / 75	8.5	70 / 70	47 / 43	32X11X10	26	- INCLUDE PROGRAMMABLE THERMOSTAT TO INSTALLED BY DIV.25. WALL MOUNTED UNIT. - INCLUDE PROGRAMMABLE THERMOSTAT TO
FCU-7	DAIKIN AC	FTX12NMVJUA	ELEVATOR MACHINE RO		A	- 134	208-230/	1/60 13	-	10.6	80 / 67	95 / 75	13.4	70 / 60	47 / 43	30X11X10	18	INSTALLED BY DIV.25. WALL MOUNTED UNIT. CONNECTS TO CU-2
SYSTEM T REFRIGER CONDENS SPLIT SYS INDOOR I	TO BE C/W REFRIGER RANT PIPES SHALL BE BING UNIT (CU-1 & CU STEM SHALL BE C/W I JNITS SHALL BE SUPI	CE ONLY, SUITABLE (ANT LINE SET, INSUL SIZED BY CERTIFIED J-2) TO BE PAD MOUI R-410A REFRIGERANT PLIED WITH FACTORY WERED BY INDOOR U	ATION AND ALL AC REFRIGERANT TE ITED. MAINTAIN A , ADJUSTABLE ES BUILT IN FILTER S	CESSORIES REC CHNICIAN IN AC LL REQUIRED CL P, BUILT-IN HIG	QUIRED FOR CCORDANCE LEARANCES. GH PERFORM	DISTRIBUTION. WITH MANUFAC ANCE DRAIN PU	TURER GUIDELI MP, REFRIGERAN SS REMOTE.	NES;		APACITY TO BE	E RATED FOR -							
												MOTOR						
				IODEL	VFD	FLUID TYPE	WEIGHT (LBS)	FLOW (GPM)	HEAD (FT)	FLANGE (IN)	RPM		VOLTAGE NOT (V/\$\phi)	ES				
TAG	SYSTEM	MANUFACTU	RER N	IODEL									(¥/ Ψ/ * * [∠] /					
TAG	SYSTEM	MANUFACTU	RER						I		I			1				
TAG P-1	DHWR RECIRCULATION	MANUFACTU BELL & GOSS		IRC 20-18	N	WATER	-	4	10	1	1725	1/2	208/1/60 - 1					
P-1	DHWR RECIRCULATION PUMP	BELL & GOSS	ETT ECOC	IRC 20-18														
P-1 P-2	DHWR RECIRCULATION PUMP HYDRONIC HEATIN PUMP	BELL & GOSS	ETT ECOC	IRC 20-18 RC XL 55-45	N	WATER	30	4	10 26	1-1/2	1725	1/2	208/1/60					
P-1 P-2 S-2 REFERENC	DHWR RECIRCULATION PUMP HYDRONIC HEATIN PUMP SUMP PIT PUMP E NOTES:	IG BELL & GOSS	ETT ECOCI ETT ECOCI 1PS 280	IRC 20-18 RC XL 55-45 SERIES	N						1725	1/2						
P-1 P-2 S-2 REFERENC C/W ALI	DHWR RECIRCULATION PUMP HYDRONIC HEATIN PUMP SUMP PIT PUMP E NOTES: REQUIRED VALVES /	BELL & GOSS	ETT ECOCI ETT ECOCI 1PS 280	IRC 20-18 RC XL 55-45 SERIES	N	WATER	30			1-1/2	1725	1/2	208/1/60					
P-1 P-2 S-2 REFERENC	DHWR RECIRCULATION PUMP HYDRONIC HEATIN PUMP SUMP PIT PUMP E NOTES: REQUIRED VALVES /	BELL & GOSS BELL & GOSS LIBERTY PU	ETT ECOCI ETT ECOCI 1PS 280	IRC 20-18 RC XL 55-45 SERIES ED FOR POTABL	N N E WATER.	WATER WATER	30 30	- -		1-1/2	1725	1/2	208/1/60					
P-1 P-2 S-2 REFERENC L. C/W ALL 2. SUMP PI	DHWR RECIRCULATION PUMP HYDRONIC HEATIN PUMP SUMP PIT PUMP E NOTES: REQUIRED VALVES / UMP TO BE EQUIPPED	BELL & GOSS BELL & GOSS LIBERTY PUI AND FITTINGS. PUMP WITH FLOAT ALARM	ETT ECOCI ETT ECOCI 1PS 280 SHALL BE APPROV	IRC 20-18 RC XL 55-45 SERIES ED FOR POTABL	N N E WATER. DOMEST CAPACIT	WATER WATER IC HOT WAT	30 30 TER TANK SC	16 -	26	- 1-1/2 1-1/2 HEIGHT	1725 3600 DIAMETER	1/2	208/1/60 115/1/60 - 2					
P-1 P-2 S-2 REFERENC L. C/W ALI	DHWR RECIRCULATION PUMP HYDRONIC HEATIN PUMP SUMP PIT PUMP E NOTES: REQUIRED VALVES / UMP TO BE EQUIPPED	BELL & GOSS IG BELL & GOSS LIBERTY PU	ETT ECOCI ETT ECOCI 1PS 280 SHALL BE APPROV	IRC 20-18 RC XL 55-45 SERIES ED FOR POTABL	N N E WATER.	WATER WATER IC HOT WAT	30 30 TER TANK SC	16 -		1-1/2 1-1/2	1725 3600	1/2	208/1/60					

4. SITE CONDITIONS 4.1. EXAMINE SITE CONDITIONS TO ENSURE THAT WORK CAN BE SATISFACTORILY CARRIED OUT AS SHOWN. IF SITE EXAMINATION REVEALS ANY DIFFICULTIES THAT WILL PREVENT THE WORK FROM BEING CARRIED OUT AS DESIGNED THESE MUST BE INDICATED IN THE TENDER PRICE, AND BROUGHT TO THE ATTENTION OF THE ENGINEER.

2.1. FURNISH ALL LABOUR, MATERIALS, EQUIPMENT, TOOLS AND SUPPORTS AS WELL AS SUPERVISION

2.2. THE CONTRACTOR SHALL PERFORM THE WORK STIPULATED IN THE CONTRACT AND ANY OR ALL

CONTRACT CHANGES AND CHANGE DIRECTIVES, AND SHALL FURNISH, UNLESS OTHERWISE PROVIDED IN THE CONTRACT, EVERYTHING NECESSARY FOR THE PROPER PERFORMANCE AND

2.3. ALL WORK SHALL BE FULLY TESTED, COMMISSIONED AND IN GOOD WORKING ORDER AT TIME OF

2.4. MAKE GOOD ANY DAMAGES TO EXISTING EQUIPMENT AND/OR SYSTEM(S). COORDINATE WORK AND

2.5. ALL WORK SHALL BE COMPLETED ONCE ADEQUATE PROTECTION OF ADJACENT SPACES HAS BEEN

2.6. PROVIDE CAULKING AND FIRESTOPPING FOR ALL MECHANICAL SERVICES PASSING THROUGH FIRE

2.7. FOR EQUIPMENT PERFORMANCE AND CONSTRUCTION. REFER TO SCHEDULES AND SPECIFICATIONS.

2.8. FOR EQUIPMENT INSTALLATION. REFER TO DETAILS, SPECIFICATIONS AND MANUFACTURER'S

3.2. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL CONFIRM ALL DIMENSIONS BY FIELD MEASURE

3.4. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK BEGINS AND

ALL ASSOCIATED COSTS RESULTING FROM ANY REWORK CAUSED BY NOT FOLLOWING THIS

BEFORE ANY MATERIAL/EQUIPMENT IS ORDERED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR

3.3. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING POSSIBLE INTERFERENCES AND

WORKING HOURS WITH THE OWNER AND OTHER TRADES TO MINIMIZE DISRUPTION.

INSTALLED. CONTRACTOR TO ENSURE MINIMAL DUST CREATION DURING WORK.

3.1. DRAWINGS SHOW GENERAL INTENT OF THE WORK AND PROPOSED ROUTING ONLY.

SEPARATIONS AS INDICATED ON THE ARCHITECTURAL LAYOUT.

INFORMING THE ENGINEER PRIOR TO STARTING ANY WORK.

RECOMMENDATIONS FOR MORE INFORMATION.

BEFORE PROCEEDING WITH THE WORK.

TO PROVIDE A COMPLETE INSTALLATION, TESTED AND IN WORKING ORDER, AS SHOWN ON THE

GENERAL NOTES:

3. DRAWINGS

PROCESS.

2. GENERAL SCOPE OF WORK

DRAWINGS.

1. THESE GENERAL NOTES APPLY TO ALL DRAWINGS.

COMPLETION OF THE WORK.

HAND-OVER TO OWNER.

- 4.2. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY ADDITIONAL DIFFICULTIES,

- INTERFERENCES AND SITE CONSTRAINTS THAT MAY BE IDENTIFIED DURING THE CONSTRUCTION

5. CLEANING 5.1. CLEAN PREMISES DAILY AT THE END OF EACH 5.2. DO NOT ACCUMULATE EQUIPMENT, TOOLS, DE FROM SITE DAILY. 5.3. COMPLETELY REMOVE ALL DEBRIS AND RUBBI 5.4. ALL MATERIALS TO BE DISPOSED OF CONSTRU REGULATIONS. 6. EXISTING EQUIPMENT AND SYSTEMS 6.1. DISCONNECT, RECONNECT OR RELOCATE EXIS AS REQUIRED TO PERMIT NEW WORK TO BE I REQUIRED SERVICES ARE MAINTAINED. 6.2. COORDINATE WITH THE OWNER BEFORE INTE

- 6.3. ROUTING OF NEW SERVICES MAY BE ADJUSTE CONDITIONS PROVIDED THAT THE INTENT OF STANDARDS ARE MAINTAINED.
- 6.4. PROVIDE DRAWINGS OF PROPOSED REVISION
- 6.5. 6.6. 6.7.
- 6.8.

7. OPEN FLAMES AND WELDING

7.1. NO OPEN FLAMES OR WELDING IS PERMITTED WITHIN THE BUILDING WITHOUT WRITTEN PERMISSION BY THE OWNER AND/OR THE ENGINEER. 7.2. HOT WORK PERMIT MUST BE VISIBLE AT ALL TIMES.

ANY WORK. INCORPORATE ALL CHANGES I
COORDINATE ALL ROUTING CHANGES WIT
ENGINEER TO BE ADVISED PRIOR TO CHAN
THE CONTRACTOR IS TO TAKE EXTRA CARI
OPERATIONS OF THE COMPLEX. IT IS CRIT
SHUTDOWNS OR INTERRUPTIONS OF ANY
ALL ASSOCIATED COSTS OF THESE ITEMS
CONTRACTOR.

7.3. ADEQUATE NUMBER OF FIRE EXTINGUISHERS MUST BE PROVIDED DURING THE OPEN FLAME PROCESS.

GENERAL NOTES:

R	AL NOTES:
	DEMOLITION/CONSTRUCTION SHALL BE VERIFIED BY THE CONTRACTOR AS TO THE SOURCE AND ROUTING AND SHALL BE REPORTED TO THE CONSULTANT WITH PROPOSED RESOLUTIONS.
LE	ANING
	CLEAN PREMISES DAILY AT THE END OF EACH WORK DAY.
	DO NOT ACCUMULATE EQUIPMENT, TOOLS, DEBRIS AND WASTE MATERIALS ON SITE. REMOVE FROM SITE DAILY.
	COMPLETELY REMOVE ALL DEBRIS AND RUBBISH FROM SPACE ONCE WORK IS COMPLETE.
	ALL MATERIALS TO BE DISPOSED OF CONSTRUCTION SITE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
	REGULATIONS.
XI	STING EQUIPMENT AND SYSTEMS
	DISCONNECT, RECONNECT OR RELOCATE EXISTING EQUIPMENT OR SERVICES WHERE SHOWN OR
	AS REQUIRED TO PERMIT NEW WORK TO BE INSTALLED WITHOUT INTERFERENCES. ENSURE THAT
	REQUIRED SERVICES ARE MAINTAINED.
	COORDINATE WITH THE OWNER BEFORE INTERRUPTING ANY ESSENTIAL SERVICES.
	ROUTING OF NEW SERVICES MAY BE ADJUSTED TO ACCOMMODATE EXISTING SERVICES AND
	CONDITIONS PROVIDED THAT THE INTENT OF THE DRAWINGS IS MET AND THE ORIGINAL
	STANDARDS ARE MAINTAINED.
	PROVIDE DRAWINGS OF PROPOSED REVISIONS TO ENGINEER FOR APPROVAL BEFORE BEGINNING
	ANY WORK. INCORPORATE ALL CHANGES IN AS BUILT DRAWINGS.
	COORDINATE ALL ROUTING CHANGES WITH OTHER TRADES THAT MAY BE AFFECTED.
	ENGINEER TO BE ADVISED PRIOR TO CHANGES WHERE CHANGES COULD BE SIGNIFICANT.
	THE CONTRACTOR IS TO TAKE EXTRA CARE DURING THIS INSTALLATION NOT TO DISTURB THE

ARE DURING THIS INSTALLATION NOT TO DISTURB THE ATTICAL THAT THERE WILL BE NO UNSCHEDULED Y OPERATIONS. S LISTED ABOVE WILL THE RESPONSIBILITY OF THE

VAI	LVES & ACCESSORIES LEGEND			HVAC LEGEND
SYMBOL	DESCRIPTION	SYM	1BOL	DESCRIPTION
	SATE VALVE		$\langle \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \$	FLEX DUCT
	ALL VALVE		/	
B	ALANCING VALVE			
	SUTTERFLY VALVE		. ``	CONTROL WIRE
	CHECK VALVE		<u> </u>	PIPE BREAK
	ACK WATER PREVENTION VALVE ASSEMBLY		E	САР
Y Y	Ź-STRAINER			FLOW ARROW
· · ·	GLOBE VALVE	(T	THERMOSTAT
S S	OLENOID VALVE	~	L 	AIR FLOW ARROW
FD F	LOOR DRAIN		\triangleleft	SUPPLY DUCT - UP
F	UNNEL FLOOR DRAIN		×	SUPPLY DUCT - DOWN
۲ P	-TRAP			RETURN DUCT - UP
C	CLEANOUT		/	RETURN DUCT - DOWN
0I C	CLEANOUT - UPRIGHT			
(M) v	VATER METER		\leq	EXHAUST DUCT - UP
GGG	GAS METER			EXHAUST DUCT - DOWN
<u>√</u> P	LUG VALVE COCK			FLEX DUCT CONNECTION
В	ACKWATER VALVE		>	DUCT REDUCER
	IOSE BIB	Г		BALANCING DAMPER
F	LEX CONNECTION		BDD	BACK DRAFT DAMPER
	XPANSION JOINT			FIRE DAMPER
F	UNNEL FLOOR DRAIN			
I				ABBREVIATIONS
П т	EMPERATURE GAUGE	ABB.		DESCRIPTION
P	RESSURE REDUCING VALVE	ABV	AUTOMATI	C BALANCING VALVE
P	RESSURE RELIEF VALVE	AFF BAS		IISHED FLOOR AUTOMATION SYSTEM
2	-WAY CONTROL VALVE - DDC	BDD		FT DAMPER
	-WAY CONTROL VALVE - DDC	BFP	BACK FLOW	V PREVENTOR
		CBV	CIRCUIT B	ALANCING VALVE
[™] 3	-WAY MIXING VALVE	СТЕ	CONNECT	TO EXISTING
Τ_	HERMOSTATIC MIXING VALVE	CO DCW		COLD WATER
		DHW		HOT WATER
AAV X A	UTOMATIC AIR VENT	DHWR		HOT WATER RETURN
AV X M	IANUAL AIR VENT	FD	FLOOR DR	AIN
⊖ P		FF	FINISHED	
ΎΡ	RESSURE GAUGE	FFD		OOR DRAIN
		HUM NO / NC	HUMIDIFIE	COPEN / NORMALLY CLOSED
		SD	SCUPPER D	
		SFI		W INDICATOR
		TDV	TRIPLE DU	
		ТҮР	TYPICAL	
		VFD		FREQUENCY DRIVE

PLUMBING LEGEND							
SYMBOL	DESCRIPTION						
	DOMESTIC COLD WATER						
	DOMESTIC HOT WATER						
	DOMESTIC HOT WATER RETURN						
— SAN —	SANITARY						
SAN	SANITARY - BELOW						
— ST —	STORM						
— – ST – —	STORM - BELOW						
	VENT						
⊂ _{FD}	FLOOR DRAIN						
Ŷ	P-TRAP						

G	ENERAL & ANNOTATION LEGEND
SYMBOL	DESCRIPTION
	NEW WORK
	EXISTING TO REMAIN
X	EXISTING TO BE DEMOLISHED
—0—	PIPE RISE
—C—	PIPE DROP
	PIPE TEE
	PIPE BREAK
E	САР
— —	UNION
	FLANGE CONNECTION
	РИМР
	FLOW ARROW
\boxtimes	GATE VALVE
XX-Y	EQUIPMENT TAG
X Y ZØ	
X@Y% SLOPE	PIPE SLOPE ARROW X = PIPE DIAMETER (in) Y = SLOPE %

_				
CO) NOT SCALE DRAW NTRACTOR MUST V ANY ERRORS OR	ERIFY ALL DIM	ENSIONS	5 AND ADVISE CONSULTANTS
NC IMF) VARIATIONS OR M PLEMENTED WITHOU	IODIFICATIONS IT PRIOR WRIT	TEN APP	K SHOWN SHALL BE ROVAL. RE SUPERSEDED BY THE
LA ⁻ AL	TEST REVISION.	SPECIFICATIONS		N THE PROPERTY OF
		S LID.		
7	2023/10/20	PERMIT	FOR	RE-TENDER/
6	2023/10/03	ISSUED	FOR	ADDENDUM #1
5	2023/08/04	ISSUED	FOR	PERMIT/TENDER
4	2023/07/12	ISSUED	FOR	95% REVIEW
3				50% CD REVIEW
2				100% DD REVIEW
1			FOR	50% REVIEW
No.	Date	Action		
			SITE	ENGINEERS LTD.
	SIE	620 WILSON PHONE: 416	I AVE., 9 -229-6574	SUITE 320, TORONTO, ON. M3K 1Z3 4 FAX: 416-229-4105
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						EX	HAUST F	AN SCHED	JLE			
					WEIGHT		AN RMANCE	DIMENSION	MOTOR			
TAG	LOCATION	MANUFACTURER	MODEL	QTY	(lbs)	FLOW (CFM)	ESP (in.W.C.)	WXHXD (in)	RPM	WATTS	VOLTAGE (V/φ/Hz)	REMARKS
DB-1	BASEMENT	CONTINENTAL FAN	DVK100B	1	8	140	0.2	9.5"Ø"x8.3"	2620	83.4	115/1/60	TO BE INTERLOCKED WITH DRYER OPERATION VIA CURRENT SENSOR (120 VAC) AND LINT TRAP UPSTREAM OF THE BOOSTER FAN.

		ELECT	RIC DUCT HEA	FER SCHEDULE			
TAG	LOCATION	EQUIPMENT PAIRING	MODEL	CAPACITY (kW)	DIMENSION W X H X D (in)	ELECTRICAL (V/φ/Hz)	NOTES
EDH-1	ATTIC SPACE	ERV-1	IDHE	0.5	-	208/1/60	- 1,2,3
EDH-2	ATTIC SPACE	ERV-1	IDHE	2.3	-	208/1/60	- 1,2,4
EDH-3	BASEMENT	ERV-2	IDHE	1.2	-	208/1/60	- 1,2,4
EDH-4	BASEMENT	ERV-2	IDHE	0.4	-	208/1/60	- 1,2,4
EDH-5	GROUND FLOOR	ERV-3	IDHE	0.35	-	208/1/60	- 1,2,4
EDH-6	GROUND FLOOR	ERV-3	IDHE	2.1	-	208/1/60	- 1,2,4

REFERENCE NOTES: 1. COMPLETE WITH CONTROL WIRING AND INTERLOCK WITH THERMOSTAT. 2. SLIP IN HEATER C/W AIRFLOW SWITCH WIRED TO DISABLE ON NO AIR FLOW. 3. PRE-HEAT COIL, TO HAVE SEPARATE ELECTRICAL CONNECTION

BASEBOARD HEATER SCHEDULE

TAG	LOCATION	MODEL	CAPACITY (kW)	DIMENSION L X W X H (in)	VOLTAGE (V)	WEIGHT (lbs)	NOTES
BBH-1	SEE LAYOUT	ALUX309078	1	47-1/4 X 2-1/32 X 4-17/32	120	14	-1,2,3,4
BBH-2	SEE LAYOUT	ALUX306058	0.5	23-5/8 X 2-1/32 X 4-17/32	120	9	-1,2,3,4
BBH-3	SEE LAYOUT	ALUX312108	0.75	35-7/16 X 2-1/32 X 4-17/32	120	17	-1,2,3,4
BBH-4	ATTIC	STELPRO BRAVA 1508	1.5	66-1/4 X 2-9/16 X 5-7/8	208	16	-1,3,4,5
	NOTES: ON BASED ON MANU	,	·	- -			·

2. COMPLETE WITH WALL-MOUNT THERMOSTAT;
 3. POWER REQUIREMENTS TO BE CONFIRMED WITH ELECTRICAL TRADE;
 4. REFER TO ARCHITECTURAL DRAWINGS FOR COLOUR.
 5. COMPLETE WITH EQUIPMENT MOUNTED THERMOSTAT

			DIF	FUSER, GRI	LLE, REGISTER AN	ID LOUVRE SCHEDULE
TAG	MANUFACTURER	MODEL	SERVICE	MOUNTING	COLOUR	NOTES
S1	E.H. PRICE	520	S/A	SEE LAYOUT	MATCH PAINTED WALL COLOUR	LOUVERED S/A GRILLE, DOUBLE DEFLECTION, 0° DEFLECTION, STE BARS PARALLEL TO LONG DIM. POWDER COAT FIN.
S2	E.H. PRICE	SPD	S/A	DRYWALL	MATCH PAINTED WALL COLOUR	12"x12" SQUARE PLAQUE DIFFUSER.
S3	E.H. PRICE	520	S/A	SEE LAYOUT	MATCH PAINTED WALL COLOUR	LOUVERED S/A GRILLE, DOUBLE DEFLECTION, 45° DEFLECTION, ST BARS PARALLEL TO LONG DIM. POWDER COAT FIN.
R1	E.H. PRICE	530	R/A	DRYWALL	MATCH PAINTED WALL COLOUR	LOUVERED R/A GRILLE, DOUBLE DEFLECTION, 45° DEFLECTION, 3/4 CONST. CORE BARS PARALLEL TO LONG DIM. POWDER COAT FIN.
L1	REFER TO ARCH. DRAWINGS	-	-	EXTERIOR WALL	REFER TO ARCH. DRAWINGS	TO BE COMPATIBLE WITH ARCHITECTURAL WALL SYSTEM.

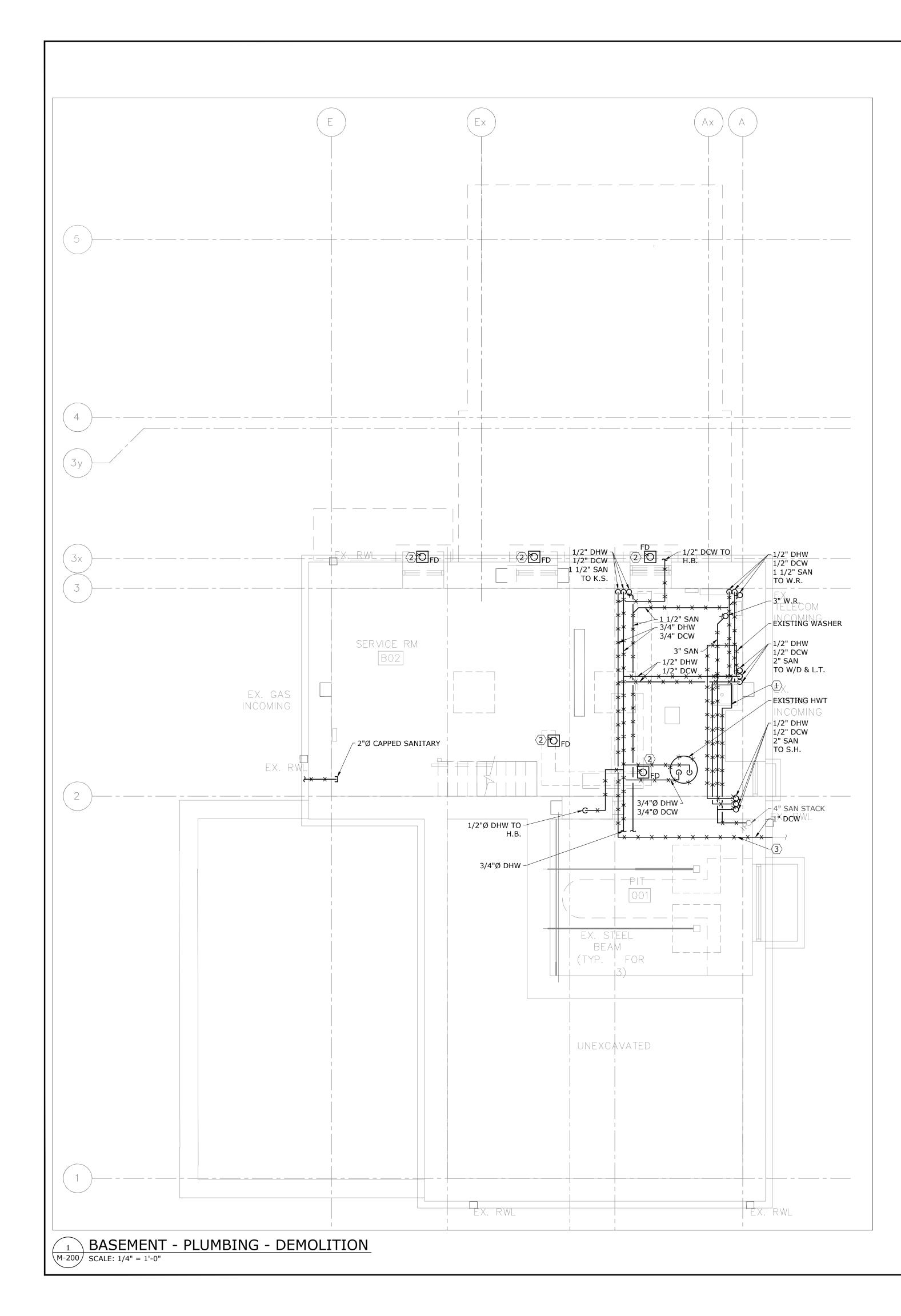
ERATION
) LINT
N.

