

Alterations to HWCDSB CATHEDRAL CATHOLIC HIGH SCHOOL

30 Wentworth Street North

PROJECT No. 24.025

ARCHITECT:
LINTACK ARCHITECTS INC.

244 JAMES STREET SOUTH,
HAMILTON, ONTARIO L8P 3B3

PHONE: 905.522.6165 FAX: 905.522.2209

MECHANICAL / ELECTRICAL ENGINEER:

EJS ENGINEERING INC.

810 NIPISSING ROAD, SUITE 212-214
MILTON ONTARIO L9T 4Z9

PHONE: 647.945.8484

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905-522-6165



CATHEDRAL CATHOLIC HIGH SCHOOL – HWCDSB
RENOVATION & ALTERATION FOR CLASSROOMS
30 WENTWORTH STREET NORTH
HAMILTON, ONTARIO

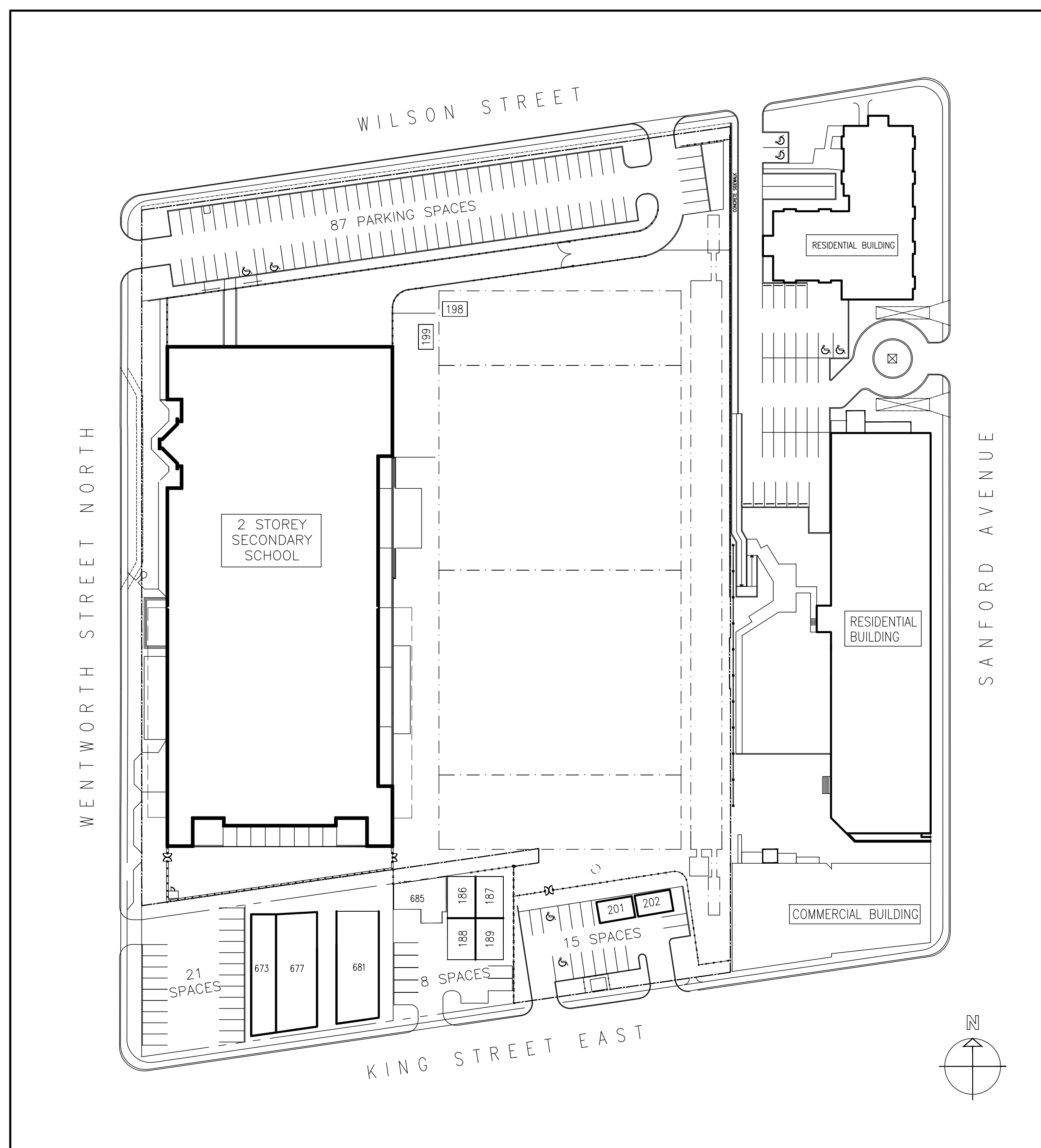
Item	Ontario Building Code Data Matrix	OBC Reference	
1	Project description: RENOVATION & ALTERATION TO EXISTING SCHOOL	■ Part 3 □ Part 10 □ Part 11	
2	Age of Building (years): 22 YEARS – (1993)	11.1 to 11.4	
3	Any Additions: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (if yes) Age: #	11.3.2	
3a	Will Addition Be Affected: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	11.1 to 11.4	
4	Construction Index: C.I. 6	10.2.1.2 TBL 11.2.1.1	
5	Hazard Index (OLD): H.I. 6 Hazard Index (NEW): H.I. 6	10.3.2.2.(5) 11.2.1.1	
5a	Hazard Index Credit Available: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	10.3.2.2.(6) 11.2.1.1.(2)	
6	Number of Storeys Above Grade 2 Below Grade 1	3.2.1.1 & 1.1.3.2	
7	Height of Building 2 STOREY (8.4M)		
8	Number of Streets/Fire Fighter Access 3 (EXISTING TO REMAIN)	3.2.2.10 & 3.2.5.	
9	Farm Building: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	11.4.2.3 (1)c	
10	Structural Upgrade Required: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	10.3.2.2.(1) 11.4.3.2.	
11	Compliance Alternative Number: N/A	10.4.1 11.5.1.1	
12	Early Warning & Evacuation System Update Required: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	TBL10.3.2.2 11.4.3.3	
13	Construction Type: <input type="checkbox"/> Heavy Timber <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible	TBL 11.2.1.1.	
BUILDING DETAILS:			
EXISTING:		PROPOSED:	
14	Major Occupancy Classification A2	A2	3.1.2.1 10.2.1
15	Occupant Load Determination <input type="checkbox"/> m ² /person <input checked="" type="checkbox"/> design	71 classrooms 73 classrooms	3.1.16.1
Two classrooms to be subdivided into four smaller classrooms. No change in occupant load.			
16	FRR Floors over Basement	N/A	SG-8.2
17	FRR other Floors	N/A	SG-8.2
18	FRR Roof	-	SG-8.2
19	Number of Group C Suites	N/A	3.1.16.1 10.3.2.2.(8)
20	Building Area (m ²)	6269 m ²	1.1.3.2
21	Gross Area (m ²)	12538 m ²	1.1.3.2
22a	Suite Area (m ²) Rm 308/308A	131.9 m ²	2.1.1.3
22b	Suite Area (m ²) Rm 310/310A	171.0 m ²	2.1.1.3
23	Sprinklered <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No		3.2.1.5 & 3.2.2.17
24	Fire Alarm <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No		3.2.4
25	Performance Level Reduced <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (if yes) explain		

