

ADDENDUM NO. 3

TO WHOM IT MAY CONCERN:

REQUEST FOR TENDERS #: T-683-24 REPLACEMENT OF ROOF AT WOODLANDS OPERATION CENTRE, 1179 BRONTE ROAD, OAKVILLE, ON L6M 3L1

This Addendum No. 3, issued Monday, May 6, 2024, must be incorporated into and made part of the above noted Request for Tenders Document.

ISSUE #1: AMENDMENT TO THE TENDER DRAWINGS

The drawings contained within RFT T-683-24 (Cover Page inclusive of Drawing List, and Revision 1 of Drawings A1 through A5) are hereby deleted in their entirety and replaced by the attached amended drawings (Cover Page inclusive of Drawing List, and Revision 3 of Drawings A1 through A5).

ISSUE #2: AMENDMENTS TO THE SCHEDULE OF PRICES

- a) The Schedule of Prices: T-683-24 Cash Allowances has been amended to remove item A-002 -Cash Allowance for Relocation of Natural Gas Line.
- b) The Schedule of Prices: T-683-24 Divisional Requirements has been amended for the addition of the text "Supply & Install new Skylights". The revised line item is as follows:
 - "Remove existing skylights, build-up the existing skylight curbs as required to accommodate the height of the new roof assembly. Supply and Install new Skylights. The skylights are reported to be 1530mm x 2438mm, contractor to site verify."
 - NOTE: A revised online submission form has been generated and saved to the "Documents" section of Bids & Tenders and replaces the original online submission form.

ISSUE #3: RESPONSES TO THE QUESTIONS RECEIVED BY THE REGION

Question 1: Note on A2 drawing states remove and dispose existing skylight system (typical). However, 6/ A4 detail says remove and store existing skylight and reinstate skylights. Please clarify.

Answer 1: Skylights are to be removed and disposed of. Refer to the detail 6/A4 (Skylight Detail) of Drawing A4, Revision 3 attached hereto.

Question 2: is required any type of hoarding & o/H Hoarding. where.

Answer 2: Overhead protection and the like may be required during work at the overhand roofs E, F & G (and/or other location depending on the method of procedure) these requirements are to comply with OHSA regs. and Attachment 1 – Technical Specifications Section 01 56 00 – Temporary Barriers & Enclosures. Hoarding is not anticipated; hoarding would only be required if there is time between the skylight removal and the installation of the new skylights.

Question 3: is the roof under Warranty who is the base contractor roofing company and it's contacts.

Answer 3: The existing roof is not under warranty.

Question 4: is there any electrical work.

Answer 4: The only anticipated base scope items which could be considered electrical work would be to install new sleeve flashing around locations where existing electrical conduits penetrate the roof assembly. This is not anticipated to require and disconnection of existing electrical systems.

Question 5: who is the manufacturer of the Dome Skylight.

Answer 5: Any manufacturer which meets the requirements of Section 08 62 00 – Unit Skylights will be acceptable.

Note as per Section 08 62 00, 2.4.1 of Attachment 1 – Technical Specifications, "Manufacturer Qualifications: A qualified manufacturer with minimum 20 years' experience in the manufacturing similar products in successful use on similar projects and able to provide unit skylights meeting requirements."

Question 6: the facility will be operational during roof replacement. is all mechanical and electrical equipment will be raise and left on site or removed from site to ground.

Answer 6: Temporarily removal is not anticipated to be required and should not be priced into the base bid. If temporary removals end up being required these costs and the cost for any required testing will come from the Schedule of Prices: T-683-24 - Cash Allowances, item A-001.

Question 7: what is the estimated length and type of carpentry to be replaced at parapet? Answer 7: The site was available for viewing during the non-mandatory site visit. As per the drawings, the contractor is to site verify all dimensions.

The dimensions provided on Drawing 1/A1 (Roof Key Plan) could be used to give a rough calculation of the perimeter however, as stated, these dimensions have not been site verified.

Question 8: existing metal roof below EPDM roof. what to do to it. is it in base price.

Answer 8: The existing roof assembly is to be demolished and removed to expose the existing metal roof. The metal roof is to be cleaned of all dirt/debris and prepared as per specifications to receive the new roof assembly.

Any scouring of rust and painting of corroded areas of the metal deck would be outside of the base bid (Refer to the Schedule of Prices: T-683-24 - Provisional Items Allowance, item P-001). No quantity of replacement of the steel deck is anticipated to be required and should also not be included in the base bid.

Question 9: in the tender form Mod. Bit. Roof has two groups E1, F1, G1 & E2, F2, G2 not shown on drawings.

Answer 9: The distinction is outlined in Section 01 11 00 - Summary of Work of Attachment 1 – Technical Specifications. E1, F1, G1 are the upper overhang roofs and E2, F2, G2 are the roofs which site below these. Updates have been made for clarification in the attached revised drawings.

Question 10: for existing metal roof under new EPDM Roofing. as per detail 2A/A3. we have scour rust and Repaint/prepare. what is exactly we have to do. it is under base price or provisional price.

