



## Addendum #2

Issued April 30, 2024

The following information changes the RFT documents issued on April 17, 2024.

### GENERAL INFORMATION

Item 1: See 'Addendum #02' dated April 30, 2024 issued by the Consultant (5 pages)

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**End of Addendum #2**



## ADDENDUM #02

RE: REQUEST FOR TENDER #2024-137-P01947  
Hess Street Elementary School – Renovation Project

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April 30, 2024

Please review the following addendum. This document shall be considered a component of TENDER #2024-137-P01947. All other terms and conditions remain the same.

### Clarification/Change:

- 1) **Clarification:** In Gymnasium #105 all existing conduits to also be painted like the walls.
- 2) **Clarification:** Since the work is being performed during summer while the school is closed, new 1 hour rated construction hoarding partition (as shown on drawings A101 and A102) may be replaced with new Poly Tarps protection sheets.
- 3) **Clarification:** Refer to clarifications regarding Partition Types P1 and P2 in the attached Architectural drawings A101 and A102, dated April 30, 2024.
- 4) **Question:** On behalf of Gerflor Canada we request Rec6.2mm replace Multi-Use 6.2 to Section 096566 Resilient Athletic Surfacing Item #2.1.1 as the true equivalent to MultiFlex. Thank you.

**Answer:** As per Tender Specification Section 09 65 66 item 2.1.1 'Taraflex Multi-Use 6.2" by Gerflor is an acceptable product and manufacturer.

- 5) **Question:** We would like to request Funktion VSport 710 as an approved alternate for section 09 65 66. <https://calibersport.com/floors/vsport-710/>

**Answer:** Not acceptable.

- 6) **Question:** In the Room Finish Schedule under ceiling material for room number 115, 116, A-124D, A-126, 214, and 226 it mentions WGB, but there are no finishing stated for these rooms, please advise if we are to carry for painting of the ceiling in these rooms

**Answer:** Yes in room numbers 115, 116, A-124D, A-126, 214 and 226 new WGB to be paint finished.



## ADDENDUM #02

**RE: REQUEST FOR TENDER #2024-137-P01947  
Hess Street Elementary School – Renovation Project**

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- 7) **Question:** Please provide the thickness of the slab in rooms 125, 115, 125, and corridor 106? Required for trenching purposes.

**Answer:** Refer to attached existing Structural drawing S1 Foundation Plan and Details dated April 11, 1973.

- 8) **Question:** We respectfully submit for your consideration a request to approve products as an accepted substitute on Hess Street Elementary School Renovation (24-153583); RE: Scranton Products.

**Answer:** Not acceptable.

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- GENERAL DEMOLITION NOTES:**
- ALL EXISTING MASONRY WALL DISTURBED AND DAMAGED DURING DEMOLITION TO BE REPAIRED, PATCHED & COMPLETED READY FOR FINISH.
  - THIS DRAWING TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL DRAWINGS. REPORT ANY DISAGREEMENTS OR CONFLICTS BETWEEN CONSULTANTS' DRAWINGS TO THE ARCHITECT.
  - CUT OUT SCRATCHES, CRACKS AND ABRASIONS IN WALL SURFACES AND ADJOINING TRIMS AS REQUIRED AND FILL WITH AN APPROVED NON-SHREMPARTING COMPOUND FLUSH WITH ADJOINING SURFACE. (WENGLER) SAND THE PATCH SMOOTH AND SEAL BEFORE THE APPLICATION OF THE PRIME COAT.
  - CONTRACTOR IS TO PROVIDE TEMPORARY PLASTIC COVER SHEETS TO EXISTING GRILLES, RADIATORS AND EQUIPMENTS PRIOR TO THE DEMOLITION WORKS.
  - GC IS RESPONSIBLE TO MOVE AND RELOCATE ALL EXISTING LOOSE FURNITURE INCLUDING THE ONES NOT SHOWN ON THE DRAWINGS BUT PRESENT IN WORK AREAS.
  - CONTRACTOR TO CHECK ALL MATERIALS USED IN CONSTRUCTION FOR DEFECTS. ONLY NEW UNBLEMISHED MATERIALS ARE TO BE USED.
  - WHERE NEW WORK INCLUDING ALL ELECTRICAL & MECHANICAL WORK CONNECTS WITH EXISTING & WHERE EXISTING WORK IS TO BE DEMOLISHED, NECESSARY CUTTING & FITTING REQUIRED TO MAKE SATISFACTORY CONNECTIONS WITH THE EXISTING WORK SHALL BE PERFORMED UNDER THIS CONTRACT, SO AS TO LEAVE THE ENTIRE WORK IN FINISHED AND WORKMANLIKE CONDITION.
  - ALL DIMENSIONS SHOWN ARE APPROXIMATE. DIMENSIONS MUST BE SITE VERIFIED BY CONTRACTOR.
  - GENERAL CONTRACTOR IS TO PROVIDE ALL NECESSARY FRAMING AND EQUIPMENT TO SUPPORT THE CUTTING OF OPENINGS IN A LOAD SUPPORTING WALL.
  - GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH MECH & ELEC SUB-CONTRACTORS TO CONFIRM QUANTITY LOCATION FOR THE REMOVAL OF ALL EXISTING DUCT WORK, PIPING, CONDUIT, ETC.
  - GENERAL CONTRACTOR TO REPAIR PATCH, FIRESTOP & INFILL EXISTING WALLS & PARTITION OPENINGS FROM THE SCENE OF EXISTING MECH & ELEC SYSTEM (TYP. M.G.A.T.).
  - ANY CONFLICTS, OMISSIONS, DISCREPANCIES AND DISAGREEMENTS IN ARCHITECTURAL DRAWINGS AND SPECIFICATIONS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO ANY PROCEEDING FOR ITS CLARIFICATIONS AND INSTRUCTIONS.
  - GC WILL BE RESPONSIBLE TO CONTACT THE ARCHITECT FOR REVIEW AND APPROVAL OF SETTING OUT LINES (CHALK LINES) PRIOR TO STUD AND/OR PARTITION CONSTRUCTION.
  - GC AND ALL SUB-CONTRACTOR SHALL VERIFY ALL JOB SITE DIMENSIONS WITH ALL DRAWINGS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH WORK.
  - GC IS TO PROVIDE ALL NECESSARY FRAMING AND EQUIPMENT TO SUPPORT THE CUTTING OF OPENINGS IN A LOAD SUPPORTING WALL.
  - UPON COMPLETION, CLEAN THE ENTIRE AREA OF DEMOLITION TO A TYP. UNIFORM CONDITION REMOVING ALL DEBRIS, DUST, PARTITIONS AND ASSOCIATED MATERIALS USED DURING THE DEMOLITION. CLEAN ALL AREAS IMPACTED BY THE DEMOLITION INCLUDING BUT NOT LIMITED TO ADJACENT OCCUPIED AREAS AND AREAS NOT WITHIN THE SCOPE OF WORK.

