

Lower Hillside Washroom Building Improvements

1873 BLOOR ST W
TORONTO, ON M6R 2Z3
TENDER
JUNE 12, 2024

A000	COVER PAGE
A010	LEGENDS, SCHEDULES, GENERAL NOTES
A100	SITE PLAN
A201	LEVEL 1 - DEMOLITION PLAN
A211	LEVEL 1 - PROPOSED PLAN
A212	ROOF - PROPOSED PLAN
A221	LEVEL 1 - REFLECTED CEILING PLAN PROPOSED
A301	EXTERIOR ELEVATIONS - DEMOLITION
A311	EXTERIOR ELEVATIONS - PROPOSED
A312	EXTERIOR ELEVATIONS - PROPOSED
A401	BUILDING SECTIONS
A402	BUILDING SECTIONS
A450	WALL SECTIONS
A501	INTERIOR ELEVATIONS
A701	DETAILS
A702	PANEL DETAILS

STRUCTURAL ENGINEERING

ENGINEERING LINK INC.
375 University Ave Suite 901,
Toronto, ON M5G 2J5

S1.1	GENERAL NOTES
S1.2	TYPICAL DETAILS
S1.3	TYPICAL DETAILS
S1.4	TYPICAL DETAILS
S2.1	FOUNDATION PLAN
S2.2	ROOF FRAMING PLAN
S4.1	SECTIONS AND DETAILS

MECHANICAL ENGINEERING

SMITH + ANDERSEN
100 Sheppard Ave East
North York, ON M2N 6N5

TM-0.0	MECHANICAL DRAWING LIST AND LEGENDS
TM-0.1	MECHANICAL STANDARD DETAILS
TM-1.1	GROUND FLOOR PLUMBING & DRAINAGE DEMOLITION LAYOUT
TM-1.2	GROUND FLOOR HVAC DEMOLITION LAYOUT
TM-2.1	GROUND FLOOR PLUMBING & DRAINAGE LAYOUT
TM-3.1	GROUND FLOOR HVAC LAYOUT

ELECTRICAL ENGINEERING

SMITH + ANDERSEN
100 Sheppard Ave East
North York, ON M2N 6N5

TE-0.1	DRAWING LIST AND LEGENDS
TE-0.2	ELECTRICAL DETAILS
TE-0.3	ELECTRICAL DETAILS
TE-1.1	GROUND FLOOR ELECTRICAL LAYOUT
TE-1.2	GROUND FLOOR ELECTRICAL DEMOLITION LAYOUT

NAME OF PRACTICE: LAPTISTE ARCHITECTURE INC. CERTIFICATE OF PRACTICE NUMBER: 6114		1137A QUEEN STREET EAST TORONTO, ONTARIO M4M 1K9 (437) 916-9272	
NAME OF PROJECT: LOWER HILLSIDE WASHROOM BUILDING IMPROVEMENTS LOCATION: HIGH PARK, 1873 BLOOR STREET WEST		DATE: JUNE 12, 2024	
Ontario Building Code Data Matrix Part 11 - Renovation of Existing Building			
11.00 Building Code Version: O. Reg. 332/12 Last Amendment: 390/23		OBC Reference	
11.01 Project Type:	<input type="checkbox"/> Addition <input type="checkbox"/> Change of use <input type="checkbox"/> Renovation <input checked="" type="checkbox"/> Addition and Renovation	[A] 1.1.2	
11.02 Major Occupancy Classification:	Occupancy Group A Div. 2 Use Washroom facility	3.1.2.1(1)	
11.03 Superimposed Major Occupancies:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.2.7	
11.04 Building Area (m ²):	Description LEVEL 1 Existing 30m ² New 49m ² Total 79m ²	[A] 1.4.1.2	
11.05 Building Height:	1 Storeys above grade 0 Storeys below grade 4.13m Above Grade	[A] 1.4.1.2 & 3.2.1.1	
11.06 Number of streets/ fire fighter access:	1 street(s)	3.2.2.10 & 3.2.5	
11.07 Building Size:	<input checked="" type="checkbox"/> Small <input type="checkbox"/> Medium <input type="checkbox"/> Large <input type="checkbox"/> > Large	T.11.2.1.C	
11.08 Existing Building Classification:	Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy) Construction Index: _____ Hazard Index: _____ Importance Category: <input type="checkbox"/> Low <input type="checkbox"/> High <input checked="" type="checkbox"/> Normal <input type="checkbox"/> Post-disaster	11.2.1 11.2.1.1A 11.2.1.1B to N. 4.2.1(3) & 5.2.1.1(2)	
11.09 Renovation Type:	<input type="checkbox"/> Basic Renovation <input checked="" type="checkbox"/> Extensive Renovation	11.3.3.1 & 11.3.3.2	
11.10 Occupant Load:	Floor Level/ Area Ground Floor Occupancy Type Assembly Based On 3.1.17.1. Occupant Load N/A	3.1.17	
11.11 Plumbing Fixture Requirements:	Ratio: Male/Female = 50:50 Except as noted otherwise Floor Level/ Area Ground Floor Occupant Load N/A Based On N/A Fixtures Req. N/A Fixtures Provided 6 All washrooms are gender neutral. Washrooms are servicing a park, no defined interior or exterior occupant load.	3.7.4/9.31	
11.12 Barrier-free Design:	<input checked="" type="checkbox"/> Yes	11.3.3.2(2)	
11.13 Reduction in Performance Level:	Structural <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage - system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5	
11.14 Compensating Construction:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Structural <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage - system: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes Extension of Combustible Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5 11.4.2.6 11.4.2.7	
11.15 Compliance Alternatives Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.5.1	
11.16 Notes:	BUILDING CLASSIFICATION: 3.2.2.28 COMBUSTIBLE CONSTRUCTION PERMITTED		



Lower Hillside Washroom Building Improvements

City of Toronto
1873 BLOOR ST W
TORONTO, ON M6R 2Z3

2222	No.	Date	Description
------	-----	------	-------------




CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

Drawn: DW
Checked: SL
Issued For: TENDER
Date: JUNE 12, 2024

COVER PAGE

A000

DEMOLITION & NEW CONSTRUCTION LEGEND

-  EXISTING WALL TO REMAIN
-  EXISTING WALL TO BE DEMOLISHED
-  NEW WALL

NEW CONSTRUCTION NOTES:

1. SITE VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING WORK.
2. ALL WORK TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND THE OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS.
3. DIMENSIONS ARE TO FACE OF GYPSUM NOT FINISH FACE.

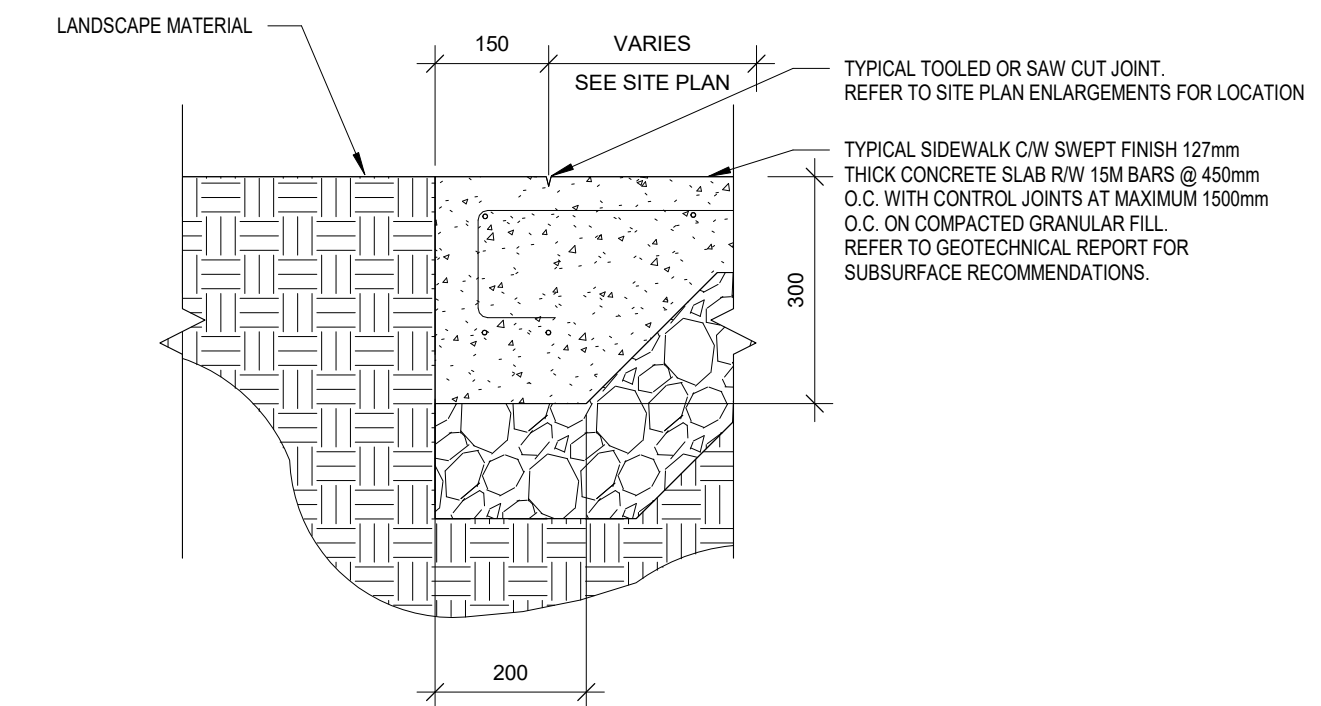
SITE INFORMATION:

SITE INFORMATION: 1873 BLOOR STREET WEST
ADDRESS: R (14.5, 41.0) (M35)
ZONING: PART OF LOTS 83 & 84, PLAN M434.
LEGAL DESCRIPTION:

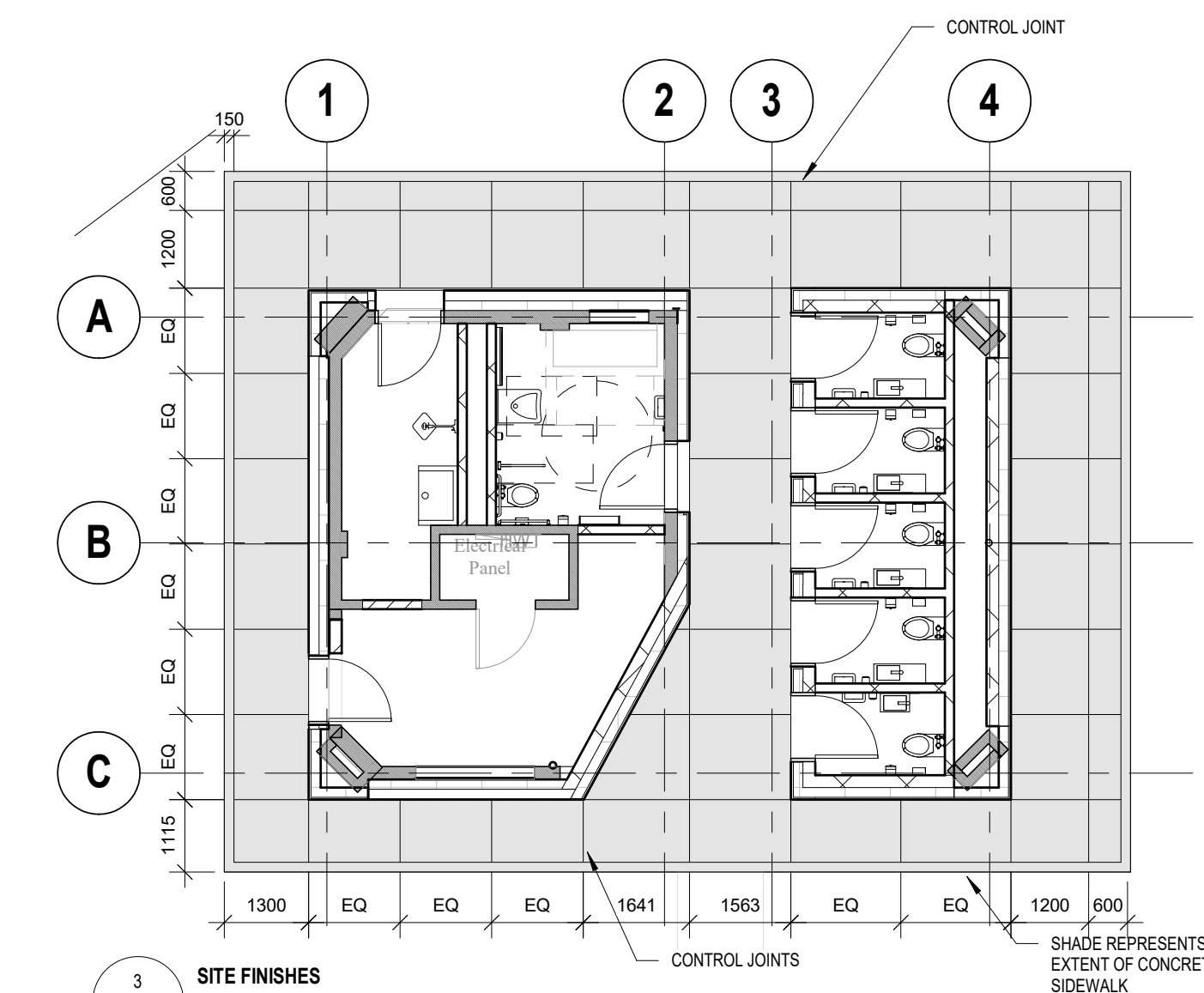
BUILDING STATISTICS (METRES):

	EXISTING	PROPOSED	ALLOWED
BUILDING HEIGHT	n/a	NO CHANGE	n/a
ESTABLISHED GRADE:	4.13m	4.13m (or "No Change")	
BUILDING HEIGHT:			

	EXISTING	PROPOSED	ALLOWED
GROSS FLOOR AREA:	30m ²	46m ²	
GROUND FLOOR:	76m ²	76m ²	N/A
TOTAL GFA:			



2 SITE - SIDEWALK DETAIL
A100 1:10



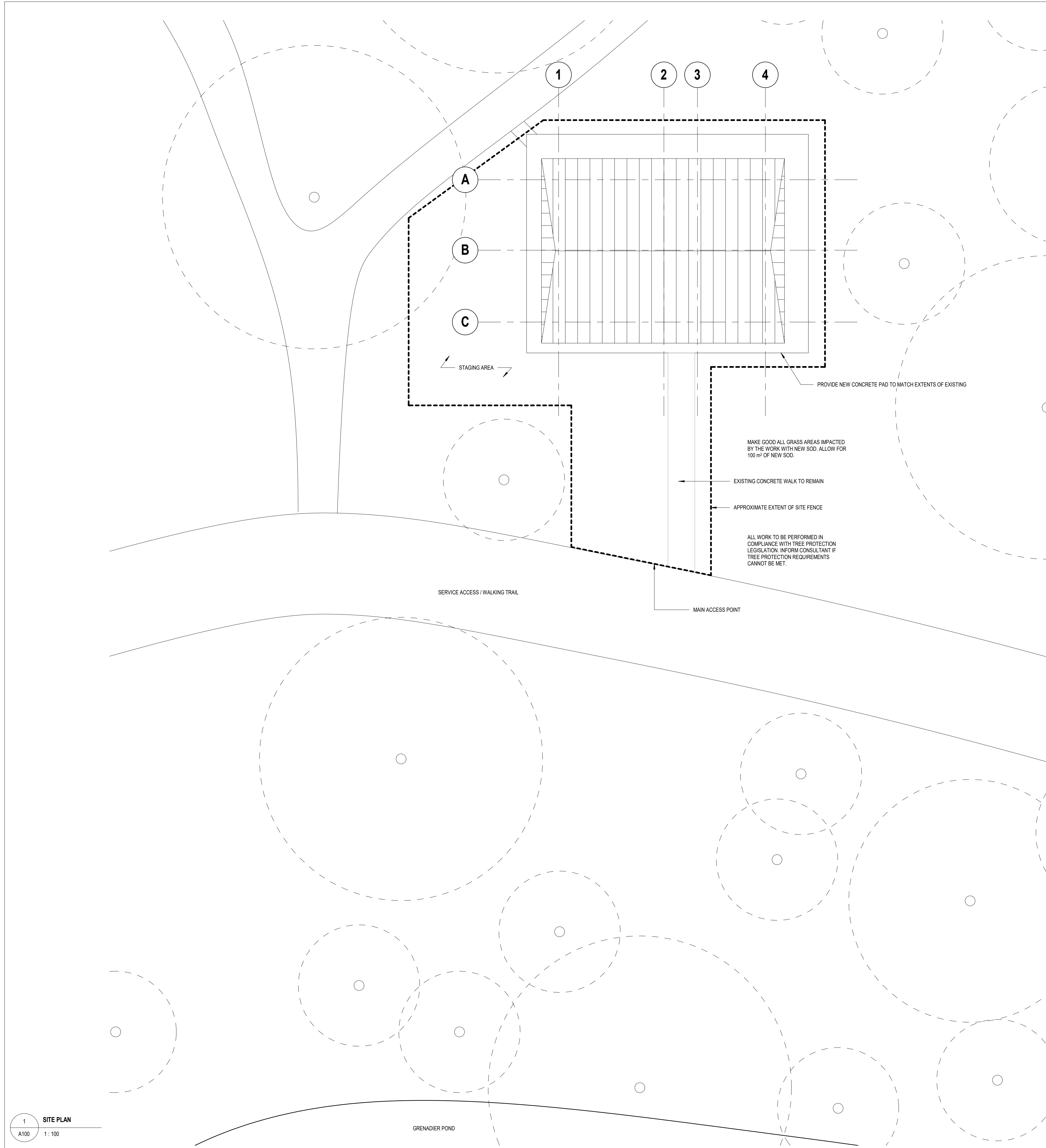
Lower Hillside Washroom Building Improvements
City of Toronto
1873 BLOOR ST W
TORONTO, ON M6R 2Z3

No.	Date	Description
2222		

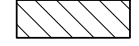

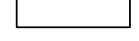
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

Drawn: DW
Checked: SL
Issued For: TENDER
Date: JUNE 12, 2024

SITE PLAN



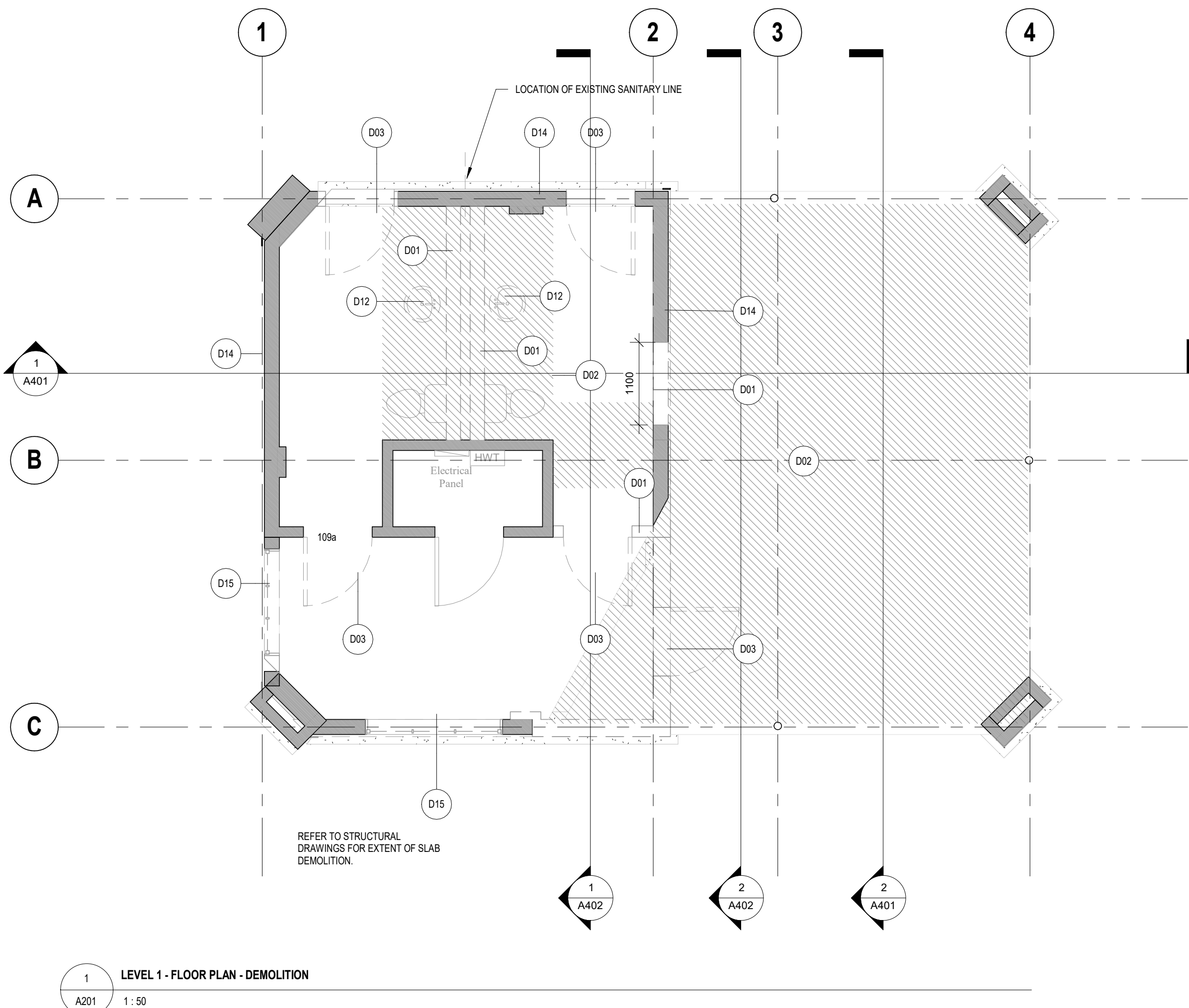
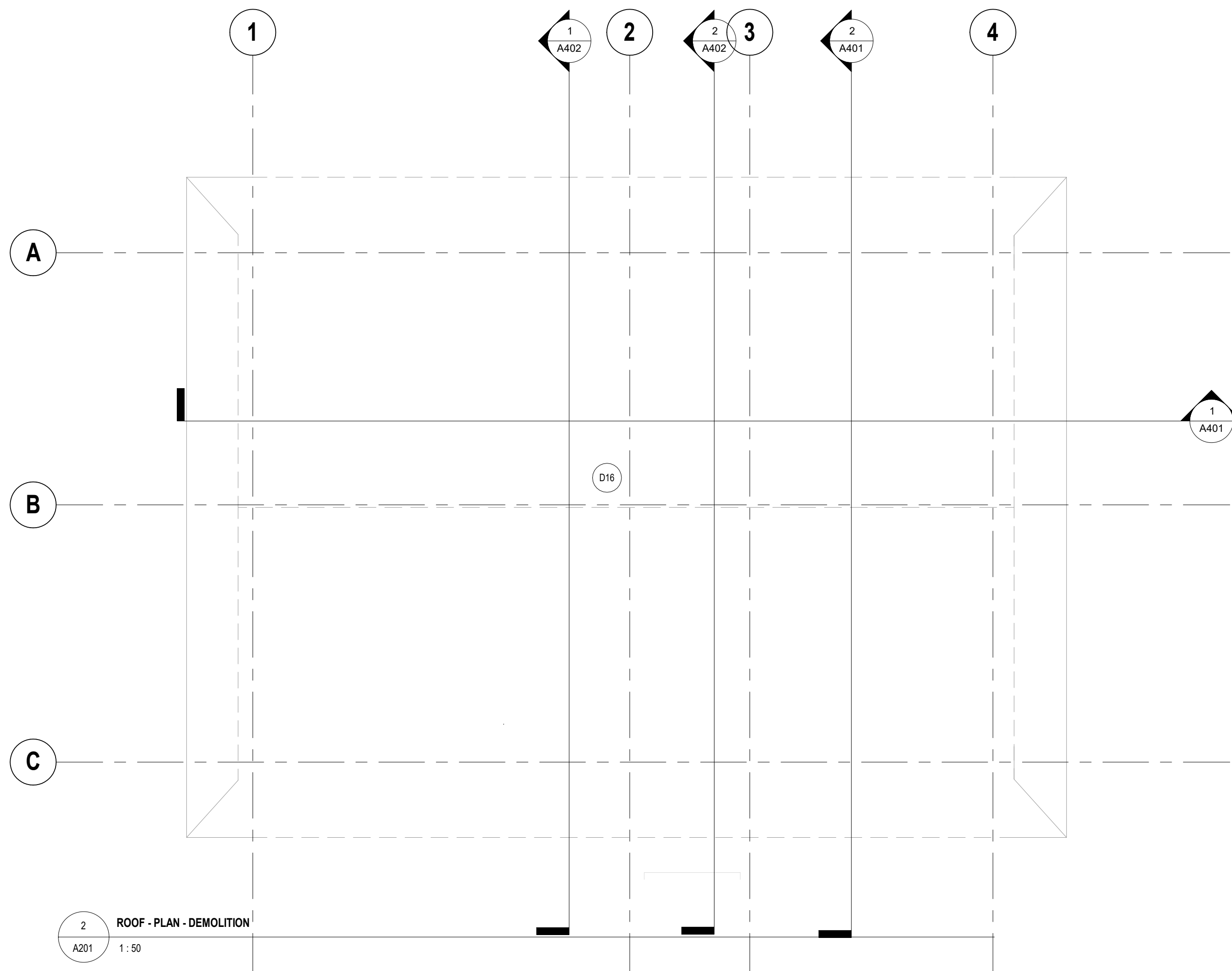
DEMOLITION LEGEND

-  EXISTING WALL TO REMAIN
-  EXISTING WALL TO BE DEMOLISHED
-  NEW WALL

DEMOLITION NOTES

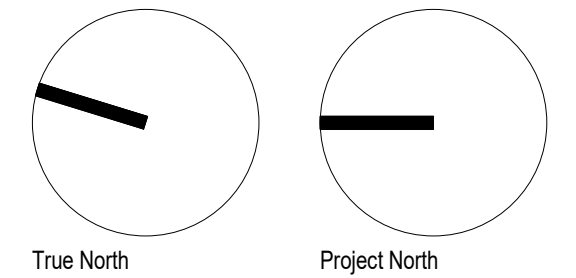
1. SITE VERIFY ALL DIMENSIONS AND CONDITIONS.
2. ALL WORK TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND THE OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS.
3. PROVIDE PROTECTION IN LOCATIONS APPROVED BY THE OWNER AND CONSULTANT SO AS NOT TO DAMAGE EXISTING STRUCTURE OR PART THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND IS TO REPAIR/REPLACE SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.
4. COMPLETE ALL DEMOLITION WORK NECESSARY TO COMPLETE THE RENOVATIONS AS SHOWN AND AS REQUIRED. DEMOLITION OF BUILDING ELEMENTS INCLUDES COMPLETE REMOVAL OF ALL ASSOCIATED FIXTURES, FITTINGS, HARDWARE, FASTENERS, EQUIPMENT AND ACCESSORIES UNLESS NOTED OTHERWISE.
5. ARCHITECTURAL, MECHANICAL AND ELECTRICAL DEMOLITION DRAWINGS ARE COMPLEMENTARY AND SHALL BE READ TOGETHER.
6. NOTIFY CONSULTANT OF LOAD BEARING MEMBERS OR ASSEMBLIES IDENTIFIED OR DISCOVERED DURING WORK AND NOT INDICATED ON DRAWINGS. DO NOT PROCEED WITH REMOVALS WITHOUT PRIOR REVIEW BY THE CONSULTANT.
7. PROVIDE TEMPORARY SUPPORT OF PIPES, DUCTS AND ELECTRICAL CHASES AS REQUIRED FOR SAFE REMOVAL. EXISTING AND PROPOSED SUPPORTS ARE TO BE REVIEWED BY THE CONSULTANT PRIOR TO THE REMOVAL OF ANY COMPONENTS WHICH MAY FALL OR CAUSE OTHERS TO FALL.
8. MAINTAIN WORK AREAS AND STORAGE AREAS CLEAN AND ORDERLY AT ALL TIMES.
9. REMOVAL OF EXISTING FLOOR FINISHES IS TO INCLUDE COMPLETE REMOVAL OF BASE AND ALL MORTAR AND ADHESIVES AND PREPARATION OF EXISTING SUBSTRATES TO RECEIVE NEW FLOORING, SATISFACTORY TO THE MANUFACTURERS OF NEW FLOOR FINISHES. ALLOW FOR EXCESSIVE LEVELING OF SLABS.
10. DEMOLITION INCLUDES ALL ASSOCIATED MECHANICAL AND ELECTRICAL SERVICES, EQUIPMENT, FITTINGS, FIXTURES, HANGERS, BRACKETS, TRIM AND ACCESSORIES AS REQUIRED TO COMPLETE THE WORK.
11. MAINTAIN EXISTING FIRE SUPPRESSION SYSTEMS AND EQUIPMENT.
12. MAINTAIN FIRE SEPARATIONS AND FIRE RATINGS. MAKE GOOD ANY DAMAGE TO CEILING CEMENTITIOUS FIRE SPRAY.
13. REMOVAL OF DOORS AND FRAMES IS TO INCLUDE REMOVAL OF ALL HARDWARE.
14. DISCONNECT AND CAP OFF ALL SERVICES PRIOR TO DEMOLITION.
15. CONTRACTOR TO BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND REPAIR SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.
16. PROVIDE OPENING FOR NEW 750mm X 750mm ACCESS PANEL IN EXISTING GYPSUM BOARD CEILING OF JANITOR ROOM (ROOM 124). COORDINATE LOCATION WITH ELECTRICAL DRAWINGS.
17. CONTRACTOR TO VACUUM EXISTING RANGE HOOD DUCTWORK PRIOR TO DEMOLITION.

Demolition Keynote	
Key Value	Keynote Text
D01	DEMOLISH EXISTING WALL TO EXTENTS SHOWN. MAKE GOOD INTERFACE WITH REMAINING WALLS.
D02	DEMOLISH CONCRETE SLAB TO EXTENTS SHOWN BY HATCH. PATCH, REPAIR AND MAKE GOOD EXISTING FLOOR SLAB FOR INSTALLATION OF NEW FLOOR FINISHES.
D03	REMOVE EXISTING DOOR AND FRAME.
D12	REMOVE EXISTING TOILETS, URINALS AND SINKS. TYPICAL.
D14	REMOVE EXISTING CLADDING TO FACE OF SHEATHING. MAKE GOOD EXISTING SHEATHING. TYPICAL.
D15	REMOVE EXISTING GLASS BLOCK.
D16	REMOVE EXISTING ROOFING AND PREPARE FOR NEW.
D17	DEMOLISH PORTION OF EAVE TO EXTENT INDICATED ON DRAWINGS. MAKE GOOD EAVE TO PREPARE FOR NEW SOFFIT. REFER TO DETAIL DRAWINGS.



3 EXISTING EXTERIOR VIEW
A201 1:10

- REMOVE SHEATHING FROM GABLE END
- ASPHALT ROOFING AND SHEATHING TO BE REMOVED. ROOF TO BE MADE GOOD FOR NEW ROOFING. TYPICAL.
- EXTERIOR LIGHT FIXTURES TO BE REMOVED. REFER TO ELECTRICAL DRAWINGS.
- PUMP EQUIPMENT TO BE RELOCATED TO BUILDING INTERIOR. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.
- STEEL COLUMNS TO REMAIN. MAKE GOOD FOR NEW PAINT.
- BRICK AND CONCRETE COLUMNS TO REMAIN.



Lower Hillside Washroom Building
Improvements
City of Toronto
1873 BLOOR ST W
TORONTO, ON M6R 2Z3

No.	Date	Description
2222		

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

Drawn: DW
Checked: SL
Issued For: TENDER
Date: JUNE 12, 2024

LEVEL 1 - DEMOLITION PLAN

A201

FLOOR PLAN NOTATION LEGEND

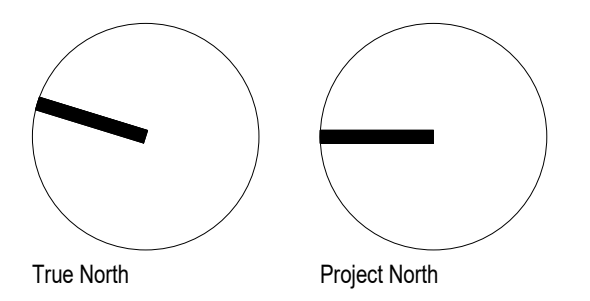
(101A)	DOOR NUMBER - SEE DOOR FRAME AND DOOR TYPE SCHEDULE AND SPECIFICATIONS
FD	FLOOR DRAIN
750	750 BARRIER FREE TURNING RADIUS
1 HR - 1 HR	1 HOUR FIRE RATING
FE	FIRE EXTINGUISHER REFER TO MECHANICAL DRAWINGS

GENERAL NOTES:

- REFER TO DRAWING A011 FOR DOOR AND FRAME TYPES. REFER TO DRAWING A010 FOR CONSTRUCTION TYPES, PARTITION TYPES AND SYMBOLS.
- REFER TO DRAWING A003 FOR ROOM FINISH SCHEDULE. REFER TO DRAWING A002 FOR FIXTURE MOUNTING HEIGHTS.
- PUSH BUTTON OPERATOR. REFER TO DOOR SCHEDULE.
- HELP CALL BUTTON. REFER TO ELECTRICAL DRAWINGS.
- HB - HOSE BIBB. REFER TO MECHANICAL DRAWINGS.

