

## ADDENDUM No. 01

Total of 2 Pages + Attachments

To: SENECA POLYTECHNIC  
**Tina Preston-Fox**  
Project Manager

**Project:** Seneca K3170  
**Project No.:** 23044  
**Date:** April 30, 2024  
**Arch Addendum No.:** 01

The following information supplements and/or supersedes the bid documents issued

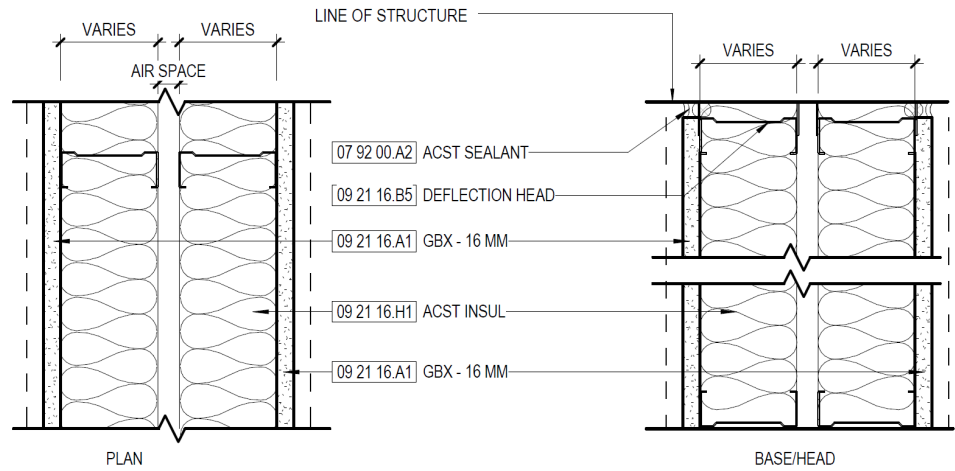
*This Addendum forms part of the contract documents and is to be read, interpreted, and coordinated with all other parts. The cost of all contained herein is to be included in the contract sum. The following revisions supersede the information contained in the original drawings and specifications issued for the above-named project to the extent referenced and shall become part thereof.*

### ARCHITECTURAL ADDENDUM

**ADD:** Refer to revised Architectural drawing A-100 dated April 30, 2024 attached which includes the following changes:

