

Friday, April 5, 2024

DOCUMENT - 2024-149P
Second Floor Expansion, 3190 Mavis Road, City of Mississauga,
Project 22701

ADDENDUM 2

Number of Pages: 68

Referring to the above **Document 2024-149P - Second Floor Expansion, 3190 Mavis Road, City of Mississauga, Project 22701**, please note the following:

1. **The following are revisions to the Appendices:**
 - 1.1 **Delete:** Appendix 8.8, Digital Bid Bond in its entirety.

Replace with: Appendix 8.8 – Addendum 2, Digital Bid Bond
2. **The following are additional Appendices:**
 - 2.1 Appendix 8.15 – Addendum 2, Additional Existing Site Photos – 3190 Mavis Road, Project 22701
 - 2.2 Appendix 8.16 – Addendum 2, Geotechnical Investigation – Parking Lot & Access Route, 3190 Mavis Road, Mississauga, Ontario, Cambium Reference: 19125-001, Authored by Cambium Inc, dated April 4, 2024.

The following are responses to Bidder submitted questions:

3. **Question:**
Where is Appendix 8.8 Bid Bond and what is the acceptance period for the tender.

Answer:
Refer to Item 1, above.
4. **Question:**
Who are the list of approved sub contractors for fire alarm, Sprinkler, Security, Communications, IT cabling?

Answer:

Refer to Appendix 8.2, Division 01, Section 01 00 00, General Requirements, Clause 1.17, Sub-contractors required on the Project.

5. **Question:**

Is there any base contractor for mechanical and electrical?

Answer:

There is no base building contractor for major Mechanical and Electrical work specified on this Project.

6. **Question:**

What is the purpose of commissioning plan?

Answer:

The Commissioning Plan provides the construction team with an understanding of the level of commissioning to be performed by the construction team and demonstrated to the commissioning agent throughout the construction process including activities to be witnessed, commissioning forms to be completed and pre-turnover requirements.

7. **Question:**

Please provide clarifications to next:

1. We require a breakdown / scope of cash allowances used on this project.
2. is there a hardware schedule available?
3. Breakdown of trades required for submission. Is there a chance we can submit the breakdown 1 hour after closing? The reason being prices are received at the very last timing before closing and assembling the breakdown takes at least 1/2hr. This would be very helpful to properly close the tender

Answer:

1. Refer to Appendix 8.2, Division 01, Section 01 00 00, General Requirements, Clause 1.20, Cash Allowance for a breakdown of what is included in the Cash Allowance for this project.
2. The hardware schedule will be provided to the successful Contractor and shall be paid for from the Cash Allowance.
3. In accordance with the Instructions to Bidders, Section 4, Bidder Submissions and Section 5, Date and Place for Receiving Bidder Submissions and Acceptance Period, the Agency can only receive fully completed bid submissions prior to the closing date. Information received after the closing date/time shall not be accepted.

8. **Question:**
Could you please provide us prequalified (Invited) GC s who are participating (bidding) on this project as a General Contractors.

Answer:

There are no pre-qualified General Contractor on this project.

9. **Question:**
Request for site visit to access the existing building to locate where are the location of the new columns at the ground level and to know site accessibility if we need to create enclosure around the work areas?

Answer:

Site visit cannot be arranged. Sufficient information has been provided in the Specification and Contract Drawings supported by site photographs. Additional photographs showing the building interiors are attached at Appendix 8.15 – Addendum 2, Additional Existing Site Photos-3190 Mavis Road, Project 22701.

10. **Question:**
Can we go on our own time to visit the building interior & exterior?

Answer:

Visit to the building is not permitted. Further, refer to response to Question-9 of this Addendum.

11. **Question:**
Is the existing building occupied during the time of construction?

Answer:

The work area of the existing building will be un-occupied during of the entire duration of construction.

12. **Question:**
Please clarify:
What is the tender validity period? 90 or 120 days. There's contradictory information on bid form and instruction to bidders?

Can you please re-issue document 2024-149P? It seems the document's got some restrictions / issues and it's really hard to navigate through

Answer:

Bid validity period is 120 days.

13. **Question:**
Please provide a list of mandatory trades who work in the building.
- Answer:**
Classic Fire Life Safety for Fire Alarm and Sprinkler System, OHM Security for security systems and Consistent Cooling for HVAC system.
14. **Question:**
Please provide names and contact of fire alarm, controls, security, and sprinkler contractors servicing the building.
- Answer:**
List of the Contractors servicing the building:
a) Fire alarm and Sprinkler System: Classic Fire Life Safety, Contact Number: 888-985-2357.
b) Security System: OHM Security Ltd, Contact Number: 905-812-9636
c) HVAC System: Consistent Cooling, Contact Number: 1-877-873-6117
15. **Question:**
Who is the manufacturer of the security system?
- Answer:**
Access control security system is AMAG Symmetry and CCTV is Avigilon. The work on security system on this project shall be performed by OHM Security, a base building security Contractor.
16. **Question:**
Who is the manufacturer of the fire alarm system?
- Answer:**
The existing Fire Alarm System Control Panel is Mircom FX 2000.
17. **Question:**
Who is the manufacturer of the HVAC control system?
- Answer:**
Framework: Niagara AX, Software: Tridium Inc. and Controllers: JCI
18. **Question:**
We cannot find on drawings the following Sections from the specifications 07 21 19, 07 81 16, 07 26 00. Please assist us in locating.

Answer:

07 21 19: Foamed in place (sprayed) insulation at exterior walls, parapet and soffit. See Wall Types Schedule at architectural floor plan pages and A600 series architectural plan and section details.

07 81 16: Cementitious fireproofing (sprayed) on underside of second floor to all steel structures and patching of existing (see A600 series architectural section details)

07 26 00: Vapour retarders in exterior walls Type-W1. See Wall Types Schedule at architectural floor plan pages and A600 series architectural plan and section details.

19. **Question:**

Please provide the type of existing roof.

Answer:

Existing Terrace Roof (area of Work-A) composition

- Precast concrete patio pavers on adjustable pedestal

- Roof membrane,

- Roof rigid insulation

- Vapour barrier

- Metal deck

Existing roof over 2nd floor has similar concept except there is no concrete paver.

20. **Question:**

Please let us know if the roof is under warranty and who is mandatory roofing contractor for the warranty period alterations.

Answer:

The roof is under warranty. The vendor is Eileen Roofing Inc. Contact: 416-762-1819.

21. **Question:**

Amount of pictures posted is not sufficient to understand the project. Please provide pictures of the entire interior area and locations with work on foundation modification. Please extend question deadline period one week after additional pictures.

Publication date to allow the bidders to evaluate existing conditions and ask additional questions if it will be required.

Answer:

Additional Photographs are attached at Appendix 8.15 – Addendum 2 with this Addendum. The question deadline of April 9, 2024 cannot be extended due to project completion requirements.

22. **Question:**

Please confirm in writing the working hours for the interior construction only.

Answer:

Refer to Appendix 8.2, Division 01, Section 01 00 00, General Requirements, Clause 1.10, Work Schedule, Item 1.10.3.

Working hours for both interior and exterior construction is from 7:00am to 4:00pm, Monday through Friday.

23. **Question:**

Please provide geotechnical report.

Answer:

Copy of the Geotechnical Investigation Report dated April 4, 2024 is attached at Appendix 8.16 – Addendum 2 with this Addendum.

24. **Question:**

Please explain what scope of work to include for item 25 Lighting protection in the bid form. Please note that mechanical and electrical suppliers will not provide breakdown of the electrical items before the tender closing, therefore the cost in the tender form may be only conditional.

Answer:

Refer to the Contract Documents for detailed scope of work of lightning protection on this project. The work on lightning protection shall be done by Burchell Lightning Protection Ltd on this Project. Refer to Appendix 8.2, Division 01, Section 01 00 00, General Requirements, Clause 1.17 Sub-Contractors required on the Project, item 1.17.4.

Further, the Agency can only receive fully completed bid submissions prior to the closing date/time. Any information received after the closing date/time shall not be accepted.

25. **Question:**

Due to the scale of the job. We request an extension of the due date for more competitive price.

Answer:

Refer to response to Question-1 of the Addendum-1 dated March 27, 2024.

27. **Question:**

Are there any door operators in the contract.

Answer:

Automatic Door Operators (ADO) are in Contract. Refer to the Contract Documents for number and location of the Automatic Door Operators.

28. **Question:**

Is there a hazardous material report.

Answer:

We do not expect presence of any hazardous material in the building as this building has been recently completed in 2018.

29. **Question:**

it is very difficult to close the tender on April 16. please extend closing for few days.

Answer:

Refer to response to Question-1 of the Addendum-1 dated March 27, 2024.

Karen McCullough
Senior Procurement Analyst

DIGITAL BID BOND

Appendix 8.8 – Addendum 2

ND NUMBER _____

KNOW ALL MEN BY THESE PRESENTS THAT _____
as Principal, hereinafter called the Principal, and

_____ a corporation
created and existing under the laws of Ontario, and duly authorized to transact the business of Suretyship
in Ontario as Surety, hereinafter called the Surety, are held and firmly bound unto The Regional
Municipality of Peel as Oblige, hereinafter called the Oblige, in the amount of

_____ Dollars,

(\$ _____) lawful money of Canada, for the payment of which sum, well and
truly to be made, the Principal and the Surety bind themselves, their heirs, executors, administrators,
successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, the Principal has submitted a written Bid to the Oblige, dated the _____ day of
_____ 20____,

for: _____
DESCRIPTION OF WORK

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION is such that if the aforesaid Principal
shall have the Bid accepted within **One Hundred and Twendy (120) days** from the Closing Date and the
said Principal will, within the time required, enter into a formal contract and give the specified security to
secure the performance of the terms and conditions of the Contract, then this obligation shall be null and
void; otherwise the Principal and the Surety will pay unto the Oblige the difference in money between
the amount of the Bid of the said Principal and the amount for which the Oblige legally contracts with
another party to perform the work if the latter amount be in excess of the former.

The Principal and the Surety shall not be liable for a greater sum than the specified penalty of this Bond.

Any suit under this Bond must be instituted before the expiration of seven months from the date of this
Bond.

IN WITNESS WHEREOF, The Principal and the Surety have signed and sealed this Bond this _____
day of _____ 20_____.

SIGNED, SEALED AND DELIVERED

SIGNATURE OF WITNESS
(if not signed under corporate seal)

By _____ (Seal)
SIGNATURE AND SEAL OF PRINCIPAL
I/We have the authority to bind the Corporation

NAME OF WITNESS (PRINTED)

SURETY (Seal)

By _____
ATTORNEY-IN-FACT

ADDRESS AND PHONE NUMBER OF SURETY

**EXISTING SITE PHOTOS-3190 MAVIS ROAD
PROJECT # 22701**



Interior photo: Ex. Meeting Rm- Room 108 (new column location at GL 10 and A)



Interior photo: Ex. BF WRM- Room 105 (new column location at GL 11x and A)



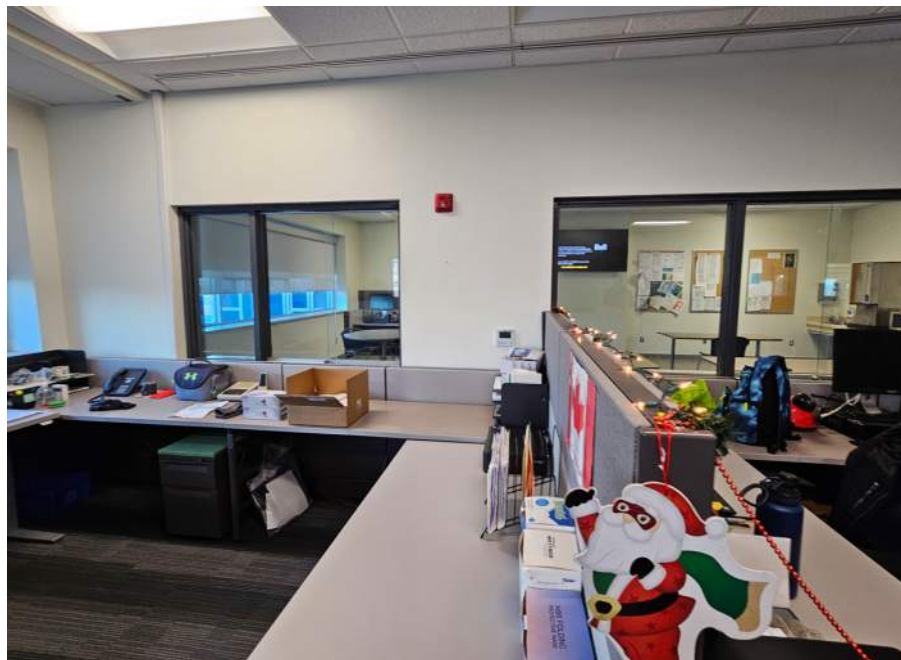
Interior photo: Ex. Transhelp open offices- Room 109 (new column location at GL 10 and C)



Interior photo: Ex. Reception- room 103, Ex waiting Area- room 102 (new column location at GL 11x and C)



Interior photo: to Ex. Transhelp open offices- Room 109



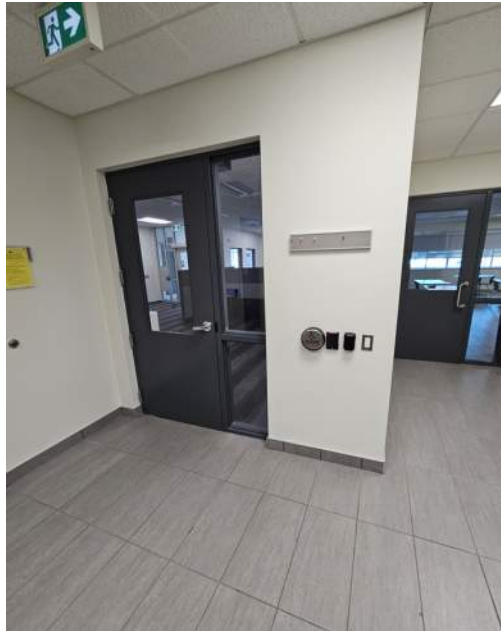
Interior photo: from Ex. Transhelp open offices- Room 109 (new column location at GL 11x and F)



Interior photo: from Ex. Training/ Lunch room



Interior photo: Ex. Training/ Lunch room (new column location at GL 11x and H)



Interior photo: Ex. Elevator Lobby- Room 124 (new column location at GL 10 and F)



Interior photo: at Ex. Kitchenette-123A



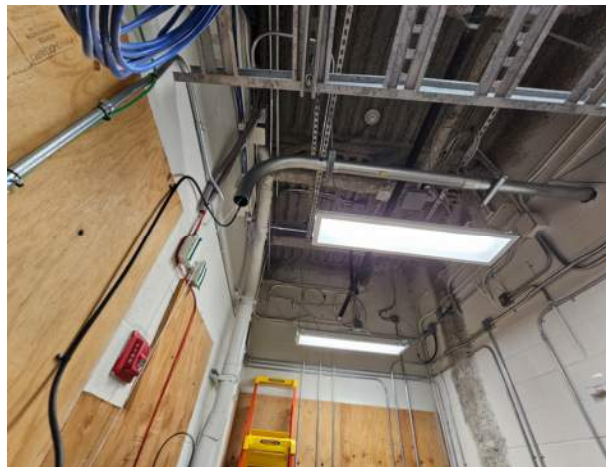
Interior photo: Ex. IT/ elect'l -room 116 (new column location near GL 11x and K)



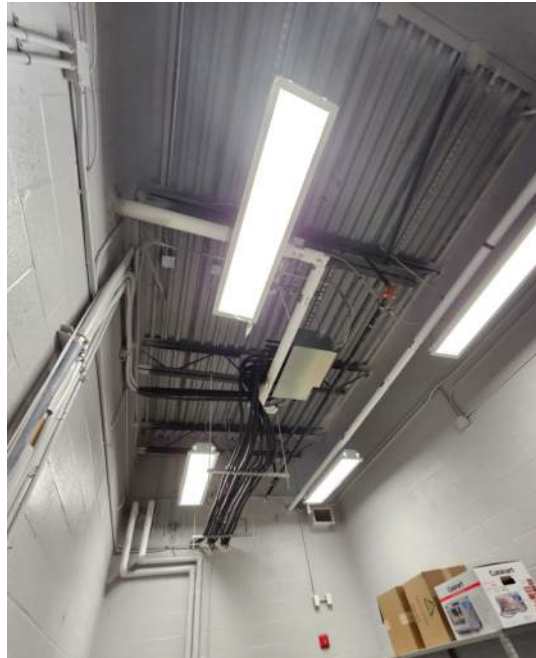
Interior photo: Ex. IT/ elect'l -room 116 (new column location near GL 11x and K)



Interior photo: Ex. Apparatus Bays-Room 120 (new column location near GL 11x and K)



Interior photo: Ex. IT/ elect'l -room 116



Interior photo: Ex. Storage-Room 205



Interior photo: Ex. Vest-Room 122 (new column location at GL 9 and K)



Interior photo from Ex. BF WRM 119 (new column location at GL 10b and K)



Interior photo from Ex. Storage Room 208



Interior photo from Ex. Storage Room 208



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April 4, 2024

Region of Peel
c/o Barry Bryan Associates
201-250 Water Street
Whitby, ON L1N 0G5

Attn: **Ali Aurangozeb, Architect, OAA MRAIC**

Re: Geotechnical Investigation – Parking Lot & Access Route, 3190 Mavis Road, Mississauga, Ontario
Cambium Reference: 19125-001

Dear Ali Aurangozeb,

Cambium Inc. (Cambium) was retained by Region of Peel (the “Client”) to provide a geotechnical report for the existing parking and access route located at 3190 Mavis Road, Mississauga, Ontario (the “Site”) as shown on Figure 1, Site Location Plan and Figure 2, Borehole Location Plan, attached. The terms of reference for the geotechnical consulting services were included in Cambium’s Proposal No. 19125-P, dated October 19, 2023. Authorization to proceed with the investigation was received in the form of a Purchase Order (64069) from the Client on December 11, 2023.

The purpose of the field work and testing was to obtain information on the general subsurface soil and groundwater conditions at the site by means of a limited number of boreholes and laboratory tests. Based on an interpretation of the data available for this site, this report provides preliminary engineering comments, recommendations, and parameters for the geotechnical design aspects of the project, including selected construction considerations which could influence design decisions. It should be noted that this report addresses only the geotechnical (physical) aspects of the subsurface conditions at the site. The geo-environmental (chemical) aspects, including the consequences of possible surface and/or subsurface contamination resulting from previous activities or uses of the site and/or resulting from the introduction onto the site of materials from off-site sources, are beyond the terms of reference for this report and are not addressed herein. An excess soil characterization report prepared by Cambium is submitted separately.



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This report provides the results of the geotechnical exploration and testing and should be read in conjunction with the *“Cambium Qualifications and Limitations”*, attached, which forms an integral part of this document. The reader’s attention is specifically drawn to this information, as it is essential for the proper use and interpretation of this report. The data, interpretations and recommendations contained in this report pertain to a specific project as described in the report and are not applicable to any other project or site location. If the project is modified in concept, location, or elevation, or if the project is not initiated within eighteen months of the date of the report, Cambium should be given an opportunity to confirm that the recommendations in this report are still valid.

SITE AND PROJECT DESCRIPTION

The existing parking lot and access route are located at the southwestern corner of the property located at 3190 Mavis Road in Mississauga, Ontario as shown on Figure 2, Borehole Location Plan, attached. The Site is generally flat with elevations of approximately 141 metres (m). Wolfedale Creek borders the Site to the west.

Based on historical aerial photographs of the Site, the west area of the Site was previously occupied by a building which was demolished sometime between 2009 and 2012. After demolition of the building, the area was paved and used as a parking lot. In October 2017 the asphalt was removed from the western area of the property, and the aerial photographs indicated that a building was constructed in the northwestern area of the property. The current parking lot and access route constituting the Site was constructed in the southwestern area of the property. The access route is used by heavy duty vehicles including fuel trucks.

Please refer to Attachment 3, showing the civil drawings available for the Site provided by the Client. The existing drawings indicate that there is an underground storage tank (UST) at the east side of the Site, just west of the refueling station. The Proposed Storm Drainage Plan drawing (SP6) indicates that weeping tiles surround the UST and drain to CBP. The drawings also indicate the presence of the storm sewers from CB9 (NE of UST) which connects



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to MH5, MH6 and DCB7 from east to west in the south portion of the Site. A 300-mm diameter storm sewer, about 2 m deep, also runs across the Site from northwest to southeast (SP2 & SP5) which was supposed to be removed or plugged.

Drawings were not available showing the details of the existing parking lot construction or access route. The information available indicated that the existing pavement structure consists of:

- 40 mm thick HL3
- 80 mm thick HL8
- 150 mm thick OPSS Granular A Base Course
- 400 mm thick OPSS Granular B Subbase

GEOTECHNICAL INVESTIGATION

Cambium completed the borehole investigation at the Site on January 29, 2023. A total of eight boreholes were advanced into the subsurface at predetermined locations throughout the Site. Table 1 below outlines the borehole testing program. A Site Location Plan and Borehole Location Plan showing the site location and location of each borehole are attached as Figure 1 and Figure 2, respectively, to this report.

Table 1 Borehole Testing Program

Borehole	Depth of Borehole (m)	Elevation of Borehole (m)
BH101-24	2.5	141.4
BH102-24	1.4	141.4
BH103-24	1.4	141.3
BH104-24	2.1	141.1
BH105-24	2.1	140.8
BH106-24	1.4	141.1
BH107-24	1.4	141.1
BH108-24	1.4	141.3

Drilling and sampling were completed using a track-mounted drill rig operating under the supervision of a Cambium technician. The boreholes were advanced to



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the sampling depths by means of continuous flight solid or hollow stem augers using conventional 38-millimetre (mm) internal diameter split spoon sampling equipment driven by an automatic hammer in accordance with the SPT procedures outlined in ASTM International standard D1586: "Standard Test Method for Standard Penetration Test (SPT) and Split-Barrel Sampling of Soils". SPT "N"-values were recorded for the sampled intervals as the number of blows required to drive a split spoon sampler 305 mm into the soil, using a 63.5 kg drop hammer falling 750 mm, as per ASTM D1586 procedures. The split-spoon samplers used in the investigation limit the maximum particle size that can be sampled and tested to about 40 mm. Therefore, particles or objects that may exist within the soils that are larger than this dimension were not sampled and are not represented in the grain size distributions contained herein. The results of the field tests (i.e., SPT "N" -values) as presented on the Record of Borehole sheets and in subsequent sections of this report are the values measured directly in the field and are unfactored.

The SPT N values are used in this report to assess consistency of cohesive soils and relative density of non-cohesive soils. Soil samples were collected at approximately 0.75 m intervals.

Groundwater conditions were checked in the open boreholes during and upon completion of drilling. All boreholes were backfilled and sealed in accordance with Ontario Regulation (O.Reg.) 903, as amended, and the property was reinstated to pre-existing conditions.

The field work for this investigation was observed by members of Cambium's technical staff, who located the boreholes in the field, arranged for the clearance of underground utilities, observed the borehole drilling, sampling and in situ testing operations, logged the boreholes as well as examined and took custody of the recovered soil samples. The samples were identified in the field, placed in appropriate containers, labelled, and transported to our Peterborough geotechnical laboratory for further visual examination by the project engineer and for laboratory testing.

The elevations of the boreholes were surveyed using a laser level with reference to known elevations provided on the topographic survey. The site benchmarks



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used were CB9 and MH5 with elevations of 141.8 metres (m) and 141.6 m, respectively. The borehole locations were measured and referenced from prominent site features. As a result, the borehole locations and elevations should be considered as approximate.

Borehole logs are provided in Attachment 1. Site soil and groundwater conditions are described, and geotechnical recommendations are discussed in the following sections of this report.

PHYSICAL LABORATORY TESTING

Laboratory soil testing including three Particle Size Distribution Analyses (LS 702, 705) was completed on selected soil samples to confirm textural classification and to assess geotechnical parameters. Moisture content testing was completed on all soil samples. Results are presented in Attachment 2 and are summarized on the borehole logs and described in the subsequent sections of this report.

SUBSURFACE CONDITIONS

Based on the results of the borehole investigation, subsurface conditions at the Site generally consist of pavement structure overlying near surface fill consisting of stiff to very stiff silty clay fill or loose to compact silty sand fill. At BH101-24 and BH104-24, the boreholes were advanced through the fill and the native deposits were encountered at depths of 1.5 mbgs and 1.8 mbgs, respectively. The native deposits consisted of very stiff silty clay and hard silty clay to clayey silt till. The pavement structure encountered at the borehole locations are summarized in Table 2.





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Table 2 Existing Pavement Structure Summary

Borehole ID	Elevation	Asphalt Thickness (mm)	Base/Subbase Thickness (mm)	Subgrade
BH101-24	141.4	75	615	Stiff Silty Clay Fill
BH102-24	141.4	60	780	Very Stiff Silty Clay Fill
BH103-24	141.3	60	650	Compact Silty Sand Fill
BH104-24	141.1	38	672	Compact Silty Sand Fill
BH105-24	140.8	50	660	Loose Silty Sand Fill
BH106-24	141.1	75	635	Stiff Silty Clay Fill
BH107-24	141.1	75	385	Very Stiff Silty Clay Fill
BH108-24	141.3	75	635	Stiff Silty Clay Fill
Average			629	

Laboratory particle size distribution analyses were completed for four samples of the granular fill material or the subgrade soils. The analysis results are summarized in Table 3 with details provided in the borehole logs in Attachment 1.

Table 3 Particle Size Distribution Analysis

Borehole and Sample	Depth (mbgs)	Material	% Gravel	% Sand	% Silt & Clay
BH101-24 SS3 (Native soil)	1.5m to 2.1m	Silty Clay to Clayey Silt	4	3	56 & 37
BH102-24 SS1 (Base/Subbase)	0.1m to 0.7m	Gravelly Silty Sand	30	54	13 & 3
BH104-24 SS2 (Subgrade)	0.8m to 1.2m	Gravelly Silty Sand	30	41	21 & 8
BH106-24 SS2 (Subgrade)	0.8m to 1.4m	Sandy Silty Clay	13	28	38 & 21

The results of the laboratory testing indicate that the subgrade soil have a frost value ranging from 3 to 15 according to City of Mississauga's Frost Susceptible Standard Drawing No. 2220.020. Consideration may be given to resampling the granular material and completing additional particle size distribution analyses at the construction stage to confirm the potential for reuse as Granular B material. The granular material is acceptable for reuse for general subgrade fill and site grading purposes.



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GROUNDWATER

Following the completion of borehole advancement, each borehole was checked for the presence of groundwater and for sloughing (caving) of the borehole walls. Neither groundwater nor sloughing was observed within any of the boreholes upon completion. At BH106-24, groundwater was encountered at a depth of about 0.9 mbgs during drilling, indicating the likely presence of perched groundwater. A monitoring well was installed in BH101-24 adjacent to the UST. The monitoring well was dry on February 5, 2024.

Groundwater levels at the site are anticipated to vary between and beyond the borehole locations and to fluctuate on a seasonal basis and in response to significant precipitation or snowmelt events.

PAVEMENT DESIGN

This section of the report provides engineering information and recommendations for the geotechnical design aspects of the project based on our interpretation of the borehole information, the laboratory test data and on our understanding of the project requirements. The following recommendations are provided to assist designers. It is possible that subsurface conditions beyond the borehole locations may vary from those observed. Recommendations should not be construed as providing instructions to contractors, who should form their own opinions about site conditions. Contractors bidding on or undertaking any work at the Site should examine the factual results of the investigation, satisfy themselves as to the adequacy of the information for construction and make their own interpretation of the factual data as it affects their proposed construction techniques, schedule, equipment capabilities, costs, sequencing, and the like. If significant variations are found before or during construction, Cambium should be contacted so that we can reassess our findings, if necessary.

Cambium will not assume any responsibility for construction-related decisions made by contractors based on this report.



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PAVEMENT OPTIONS

Based on the information provided to Cambium, it is understood that the Site is used as both a parking area as well as the access route for heavy duty vehicles, including fuel trucks. Traffic loading information was not available for the Site. Photographs of the pavement conditions are provided in Attachment 3. The photographs indicated that cracks in the pavement have developed in the areas where the manholes, catchbasins and storm sewers are located. Longitudinal east to west cracks were also present along the route where the fuel trucks travel.

The condition of the pavement structure implies that the likely reasons for the pavement cracking may be as follows:

- I. Poor compaction around the storm system structures have led to the settlement in these areas.
- II. The type of backfill used for the bedding and around the structures is not known. However, if clear stone for example or gap graded aggregates were used for backfilling, this could have led to migration of fines from the surrounding soil and subsequent settlement.
- III. If fill material underlying the pavement structure was not compacted properly, then settlement of the fill since the time of paving could have resulted in the pavement cracking.
- IV. Depending on the traffic loading, the pavement structure may not have been adequate for the loading conditions.

It is understood that the existing finished grade of the current pavement must be maintained. Since the reason for the failure is not clear (poor subgrade compaction, backfill compaction or backfill material) a new pavement structure may be considered as the recommended solution.

PAVEMENT DESIGN CONSIDERATIONS

Based on a comparison of the minimum pavement structures outlined within the City of Mississauga Standard Drawing 2220.010 dated 2018-04-01, Rev. 3, it is recommended that the pavement structure for the parking lot / access consist of the minimum pavement structure recommended is shown in Table 4 below. This



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April 4, 2024

pavement structure is in accordance with the City of Mississauga guidelines and is rated to support “Local Industrial” roadway and heavy duty use throughout the parking lot. If traffic information is available that changes this classification, the pavement design recommendations below should be revised.

Table 4 Standard Design Pavement Structure

Pavement Layer	Thickness
Surface Course Asphalt	40 mm – HL3
Binder Course Asphalt	100 mm – HL8 (2 lifts)
Granular Base	200 mm OPSS 1010 Granular A
Granular Subbase	400 mm OPSS 1010 Granular B, Type II
Total	740 mm

Additional samples of the existing base and subbase can be taken during construction to determine if the material can be reused as the subbase of the new pavement structure.

If a grade raise can be accommodated, milling can be used to remove the existing asphalt and the remaining base/subbase can be proof rolled and compacted in place as the subbase of the new pavement structure. The existing base and subbase would account for about **400 mm** of the new pavement structure. After removal of the existing asphalt the remaining granular base has to be proof rolled and inspected by Cambium. The proposed asphalt and granular A base structure indicated in Table 4 can then be constructed.

PAVEMENT CONSTRUCTION**SITE PREPARATION**

The subgrade should be inspected by qualified geotechnical personnel prior to placing any pavement structure fill materials. The exposed subgrade should be proof rolled with a piece of heavy equipment, typically a fully loaded tandem axle dump truck at minimum and any areas exhibiting excessive deflection identified shall be excavated to the depth of competent soils. Any identified unacceptable areas should be repaired by additional sub-excavation and placement of acceptable granular material such as OPSS 1010 Granular B compacted to a minimum of 100% of the material’s SPMDD.



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The boreholes indicated that the subgrade consisted of variable fill and the presence of the cracks in the vicinity of the storm structures backfill area further indicate that the subgrade condition will also be variable. During construction, Cambium should be given the opportunity to review the subgrade and if necessary, recommend the use of geogrid in areas of poor subgrade. A unit rate should be included in the contract for the supply and placement of geogrid in the event it is needed.

COMPACTION

Granular layers should be placed in 200 mm thick loose lifts and compacted to at least 100% of the material's SPMDD. The asphalt concrete should be compacted to minimum 92% of the material's Maximum Relative Density (MRD).

REUSE OF EXISTING GRANULAR MATERIAL

Portions of the existing base/subbase materials beneath the existing parking lot / access route may be reused as subgrade fill beneath the new pavement provided it is free of organic material and the moisture content is such that adequate compaction can be achieved. It is not suitable for re-use as new base or subbase material.

ASPHALT CEMENT GRADE

The performance grade of the asphalt cement for both surface course mixes and binder course mixes shall be PGAC 64-28.

TACK COAT

A tack coat (SS1) should be applied to all construction joints prior to placing hot mix asphalt to create an adhesive bond. Prior to placing hot mix asphalt, SS1 tack coat must also be applied to all existing surfaces and between all new lifts.

PAVEMENT TRANSITIONS

Where the new pavement abuts existing pavement, whether within project limits or at the adjacent streets, driveway, proper transverse lap joints should be constructed to key the new asphalt into the existing surfacing. A 10H:1V taper



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should be provided underside of subbase for the transition between differing pavement structures.

DRAINAGE

Control of surface water is an important factor in long lasting pavements and the need for adequate subgrade drainage cannot be over-emphasized. The subgrade must be free of depressions and sloped (at a minimum grade of 2 percent) to provide positive drainage towards the edges of the parking lot platform and subdrains. Grading adjacent to pavement areas should be designed to ensure that water is not allowed to pond adjacent to the outside edges of the pavement.

The parking lot will require full length subdrains placed at the edge of the pavement, beneath any curb and gutter. The subdrains must be connected to catch basins or any other suitable frost-free outlets. Storm sewer laterals, subdrains, catch basin and manhole installations should be installed in accordance with the applicable OPSD.

DESIGN REVIEW AND INSPECTIONS

Testing and inspections should be carried out during construction operations to examine and approve subgrade conditions, fill material, compaction of granular base courses, asphalt, and concrete.

CONCLUSION

If you have questions or comments regarding the contents of this report or require additional information, please do not hesitate to contact this office.