Answer 10: Preparing the roof is under the base scope and involves proper cleaning of the roof deck and adequate demolition/removal of the existing roof assembly from the deck. Costs for "Scouring rust and Repainting" are not part of the base scope, these costs are covered under item P-001 of Schedule of Prices: T-683-24 - Provisional Items Allowance. The contractor is to document the extent of any such repairs and will be compensated as per that unit rate.

Question 11: Could you please confirm if the non penetrating guardrails to be made of galvanized steel or aluminum?

Answer 11: As indicated either material would be acceptable provided and hot dip galvanization or powder coating are listed as acceptable corrosion resistant finishes.

Question 12: Please clarify what Division 15 - Mechanical Work (as mentioned in the schedule of prices) is to be carried under the scope of work.

Is there mechanical work other than what is to be carried in the cash allowance (testing, temp. re/re, natural gas line relocation work)?

Answer 12: Refer to Attachment 1 – Technical Specifications, Section 15 00 00 - Mechanical Work.

Raising of the curb at, testing and temporary removal of the rooftop mechanical units is not anticipated to be required and should not be priced into the base bid. If temporary removals end up being required these costs and the cost for any required testing will come from item A-001 of Schedule of Prices: T-683-24 Cash Allowances.

The Schedule of Prices: T-683-24 Cash Allowances, item A-002 (Cash Allowance for Relocation of Natural Gas Line) has been removed as this should be considered to be part of the base scope of work. Note: the \$10,000 allocation is not necessarily indicative of the anticipated costs but was rather a standard allowance amount. Bidders are to use their own discretion for accounting for the costing of this Item.

Question 13: The bid form has requested an line item for a scope of work found in the cash allowance. Can the bid form be revised?

Answer 13: Refer to Answer 12.

ISSUE #4: ANSWERS TO THE QUESTIONS RAISED AT THE NON-MANDATORY SITE MEETING BUT NOT SUBMITTED VIA THE BIDS & TENDERS PORTAL

Question 14: Are the existing paver pathways required to be reinstated?

Answer 14: Yes. The paver pathways are to be stored and reinstated to match existing. Any damaged pavers are to be replaced.

Question 15: what is the existing roof assembly?

Answer 15: The flat room assemblies used stone ballast, loose-laid EPDM membrane, but insulation and deck varied. The existing assemblies at 5 of the 7 flat roof assemblies consist of 76mm of rigid insulation on a sloped metal deck (A2, B, C1, D).

The other two flat roof sections (A1 & C2) are on a concrete deck and have additional tapered insulation in addition to the 76mm base insulation.

The sloped overhang roofs (E1, F1, G1) are composed of a two modified bitumen roof overtop 19mm plywood and a steel deck. The composition of roof E2, F2, G2 was not verified.

Question 16: Drawing detail 2/A2 (Existing/Demo Roofing Detail (TYP.)) states remove and dispose existing Ballast. However, Note 2 says retain existing ballast for reinstatement. Please clarify.

Answer 16: Existing Ballast is to stored and reinstated. Drawing detail 2/A2 has been corrected in the revised drawings attached hereto.

Question 17: Note 5 of Drawing Detail 1/A2 has no text, can this be clarified?

Answer 17: Note 5 has been corrected to state "REMOVE, DISPOSE OF ANY IDENTIFIED REDUNDANT ROOF TOP PENETRATIONS". Refer to the revised Drawing A2 attached hereto.

Question 18: Is the Chimney at Roof B still in service?

Answer 18: This chimney is being decommissioned as part of a separate project. No costs are to be carried for this work. The winning bidder will co-ordinate with the other contractor for scheduling. See note on revised Drawing A2.

Question 19: Does the metal siding have to be repainted or only the structural supports?

Answer 19: As per Drawing detail 2/A4 only the metal structure requires full repainting. At the ladders and horizontal siding only (the minimal) localized areas of corrosion are required to be repainted.

All other terms and conditions remain the same. This addendum must be acknowledged in the submitted Bid submission.

Penny Howson Senior Strategic Sourcing Specialist

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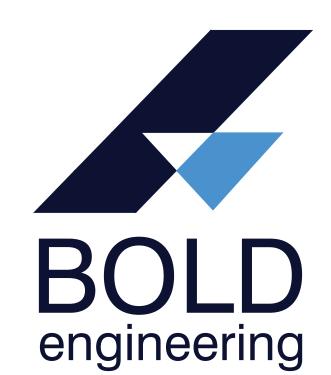
1179 Bronte Rd, Oakville, ON