DRAWING LIST

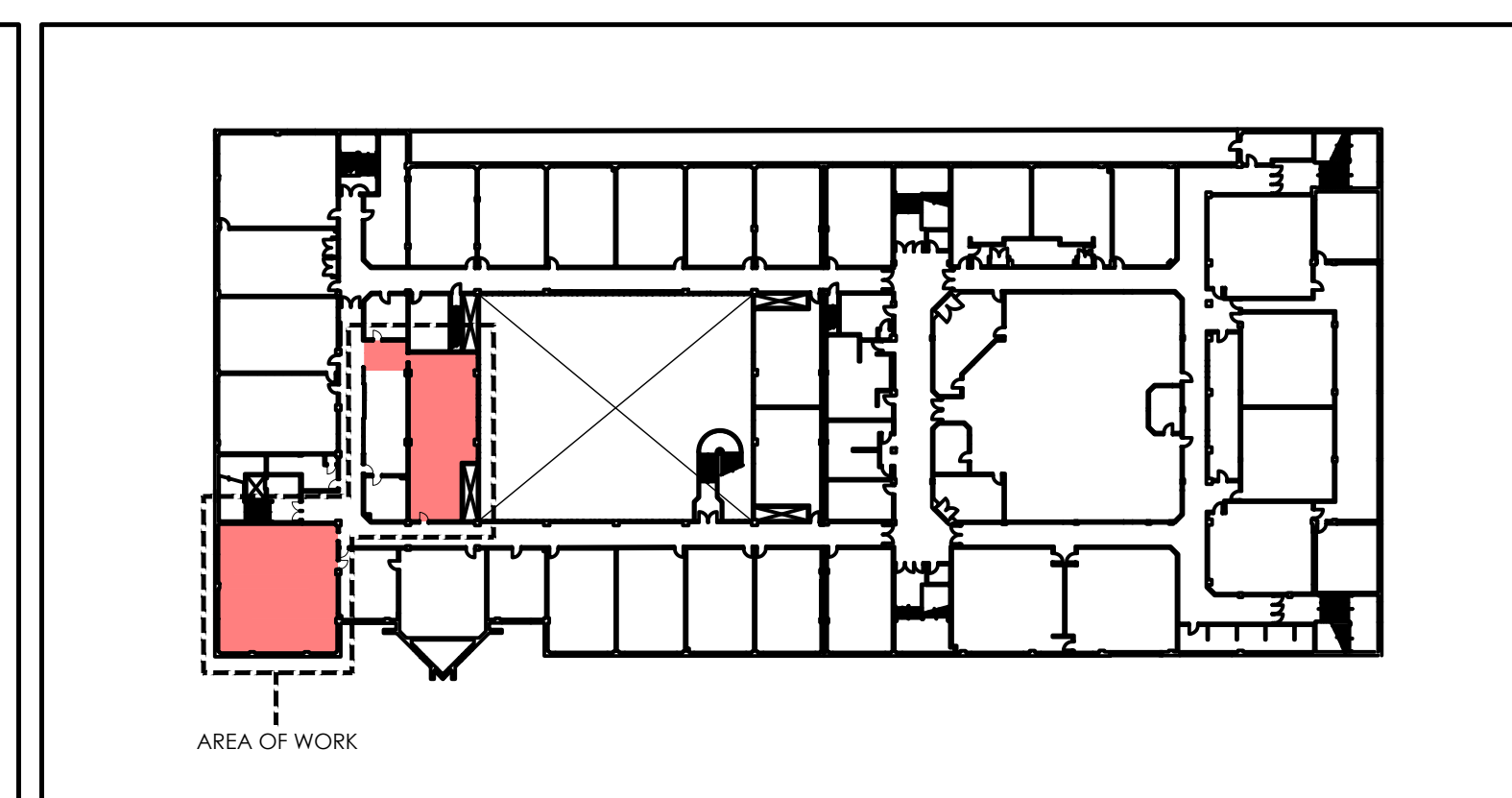
A1.0 COVER & SITE PLAN
A2.0 FLOOR & CEILING PLANS, SCHEDULES



