PARKDALE ELEMENTARY SCHOOL RENOVATION PROJECT

139 PARKDALE AVENUE NORTH. HAMILTON, ONTARIO L8H 5X3





DRAWING LIST ARCHITECTURAL COVER PAGE DRAWING LIST, GENERAL NOTES & CONDITIONS, SITE PLAN

SITE SURVEY

GYMNASIUM GENERAL AND FLOOR FINISH - DEMO & NEW

GYMNASIUM - GAME LINE - NEW

OVERALL FLOOR PLANS

GYMNASIUM - INTERIOR ELEVATION

GYMNASIUM - RCP - DEMO & NEW

STAGE LIFT - DEMO & NEW

STAGE LIFT - INTERIOR ELEVATION

INCLINED PLATFORM LIFT - DEMO & NEW

PARTIAL GROUND FLOOR - MAIN ENTRANCE - DEMOLITION

PARTIAL GROUND FLOOR - MAIN ENTRANCE - NEW

PARTIAL GROUND FLOOR - MAIN ENTRANCE - DETAILS

SCHEDULES

STRUCTURAL

*REFER TO STRUCTURAL DRAWING PACKAGE FOR THE FULL STRUCTURAL DRAWINGS LIST.

MECHANICAL

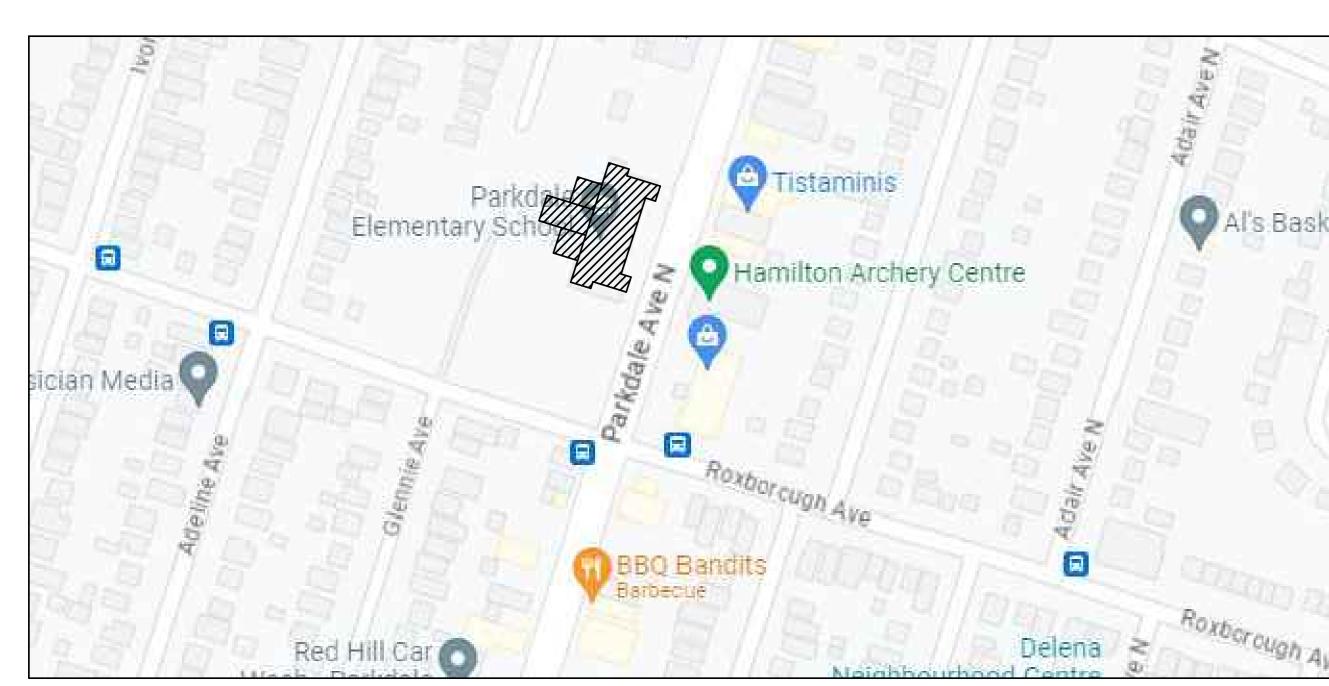
*REFER TO STRUCTURAL DRAWING PACKAGE FOR THE FULL STRUCTURAL DRAWINGS LIST.

ELECTRICAL

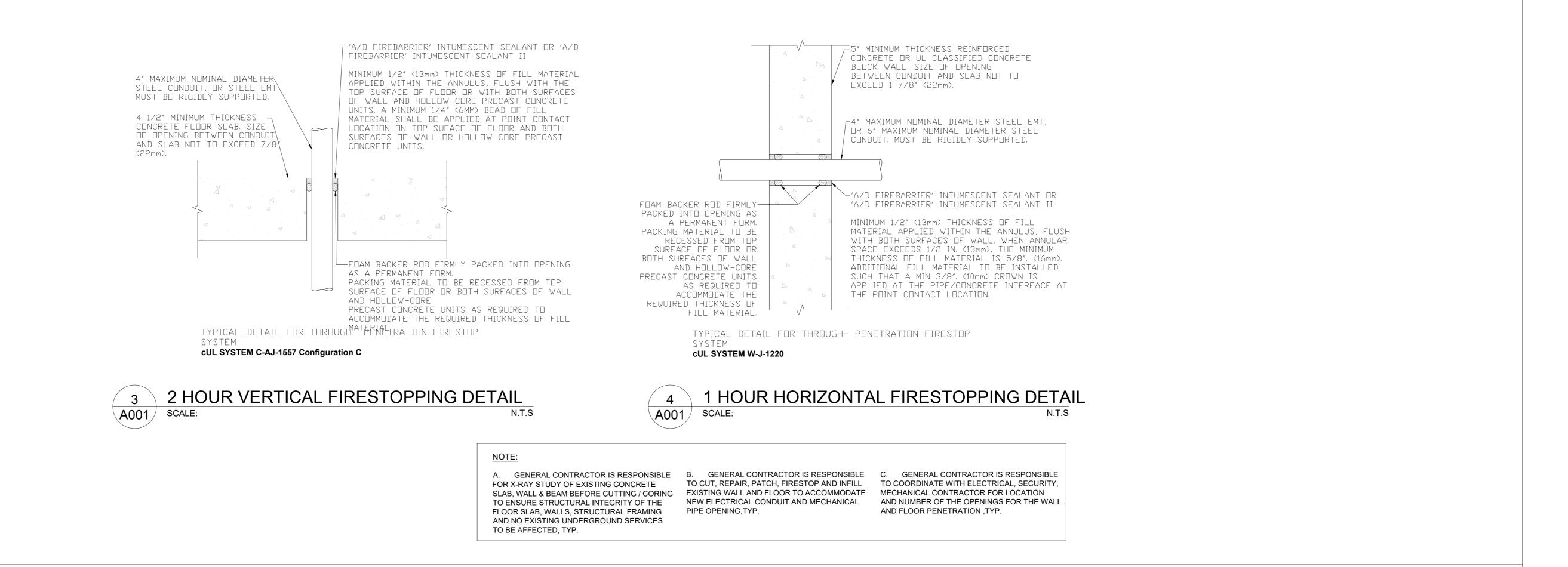
*REFER TO STRUCTURAL DRAWING PACKAGE FOR THE FULL STRUCTURAL DRAWINGS LIST.

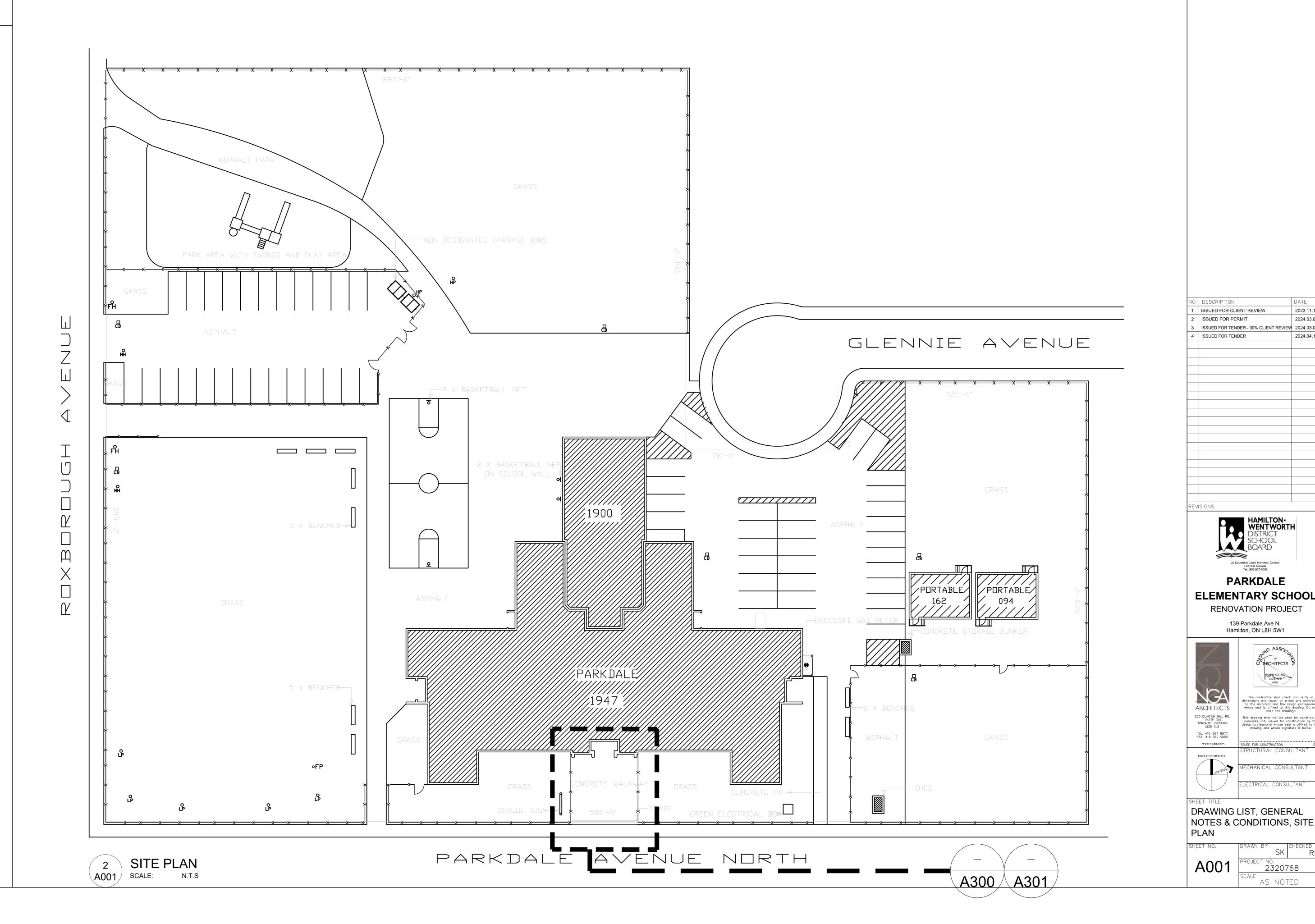
GENERAL NOTES & CONIDITIONS

- GENERAL CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE.
- CHECK ALL MATERIALS USED IN CONSTRUCTION FOR DEFECTS. ONLY NEW, UNBLEMISHED MATERIALS TO BE USED.
- 3. THE WORK SHOWN ON THE DRAWINGS AND SPECIFICATIONS MAY OR MAY NOT BE ALL THE WORK REQUIRED. DO ALL DEMOLITION, MAKE GOOD ALL FINISHES AND EXECUTE ALL NECESSARY WORK INCLUDING INCIDENTALS TO MAKE A COMPLETE JOB OF THE ALTERATIONS.
- 4. WHERE NEW WORK, INCLUDING ALL ELECTRICAL AND MECHANICAL WORK, CONNECTS WITH EXISTING AND WHERE EXISTING WORK IS ALTERED, ALL NECESSARY CUTTING AND FITTING REQUIRED TO MAKE SATISFACTORY CONNECTIONS WITH THE EXISTING WORK SHALL BE PERFORMED UNDER THIS CONTRACT SO AS TO LEAVE THE ENTIRE WORK IN A FINISHED AND WORKMANLIKE CONDITION.
- 5. WHERE EXISTING WORK IS TO BE MADE GOOD THE NEW WORK SHALL MATCH EXACTLY THE OLD WORK IN MATERIAL, FORM, CONSTRUCTION AND FINISH UNLESS OTHERWISE NOTED OR SPECIFIED.
- WORKING HOURS: CONFIRM WORK SCHEDULE WITH THE BOARD PRIOR TO THE COMMENCEMENT OF THE WORK. CONTRACT TO INCLUDE WORK TO BE PERFORMED AFTER SCHOOL HOURS AND ON WEEKENDS.
- MAKE GOOD ALL SURFACES DISTURBED BY THE EXECUTION OF THIS CONTRACT WHETHER SUCH SURFACES ARE LOCATED WITHIN THE AREA OF WORK OR NOT. MAKE GOOD TO NEW CONDITION MATCHING SURROUNDING SURFACES.
- 8. GENERAL CONTRACTOR SHALL CORRELATE AND COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS HAVING SEPARATE CONTRACTS WITH THE OWNER IN ORDER TO COMPLETE THE WORK AS EXPEDITIOUSLY AS POSSIBLE.
- 9. REFER TO DESIGNATED SUBSTANCE REPORT AND ABATEMENT SPECIFICATION FOR THE EXTENT AND LEVEL OF ABATEMENT REQUIRED TO PERFORM CONTRACT.
- 10. SUBMIT DIGITAL COPIES OF AS BUILT DRAWINGS PRIOR TO SUBSTANTIAL COMPLETION OR WORK.