WOODLANDS OPERATION CENTER ROOF REPLACEMENT

PROJECT NO.: T-683-24

DRAWING LIST

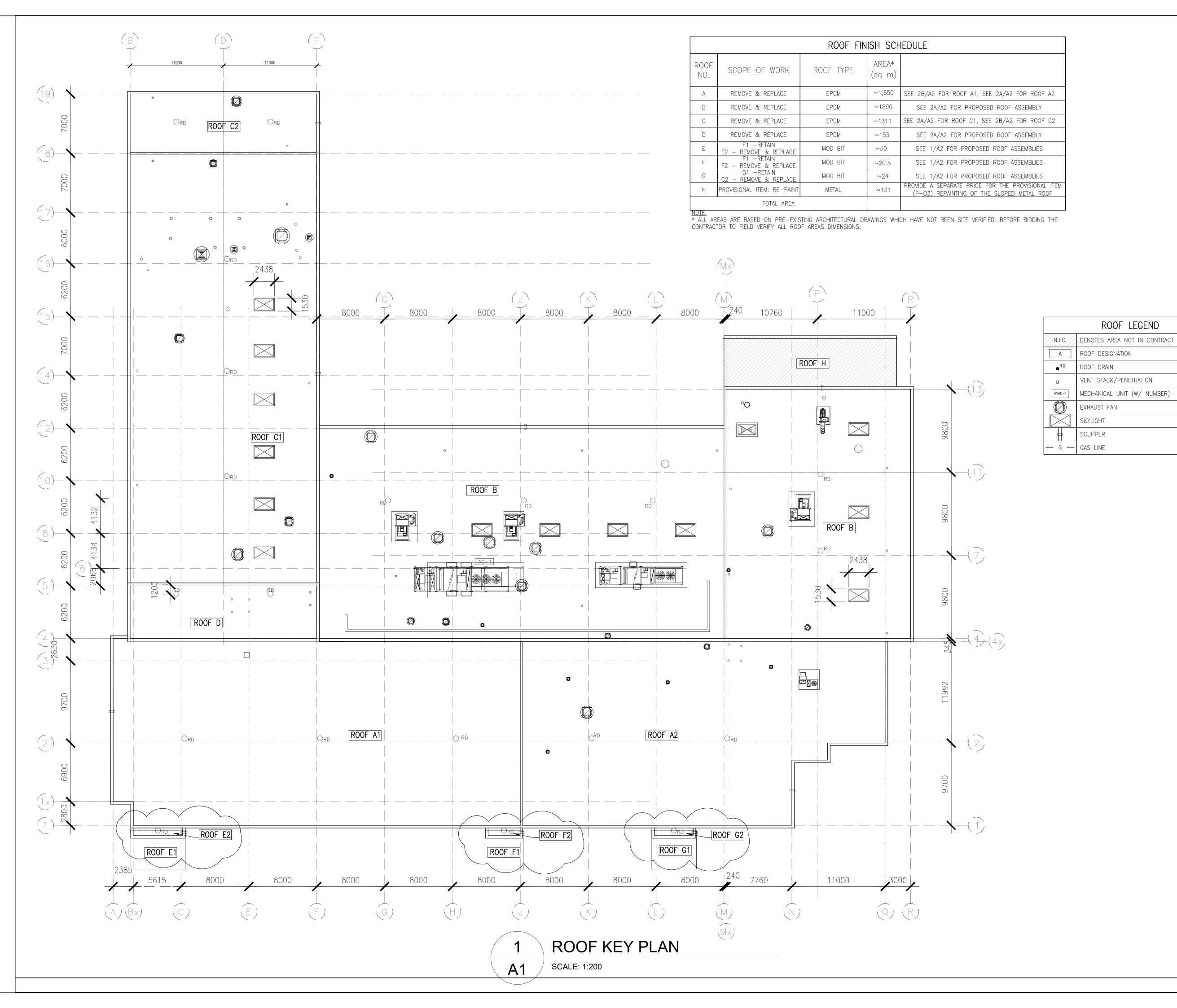
- A1 ROOF KEY PLAN
- A2 EXISTING/DEMO ROOF PLAN
- A3 PROPOSED ROOF PLAN
- A4 ROOF DETAILS I
- A5 ROOF DETAILS II



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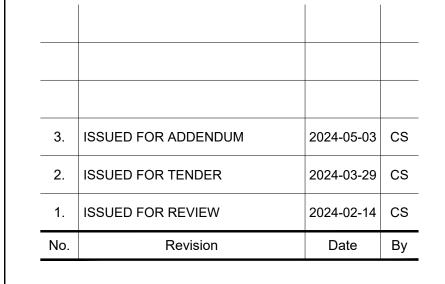
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Project Name