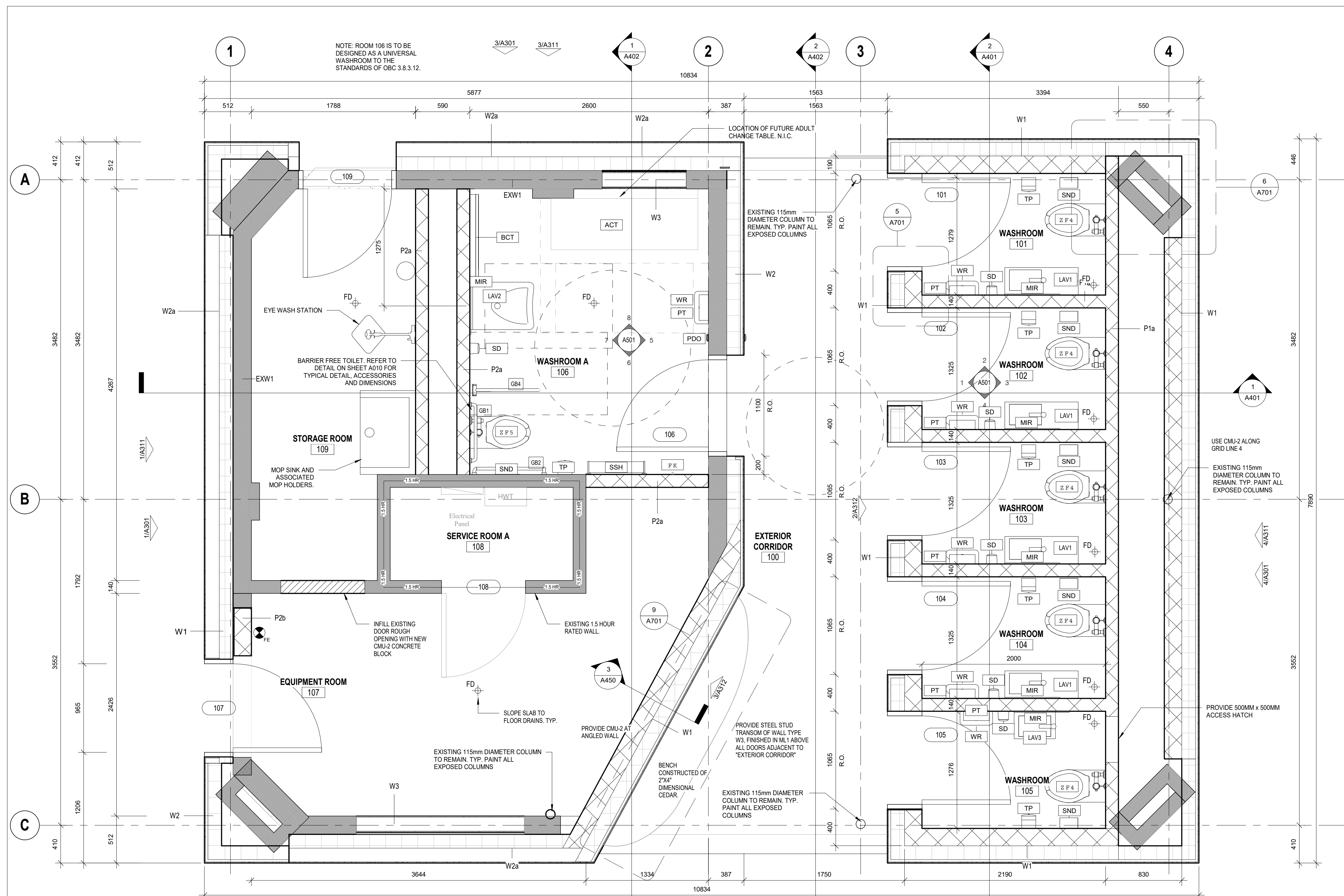
ACCESSORY LEGEND

BC	BABY CHANGE TABLE
EL	EMERGENCY LIGHT
GB1	90 DEG BARRIER FREE GRAB BAR
GB2	HORIZONTAL GRAB BAR
GB3	URINAL GRAB BAR
GB4	FOLD DOWN GRAB BAR
HD1	HAND DRYER
MIR	MIRROR (600mm x 900mm)
NH	MOP HOLDER
PDO	POWER DOOR OPERATOR
PT	PAPER TOWEL DISPENSER
CH	ROBE HOOK
SD	SOAP DISPENSER
SND	SANITARY NAPKIN DISPOSAL
SNV	SANITARY NAPKIN VENDING MACHINE
TP	TOILET PAPER DISPENSER
WR	TRASH RECEPTACLE



Lower Hillside Washroom Building Improvements
City of Toronto
1873 BLOOR ST W
TORONTO, ON M8R 2Z3

No.	Date	Description
2222		

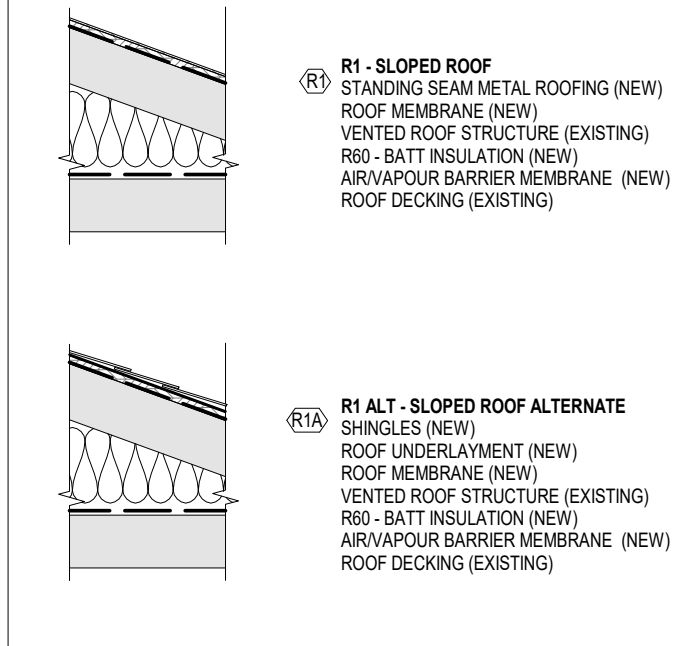


2 LEVEL 1 - FLOOR PLAN - PROPOSED
A211 1:25

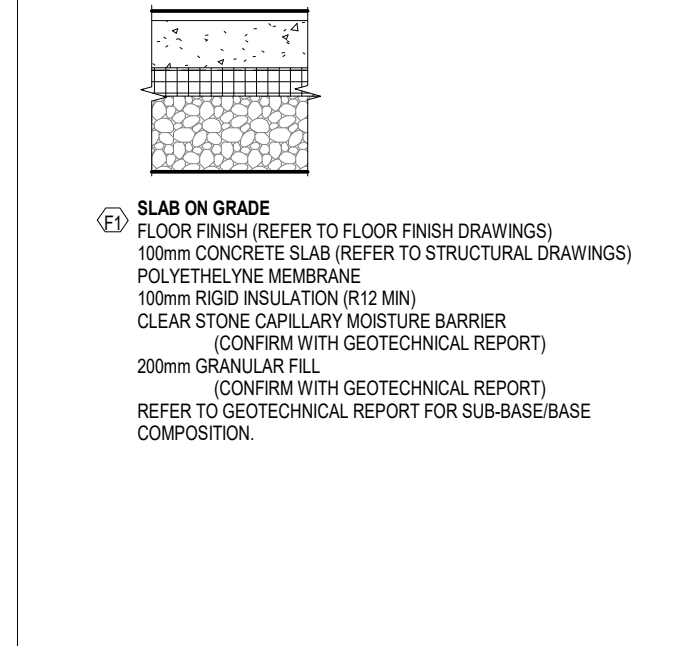
GENERAL CONSTRUCTION NOTES

- ENSURE CONTINUITY OF AIR/VAPOUR BARRIER THROUGHOUT BUILDING IS MAINTAINED.
- CONTRACTOR TO INCLUDE COSTS FOR COORDINATION WITH TELECOMMUNICATION SYSTEM, FIRE ALARM, GAS AND FIRE WATCH. DIMENSIONS ARE TO:
 - FACE OF SHEATHING AT EXTERIOR WALLS
 - FACE OF GYPSUM BOARD AT INTERIOR WALLS
 - FACE OF CONCRETE BLOCK
- WINDOW DIMENSION ARE TO WINDOW ROUGH OPENINGS. COORDINATE WINDOW SIZES & ROUGH OPENING REQUIREMENTS WITH WINDOW SUPPLIER.
- GYPSUM BOARD OUTSIDE CORNER BEADS ARE TO BE 90 DEGREE CORNERS AND ALL GYPSUM BOARD SURFACES THAT TERMINATE TO DISSIMILAR MATERIALS, ARE TO HAVE CONTINUOUS MILLCORE EDGING HORIZONTALLY OR VERTICALLY.
- WHERE TWO WALL TYPES ARE "COMMON" TO ONE WALL - CONTRACTOR TO COORDINATE CONSTRUCTION, FINISHES, AND FIRE RATING AS REQUIRED TO PROVIDE CONTINUITY OF FIRE RATED WALLS.
- FIRE OR SOUND RATED WALL ASSEMBLIES LOCATED ABOVE SUSPENDED CEILINGS SHALL HAVE GYPSUM BOARD JOINTS FIRE TAPED.
- STEEL STUD INSTALLER TO PROVIDE CROSS BRACING AT ALL INTERIOR WALLS AND BULKHEADS AS REQUIRED. CROSS BRACING TO BE INSTALLED ABOVE CEILING HEIGHT AND SECURED TO STRUCTURE. ALL BRACING OR CROSS BRACING TO BE SPACED AT 1200mm O.C. MAXIMUM.
- INSULATE ANY STUD SPACE CONTAINING MECHANICAL PIPING IF THE SPACE IS OTHERWISE NOT INSULATED (EVEN IF PIPING ITSELF IS INSULATED).
- PROVIDE ACCESS FOR DRAINAGE AND R.W.L. CLEAN OUTS AS REQUIRED.
- CONTRACTOR TO ENSURE THAT EXIT SIGNS SHALL CONSIST OF A GREEN PICTOGRAM AND WHITE GRAPHIC SYMBOL MEETING THE VISIBILITY SPECIFICATIONS REFERRED TO IN ISO 3864-1 AND CONFORM TO THE DIMENSIONS INDICATED IN ISO 7010.
- CONTRACTOR TO ALLOW FOR EMERGENCY LIGHTS WHICH SHALL BE PROVIDED ALONG PATHS OF EGRESS AS PER OBC 3.2.7. EMERGENCY LIGHTING SHALL ALWAYS BE MAINTAINED TO AN AVERAGE LEVEL OF ILLUMINATION OF AT LEAST 10 LX AT FLOOR LEVEL.
- MAINTAIN EXISTING FIRE ALARM SYSTEM. CONTRACTOR TO ENSURE THAT NEW FIRE ALARM COMPONENTS ARE COMPATIBLE WITH THE EXISTING DEVICES.
- ROOFING CONTRACTOR TO PROVIDE SEAM MOUNTED, BAR-TYPE SNOW GUARDS FOR ROOFS IDENTIFIED ON ROOF PLANS. SNOW GUARD SYSTEM TO BE ENGINEERED BY MANUFACTURER TO CONFORM TO ONTARIO BUILDING CODE. ENGINEERED LAYOUT OF SNOW GUARD SYSTEMS TO BE PROVIDED WITH SUBMITTALS.

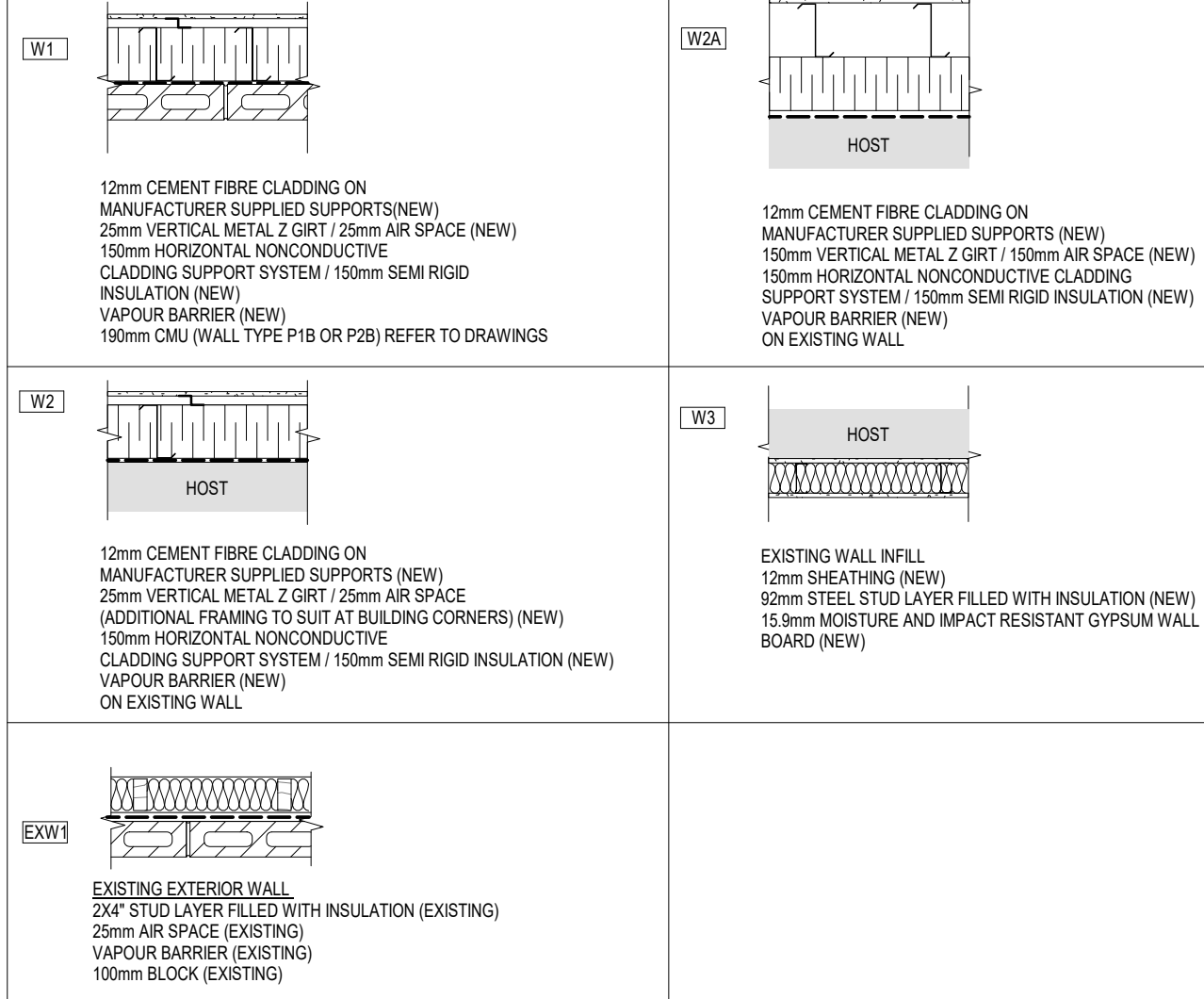
ROOF TYPE SCHEDULE



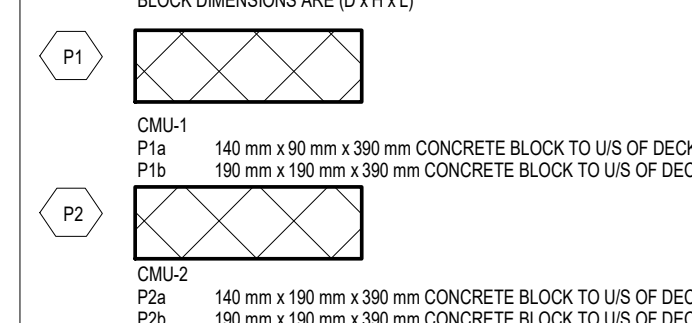
FLOOR TYPE SCHEDULE



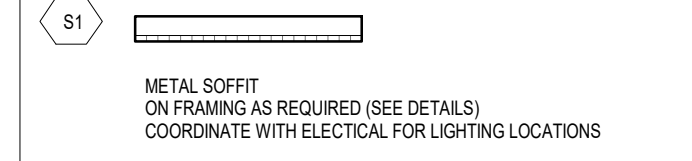
WALL TYPES SCHEDULE



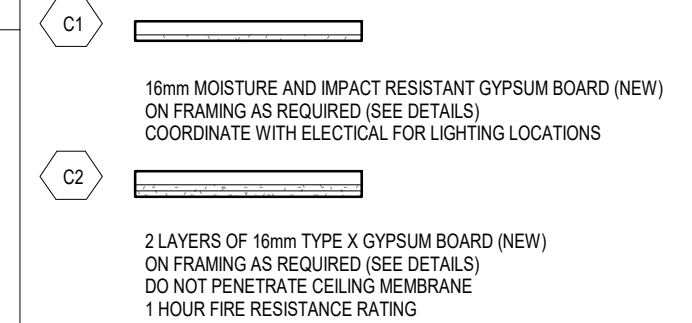
PARTITION TYPES SCHEDULE



SOFFIT TYPES SCHEDULE



CEILING TYPES SCHEDULE



CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

Drawn: DW
Checked: SL
Issued For: TENDER
Date: JUNE 12, 2024

LEVEL 1 - PROPOSED PLAN

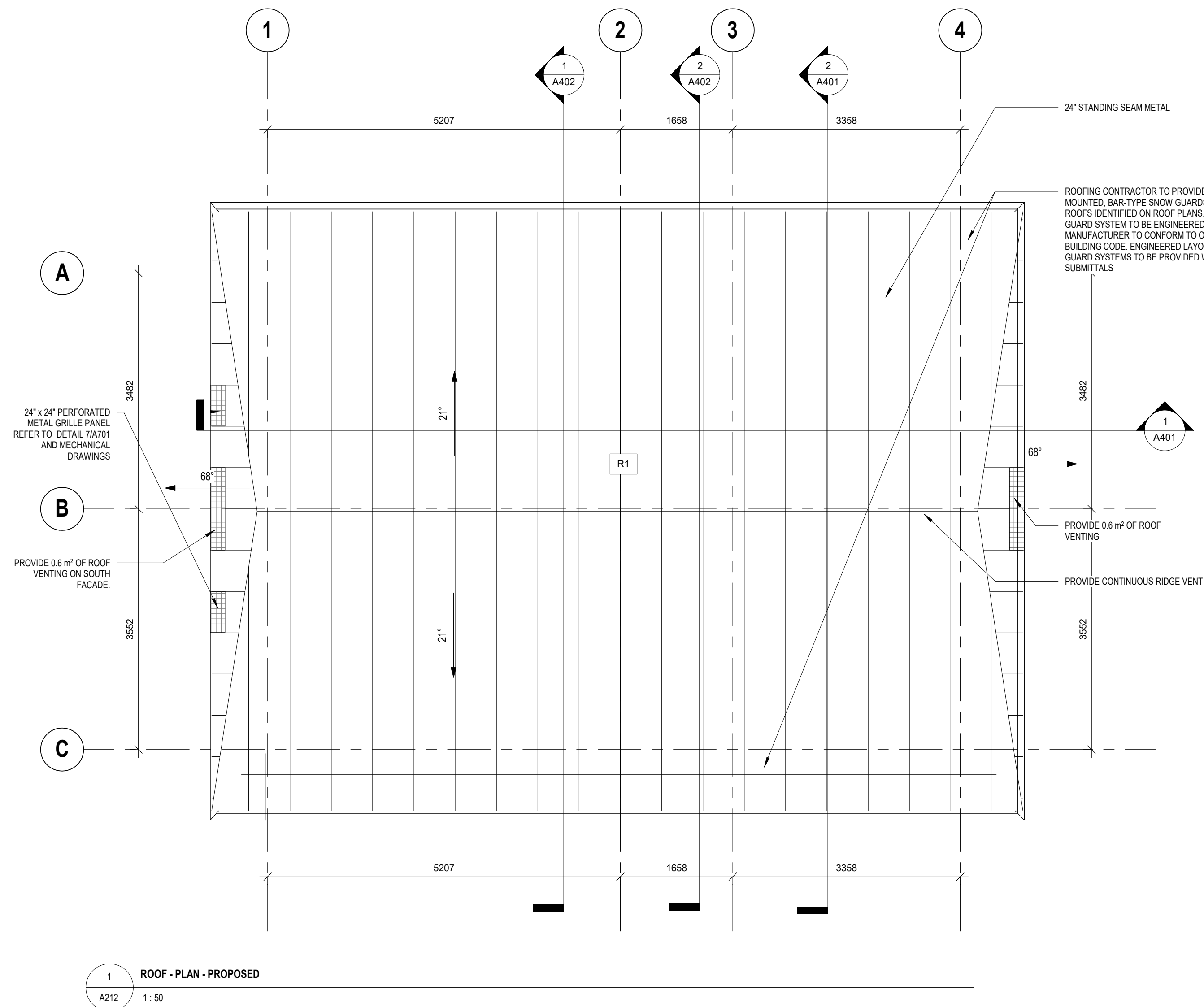
A211

GENERAL CONSTRUCTION NOTES

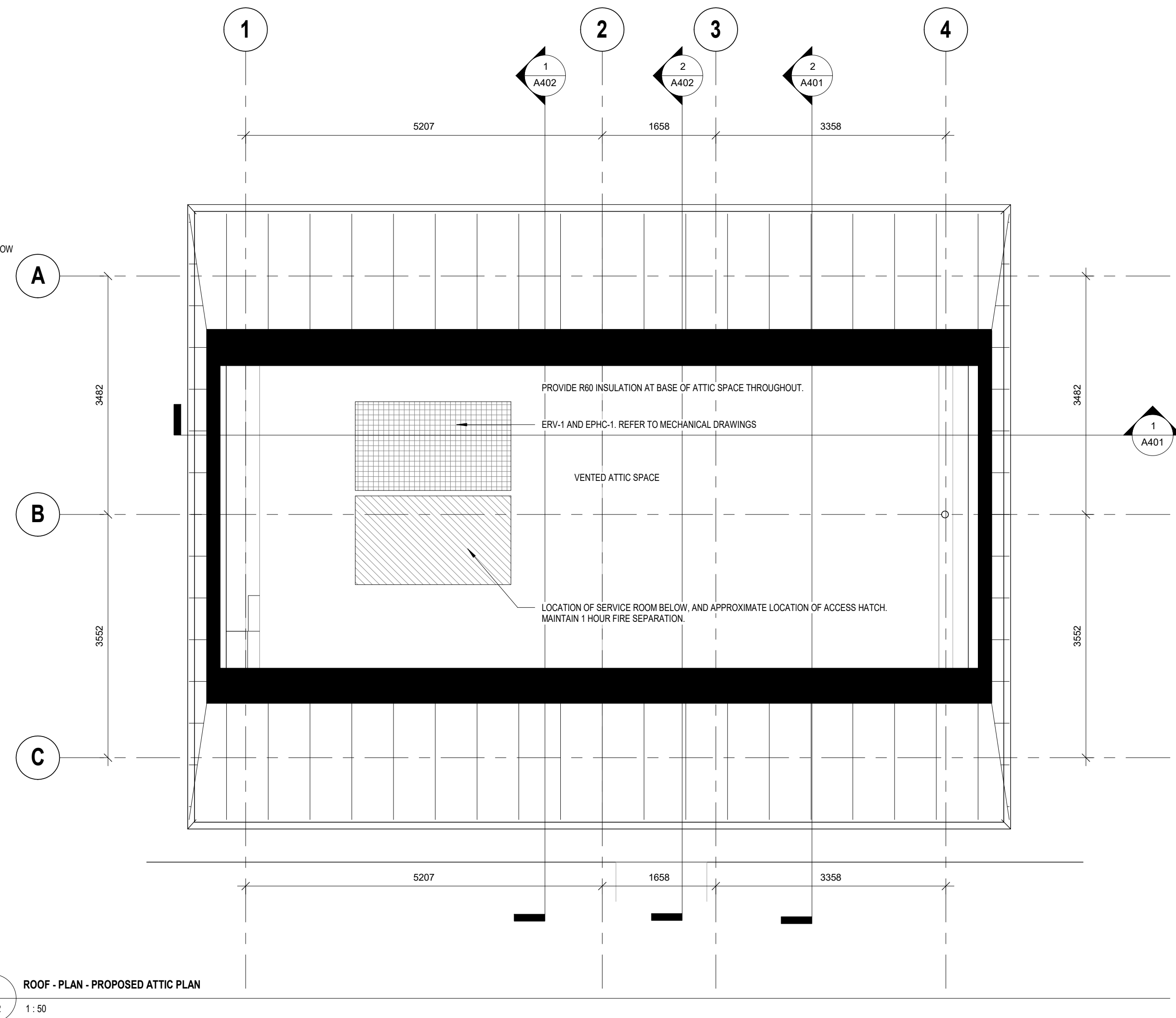
- ENSURE CONTINUITY OF AIR/VAPOUR BARRIER THROUGHOUT BUILDING IS MAINTAINED
- CONTRACTOR TO INCLUDE COSTS FOR COORDINATION WITH TELECOMMUNICATION SYSTEM, FIRE ALARM, BAS AND FIRE WATCH. DIMENSIONS ARE TO:
 - FACE OF SHEATHING AT EXTERIOR WALLS
 - FACE OF GYPSUM BOARD AT INTERIOR WALLS
 - FACE OF CONCRETE BLOCK
- WINDOW DIMENSIONS ARE TO WINDOW ROUGH OPENINGS. COORDINATE WINDOW SIZES & ROUGH OPENING REQUIREMENTS WITH WINDOW SUPPLIER.
- GYPSUM BOARD OUTSIDE CORNER BEADS ARE TO BE 90 DEGREE CORNERS AND ALL GYPSUM BOARD SURFACES THAT TERMINATE TO DISSIMILAR MATERIALS, ARE TO HAVE CONTINUOUS MILLCORE EDGING HORIZONTALLY OR VERTICALLY.
- WHERE TWO WALL TYPES ARE COMMON TO ONE WALL - CONTRACTOR TO COORDINATE CONSTRUCTION, FINISHES, AND FIRE RATING AS REQUIRED TO PROVIDE CONTINUITY OF FIRE RATED WALLS.
- FIRE OR SOUND RATED WALL ASSEMBLIES LOCATED ABOVE SUSPENDED CEILINGS SHALL HAVE GYPSUM BOARD JOINTS FIRE TAPED.
- STEEL STUD INSTALLER TO PROVIDE CROSS BRACING AT ALL INTERIOR WALLS AND BULKHEADS AS REQUIRED. CROSS BRACING TO BE INSTALLED ABOVE CEILING HEIGHT AND SECURED TO STRUCTURE. ALL BRACING OR CROSS BRACING TO BE SPACED AT 1200mm O.C. MAXIMUM.
- INSULATE ANY STUD SPACE CONTAINING MECHANICAL PIPING IF THE SPACE IS OTHERWISE NOT INSULATED (EVEN IF PIPING ITSELF IS INSULATED).
- PROVIDE ACCESS FOR DRAINAGE AND R.W.L. CLEAN OUTS AS REQUIRED.
- CONTRACTOR TO ENSURE THAT EXIT SIGNS SHALL CONSIST OF A GREEN PICTOGRAM AND WHITE GRAPHIC SYMBOL MEETING THE VISIBILITY SPECIFICATIONS REFERRED TO IN ISO 3864-1 AND CONFORM TO THE DIMENSIONS INDICATED IN ISO 7010.
- CONTRACTOR TO ALLOW FOR EMERGENCY LIGHTS WHICH SHALL BE PROVIDED ALONG PATHS OF EGRESS AS PER OBC 3.2.7. EMERGENCY LIGHTING SHALL ALWAYS BE MAINTAINED TO AN AVERAGE LEVEL OF ILLUMINATION OF AT LEAST 10 LX AT FLOOR LEVEL.
- MAINTAIN EXISTING FIRE ALARM SYSTEM. CONTRACTOR TO ENSURE THAT NEW FIRE ALARM COMPONENTS ARE COMPATIBLE WITH THE EXISTING DEVICES.
- ROOFING CONTRACTOR TO PROVIDE SEAM MOUNTED, BAR-TYPE SNOW GUARDS FOR ROOFS IDENTIFIED ON ROOF PLANS. SNOW GUARD SYSTEM TO BE ENGINEERED BY MANUFACTURER TO CONFORM TO ONTARIO BUILDING CODE. ENGINEERED LAYOUT OF SNOW GUARD SYSTEMS TO BE PROVIDED WITH SUBMITTALS.

Autodesk Docs://2222 High Park Washroom/2222 High Park Washroom.rvt

2024-06-12 5:03:59 PM



1 ROOF - PLAN - PROPOSED
A212 1:50



2 ROOF - PLAN - PROPOSED ATTIC PLAN
A212 1:50

Lower Hillside Washroom Building
Improvements
City of Toronto
1873 BLOOR ST W
TORONTO, ON M8R 2Z3

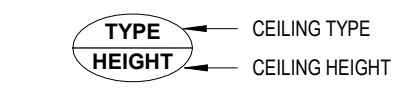
No.	Date	Description
2222		

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

Drawn: DW
Checked: SL
Issued For: TENDER
Date: JUNE 12, 2024

ROOF - PROPOSED PLAN

CEILING LEGEND

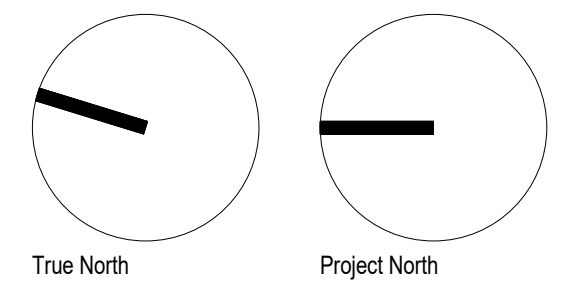


CEILING NOTES

1. CEILING HEIGHTS FOR EXPOSED STRUCTURE NOTED AS UNDERSIDE OF DECK. REFER TO WALL SECTIONS.
2. REFLECTED CEILING PLAN TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL CONSULTANT DRAWINGS.
3. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR FURTHER DUCTING AND LIGHTING INFORMATION.
4. ALL CEILING TYPES SHOWN ARE TO BE READ IN CONJUNCTION WITH THE REFLECTED CEILING PLAN FOR HEIGHTS AND INSTALLATION LOCATIONS.
5. CEILING IN ROOM 108 IS 1 HOUR RATED.

SOFFIT TYPES

TYPE	DESCRIPTION
C1	GWB CEILING
C2	GWB CEILING - 1HR RATED
S1	METAL SOFFIT



Lower Hillside Washroom Building
Improvements

City of Toronto
1873 BLOOR ST W
TORONTO, ON M6R 2Z3

2222

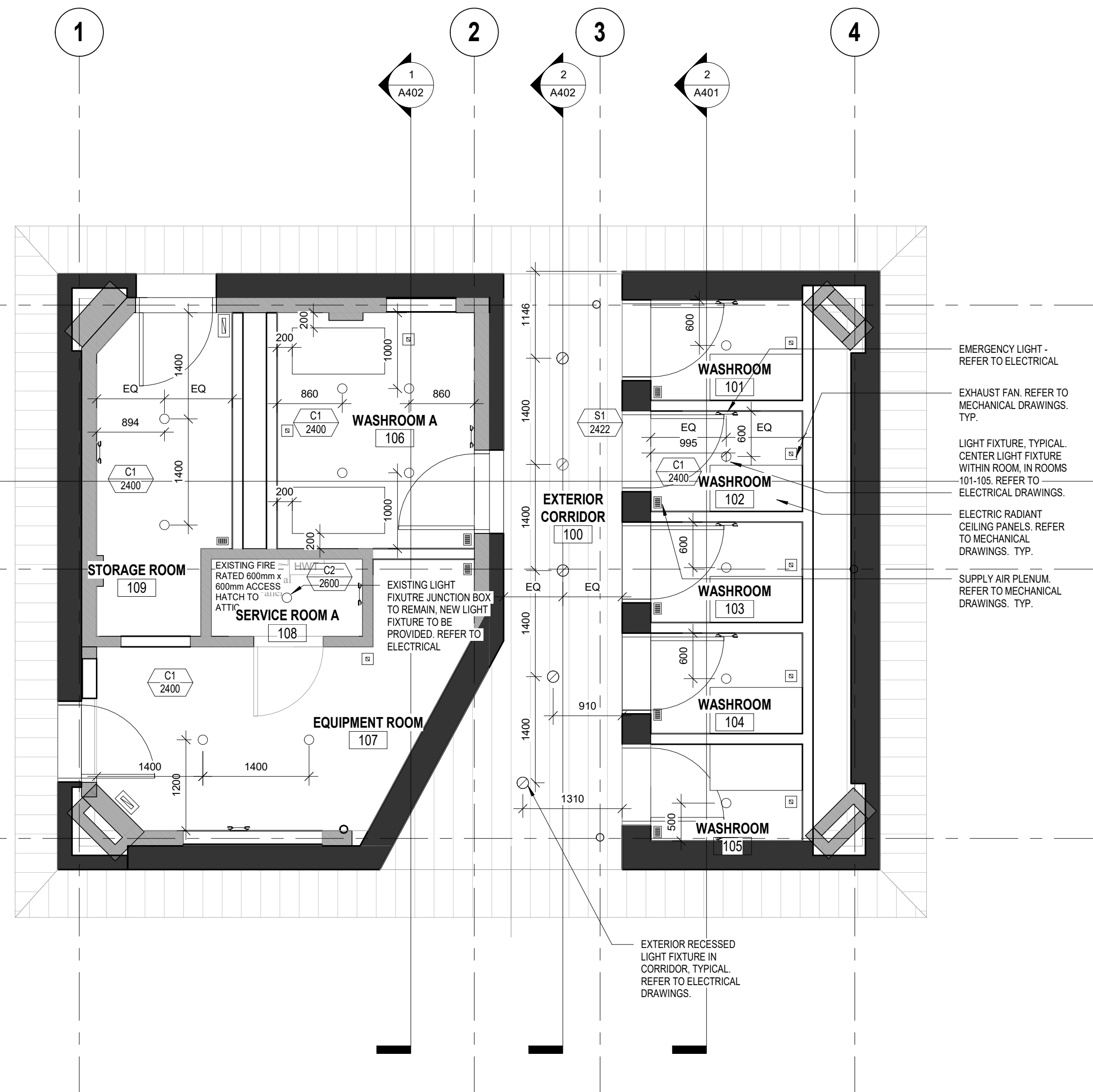
No.	Date	Description
-----	------	-------------

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

Drawn: DW
Checked: SL
Issued For: TENDER
Date: JUNE 12, 2024

LEVEL 1 - REFLECTED CEILING PLAN
PROPOSED

A221



1 LEVEL 1 REFLECTED CEILING PLAN
A221 1:50

Keynote Legend - elevation Demo	
Key Value	Keynote Text
D01	DEMOLISH EXISTING WALL TO EXTENTS SHOWN. MAKE GOOD INTERFACE WITH REMAINING WALLS.
D03	REMOVE EXISTING DOOR AND FRAME.
D14	REMOVE EXISTING CLADDING TO FACE OF SHEATHING. MAKE GOOD EXISTING SHEATHING. TYPICAL.
D15	REMOVE EXISTING GLASS BLOCK.
D16	REMOVE EXISTING ROOFING AND PREPARE FOR NEW.
D17	DEMOLISH PORTION OF EAVE TO EXTENT INDICATED ON DRAWINGS. MAKE GOOD EAVE TO PREPARE FOR NEW SOFFIT. REFER TO DETAIL DRAWINGS.