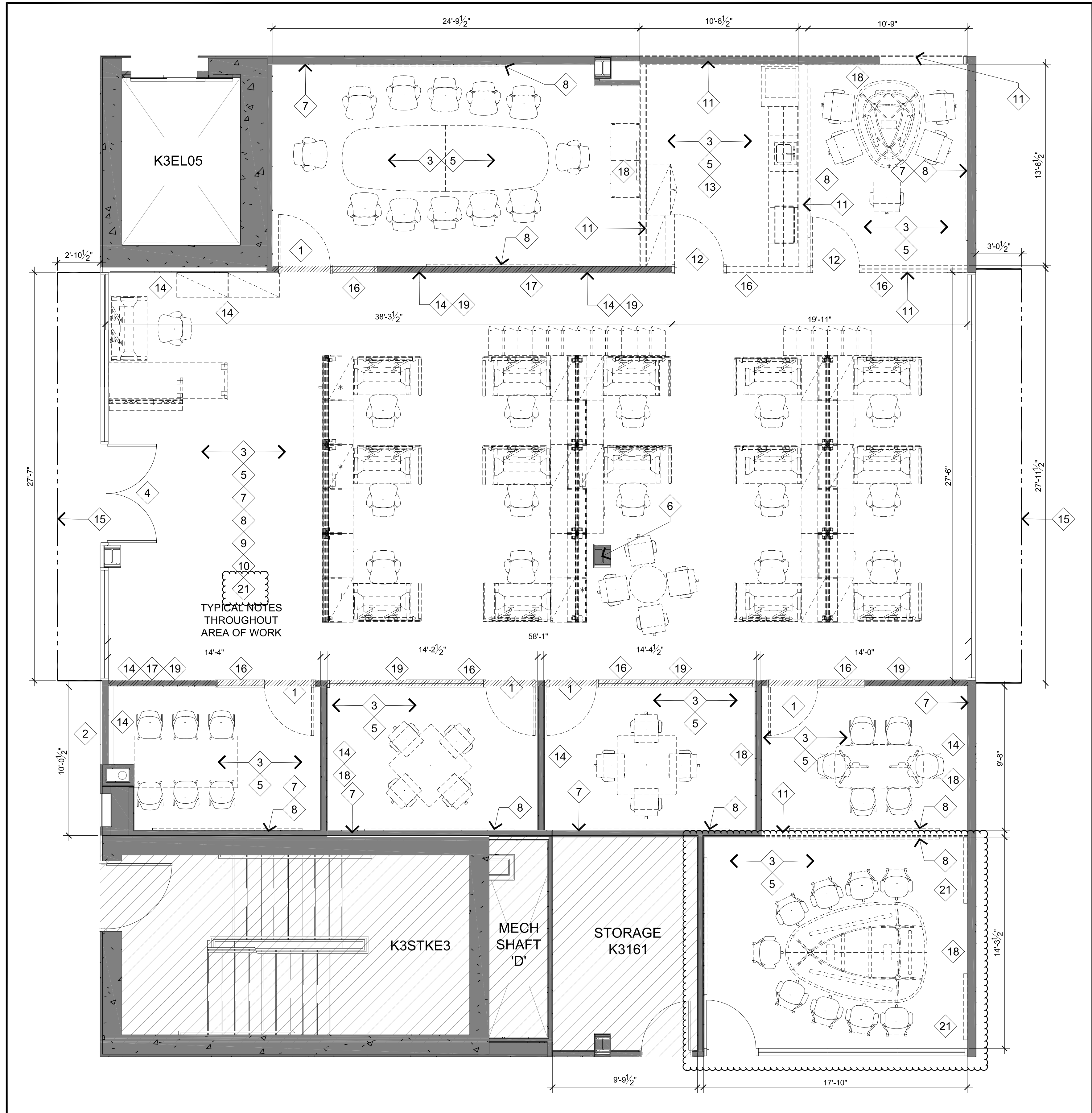
- 1.) Existing wall clock, all existing whiteboards and all existing acoustic panels within Meeting Room A3160 (next to Storage K3161) to be removed and turned over to Owner's representative.
- 2.) A new Floor Plan of Admin. Vestibule K3152 added as drawing 2/A-100. General Contractor shall remove portions of existing shaft wall assembly on three floors as required to suit installation of new vertical exhaust ductwork within this area on Floors 3, 4 and 5. Allow for an opening of approximately +/-5'-5" x +/-7'-0" on all levels. Existing shaft wall to be reinstated to match existing shaft wall assembly upon completion.

Existing shaft wall assembly to be reinstated on three floors is a 2 hour fire resistance rated assembly ULC W449.4 and shall be reinstated to match existing as described in the following detail for *Wall Type 449.4 – Rated Chase Wall*. All layers of Gypsum board to be 5/8" 'Type X'. Site verify all existing dimensions on site and report any discrepancies to the Architect.



INTERIOR WALL TYPE	STUD SIZE	FIRE RATING / TEST NO	ACOUSTIC PROPERTIES		ADDITIONAL COMMENTS
			STC	INSUL THK	
W449.1	92mm	1 HR / ULC W449	55	92mm	1 LAYER GWB EACH SIDE (NON BEARING WALL)
W449.2	92mm	2 HR / ULC W449	55	92mm	2 LAYERS GWB EACH SIDE (NON BEARING WALL)
W449.3	152mm	1 HR / ULC W449	55	92mm	1 LAYER GWB EACH SIDE (NON BEARING WALL)
W449.4	152mm	2 HR / ULC W449	55	92mm	2 LAYERS GWB EACH SIDE (NON BEARING WALL)