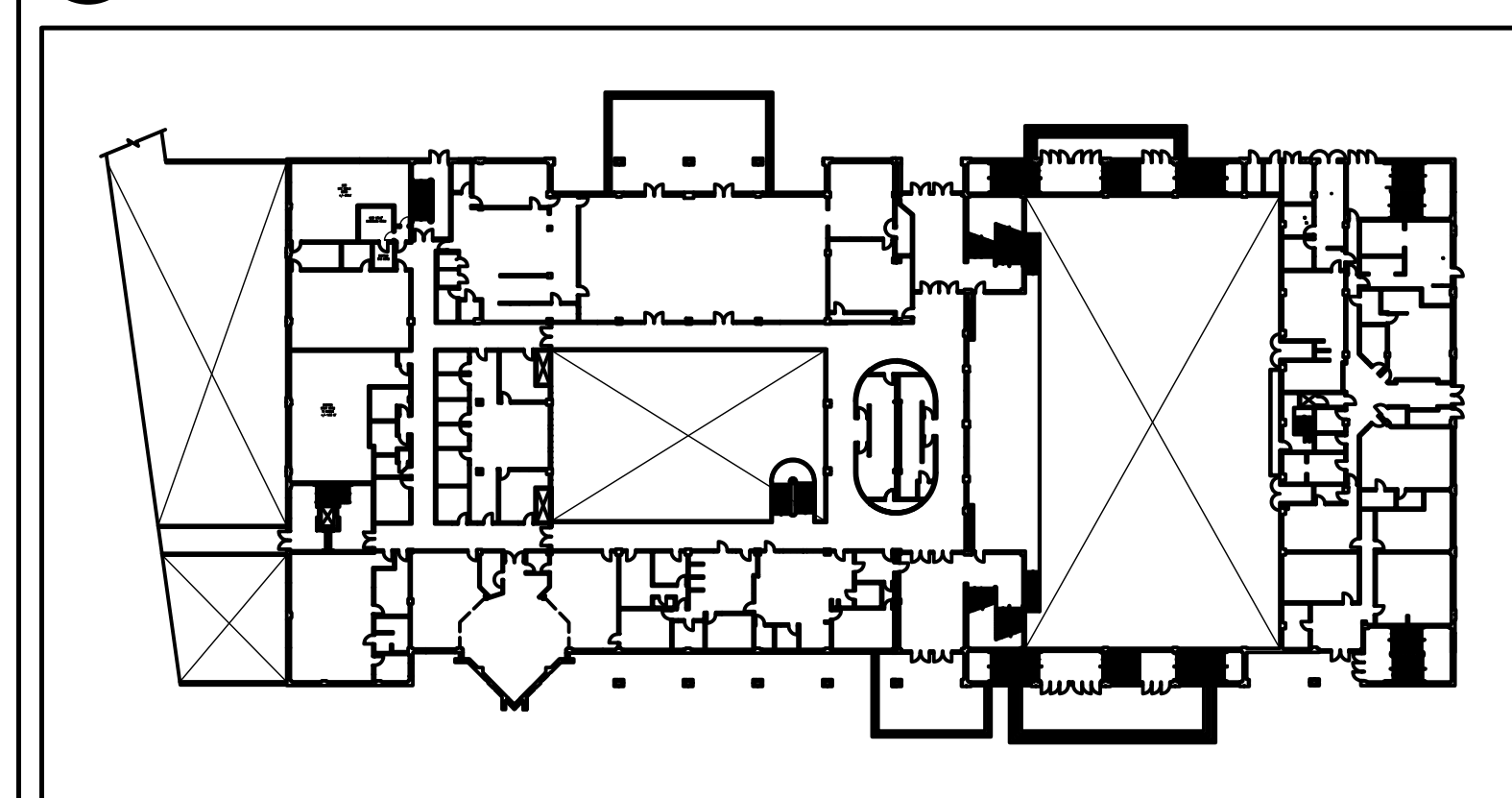
1 LOCATION PLAN
SCALE: NTS



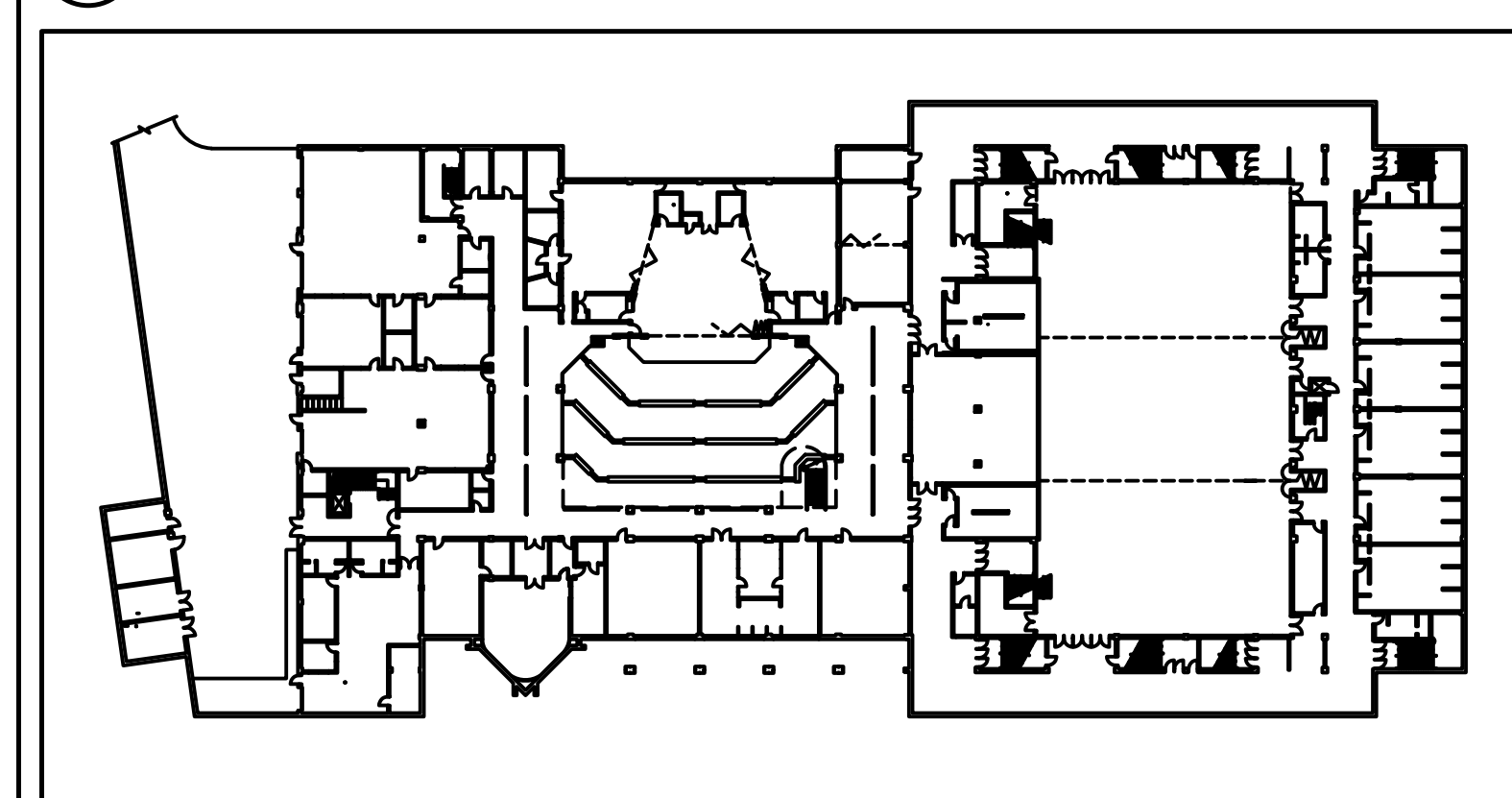
2 SITE PLAN
SCALE: 1/32" = 1'-0"