- TYPICAL LEGEND:**
- EXIST. WALL TO REMAIN (TYP.)
- EXIST. WALL TO BE DEMOLISHED (TYP.)
- EXIST. DOOR AND FRAME TO BE REMOVED (M.G.A.T.) (TYP.)
- GC IS RESPONSIBLE TO COORDINATE WITH MECHANICAL CONTRACTOR AND CUT EXISTING CONCRETE BLOCK WALL TO 25'-0" AFF TO ACCOMMODATE ALL PLUMBING REPLACEMENT AND CONNECTION WORK.
- PROVIDE ALL NECESSARY SHORING AND TEMPORARY SUPPORT TO THE DEMOLISHED CONCRETE BLOCK WALL. INFILL OPENING WITH NEW CONCRETE BLOCK (SIZE AND JOINT PATTERN TO MATCH EXIST. MASONRY). (SEE MECH (M.G.A.T.)) (TYP.)
- EXIST. PLUMBING FIXTURES (SINK, TOILET, URINAL, ETC.) TO BE DEMOLISHED. CUT AND CAP ALL RELATED PLUMBING AS NECESSARY. (SEE MECH (M.G.A.T.)) (TYP.)
- EXIST. BRADLEY SINK TO BE DEMOLISHED. REINSTALL CUT AND CAP ALL RELATED PLUMBING AS NECESSARY. (SEE MECH (M.G.A.T.)) (TYP.)
- ALL EXIST. WASHROOM ACCESSORIES TO BE DEMOLISHED. GC IS RESPONSIBLE TO KEEP NEW ONES ARE DELIVERED (M.G.A.T.) (TYP.)
- 1 HOUR RATED CONSTRUCTION HARDWARE PARTITION ULC 9007 5" SPACING STEEL STUDS, EXTEND TO USF OF EXISTING CEILING PROVIDE SMOKE AND FIRE SEALS AT TEMPORARY CONSTRUCTION WALLS WITH LOCKS. PATCH AND REPAIR EXISTING WALL FLOOR AND CEILING AS MAY BE REQUIRED AFTER DEMANTLING HARDWARE. (M.G.A.T.) (TYP.)

- GENERAL NEW NOTES:**
- ALL DIMENSIONS TO BE SITE MEASURED AND VERIFIED.
  - ALL PARTITIONS AND CONC. BLK WALLS EXTEND TO USE OF SLAB UNLESS NOTED OTHERWISE.
  - SUPPLY & INSTALL METRIC DIMENSION CONCRETE BLOCKS. ANY LOCATIONS WHERE CONCRETE BLOCKS ARE TO INFILL AN OPENING OR EXTEND AN EXISTING WALL, CONCRETE BLOCK DIMENSIONS AND PATTERN TO MATCH EXISTING (IMPERIAL OR METRIC AS APPLICABLE).
  - ALL CONCRETE BLOCK WALL, EXPOSED CORNERS AND EDGES TO BE FINISHED WITH BULLNOSE UNIT, TYP.
  - FIRE STOPPING SHALL BE PROVIDED ON TOP OF ALL WALLS FORMING FIRE SEPARATIONS AND AROUND ALL PIPE, CONDUIT AND DUCT PENETRATIONS AT FIRE SEPARATIONS.
  - GC IS RESPONSIBLE TO DEMOLISH EXISTING CONCRETE BLOCK WALL AND PROVIDE SHORING TO ACCOMMODATE INSTALLATION OF NEW WASHROOM FIXTURES. INFILL OPENING WITH SIMILAR SIZE MASONRY UNIT, M.G.A.T., TYP.

- GENERAL NEW LEGEND:**
- EXIST. WALL TO REMAIN (TYP.)
- NEW WALL OR PARTITION (TYP.) (REFER TO PARTITION TYPE LEGEND)
- EXIST. DOOR AND FRAME TO REMAIN (TYP.)
- NEW DOOR AND FRAME (TYP.) (REFER TO DOOR SCHEDULE)
- NEW PUSH BUTTON (TYP.) (SEE ELEC.)
- NEW FLOOR DRAIN (TYP.) (SEE MECH.)
- EXIST. RELOCATED BRADLEY SINK (NOT OTHERWISE NOTED (SEE MECH.) (SEE ELEC.) (TYP.)
- NEW PLUMBING FIXTURES (SEE MECH.) (TYP.)