DEMOLITION LEGEND

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	NEW WALL

DEMOLITION NOTES

- SITE VERIFY ALL DIMENSIONS AND CONDITIONS.
- ALL WORK TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND THE OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS.
- PROVIDE PROTECTION IN LOCATIONS APPROVED BY THE OWNER AND CONSULTANT SO AS NOT TO DAMAGE EXISTING STRUCTURE OR PART THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND IS TO REPAIR / REPLACE SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.
- COMPLETE ALL DEMOLITION WORK NECESSARY TO COMPLETE THE RENOVATIONS AS SHOWN AND AS REQUIRED. DEMOLITION OF BUILDING ELEMENTS INCLUDES COMPLETE REMOVAL OF ALL ASSOCIATED FIXTURES, FITTINGS, HARDWARE, FASTENERS, EQUIPMENT AND ACCESSORIES UNLESS NOTED OTHERWISE. ARCHITECTURAL, MECHANICAL AND ELECTRICAL DEMOLITION DRAWINGS ARE COMPLEMENTARY AND SHALL BE READ TOGETHER. NOTIFY CONSULTANT OF LOAD BEARING MEMBERS OR ASSEMBLIES IDENTIFIED OR DISCOVERED DURING WORK AND NOT INDICATED ON DRAWINGS. DO NOT PROCEED WITH REMOVALS WITHOUT PRIOR REVIEW BY THE CONSULTANT.
- PROVIDE TEMPORARY SUPPORT OF PIPES, DUCTS AND ELECTRICAL CHANGES AS REQUIRED FOR SAFE REMOVAL. EXISTING AND PROPOSED SUPPORTS ARE TO BE REVIEWED BY THE CONSULTANT PRIOR TO THE REMOVAL OF ANY COMPONENTS WHICH MAY FALL, OR CAUSE OTHERS TO FALL.
- MAINTAIN WORK AREAS AND STORAGE AREAS CLEAN AND ORDERLY AT ALL TIMES.
- REMOVAL OF EXISTING FLOOR FINISHES IS TO INCLUDE COMPLETE REMOVAL OF BASE AND ALL MORTAR AND ADHESIVES AND PREPARATION OF EXISTING SUBSTRATES TO RECEIVE NEW FLOORING. SATISFACTORY TO THE MANUFACTURER OF NEW FLOOR FINISHES. ALLOW FOR EXCESSIVE LEVELING OF SLABS.
- DEMOLITION INCLUDES ALL ASSOCIATED MECHANICAL AND ELECTRICAL SERVICES, EQUIPMENT, FITTINGS, FIXTURES, HANGERS, BRACKETS, TRIM AND ACCESSORIES AS REQUIRED TO COMPLETE THE WORK.
- MAINTAIN EXISTING FIRE SUPPRESSION SYSTEMS AND EQUIPMENT.
- MAINTAIN FIRE SEPARATIONS AND FIRE RATINGS. MAKE GOOD ANY DAMAGE TO CEILING CEMENTITIOUS FIRE SPRAY.
- REMOVAL OF DOORS AND FRAMES IS TO INCLUDE REMOVAL OF ALL HARDWARE.
- DISCONNECT AND CAP OFF ALL SERVICES PRIOR TO DEMOLITION. CONTRACTOR TO BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND REPAIR SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.
- PROVIDE OPENING FOR NEW 750mm X 750mm ACCESS PANEL IN EXISTING GYPSUM BOARD CEILING OF JANITOR ROOM (ROOM 124). COORDINATE LOCATION WITH ELECTRICAL DRAWINGS.
- CONTRACTOR TO VACUUM EXISTING RANGE HOOD DUCTWORK PRIOR TO DEMOLITION.



ELEVATION LEGEND + NOTES

- | | |
|--|--|
| | 1. EXISTING BRICK TO BE DEMOLISHED AND PREPARED FOR RE-USE. |
| | 2. INFILL EXISTING OPENINGS IN BRICK WALL WITH RECLAIMED BRICK. MATCH COURSING, JOINTS AND MORTAR TO ADJACENT BRICK. ENSURE CONTINUOUS WATERPROOFING BETWEEN OLD AND NEW WALL. INFILL EXISTING WINDOW WELLS WITH GRAVEL. |

Lower Hillside Washroom Building Improvements

City of Toronto
1873 BLOOR ST W
TORONTO, ON M6R 2Z3

No.	Date	Description

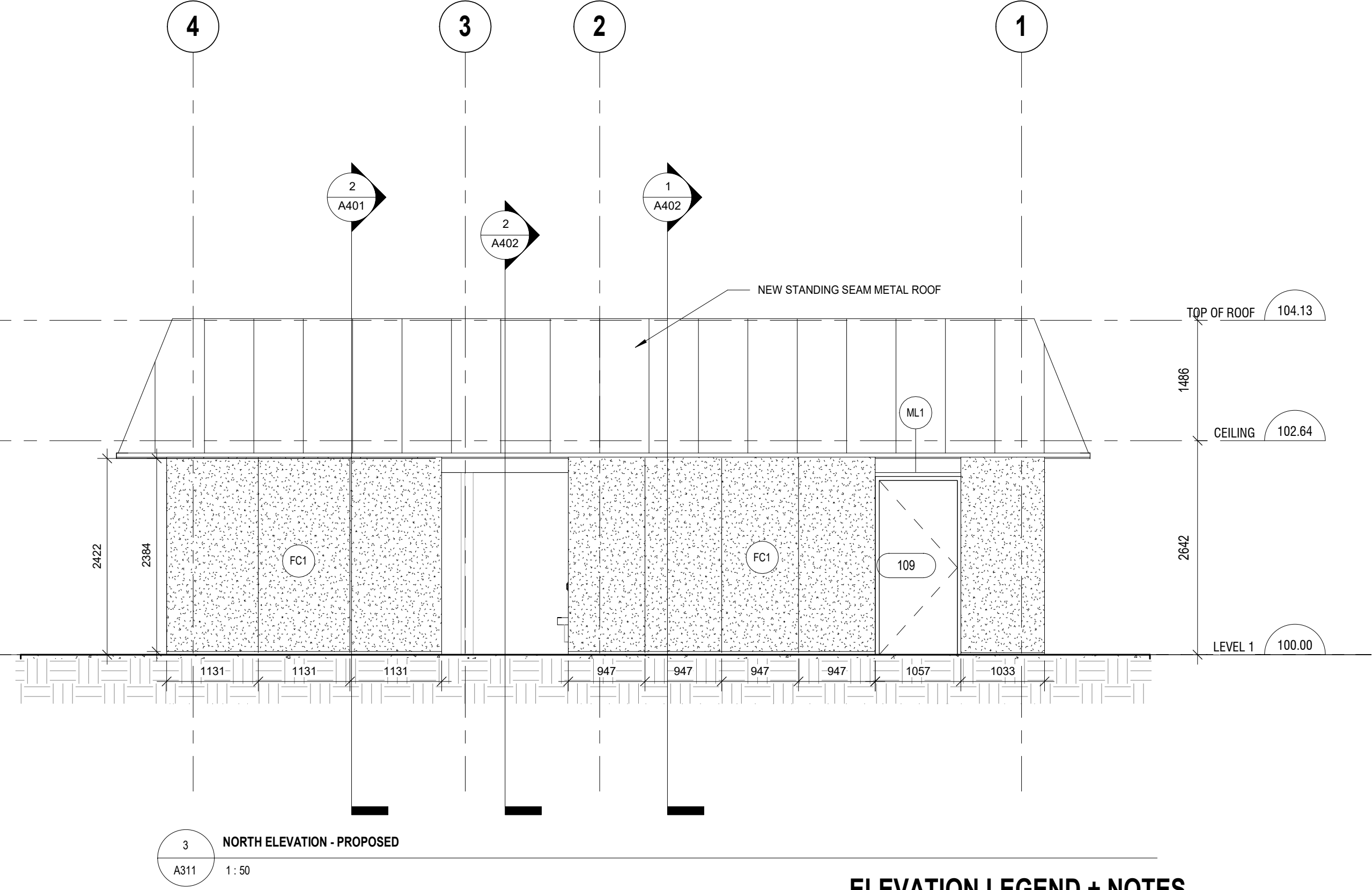
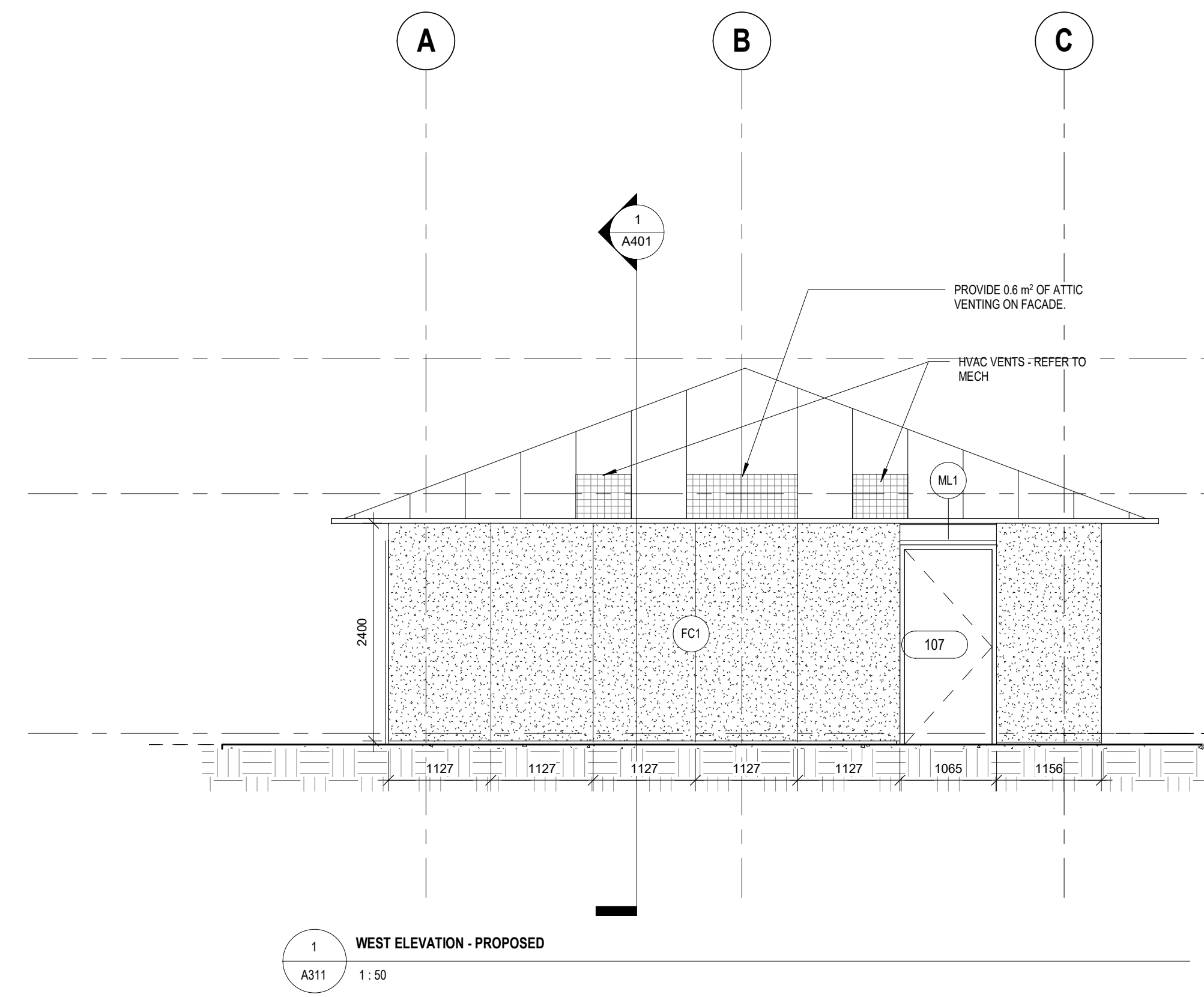
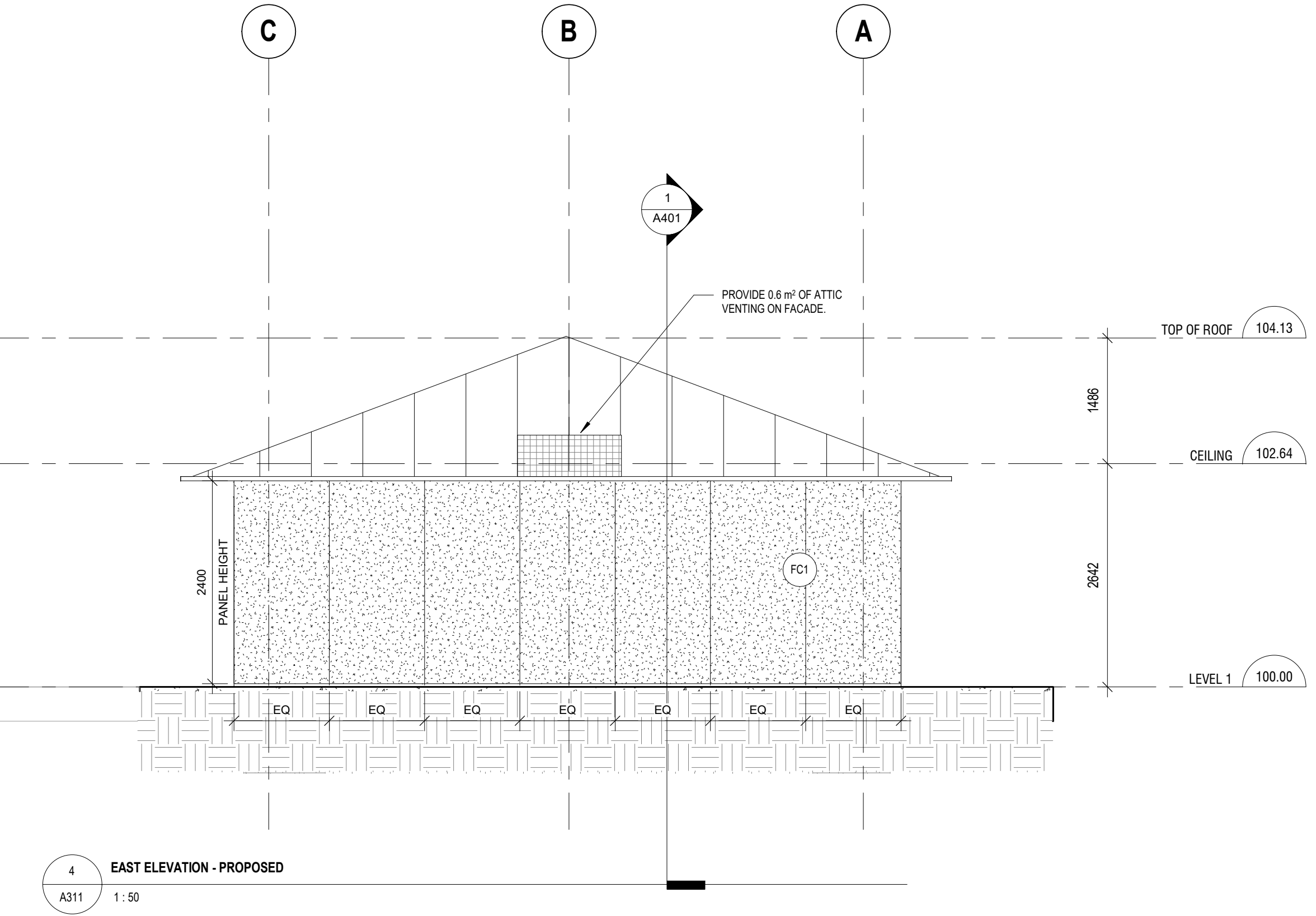
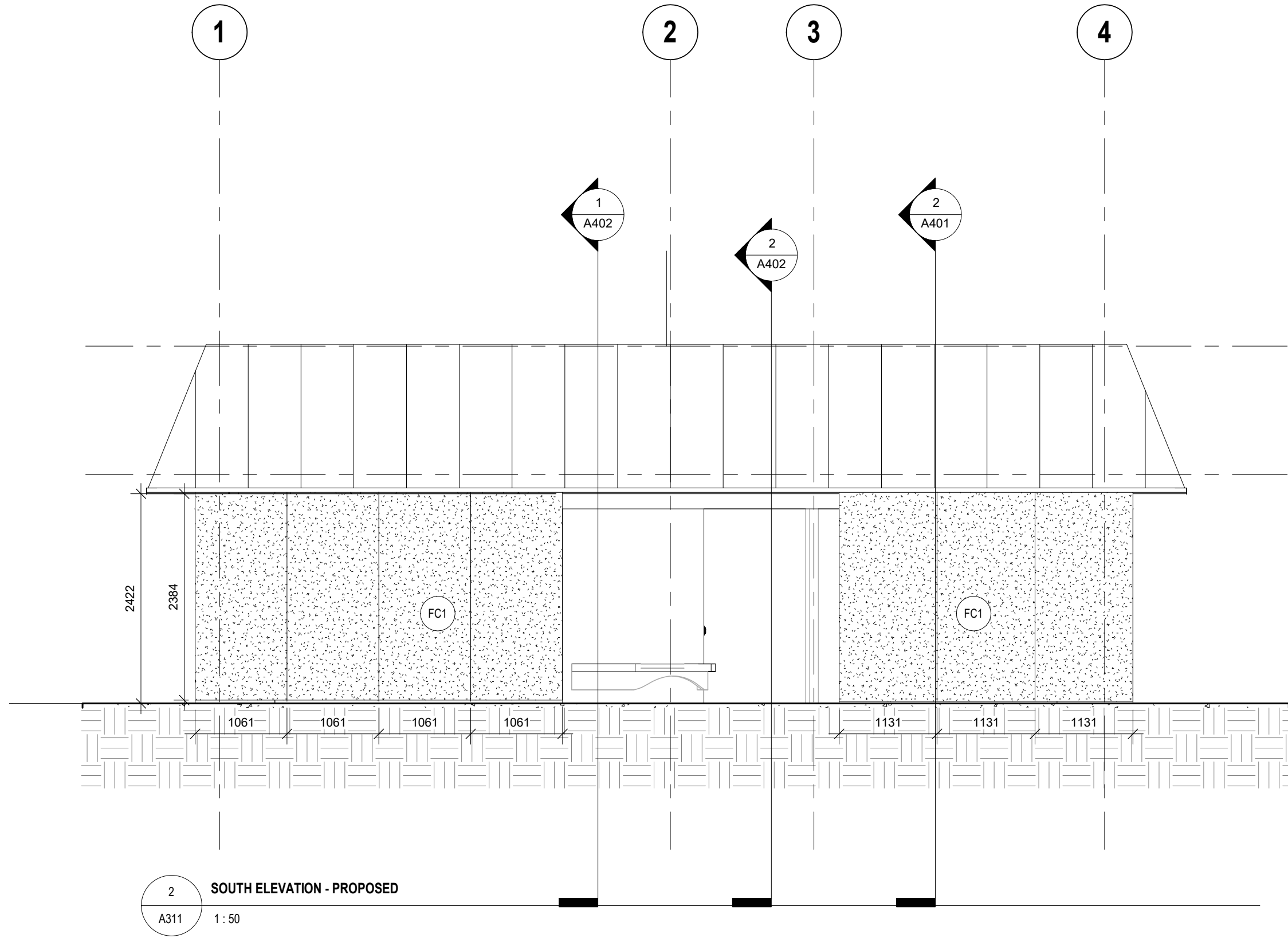
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

Drawn: DW
Checked: SL
Issued For: TENDER
Date: JUNE 12, 2024

EXTERIOR ELEVATIONS - DEMOLITION

A301

Material Keynote Legend
FC1 FIBER CEMENT PATTERN 1. REFER TO SPECIFICATIONS.
ML1 ALUMINUM METAL TRANSOM FINISH. REFER TO SPECIFICATIONS.



ELEVATION LEGEND + NOTES

- 1. EXISTING BRICK TO BE DEMOLISHED AND PREPARED FOR RE-USE.
- 2. INFILL EXISTING OPENINGS IN BRICK WALL WITH RECLAIMED BRICK. MATCH COURSING, JOINTS AND MORTAR TO ADJACENT BRICK. ENSURE CONTINUOUS WATERPROOFING BETWEEN OLD AND NEW WALL. INFILL EXISTING WINDOW WELLS WITH GRAVEL.

Lower Hillside Washroom Building
Improvements
City of Toronto
1873 BLOOR ST W
TORONTO, ON M6R 2Z3

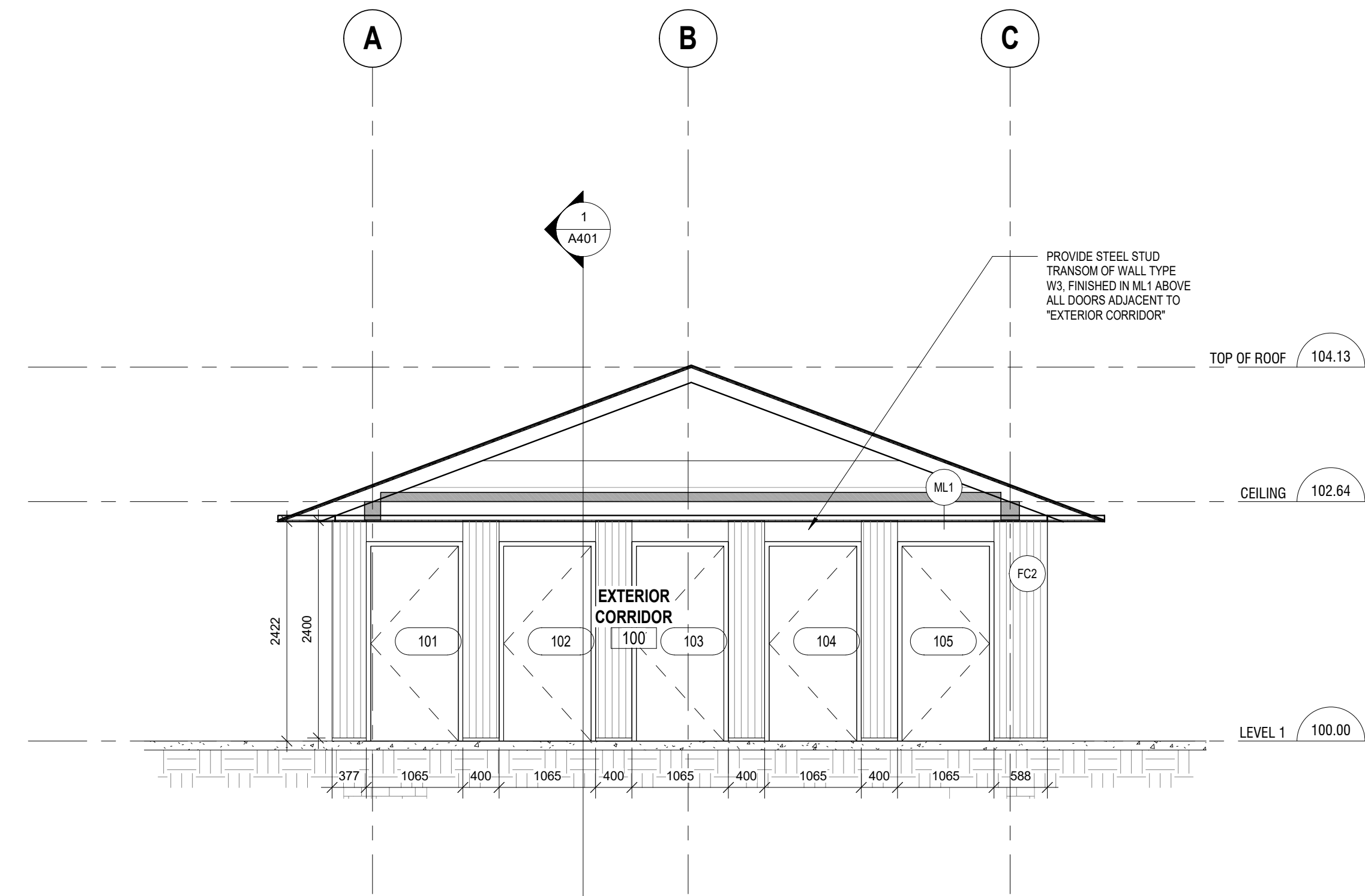
No.	Date	Description
2222		

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

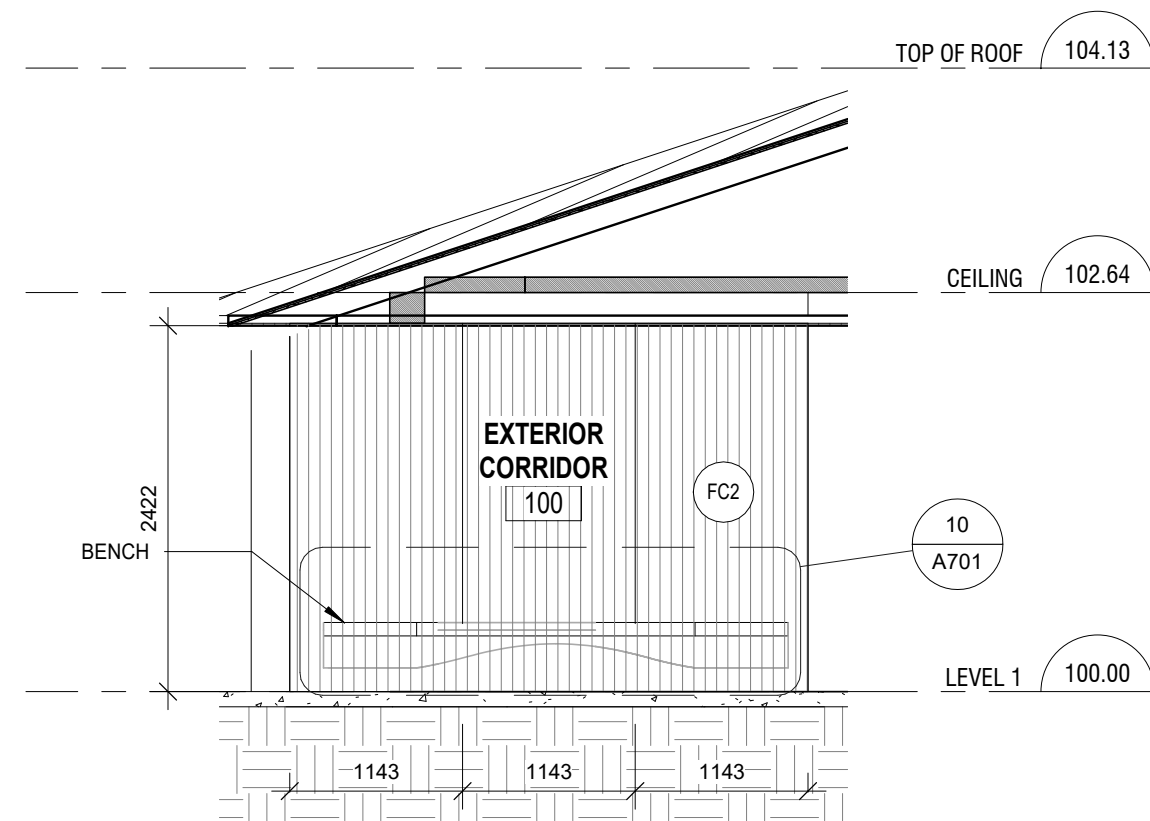
Drawn: DW
Checked: SL
Issued For: TENDER
Date: JUNE 12, 2024

EXTERIOR ELEVATIONS - PROPOSED

Material Keynote Legend	
FC2	FIBER CEMENT PATTERN 2, REFER TO SPECIFICATIONS.
ML1	ALUMINUM METAL TRANSOM FINISH, REFER TO SPECIFICATIONS.



2 EXTERIOR ELEVATION II
A312 1:50



3 INTERIOR ELEVATION PERPENDICULAR TO EQUIPMENT ROOM WALL
A312 1:50

Lower Hillside Washroom Building
Improvements

City of Toronto
1873 BLOOR ST W
TORONTO, ON M6R 2Z3

2222

No.	Date	Description
-----	------	-------------

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

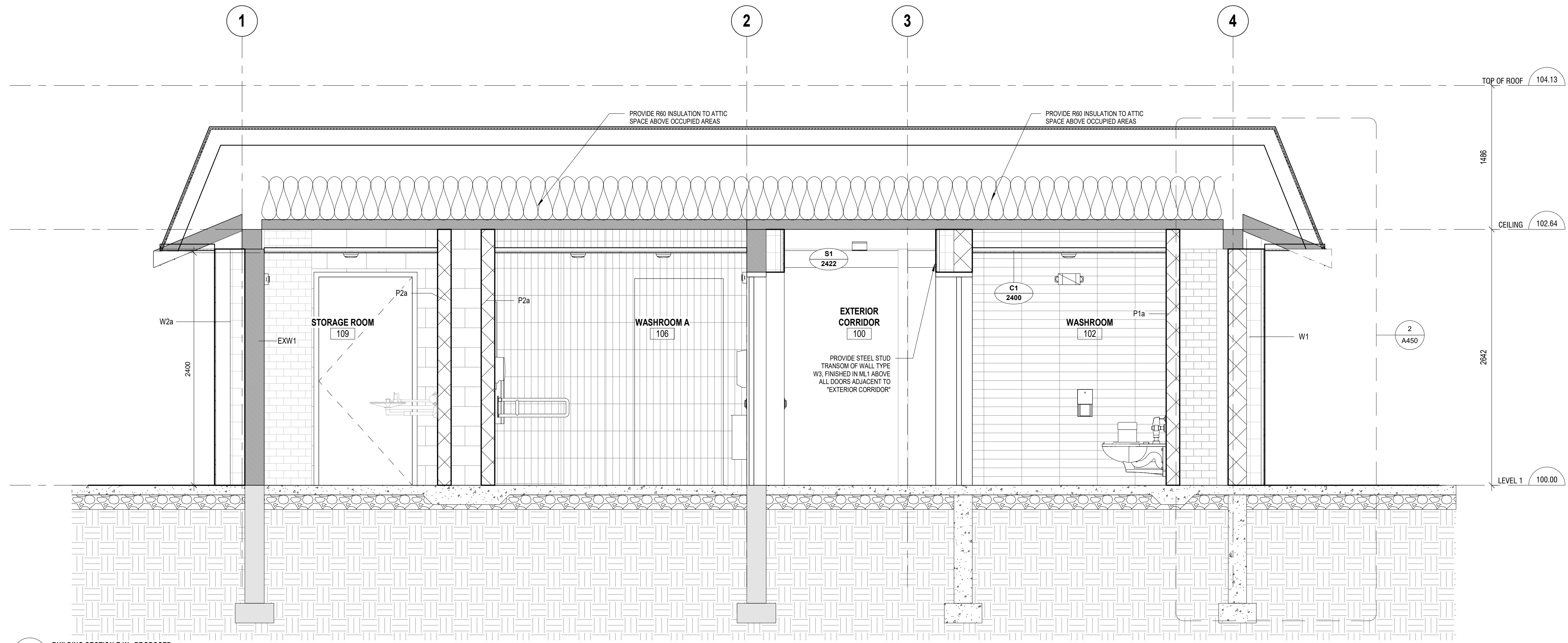
Drawn: DW
Checked: SL
Issued For: TENDER
Date: JUNE 12, 2024

EXTERIOR ELEVATIONS - PROPOSED

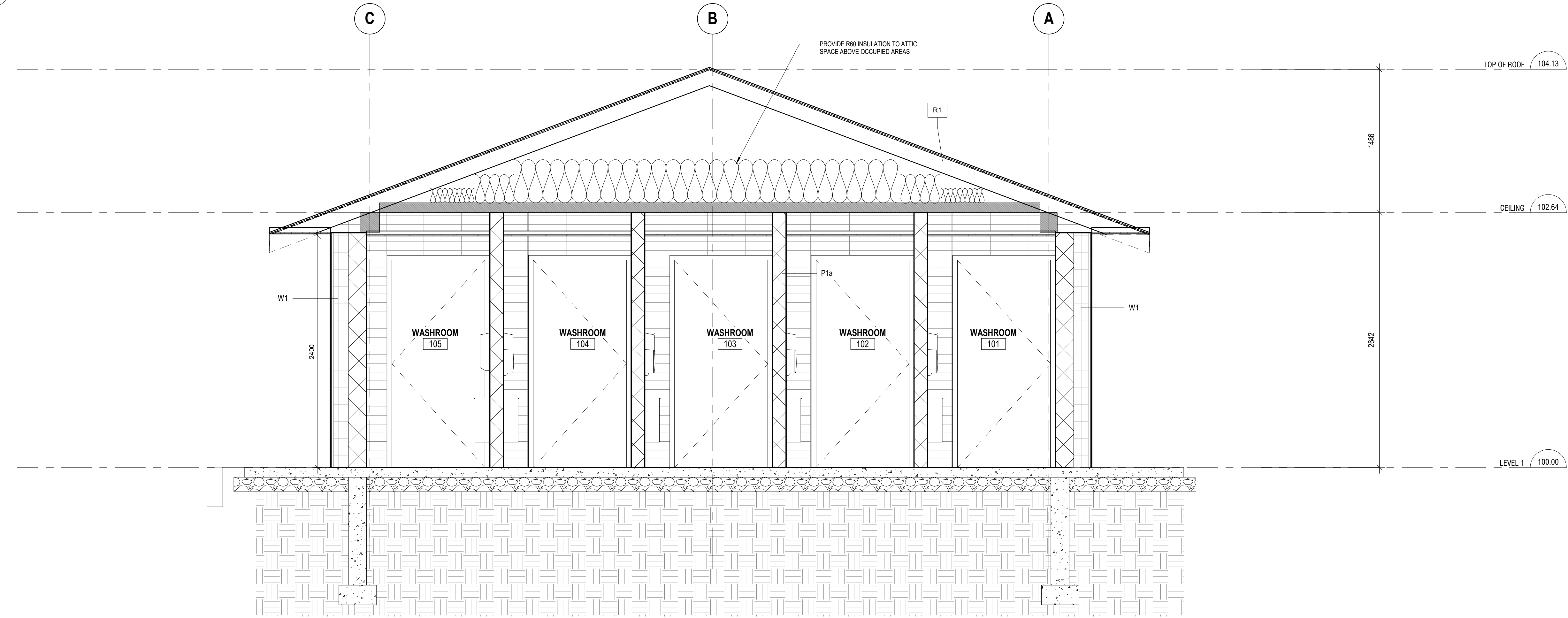
SOCA STUDIO
OF
CONTEMPORARY
ARCHITECTURE

LAPTISTE ARCHITECTURE INC.

