

SITE PLAN NOTES:

- ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND CHIEF PLANNER, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
- FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO THE SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF THE OWNER.
- MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS OR MINUS 7.5m UNLESS OTHERWISE STATED.
- ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
  - BUILDING PERMITS
  - SEWER AND WATER PERMITS
  - ROAD CUT PERMITS
  - RELOCATION OF SERVICES
  - APPROACH APPROVAL PERMITS
  - SIGN PERMITS
  - COMMITTEE OF ADJUSTMENT
  - ENCROACHMENT AGREEMENTS (IF REQUIRED)

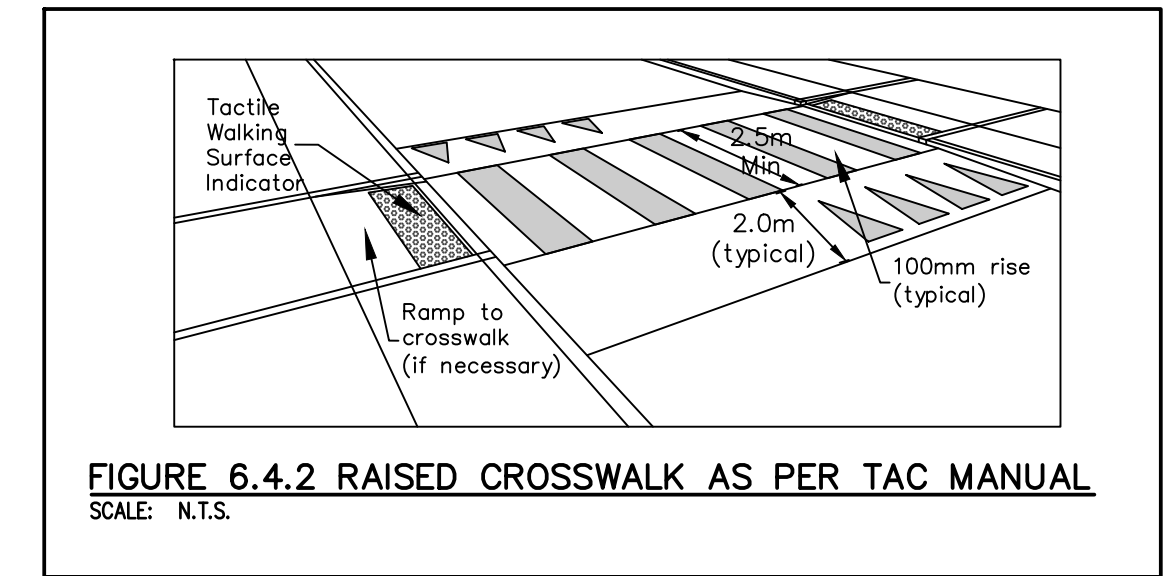
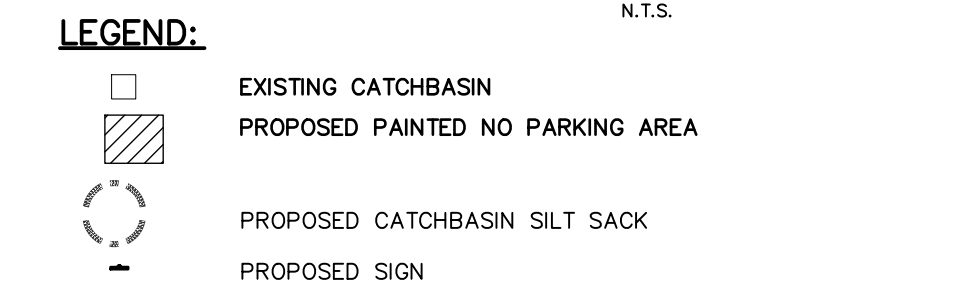
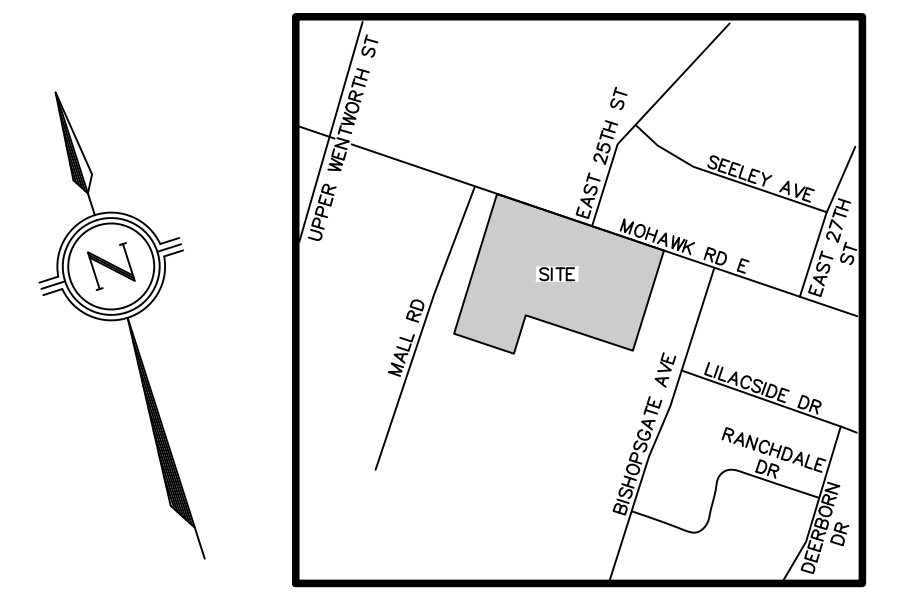
- ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE CORRIDOR MANAGEMENT SECTION, PUBLIC WORKS DEPARTMENT
- FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOWING NOTE TO BE PROVIDED:
 