- WASHROOM ACCESSORIES LEGEND:**
- EB EMERGENCY CALL BUTTON/FULL STRING (SEE ELEC.)
- CH COAT HOOK
- FDGB FOLD-DOWN GRAB BAR
- GB STRAIGHT GRAB BAR
- GBL L-SHAPED GRAB BAR
- HD HAND DRYER (SEE ELEC.)
- MR1 MIRROR (TILED)
- MR2 MIRROR (FLAT)
- MS METAL SHELF
- PTD PAPER TOWEL DISPENSER
- SD SOAP DISPENSER
- SND SANITARY NAPKIN DISPOSAL
- TPD TOILET PAPER DISPENSER

**PARTITION TYPES LEGEND**

TAG	SYMBOL	DESCRIPTION
P1		<b>CMU PARTITION</b> V.I.F. NEW CONCRETE MASONRY UNIT INFILL TO MATCH EXIST. TO BE FINISHED TO MATCH EXISTING SIZE AND PATTERN. (M.G.A.T., TYP.)
P2		<b>CMU PARTITION</b> 6 in. CONCRETE MASONRY UNIT EXTEND 6'-0" AFF. CONCRETE MASONRY CAPS, TYP.
P3		<b>CMU PARTITION</b> 6 in. CONCRETE MASONRY UNIT, EXTEND TO 6' ABOVE CEILING OR AS OTHERWISE NOTED ON THE SECTIONS.

**NEW PARTITION NOTES**

ALL PARTITIONS EXTEND TO UNDERSIDE OF STRUCTURAL SLAB OR ROOF DECKING UNLESS OTHERWISE NOTED.

ALL FIRE SEPARATIONS, EXTERIOR WALL FIRE RESISTANCE RATINGS AND FIREWALL RATINGS SHALL CONFORM TO SUPPLEMENTARY STANDARDS S8-2 TO THE LATEST CBC, WITH RESPECT TO EQUIVALENT THICKNESS AND TYPE OF CONCRETE.

SUPPLY & INSTALL METRIC DIMENSION MASONRY UNIT. ANY LOCATIONS WHERE MASONRY UNITS ARE TO INFILL AN OPENING AT AN EXISTING WALL, MASONRY UNIT DIMENSIONS TO MATCH EXISTING (IMPERIAL OR METRIC AS APPLICABLE).

ALL CORNERS TO EXTERIOR AND INTERIOR MASONRY WALL TO BE ROUNDED BULLNOSE, TYP.

GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY AND INSTALL ALL REQUIRED UNISTRUT FRAMING, BLOCKING AND REINFORCEMENT TO SUPPORT WALL HANGING TOILETS, LAVATORIES, GRAB BARS, CEILING HUNG TOILET PARTITIONS, WALL STOPS, NEW MOTORIZE CVM CURTAIN DIVIDER, NEW MOTORIZE OVM STAGE BRACING CURTAIN, BASKET BALL HOOP, ETC. GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATIONS WITH SUB-CONTRACTORS.

ON THE SECOND FLOOR, NEW P1 AND P2 WALLS TO BE CONSTRUCTED WITH LIGHT WEIGHT CONCRETE BLOCKS REINFORCED WITH 10M REBAR AT EACH END, EXTENDED FULL HEIGHT. SOLID GROUT THE CELL WITH REBAR FULL HEIGHT. VERTICAL REBAR TO BE DOWELED INTO THE THICKER SECTION OF THE EXISTING CONCRETE COMPOSITE DECK OR SLAB WITH 70MM EMBEDMENT AND USING HILTI HIT-400 SYSTEM.

ON THE GROUND AND SECOND FLOOR, DOWEL SIDE OF THE NEW P1 AND P2 WALL TO THE EXISTING BLOCK WALL USING 10M REBAR @ 400 CXC AND USING HILTI HIT-400 SYSTEM. REBAR TO BE 350 LONG AND TO HAVE 150MM EMBEDMENT INTO THE EXIST. WALL.

NO.	DESCRIPTION	DATE
1	ISSUED FOR CLIENT REVIEW	2023.11.20
2	ISSUED FOR BUILDING PERMIT	2024.02.02
3	ISSUED FOR 50% CLIENT REVIEW	2024.02.15
4	ISSUED FOR TENDER	2024.02.20
5	ISSUED FOR TENDER	2024.04.30
6	ADDENDUM #02	2024.04.30