1137A Queen St. East
Toronto, ON M4M 1K9
(437) 916-9272



1 BUILDING SECTION E-W - PROPOSED
A401 1:25



2 BUILDING SECTION N-S - PROPOSED
A401 1:25

Lower Hillside Washroom Building
Improvements
City of Toronto
1873 BLOOR ST W
TORONTO, ON M8R 2Z3

2222

No.	Date	Description

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

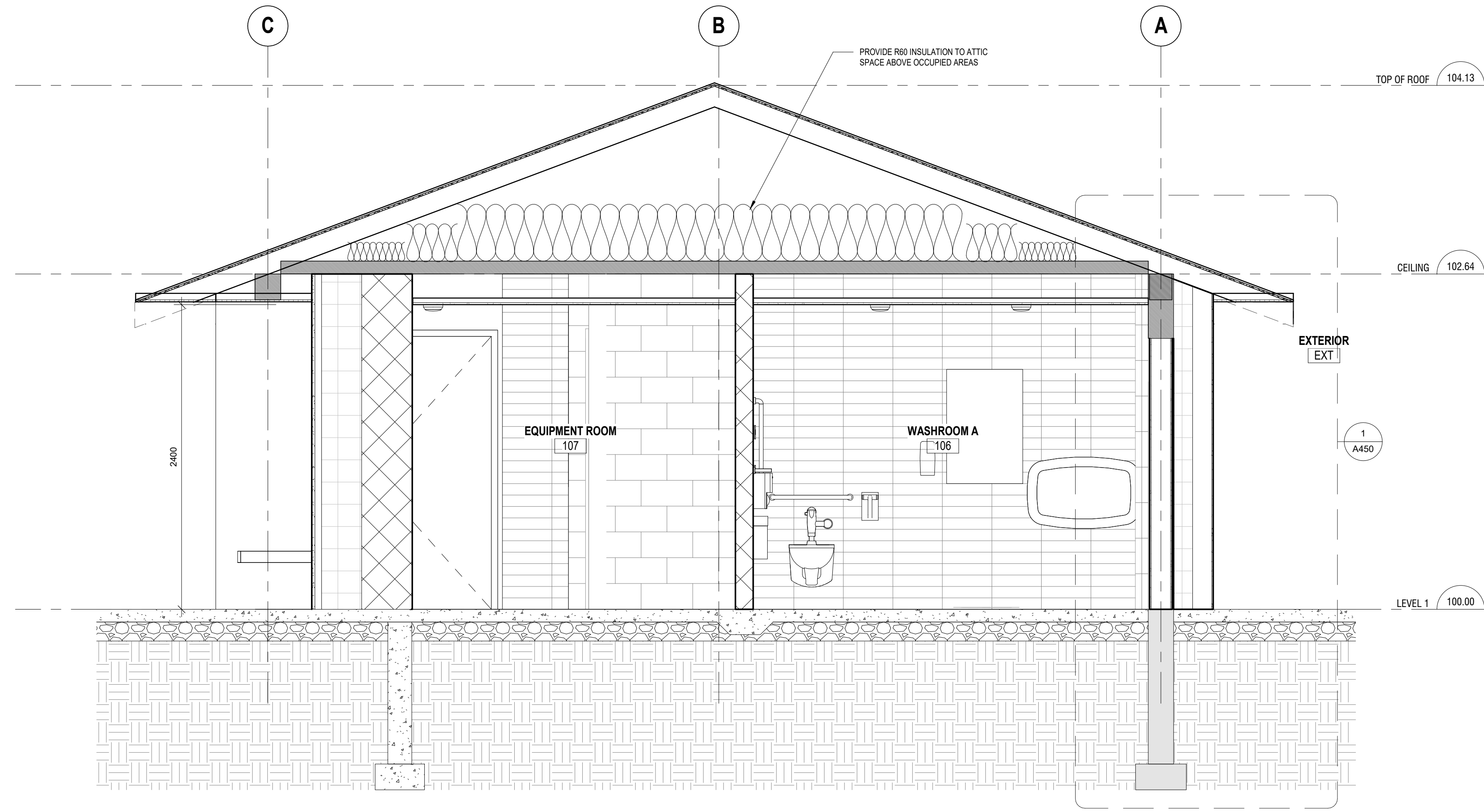
Drawn: DW
Checked: SL
Issued For: TENDER
Date: JUNE 12, 2024

BUILDING SECTIONS

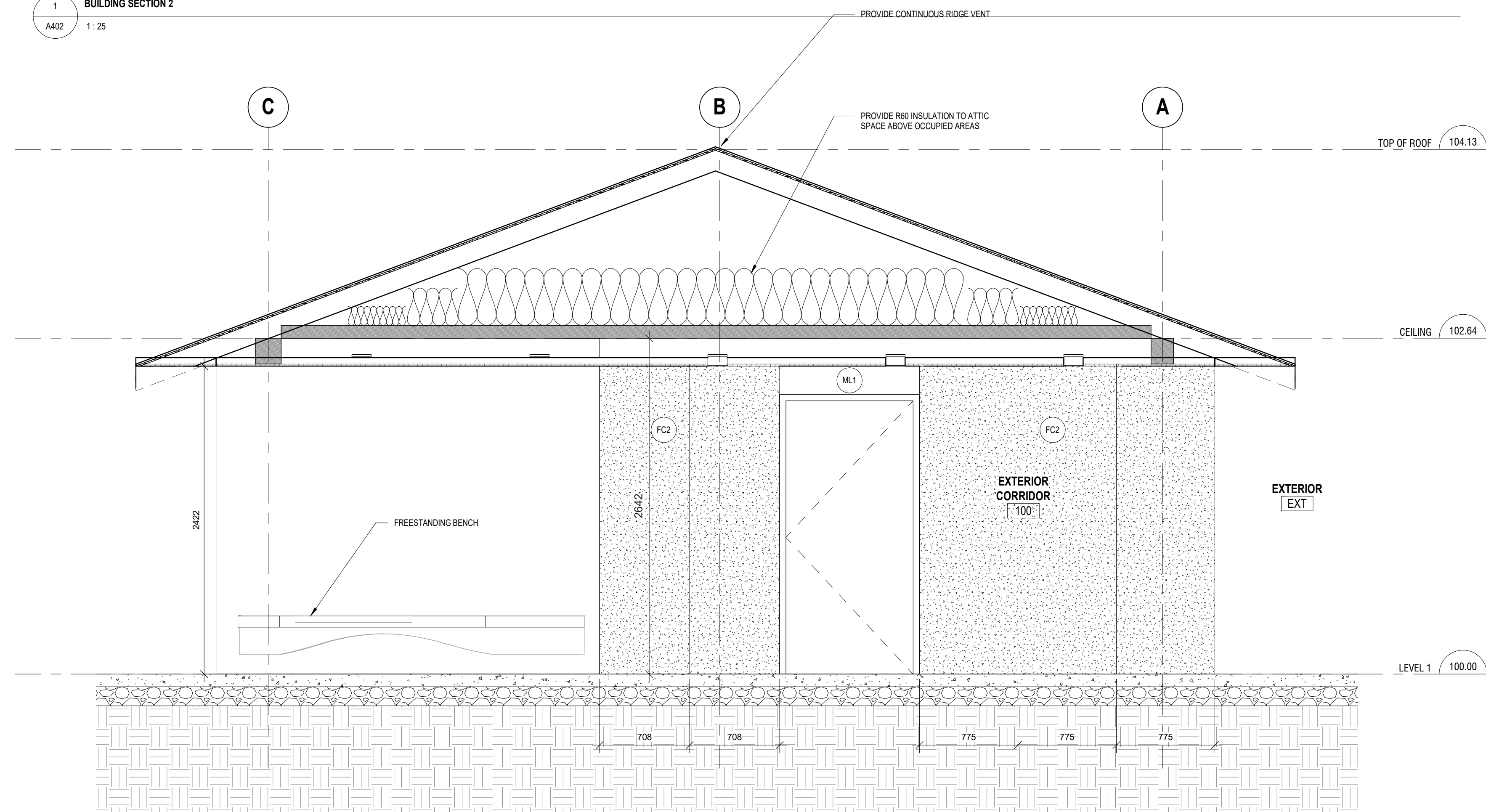
A401

Autodesk Docs://2222 High Park Washroom/2222 High Park Washroom.rvt

2024-06-12 5:04:06 PM



1 BUILDING SECTION 2
A402 1:25



2 BUILDING SECTION N-S - PROPOSED 1
A402 1:25

Lower Hillside Washroom Building Improvements

City of Toronto
1873 BLOOR ST W
TORONTO, ON M6R 2Z3

2222

No.	Date	Description
1	February 9 2024	Issued for Permit/Tender

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

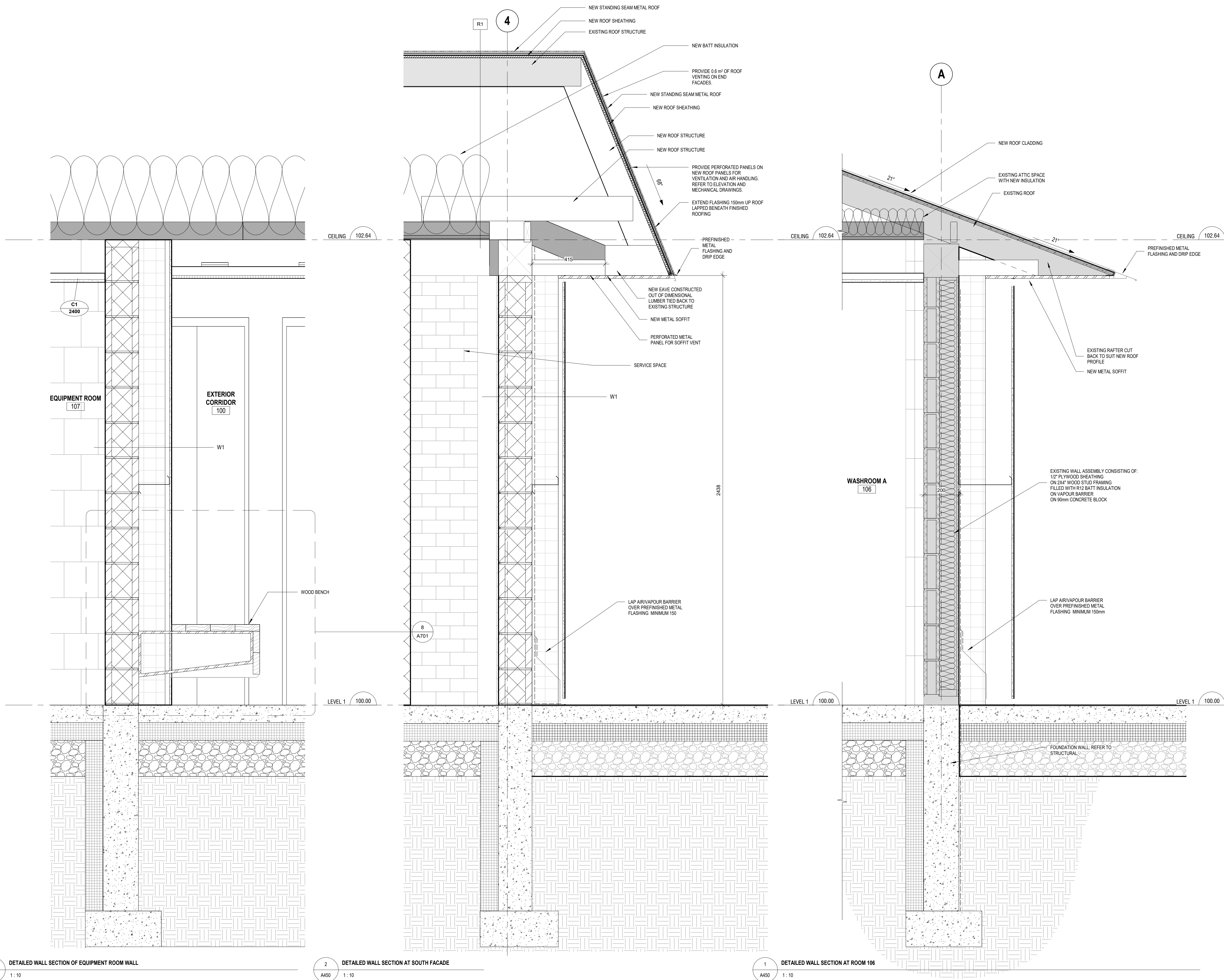
Drawn: DW
Checked: SL
Issued For: TENDER
Date: JUNE 12, 2024

BUILDING SECTIONS

A402

Autodesk Docs://2222 High Park Washroom/2222 High Park Washroom.rvt

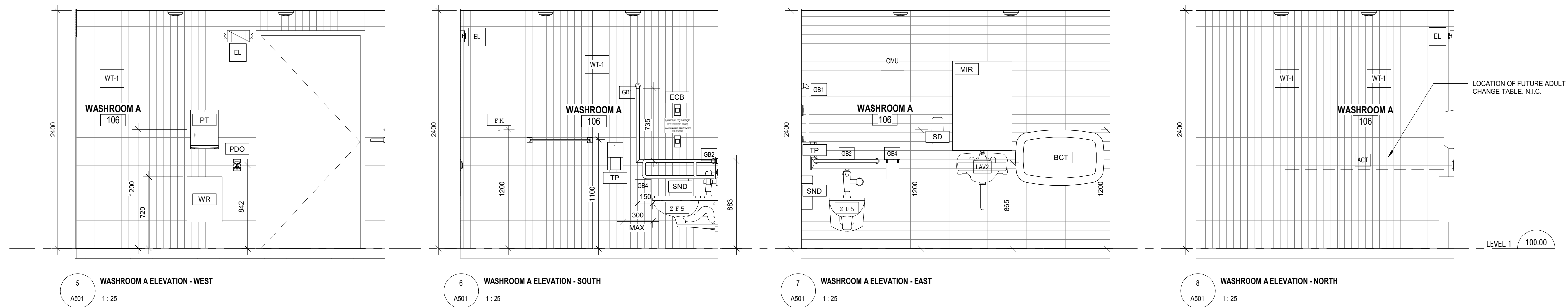
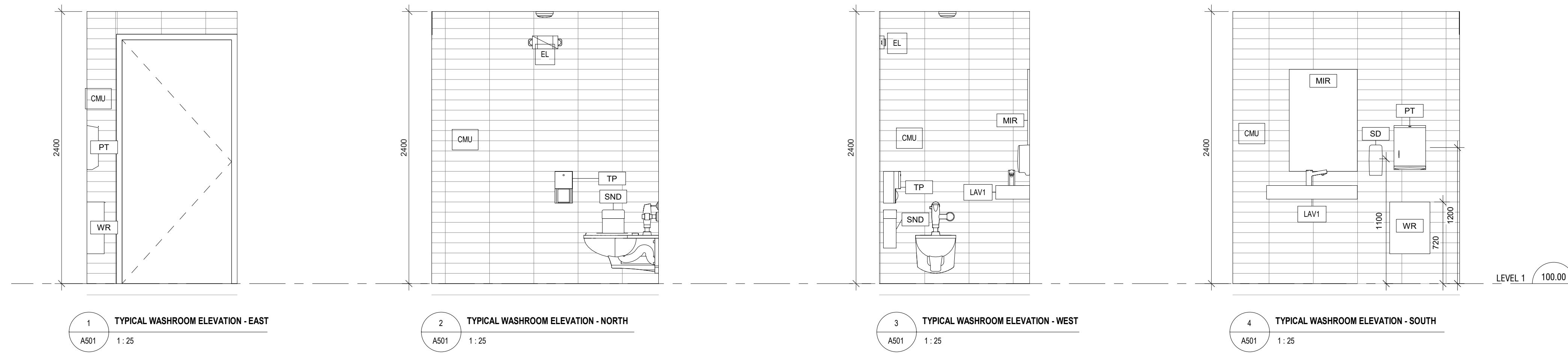
2024-06-12 5:04:09 PM



3 DETAILED WALL SECTION OF EQUIPMENT ROOM WALL
A450 1:10

2 DETAILED WALL SECTION AT SOUTH FACADE
A450 1:10

1 DETAILED WALL SECTION AT ROOM 106
A450 1:10



ACCESSORY LEGEND

- BC BABY CHANGE TABLE
- EL EMERGENCY LIGHT
- GB1 90 DEG BARRIER FREE GRAB BAR
- GB2 HORIZONTAL GRAB BAR
- GB3 URINAL GRAB BAR
- GB4 FOLD DOWN GRAB BAR
- HD1 HAND DRYER
- MIR MIRROR (600mm x 900mm)
- MH MOP HOLDER
- PDO POWER DOOR OPERATOR
- PT PAPER TOWEL DISPENSER
- CH ROBE HOOK
- SD SOAP DISPENSER
- SND SANITARY NAPKIN DISPOSAL
- SNV SANITARY NAPKIN VENDING MACHINE
- TP TOILET PAPER DISPENSER
- WR TRASH RECEPTACLE

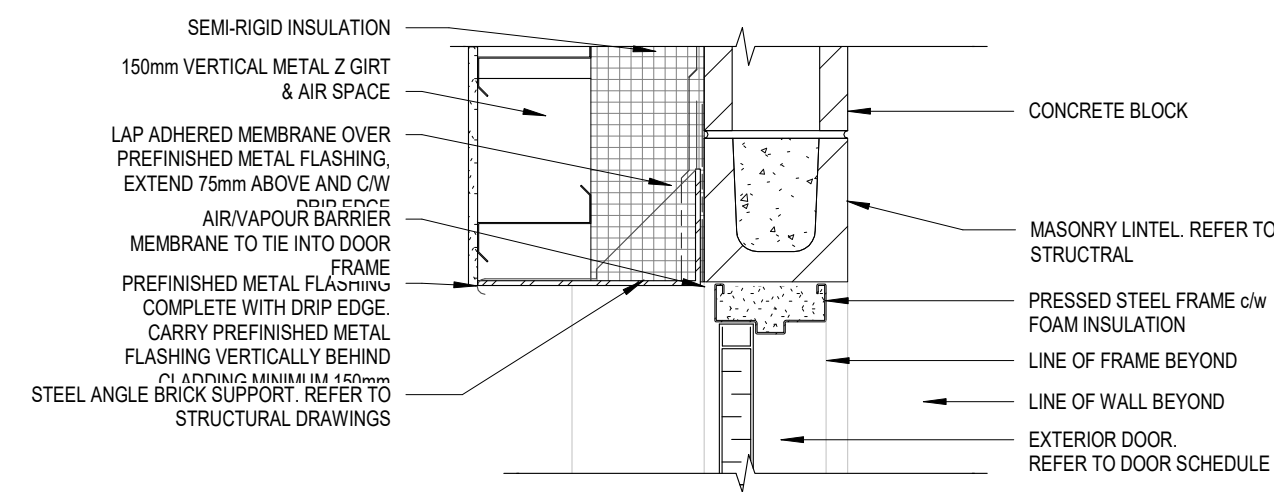
No.	Date	Description
1	February 9 2024	Issued for Permit/Tender

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

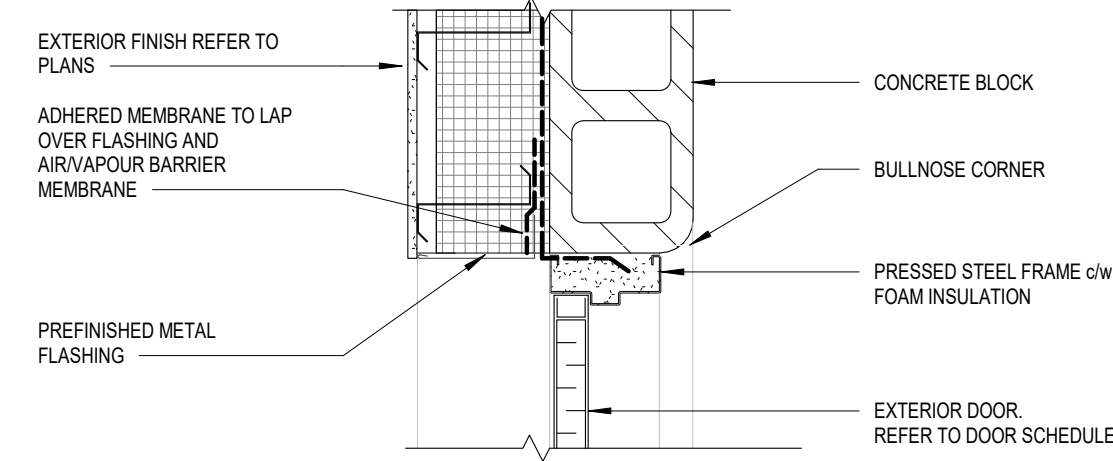
Drawn: DW
Checked: SL
Issued For: TENDER
Date: JUNE 12, 2024

INTERIOR ELEVATIONS

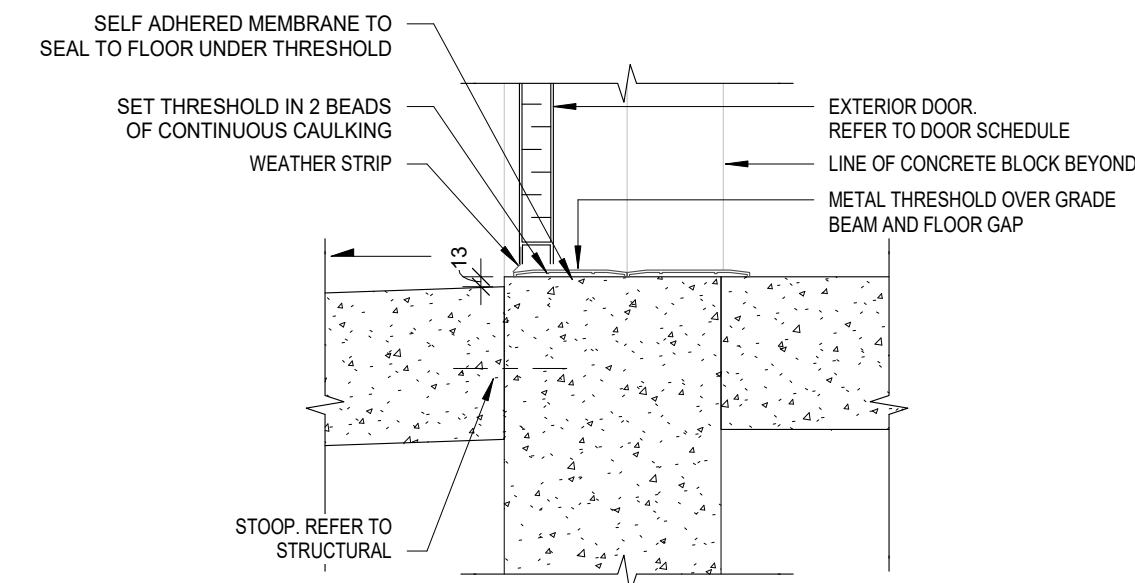
A501



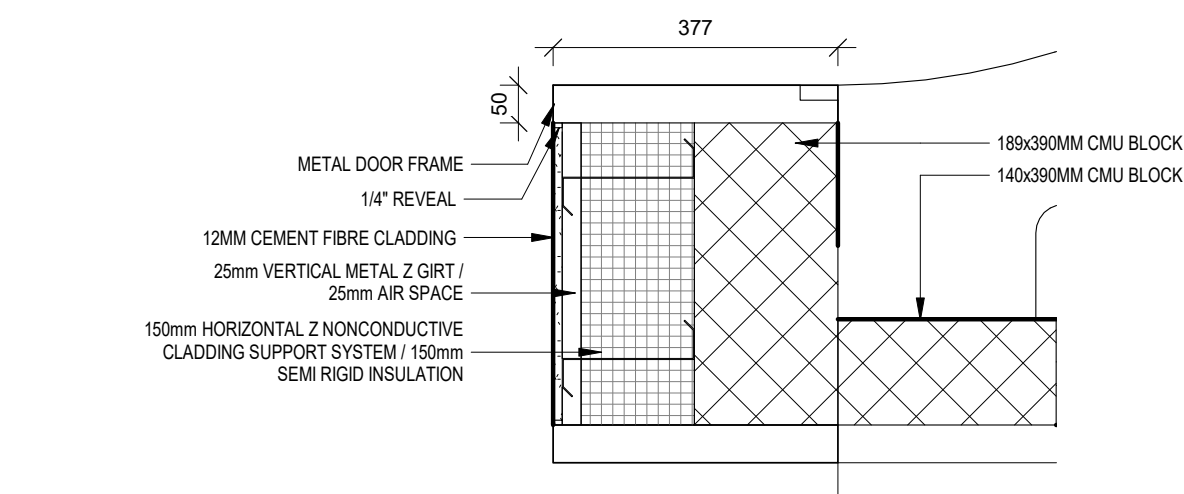
3 DOOR HEAD DETAIL
A701 1:10



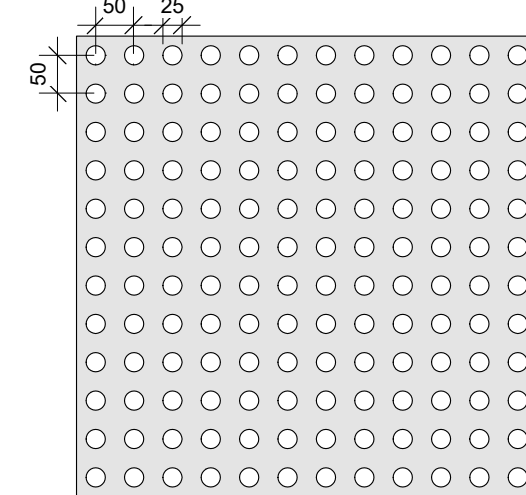
4 DOOR JAMB DETAIL
A701 1:10



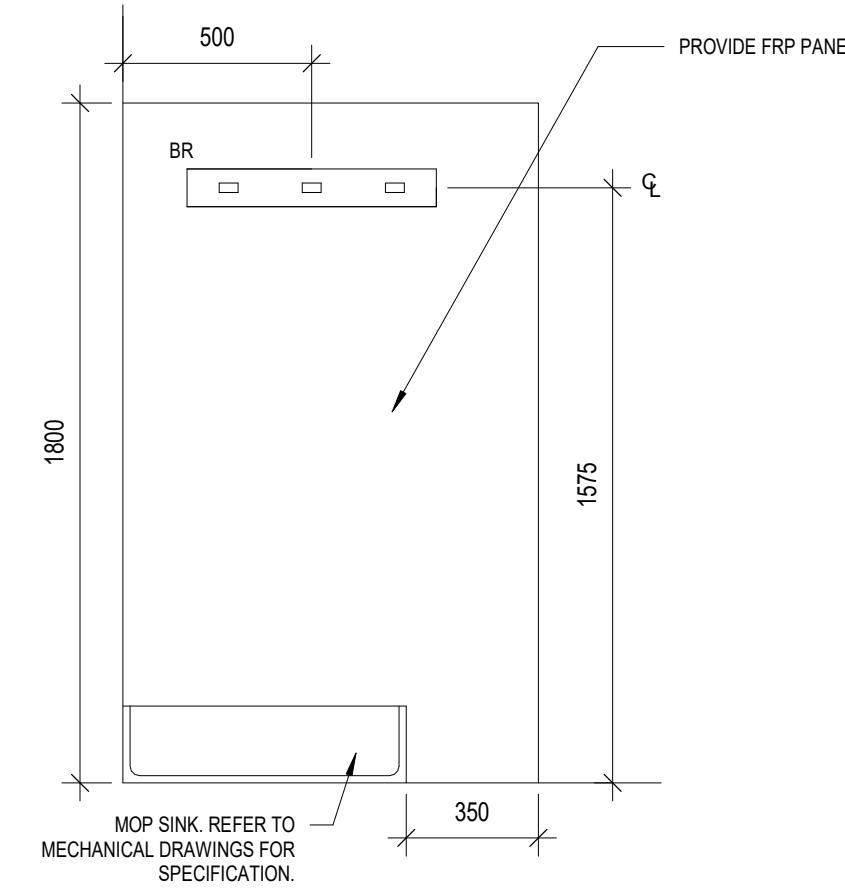
2 DOOR THRESHOLD
A701 1:10



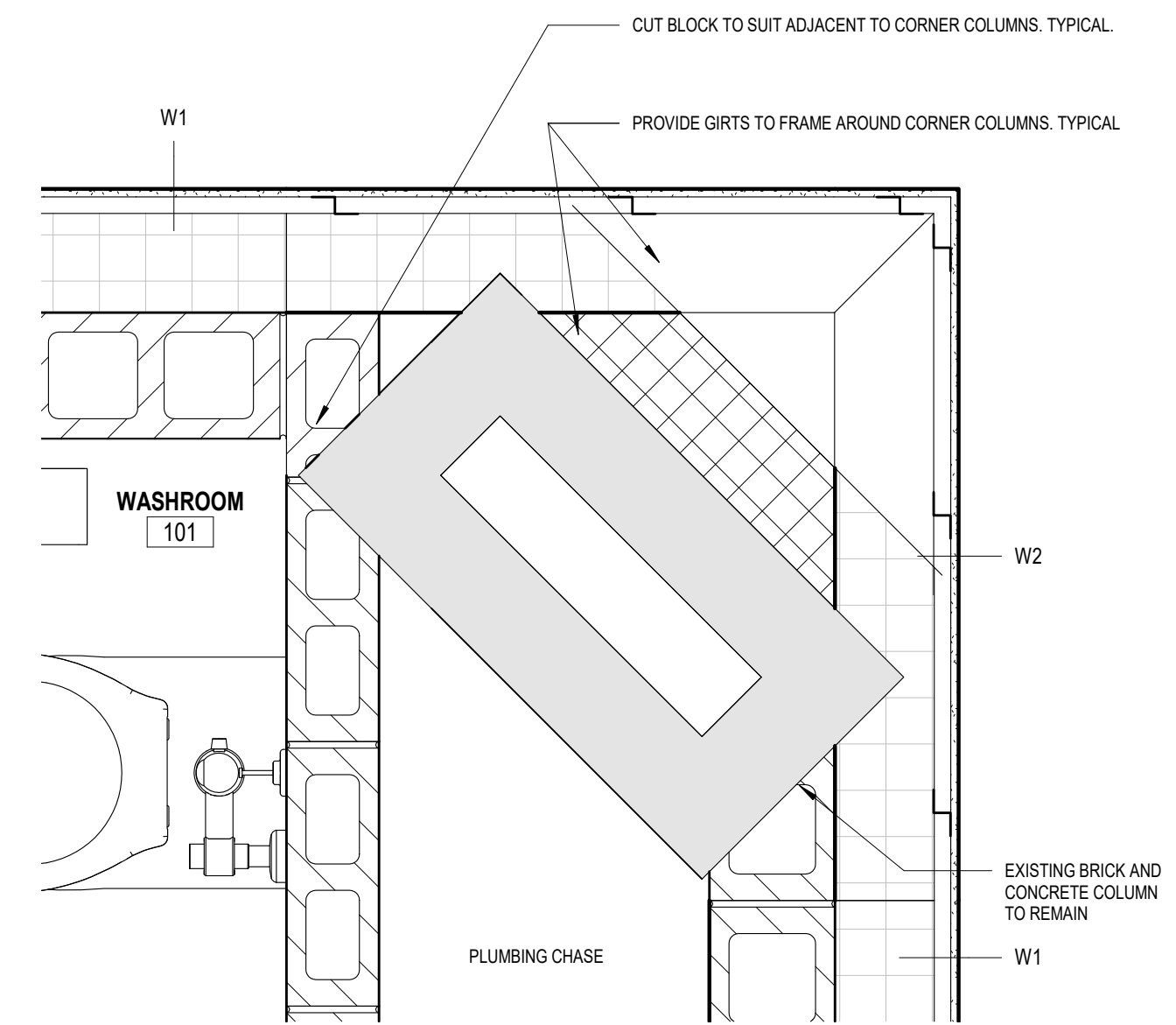
5 DOOR JAMB DETAIL
A701 1:10



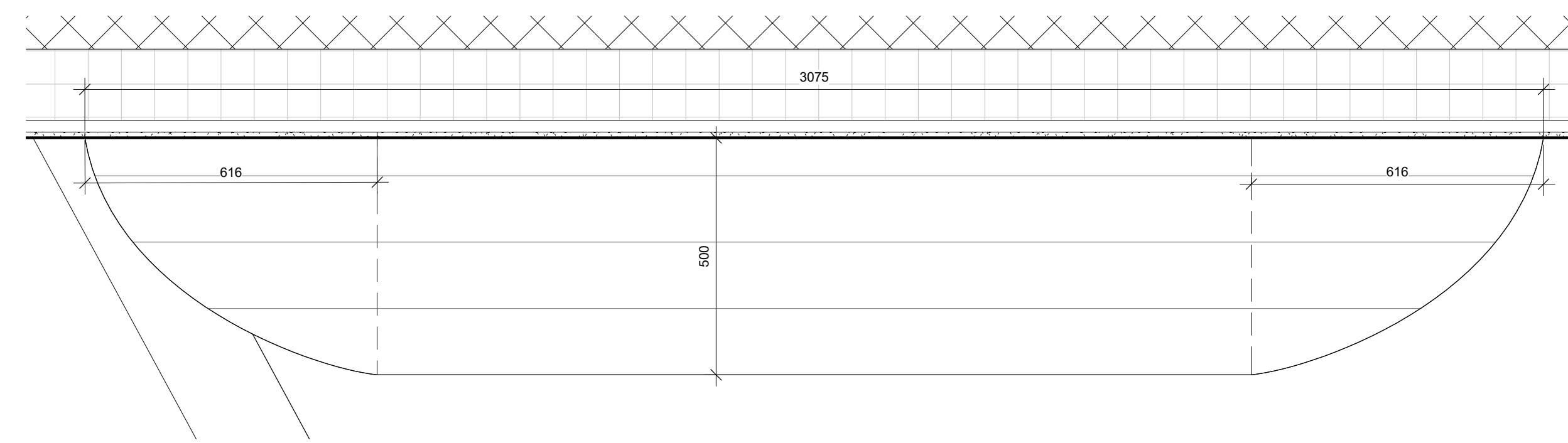
7 PERFORATION PATTERN
A701 1:10



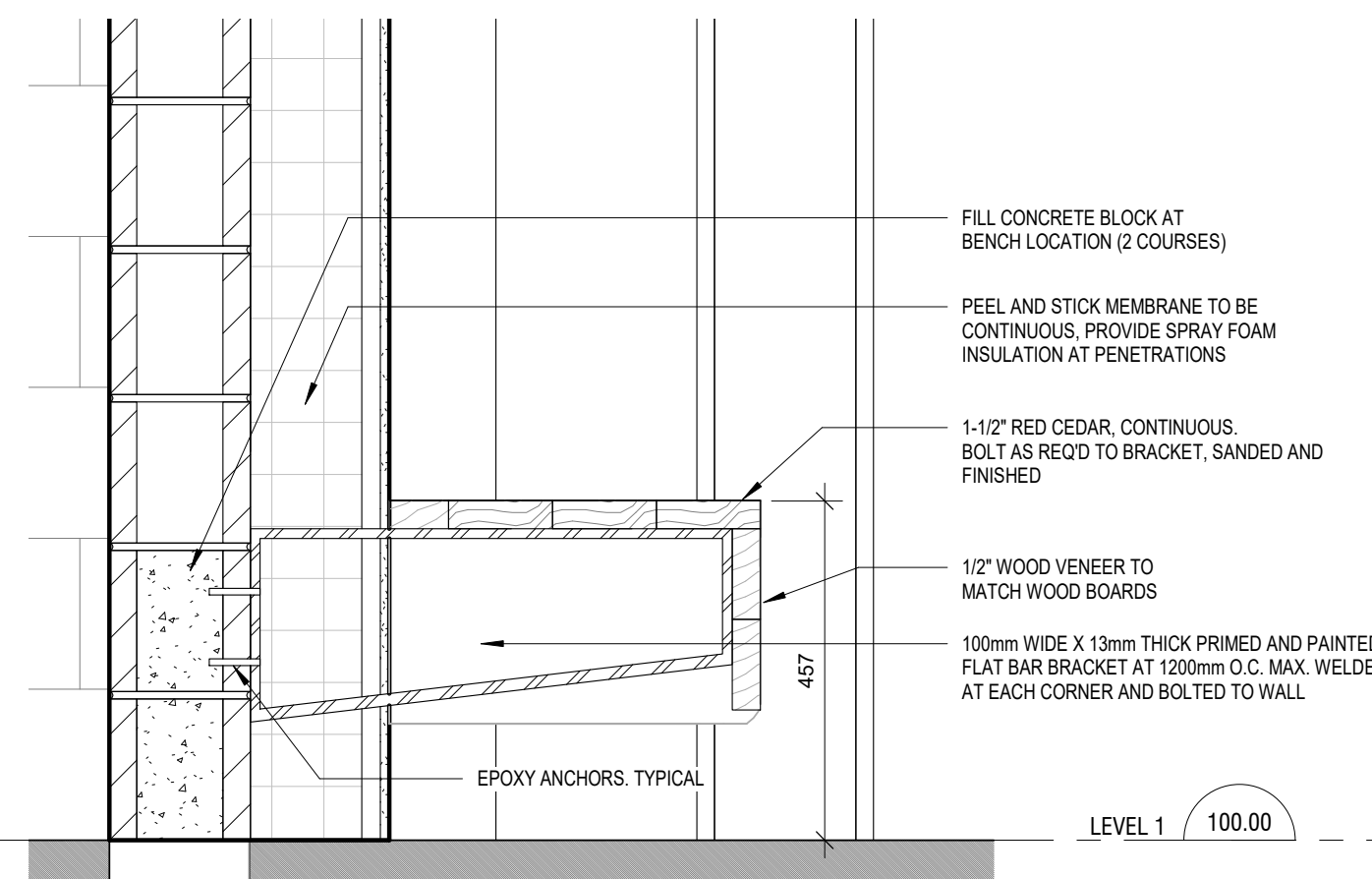
1 CUSTODIAL SINK
A701 1:20



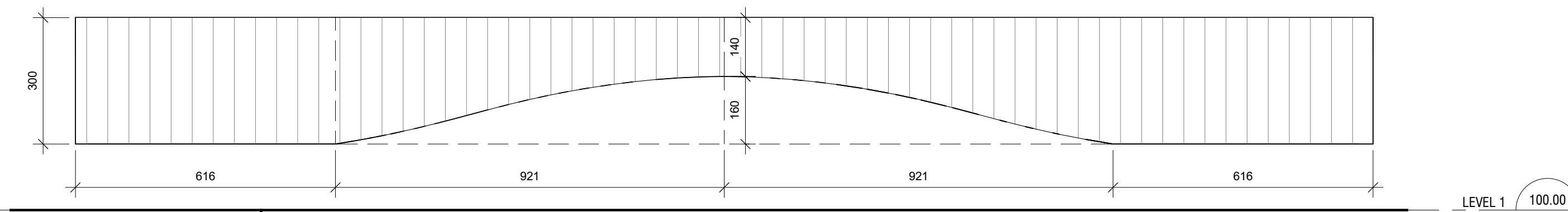
6 CORNER COLUMN DETAIL
A701 1:10



9 BENCH - ENLARGED PLAN
A701 1:10



8 BENCH - SECTION DETAIL
A701 1:10



10 BENCH - ENLARGED ELEVATION
A701 1:10

Lower Hillside Washroom Building
Improvements
City of Toronto
1873 BLOOR ST W
TORONTO, ON M6R 2Z3