Respectfully submitted,



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Cambium Inc.

Original signed and sealed by:

Rafael Abdulla, M.Eng., P.Eng., PMP
Senior Geotechnical Engineer

Original signed by:

Stuart Baird, M.Eng., P.Eng.
Director – CT&I and Geotechnical

RA/SB

*Encl: Cambium Qualifications and Limitations
Figure 1 – Site Location Plan
Figure 2 – Borehole Location Plan
Attachment 1 – Borehole Logs
Attachment 2 – Geotechnical Laboratory Results
Attachment 3 – Photos of Pavement Condition
Attachment 4 – Existing Drawings*

*P:\19100 to 19199\19125-001 Barry Bryan Associates - GEO ESM - Peel Region Building Expansion\Deliverables\GEO\Final\2024-04-04 19125-001 LTR 3190
Mavis.docx*





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GEOTECHNICAL INVESTIGATION REGION OF PEEL 3190 Mavis Road Mississauga, Ontario

LEGEND

- Highway
- Major Road
- Minor Road
- + Railway
- Watercourse
- Water Area
- First Nations Reserve
- Provincial Park
- Wooded Area
- Built Up Area

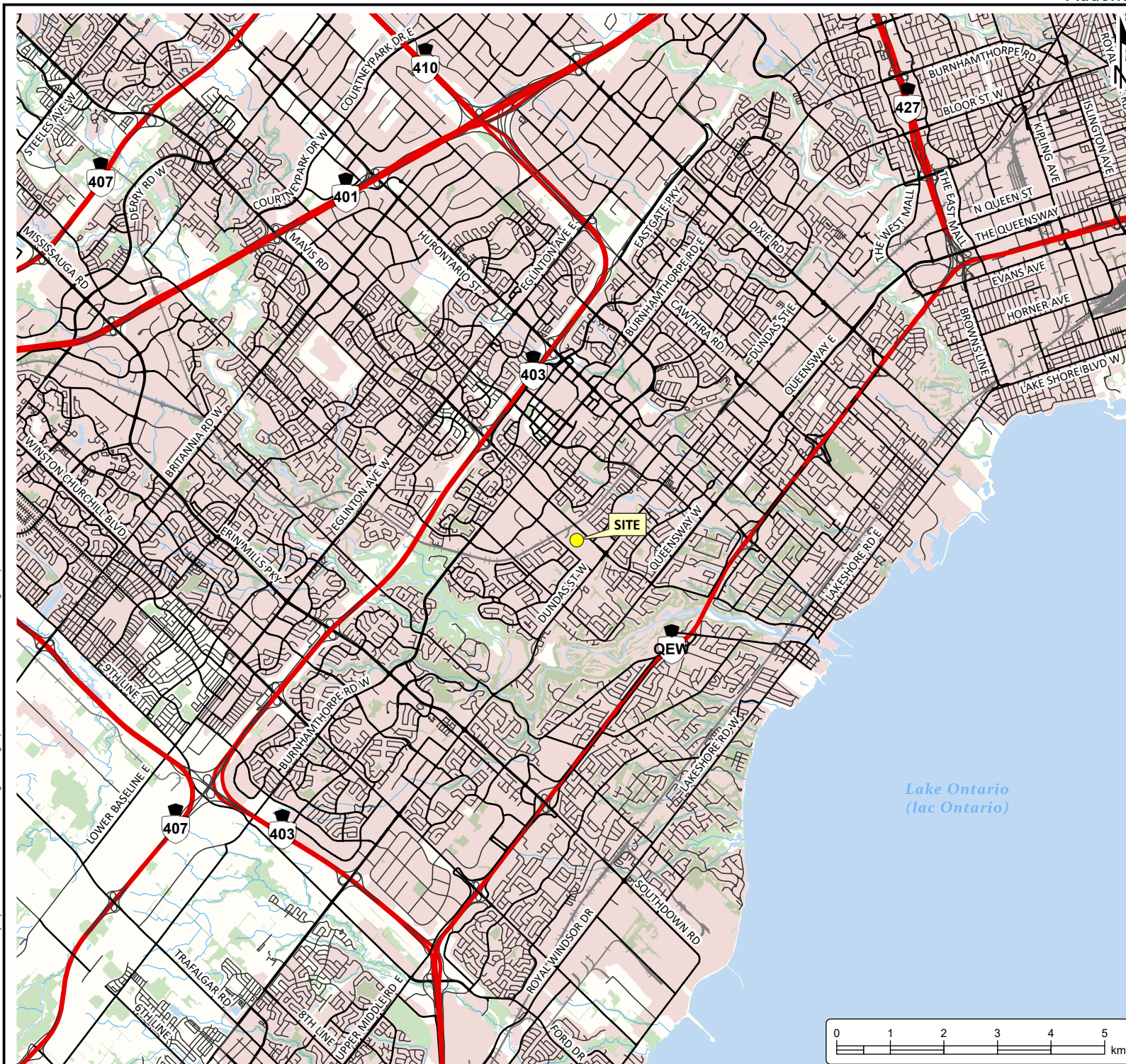
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SITE LOCATION PLAN

Project No.:	19125-001	Date:	February 2024
Scale:	1:100,000	Rev.:	
Created by:	MAT	Projection:	NAD 1983 UTM Zone 17N
Checked by:	RA	Figure:	1



**GEOTECHNICAL
INVESTIGATION**
REGION OF PEEL
3190 Mavis Road
Mississauga, Ontario

LEGEND

-  Benchmark
 Borehole
 Monitoring Well
 Site (approximate)

Notes:
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BOREHOLE LOCATION PLAN

Project No.: 19125-001	Date: February 2024
Scale: 1:500	Rev.: RA
Created by: MAT	Checked by: RA
Figure: 2	





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Attachment 1

Borehole Logs

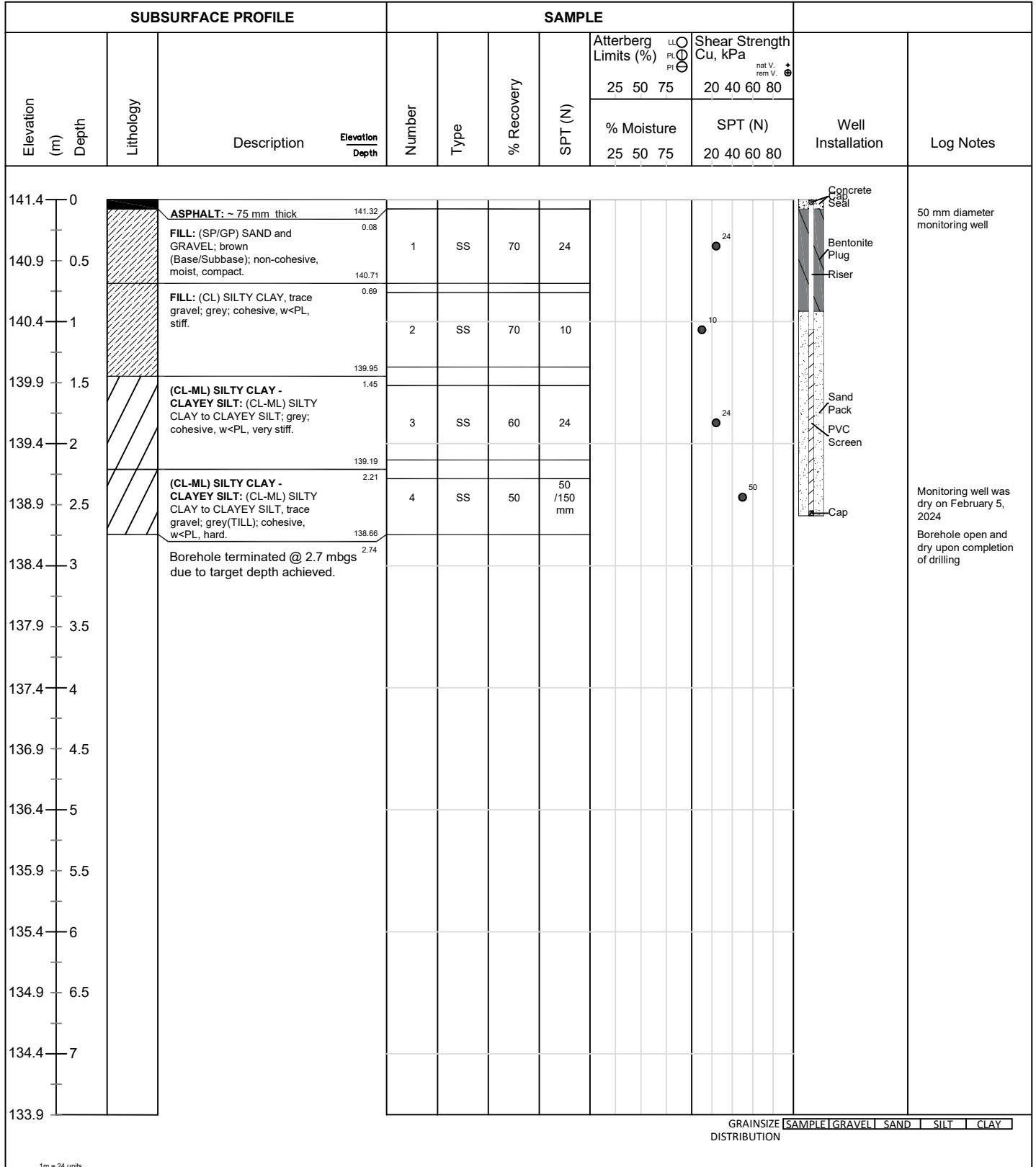




Client: Region of Peel
Contractor: Strata Drilling
Project No.: 19125-001
Location: 3190 Mavis Road,
 Mississauga ON

Project Name: Peel Region Building Expansion
Method: Track Mounted Solid Stem Auger
Elevation: 141.4 mASL
Location: See Figure 2

Log of Borehole: BH101-24
Page: 1 of 1
Date Completed: January 29, 2024




Logged By: SAMANTHS

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Log of Borehole: BH102-24
Page: 1 of 1
Date Completed: January 29, 2024

SUBSURFACE PROFILE				SAMPLE												
Elevation (m) Depth	Lithology	Description	Elevation Depth	Number	Type	% Recovery	SPT (N)	Atterberg Limits (%)			Shear Strength Cu, kPa			Well Installation	Log Notes	
								LL	PL	PI	nat V.	rem V.	σ _u			
								25	50	75	20	40	60			80
								% Moisture			SPT (N)					
								25	50	75	20	40	60	80		
141.4 0		ASPHALT: ~60 mm thick FILL: (SP/GP) SAND and GRAVEL to gravelly SILTY SAND; brown (Base/Subbase); non-cohesive, moist, dense.	141.38 0.06													
140.9 0.5																
140.4 1																
		FILL: (CL) SILTY CLAY, trace gravel; brown; cohesive, w~PL, stiff to very stiff.	140.6 0.84													
140.4 1				2	SS	75	15							15		
139.9 1.5		Borehole terminated @ 1.4 mbgs due to target depth achieved.	140.07 1.37													
139.4 2																
138.9 2.5																
138.4 3																
137.9 3.5																
137.4 4																
GRAINSIZE DISTRIBUTION																
SAMPLE GRAVEL SAND SILT CLAY																


Peterborough, Barrie, Oshawa, Kingston, Ottawa



Client: Region of Peel
Contractor: Strata Drilling
Project No.: 19125-001
Location: 3190 Mavis Road,
 Mississauga ON

Project Name: Peel Region Building Expansion
Method: Geoprobe
Elevation: 141.3 mASL
Location: See Figure 2

Log of Borehole: BH103-24
Page: 1 of 1
Date Completed: January 29, 2024

SUBSURFACE PROFILE				SAMPLE													
Elevation (m)	Depth	Lithology	Description	Elevation Depth	Number	Type	% Recovery	SPT (N)	Atterberg Limits (%)			Shear Strength Cu, kPa			Well Installation	Log Notes	
									LL PL PI			nat V. rem V. ⊕					
									25	50	75	20	40	60			80
									% Moisture			SPT (N)					
									25	50	75	20	40	60	80		
141.3	0		ASPHALT: ~60 mm thickness	141.24												Borehole open and dry upon completion of drilling	
			FILL: (SP/GP) SAND and GRAVEL; brown (Base/Subbase); non-cohesive, moist, compact	0.06													
						1	SS	75	27								27
140.8	0.5																
			FILL: (SM) SILTY SAND, trace gravel; grey; non-cohesive, moist, compact	140.59													
				0.71													
140.3	1				2	SS	70	28							28		
139.8	1.5		Borehole terminated @ 1.4 mbgs due to target depth achieved.	139.93													
				1.37													
139.3	2																
138.8	2.5																
138.3	3																
137.8	3.5																
137.3	4																
GRAINSIZE DISTRIBUTION																	
SAMPLE GRAVEL SAND SILT CLAY																	

1m = 45 units

Borehole open and dry upon completion of drilling

Logged By: SAMANTHS

Input By: SAMANTHS



Peterborough, Barrie, Oshawa, Kingston, Ottawa



Client: Region of Peel
Contractor: Strata Drilling
Project No.: 19125-001
Location: 3190 Mavis Road,
 Mississauga ON

Project Name: Peel Region Building Expansion
Method: Geoprobe
Elevation: 141.06 mASL
Location: See Figure 2

Log of Borehole: BH104-24
Page: 1 of 1
Date Completed: January 29, 2024

SUBSURFACE PROFILE				SAMPLE																
Elevation (m)	Depth	Lithology	Description	Elevation Depth	Number	Type	% Recovery	SPT (N)	Atterberg Limits (%)			Shear Strength Cu, kPa			Well Installation	Log Notes				
									LL	PL	PI	25	50	75			20	40	60	80
									% Moisture			SPT (N)								
									25 50 75			20 40 60 80								
									25 50 75			20 40 60 80								
141.1	0		ASPHALT: ~38 mm thickness	141.01												Borehole open and dry upon completion of drilling				
			FILL: (SP/GP) SAND and GRAVEL; brown (Base/Subbase); non-cohesive, wet, compact	0.05	1	SS	50	18									18			
140.6	0.5																			
			FILL: (SM) SILTY SAND, some gravel to gravelly; brown; non-cohesive, moist, compact	0.71																
140.1	1				2	SS	60	14							14					
139.6	1.5																			
139.1	2		(CL) SILTY CLAY: (CL) SILTY CLAY; grey; cohesive, w~PL, very stiff.	1.83	3	SS	75	16												

Borehole open and dry upon completion of drilling

GRAINSIZE DISTRIBUTION [SAMPLE] GRAVEL SAND SILT CLAY

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Input By: SAMANTHS


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Client: Region of Peel
Contractor: Strata Drilling
Project No.: 19125-001
Location: 3190 Mavis Road,
 Mississauga ON

Project Name: Peel Region Building Expansion
Method: Geoprobe
Elevation: 140.8 mASL
Location: See Figure 2

Log of Borehole: BH105-24
Page: 1 of 1
Date Completed: January 29, 2024

SUBSURFACE PROFILE				SAMPLE														
Elevation (m)	Depth	Lithology	Description	Elevation Depth	Number	Type	% Recovery	SPT (N)	Atterberg Limits (%)			Shear Strength Cu, kPa					Well Installation	Log Notes
									LL PL PI			nat V. rem V. σ _h						
									25	50	75	20	40	60	80			
									% Moisture			SPT (N)						
									25	50	75	20	40	60	80			
140.8	0		ASPHALT: ~50 mm thick	140.72													Borehole open and dry upon completion of drilling	
			FILL: (SP/GP) SAND and GRAVEL; brown (Base/Subbase); non-cohesive, moist, compact	0.08	1	SS	50	19										
140.3	0.5																	
			FILL: (SM) SILTY SAND, trace gravel; brown; non-cohesive, wet, loose	0.71														
139.8	1				2	SS	40	6										
			FILL: (CL) Sandy SILTY CLAY, trace gravel, trace organic matter; black to brown; cohesive, w~PL, very stiff.	1.22														
139.3	1.5																	
					3	SS	60	20										
138.8	2																	
			Borehole terminated @ 2.1 mbgs due to target depth achieved.	2.13														
138.3	2.5																	
137.8	3																	
137.3	3.5																	
136.8	4																	
GRAINSIZE DISTRIBUTION																		
SAMPLE GRAVEL SAND SILT CLAY																		

Borehole open and dry upon completion of drilling

Logged By: SAMANTHS

Input By: SAMANTHS

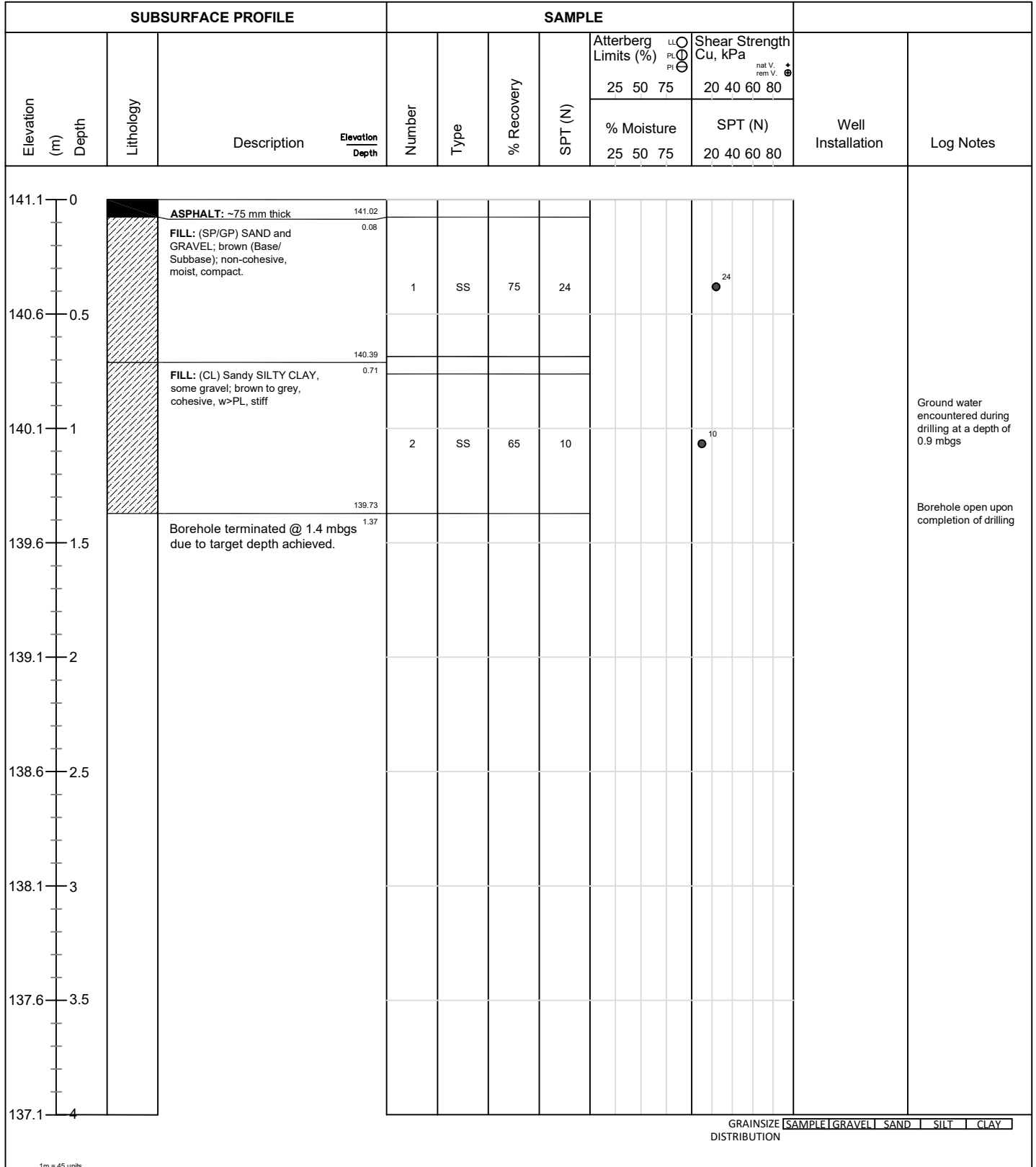
Peterborough, Barrie, Oshawa, Kingston, Ottawa



Client: Region of Peel
Contractor: Strata Drilling
Project No.: 19125-001
Location: 3190 Mavis Road,
 Mississauga ON

Project Name: Peel Region Building Expansion
Method: Geoprobe
Elevation: 141.1 mASL
Location: See Figure 2

Log of Borehole: BH106-24
Page: 1 of 1
Date Completed: January 29, 2024



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Input By: SAMANTHS



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Client: Region of Peel
Contractor: Strata Drilling
Project No.: 19125-001
Location: 3190 Mavis Road,
Mississauga ON L5C
1T9

Project Name: Peel Region Building Expansion
Method: Geoprobe
Elevation: 141.1 mASL
Location: See Figure 2

Log of Borehole: BH107-24
Page: 1 of 1
Date Completed: January 29, 2024

SUBSURFACE PROFILE				SAMPLE												
Elevation (m) Depth	Lithology	Description	Elevation Depth	Number	Type	% Recovery	SPT (N)	Atterberg Limits (%)			Shear Strength Cu, kPa			Well Installation	Log Notes	
								LL	PL	PI	nat V.	rem V.	σ _v			
								25	50	75	20	40	60			80
								% Moisture			SPT (N)					
								25	50	75	20	40	60	80		
141.1 0		ASPHALT: ~75 mm thick 141.02														
		FILL: (SP/GP) SAND and GRAVEL; brown (Base/Subbase); non-cohesive, moist, compact 0.08														
140.6 0.5		FILL: (CL) SILTY CLAY, trace gravel, trace organic matter; grey; cohesive, w~PL, very stiff. 0.46														
140.1 1																
139.6 1.5																
		Borehole terminated @ 1.4 mbgs due to target depth achieved. 1.37														
139.1 2																
138.6 2.5																
138.1 3																
137.6 3.5																
137.1 4																

GRAINSIZE DISTRIBUTION

SAMPLEGRAVELSANDSILTCLAY

1m = 45 units

Borehole open and dry upon completion of drilling

Logged By: SAMANTHS

Input By: SAMANTHS

Peterborough, Barrie, Oshawa, Kingston, Ottawa



Client: Region of Peel
Contractor: Strata Drilling
Project No.: 19125-001
Location: 3190 Mavis Road,
 Mississauga ON

Project Name: Peel Region Building Expansion
Method: Geoprobe
Elevation: 141.3 mASL
Location: See Figure 2

Log of Borehole: BH108-24
Page: 1 of 1
Date Completed: January 29, 2024

SUBSURFACE PROFILE				SAMPLE												
Elevation (m) Depth	Lithology	Description	Elevation Depth	Number	Type	% Recovery	SPT (N)	Atterberg Limits (%)			Shear Strength Cu, kPa			Well Installation	Log Notes	
								LL PL PI			nat V. rem V. ⊕					
								25	50	75	20	40	60			80
								% Moisture			SPT (N)					
								25	50	75	20	40	60	80		
141.3	0	<div><div></div><div>ASPHALT: ~75 mm thick</div><div>141.22</div></div> <div><div></div><div>FILL: (SP/GP) SAND and GRAVEL; brown (Base/Subbase); non-cohesive, moist, compact</div><div>0.08</div></div>														
				1	SS	70	20									
140.8	0.5															
		<div><div></div><div>FILL: (CL) SILTY CLAY, trace gravel; grey; cohesive, w~PL, stiff.</div><div>140.59</div></div> <div><div></div><div></div><div>0.71</div></div>														
140.3	1			2	SS	80	9									
139.8	1.5	<div><div></div><div>Borehole terminated @ 1.4 mbgs due to target depth achieved.</div><div>139.93</div></div> <div><div></div><div></div><div>1.37</div></div>														
139.3	2															
138.8	2.5															
138.3	3															
137.8	3.5															
137.3	4															
GRAINSIZE DISTRIBUTION																
SAMPLE GRAVEL SAND SILT CLAY																

1m = 45 units

Borehole open and dry upon completion of drilling

Borehole open and dry upon completion of drilling

Logged By: SAMANTHS

Input By: SAMANTHS

Peterborough, Barrie, Oshawa, Kingston, Ottawa



April 4, 2024

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Attachment 2

Geotechnical Laboratory Results



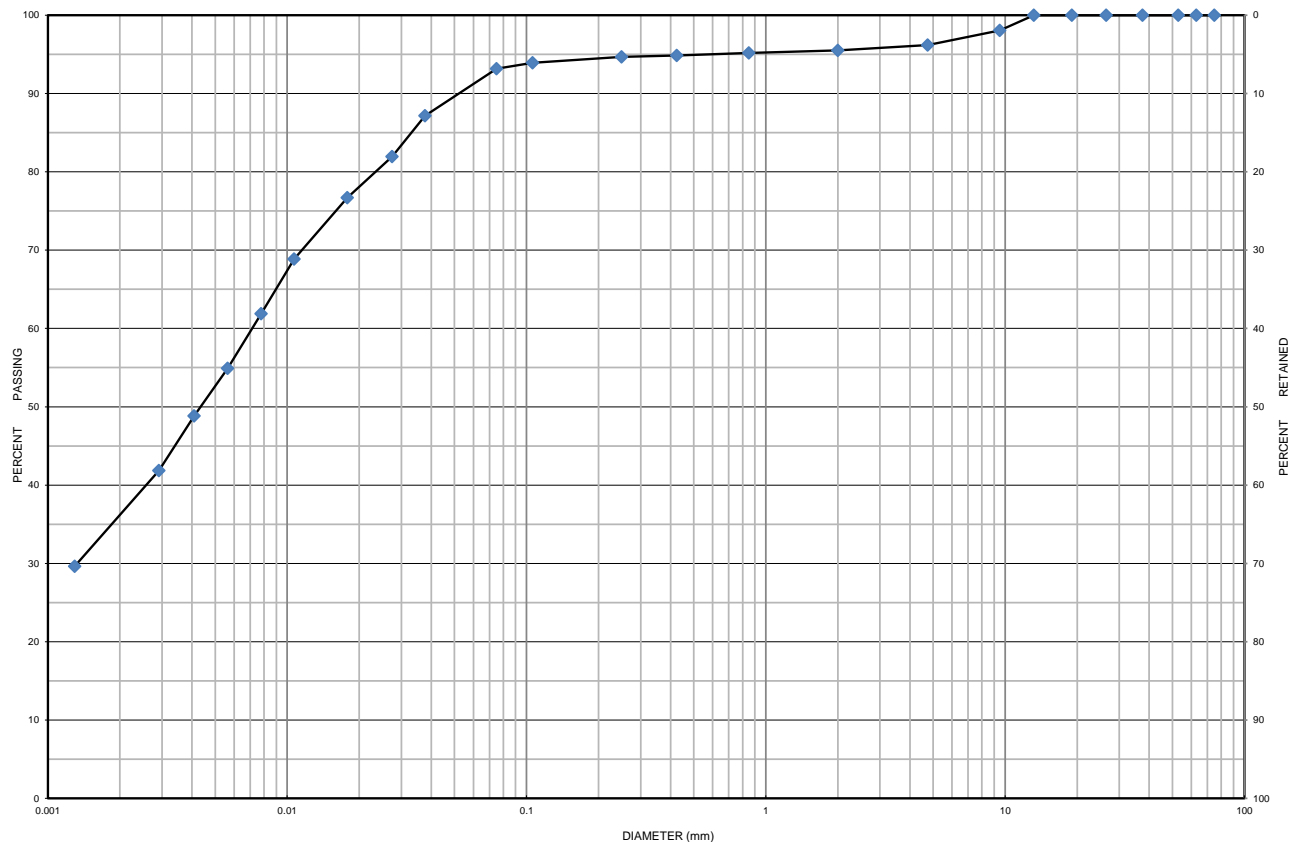


Grain Size Distribution Chart

Project Number: 19125-001 **Client:** Region of Peel
Project Name: Peel Region Building Expansion
Sample Date: January 29, 2024 **Sampled By:** Samantha Surapaneni - Cambium Inc.
Location: BH 101-24 SS 3 **Depth:** 1.5 m to 2.1 m **Lab Sample No:** S-24-0258

UNIFIED SOIL CLASSIFICATION SYSTEM

CLAY & SILT (<0.075 mm)	SAND (<4.75 mm to 0.075 mm)			GRAVEL (>4.75 mm)	
	FINE	MEDIUM	COARSE	FINE	COARSE



MIT SOIL CLASSIFICATION SYSTEM

CLAY	SILT	FINE	MEDIUM	COARSE	FINE	MEDIUM	COARSE	BOULDER
		SAND			GRAVEL			

Borehole No.	Sample No.	Depth	Gravel	Sand	Silt	Clay	Moisture
BH 101-24	SS 3	1.5 m to 2.1 m	4	3	56	37	15.5
Description		Classification	D ₆₀	D ₃₀	D ₁₀	C _u	C _c
SILTY CLAY TO CLAYEY SILT		ML	0.0071	0.0014	-	-	-

Additional information available upon request

Issued By: 
 (Senior Project Manager)

Date Issued: February 14, 2024

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 866.217.7900 | cambium-inc.com
 194 Sophia St. | Peterborough | ON | K9H 1E5

Form: L6V.2 - Grad.Hydo

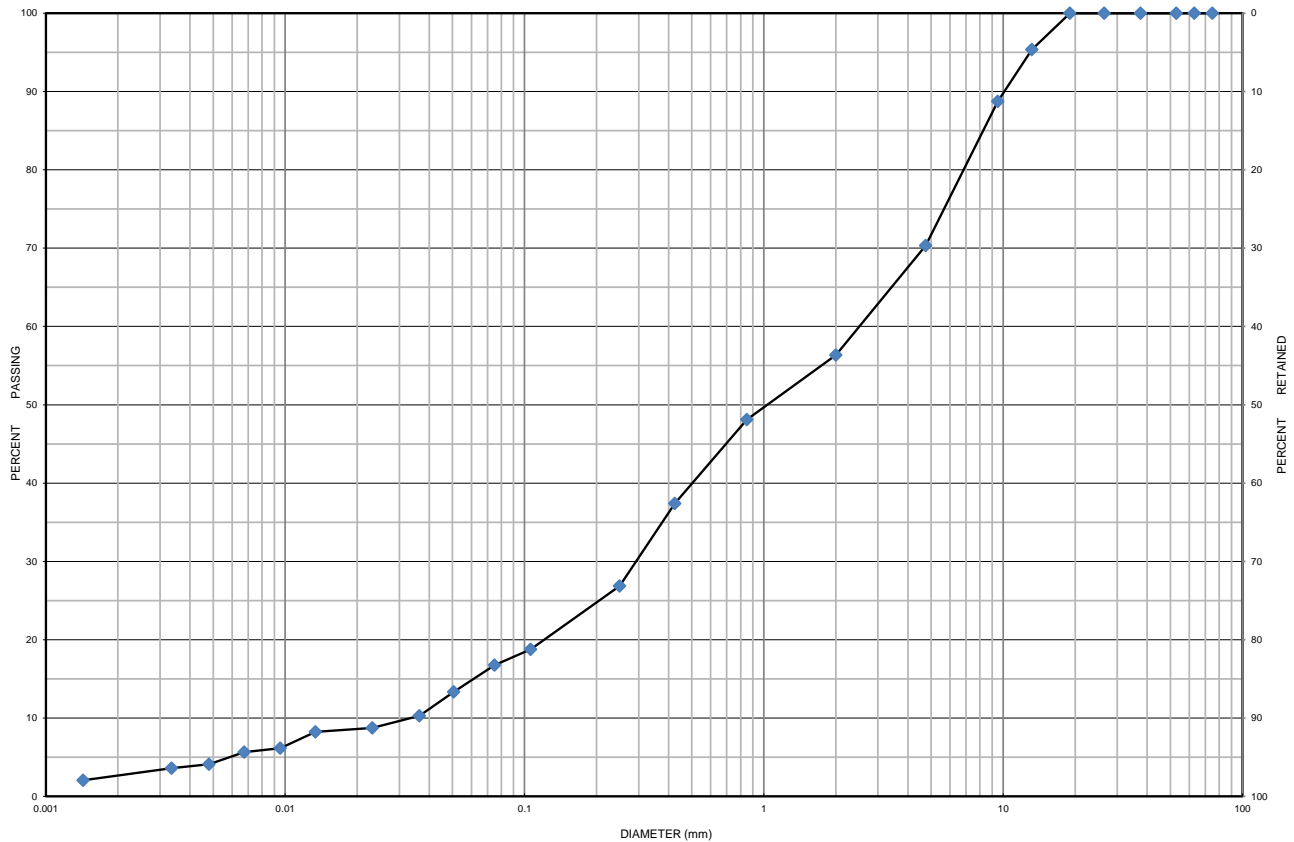


Grain Size Distribution Chart

Project Number: 19125-001 **Client:** Region of Peel
Project Name: Peel Region Building Expansion
Sample Date: January 29, 2024 **Sampled By:** Samanth Surapaneni - Cambium Inc.
Location: BH 102-24 SS 1 **Depth:** 0.1 m to 0.7 m **Lab Sample No:** S-24-0259

UNIFIED SOIL CLASSIFICATION SYSTEM

CLAY & SILT (<0.075 mm)	SAND (<4.75 mm to 0.075 mm)			GRAVEL (>4.75 mm)	
	FINE	MEDIUM	COARSE	FINE	COARSE



MIT SOIL CLASSIFICATION SYSTEM

CLAY	SILT	FINE	MEDIUM	COARSE	FINE	MEDIUM	COARSE	BOULDERS
		SAND			GRAVEL			

Borehole No.	Sample No.	Depth	Gravel	Sand	Silt	Clay	Moisture
BH 102-24	SS 1	0.1 m to 0.7 m	30	54	13	3	5.1
Description		Classification	D ₆₀	D ₃₀	D ₁₀	C _u	C _c
Gravelly SILTY SAND		SM	2.550	0.295	0.033	77.27	1.03