5 SECOND FLOOR KEY PLAN
SCALE: 1/64" = 1'-0"



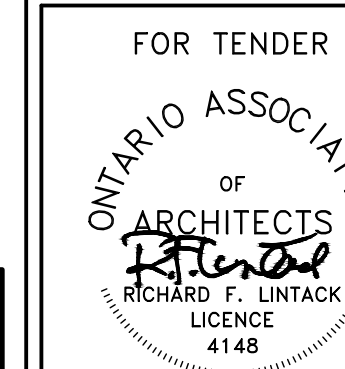
4 GROUND FLOOR KEY PLAN (REFERENCY ONLY)
SCALE: 1/64" = 1'-0"



3 BASEMENT FLOOR KEY PLAN (REFERENCY ONLY)
SCALE: 1/64" = 1'-0"

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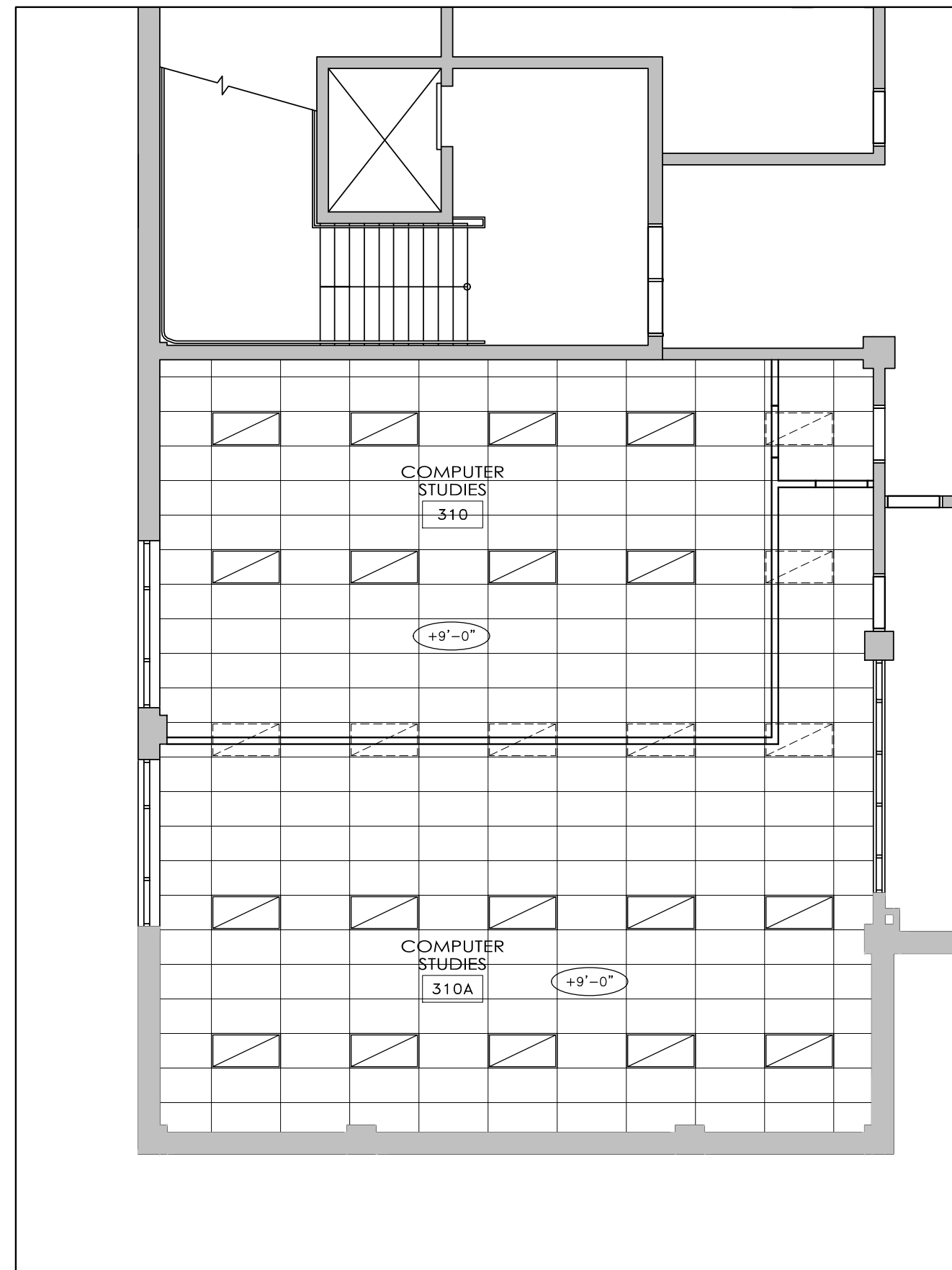


This drawing must not be scaled.
General Contractor shall verify all
dimensions, details and levels prior
to commencement of the work.
All errors and omissions are to be
reported immediately to the architect.
All joints between dissimilar materials
and transitions are to be caulked and
sealed to prevent moisture and water
infiltration.