STEEL CONST. CORE	

STEEL CONST. CORE 3/4" SPACING, STEEL

TAG	FIXTURE	SPECIFICATION	DCW	DHW	DRAII
WC-1, WC-2, WC-3	AMERICAN STANDARD - CADET PRO FLOOR MOUNTED WATER CLOSET: 215AA154.020 SEAT: CENTOCO: 820STSFE-001	TANK TYPE TOILET, FLOOR MOUNTED WITH FLOOR OUTLET, HIGH EFFICIENCY HET 4.8 LPF (1.28 GPF), WHITE FINISH VITREOUS CHINA, EVERCLEAN® ANTIMICROBIAL SURFACE, ELONGATED BOWL, RIGHT HEIGHT® RIM AT 419 MM (16-1/2"), MINIMUM 305 MM (12") ROUGH-IN FROM WALL TO THE CENTER OF WASTE OUTLET, SIPHON JET FLUSH ACTION, MANUAL, POLISHED CHROME LEFT-HAND TRIP LEVER (7381231-200.0020A), TANK WITH AQUAGUARD LINER, WITHOUT TANK COVER LOCKING DEVICE, GRAVITY-ASSISTED FLUSH, CADET® FLUSHING SYSTEM, 76 MM (3") FLUSH VALVE, METAL SHANK FILL VALVE, TANK COUPLING COMPONENTS, FULLY-GLAZED 54 MM (2-1/8") TRAPWAY, POWERWASH™ RIM SCRUBS BOWL WITH PRESSURIZED WATER EVERY FLUSH, INCLUDES EZ-INSTALL TOOLS, TRADE EXCLUSIVE TANK, TOILET SEAT NOT INCLUDED, COLOUR-MATCHED BOLT CAPS, CONSISTING OF: 3517A101 BOWL, 4188A154 TANK COMPLETE WITH AQUAGUARD LINER TANK, OVERALL DIMENSIONS: 441 MM (17-3/8") WIDE, 765 MM (30-1/8") FROM FINISHED WALL, 772 MM (30-3/8") HIGH, WATER SURFACE: 229 X 203 MM (9" X 8") WATER SURFACE AREA,MAP SCORE: >=1000 MAP® FLUSH SCORE COMPLIANCES: ASME A112.19.2 COMPLIANT, CSA B45.1 COMPLIANT, EPA WATERSENSE® COMPLIANT.	Ø1 1/2"	-	Ø3"
		820STSFE-001 FAST-N-LOCK, FOR ELONGATED BOWL, OPEN FRONT, HEAVY DUTY, FOR COMMERCIAL APPLICATIONS, POLYPROPYLENE, TOILET SEAT, WITH SEAT COVER, PLASTIC COMMERCIAL CHECK HINGES, AND STAINLESS STEEL HINGE PIN, SPECIFIED IN WHITE FINISH, FAST-N-LOCK MOUNTING SYSTEM TAKES THE GUESS WORK OUT WHEN TIGHTENING THE HARDWARE. THE SPECIALLY DESIGNED FASTENERS IN CLICK" WHEN THE APPROPRIATE TORQUE IS REACHED. THE BOLT AND NUT MATERIAL SHALL BE STAINLESS STEEL, DIMENSIONS:25 MM (1") HIGH, 470 MM (18-1/2") LONG, 362 MM (14-1/4") WIDE.			
LAV-1, LAV-3	BASIN: AMERICAN STANDARD - MURRO UNIVERSAL DESIGN WALL HUNG LAVATORY: 0059.020EC	WALL-HUNG LAVATORY, VITREOUS CHINA, WHITE FINISH, ADA COMPLIANT, SINGLE HOLE CENTERSET, REAR OVERFLOW, WITH FAUCET LEDGE, MOUNTING KIT SUPPLIED, OVERALL DIMENSIONS: 622 MM (24-1/2") LONG, 508 MM (20") WIDE, 203 MM (8") HIGHBOWL DIMENSIONS: 508 MM (20") LONG, 305 MM (12") WIDE, 152 MM (6") DEEP.			
	NO FAUCET HOLES FAUCET: SLOAN EFX-300 HARD WIRED BASYS	SLOAN BASYS MODEL NO. EFX-300-4-PLG-BDT-CP-0.5GPM-MLMCAP-BAA-FCT CAPACITANCE SENSOR ACTIVATED ELECTRONIC HANDWASHING FAUCET FOR PRE-TEMPERED OR HOT/COLD WATER SUPPLIES. SOLENOID VALVE HOUSED IN REMOVABLE CARRIER THAT CLOSES WATER SUPPLY UPON REMOVAL, ELIMINATING NEED TO ACCESS CONTROL STOPS. SOLENOID CARRIER INCLUDES MESH FILTER FOR EASY ACCESS AND SERVICE WITHOUT DISCONNECTING THE SUPPLY LINES. THERMOSTATIC MIXER ORDERED SEPARATELY TO COMPLY WITH ASSE 1070 REQUIREMENTS. THE PRODUCT SHALL BE TESTED AND CERTIFIED TO INDUSTRY STANDARDS: ASME A112.18.1M, CSAB125.1, CALIFORNIA HEALTH AND SAFETY CODE 116875 (AB1953-2006), AND VERMONT BILL S.152. THIS PRODUCT MEETS ADA ANSI/ICC A117.1REQUIREMENTS.	Ø1/2"	Ø1/2"	Ø1 1/2
LAV-2	EXISTING LAVATORY AND FAUCET.	THE EXISTING LAVATORY AND FAUCET ARE TO BE REUSED AS SHOWN.	Ø1/2"	Ø1/2"	Ø1 1/2
KS-1	SINK: DOUBLE COMPARTMENT, COUNTER MOUNTED, BLANCO KIN 33 1 3/4 LOW DIVIDE SILGRANT FAUCET: AMERICAN STANDARD BEALE 4931.380	COLOUR TO BE COORDINATED WITH ARCHITECT. MIN CABINET SIZE: 36", SINK BOWL 1 LENGTH (LEFT-TO-RIGHT): 16,31", SINK BOWL 1 WIDTH (FRONT-TO-BACK): 15,31", BOWL DEPTH: 9,25", SINK BOWL 2 LENGTH (LEFT-TO-RIGHT): 12", SINK BOWL 2 WIDTH (FRONT-TO-BACK): 15.31", SINK BOWL 2 DEPTH: 9.25", APRON FRONT HEIGHT: 10" RIM THICKNESS: 1.5", 3 ¹ / ₂ " (90 MM) STAINLESS STEEL STRAINER(S), CABINET TEMPLATE, CUSTOM CABINET INSTALLATION REQUIRED. BEALE PULL-DOWN KITCHEN FAUCET WITH SELECTRONIC HANDS-FREE TECHNOLOGY WITH SLIDING DOORS, A HIGH ARC BRASS SWIVEL SPOUT WITH PULL-DOWN	Ø1/2"	Ø1/2"	Ø1 1/2
		TWO-FUNCTION SPRAY, AND METAL LEVER HANDLE. SHALL ALSO FEATURE 35 MM WASHERLESS CERAMIC DISC VALVE CARTRIDGE AND FLEXIBLE STAINLESS STEEL SUPPLY HOSES. SHIPS WITH 4X AA ALKALINE BATTERIES WITH OPTIONAL AC ADAPTER AVAILABLE FOR SEPARATE PURCHASE.			
KS-2	EXISTING GROUND FLOOR KITCHEN AND FAUCET RELOCATED.	EXISTING GROUND FLOOR KITCHEN SINK AND FAUCET RELOCATED AS SHOWN. TO BE COMPLETE WITH EYE WASH STATION-2.	Ø1/2"	Ø1/2"	Ø1 1/2
SK-1	EXISTING SINK AND FAUCET RELOCATED.	EXISTING LAUNDRY SINK AND FAUCET TO BE RELOCATED AS SHOWN. TO BE COMPLETE WITH NEW EYEWASH STATION-3.	Ø1/2"	Ø1/2"	Ø1 1/2
SK-2	SINK: SINGLE COMPARTMENT, STAINLESS STEEL BACK SPLASH, KINDRED COMMERCIAL: WSS6713 FAUCET: CHICAGO FAUCETS 631-GN8FC-XKABCP	MADE OF 304 (CNS18/10) STAINLESS STEEL, EXPOSED SURFACES ARE #4 SATIN FINISHED RADIUS COVED BOWL CORNERS, MATERIAL CODE OF 1.4301 CHROME NICKEL STEEL V2A.WALL MOUNT FAUCET WITH INSIGHT TECHNOLOGY, VANDAL-RESISTANT AERATOR, 9" SPOUT REACH, LESS DRAIN, BRASS, VALVE KIT FACTORY SET TO 30 SECOND MAXIMUM CONTINUAL RUN CYCLE, SINGLE HOLE SPOUT MOUNTING, REQUIRED TO HAVE EITHER K-11830, OR K-11843 WALL MOUNT VALVE OR TOUCHLESS FAUCETS, FLOW RATE TO BE 0.5 GAL/MIN AND PRESSURE AT 60 PSI.	Ø1/2"	Ø1/2"	Ø1 1/2
DW-1	STERO SUH-1: HOT WATER SANITIZING UNDER COUNTER DISHWASHER	FINAL SELECTION TO BE COORDINATED WITH ENGINEER AND OWNER. DISHWASHER TO USE 0.78 GALLONS OF WATER PER RACK AND CAN CLEAN UP TO 31 RACKS IN AN HOUR, CYCLE TIME IS 116 SECONDS. THIS UNIT FEATURES CLEAR CONTROLS AND A DIGITAL DISPLAY THAT MAKE IT EASY TO SET AND MONITOR THE DISHWASHING PROGRESS.	-	Ø3/4"	Ø1 1/2
EW-1, EW-2	DECK MOUNTED EYE WASH STATION: GUARDIAN G1805LH-G6020-DC-T-VB-TP	EYE WASH, DECK MOUNTED, POLISHED CHROME-PLATED BRASS, 111 MM (4-3/8") HIGH, TWO SPRAY HEADS WITH A FLIP-TOP DUST COVER, INTERNAL FLOW CONTROL AND FILTER ON EACH SPRAY HEAD, 13 MM (1/2") NPT FEMALE INLET, 13 MM (1/2") IPS PLUG-TYPE VALVE WITH PTFE COATED O-RING SEALS.			
	MIXING VALVE: LAWLER 911E UNIT 84908	COMPLETE WITH EMERGENCY MIXING VALVE, THERMOSTATIC HIGH-LOW MASTER WATER MIXING VALVE, ROUGH BRONZE FINISH, 229 X 205 X 127 MM (9" X 8" X 5"), TEMPERATURE ADJUSTMENT SHALL BE VANDAL-RESISTANT, 229 X 205 X 127 MM (9" X 8" X 5"), 7.5 LPM (2 GPM) TEMPERED FLOWRATE @ 5 PSI PRESSURE DROP, 11 LPM (3 GPM) TEMPERED FLOWRATE @ 10 PSI PRESSURE DROP, 18 LPM (5 GPM) TEMPERED FLOWRATE @ 20 PSI PRESSURE DROP, 26 LPM (7 GPM) TEMPERED FLOWRATE @ 20 PSI PRESSURE DROP, 10 THE EVENT THAT THE LIQUID MOTOR FAILS, THE CONTROL MECHANISM CLOSES OFF THE HOT WATER PORT WITH THE REVERSE SEAT AND FULLY OPENS THE INTERNAL VARIABLE BYPASS TO ALLOW COLD WATER FLOW, THE CONTROL MECHANISM SHALL EMPLOY A LIQUID-FILLED THERMOSTATIC MOTOR TO DRIVE THE VALVE WITHOUT ADDITIONAL POWER REQUIREMENTS. THE CONTROL MECHANISM SHALL EMPLOY A STAINLESS STEEL SLIDING PISTON CONTROL DEVICE WITH REVERSE SEAT CLOSURE AND BOTH FIXED AND VARIABLE COLD WATER BYPASS, THE CONTROL MECHANISM SHALL EMPLOY A STAINLESS STEEL SLIDING PISTON CONTROL DEVICE WITH REVERSE SEAT CLOSURE AND BOTH FIXED AND VARIABLE COLD WATER BYPASS, THE CONTROL MECHANISM SHALL EMPLOY A STAINLESS STEEL SLIDING PISTON CONTROL DEVICE WITH REVERSE SEAT CLOSURE AND BOTH FIXED AND VARIABLE COLD WATER BYPASS, THE CONTROL MECHANISM SHALL EMPLOY A STAINLESS STEEL SLIDING PISTON CONTROL DEVICE WITH REVERSE SEAT CLOSURE AND BOTH FIXED AND VARIABLE COLD WATER BYPASS, 32 MM (1-1/4") NPT INLET, 32 MM (1-1/4") NPT OUTLET, THERMOSTATIC HIGH-LOW MASTER WATER MIXING VALVE, ROUGH BRONZE FINISH, EMERGENCY MIXING VALVE, IN THE EVENT OF INTERRUPTION OF THE COLD WATER SUPPLY, THE CONTROL MECHANISM CLOSES OFF THE HOT WATER PORT, STOPPING ALL FLOW. POSITIVE HOT WATER SHUT-OFF, LISTED TO ASSE 1071, OUTLET THERMOMETER, 0UTLET THERMOMETER, 85 F, 70-90 F, 125 PSI MAX INLET PRESSURE, 120 F RECOMMENDED INLET TEMPERATURE, 65 PSI RECOMMENDED OPERATING PRESSURE, 85 F, 7.5 LPM (2 GPM) TEMPERED FLOWRATE @ 5 PSI PRESSURE DROP, TEMPERED FLOWRATE @ 10 PSI PRESSURE DROP, 18 LPM (5 GPM) TEMPERED FLOWRATE @ 20 PSI PRESSURE DROP, 18 LPM	Ø1/2"	Ø1/2"	-
EW-3	FAUCET MOUNTED EYE WASH STATION: GUARDIAN G1100	OUTLET HEADS: OUTLET HEADS ARE MOUNTED 3" APART AND DELIVER A SOFT, AERATED FLOW OF WATER. HEADS ANGLE FORWARD TOWARD USER. ANGLE OF HEADS IS ADJUSTABLE TO PERMIT FULL COVERAGE AND AVOID SPLASHING. FURNISHED WITH FLOAT-OFF DUST COVERS TO PROTECT OUTLET HEADS. VALVE: FORGED BRASS DIVERTER VALVE. PULL KNOB TO ACTIVATE EYEWASH; WATER PRESSURE HOLDS EYEWASH IN OPERATION, LEAVING USER'S HANDS FREE. PUSH KNOB OR TURN OFF FAUCET TO RETURN TO NORMAL FAUCET OPERATION. INLET: BODY HAS 55/64"-27 FEMALE THREAD. FURNISHED WITH THREE ADAPTORS (15/16"-27, 13/16"-27 AND 3/8" IPS) FOR INSTALLING ON MOST COMMONLY USED FAUCETS, INCLUDING LABORATORY-TYPE FAUCETS.	-	-	-
WSH-1	RESIDENTIAL GRADE	TO BE COORDINATED WITH OWNER AND ARCHITECT.	Ø1/2"	Ø1/2"	Ø2"
FD-1	FLOOR DRAIN	EPOXY COATED CAST IRON FLOOR DRAIN WITH ANCHOR FLANGE, REVERSIBLE MEMBRANE CLAMP WITH PRIMARY AND SECONDARY WEEPHOLES, 1/4 IN. (6) THICK 4"Ø ADJUSTABLE NICKEL BRONZE STRAINER, AND NO HUB (STANDARD) OUTLET.	-	-	Ø3"
FFD-1	FUNNEL FLOOR DRAIN	FLOOR DRAIN, TRAP PRIMER TAPPING, OVAL FUNNEL, NO HUB (MJ) OUTLET, WITH ANCHOR FLANGE, REVERSIBLE CLAMPING COLLAR WITH PRIMARY & SECONDARY WEEPHOLES	_	-	Ø3"
TMV-1	MIXING VALVE, LAWLER, 66-50-83006	BRONZE BODY CONSTRUCTION WITH REPLACEABLE CORROSION-RESISTANT COMPONENTS, THERMOSTATIC MASTER WATER MIXING CONTROL VALVE, 20 MM (3/4") INLET X 25 MM (1") OUTLET, 95 LPM (25 GPM) TEMPERED FLOW RATE @10 PSI PRESSURE DROP, 128 LPM (34 GPM) TEMPERED FLOW RATE @ 20 PSI PRESSURE DROP	-	-	-

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DEMOLITION GENERAL NOTES:

1. THESE GENERAL NOTES APPLY TO ALL DEMOLITION DRAWINGS.

2. DISCONNECT EXISTING UNUSED EQUIPMENT FROM POWER SUPPLY AND MAKE SAFE.

3. PRIOR TO COMMENCING THE DEMOLITION WORK, EXAMINE SITE CAREFULLY INCLUDING ALL THE ELEMENTS THAT NEED TO BE REMOVED.

REMOVE ALL ABANDONED PIPES, HANGERS, INSERTS, CONDUITS, DUCTS, AND SERVICES.
 SEAL AND FIRESTOP (IF NECESSARY) ALL AFFECTED AREAS TO MATCH EXISTING.

CONTRACTOR TO CLEAN ALL DEBRIS AND RUBBISH GENERATED FROM THIS WORK.

7. CONTRACTOR TO REPAIR ANY DAMAGE CAUSED BY THIS WORK AND MAKE GOOD TO MATCH EXISTING.

8. CONTRACTOR SHALL REPAIR UNUSED FLOOR AND WALL OPENINGS AT ALL PENETRATIONS OF DEMOLISHED WORK. REPAIRS SHALL MATCH EXISTING CONDITION AND FINISHES.

9. DRAIN ALL AFFECTED SYSTEMS AS REQUIRED AND REFILL AFTER WORK IS COMPLETE. REFER TO SPECIFICATIONS FOR SPECIFIC PIPE FLUSHING MATERIALS AND PROCEDURES.

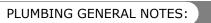
10. ALL EXISTING SYSTEM ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE TO SITE VERIFY EXACT LOCATION OF EQUIPMENT AND POINT OF CONNECTION TO EXISTING AS REQUIRED.

11. CONTRACTOR SHALL BE RESPONSIBLE FOR DISASSEMBLY AND CUTTING OF ALL EQUIPMENT/MATERIAL TO ALLOW FOR REMOVAL FROM SITE.

REFERENCE NOTES:

 EXISTING LAUNDRY SINK TO BE REUSED, FAUCET TO BE DEMOLISHED AND REMOVED. DCW, DHW AND SANITARY PIPING TO BE DEMOLISHED AND REMOVED BACK TO SOURCE AND CAPPED.
 EXISTING FLOOR DRAINS (TYP. OF ALL) AND P-TRAPS BELOW GRADE TO BE DEMOLISHED AND REMOVED. EXISTING SANITARY PIPING TO BE CAPPED AND SEALED WATERTIGHT.
 EXISTING WATERLINE FEEDING THE GREENHOUSE TO BE KEPT OPERATIONAL DURING CONSTRUCTION. CONTRACTOR TO VERIFY THE EXACT LOCATION ON SITE.

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. UF ANY EKRURS UR UMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MAT 4SITE ENGINEERS LTD. 7 2023/10/20 ISSUED FOR RE-TENDER/ PERMIT 6 2023/10/03 ISSUED FOR ADDENDUM #1 5 2023/08/04 ISSUED FOR PERMIT/TENDER 4 2023/07/12 ISSUED FOR 95% REVIEW 3 2023/06/02 ISSUED FOR 50% CD REVIEW 2 2023/04/26 ISSUED FOR 100% DD REVIEW 1 2023/04/10 ISSUED FOR 50% REVIEW o. Date Action MAT 4SITE ENGINEERS LTD. 620 WILSON AVE., SUITE 320, TORONTO, ON. M3K 1: PHONE: 416-229-6574 FAX: 416-229-4105 1002325 Orientation Stamp Project Name and Address: SPADINA MUSEUM GARAGE REHABILITATION AND SITE ACCESSIBILITY 285 SPADINA RD, TORONTO, ON M5R2V5 Drawing title BASEMENT- PLUMBING -DEMOLITION roject No. **22626** Scale: 1/4" = 1'-0"Designer:)ate: Š.N. 2023/01/25 Drawn by: S.N. Checked by: **R.S.** Drawing file: Client Approval 22626-M Drawing No. Revision No. 0 M - 200



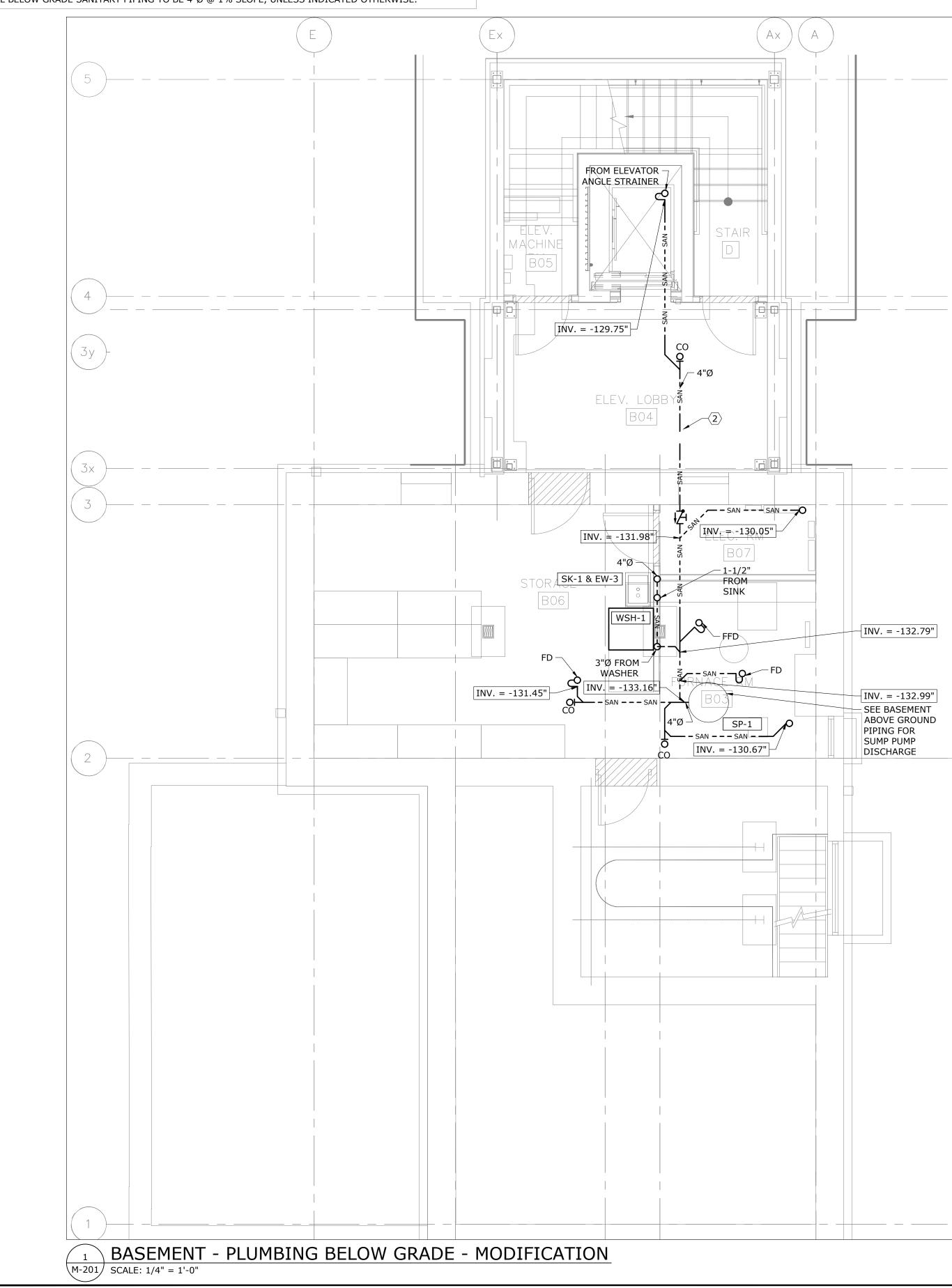
1. THESE GENERAL NOTES APPLY TO ALL PLUMBING DRAWINGS.

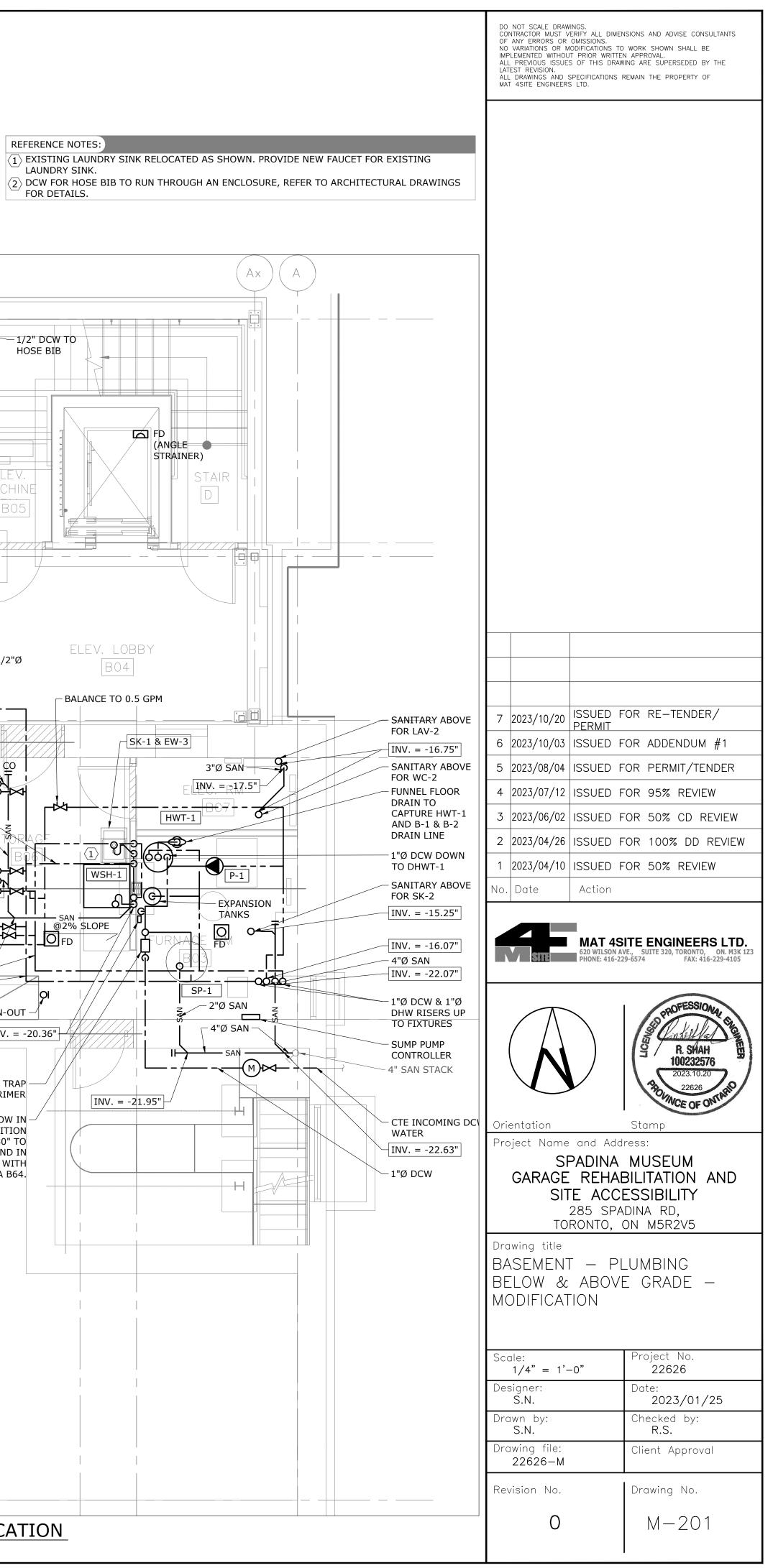
2. CONTRACTOR TO VERIFY ALL LOCATIONS AND PIPE SLOPES ON SITE.

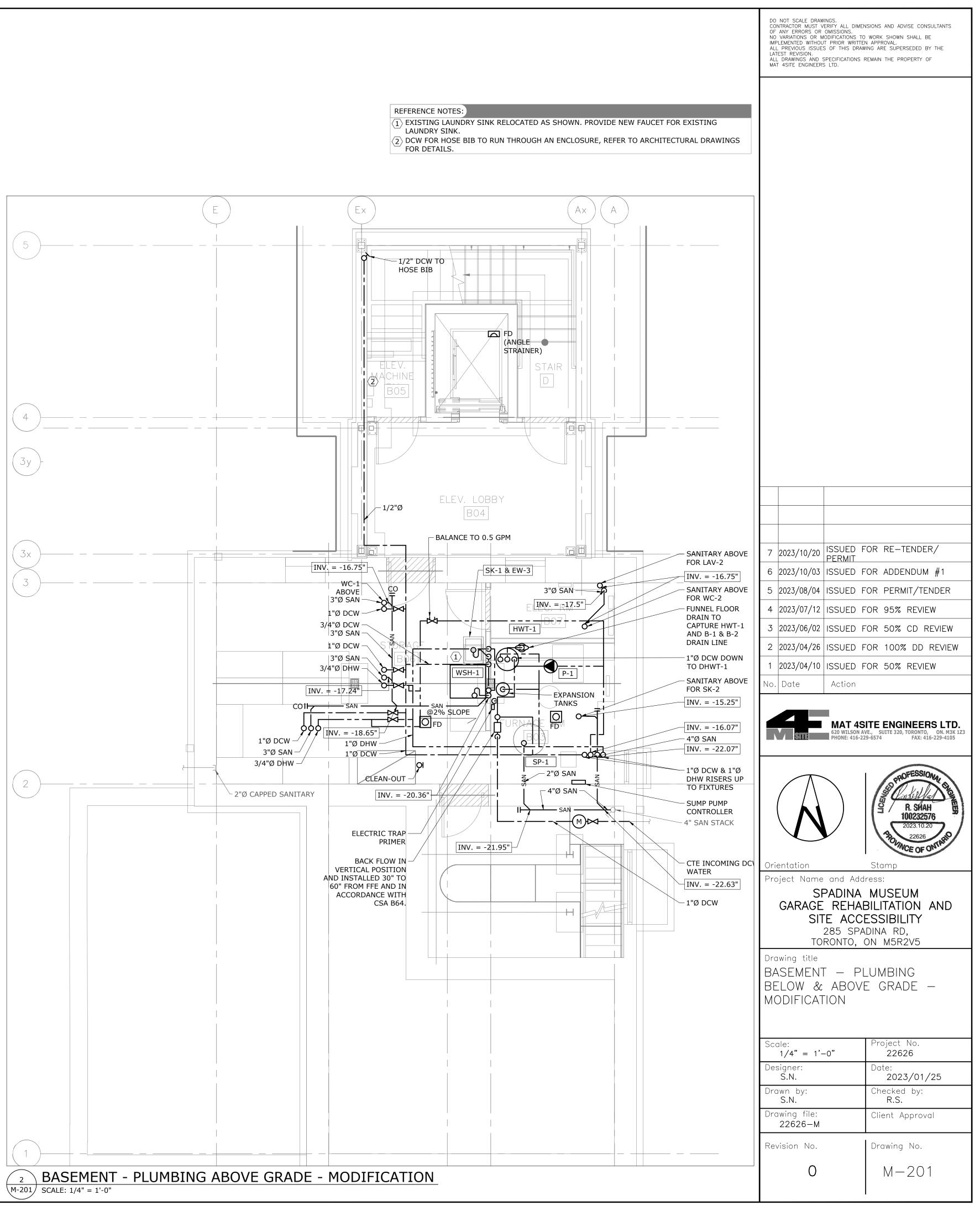
- 3. COORDINATE WITH ALL TRADES FOR NEW PLUMBING FIXTURE AND PIPING INSTALLATION.
- 4. PROVIDE ALL NEW FIXTURES AS INDICATED.
- 5. PROVIDE NEW ISOLATION VALVE AND FLEXIBLE HOSE CONNECTIONS FOR EACH FIXTURE. SIZE TO MATCH FIXTURE.
- 6. ALL DCW, DHW & DRAINAGE PIPING SHALL BE INSULATED AS PER SPECIFICATION.

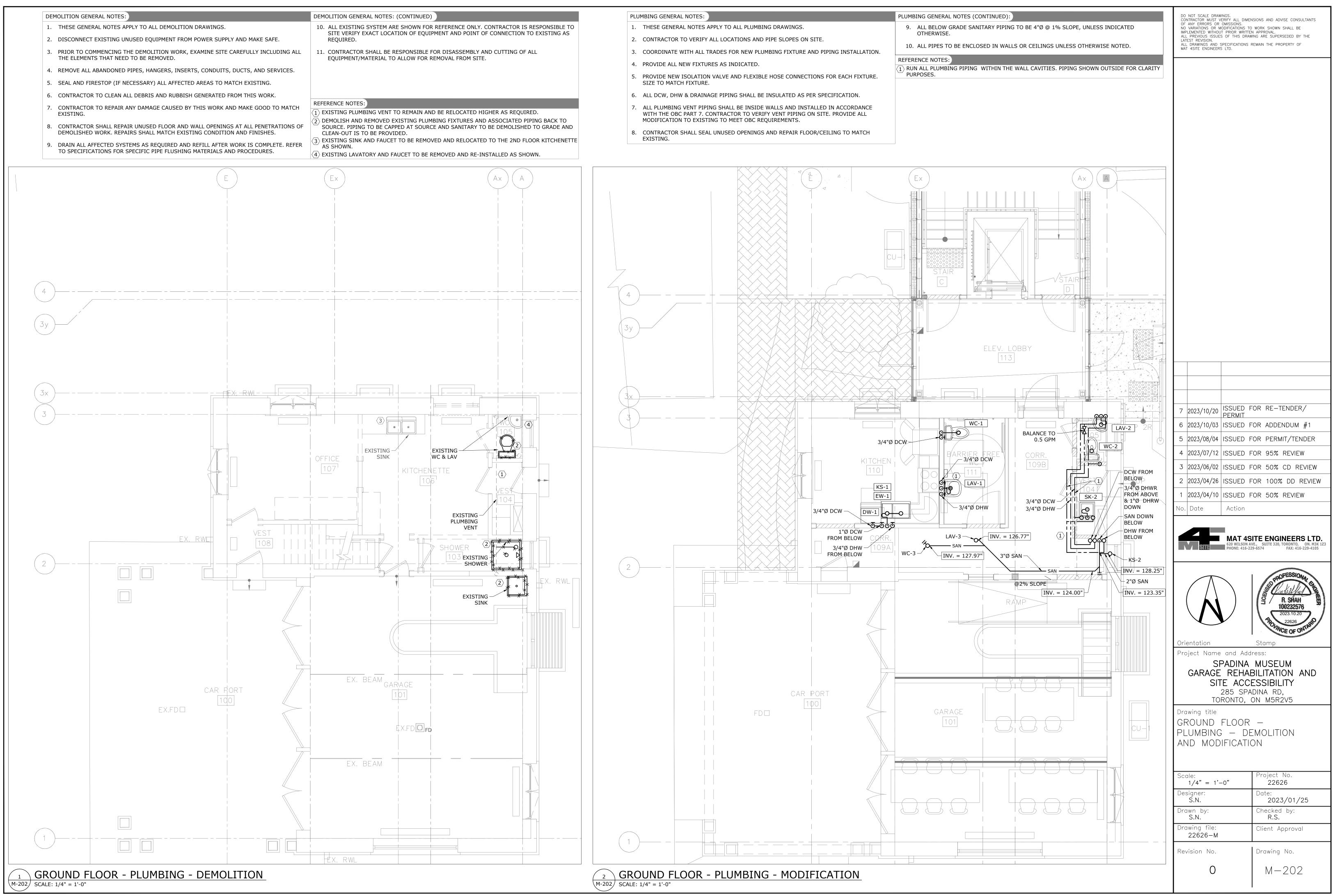
ALL PLUMBING VENT PIPING SHALL BE INSIDE WALLS AND INSTALLED IN ACCORDANCE WITH THE OBC PART 7. CONTRACTOR TO VERIFY VENT PIPING ON SITE. PROVIDE ALL MODIFICATION TO EXISTING TO MEET OBC REQUIREMENTS.