WOODLANDS OPERATIONS CENTER ROOF REPLACEMENT

1179 BRONTE RD, OAKVILLE, ON Sheet Title

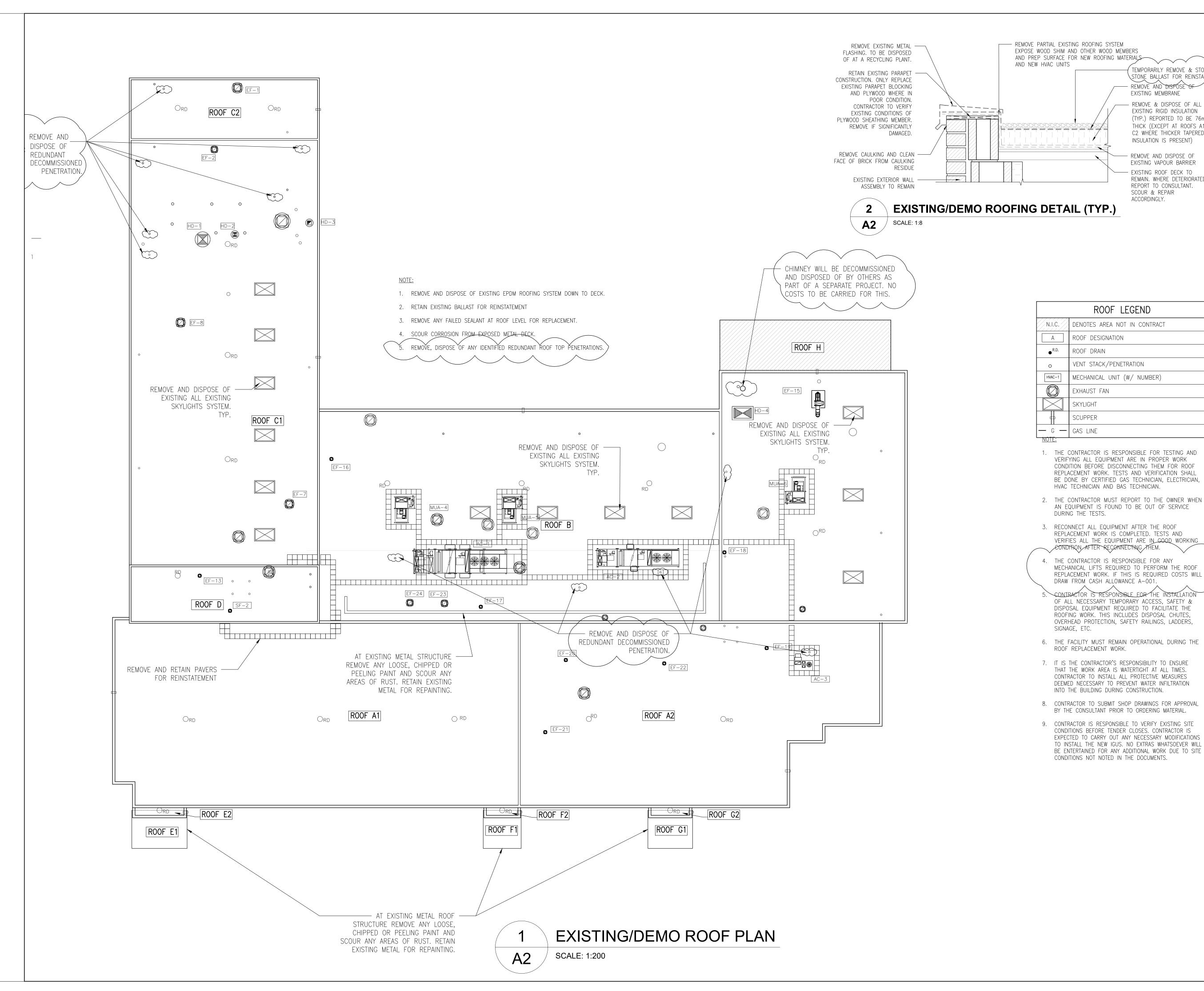
ROOF KEY PLAN

Drawn By AE/CS Scale As Shown Designed By CS Date May. 3rd, 2024 Project Number **T-683-24**

Sheet Number

A1

Revision



Drawing Notes

TEMPORARILY REMOVE & STORE EXISTING

STONE BALLAST FOR REINSTATEMENT

- REMOVE AND DISPOSE OF

REMOVE & DISPOSE OF ALL

EXISTING RIGID INSULATION

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INSULATION IS PRESENT)

- REMOVE AND DISPOSE OF

- EXISTING ROOF DECK TO

REPORT TO CONSULTANT.

SCOUR & REPAIR

ACCORDINGLY.

ROOF LEGEND

ROOF DESIGNATION

VENT STACK/PENETRATION

MECHANICAL UNIT (W/ NUMBER)

VERIFIES ALL THE EQUIPMENT ARE IN GOOD WORKING

CONDITION AFTER RECONNECTING THEM.

ROOF DRAIN

EXHAUST FAN

SKYLIGHT

SCUPPER

EXISTING VAPOUR BARRIER

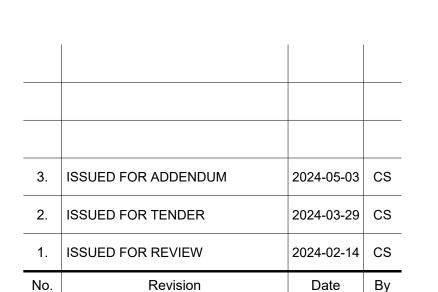
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(TYP.) REPORTED TO BE 76mm