2222

No.	Date	Description
-----	------	-------------

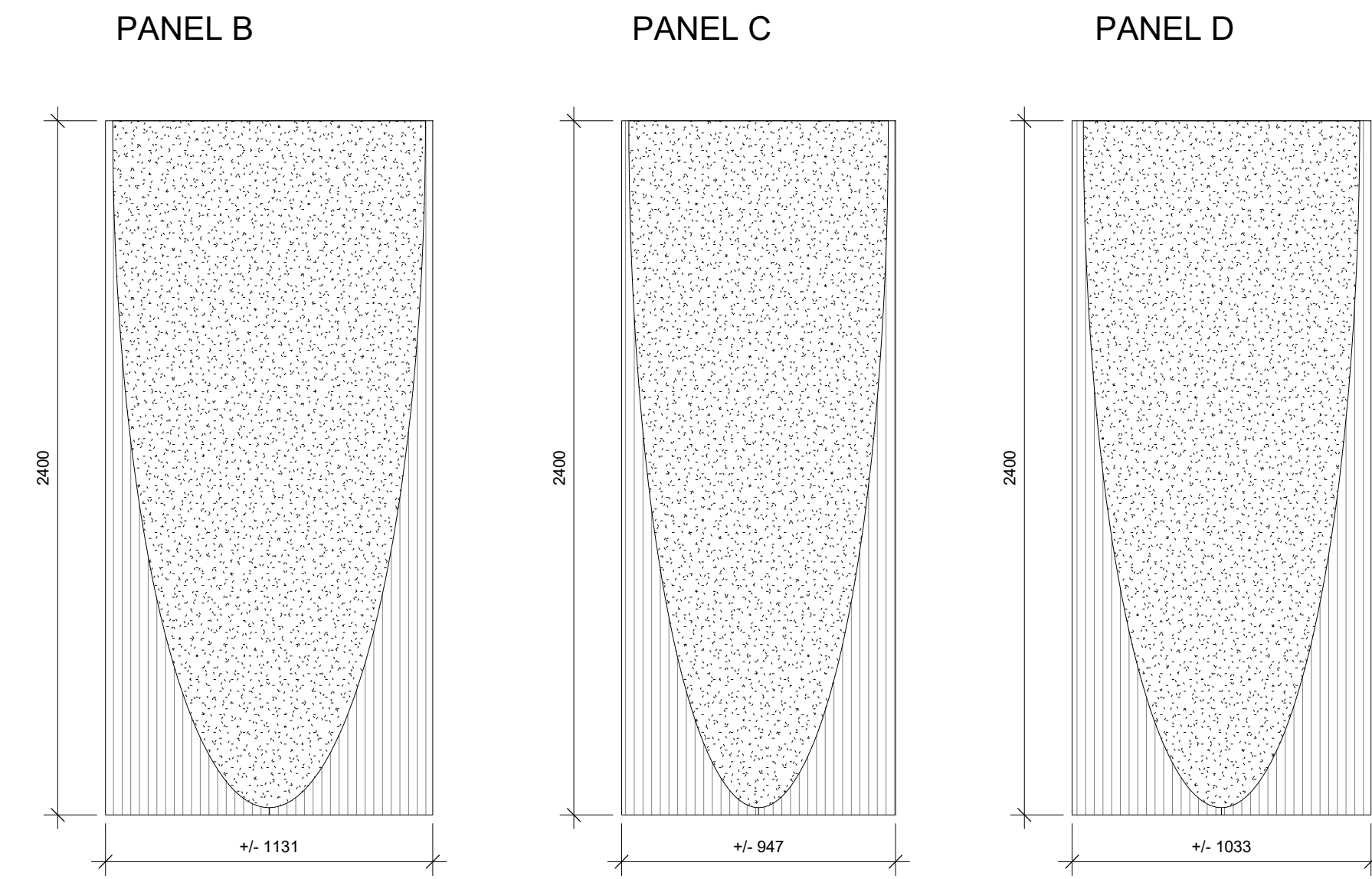
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

Drawn: DW
Checked: SL
Issued For: TENDER
Date: JUNE 12, 2024

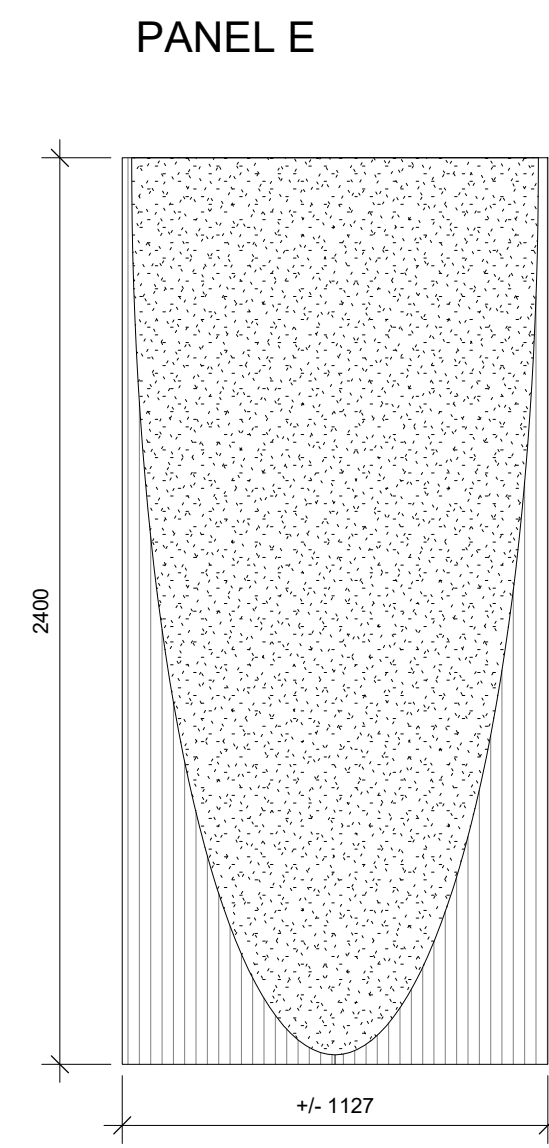
DETAILS

A701

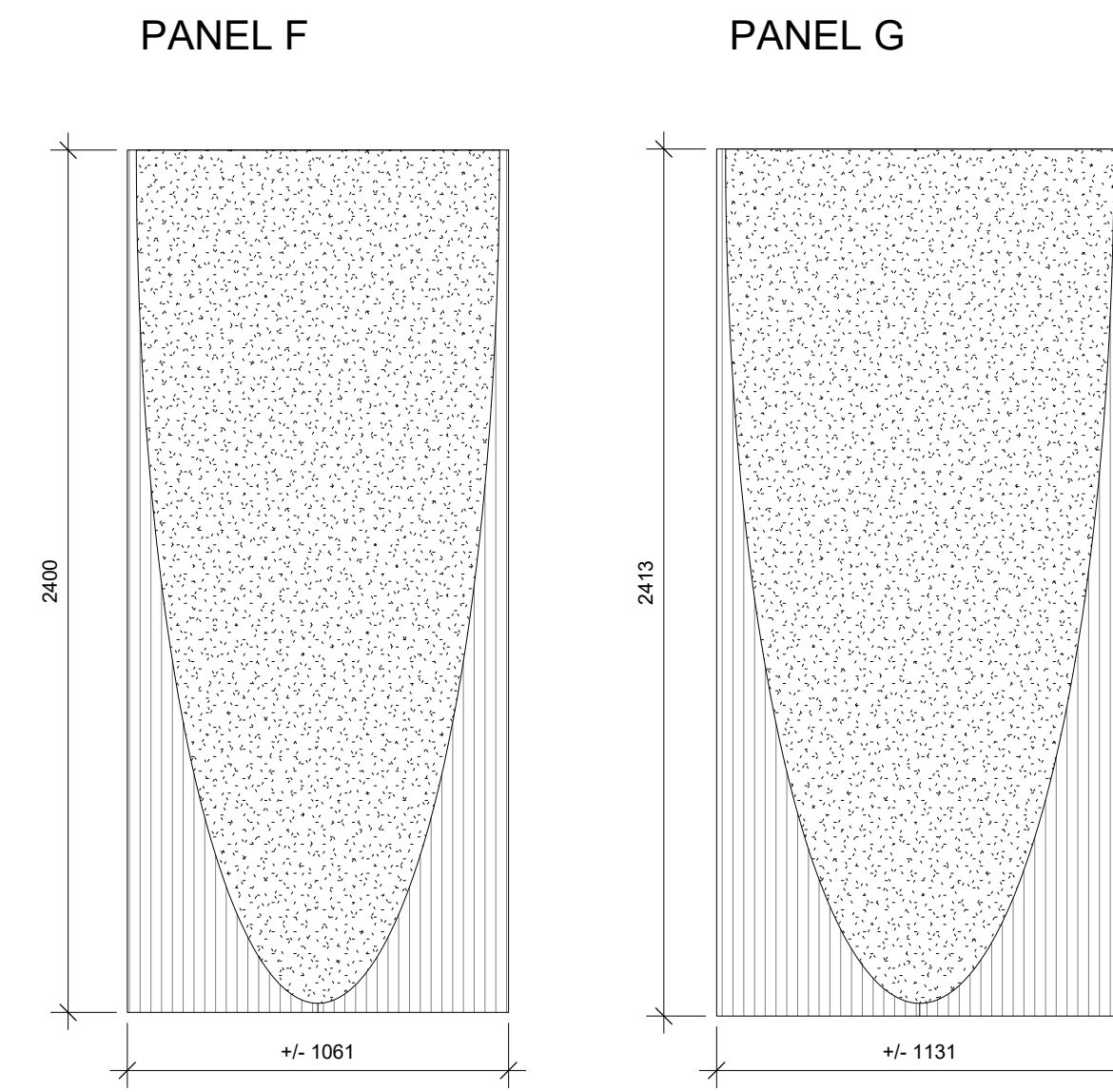
NORTH SIDE PANEL TYPES



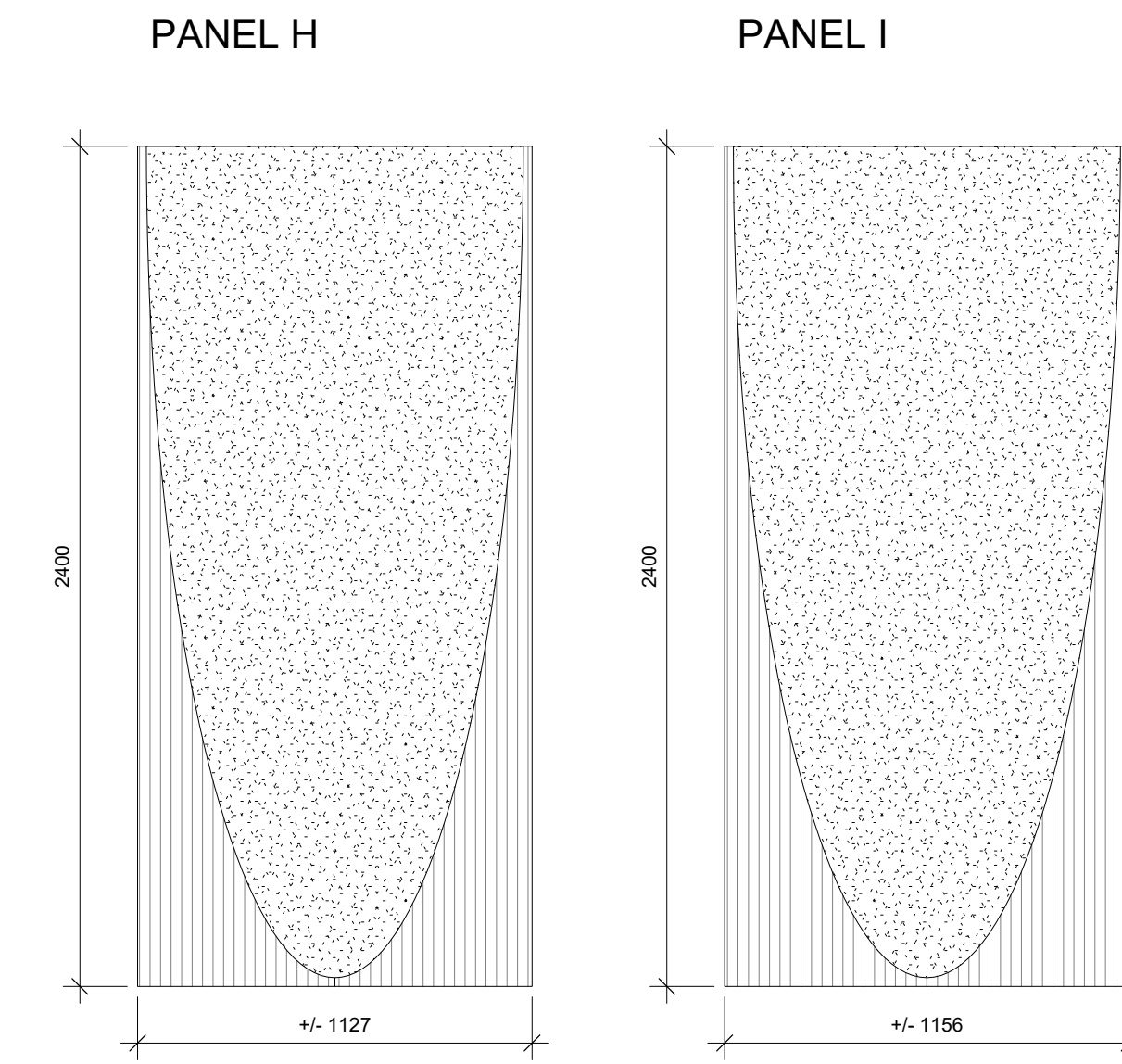
EAST SIDE PANEL TYPES



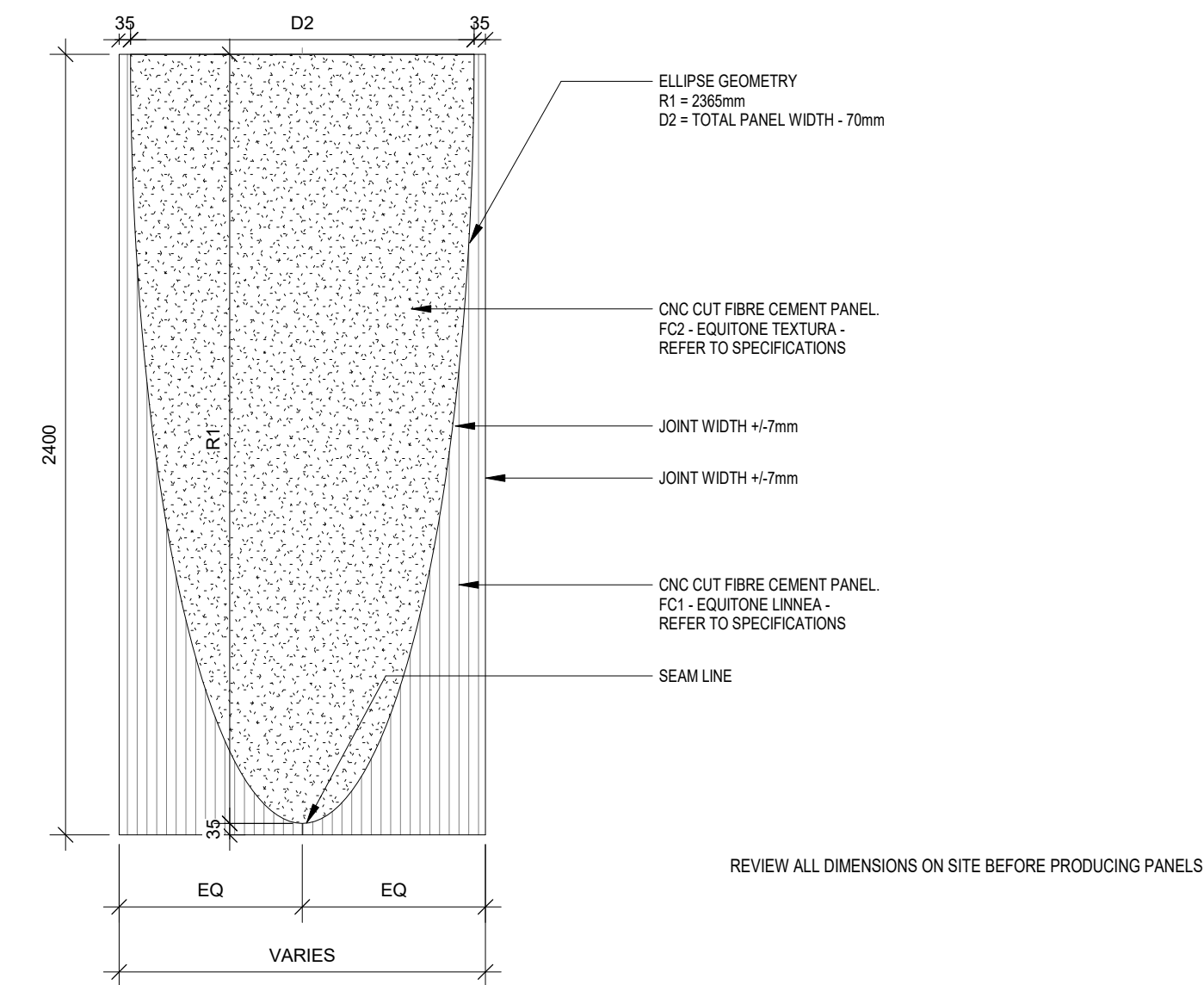
SOUTH SIDE PANEL TYPES



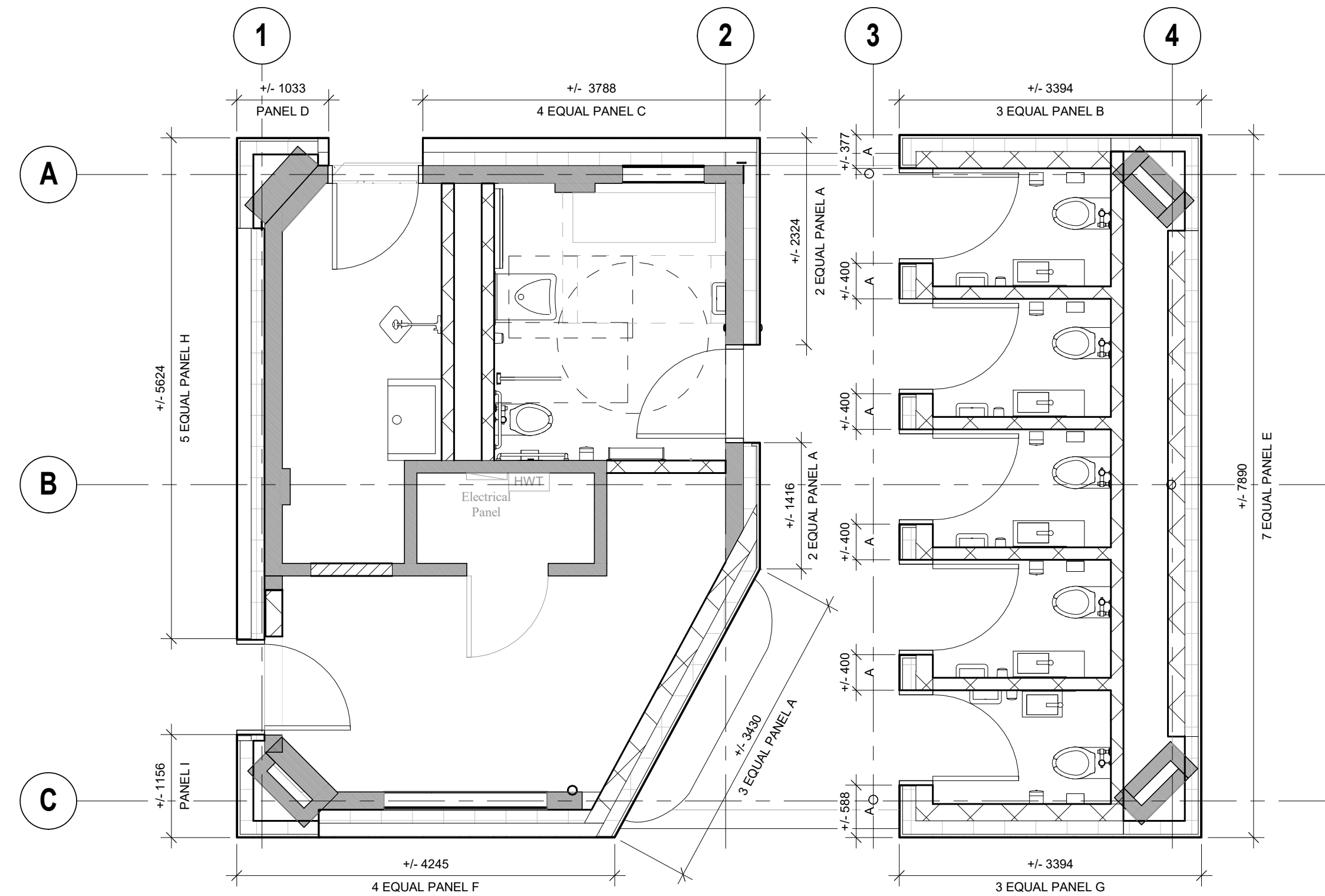
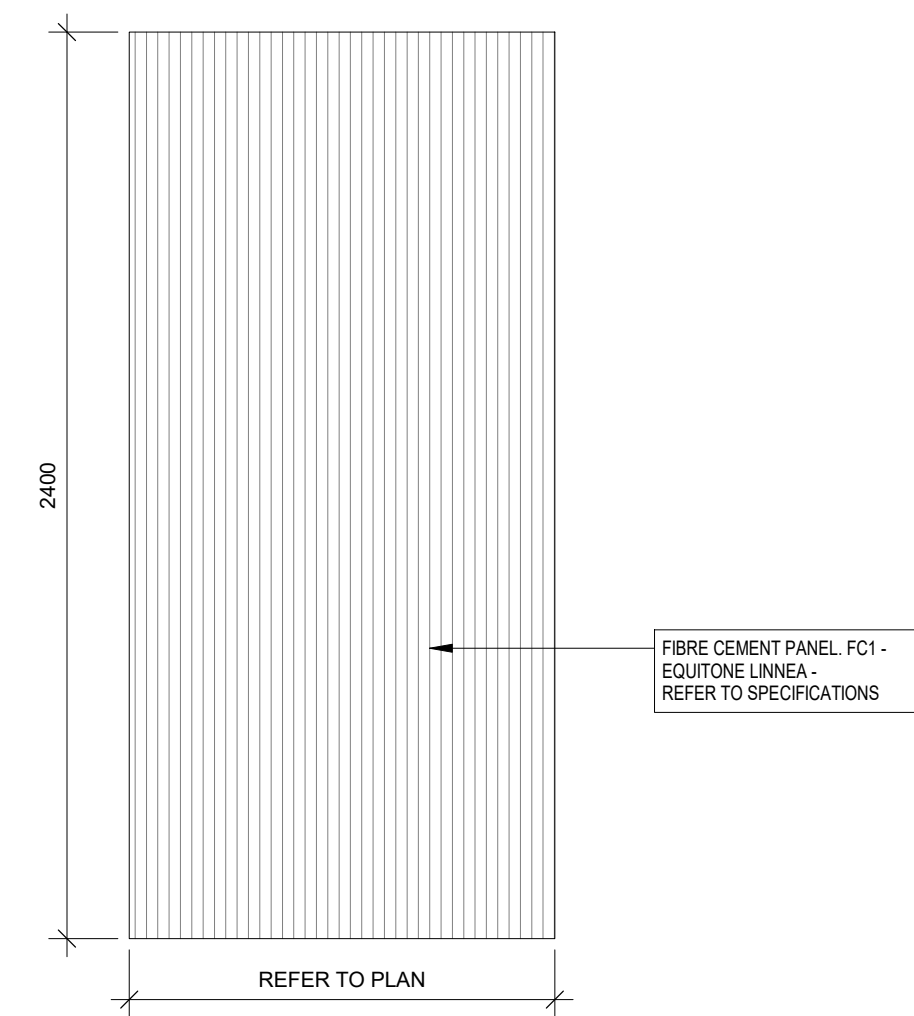
WEST SIDE PANELS



TYPICAL PANEL PATTERN AND TOLERANCE



PANEL A



2 LEVEL 1 - PROPOSED PANEL LAYOUT
A702 1:50

Lower Hillside Washroom Building
Improvements
City of Toronto
1873 BLOOR ST W
TORONTO, ON M6R 2Z3

No.	Date	Description
2222		

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

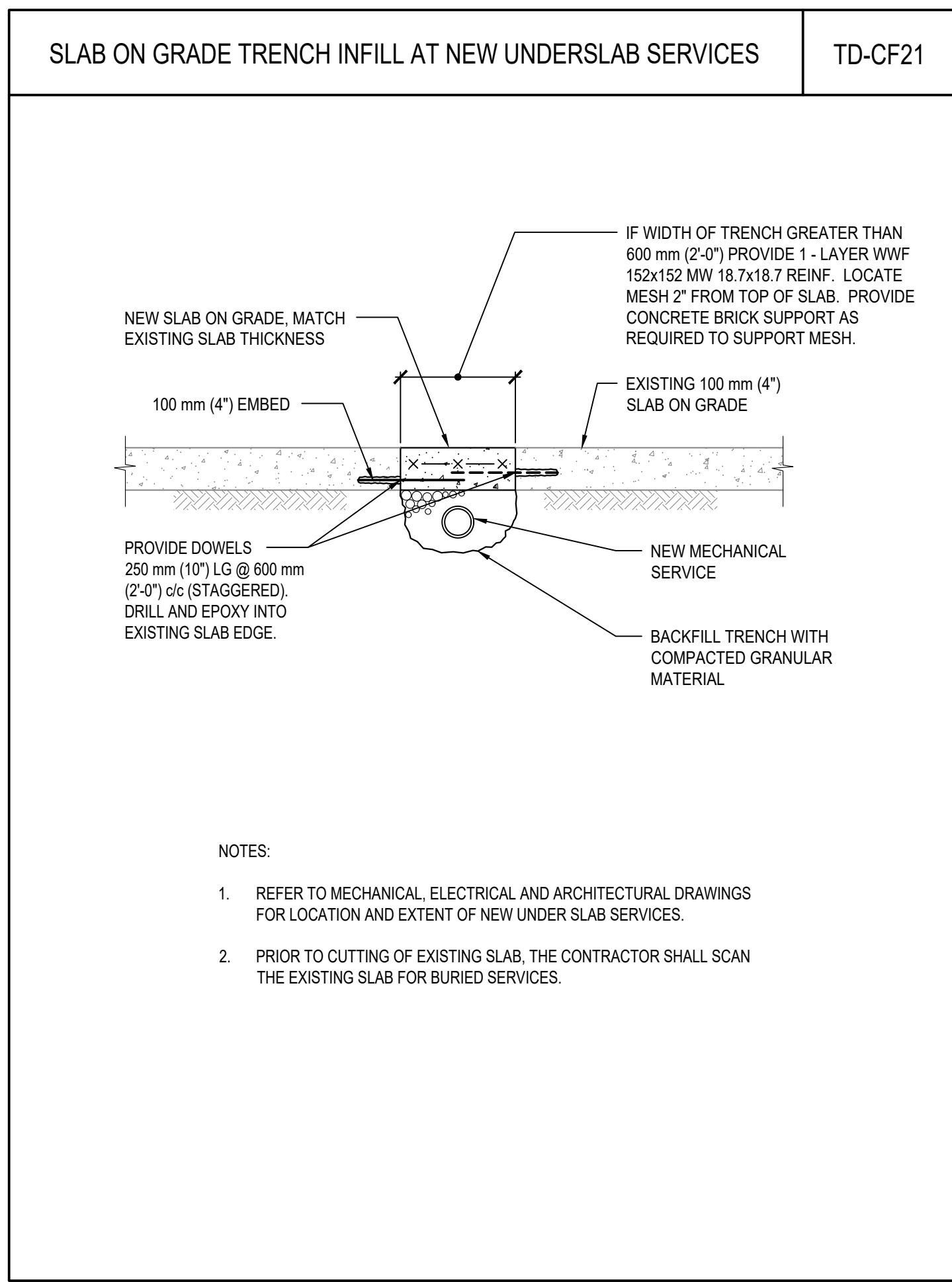
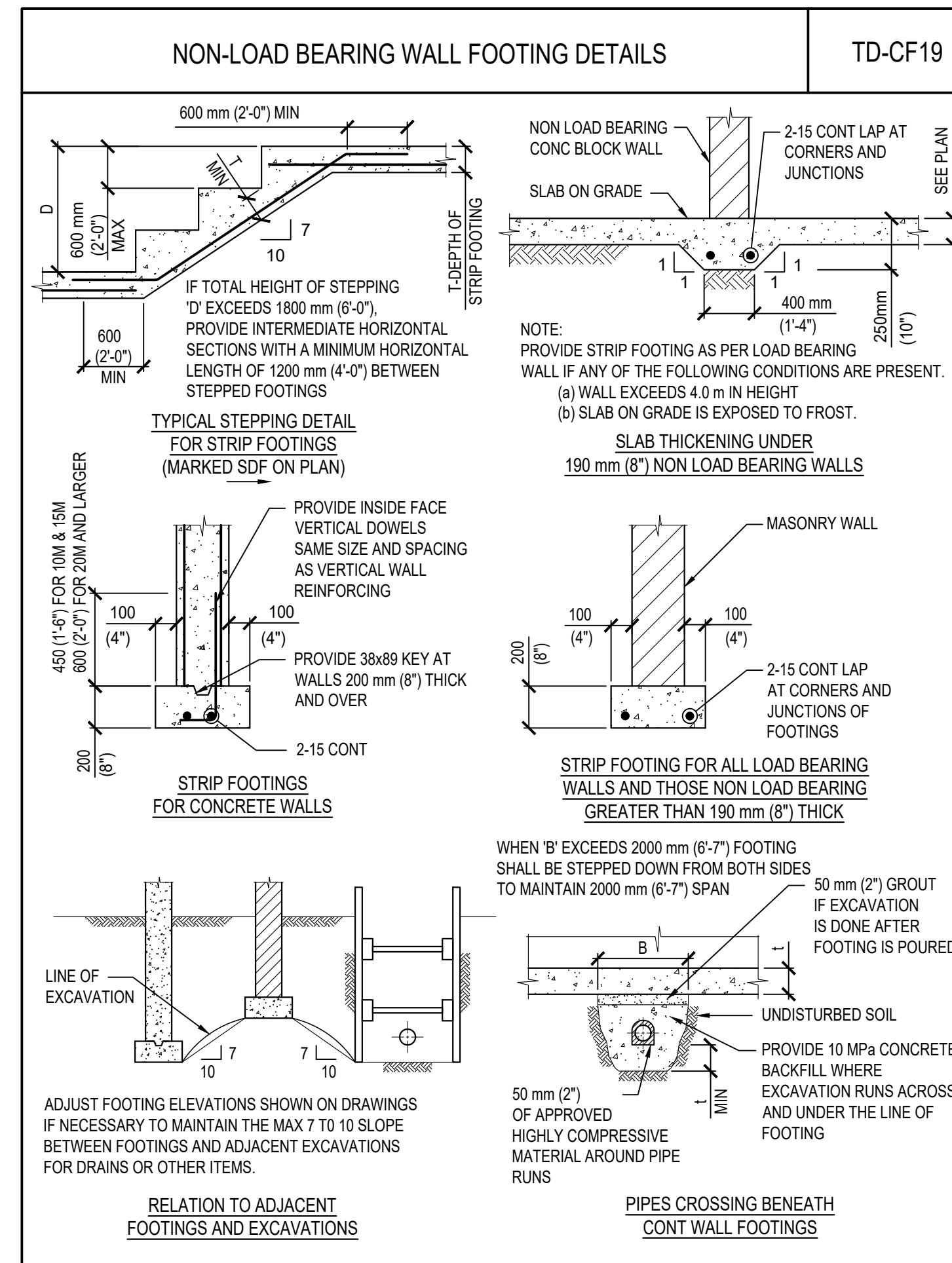
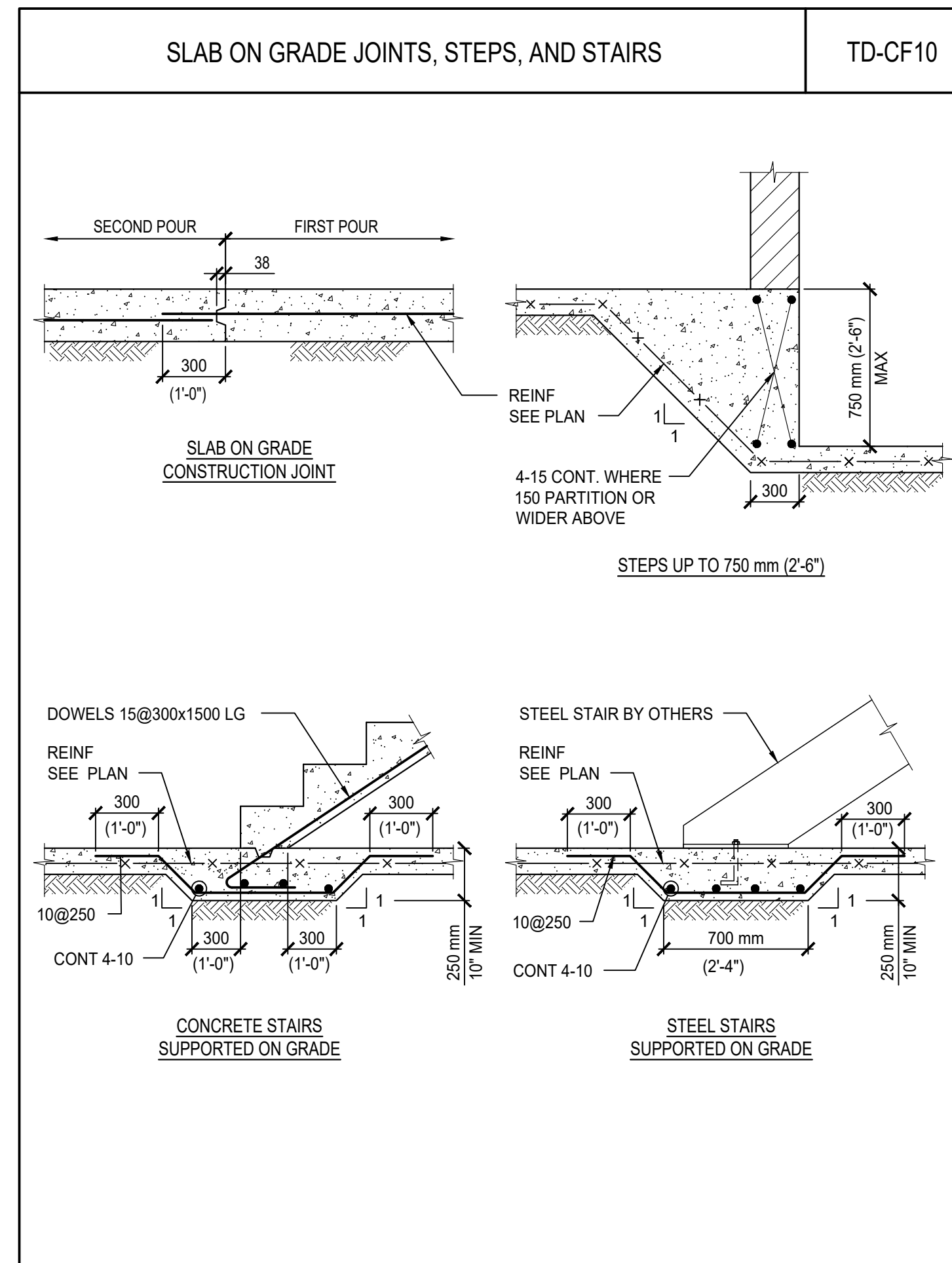
Drawn: DW
Checked: SL
Issued For: TENDER
Date: JUNE 12, 2024