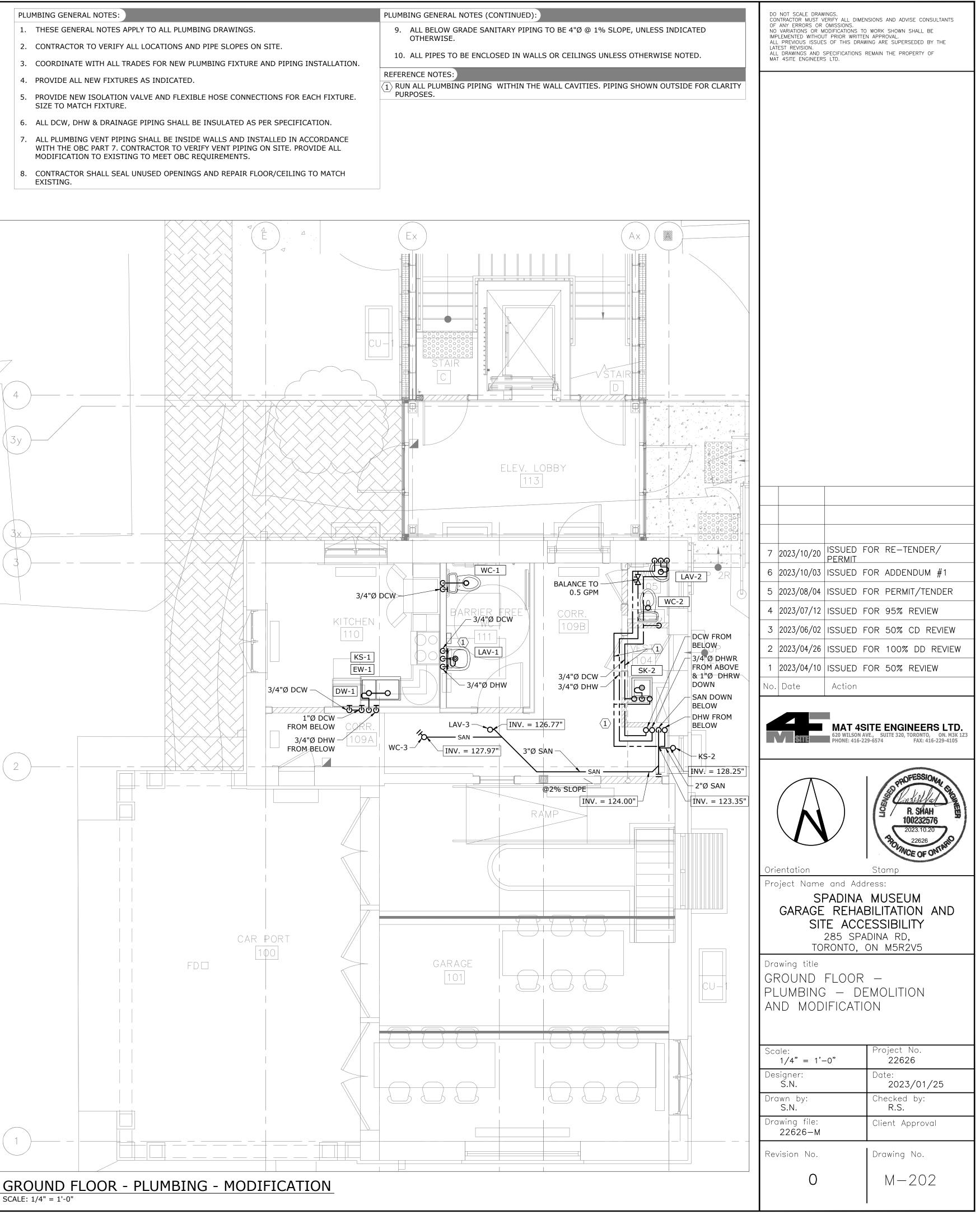
8. CONTRACTOR SHALL SEAL UNUSED OPENINGS AND REPAIR FLOOR/CEILING TO MATCH EXISTING. 9. ALL BELOW GRADE SANITARY PIPING TO BE 4"Ø @ 1% SLOPE, UNLESS INDICATED OTHERWISE.

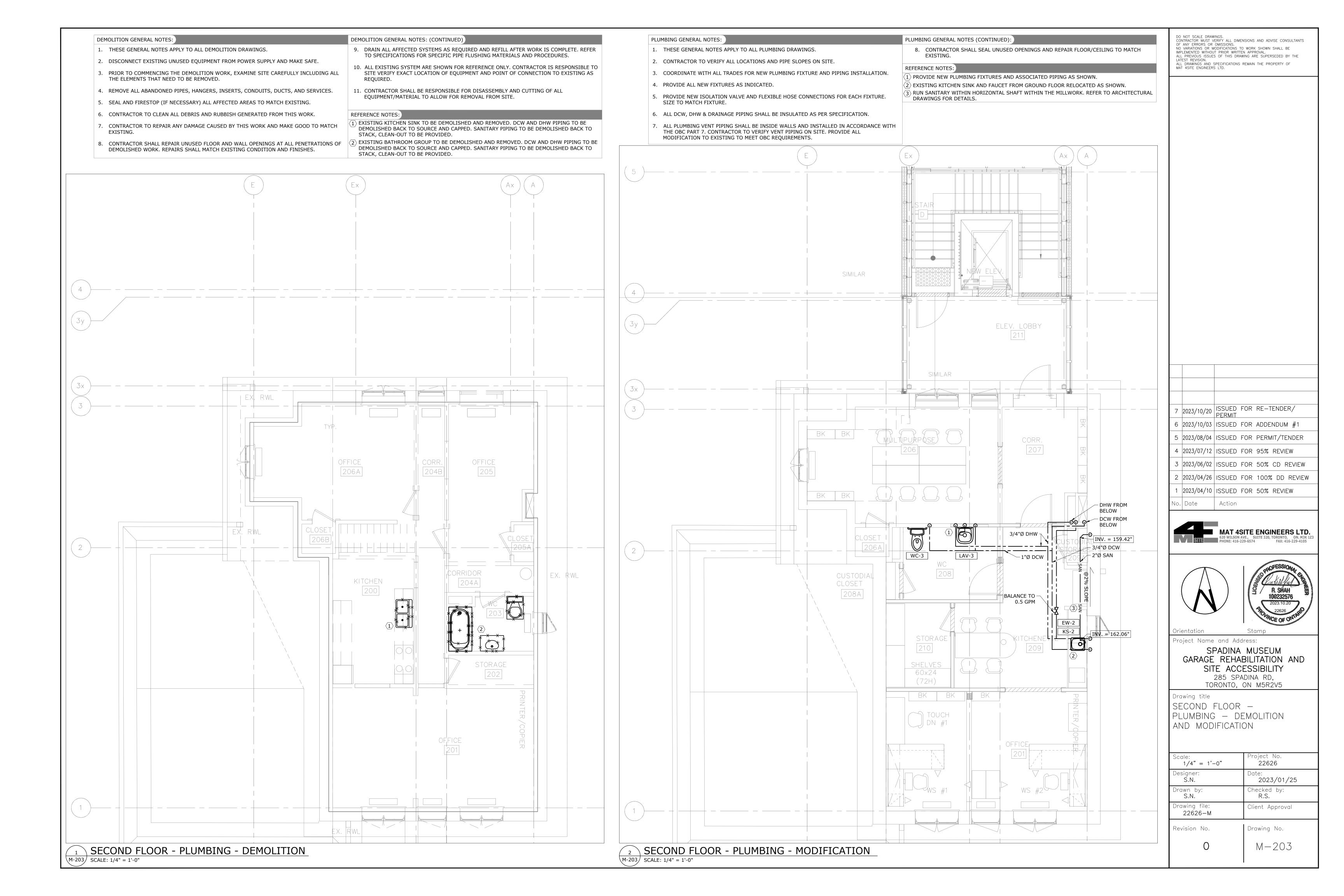


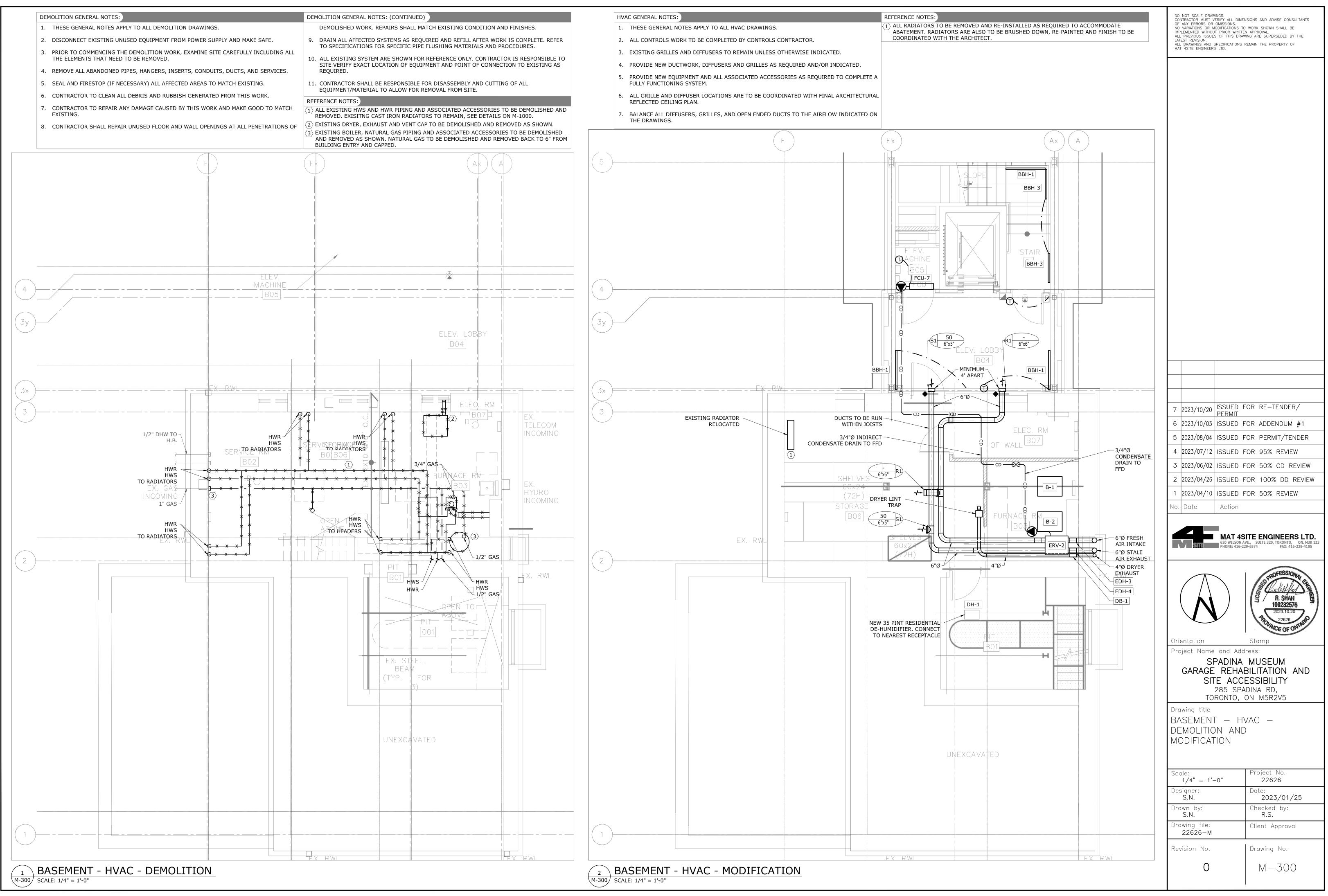


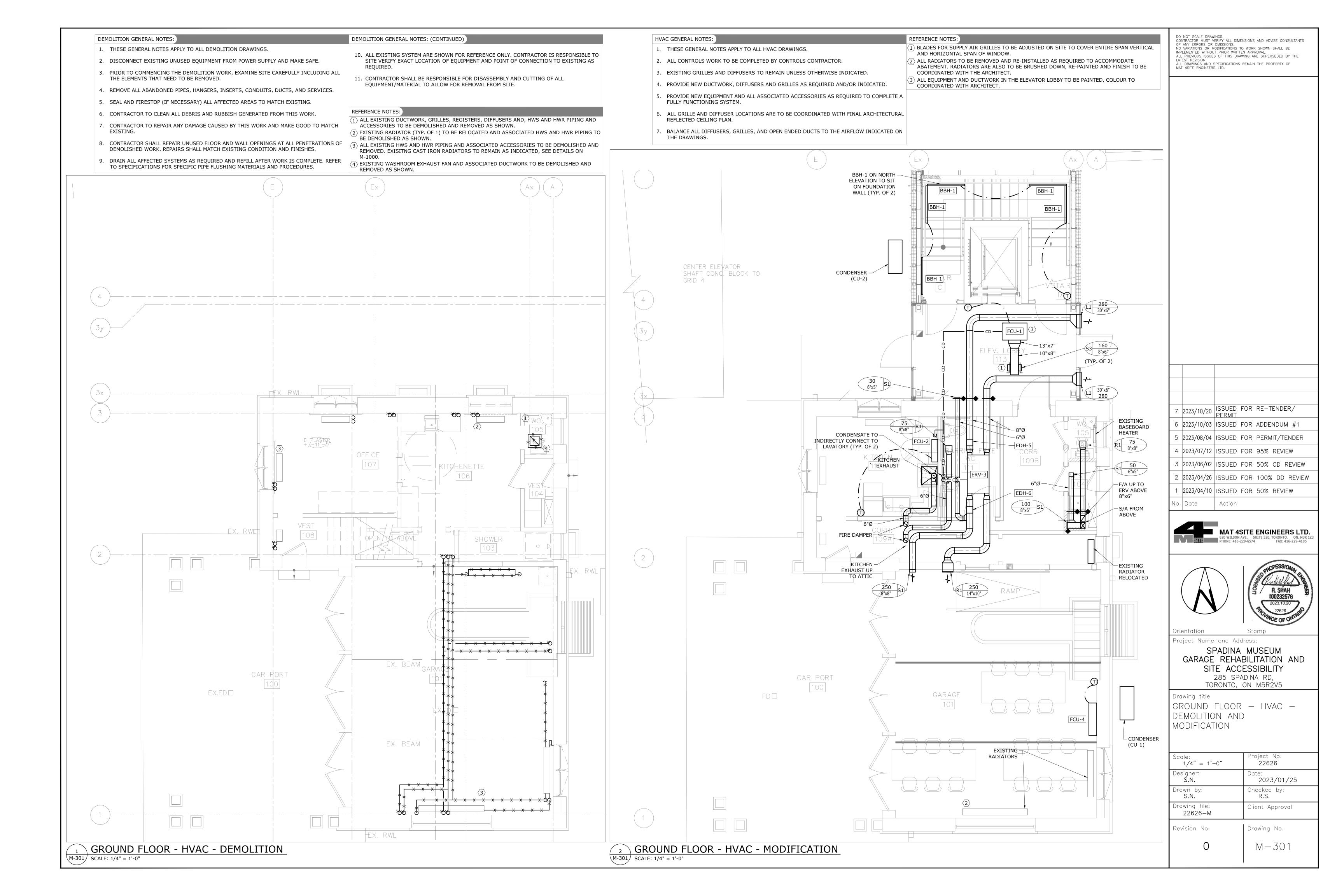


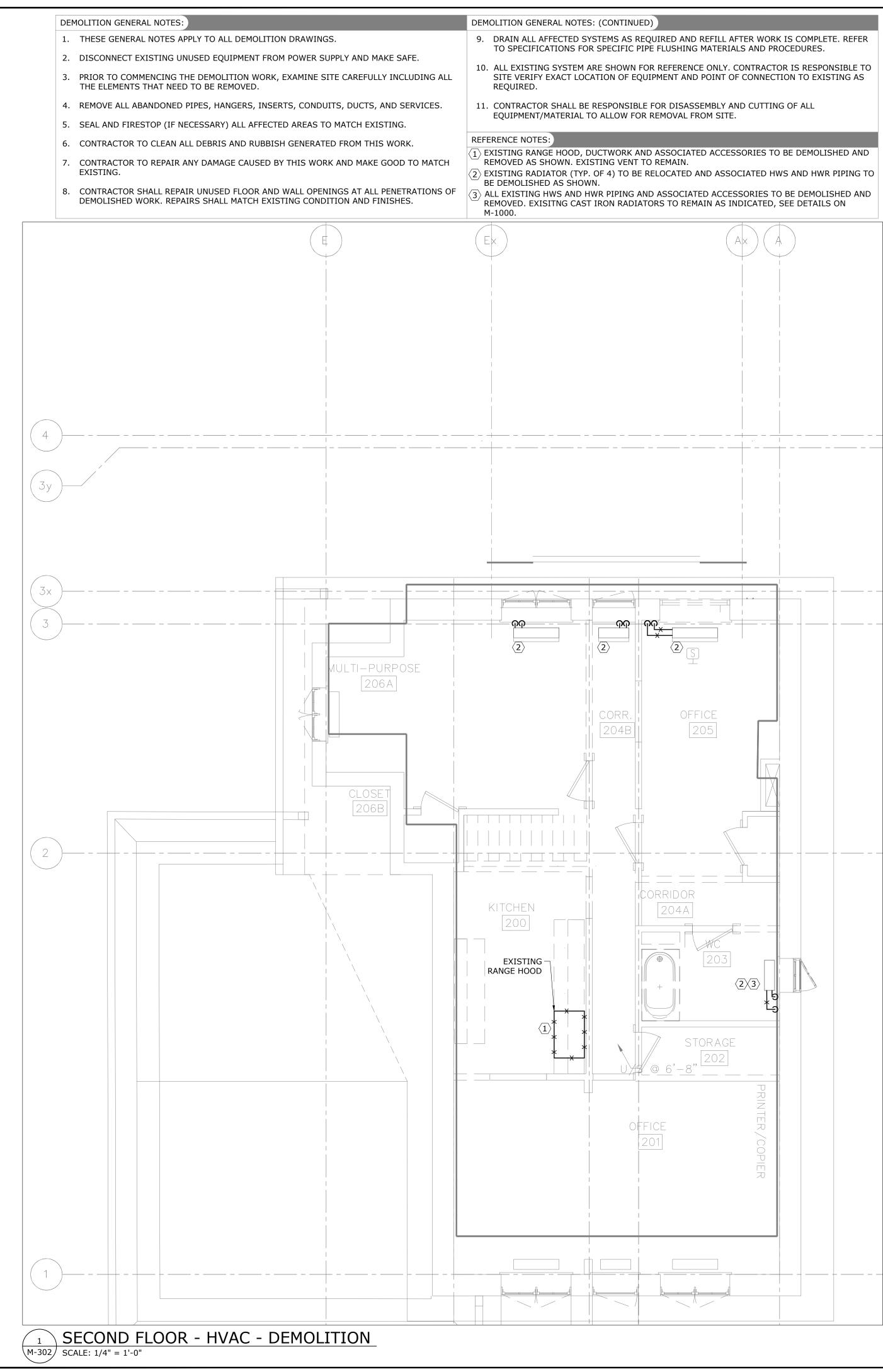


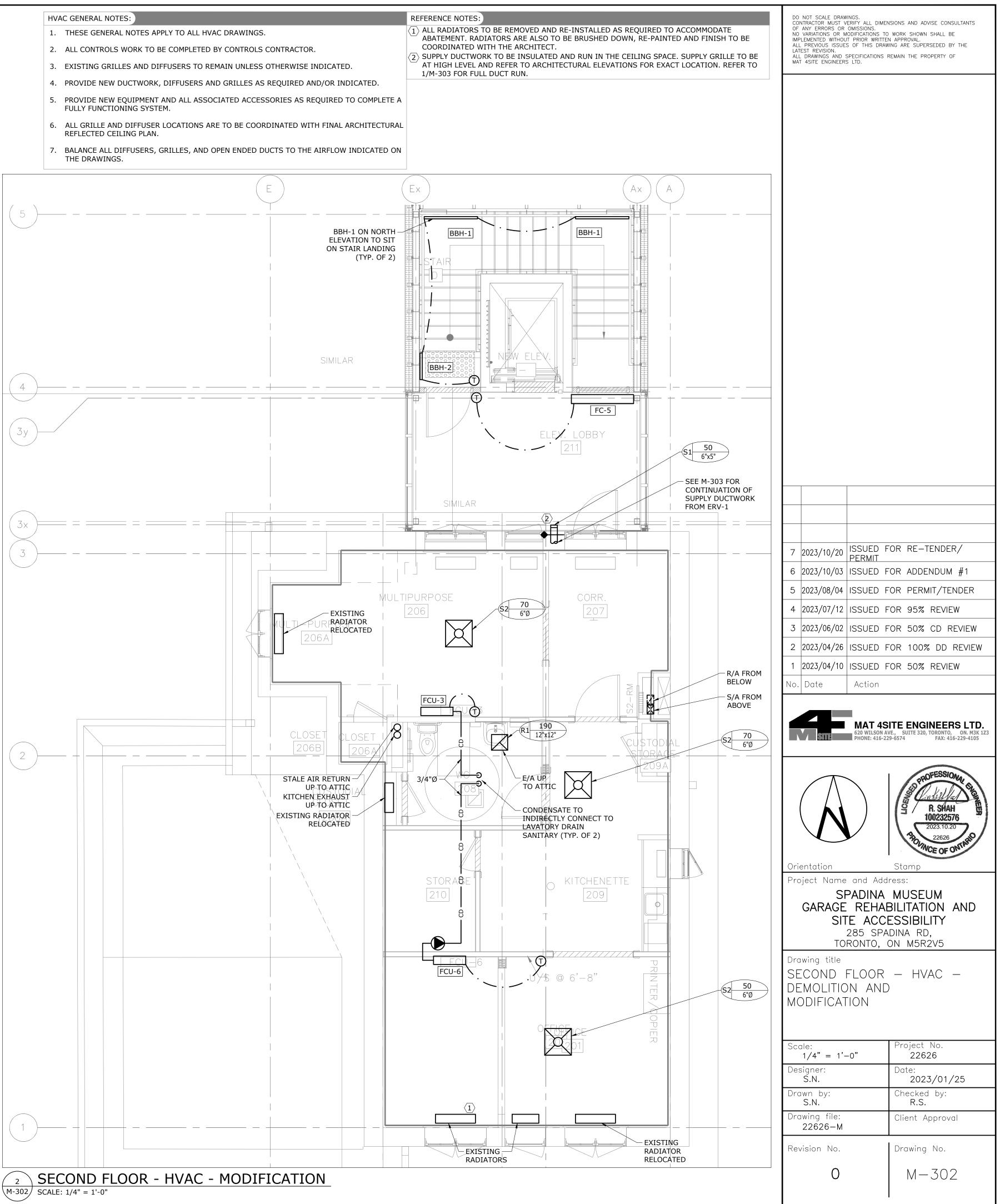


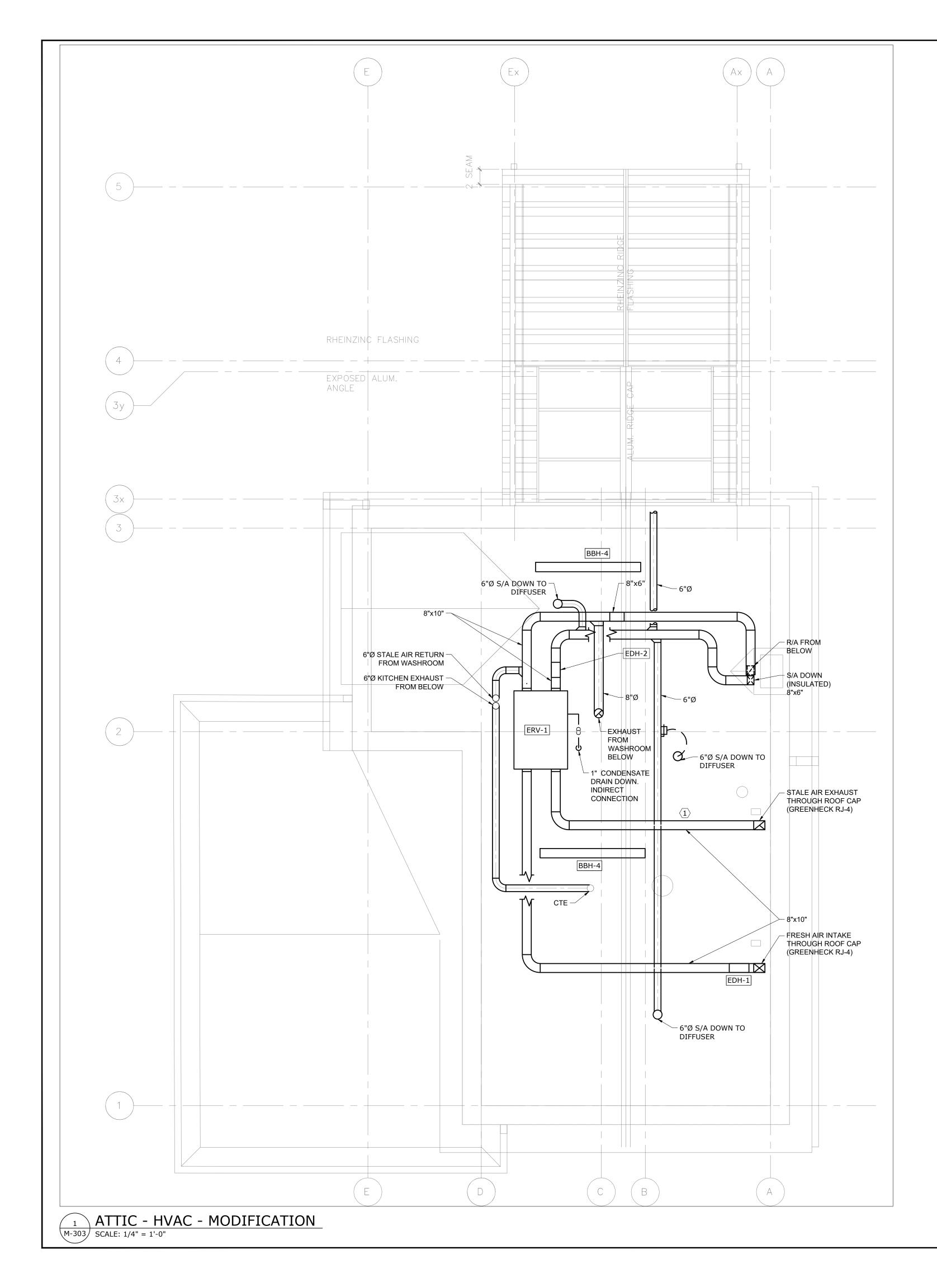


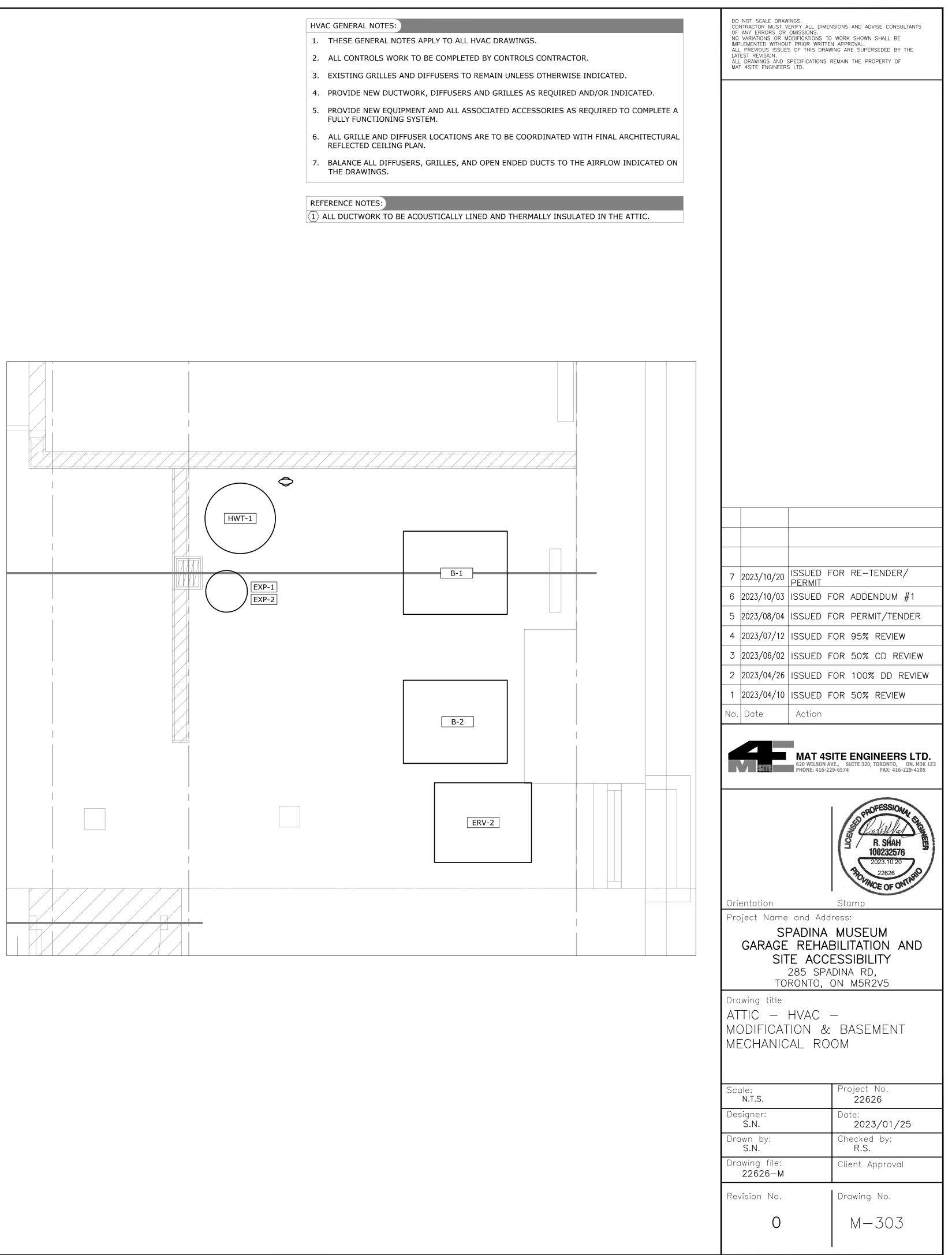


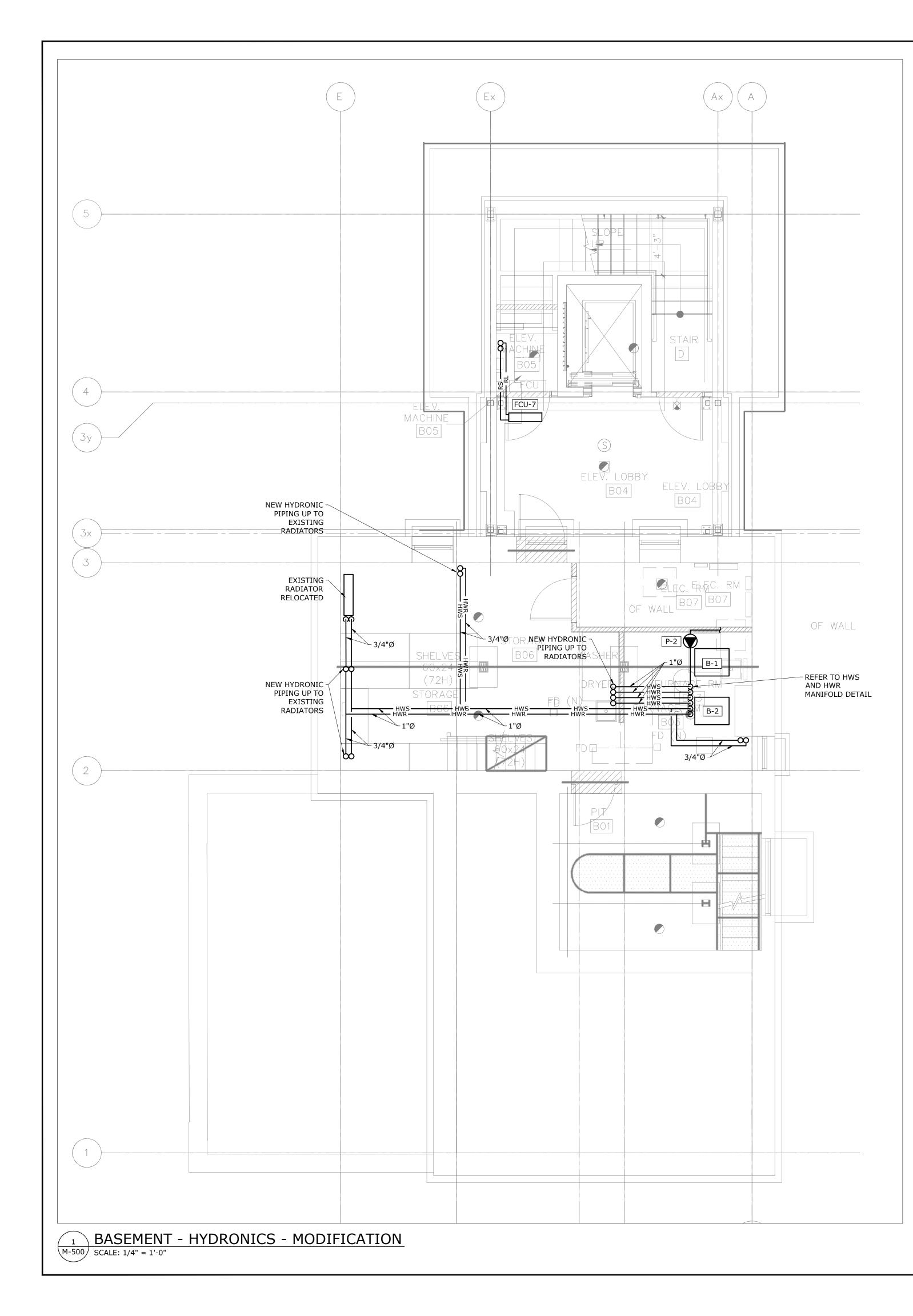












HYDRONICS GENERAL NOTES:

- INDICATED.