ISSUED FOR CLIENT REVIEW

PARKDALE

RENOVATION PROJECT

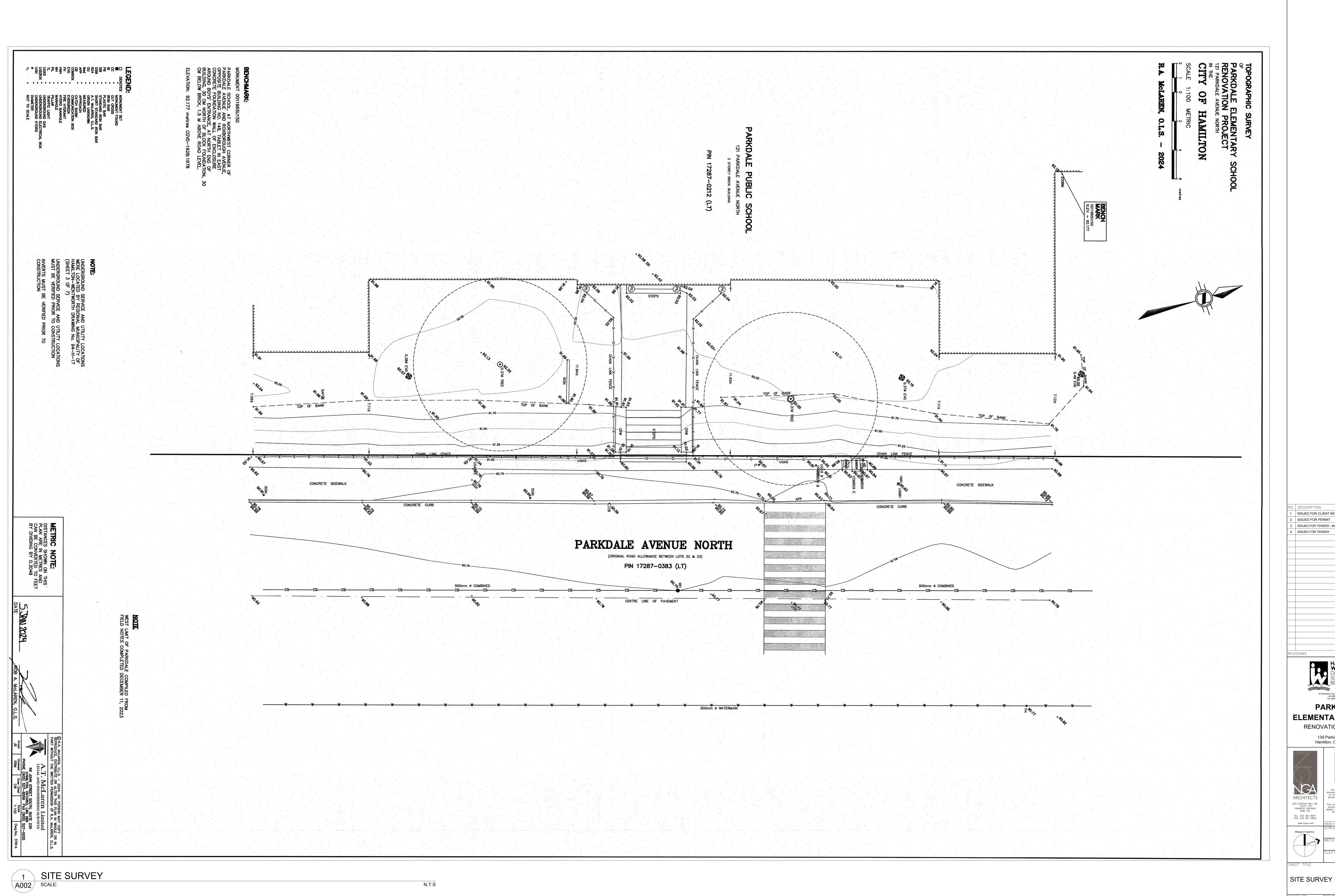
139 Parkdale Ave N, Hamilton, ON L8H 5W1