End of Addendum No. 1



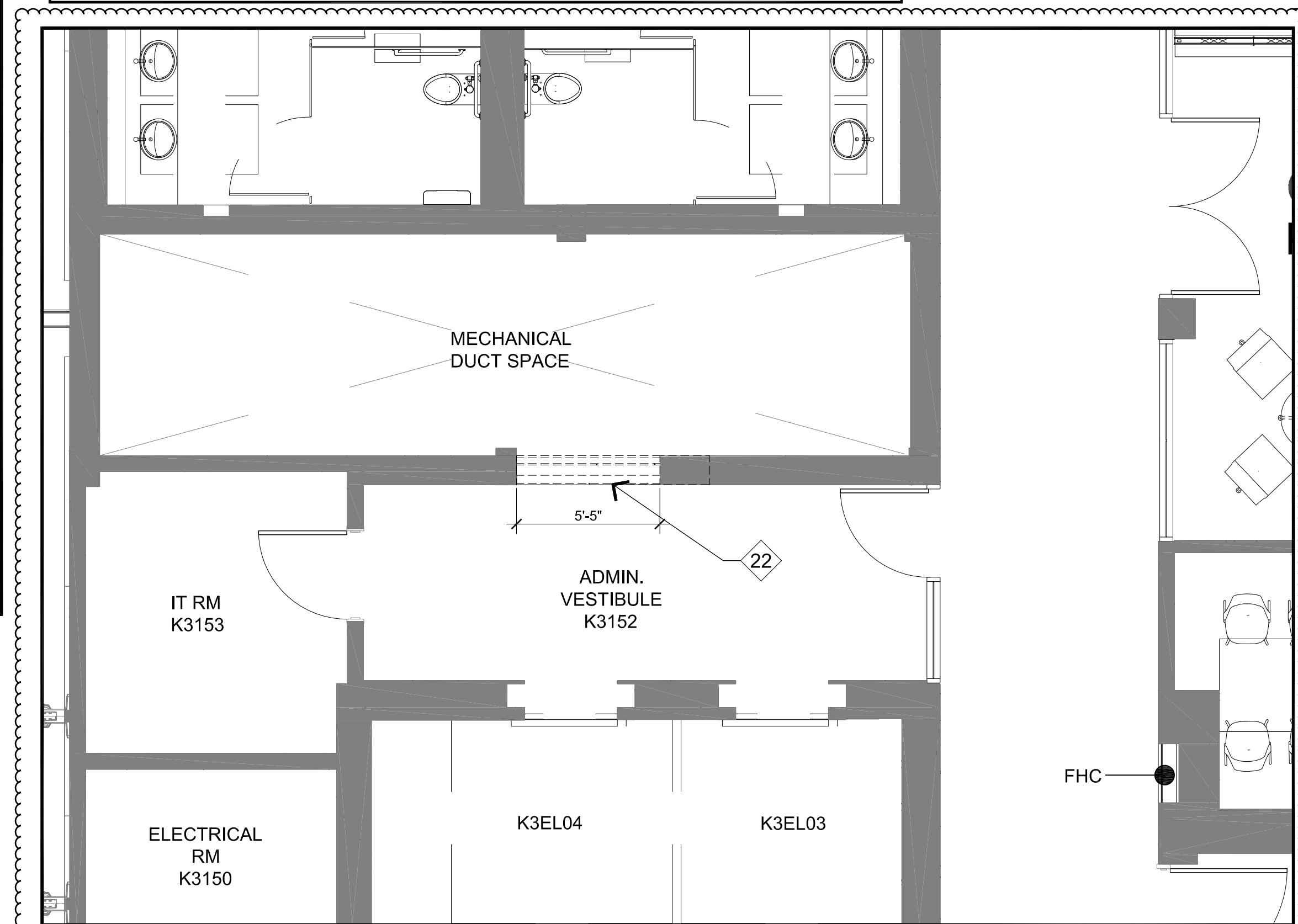
1 DEMOLITION FLOOR PLAN  
A-100 SCALE: 1/4" = 1'-0"