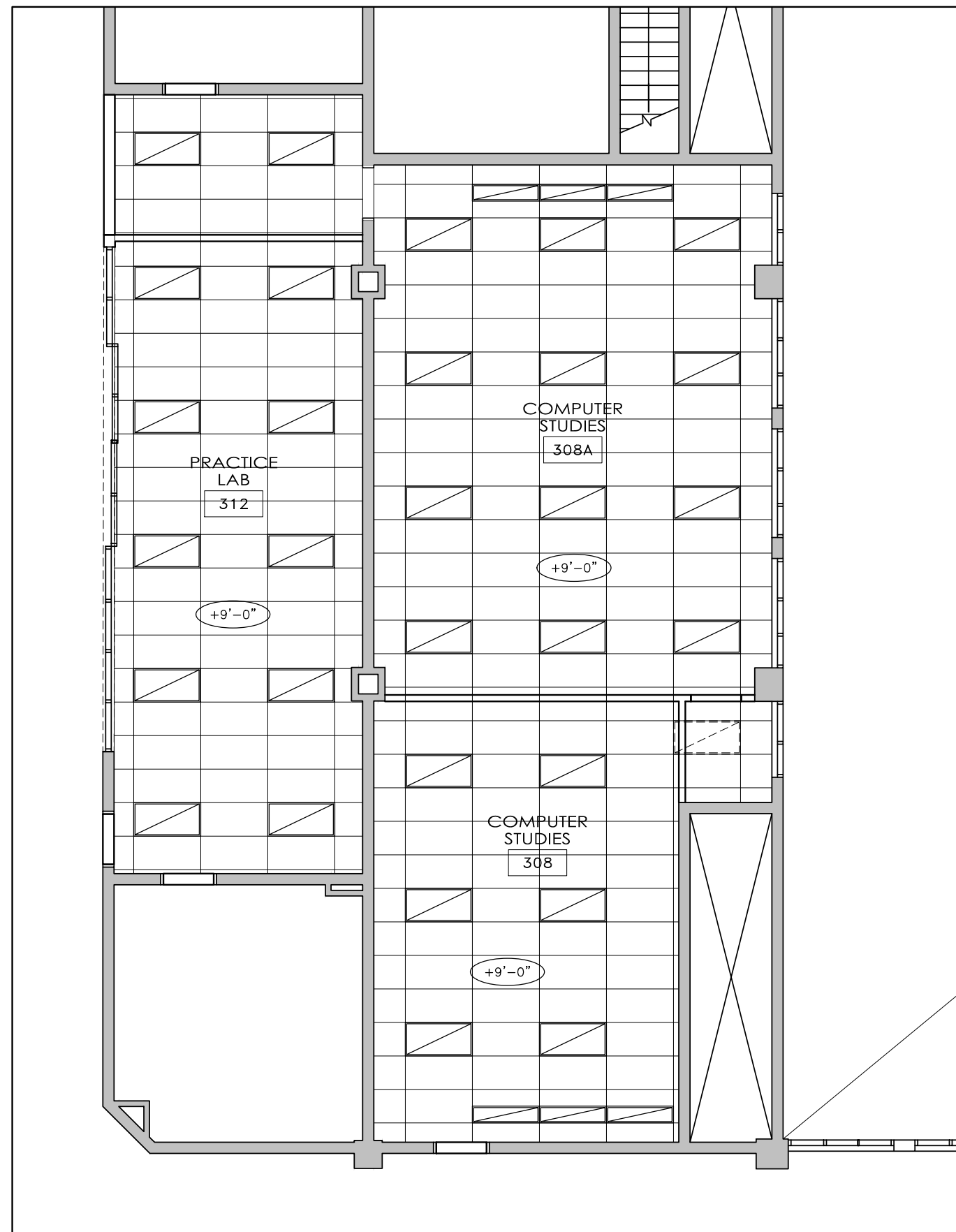
No.	Revisions	Date
1	ISSUED FOR TENDER	APR 22, 2024
No.	Issue	Date

Alteration to
**Cathedral High School
HWCDSB**
30 Wentworth Street North
Hamilton, Ontario