www.ngaa.com

RCHITECTS Z

CTRICAL CONSULTANT

AS NOTED

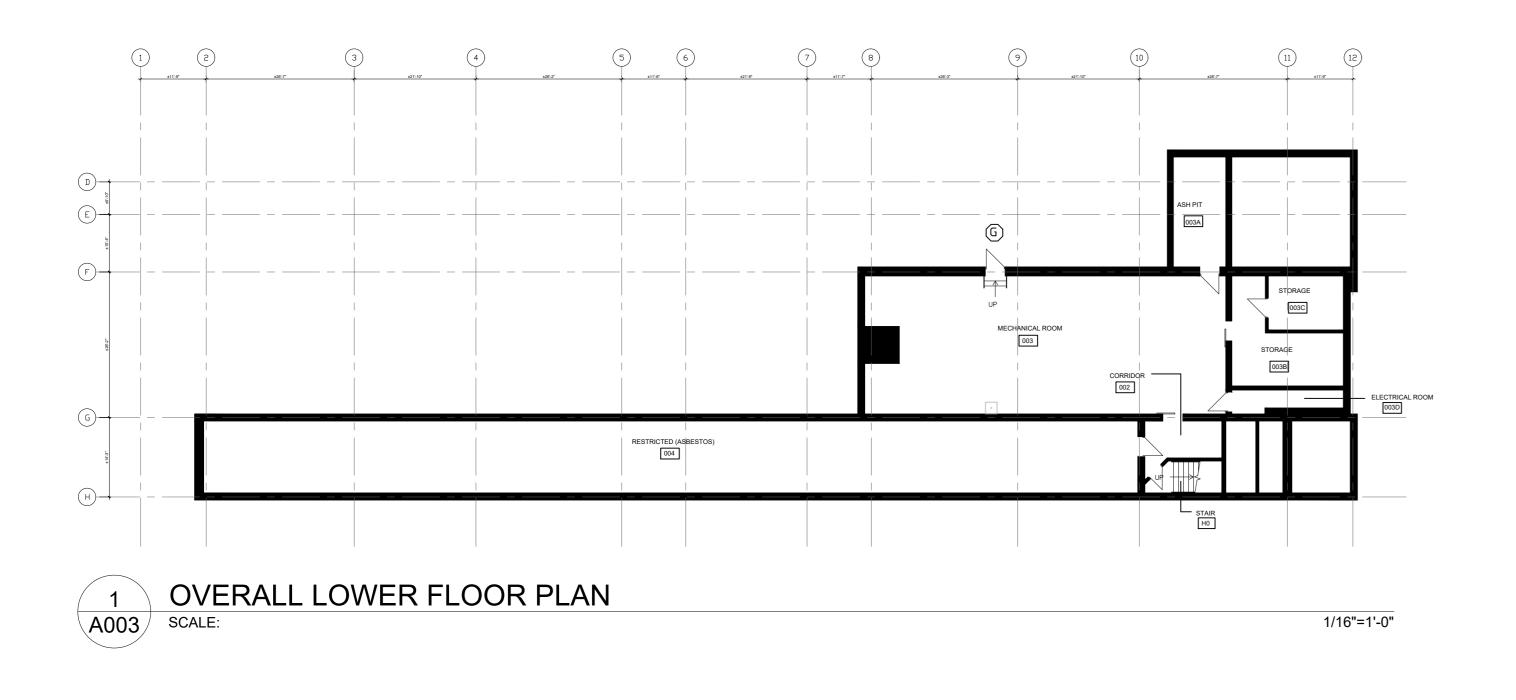


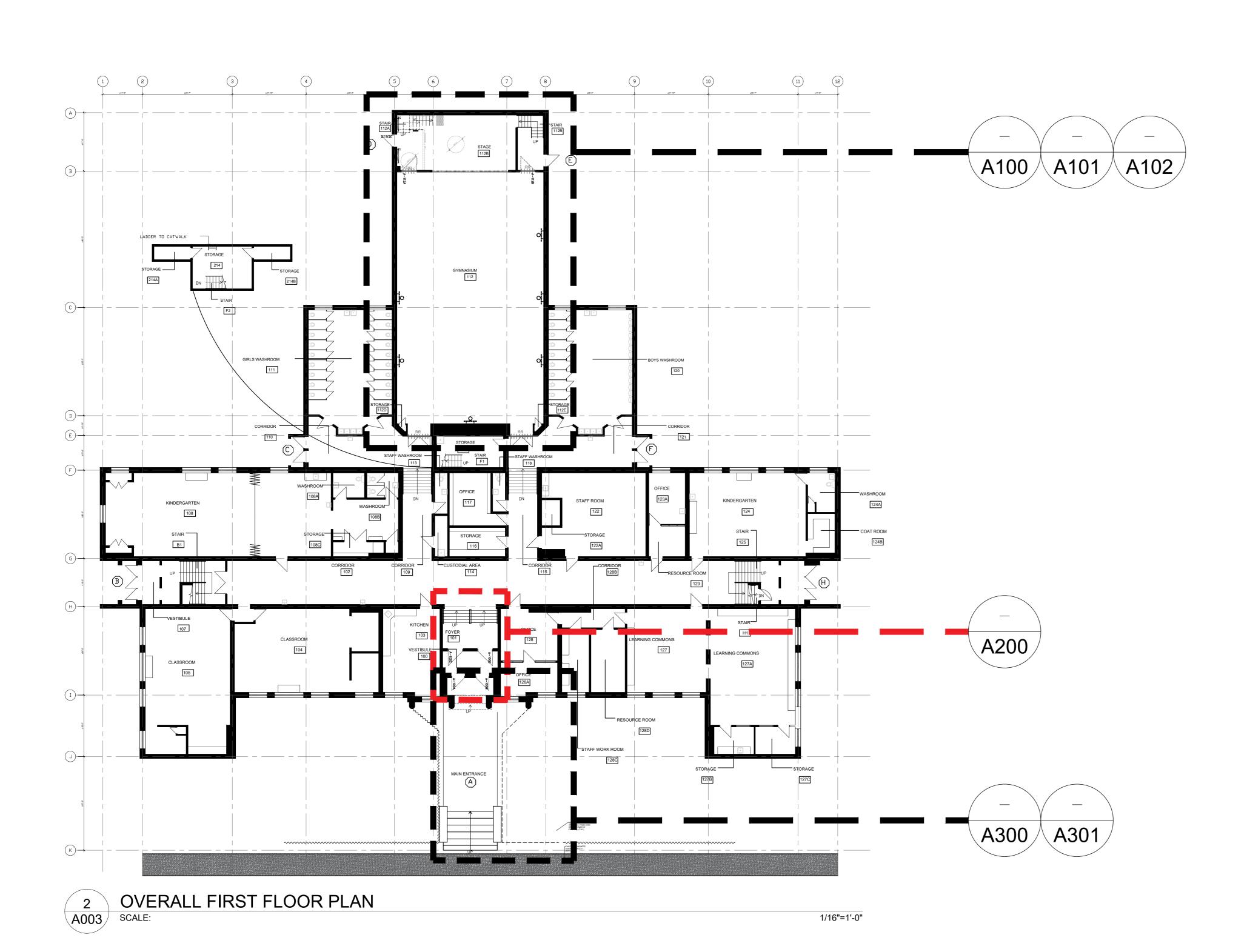
O. DESCRIPTION ISSUED FOR CLIENT REVIEW

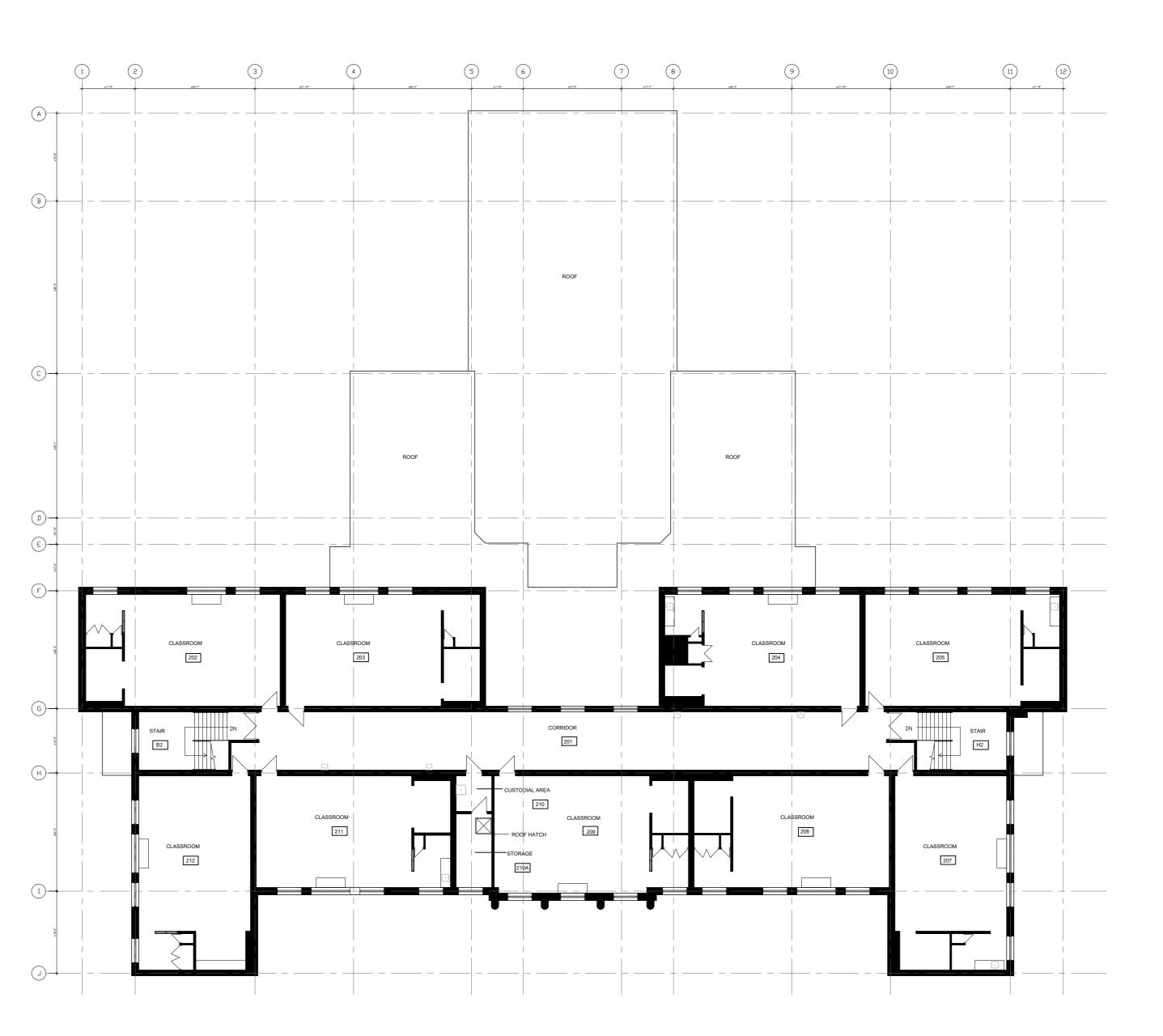
PARKDALE

ELEMENTARY SCHOOL RENOVATION PROJECT 139 Parkdale Ave N, Hamilton, ON L8H 5W1

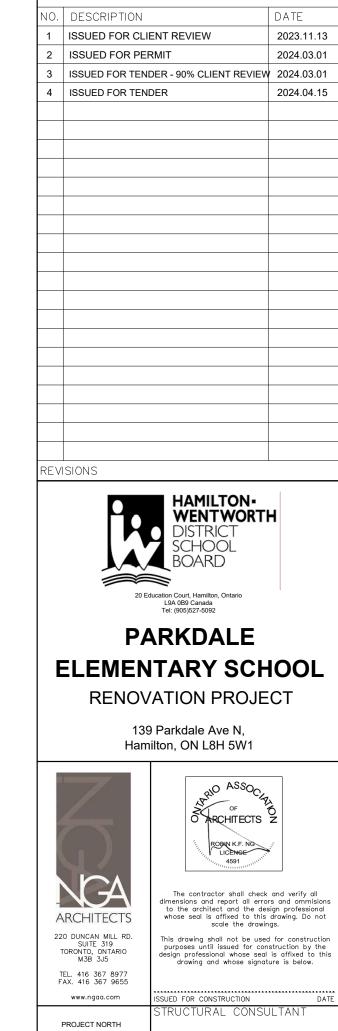
CALE AS NOTED









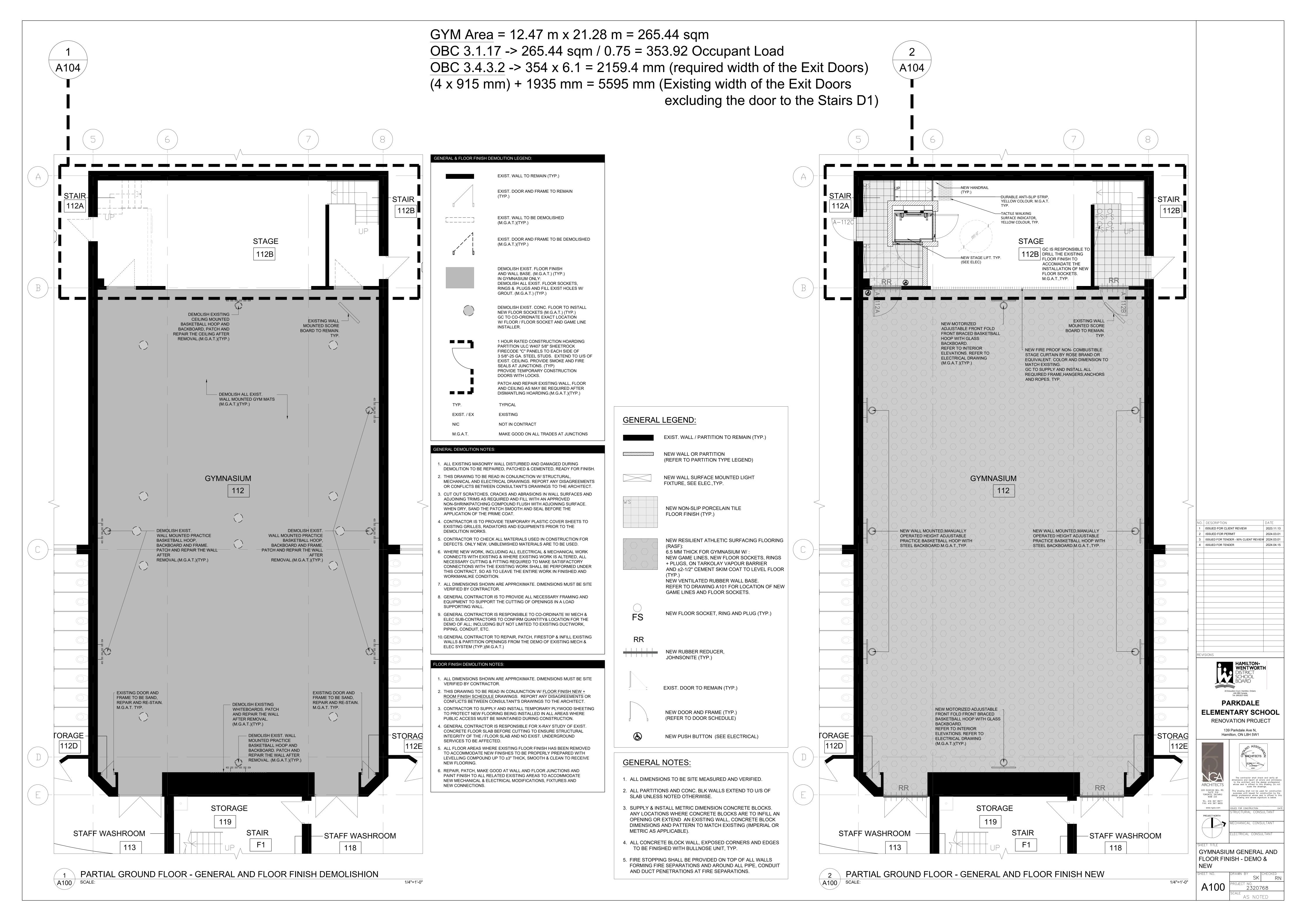


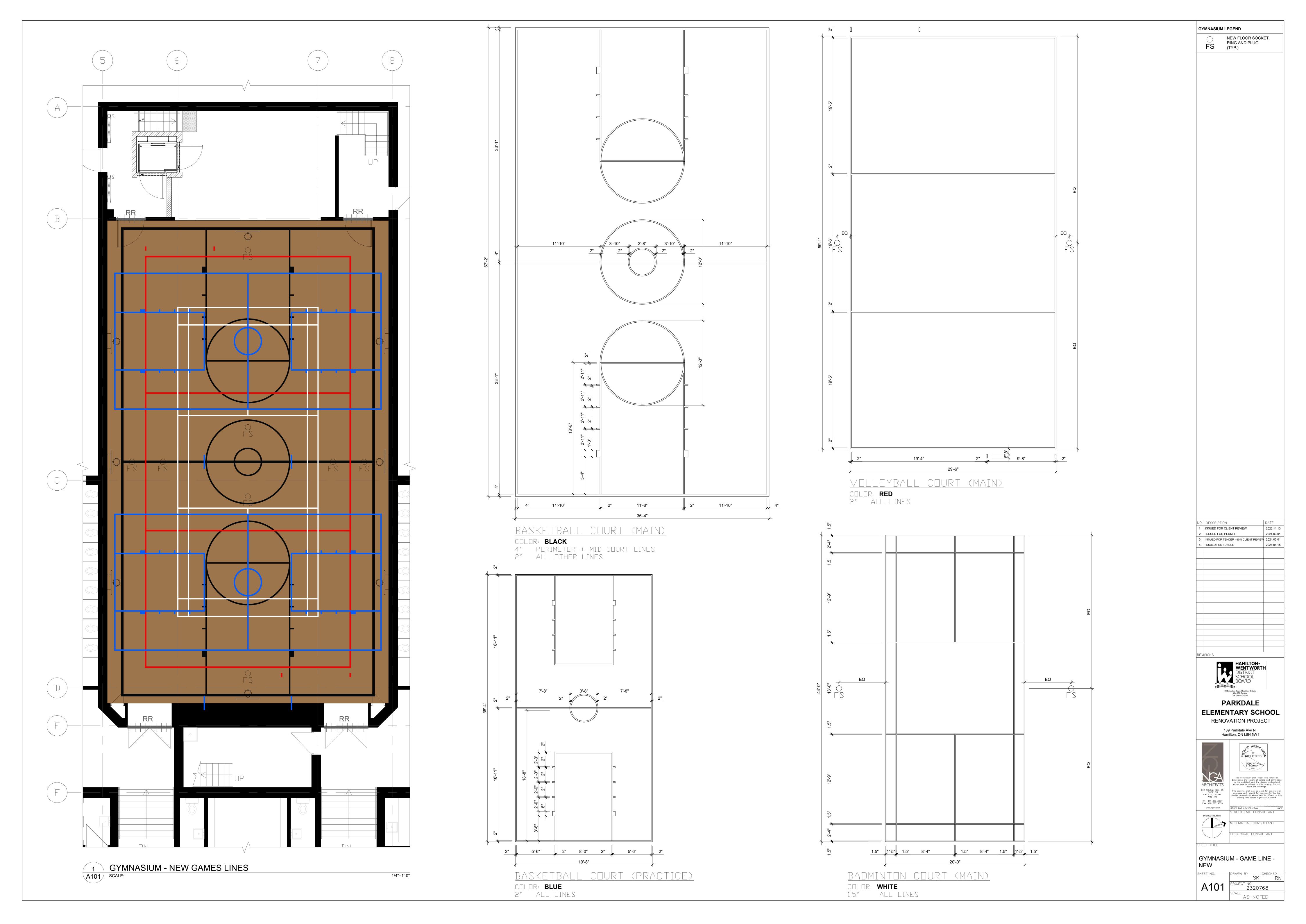
ELECTRICAL CONSULTANT

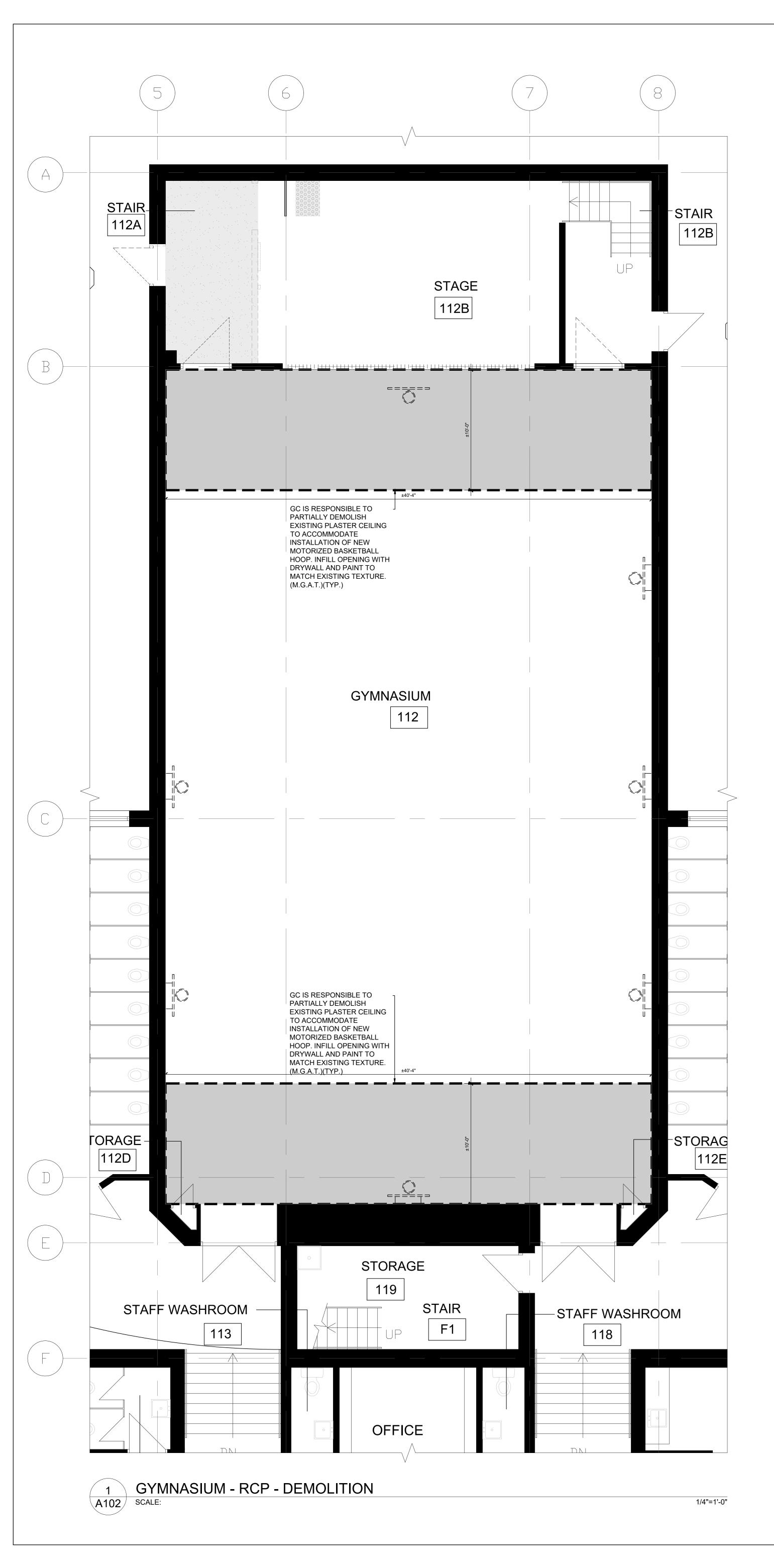
DRAWN BY CHECKED RN

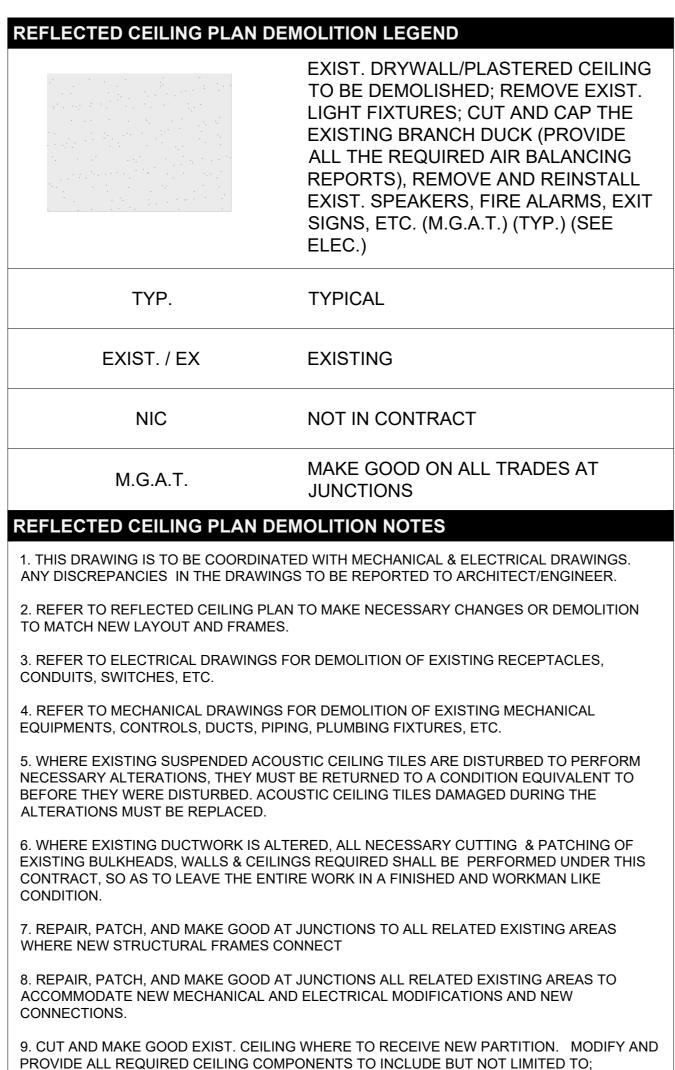
CALE AS NOTED

OVERALL FLOOR PLANS









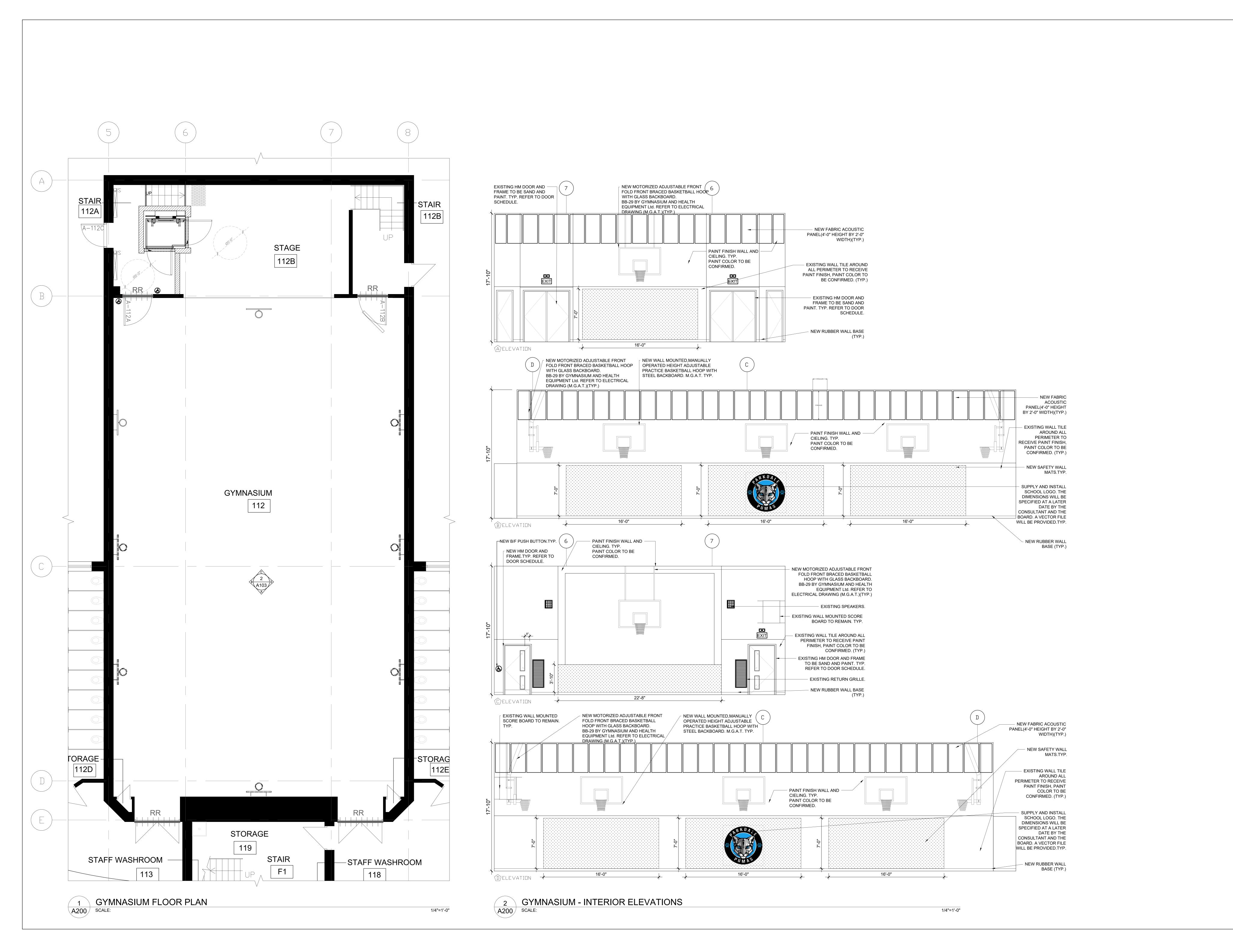
HANGERS, EXPOSED MAIN TEE, EXPOSED CROSS TEE, WALL MOULDING LAY-IN PANELS

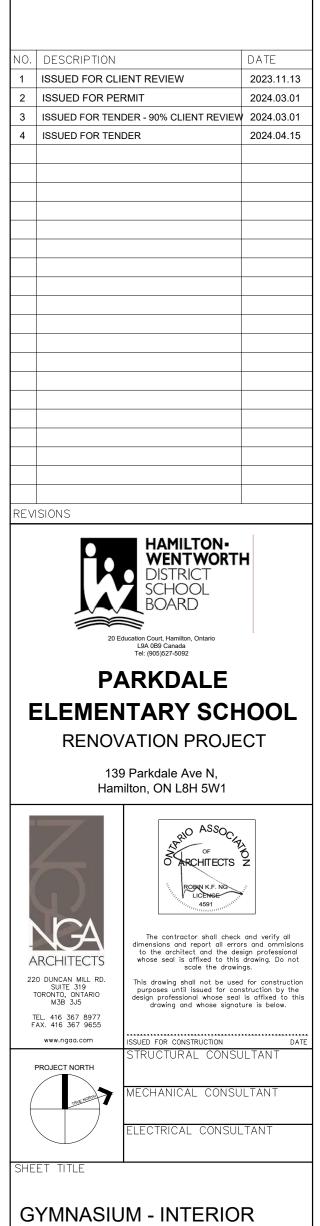
10. GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY AND INSTALL ALL REQUIRED TEES, FRAMING SUPPORT, BRACING, MAIN TEES, CARRYING CHANNELS, ACCESSORIES AND ALL

AND HOLD DOWN CLIPS WHERE REQUIRED.

RELATED COMPONENTS, TYP.

O. DESCRIPTION ISSUED FOR CLIENT REVIEW ISSUED FOR PERMIT ISSUED FOR TENDER - 90% CLIENT REVIEW 2024.03.01 ISSUED FOR TENDER **PARKDALE ELEMENTARY SCHOOL** RENOVATION PROJECT 139 Parkdale Ave N, Hamilton, ON L8H 5W1 O ARCHITECTS Z The contractor shall check and verify all dimensions and report all errors and ommisions to the architect and the design professional whose seal is affixed to this drawing. Do not scale the drawings. **ARCHITECTS** TEL. 416 367 8977 FAX. 416 367 9655 ISSUED FOR CONSTRUCTION DA www.ngaa.com ECTRICAL CONSULTANT GYMNASIUM - RCP - DEMO SK AS NOTED