Additional information available upon request

Issued By: 
 (Senior Project Manager)

Date Issued: February 14, 2024

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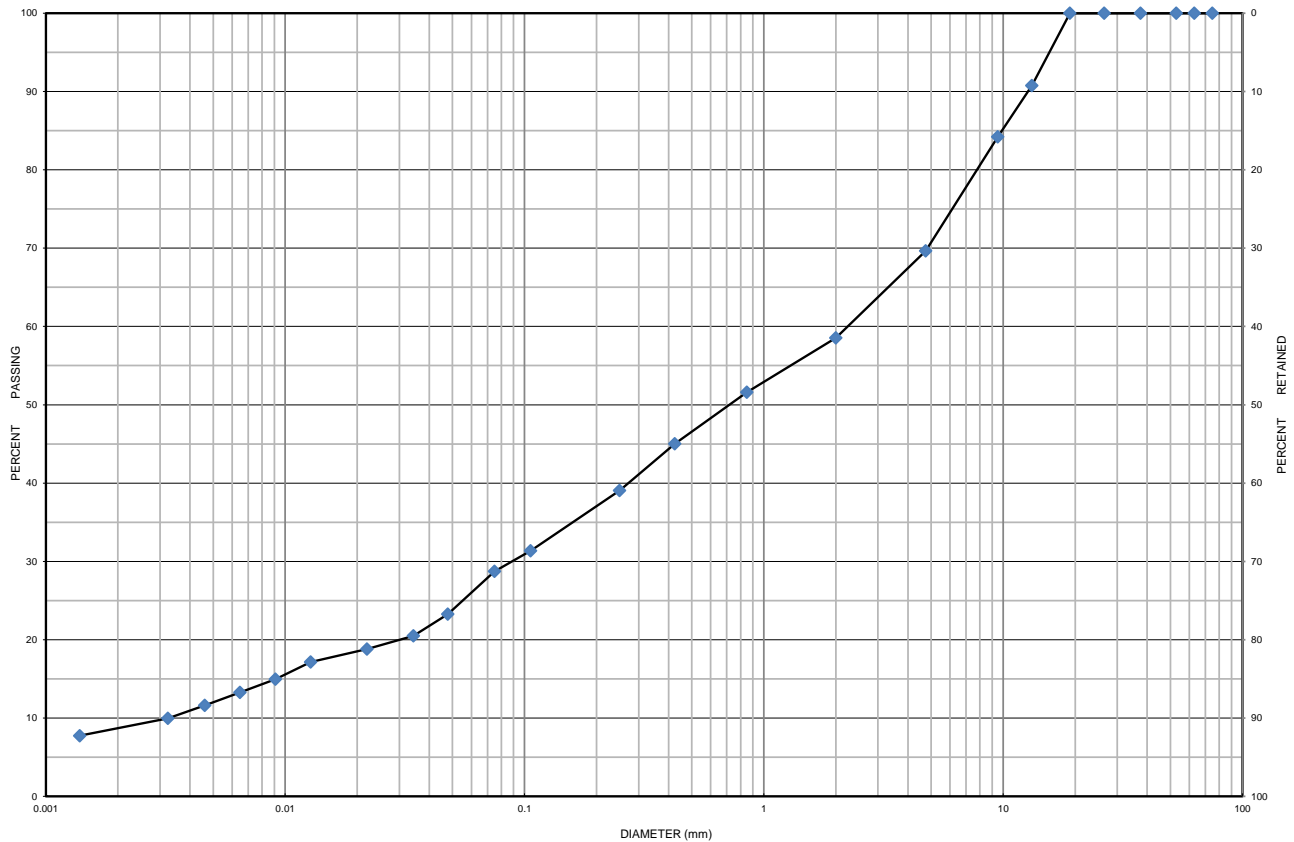


Grain Size Distribution Chart

Project Number: 19125-001 **Client:** Region of Peel
Project Name: Peel Region Building Expansion
Sample Date: January 29, 2024 **Sampled By:** Samanth Surapaneni - Cambium Inc.
Location: BH 104-24 SS 2 **Depth:** 0.8 m to 1.2 m **Lab Sample No:** S-24-0260

UNIFIED SOIL CLASSIFICATION SYSTEM

CLAY & SILT (<0.075 mm)	SAND (<4.75 mm to 0.075 mm)			GRAVEL (>4.75 mm)	
	FINE	MEDIUM	COARSE	FINE	COARSE



MIT SOIL CLASSIFICATION SYSTEM

MIT SOIL CLASSIFICATION SYSTEM								
CLAY	SILT	FINE	MEDIUM	COARSE	FINE	MEDIUM	COARSE	BOULDERS
		SAND			GRAVEL			

Borehole No.	Sample No.	Depth	Gravel	Sand	Silt	Clay	Moisture
BH 104-24	SS 2	0.8 m to 1.2 m	30	41	21	8	9.7
Description		Classification	D ₆₀	D ₃₀	D ₁₀	C _u	C _c
Gravelly SILTY SAND		SM	2.300	0.089	0.003	766.67	1.15

Additional information available upon request

Issued By: 
 (Senior Project Manager)

Date Issued: February 14, 2024

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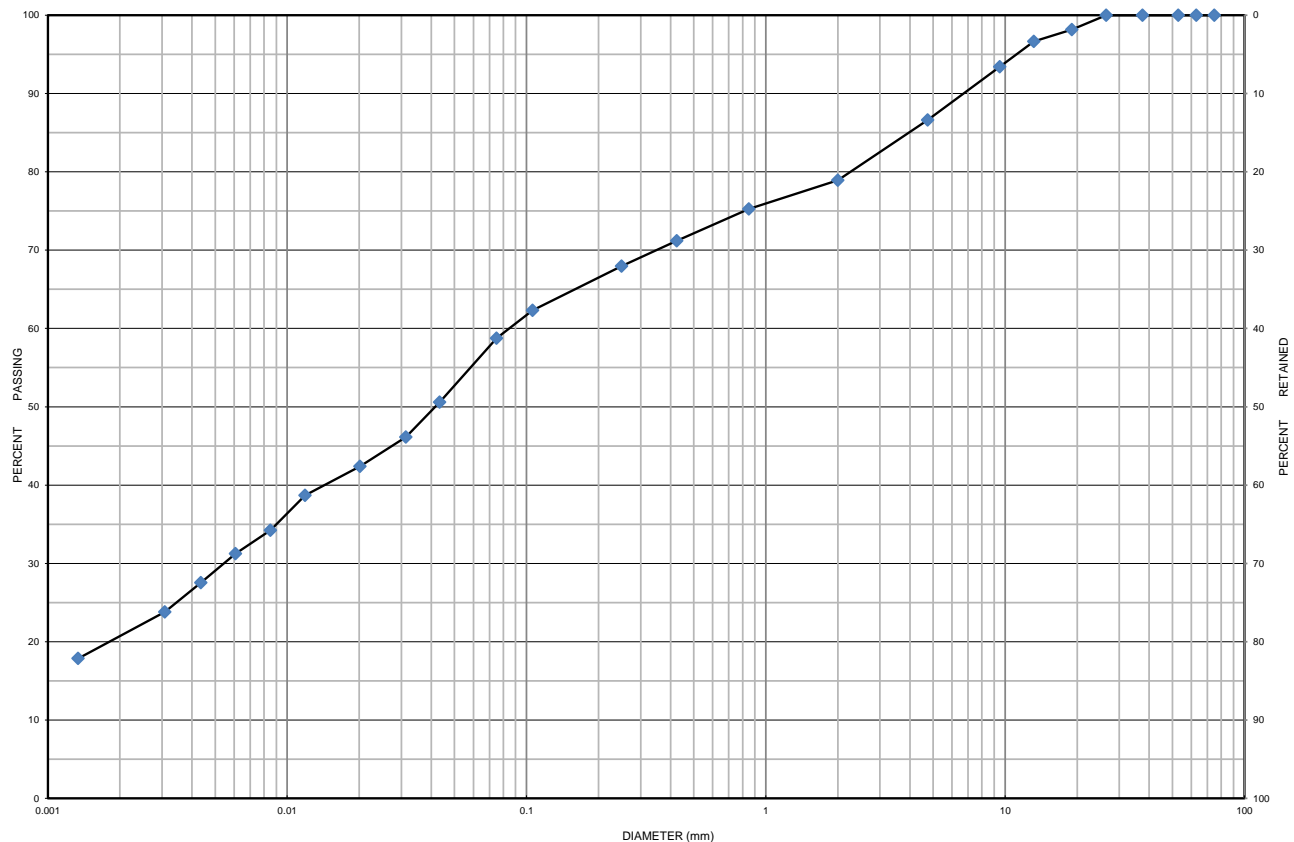


Grain Size Distribution Chart

Project Number: 19125-001 **Client:** Region of Peel
Project Name: Peel Region Building Expansion
Sample Date: January 29, 2024 **Sampled By:** Samanth Surapaneni - Cambium Inc.
Location: BH 106-24 SS 2 **Depth:** 0.8 m to 1.4 m **Lab Sample No:** S-24-0261

UNIFIED SOIL CLASSIFICATION SYSTEM

CLAY & SILT (<0.075 mm)	SAND (<4.75 mm to 0.075 mm)			GRAVEL (>4.75 mm)	
	FINE	MEDIUM	COARSE	FINE	COARSE



MIT SOIL CLASSIFICATION SYSTEM

CLAY	SILT	FINE	MEDIUM	COARSE	FINE	MEDIUM	COARSE	BOULDER
		SAND			GRAVEL			

Borehole No.	Sample No.	Depth	Gravel	Sand	Silt	Clay	Moisture
BH 106-24	SS 2	0.8 m to 1.4 m	13	28	38	21	15.3
Description		Classification	D ₆₀	D ₃₀	D ₁₀	C _u	C _c
Sandy SILTY CLAY		ML	0.0830	0.0055	-	-	-

Additional information available upon request

Issued By: 
 (Senior Project Manager)

Date Issued: February 14, 2024

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Moisture Content

Project Number: 19125-001
Project Name: Peel Region Building Expansion
Client: Region of Peel
Date Taken: 2024-01-29

Lab Number: S-24-0257
Date Tested: 2024-02-09
Tested By: K. Dickson

Borehole Number	Sample Number	Sample Depth (m)	Water Weight (g)	Water Content (%)	Additional Observations
101	1	0.08-0.69	6.2	4.8	NR
101	3	1.52-2.13	48.0	15.4	NR
101	4	2.29-2.90	20.5	9.4	
102	1	0.08-0.69	36.4	5.1	
102	2	0.76-1.37	19.6	9.9	
103	1	0.00-0.61	14.2	5.2	
103	2	0.76-1.37	20.9	9.9	
104	1	0.08-0.61	7.8	6.1	NR
104	2	0.76-1.37	58.4	9.7	NR
104	3	1.52-2.13	31.2	17.4	
105	1	0.00-0.61	20.8	8.4	
105	3	1.52-2.13	37.9	15.4	
106	1	0.08-0.69	14.8	5.6	
106	2	0.76-1.37	76.8	15.3	
107	1	0.08-0.69	15.1	5.2	
107	2	0.76-1.40	24.6	12.3	
108	1	0.08-0.69	10.1	5.5	NR
108	2	0.76-1.37	39.6	17.2	

- | | |
|------------------------------------|--|
| 1 – Contains organics | 6 – Very moist – near optimum moisture content |
| 2 – Contains rubble | 7 – Moist – below optimum moisture |
| 3 – Hydrocarbon Odour | 8 – Dry – dry texture – powdery |
| 4 – Unknown Chemical Odour | 9 – Very small – caution may not be representative |
| 5 – Saturated – free water visible | 10 – Hold sample for gradation analysis |



April 4, 2024

Environmental

Geotechnical

Building Sciences

Construction Testing
& Inspections

Telephone

(866) 217.7900

(705) 742.7900

Website

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Canada, K9J 6Z3

Locations

Peterborough
Kingston
Barrie
Ottawa
Whitby

Laboratory

Peterborough



Attachment 3

Photos of Pavement Condition



3190 Mavis Road, Mississauga
Cambium Reference: 19125-001
February 2024



Photograph 1 Site Looking West (UST in foreground)



Photograph 2 Northeast Corner of UST (looking east)



3190 Mavis Road, Mississauga
Cambium Reference: 19125-001
February 2024



Photograph 3 Southern Area of the Site Looking West (cracks focused on sewers)



Photograph 4 Area Southwest of UST



3190 Mavis Road, Mississauga
Cambium Reference: 19125-001
February 2024



Photograph 5 Central Area of Site Looking West



Photograph 6 North Area of Site Looking Northeast (cracks along storm sewer)



3190 Mavis Road, Mississauga
Cambium Reference: 19125-001
February 2024



Photograph 7 Site Looking East (longitudinal cracks)



April 4, 2024

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Attachment 4

Existing Drawings



GENERAL NOTES:

1. ALL SURFACE DRAINAGE WILL BE SELF-CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
2. THE CITY OF MISSISSAUGA REQUIRES THAT ALL WORKING DRAWINGS BE SUBMITTED TO THE BUILDING DIVISION AS A PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT. SHALL BE CERTIFIED BY THE ARCHITECT OR ENGINEER AS BEING IN CONFORMITY WITH THE SITE DEVELOPMENT.
3. ALL EXTERIOR LIGHTING WILL BE DIRECTED ONTO THE SITE AND WILL NOT INFRINGE UPON THE ADJACENT PROPERTIES.
4. ALL ROOF TOP MECHANICAL UNITS SHALL BE SCREENED FROM VIEW BY THE APPLICANT.
5. ON SITE WASTE COLLECTION IS TO BE ARRANGED THROUGH A PRIVATE CONTRACTOR.
6. FIRE AND EMERGENCY SERVICES ACCESS ROUTES SHALL BE DESIGNATED AS PER BY-LAW 1036-81, AS AMENDED, PRIOR TO OCCUPANCY OF THE BUILDING. ALL FIRE AND EMERGENCY SERVICES ACCESS ROUTES SHALL BE CONSTRUCTED OF HARD SURFACE MATERIAL SUCH AS ASPHALT, CONCRETE OR LOCKSTONE AND DESIGNED TO SUPPORT A LOAD NOT LESS THAN 11,363kg PER AXLE AND HAVE A CHANGE IN GRADIENT OF NOT MORE THAN 1 IN 12.5 OVER MINIMUM DISTANCE OF 15m.
7. PARKING SPACES RESERVED FOR PEOPLE WITH DISABILITIES MUST BE IDENTIFIED BY A SIGN INSTALLED AT THE APPLICANT'S EXPENSE, IN ACCORDANCE WITH THE DESIGN AND SPECIFICATIONS OF SCHEDULE 2 & 3 OF BY-LAW 001-2009.
8. GRADES WILL BE MET WITHIN A 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.
9. ALL DAMAGE AREAS ARE TO BE REINSTATED WITH TOPSOIL AND SOD PRIOR TO THE RELEASE OF SECURITIES.
10. SIGNAGE SHOWN ON THE SITE DEVELOPMENT PLANS IS FOR INFORMATION PURPOSES ONLY. ALL SIGNS WILL BE SUBJECT TO THE PROVISIONS OF SIGN BY-LAW 0054-2002, AS AMENDED, AND A SEPARATE SIGN APPLICATION WILL BE REQUIRED THROUGH THE BUILDING DIVISION.
11. ALL SIGNAGE IS SUBJECT TO FURTHER REVIEW AND APPROVALS BY THE PLANNING AND BUILDING DEPARTMENT WHICH MAY INCLUDE A STAFF REVIEW THROUGH THE SIGN PERMIT PROCESS.
12. THE APPLICANT WILL BE RESPONSIBLE FOR ENSURING THAT ALL PLANS CONFORM TO TRANSPORT CANADA'S RESTRICTION.
13. ANY FENCING ADJACENT TO MUNICIPAL LANDS IS TO BE LOCATED 15cm(6.0in.) INSIDE THE PROPERTY LINE.
14. THE APPLICANT WILL BE RESPONSIBLE FOR COST OF ANY UTILITY RELOCATIONS NECESSITATED BY THE SITE PLAN.
15. THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.6m IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE, IS TO BE SHOWN ON THE SITE GRADING PLAN FOR THIS PROJECT, AND IS TO BE APPROVED BY A CONSULTING ENGINEER FOR THE PROJECT.
16. THE APPLICANT WILL BE RESPONSIBLE FOR ENSURING THAT TREE PROTECTION HOARDING IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION, IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DEPARTMENT. NO MATERIALS (BUILDING MATERIALS, SOIL, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING, FAILURE TO MAINTAIN THE HOARDING AS ORIGINALLY APPROVED FOR THE STORAGE OF MATERIALS WITHIN THE HOARDING WILL BE THE CAUSE OF THE TREE PRESERVATION 'LETTER OF CREDIT' TO BE HELD FOR TWO(2) YEARS FOLLOWING COMPLETION OF ALL SITE WORKS.
17. PLEASE BE ADVISED THAT THE DETAILED GRADING FOR THIS APPLICATION WILL BE FINALIZED AND APPROVED BY THE DEVELOPMENT SECTION OF THE TRANSPORTATION AND WORKS DEPARTMENT AS A REQUIREMENT FOR THE ISSUANCE OF BUILDING PERMIT. RELOCATIONS NECESSITATED BY THE SITE PLAN AS SHOWN ON SITE DEMOLITION PLAN-SP1.
18. SITE GRADING PLAN, SITE SERVING PLAN AND SITE DEMOLITION PLAN ARE TO BE ASSOCIATED WITH THE SITE PLAN.
19. PRIOR TO ANY CONSTRUCTION TAKING PLACE, STRUCTURALLY CERTIFIED OVERHEAD HOARDING WITHIN THE RIGHT-OF-WAY AS SHOWN ON THE SITE PLAN (AS APPLICABLE), HOARDING ADJACENT TO EXISTING PROPERTIES TO PROTECT FROM CONSTRUCTION ACTIVITY, AND ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTIONS PROJECTS MUST BE ERRECTED AND MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.
20. IF THE FINAL COURSE OF ASPHALT PAVING IS DELAYED, INSTALL A TEMPORARY LIFT OF ASPHALT AT RAMPS OR CURB CUTS TO BARRIER-FREE ACCESS.
21. THE CITY OF MISSISSAUGA REQUIRES THAT ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT SHALL BE CERTIFIED BY THE ARCHITECT OR ENGINEER AS BEING IN CONFORMITY WITH THE SITE DEVELOPMENT PLAN AS APPROVED BY THE CITY OF MISSISSAUGA.
22. I HEREBY CERTIFY THAT THIS DRAWING CONFORMS IN ALL RESPECTS TO THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA UNDER FILE NUMBER SP 15/026 W6.

JOEL RIEDER, OAA, M.R.AIC
REINDERS + RIEDER LTD
57 MILL ST. NORTH
BRAMPTON, ON L6X1S9

LEGEND

- | | | | |
|--|--|--|------------------------|
| | PROPOSED CONCRETE PAD OR CONCRETE SIDEWALK | | EXTERIOR DOOR LOCATION |
| | PROPOSED BUILDING FOOTPRINT | | DRIVE-IN DOOR |
| | PROPOSED PEROUS STABLE SURFACING (REFER 4/L201 DRAWING FOR DETAIL) | | DENOTES HANDICAP SIGN |
| | DENOTES PROPOSED CURB CUT OR DEPRESSED CURB | | EX. MONUMENT FOUND |
| | ROOF DRAIN | | EX. STANDARD IRON BAR |
| | PROPOSED STORM MANHOLE | | EX. IRON BAR |
| | PROPOSED CATCHBASIN | | EX. CATCH BASIN |
| | PROPOSED CATCHBASIN MANHOLE | | EX. MAINTENANCE HOLE |
| | PROPOSED INTERCEPTOR | | BOLLARD |
| | PROPERTY LINE | | BOREHOLE LOCATION |
| | | | ROOF TOP UNITS |

SITE STATISTICS

SITE AREA	=	1.163 ha.	11,630.75 m2
PARKING REQUIRED - (MIXED USE BUILDING-NON RESIDENTIAL)			
3.2 SPACES/100m2 OF OFFICE AREA (90 m ²) = 3 SP			
1.1 SPACES/100m2 BALANCE OF THE GFA AREA (3253 m2) = 36 SP			
1.0 SPACE PER EMERGENCY STAFF ON DUTY = 2 SP			
4% OF 41 SPACES (FOR ACCESSIBLE PARKING) = 2 SP			
TOTAL = 3 + 36+2+2 = 41 SPACES			
MAIN LEVEL	=	2797 m2	
MEZZANINE	=	335.00 m2	
TOTAL GFA	=	3132.00 m2	
BUILDING AREA	=	2795.77 m2	24.04 %
ASPHALT AREA	=	7,928.09 m2	68.16 %
CONCRETE AREA	=	543.79 m2	4.68 %
LANDSCAPE AREA	=	363.10 m2	3.12 %
TOTAL AREA	=	11630.75 m2	100.00 %
ZONING REGULATIONS			
MINIMUM LANDSCAPE BUFFER	REQUIRED	PROPOSED	
TO STREET LINE	4.5m	4.5m	
STANDARD PARKING SPACES	41 SP(INC. 2 FOR DISABLED)	74 SP	
SETBACKS			
NORTHERLY SIDE YARD TO THE BUILDING	6.12m MIN.	7.69m	
NORTHERLY SIDE YARD TO THE CANOPY	6.12m MIN.	6.50m	
REAR YARD TO THE CANOPY	7.50m MIN.	9.35m	
CENTRE LINE TO BUILDING	25.3m MIN.	41.27m	
BICYCLE PARKING	SP	SP	
EXISTING ZONING:EMPLOYMENT (E2-16)			

PLAN OF TOPOGRAPHY OF PART OF LOT 21, CONCESSION 1 NORTH OF DUNDAS STREET (ORIGINALLY IN TOWNSHIP OF TORONTO) CITY OF MISSISSAUGA REGIONAL MUNICIPALITY OF PEEL.

EXISTING LEGAL BOUNDARIES AND TOPOGRAPHIC INFORMATION ARE BASED ON SURVEY PROVIDED BY TARASICK McMILLAN KUBICKI LIMITED, MISSISSAUGA, ONTARIO, (905) 569-8849. DATED OCT. 12, 2011. FILE NO. 5891-1.

ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC 1928, AND WERE DERIVED FROM CITY OF MISSISSAUGA BENCHMARK NO. 369, HAVING A PUBLISHED ELEVATION OF 142.841 METRES

OWNERS

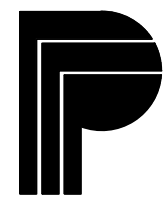
REGIONAL MUNICIPALITY OF PEEL
10 PEEL CENTRE DR.
SUITE B, 6TH FLOOR
BRAMPTON, ONTARIO

CONTACT: ASHWANI SINHA
P (905) 791-7800 Ext.7690
F (905) 791-0019

APPLICANT

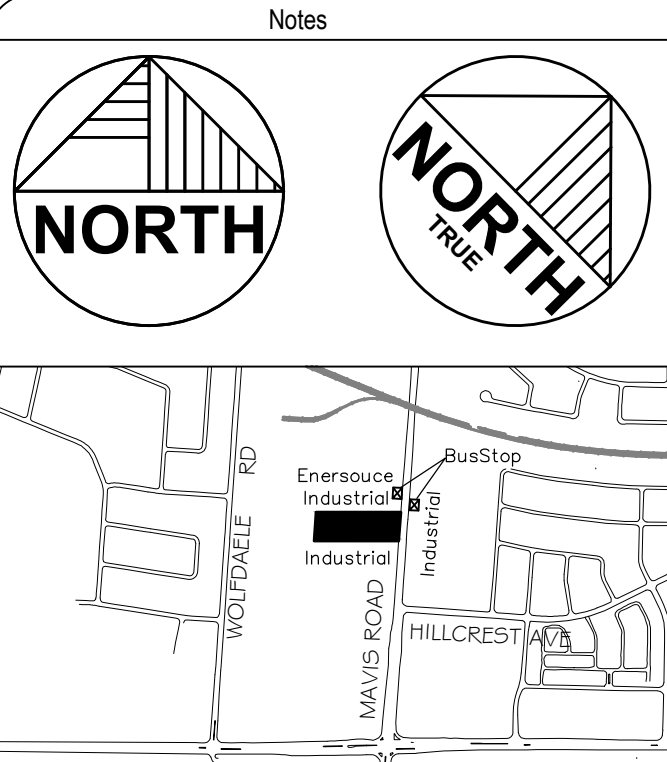
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P (905) 791-7800 Ext.7690
F (905) 791-0019



Region of Peel

Working for You



No.	Revision / Issue	Date
23	AS BUILT	2019/01/18
22	ISSUED FOR CCO#107	2018/04/17
21	ISSUED FOR CCO#90	2018/01/22
20	ISSUED FOR CONSTRUCTION	2016/09/28
19	ISSUED FOR COORDINATION	2016/09/21
18	RE-ISSUED FOR CVCA PERMIT	2016/09/07
17	RE-ISSUED FOR SPA	2016/09/07
16	RE-ISSUED FOR SPA	2016/08/31
15	ISSUED FOR ACCESS MODIFICATION PERMIT	2016/08/29
14	ISSUED FOR ADDENDUM 1	2016/07/20
13	ISSUED FOR TENDER	2016/06/30
12	ISSUED FOR 100% CLIENT REVIEW	2016/06/13
11	RE-ISSUED FOR SPA	2016/03/04
10	ISSUED FOR CVC PERMIT / AS PER CITY COMMENTS	2015/12/03

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EMAIL@REINDERS.CA WWW.REINDERS.CA

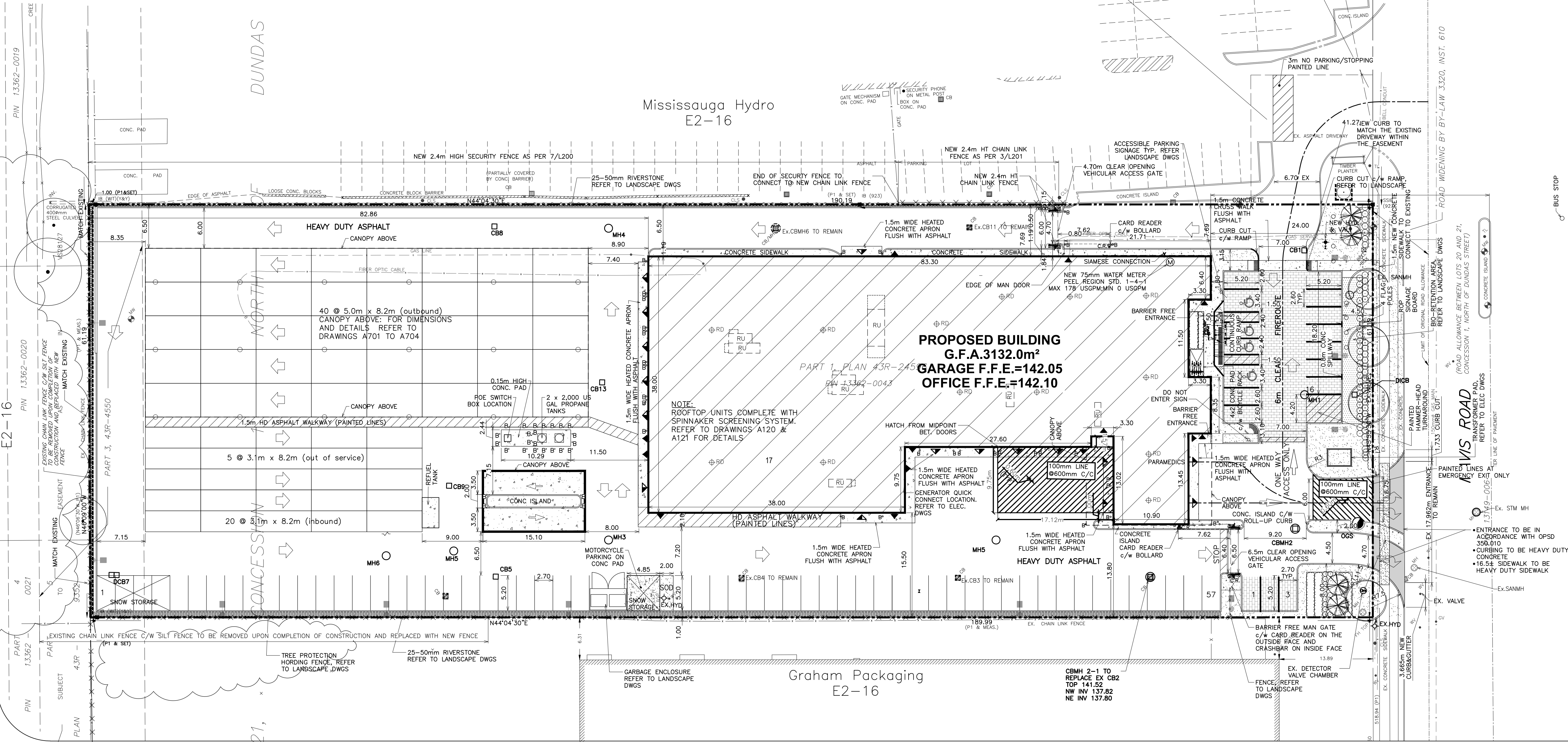
Project Title
REGIONAL MUNICIPALITY OF PEEL
REDEVELOPMENT OF 3190 MAVIS ROAD
3190 Mavis Rd. Mississauga, ON.

Drawing Title
SITE PLAN

SP 15/026 W6

Drawn By:	R.P.R.	Checkd:	R.Z.
Project #	14003	Drawing #	SP1
Date	2014		
Scale	1:300		

Sht. 3 of 231



Graham Packaging
E2-16

- GENERAL NOTES:
- CONTRACTOR TO VERIFY ALL EXISTING SERVICES LOCATIONS PRIOR TO DEMOLITION. ANY DISCREPANCIES OR CONFLICT TO BE REPORTED TO THE CONSULTANT IMMEDIATELY.
 - PLUGGING OF EXISTING SERVICES:
 - CONTRACTOR TO LOCATE AND PLUG EX. SANITARY AND WATER SERVICES AS PER REGION OF PEEL STANDARDS.
 - ALL CURB, CONCRETE RETAINING WALL, GRAVEL, FENCE, BOLLARD, SIGNS, ETC. WITHIN THE PROPERTY TO BE REMOVED.
 - EXISTING PLYBOARD HOARDING FENCE (2.4m HIGH), POST ALONG WITH THE CONCRETE POST BASE AND TWO GATES TO BE REMOVED AND DISPOSED OFF AFTER COMPLETION OF CONSTRUCTION.
 - THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSING, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF HIS WORK. WHETHER SHOWN ON THE PLANS OR NOT, AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.
 - THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO UTILITIES PRIOR TO CROSSING SUCH UTILITIES, FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION.
 - COORDINATE DRAWINGS SP1 & SP4 FOR ANY ADDITIONAL SITE REMOVAL NOTES.
 - REMOVE ALL EXISTING VEGETATION ON SITE COMPLETE WITH ROOTS AND DISPOSE OFF LEGALLY OFFSITE.
 - REMOVE ALL ASPHALT C/W GRANULAR LAYERS TO SUBGRADE AND MAKE SURFACE READY FOR NEW FINISH.
 - ALL EXISTING SILT SACKS TO BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION.
 - ALL EXISTING CATCH BASIN, DRAINS, PIPE FITTINGS UNDER EXISTING SLABS TO BE REMOVED AND DISPOSED OFF LEGALLY.
 - EXISTING HOARDING TO BE MAINTAINED IN GOOD ORDER UNTIL COMPLETION OF CONSTRUCTION.

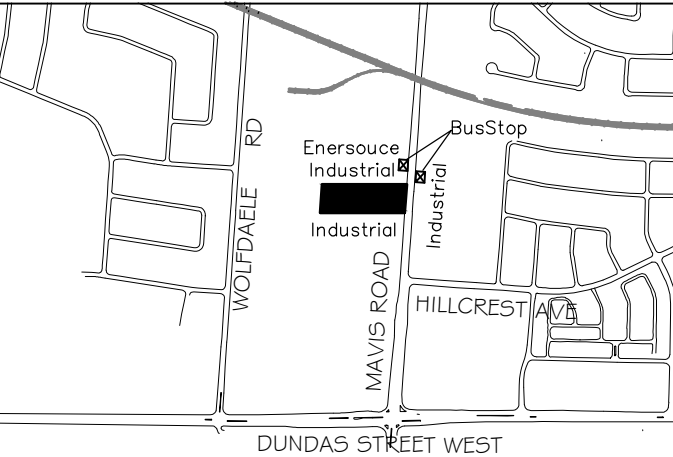
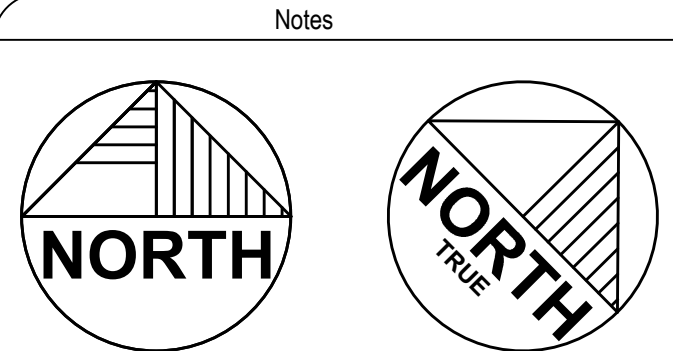
- CONSTRUCTION NOTES:
- ANY INFORMATION SHOWN ON THIS PLAN REGARDING LOCATION AND SIZE OF EXISTING UTILITIES OR SERVICES IS FURNISHED AS THE BEST INFORMATION AVAILABLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING SERVICES AND CONFIRM ALL EXISTING INVERTS, OBVERTS, PAVEMENT ELEVATIONS BEFORE CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER, SO THAT NECESSARY ADJUSTMENTS CAN BE MADE TO RECTIFY THE CONFLICT.
 - ALL THE CONSTRUCTION WORKS FOR THIS PROJECT SHALL COMPLY WITH THE CURRENT STANDARDS, DRAWINGS AND SPECIFICATIONS OF THE CITY OF MISSISSAUGA AND APPLICABLE ONTARIO PROVINCIAL STANDARD AND SPECIFICATIONS.
 - THIS PLAN SHOULD BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT'S PLANS. ANY DISCREPANCIES SHALL BE CLARIFIED WITH THE ENGINEER.