#### DEMOLITION NOTES:

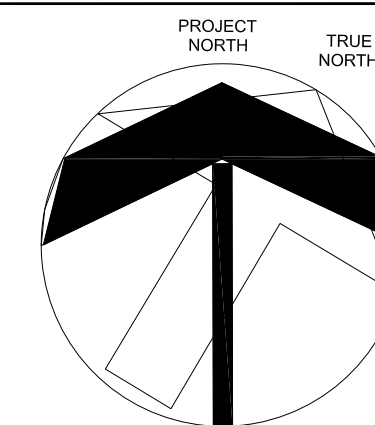
- GENERAL NOTE: UNLESS OTHERWISE NOTED, REMOVE ALL INTERIOR FINISHES TO BE REMOVED. EXISTING DEMISING WALLS, COLUMN ENCLOSURES AND EXISTING FIRE SEPARATIONS TO BE MAINTAINED UNLESS OTHERWISE NOTED. REMOVE FLOOR FINISHES DOWN TO CONCRETE FLOOR. PATCH AND MAKE GOOD ALL SURFACES TO REMAIN AS REQUIRED. LEVEL FLOOR TO MAXIMUM 1% SLOPE. PROVIDE TEMPORARY PROTECTION FOR SPRINKLER HEADS TO REMAIN FOR DURATION OF WORK.
- EXISTING SOLID WOOD DOOR(S) TO BE REMOVED AND TURNED OVER TO OWNER. EXISTING HOLLOW METAL (HM) FRAME AND HM SIDELIGHT(S) TO REMAIN UNLESS OTHERWISE NOTED. REMOVE ALL ASSOCIATED DOOR HARDWARE INCLUDING DOOR HANDLES, HINGES, STOPS, AND CLOSERS, ETC. AND TURN OVER TO THE OWNER.
  - APPROXIMATE LOCATION OF EXISTING ELECTRICAL PANEL IN CORRIDOR. REFER TO ELECTRICAL DRAWINGS FOR DETAILED SCOPE OF WORK.
  - ALL EXISTING FURNITURE WITHIN AREA OF WORK TO BE CAREFULLY REMOVED AND RELOCATED OFFSITE TO OWNER'S DESIGNATED STORAGE ROOM. COORDINATE WITH OWNER'S REPRESENTATIVE DIRECTLY FOR LOCATION OF FURNITURE STORAGE. CONFIRM ITEMS TO BE REINSTALLED UPON COMPLETION OF WORK.
  - EXISTING CLASSROOM ENTRANCE DOUBLE DOOR, CARD READER, OPERATOR AND ASSOCIATED HARDWARE TO REMAIN AND SECURED DURING CONSTRUCTION.
  - REMOVE EXISTING FLOOR FINISHES, FLOOR TRANSITIONS, BASEBOARDS AND ASSOCIATED UNDERLAYMENT THROUGHOUT AREA OF WORK. STRIP FLOOR DOWN TO CONCRETE SLAB. MAKE GOOD, SMOOTH OUT EXISTING SLAB AND MAKE READY TO RECEIVE NEW FINISH. REMOVE RIDGES AND BUMPS IN EX. CONCRETE SLAB AND FILL ALL LOW SPOTS, CRACKS, JOINTS, HOLES AND OTHER DEFECTS WITH SELF-LEVELING SUB-FLOOR FILLER. LEVEL EX. ALL FLOOR LEVEL WORK TO MEET ASTM F710 STANDARD FOR CONC. FLOORS.
  - EXISTING COLUMN AND GYPSUM BOARD ENCLOSURE TO REMAIN AND BE PAINTED UPON COMPLETION OF WORK.
  - ALL EXISTING FIRE SEPARATIONS TO BE MAINTAINED THROUGHOUT. FIRE CAULK AND SEAL ALL EXISTING AND NEW OPENINGS IN EX. FIRE SEPARATIONS TO SUIT MECHANICAL, ELECTRICAL AND AUDIOVISUAL SCOPES OF WORK.
  - CAREFULLY REMOVE AND SALVAGE ALL EXISTING WHITE BOARDS, TV SCREENS, PROJECTORS AND WALL MOUNTED BRACKETS AND TURN OVER TO OWNER. WHITE BOARDS TO BE SALVAGED AND CAREFULLY STORED FOR RE-INSTALLATION. GC TO PATCH REPAIR AND MAKE SMOOTH WALLS TO REMAIN AND MAKE READY TO RECEIVE NEW PAINT FINISH.
  - EXISTING EXIT SIGNS TO BE REPLACED WITH NEW GREEN RUNNING MAN AND EMERGENCY LIGHT COMBO WHERE NOTED ON ELECTRICAL PLANS. REFER TO ELECTRICAL DRAWINGS FOR DETAILED SCOPE OF WORK.
  - EXISTING FIRE ALARM SPEAKERS AND STROBES TO BE CAREFULLY REMOVED AND RELOCATED TO SUIT CEILING MODIFICATIONS. REFER TO ELECTRICAL DRAWINGS FOR DETAILED SCOPE OF WORK RELATED TO LIFE SAFETY SYSTEMS.
  - EXISTING PARTITIONS TO BE REMOVED WHERE SHOWN AS DASHED. SITE VERIFY EXTENT OF REMOVAL AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