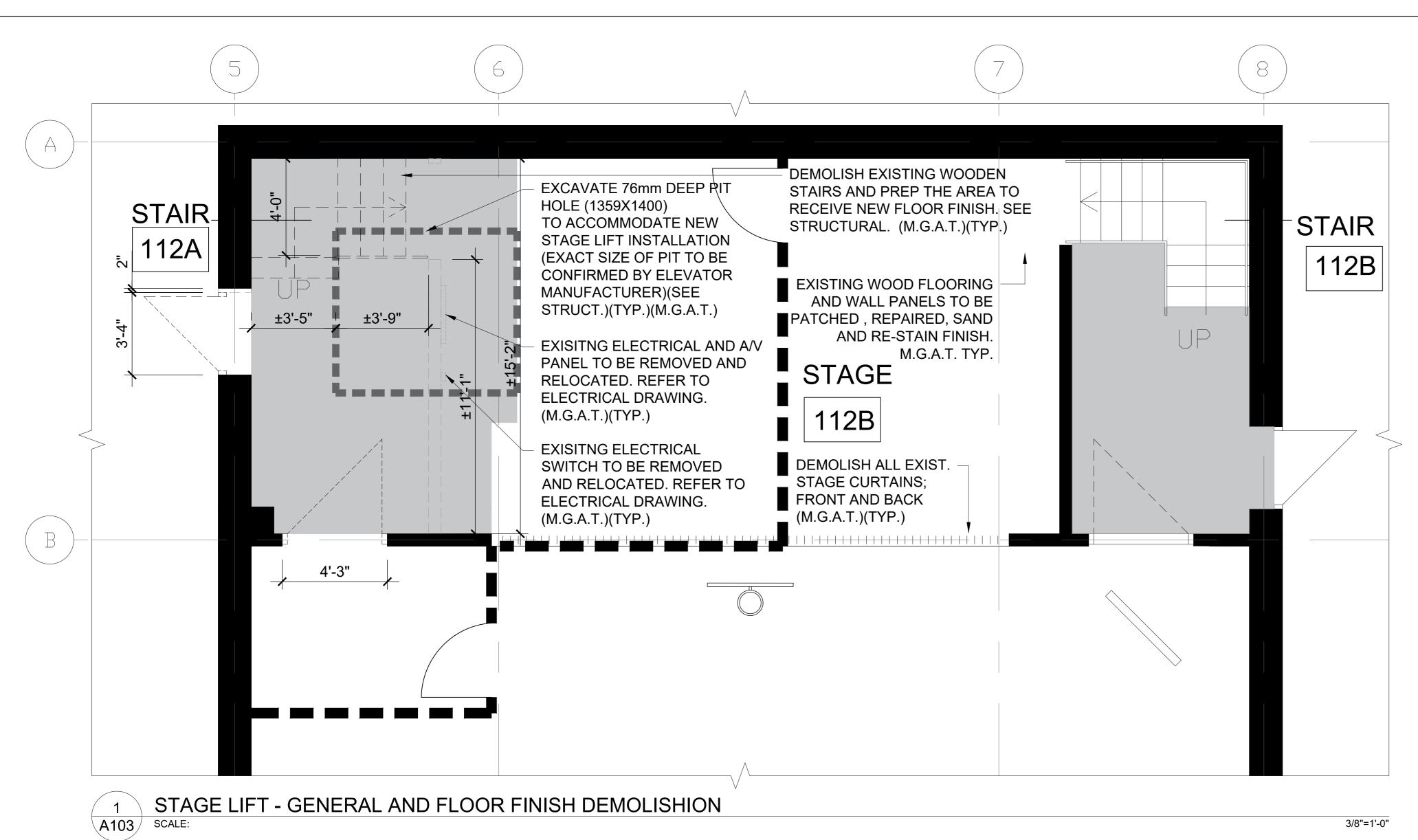


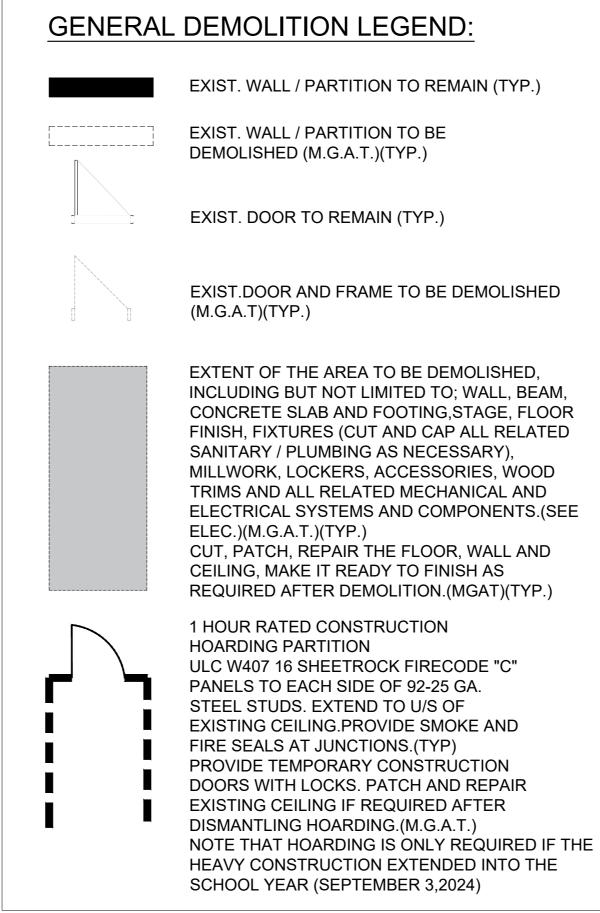
ELEVATION

A103

DRAWN BY SK CHECKED RN

^ AS NOTED



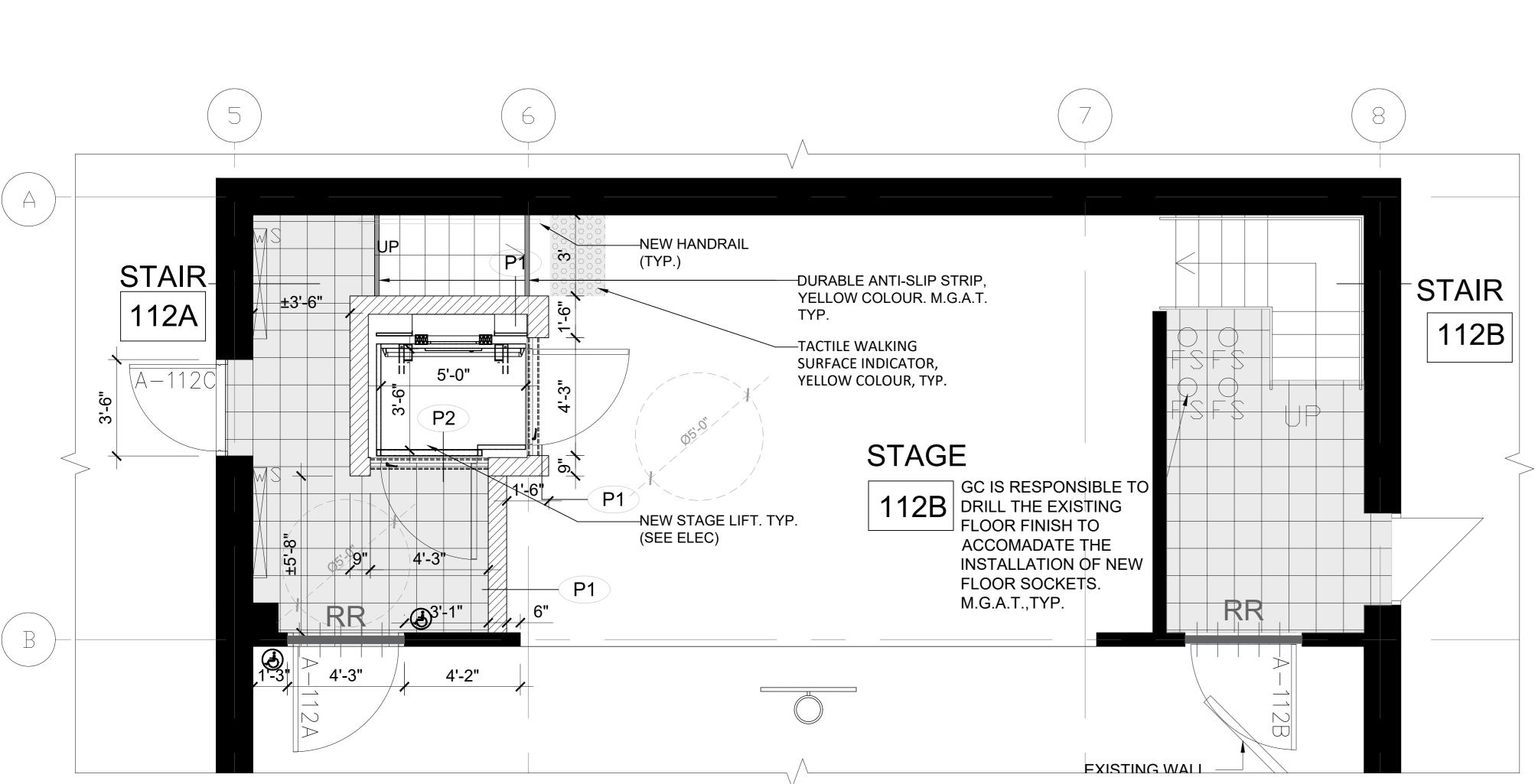




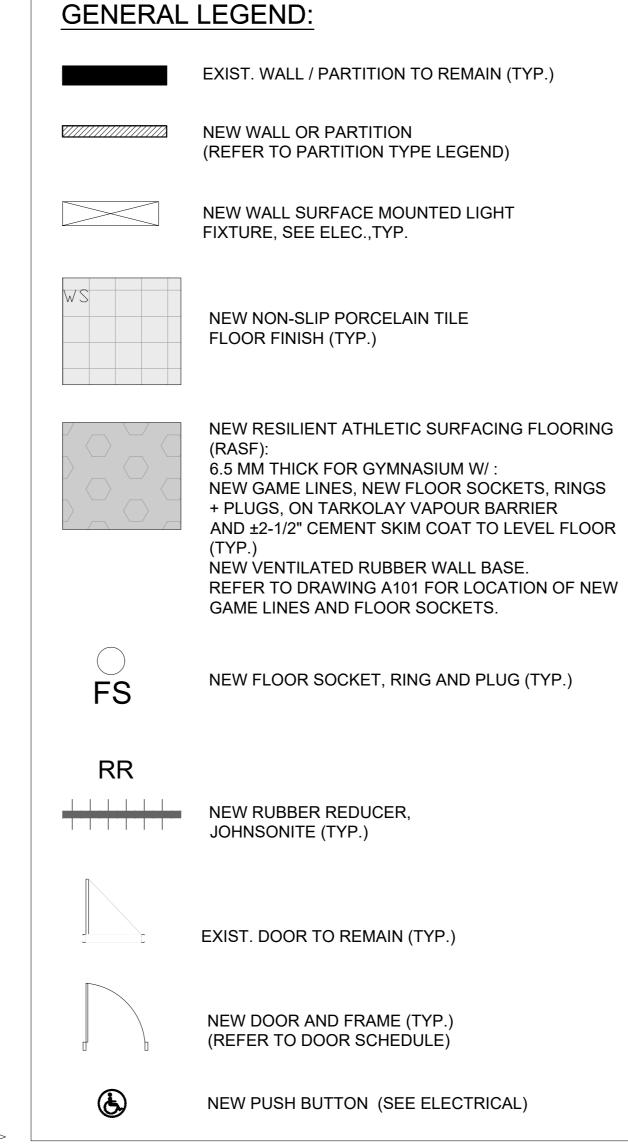
- ALL EXISTING MASONRY WALL DISTURBED AND DAMAGED DURING DEMOLITION TO BE REPAIRED, PATCHED AND CEMENTED, READY FOR FINISH.
- 2. THIS DRAWING IS TO BE COORDINATED WITH STRUCTURAL, MECHANICAL & ELECTRICAL DRAWINGS. ANY DISCREPANCIES IN THE DRAWINGS TO BE REPORTED TO ARCHITECT/ENGINEER.
- 3. CUT OUT SCRATCHES, CRACKS AND ABRASIONS IN WALL SURFACES AND ADJOINING TRIMS AS REQUIRED AND FILL WITH AN APPROVED NON-SHRINKPATCHING COMPOUND FLUSH WITH ADJOINING SURFACE. WHEN DRY, SAND THE PATCH SMOOTH AND SEAL BEFORE THE APPLICATION OF THE PRIME COAT.
- 4. CONTRACTOR IS TO PROVIDE TEMPORARY PLASTIC COVER SHEETS TO EXISTING GRILLES, RADIATORS AND EQUIPMENTS PRIOR TO THE DEMOLITION WORKS.
- 5. CONTRACTOR IS TO PROVIDE TEMPORARY PLASTIC WRAP TO ALL STAGE CURTAINS AND DRAPES FOR THE DURATION OF THE WORK.
- 6. CONTRACTOR IS RESPONSIBLE TO MOVE AND RELOCATE ALL EXISTING FURNITURES NOT SHOWN ON THE DRAWINGS BUT PRESENT ON WORK AREAS.
- 7. CONTRACTOR TO CHECK ALL MATERIALS USED IN CONSTRUCTION FOR DEFECTS. ONLY NEW, UNBLEMISHED

MATERIALS ARE TO BE USED.

- 8. WHERE NEW WORK, INCLUDING ALL ELECTRICAL & MECHANICAL WORK CONNECTS WITH EXISTING & WHERE EXISTING WORK IS ALTERED, ALL NECESSARY CUTTING & FITTING REQUIRED TO MAKE SATISFACTORY CONNECTIONS WITH THE EXISTING WORK SHALL BE PERFORMED UNDER THIS CONTRACT, SO AS TO LEAVE THE ENTIRE WORK IN FINISHED AND WORKMANLIKE CONDITION.
- 9. ALL DIMENSIONS SHOWN ARE APPROXIMATE.
 DIMENSIONS MUST BE SITE VERIFIED BY CONTRACTOR.
- 10. CONTRACTOR IS TO PROVIDE ALL NECESSARY
 FRAMING AND EQUIPMENT TO SUPPORT THE CUTTING OF
 OPENINGS IN A LOAD SUPPORTING WALL.



STAGE LIFT - GENERAL AND FLOOR FINISH NEW



GENERAL NOTES:

SLAB UNLESS NOTED OTHERWISE.

METRIC AS APPLICABLE).

3/8"=1'-0"

1. ALL DIMENSIONS TO BE SITE MEASURED AND VERIFIED.

2. ALL PARTITIONS AND CONC. BLK WALLS EXTEND TO U/S OF

3. SUPPLY & INSTALL METRIC DIMENSION CONCRETE BLOCKS.

ANY LOCATIONS WHERE CONCRETE BLOCKS ARE TO INFILL AN

OPENING OR EXTEND AN EXISTING WALL, CONCRETE BLOCK

DIMENSIONS AND PATTERN TO MATCH EXISTING (IMPERIAL OR

4. ALL CONCRETE BLOCK WALL, EXPOSED CORNERS AND EDGES

5. FIRE STOPPING SHALL BE PROVIDED ON TOP OF ALL WALLS

FORMING FIRE SEPARATIONS AND AROUND ALL PIPE, CONDUIT

TO BE FINISHED WITH BULLNOSE UNIT, TYP.

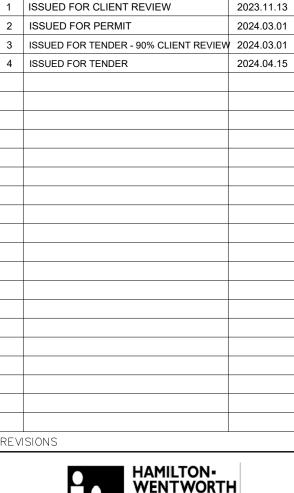
AND DUCT PENETRATIONS AT FIRE SEPARATIONS.

PARTITION TYPE LEGEND:

190 mm CONCRETE BLOCK WALL EXTEND TO UNDERSIDE OF EXIST CEILING. TO BE FINISHED TO MATCH EXISTING COLOUR AND PATTERN ON .

NEW 118mm DRYWALL BULKHEAD : 12.7mm GYPSUM WALLBOARD 92mm STEEL STUDS AT 400 mm O.C.

92mm STEEL STUDS AT 400 mm O.C.
12.7mm GYPSUM WALLBOARD,
PAINT FINISH TO BE CONSTRUCTED, <u>AFTER</u> NEW PLATFORM LIFT IS INSTALLED.