THICK (EXCEPT AT ROOFS A1 &

EXISTING MEMBRANE

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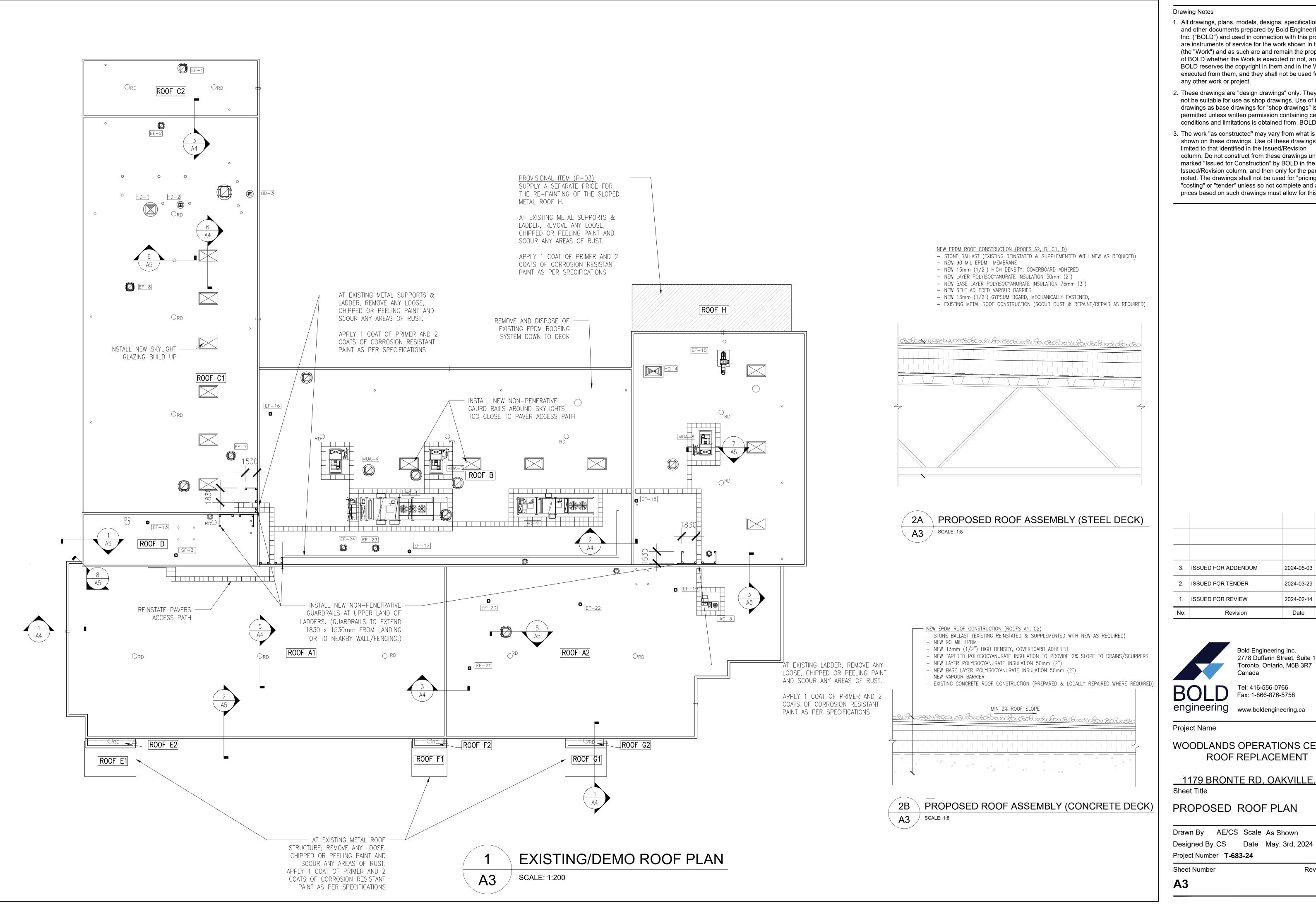
EXISTING/DEMO ROOF PLAN

Drawn By AE/CS Scale As Shown Designed By CS Date May. 3rd, 2024 Project Number T-683-24