4. PROVIDE NEW EQUIPMENT AND ALL ASSOCIATED ACCESSORIES AS REQUIRED TO COMPLETE A FULLY FUNCTIONING SYSTEM.

5. ALL RADIATOR LOCATIONS ARE TO BE COORDINATED WITH FINAL ARCHITECTURAL DRAWING PACKAGE.

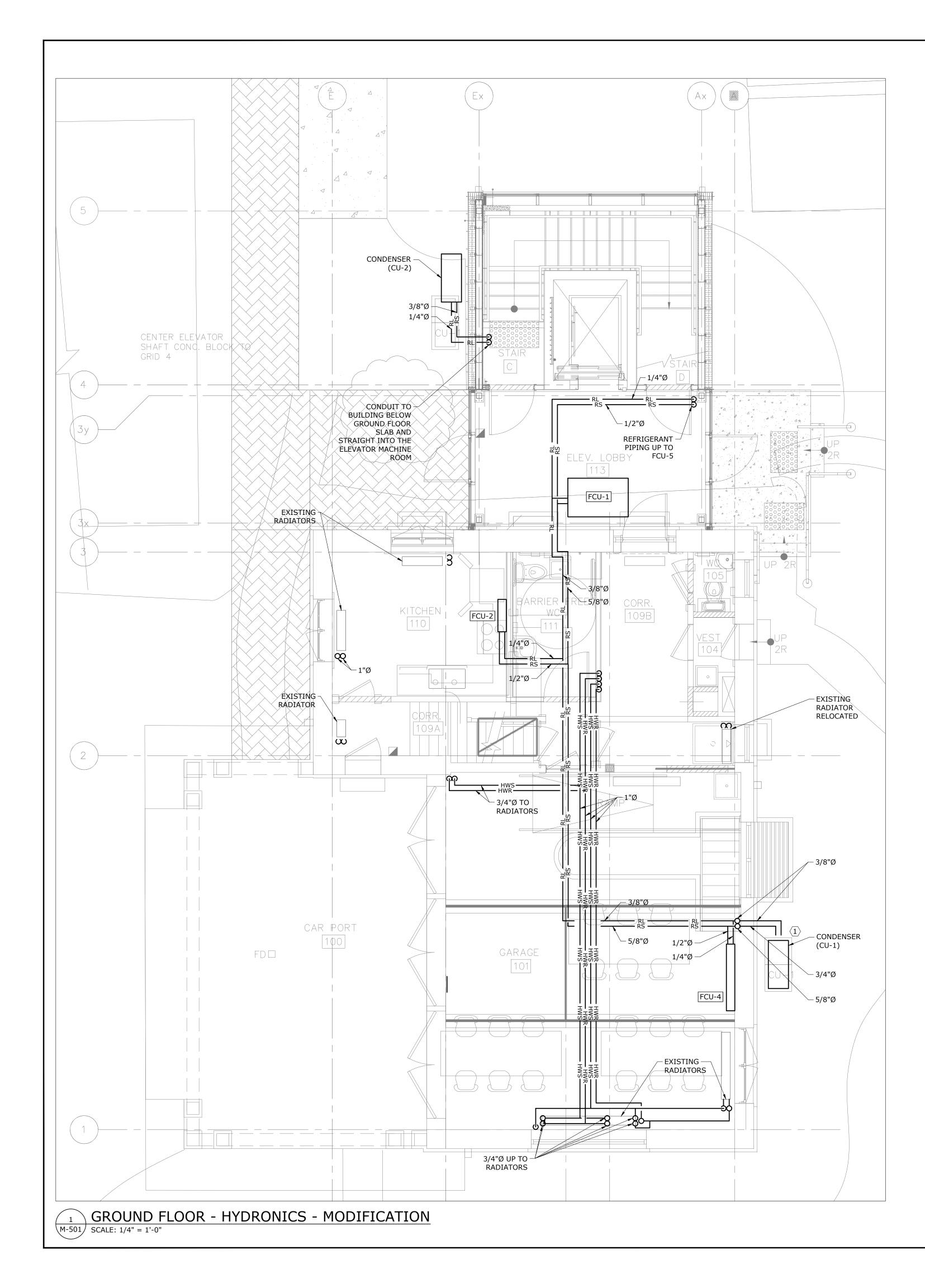
1. THESE GENERAL NOTES APPLY TO ALL HYDRONICS DRAWINGS.

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7	2023/10/20	ISSUED PERMIT	FOR	RE-TENDER/
6	2023/10/03		FOR	ADDENDUM #1
5	2023/08/04	ISSUED	FOR	PERMIT/TENDER
4				95% REVIEW
3				50% CD REVIEW
2				100% DD REVIEW
No.	Date	Action		
No.	Date	Action		
No.		MAT 4 620 WILSON	AVE., S	ENGINEERS LTD.
No.	Date	MAT 4	AVE., S	SUITE 320, TORONTO, ON. M3K 12
No.		MAT 4 620 WILSON	AVE., S	SUITE 320, TORONTO, ON. M3K 12 FAX: 416-229-4105
No.		MAT 4 620 WILSON	AVE., S	PROFESSION SUITE 320, TORONTO, ON. M3K 12 FAX: 416-229-4105
No.		MAT 4 620 WILSON	AVE., S	BUITE 320, TORONTO, ON. M3K 12 FAX: 416-229-4105
No.		MAT 4 620 WILSON	AVE., S	R. SHAH 100232576 2023.10.20
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HYDRONICS GENERAL NOTES: INDICATED. PACKAGE.

1. THESE GENERAL NOTES APPLY TO ALL HYDRONICS DRAWINGS.

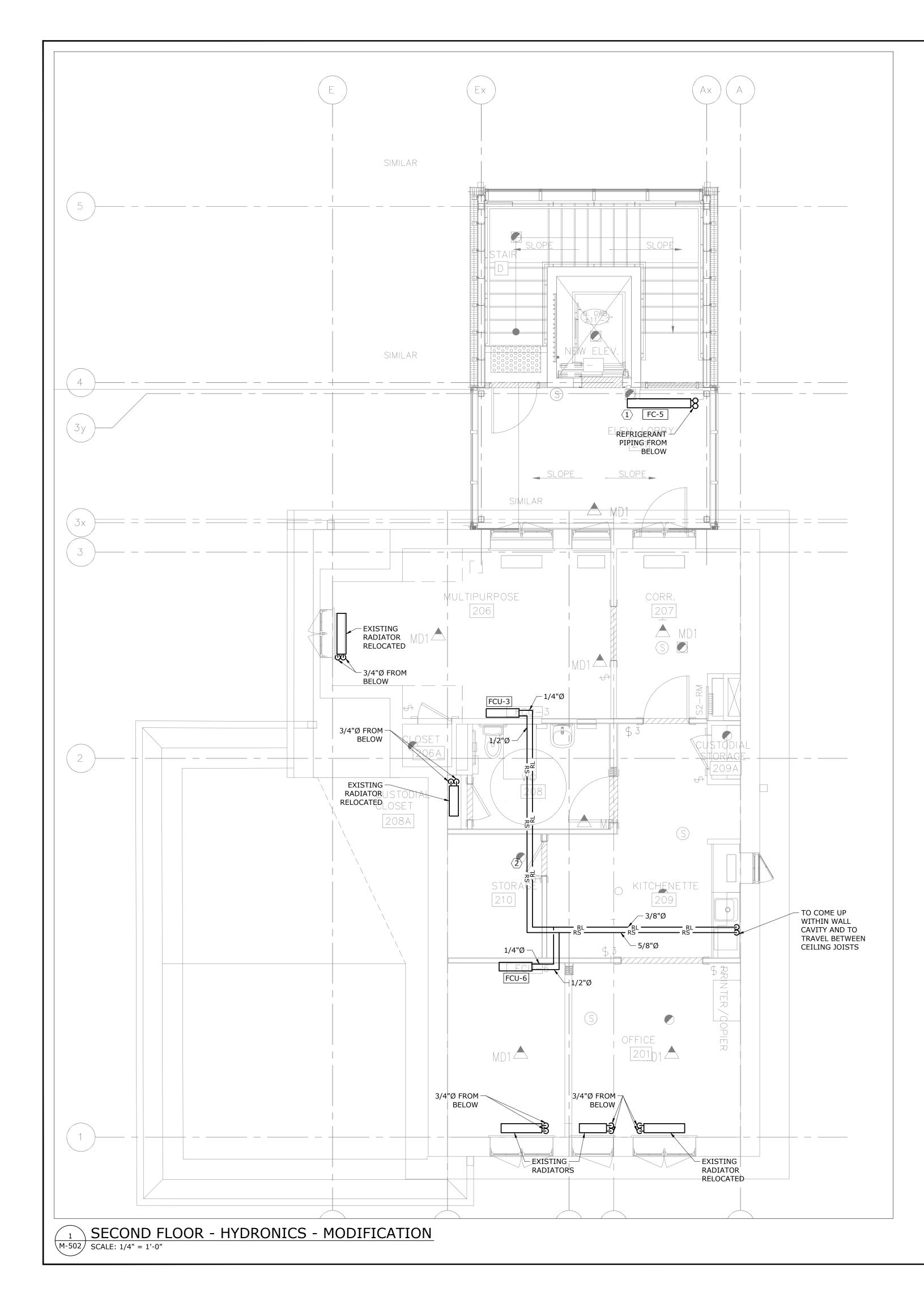
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7	2023/10/20		FOR RE-TENDER/	
6		PERMIT	FOR ADDENDUM #1	
5			FOR PERMIT/TENDER	
4	2023/07/12	ISSUED F	FOR 95% REVIEW	
3	2023/06/02	ISSUED F	FOR 50% CD REVIEW	
2	2023/04/26	ISSUED F	FOR 100% DD REVIEW	
1 No.		ISSUED F	FOR 50% REVIEW	
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HYDRONICS GENERAL NOTES:

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REFERENCE NOTES:

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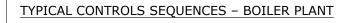
5. ALL RADIATOR LOCATIONS ARE TO BE COORDINATED WITH FINAL ARCHITECTURAL DRAWING

 $\langle 1 \rangle$ Conceal refrigerant piping within the FCU-5.

 $\langle 2 \rangle$ RUN ALL REFRIGERANT PIPING IN THE ATTIC SPACE.

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- 1. HEATING FLAG
- 1.1. THE BOILER PLANT SHALL BE MANUALLY ENABLED FROM OCTOBER TO MAY.
- 2. BOILER CONTROL

2.1. MODULATION SHALL BE CONTROLLED BY A P-I-D ALGORITHM TO MAINTAIN THE SUPPLY WATER TEMPERATURE SETPOINT. IF AT ANY TIME THE SUPPLY WATER TEMPERATURE EXCEEDS SETPOINT BY MORE THAN 10 °C OR EXCEEDS 92 °C, THE BOILER SHALL BE DISABLED.

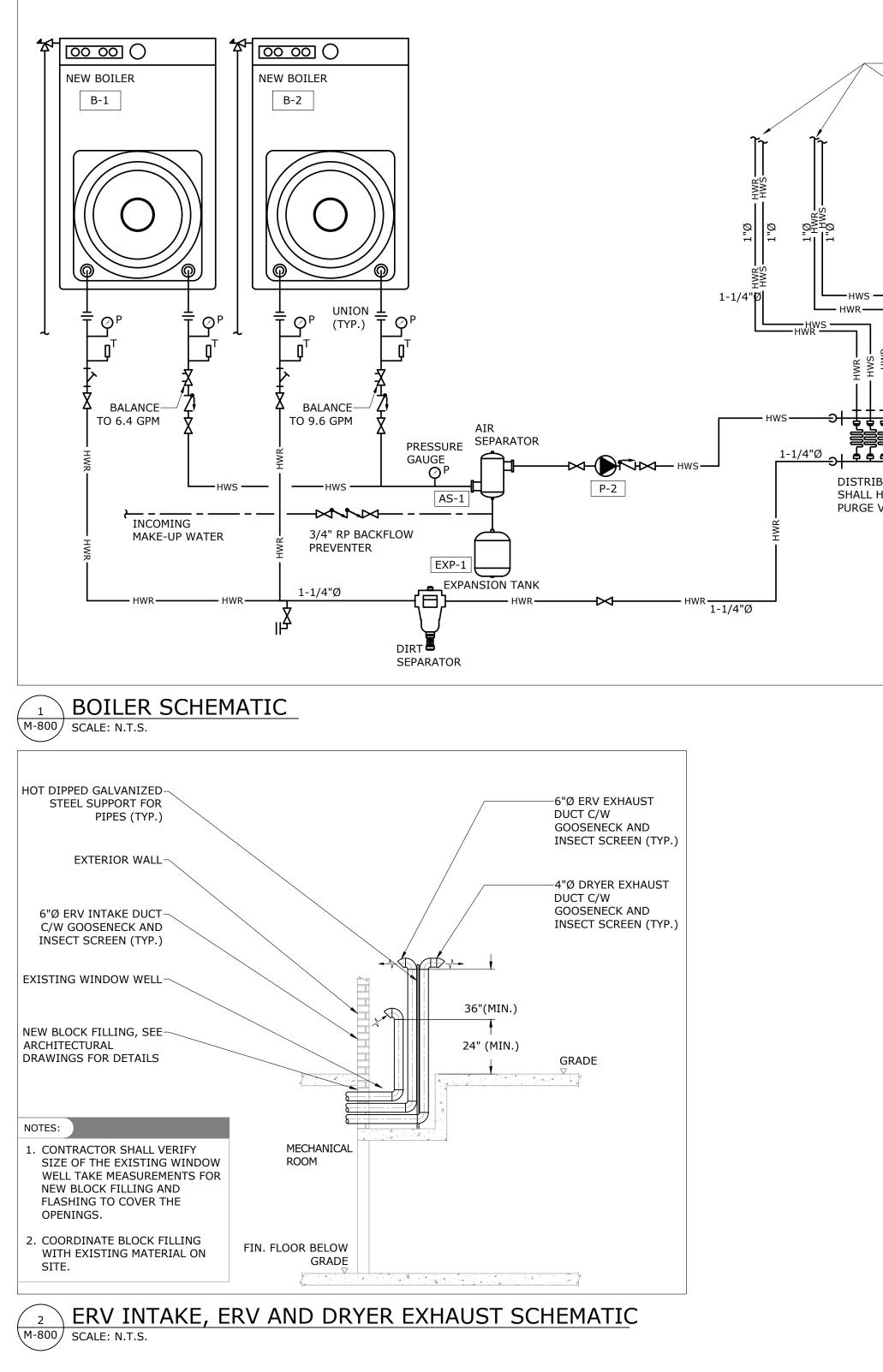
2.2. THE LEAD BOILER SHALL BE ALTERNATED ON THE 1ST AND 16TH DAY OF EACH MONTH. IF THREE BOILERS ARE PRESENT, THE LEAD BOILER SHALL BE ALTERNATED ON THE 1ST, 11TH AND 21ST DAY OF EACH MONTH.

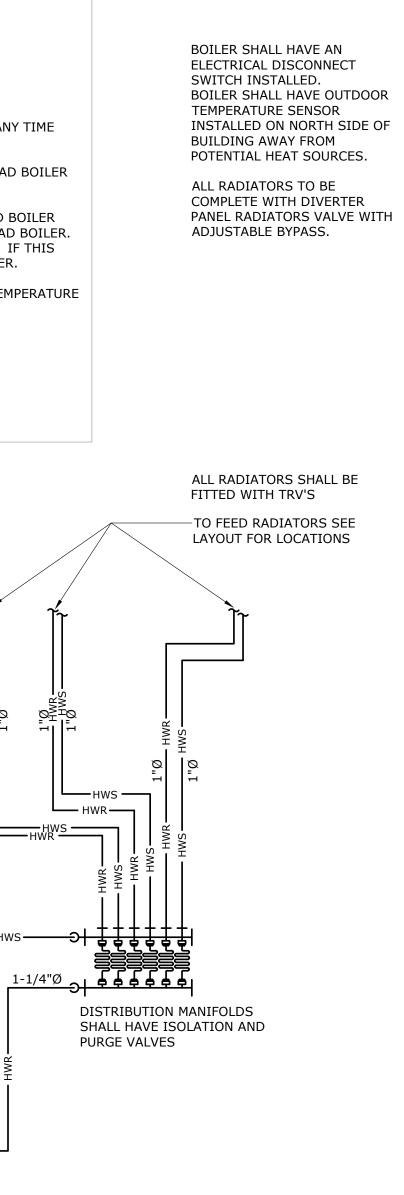
2.3. IF THE LEAD BOILER IS STARTED AND OPERATING STATUS IS NOT DETECTED WITHIN 20 MINUTES (ADJUSTABLE), THEN THE LEAD BOILER SHALL BE REGARDED AS "FAILED" AND SHALL BE REMOVED FROM THE SEQUENCE. THE LAG BOILER SHALL AUTOMATICALLY BE THE LEAD BOILER. THE START COMMAND SHALL BE MAINTAINED CONTINUOUSLY ON THE FAILED BOILER UNTIL A CORRECT BOILER STATUS IS RECEIVED. IF THIS OCCURS, THE BOILER SHALL NO LONGER BE REGARDED AS BEING FAILED AND SHALL BE RETURNED TO OPERATING AS THE LEAD BOILER.

2.4. IF THE LEAD BOILER HAS BEEN OPERATING CONTINUOUSLY FOR 20 MINUTES (ADJUSTABLE) OR MORE AND THE SUPPLY WATER TEMPERATURE IS STILL BELOW SETPOINT, THEN THE LAG BOILER SHALL BE STARTED.

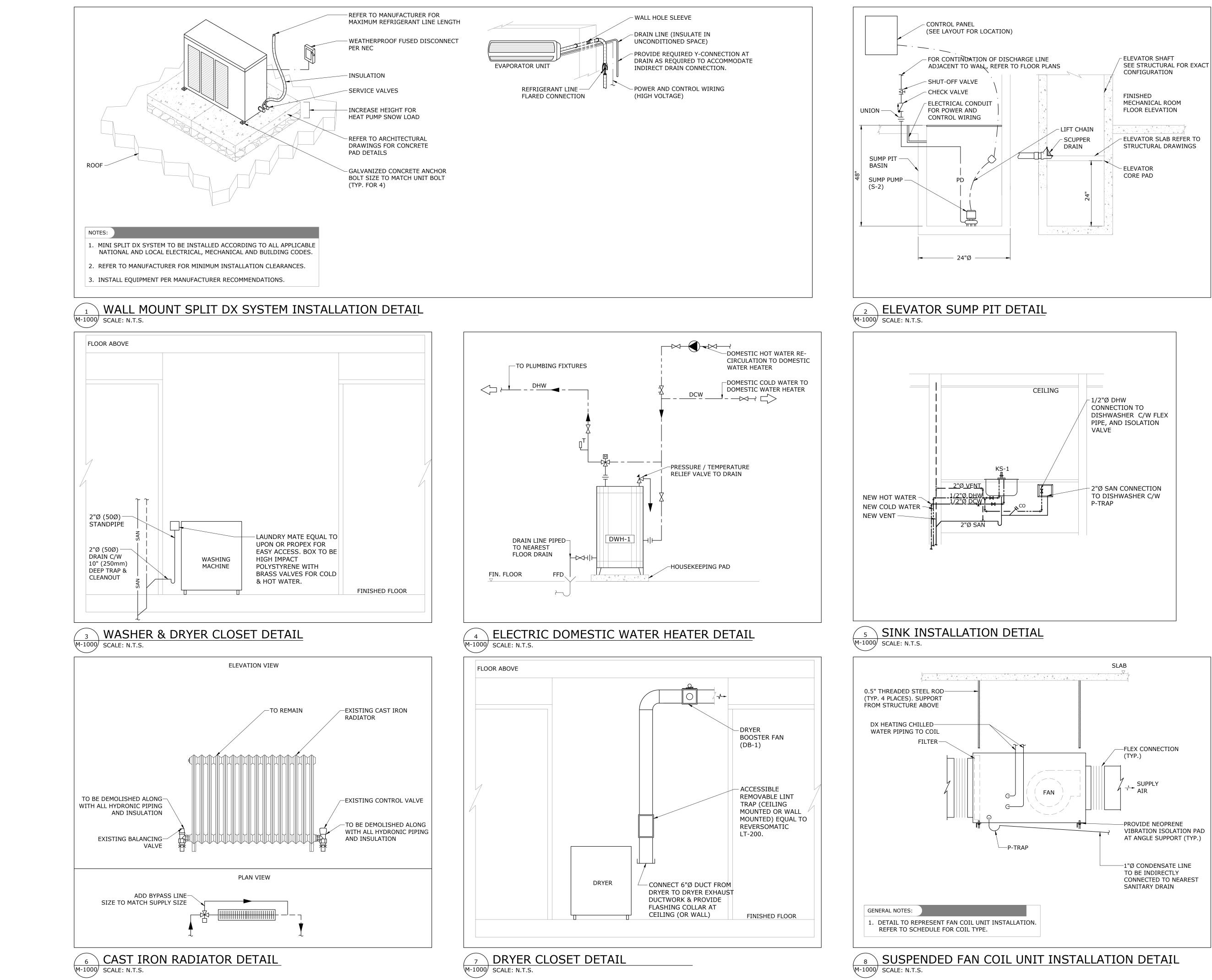
2.5. DURING OCCUPIED HOURS, THE SUPPLY WATER TEMPERATURE SHALL BE 88°C (ADJUSTABLE).

- 2.6. DURING UNOCCUPIED HOURS, THE SUPPLY WATER TEMPERATURE SHALL BE 72°C (ADJUSTABLE).
- 2.7. HYDRONIC HEATING PUMPS
- .1 SHALL BE MANUALLY TURNED ON CONTINUOUSLY FROM OCTOBER TO MAY.

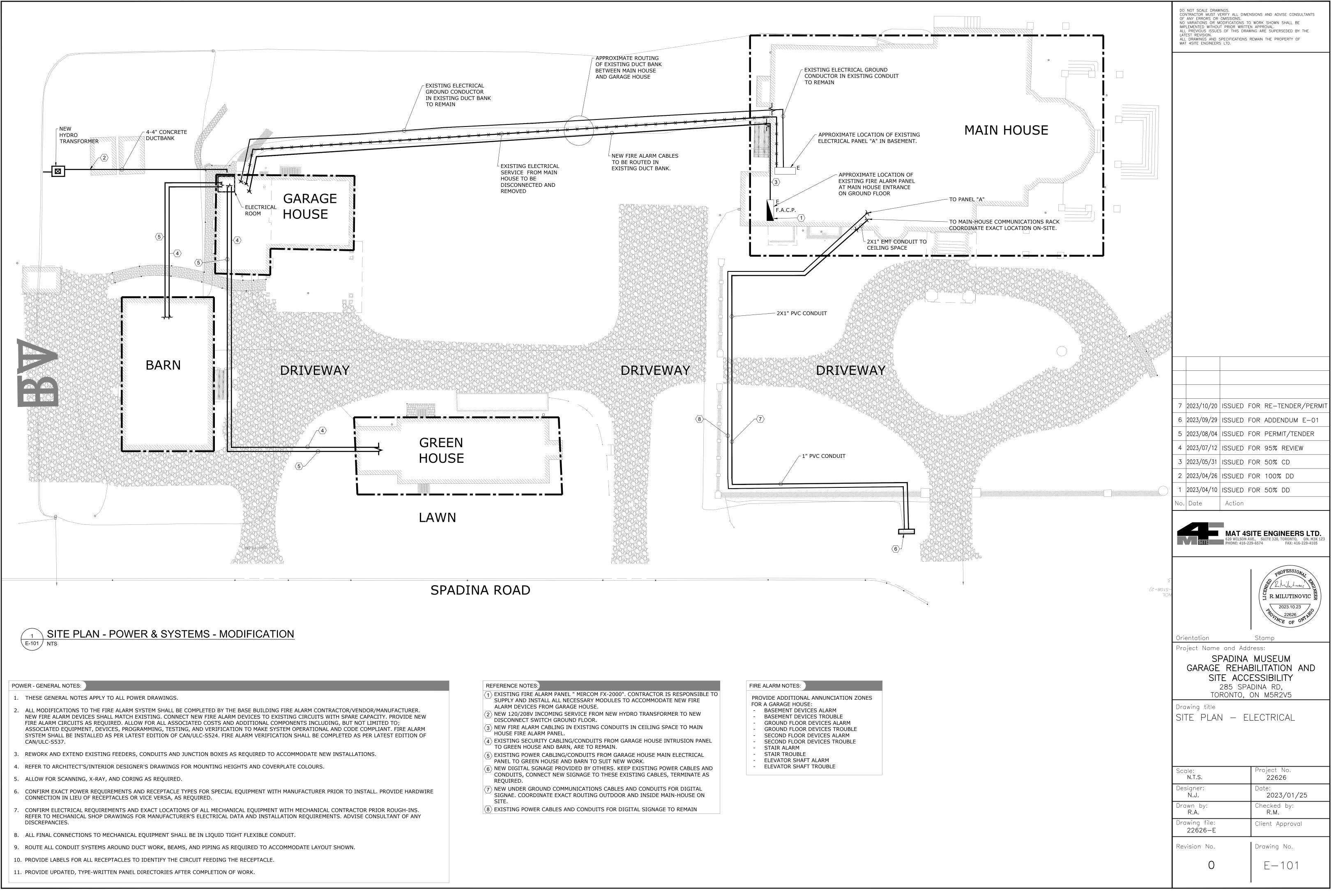




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С. С	AT 4SITE ENGINEERS LTD. WILSON AVE., SUITE 320, TORONTO, ON. M3K 1Z3 NE: 416-229-6574 FAX: 416-229-4105
	SO PROFESSIONAL SP
	R. SHAH 100232576 2023.10.20
	22626 NOUNCE OF ONTARIO
Orientation Project Name and	Stamp d. Address:
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SITE	ACCESSIBILITY SPADINA RD,
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Scale: N.T.S.	Project No. 22626
Designer: S.N.	Date: 2023/01/25
Drawn by: S.N. Drawing file:	Checked by: R.S. Client Approval
22626-M	
Revision No.	Drawing No.
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1 No.	2023/04/10 Date	ISSUED Action MAT 4 620 WILSON PHONE: 416 ADINA ADINA E ACC 285 SF	FOR SITE AVE., S -229-6574	100% DD REVIEW 50% REVIEW ENGINEERS LTD. SUITE 320, TORONTO, ON. M3K 12 FAX: 416-229-4105 R. SHAH 100232576 2023.10.20 2626 R. SHAH 100232576 2023.10.20 2626 R. SHAH 100232576 2023.10.20 2626 R. SHAH 100232576 2023.10.20 2626 R. SHAH 100232576 2023.10.20 2626 R. SHAH 100232576
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$\langle 1 \rangle$	EXISTING FIRE ALARM PANEL " MIRCOM FX-2000". CONTRACTOR IS RESPONSIBLE TO SUPPLY AND INSTALL ALL NECESSARY MODULES TO ACCOMMODATE NEW FIRE ALARM DEVICES FROM GARAGE HOUSE.
(2)	
3	NEW FIRE ALARM CABLING IN EXISTING CONDUITS IN CEILING SPACE TO MAIN HOUSE FIRE ALARM PANEL.
4	EXISTING SECURITY CABLING/CONDUITS FROM GARAGE HOUSE INTRUSION PANEL TO GREEN HOUSE AND BARN, ARE TO REMAIN.
(5)	EXISTING POWER CABLING/CONDUITS FROM GARAGE HOUSE MAIN ELECTRICAL PANEL TO GREEN HOUSE AND BARN TO SUIT NEW WORK.
6	NEW DIGITAL SGNAGE PROVIDED BY OTHERS. KEEP EXISTING POWER CABLES AND CONDUITS, CONNECT NEW SIGNAGE TO THESE EXISTING CABLES, TERMINATE AS REQUIRED.
(7)	NEW UNDER GROUND COMMUNICATIONS CABLES AND CONDUITS FOR DIGITAL SIGNAE. COORDINATE EXACT ROUTING OUTDOOR AND INSIDE MAIN-HOUSE ON SITE.
$\langle 8 \rangle$	EXISTING POWER CABLES AND CONDUITS FOR DIGITAL SIGNAGE TO REMAIN

GENE	RAL NOTES:	DATA/ COMMUMICATION NOTES:
1.	THESE GENERAL NOTES APPLY TO ALL DRAWINGS.	1. RUN 2 CAT 6 CABLES TO PATCH PANEL. TERMINATE CABLES IN R
2.	CONTRACTOR SHALL CONDUCT A SITE REVIEW PRIOR TO PRICING TO BECOME FAMILIAR WITH THE SITE CONDITIONS. VERIFY ALL LOCATIONS, SIZES, AND CONNECTIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE CONSULTANT WITH PROPOSED RESOLUTION AND OBTAIN CONSULTANT'S APPROVAL.	KEYSTONE JACKS. PROVIDE PROPER LABELING AND TESTING.
3.	ALL EXISTING SERVICES THAT ARE NOT SHOWN ON THE DRAWINGS AND ARE EXPOSED DURING DEMOLITION/CONSTRUCTION SHALL BE VERIFIED BY THE CONTRACTOR AS TO THE SOURCE AND ROUTING AND SHALL BE REPORTED TO THE CONSULTANT WITH PROPOSED RESOLUTIONS.	
4.	ALL BASE BUILDING SERVICES NOT IN SCOPE ARE TO REMAIN ON AND INTACT DURING THE DURATION OF WORK. WIRING, CONDUIT, AND EQUIPMENT REQUIRED TO MAINTAIN SERVICE SHALL BE TEMPORARILY SUPPORTED, RE-ROUTED, SERVICED, OR RELOCATED AS REQUIRED. ANY LOSS OF SERVICES TO EXISTING BASE BUILDING OUTSIDE OF SCOPE OF WORK SHALL BE COORDINATED WITH LANDLORD, FACILITY MANAGEMENT.	
5.	ALL EQUIPMENT AND DEVICES SHOWN ARE APPROXIMATE LOCATIONS. EXACT LOCATIONS AND MOUNTING HEIGHTS SHALL BE COORDINATED ON SITE WITH OTHER TRADES AND CONSULTANT.	
6.	SEAL AND FIRESTOP ALL WALL, FLOOR, AND ROOF PENETRATIONS THROUGH FIRE RATED ASSEMBLIES.	
7.	COORDINATE ALL ELECTRICAL WORK AND SHUTDOWNS WITH LANDLORD, FACILITY MANAGEMENT AND OTHER TRADES.	
8.	MAKE GOOD ALL SURFACES, INCLUDING CORE HOLES FROM DEMOLISHED OR RELOCATED EQUIPMENT/DEVICES, AFTER COMPLETION OF WORK.	
9.	ALL MATERIALS SHALL BE DISPOSED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.	
10.	COORDINATE ALL WORK TO SUIT PROJECT PHASE SCHEDULE. COORDINATE PHASING WITH ARCHITECT/INTERIOR DESIGNER/GC'S DRAWINGS.	
11.	PROVIDE CONDUIT/WIRE OR BX CABLE FOR ALL NEW ELECTRICAL INSTALLATION. INCLUDE ALL ASSOCIATED COSTS.	
12.	REMOVE ALL EXISTING ROWMEX CABLE AND REPLACE WITH CONDUIT/WIRE OR BX CABLE. INCLUDE ALL ASSOCIATED COSTS.	
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	RITY NOTES: HESE SECURITY NOTES APPLY TO ALL DRAWINGS.	
2. <i>I</i>	ALL SECURITY DEVICES SHOWN ON DRAWINGS ARE BY CITY SECURITY ITRACTOR. ELECTRICAL CONTRACTOR TO PROVIDE ROUGH-IN ONLY.	
FIRE	ALARM NOTES:	
	HESE FIRE ALARM NOTES APPLY TO ALL DRAWINGS.	
2. A	LL FIRE ALARM DEVICES SHOWN ON DRAWINGS ARE BY OTHERS. ELECTRICAL ONTRACTOR TO PROVIDE ROUGH-IN ONLY.	
C	LL MODIFICATIONS TO THE FIRE ALARM SYSTEM SHALL BE COMPLETED BY THE ITY FIRE ALARM CONTRACTOR/VENDOR/MANUFACTURER. NEW FIRE ALARM EVICES SHALL MATCH EXISTING. CONNECT NEW FIRE ALARM DEVICES TO	

DEVICES SHALL MATCH EXISTING. CONNECT NEW FIRE ALARM DEVICES TO EXISTING CIRCUITS WITH SPARE CAPACITY. PROVIDE NEW FIRE ALARM CIRCUITS AS REQUIRED. ALLOW FOR ALL ASSOCIATED COSTS AND ADDITIONAL COMPONENTS INCLUDING, BUT NOT LIMITED TO; ASSOCIATED EQUIPMENT, DEVICES, PROGRAMMING, TESTING, AND VERIFICATION TO MAKE SYSTEM OPERATIONAL AND CODE COMPLIANT. FIRE ALARM SYSTEM SHALL BE INSTALLED AS PER LATEST EDITION OF CAN/ULC-S524. FIRE ALARM VERIFICATION SHALL BE COMPLETED AS PER LATEST EDITION OF CAN/ULC-S537.