D. DESCRIPTION

HAMILTON-WENTWORTH
DISTRICT
SCHOOL
BOARD

20 Education Court, Hamilton, Ontario
L9A 089 Canada
Tel: (905)527-5092

PARKDALE
ELEMENTARY SCHOOL
RENOVATION PROJECT

139 Parkdale Ave N,

RCHITECTS Z

ECTRICAL CONSULTANT

Hamilton, ON L8H 5W1

ARCHITECTS

220 DUNCAN MILL RD.
SUITE 319
TORONTO, ONTARIO
M3B 3J5

TEL. 416 367 8977
FAX. 416 367 9655

www.ngaa.com

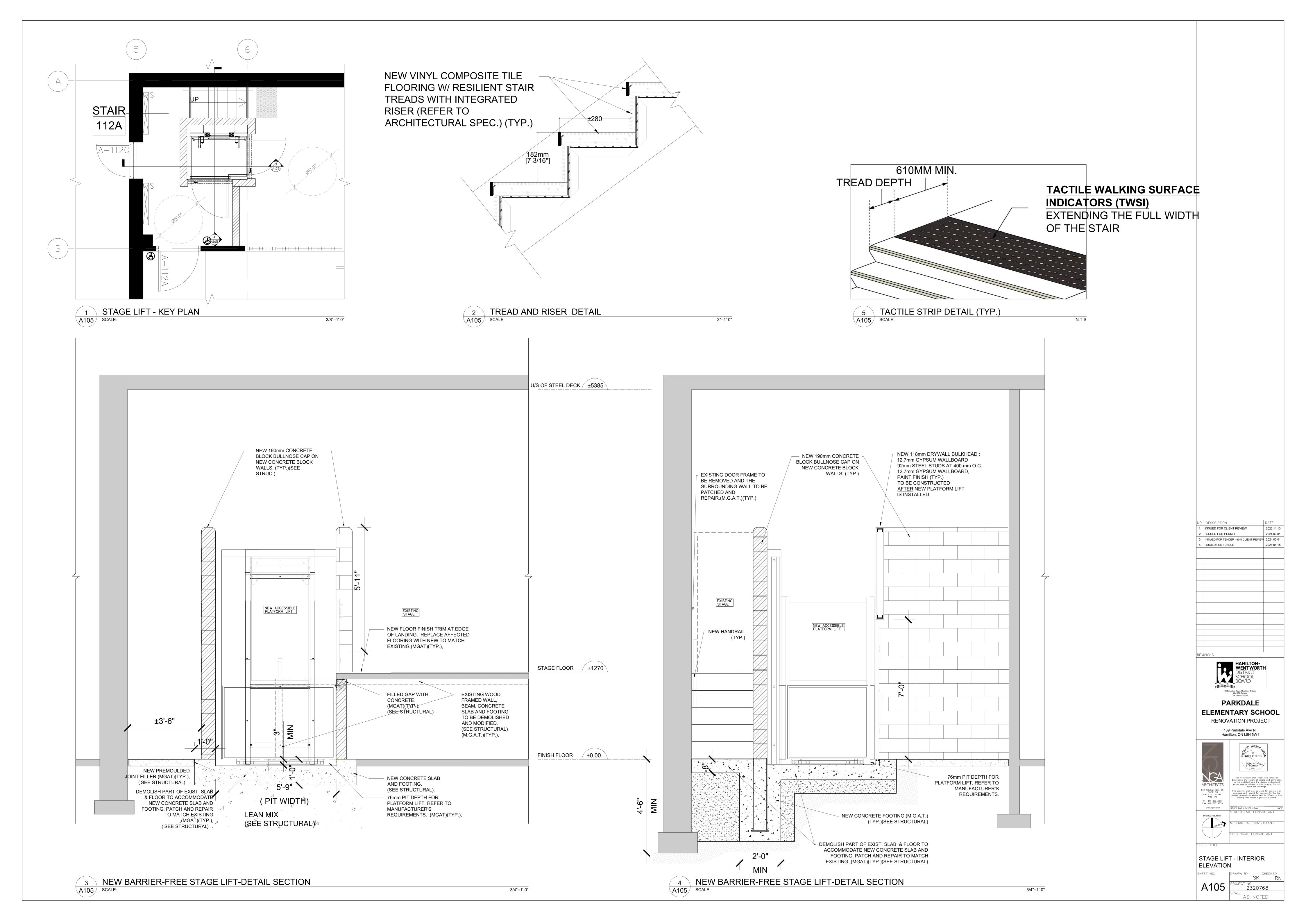
PROJECT NORTH

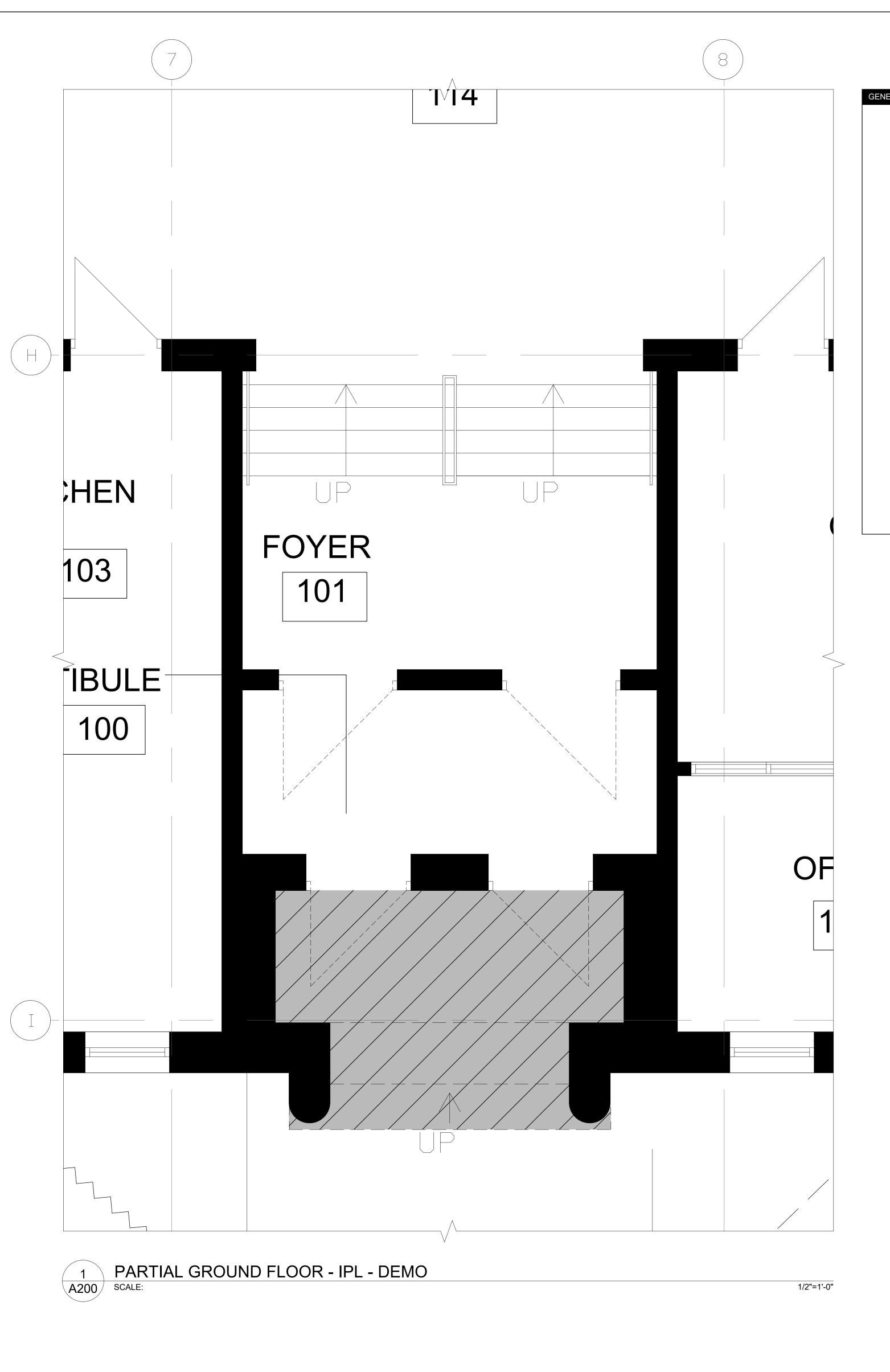
The contractor shall check and verify all dimensions and report all errors and ommis to the architect and the design profession whose seal is affixed to this drawing. Do r scale the drawings.

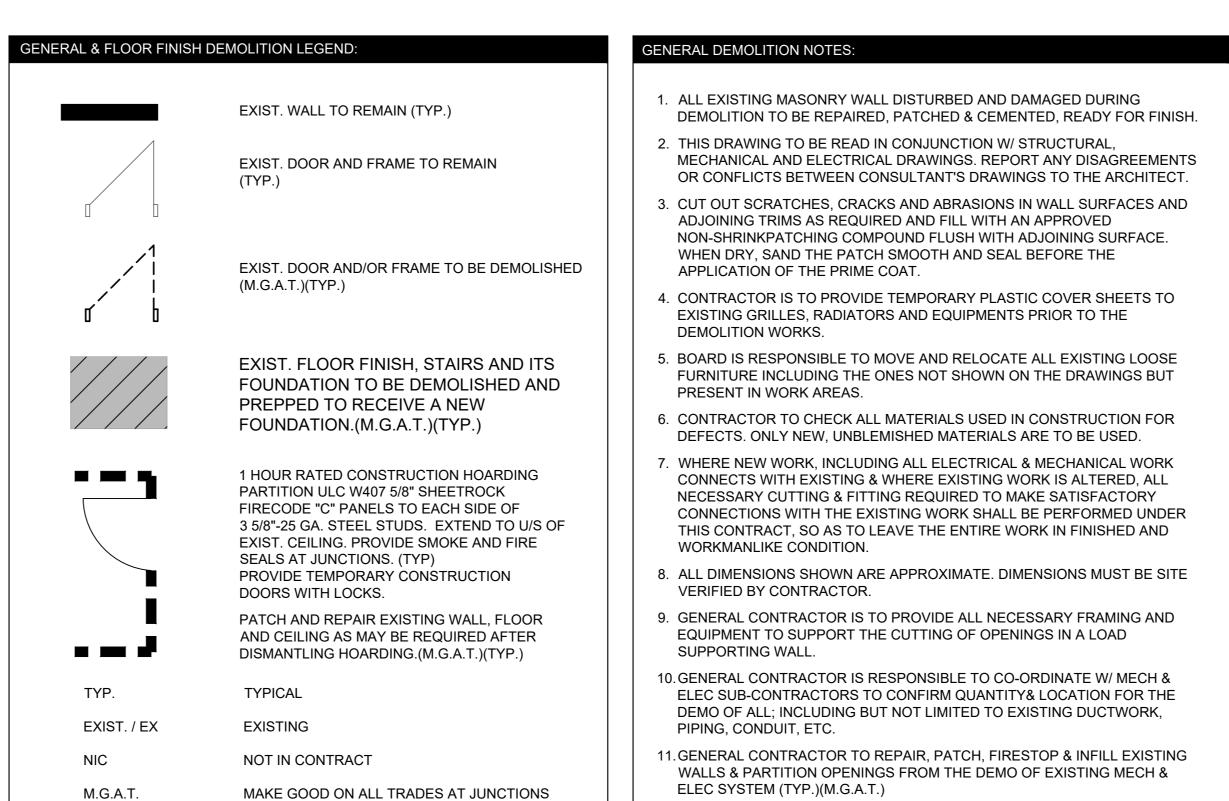
This drawing shall not be used for construction by the state of the stat