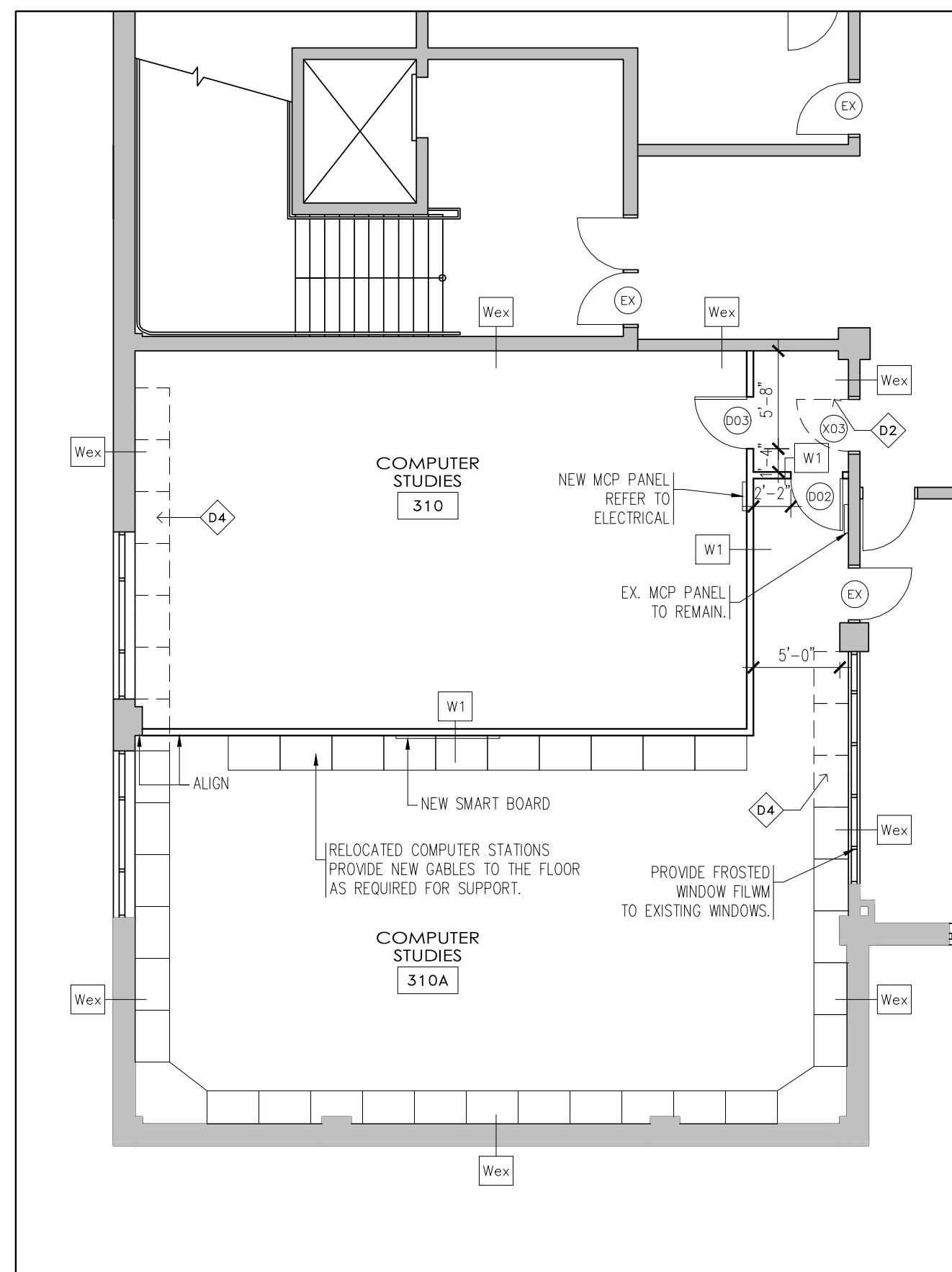
job no.	24.025
dwg. file	
dwn. by	JR
scale	AS NOTED
date	MAR 2024
dwg. title	Cover & Site Plan
dwg.	A1.0



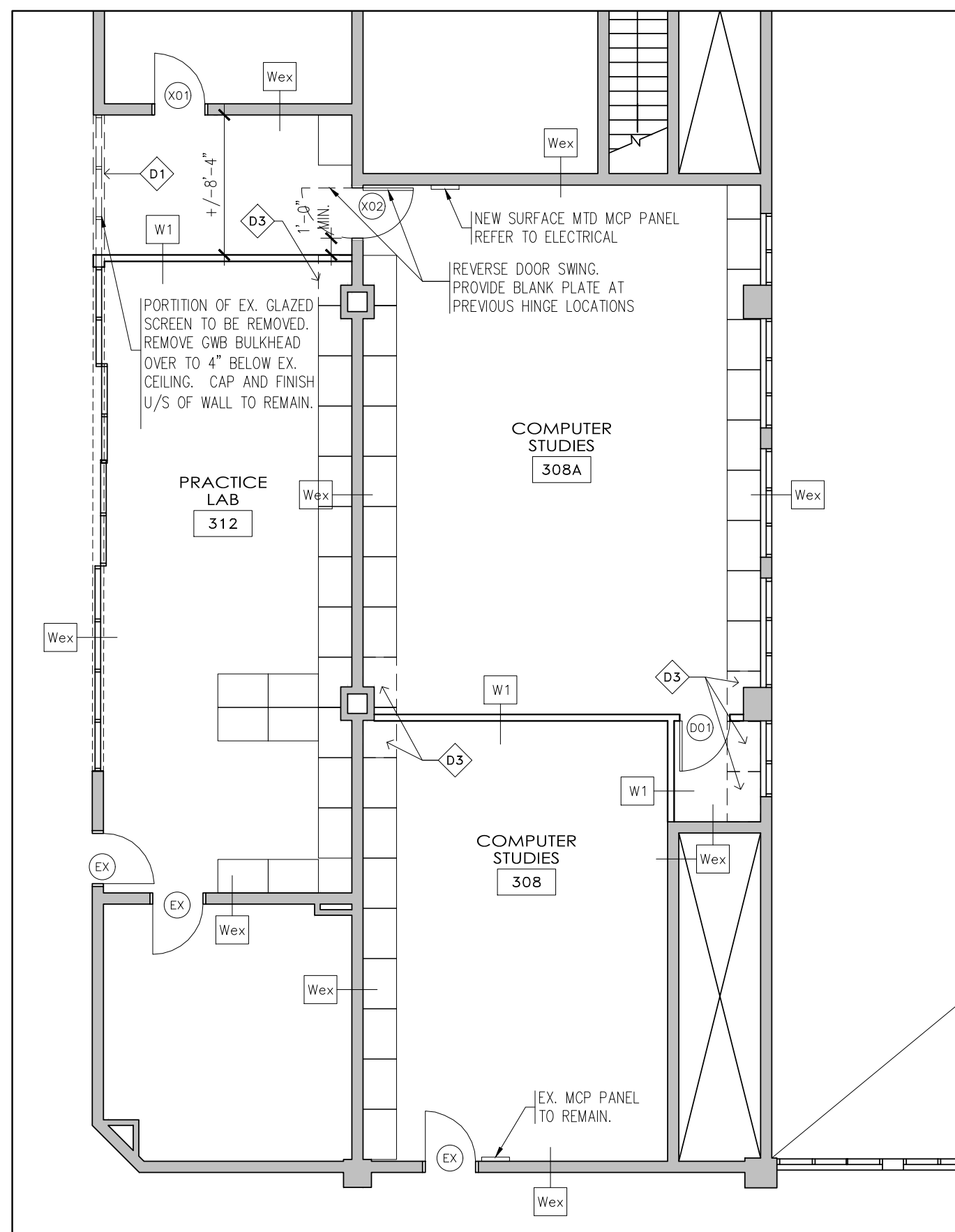
2 CEILING PLAN - ROOM 310/310A
A2.0 SCALE 1/8" = 1'-0"