"5.0 METRE BY 5.0 METRE VISIBILITY TRIANGLES IN WHICH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT TO EXCEED A HEIGHT OF 0.69 METRES ABOVE THE CORRESPONDING PERPENDICULAR CENTERLINE ELEVATION OF ADJACENT STREET."
- SIGNAGE IS NOT APPROVED THROUGH THE SITE PLAN PROCESS. ALL SIGNS MUST COMPLY WITH HAMILTON SIGN BY-LAW NO. 10-197.
- LIGHTING MUST BE DIRECTED ON SITE AND MUST NOT SPILL OVER TO ADJACENT PROPERTIES OF STREET.
- CALL BEFORE YOU DIG, ARRANGE FOR UNDERGROUND HYDRO CABLE LOCATE(S) AND GAS PIPELINES BEFORE BEGINNING CONSTRUCTION BY CONTACTING ONTARIO ONE CALL AT 1-800-400-2255

**NOTE**  
EXISTING BUS SHELTER AND SIDEWALK TO REMAIN ACCESSIBLE AND UNOBSTRUCTED DURING CONSTRUCTION

SITE STATISTICS			
ZONING DESIGNATION	I1 - NEIGHBORHOOD INSTITUTIONAL		
SITE LAYOUT	REQUIRED	PROPOSED	
LOT AREA	MINIMUM	N/A	17738.29 m <sup>2</sup>
BUILDING COVERAGE (%)	MAXIMUM	N/A	19.9 %
GROSS FLOOR AREA	MAXIMUM	N/A	3536.51 m <sup>2</sup>
BUILDING HEIGHT	MAXIMUM	10.5m	N/A
NUMBER OF STOREYS	MAXIMUM	N/A	3
NUMBER OF RESIDENTIAL UNITS	MAXIMUM	N/A	N/A
NUMBER OF PARKING SPACES	SPACES (1.25 SPACE/1 CLASSROOM)	27	66
NUMBER OF LOADING SPACES		N/A	N/A
LANDSCAPED AREA	LANDSCAPE STRIP	3.0m WIDE	YES

**LEGAL DESCRIPTION**  
PART OF LOT 10,  
CONCESSION 6  
GEOGRAPHIC TOWNSHIP OF BARTON  
CITY OF HAMILTON



**BENCH MARK NOTE:**  
STATION 07720090024  
LOCATED IN HAMILTON IN SACKVILLE HILL PARK 26 METRES WEST OF CENTRELINE UPPER WENTWORTH STREET.  
ELEVATION: 211.630 CGVD28-78

NO.	DATE	BY	REVISIONS
01	MAY 2/24	SD	ISSUED FOR FORMAL CONSULTATION.