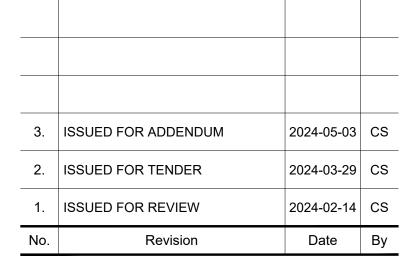
Sheet Number

Revision

A2



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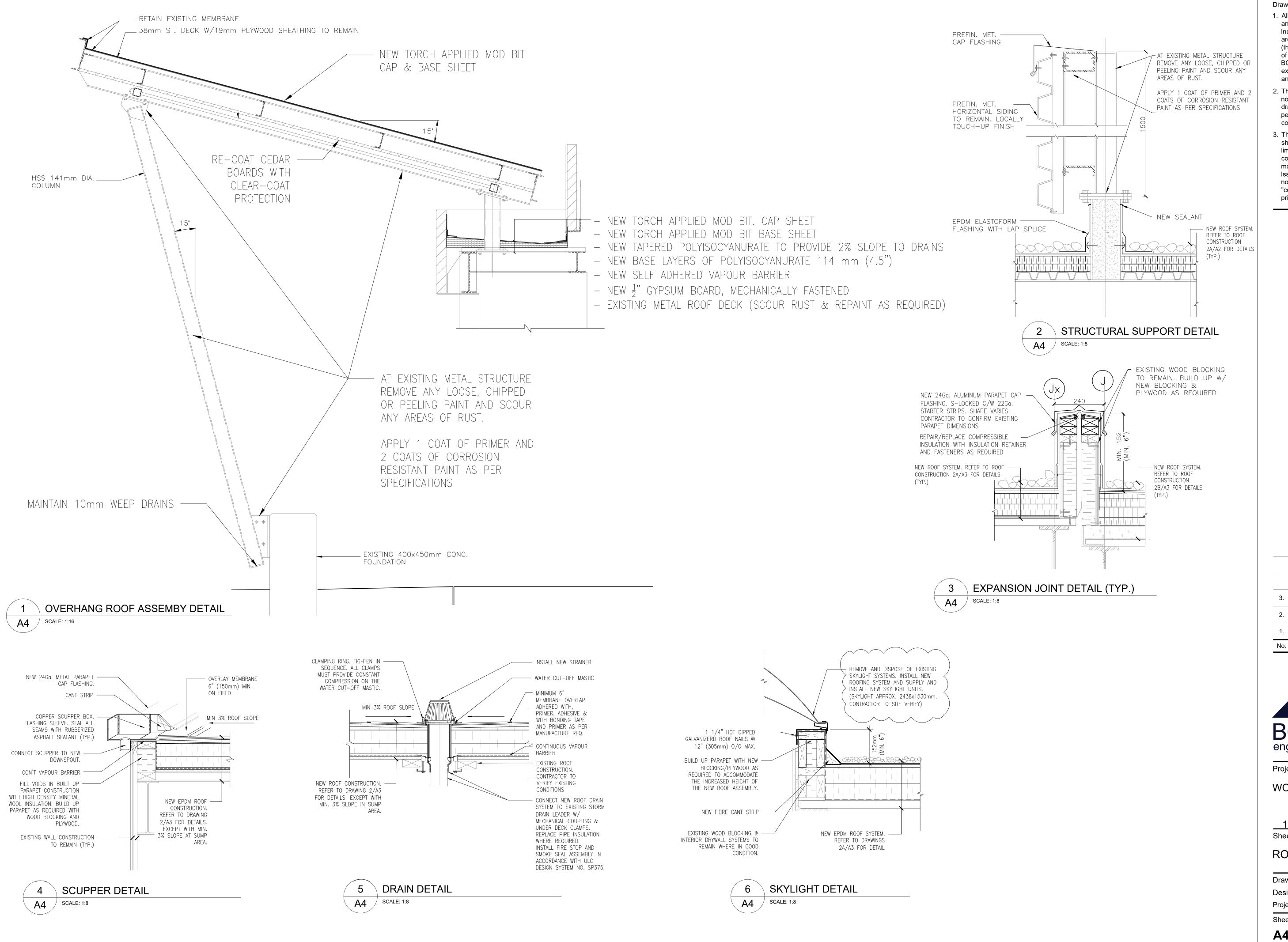
1179 BRONTE RD, OAKVILLE, ON

PROPOSED ROOF PLAN

Drawn By AE/CS Scale As Shown

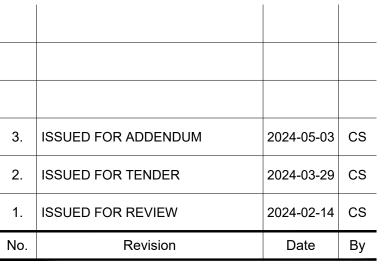
Project Number T-683-24

Revision



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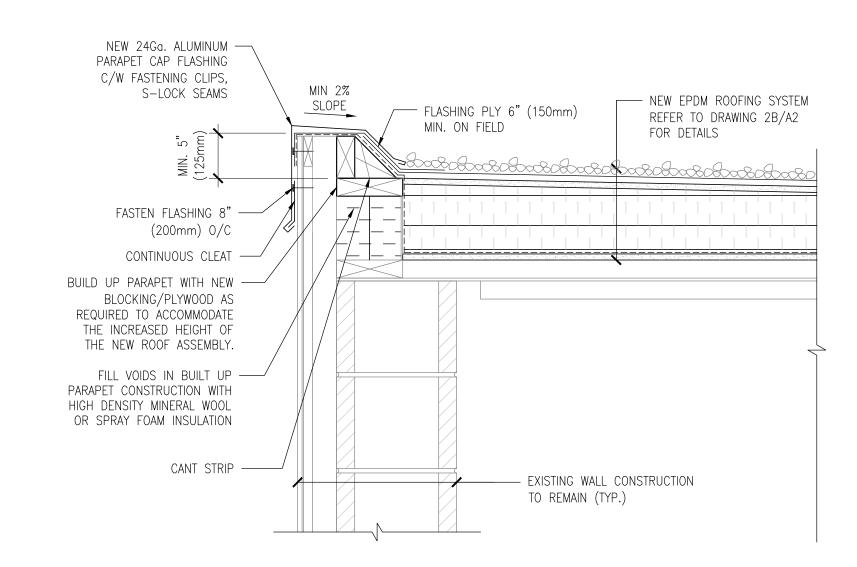
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ROOF DETAILS