OWNERS
REGIONAL MUNICIPALITY OF PEEL 10 PEEL CENTRE DR. SUITE B, 6th FLOOR BRAMPTON, ONTARIO CONTACT: ASHWANI SINHA P (905) 791-7800 Ext.7690 F (905) 791-0019
APPLICANT
REGIONAL MUNICIPALITY OF PEEL 10 PEEL CENTRE DR. SUITE B, 6th FLOOR BRAMPTON, ONTARIO CONTACT: ASHWANI SINHA P (905) 791-7800 Ext.7690 F (905) 791-0019

PLAN OF TOPOGRAPHY OF PART OF LOT 21, CONCESSION 1 NORTH OF DUNDAS STREET (ORIGINALLY IN TOWNSHIP OF TORONTO) CITY OF MISSISSAUGA REGIONAL MUNICIPALITY OF PEEL

EXISTING LEGAL BOUNDARIES AND TOPOGRAPHIC INFORMATION ARE BASED ON SURVEY PROVIDED BY TARASICK McMILLAN KUBICHI LIMITED, MISSISSAUGA ONTARIO, (905) 569-8849, DATED OCT. 12, 2011. File No. 5891-T.

ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC 1928, AND WERE DERIVED FROM CITY OF MISSISSAUGA BENCHMARK NO. 369, HAVING A PUBLISHED ELEVATION OF 142.841 METRES.



No.	Revision / Issue	Date
14	AS BUILT	2019/01/18
13	REISSUED FOR CONSTRUCTION CCO005	2016/12/22
12	ISSUED FOR CONSTRUCTION	2016/09/28
11	RE-ISSUED FOR SPA	2016/08/31
10	ISSUED FOR ADDENDUM 1	2016/07/20
9	ISSUED FOR 100% CLIENT REVIEW	2016/06/13
8	RE-ISSUED FOR SPA	2016/03/04
7	ISSUED FOR CVC PERMIT / AS PER CITY COMMENTS	2015/07/31
6	ISSUED AS PER CITY COMMENTS	2015/06/02
5	ISSUED FOR PERMIT / 66% CLIENT REVIEW	2015/04/28
4	ISSUED FOR REVIEW	2015/04/15

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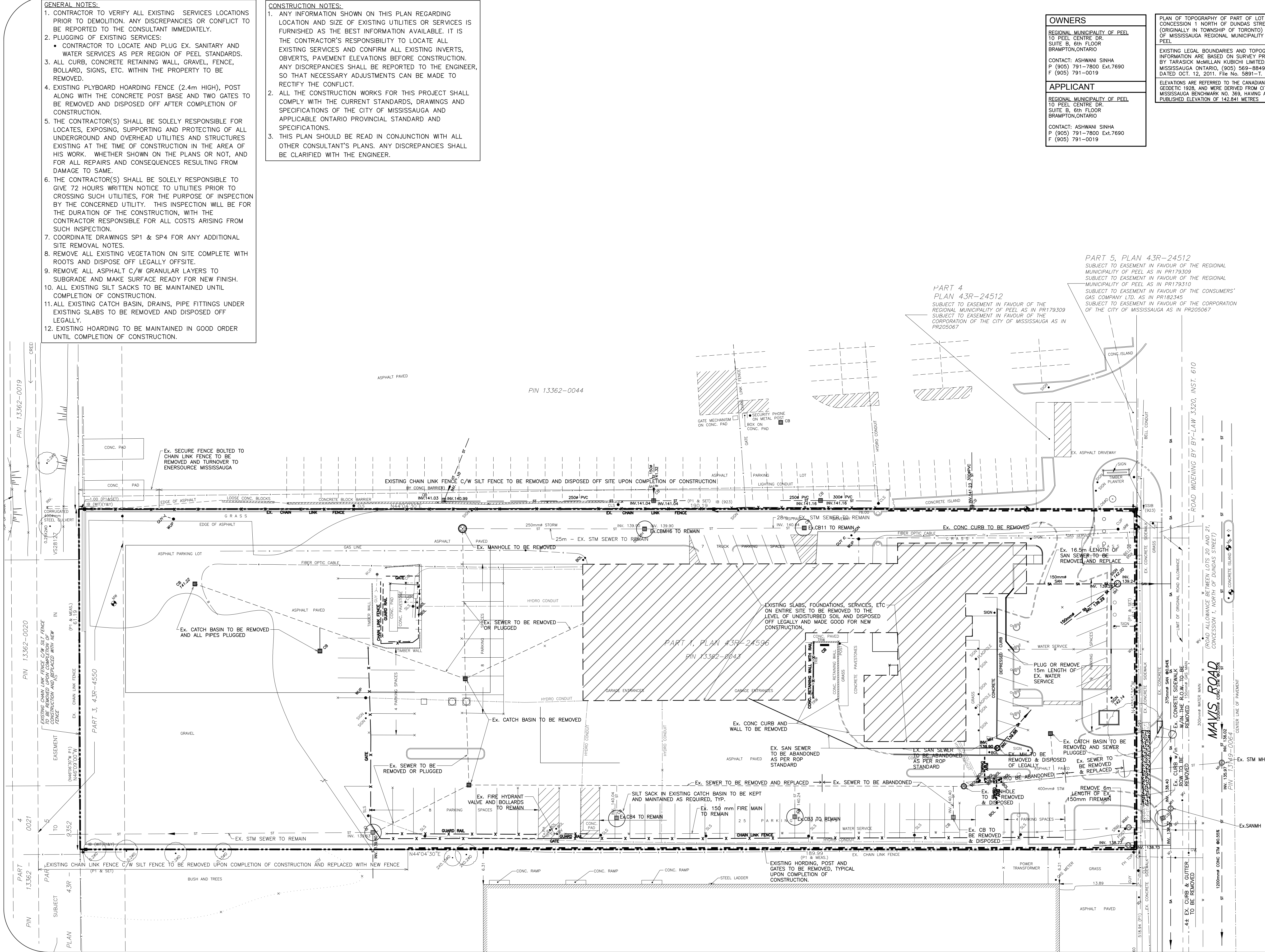
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Project Title
REGIONAL MUNICIPALITY OF PEEL
REDEVELOPMENT OF 3190 MAVIS ROAD
3190 Mavis Rd. Mississauga, ON.

Drawing Title
SITE DEMOLITION PLAN

SP 15/026 W6

Drawn By: R.P.R.	Checkd: R.Z.
Project # 14003	Drawing #
Date 2014	SP2
Scale 1:300	Sht. 4 of 231



NOTES:

1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF CITY OF MISSISSAUGA.
2. THE LOCATION OF ALL UNDER/ABOVE GROUND UTILITIES AND STRUCTURES SHOWN ON THE DRAWINGS IS APPROXIMATE ONLY. THE CONTRACTOR SHALL ENSURE THEIR EXACT LOCATION BY CALLING FOR LOCATES BY THE CONCERNED UTILITY. THE CONTRACTOR SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.
3. ALL ASPHALT REMOVED IS TO BE DISPOSED OFF-SITE.
4. ALL CONCRETE CURB HEIGHTS TO BE 150mm UNLESS NOTED OTHERWISE. ALL CURBING TO BE BARRIER CURB AS PER OSPD 600.110.
5. CONTRACTOR IS TO SAWCUT AND CONSTRUCT LAP JOINTS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT AND IS TO RESTORE PAVEMENT AND GRANULARS AS PER THE RECOMMENDED PAVEMENT STRUCTURE.

GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH THE STANDARD & SPECIFICATIONS OF THE CITY OF MISSISSAUGA, REGION OF PEEL, AND OPSD.
2. GRADING OF THE SITE SHOULD NOT CAUSE FLOODING TO ADJACENT PROPERTIES.
3. MUNICIPAL SIDEWALKS THAT ARE REMOVED SHOULD BE RECONSTRUCTED AS PER OPSD 310.010.
4. ALL DIMENSIONS AND LOCATIONS OF EXISTING UTILITY SHALL BE VERIFIED PRIOR TO THE COMMENCEMENT OF WORK, AND ANY DISCREPANCIES TO BE REFERRED TO THE ENGINEER.
5. ALL CONCRETE CURBS SHALL BE BARRIER TYPE WITH A MINIMUM HEIGHT OF 150MM.
6. ALL MANHOLES AND CATCHBASINS SHALL BE BACKFILLED WITH GRANULAR "B", MINIMUM THICKNESS OF 300MM TO 95% STANDARD PROCTOR DENSITY.
7. THE SITE SERVICING AND GRADING PLAN SHALL BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SITE PLAN.
9. ALL FILL WITHIN THE SITE SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARDS PROCTOR DENSITY.
10. SLAB ON GRADE (TYP. U.N.O.) - 125mm THICK 25MPa CONCRETE SLAB REINFORCED WITH 1 LAYER OF 152x152 MM@8.7MM/8.7 AT MID-DEPTH EACH WAY, A LAYER OF 19mm CLEAR CRUSHED STONES, AT LEAST 200mm THICK AND COMPACTED BY VIBRATION TO 98 % OF ITS STANDARD PROCTOR MAXIMUM DRY DENSITY, SHOULD BE PLACED UNDER THE FLOOR SLAB. REFER TO GEOTECHNICAL INVESTIGATION FOR SUB-BASE RECOMMENDATIONS. CONCRETE APRON AND SIDEWALK ADJACENT TO BUILDING SHALL BE DOWELED TO THE FOUNDATION TO PREVENT UPLIFT OR SETTLEMENT. ADD 15M@600MM DOWELS X 600MM LONG AND DRILL INTO EXISTING SLAB.

NOTES:

1. THE GEOTECHNICAL AND ENVIRONMENTAL SUITABILITY OF THE FILL WILL BE ASSESSED BY THE GEOTECHNICAL ENGINEER.
2. THIS DRAWING IS FULLY COORDINATED WITH TREE INVENTORY AND PRESERVATION PLAN.

NOTES:

- THE PORTION OF THE DRIVEWAY WITHIN MUNICIPAL BOULEVARD WILL BE PAVED BY THE APPLICANT.
- ALL PROPOSED CURBING WITHIN THE MUNICIPAL BOULEVARD AREA FOR THE SITE IS TO BE IN ACCORDANCE WITH OPSD 350.010.
- ALL EXCESS EXCAVATED MATERIAL WILL BE REMOVED FROM SITE.
- ANY WORK ON ADJACENT PROPERTIES MUST HAVE THE WRITTEN AUTHORIZATION OF THE ADJUTING PROPERTY OWNER.

LEGEND

←	FLOW DIRECTION TO CATCH BASIN
+ 151.95	PROPOSED ELEVATION
+ 151.95	TOP OF WALL ELEVATION
x 242.00	Ex. ELEVATION
CB	Ex. CATCH BASIN
CBMH	Ex. CATCH BASIN MANHOLE
○	PROPOSED OIL GRIT SEPARATOR
○	PROPOSED STORM MANHOLE
□	PROPOSED CATCHBASIN
○	PROPOSED CATCHBASIN MANHOLE
□	PROPOSED CONCRETE PAD OR CONCRETE SIDEWALK
▨	EXISTING ASPHALT TO BE REMOVED AND REPLACE BY HEAVY DUTY ASPHALT
▨	PROPOSED BUILDING FOOTPRINT
▨	PROPOSED PERVIOUS STABLE SURFACING (REFER 4/L201 DRAWING FOR DETAIL)
▨	DENOTES PROPOSED CURB CUT OR DEPRESSED CURB
C/C OR D/C	

OWNERS

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10 PEEL CENTRE DR.
SUITE B, 6th FLOOR
BRAMPTON, ONTARIO

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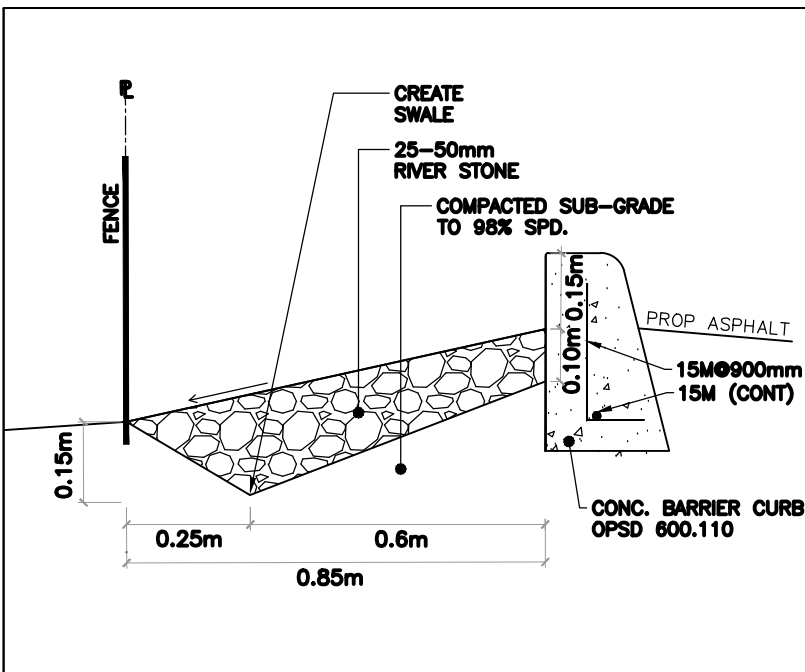
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PAVEMENT STRUCTURE THICKNESS-FLEXIBLE

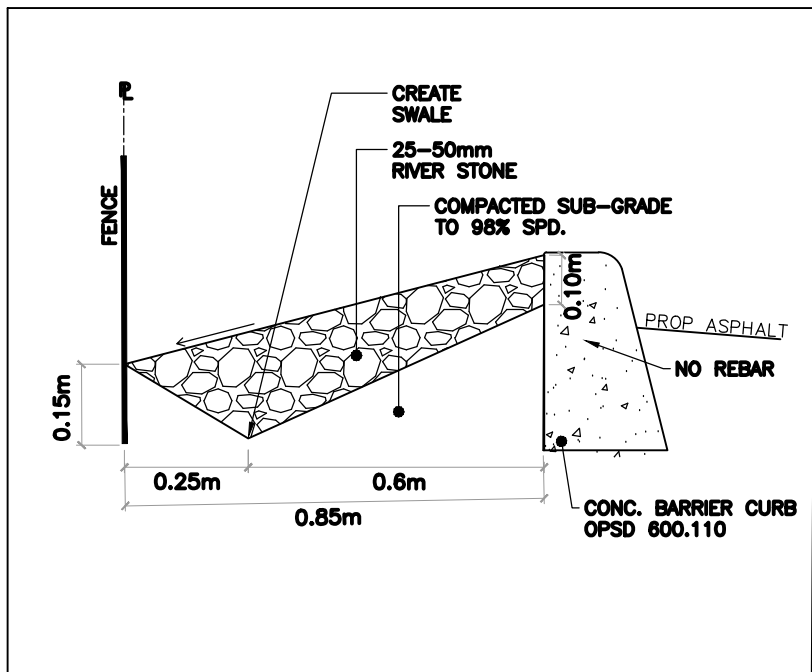
MATERIAL		THICKNESS OF PAVEMENT ELEMENTS(mm)
		HEAVY-DUTY
SURFACE COURSE ASPHALTIC MATERIAL 97% MMD	HL 3 SURFACE	40
	HL 8 SURFACE	80
OPSS BASE COURSE GRANULAR MATERIAL 100% SPMD	GRANULAR 'A' OR 20mm CRUSHER RUN LESTONE	150
OPSS SUB-BASE COURSE GRANULAR MATERIAL 100% SPMD	GRANULAR 'B' OR 50mm CRUSHER RUN	400

PER RECOMMENDATION IN REPORT PREPARED BY SPL CONSULTANT LTD., APRIL 08, 2015
SPMD DENOTES STANDARD PROCTOR MAXIMUM DRY DENSITY, ASTM-D695

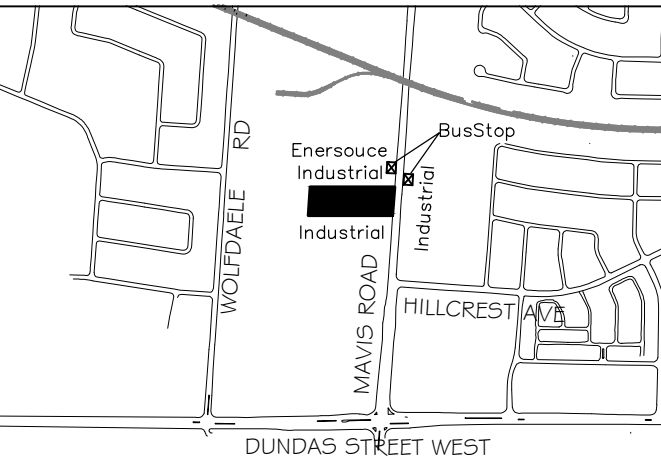
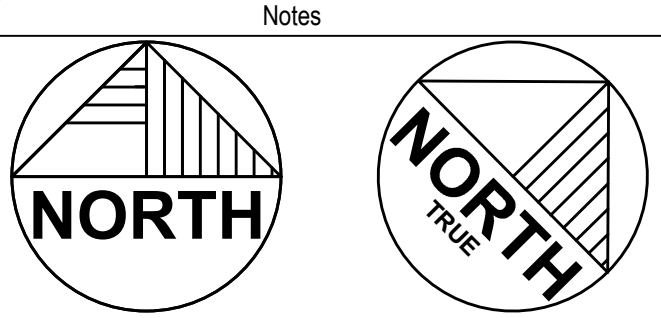
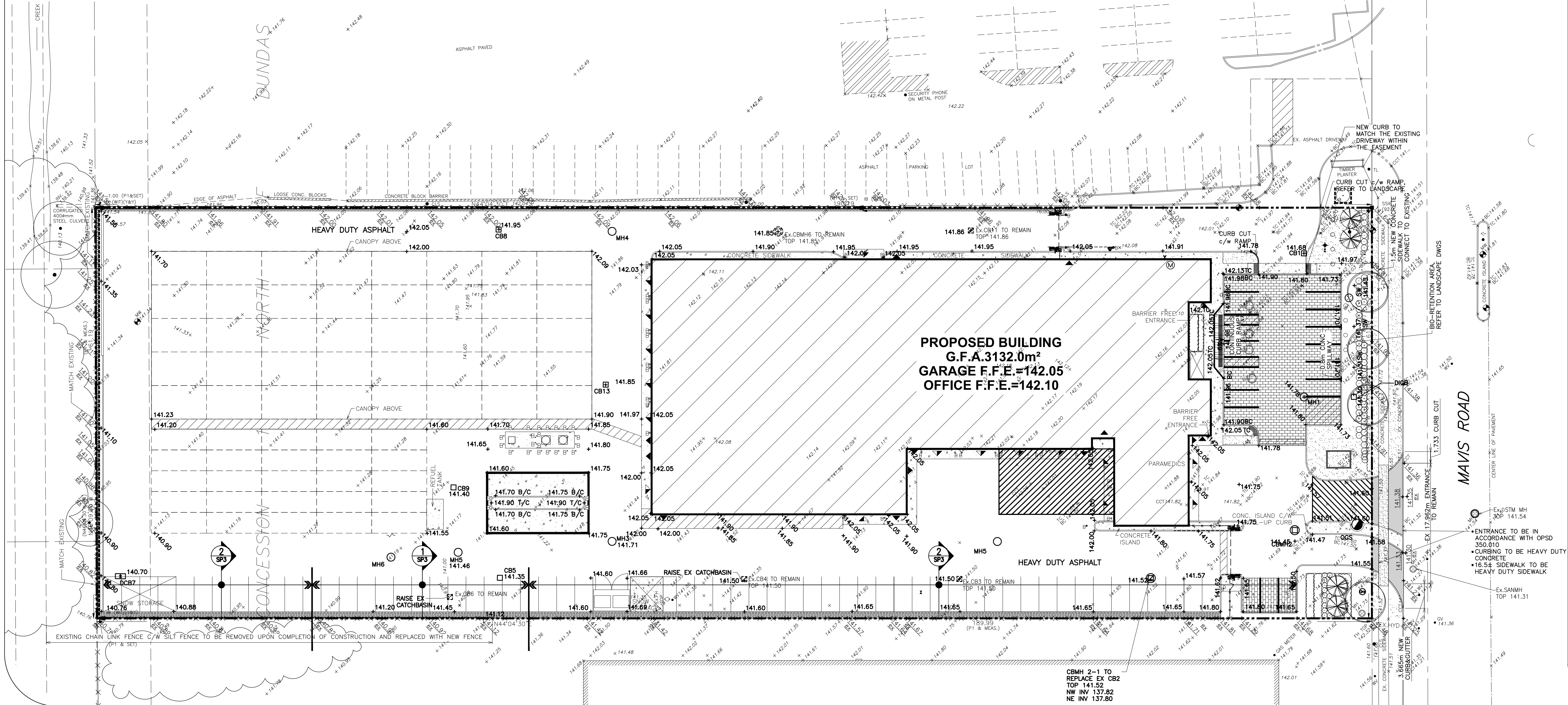
PLAN OF TOPOGRAPHY OF PART OF LOT 21,
CONCESSION 1 NORTH OF DUNDAS STREET
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EXISTING LEGAL BOUNDARIES AND TOPOGRAPHIC
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MISSISSAUGA BENCHMARK NO. 369, HAVING A
PUBLISHED ELEVATION OF 142.841 METRES



1 SECTION
SCALE: N.T.S



2 SECTION
SCALE: N.T.S



No.	Revision / Issue	Date
18	AS BUILT	2019/01/18
17	ISSUED FOR CCO #108	2018/04/17
16	ISSUED FOR S.I. # 44	2017/12/13
15	ISSUED FOR CONSTRUCTION	2016/09/28
14	ISSUED FOR COORDINATION	2016/09/21
13	RE-ISSUED FOR CVCA PERMIT	2016/09/07
12	RE-ISSUED FOR SPA	2016/08/31
11	ISSUED FOR ADDENDUM 1	2016/07/20
10	ISSUED FOR TENDER	2016/06/30
9	ISSUED FOR 100% CLIENT REVIEW	2016/06/13
8	RE-ISSUED FOR SPA	2016/03/04
7	ISSUED FOR CVC PERMIT / AS PER CITY COMMENTS	2015/12/03
6	99% CLIENT REVIEW	2015/09/10

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Project Title
REGIONAL MUNICIPALITY OF PEEL
REDEVELOPMENT OF 3190 MAVIS ROAD
3190 Mavis Rd. Mississauga, ON.

Drawing Title
SITE GRADING PLAN
SP 15/026 W6

Drawn By: R.P.R. Checkd: V.L.
Project # 14003 Drawing #
Date 2014
Scale 1:300
SP3
Sht. 5 of 231

REGION OF PEEL NOTES FOR WATERMAIN AND SANITARY SEWER:

1. ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO THE CURRENT PEEL PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
2. WATERMAIN AND/OR WATER SERVICE MATERIALS FOR SIZE UP TO AND INCLUDING 300 mm SHALL BE PVC DR18 AWWA C900 WITH RUBBER GASKETED BELL AND SPOUT JOINTS, INSTALLED WITH 12 GAUGE STRANDED TRACER WIRE, JOINTS RESTRAINED WHERE REQUIRED BE DESIGN AND WRAPPED WITH CORROSION PROTECTIVE SYSTEM. SIZE 50mm AND SMALLER MUST BE TYPE 'K' SOFT COPPER.
3. WATERMAINS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 1.7m(5'6") WITH HORIZONTAL SPACING OF 1.2m(4') FROM THEMSELVES AND ALL OTHER UTILITIES.
4. PROVISIONS FOR FLUSHING WATER LINE PRIOR TO TESTING, ETC. MUST BE PROVIDED WITH AT LEAST A 50mm(2") OUTLET ON 100mm(4") AND LARGER LINES. COPPER LINES ARE TO HAVE FLUSHING POINTS AT THE END, THE SAME SIZE AS THE LINE. THEY MUST ALSO BE HOSED OR PIPED TO ALLOW THE WATER TO DRAIN ONTO A PARKING LOT OR DOWN A DRAIN. ON FIRE LINES, FLUSHING OUTLET TO BE 100mm(4") DIA. MIN. ON A HYDRANT.
5. ALL CURB STOPS TO BE 3.0m(10') OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
6. HYDRANT AND VALVE SET TO REGION STANDARD 1-6-1 DIMENSION A AND B, 0.7m(2') AND 0.9m(3') AND TO HAVE PUMPER NOZZLE.
7. WATERMAINS TO BE INSTALLED TO GRADES AS SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHERE REQUESTED BY INSPECTOR.
8. WATERMAINS MUST HAVE A MINIMUM VERTICAL CLEARANCE OF 0.30m(12") OVER/0.5m(20") UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING.
9. ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND CHLORINATING FROM EXISTING SYSTEMS.
10. ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTACTING THE OPERATIONS AND MAINTENANCE DIVISION.
11. ALL SANITARY SEWERS AND CONNECTIONS SHALL BE PVC SDR-35.
12. BEDDING FOR SANITARY SEWERS SHALL BE CLASS "B" AS PER STANDARD 2-3-1.
13. MANHOLES SHALL BE AS PER STANDARD 2-1-1 WITH BENCHING AS PER STANDARD 2-1-4. FRAME COVER SHALL BE AS PER STANDARD 2-2-2. MANHOLE STEPS SHALL BE AS PER STANDARD 2-2-4.

REGION OF PEEL NOTE:

ALL PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-CONNECTION CONTROL DEVICE, CONSISTENT WITH THE DEGREE OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PEEL STANDARDS 1-7-7 OR 1-7-8.

STORM SEWERS:

1. ALL MATERIALS USED SHOULD CONFORM TO THE CITY OF MISSISSAUGA POLICY, STANDARDS, GUIDELINES AND SPECIFICATIONS, REGION OF PEEL AND OPSD.
2. ALL MANHOLES, CATCHBASINS, AND STORM SEWERS INVERTS, SIZES, LOCATION AND CONNECTION SHALL BE VERIFIED BEFORE CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER.
3. ALL STORM SEWERS SHALL BE PVC PIPE SDR 35 OR EQUIVALENT.
4. PIPE BEDDING SHALL BE CLASS "B" AS PER OPSD 802.02
5. ALL MANHOLES SHALL BE 1200MM PRECAST CONCRETE AS PER OPSD 701.01, UNLESS OTHERWISE STATED.
6. ALL CATCHBASINS AND MANHOLES SHALL HAVE A MINIMUM OF 0.3M SUMP.
7. ALL CATCHBASINS LEAD TO BE 200mm @ 1.0%.
8. A PVC SUB-DRAINS SHALL BE INSTALLED RADIALLY (3M FROM CB) AT ALL CATCHBASINS AND MANHOLES. THE SUBDRAINS SHALL BE WRAPPED WITH GEOTEXTILE FILTER FABRIC AND INSTALLED 0.3M BELOW SUBGRADE ELEVATION SURROUNDED BY THE APPROPRIATE GRANULAR FILTER
9. ALL CATCHBASIN GRATES SHALL BE AS PER OPSD 400.01
10. ALL STORM SEWERS SHALL BE FLUSHED AND VIDEO INSPECTED.
11. EXISTING SUBDIVISION GRADES ARE TO BE MAINTAINED AT PROPERTY BOUNDARIES.

CONSTRUCTION NOTES:

1. ANY INFORMATION SHOWN ON THIS PLAN REGARDING LOCATION AND SIZE OF EXISTING UTILITIES OR SERVICES IS FURNISHED AS THE BEST INFORMATION AVAILABLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING SERVICES AND CONFIRM ALL EXISTING INVERTS, OBVERTS, PAVEMENT ELEVATIONS BEFORE CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER, SO THAT NECESSARY ADJUSTMENTS CAN BE MADE TO RECTIFY THE CONFLICT.
2. ALL THE CONSTRUCTION WORKS FOR THIS PROJECT SHALL COMPLY WITH THE CURRENT STANDARDS, DRAWINGS AND SPECIFICATIONS OF THE CITY OF MISSISSAUGA AND APPLICABLE ONTARIO PROVINCIAL STANDARD AND SPECIFICATIONS.
3. THIS PLAN SHOULD BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT'S PLANS. ANY DISCREPANCIES SHALL BE CLARIFIED WITH THE ENGINEER.

GENERAL NOTES:

1. LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR.
2. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSING, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF HIS WORK. WHETHER SHOWN ON THE PLANS OR NOT, AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.
3. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO UTILITIES PRIOR TO CROSSING SUCH UTILITIES, FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION.
4. The make and model of the OGS will be Stormceptor STC 2000

NOTES:

- ANY WORK ON ADJACENT PROPERTIES MUST HAVE THE WRITTEN AUTHORIZATION OF THE ADJUTING PROPERTY OWNER.