  - EXISTING SOLID WOOD DOOR, HOLLOW METAL FRAME, SIDELIGHT AND HARDWARE TO BE REMOVED AND TURNED OVER TO OWNER.
  - EXISTING KITCHENETTE TO BE REMOVED IN ITS ENTIRETY INCLUDING ALL CABINETS, FIXTURES, PLUMBING CONNECTIONS, AND APPLIANCES. APPLIANCES TO BE TURNED OVER TO OWNER. PLUMBING TO BE CAPPED AT HIGH LEVEL. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL SCOPE.
  - CUT EXISTING GYPSUM BOARD WALL FINISHES TO SUIT NEW POWER AND DATA REQUIREMENTS THROUGHOUT AREA OF WORK (TYPICAL FOR ALL LOCATIONS INCLUDING PARTITIONS TO REMAIN. REFER TO PROPOSED POWER AND DATA PLANS, AUDIOVISUAL DRAWINGS AND ELECTRICAL DRAWINGS FOR LOCATIONS AND DETAILED REQUIREMENTS FOR INSTALLATION OF SCREENS, FURNITURE AND REQUIRED PROVISIONS).
  - PROVIDE TEMPORARY CONSTRUCTION HOARDING ON CORRIDOR SIDE ALONG EXISTING GLAZING. BID PRICE SHALL INCLUDE 6 MIL. (MIN.) OPAQUE POLY SHEET MOUNTED TO 3-5/8" STEEL STUDS TO UNDERSIDE OF CORRIDOR CEILING. ALL SEAMS TO BE AIR TIGHT. PROVIDE TEMPORARY DOUBLE DOORS WITHIN STUD WALL FRAMING COMPLETE WITH SLIDING BOLT ON INTERIOR SIDE. DOORS MUST BE CONCEALED BEHIND POLY HOARDING TO BE REMOVED BY GC UPON COMPLETION OF WORK. REPAIR MAKE GOOD AND PAINT ALL SURFACES TO REMAIN UPON COMPLETION OF PROJECT. SITE VERIFY EXTENT OF HOARDING WITH OWNER ON SITE.
  - GC TO CAREFULLY REMOVE AND SALVAGE ALL WHITE-COLOURED NAME PLATES AND RED-COLOURED ROOM NUMBER PLATES ON EXISTING SURFACES TO BE DEMOLISHED AND STORE FOR RE-INSTALLATION UPON COMPLETION OF WORK. EXISTING PLATES MOUNTED TO GLASS MAY REMAIN IN PLACE IF GC ENSURE THEY ARE PROTECTED DURING CONSTRUCTION. OWNER TO PROVIDE REPLACEMENT PLATES AS REQUIRED FOR PROJECT.
  - EXISTING WALL CLOCK TO BE CAREFULLY REMOVED AND REINSTATED UPON COMPLETION OF WORK WITHIN THEIR EXISTING LOCATIONS.
  - REMOVE ALL EXISTING TV MONITORS AND WALL MOUNTING BRACKET AND TURN OVER TO OWNER. PATCH AND MAKE GOOD EXISTING PARTITION TO REMAIN. REFER TO AV DRAWINGS FOR NEW LOCATIONS OF TV SCREENS AND ADDITIONAL SCOPE REQUIREMENTS.
  - EXISTING PERIMETER PARTITIONS CURRENTLY TERMINATE AT CEILING HEIGHT. EXISTING PARTITIONS TO BE EXTENDED TO UNDERSIDE OF EXISTING DECK ABOVE. REMOVE EXISTING GYPSUM BOARD ON OPEN WORK AREA AND PROVIDE NEW FRAMING TO U/S OF DECK. REFER TO PROPOSED PLANS.
  - EXISTING CLOCK TO BE CAREFULLY REMOVED AND TURNED OVER TO OWNER'S REPRESENTATIVE.
  - REMOVE EXISTING ACOUSTIC PANELS AND TURN OVER TO OWNER'S REPRESENTATIVE. (TYPICAL THROUGHOUT).
  - GC TO REMOVE PORTION(S) OF EXISTING 2 HOUR FRR SHAFT WALL CONSTRUCTION WITHIN ELEVATOR VESTIBULES LOCATED ON 3RD, 4TH AND 5TH FLOORS TO ACCOMMODATE THE INSTALLATION AND NECESSARY ASSOCIATED WORK TO INSTALL VERTICAL DUCTWORK TO LOCATION OF NEW ROOF TOP EXHAUST FAN. GC TO REINSTATE GYPSUM BOARD SHAFT WALL UPON COMPLETION OF WORK.