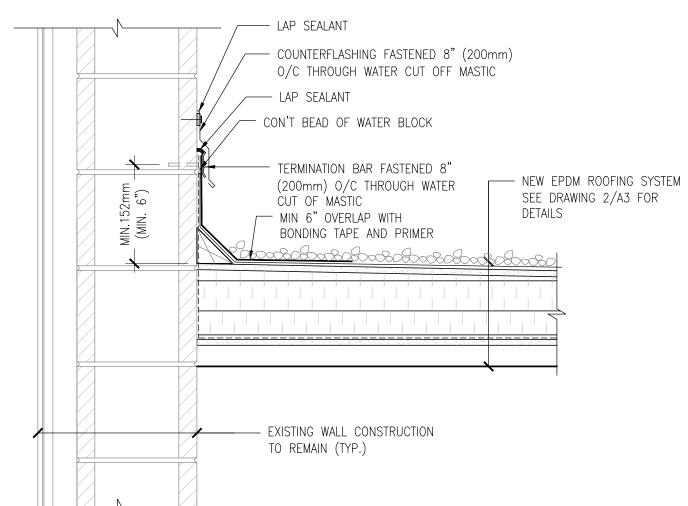
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Sheet Number

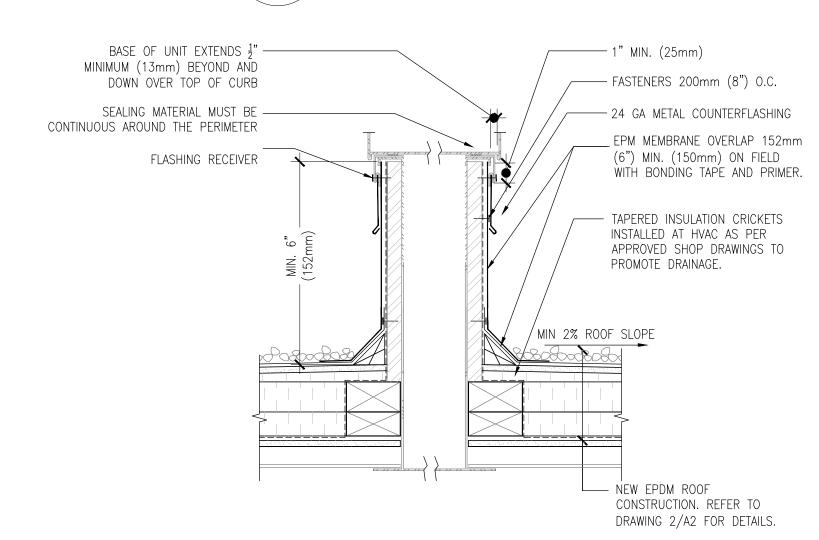
Revision



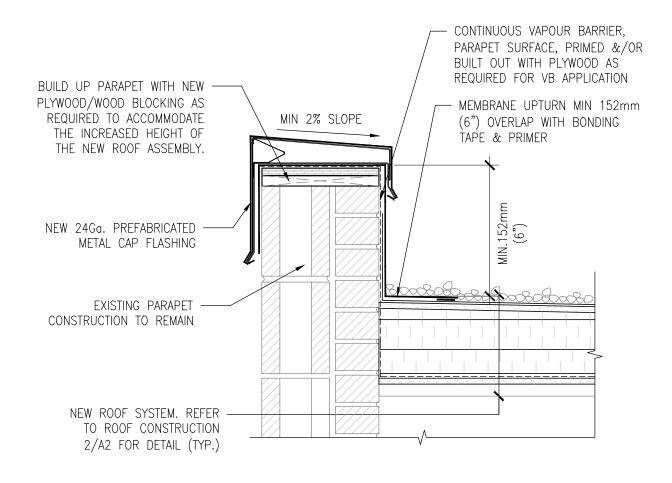


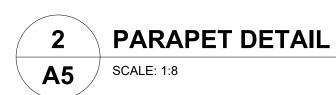


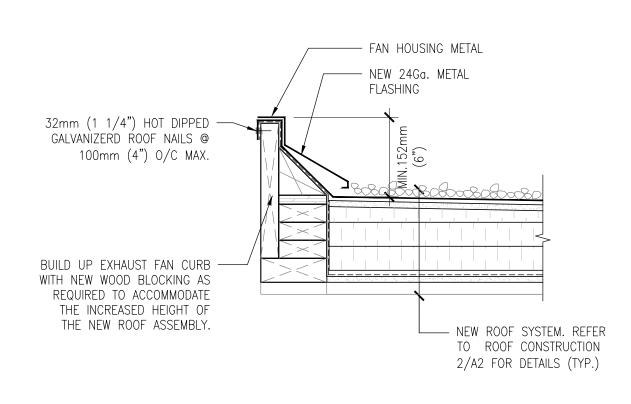




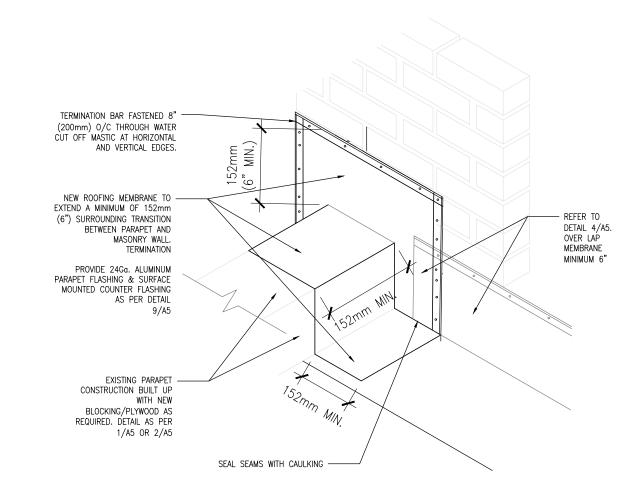




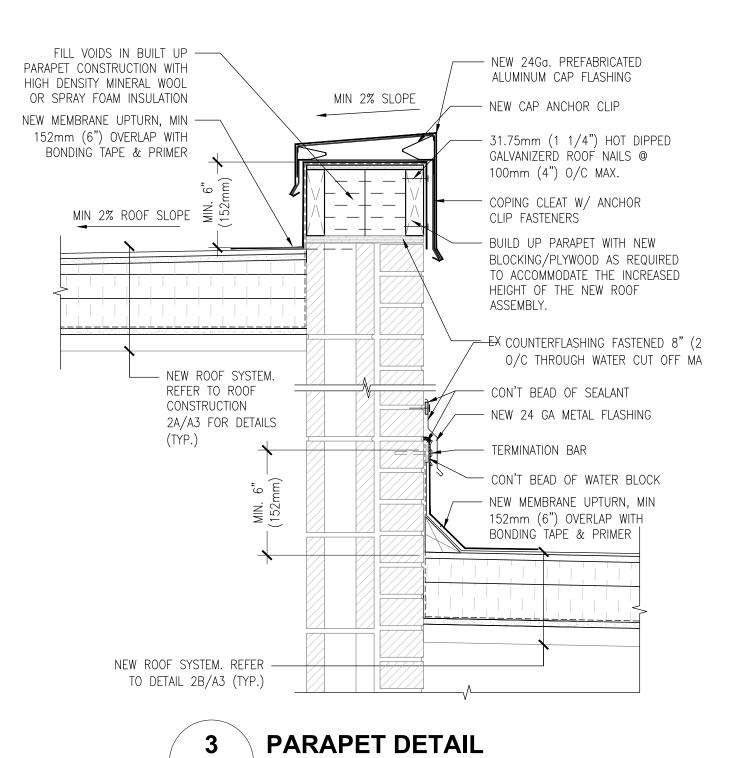