OWNERS

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LEGEND

○	CB	PROPOSED STORM MANHOLE
□	MH	PROPOSED CATCHBASIN
○	CBMH	PROPOSED CATCHBASIN MANHOLE
●	RD	PROPOSED STORMCEPTOR
○	WD	ROOF DRAIN
■	CB	Ex. CATCH BASIN
⊙	MH	Ex. MAINTENANCE HOLE
⊙	FD	Ex. FIRE HYDRANT
○	WV	Ex. WATER VALVE
○	SLS	Ex. STEEL LIGHT STANDARD
—	ST	Ex. STORM SEWER
—	SA	Ex. SANITARY SEWER
—	S	Ex. U/G GAS LINE
—	W	Ex. U/G WATER LINE
—	H	Ex. HYDRO
—	B	Ex. BELL
—	PROP	PROP WEAVING TILE

PLAN OF TOPOGRAPHY OF PART OF LOT 21, CONCESSION 1 NORTH OF DUNDAS STREET (ORIGINALLY IN TOWNSHIP OF TORONTO) CITY OF MISSISSAUGA REGIONAL MUNICIPALITY OF PEEL

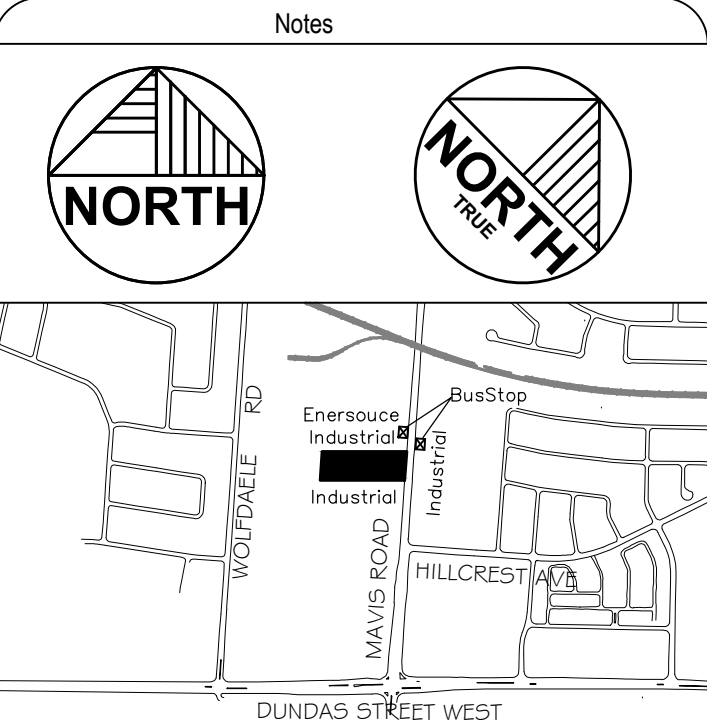
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Region of Peel

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20	AS BUILT	2019/01/18
19	ISSUED FOR CCO046	2017/07/17
18	REISSUED FOR CONSTRUCTION CCO005	2016/12/22
17	ISSUED FOR CONSTRUCTION	2016/09/28
16	RE-ISSUED FOR CVCA PERMIT	2016/09/07
15	RE-ISSUED FOR SPA	2016/08/31
14	ISSUED FOR ADDENDUM 1	2016/07/20
13	RE-ISSUED FOR TENDER/PERMIT	2016/07/15
12	ISSUED FOR TENDER	2016/06/30
11	ISSUED FOR 100% CLIENT REVIEW	2016/06/13
10	RE-ISSUED FOR SPA	2016/03/04
9	ISSUED FOR CVC PERMIT / AS PER CITY COMMENTS	2015/01/20/3
8	99% CLIENT REVIEW	2015/09/10
7	AS PER ROP COMMENTS	2015/07/31
6	ISSUED FOR ROP REVIEW	2015/06/19
5	ISSUED AS PER CITY COMMENTS	2015/06/02
No.	Revision / Issue	Date

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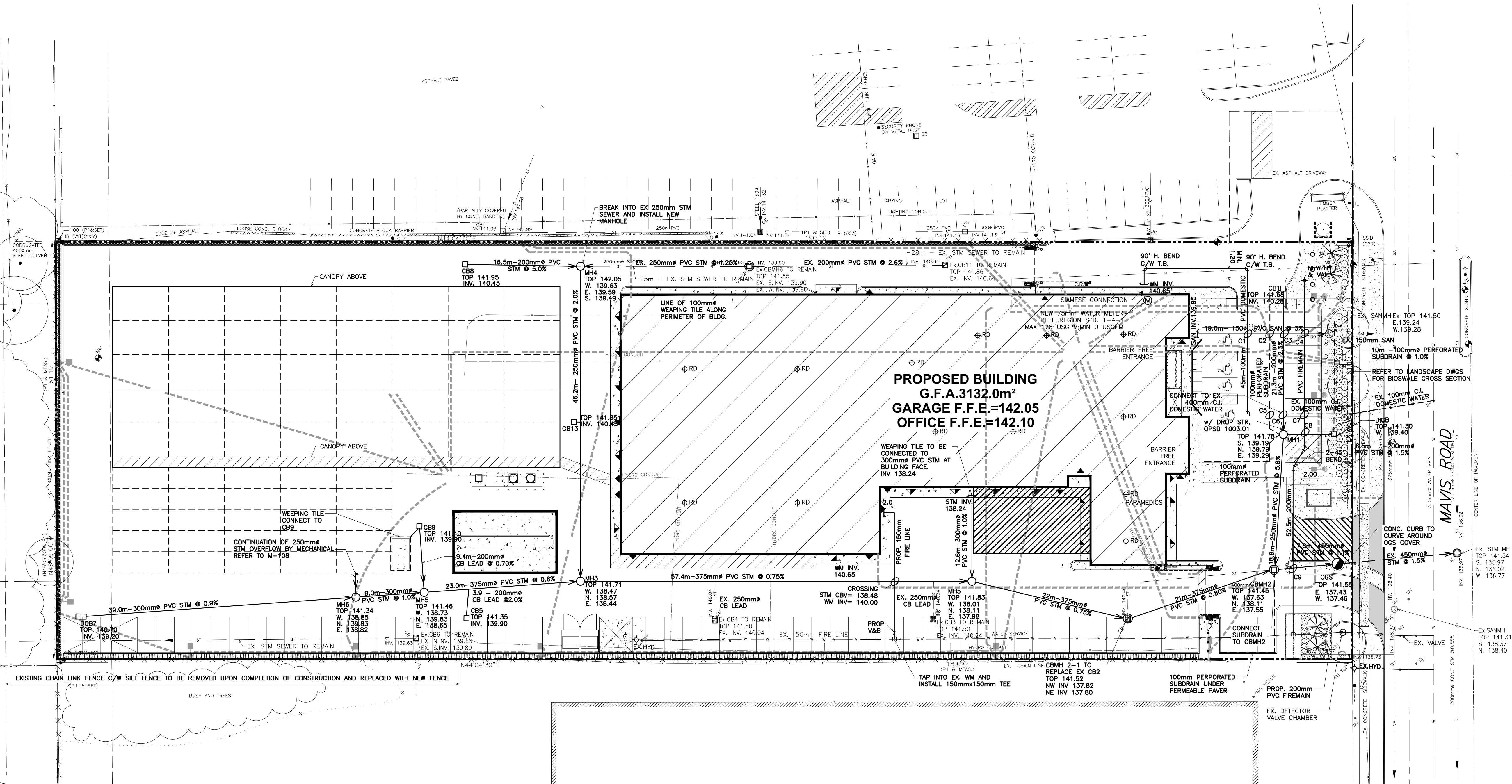
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Project Title
**REGIONAL MUNICIPALITY OF PEEL
REDEVELOPMENT OF 3190 MAVIS ROAD
3190 Mavis Rd. Mississauga, ON.**

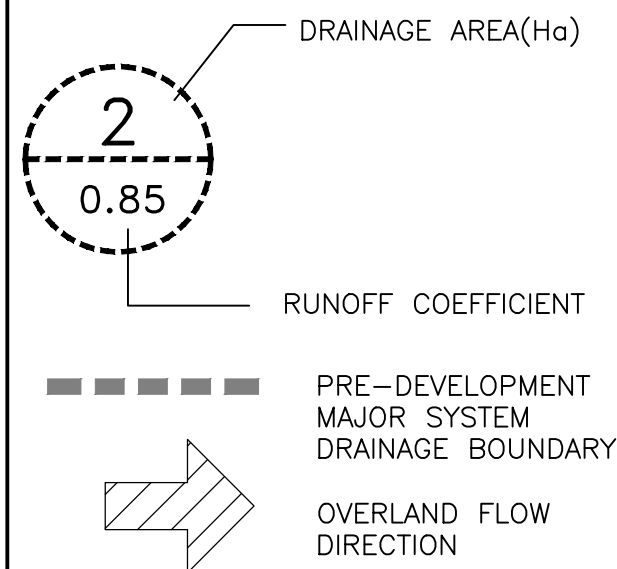
Drawing Title
SITE SERVICING PLAN

SP 15/026 W6

Drawn By:	R.P.R.	Checkd:	V.L.
Project #	14003	Drawing #	SP4
Date	2014		
Scale	1:300		Sht. 6 of 231



LEGEND:



NOTES:

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OWNERS

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APPLICANT

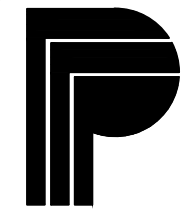
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PLAN OF TOPOGRAPHY OF PART OF LOT 21,
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(ORIGINALLY IN TOWNSHIP OF TORONTO) CITY
OF MISSISSAUGA REGIONAL MUNICIPALITY OF
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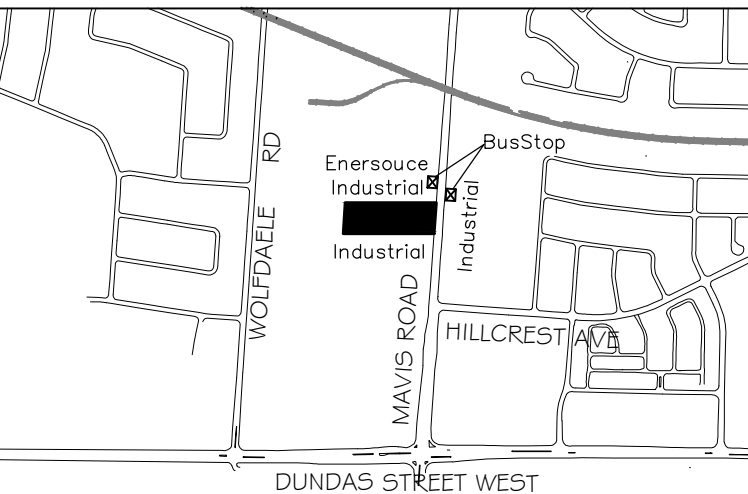
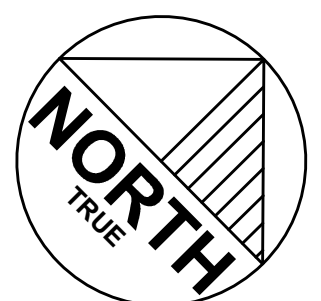
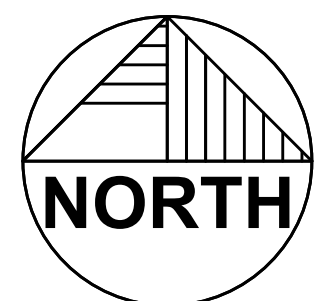
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Region of Peel

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Notes



13	AS BUILT	2019/01/18
12	ISSUED FOR CONSTRUCTION	2016/09/28
11	RE-ISSUED FOR SPA	2016/08/31
10	ISSUED FOR ADDENDUM 1	2016/07/20
9	ISSUED FOR TENDER	2016/06/30
8	ISSUED FOR 100% CLIENT REVIEW	2016/06/13
7	RE-ISSUED FOR SPA	2016/03/04
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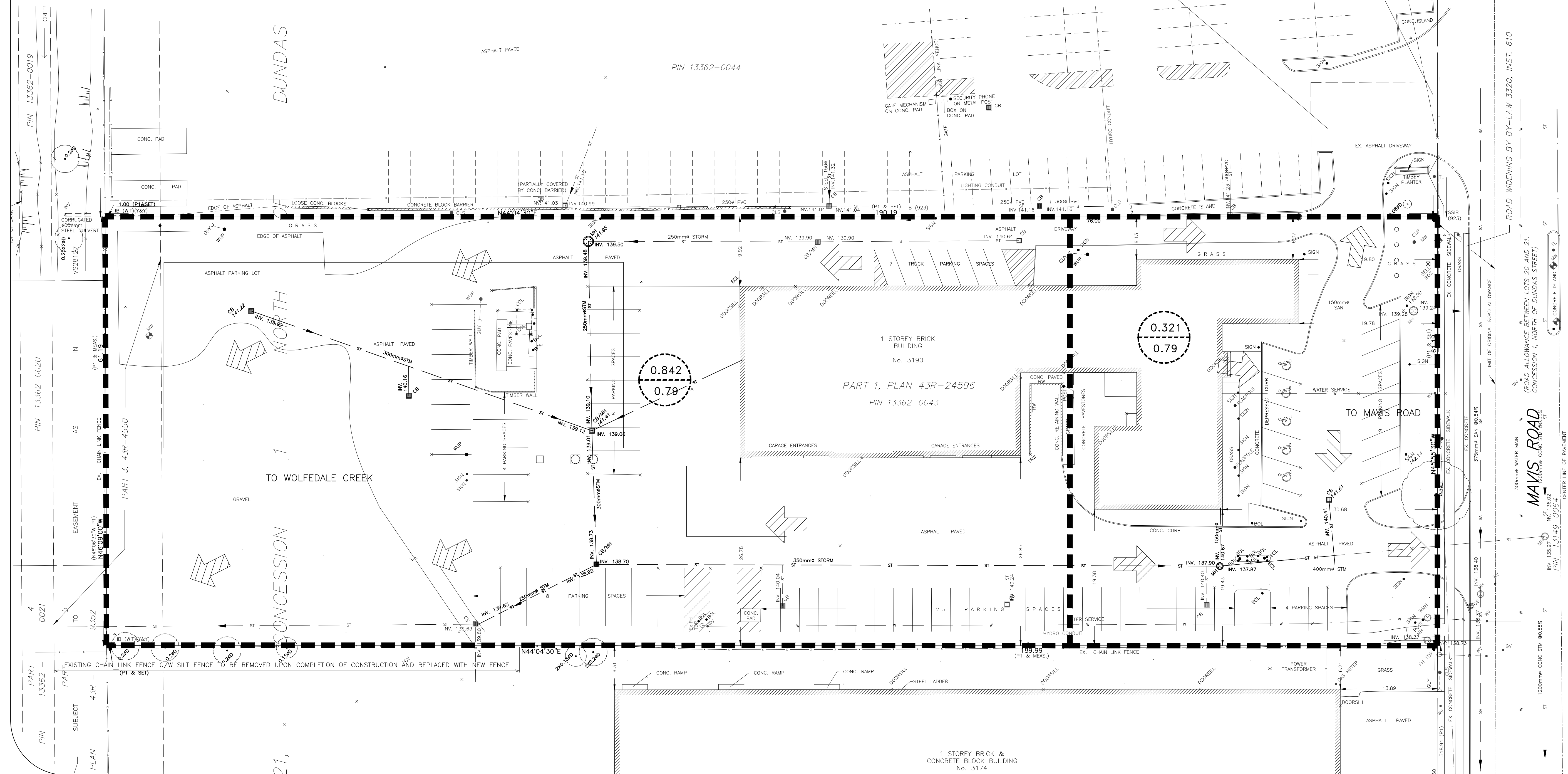
ARCHITECTS, CONSULTING ENGINEERS & PROJECT MANAGERS
37 MILL STREET NORTH, SUITE 201
BRAMPTON, ON L6X 1S9
T. 905.457.1618 F. 905.457.8852
EMAIL@REIDERS.CA WWW.REIDERS.CA

Project Title
REGIONAL MUNICIPALITY OF PEEL
REDEVELOPMENT OF 3190 MAVIS ROAD
3190 Mavis Rd. Mississauga, ON.

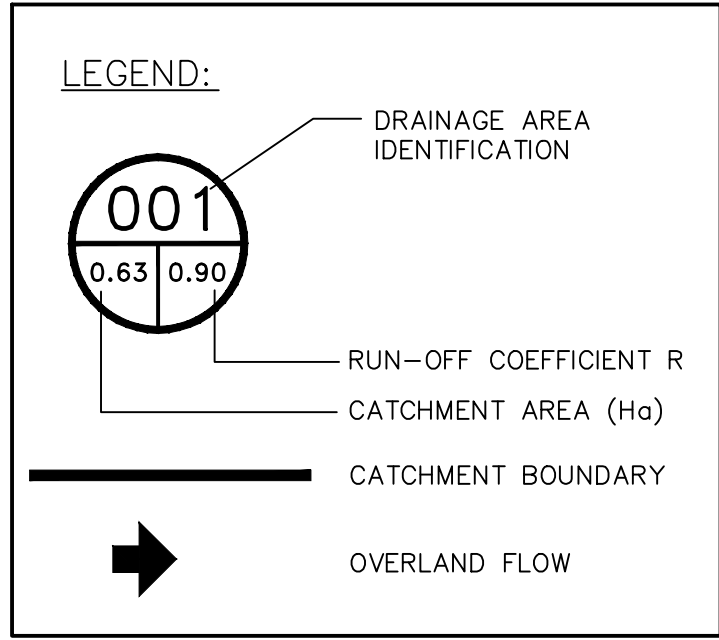
Drawing Title
EXISTING STORM DRAINAGE PLAN

SP 15/026 W6

Drawn By:	R.P.R.	Checkd:	R.Z.
Project #	14003	Drawing #	
Date	2014		
Scale	1:300		
			SP5
			Sht. 7 of 231



1 STOREY BRICK &
CONCRETE BLOCK BUILDING
No. 3174



NOTES:

- ANY WORK ON ADJACENT PROPERTIES MUST HAVE THE WRITTEN AUTHORIZATION OF THE ADJUTING PROPERTY OWNER.

OWNERS

REGIONAL MUNICIPALITY OF PEEL
10 PEEL CENTRE DR.
SUITE B, 6TH FLOOR
BRAMPTON, ONTARIO

CONTACT: ASHWANI SINHA
P (905) 791-7800 Ext.7690
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APPLICANT

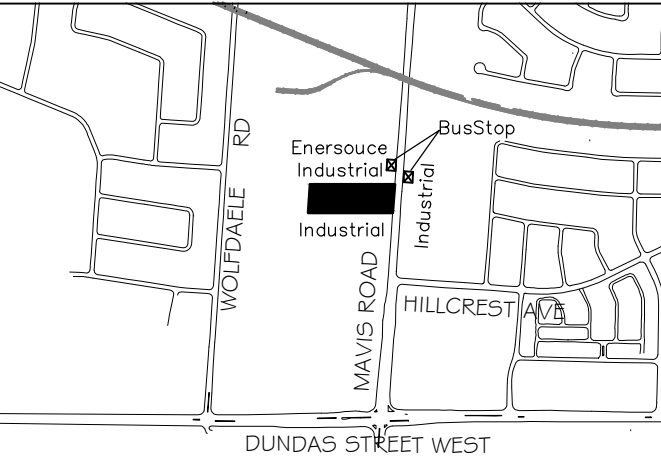
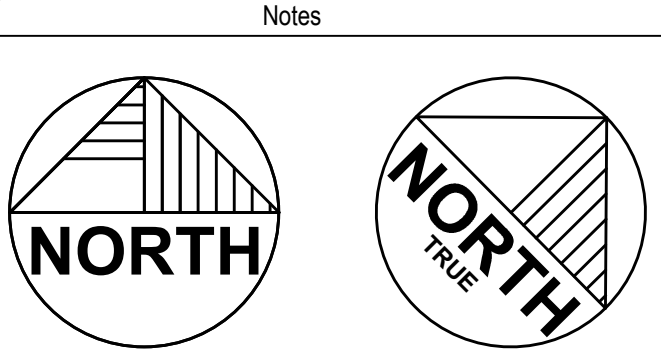
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PLAN OF TOPOGRAPHY OF PART OF LOT 21, CONCESSION 1 NORTH OF DUNDAS STREET (ORIGINALLY IN TOWNSHIP OF TORONTO) CITY OF MISSISSAUGA REGIONAL MUNICIPALITY OF PEEL

EXISTING LEGAL BOUNDARIES AND TOPOGRAPHIC INFORMATION ARE BASED ON SURVEY PROVIDED BY TARASICK MCMILLAN KUBICHI LIMITED, MISSISSAUGA, ONTARIO, (905) 569-8849. DATED OCT. 12, 2011. File No. 5891-T.

ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC 1928, AND WERE DERIVED FROM CITY OF MISSISSAUGA BENCHMARK NO. 369, HAVING A PUBLISHED ELEVATION OF 142.841 METRES



No.	Revision / Issue	Date
14	AS BUILT	2019/01/18
13	ISSUED FOR CONSTRUCTION	2016/09/28
12	RE-ISSUED FOR SPA	2016/08/31
11	ISSUED FOR ADDENDUM 1	2016/07/20
10	ISSUED FOR TENDER	2016/06/30
9	ISSUED FOR 100% CLIENT REVIEW	2016/06/13
8	RE-ISSUED FOR SPA	2016/03/04
7	ISSUED FOR CVC PERMIT / AS PER CITY COMMENTS	2015/12/03
5	99% CLIENT REVIEW	2015/09/10
4	ISSUED AS PER CITY COMMENTS	2015/06/02

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Project Title

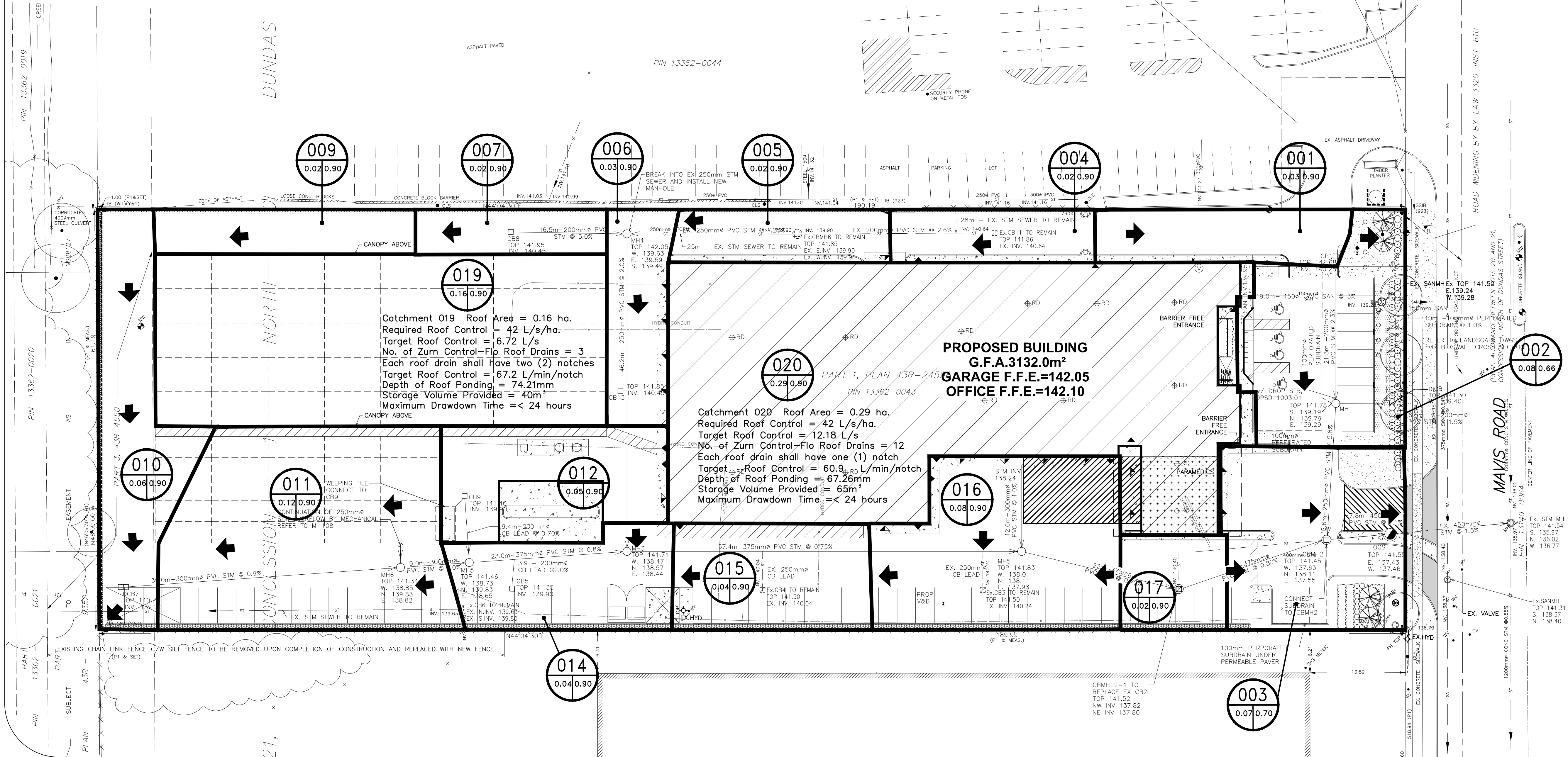
REGIONAL MUNICIPALITY OF PEEL
REDEVELOPMENT OF 3190 MAVIS ROAD
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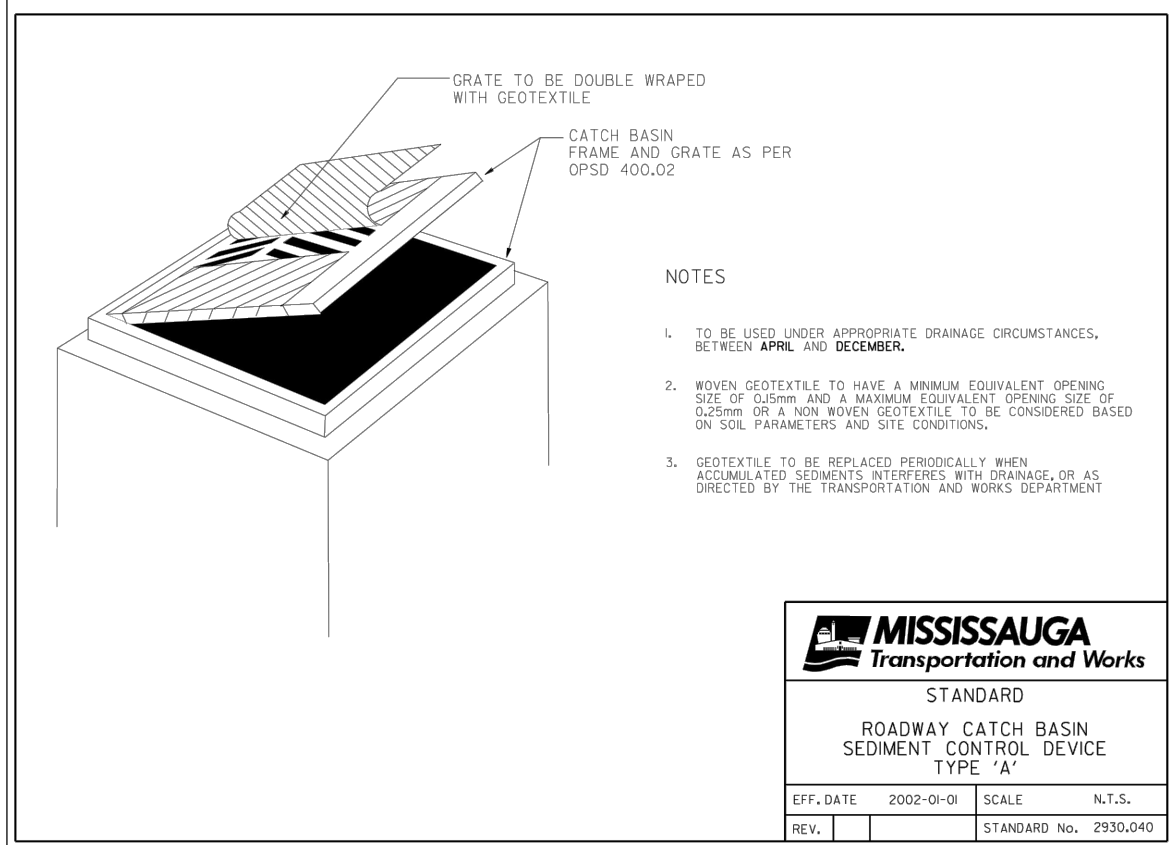
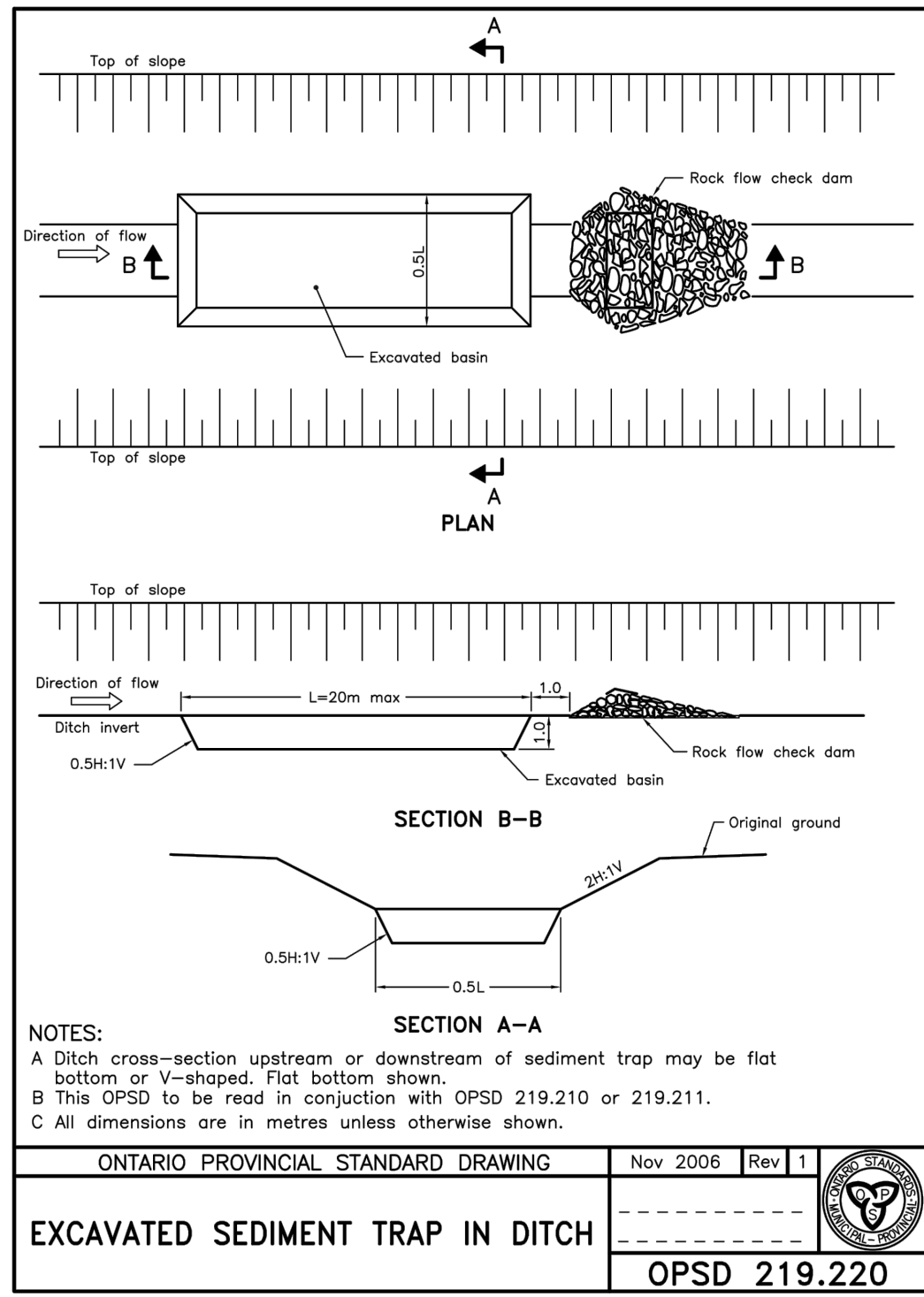
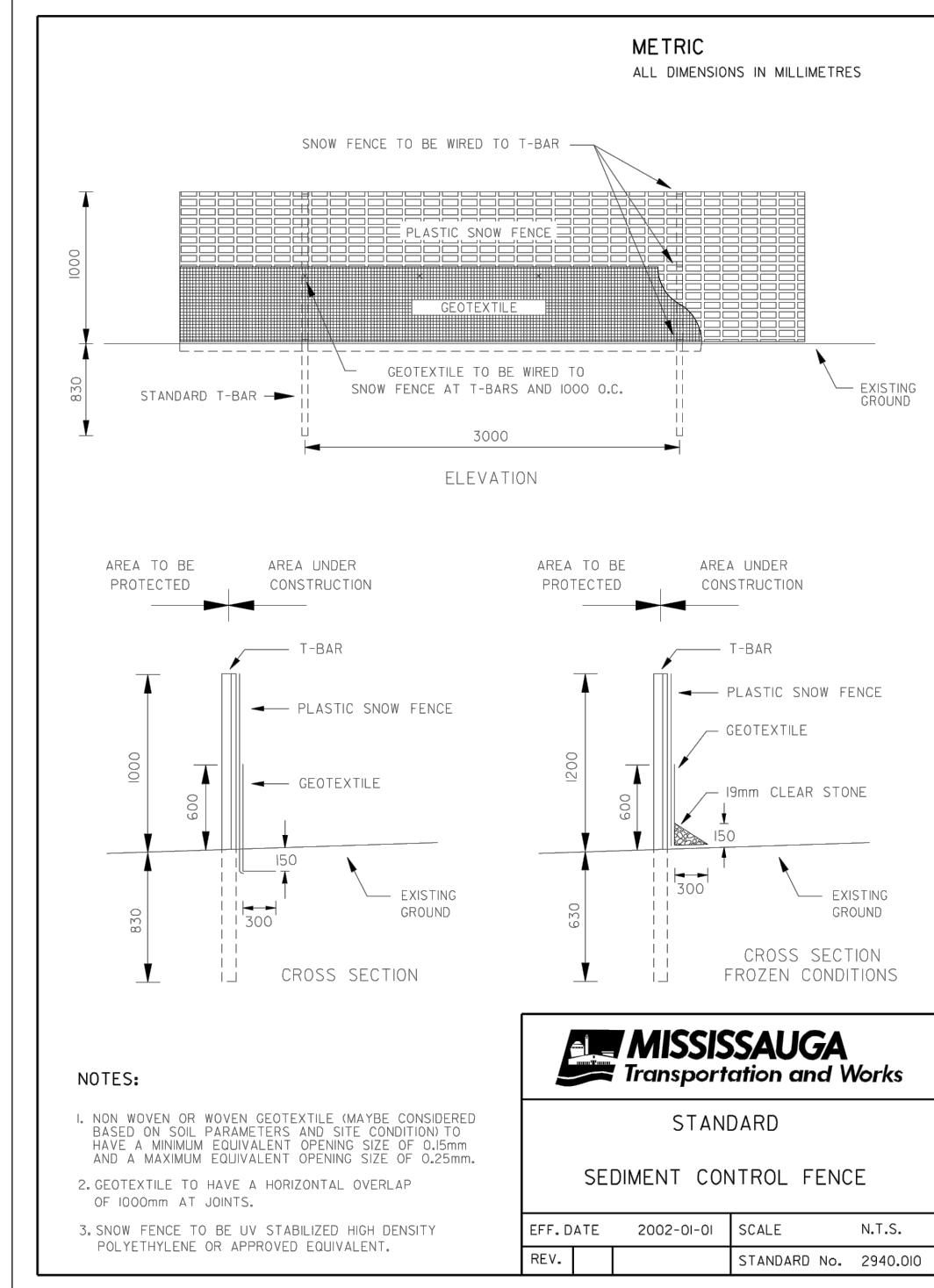
Drawing Title