**HAMILTON-WORTH DISTRICT SCHOOL BOARD**

**HESS STREET ELEMENTARY SCHOOL RENOVATION PROJECT**

107 Hess Street North  
Hamilton, ON L8R 2T1

**ARCHITECTS**  
SALAS O'BRIEN  
REGISTERED ARCHITECTS

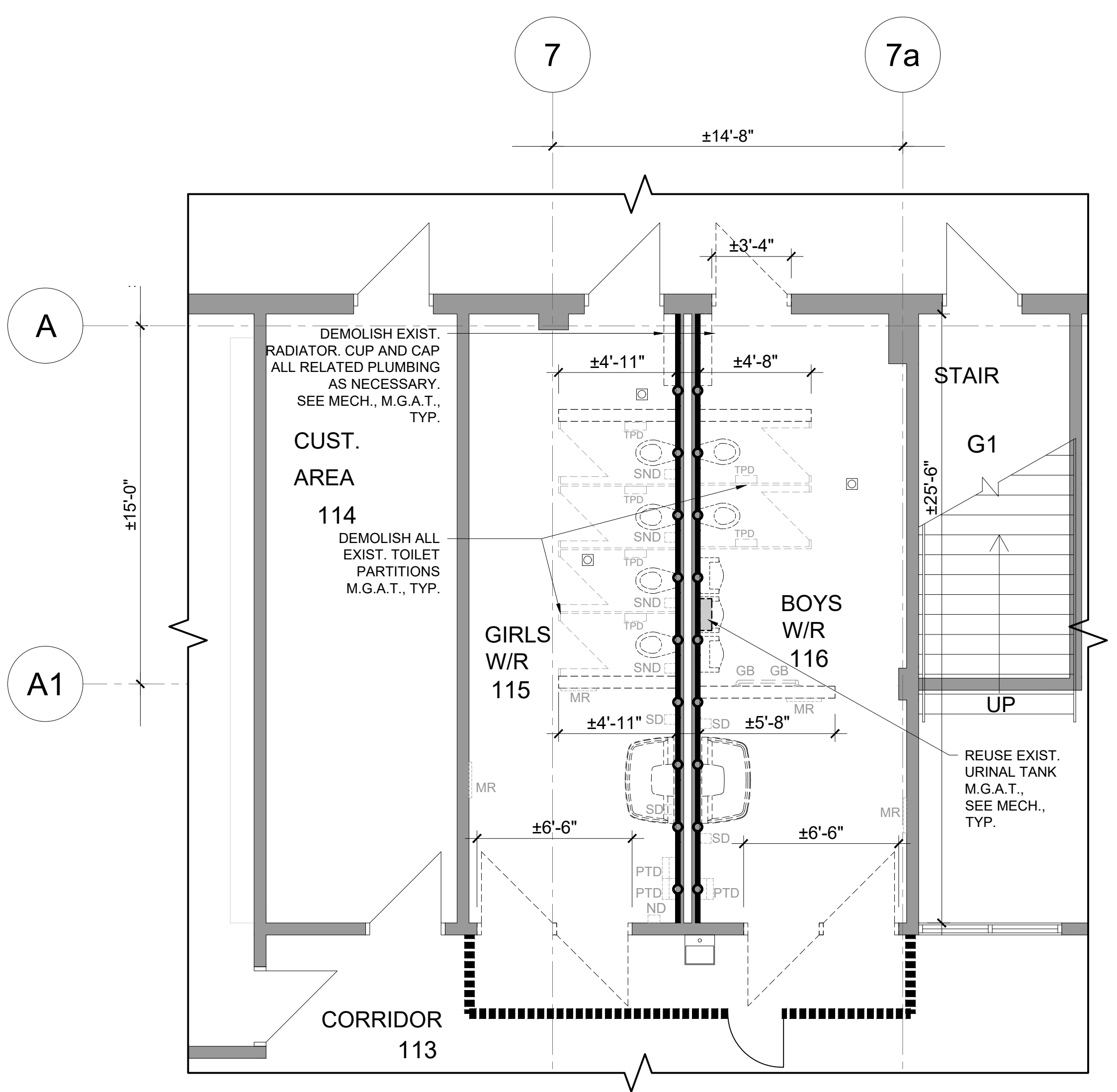
**PROJECT ARCHITECT**  
SALAS O'BRIEN  
REGISTERED ARCHITECTS

**PROJECT TITLE**  
PARTIAL GROUND FLOOR PLANS - GENERAL - DEMOLITION & NEW

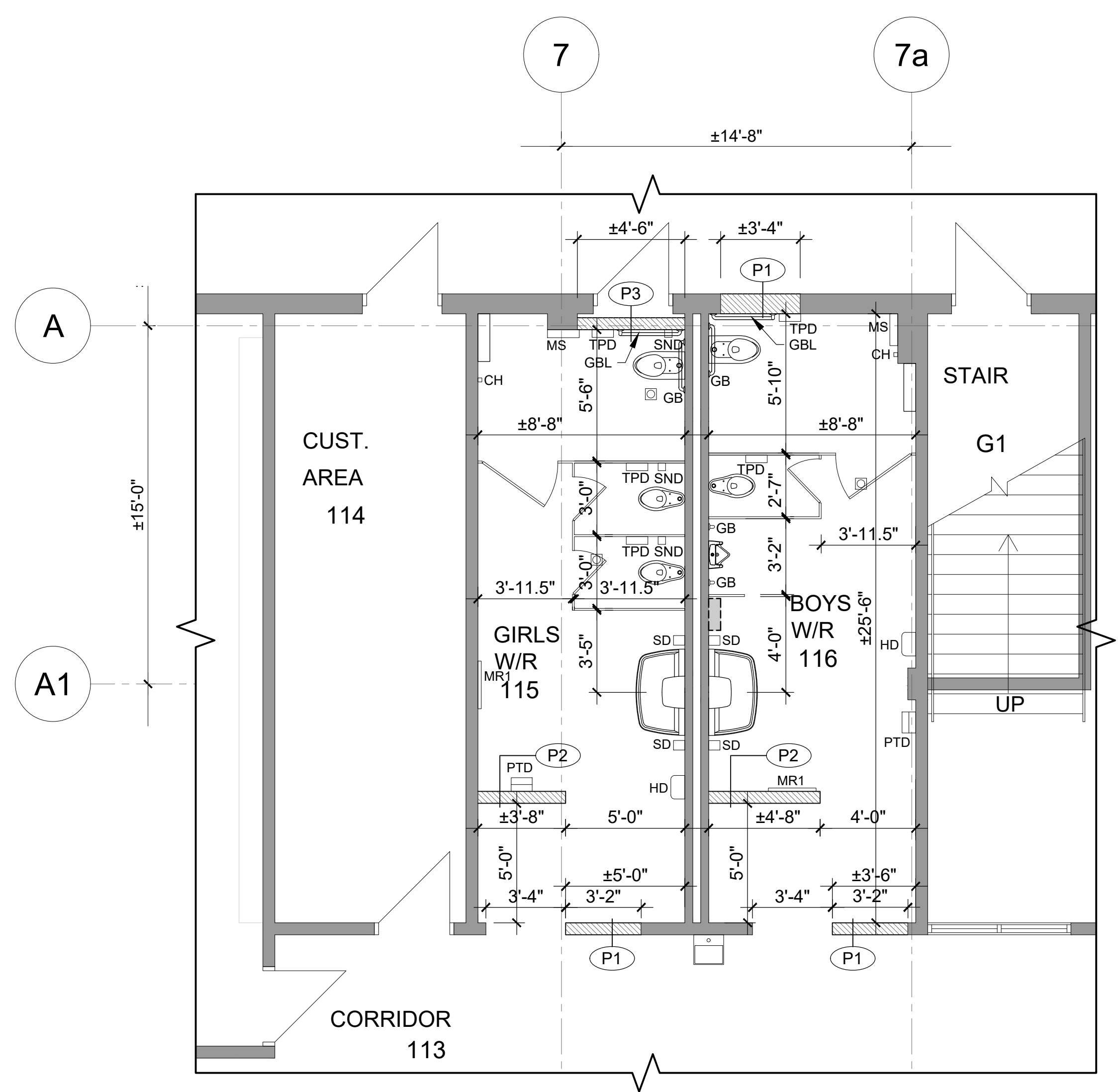
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**DATE**  
MM/PP/RR  
23/07/69

