

**KAWARTHA PINE RIDGE DISTRICT SCHOOL BOARD
PUR24-070-ITT
Dr M.S. Hawkins Public School Classroom Upgrades**

ADDENDUM NO. 3

This addendum shall form an integral part of the bid documents for the above noted Bid and shall be read in conjunction therewith. This addendum shall, however, take precedence over all requirements as it pertains to the particular and specific items noted below.

PART 1: ANSWERS TO QUESTIONS

Question 1: Note 2A of A200 – This item mentioned remove existing metal caps and embedded pipes. But mechanical drawing does not indicate removal of existing metal caps & embedded pipes. Please more detail of how slab is repair at these locations.

Answer 1: Please refer to Part 2 Additional Information, Add (2) Below

Question 2: Please advise whether removal and replace existing caulking on door frames at room 244, 245, 246 and 247 is required.

Answer 2: Please refer to Part 2 Additional Information, Add (2) Below

Question 3: Who will remove & reinstall smart board?

Answer 3: Please refer to Part 2 Additional Information, Add (2) Below

Question 4: Unit ventilators are to be removed to install flooring underneath. But this requirement is not mentioned in mechanical drawing.

Answer 4: Please refer to Part 2 Additional Information, Add (2) Below

Question 5: Cover of existing radiators are to be removed to install new flooring underneath. But this requirement is not mentioned in mechanical drawing.

Answer 5: Please refer to Part 2 Additional Information, Add (2) Below

Question 6: Who will remove the existing ceiling support system where asbestos containing glue- on ceiling tiles is to be removed? Pre-qualified abatement contactor or selective demolition contractor?

Answer 6: Please refer to Part 2 Additional Information, Add (2) Below

Question 7: Who will remove and reinstall WI-FI APS?

Answer 7: Please refer to Part 2 Additional Information, Add (2) Below

Question 8: Demolition Note 20 of drawing A200 – Provide location & typical section of 16mm drywall enclosure on 92mm metal stud if required.

Answer 8: Please refer to Part 2 Additional Information, Add (2) Below

Question 9: Item 1.3.9 of Section 02 81 00 – Is this item include removal of millwork items?

Answer 9: Please refer to Part 2 Additional Information, Add (2) Below

Question 10: Note 25 of drawing A200 – We are not able to decide which areas need self-leveling underlayment, until we remove the existing flooring. We therefore suggest to include self-levelling underlayment to Cash Allowance or provide tentative quantity of self-levelling underlayment area for us to include in bid price.

Answer 10: Please refer to Part 2 Additional Information, Add (2) Below

Question 11: Note 26 of drawing A200 – Which windows painting and caulking? Please confirm that painting is required window frame interior side only.

Answer 11: Please refer to Part 2 Additional Information, Add (2) Below

Question 12: Who are the base building contractor for following works?
- Mechanical control
- Fire alarm
- Access control
- Network and telephony cabling, telephone, WI-FI APS, Audio-visual work, clocks, projector screen work and other communication works

Answer 12: The base building contractors are:
- Mechanical Controls – Set Point
- -Fire Alarm and Access – Trent Security
- The rest are all KPR internal IT Department

PART 2: ADDITIONAL INFORMATION

Add (1): Appendix C – Pricing

(f) When the pricing form labelled **Subcontractor Pricing** is included in the Bidding System, under the Schedule or Prices section, bidders must follow the instructions below:

Pricing submitted in this form is to be incorporated in the Total Contract Amount and shall not be considered an addition or extra. Pricing is to exclude HST.

Bidders must choose from the list of prequalified subcontractors listed in Section B of the ITT Particulars (Appendix D).

Bidders shall state only one (1) sub-trade or supplier for each type of work. Bidders shall not indicate “TBD” (To Be Determined) or “TBA” (To Be Announced) or similar wording. Where the Prime Contractor shall complete the work indicate “own forces” (if pre-qualified subcontractors are listed the Prime Contractor cannot indicate “own forces” and must use one of the prequalified contractors). Wherever the term own forces is used, these persons shall be bonafide employees of the Prime

Contractor. Following submission, no subtrade or supplier may be substituted from this list without Board approval.

Should prequalified subcontractors be required to attend the Mandatory Site Meeting as indicated in Part 1 – Invitation and Submission Instructions, 1.5.2 Site Visit / Pre-Bid Meeting, bidders will be required to only choose from those subcontractors that attended.

Add (2): Addendum No. 2. Project No. 23A117, prepared by CMV Group architects, dated April 16, 2024, (7 pages)

Add (3): Mechanical Addendum M-1 dated April 16, 2024, by TMP attached, Addendum No 3, Project No 23A117, prepared by CMV Group architects, (4 pages)

Delete (1): **Appendix C - Pricing**

(f) When the pricing form labelled **Subcontractor Pricing** is included in the Bidding System, under the Schedule or Prices section, bidders must follow the instructions below:

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Bidders must choose from the list of prequalified subcontractors listed in Section B of the ITT Particulars (Appendix D).

Bidders shall state only one (1) sub-trade or supplier for each type of work. Bidders shall not indicate “TBD” (To Be Determined) or “TBA” (To Be Announced) or similar wording. Where the Prime Contractor shall complete the work indicate “own forces” (if pre-qualified Abatement subcontractors are listed the Prime Contractor cannot indicate “own forces” and must use one of the prequalified Abatement contractors).

Wherever the term own forces is used, these persons shall be bonafide employees of the Prime Contractor. Following submission, no subtrade or supplier may be substituted from this list without Board approval.

Should prequalified subcontractors be required to attend the Mandatory Site

Meeting as indicated in Part 1 – Invitation and Submission Instructions, 1.5.2 Site Visit / Pre-Bid Meeting, bidders will be required to only choose from those subcontractors that attended.

END OF ADDENDUM NO. 3

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DATE April 16, 2024 ADDENDUM No 2
PROJECT Dr M.S. Hawkins Sr Public School Classroom Renovations PROJECT No 23A117

TO Kawartha Pine Ridge District School Board ATTENTION Steven Altpeter
1994 Fisher Drive
Peterborough, ON K9J 6X6

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- 01 This Addendum shall be attached to the form of the Specifications and shall form an integral part of the Contract Documents. The contents of this Addendum shall be brought to the attention of all concerned.
02 Receipt of the Addenda shall be acknowledged in the Tender Form.
03 All trades shall read the Addenda.
04 This addendum consists of 7 pages and attachments as noted.

- **The following drawings are issued as clarification:**

Architectural drawings A200-Revision No. 4, D202-Revision No. 4, D204-Revision No. 3, D301-Revision No. 4, and A301-Revision No. 4.

Note: Demolition and proposed notes are revised for clarification. The GC is responsible for removing and reinstalling all existing smart boards, projectors, and speakers. GC is also responsible for the supply and installation of all new smart boards.

In response to questions regarding the base building contractors: For designated contractors and controls scope of work refer to drawing A201.

- **In response to Question 1:**

Note 2A on drawing A200, this is not a mechanical item. Remove existing metal protrusions in floors, fill voids with concrete and underlayment. See project manual section 03 53 00.

- **In response to Question 2:**

Regarding existing caulking around the door frames see addendum #1.

- **In response to Question 3:**

Existing smart boards and projectors etc. see revised note 7 on drawing A200. Also, see attached drawings to this addendum.

- **In response to Question 4:**

Note 9 on drawing A200, note has been revised to indicate that unit ventilators are not being removed and reinstalled. New flooring is to butt up against unit ventilator enclosure.

- **In response to Question 5:**

Note 23 on drawing A200, existing radiator covers are to remain and be painted refer to note. Existing radiator covers do not go down to the floor; therefore, installation of flooring underneath of radiators will not be a problem.

- **In response to Question 6:**

Removal of existing ceiling support system, GC is responsible to coordinate with the abatement contractor per the abatement specs.

- **In response to Question 7:**

WIFI APs see note 19 on drawing A200.

- **In response to Question 8:**

Note 20 on drawing A200, new drywall enclosure is only required if removal of existing millwork exposes any openings and holes in the existing exterior wall.

- **In response to Question 9:**

Section 02 81 00 does not exist in our project manual.

- **In response to Question 10:**

New floor underlayment/levelling compound,

- Proceed as specified in the Project Manual (Issued for Bid) section 03 53 00 Cementitious Self-Levelling Underlayment.
- Cash allowance will not be assigned to this scope of work.

- **In response to Question 11:**

Note 26 on drawing A200, room 246A all window frames to be painted both sides. Room 233, window frame in the interior partition to be painted both sides as per the note on floor plan.

Tala Jabbar

PER CMV GROUP ARCHITECTS

DISTRIBUTION

Rachel Northey-Pinchin Ltd., Andrew Ferreira-TMP, Quan Vu-H&J

NOTES: (APPLY TO CLASSROOM DEMO & PROPOSED DWGS.)