4. ALL FIRE ALARM DEVICES/EQUIPMENT TO BE CONNECTED TO FIRE ALARM PANEL IN MAIN HOUSE. TYPICAL FOR ALL.

RESPONSIBILITY MATRIX

SYSTEM	SECURITY	COMMUNICATIONS	FIRE ALARM	ELECTRICAL		
ROUGH-IN & CONDUIT	ELEC	ELEC	ELEC	ELEC		
CABLING & TERMINATION	SEC	ELEC	FA	ELEC		
FIELD DEVICE INSTALLATION & TERMINATION	SEC	ELEC	FA	ELEC		
PROGRAMMING	SEC	ELEC	FA	N/A		
COMMISSIONING & TESTING	SEC	ELEC	FA	ELEC		
ELEC = ELECTRICAL CONTRACTOR SEC = SECURITY CONTRACTOR FA = FIRE ALARM CONTRACTOR N/A = NOT APPLICABLE						
VENDOR, HOWEVE	NOTE: FINAL WIRING OF FIRE ALARM AND SECURITY WORK ARE TO BE DONE BY CITY'S VENDOR, HOWEVER IT IS THE CONTRACTOR RESPONSIBILITY TO CARRY CITY'S VENDOR TO COMPLETE THE WORK IN BASE BID.					

RJ45

DOWER AND SYSTEMS LEGEND SYMBOL DESCRIPTION NEW WORK DESCRIPTION DATA OUTLET DESCRIPTION R COMMUNICATIONS BACK COMMUNICATION TELEPHONE & DATA OUTLET - FLOOR MOUNTED OCCOMMUNICATION TELEPHONE & DATA OUTLET - CELLING MOUNTED COMMUNICATION TELEPHONE & DATA OUTLET - CELLING MOUNTED COMMUNICATION TELEPHONE & DATA OUTLET - CELLING MOUNTED COMMUNICATION FORCE & COMMUNICATION FLOOR OUTLET SOX - EUBER MOUNTED COMMUNICATION FORCE & COMMUNICATION FLOOR OUTLET SOX - EUBER MOUNTED COMMUNICATION FORCE & COMMUNICATION FLOOR OUTLET SOX - EUBER MOUNTED COMMUNICATION FORCE & COMMUNICATION FLOOR OUTLET SOX COMMUNICATION FORCE & COMMUNICATION FLOOR MOUNTED CALL COMMUNICATION FORCE & COMMUNICATION FLOOR COULER RECEPTACLE - CLUIDS MOUNTED CALL CELETRACLE - CLUIDS MOUNTED CALL SINGLE RECEPTACLE - COM ISOLATED GROUND DUPLEX RECEPTACLE - COM ISOLATED GROUND DUPLEX RECEPTACLE - COM ISOLATED GROUND DUPLEX RECEPTACLE - COM ISOLATED GROUND <t< th=""><th></th><th></th></t<>		
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□ SINGLE RECEPTACLE - CEILING MOUNTED □ DUPLEX RECEPTACLE - LEILING MOUNTED □ DUPLEX RECEPTACLE - FLOOR MOUNTED □ DUPLEX RECEPTACLE - C/W ISOLATED GROUND □ DUPLEX RECEPTACLE - C/W ISOLATED GROUND □ DUPLEX RECEPTACLE - C/W ISOLATED GROUND □ DUPLEX RECEPTACLE - S-20R (T-SLOT) □ SPLIT WIRED DUPLEX RECEPTACLE □ GFI DUPLEX RECEPTACLE - S-20R (T-SLOT) □ GFI DUPLEX RECEPTACLE - FLOOR MOUNTED □ QUADRUPLEX RECEPTACLE - FLOOR MOUNTED □ QUADRUPLEX RECEPTACLE - CEILING MOUNTED □ QUADRUPLEX RECEPTACLE - COOR MOUNTED □ QUADRUPLEX RECEPTACLE - CON ISOLATED GROUND □ SYSTEMS FURNITURE BASE FEED - HOOR □ QUADRUPLEX RECEPTACLE - CONS □ SYSTEMS FURNITURE BASE FEED - WIREMOLD □ SYSTEMS FURNITURE BASE FEED - WIREMOLD □ WIREMOLD RACEWAY C/W POWER RECEPTACLE & COMBINATION □ DISCONNECT SWITCH - NON-FUSED <th>\bigcirc</th> <th>SINGLE RECEPTACLE</th>	\bigcirc	SINGLE RECEPTACLE
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Image: Duplex Receptacle - 5-20R (T-SLOT) Image: Duplex Receptacle Image: Duplex Receptacle - FLOOR MOUNTED Image: Duplex Receptacle - CW ISOLATED GROUND Image: Duplex Receptacle - FLOOR		
Image: Split Wired Duplex Receptacle Image: Split Wired Duplex Receptacle - C/W ISOLATED GROUND Image: Split Wired Duplex Receptacle - C/W ISOLATED GROUND Image: Split Wired Duplex Receptacle - C/W ISOLATED GROUND Image: Split Wired Duplex Receptacle - Vall Image: Split Wired Furniture Base Feed - Wall Image: Split Wired Duplex Receptacle & Combination Image: Split Wired Duplex Receptacle - Service Pole Image: Split Wired Duplex Receptacle & Combination Image: Split Wired Pole Image: Split Wired Duplex Receptacle & Combination Image: Split Wired Duplex Receptacle - Fused Image: Split Split Wired Duplex Re		
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GFI DUPLEX RECEPTACLE - 5-20R (T-SLOT) ● QUADRUPLEX RECEPTACLE ● QUADRUPLEX RECEPTACLE - FLOOR MOUNTED ● QUADRUPLEX RECEPTACLE - CEILING MOUNTED ● QUADRUPLEX RECEPTACLE - CW ISOLATED GROUND ● QUADRUPLEX RECEPTACLE - C/W ISOLATED GROUND ● SYSTEMS FURNITURE BASE FEED - HLOOR ● SYSTEMS FURNITURE BASE FEED - WALL ● SYSTEMS FURNITURE BASE FEED - SERVICE POLE ● SYSTEMS FURNITURE BASE FEED - WIREMOLD ● WIREMOLD RACEWAY C/W POWER RECEPTACLE & COMBINATION OUTLET ● DISCONNECT SWITCH - FUSED ● DISCONNECT SWITCH - FUSED ● DIRECT CONNECTION TO EQUIPMENT AS NO		SPLIT WIRED DUPLEX RECEPTACLE
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□ F SYSTEMS FURNITURE BASE FEED - FLOOR □ W SYSTEMS FURNITURE BASE FEED - WALL □ SP SYSTEMS FURNITURE BASE FEED - SERVICE POLE □ WM SYSTEMS FURNITURE BASE FEED - WIREMOLD □ CT CONNECTRAC RACEWAY □ CT CONNECTRAC RACEWAY C/W POWER RECEPTACLE & COMBINATION OUTLET ○ MOTOR CONNECTION □ DISCONNECT SWITCH - FUSED □ DISCONNECT SWITCH - NON-FUSED ○ DIRECT CONNECTION TO EQUIPMENT AS NOTED ● PANEL - SURFACE MOUNTED ● PANEL - FLUSH MOUNTED ● PUSH BUTTON SWITCH ● JUNCTION BOX - WALL MOUNTED ● JUNCTION BOX - CEILING MOUNTED		
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Image: Second	F	SYSTEMS FURNITURE BASE FEED - FLOOR
□ SYSTEMS FURNITURE BASE FEED - WIREMOLD □ CONNECTRAC RACEWAY ▲ WIREMOLD RACEWAY C/W POWER RECEPTACLE & COMBINATION OUTLET ↓ WIREMOLD RACEWAY C/W POWER RECEPTACLE & COMBINATION OUTLET ↓ MOTOR CONNECTION ↓ DISCONNECT SWITCH - FUSED ↓ DISCONNECT SWITCH - NON-FUSED ↓ DIRECT CONNECTION TO EQUIPMENT AS NOTED ↓ DIRECT CONNECTION TO EQUIPMENT AS NOTED ↓ PANEL - SURFACE MOUNTED ↓ PANEL - SURFACE MOUNTED ↓ PANEL - FLUSH MOUNTED ↓ JUNCTION BOX - WALL MOUNTED ↓ JUNCTION BOX - CEILING MOUNTED	\square_{W}	SYSTEMS FURNITURE BASE FEED - WALL
C CONNECTRAC RACEWAY Image: Constant of the state		SYSTEMS FURNITURE BASE FEED - SERVICE POLE
C CONNECTRAC RACEWAY Image: Constant of the state		SYSTEMS FURNITURE BASE FEED - WIREMOLD
Image: Second		CONNECTRAC RACEWAY
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Image:		OUTLET
Image: Construction of the end of t	\Diamond	MOTOR CONNECTION
Image: Construction of equipment as noted Image: Construction of equipment as not equipment as		DISCONNECT SWITCH - FUSED
Image: Constraint of the state of the s		DISCONNECT SWITCH - NON-FUSED
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PANEL - FLUSH MOUNTED PUSH BUTTON SWITCH JH JUNCTION BOX - WALL MOUNTED J JUNCTION BOX - CEILING MOUNTED		ELECTRIC BASEBOARD HEATER
PANEL - FLUSH MOUNTED PUSH BUTTON SWITCH JH JUNCTION BOX - WALL MOUNTED J JUNCTION BOX - CEILING MOUNTED		PANEL - SURFACE MOUNTED
Image: Push Button switch Image: JH JUNCTION BOX - WALL MOUNTED Image: JH JUNCTION BOX - CEILING MOUNTED		PANEL - ELUSH MOUNTED
JH JUNCTION BOX - WALL MOUNTED J JUNCTION BOX - CEILING MOUNTED		
J JUNCTION BOX - CEILING MOUNTED	-	PUSH BUTTON SWITCH
	(J)H	JUNCTION BOX - WALL MOUNTED
J JUNCTION BOX - FLOOR MOUNTED	J	JUNCTION BOX - CEILING MOUNTED
<u> </u>	J	JUNCTION BOX - FLOOR MOUNTED
		·

FIRE ALARM SYSTEMS LEGEND		LIGHTING LEGEND	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	NEW WORK		NEW WORK
	EXISTING TO REMAIN		EXISTING TO REMAIN
<u> </u>	EXISTING TO BE DEMOLISHED	<u> </u>	EXISTING TO BE DEMOLISHED
SD	SMOKE DETECTOR - CEILING MOUNTED		EXISTING TO BE REMOVED OR RELOCATED
HD	HEAT DETECTOR		LUMINAIRE FIXTURE
	FIRE ALARM BELL		LUMINAIRE FIXTURE TO BE REMOVED OR RELOCATED
X	FIRE ALARM HORN		EMERGENCY LUMINAIRE FIXTURE TRACK LIGHTING (NUMBER OF FIXTURES SHOWN ON SYMBOL)
			· · ·
	FIRE ALARM HORN AND STROBE DEVICE		TRACK LIGHTING TO BE REMOVED OR RELOCATED
	FIRE ALARM MANUAL PULL STATION		POT LIGHT
(S) (S)+	FIRE ALARM EVACUATION SPEAKER - CEILING MOUNTED FIRE ALARM EVACUATION SPEAKER - WALL MOUNTED		RECESSED POT LIGHT CONNECTED TO NIGHT LIGHT CIRCUIT
		\oplus	SUSPENDED LUMINAIRE
Ś.	FIRE ALARM SPEAKER/STROBE COMBINATION - CEILING MOUNTED	-¢-I	WALL MOUNTED LUMINAIRE
-(S)H	FIRE ALARM SPEAKER/STROBE COMBINATION - WALL MOUNTED	\$	SWITCH - SINGLE POLE
ŚŢ	FIRE ALARM STROBE - CEILING MOUNTED	\$2	SWITCH - DOUBLE POLE
		\$3	SWITCH - THREE WAY
-ST)H	FIRE ALARM STROBE - WALL MOUNTED	\$3	SWITCH - FOUR WAY
(SA)	SMOKE ALARM/STROBE COMBINATION - CEILING MOUNTED	\$LM	SWITCH - LOW VOLTAGE MASTER
SA)		\$LM \$dм	SWITCH - DIMMER
- SAH	SMOKE ALARM/STROBE COMBINATION - WALL MOUNTED	DL DL	DAY LIGHT PHOTO SENSOR
(SD)	DUCT MOUNTED SMOKE DETECTOR	(DE) (OS)	OCCUPANCY SENSOR - CEILING MOUNTED
FS	FLOW SWITCH		
SV	SUPERVISED VALVE		OCCUPANCY SENSOR C/W SWITCH - WALL MOUNTED EXIT SIGN - PENDANT/CEILING MOUNTED (SHADING INDICATES
Η	FIREMAN'S HANDSET	Ž	LIGHTED FACES, ARROWS INDICATE DIRECTION OF EXIT) EXIT SIGN - WALL MOUNTED (SHADING INDICATES LIGHTED
			FACES, ARROWS INDICATE DIRECTION OF EXIT)
	SINGLE LINE DIAGRAM LEGEND	•- <u></u>	OUTDOOR POLE ARM FIXTURE - ONE LIGHT
SYMBOL	DESCRIPTION		OUTDOOR POLE ARM FIXTURE - TWO LIGHT
	NEW WORK		
- X X -	EXISTING TO BE DEMOLISHED		OUTDOOR POLE ARM FIXTURE - THREE LIGHT
_ _	START SWITCH		
	STOP SWITCH		
	CIRCUIT BREAKER LIGHTING ARRESTOR	H	WALL PACK
	SWITCH AND FUSE UNIT	H	EMERGENCY WALL PACK
_• ^X	FUSIBLE HIGH VOLTAGE ISOLATION SWITCH		
	TRANSFORMER		OUTDOOR FLOOD LIGHT
		- (-	RECESSED POT LIGHT
	TRANSFORMER - ELECTROSTATIC SHIELD	•	RECESSED POT LIGHT C/W EMERGENCY BATTERY BACKUP
		-¢-I	WALL MOUNTED LUMINAIRE
ABBREVIATIONS		\oplus	SUSPENDED LUMINAIRE
3B.			
			EMERGENCY LIGHTS TWIN HEADS C/W BATTERY UNIT
			EMERGENCY LIGHTS TWIN HEADS, WALL MOUNTED
	EXISTING TO BE REMOVED		
E EXISTIN	EXISTING TO REMAIN		SECURITY LEGEND
FI GROUNI	GROUND FAULT CIRCUIT INTERRUPTER		DESCRIPTION
ND BONDIN	IG CONDUCTOR CONNECTED TO BUILDING GROUND	SYMBOL	NEW WORK
N NEW TO BE PROVIDED			

	FIRE ALARM SYSTEMS LEGEND	LIGHTING LEGEND	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	NEW WORK		NEW WORK
	EXISTING TO REMAIN		EXISTING TO REMAIN
X	EXISTING TO BE DEMOLISHED	<u> </u>	EXISTING TO BE DEMOLISHED
SD	SMOKE DETECTOR - CEILING MOUNTED		EXISTING TO BE REMOVED OR RELOCATED
HD	HEAT DETECTOR		LUMINAIRE FIXTURE
	FIRE ALARM BELL		LUMINAIRE FIXTURE TO BE REMOVED OR RELOCATED
	FIRE ALARM HORN		EMERGENCY LUMINAIRE FIXTURE
			TRACK LIGHTING (NUMBER OF FIXTURES SHOWN ON SYMBOL)
	FIRE ALARM HORN AND STROBE DEVICE		TRACK LIGHTING TO BE REMOVED OR RELOCATED
	FIRE ALARM MANUAL PULL STATION		POT LIGHT
S	FIRE ALARM EVACUATION SPEAKER - CEILING MOUNTED		RECESSED POT LIGHT CONNECTED TO NIGHT LIGHT CIRCUIT
SH	FIRE ALARM EVACUATION SPEAKER - WALL MOUNTED	\oplus	SUSPENDED LUMINAIRE
Ś	FIRE ALARM SPEAKER/STROBE COMBINATION - CEILING MOUNTED		WALL MOUNTED LUMINAIRE
-(S)H	FIRE ALARM SPEAKER/STROBE COMBINATION - WALL MOUNTED	↓ ·	
		\$	SWITCH - SINGLE POLE
(ST)	FIRE ALARM STROBE - CEILING MOUNTED	\$2	SWITCH - DOUBLE POLE
-(ST)+	FIRE ALARM STROBE - WALL MOUNTED	\$3	SWITCH - THREE WAY
		\$4	SWITCH - FOUR WAY
ŚĄ	SMOKE ALARM/STROBE COMBINATION - CEILING MOUNTED	\$lm	SWITCH - LOW VOLTAGE MASTER
-SA)	SMOKE ALARM/STROBE COMBINATION - WALL MOUNTED	\$dm	SWITCH - DIMMER
SD	DUCT MOUNTED SMOKE DETECTOR	0	DAY LIGHT PHOTO SENSOR OCCUPANCY SENSOR - CEILING MOUNTED
FS	FLOW SWITCH		
SV	SUPERVISED VALVE		OCCUPANCY SENSOR C/W SWITCH - WALL MOUNTED
Н	FIREMAN'S HANDSET	<u> </u>	EXIT SIGN - PENDANT/CEILING MOUNTED (SHADING INDICATES LIGHTED FACES, ARROWS INDICATE DIRECTION OF EXIT)
		Ř	EXIT SIGN - WALL MOUNTED (SHADING INDICATES LIGHTED FACES, ARROWS INDICATE DIRECTION OF EXIT)
	SINGLE LINE DIAGRAM LEGEND	•	OUTDOOR POLE ARM FIXTURE - ONE LIGHT
SYMBOL	DESCRIPTION		OUTDOOR POLE ARM FIXTURE - TWO LIGHT
	NEW WORK		
	EXISTING TO REMAIN EXISTING TO BE DEMOLISHED START SWITCH		OUTDOOR POLE ARM FIXTURE - THREE LIGHT
-• - •	STOP SWITCH		
-•••	CIRCUIT BREAKER		
→ • 	LIGHTING ARRESTOR	H	WALL PACK
• • • • • • • • • • • • • • • • • • •	SWITCH AND FUSE UNIT	H	EMERGENCY WALL PACK
	FUSIBLE HIGH VOLTAGE ISOLATION SWITCH	X	OUTDOOR FLOOD LIGHT
	TRANSFORMER		RECESSED POT LIGHT
	TRANSFORMER - ELECTROSTATIC SHIELD		RECESSED POT LIGHT C/W EMERGENCY BATTERY BACKUP
ABBREVIATIONS		¥	
BB.			SUSPENDED LUMINAIRE
	IG AUTOMATION SYSTEM	B	EMERGENCY LIGHTS TWIN HEADS C/W BATTERY UNIT
BAS BUILDIN	CONNECT TO EXISTING		EMERGENCY LIGHTS TWIN HEADS, WALL MOUNTED
		RD	
CTE CONNEC	IG TO BE REMOVED	<u> </u>	
ER EXISTIN	IG TO BE REMOVED		SECURITY I FGEND
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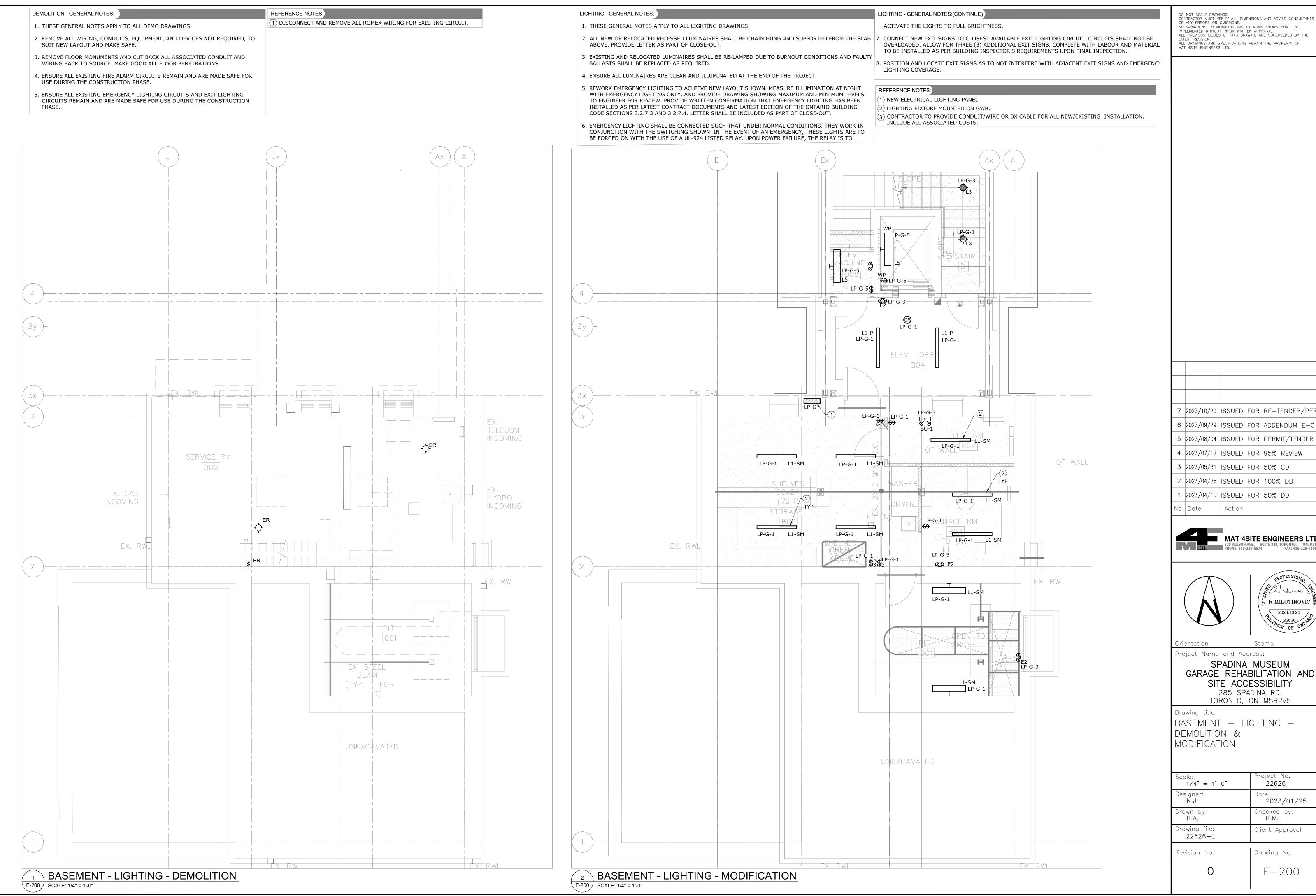
	ABBREVIATIONS		
ABB.	DESCRIPTION		
BAS	BUILDING AUTOMATION SYSTEM		
CTE	CONNECT TO EXISTING		
ER	EXISTING TO BE REMOVED		
E	EXISTING TO REMAIN		
GFI	GROUND FAULT CIRCUIT INTERRUPTER		
GND	BONDING CONDUCTOR CONNECTED TO BUILDING GROUND		
N	NEW TO BE PROVIDED		
RL	EXISTING DEVICE/EQUIPMENT IN RELOCATED POSITION		
RR	REMOVE AND REINSTALL		
ТҮР	TYPICAL		
VFD	VARIABLE FREQUENCY DRIVE		
WP	WEATHERPROOF		
SLD	SINGLE LINE DIAGRAM		
P.F.C.	POWER FACTOR CAPACITOR		
TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSOR		

EXISTING TO REMAIN CCTV SECURITY CAMERA DOME INTRUSION PANEL CARD READER

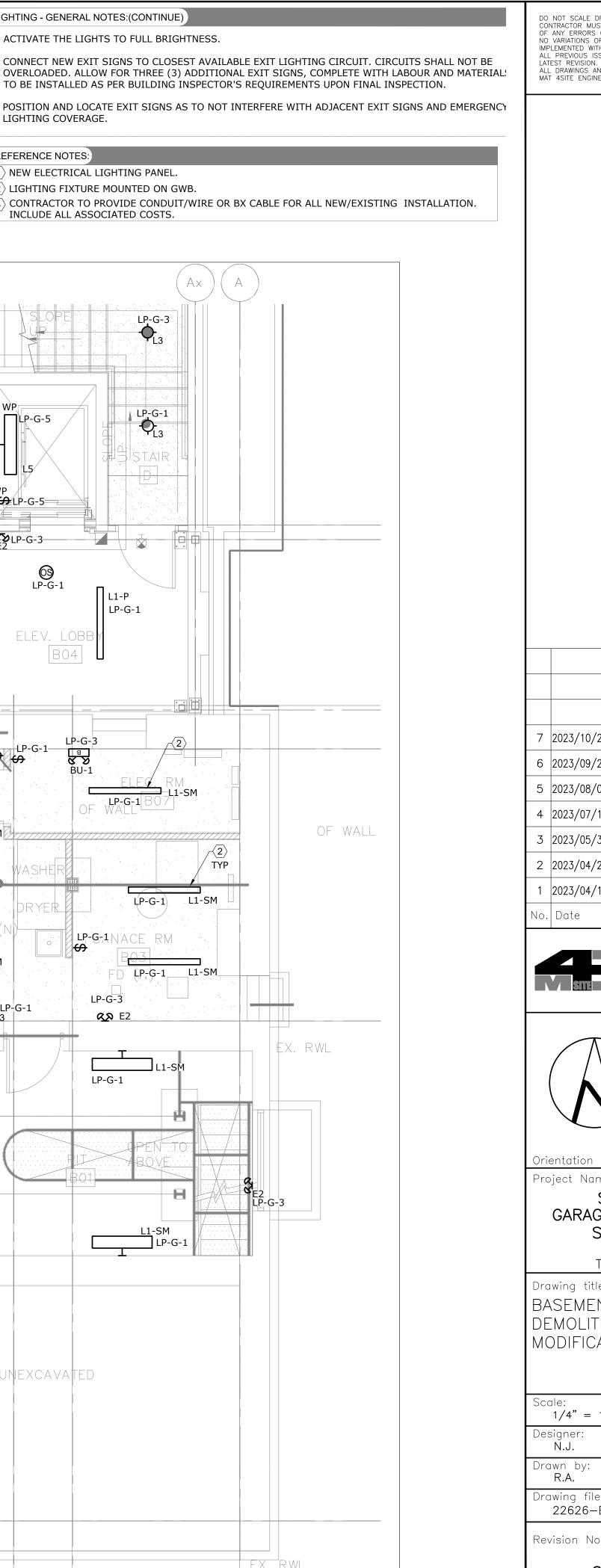
CR ES ELECTRIC STRIKE MS INTRUSION MOTION SENSOR DC DOOR CONTACT REX REQUEST FOR EXIT DO AUTOMATIC DOOR OPERATOR BY OTHERS HC HANDICAP PUSH PLATE BY OTHERS KP INTRUSION KEYPAD