PANEL DETAILS



No.	Revision Description	YYYY-MM-DD
1	ISSUED FOR PERMIT & TENDER	2024-02-08

STRUCTURAL ABBREVIATIONS		TD-G01
A BOLT	ANCHOR BOLT	f _c 28 DAYS CONCRETE COMPRESSIVE STRENGTH
ADJ	ADJUSTABLE	OF OUTSIDE FACE
AF	ABOVE FINISHED FLOOR	OPEN OWJS
AIFB	ASPHALT IMPREGNATED FIBREBOARD	PI FOUNDATION
ALT	ALTERNATE	PC PRECAST
ARCH	ARCHITECTURAL	PL PLATE
ASL	ADDITIONAL ACCUMULATED SNOW LOAD	PLF POUNDS PER LINEAR FOOT
@	AT	PROJ PROJECTION
B, BOTT	BOTTOM	PROJ POUNDS PER SQUARE FOOT
B/B	BACK TO BACK	PT PRESSURE TREATED
BEW	BOTTOM EACH WAY	RD ROOF DRAIN
BH	BOREHOLE	RF REACTION (FACTORED)
BLL	BOTTOM LOWER LAYER	RAD RADIUS
BLDG	BUILDING	REF REINFORCED REINFORCEMENT
BM	BEAM	REF REFERENCE
BPL	BEARING/BASE PLATE	RE HORIZONTAL INSIDE FACE
BRDG	BRIDGING	RE HORIZONTAL OUTSIDE FACE
BUL	BOTTOM UPPER LAYER	REQD REQUIRED
c	CAMBER	REV REVISION, REVISED
c/c, o/c	CENTRE TO CENTRE	RHW REINFORCED WITH
CA	COLUMN ABOVE	SAD SEE ARCHITECTURAL DRAWINGS
CB	COLUMN BELOW	SEC SECTION
CANT	CANTILEVER	SECT SECTION
C1	COMPRESSIVE FORCE (FACTORED)	SIM SIMILAR
CJ	CONTROL JOINT	SL SLAB
CL	CENTRELINE	SOG SLAB ON GRADE
COL	COLUMN	SPDD STANDARD PROCTOR DRY DENSITY
COMP	COMPOSITE	ST STRAIGHT
CONC	CONCRETE	STIFF STIFFENER
CONT	CONTINUOUS	STIR STIRRUP
C/W	COMPLETE WITH	STRUCT STRUCTURAL
DEM	DEMOLITION	STD STANDARD
DET	DETAIL	SQ SQUARE
DIA, Ø	DIAMETER	T TOP
DIAG	DIAGONAL	TI TENSILE FORCE (FACTORED)
DIM	DIMENSION	TT STIFFENER
DL	DEAD LOAD	TOB TOP OF DECK
DP	DEEP	TOS TOP OF STEEL/SLAB
DWG(S)	DRAWING(S)	TRANS TRANSVERSE
DWL(S)	DOWEL(S)	TUL TOP UPPER LAYER
DN	DOWN	TYP TYPICAL
EA	EACH	UL UPPER LAYER
EE	EACH END	UN UNLESS NOTED OTHERWISE
EF	EACH FACE	UN MILLIMETRE
ELEC	ELECTRICAL	V, VERT VERTICAL
EL	ELEVATION	VF VERTICAL SHEAR FORCE (FACTORED)
ELEV	ELEVATOR	VBF VERTICAL BRACED FRAME
EMBED	EMBEDMENT	VEF VERTICAL EACH FACE
EQ	EQUAL	VIF VERTICAL INSIDE FACE
ES	EACH SIDE	VOF VERTICAL OUTSIDE FACE
EX, EXIST	EXISTING	VSC VERTICALLY SLOTTED CONNECTION
EJ, EXP, JT	EXPANSION JOINT	W WIDE FLANGE BEAM
E-W	EAST WEST	WT WEIGHT, STRUCTURAL TEE
EW	EACH WAY	WWF WELDED WIRE FABRIC OR WELDED WIDE FLANGE WORKING POINT
EXT	EXTERIOR	W.P.



STANDARD REINFORCING DEVELOPMENT & SPLICE LENGTHS TD-CM1	
TABLE A BLACK BAR TENSION DEVELOPMENT LENGTH & TENSION LAP SPLICE LENGTHS CLASS "B", f _y = 400 MPa	TABLE B BLACK BAR CLASS "A" TENSION DEVELOPMENT LENGTH
TABLE C BLACK BAR MINIMUM TENSION EMBEDMENT WITH STANDARD HOOKS f _y = 400 MPa	TABLE D BLACK BAR COMPRESSION LAP SPLICE AND DEVELOPMENT LENGTHS f _y = 400 MPa

STANDARD REINFORCING DEVELOPMENT & SPLICE LENGTHS TD-CM2	
TABLE A BLACK BAR TENSION DEVELOPMENT LENGTH & TENSION LAP SPLICE LENGTHS CLASS "B", f _y = 400 MPa FOR MEMBERS CONTAINING MINIMUM TIES SPACING OR REINFORCING SPACED GREATER THAN 2.0' @	TABLE B BLACK BAR TENSION DEVELOPMENT LENGTH & TENSION LAP SPLICE LENGTHS CLASS "B", TOP BARS, f _y = 400 MPa FOR MEMBERS CONTAINING MINIMUM TIES SPACING OR REINFORCING SPACED GREATER THAN 2.0' @
TABLE C BLACK BAR TENSION DEVELOPMENT LENGTH & TENSION LAP SPLICE LENGTHS CLASS "B", TOP BARS, f _y = 400 MPa	

North

Project Title:

PARK WASHROOM RENOVATION

1873 BLOOR STREET WEST, TORONTO, ON

Designed by: STB Scale: NTS

Drawn by: AQV Date: JAN 23, 2024

Sheet Title

TYPICAL DETAILS

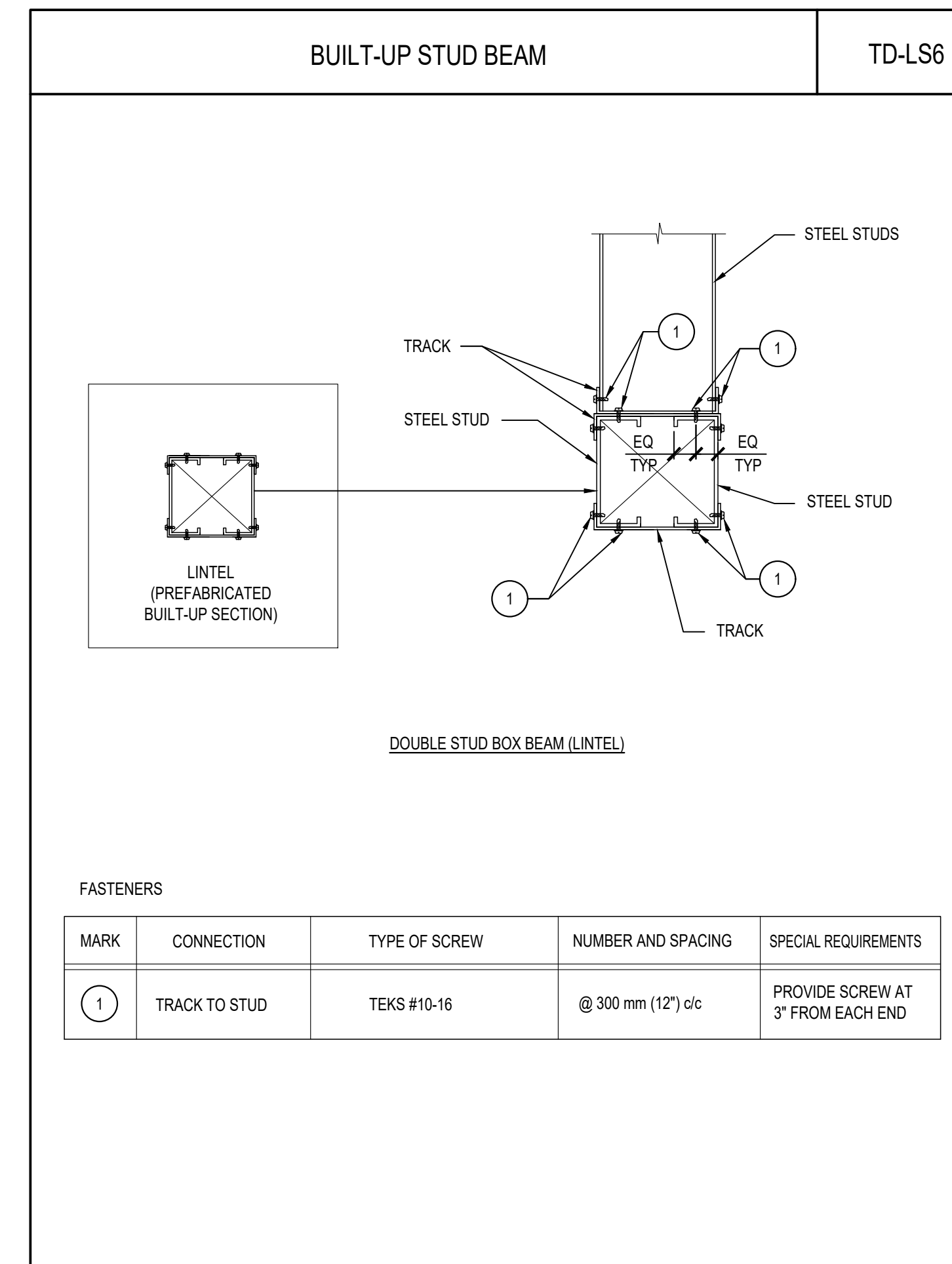
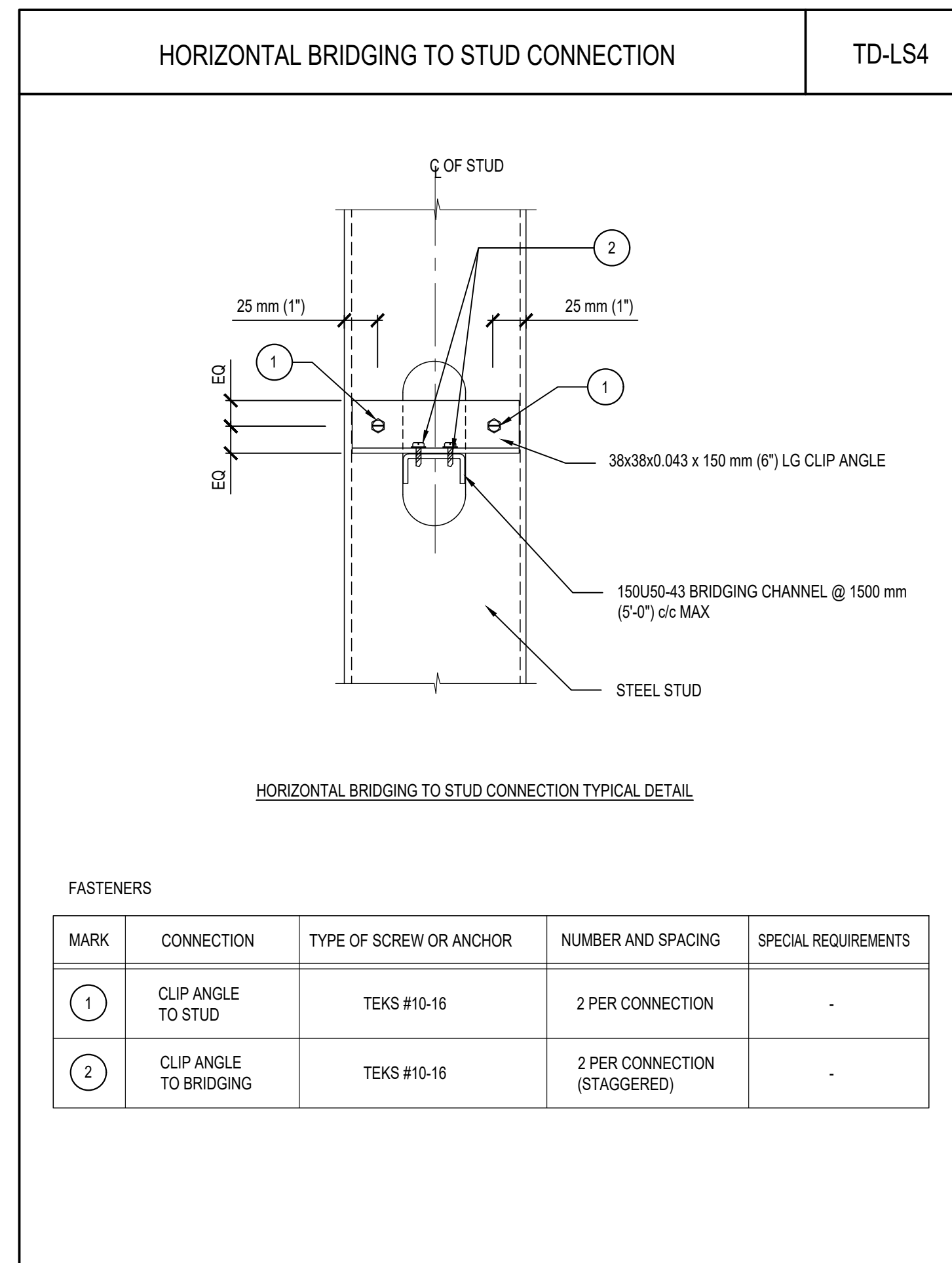
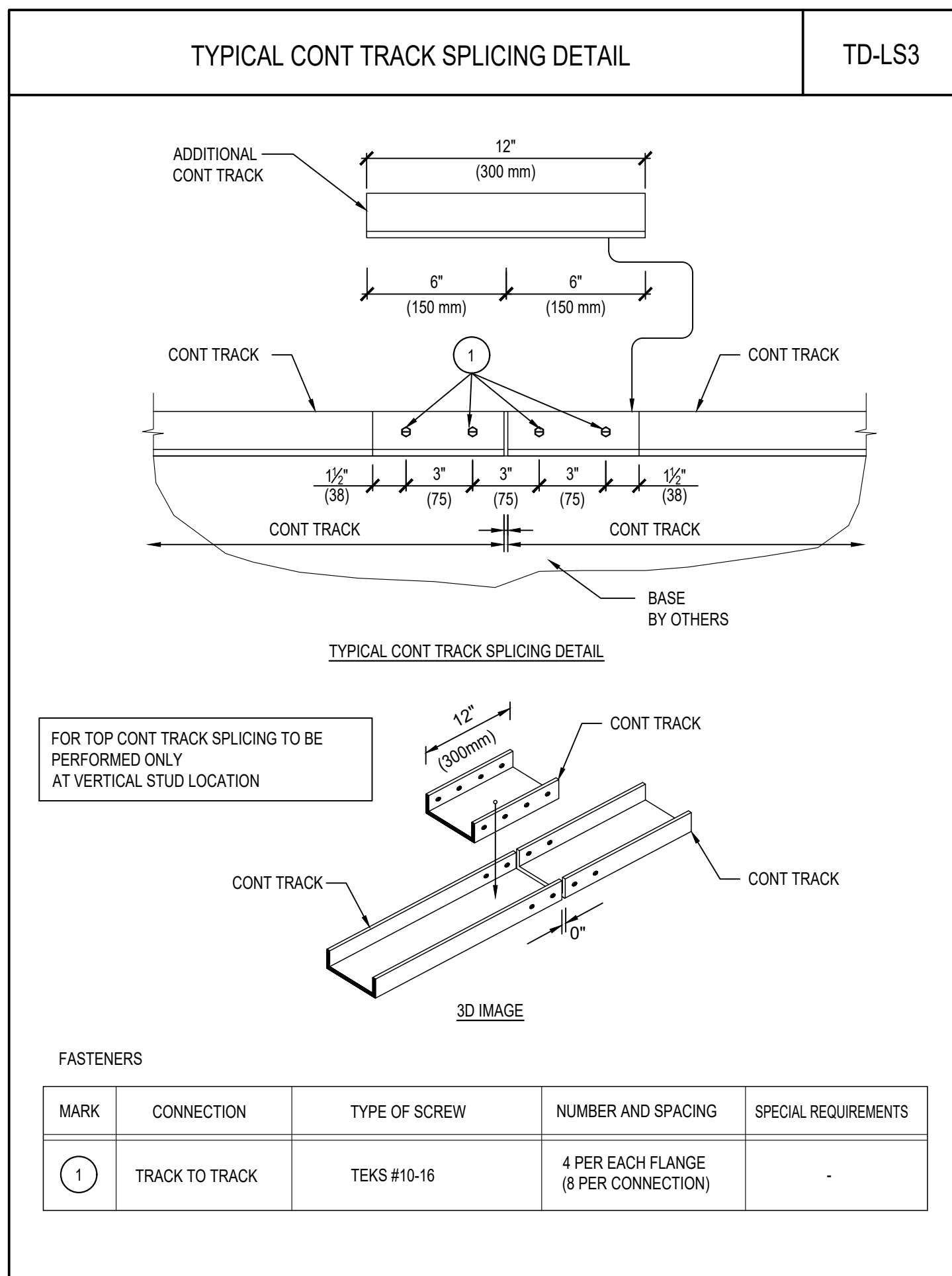
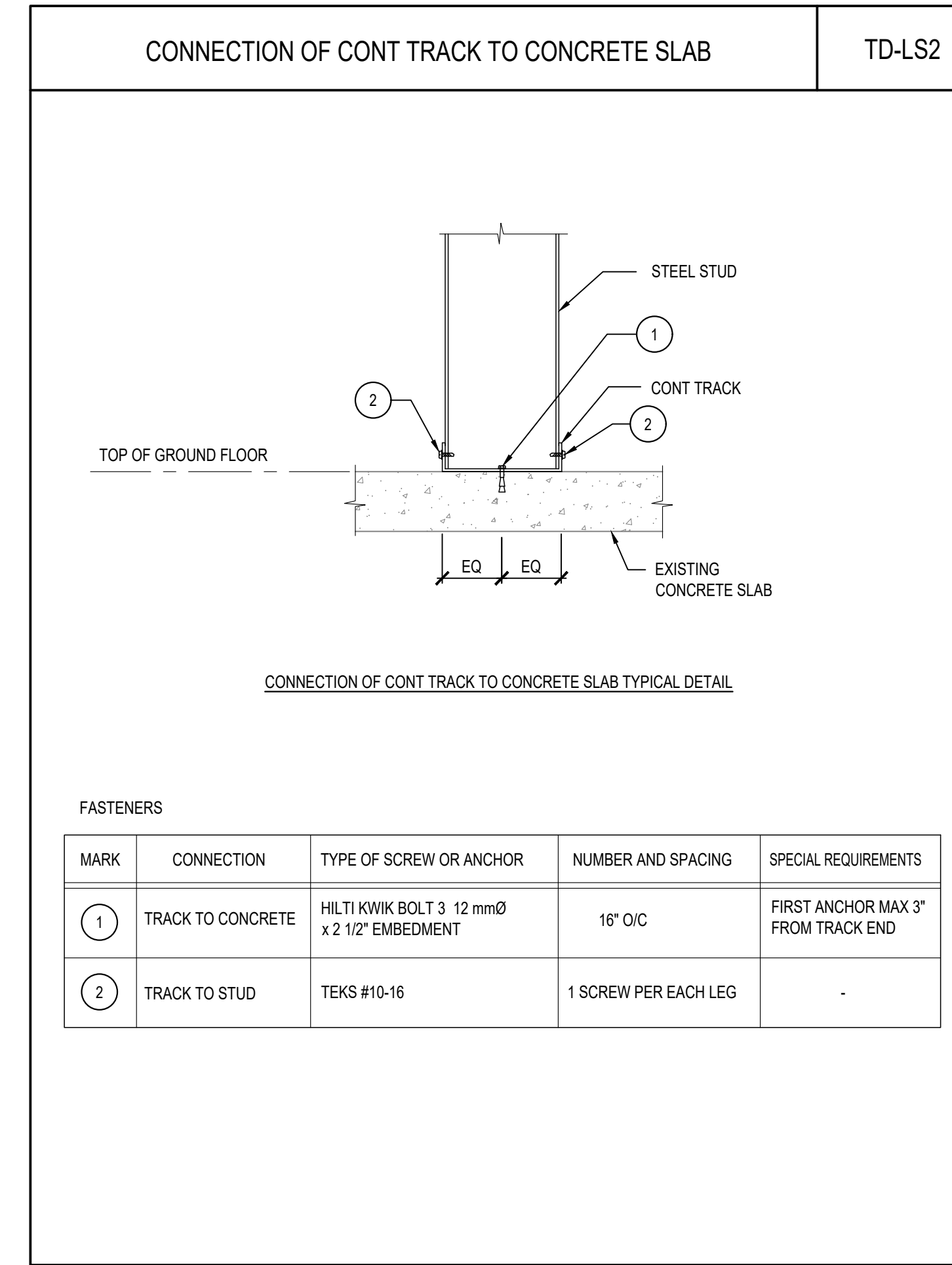
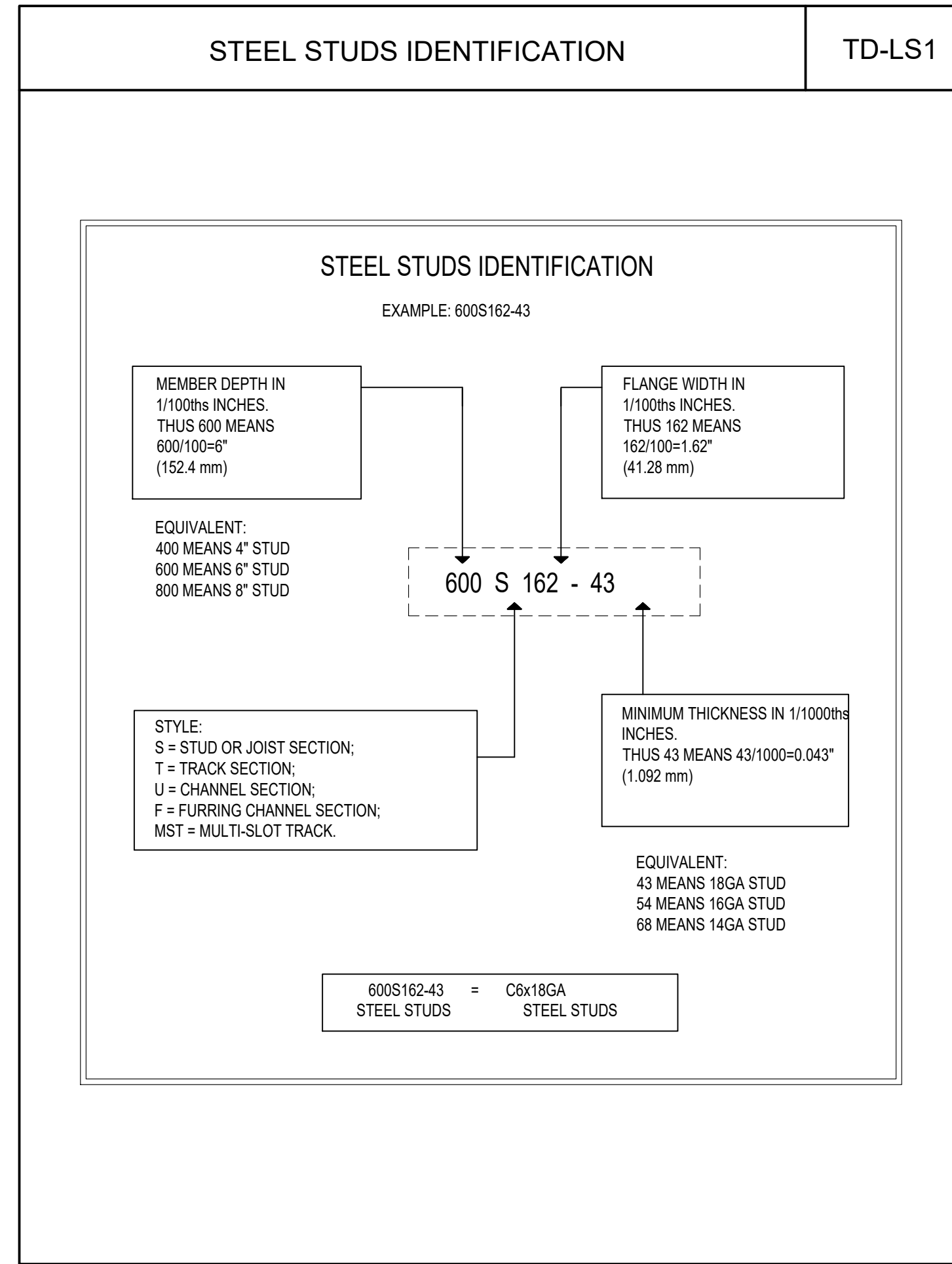
Sheet Number



No.	Revision Description	YYYY-MM-DD
1	ISSUED FOR PERMIT & TENDER	2024 - 02 - 08

STANDARD REINFORCING DEVELOPMENT & SPLICE LENGTHS							TD-CM3
fy = 500 MPa							
TABLE A BLACK BAR TENSION DEVELOPMENT LENGTH & TENSION LAP SPLICE LENGTHS CLASS "B", fy = 500 MPa				TABLE B BLACK BAR TENSION DEVELOPMENT LENGTH & TENSION LAP SPLICE LENGTHS CLASS "B", TOP BARS, fy = 500 MPa			
fy (MPa)	BAR SIZE	10	15	20	25	30	35
20		700	1050	1400	1750	2100	2450
25		630	940	1250	1560	1880	2190
30		570	860	1140	1430	1710	2000
35		530	800	1060	1320	1590	1850
40		500	740	990	1240	1480	1730
45		470	700	940	1170	1400	1630
50		450	670	890	1110	1330	1550
55		430	640	850	1060	1270	1480
60		410	610	810	1010	1210	1410
64 TO 80		390	590	780	980	1170	1370

NOTE:
1. FOR ALL BUNDLED BARS, INCREASE LENGTH OF LAP SPLICE OR DEVELOPMENT LENGTH BY 10% FOR A TWO-BAR BUNDLE, 20% FOR A THREE-BAR BUNDLE AND 33% FOR A FOUR BAR BUNDLE.
2. FOR STAINLESS STEEL, GALVANIZED AND REGULAR REINFORCING STEEL, USE VALUES IN THIS TABLE UNLESS NOTED OTHERWISE.
3. VALUES IN THIS TABLE HAVE BEEN CALCULATED ASSUMING CLEAR COVER > 1.0 DB, CLEAR SPACING NOT LESS THAN 1.4 DB.
4. VALUES ON TABLES ARE CALCULATED ASSUMING NON-EPOXY COATED REINFORCING AND NORMAL-DENSITY CONCRETE.
5. ALL TENSION LAP SPLICES ON THE PROJECT SHALL BE CONSIDERED CLASS "B" UNLESS NOTED OTHERWISE.
6. THE VALUES CALCULATED ON TABLES A & B ARE FOR MEMBERS CONTAINING MINIMUM TIES AND STIRRUPS AS PER CSA CL 11.2 & 2 AND CL 7.6.5, OR FOR SLABS, WALLS SHELLS OR FOLDED PLATES HAVING CLEAR SPACING BETWEEN BARS OF NOT LESS THAN 2.0 DB.