1. ALL FURNITURE TO BE REMOVED BY OWNER.
2. REMOVE AND DISPOSE OF EXISTING FLOOR TILES AND RESILIENT WALL BASE INCLUDING ALL ADHESIVES. PATCH AND MAKE GOOD CONCRETE SLAB AND WALLS TO RECEIVE NEW FLOORING AND NEW WALL BASE. PROVIDE SELF-LEVELLING UNDERLAYMENT AS REQUIRED. MEET OR EXCEED SUBSTRATE REQUIREMENTS FOR CONCRETE SLAB AND WALLS AND PARTITIONS AS SPECIFIED IN THE FLOORING AND WALL BASE SPECIFICATION SECTIONS. SEE PINCHIN REPORT.
- 2A. GC TO REMOVE EXISTING METAL CAP AND EMBEDDED PIPE IN ORDER TO PROVIDE FLUSH SURFACE FOR NEW FLOORING. TYPICAL OF 36 LOCATIONS. PATCH AND REPAIR CONCRETE SLAB WITH SELF LEVELLING COMPOUND. SEE SPECIFICATIONS. MAKE CONCRETE SLAB READY FOR NEW FLOORING AS PER MANUFACTURERS REQUIREMENTS. TYPICAL.
3. REMOVE & DISPOSE EXISTING WALL-MOUNTED WHITEBOARDS, CHALKBOARDS AND TACKBOARDS. PATCH AND MAKE GOOD WALLS BEHIND READY FOR PAINT. SEE PINCHIN REPORT.
4. REMOVE AND DISPOSE OF EXISTING DOOR AND HARDWARE. EXISTING FRAME TO REMAIN. SAND, REPAIR AND REPAINT. REMOVE ROOM/DOOR SIGNS. PATCH, MAKE GOOD SURROUNDING CONC BLOCK WALL OR PARTITIONS TO MATCH EXTG CONDITION, READY FOR PAINT. SEE PAINT SCHEDULE.
5. REMOVE AND DISPOSE PART OF EXTG SOFFIT AND BULKHEAD.
6. REMOVE AND DISPOSE OF EXISTING MILLWORK, SHELVING AND CABINETS. PATCH AND MAKE GOOD WALLS TO RECEIVE NEW WALL PAINT & WALL BASE.
7. EXISTING PROJECTOR & SCREEN. WALL/CEILING MOUNTED PROJECTOR AND CONTROLS TO BE REMOVED BY GC. PATCH AND MAKE GOOD WALLS, CEILING, SLAB AND FLOORING. ALSO REFER TO ELECTRICAL DRAWINGS AND ABATEMENT SPECS.
8. EXTG CONC BLOCK WALL. REMOVE ABANDONED/OLD CONDUITS, ELEC ITEMS, OLD CLOCKS, BRACKETS, SUPPORTS, RAILS, HOOKS, PINS AND ALL REMAINING EXTRA ITEMS. FIX & REPAIR CRACKS & JOINTS. FILL EXTG HOLES. REPAIR THE WALL OVER EXISTING OLD PAINT. SEE PINCHIN REPORT. EPOXY, GUE, ADHESIVE & ETC FROM WALLS. PREPARE WALL SURFACE TO ACCEPT NEW PAINT. PATCH & REPAIR ANY DAMAGES CAUSED BY DEMOLITION. MAINTAIN EXISTING FIRE RATING SEPARATION. TYPICAL.
9. EXISTING UNIT VENTILATORS TO REMAIN, AND TO BE CLEANED PRIOR TO PAINTING. EXISTING FLOORING AND WALL BASE TO BE REMOVED AROUND UNIT VENTILATORS AND DOOR THRESHOLDS. TYP. REPAIR EXTG UNIT VENTILATORS ENCLOSURE.
10. REMOVE AND DISPOSE OF EXISTING SINKS INCLUDING COUNTERTOP, MILLWORK CABINET, PAPER TOWEL DISPENSER HAND SOAP DISPENSERS, AND OTHER ACCESSORIES. SEE MECHANICAL DRAWINGS FOR REMOVALS/MODIFICATIONS TO PLUMBING. WHERE WALLS AND SLABS ARE DAMAGED BY THE REMOVALS, PATCH AND MAKE GOOD WITH LIKE ASSEMBLIES, MATERIALS AND FINISHES. FLOOR SLAB AND WALL PATCHES TO BE SMOOTH, LEVEL AND PLUMB. SEE PINCHIN REPORT.
11. REMOVE AND DISPOSE CLOSETS ENTIRELY INCLUDING DOORS, FRAMES, SHELVES AND HARDWARE GC TO REMOVE EXTG CAULKING ON DOOR FRAME.
12. EXISTING ELECTRICAL PANEL, REPAIR OR PROVIDE NEW COVER. REFER TO ELEC. DWG.
13. REMOVE AND DISPOSE OF EXISTING PA SPEAKER PHONE, CALL SWITCH, AND BACKBOARD. SEE ELECTRICAL DRAWINGS.
14. FOR HEAT AND SMOKE DETECTORS REFER TO MECH. AND ELEC. DRAWINGS.
15. REMOVE TRIM AT WINDOW SILL AND REPLACE WITH NEW.
16. REMOVE AND DISPOSE EX. LIGHT FIXTURES, EX. MECH. VENTS, DIFFUSERS, AIR SUPPLY GRILLES AND ALL CEILING MOUNTED ITEMS. EXISTING CONDUITS OR PIPING SUSPENDED FROM CEILING SLAB AT HIGH LEVEL TO REMAIN UNLESS NOTED OTHERWISE. SEE MECH. & ELEC. DRAWINGS. SITE VERIFY QUANTITIES AND EXTENT.
17. REMOVE AND DISPOSE OF EX. CEILING TILES AND CEILING SUPPORTING SYSTEM INCLUDING TILES, GYPSUM BOARD, FURRING CHANNELS, HANGERS AND EX. LIGHT FIXTURES, MECH. DIFFUSERS, VENT AND ALL CEILING MOUNTED ITEMS UNLESS NOTED OTHERWISE. SEE MECH. AND ELEC. DRAWINGS. SEE PINCHIN REPORT.
18. REMOVE AND REPLACE WOODEN WINDOW VALANCE & SILL BOARDS. SEE A800 DRAWING.
19. EXISTING WI-FI APs TO BE REMOVED BY THIS CONTRACTOR, PRIOR TO DEMOLITION, AND KEEP SAFE UNTIL END OF CONSTRUCTION AND REINSTALLED IN THE EXACT SAME ROOM TO NEW LAYOUT CENTERED IN NEW CEILING. GC ELECTRICIAN TO COORDINATE WITH ELEC CONSULTANT.
20. REMOVE EXTG WALL/TRIM AT LOCATION OF EXTG UNIT VENTILATORS. PROVIDE CLEAR SPACE FOR INSTALLATION OF NEW MILLWORK WITH NEW AIR GRILLES. CLOSE ADJACENT OPENINGS & HOLES. INSTALL 16MM DRYWALL ENCLOSURE ON 92MM ST STUD IF REQ'D.
21. EXISTING DUCTWORK AND ACCESS PANELS TO REMAIN. REFER TO MECHANICAL DRAWING.
22. EXISTING GLASS AND HOLLOW METAL FRAME TO REMAIN.
23. EXISTING RADIATOR TO REMAIN, AND TO BE CLEANED PRIOR TO PAINTING. EXISTING FLOORING AND WALL BASE TO BE REMOVED UNDER AND AROUND RADIATOR AND TO DOOR THRESHOLDS. TYP. REPAIR EXTG RADIATOR ENCLOSURE.
24. EXISTING DRYWALL TO REMAIN. REMOVE ABANDONED/OLD CONDUITS, ELEC ITEMS, OLD CLOCKS, BRACKETS, SUPPORTS, RAILS, HOOKS. GC TO PATCH, REPAIR ANY DAMAGES AND HOLES CAUSED BY DEMOLITION AND PAINT THE DRYWALL OVER EXISTING PAINT TO MAKE IT GOOD AS NEW. MAINTAIN EXTG. FIRE RATING THROUGHOUT THE WALL. TYPICAL. SEE PINCHIN REPORT.