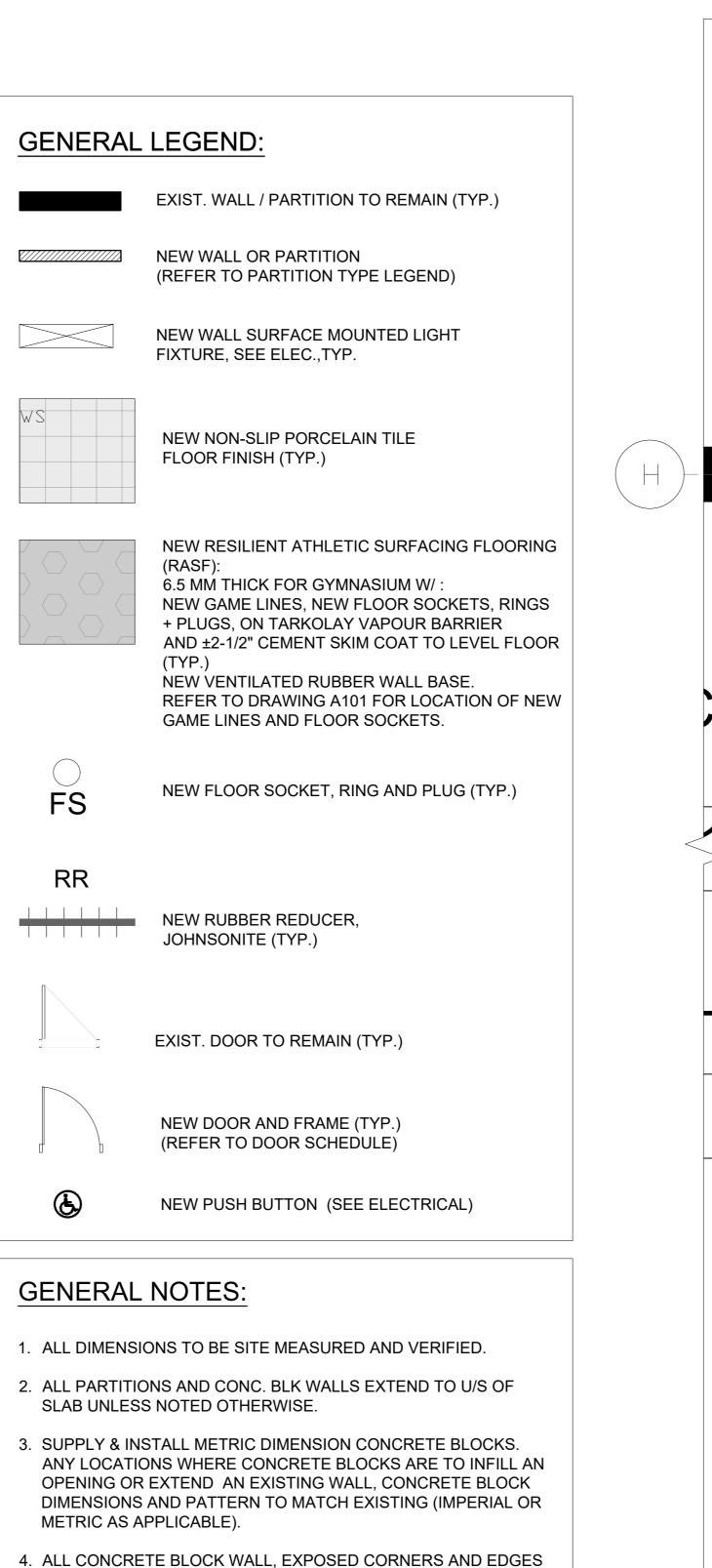
STAGE LIFT - DEMO & NEW

A104 DRAWN BY SK CHECKED RN
PROJECT NO. 2320768
SCALE AS NOTED







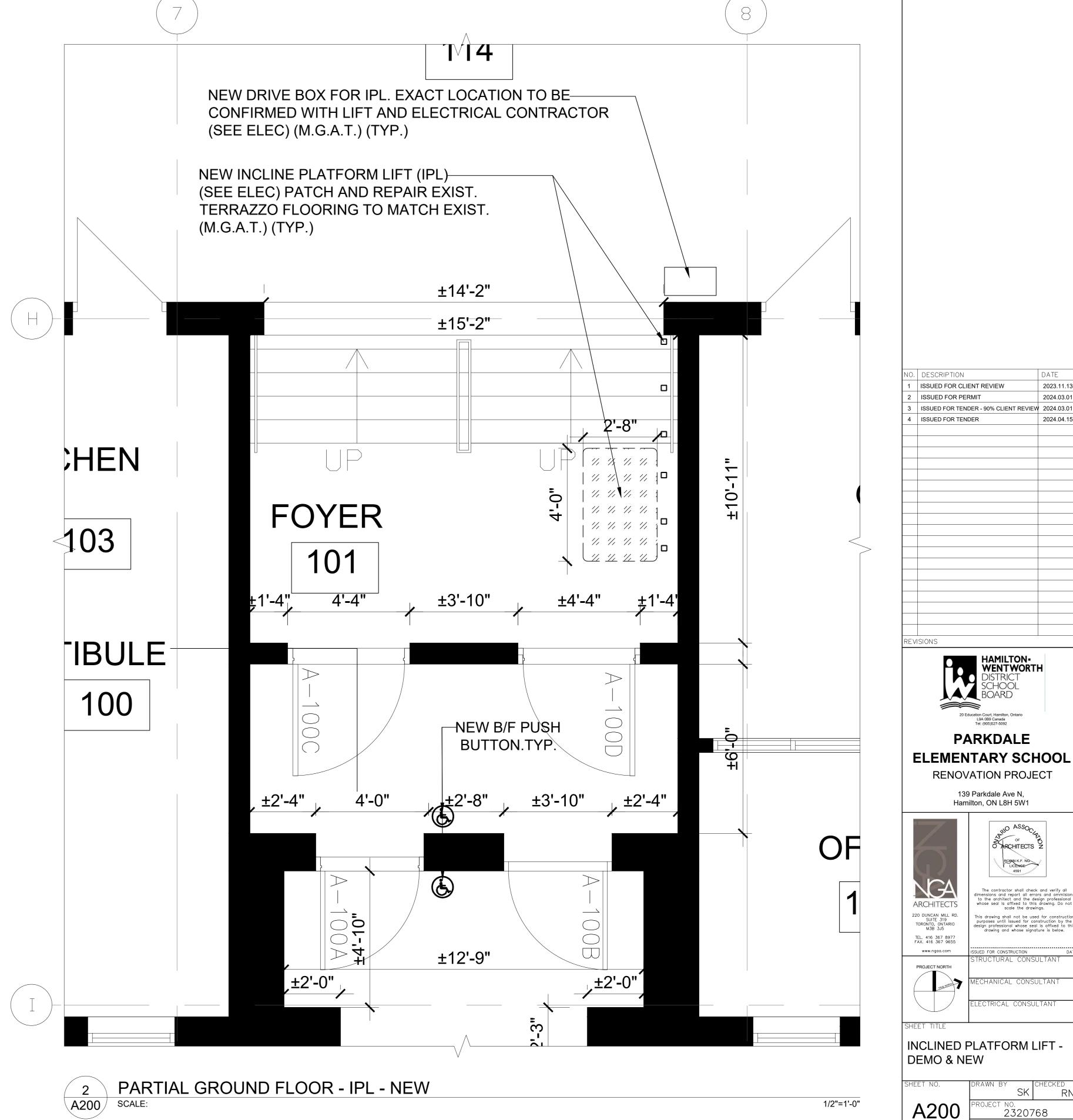


TO BE FINISHED WITH BULLNOSE UNIT, TYP.

AND DUCT PENETRATIONS AT FIRE SEPARATIONS.

5. FIRE STOPPING SHALL BE PROVIDED ON TOP OF ALL WALLS

FORMING FIRE SEPARATIONS AND AROUND ALL PIPE, CONDUIT



139 Parkdale Ave N,

RCHITECTS Z

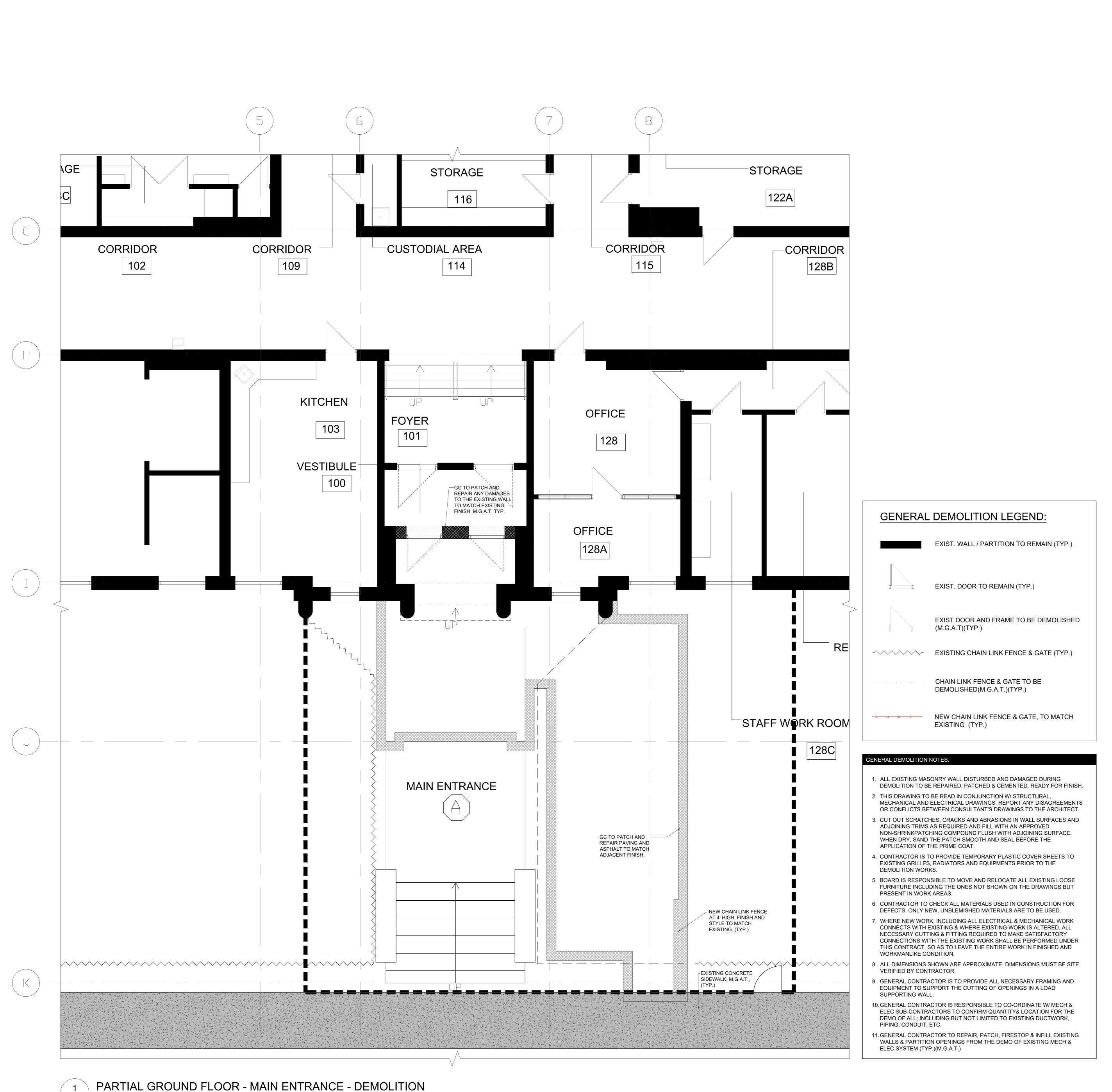
SUED FOR CONSTRUCTION D
TRUCTURAL CONSULTANT

ECTRICAL CONSULTANT

SK RN

2320768

AS NOTED



A300 SCALE:

O. DESCRIPTION ISSUED FOR CLIENT REVIEW 2023.11.13 ISSUED FOR PERMIT ISSUED FOR TENDER - 90% CLIENT REVIEW 2024.03.01 ISSUED FOR TENDER