North

Project Title:

PARK WASHROOM RENOVATION

1873 BLOOR STREET WEST, TORONTO, ON

Designed by: STB Scale: NTS

Drawn by: AQV Date: JAN 23, 2024

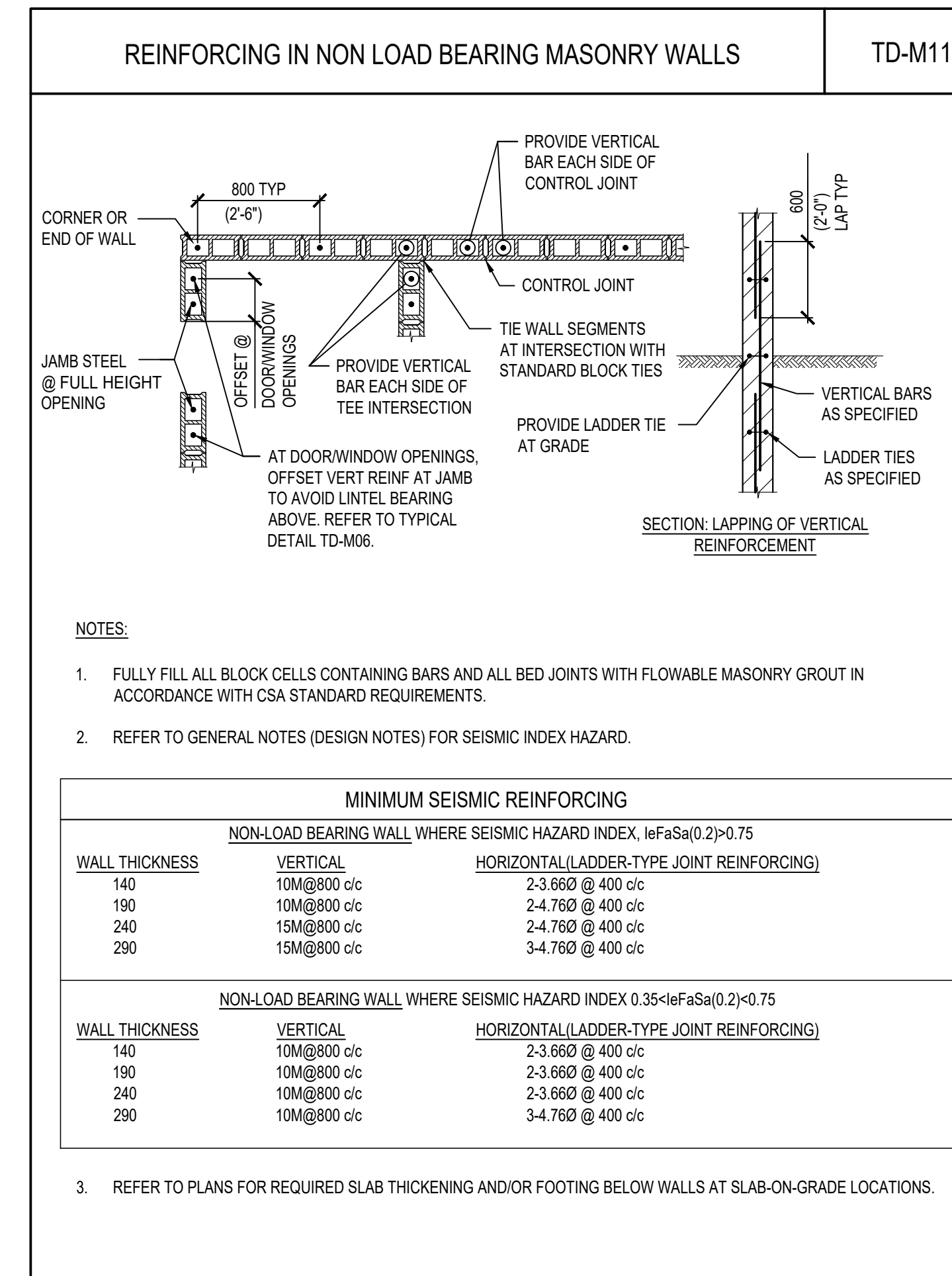
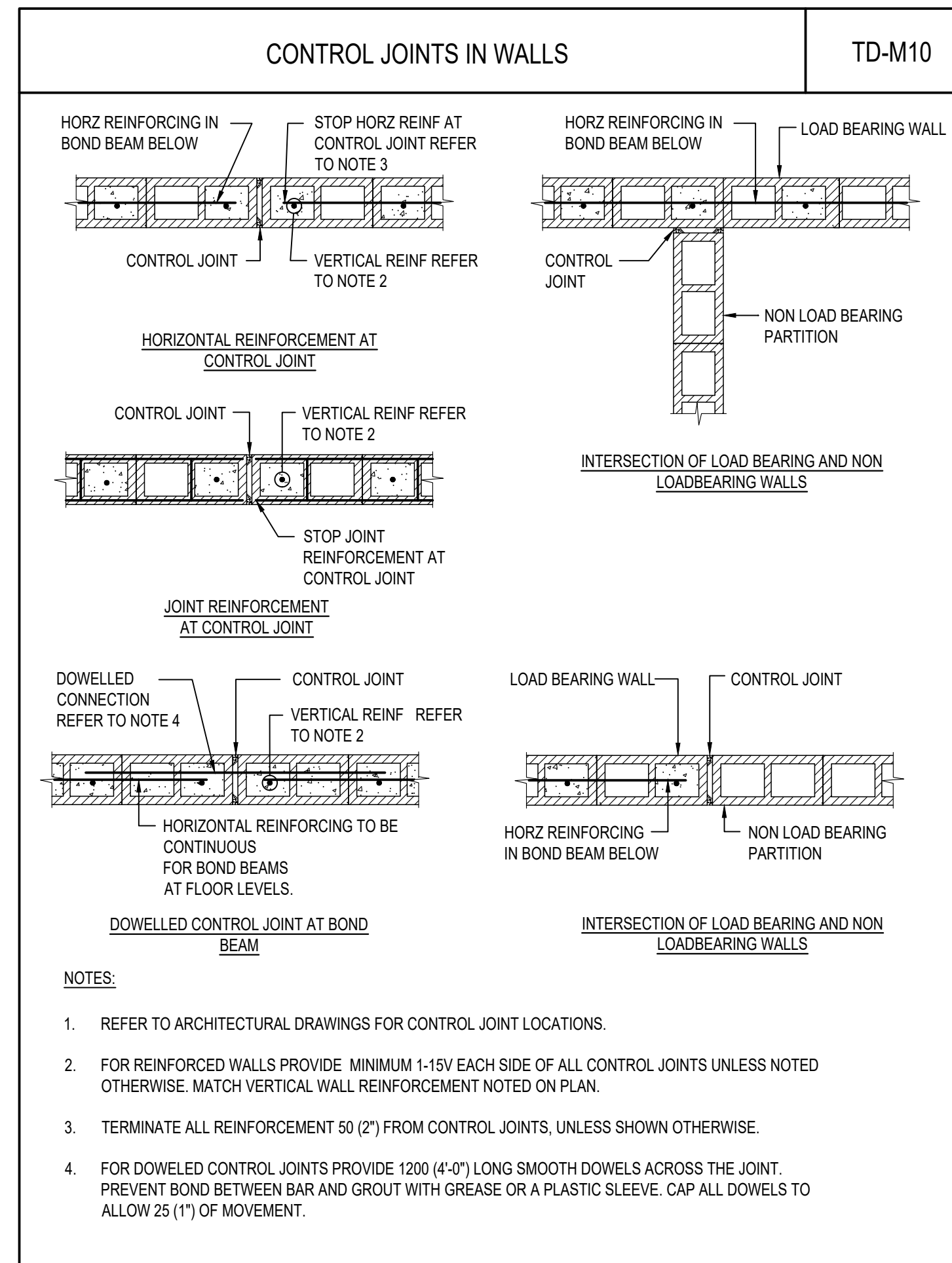
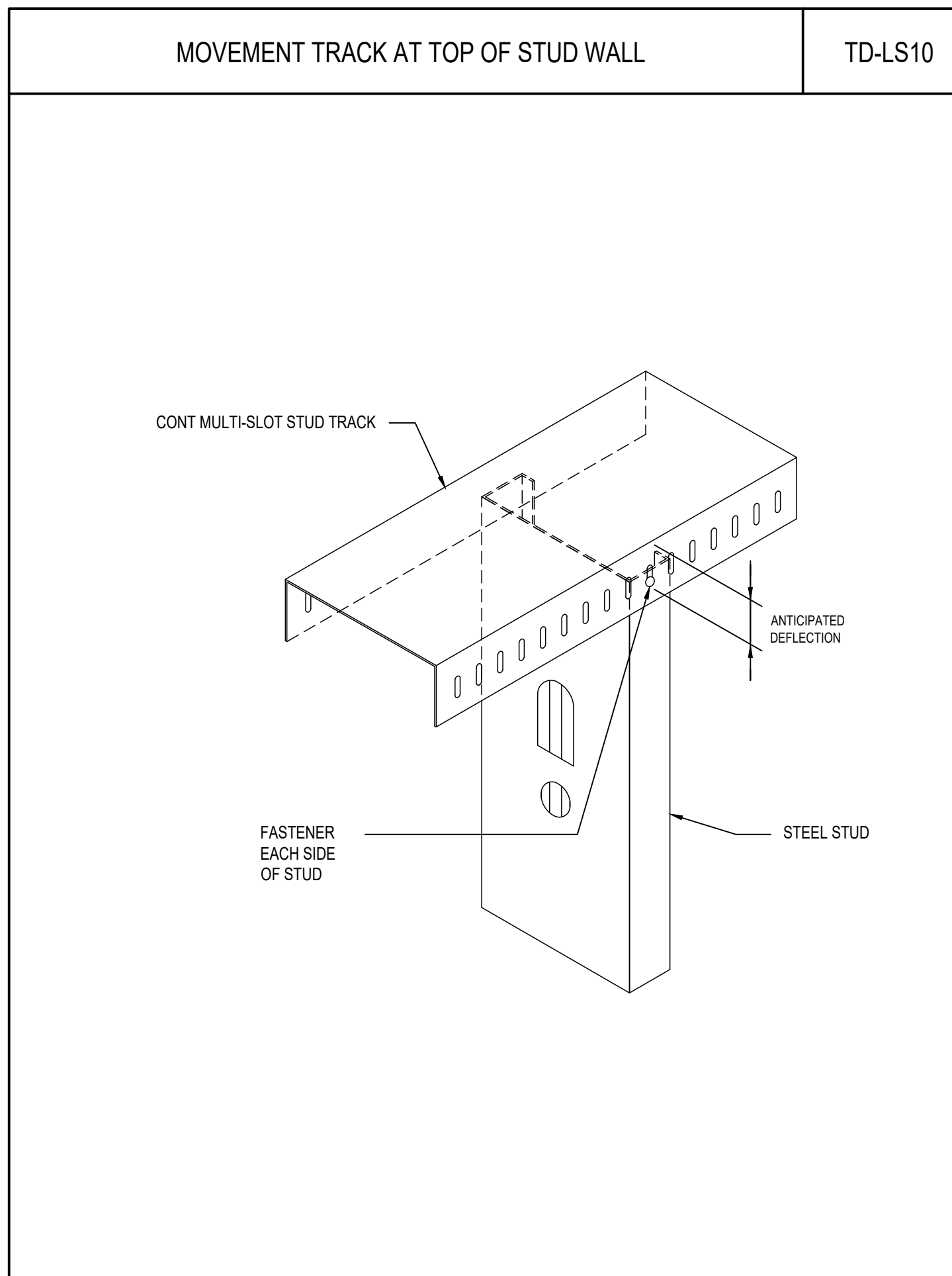
Sheet Title

TYPICAL DETAILS

Sheet Number



No.	Revision Description	YYYY-MM-DD
1	ISSUED FOR PERMIT & TENDER	2024-02-08



REINFORCEMENT DEVELOPMENT LENGTHS IN MASONRY TD-M14

BAR SIZE	GROUT STRENGTH			
	10 MPa	15 MPa	20 MPa	25 MPa
10M	460	380	330	290
15M	690	560	490	440
20M	920	750	650	580
25M	1430	1170	1010	900
30M	1710	1400	1210	1080

BAR SIZE	GROUT STRENGTH			
	10 MPa	15 MPa	20 MPa	25 MPa
10M	600	490	420	390
15M	890	730	630	570
20M	1190	970	840	750
25M	1860	1520	1310	1170
30M	2230	1820	1580	1410

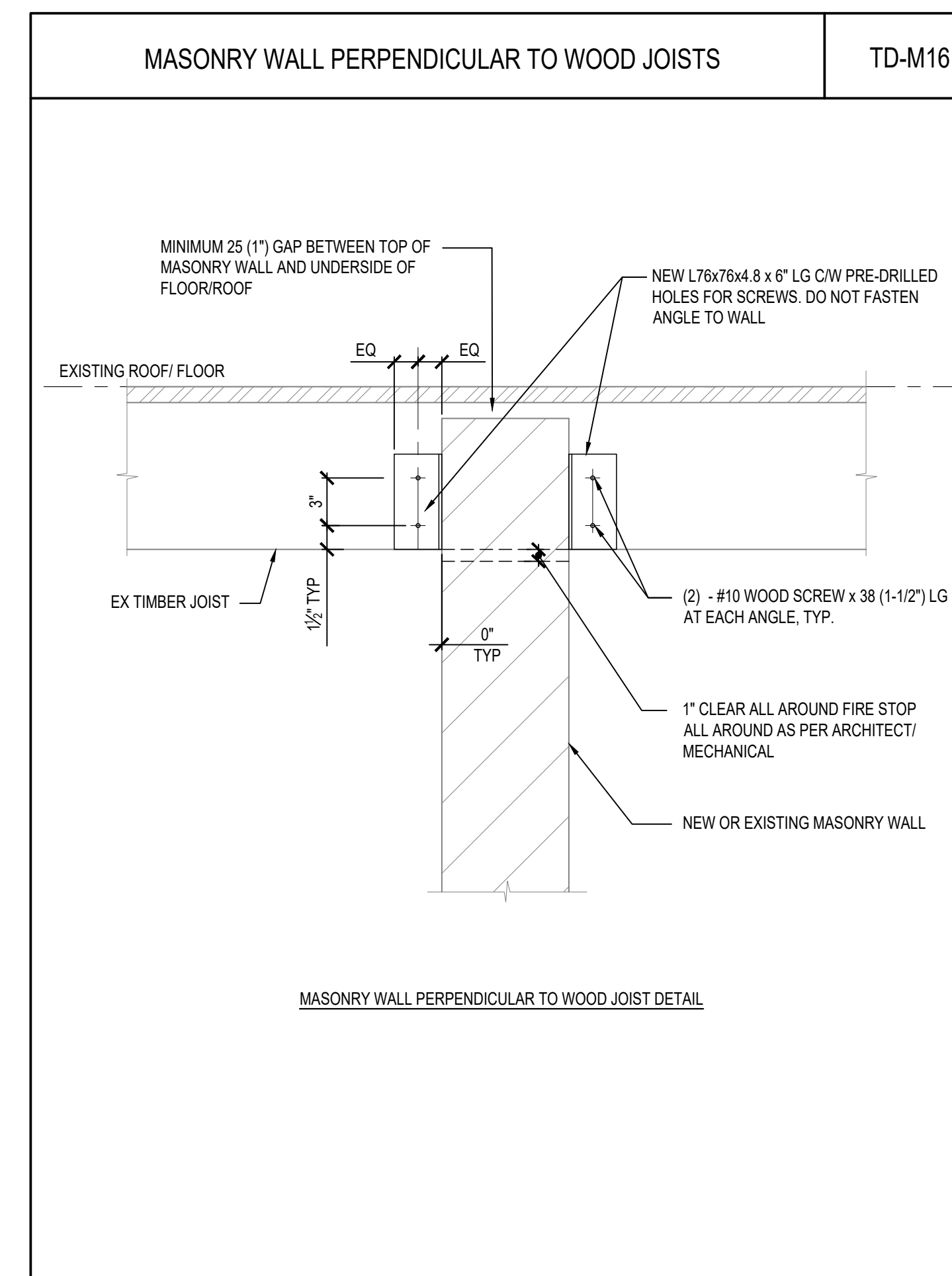
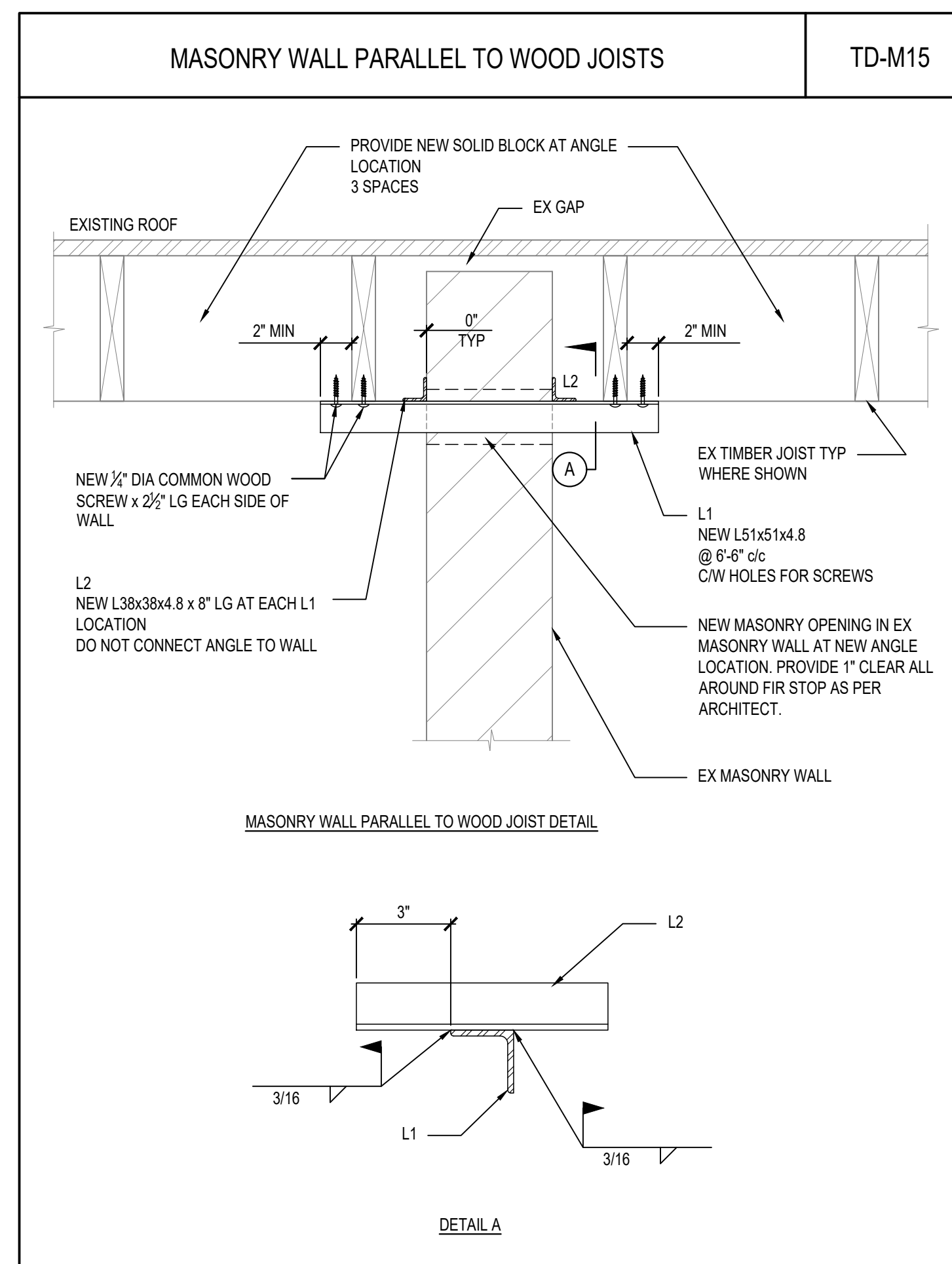
BAR SIZE	GROUT STRENGTH			
	10 MPa	15 MPa	20 MPa	25 MPa
10M	320	260	230	200
15M	480	390	340	300
20M	640	520	450	400
25M	800	650	560	500
30M	950	780	680	600

BAR SIZE	GROUT STRENGTH			
	10 MPa	15 MPa	20 MPa	25 MPa
10M	310	250	220	200
15M	460	380	330	290
20M	610	500	430	390
25M	760	620	540	480
30M	920	750	650	580

BAR SIZE	GROUT STRENGTH			
	10 MPa	15 MPa	20 MPa	25 MPa
10M	310	300	300	300
15M	460	440	440	440
20M	610	590	590	590
25M	760	730	730	730
30M	920	880	880	880

NOTES:

- 35M, 45M AND 55M BARS SHALL NOT BE USED IN MASONRY.
- LAP SPLICE LENGTHS NOT APPLICABLE FOR BUNDLED BARS.



North

Project Title:

PARK WASHROOM RENOVATION

1873 BLOOR STREET WEST, TORONTO, ON

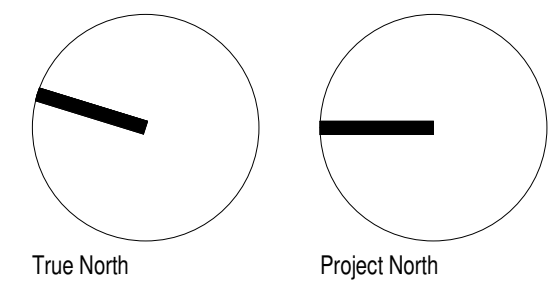
Designed by: STB Scale: NTS

Drawn by: AQV Date: JAN 23, 2024

Sheet Title

TYPICAL DETAILS

Sheet Number



Lower Hillside Washroom Building
Improvements
City of Toronto
1873 BLOOR ST W
TORONTO, ON M8R 2Z3

2222

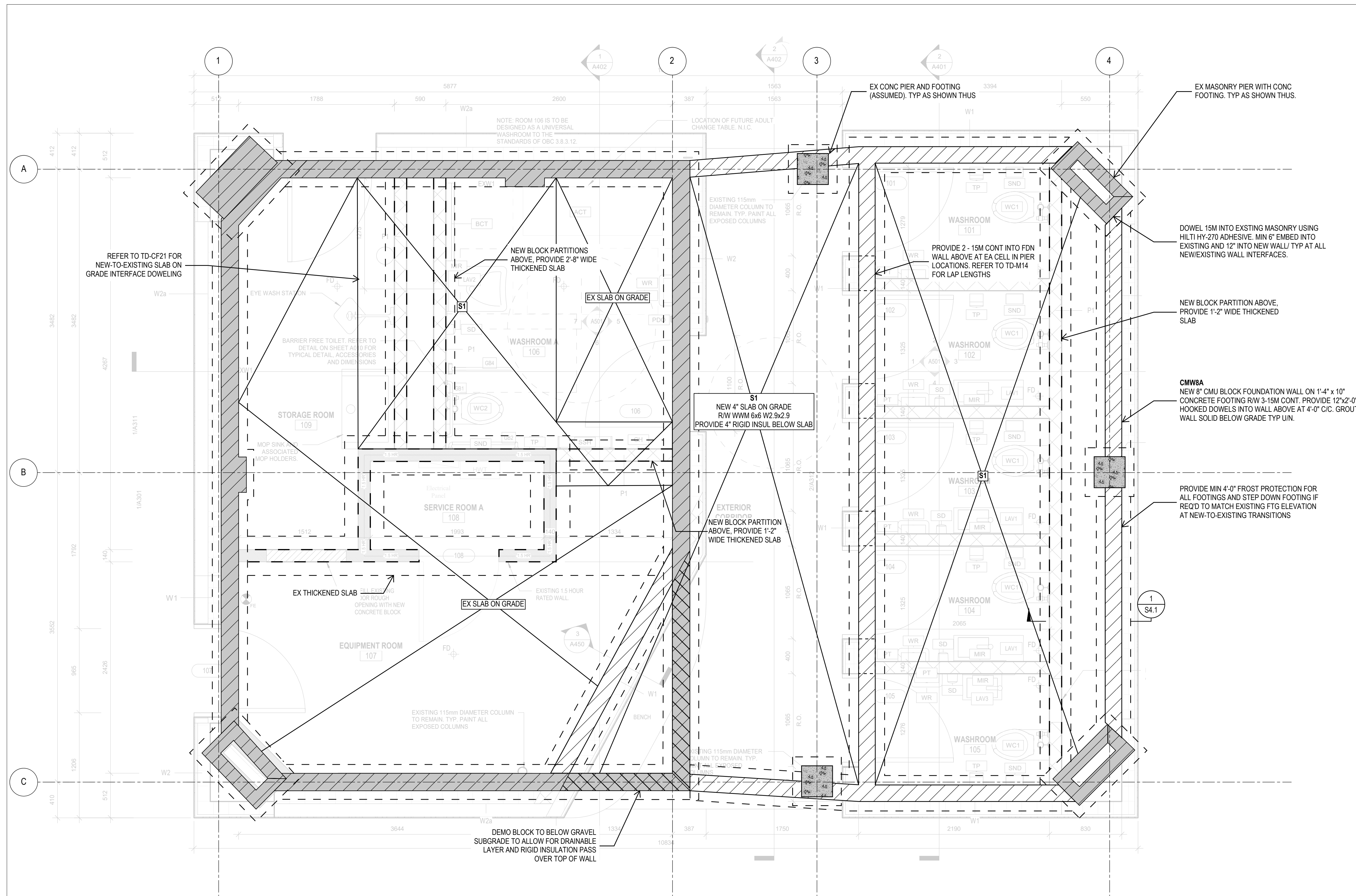
No.	Date	Description
1	FEB 08, 2024	ISSUED FOR PERMIT & TENDER

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

Drawn: STB
Checked: ADV
Issued For: PERMIT & TENDER
Date: JANUARY 08, 2024

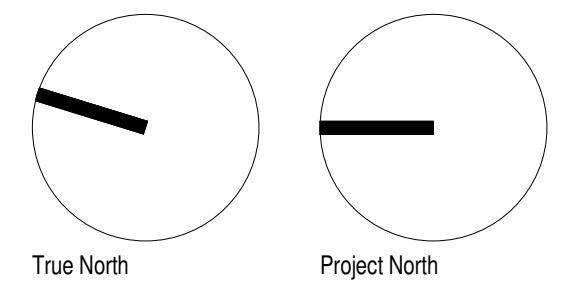
FOUNDATION PLAN

S2.1



A
S2.1 FOUNDATION FRAMING PLAN
1:25

- NOTES:
1. A SOIL BEARING CAPACITY OF 100 kPa / 2,100 psf (SLS) AND 225 kPa / 4,700 psf (ULS) HAS BEEN USED IN DESIGN. THIS IS TO BE VERIFIED BY A GEOTECHNICAL CONSULTANT PRIOR TO PLACEMENT OF FOOTINGS.
 2. REFER TO GENERAL NOTES AND TYPICAL DETAILS FOR ADDITIONAL INFORMATION



Lower Hillside Washroom Building Improvements

City of Toronto
1873 BLOOR ST W
TORONTO, ON M6R 2Z3

2222

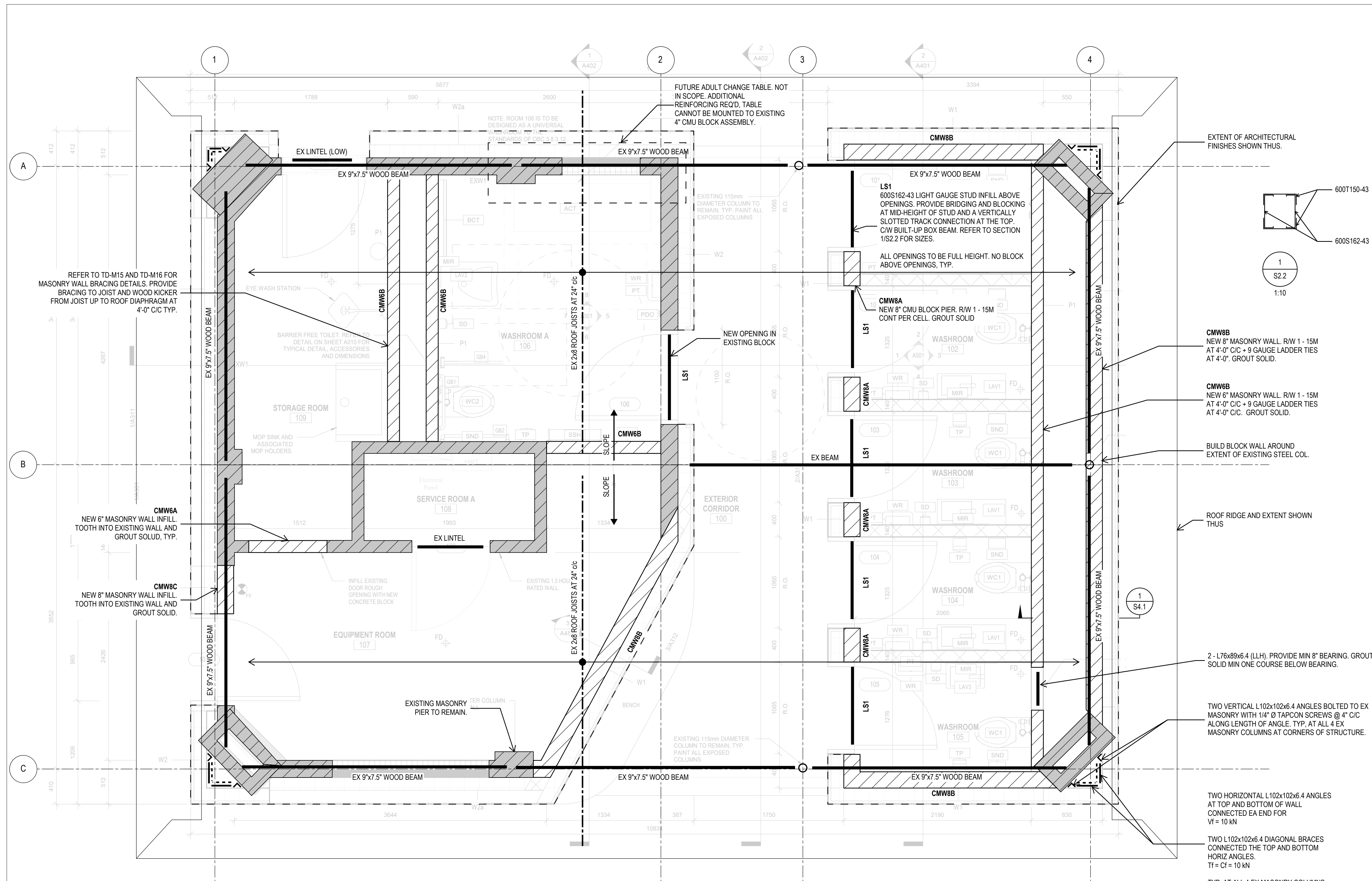
No.	Date	Description
1	FEB 08, 2024	ISSUED FOR PERMIT & TENDER

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

Drawn: STB
Checked: ADV
Issued For: PERMIT & TENDER
Date: JANUARY 08, 2024

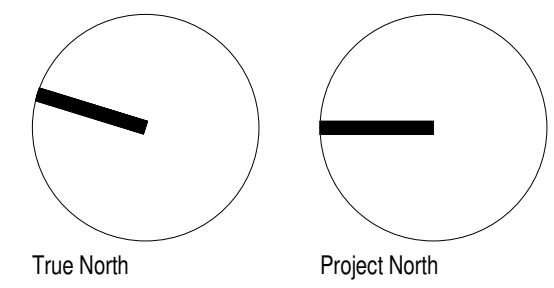
ROOF FRAMING PLAN

S2.2



A ROOF FRAMING PLAN
S2.2 1:25

- NOTES:
- NO STRUCTURAL ALTERATIONS PROPOSED TO MAIN ROOF STRUCTURE.
 - VERIFY ALL EXISTING CONDITIONS AT ONSET OF CONSTRUCTION AND NOTIFY CONSULTANTS OF ANY DISCREPANCIES PRIOR TO PROCEEDING W/ WORK.



Lower Hillside Washroom Building
Improvements
City of Toronto
1873 BLOOR ST W
TORONTO, ON M6R 2Z3

2222

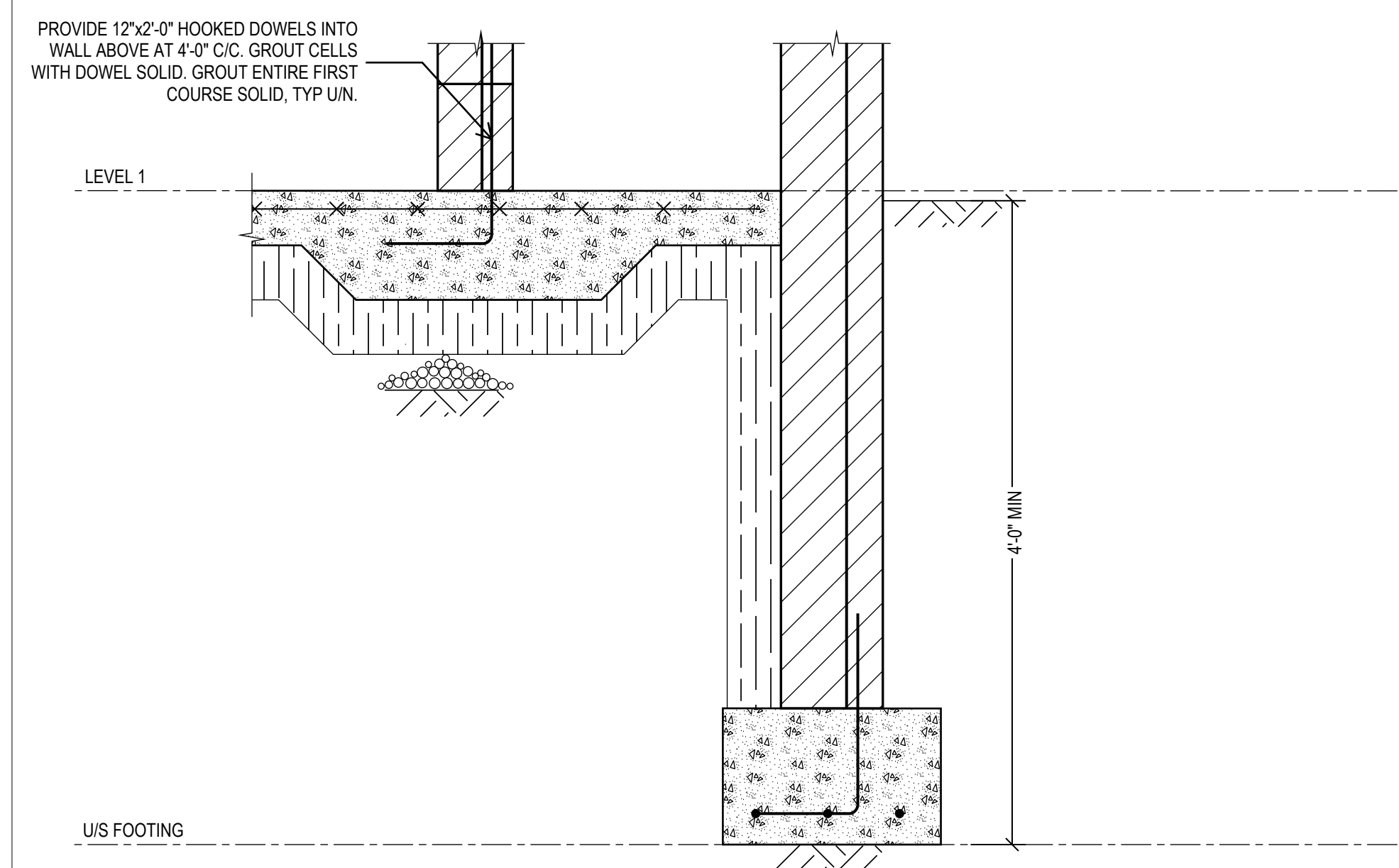
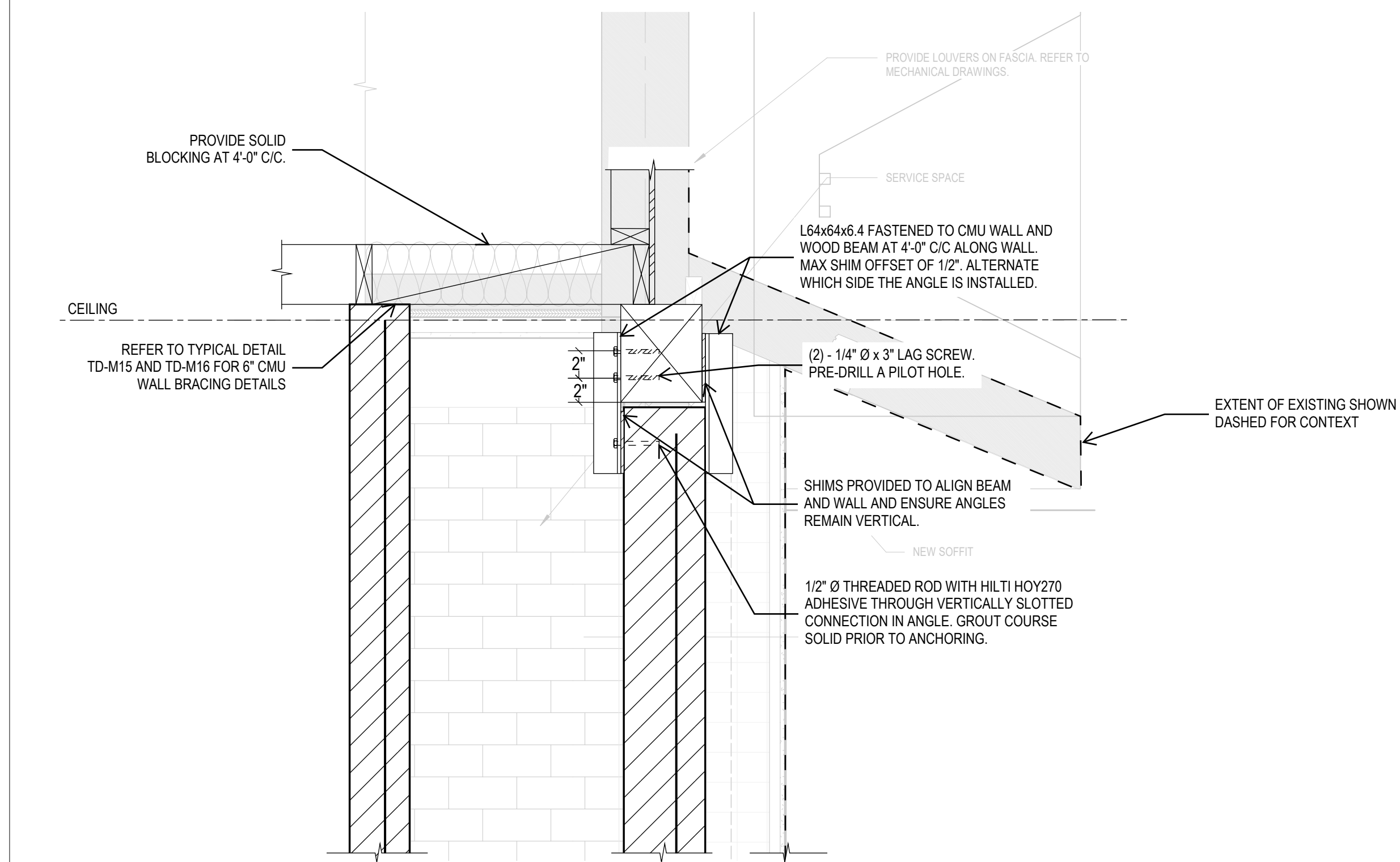
No.	Date	Description
1	FEB 08, 2024	ISSUED FOR PERMIT & TENDER

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

Drawn: STB
Checked: ADV
Issued For: PERMIT & TENDER
Date: JANUARY 08, 2024

DETAILS AND SECTIONS

S4.1

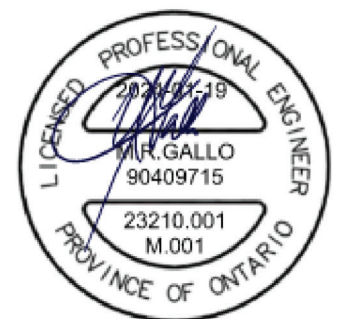


1
S4.1
1:10

PROJECT CONTACT

NAME: SCOTT GOULD
TEL: 416-218-7019
EMAIL: scott.gould@smithandandersen.com

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH MECHANICAL SPECIFICATION SUBMITTED FOR THIS PROJECT.