4 CEILING PLAN - ROOM 308/308A
A2.0 SCALE 1/8" = 1'-0"



1 FLOOR PLAN - ROOM 310/310A
A2.0 SCALE 1/8" = 1'-0"



3 FLOOR PLAN - ROOM 308/308A
A2.0 SCALE 1/8" = 1'-0"

SYMBOLS LEGEND

- ◊4 DEMOLITION TAG
- # WALL TYPE
- ⊙ DOOR TYPE
- █ EXISTING WALL TO REMAIN
- ▬ NEW INTERIOR PARTITION
- ITEM TO BE DEMOLISHED

- GENERAL NOTES:**
- ALL WORK TO COMPLY WITH THE MOST CURRENT EDITION OF THE ONTARIO BUILDING CODE.
 - EXISTING RATED ASSEMBLIES TO REMAIN. ANY DAMAGE TO EXISTING RATED ASSEMBLIES TO BE REPAIRED WITH MATERIAL TO MATCH EXISTING ASSEMBLIES.
 - DIMENSIONS ARE TO THE OUTSIDE FACE OF GYPSUM WALLBOARD PARTITIONS UNLESS NOTED OTHERWISE.
 - ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL ENGINEER'S DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE CONSULTANT.

- CEILING NOTES:**
- EXISTING ACOUSTIC CEILING TILE AND GRID TO REMAIN. REPLACE DAMAGED TILES AS REQUIRED.
 - EXISTING LIGHT FIXTURES SHOWN FOR REFERENCE ONLY. REFER TO ELECTRICAL DRAWINGS FOR ALL NEW AND EXISTING LIGHT FIXTURE LOCATIONS AND SPECIFICATIONS.
 - REFER TO MECHANICAL DRAWINGS FOR EXISTING AND PROPOSED HVAC AND SPRINKLER SYSTEMS.

- DEMOLITION LEGEND**
- ◊D1 EXISTING DOOR TO BE REMOVED AND RELOCATED. EXISTING FRAME TO REMAIN. REFER TO NOTES ON DOOR SCHEDULE.
 - ◊D2 PORTION OF EXISTING MILLWORK TO BE RELOCATED AS INDICATED ON PLANS. EXPOSED EDGES TO BE FINISHED WITH MATERIAL TO MATCH EXISTING. PROVIDE SUPPORT GABLES TO FLOOR AS REQUIRED IN NEW LOCATION.

- DEMOLITION NOTES**
- ALL ITEMS SHOWN DASHED ARE TO BE REMOVED AND DISPOSED OF UNLESS NOTED OTHERWISE. ADJACENT SURFACES TO BE MADE GOOD.
 - MAKE GOOD ALL EXISTING WALLS, BASES, FLOORS AND CEILINGS TO REMAIN AS REQUIRED AT ALL REMOVED ITEMS INCLUDING MECHANICAL AND ELECTRICAL ITEMS.

- CONTINGENCY ALLOWANCE**
- GENERAL CONTRACTOR SHALL CARRY A CONTINGENCY ALLOWANCE IN THE AMOUNT OF \$15,000 TO COVER UNFORSEEN SITE CONDITIONS.

- WALL ASSEMBLIES**
- W1 NEW INTERIOR GYPSUM BOARD WALL ASSEMBLY
 - 1/2" GYPSUM WALLBOARD (TAPED, FILLED, SANDED, PRIMED & PAINTED)
 - 3/8" STEEL STUD FRAMING @ 16" O.C.
 - 1/2" GYPSUM WALLBOARD (TAPED, FILLED, SANDED, PRIMED & PAINTED)
 - FROM T/O FLOOR TO U/S OF EXISTING ACOUSTIC TILE CEILING.
 - FILL STUD CAVITY WITH SOUND ATTENUATING BATT INSULATION. PROVIDE SOUND BATT INSULATION ABOVE CEILING AT TOP OF NEW PARTITIONS.
 - PROVIDE NEW 6" HIGH RUBBER COVE BASE TO MATCH EXISTING ON BOTH SIDES.
 - PAINT FINISH TO MATCH EXISTING. CONTRACTOR TO COLOUR MATCH EXISTING WALL PAINT WITHIN THE SPACE.

- FLOOR/CEILING ASSEMBLIES**
- EXISTING FLOOR/CEILING ASSEMBLY BETWEEN GROUND FLOOR AND SECOND FLOOR TO REMAIN.