PARKDALE ELEMENTARY SCHOOL RENOVATION PROJECT

139 Parkdale Ave N, Hamilton, ON L8H 5W1



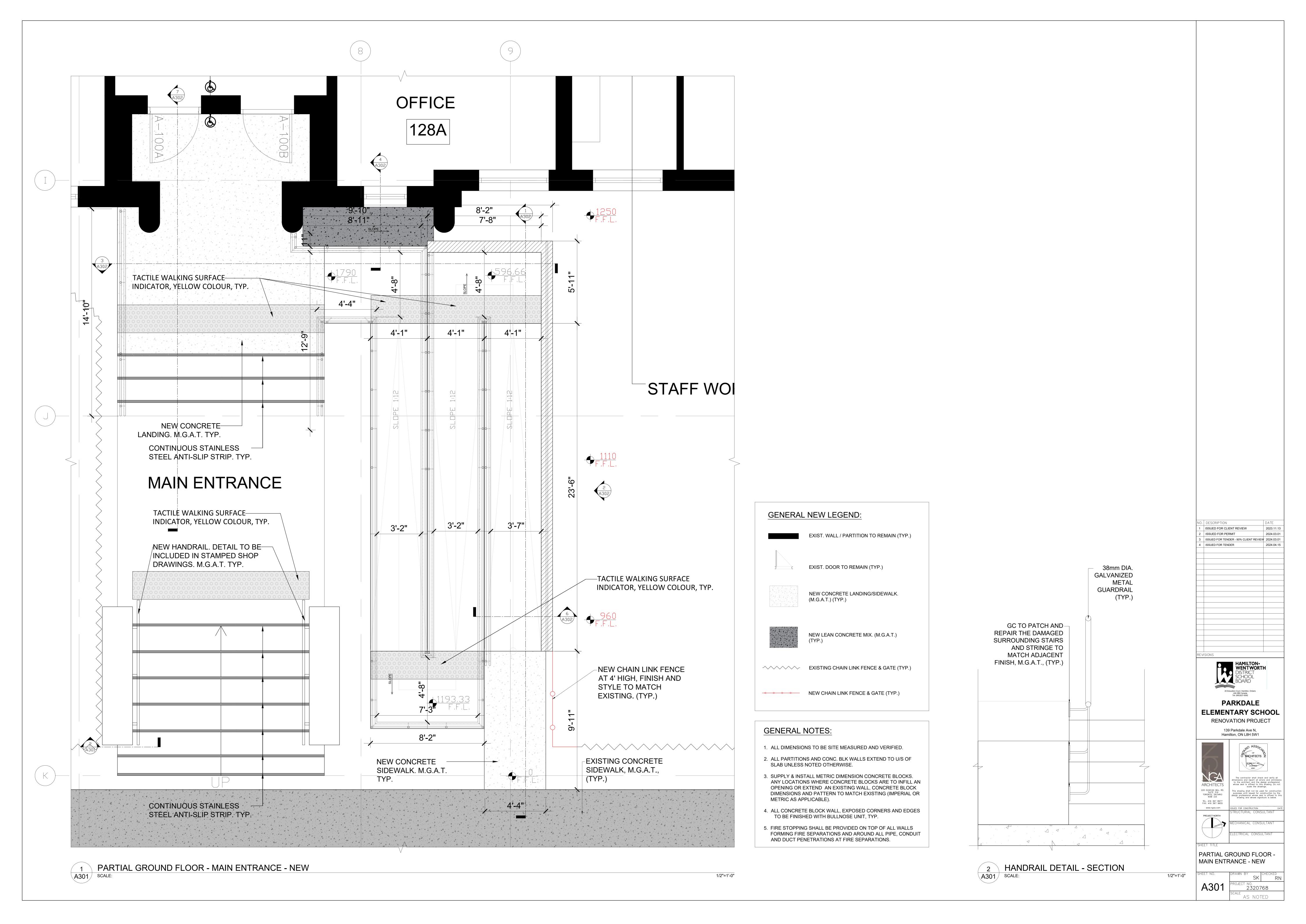
UED FOR CONSTRUCTION

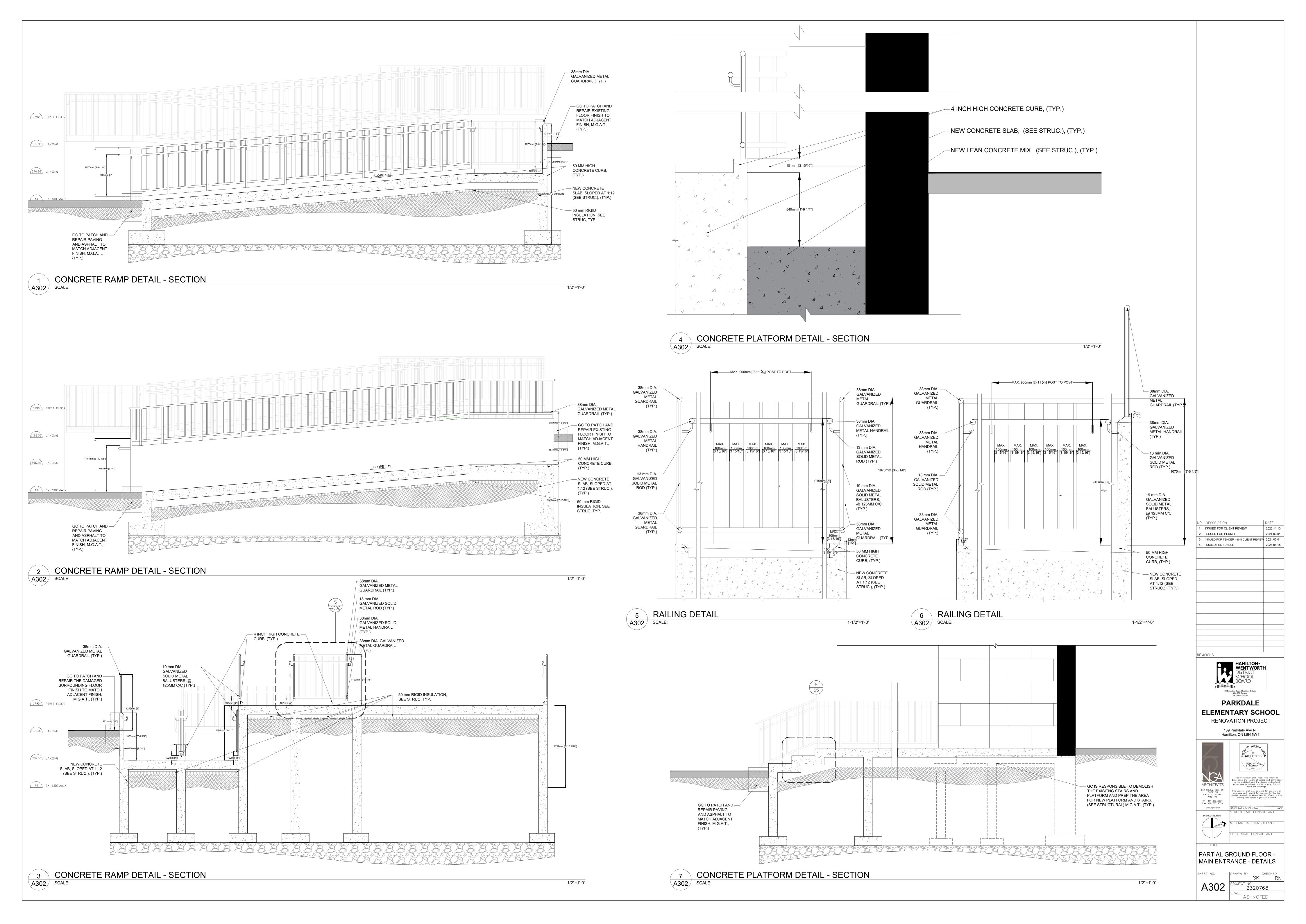
RCHITECTS Z

ECTRICAL CONSULTANT

PARTIAL GROUND FLOOR -MAIN ENTRANCE -DEMOLITION

> SK RN AS NOTED





	ROOM	FLOOR BASE		NORTH WALL		EAST WALL		SOUT	H WALL	WEST	WEST WALL		CEILING		
N□.	NAME	MATERIAL FINISH	H MATERIALFIN./CO	MATERIAL	FIN./COL	MATERIAL	FIN./COL	.MATERIA	LFIN./COL.	MATERIAL	FIN./COL.	MATERIAL	FINISH	COLOR	R HEIGHT REMARKS
GRO	GROUND FLOOR														
112	GYMNASIUM	ARF -	RB -	EX	PT	EX	PT	EX	PT	EX	PT	EX	PT	_	EX
112A	STAIR	PDR -	RB -	EX	PT	CBL	PT	EX	PT	EX	PT	EX	РТ	_	_
112B	STAIR	PDR -	RB -	EX	PT	EX	PT	EX	PT	EX	PT	EX	РТ	_	

1 ROOM FINISH SCHEDULE A400 SCALE:

ARF ATHLETIC RESILIENT FLOORING

CBL CONCRETE BLOCK POR NON-SLIP PORCELAIN TILE

PT PAINT

LEGEND

RB RUBBER WALL BASE

EXISTING EX

M.G.A.T. MAKE GOOD ON AT ALL

TRADES AT JUNCTIONS

TYPICAL

CONFIRMED ON A LATER DATE BY CONSULTANT AND THE BOARD.

METAL CAGES, ETC.

GC IS RESPONSIBLE TO INCLUDE

FOR THE PAINTING OF ALL EXISTING

- GC IS RESPONSIBLE TO INCLUDE FOR THE VARIOUS PAINT COLOURS IN

THE GYM AREA, COLOURS TO BE

EXPOSED DUCT WORK AND STRUCTURE,

<u>NOTE</u>

LEGEND AUTOMATIC DOOR OPENER BARRIER-FREE **EXISTING HOLLOW METAL** WOOD SOLID CORE WOOD KICK PLATE PAINT FINISH STAIN FINISH

TEMPERED GLASS

VERIFY IN FIELD

TYPICAL NOTES:

1. ALL DIMENSIONS TO BE SITE MEASURED AND VERIFIED.

2. ALL EXTERIOR DOOR GLAZING TO BE DOUBLE PANEL INSULATED GLAZING UNITS.

3. ALL NEW KICK PLATES TO BE INSTALLED ON THE PUSH SIDE OF THE NEW DOORS, IF NOT OTHERWISE NOTED.

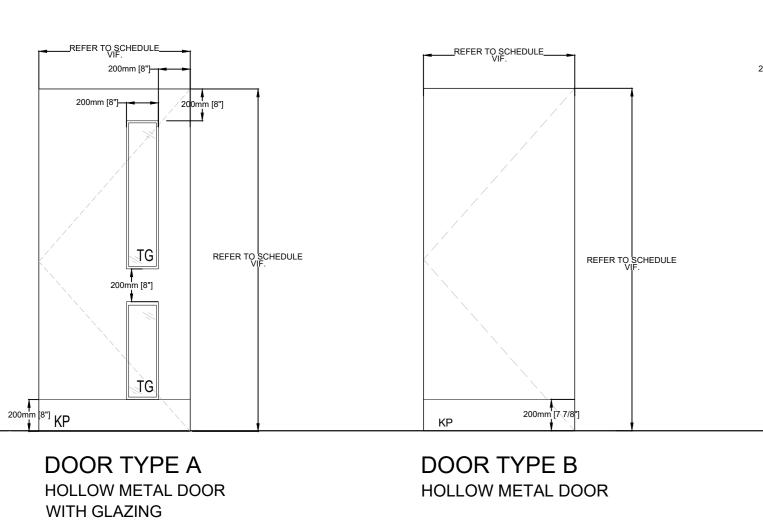
	DOOR SCHEDULE											
DOOR	NOMINAL DOOR SIZE	DOOR			FRAME			FIRE	THRESH'D	GRILLE	REMARKS	
DOOK	TO BE VERIFIED ON SITE)	TYPE	MAT.	FIN.	TYPE	MAT.	FIN.	RATING	TTTTCSTT B	OMILLE	TILIVIANS	
A-112A	+/-3'-11" x +/-7'	Α	НМ	PT	1	НМ	PT	_	_	_	ADO (B/F PUSH BUTTON)	
A-112B	+/-3'-11" x +/-7'	Α	HM	PT	EX	EX	EX	_	_	_		
A-112C	+/-3'-2" x +/-7'	В	НМ	PT	1	НМ	PT	_	_	_		
A-100A	+/-3'-6" x +/-7'	С	SCWD	PT	2	WD	ST	_	_	_	ADO (B/F PUSH BUTTON)	
A-100B	+/-3'-6" x +/-7'	С	SCWD	PT	2	WD	ST	_	_	_		
A-100C	+/-4' x +/-7'	С	SCWD	ST	2	WD	ST	_	_	_	ADO (B/F PUSH BUTTON)	
A-100D	+/-4' x +/-7'	С	SCWD	ST	EX	EX	EX	_	_	_		

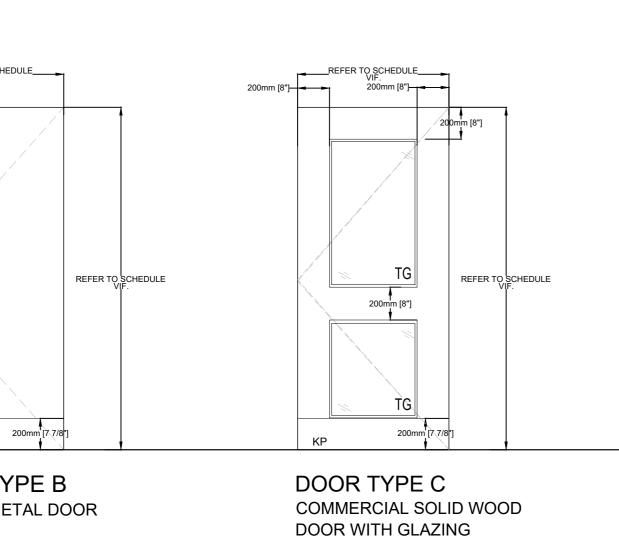
2 DOOR SCHEDULE

DOOR TYPE

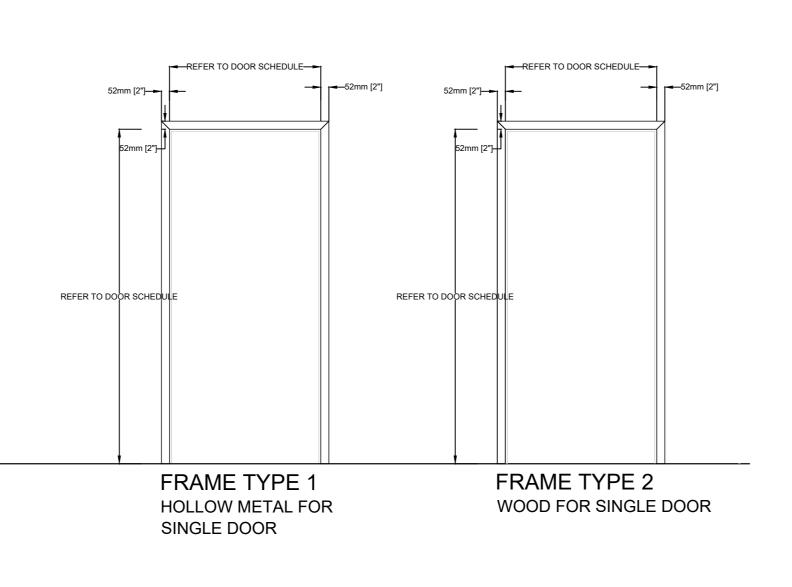
N.T.S.

N.T.S.





N.T.S.





N.T.S.

O. DESCRIPTION

ISSUED FOR PERMIT

ISSUED FOR TENDER

ISSUED FOR CLIENT REVIEW

ISSUED FOR TENDER - 90% CLIENT REVIEW 2024.03.01

2023.11.13



ELEMENTARY SCHOOL RENOVATION PROJECT 139 Parkdale Ave N, Hamilton, ON L8H 5W1



OF RCHITECTS Z

SSUED FOR CONSTRUCTION DA STRUCTURAL CONSULTANT ELECTRICAL CONSULTANT

SCHEDULES

SK RN A400 AS NOTED