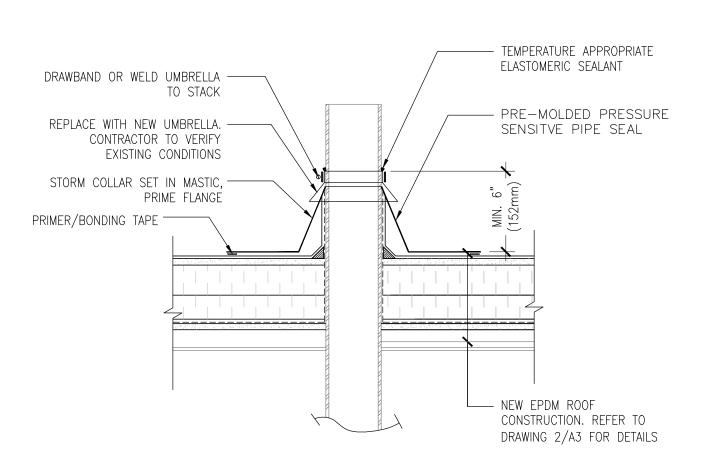


EXHAUST FAN DETAIL (TYP.) A5



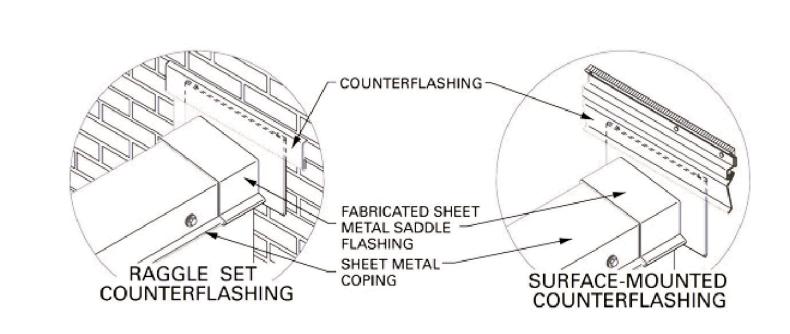






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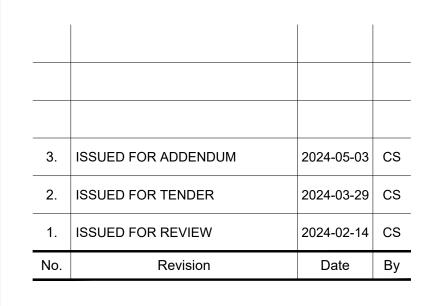






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1179 BRONTE RD, OAKVILLE, ON Sheet Title

ROOF DETAILS

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Sheet Number Revision