



Wednesday, April 10, 2024

DOCUMENT - 2024-149P
Second Floor Expansion, 3190 Mavis Road, City of Mississauga,
Project 22701

ADDENDUM 3

Number of Pages: 5

Referring to the above **Document 2024-149P - Second Floor Expansion, 3190 Mavis Road, City of Mississauga, Project 22701**, please note the following:

Question 1:

We need 1 week extension to closing of the project.

Answer 1:

Refer to response to Question-1 of Addendum-1, dated March 27, 2024.

Question 2:

Please provide clarifications to next questions:

1. Raised access floor: On review of the drawings, the Electrical Closet room 201K is noted with a 'MT-2' marmoleum finish. I do not see where the specifications are for this 'MT-2' finish. Can you provide this information? Also, can you confirm we will have access/use of the elevator for material handling to the second floor, or that hoisting equipment will be provided for our use, as our floor panels are not something that we can hand-bomb to the second level. The skids are approx. 1,100 lbs.
2. If we are to provide a telescopic forklift, we will require an exterior opening (with landing platform if required) on the second level. Please advise.
3. Question submitted from Camino Systems (raised floor system):
 - According to specification based on Tate floor classic concrete panels with stringer system. Find attached data sheet for TecCrete raised floor and advise if our product is acceptance?
 - I also noticed some floor monuments (see attached drawings) which is not ask from Camino. Are you accepting floor boxes from Camino Modular systems?

- As per floor finish plan ask for Marmolium finish(MT-2), Carpet finish (CARP) and Raised floor with concrete finish(RFT) . All this finish are field applied finish by others?
- All RAF system ask with stringer systems which is not requires if all finish are field applied by others? Let me know if you would like to include in our pricing.

Answer 2:

1. Refer to Appendix 8.2, Division 09, Section 09 65 43, Linoleum Flooring and legend on the Contract Drawing A209. Use of existing Elevator is not permitted for material handling. The Contractor has to arrange all the hoisting and all other equipment required to perform the work.
2. The Contractor is responsible to manage and schedule the work on site in a safe manner. Further, refer to clause 1.12.2, Appendix 8.2, Division 01, Section 01 00 00, General Requirements of the Specification. The Consultant/Agency will not provide ways and means.
3. For TecCrete raised floor and floor monuments, refer to Clause 1.16, Appendix 8.2, Division 01, Section 01 00 00, General Requirements of the Specification.
4. All finishes are part of the scope of the project and cost should be included in the lump-sum Contract Price. Coordination between sub-trades regarding their individual scope, is the responsibility of the Contractor.
5. All the finishes on this project are part of the scope of work and cost must be included in the lump-sum Contract Price.

Question 3:

Existing stones below asphalt can be reused.

Answer 3:

Refer to Geotechnical Investing Report attached to the Addendum-2 dated April 4, 2024 for comments/recommendations on re-use of existing granular fill material.

Question 4:

Please clarify next millwork questions:

1. Is there a finish schedule for this project showing actual material colors, finishes?
2. Are the doors and frames that are to be removed and reinstalled wood or metal? Refer to note 15/A204 and note on plan view A206.
3. On drawing A613 pan detail 3 there is a note - modify millwork as required for new work - . What is required here to do? Do you have photo's of the existing millwork to be modified?

Answer 4:

1. Refer to the room finishes schedule on the Contract Drawing A901 and Appendix-8.2, Division 09- Finishes of the Specification. Colour will be selected by the Consultant/Agency upon submission of samples by the successful contractor prior to ordering and installation.
2. That is a wood guided door. Refer to the photograph below for clarity.



3. Affected lower cabinet, countertop, upper cabinet to be modified and adjusted to suit the built condition with new columns. Finish to match existing. See the existing site photo for reference below.



Question 5:

Please advise if there are any base building contractors on record for HVAC, Electrical, Sprinkler Systems, Plumbing, Communication and Sound Masking works.

Answer 5:

Refer to response to questions 4 and 14 of Addendum-2 dated April 5, 2024. Further, there are no base building maintenance contractors for plumbing, electrical and communication.

Question 6:

Question from Access floor contractor:

The structural drawings show a new concrete slab on existing steel deck within the existing roof area. Details on drawing S501 show a sloped slab. This area is to receive raised floor pedestal supports. What is the slope (% value) of the new second floor slab within this area?

Answer 6:

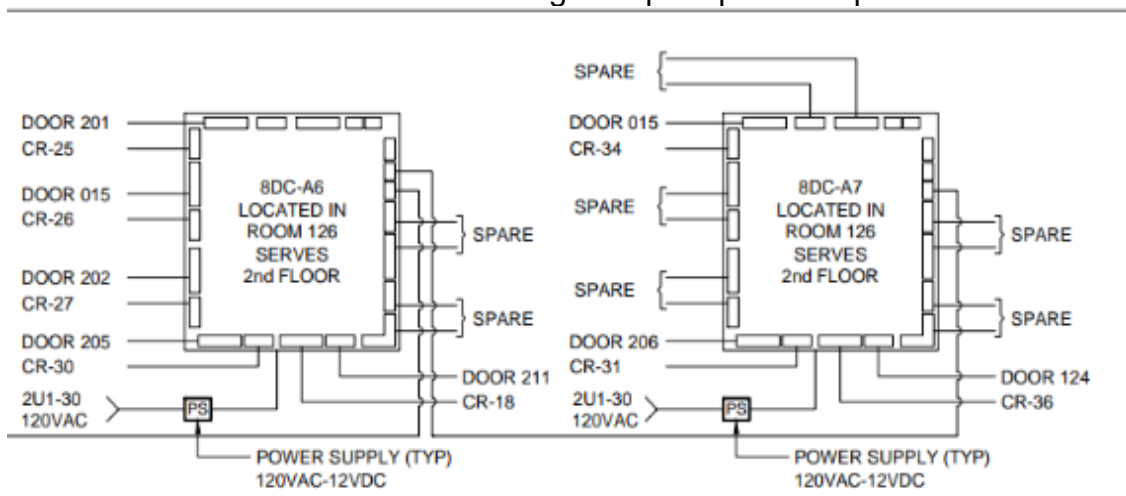
Maximum 2% slope will be done with the new concrete slab on existing steel deck.

Question 7:

There should be spare reader ports on one of the door controllers for the requested additional card readers. However, the pictures of the controllers provided on the security drawings are the wrong controllers. Please upload pictures of all the door controllers in the IT room to confirm the number of spare reader ports available.

Answer 7:

Sufficient spare reader ports are available on the existing wall mounted 8DC in the IT room on the ground floor for securing the new doors with access control. Pictures of the door controllers showing the spare ports are provided below.



Question 8:

There is Intumescent Paint Fireproofing section #07-81-23. After review of the drawings the only mention of Intumescent Paint Fireproofing is on the Legend of drawing A202. This states Intumescent Paint Fireproofing on exposed steel columns with dashed line. After review of drawing A202 we see no dashed lines and all columns look to be boxed in. Also, these columns would be supporting a non-rated roof?

Please advise if Intumescent Paint Fireproofing is in fact required for this project?

Answer 8:

Intumescent Paint will be used for the fireproofing of exposed structural HSS diagonal bracings. Refer to Structural Contract Drawings for the bracing locations.

Question 9:

We are kindly requesting a two week extension.

Answer 9:

Refer to response to Question-1 of the Addendum-1 dated March 27, 2024.

Karen McCullough
Senior Procurement Analyst