25. NEW LVT FLOORING: HIGH PERFORMANCE LUXURY VINYL TILE (LVT) FLOORING, INTERFACE STUDIO SET, CLASS III PRIMED, COMMERCIAL GRADE, FINISH CERAMOR, SLIP RETARDANT, 250MM X 1000MM X 4.5MM. PROVIDE ACCENT BAND & NEW RESILIENT TRANSITION STRIP. SELF-LEVELLING UNDERLAYMENT AS REQUIRED. MEET OR EXCEED SUBSTRATE REQUIREMENTS FOR CONCRETE SLAB AS SPECIFIED IN THE FLOORING SPECIFICATION SECTION. SUB-FLOOR SHALL COMPLY TO ASTM F 710 STANDARD PRACTICE FOR PREPARING CONCRETE FLOORS TO RECEIVE RESILIENT FLOORING. LVT FLOORING SHALL BE EXTENDED BELOW BOOKSHELVES/CABINETS MILLWORK CLOSET AND EXTG RADIATORS. GC TO SUBMIT 3 SAMPLES FOR ACCENT STRIPE/BORDER AND 3 SAMPLES FOR FLOORING. GC TO PROVIDE INSTALLATION METHODS MOCK UP FOR REVIEW & APPROVAL. PROVIDE 15 YEAR STANDARD LVT WARRANTY- REFER TO A501 FOR FLOOR PATTERN , AND A801 FOR FINISH SCHEDULE AND SPECIFICATION
26. EXISTING WINDOW FRAME TO REMAIN. PATCH, SAND REPAIR, AND PAINT ALL FRAMES REMOVE DIRT AND DEBRIS FROM THE WINDOW FRAME AND GLASSES. WASH, CLEAN, AND REMOVE OXIDATION FROM FRAME. REMOVE EXTG CAULKING, RE-CAULK AROUND FRAMES. MAKE GOOD FRAMES SO THAT GLASS & FRAME LOOK AS NEW.
27. NEW RUBBER BASE, 102MM X 3MM THICK RUBBER COVE BASE SEE SPECIFICATION. PROVIDE SELF-LEVELLING UNDERLAYMENT AS REQUIRED. MEET OR EXCEED SUBSTRATE REQUIREMENTS FOR WALLS AND PARTITIONS AS SPECIFIED IN THE WALL BASE SPECIFICATION SECTION.
28. EXISTING DUCTWORK TO REMAIN. THOROUGHLY CLEAN THE SURFACES OF THE EXISTING DUCTWORK TO REMOVE ANY DUST, DIRT OR LOOSE PARTICLES. SAND AND PAINT ALL THE SURFACES. SEE MECHANICAL DRAWINGS.
29. 1HR FIRE SEPARATION ENCLOSURE, EXTG CONC BLOCK WALL OR EXTG/NEW DW PARTITION. ENCLOSING WALLS ARE REQUIRED TO HAVE A MIN 1HR FIRE-RESISTANCE RATING. EXISTING & NEW HOLES SHALL BE PATCHED REPAIRED AND SEALED WITH MIN 1HR FRR FIRE STOPPED / CAULKING SO THAT THE INTEGRITY OF THE FIRE SEPARATIONS IS MAINTAINED THROUGHOUT. APPLY FIRESTOP BELOW THE ROOF DECK AT TOP OF EXTG CONC BLOCK WALL ALONGSIDE OF THE CORRIDOR. DETAIL TO COMPLY WITH ULC STANDARDS. PROVIDE SHOPDWS, FILL EXTG & NEW OPENINGS TO MAINTAIN EXTG FIRE SEPARATION, COMPLY TO ULC RELATED DESIGN NO. AND TO SATISFY BUILDING INSPECTION.
30. RESERVED.
31. NEW PAINT/ REPAINT INTERIOR WALLS, BULKHEADS, DOOR FRAMES, WALL FIN COVERS, UNIT VENTILATOR COVERS, OLD AND NEW METAL APDS. PROVIDE NEW PAINT FINISH ON ALL INTERIOR PAINTABLE SURFACES, MAKE ALL THE FINISHES GOOD. SEE FINISH SCHEDULE AND SPECIFICATION. PRIME AND PAINT ALL SURFACES OVER THE OLD PAINTING. SEE PINCHIN REPORT.
32. RESERVED.
33. PATCH, REPAIR AND PAINT EXISTING FRAME OVER THE OLD PAINT. SEE PINCHIN REPORT. SUPPLY & INSTALL NEW DOOR WITH NEW HARDWARE AND DOOR NUMBER/ROOM NAME SIGN. (CONFIRM DIMENSIONS ON SITE PRIOR TO ORDERING). SEE DOOR SCHEDULE, SIGNS DETAIL AND SPECIFICATION.
34. SUPPLY AND INSTALL NEW DOOR AND FRAME AND HARDWARE. CONFIRM DIMENSIONS ON SITE. SEE DOOR SCHEDULE AND SPECIFICATION. GC TO PROVIDE NEW CAULKING ON DOOR FRAME.
35. WINDOWS AND NEW BLINDS: REMOVE DIRT AND DEBRIS FROM WINDOW FRAME AND GLASSES, WASH, CLEAN, REMOVE OXIDATION FROM ALUMINUM FRAME. CHECK OPENING HARDWARE AND REPLACE IT. REMOVE EXTG CAULKING, RE-CAULK AROUND FRAMES INTERIOR SIDE ONLY. MAKE GOOD ALUMINUM WINDOWS & FRAME SO THAT GLASS AND FRAME LOOK AS NEW. SUPPLY AND INSTALL NEW BLINDS TO KPROSB STANDARDS. PROVIDE CUTSHEET & SAMPLES.
36. EXISTING HM/SCW DOOR, FRAME AND HARDWARE TO REMAIN. EXERCISE CAUTION TO AVOID ANY DAMAGE TO DOOR AND ITS COMPONENTS. IN EVENT OF ANY DAMAGE, GC TO PROMPTLY PATCH, PAINT AND REPAIR ANY DAMAGE DONE TO THE DOOR OR ITS COMPONENTS AND RESTORE THEM TO THEIR ORIGINAL CONDITION AT THEIR OWN COST.
37. PROVIDE NEW VENTILATION GRILLE CONTINUES AT TOP & BASE OF MILLWORK. REFER TO SPEC & MECH. DWG. SUBMIT OUTSHEET FOR APPROVAL.
38. ARCHITECTURAL MILLWORK: PROVIDE NEW ARCHITECTURAL MILLWORK INCLUDING TEACHER CLOSETS, BOOKCASE UNITS, SHELVING UNITS, CABINETS, AND SO ON C/W 19MM ADJUSTABLE SHELVES. GC TO REVIEW EXISTING RADIATOR & PLUMBINGS CONTROLS. LOCATE CONTROL AND COORDINATE WITH MILLWORK. PROVIDE AN ACCESS PANEL IN THE MILLWORK IN ORDER TO GAIN ACCESS TO CONTROL FOR FURTHER MAINTENANCE. PNEUMATIC VALVE REMOVAL BY APS, NEW ELECTRIC CONTROLS CONNECTED TO BAS, SEE MECH. AND ELEC. DWGS. SEE A500 SERIES DRAWING. SEE SPEC, PROVIDE SHOPDWS & MOCK UP.
39. ARCHITECTURAL MILLWORK: NEW COAT HOOKS. SEE A800 SERIES SEE SPEC, PROVIDE SHOPDWS.
40. NEW SINK, COUNTERTOP & MILLWORK CABINETS, SEE A300 & A500 SERIES. SEE SPECIFICATIONS.
41. NEW 1HR FRR T-BAR CEILING C/W NEW LIGHT FIXTURES, DIFFUSERS, SEE MECH & ELEC DWGS. 1HR FIRE RATED CEILING TO COMPLY WITH ULC #P210 - 610MM X 1220MM, MIN. NRC OF .70, CAC MIN. 40, FIRE GUARD; C/C RADAR HIGH NRC/CAC PANELS 22541 OR ARMSTRONG SCHOOL ZONE FINE FISURED 1811. LAY IN EXPOSED TEE SYSTEM. DX 24MM WIDE FACED T-BAR BY C/C OR SUSPENSION SYSTEM EQUIVALENT GRID BY CHICAGO METALLIC, OR ARMSTRONG WITH COMPATIBILITY CEILING TILES. GRID IS RATED. ALL TILE AND SUSPENSION SYSTEMS SHALL BE FIRE RATED TO CONFORM TO U.L.C. DETAIL P210. SOUND ABSORPTIVE PREFABRATED ACUSTICAL UNITS SHALL COMPLY TO CAN/GGSS 92.1. PROVIDE LAYOUT SHOPDWS AND SAMPLES.
42. NEW DW BULKHEAD & CEILING- PAINTED, INSTALLED ON SHAFTWALL ST STUD SUPPORTS. GC TO PROVIDE MINIMUM 1 HOUR FIRE SEPARATION C/W FIRESTOPS, CAULKING & SMOKE SEAL. PROVIDE P-ENG STAMPED SHOPDWS FOR STEEL STUD FRAME. TYP.
43. RESERVED.
44. CLEAN CEILING AREA THROUGHOUT INCLUDING STRUCTURE, DECKING, ELEC AND MECH ITEMS. REMOVE DIRT, DUST AND AIRBORNE CONTAMINANTS, REMOVE POSSIBLE MOLD AND MILDEW. PAY CLOSE ATTENTION TO ELECTRICAL CONDUITS, CONNECTIONS AND FIXTURES. REPAIR CEILING AND DECK OPENING AFTER REMOVAL OF OLD ELECTRICAL & MECHANICAL, LIGHT FIXTURES, DUCTWORK, DIFFUSERS, PLUMBING PENETRATIONS. PROVIDE FIRE STOP AT OPENINGS TO MAINTAIN 1HR FIRE SEPARATION.

- SPECIALTIES, EQUIPMENT & ACCESSORIES
45. SUPPLY AND INSTALL SCHOOL CONTROL PANEL C/W CLOCK, THERMOSTAT, LIGHT SWITCHES, PA CALL SWITCH, PA SPEAKER, DUPLEXES, FIREARM AND PROVISION FOR SPACE SENSOR. STANDARD COLOUR CHOSEN BY ARCHITECT PROVIDE SHOPDWS. SEE ELECTRICAL DRAWINGS. CLOCKS TO BE BATTERY OPERATED, RO UND, SIMPLEX, TO FIT WITHIN THE SPACE AVAILABLE. CONTROL PANEL TO BE SUPPLIED AND INSTALLED BY ELEC CONTRACTOR.
 46. SUPPLY AND INSTALL NEW WALL-MOUNTED INTEGRATED INTERACTIVE BOARDS DA-LITE IDEA SCREEN COMBINATION PROJECTION SCREEN AND WRITABLE MARKER BOARDS AS MANUFACTURED BY DA-LITE (1800-822-3737), 1350 (H) X 2170 (W) C/W CONTROLS. INSTALL ON STEEL BRACKETS BOLTED. PROVIDE SUPPORTS PER MANUFACTURER GUIDELINE. OWNER WILL REMOVE EXISTING INTEGRATED INTERACTIVE BOARDS, GC TO SUPPLY AND INSTALL NEW. SEE SPECIFICATION. SEE ARCH FLOOR PLAN & ELECTRICAL DRAWINGS. TYPICAL.
 47. NEW WALL-MOUNTED MAGNETIC WHITE BOARD MANUFACTURED BY ARCHITECTURAL SCHOOL PRODUCTS OR EQUIVALENT PRODUCTS AS SUPPLIED BY GLOBAL SCHOOL PRODUCTS INC. PROVIDE SUPPORTS, C/W CLEAR ANODIZED ALUMINUM FRAME, MAP RAIL WITH CORK INSERT, REQ'D DIVIDER STRIP AND MARKER/CHALK TRAY. INSTALL MAP RAIL OVER MARKER BOARDS. SUBMIT SD.
 48. CHARGING STATION, PROVIDED BY OWNER, GC TO COORDINATE FOR LAYOUT OF POWER RECEPTACLES & INSTALLATION. RELOCATE EXISTING TOWERS WHERE SHOWN ON DRAWINGS. SEE ELEC. DWG.

TYPICAL NOTES: (APPLY TO ALL DEMO & PROPOSED DWGS.)

1. CONTRACTOR TO MAKE GOOD ALL FINISHES DISTURBED TO INSTALL ALL COMPONENTS UNDER THIS CONTRACT. REFER TO ARCH, STR, MECH & ELEC DRAWINGS.
2. PROVIDE TEMPORARY HOARDING & DUST SCREENS AS REQUIRED TO COMPLETE WORK. MAINTAIN FIRE EXITS WHERE REQUIRED.
3. GC TO ENSURE CONTINUITY OF VAPOUR BARRIER ON ANY HOLES OCCURRING THRU SUCH CEILING / WALL, VAPOUR BARRIERS FOR WIRES, PIPES, DUCTWORK, OR ELECTRICAL BOXES. VAPOUR BARRIER MUST BE TIGHTLY SEALED WITH TAPE, CAULKING OR OTHER SUITABLE MATERIAL. CONSULTANT TO REVIEW PRIOR TO INSTALLATION OF CEILING AND WALL BOARD.
4. FIRE STOPPING OF SERVICE PENETRATIONS - PIPING, TUBING, DUCTS, WIRING, CONDUIT, ELECTRICAL OUTLET BOXES THAT PENETRATE FIRE SEPARATIONS SHALL BE TIGHTLY FITTED AND SEALED WITH MINERAL WOOL, GYPSUM PLASTER OR PORTLAND CEMENT MATERIAL, AS PER APPROVED ULC DESIGN COMPONENTS. SUBMIT ULC RELATED DESIGN FOR CONSULTANT TO REVIEW PRIOR TO INSTALLATION AT FLOOR, CEILING OR WALL.
5. MAINTAIN CONTINUITY OF FIRE SEPARATION BEHIND ALL RECESSED ELECTRICAL PANELS, AND F.E.C.
6. REMOVE & RESTORE OR REPLACE ALL CEILINGS AFFECTED BY ACCESS TO MECH. & SERVICES. SEE & ELEC. DWGS FOR EXTENT OF WORK.
7. DISCONNECT OR RELOCATE ALL MECH. & ELEC. SERVICES LOCATED IN EXISTING CEILING, WHICH WILL BE COVERED BY NEW T-BAR OR DRYWALL CEILING.
8. PROVIDE STEEL ANGLE LINTELS OVER ALL NEW MECHANICAL DUCTS & GRILLES THAT PENETRATE EXISTING & NEW MASONRY WALLS.
9. WHERE EXISTING FLOORING FINISHES ARE REMOVED, ALLOW FOR PREPARATION OF SUBSTRATE SUITABLE FOR INSTALLATION OF NEW FINISHES AS PER MANUFACTURERS REQUIREMENTS.