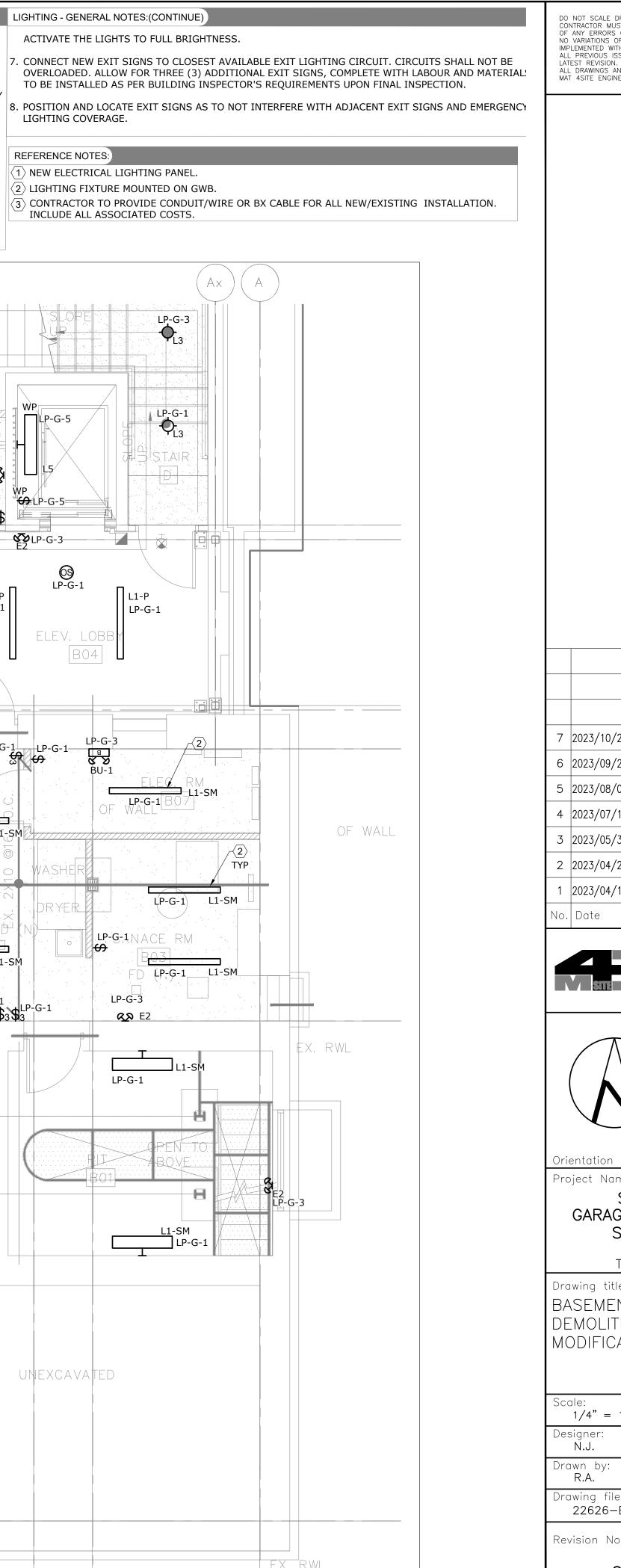
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AND SCHEDULES		
Scale: Project No. N.T.S. 22626		
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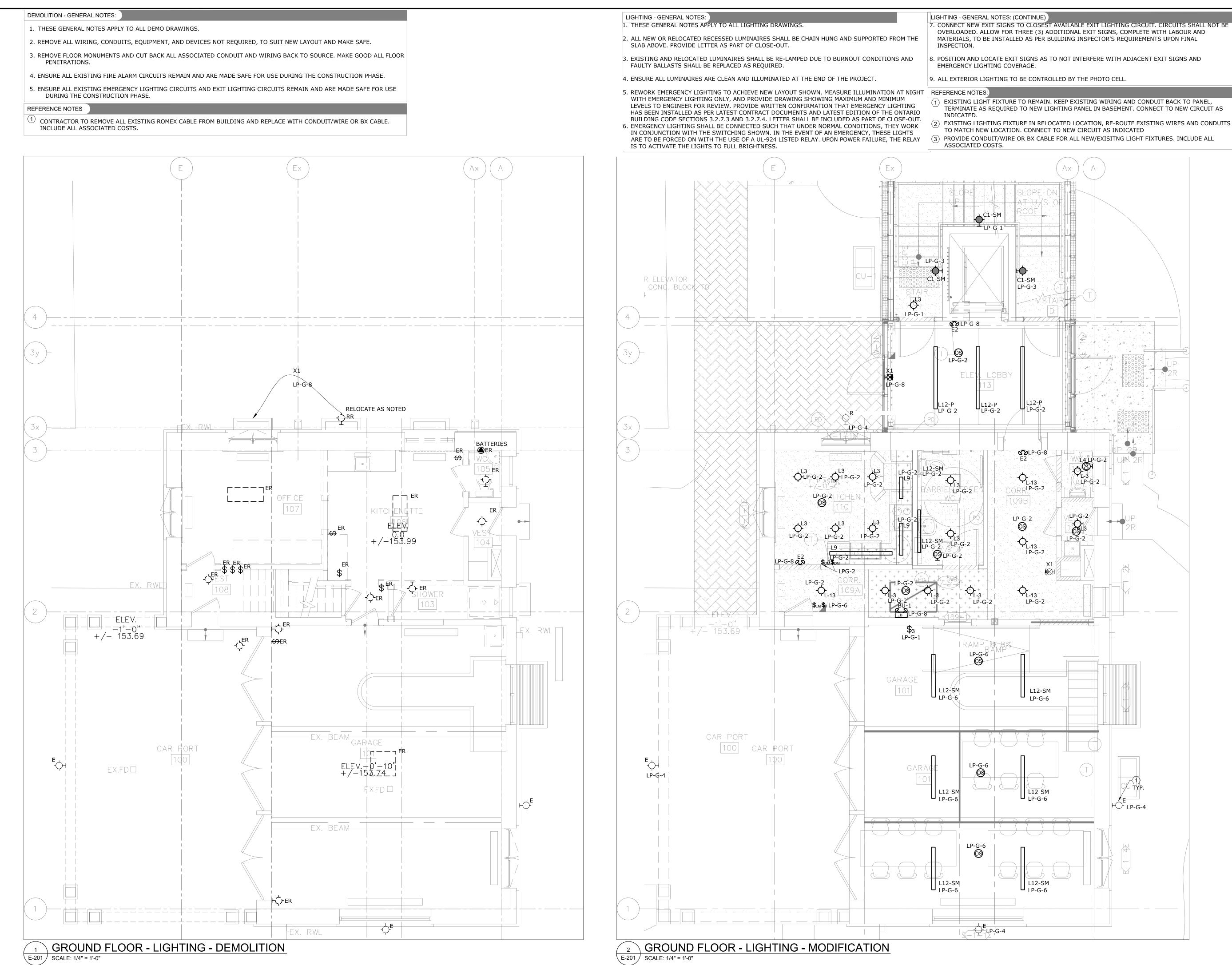


ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MAT 4SITE ENGINEERS LTD. 7 2023/10/20 ISSUED FOR RE-TENDER/PERMIT 6 2023/09/29 ISSUED FOR ADDENDUM E-01 5 2023/08/04 ISSUED FOR PERMIT/TENDER 4 2023/07/12 ISSUED FOR 95% REVIEW 3 2023/05/31 ISSUED FOR 50% CD 2 2023/04/26 ISSUED FOR 100% DD 1 2023/04/10 ISSUED FOR 50% DD Action
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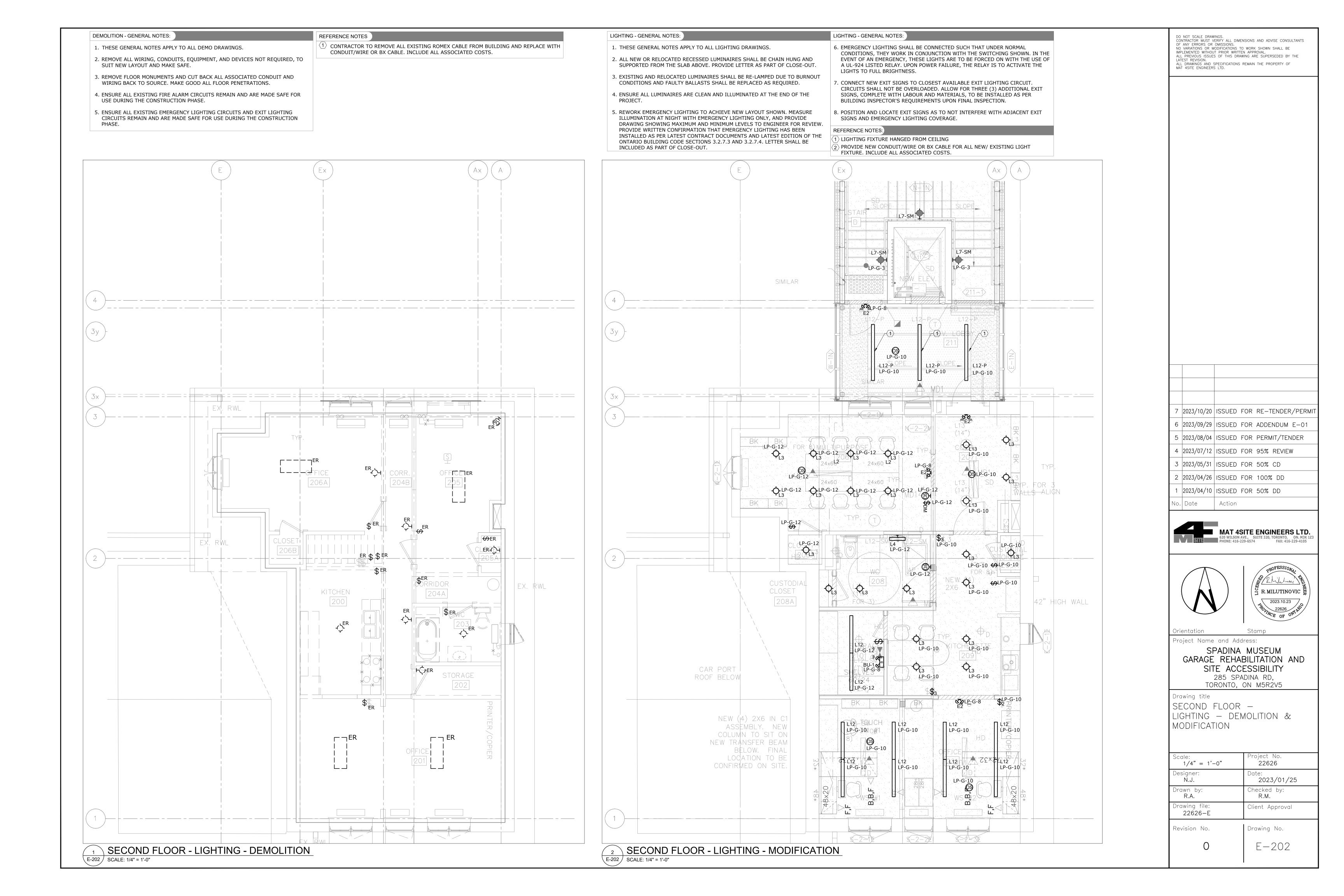
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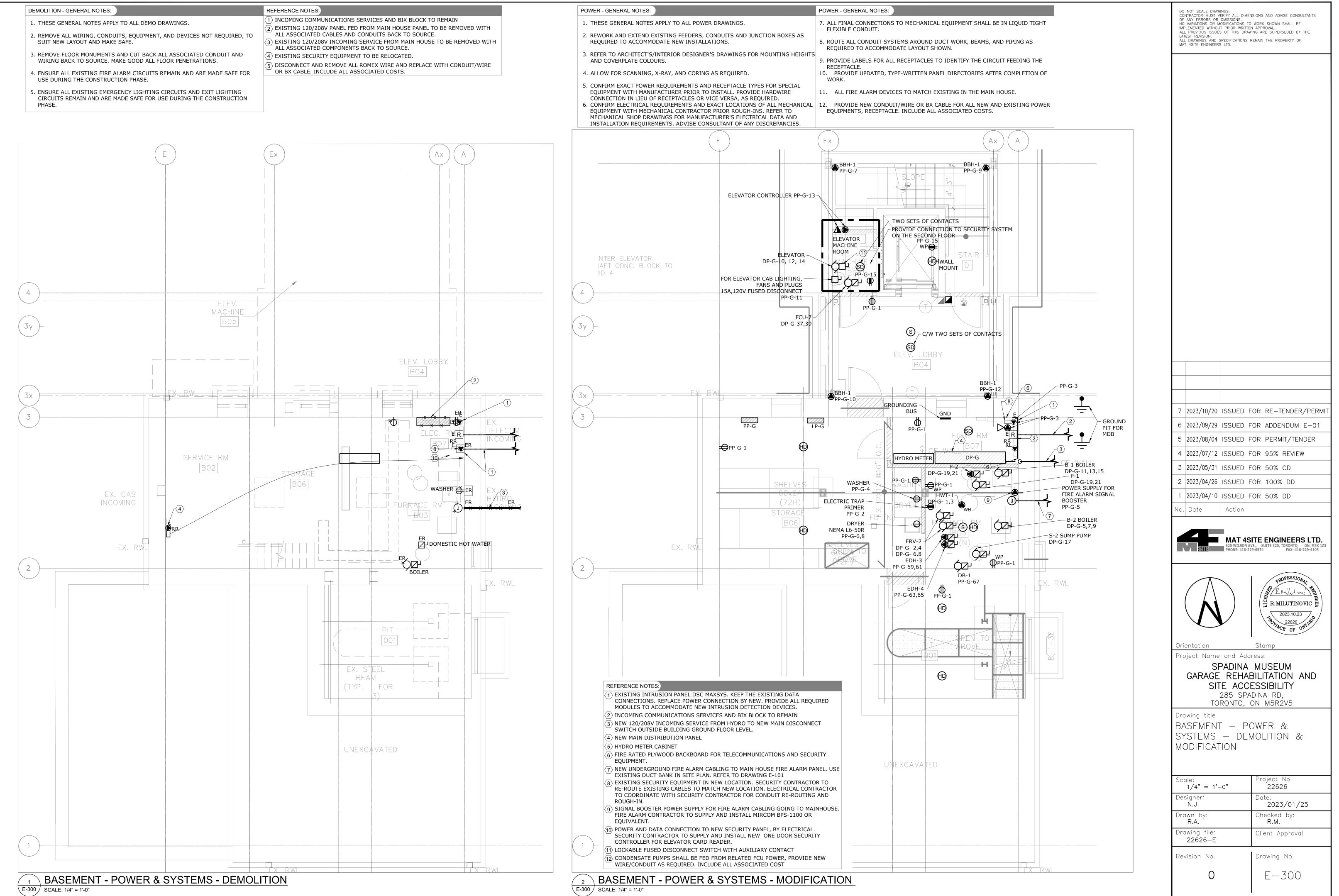
 PHONE: 416-229-6574
 FAX: 416-229-4105
 5 2 Lilitin R. MILUTINOVIC 2023.10.23 10 22626 Stamp Project Name and Address: SPADINA MUSEUM GARAGE REHABILITATION AND SITE ACCESSIBILITY 285 SPADINA RD, TORONTO, ON M5R2V5 Drawing title BASEMENT – LIGHTING – DEMOLITION & MODIFICATION

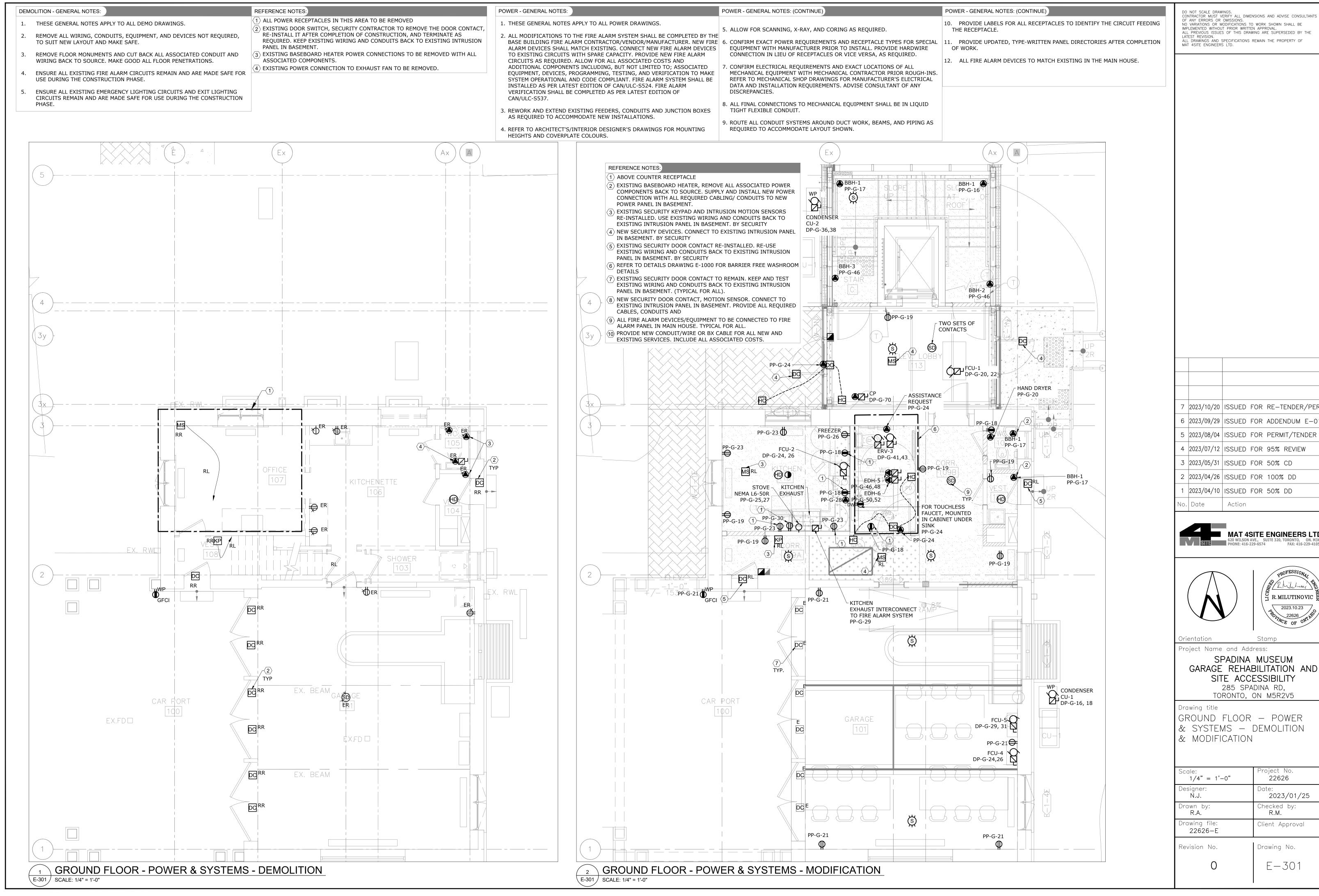
Scale: 1/4" = 1'-0"	Project No. 22626
Designer: N.J.	Date: 2023/01/25
Drawn by: R.A.	Checked by: R.M.
Drawing file: 22626-E	Client Approval
Revision No.	Drawing No.
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7	2023/10/20	ISSUED	FOR	RE-TENDER/PERMIT
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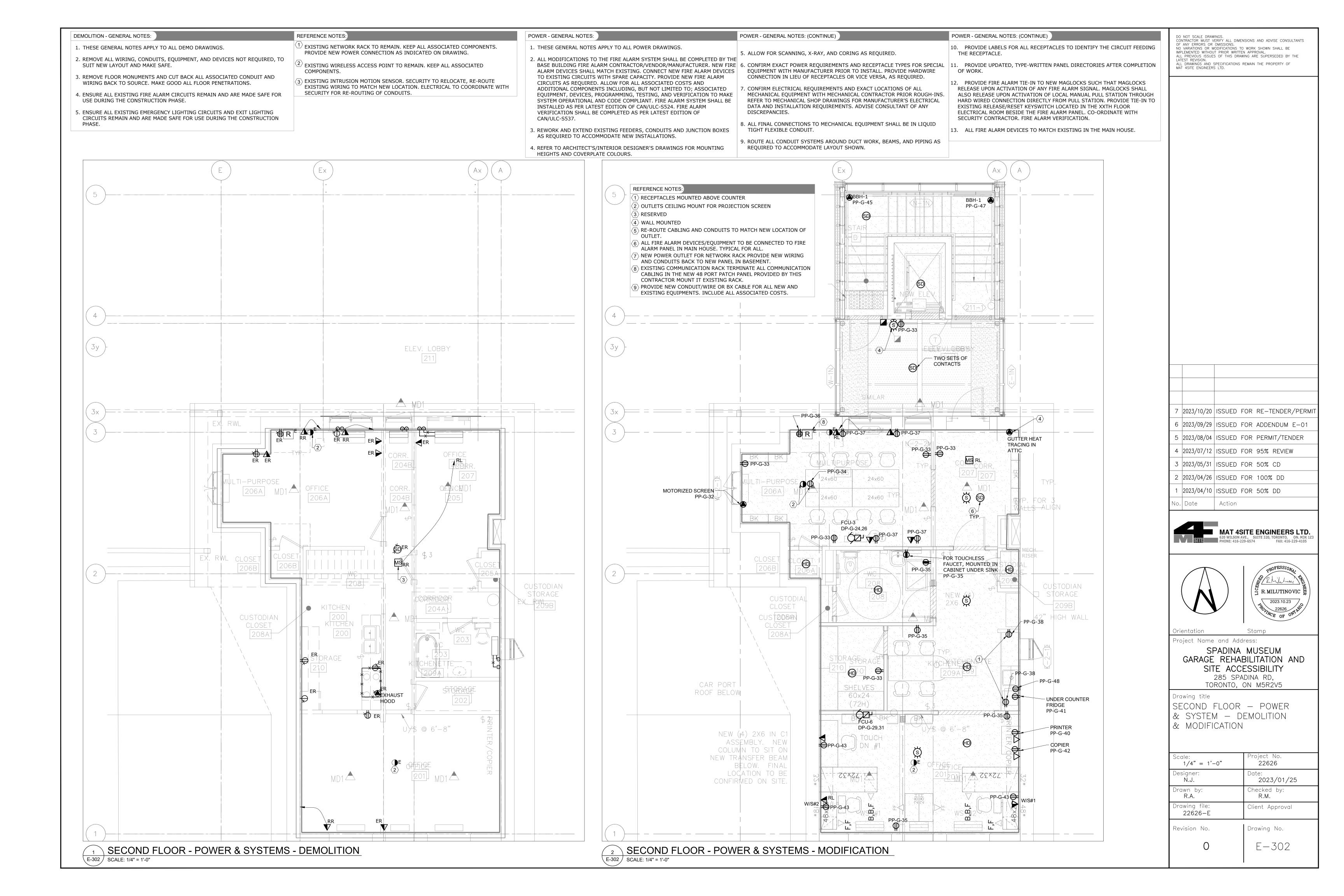


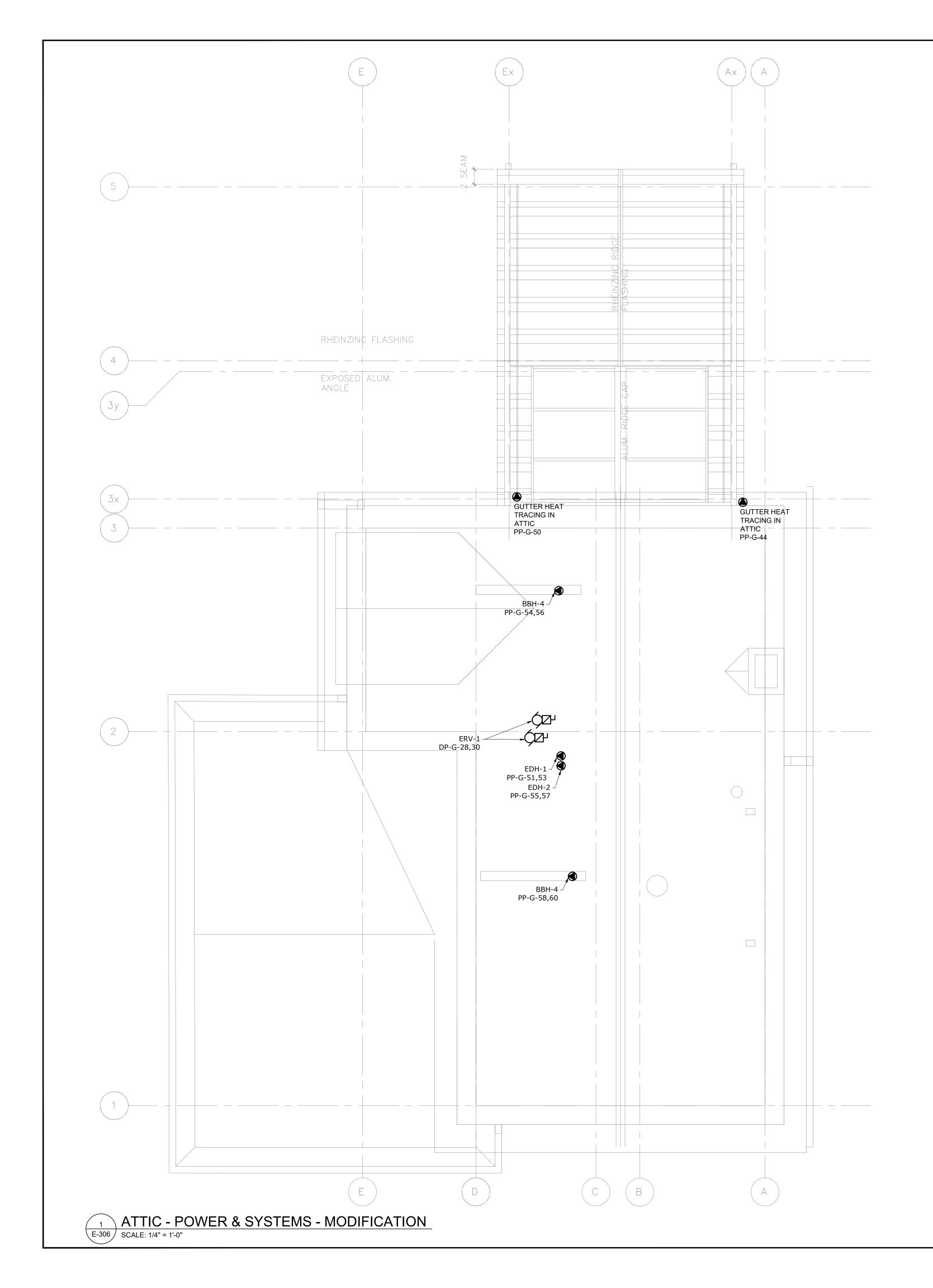




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7	2023/10/20	ISSUED	FOR	RE-	TENDEF	R/PERMIT
6	2023/09/29	ISSUED	FOR	ADDE	ENDUM	E-01
5	2023/08/04	ISSUED	FOR	PERM	AIT/TEN	NDER
4	2023/07/12	ISSUED	FOR	95%	REVIE	W
3	2023/05/31	ISSUED	FOR	50%	CD	
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1	2023/04/10	ISSUED	FOR	50%	DD	
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Designer: N.J.	Date: 2023/01/25
Drawn by: R.A.	Checked by: R.M.
Drawing file: 22626-E	Client Approval
Revision No.	Drawing No.
Ο	E-301





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POWER - GENERAL NOTES:

1. THESE GENERAL NOTES APPLY TO ALL POWER DRAWINGS.

2. ALL MODIFICATIONS TO THE FIRE ALARM SYSTEM SHALL BE COMPLETED BY THE BASE BUILDING FIRE ALARM CONTRACTOR/VENDOR/MANUFACTURER. NEW FIRE ALARM DEVICES SHALL MATCH EXISTING. CONNECT NEW FIRE ALARM DEVICES TO EXISTING CIRCUITS WITH SPARE CAPACITY. PROVIDE NEW FIRE ALARM CIRCUITS AS REQUIRED. ALLOW FOR ALL ASSOCIATED COSTS AND ADDITIONAL COMPONENTS INCLUDING, BUT NOT LIMITED TO; ASSOCIATED EQUIPMENT, DEVICES, PROGRAMMING, TESTING, AND VERIFICATION TO MAKE SYSTEM OPERATIONAL AND CODE COMPLIANT. FIRE ALARM SYSTEM SHALL BE INSTALLED AS PER LATEST EDITION OF CAN/ULC-S524. FIRE ALARM VERIFICATION SHALL BE COMPLETED AS PER LATEST EDITION OF CAN/ULC-S537.

3. REWORK AND EXTEND EXISTING FEEDERS, CONDUITS AND JUNCTION BOXES AS REQUIRED TO ACCOMMODATE NEW INSTALLATIONS.

4. REFER TO ARCHITECT'S/INTERIOR DESIGNER'S DRAWINGS FOR MOUNTING HEIGHTS AND COVERPLATE COLOURS.

5. ALLOW FOR SCANNING, X-RAY, AND CORING AS REQUIRED.

6. CONFIRM EXACT POWER REQUIREMENTS AND RECEPTACLE TYPES FOR SPECIAL EQUIPMENT WITH MANUFACTURER PRIOR TO INSTALL. PROVIDE HARDWIRE CONNECTION IN LIEU OF RECEPTACLES OR VICE VERSA, AS REQUIRED.

7. CONFIRM ELECTRICAL REQUIREMENTS AND EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT WITH MECHANICAL CONTRACTOR PRIOR ROUGH-INS. REFER TO MECHANICAL SHOP DRAWINGS FOR MANUFACTURER'S ELECTRICAL DATA AND INSTALLATION REQUIREMENTS. ADVISE CONSULTANT OF ANY DISCREPANCIES.

8. ALL FINAL CONNECTIONS TO MECHANICAL EQUIPMENT SHALL BE IN LIQUID TIGHT FLEXIBLE CONDUIT.

9. ROUTE ALL CONDUIT SYSTEMS AROUND DUCT WORK, BEAMS, AND PIPING AS REQUIRED TO ACCOMMODATE LAYOUT SHOWN.

10. PROVIDE LABELS FOR ALL RECEPTACLES TO IDENTIFY THE CIRCUIT FEEDING THE RECEPTACLE.

11. PROVIDE UPDATED, TYPE-WRITTEN PANEL DIRECTORIES AFTER COMPLETION OF WORK.

12. PROVIDE NEW CONDUIT/WIRE OR BX CABLE FOR ALL NEW AND EXISTING EQUIPMENTS, RECEPTACLES...ETC. INCLUDE ALL ASSOCIATED COSTS.

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MAT 4SITE ENGINEERS LTD.

7	2023/10/20	ISSUED	FOR	RE-TENDER/PERMIT
6	2023/09/29	ISSUED	FOR	ADDENDUM E-01
5	2023/08/04	ISSUED	FOR	PERMIT/TENDER
4	2023/07/12	ISSUED	FOR	95% REVIEW
3	2023/05/31	ISSUED	FOR	50% CD
2	2023/04/26	ISSUED	FOR	100% DD
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No.	Date	Action		
Ori	entation		Ste	PROFESSIONAL PROFESSIONAL PROFESSIONAL PROFESSIONAL PROFESSIONAL ENTROPY 2023.10.23 PROFESSION
Pro	GARAGE SIT	PADINA REHA E AC(285 SP	A MU ABIL CESS PADIN	USEUM ITATION AND SIBILITY
AT	iwing title TIC – ′STEMS			CICATION
Sco	ale: 1/4" = 1'-	-0"	Pr	oject No. 22626
Des	signer: N.J.		Da	ite: 2023/01/25
Dro	iwn by:		Ch	ecked by:
Dro	R.A. wing file: 22626-E		Cli	R.M. ent Approval
Rev	vision No.		Dr	awing No.
	0			E-306

			LUMINAIRE SCHEDULE	
TYPE	VOLT.	LAMP TYPE	DESCRPTION	REMARKS
L1	120 V	W: 38.8W LUMEN:4000LM CT:4000K CRI:80	METALUX NWS SELECTABLE WRAP, 4', SURFACE OR SUSPENDED, CEILING OR WALL MOUNT FIXTURE C/W LED LAMPS. SUITABLE FOR DAMP AREAS.	
L2	120 V	W: 31.7W LUMEN:4500LM CT:4000K CRI:80	METALUX CGTX PANEL, 2X4' HIGH EFFICACY DRY WALL RECESSED LED, LISTED FOR DAMP LOCATION	
L3	120 V	W: 32W LUMEN:3000LM CT:4000K CRI:90	PORTFOLIO LDS6, 6" ROUND, SHALLOW DOWNLIGHT CEILING RECESSED MOUNT FIXTURE. GALVANIZED STEEL PLASTER FRAME, WITH FROSTED ACRYLIC RING. C/W 6W BATTERY PROVIDE 30 MINUTES LIGHTING FOR EMERGENCY FIXTURES ONLY. REFER TO FLOOR PLANS.	
L4	120 V	CT:4000K CRI:82	METALUX NWS SELECTABLE WRAP, 2', CEILING OR WALL SURFACE MOUNT FIXTURE. C/W LED LAMPS. SUITABLE FOR DAMP AREAS.	
L5	120 V	W: 20W LUMEN:2771LM CT:4000K CRI:80	METALUX SNX LENSED LW, LED STRIPLIGHT 2' WALL SURFACE MOUNT, ROUND FROST LENS.	
L6	120 V	W: 3.5 / 11.5W LUMEN: CT:3000K CRI:80 W: 27.6W	iO LED CovSelect , 1'&4' LENGTH ARCHITECTURAL COVE LIGHT WITH INTEGRAL DRIVER, 6' LENGTH, LISTED FOR DAMP LOCATIONS. FIELD SELECTABLE LUMEN, 350 /700 LM/FT	
L7	120 V		PORTFOLIO LSRS8B EC8B 8L, EXTERIOR 8" ROUND , 8" REFLECTOR, CEILING PENDANT WIDE BEAM, LISTED FOR PROTECTED WET LOCATION WITH COVERED CEILING	
L8	120 V	W: 31.7W LUMEN:4200LM CT:4000K CRI:80	METALUX CGTX PANEL, 1X4' HIGH EFFICACY DRY WALL RECESSED, SURFACE OR PENDANT LED, LISTED FOR DAMP LOCATION	
L9	120 V	W:19W/m LUMEN:2000LM /m CT:2700K CRI:90+	LUMICREST LED STRIP LIGHT PRO SERIES, DOTLESS WHITE , 1% DIMMING, C/W AC DIMMABLE HARDWIRED POWER SUPPLY, DRIVERS, AND CONTROLLERS AS REQUIRED	
L10	120 V	W: 35.1W LUMEN:4000LM CT:4000K CRI:80	METALUX - WSL LINEAR 1'X4'. CEILING, SURFACE OR SUSPENDED MOUNT FIXTURE C/W LED LAMPS. SUITABLE FOR DAMP AREAS.	
L11	120 V	W: 51W LUMEN:5797LM CT:4000K CRI:70	LUMARK NFLD-S-C15 NIGHT FALCON SMALL SOLID STATE LED FLOOD LIGHT	
L12-P	120V		COOPER NEO-RAY, SUSPENDED ON AIRCRAFT CABLE 120V HIGH PERFORMANCE, FINISHES AND COLOUR TO BE DETERMINED AT THE TIME OF SHOP DRAWINGS (STANDARD COLOURS)	
BU-1	120V/24V	W: 144W	LUMACELL RGS SERIES CATALOGUE# RG24S144-2-LD13-AT, WALL MOUNT EMERGENCY BATTERY UNIT COMPLETE WITH MR16 LED 4W DOUBLE REMOTE HEADS AND ASSOCIATED RECEPTACLE	
E1	24V	4W	SINGLE REMOTE EMERGENCY HEAD LUMACELL MR16 LED	
E2	24V	4W / HEAD	DOUBLE REMOTE EMERGENCY HEADS LUMACELL MR16 LED.	
			EDGE-LIT RUNNING MAN PICTOGRAM EXIT SIGN. BEGHELLI: GUIDA SERIES. SINGLE FACE EXIT LIGHT C/W PICTOGRAM, AND NICKEL CADMIUM BATTERIES PROVIDE MINIMUM 30 MINUTES OF EMERGENCY.	
X1	24V	2.5W	CAT # GD-RMLRC1-0LR-UDC-120347V-BA DOUBLE FACE EXIT LIGHT C/W PICTOGRAM CAT # GD-RMLRC2-0LR-UDC-120347V-BA CEILING OR WALL, SURFACE OR RECESSED MOUNT.	
C1-SM	120V	LUMEN:6000LM	COOPER PORTFOLIO, C/W BATTERY BACKUP, FINISHES AND COLOUR TO BE DETERMINED AT THE TIME OF SHOP DRAWINGS (STANDARD COLOURS)	
LP-G-2	120V		OCL SUSPENDED 120V LED2 , FINISHES AND COLOUR TO BE DETERMINED AT THE TIME OF SHOP DRAWINGS (STANDARD COLOURS)	

1. ALL FINISH, TRIMS AND MOUNTING HEIGHTS TO BE CONFIRMED BY DESIGNER.

EMERGENCY LIGHT SCHEDULE

				JULL			
UNIT DESIGNATION	LOCATION OF BATTERY UNIT	VOLTAGE	DEVICE TYPE	QUANTITIES	WATTAGE	TOTAL LOAD (W)	MAXIMUM CAPACITY (W)
	ELECTRICAL		BU-1	1	8		
BU-1	ROOM	120/24V	E1	12	4	75	144
	(BASEMENT)		X1	1	2.5		
	00000000		BU-1	1	8		
BU-1	CORRIDOR (GROUND)	120/24V	E1	12	4	75	144
	(encone)		X1	2	2.5		
BU-1	STORAGE	120/24V	BU-1	1	8	65	144
60-1	(SECOND)	120/240	E1	12	4	05	144

NOTES: 1. PROVIDE BREAKER LOCK-ON DEVICES FOR ALL CIRCUIT(S) FEEDING BATTERY UNITS. 2. REFER TO DRAWINGS FOR LOCATIONS OF ALL DEVICES. 3. THE ELECTRICAL CONTRACTOR IS TO MEASURE THE ILLUMINATION OF THE FLOOR AT NIGHT WITH EMERGENCY LIGHTING ON ONLY, AND SEND DRAWING SHOWING THE MAXIMUM AND MINIMUM LEVEL OF ILLUMINATION, TO CONSULTING ENGINEER, FOR REVIEW. PROVIDE WRITTEN CONFIRMATION THAT EMERGENCY LIGHTING HAS BEEN INSTALLED IN ACCORDANCE WITH CONTRACT DOCUMENTS AND LATEST EDITION OF THE ONTABIO BUILDING CODE SECTIONS [3, 2, 7, 3, AND 3, 2, 7, 4]. LETTER TO BE INCLUDED AS PART OF AND LATEST EDITION OF THE ONTARIO BUILDING CODE SECTIONS [3.2.7.3 AND 3.2.7.4]. LETTER TO BE INCLUDED AS PART OF CLOSE-OUT DOCUMENT SUBMITTAL PACKAGE.