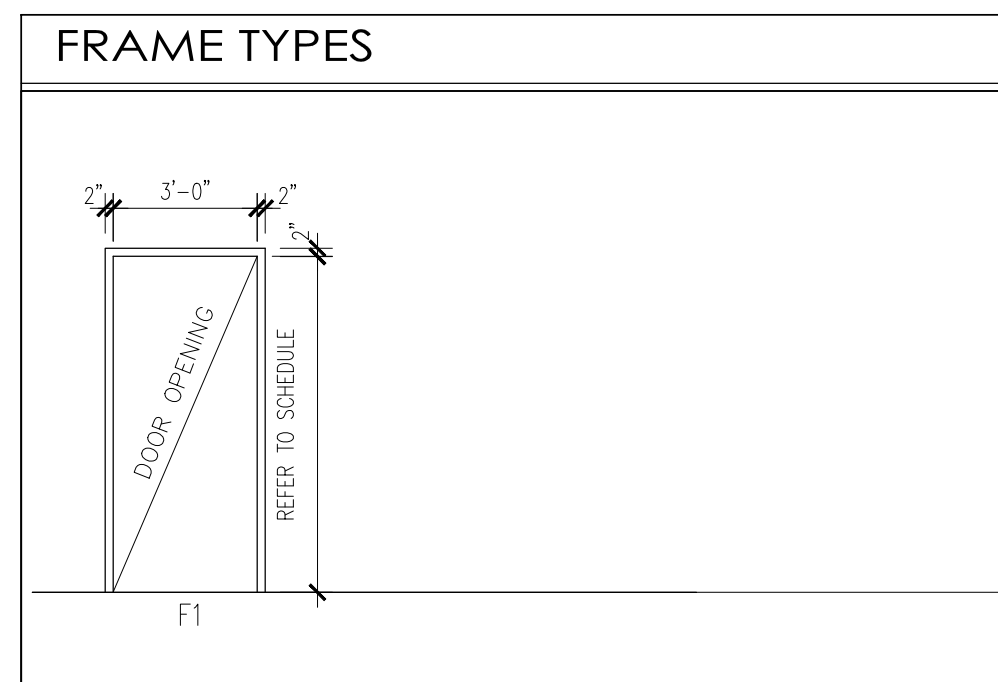
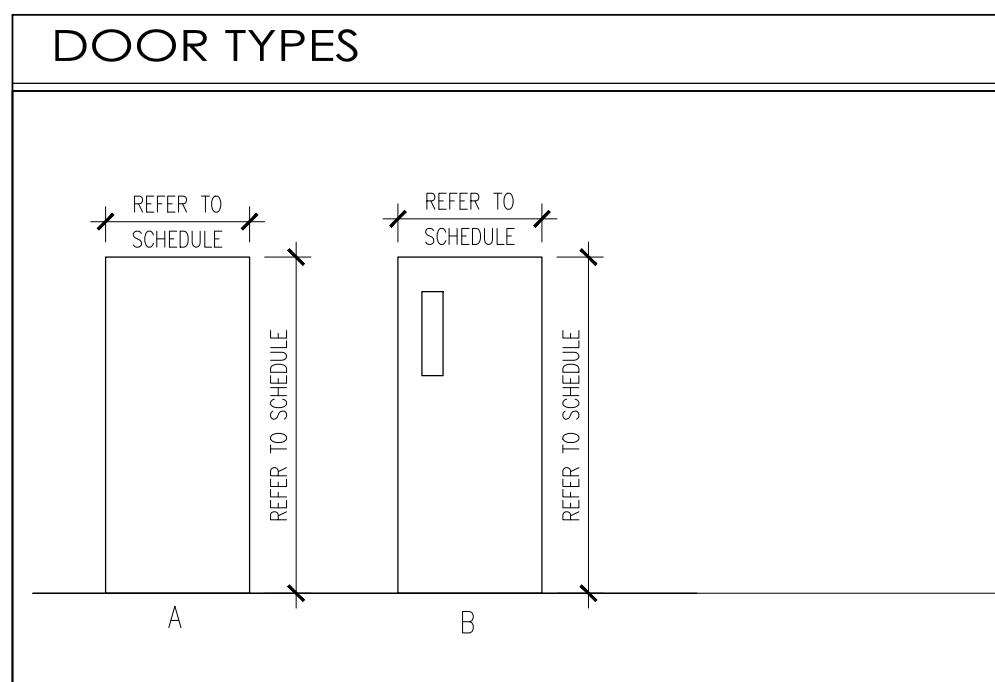
DOOR SCHEDULE SHADED PANELS INDICATE EXISTING ITEMS/CONDITIONS TO REMAIN.

NO.	DOOR		FRAME		GLASS	F.R.R.	REMARKS
	DIMENSIONS	THICK	TYPE	MATERIAL FINISH			
D01	3'-0" x 7'-0"	1 3/4"	A	HM PT1	F1	HM PT1	- - STOREROOM FUNCTION LOCKSET, FLOOR MTD. DOOR STOP
D02	3'-0" x 7'-0"	1 3/4"	B	HM PT1	F1	HM PT1	- - CLASSROOM FUNCTION LOCKSET
D03	3'-0" x 7'-0"	1 3/4"	B	WD PL	F1	HM PT1	- - RELOCATED DOOR X03, NEW H.M. FRAME
X01	3'-0" x 7'-0"	1 3/4"	B	WD PL	F1	HM PT1	- - EXISTING DOOR TO BE FIXED IN CLOSED POSITION, HANDLES REMOVED. PROVIDE BLANK PLATES ON ANY REMAINING HOLES.
X02	3'-0" x 7'-0"	1 3/4"	B	WD PL	F1	HM PT1	- - EXISTING DOOR. REVERSE SWING, EXISTING HARDWARE TO BE REUSED. PROVIDE BLANK PLATES AT ABANDONED HINGE LOCATIONS.
X03	3'-0" x 7'-0"	1 3/4"	B	WD PL	F1	HM PT1	- - RELOCATE DOOR TO D03, FRAME TO REMAIN, PROVIDE BLANK PLATES AT HINGE LOCATIONS, NEW PAINT FINISH TO FRAME.

DOOR SCHEDULE LEGEND

X00	EXIST. DOOR TO REMAIN	PT	PAINTED
D00	NEW DOOR	W.G.	WIRED GLASS
SCWD	SOLID CORE WOOD	PL	PLASTIC LAMINATE
HM	HOLLOW METAL		

- RE-USE HARDWARE WHERE POSSIBLE AS PER DOOR REQUIREMENTS.
- NEW LOCKS TO BE KEYPED TO MASTER.
- ALL NEW HARDWARE TO MATCH EXISTING.



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