GENERAL NOTES APPLY TO ALL DEMO & PROPOSED DWG's:

- A. REFER TO SPECIFICATION
- B. THERE IS A TIMETABLE FOR THIS PROJECT. CONSTRUCTION MAY NEED TO BE SCHEDULED WITH ROTATIONAL SHIFTS, NIGHT SHIFTS AND OVER TIME WORK TO AVOID DISRUPTION TO SCHOOL TIME LIMIT. DEADLINES ARE STRICTLY ENFORCED.
- C. CONTRACTORS TO CONFIRM WITH PROJECT MANAGER/SCHOOL FOR START AND END OF EACH ACTIVITY BEFORE SUBMITTING THEIR PRICING PROPOSAL.
- D. ACCURATE EXTENT OF DEMOLITION AND PATCH & REPAIR AREA TO BE SITE VERIFIED. SIZES SHOWN ON DWGS ARE ONLY GRAPHICS. CONTRACTORS TO SITE VISIT, EXAMINE CONDITIONS BEFORE PRICING.
- E. SEE SPECIFICATION AND SEPARATE REPORTS FOR SITE CONDITIONS & IDENTIFICATION INCLUDING HAZARDOUS BUILDING MATERIALS WITHIN THE PROJECT AREA. NOTES PROVIDED IN THIS SET OF DRAWINGS ARE FOR GENERAL REFERENCES ONLY. THE CONTRACTORS SHALL FULFILL THE REQUIREMENTS OF THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND OTHER REGULATIONS. CONTRACTOR SHALL READ AND FULLY UNDERSTAND ABOVE SPEC AND REPORTS PRIOR TO REMOVAL AND DISPOSAL OR DECONTAMINATION OF ALL MATERIALS.
- F. PROVIDE DUST CONTROL MEASURES, SEAL ALL EXTG DUCTWORKS AND OPENINGS AND PROVIDE TEMPORARY EXHAUST PRIOR TO DEMOLITION & CONSTRUCTION.
- G. GC MUST SUPPORT THE OWNERS EFFORTS TO PURSUE THE INCENTIVE PROGRAM. TYPICAL AVAILABLE INCENTIVE LIST IS AS FOLLOWS: LIGHTING RETROFITS, LIGHTING CONTROLS, VES, COOLING, BOILER RETROFITS, DEMAND-CONTROLLED VENTILATION (CO2 SENSORS), DOMESTIC HOT WATER, HEAT/ENERGY RECOVERY EQUIPMENT, CONDENSING MAKEUP AIR UNITS. CONTRACTORS MUST PROVIDE THE REQUIRED INFORMATION, RECEIPTS, ETC. GC TO CONFIRM THAT SPECIFIED LIGHTING QUALITIES FOR THE INCENTIVE, PROVIDE CUT-SHEETS.

- H. PAINTING & REPAINTING: PREPARE SUBSTRATES TO ACCEPT NEW PAINT, INCLUDING SANDING, CLEANING, PATCHING, AND CAULKING. REMOVE, SCRAPE OFF, SAND OLD PAINT COATINGS. FILL REPAIR CRACKS, SAND AND MAKE GOOD DAMAGED, DENT SURFACES & SCRATCHES. TEST OVER-COATABILITY/ RE-COATABILITY. SEAL PRIME AND PAINT EXISTING AND NEW WALL, CEILING, DOOR & FRAME SURFACES AS INDICATED. CLEAN UP, ON WOODEN DOOR OLD STAIN COATING SHALL BE REMOVED COMPLETELY. APPLY 4 COATS OF URETHANE VARNISH OVER SEMI-TRANSPARENT STAIN ON WOOD DOOR. PAINT PREVIOUSLY PAINTED CONDUITS AND PIPING. PAINT FINISHES TO MATCH EXTG. PROVIDE MULTIPLE MOCK UP/SAMPLES FOR BOTH WALL & DOOR PAINTS.
- I. PROVIDE SIGNAGE FOR EACH DOOR AND ROOM. ALL SIGNAGE TO COMPLY WITH OWNER/SCHOOL CRITERIA & OBC. SUBMIT SIGNAGE SHOP DRAWING PRIOR TO MANUFACTURE. SEE DETAIL A801.
- J. EXTEND FLOORING INTO ENTRY DOORS. PROVIDE FLUSH METAL EMBEDDED TRANSITION STRIP LOCATED AT END OF ENTRY DOORS.
- K. LOCATION OF ALL MECHANICAL, PLUMBING, AND ELECTRICAL ROUGH-INS SHALL BE COORDINATED WITH MILLWORK SHOPDWS BEFORE INSTALLATION OF MECHANICAL, PLUMBING & ELECTRICAL AND FABRICATION OF MILLWORK. PROVIDE SHOPDWS FOR UTILITIES ROUGH-INS /OPENINGS LAYOUT
- L. GENERAL CONTRACTOR TO INSTALL PAPER TOWEL DISPENSER & FIRST AID KITS. CONFIRM LOCATION ON SITE WITH OWNER.
- M. SUPPLY AND INSTALL NEW FLOOR FINISH BELOW NEW MILLWORK UNITS. TYP.

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DO NOT SCALE DRAWINGS.

REVISIONS AND DISTRIBUTION LOG		
No.	Date	Note
1	MAR. 12, 2024	ISSUED FOR TENDER
2	APR. 12, 2024	ADDENDUM #1
3	APR. 15, 2024	ISSUED FOR BUILDING PERMIT
4	APR. 16, 2024	ADDENDUM #2

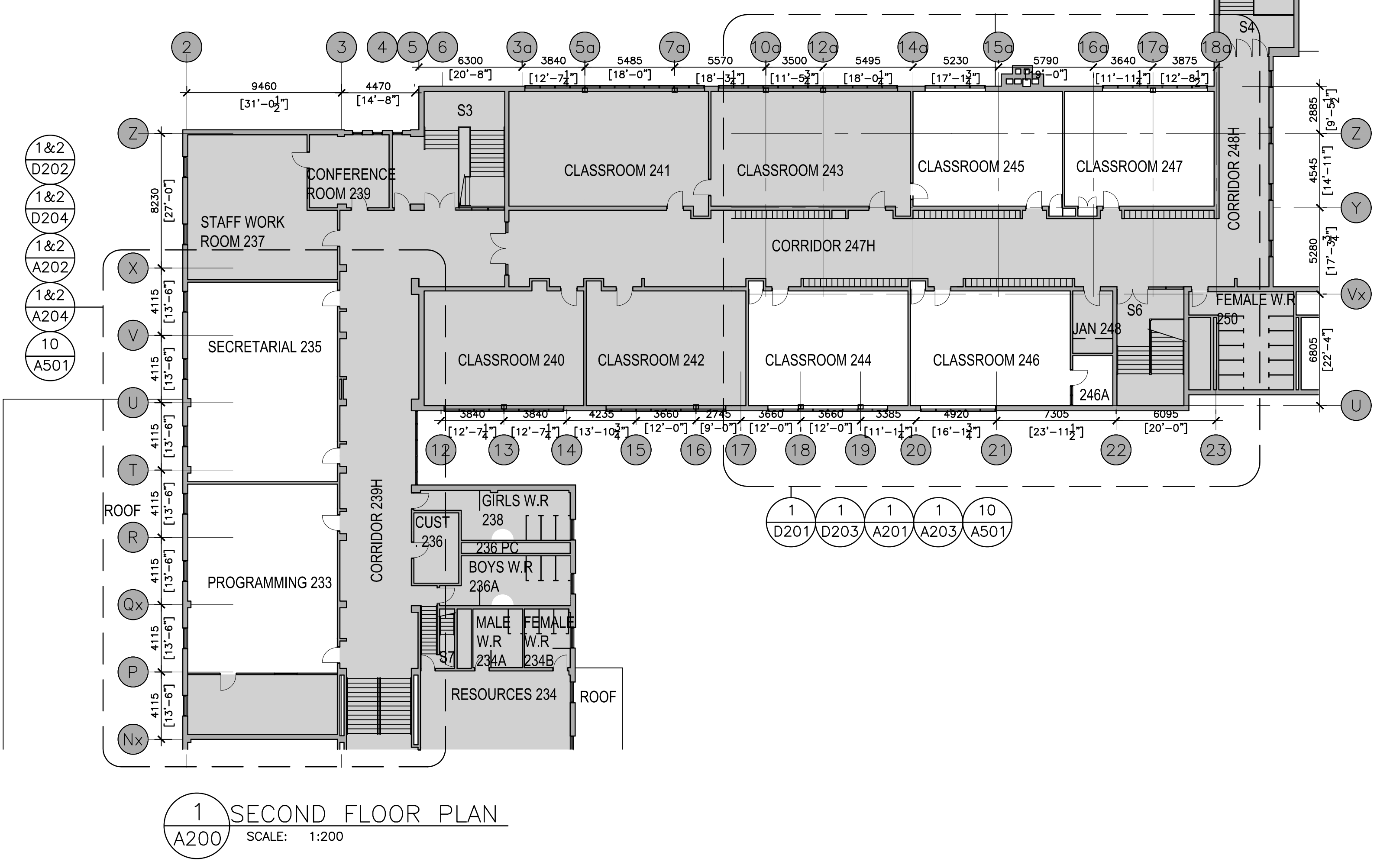
LEGEND	
	EXISTING GRID TO REMAIN. (SHOWN TONED)
	EXISTING CONSTRUCTION TO REMAIN.

NOTES APPLY TO ALL DEMOLITION & PROPOSED DRAWINGS INCLUDING MECHANICAL AND ELECTRICAL DRAWINGS. CONTRACTORS & SUBTRADE, INCLUDING MECH & ELEC TRADES SHALL READ THE WHOLE SET TOGETHER BEFORE PRICING. GC TO CONFIRM

- REFER TO A100 FOR GENERAL NOTES.
- REFER TO A100 FOR REFERENCE/TAGS
- REFER TO D201, D203, A201, A203, A500 & A800 FOR NOTES
- REFER TO A501 FOR FLOORING FINISH PATTERN

DEMOLITION OF HAZARDOUS MATERIALS TYPICAL:

G.C. TO REFER TO HAZARDOUS BUILDING MATERIALS ASSESSMENT REPORT ALONG WITH SPECIFICATIONS AND CONTRACT DOCUMENTS PREPARED BY PINCHIN REGARDING THE REMOVAL AND DEMOLITION OF HAZARDOUS MATERIALS.



1 SECOND FLOOR PLAN
A200 SCALE: 1:200

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Project:
DR MS HAWKINS SR.PS
CLASSROOMS 233-235-244-245-246-247 RENOVATION
KAWARTHA PINE RIDGE DISTRICT SCHOOL BOARD

130 HIGHLAND DRIVE
PORT HOPE ONTARIO

Drawing Title:
PARTIAL FLOOR PLAN

Drawn By:	Checked By:	Date Checked:	Project No.:
TJ	OM		23A117

Date Plotted:	Scale:
Apr 16, 2024 - 2:09pm	AS NOTED

Drawing No.:	Revision No.:
A200	

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LEGEND

GRID - EXISTING GRID TO REMAIN. (SHOWN TONED)

EXISTING CONSTRUCTION TO REMAIN.