4. PROVIDE ALL MOUNTING SHELVES FOR INSTALLATION OF BATTERY UNITS. SIZE TO SUIT.

OF ANY ERRORS OR OMISS NO VARIATIONS OR MODIFIC IMPLEMENTED WITHOUT PRIC ALL PREVIOUS ISSUES OF LATEST REVISION.	ATIONS TO WORK SHOWN SHALL BE OR WRITTEN APPROVAL. THIS DRAWING ARE SUPERSEDED BY TI ICATIONS REMAIN THE PROPERTY OF	
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	UED FOR ADDENDUM E	
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	UED FOR 50% CD	
	UED FOR 100% DD	
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SITE PHO	AT 4SITE ENGINEERS 0 WILSON AVE., SUITE 320, TORONTO, O DNE: 416-229-6574 FAX: 416-22	ON. M3K 1Z3 29-4105
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LUMINAIRE S	SCHEDULE	
Scale:	Project No.	
N.T.S. Designer:	22626 Date:	_
N.J. Drawn by:	2023/01/25 Checked by:	5
R.A. Drawing file:	R.M. Client Approval	
22626-E Revision No.	Drawing No.	
\cap	E-800	

DOMESTIC HOT WATER 1.00 2.00 2.00 2.P 3 B 4 2.P 0.18 0.20 0.90 BASEMENT FURNACE ROO 3-2 1.00 10.08 10.08 10.08 10.08 10.08 3P 7 A 6 20 0.18 0.20 0.90 BASEMENT FURNACE ROO 301LER 1.00 10.08 10.08 15 9 B 10 2.5 2.42 3.46 0.70 ELEVATOR 301LER 1.00 6.73 6.73 70 11 4 C 12 1 2.42 3.46 0.70 301LER 1.00 6.73 6.73 3P 15 B 16 35 3.00 3.00 1.00 C14 20 20 0.25 1.00 C04 20 20 20 2.5 1.00 C14 C44 20 3.00 1.00 C14 C44 20 3.00 1.00 C14 C14	
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DEMAND LOAD A (kW) 47.2 CONNECTED LOAD A (kW) 48.4	
DEMAND LOAD C (kW) 58.7 CONNECTED LOAD C (kW) 59.9	
TOTAL DEMAND (kW)161.7TOTAL CONNECTED (kW)165.2	
DPTIONS:	
SPRINKLER PROOF OTHER:	
☐ MAIN BREAKER: XXXA-3P	
□ NEMA 3X14	

NEMA 3X14

COPPER BUS ALUMINUM BUS

MAIN LUGS ONLY

PANEL: PP-G LOCATION: BASEMENT, ELEC ROOM MAINS: 225 AMPS 120/208V, 3Ø, 4W, 15kAIC FED FROM: DP-G MOUNTING: SURFACE DEMAND LOAD DEMAND BKR BKR DEMAND LOAD DEMAND CIRCUITS DESCRIPTION DESCRIPTION FACTOR (kW) LOAD (kW) SIZE SIZE LOAD (kW) (kW) FACTOR
 1.00
 0.50
 0.50
 15
 3
 B
 4
 15
 1.20
 1.50
 0.80
 BASEMENT ELECTRIC TRAP
 BASEMENT GENERAL RECEPTACLES BASEMENT SECURITY EQUIPMENT
 BASEMENT FIRE ALARM SIGNAL BOOSTER
 1.00
 0.50
 0.50
 15
 5
 C
 6
 40
 2.40
 3.00
 0.80
 BASEMENT DRYER

 BASEMENT BASEBOARD HEATER BBH-1
 1.00
 0.60
 0.60
 15
 7
 A
 8
 2P
 2.40
 3.00
 0.80
 BASEMENT DRYER

 BASEMENT BASEBOARD HEATER BBH-1
 1.00
 0.60
 0.60
 15
 9
 B
 10
 15
 0.60
 1.00
 BASEMENT BASEBOARD HEATER BBH-1

 BASEMENT ELEV. CAB FAN, LIGHT, PLUG
 1.00
 0.50
 0.50
 15
 11
 C
 12
 15
 0.60
 1.00
 BASEMENT BASEBOARD HEATER BBH-1

 ELEVATOR CONTROLLER
 1.00
 0.80
 0.80
 15
 13
 A
 14
 15
 0.60
 1.00
 BASEMENT BASEBOARD HEATER BBH-1

 ELEV. MACH. RM. + ELEV. SHAFT REC.
 1.00
 0.40
 0.40
 15
 15
 B
 16
 15
 1.20
 1.00
 GROUND FL BASEBOARD HEATER BBH-1

 GROUND FL BASEBOARD HEATER BBH-1
 1.00
 1.20
 1.20
 15
 17
 C
 18
 15
 0.58
 0.72
 0.80
 GROUND FL. GFI RECEPTACLES

 1
 1.00
 1.20
 1.20
 15
 17
 C
 18
 15
 0.58
 0.72
 0.80
 GROUND FL. GFI RECEPTACLES

 0.80
 1.08
 0.86
 15
 19
 A
 20
 15
 0.96
 1.20
 0.80
 GROUND FL. HAND DRYER

 0.80
 0.90
 0.72
 15
 21
 B
 22
 15

 GROUND FL. HAND DRYER

 0.80
 0.72
 0.58
 15
 23
 C
 24
 15
 0.40
 0.50
 0.80
 GROUND FL. WASHROOM + DO

 0.80
 0.72
 0.58
 15
 23
 C
 24
 15
 0.40
 0.50
 0.80
 GROUND FL. WASHROOM + DO

 0.80
 3.00
 2.40
 2P
 27
 B
 28
 15
 1.20
 0.80
 KITCHEN FREEZER

 0.80
 0.50
 0.40
 15
 29
 C
 30
 15
 SPARE

 0.80
 1.08
 0.86
 15 GROUND FL GENERAL RECEPTACLES GROUND FL GARAGE RECEPTACLES KITCHEN COUNTER RECEPTACLES KITCHEN STOVE KITCHEN EXHAUST HOOD SPARE 2ND FLOOR GENERAL RECEPTACLES 2ND FLOOR GENERAL RECEPTACLES BOARD ROOM RECEPTACLES
 Image: Constraint of the state of 2ND FLOOR U/C FRIDGE 2ND FLOOR WORK STATION
 1.00
 1.20
 1.20
 15
 45
 B
 46
 15
 0.32
 0.35
 0.90

 1.00
 1.20
 1.20
 15
 47
 C
 48
 2P
 0.32
 0.35
 0.90
 2ND FL. BASEBOARD HEATER BBH-1 EDH-5 2ND FL. BASEBOARD HEATER BBH-1

 1.00
 1.20
 1.20
 13
 47
 6
 6
 48
 27
 0.32
 0.33
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 1.00
 1.50
 1.50
 20
 49
 A
 50
 15
 1.89
 2.10
 0.90

 0.90
 0.80
 0.72
 15
 51
 B
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 2P
 1.89
 2.10
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 0.90
 1.00
 0.90
 15
 53
 C
 54
 15
 2.25
 2.25
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 0.90
 2.30
 2.07
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 55
 A
 56
 2P
 2.25
 2.25
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 0.90
 2.30
 2.07
 2P
 57
 B
 58
 15
 2.25
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 1.00

 0.90
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 59
 C
 60
 2P
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 2.25
 1.00

 0.90
 1.20
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 2P
 61
 A
 62
 20

 5

 0.90
 0.40
 0.36
 15
 63
 B
 64
 15

 5
 5

 FFH-1 EDH-6 EDH-1 BBH-4 EDH-2 BBH-4 EDH-3 SPARE

 0.90
 0.40
 0.36
 15
 63
 B
 64
 15

 0.90
 0.40
 0.36
 2P
 65
 C
 66
 20

 0.90
 0.40
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 2P
 65
 C
 66
 20

 0.90
 0.08
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 15
 67
 A
 C
 68
 C

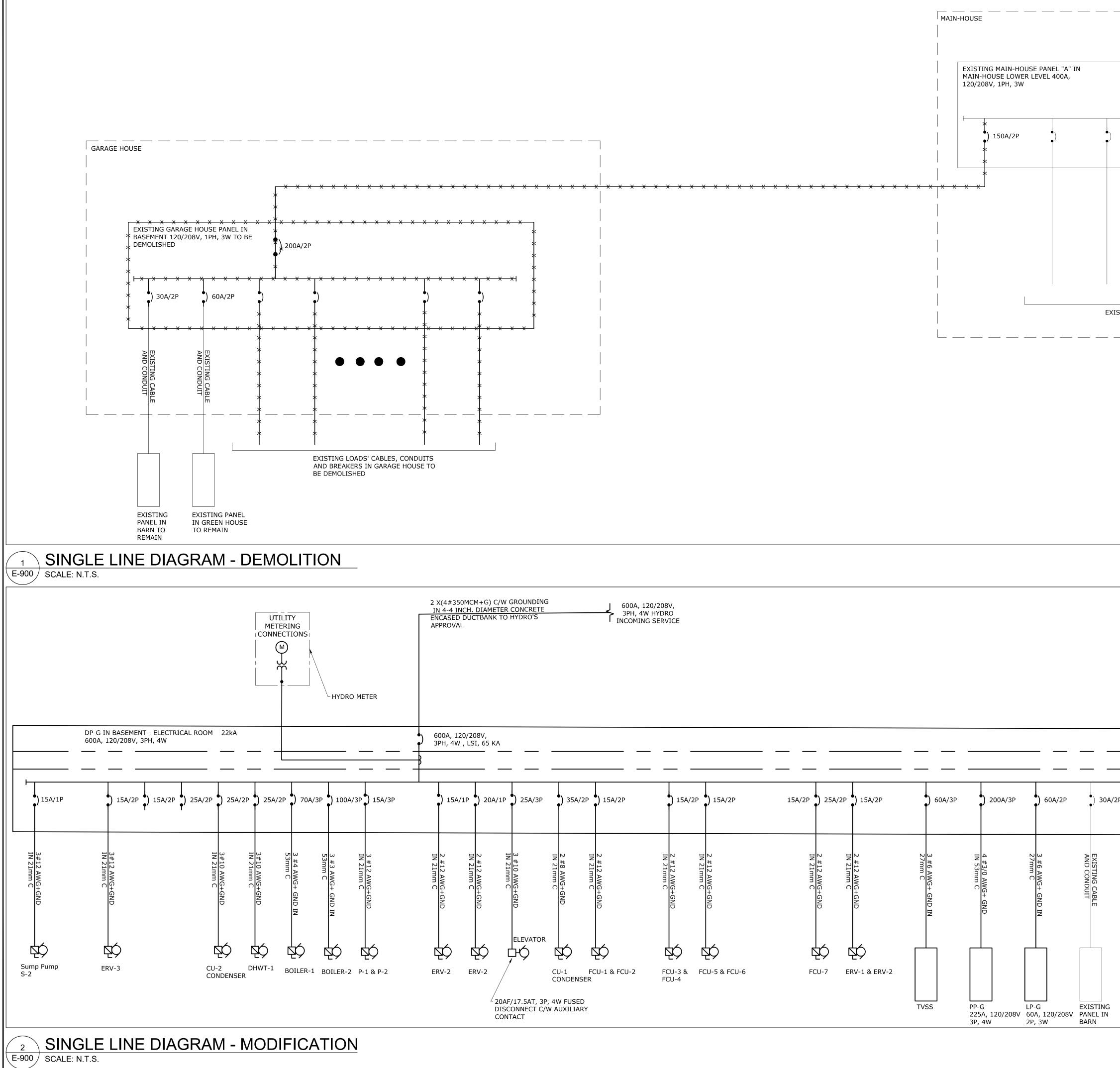
 0.90
 0.08
 0.07
 15
 69
 B
 70
 C
 68

 0.90
 0.08
 0.07
 15
 69
 C
 70
 C
 72

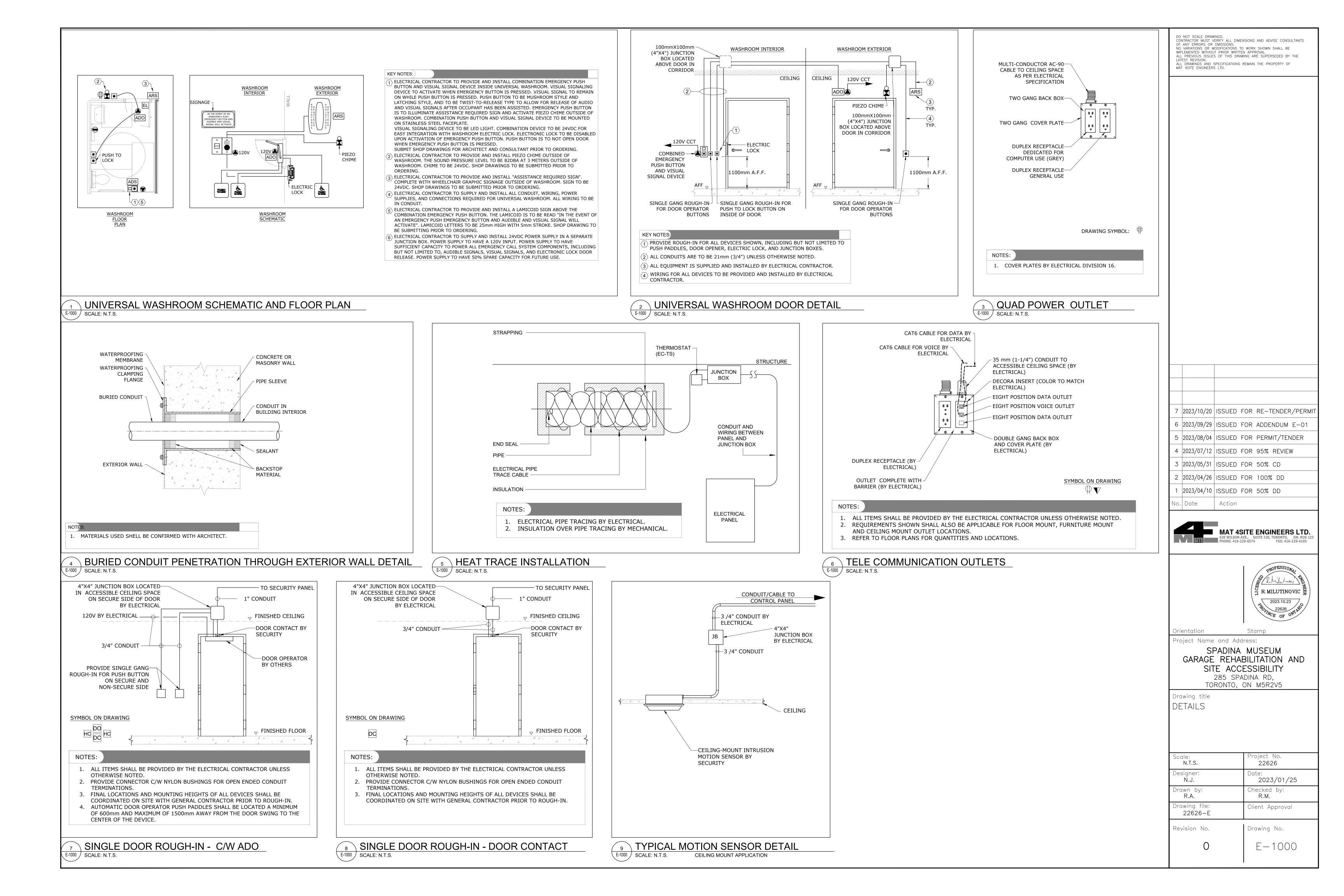
 SPARE EDH-4 SPARE SPACE DB-1 SPARE SPACE SPACE SPACE DEMAND LOAD A (kW) CONNECTED LOAD A (kW) 23.9 27.5 DEMAND LOAD B (kW) 20.1 CONNECTED LOAD B (kW) 22.7 DEMAND LOAD C (kW) 19.7 CONNECTED LOAD C (kW) 21.8 TOTAL CONNECTED (kW) 72.0 TOTAL DEMAND (kW) 63.8 OPTIONS: ISOLATED GROUND BUS FEED THROUGH LUGS DOUBLE NEUTRAL] DOUBLE TUB SPRINKLER PROOF OTHER: MAIN BREAKER: XXXA-3P NEMA 3X14 COPPER BUS ALUMINUM BUS MAIN LUGS ONLY

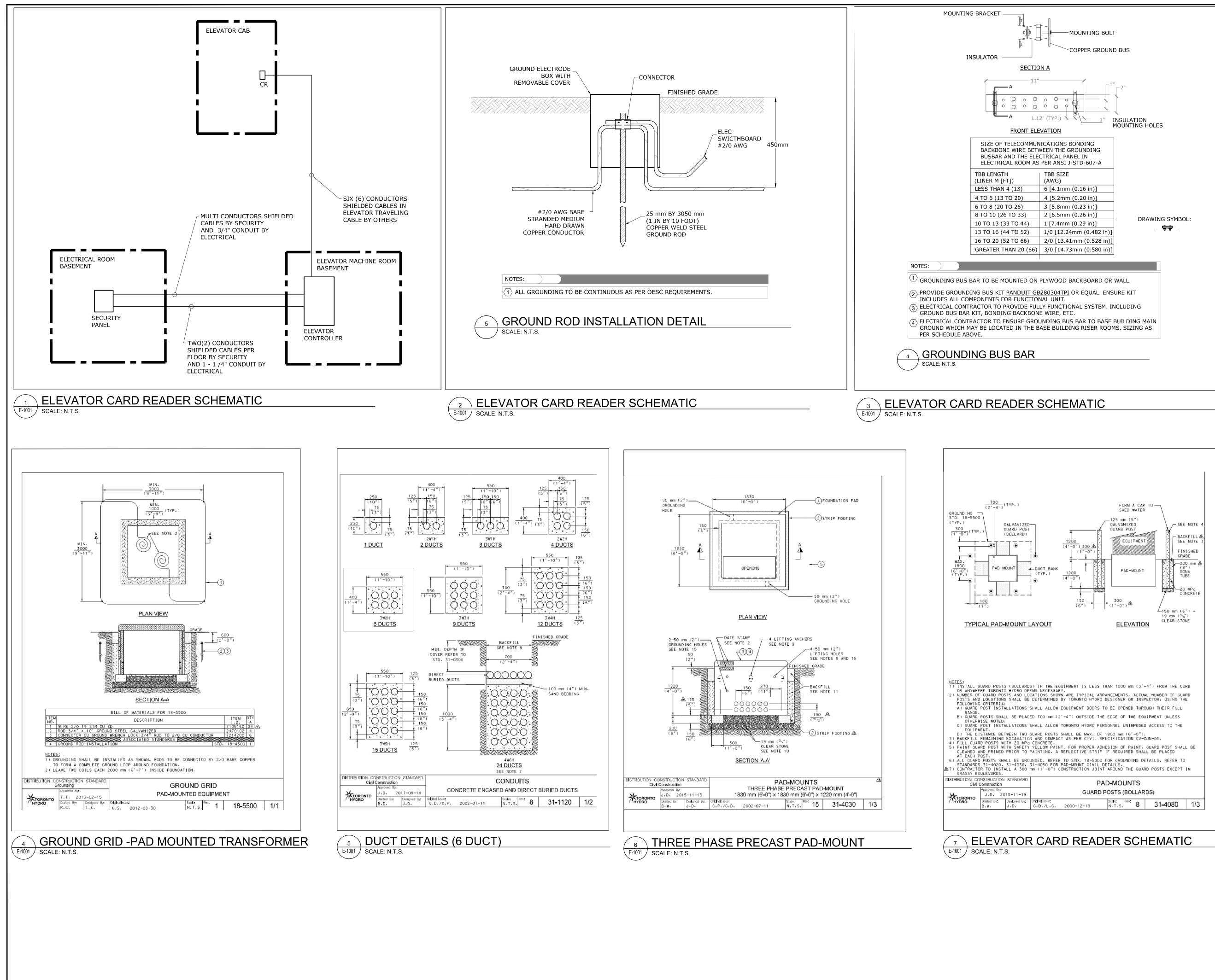
	1				P	ANE	L: LF	P-G					
120/208V, 1Ø, 3W, 10 kAIC					MAI	NS:	60 A	MPS					LOCATION: BASEMENT, ELEC. ROON
120/2004, 10, 544, 10 MAC			•	M	IOUN	TIN	G: S	URFA	CE				FED FROM: DP-G
DESCRIPTION	DEMAND FACTOR			BKR SIZE		CIRC	UIT	S	BKR SIZE	DEMAND LOAD (kW)		DEMAND FACTOR	DESCRIPTION
BASEMENT + STAIR LIGHTING	1.00	0.60	0.60	15	1	Α		2	15	0.60	0.60	1.00	GROUND FLOOR LTG.
BASEMENT+ STAIR EMERGENCY LIGHTING	1.00	0.60	0.60	15	3		В	4	15	0.12	0.12	1.00	EXTERIOR LTG.
ELEVATOR SHAFT AND MACH. RM. LTG.	1.00	0.10	0.10	15	5	Α		6	15	0.40	0.40	1.00	GARAGE LTG.
SPARE				15	7		В	8	15	0.30	0.30	1.00	GROUND+2ND FL. EMERGENCY LTG.
SPARE				15	9	Α		10	15	0.60	0.60	1.00	2ND FLOOR LTG.
SPARE				15	11		В	12	15	0.50	0.50	1.00	2ND FLOOR LTG.
SPACE					13	Α		14					SPACE
SPACE					15		В	16					SPACE
SPACE					17	Α		18					SPACE
SPACE					19		В	20					SPACE
SPACE					21	Α		22					SPACE
SPACE					23		В	24					SPACE
	DEMAND I	LOAD A	(kW)	2.3				CON	NECTE	D LOAD A (kV	V)	2.3	
	DEMAND I	LOAD B	(kW)	1.5				CON	NECTE	D LOAD B (kV	/)	1.5	
	TOTAL DE	MAND ((kW)	3.8				TOT	AL CON	NECTED (kW)	3.8	
OPTIONS:													
ISOLATED GROUND BUS								FEED	THRO	UGH LUGS			
DOUBLE NEUTRAL								DOU	BLE TU	В			
X SPRINKLER PROOF								OTH	ER:				
MAIN BREAKER: XXXA-3P								1. AI	L BREA	KERS FOR EN	1ERGEN	ICY AND NI	GHT LIGHTING ARE TO BE LOCKED ON
NEMA 3X14													
COPPER BUS								1					
								1					
MAIN LUGS ONLY								1					

OF ANY ERRORS O NO VARIATIONS OR IMPLEMENTED WITH ALL PREVIOUS ISS LATEST REVISION.	VERIFY ALL DIME OR OMISSIONS. MODIFICATIONS TO OUT PRIOR WRITTE JES OF THIS DRAW OSPECIFICATIONS	NSIONS AND ADVISE CONSULTANTS) WORK SHOWN SHALL BE N APPROVAL. VING ARE SUPERSEDED BY THE REMAIN THE PROPERTY OF
		FOR RE-TENDER/PERMIT
		FOR ADDENDUM E-01
		FOR 95% REVIEW
		FOR 100% DD
1 2023/04/1 No. Date	0 ISSUED F	FOR 50% DD
SIII		SITE ENGINEERS LTD. VE., SUITE 320, TORONTO, ON. M3K 1Z3 29-6574 FAX: 416-229-4105
		PROFESSIONAL PROFE
GARAG S	SPADINA E REHAI ITE ACC 285 SPA	Stamp Iress: MUSEUM BILITATION AND ESSIBILITY ADINA RD, ON M5R2V5
Drawing title PANEL S		
Scale: N.T.S.		Project No. 22626
Designer: N.J.		Date: 2023/01/25
Drawn by: R.A.		Checked by: R.M.
Drawing file: 22626-E		Client Approval
Revision No.		Drawing No.
0		E-801



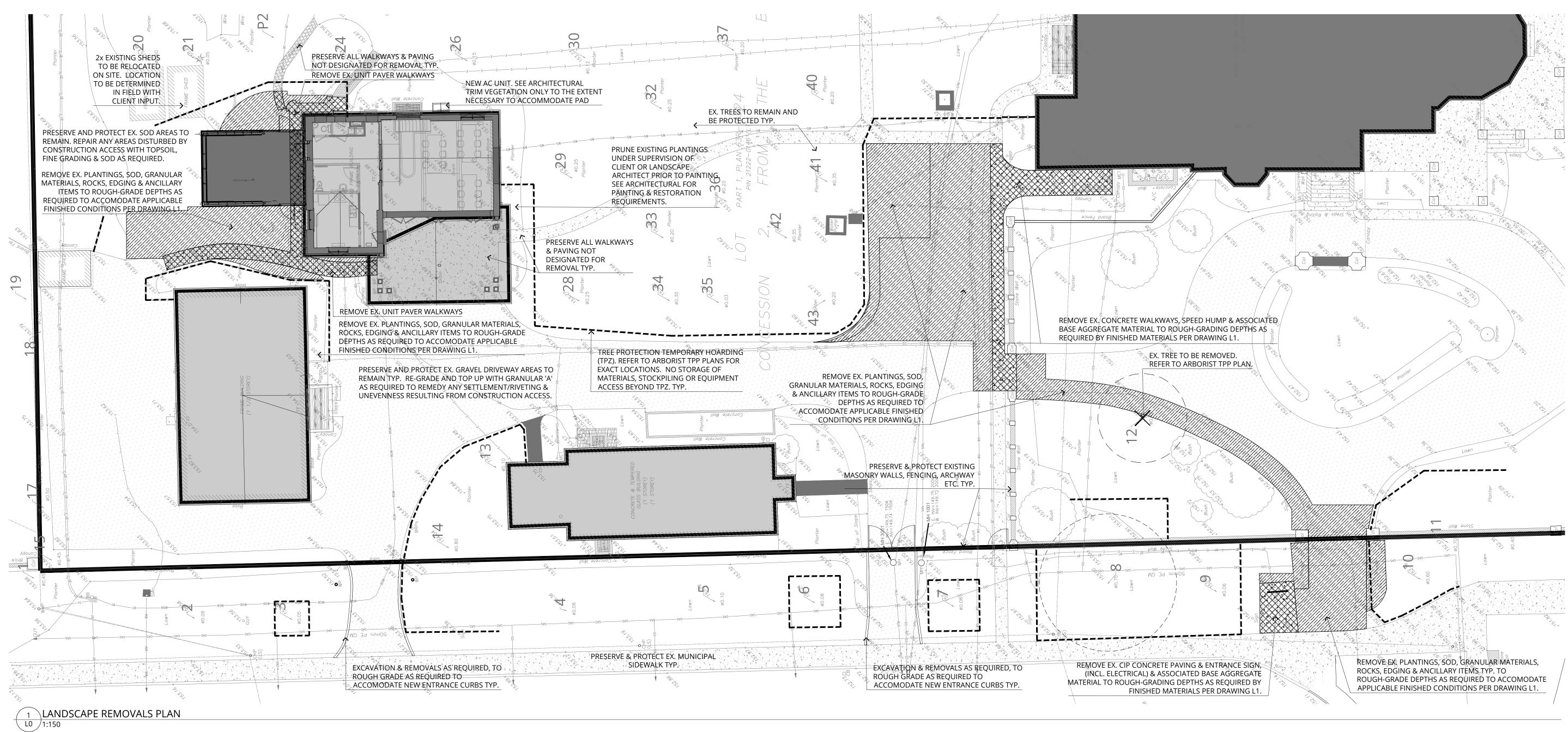
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	EXISTING CABLES		
OL SI STING LOADS	TDOOR GNAGE		
	6 5	2023/09/29 2023/08/04	ISSUED FOR RE-TENDER/PERM ISSUED FOR ADDENDUM E-01 ISSUED FOR PERMIT/TENDER ISSUED FOR 95% REVIEW
	3 2 1	2023/05/31 2023/04/26	ISSUED FOR 50% CD ISSUED FOR 100% DD ISSUED FOR 50% DD Action
			MAT 4SITE ENGINEERS LTD. 520 WILSON AVE., SUITE 320, TORONTO, ON. M3K 12 PHONE: 416-229-6574 FAX: 416-229-4105 PROFESSIONAL R. MILUTINO VIC TR. MILUTINO VIC TR. MILUTINO VIC Stamp e and Address: PADINA MUSEUM
AND CONDUIT	Dro	GARAGE SIT TO	REHABILITATION AND TE ACCESSIBILITY 285 SPADINA RD, pronto, on M5R2V5
UT	Des	ale: N.T.S. signer: N.J. wn by: R.A.	Project No. 22626 Date: 2023/01/25 Checked by: R.M.
EXISTING PANEL IN GREEN HOUSE		vision No.	Client Approval Drawing No. E-900





	T 4SITE ENGINEER		S REMAIN	N THE PROPERTY OF	
7	2023/10/20	ISSUED	FOR	RE-TENDER/PER	sm1
6	2023/09/29	ISSUED	FOR	ADDENDUM E-0	1
5	2023/08/04			PERMIT/TENDER	
4	2023/07/12		FOR	95% REVIEW	
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2	2023/04/26 2023/04/10	ISSUED ISSUED Action	FOR FOR	100% DD	D. K 123
2	2023/04/26 2023/04/10	ISSUED ISSUED Action	FOR FOR SITE I AVE., S -229-6574	100% DD 50% DD ENGINEERS LTI SUITE 320, TORONTO, ON. M33 4 FAX: 416-229-4109 R. MILUTINO VIC	K 1Z3
2 1 No.	2023/04/26 2023/04/10	ISSUED ISSUED Action MAT 4 620 WILSON PHONE: 416	FOR FOR SITE I AVE., S -229-6574	100% DD 50% DD 50% DD ENGINEERS LTI SUITE 320, TORONTO, ON. M31 4 FAX: 416-229-4109 R. MILUTINO VIC R. MILUTINO VIC FAX: 410-229-4109 R. MILUTINO VIC FAX: 410-229-4109	K 1Z3
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2 1 No.	2023/04/26 2023/04/10 Date Date	ISSUED ISSUED Action MAT 4 620 WILSON PHONE: 416 ACTOR ADINA E ACC 285 SF	FOR FOR SITE IAVE., S -229-6574 St. St. ADIN ON	100% DD 50% DD ENGINEERS LTI SUITE 320, TORONTO, ON. M31 A FAX: 416-229-410 PROFESSIONAL R. MILUTINOVIC R. MILUTINOVIC CF OF ON MAND SIBILITY A RD, M5R2V5 Oject No. 22626 ate:	K 1Z3
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DO NOT SCALE DRAWINGS.