**NOTES TO CONTRACTOR:**

- CONTRACTORS AND SUBCONTRACTORS SHALL NOT SCALE FROM THIS DRAWING.
- ANY INCONSISTENCIES AND OMISSIONS FOUND ON THE DRAWINGS MUST BE REPORTED TO THE ENGINEER FOR CLARIFICATION BEFORE COMMENCING THE WORK.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND ELEVATIONS AND REPORT ALL FINDINGS TO THE ENGINEER. ONCE CONSTRUCTION HAS COMMENCED, THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS.
- THE POSITIONS OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVER-GROUND UTILITIES AND STRUCTURES ARE NOT NECESSARILY SHOWN ON THE DRAWINGS, WHERE SHOWN ON THE DRAWINGS, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM THEMSELVES OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.
- ALL DRAWINGS REMAIN THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED, REVISED, OR REVISED WITHOUT THE WRITTEN CONSENT OF S. LLEWELLYN AND ASSOCIATES LIMITED.

DESIGN	SD	CHK'D	SF	DATE
DRAWN	SD	CHK'D	SF	May. 29, 24

SCALE: 1:400

APPROVALS

STAMP

S. LLEWELLYN & ASSOCIATES LIMITED  
CONSULTING ENGINEERS  
Tel. (905) 631-6978  
Website: www.sla.on.ca  
email: info@sla.on.ca  
3228 South Service Road, Suite #105 East Wing, Burlington, Ont., L7N 3H8

CLIENT  
**HAMILTON WENTWORTH CATHOLIC DISTRICT SCHOOL BOARD**  
90 MULBERRY ST, HAMILTON

PROJECT NAME  
**PARKING RECONSTRUCTION**  
416-420 MOHAWK ST E, HAMILTON

TITLE  
**SITE PLAN**

PROJECT No. 23096 DRAWING No. C100A

UNDERTAKING

RE: 416-420 MOHAWK ST. E., HAMILTON FILE No. FCSP-24-030

I, (WE) \_\_\_\_\_ THE OWNER(S) OF THE LAND, HEREBY UNDERTAKE AND AGREE WITHOUT RESERVATION,

- TO COMPLY WITH ALL THE CONTENT OF THIS PLAN AND DRAWING AND NOT TO VARY THEREFROM;
- TO PERFORM THE FACILITIES, WORK OR MATTERS MENTIONED IN SECTION 41(7)(c) OF THE PLANNING ACT SHOWN ON THIS PLAN AND DRAWING(S) IN ACCORDANCE WITH THE CONDITIONS OF APPROVAL AS SET OUT IN THE LETTER OF APPROVAL DATED \_\_\_\_\_;
- TO MAINTAIN TO THE SATISFACTION OF THE CITY AND AT MY (OUR) SOLE RISK AND EXPENSE, ALL OF THE FACILITIES, WORKS OR MATTERS MENTIONED IN SECTION 41(7)(b) OF THE SAID ACT, SHOWN IN THIS PLAN AND DRAWING, INCLUDING REMOVAL OF SNOW FROM ACCESS RAMPS AND DRIVEWAYS, PARKING AND LOADING AREAS AND WALKWAYS; AND;
- IN THE EVENT THAT THE OWNER DOES NOT COMPLY WITH THE PLAN DATED \_\_\_\_\_ THE OWNER AGREES THAT THE CITY MAY ENTER THE LAND AND DO THE REQUIRED WORKS, AND FURTHER THE OWNER AUTHORIZES THE CITY TO USE THE SECURITY FILED TO OBTAIN COMPLIANCE WITH THIS PLAN;

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

WITNESS (SIGNATURE) \_\_\_\_\_ OWNER(S) (SIGNATURE) \_\_\_\_\_ (SEAL)

WITNESS (PRINT) \_\_\_\_\_ OWNER (PRINT) \_\_\_\_\_

ADDRESS OF WITNESS \_\_\_\_\_