REFER TO DRAWING A200 FOR REFERENCE NOTES. (TYPICAL)

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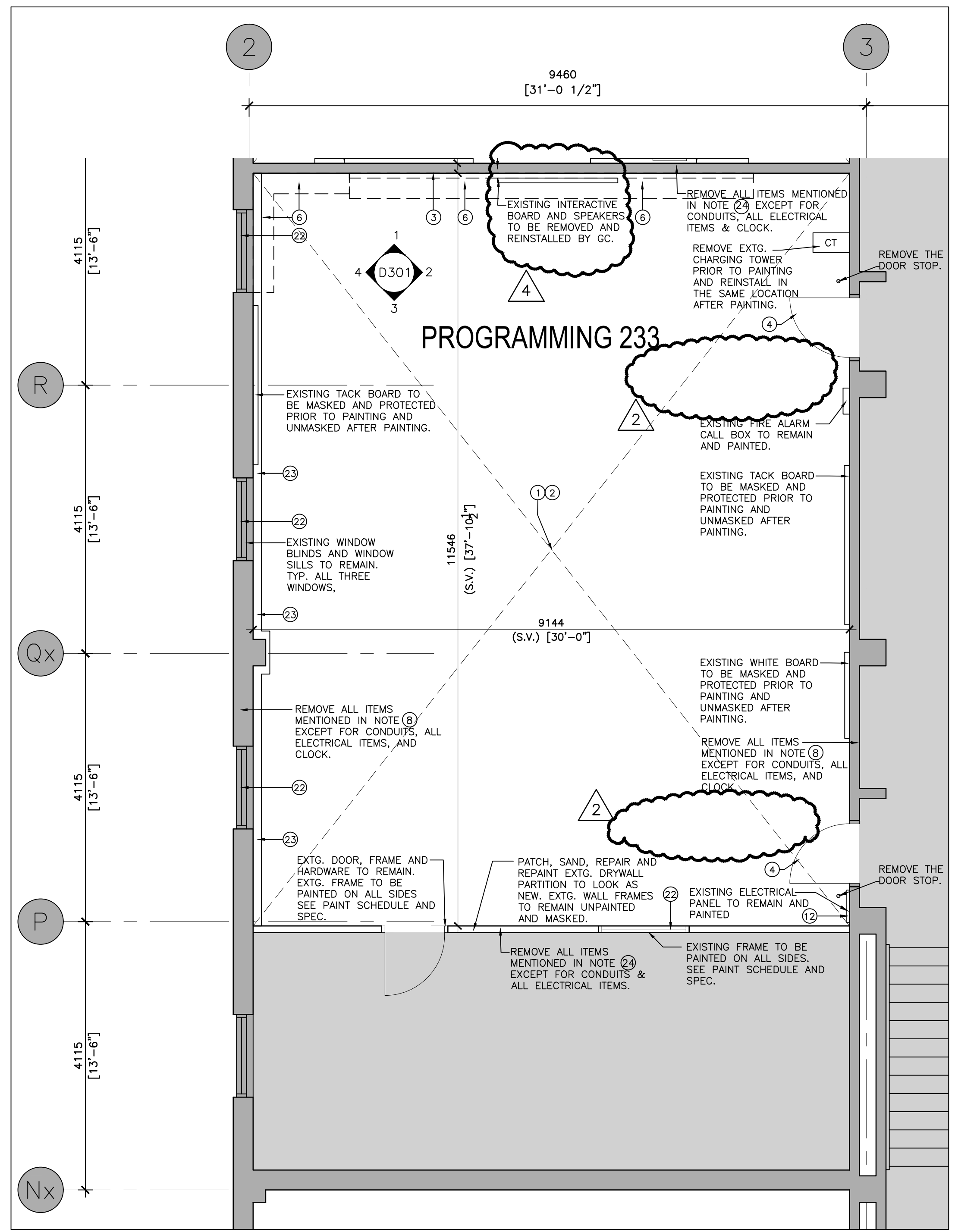
Project:
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 KAWARTHA PINE RIDGE DISTRICT SCHOOL BOARD

130 HIGHLAND DRIVE
 PORT HOPE ONTARIO

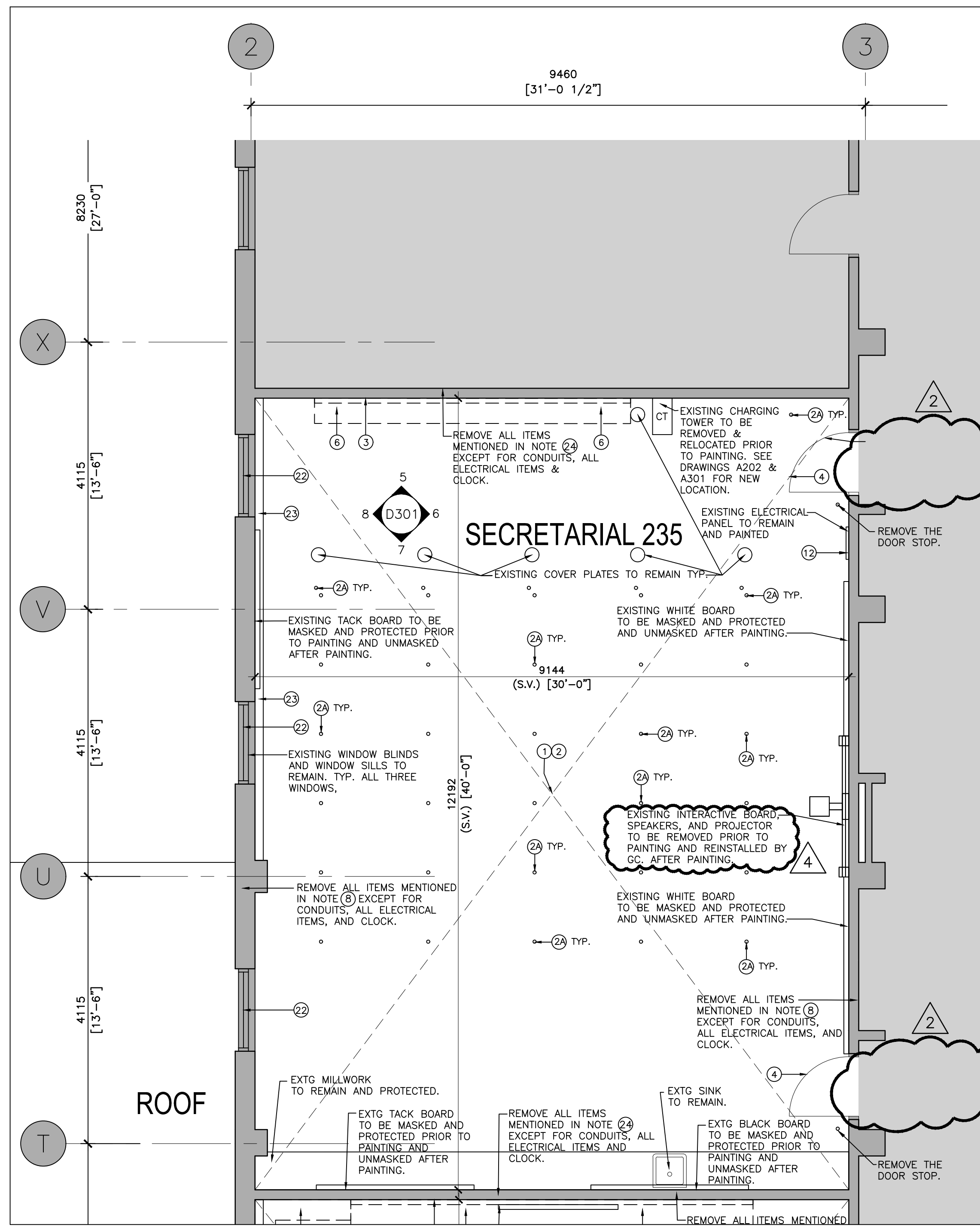
Drawing Title:
CLASSROOMS 233 AND 235
 DEMOLITION FLOOR PLAN

Drawn By: TJ	Checked By: OM	Date Checked:	Project No. 23A117
Date Plotted: Apr 17, 2024 - 2:31 pm	Scale: AS NOTED	Drawing No.:	

D202 4



1 CLASSROOM 233 DEMOLITION FLOOR PLAN
 D202 SCALE: 1:50



2 CLASSROOM 235 DEMOLITION FLOOR PLAN
 D202 SCALE: 1:50

IMAGES: ...VPR235 Logo.jpg
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LEGEND

GRID - EXISTING GRID TO REMAIN. (SHOWN TONED)

EXISTING CONSTRUCTION TO REMAIN.