PROPOSED STORM DRAINAGE PLAN

SP 15/026 W6

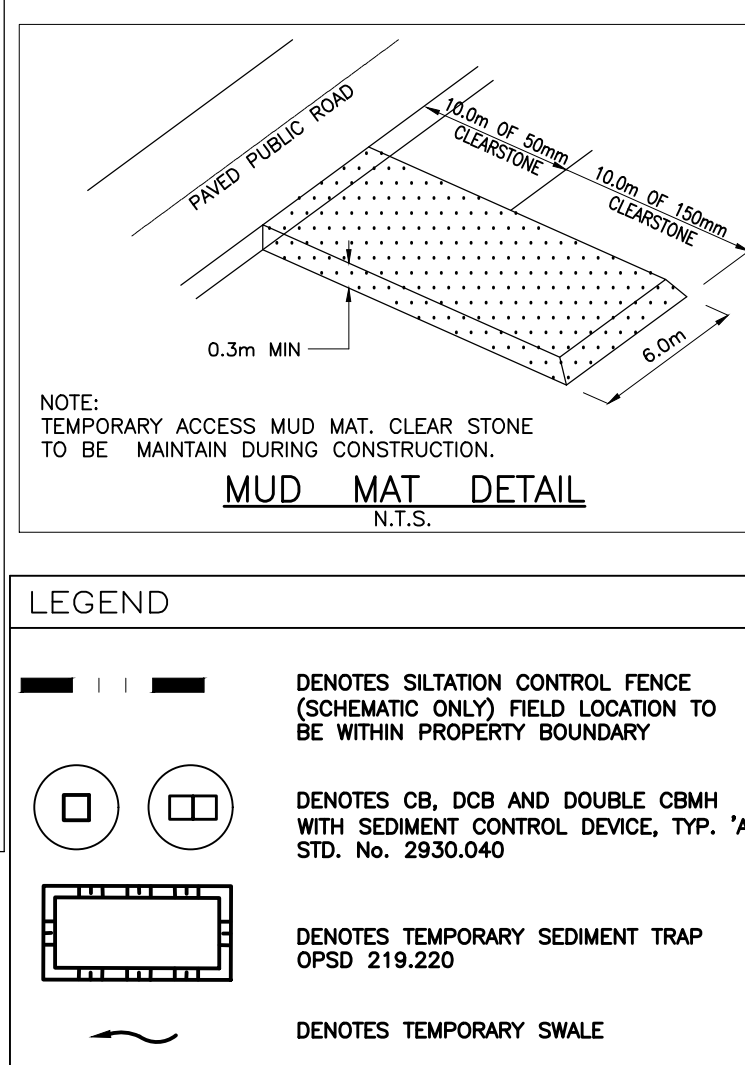
Drawn By:	R.P.R.	Checkd:	V.L.
Project #	14003	Drawing #	SP6
Date	2014		
Scale	1:300		Sht. 8 of 231





EROSION AND SEDIMENT CONTROL NOTES:

1. EROSION AND SEDIMENTATION FACILITIES TO BE INSTALLED PRIOR TO START OF THE CONSTRUCTION.
2. ALL SEDIMENT CONTROL FENCING AS PER CITY OF MISSISSAUGA STD. 2940.01
3. ALL ROADSIDE CATCHBASINS TO HAVE SEDIMENT PROTECTION AS PER CITY OF MISSISSAUGA STD. 2930.040.
4. SITE INSPECTIONS OF THE EROSION CONTROL MEASURES BY THE DEVELOPER'S CONSULTANT ARE TO BE CONDUCTED WEEKLY AND AFTER EACH RAINFALL OF 10mm OR ANY SUBSTANTIAL STORM EVENT. INSPECTIONS MUST INCLUDE AN ASSESSMENT OF THE PROPOSED FACILITIES/CONTROL AND RECOMMENDED CORRECTIVE MEASURES (IF REQUIRED). ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AS REQUIRED BY THE DEVELOPER'S CONSULTANT.
5. INSTALL STONE PAD CONSTRUCTION ENTRANCE AND/OR FLUSING OR SWEEPING ROADS, WHERE REQUIRED AS PER CITY OF MISSISSAUGA MUD TRACKING POLICY.
6. THE MEASURES AS PROPOSED MAY BE MODIFIED AT THE DISCRETION OF THE DEVELOPER'S CONSULTANT TO SUIT THE PROPOSED CONSTRUCTION PROGRAMS. THE GENERAL INTENT OF THE PROPOSED EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES.
7. DECOMMISSIONING OF ALL EROSION CONTROL MEASURES SHALL OCCUR ONLY ONCE VEGETATIVE COVER IS ESTABLISHED OR DISTURBED AREA IS STABILIZED.
8. ANY DISTURBED AREA NOT SCHEDULED FOR FURTHER CONSTRUCTION WITHIN 30 DAYS SHALL BE STABILIZED BY SEEDING, SODDING AND MULCHING OR COVERING, OR OTHER EQUIVALENT CONTROL MEASURE.
9. EROSION AND SEDIMENT CONTROLS METHODS ARE TO BE CONTINUOUSLY EVALUATED; AND UPGRADES ARE TO BE IMPLEMENTED, WHEN NECESSARY.
10. ADDITIONAL EROSION AND SEDIMENT CONTROL MATERIALS (I.E. SILT FENCE, STRAW BALES, CLEAR STONES ... ETC) ARE TO BE KEPT ON SITE FOR EMERGENCIES AND REPAIRS.
11. ESC PLAN IS DYNAMIC DOCUMENT WHICH MAY BE SUBJECT TO CHANGE OR MODIFICATIONS AS A RESULT OF SITE DEVELOPMENTS OR CHANGES ON SITE.
12. AN AFTER HOURS CONTACT NUMBER IS TO BE VISIBLY POSTED ON-SITE FOR EMERGENCIES.
13. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR CONTROLLING SEDIMENT & EROSION WITHIN THE CONSTRUCTION SITE FOR THE TOTAL PERIOD OF THE CONSTRUCTION. THE SEDIMENT LADEN WATER WILL NOT BE ALLOWED TO DISCHARGE TO THE CREEK.



OWNERS
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PLAN OF TOPOGRAPHY OF PART OF LOT 21,
CONCESSION 1 NORTH OF DUNDAS STREET
(ORIGINALLY IN TOWNSHIP OF TORONTO) CITY
OF MISSISSAUGA REGIONAL MUNICIPALITY OF
PEEL

EXISTING LEGAL BOUNDARIES AND TOPOGRAPHIC
INFORMATION ARE BASED ON SURVEY PROVIDED
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MISSISSAUGA, ONTARIO, (905) 569-8849,
DATED OCT. 12, 2011. File No. 5891-T.

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Notes		
14	AS BUILT	2019/01/18
13	ISSUED FOR CONSTRUCTION	2016/09/28
12	RE-ISSUED FOR CVCA PERMIT	2016/09/07
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No.	Revision / Issue	Date

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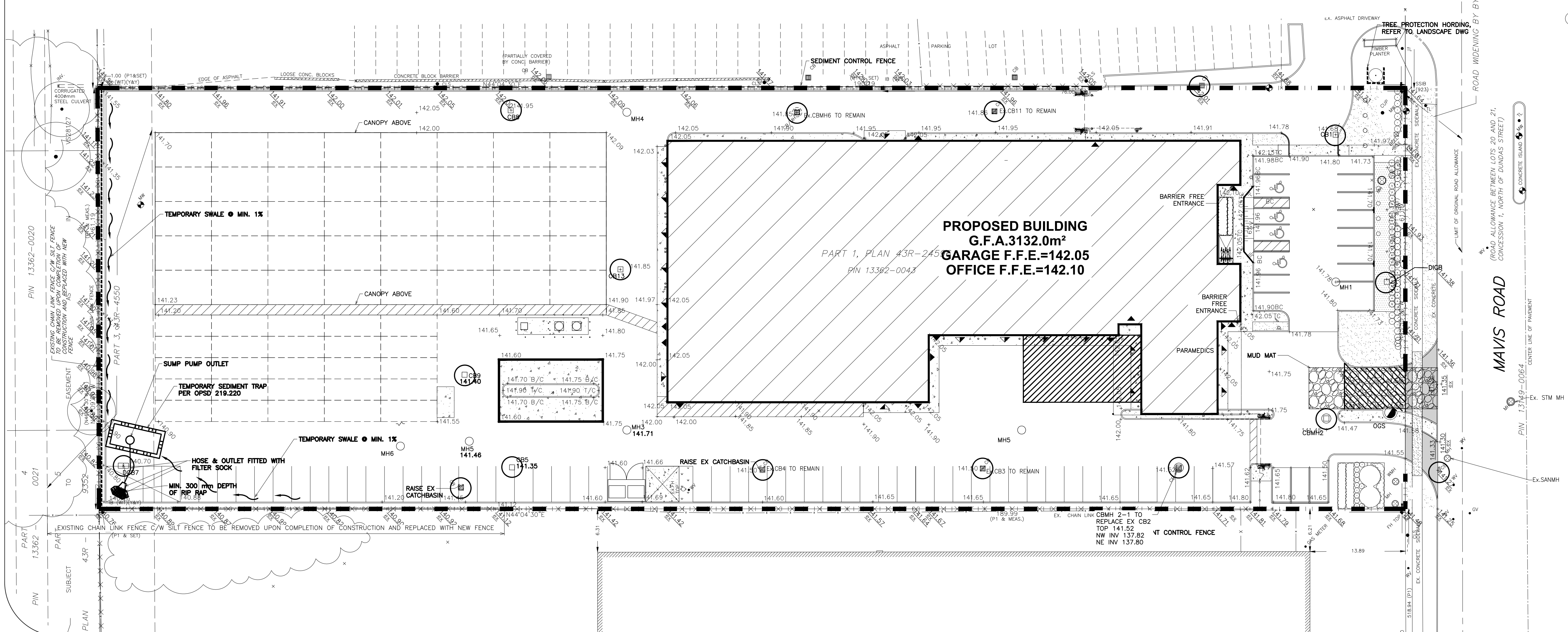
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Project Title
REGIONAL MUNICIPALITY OF PEE
REDEVELOPMENT OF 3190 MAVIS ROAD
3190 Mavis Rd. Mississauga, ON.

Drawing Title
EROSION AND SEDIMENT CONTROL
PLAN

SP 15/026 W6

Drawn By: R.P.R.	Checkd: V.L.
Project # 14003	Drawing #
Date 2014	SP7
Scale 1:300	Sht. 9 of 231



GENERAL NOTES:

1. ALL SURFACE DRAINAGE WILL BE SELF-CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
2. THE CITY OF MISSISSAUGA REQUIRES THAT ALL WORKING DRAWINGS BE SUBMITTED TO THE BUILDING DIVISION AS A PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT. SHALL BE CERTIFIED BY THE ARCHITECT OR ENGINEER AS BEING IN CONFORMITY WITH THE SITE DEVELOPMENT.
3. ALL EXTERIOR LIGHTING WILL BE DIRECTED ONTO THE SITE AND WILL NOT INFRINGE UPON THE ADJACENT PROPERTIES.
4. ALL ROOF TOP MECHANICAL UNITS SHALL BE SCREENED FROM VIEW BY THE APPLICANT.
5. ON SITE WASTE COLLECTION IS TO BE ARRANGED THROUGH A PRIVATE CONTRACTOR.
6. FIRE AND EMERGENCY SERVICES ACCESS ROUTES SHALL BE DESIGNATED AS PER BY-LAW 1036-81, AS AMENDED, PRIOR TO OCCUPANCY OF THE BUILDING. ALL FIRE AND EMERGENCY SERVICES ACCESS ROUTES SHALL BE CONSTRUCTED OF HARD SURFACE MATERIAL SUCH AS ASPHALT, CONCRETE OR LOCKSTONE AND DESIGNED TO SUPPORT A LOAD NOT LESS THAN 11,363kg PER AXLE AND HAVE A CHANGE IN GRADIENT OF NOT MORE THAN 1 IN 12.5 OVER MINIMUM DISTANCE OF 15m.
7. PARKING SPACES RESERVED FOR PEOPLE WITH DISABILITIES MUST BE IDENTIFIED BY A SIGN INSTALLED AT THE APPLICANT'S EXPENSE, IN ACCORDANCE WITH THE DESIGN AND SPECIFICATIONS OF SCHEDULE 2 & 3 OF BY-LAW 001-2009.
8. GRADES WILL BE MET WITHIN A 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.
9. ALL DAMAGE AREAS ARE TO BE REINSTATED WITH TOPSOIL AND SOD PRIOR TO THE RELEASE OF SECURITIES.
10. SIGNAGE SHOWN ON THE SITE DEVELOPMENT PLANS IS FOR INFORMATION PURPOSES ONLY. ALL SIGNS WILL BE SUBJECT TO THE PROVISIONS OF SIGN BY-LAW 0054-2002, AS AMENDED, AND A SEPARATE SIGN APPLICATION WILL BE REQUIRED THROUGH THE BUILDING DIVISION.
11. ALL SIGNAGE IS SUBJECT TO FURTHER REVIEW AND APPROVALS BY THE PLANNING AND BUILDING DEPARTMENT WHICH MAY INCLUDE A STAFF REVIEW THROUGH THE SIGN PERMIT PROCESS.
12. THE APPLICANT WILL BE RESPONSIBLE FOR ENSURING THAT ALL PLANS CONFORM TO TRANSPORT CANADA'S RESTRICTION.
13. ANY FENCING ADJACENT TO MUNICIPAL LANDS IS TO BE LOCATED 15cm(6.0in.) INSIDE THE PROPERTY LINE.
14. THE APPLICANT WILL BE RESPONSIBLE FOR COST OF ANY UTILITY RELOCATIONS NECESSITATED BY THE SITE PLAN.
15. THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.6m IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE, IS TO BE SHOWN ON THE SITE GRADING PLAN FOR THIS PROJECT, AND IS TO BE APPROVED BY A CONSULTING ENGINEER FOR THE PROJECT.
16. THE APPLICANT WILL BE RESPONSIBLE FOR ENSURING THAT TREE PROTECTION HOARDING IS MAINTAINED THROUGHOUT ALL PHASE OF DEMOLITION AND CONSTRUCTION, IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DEPARTMENT. NO MATERIALS (BUILDING MATERIALS, SOIL, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING, FAILURE TO MAINTAIN THE HOARDING AS ORIGINALLY APPROVED FOR THE STORAGE OF MATERIALS WITHIN THE HOARDING WILL BE THE CAUSE OF THE TREE PRESERVATION 'LETTER OF CREDIT' TO BE HELD FOR TWO(2) YEARS FOLLOWING COMPLETION OF ALL SITE WORKS.
17. PLEASE BE ADVISED THAT THE DETAILED GRADING FOR THIS APPLICATION WILL BE FINALIZED AND APPROVED BY THE DEVELOPMENT SECTION OF THE TRANSPORTATION AND WORKS DEPARTMENT AS A REQUIREMENT FOR THE ISSUANCE OF BUILDING PERMIT. RELOCATIONS NECESSITATED BY THE SITE PLAN AS SHOWN ON SITE DEMOLITION PLAN-SP1.
18. SITE GRADING PLAN, SITE SERVING PLAN AND SITE DEMOLITION PLAN ARE TO BE ASSOCIATED WITH THE SITE PLAN.
19. PRIOR TO ANY CONSTRUCTION TAKING PLACE, STRUCTURALLY CERTIFIED OVERHEAD HOARDING WITHIN THE RIGHT-OF-WAY AS SHOWN ON THE SITE PLAN (AS APPLICABLE), HOARDING ADJACENT TO EXISTING PROPERTIES TO PROTECT FROM CONSTRUCTION ACTIVITY, AND ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTIONS PROJECTS MUST BE ERRECTED AND MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.
20. IF THE FINAL COURSE OF ASPHALT PAVING IS DELAYED, INSTALL A TEMPORARY LIFT OF ASPHALT AT RAMPS OR CURB CUTS TO BARRIER-FREE ACCESS.
21. THE CITY OF MISSISSAUGA REQUIRES THAT ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT SHALL BE CERTIFIED BY THE ARCHITECT OR ENGINEER AS BEING IN CONFORMITY WITH THE SITE DEVELOPMENT PLAN AS APPROVED BY THE CITY OF MISSISSAUGA.
22. I HEREBY CERTIFY THAT THIS DRAWING CONFORMS IN ALL RESPECTS TO THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA UNDER FILE NUMBER SP 15/026 W6.

JOEL RIEDER, OAA, M.R.AIC
REINDERS + RIEDER LTD
57 MILL ST. NORTH
BRAMPTON, ON L6X1S9

LEGEND

- | | | | |
|--|--|--|------------------------|
| | PROPOSED CONCRETE PAD OR CONCRETE SIDEWALK | | EXTERIOR DOOR LOCATION |
| | PROPOSED BUILDING FOOTPRINT | | DRIVE-IN DOOR |
| | PROPOSED PEROUS STABLE SURFACING (REFER 4/L201 DRAWING FOR DETAIL) | | DENOTES HANDICAP SIGN |
| | DENOTES PROPOSED CURB CUT OR DEPRESSED CURB | | EX. MONUMENT FOUND |
| | ROOF DRAIN | | EX. STANDARD IRON BAR |
| | PROPOSED STORM MANHOLE | | EX. IRON BAR |
| | PROPOSED CATCHBASIN | | EX. CATCH BASIN |
| | PROPOSED CATCHBASIN MANHOLE | | EX. MAINTENANCE HOLE |
| | PROPOSED INTERCEPTOR | | BOLLARD |
| | PROPERTY LINE | | BOREHOLE LOCATION |
| | | | ROOF TOP UNITS |

SITE STATISTICS

SITE AREA	=	1.163 ha.	11,630.75 m2
PARKING REQUIRED - (MIXED USE BUILDING-NON RESIDENTIAL)			
3.2 SPACES/100m2 OF OFFICE AREA (90 m ²) = 3 SP			
1.1 SPACES/100m2 BALANCE OF THE GFA AREA (3253 m2) = 36 SP			
1.0 SPACE PER EMERGENCY STAFF ON DUTY = 2 SP			
4% OF 41 SPACES (FOR ACCESSIBLE PARKING) = 2 SP			
TOTAL = 3 + 36 + 2 = 41 SPACES			
MAIN LEVEL	=	2797 m2	
MEZZANINE	=	335.00 m2	
TOTAL GFA	=	3132.00 m2	
BUILDING AREA	=	2795.77 m2	24.04 %
ASPHALT AREA	=	7,928.09 m2	68.16 %
CONCRETE AREA	=	543.79 m2	4.68 %
LANDSCAPE AREA	=	363.10 m2	3.12 %
TOTAL AREA	=	11630.75 m2	100.00 %
ZONING REGULATIONS	REQUIRED	PROPOSED	
MINIMUM LANDSCAPE BUFFER			
TO STREET LINE	4.5m	4.5m	
STANDARD PARKING SPACES	41 SP (INC. 2 FOR DISABLED)	74 SP	
SETBACKS			
NORTHERLY SIDE YARD TO THE BUILDING	6.12m MIN.	7.69m	
NORTHERLY SIDE YARD TO THE CANOPY	6.12m MIN.	6.50m	
REAR YARD TO THE CANOPY	7.50m MIN.	9.35m	
CENTRE LINE TO BUILDING	25.3m MIN.	41.27m	
BICYCLE PARKING	SP	SP	
EXISTING ZONING: EMPLOYMENT (E2-16)			

PLAN OF TOPOGRAPHY OF PART OF LOT 21, CONCESSION 1 NORTH OF DUNDAS STREET (ORIGINALLY IN TOWNSHIP OF TORONTO) CITY OF MISSISSAUGA REGIONAL MUNICIPALITY OF PEEL.

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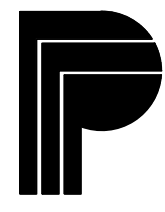
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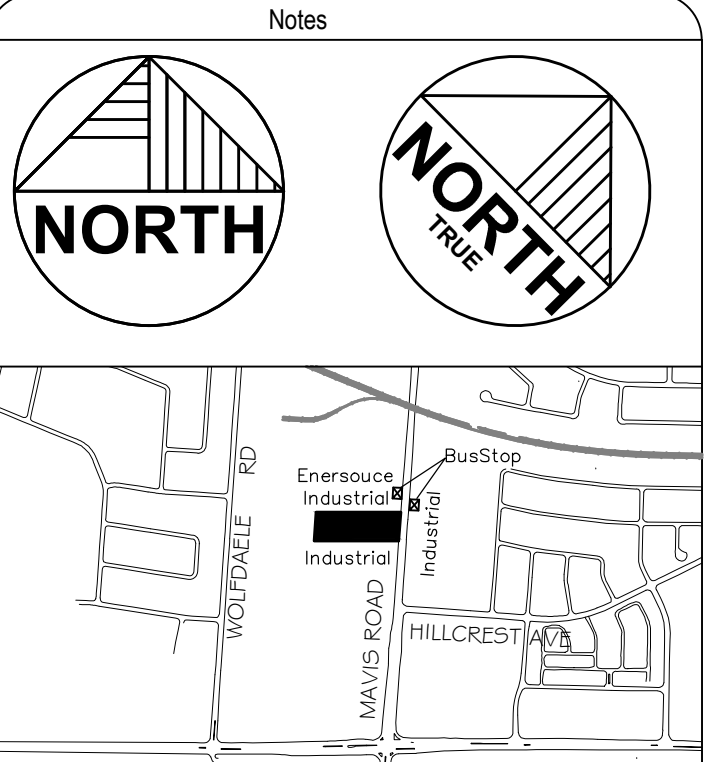
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Region of Peel

Working for You



No.	Revision / Issue	Date
23	AS BUILT	2019/01/18
22	ISSUED FOR CCO#107	2018/04/17
21	ISSUED FOR CCO#90	2018/01/22
20	ISSUED FOR CONSTRUCTION	2016/09/28
19	ISSUED FOR COORDINATION	2016/09/21
18	RE-ISSUED FOR CVCA PERMIT	2016/09/07
17	RE-ISSUED FOR SPA	2016/09/07
16	RE-ISSUED FOR SPA	2016/08/31
15	ISSUED FOR ACCESS MODIFICATION PERMIT	2016/08/29
14	ISSUED FOR ADDENDUM 1	2016/07/20
13	ISSUED FOR TENDER	2016/06/30
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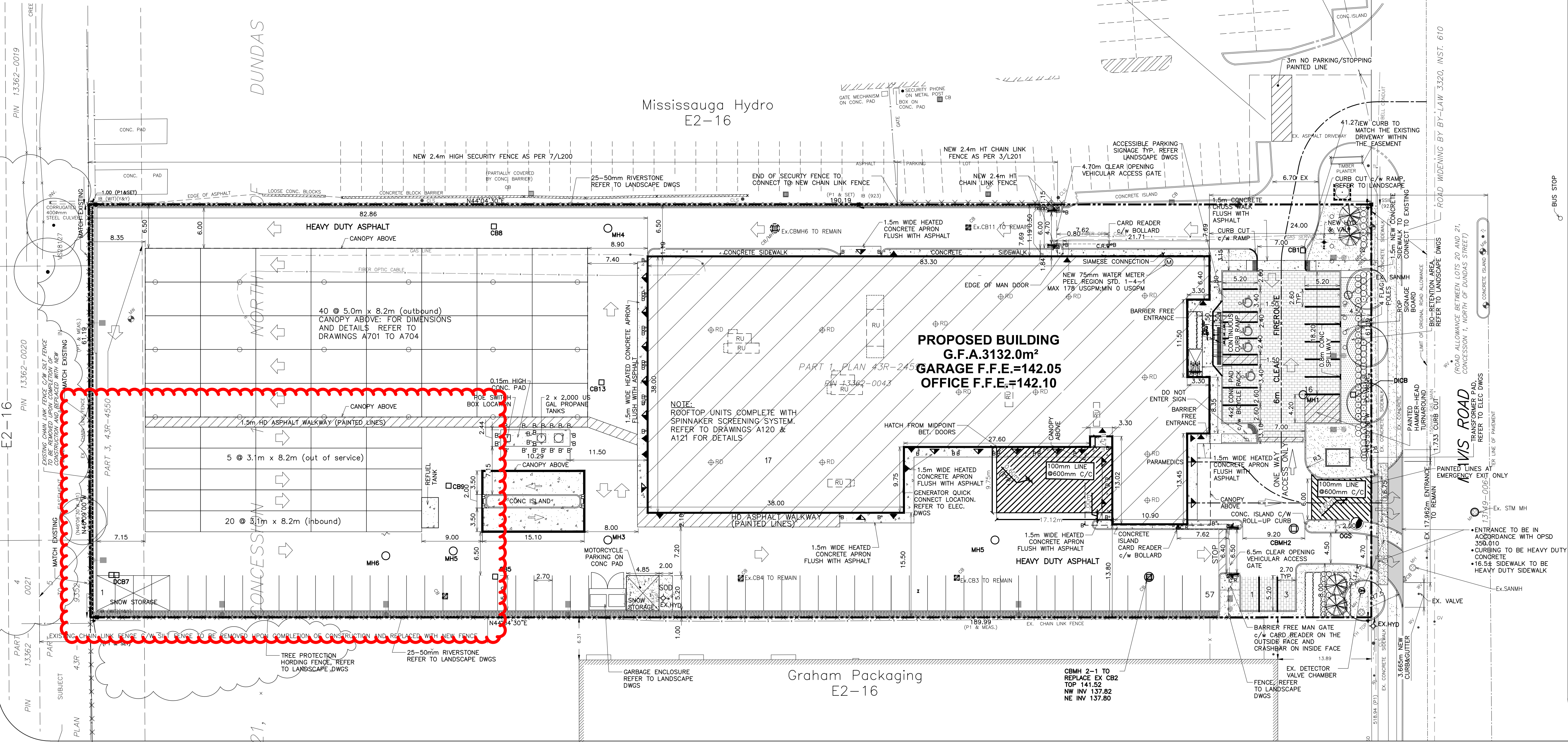
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3190 Mavis Rd. Mississauga, ON.

Drawing Title
SITE PLAN

SP 15/026 W6

Drawn By:	R.P.R.	Checkd:	R.Z.
Project #	14003	Drawing #	SP1
Date	2014		
Scale	1:300		

Sht. 3 of 231



Graham Packaging
E2-16

CBMH 2-1 TO
REPLACE EX CB2
TOP 141.52
NW INV 137.82
NE INV 137.80

- GENERAL NOTES:
1. CONTRACTOR TO VERIFY ALL EXISTING SERVICES LOCATIONS PRIOR TO DEMOLITION. ANY DISCREPANCIES OR CONFLICT TO BE REPORTED TO THE CONSULTANT IMMEDIATELY.
 2. PLUGGING OF EXISTING SERVICES:
 - CONTRACTOR TO LOCATE AND PLUG EX. SANITARY AND WATER SERVICES AS PER REGION OF PEEL STANDARDS.
 3. ALL CURB, CONCRETE RETAINING WALL, GRAVEL, FENCE, BOLLARD, SIGNS, ETC. WITHIN THE PROPERTY TO BE REMOVED.
 4. EXISTING PLYBOARD HOARDING FENCE (2.4m HIGH), POST ALONG WITH THE CONCRETE POST BASE AND TWO GATES TO BE REMOVED AND DISPOSED OFF AFTER COMPLETION OF CONSTRUCTION.
 5. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSING, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF HIS WORK. WHETHER SHOWN ON THE PLANS OR NOT, AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.
 6. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO UTILITIES PRIOR TO CROSSING SUCH UTILITIES, FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION.
 7. COORDINATE DRAWINGS SP1 & SP4 FOR ANY ADDITIONAL SITE REMOVAL NOTES.
 8. REMOVE ALL EXISTING VEGETATION ON SITE COMPLETE WITH ROOTS AND DISPOSE OFF LEGALLY OFFSITE.
 9. REMOVE ALL ASPHALT C/W GRANULAR LAYERS TO SUBGRADE AND MAKE SURFACE READY FOR NEW FINISH.
 10. ALL EXISTING SILT SACKS TO BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION.
 11. ALL EXISTING CATCH BASIN, DRAINS, PIPE FITTINGS UNDER EXISTING SLABS TO BE REMOVED AND DISPOSED OFF LEGALLY.
 12. EXISTING HOARDING TO BE MAINTAINED IN GOOD ORDER UNTIL COMPLETION OF CONSTRUCTION.

- CONSTRUCTION NOTES:
1. ANY INFORMATION SHOWN ON THIS PLAN REGARDING LOCATION AND SIZE OF EXISTING UTILITIES OR SERVICES IS FURNISHED AS THE BEST INFORMATION AVAILABLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING SERVICES AND CONFIRM ALL EXISTING INVERTS, OBVERTS, PAVEMENT ELEVATIONS BEFORE CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER, SO THAT NECESSARY ADJUSTMENTS CAN BE MADE TO RECTIFY THE CONFLICT.
 2. ALL THE CONSTRUCTION WORKS FOR THIS PROJECT SHALL COMPLY WITH THE CURRENT STANDARDS, DRAWINGS AND SPECIFICATIONS OF THE CITY OF MISSISSAUGA AND APPLICABLE ONTARIO PROVINCIAL STANDARD AND SPECIFICATIONS.
 3. THIS PLAN SHOULD BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT'S PLANS. ANY DISCREPANCIES SHALL BE CLARIFIED WITH THE ENGINEER.

OWNERS

REGIONAL MUNICIPALITY OF PEEL
10 PEEL CENTRE DR.
SUITE B, 6th FLOOR
BRAMPTON, ONTARIO

CONTACT: ASHWANI SINHA
P (905) 791-7800 Ext.7690
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APPLICANT

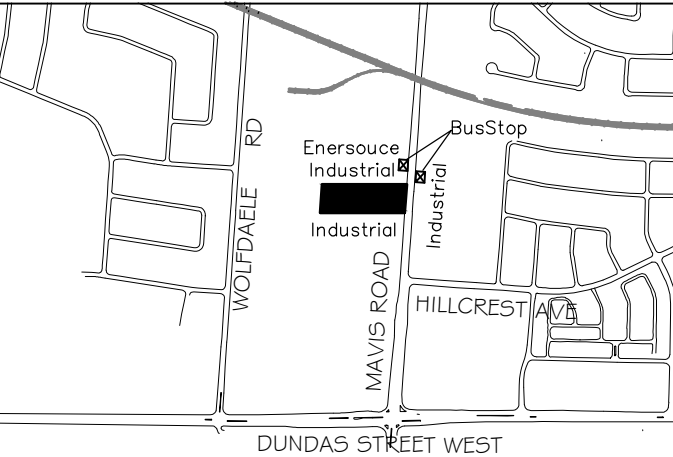
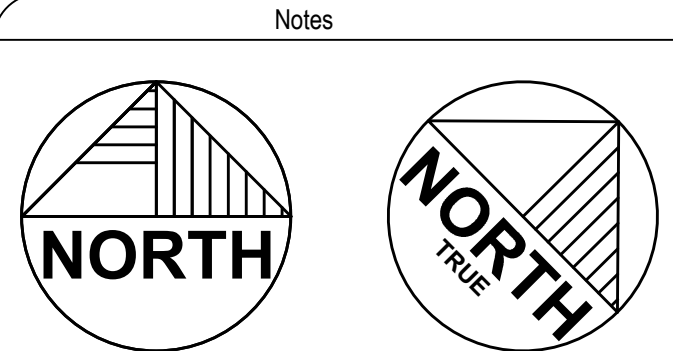
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PLAN OF TOPOGRAPHY OF PART OF LOT 21, CONCESSION 1 NORTH OF DUNDAS STREET (ORIGINALLY IN TOWNSHIP OF TORONTO) CITY OF MISSISSAUGA REGIONAL MUNICIPALITY OF PEEL

EXISTING LEGAL BOUNDARIES AND TOPOGRAPHIC INFORMATION ARE BASED ON SURVEY PROVIDED BY TARASICK McMILLAN KUBICHI LIMITED, MISSISSAUGA ONTARIO, (905) 569-8849, DATED OCT. 12, 2011. File No. 5891-T.

ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC 1928, AND WERE DERIVED FROM CITY OF MISSISSAUGA BENCHMARK NO. 369, HAVING A PUBLISHED ELEVATION OF 142.841 METRES.