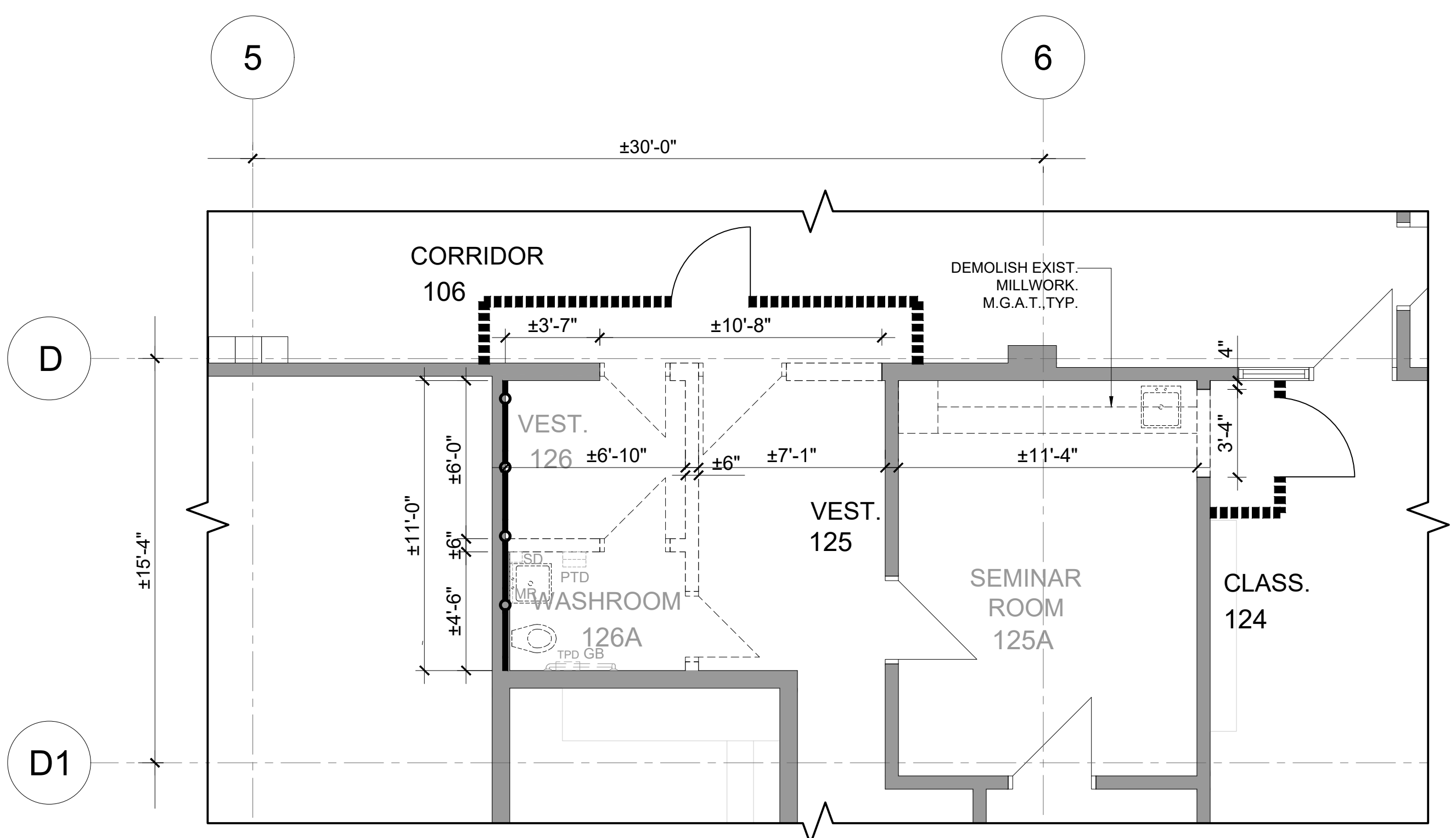
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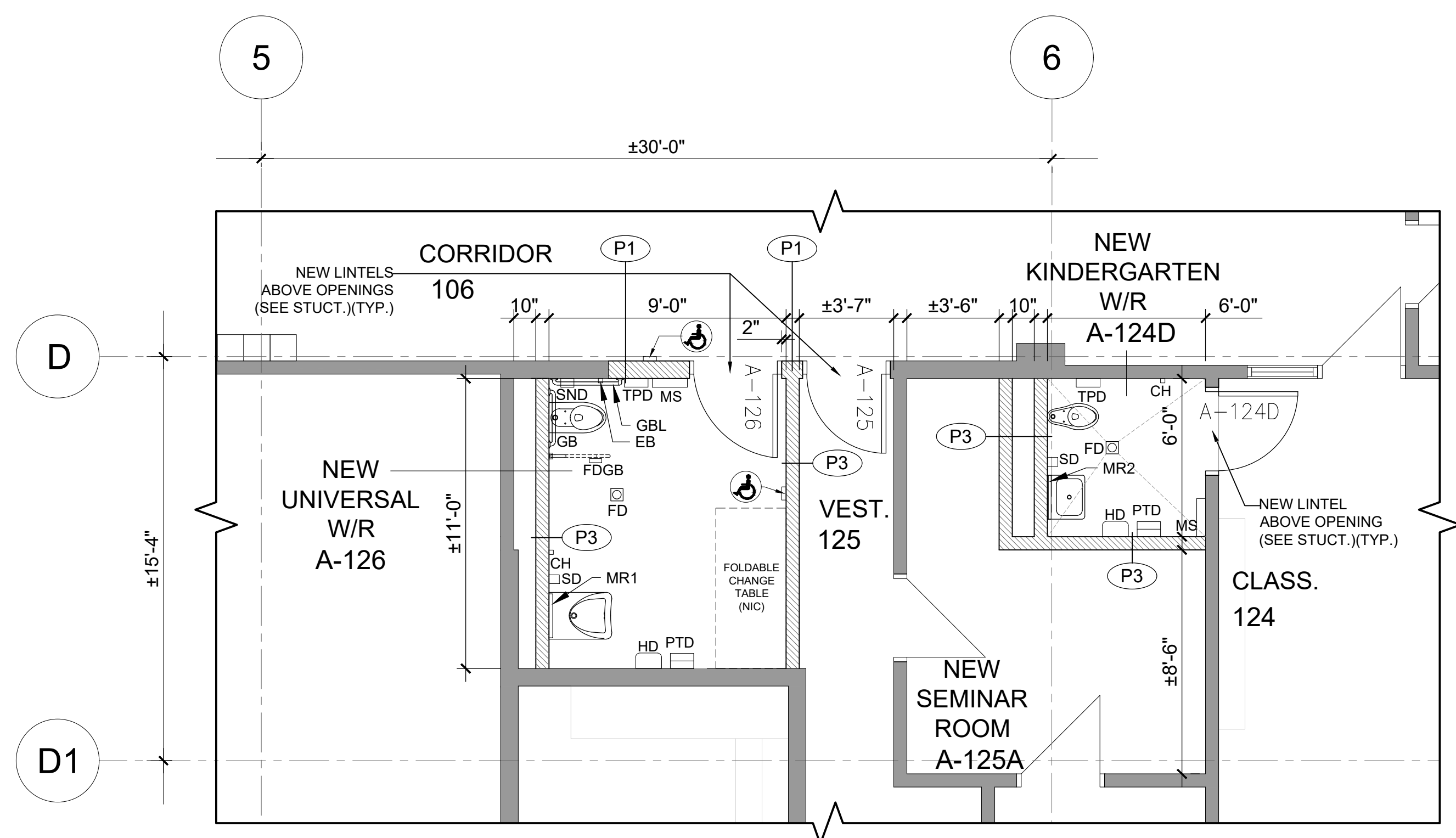
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**2 PARTIAL GROUND FLOOR PLAN - NEW**  
SCALE: 1/4"=1'-0"