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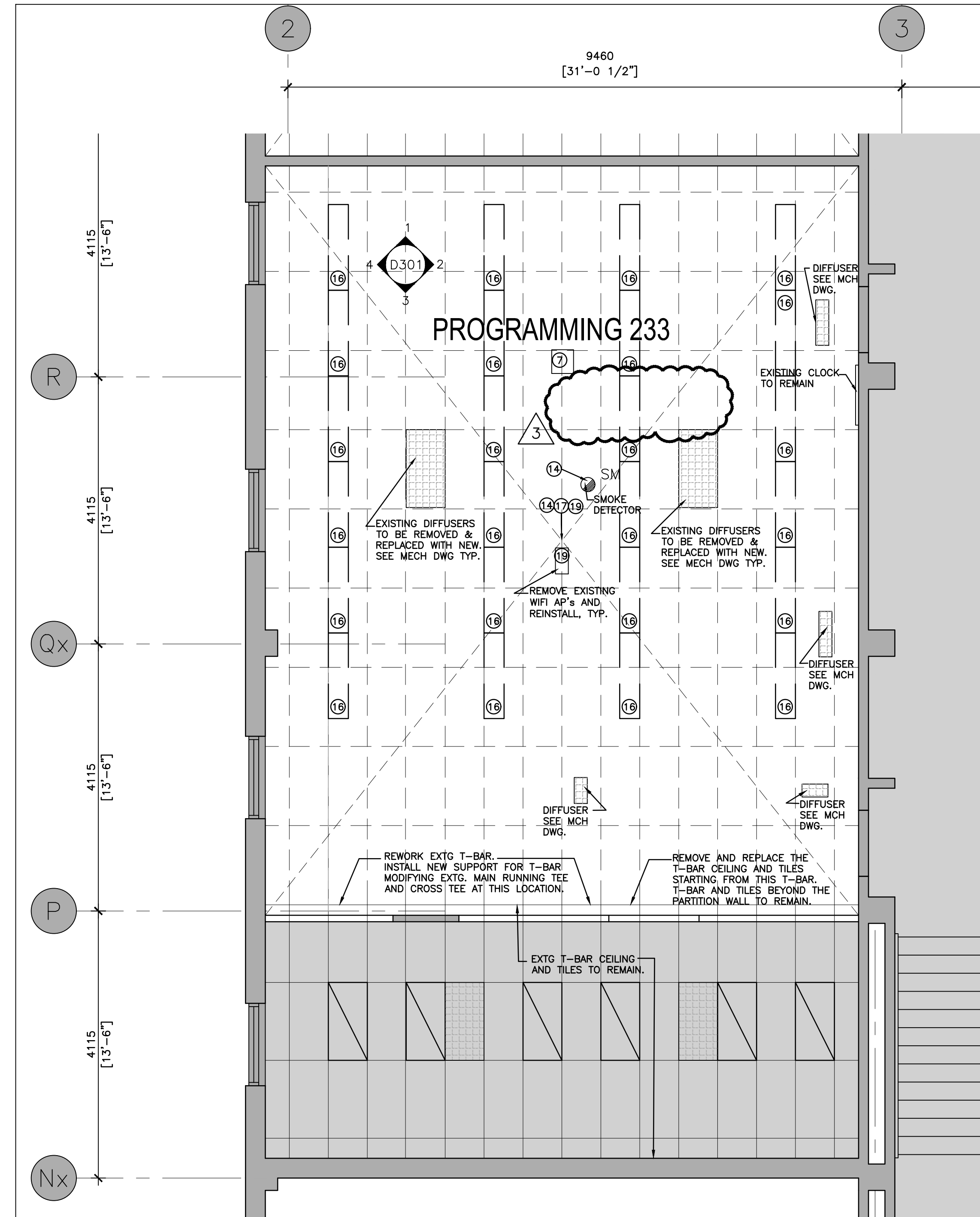
Project:
DR MS HAWKINS SR.PS
 CLASSROOMS 233-235-244-245-246-247 RENOVATION
 KAWARTHA PINE RIDGE DISTRICT SCHOOL BOARD

130 HIGHLAND DRIVE
 PORT HOPE ONTARIO

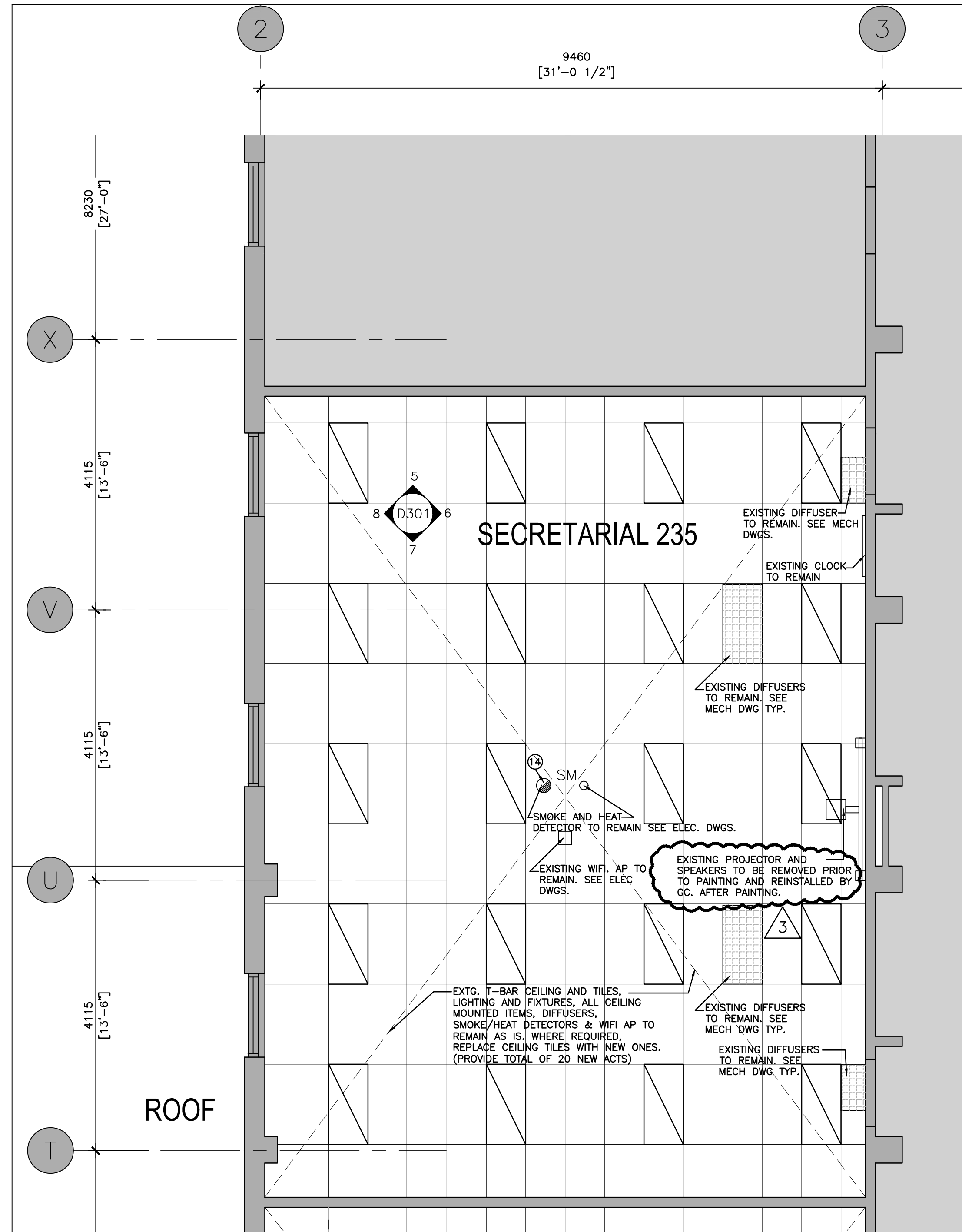
Drawing Title:
CLASSROOMS 233 AND 235
 DEMOLITION REFLECTED CEILING PLAN

Drawn By: TJ	Checked By: OM	Date Checked:	Project No. 23A117
Date Plotted: Apr 17, 2024 - 2:33pm	Scale: AS NOTED		
Drawing No.:	Revision No.:		

D204 3



1 CLASSROOM 233 DEMOLITION REFLECTED CEILING PLAN
 D204 SCALE: 1:50



2 CLASSROOM 235 DEMOLITION REFLECTED CEILING PLAN
 D204 SCALE: 1:50

IMAGES: ...YPRD58 Logo.jpg
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REFER TO DEMO FLOOR PLANS (D200 SERIES) AND PROPOSED FLOOR PLANS (A200 SERIES) FOR SCOPE OF DEMOLITION. (TYPICAL)

REFER TO A200 FOR PREFERENCE NOTES (TYPICAL)