No.	Revision / Issue	Date
14	AS BUILT	2019/01/18
13	REISSUED FOR CONSTRUCTION CCO005	2016/12/22
12	ISSUED FOR CONSTRUCTION	2016/09/28
11	RE-ISSUED FOR SPA	2016/08/31
10	ISSUED FOR ADDENDUM 1	2016/07/20
9	ISSUED FOR 100% CLIENT REVIEW	2016/06/13
8	RE-ISSUED FOR SPA	2016/03/04
7	ISSUED FOR CVC PERMIT / AS PER CITY COMMENTS	2015/07/31
6	ISSUED AS PER CITY COMMENTS	2015/06/02
5	ISSUED FOR PERMIT / 66% CLIENT REVIEW	2015/04/28
4	ISSUED FOR REVIEW	2015/04/15

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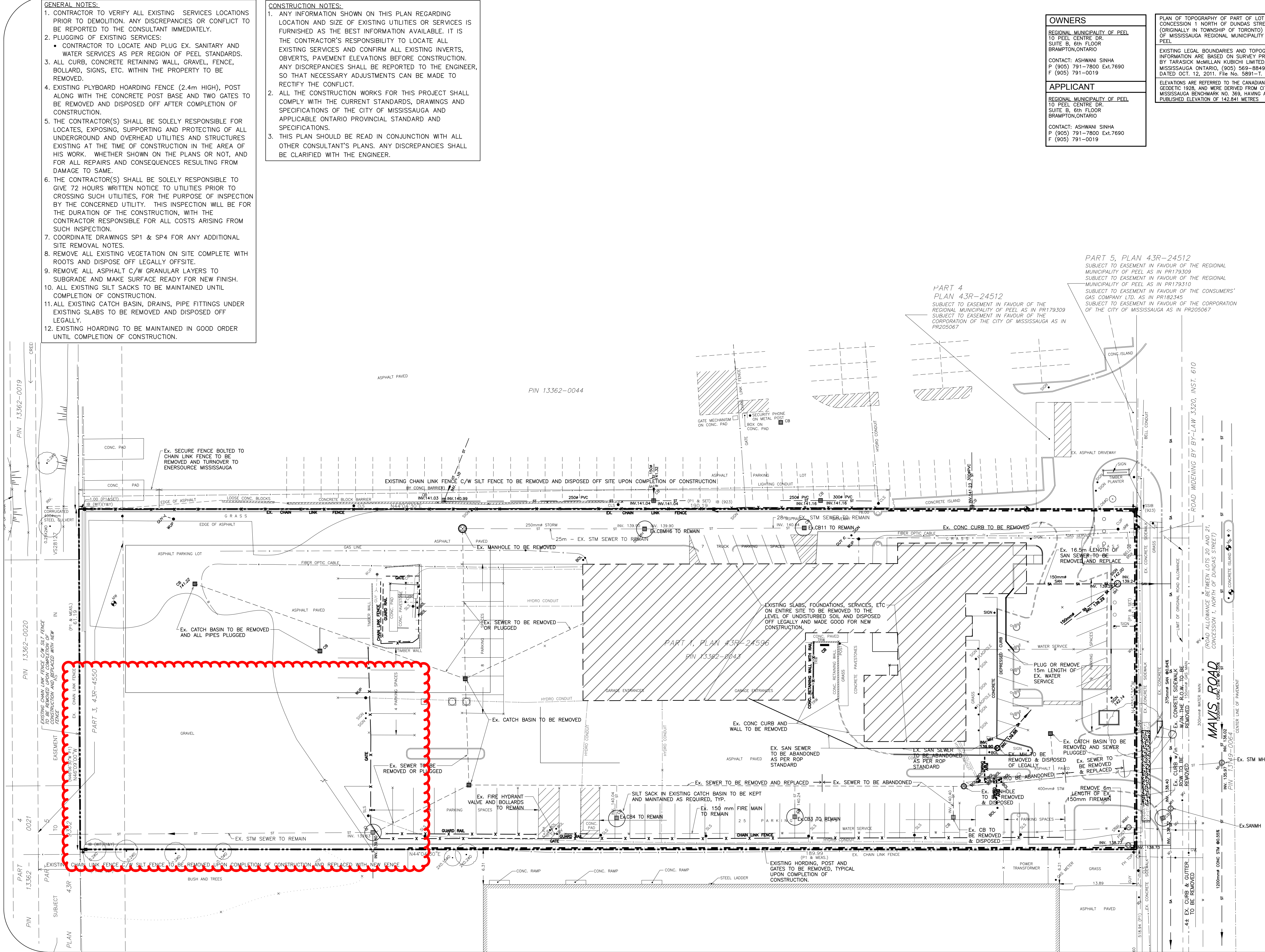
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Project Title
**REGIONAL MUNICIPALITY OF PEEL
REDEVELOPMENT OF 3190 MAVIS ROAD
3190 Mavis Rd. Mississauga, ON.**

Drawing Title
SITE DEMOLITION PLAN

SP 15/026 W6

Drawn By:	R.P.R.	Checkd:	R.Z.
Project #	14003	Drawing #	SP2
Date	2014		
Scale	1:300		Sht. 4 of 231



NOTES:

1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF CITY OF MISSISSAUGA.
2. THE LOCATION OF ALL UNDER/ABOVE GROUND UTILITIES AND STRUCTURES SHOWN ON THE DRAWINGS IS APPROXIMATE ONLY. THE CONTRACTOR SHALL ENSURE THEIR EXACT LOCATION BY CALLING FOR LOCATES BY THE CONCERNED UTILITY. THE CONTRACTOR SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.
3. ALL ASPHALT REMOVED IS TO BE DISPOSED OFF-SITE.
4. ALL CONCRETE CURB HEIGHTS TO BE 150mm UNLESS NOTED OTHERWISE. ALL CURBING TO BE BARRIER CURB AS PER OSPD 600.110.
5. CONTRACTOR IS TO SAWCUT AND CONSTRUCT LAP JOINTS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT AND IS TO RESTORE PAVEMENT AND GRANULARS AS PER THE RECOMMENDED PAVEMENT STRUCTURE.

GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH THE STANDARD & SPECIFICATIONS OF THE CITY OF MISSISSAUGA, REGION OF PEEL, AND OPSD.
2. GRADING OF THE SITE SHOULD NOT CAUSE FLOODING TO ADJACENT PROPERTIES.
3. MUNICIPAL SIDEWALKS THAT ARE REMOVED SHOULD BE RECONSTRUCTED AS PER OPSD 310.010.
4. ALL DIMENSIONS AND LOCATIONS OF EXISTING UTILITY SHALL BE VERIFIED PRIOR TO THE COMMENCEMENT OF WORK, AND ANY DISCREPANCIES TO BE REFERRED TO THE ENGINEER.
5. ALL CONCRETE CURBS SHALL BE BARRIER TYPE WITH A MINIMUM HEIGHT OF 150MM.
6. ALL MANHOLES AND CATCHBASINS SHALL BE BACKFILLED WITH GRANULAR "B", MINIMUM THICKNESS OF 300MM TO 95% STANDARD PROCTOR DENSITY.
7. THE SITE SERVICING AND GRADING PLAN SHALL BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SITE PLAN.
9. ALL FILL WITHIN THE SITE SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARDS PROCTOR DENSITY.
10. SLAB ON GRADE (TYP. U.N.O.) - 125mm THICK 25MPa CONCRETE SLAB REINFORCED WITH 1 LAYER OF 152x152 MM@8.7MM@8.7 AT MID-DEPTH EACH WAY, A LAYER OF 19mm CLEAR CRUSHED STONES, AT LEAST 200mm THICK AND COMPACTED BY VIBRATION TO 98 % OF ITS STANDARD PROCTOR MAXIMUM DRY DENSITY, SHOULD BE PLACED UNDER THE FLOOR SLAB. REFER TO GEOTECHNICAL INVESTIGATION FOR SUB-BASE RECOMMENDATIONS. CONCRETE APRON AND SIDEWALK ADJACENT TO BUILDING SHALL BE DOWELED TO THE FOUNDATION TO PREVENT UPLIFT OR SETTLEMENT. ADD 15M@600MM DOWELS X 600MM LONG AND DRILL INTO EXISTING SLAB.

NOTES:

1. THE GEOTECHNICAL AND ENVIRONMENTAL SUITABILITY OF THE FILL WILL BE ASSESSED BY THE GEOTECHNICAL ENGINEER.
2. THIS DRAWING IS FULLY COORDINATED WITH TREE INVENTORY AND PRESERVATION PLAN.

NOTES:

- THE PORTION OF THE DRIVEWAY WITHIN MUNICIPAL BOULEVARD WILL BE PAVED BY THE APPLICANT.
- ALL PROPOSED CURBING WITHIN THE MUNICIPAL BOULEVARD AREA FOR THE SITE IS TO BE IN ACCORDANCE WITH OPSD 350.010.
- ALL EXCESS EXCAVATED MATERIAL WILL BE REMOVED FROM SITE.
- ANY WORK ON ADJACENT PROPERTIES MUST HAVE THE WRITTEN AUTHORIZATION OF THE ADJUTING PROPERTY OWNER.

LEGEND

←	FLOW DIRECTION TO CATCH BASIN
+ 151.95	PROPOSED ELEVATION
+ 151.95	TOP OF WALL ELEVATION
x 242.00	Ex. ELEVATION
CB	Ex. CATCH BASIN
CBMH	Ex. CATCH BASIN MANHOLE
○	PROPOSED OIL GRIT SEPARATOR
○	PROPOSED STORM MANHOLE
□	PROPOSED CATCHBASIN
○	PROPOSED CATCHBASIN MANHOLE
□	PROPOSED CONCRETE PAD OR CONCRETE SIDEWALK
▨	EXISTING ASPHALT TO BE REMOVED AND REPLACE BY HEAVY DUTY ASPHALT
▨	PROPOSED BUILDING FOOTPRINT
▨	PROPOSED PERVIOUS STABLE SURFACING (REFER 4/L201 DRAWING FOR DETAIL)
▨	DENOTES PROPOSED CURB CUT OR DEPRESSED CURB
C/C OR D/C	

OWNERS

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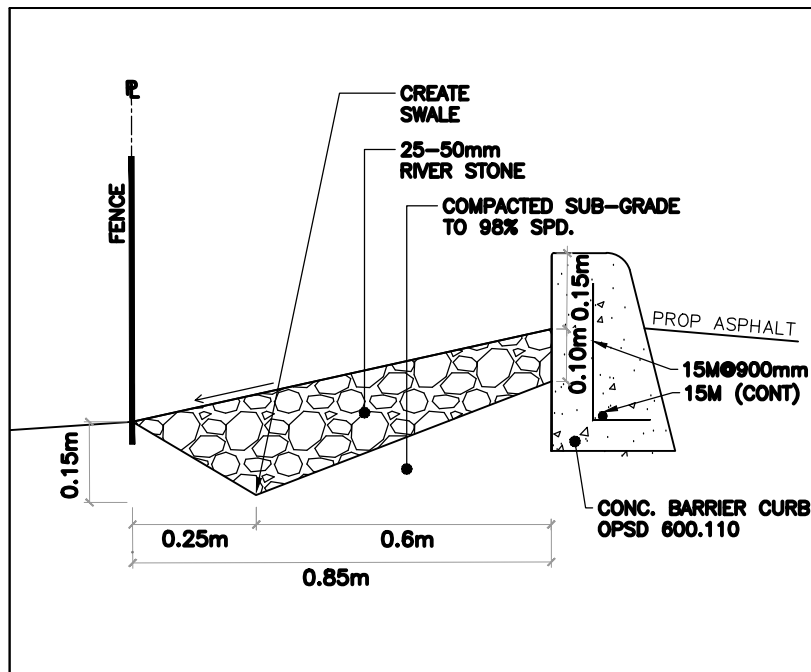
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PAVEMENT STRUCTURE THICKNESS-FLEXIBLE

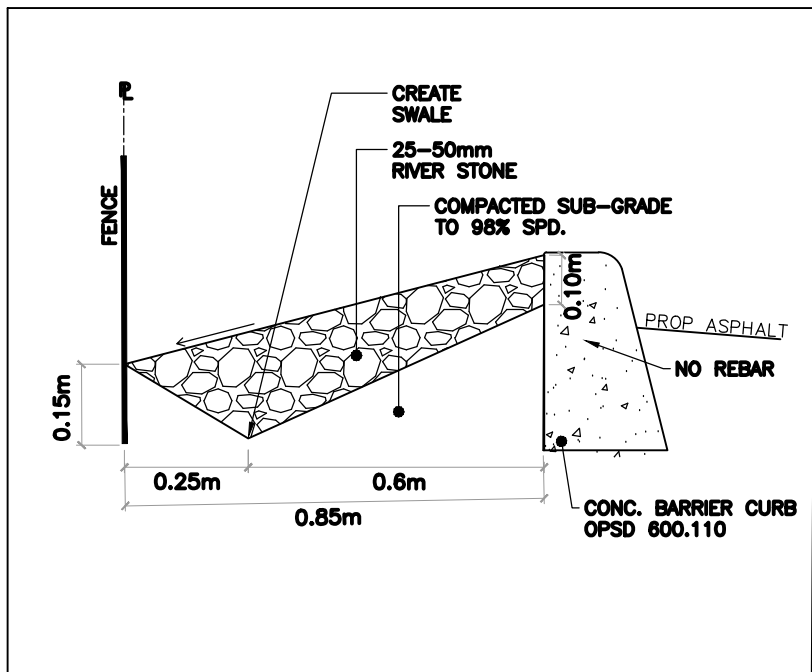
MATERIAL		THICKNESS OF PAVEMENT ELEMENTS(mm)
		HEAVY-DUTY
SURFACE COURSE ASPHALTIC MATERIAL 97% MMD	HL 3 SURFACE	40
	HL 8 SURFACE	80
OPSS BASE COURSE GRANULAR MATERIAL 100% SPMD	GRANULAR 'A' OR 20mm CRUSHER RUN LESTONE	150
OPSS SUB-BASE COURSE GRANULAR MATERIAL 100% SPMD	GRANULAR 'B' OR 50mm CRUSHER RUN	400

PER RECOMMENDATION IN REPORT PREPARED BY SPL CONSULTANT LTD., APRIL 08, 2015
SPMD DENOTES STANDARD PROCTOR MAXIMUM DRY DENSITY, ASTM-D695

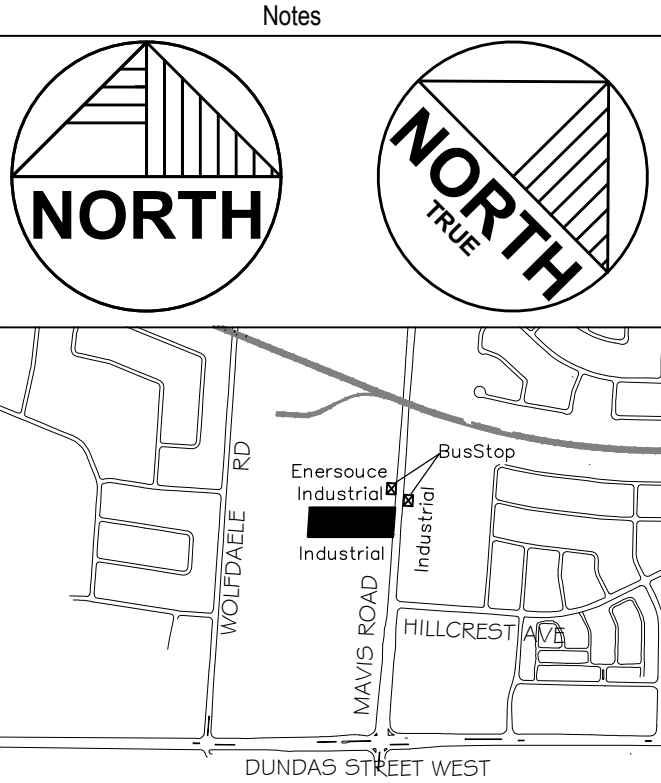
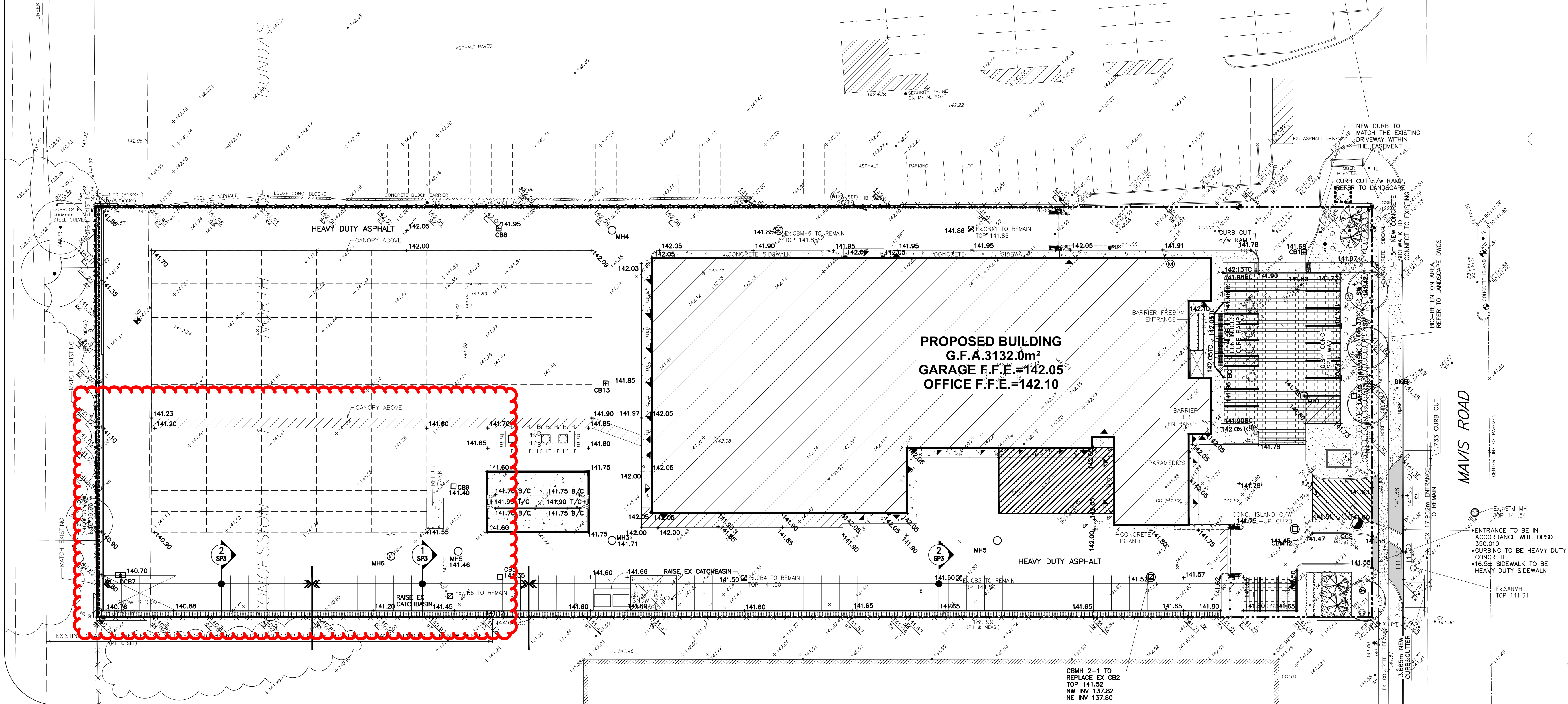
PLAN OF TOPOGRAPHY OF PART OF LOT 21,
CONCESSION 1 NORTH OF DUNDAS STREET
(ORIGINALLY IN TOWNSHIP OF TORONTO) CITY
OF MISSISSAUGA REGIONAL MUNICIPALITY OF
PEEL
EXISTING LEGAL BOUNDARIES AND TOPOGRAPHIC
INFORMATION ARE BASED ON SURVEY PROVIDED
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MISSISSAUGA ONTARIO, (905) 569-8849.
DATED OCT. 12, 2011. File No. 5891-T.
ELEVATIONS ARE REFERRED TO THE CANADIAN
GEODETIC 1928, AND WERE DERIVED FROM CITY OF
MISSISSAUGA BENCHMARK NO. 369, HAVING A
PUBLISHED ELEVATION OF 142.841 METRES



1 SECTION
SCALE: N.T.S



2 SECTION
SCALE: N.T.S



No.	Revision / Issue	Date
18	AS BUILT	2019/01/18
17	ISSUED FOR CCO #108	2018/04/17
16	ISSUED FOR S.I. # 44	2017/12/13
15	ISSUED FOR CONSTRUCTION	2016/09/28
14	ISSUED FOR COORDINATION	2016/09/21
13	RE-ISSUED FOR CVCA PERMIT	2016/09/07
12	RE-ISSUED FOR SPA	2016/08/31
11	ISSUED FOR ADDENDUM 1	2016/07/20
10	ISSUED FOR TENDER	2016/06/30
9	ISSUED FOR 100% CLIENT REVIEW	2016/06/13
8	RE-ISSUED FOR SPA	2016/03/04
7	ISSUED FOR CVC PERMIT / AS PER CITY COMMENTS	2015/12/03
6	99% CLIENT REVIEW	2015/09/10

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Project Title
**REGIONAL MUNICIPALITY OF PEEL
REDEVELOPMENT OF 3190 MAVIS ROAD
3190 Mavis Rd. Mississauga, ON.**

Drawing Title
SITE GRADING PLAN
SP 15/026 W6

Drawn By: R.P.R. Checkd: V.L.
Project # 14003 Drawing #
Date 2014
Scale 1:300
SP3
Sht. 5 of 231

REGION OF PEEL NOTES FOR WATERMAIN AND SANITARY SEWER:

1. ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO THE CURRENT PEEL PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
2. WATERMAIN AND/OR WATER SERVICE MATERIALS FOR SIZE UP TO AND INCLUDING 300 mm SHALL BE PVC DR18 AWWA C900 WITH RUBBER GASKETED BELL AND SPOUT JOINTS, INSTALLED WITH 12 GAUGE STRANDED TRACER WIRE, JOINTS RESTRAINED WHERE REQUIRED BE DESIGN AND WRAPPED WITH CORROSION PROTECTIVE SYSTEM. SIZE 50mm AND SMALLER MUST BE TYPE 'K' SOFT COPPER.
3. WATERMAINS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 1.7m(5'6") WITH HORIZONTAL SPACING OF 1.2m(4') FROM THEMSELVES AND ALL OTHER UTILITIES.
4. PROVISIONS FOR FLUSHING WATER LINE PRIOR TO TESTING, ETC. MUST BE PROVIDED WITH AT LEAST A 50mm(2") OUTLET ON 100mm(4") AND LARGER LINES. COPPER LINES ARE TO HAVE FLUSHING POINTS AT THE END, THE SAME SIZE AS THE LINE. THEY MUST ALSO BE HOSED OR PIPED TO ALLOW THE WATER TO DRAIN ONTO A PARKING LOT OR DOWN A DRAIN. ON FIRE LINES, FLUSHING OUTLET TO BE 100mm(4") DIA. MIN. ON A HYDRANT.
5. ALL CURB STOPS TO BE 3.0m(10') OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
6. HYDRANT AND VALVE SET TO REGION STANDARD 1-6-1 DIMENSION A AND B, 0.7m(2') AND 0.9m(3') AND TO HAVE PUMPER NOZZLE.
7. WATERMAINS TO BE INSTALLED TO GRADES AS SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHERE REQUESTED BY INSPECTOR.
8. WATERMAINS MUST HAVE A MINIMUM VERTICAL CLEARANCE OF 0.30m(12") OVER/0.5m(20") UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING.
9. ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND CHLORINATING FROM EXISTING SYSTEMS.
10. ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTACTING THE OPERATIONS AND MAINTENANCE DIVISION.
11. ALL SANITARY SEWERS AND CONNECTIONS SHALL BE PVC SDR-35.
12. BEDDING FOR SANITARY SEWERS SHALL BE CLASS "B" AS PER STANDARD 2-3-1.
13. MANHOLES SHALL BE AS PER STANDARD 2-1-1 WITH BENCHING AS PER STANDARD 2-1-4. FRAME COVER SHALL BE AS PER STANDARD 2-2-2. MANHOLE STEPS SHALL BE AS PER STANDARD 2-2-4.

REGION OF PEEL NOTE:

ALL PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-CONNECTION CONTROL DEVICE, CONSISTENT WITH THE DEGREE OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PEEL STANDARDS 1-7-7 OR 1-7-8.

STORM SEWERS:

1. ALL MATERIALS USED SHOULD CONFORM TO THE CITY OF MISSISSAUGA POLICY, STANDARDS, GUIDELINES AND SPECIFICATIONS, REGION OF PEEL OPSD.
2. ALL MANHOLES, CATCHBASINS, AND STORM SEWERS INVERTS, SIZES, LOCATION AND CONNECTION SHALL BE VERIFIED BEFORE CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER.
3. ALL STORM SEWERS SHALL BE PVC PIPE SDR 35 OR EQUIVALENT.
4. PIPE BEDDING SHALL BE CLASS "B" AS PER OPSD 802.02
5. ALL MANHOLES SHALL BE 1200MM PRECAST CONCRETE AS PER OPSD 701.01, UNLESS OTHERWISE STATED.
6. ALL CATCHBASINS AND MANHOLES SHALL HAVE A MINIMUM OF 0.3M SUMP.
7. A PVC SUB-DRAINS SHALL BE INSTALLED RADIALLY (3M FROM CB) AT ALL CATCHBASINS AND MANHOLES. THE SUBDRAINS SHALL BE WRAPPED WITH GEOTEXTILE FILTER FABRIC AND INSTALLED 0.3M BELOW SUBGRADE ELEVATION SURROUNDED BY THE APPROPRIATE GRANULAR FILTER
9. ALL CATCHBASIN GRATES SHALL BE AS PER OPSD 400.01
10. ALL STORM SEWERS SHALL BE FLUSHED AND VIDEO INSPECTED.
11. EXISTING SUBDIVISION GRADES ARE TO BE MAINTAINED AT PROPERTY BOUNDARIES.

CONSTRUCTION NOTES:

1. ANY INFORMATION SHOWN ON THIS PLAN REGARDING LOCATION AND SIZE OF EXISTING UTILITIES OR SERVICES IS FURNISHED AS THE BEST INFORMATION AVAILABLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING SERVICES AND CONFIRM ALL EXISTING INVERTS, OBVERTS, PAVEMENT ELEVATIONS BEFORE CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER, SO THAT NECESSARY ADJUSTMENTS CAN BE MADE TO RECTIFY THE CONFLICT.
2. ALL THE CONSTRUCTION WORKS FOR THIS PROJECT SHALL COMPLY WITH THE CURRENT STANDARDS, DRAWINGS AND SPECIFICATIONS OF THE CITY OF MISSISSAUGA AND APPLICABLE ONTARIO PROVINCIAL STANDARD AND SPECIFICATIONS.
3. THIS PLAN SHOULD BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT'S PLANS. ANY DISCREPANCIES SHALL BE CLARIFIED WITH THE ENGINEER.

GENERAL NOTES:

1. LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR.
2. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSING, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF HIS WORK. WHETHER SHOWN ON THE PLANS OR NOT, AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.
3. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO UTILITIES PRIOR TO CROSSING SUCH UTILITIES, FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION.
4. The make and model of the OGS will be Stormceptor STC 2000

NOTES:

- ANY WORK ON ADJACENT PROPERTIES MUST HAVE THE WRITTEN AUTHORIZATION OF THE ADJUTING PROPERTY OWNER.

OWNERS

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LEGEND

○	MH	PROPOSED STORM MANHOLE
□	CB	PROPOSED CATCHBASIN
○	CBMH	PROPOSED CATCHBASIN MANHOLE
●	RD	PROPOSED STORMCEPTOR
○	RD	ROOF DRAIN
■	CB	Ex. CATCH BASIN
○	MH	Ex. MAINTENANCE HOLE
○	FH	Ex. FIRE HYDRANT
○	WV	Ex. WATER VALVE
○	SLS	Ex. STEEL LIGHT STANDARD
—	ST	Ex. STORM SEWER
—	SA	Ex. SANITARY SEWER
—	S	Ex. U/G GAS LINE
—	W	Ex. U/G WATER LINE
—	H	Ex. HYDRO
—	B	Ex. BELL
—		PROP. WEAVING TILE

PLAN OF TOPOGRAPHY OF PART OF LOT 21, CONCESSION 1 NORTH OF DUNDAS STREET (ORIGINALLY IN TOWNSHIP OF TORONTO) CITY OF MISSISSAUGA REGIONAL MUNICIPALITY OF PEEL

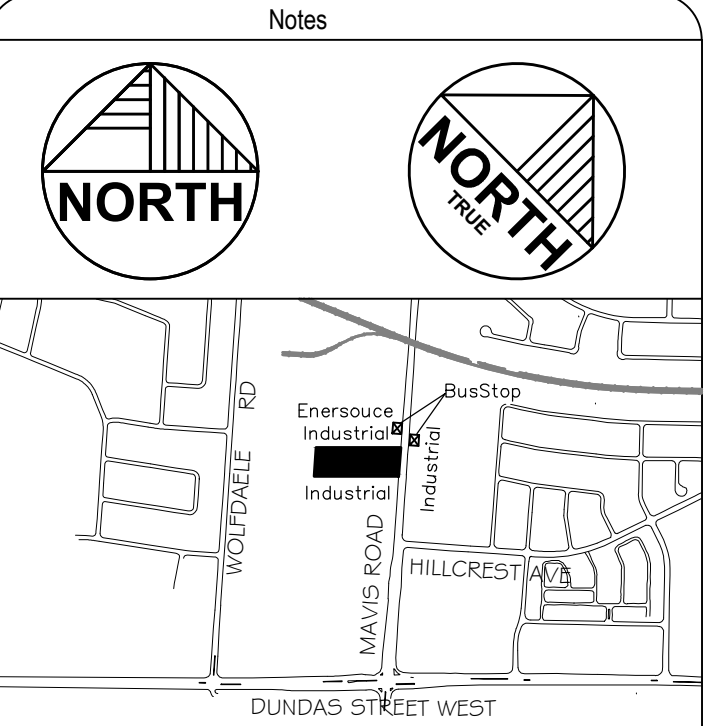
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Region of Peel

Working for You



No.	Revision / Issue	Date
20	AS BUILT	2019/01/18
19	ISSUED FOR CCO046	2017/07/17
18	REISSUED FOR CONSTRUCTION CCO005	2016/12/22
17	ISSUED FOR CONSTRUCTION	2016/09/28
16	RE-ISSUED FOR CVCA PERMIT	2016/09/07
15	RE-ISSUED FOR SPA	2016/08/31
14	ISSUED FOR ADDENDUM 1	2016/07/20
13	RE-ISSUED FOR TENDER/PERMIT	2016/07/15
12	ISSUED FOR TENDER	2016/06/30
11	ISSUED FOR 100% CLIENT REVIEW	2016/06/13
10	RE-ISSUED FOR SPA	2016/03/04
9	ISSUED FOR CVC PERMIT / AS PER CITY COMMENTS	2015/01/20/3
8	99% CLIENT REVIEW	2015/09/10
7	AS PER ROP COMMENTS	2015/07/31
6	ISSUED FOR ROP REVIEW	2015/06/19
5	ISSUED AS PER CITY COMMENTS	2015/06/02

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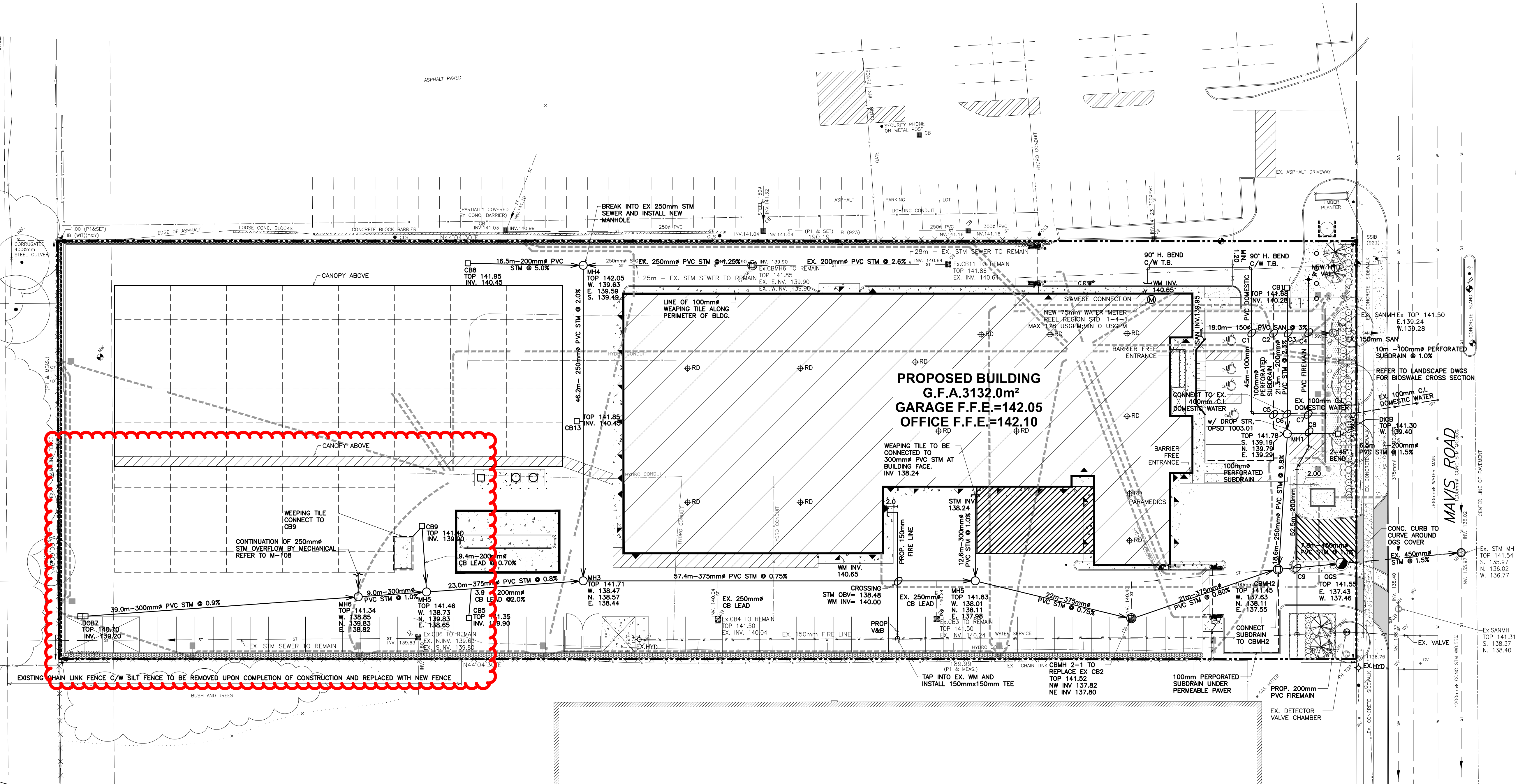
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Project Title
**REGIONAL MUNICIPALITY OF PEEL
REDEVELOPMENT OF 3190 MAVIS ROAD**
3190 Mavis Rd. Mississauga, ON.