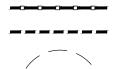
NOTES:

CONTRACTOR IS RESPONSIBLE FOR SECURING/CONFIRMING AND MAINTAINING ALL LOCATES PRIOR TO BEGINNING SITE WORKS & REMOVALS.

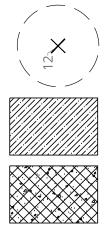
CONTRACTOR TO CONFORM TO ALL APPLICABLE REGULATIONS INCLUDING BUT NOT LIMITED TO CITY REGULATIONS FOR ROAD OCCUPANCY & MOL. REQUIREMENTS, INCLUDING BUT NOT LIMITED TO SITE SIGNAGE & TRAFFIC MANAGEMENT.

CONTRACTOR TO CONFIRM SITE CONDITIONS PRIOR TO BIDDING & REPORT ANY DISCREPANCIES TO THE CONSULTANT.

LEGEND:



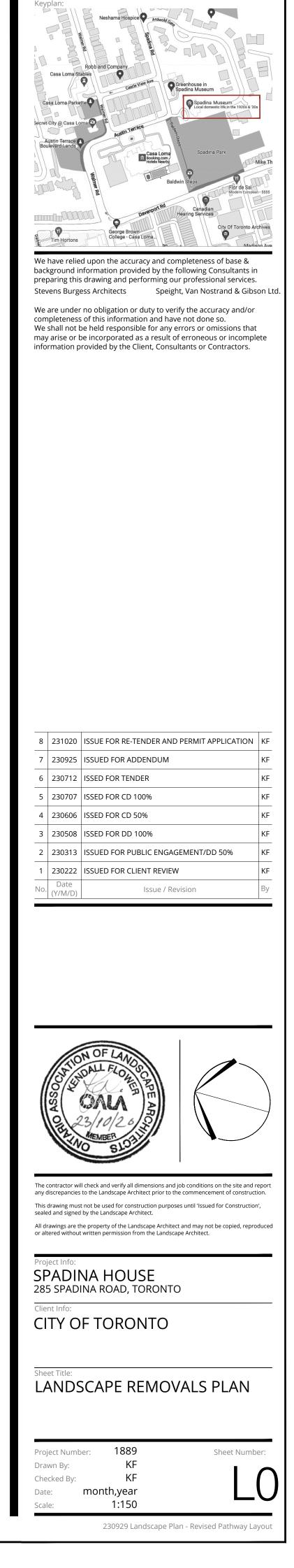
TEMPORARY SITE SAFETY FENCING (BEYOND THE REQUIREMENTS OF TPZ) TEMPORARY TREE PROTECTION FENCING (TPZ) REFER TO ARBORIST TPP PLAN FOR EXACT LOCATIONS. NOTE: DOUBLES AS CONSTRUCTION SITE SAFETY FENCING WHERE APPLICABLE.

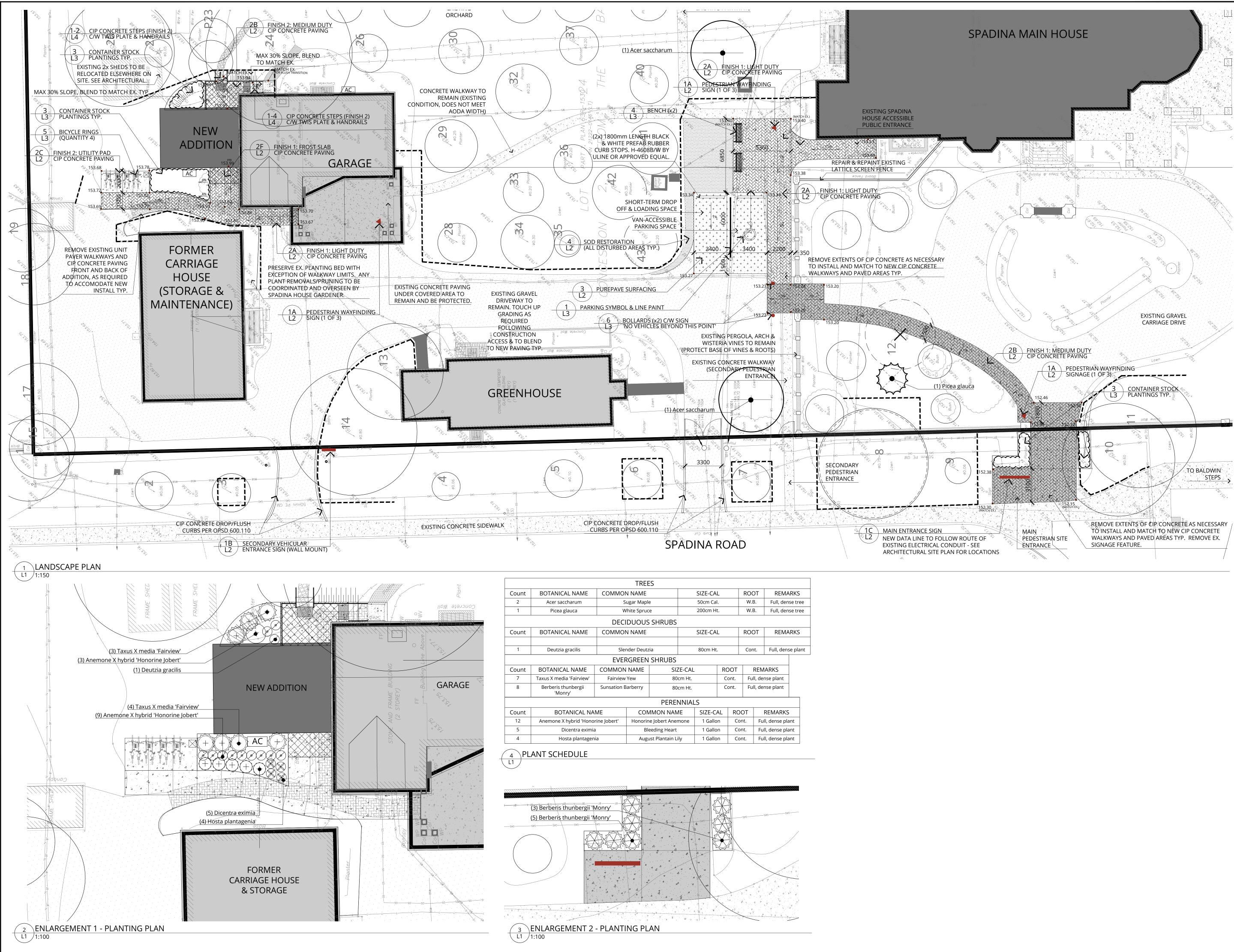


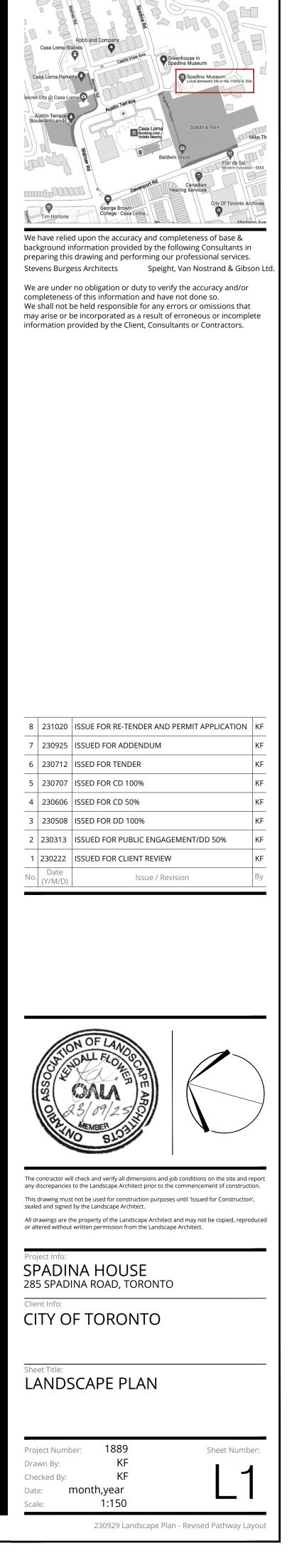
EXISTING SOFTSCAPE & GRANULAR AREAS TO BE REMOVED TO DEPTHS PER ROUGH GRADING REQUIREMENTS OF L1 FINISHED CONDITIONS TYP.

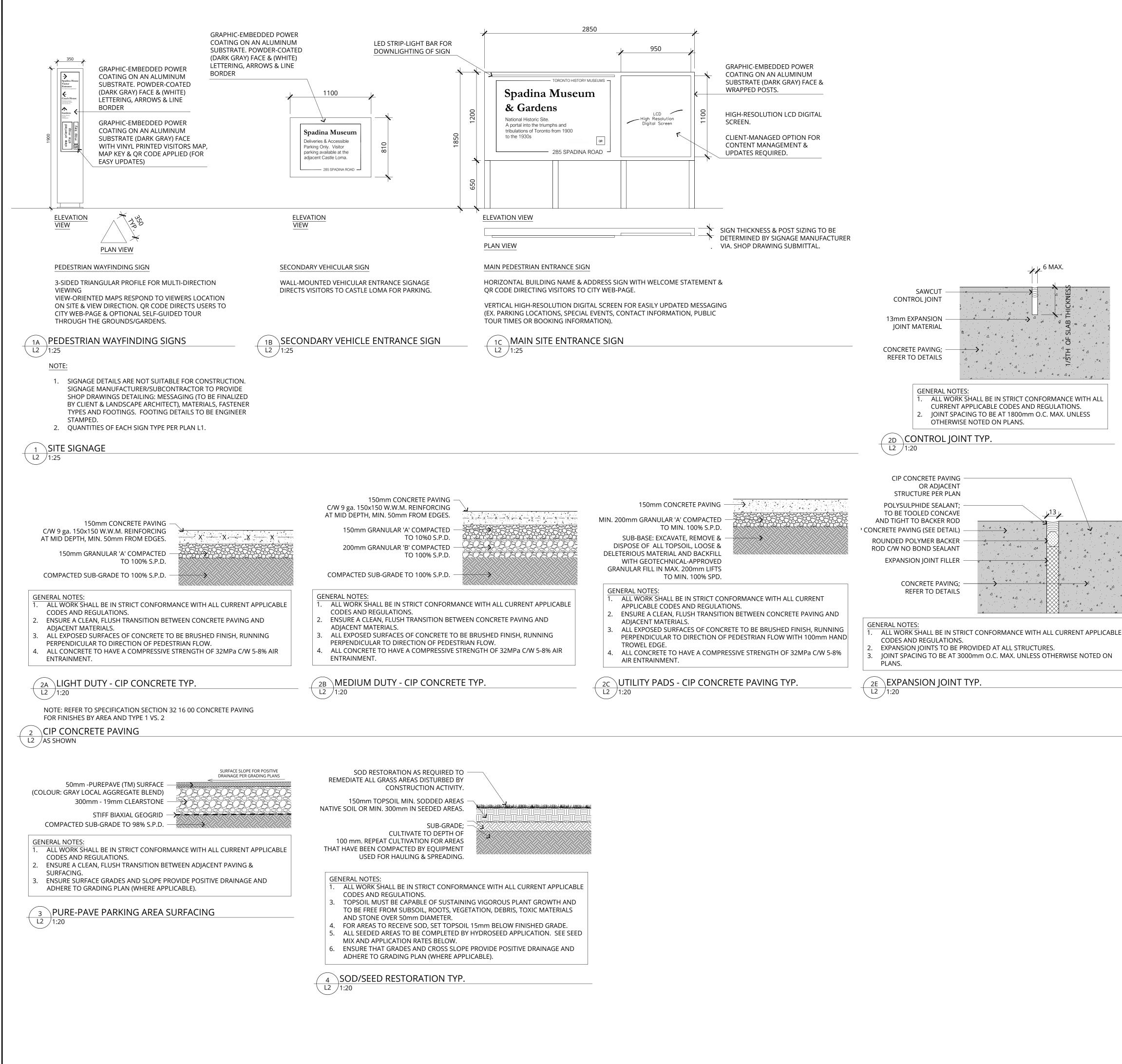
EXISTING HARDSCAPE (UNIT PAVING & CIP CONCRETE) AREAS TO BE REMOVED TO DEPTHS PER ROUGH GRADING REQUIREMENTS OF L1 FINISHED CONDITIONS TYP.

EXISTING TREE TO BE REMOVED. REFER TO ARBORIST TPP PLAN.

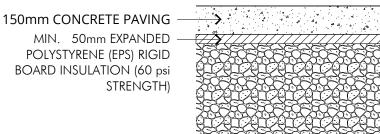








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No				
No	A PERSOCIAL PROVIDENCE	NOF LANDS DALL FLOID CALA 23/09/25	CAPE ARCE	
No.	screpancies rawing mus d and signec awings are t	to the Landscape Architec t not be used for construct by the Landscape Archite	ape Architect and may not be co	of construction
The cci any di This d sealed All dra or alter SP 285	screpancies rawing mus d and signed awings are t ered without ect Info: ADII SPAD	to the Landscape Architec t not be used for construct by the Landscape Archite he property of the Landsca	tt prior to the commencement of tion purposes until 'Issued for C ct. ape Architect and may not be co the Landscape Architect.	of construction
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MIN. 1220mm GRANULAR 'A' COMPACTED TO MIN. 100% S.P.D.

SUB-BASE: EXCAVATE, REMOVE & DISPOSE OF ALL TOPSOIL, LOOSE & DELETERIOUS MATERIAL AND BACKFILL WITH GEOTECHNICAL-APPROVED GRANULAR FILL IN MAX. 200mm LIFTS

GENERAL NOTES:

L2 /1:20

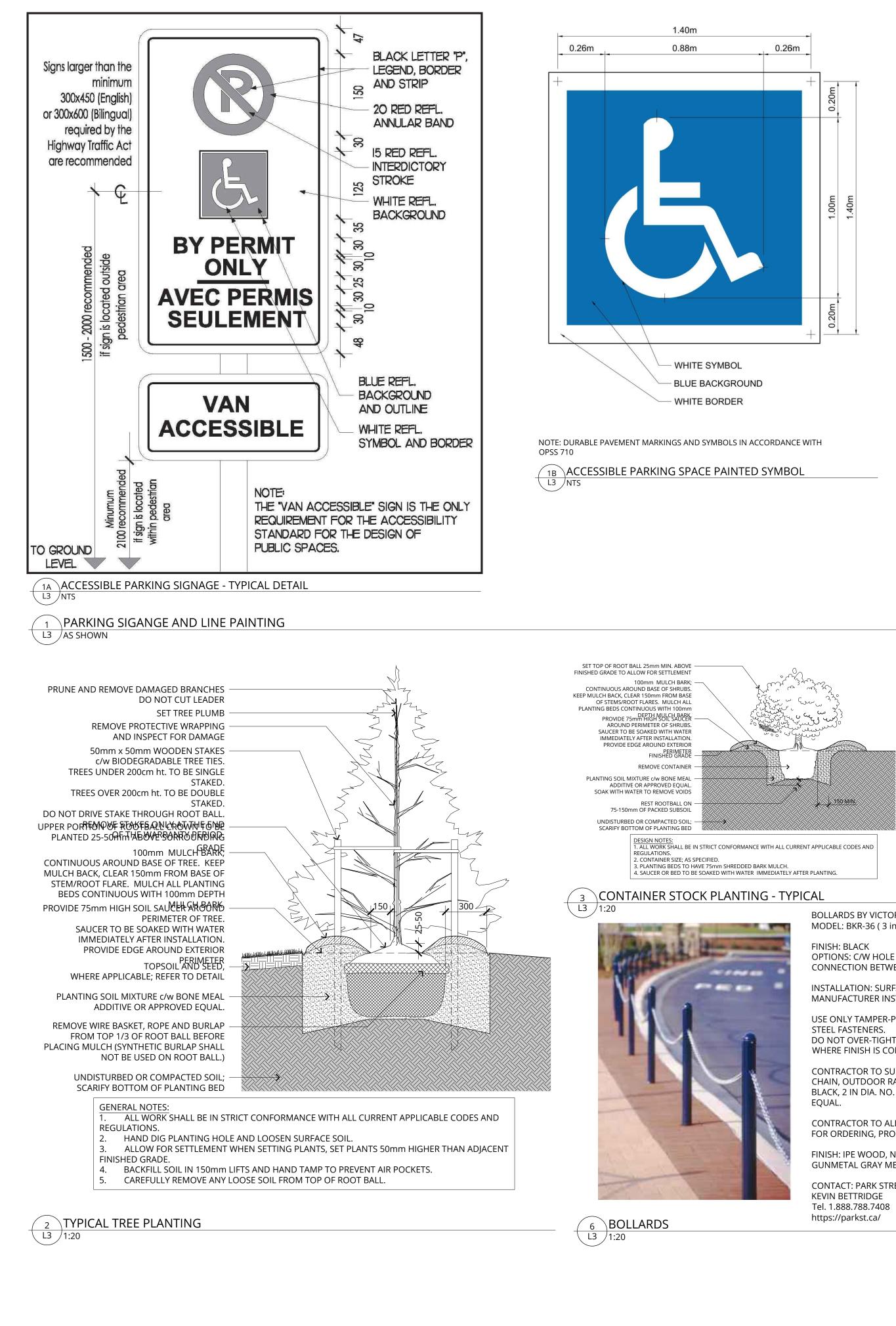
- ALL WORK SHALL BE IN STRICT CONFORMANCE WITH ALL CURRENT
- ENSURE A CLEAN, FLUSH TRANSITION BETWEEN CONCRETE PAVING AND
- ADJACENT MATERIALS.
- PERPENDICULAR TO DIRECTION OF PEDESTRIAN FLOW WITH 100mm HAND TROWEL EDGE.
- AIR ENTRAINMENT.

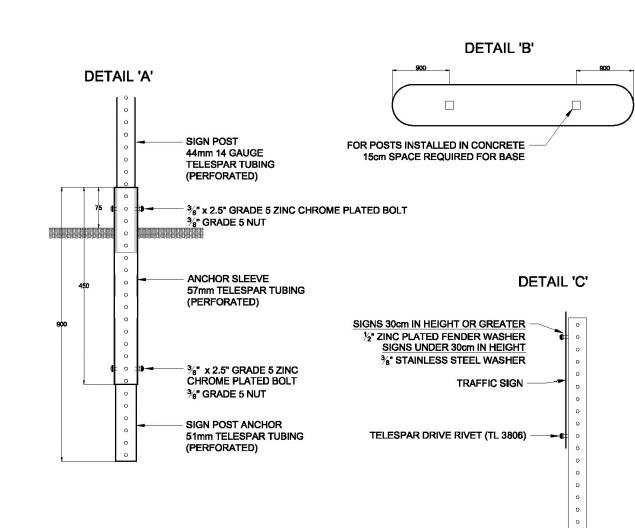
 $2_{\mathsf{F}} \setminus \mathsf{FROST}$ SLAB - CIP CONCRETE PAVING TYP.

TO MIN. 100% SPD.

APPLICABLE CODES AND REGULATIONS.

ALL EXPOSED SURFACES OF CONCRETE TO BE BRUSHED FINISH, RUNNING ALL CONCRETE TO HAVE A COMPRESSIVE STRENGTH OF 32MPa C/W 5-8%





- NOTES: 1. ALL DIMENSIONS IN MILLIMETRES UNLESS NOTED.
- 2. THREE (3) HOLES ON ANCHOR SLEEVE TO BE ABOVE GRADE. 3. ANCHOR SLEEVE AND SIGN POST ANCHOR INSTALLED IN CONCRETE TO BE WRAPPED IN NON-POROUS MATERIAL BELOW GRADE.
- 4. DETAIL 'B' IS TYPICAL PLACEMENT FOR 'KEEP RIGHT' SIGNING ON A TRAFFIC ISLAND. IF A TRAFFIC SIGNAL POLE IS ERECTED
- BETWEEN LESS THAN 3m FROM THE END OF ISLAND, SIGNING SHALL BE MOUNTED ON TRAFFIC SIGNAL POLE.
- 5. ALL TRAFFIC SIGNS SHALL BE MOUNTED ON TELESPAR POST (EXCEPT WHERE CO-USAGE OF UTILITY OR TRAFFIC POLES IS POSSIBLE).

1C TELESPAR SIGN POST - TYPICAL DETAIL

BOLLARDS BY VICTOR STANLEY MODEL: BKR-36 (3 in (76 mm) OD tubular steel)

OPTIONS: C/W HOLE & FASTENERS FOR CHAIN CONNECTION BETWEEN TWO BOLLARDS.

INSTALLATION: SURFACE MOUNT PER MANUFACTURER INSTRUCTIONS.

USE ONLY TAMPER-PROOF STAINLESS

DO NOT OVER-TIGHTEN FASTENERS TO WHERE FINISH IS COMPROMISED.

CONTRACTOR TO SUPPLY & INSTALL SEPARATELY: CHAIN, OUTDOOR RATED, UV-RESISTANT, REEL, BLACK, 2 IN DIA. NO. 8 PLASTIC OR APPROVED

CONTRACTOR TO ALLOW SUFFICIENT LEAD TIME FOR ORDERING, PRODUCTION AND SHIPPING.

FINISH: IPE WOOD, NATURAL/UNFINISHED GUNMETAL GRAY METAL COMPONENTS

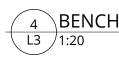
CONTACT: PARK STREET SOLUTIONS Tel. 1.888.788.7408 | Mobile. 519.589.5157



BENCH BY: VICTOR STANLEY MODEL: C10 FRAME MEMBERS: BLACK SLATS: WOOD (IPE)

INSTALLATION: SURFACE MOUNT PER MANUFACTURER INSTRUCTIONS.

USE ONLY TAMPER-PROOF STAINLESS STEEL FASTENERS. DO NOT OVER-TIGHTEN FASTENERS TO WHERE FINISH IS COMPROMISED.



CONTRACTOR TO ALLOW SUFFICIENT LEAD TIME FOR ORDERING, PRODUCTION AND SHIPPING.

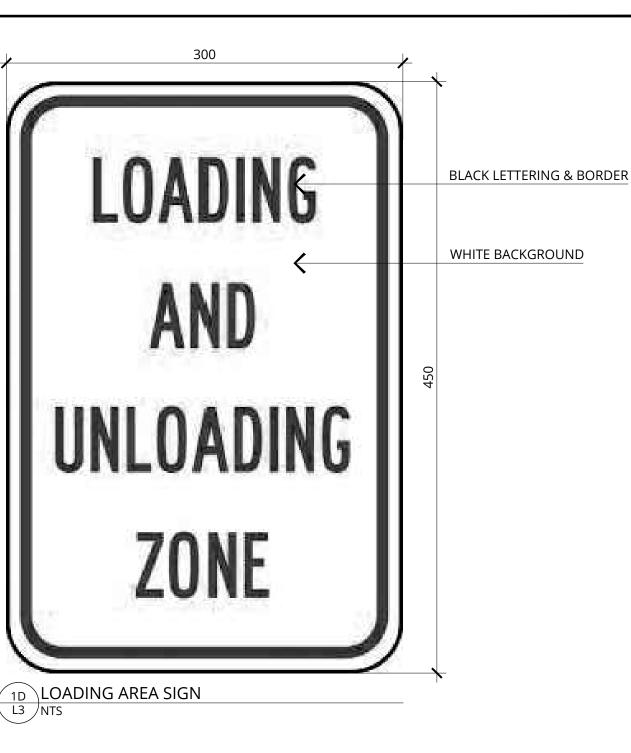
FINISH: IPE WOOD, NATURAL/UNFINISHED GUNMETAL GRAY METAL COMPONENTS.

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L3 NTS



BICYCLE RINGS

BICYCLE RINGS BY VICTOR STANLEY MODEL: BRBS-104 COLOUR: BLACK

INSTALLATION: SURFACE MOUNT PER MANUFACTURER INSTRUCTIONS.

USE ONLY TAMPER-PROOF STAINLESS STEEL FASTENERS. DO NOT OVER-TIGHTEN FASTENERS TO WHERE FINISH IS COMPROMISED.

CONTRACTOR TO ALLOW SUFFICIENT LEAD TIME FOR ORDERING, PRODUCTION AND SHIPPING.

FINISH: IPE WOOD, NATURAL/UNFINISHED GUNMETAL GRAY METAL COMPONENTS

CONTACT: PARK STREET SOLUTIONS KEVIN BETTRIDGE Tel. 1.888.788.7408 | Mobile. 519.589.5157 https://parkst.ca/

Keyplan: Neshama Hospice Robb and Company Casa Loma Stables Casa Loma Stables Casa Loma Parkette Austin Terrace Boulevard Lands Casa Loma Casa Lo
We have relied upon the accuracy and completeness of base & background information provided by the following Consultants in preparing this drawing and performing our professional services. Stevens Burgess Architects Speight, Van Nostrand & Gibson Ltd.
We are under no obligation or duty to verify the accuracy and/or completeness of this information and have not done so. We shall not be held responsible for any errors or omissions that may arise or be incorporated as a result of erroneous or incomplete information provided by the Client, Consultants or Contractors.

8	231020	ISSUE FOR RE-TENDER AND PERMIT APPLICATION	KF
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6	230712	ISSED FOR TENDER	KF
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2	230313	ISSUED FOR PUBLIC ENGAGEMENT/DD 50%	KF
1	230222	ISSUED FOR CLIENT REVIEW	KF
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he contractor will check and verify all dimensions and job conditions on the site and report any discrepancies to the Landscape Architect prior to the commencement of construction. This drawing must not be used for construction purposes until 'Issued for Construction', sealed and signed by the Landscape Architect.

All drawings are the property of the Landscape Architect and may not be copied, reproduced or altered without written permission from the Landscape Architect.

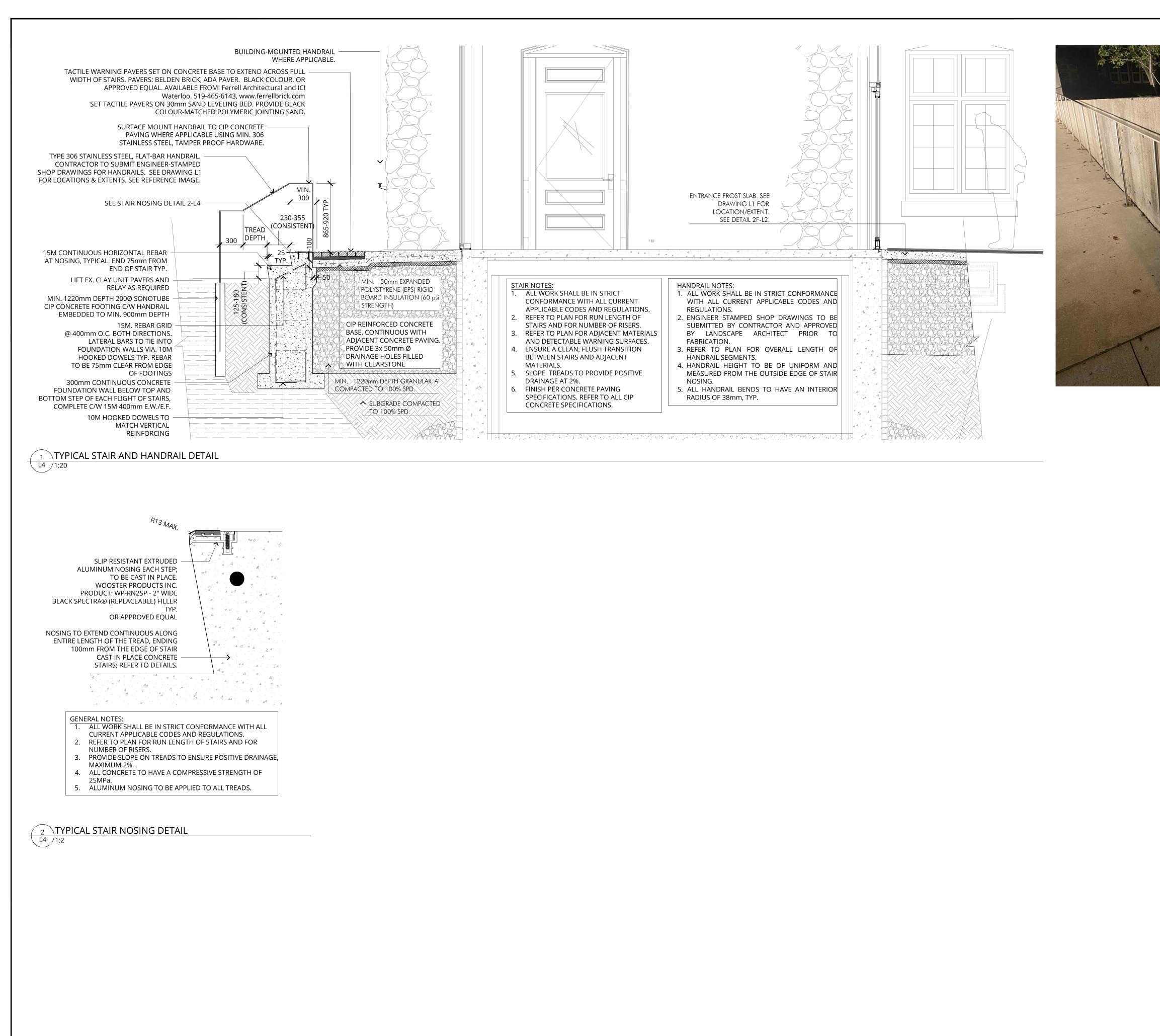
SPADINA HOUSE 285 SPADINA ROAD, TORONTO

CITY OF TORONTO

LANDSCAPE DETAILS

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230929 Landscape Plan - Revised Pathway Layout





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