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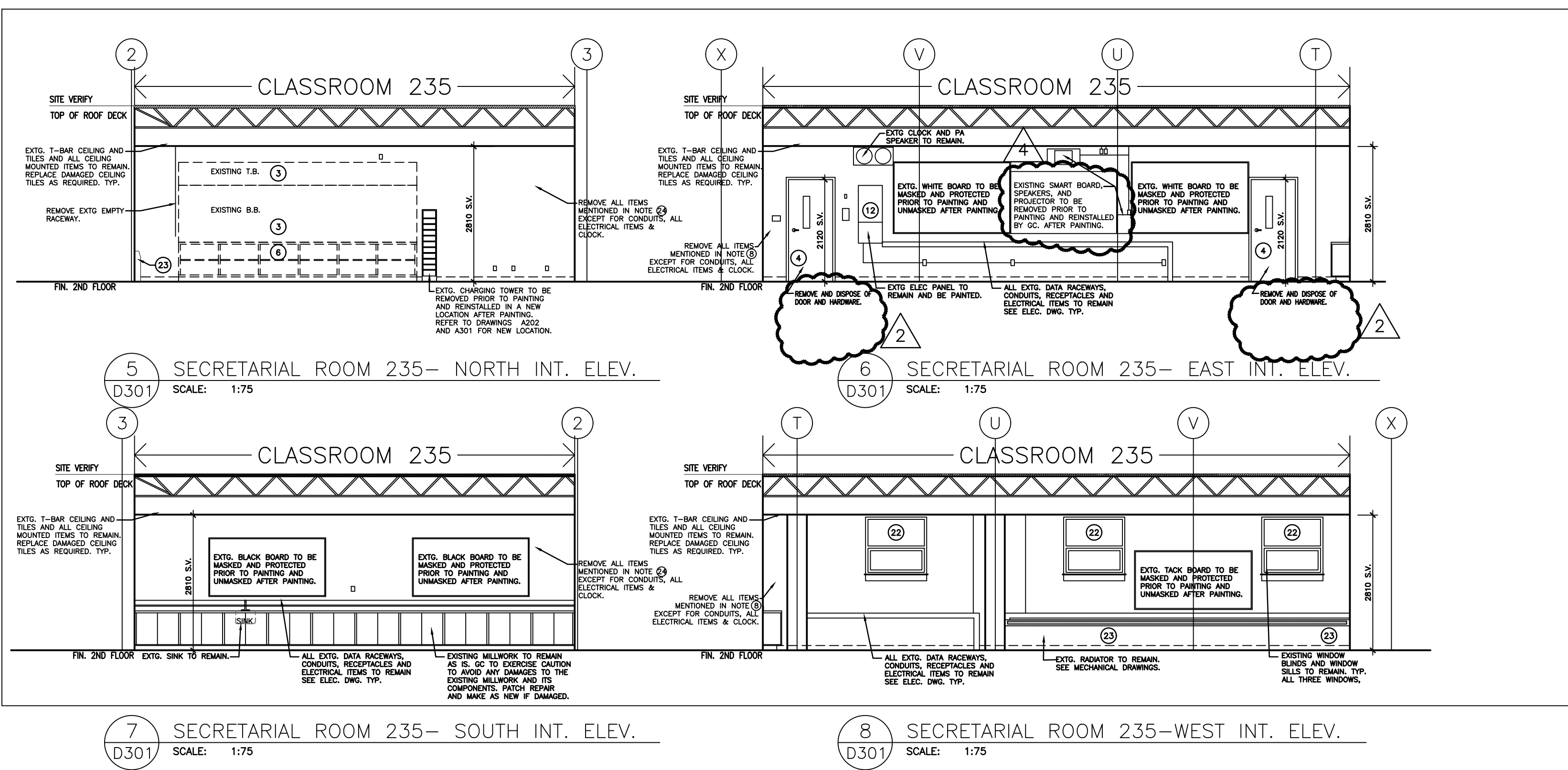
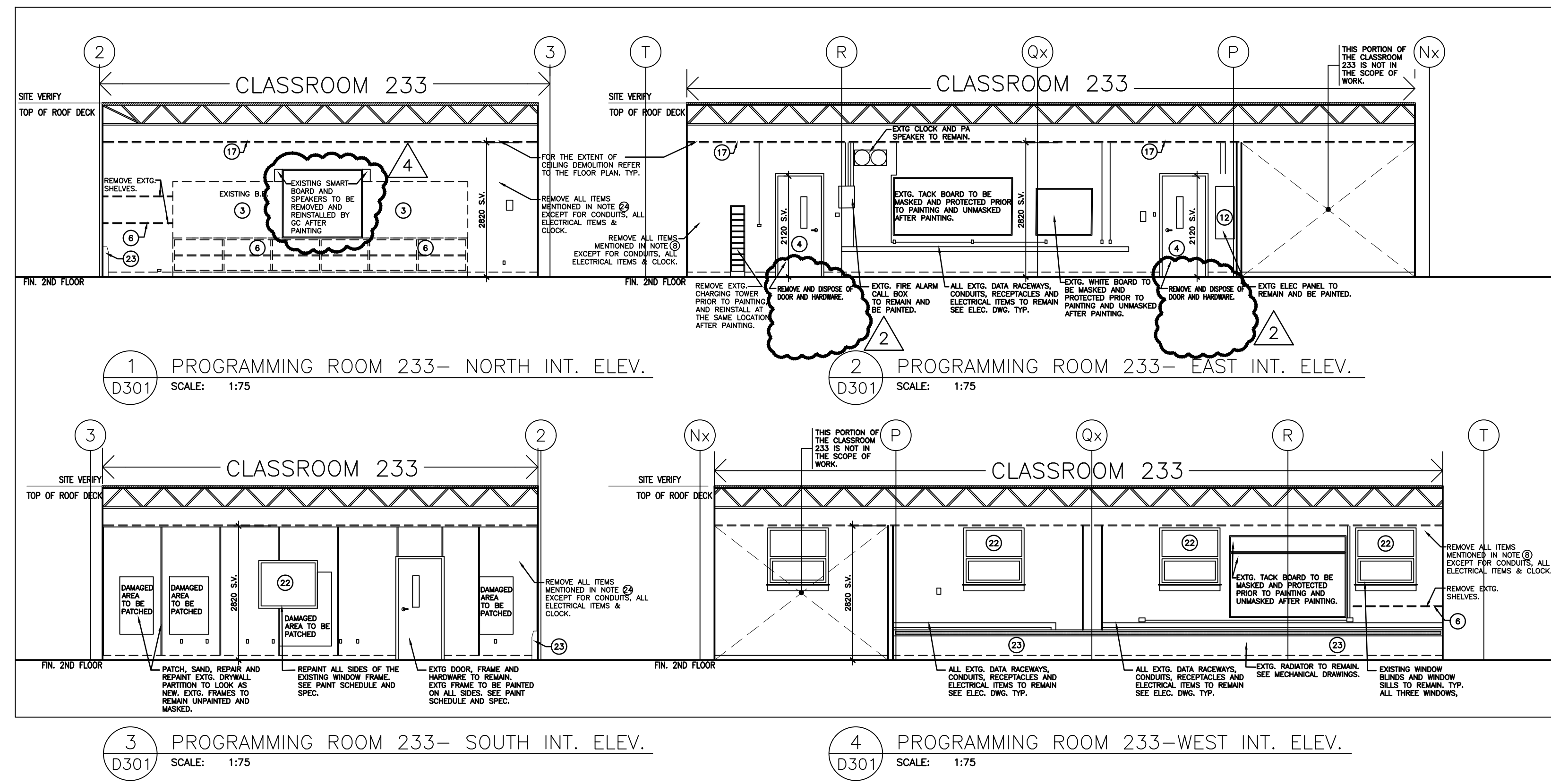
Project:
DR MS HAWKINS SR.PS
 CLASSROOMS 233-235-244-245-246-247 RENOVATION
 KAWARTHA PINE RIDGE DISTRICT SCHOOL BOARD

130 HIGHLAND DRIVE
 PORT HOPE ONTARIO

Drawing Title:
DEMOLITION INTERIOR ELEVATIONS

Drawn By: TJ	Checked By: OM	Date Checked:	Project No. 23A117
Date Plotted: Apr 16, 2024 - 2:11pm	Scale: AS NOTED		

Drawing No.: **D301**
 Revision No.: **4**



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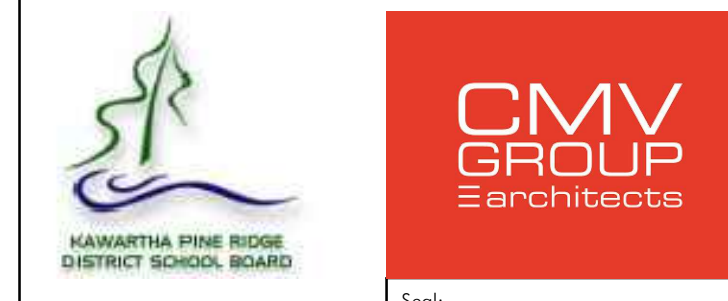
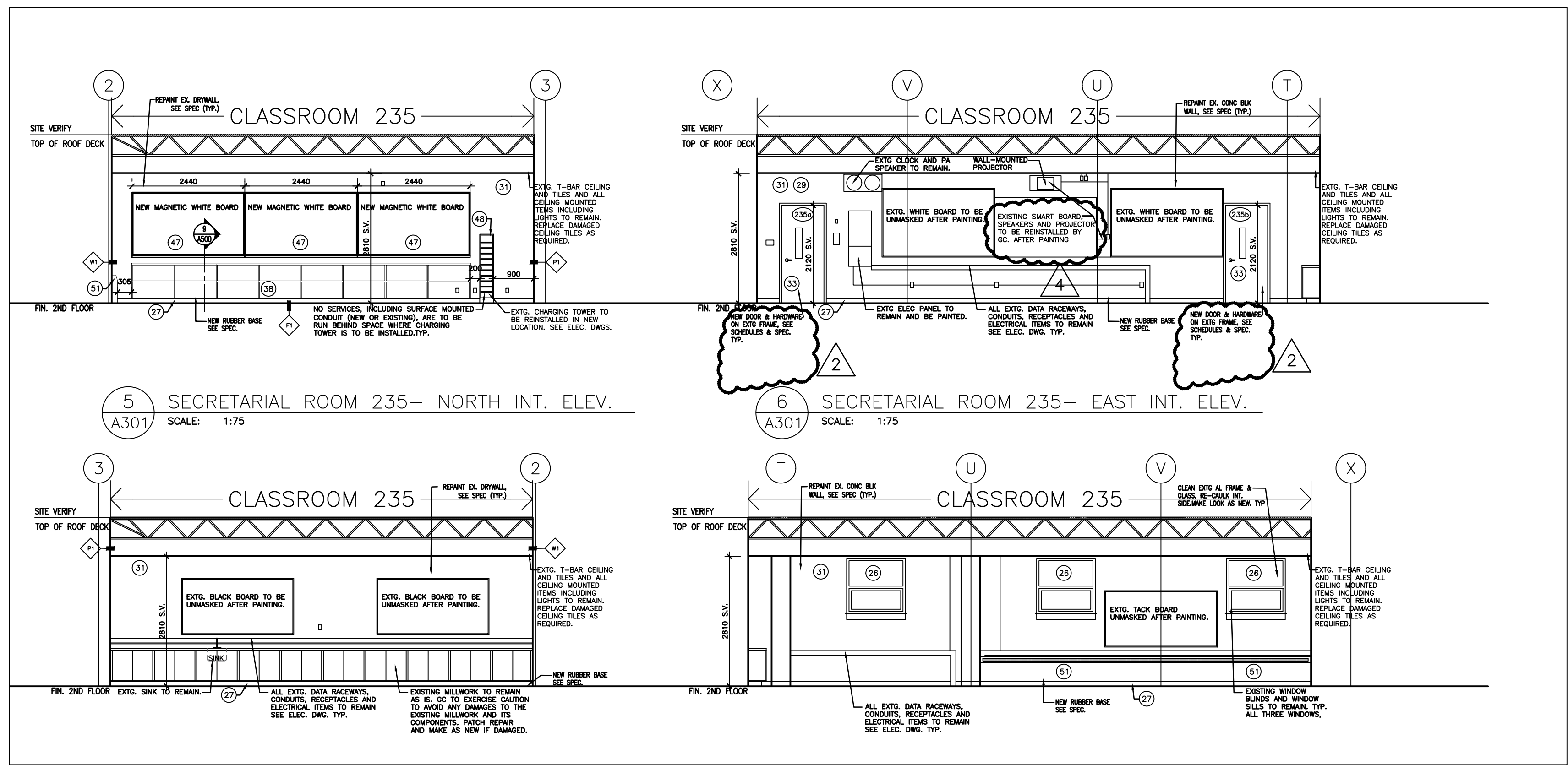
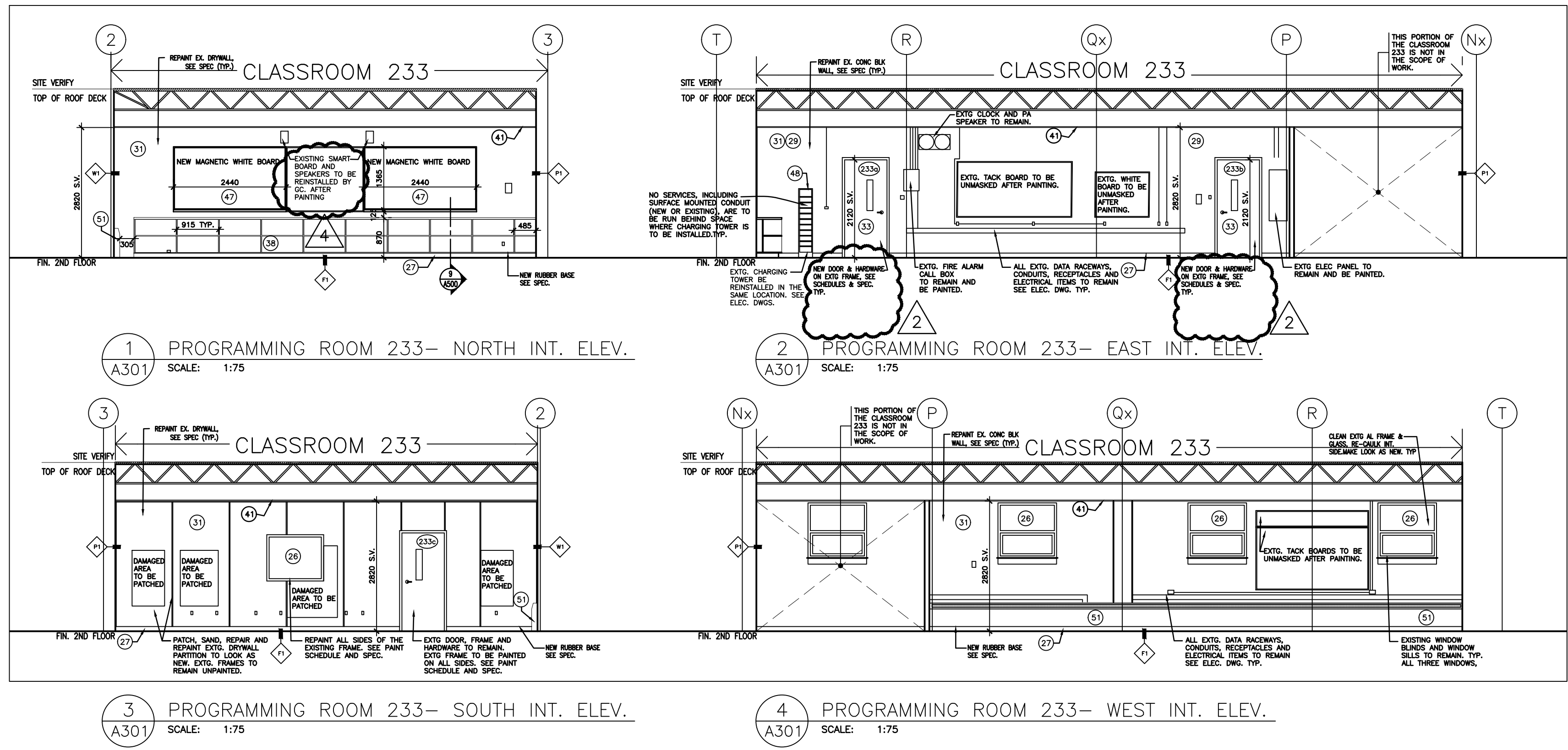
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Project:
DR MS HAWKINS SR.PS
 CLASSROOMS 233-235-244-245-246-247 RENOVATION
 KAWARTHA PINE RIDGE DISTRICT SCHOOL BOARD