#### DEMOLITION LEGEND:

- REMOVE EXISTING GYPSUM FINISHES ON EXISTING PERIMETER PARTITIONS FACING OPEN WORK AREA. RE-FRAME PARTITIONS WITH NEW STEEL STUDS TO EXTENDED TO UNDERSIDE OF DECK ABOVE IN ORDER TO TO ENCLOSE PARTITIONS ALONG OPEN AREA. TEMPORARILY REMOVE CEILING TILES WITHIN OFFICES TO REMAIN AS REQUIRED TO ACCOMMODATE WORK ABOVE CEILINGS.



2 DEMOLITION FLOOR PLAN - ADMIN VESTIBULE K3153 + 4TH FL + 5TH FLOOR  
A-100 SCALE: 1/4" = 1'-0"



NO	REVISIONS	DATE
6	ISSUED FOR ADDENDUM #1	04/30/2024
5	ISSUED FOR TENDER	04/12/2024
4	ISSUED FOR BUILDING PERMIT	04/05/2024
3	RE-ISSUED FOR COORDINATION	03/22/2024
2	RE-ISSUED FOR COORDINATION	03/12/2024
1	ISSUED FOR COORDINATION	02/26/2024
NO	ISSUED	DATE

DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING WITH THE WORK. THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE CONSULTANTS.

Certificate of Practice: 6689

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ENGINEERING LAB  
AT NH K3170

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1750 FINCH AVE E., TORONTO

**Seneca**

DEMOLITION  
FLOOR PLAN

**ARTIFACT**  
DESIGN + DEVELOPMENT

31 PLYMBOURGE CRESCENT, TORONTO, ON M2P 1P4  
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SCALE	PROJECT
AS INDICATED	23044
DATE	04/30/2024
DRAWN BY	DX
CHECKED BY	DS
	A-100