Drawing Title
SITE SERVICING PLAN

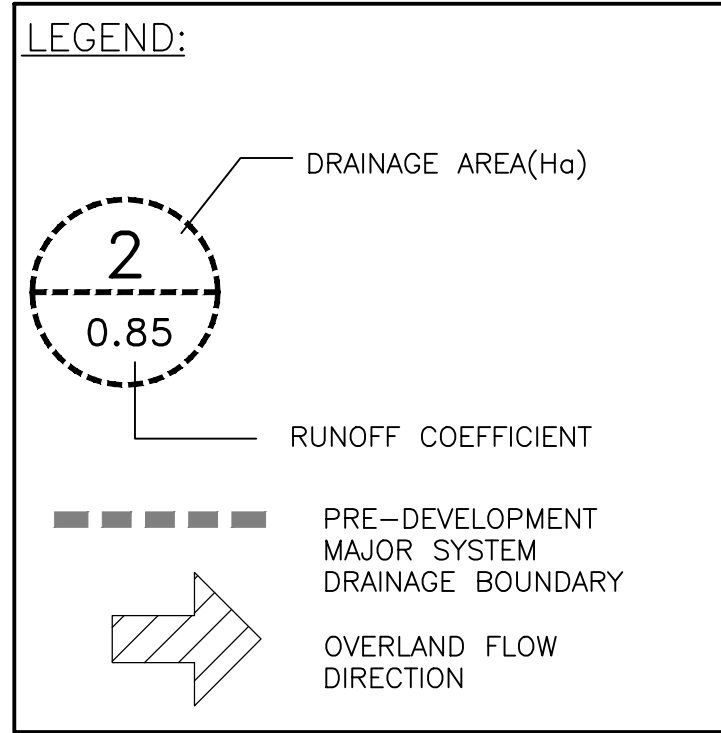
SP 15/026 W6

Drawn By:	R.P.R.	Checkd:	V.L.
Project #	14003	Drawing #	SP4
Date	2014		
Scale	1:300		Sht. 6 of 231



CROSS-ING	TOP [m]	W M [m]	STM [m]	SAN [m]	CLEARANCE [m]
C1	141.89	INV. 140.09	—	OBV. 139.79	0.30
C2	141.84	—	INV. 141.29	OBV. 139.69	1.60
C3	141.80	—	INV. 140.13	OBV. 139.63	0.50
C4	141.77	INV. 139.87	—	OBV. 139.54	0.33
C5	141.82	OBV. 140.04	INV. 141.29	—	1.25
C6	141.79	INV. 139.99	OBV. 140.05	—	*LOWER WTM
C7	141.73	100mm INV. 139.95	—	—	0.35
C8	141.74	INV. 139.83	—	—	0.32
C9	141.49	INV. 139.56	OBV. 137.97	—	1.59

LOWER NEW DOMESTIC WATER CONNECTION @ CROSSING AND CONNECT TO EXISTING



NOTES:

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OWNERS

REGIONAL MUNICIPALITY OF PEEL
10 PEEL CENTRE DR.
SUITE B, 6th FLOOR
BRAMPTON, ONTARIO

CONTACT: ASHWANI SINHA
P (905) 791-7800 Ext.7690
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APPLICANT

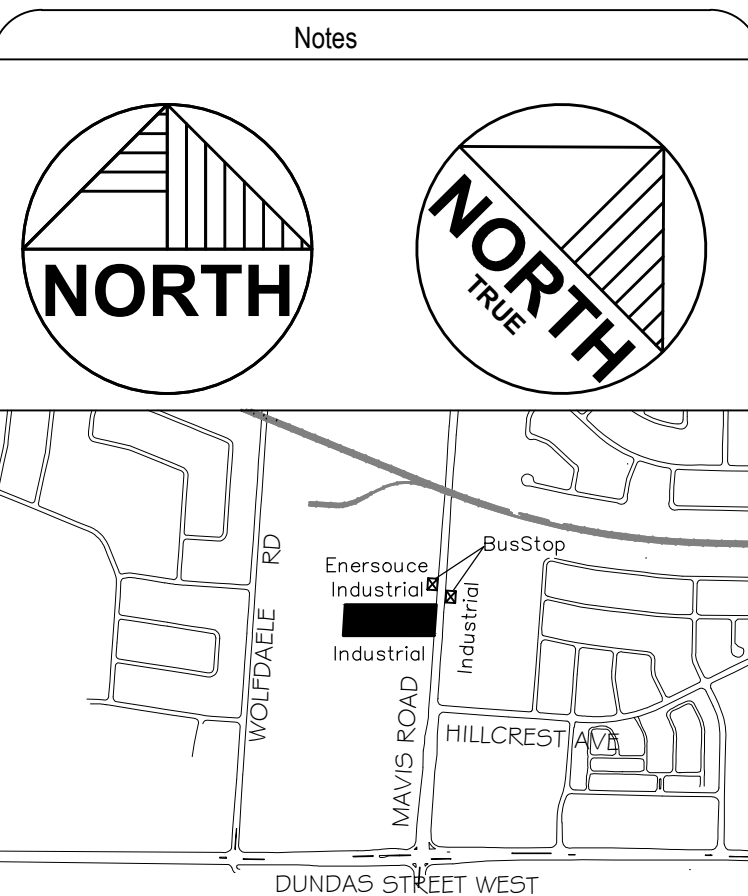
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PLAN OF TOPOGRAPHY OF PART OF LOT 21, CONCESSION 1 NORTH OF DUNDAS STREET (ORIGINALLY IN TOWNSHIP OF TORONTO) CITY OF MISSISSAUGA REGIONAL MUNICIPALITY OF PEEL

EXISTING LEGAL BOUNDARIES AND TOPOGRAPHIC INFORMATION ARE BASED ON SURVEY PROVIDED BY TARASICK MAMILLAN KUBICKI LIMITED, MISSISSAUGA, ONTARIO, (905) 569-8849, DATED OCT. 12, 2011, File No. 5891-T.

ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC 1928, AND WERE DERIVED FROM CITY OF MISSISSAUGA BENCHMARK NO. 569, HAVING A PUBLISHED ELEVATION OF 142.841 METRES



No.	Revision / Issue	Date
13	AS BUILT	2019/01/18
12	ISSUED FOR CONSTRUCTION	2016/09/28
11	RE-ISSUED FOR SPA	2016/08/31
10	ISSUED FOR ADDENDUM 1	2016/07/20
9	ISSUED FOR TENDER	2016/06/30
8	ISSUED FOR 100% CLIENT REVIEW	2016/06/13
7	RE-ISSUED FOR SPA	2016/03/04
6	ISSUED FOR CVC PERMIT / AS PER CITY COMMENTS	2015/12/03
5	99% CLIENT REVIEW	2015/09/10
4	ISSUED AS PER CITY COMMENTS	2015/06/02

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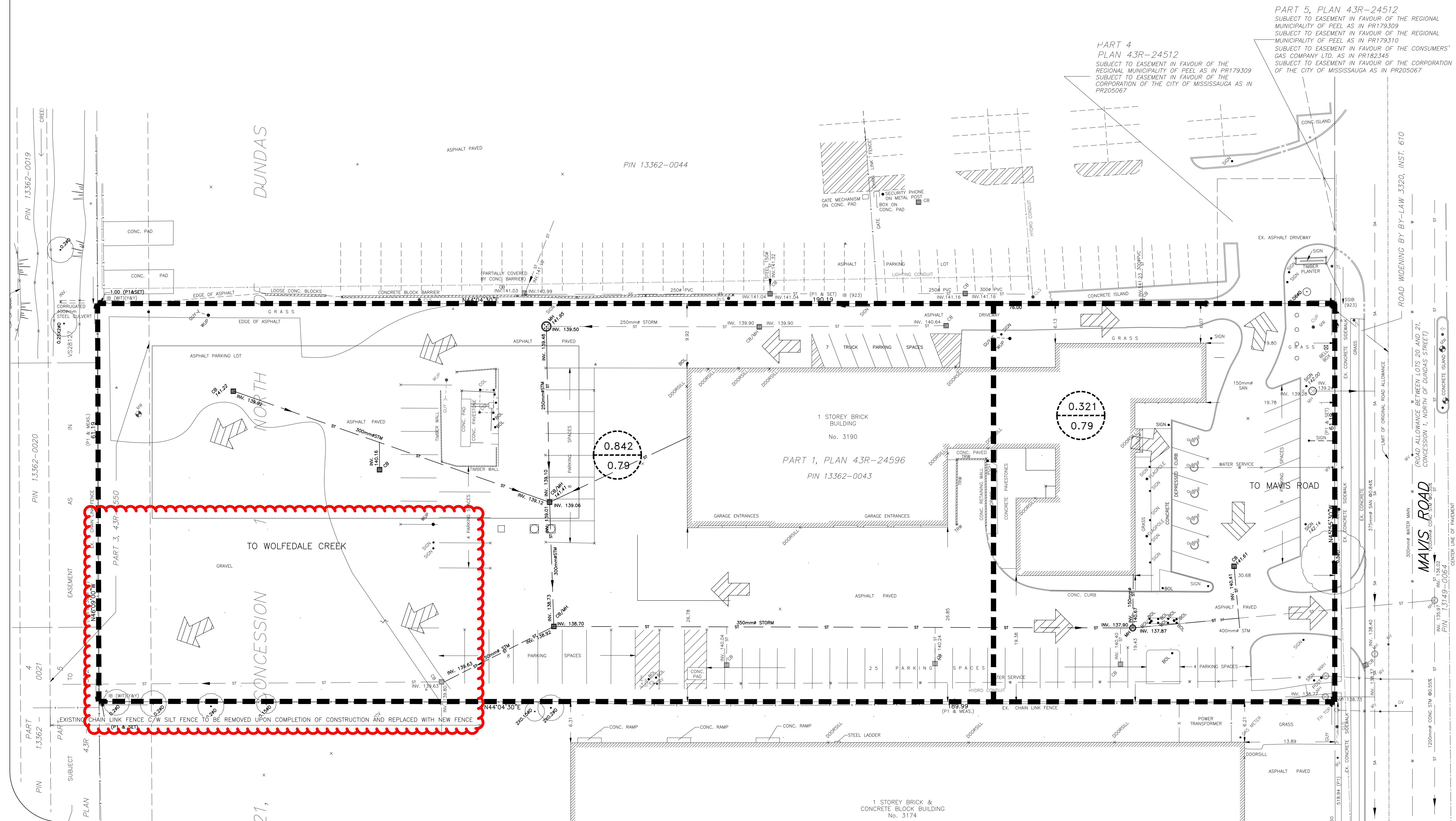
ARCHITECTS, CONSULTING ENGINEERS & PROJECT MANAGERS
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BRAMPTON, ON L6X 1S9
T. 905.457.1618 F. 905.457.8852
EMAIL@REINDERS.CA WWW.REINDERS.CA

Project Title
**REGIONAL MUNICIPALITY OF PEEL
REDEVELOPMENT OF 3190 MAVIS ROAD
3190 Mavis Rd. Mississauga, ON.**

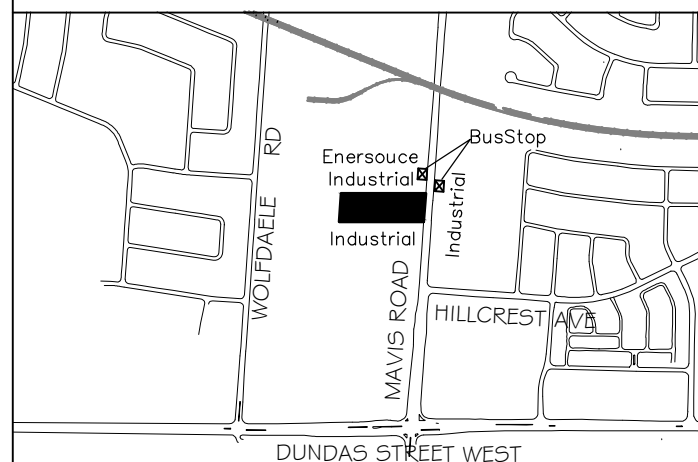
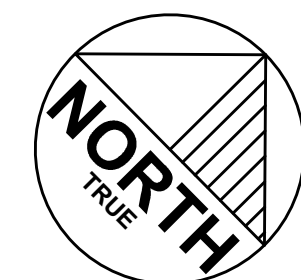

Drawing Title
EXISTING STORM DRAINAGE PLAN

SP 15/026 W6

Drawn By:	R.P.R.	Checkd:	R.Z.
Project #	14003	Drawing #	SP5
Date	2014		
Scale	1:300		Sht. 7 of 231



1 STOREY BRICK &
CONCRETE BLOCK BUILDING
No. 3174



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Project Title
REGIONAL MUNICIPALITY OF PEEL
REDEVELOPMENT OF 3190 MAVIS ROAD
3190 Mavis Rd. Mississauga, ON.

Drawing Title

PROPOSED STORM DRAINAGE PLAN

SP 15/026 W6

Drawn By: R.P.R.	Checkd: V.L.
Project # 14003	Drawing #
Date 2014	SP6
Scale 1:300	
	Sht. 8 of 231

Sht. 8 of 23

- DRAINAGE AREA IDENTIFICATION

RUN-OFF COEFFICIENT R

CATCHMENT AREA (Ha)

CATCHMENT BOUNDARY



OVERLAND FLOW

NOTES:

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PLAN OF TOPOGRAPHY OF PART OF LOT 21,
CONCESSION 1 NORTH OF DUNDAS STREET
(ORIGINALLY IN TOWNSHIP OF TORONTO) CITY
OF MISSISSAUGA REGIONAL MUNICIPALITY OF
PEEL

EXISTING LEGAL BOUNDARIES AND TOPOGRAPHIC
INFORMATION ARE BASED ON SURVEY PROVIDED
BY TARASICK MCGILLAN KUBICH LIMITED,
MISSISSAUGA ONTARIO, (905) 569-8849.
DATED OCT. 12, 2011. File No. 5891-T.

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MISSISSAUGA BENCHMARK NO. 369, HAVING A
PUBLISHED ELEVATION OF 142.841 METRES.

PART 5. PLAN 43R-24512

SUBJECT TO EASEMENT IN FAVOUR OF THE REGIONAL
MUNICIPALITY OF PEEL AS IN PR179309
SUBJECT TO EASEMENT IN FAVOUR OF THE REGIONAL
MUNICIPALITY OF PEEL AS IN PR179310
SUBJECT TO EASEMENT IN FAVOUR OF THE CONSUMERS'
GAS COMPANY LTD. AS IN PR182345
SUBJECT TO EASEMENT IN FAVOUR OF THE CORPORATION
OF THE CITY OF MISSISSAUGA AS IN PR205067

PART 4
PLAN 43R-24512

SUBJECT TO EASEMENT IN FAVOUR OF THE
REGIONAL MUNICIPALITY OF PEEL AS IN PR179309
- SUBJECT TO EASEMENT IN FAVOUR OF THE
CORPORATION OF THE CITY OF MISSISSAUGA AS IN
PR205067

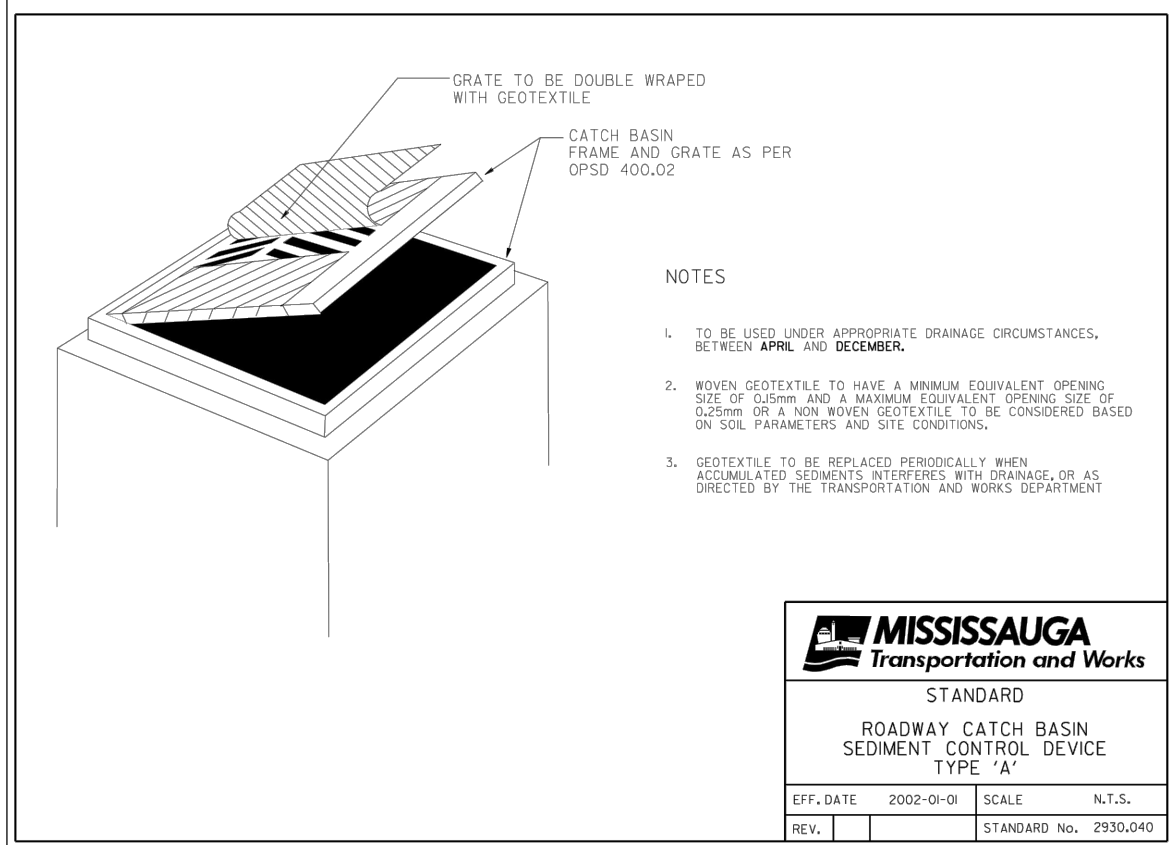
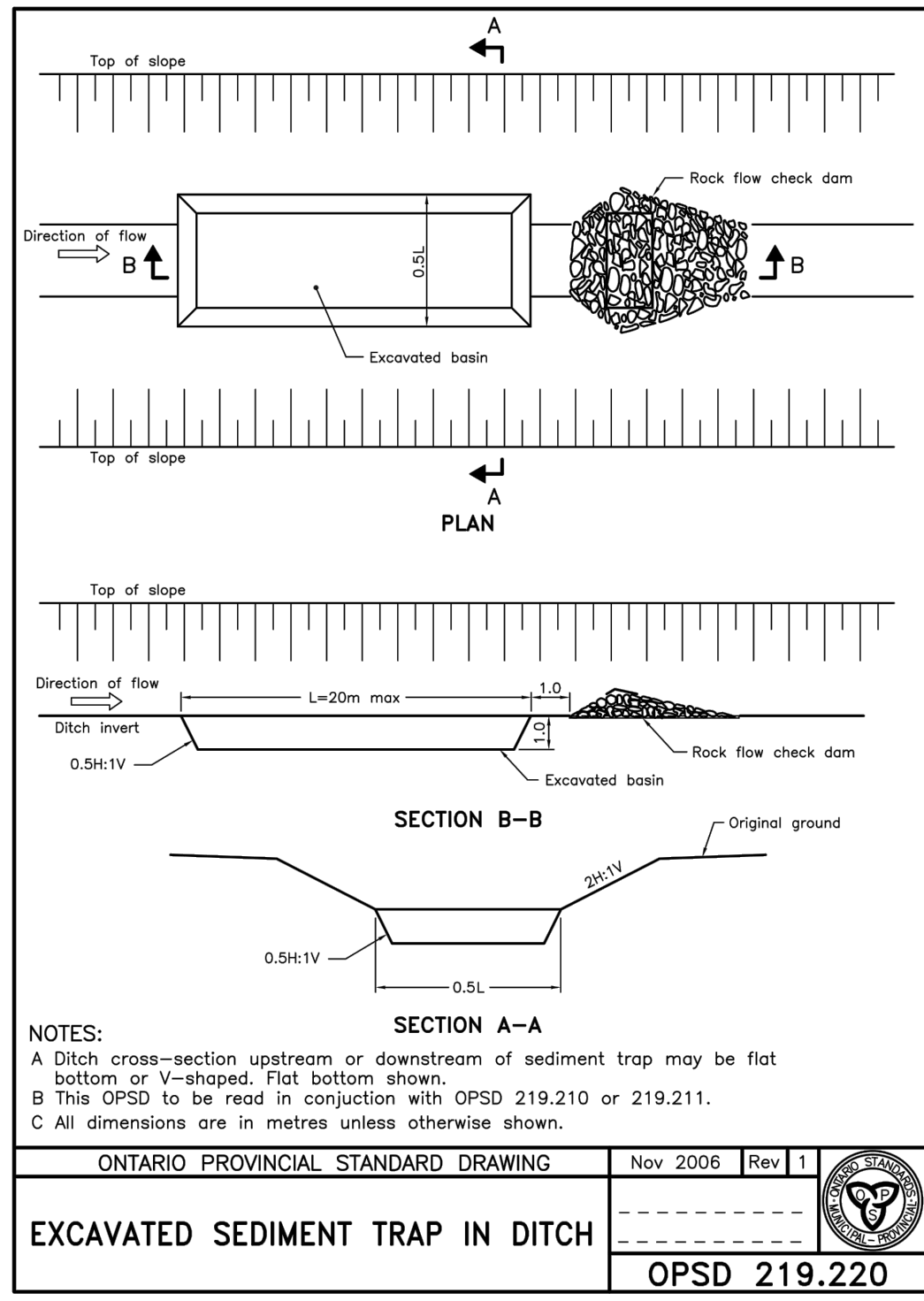
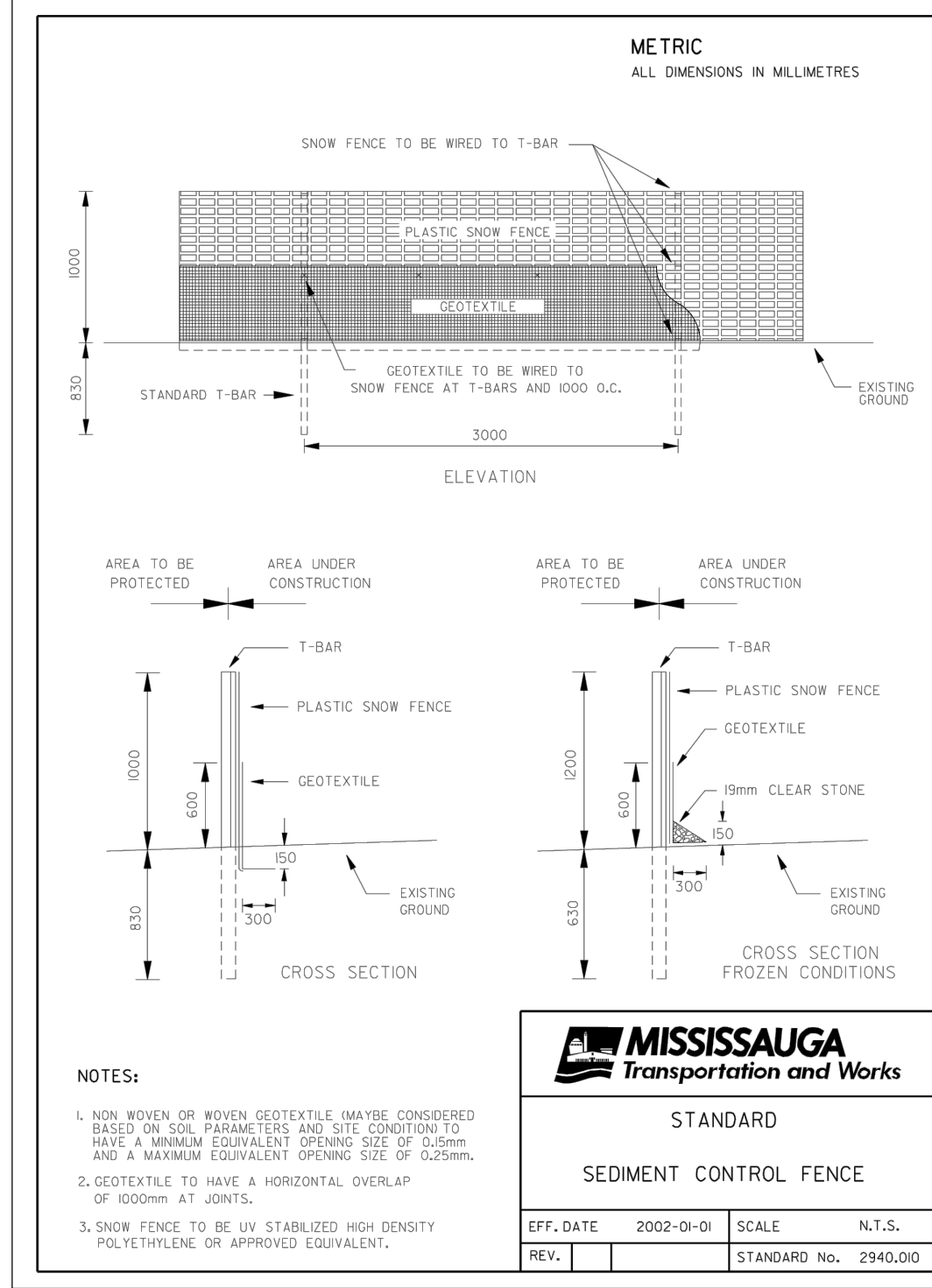
PIN 13362-0044

PROPOSED BUILDING
G.F.A.3132.0m²
5 GARAGE F.F.E.=142.05
OFFICE F.F.E.=142.10

Catchment 020 Roof Area = 0.29 ha.
 Required Roof Control = 42 L/s/ha.
 Target Roof Control = 12.18 L/s
 No. of Zurn Control-Flo Roof Drains = 12
 Each roof drain shall have one (1) notch
 Target Roof Control = 60.9 L/min/notch
 Depth of Roof Ponding = 67.26mm
 Storage Volume Provided = 65m³
 Maximum Drawdown Time = < 24 hours

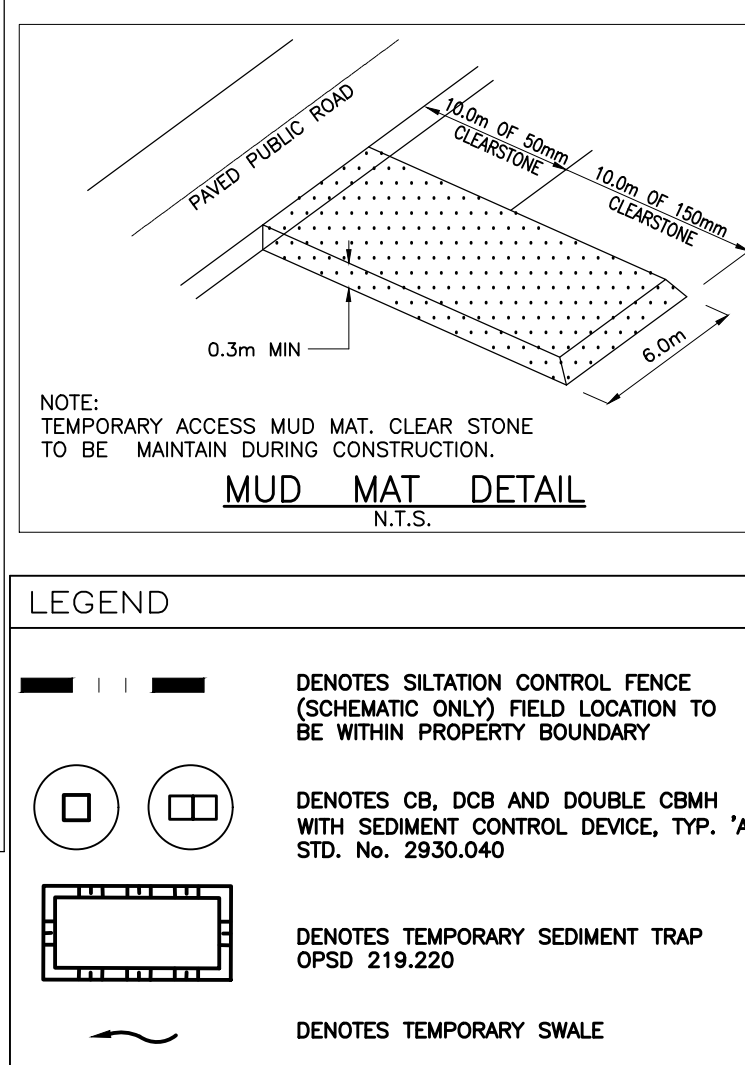
Catchment 019 Roof Area = 0.16 ha.
 Required Roof Control = 42 L/s/ha.
 Target Roof Control = 6.72 L/s
 No. of Zurn Control-Flp Roof Drains =
 Each roof drain shall have two (2) notes
 Target Roof Control = 67.2 L/min/notes
 Depth of Roof Ponding = 74.21mm
 Storage Volume Provided = 40m³
 Time to Empty = 42 hours

Drawn By: R.P.R.	Checkd: V.L.
Project # 14003	Drawing #
Date 2014	SP6
Scale 1:300	
	Sht. 8 of 231



EROSION AND SEDIMENT CONTROL NOTES:

1. EROSION AND SEDIMENTATION FACILITIES TO BE INSTALLED PRIOR TO START OF THE CONSTRUCTION.
2. ALL SEDIMENT CONTROL FENCING AS PER CITY OF MISSISSAUGA STD. 2940.01
3. ALL ROADSIDE CATCHBASINS TO HAVE SEDIMENT PROTECTION AS PER CITY OF MISSISSAUGA STD. 2930.040.
4. SITE INSPECTIONS OF THE EROSION CONTROL MEASURES BY THE DEVELOPER'S CONSULTANT ARE TO BE CONDUCTED WEEKLY AND AFTER EACH RAINFALL OF 1CM OR ANY SUBSTANTIAL STORM EVENT. INSPECTIONS MUST INCLUDE AN ASSESSMENT OF THE PROPOSED FACILITIES/CONTROL AND RECOMMENDED CORRECTIVE MEASURES (IF REQUIRED). ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AS REQUIRED BY THE DEVELOPER'S CONSULTANT.
5. INSTALL STONE PAD CONSTRUCTION ENTRANCE AND/OR FLUSING OR SWEEPING ROADS, WHERE REQUIRED AS PER CITY OF MISSISSAUGA MUD TRACKING POLICY.
6. THE MEASURES AS PROPOSED MAY BE MODIFIED AT THE DISCRETION OF THE DEVELOPER'S CONSULTANT TO SUIT THE PROPOSED CONSTRUCTION PROGRAMS. THE GENERAL INTENT OF THE PROPOSED EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES.
7. DECOMMISSIONING OF ALL EROSION CONTROL MEASURES SHALL OCCUR ONLY ONCE VEGETATIVE COVER IS ESTABLISHED OR DISTURBED AREA IS STABILIZED.
8. ANY DISTURBED AREA NOT SCHEDULED FOR FURTHER CONSTRUCTION WITHIN 30 DAYS SHALL BE STABILIZED BY SEEDING, SODDING AND MULCHING OR COVERING, OR OTHER EQUIVALENT CONTROL MEASURE.
9. EROSION AND SEDIMENT CONTROLS METHODS ARE TO BE CONTINUOUSLY EVALUATED; AND UPGRADES ARE TO BE IMPLEMENTED, WHEN NECESSARY.
10. ADDITIONAL EROSION AND SEDIMENT CONTROL MATERIALS (I.E. SILT FENCE, STRAW BALES, CLEAR STONES ... ETC) ARE TO BE KEPT ON SITE FOR EMERGENCIES AND REPAIRS.
11. ESC PLAN IS DYNAMIC DOCUMENT WHICH MAY BE SUBJECT TO CHANGE OR MODIFICATIONS AS A RESULT OF SITE DEVELOPMENTS OR CHANGES ON SITE.
12. AN AFTER HOURS CONTACT NUMBER IS TO BE VISIBLY POSTED ON-SITE FOR EMERGENCIES.
13. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR CONTROLLING SEDIMENT & EROSION WITHIN THE CONSTRUCTION SITE FOR THE TOTAL PERIOD OF THE CONSTRUCTION. THE SEDIMENT LADEN WATER WILL NOT BE ALLOWED TO DISCHARGE TO THE CREEK.



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Region of Peel
Working for You

Notes

NORTH

NORTH

DUNDAS STREET WEST

Enersource Industrial

BusStop

Industrial

HILLCREST AVE

MAVIS ROAD

No.	Revision / Issue	Date
14	AS BUILT	2019/01/18
13	ISSUED FOR CONSTRUCTION	2016/09/28
12	RE-ISSUED FOR CVCA PERMIT	2016/09/07
11	RE-ISSUED FOR SPA	2016/08/31
10	ISSUED FOR ADDENDUM 1	2016/07/20
9	ISSUED FOR TENDER	2016/06/30
8	ISSUED FOR 100% CLIENT REVIEW	2016/06/13
7	RE-ISSUED FOR SPA	2016/03/04
6	ISSUED FOR CVC PERMIT / AS PER CITY COMMENTS	2015/12/03
5	99% CLIENT REVIEW	2015/09/10
4	ISSUED AS PER CITY COMMENTS	2015/06/02

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Project Title
REGIONAL MUNICIPALITY OF PEEL
REDEVELOPMENT OF 3190 MAVIS ROAD
3190 Mavis Rd. Mississauga, ON.

Drawing Title
EROSION AND SEDIMENT CONTROL
PLAN

SP 15/026 W6

Drawn By: R.P.R. Checkd: V.L.
Project # 14003 Drawing #
Date 2014
Scale 1:300

SP7
Sht. 9 of 231