130 HIGHLAND DRIVE
 PORT HOPE ONTARIO

Drawing Title:
PROPOSED INTERIOR ELEVATIONS

Drawn By: TJ	Checked By: OM	Date Plotted: Apr 16, 2024 - 2:11pm	Project No. 23A117
Date Plotted: Apr 16, 2024 - 2:11pm			Scale: AS NOTED
Drawing No.:			Revision No.:

A301 4

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ADDENDUM

101 – 20 Camden Street
Toronto, Ontario
M5V 1V1

☎ 416.506.1600
✉ 416.506.0956

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DATE April 17, 2024 ADDENDUM No 3
PROJECT Dr M.S. Hawkins Sr Public School Classroom Renovations PROJECT No 23A117

TO Kawartha Pine Ridge District School Board ATTENTION Steven Altpeter
1994 Fisher Drive
Peterborough, ON K9J 6X6

-
- 01 This Addendum shall be attached to the form of the Specifications and shall form an integral part of the Contract Documents. The contents of this Addendum shall be brought to the attention of all concerned.
 - 02 Receipt of the Addenda shall be acknowledged in the Tender Form.
 - 03 All trades shall read the Addenda.
 - 04 This addendum consists of 4 pages and attachments as noted.

Refer to Mechanical Addendum M-1 dated April 16, 2024, by TMP attached.

Tala Jabbary

PER CMV GROUP ARCHITECTS

DISTRIBUTION Andrew Ferreira -TMP, Quan Vu - H&J



MECHANICAL ADDENDUM

200 KING ST. W., SUITE 310, TORONTO, ON CANADA M5H 3T4
E tmp@tmptoronto.com | P 416-499-8000

DATE April 16, 2024

TO **CMV Group Architects**
20 Camden Street, Suite No. 101
Toronto, ON M5V 1V1 **ADD - M-1**

ATTENTION Otto Miller

PROJECT Dr. MS Hawkins Public School – Classrooms 244, 246, 247, 247

PROJECT NO. 23-1109-000

SUBJECT **Mechanical Addendum M-1**

Include the following changes in the pricing and work of this project.

1.0 DRAWINGS

- 1.1 Drawing No. M1-101 – Classrooms 244 to 247 Mechanical Demolition (re-Issued)
- 1.2 Drawing No. M1-201 – Classrooms 244 to 247 Mechanical New (re-Issued)

2.0 DESCRIPTION

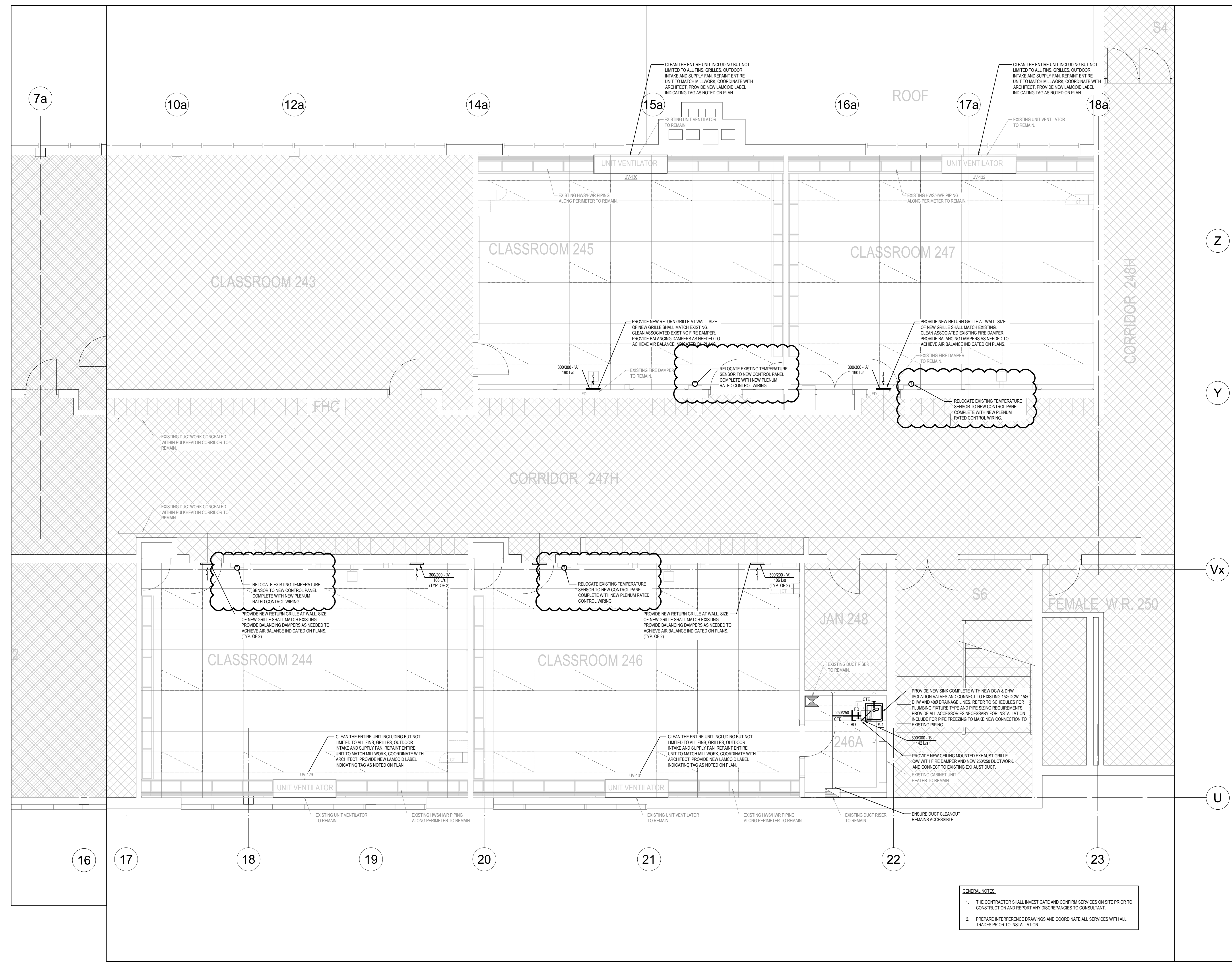
- 2.1 Drawing No. M1-101
 - .1 Revised drawing to illustrate removal of four (4) existing room temperature sensors.
- 2.2 Drawing No. M1-202
 - .1 Updated drawing to illustrate the relocation of four (4) existing room temperature sensors,

END OF MECHANICAL ADDENDUM NO. M - 1

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REVISIONS AND DISTRIBUTION LOG		
No.	Date	Note
1.	FEB. 06, 2024	ISSUED FOR COORDINATION
2.	MAR. 06, 2024	ISSUED FOR COORDINATION
3.	MAR. 12, 2024	ISSUED FOR TENDER
4.	APR. 15, 2024	ISSUED FOR PERMIT
5.	APR. 16, 2024	ISSUED FOR ADDENDUM M-1

23-1109-000




TAMP
 THE MITCHELL PARTNERSHIP INC.
 CONSULTING ENGINEERS
 200 King St. West, Suite 310, Toronto,
 ONTARIO M5H 3T4 | 416.499.8000

Project:
DR MS HAWKINS SR.PS
 CLASSROOMS 233-235-244-245-246-247
 RENOVATION
 KAWARTHA PINE RIDGE DISTRICT SCHOOL BOARD
 130 HIGHLAND DRIVE
 PORT HOPE ONTARIO

Drawing Title: CLASSROOMS 244 TO 247 MECHANICAL NEW			
Drawn By: CAD	Checked By: AF	Date Checked:	Project No.
Date Plotted: Apr 16, 2024 - 4:08pm	Scale: 1:50	Revision No.:	
M1-201			

- GENERAL NOTES:**
- THE CONTRACTOR SHALL INVESTIGATE AND CONFIRM SERVICES ON SITE PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO CONSULTANT.
 - PREPARE INTERFERENCE DRAWINGS AND COORDINATE ALL SERVICES WITH ALL TRADES PRIOR TO INSTALLATION.