**3 PARTIAL GROUND FLOOR PLAN - DEMOLITION**  
SCALE: 1/4"=1'-0"



**4 PARTIAL GROUND FLOOR PLAN - NEW**  
SCALE: 1/4"=1'-0"

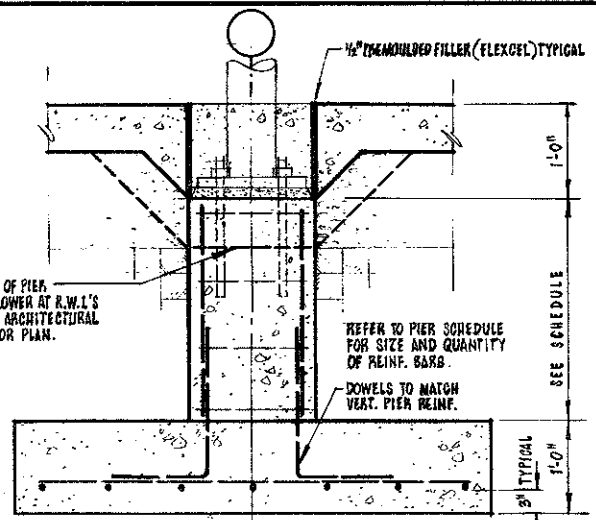
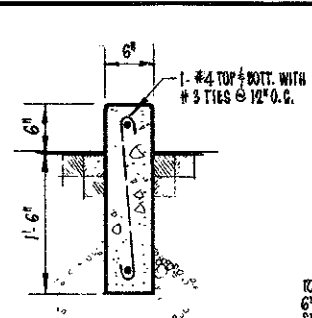
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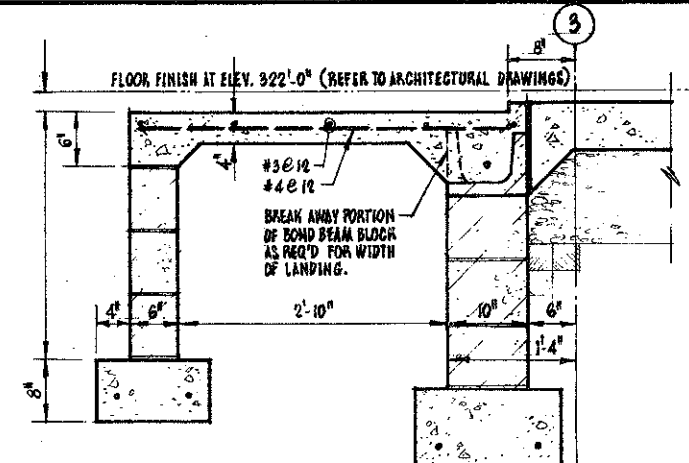




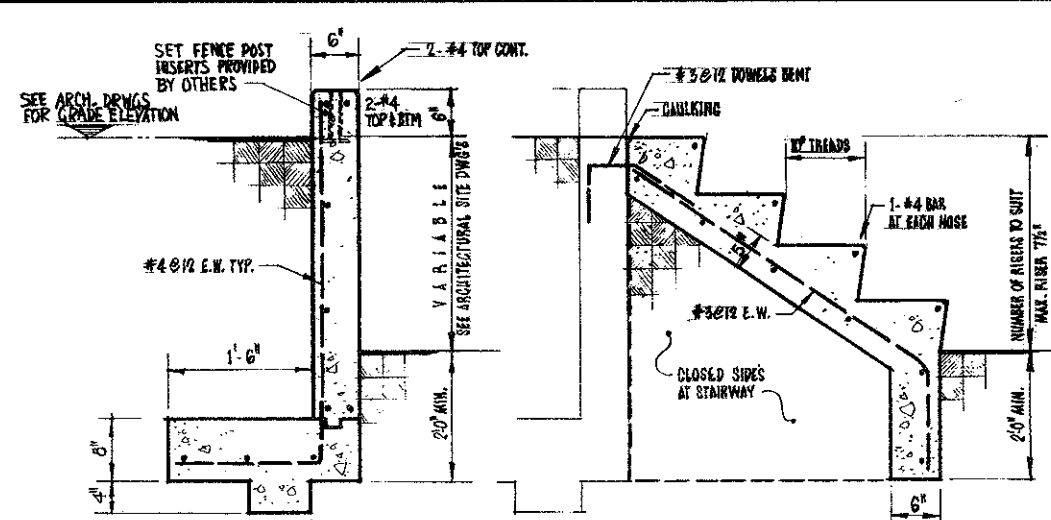
TYPICAL CURB DETAIL



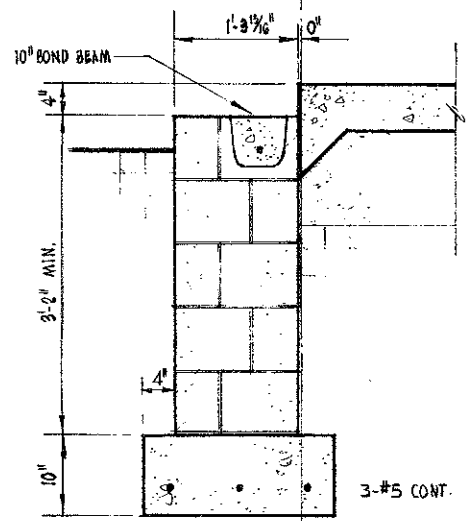
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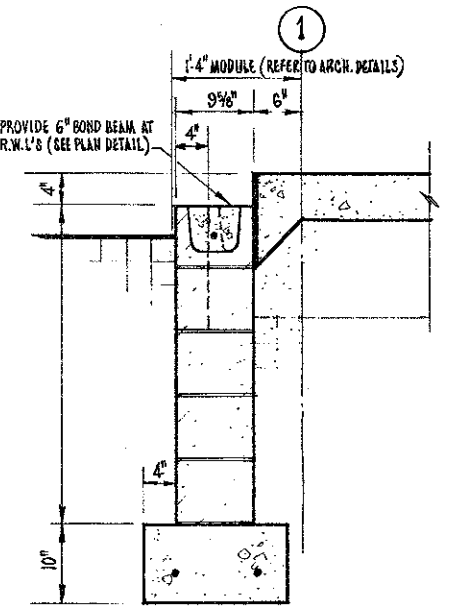
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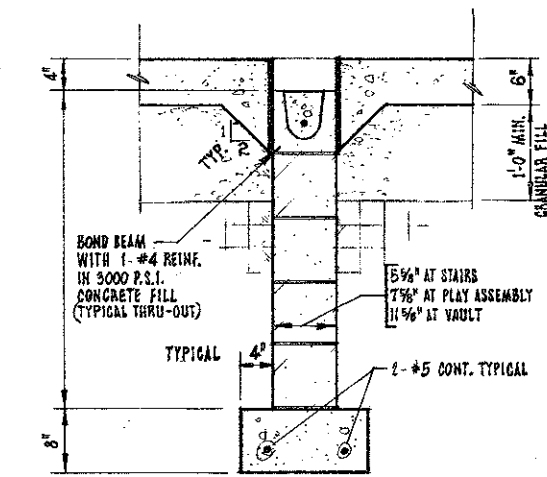
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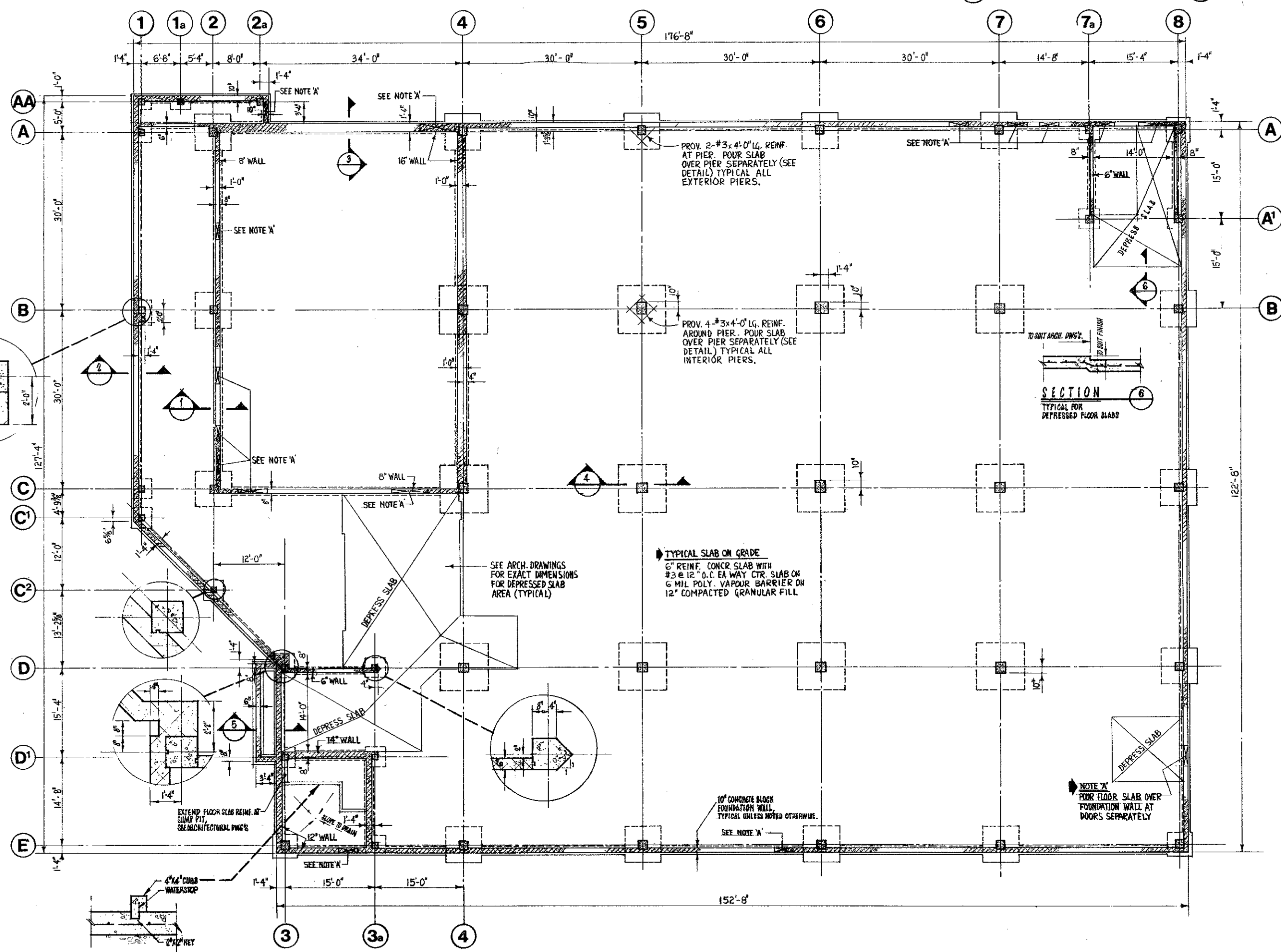
SECTION 3



SECTION 2



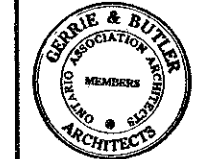
SECTION 1



ATKINSON-PARAZADER,  
LUSTRACCO-SAMERMAN  
CONSULTANTS LIMITED  
Professional Engineers



**GERIE BUTLER**  
ARCHITECTS



**HESS STREET SCHOOL**



**FOUNDATION PLAN & DETAILS**

DATE: 11 APRIL, 1973  
SCALE:  
DRAWN BY: CHECKED: S.P.  
PROJECT: TISS  
SET NO. DRAWING NO.  
**S1**