Smith + Andersen

1100 - 100 Sheppard Ave. East, Toronto, ON M2N 6N5
416 487 8151 / 416 487 9104 smithandandersen.com

Lower Hillside Washroom Building Improvements

City of Toronto
1873 BLOOR ST W
TORONTO, ON M6R 2Z3

Issue / Revision

No.	Date	Description
1.	23/11/06	Issued for 50% Tender Review
2.	24/02/08	Issued for Permit / Tender

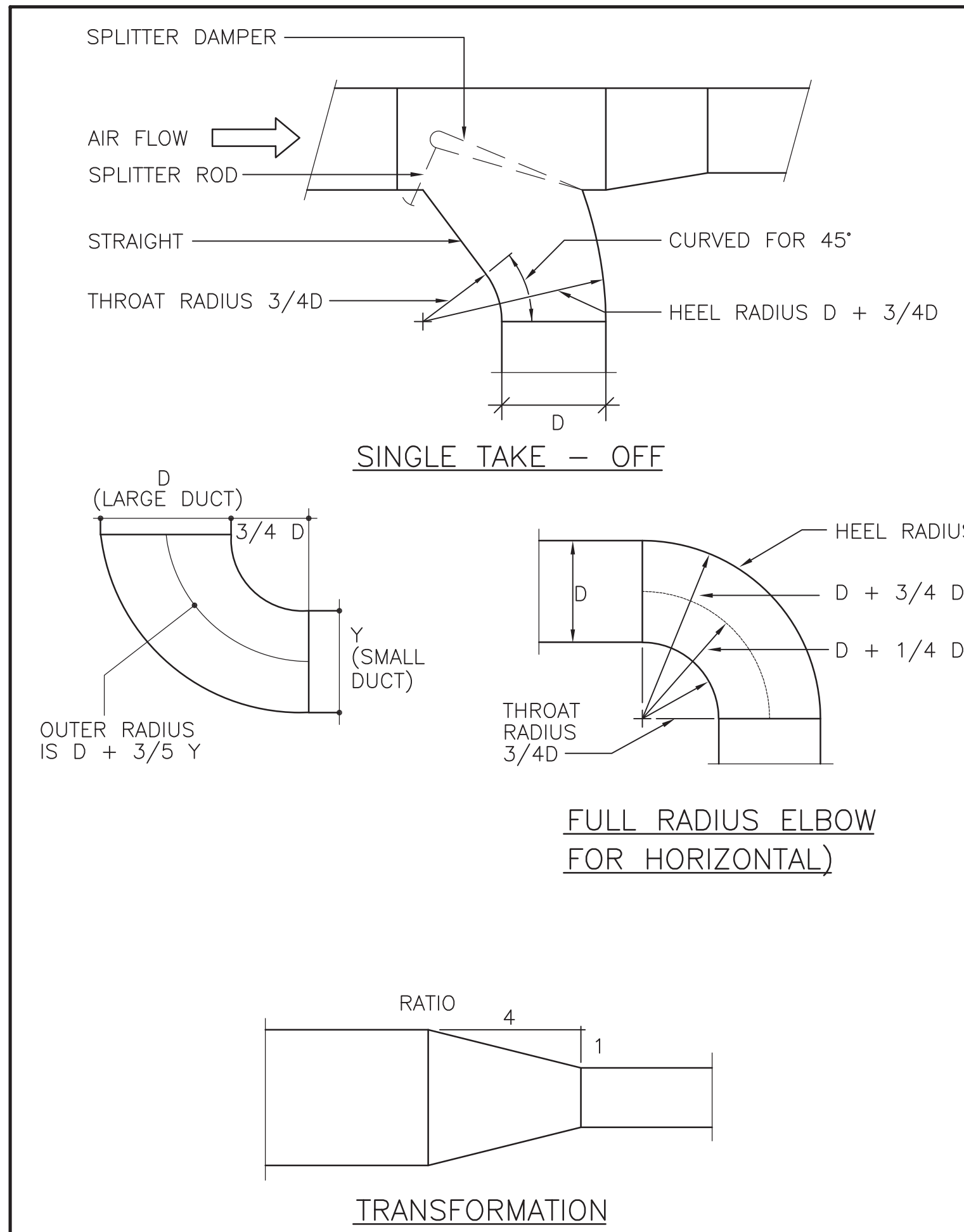
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

Project: 23210.001.ME
Drawn: S.G.
Checked: A.V.
Scale: N.T.S.
Date: 2023.04
Sheet Title:

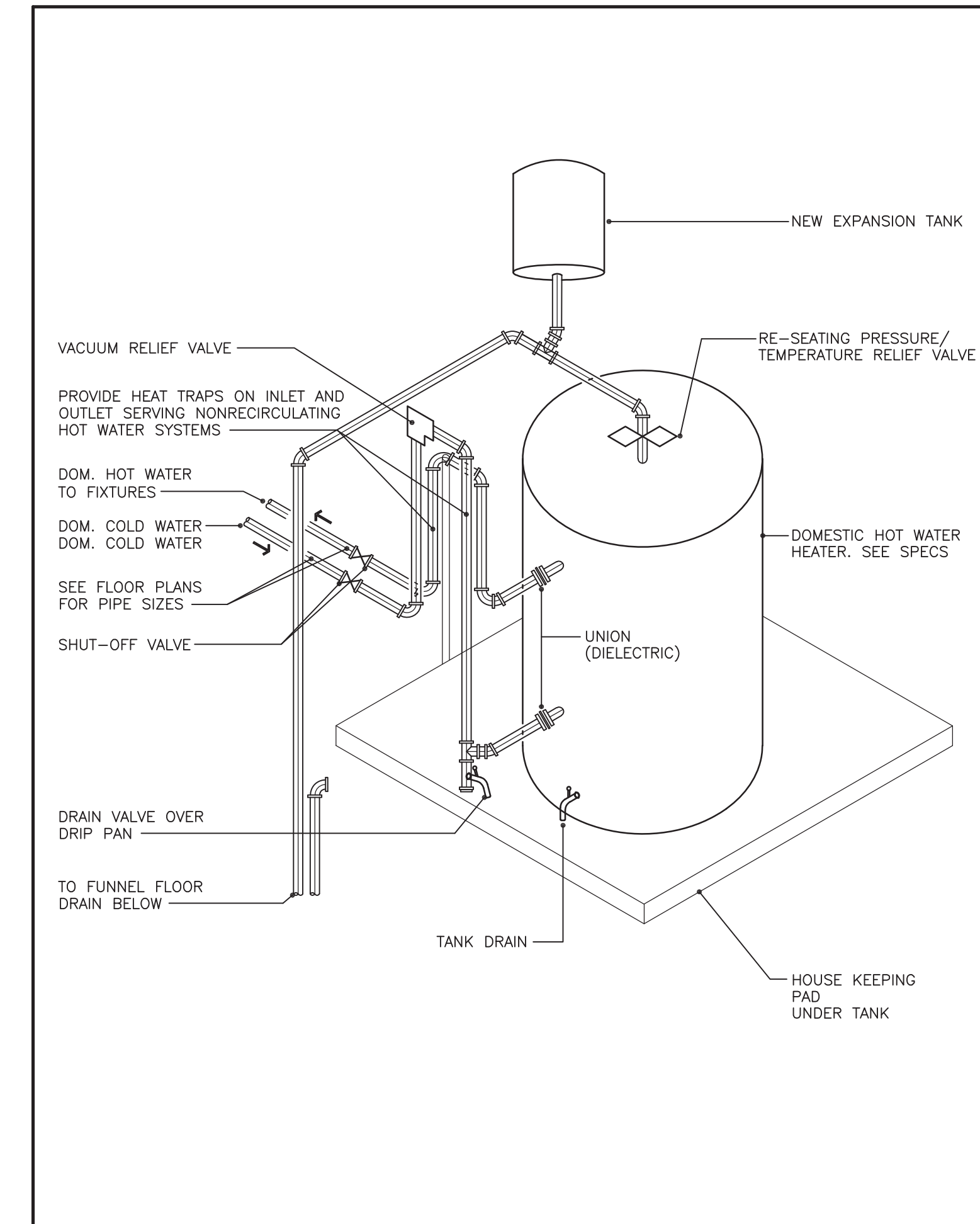
**MECHANICAL
STANDARD DETAILS.**

Drawing #:

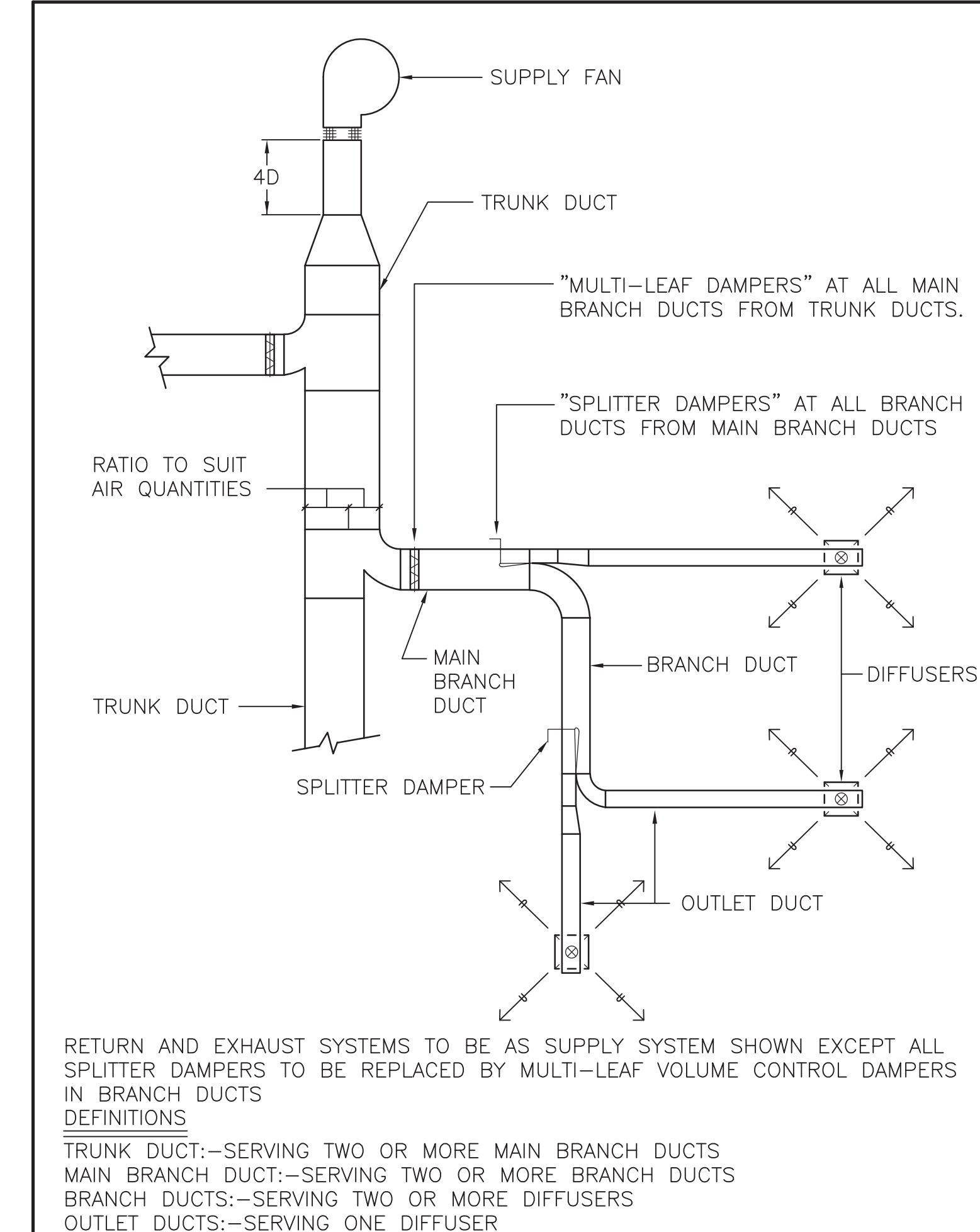
TM-0.1



3 DUCT DETAILS (MSD-840.05)



1 DOM. HOT WATER HEATER DETAIL

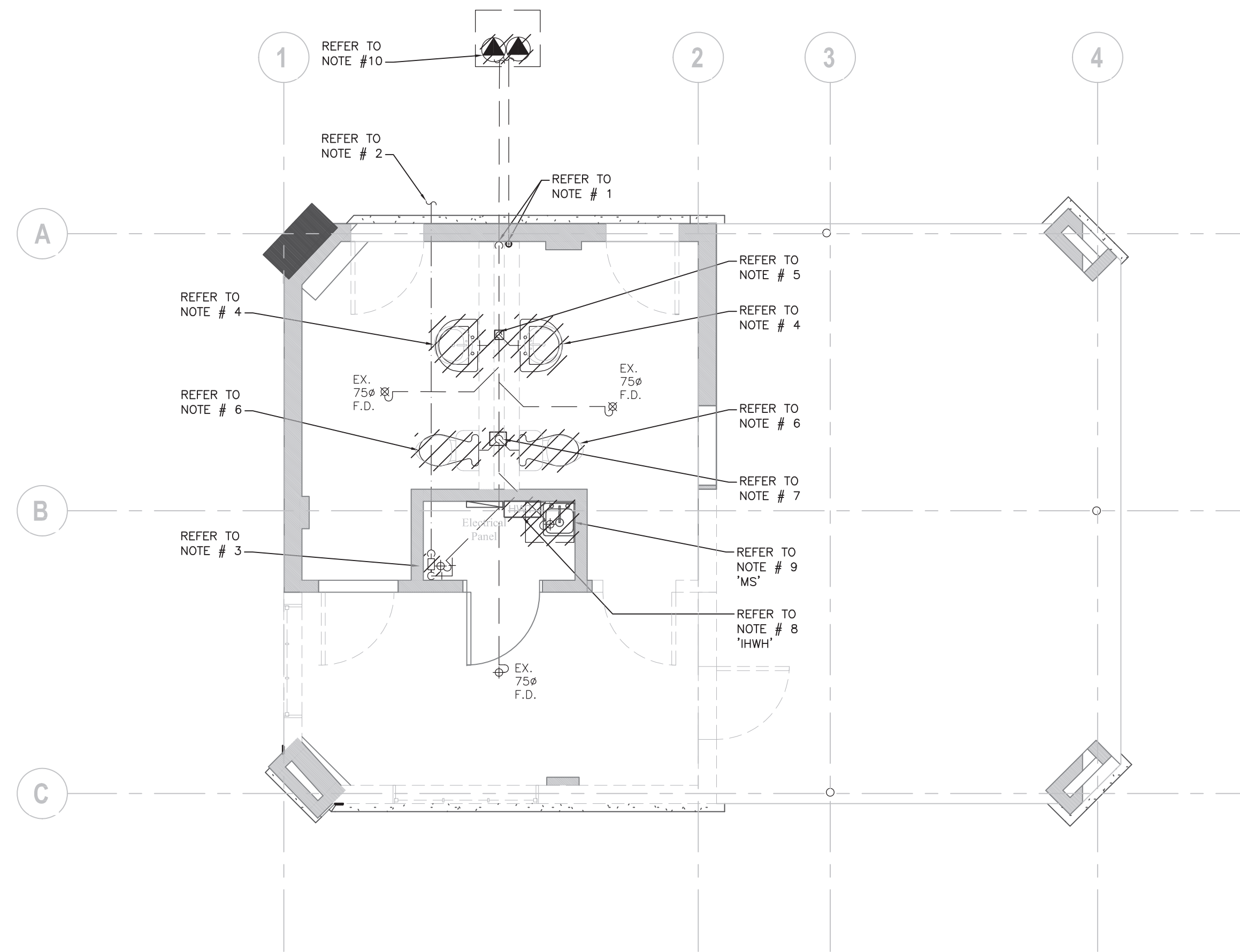


2 BALANCING DAMPERS (MSD-840.03)

5 NOT USED

6 NOT USED

4 NOT USED



GENERAL NOTES:

- DO NOT SCALE DRAWINGS. THE LOCATIONS OF ALL ITEMS SHOWN ON THE DRAWINGS OR SPECIFIED THAT ARE NOT DEFINITELY FIXED BY DIMENSIONS ARE APPROXIMATE. DETERMINE THE EXACT LOCATIONS NECESSARY TO SECURE THE BEST CONDITIONS AND RESULTS BASED ON THE SITE CONDITIONS. REVIEW ALL REVISIONS WITH THE CONSULTANT.
- READ FLOOR PLANS IN CONJUNCTION WITH SCHEMATICS. ASSUME INFORMATION SHOWN ON FLOOR PLANS TO BE APPLICABLE TO THE RELATED SYSTEM SCHEMATIC AND VICE-VERSA TO PROVIDE A COMPLETE AND OPERATIONAL SYSTEM.
- VERIFY STRUCTURAL INTEGRITY OF ALL TEMPORARY AND PERMANENT OPENINGS. PROVIDE ADDITIONAL FRAMING TO ENSURE STRUCTURAL INTEGRITY AS REQUIRED.
- REFER TO STANDARD DETAILS AND DETAIL SHEETS FOR ADDITIONAL INFORMATION.

DRAWING NOTES:

1. EXISTING 100# BURIED SANITARY TO EXISTING PUMPING STATION BEYOND. EXISTING 50# VENT PIPE UP FROM EXISTING PUMPING STATION.
2. EXISTING BURIED INCOMING 50# DOMESTIC COLD WATER LINE TO REMAIN.
3. EXISTING 40# WATER METER TO BE REMOVED. CAP EXISTING SERVICES TO ALLOW FOR INSTALLATION OF NEW 50# METER.
4. REMOVE EXISTING LAVATORY(S) AND ALL ASSOCIATED DOMESTIC HOT AND COLD WATER PIPES, VENT PIPE AND SANITARY DRAIN. (TYPICAL).
5. CONTRACTOR TO CAP EXISTING LAVATORY DRAIN BELOW FLOOR SLAB AND PATCH FLOOR SLAB.
6. REMOVE EXISTING WATER CLOSET(S) AND ALL ASSOCIATED DOMESTIC COLD WATER PIPES, VENT PIPE AND SANITARY DRAIN. (TYPICAL).
7. CONTRACTOR TO CAP EXISTING WATER CLOSET DRAIN BELOW FLOOR SLAB AND PATCH FLOOR SLAB.
8. REMOVE EXISTING ELECTRIC INSTANT HOT WATER HEATER, TEMPORARILY CAP EXISTING SERVICES TO ALLOW FOR NEW HEATER INSTALLATION. ELECTRIC DISCONNECTION BY ELECTRICAL DIVISION.
9. REMOVE EXISTING MOP SINK AND ALL ASSOCIATED HOT AND COLD WATER PIPES, VENT PIPE AND SANITARY DRAIN. REMOVE BURIED P TRAP AND CAP SANITARY DRAIN BELOW FLOOR..
10. REMOVE EXISTING GRINDER DUPLEX PUMP SET. ELECTRICAL DISCONNECTION BY ELECTRICAL DIVISION.

PROJECT CONTACT

NAME: SCOTT GOULD
TEL: 416-218-7019
EMAIL: scott.gould@smithandandersen.com

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH MECHANICAL SPECIFICATION SUBMITTED FOR THIS PROJECT.



Smith + Andersen
1100 - 100 Sheppard Ave. East, Toronto, ON, M2N 6N5
416 487 8151 / 416 487 9104 smithandandersen.com

Lower Hillside Washroom Building Improvements

City of Toronto
1873 BLOOR ST W
TORONTO, ON M6R 2Z3

No.	Date	Issue / Revision Description
1.	23/11/06	Issued for 50% Tender Review
2.	24/02/08	Issued for Permit / Tender

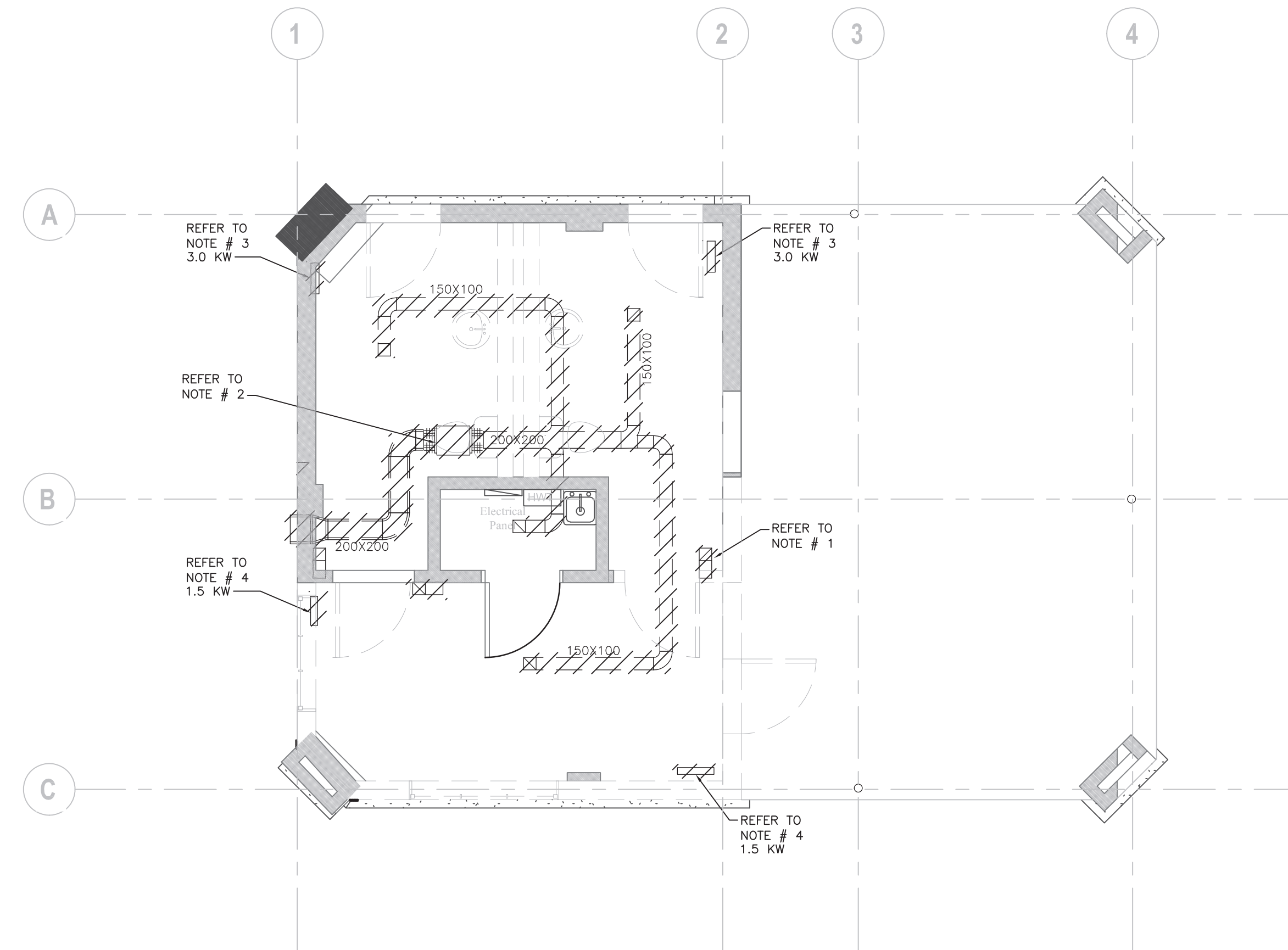
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

Project: 23210.001.ME
Drawn: S.G.
Checked: A.V.
Scale : 1:50
Date: 2023.04
Sheet Title:

**GROUND FLOOR
PLUMBING & DRAINAGE
DEMOLITION LAYOUT**

Drawing #:

TM-1.2



GENERAL NOTES:

- DO NOT SCALE DRAWINGS. THE LOCATIONS OF ALL ITEMS SHOWN ON THE DRAWINGS OR SPECIFIED THAT ARE NOT DEFINITELY FIXED BY DIMENSIONS ARE APPROXIMATE. DETERMINE THE EXACT LOCATIONS NECESSARY TO SECURE THE BEST CONDITIONS AND RESULTS BASED ON THE SITE CONDITIONS. REVIEW ALL REVISIONS WITH THE CONSULTANT.
- READ FLOOR PLANS IN CONJUNCTION WITH SCHEMATICS. ASSUME INFORMATION SHOWN ON FLOOR PLANS TO BE APPLICABLE TO THE RELATED SYSTEM SCHEMATIC AND VICE-VERSA TO PROVIDE A COMPLETE AND OPERATIONAL SYSTEM.
- VERIFY STRUCTURAL INTEGRITY OF ALL TEMPORARY AND PERMANENT OPENINGS. PROVIDE ADDITIONAL FRAMING TO ENSURE STRUCTURAL INTEGRITY AS REQUIRED.
- REFER TO STANDARD DETAILS AND DETAIL SHEETS FOR ADDITIONAL INFORMATION.

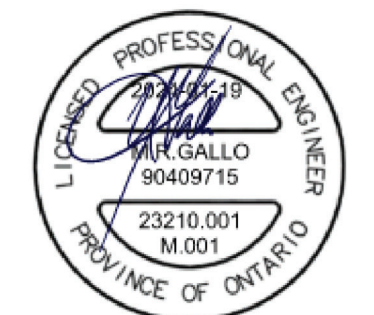
DRAWING NOTES:

1. EXISTING 150X150 TRANSFER GRILLE AND ACOUSTICALLY LINED DUCT TO BE REMOVED. (TYPICAL).
2. REMOVE EXISTING SANITARY EXHAUST FAN AND ALL ASSOCIATED SANITARY EXHAUST DUCTWORK.
3. REMOVE AND RELOCATE EXISTING 3.0 KW FORCE FLOW HEATERS. CONTRACTOR TO SUBMIT A REPORT ON CONDITION OF EXISTING ELECTRIC FORCE FLOW HEATER AND PROVIDE COSTS ASSOCIATED WITH RECOMMENDED REPAIR, MAINTENANCE OR REPLACEMENT. ELECTRICAL DISCONNECTION AND RECONNECTION BY THE ELECTRICAL DIVISION.
4. REMOVE AND DISPOSE OF EXISTING ELECTRIC FORCE FLOW HEATERS. ELECTRICAL DISCONNECTION BY THE ELECTRICAL DIVISION.

PROJECT CONTACT

NAME: SCOTT GOULD
TEL: 416-218-7019
EMAIL: scott.gould@smithandandersen.com

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH MECHANICAL SPECIFICATION SUBMITTED FOR THIS PROJECT.



Smith + Andersen

1100 - 100 Sheppard Ave. East, Toronto, ON M2N 6N6
416 487 8151 / 416 487 9104 smithandandersen.com

Lower Hillside Washroom Building Improvements

City of Toronto
1873 BLOOR ST W
TORONTO, ON M6R 2Z3

No.	Date	Issue / Revision Description
1.	23/11/06	Issued for 50% Tender Review
2.	24/02/08	Issued for Permit / Tender

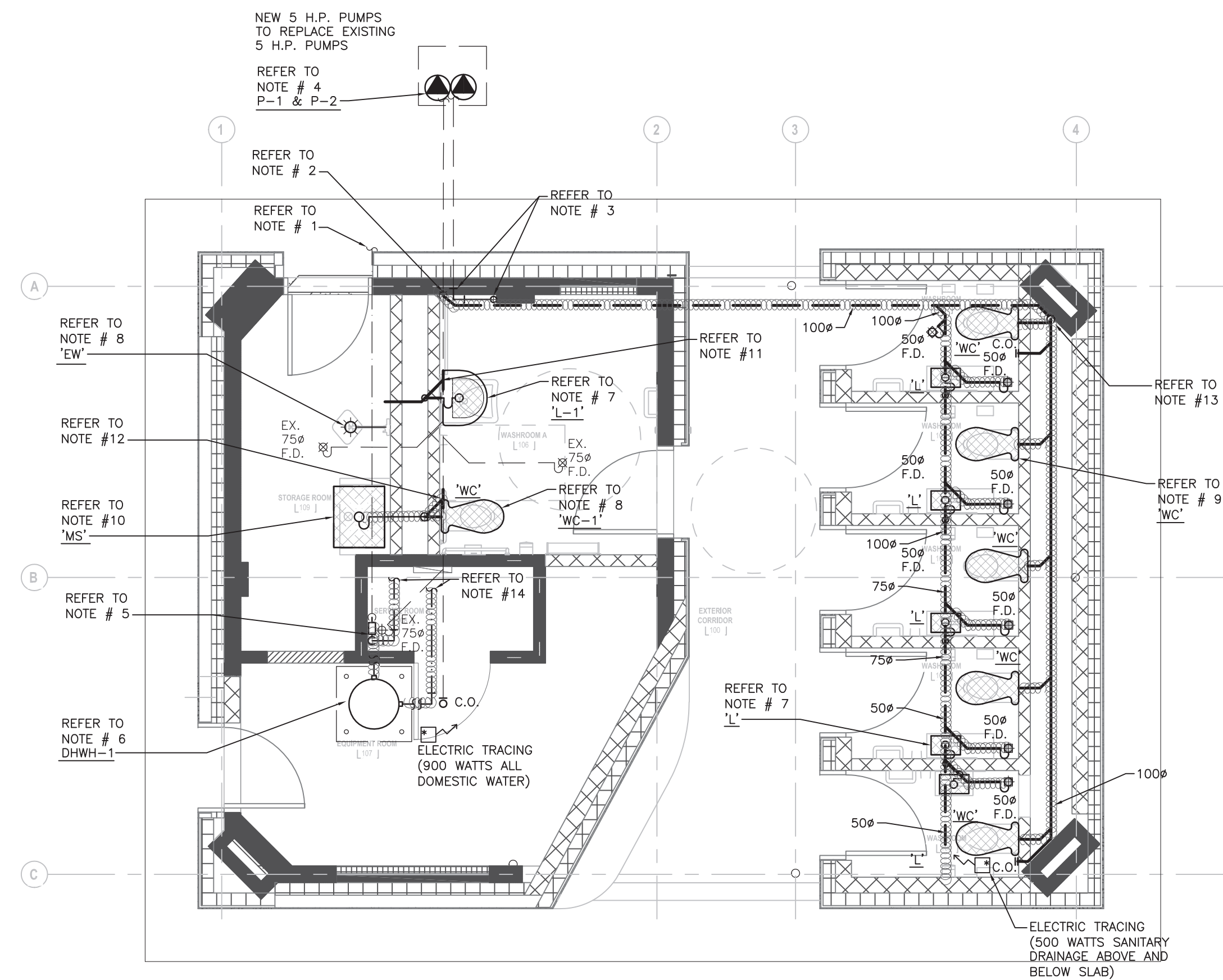
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

Project: 23210.001.ME
Drawn: S.G.
Checked: A.V.
Scale : 1:50
Date: 2023.04
Sheet Title:

**GROUND FLOOR
H.V.A.C.
DEMOLITION LAYOUT**

Drawing #:

TM-1.3



GENERAL NOTES:

- DO NOT SCALE DRAWINGS. THE LOCATIONS OF ALL ITEMS SHOWN ON THE DRAWINGS OR SPECIFIED THAT ARE NOT DEFINITELY FIXED BY DIMENSIONS ARE APPROXIMATE. DETERMINE THE EXACT LOCATIONS NECESSARY TO SECURE THE BEST CONDITIONS AND RESULTS BASED ON THE SITE CONDITIONS. REVIEW ALL REVISIONS WITH THE CONSULTANT.
- READ FLOOR PLANS IN CONJUNCTION WITH SCHEMATICS. ASSUME INFORMATION SHOWN ON FLOOR PLANS TO BE APPLICABLE TO THE RELATED SYSTEM SCHEMATIC AND VICE-VERSA TO PROVIDE A COMPLETE AND OPERATIONAL SYSTEM.
- VERIFY STRUCTURAL INTEGRITY OF ALL TEMPORARY AND PERMANENT OPENINGS. PROVIDE ADDITIONAL FRAMING TO ENSURE STRUCTURAL INTEGRITY AS REQUIRED.
- REFER TO DETAIL SHEETS AND STANDARD DETAILS FOR ADDITIONAL INFORMATION.

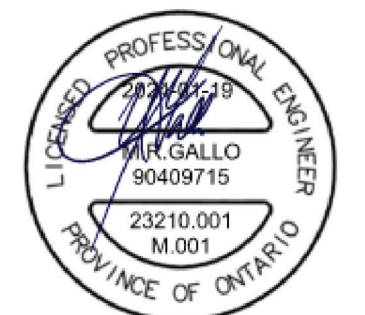
DRAWING NOTES:

- EXISTING INCOMING BURIED 50# DOMESTIC COLD WATER SERVICE TO REMAIN.
- CONNECT NEW 100# BURIED SANITARY DRAIN DOWN AND CONNECT TO EXISTING 100# BURIED SANITARY DRAIN.
- CONNECT NEW BURIED 50# VENT PIPE TO EXISTING INCOMING BURIED VENT AND EXTEND NEW 50# VENT PIPE UP THROUGH ROOF.
- PROVIDE AND INSTALL NEW GRINDER DUPLEX PUMP SET COMPLETE WITH RAILS, FLOATS, CONTROLS ETC. ELECTRICAL CONNECTION BY ELECTRICAL DIVISION.
- PROVIDE AND INSTALL NEW 50# DOMESTIC COLD WATER METER. MODIFY PIPING AS REQUIRED. PROVIDE NEW PIPING AS INDICATED ON THE PIPING SCHEMATIC LOCATED ON THIS DRAWING.
- PROVIDE AND INSTALL NEW ELECTRIC DOMESTIC HOT WATER HEATER DHWH-1 COMPLETE WITH WALL SUPPORTS, HANGERS, BRACKETS, CONTROLS ETC. T&P RELIEF AND 25# DRAIN DOWN AND TERMINATE OVER FLOOR DRAIN IN SERVICE ROOM A 108. ELECTRICAL CONNECTION BY ELECTRICAL DIVISION.
- 12# DOMESTIC HOT AND COLD WATER PIPES DOWN TO LAVATORY, 32# VENT LINE UP FROM LAVATORY, AND 32# SANITARY DRAIN DOWN TO 50# BURIED SANITARY DRAIN BELOW SLAB.
- 19# DOMESTIC HOT AND COLD WATER PIPES DOWN TO EYEWASH STATION, 38# VENT LINE UP FROM EYEWASH STATION AND 50# SANITARY DRAIN DOWN FROM EYEWASH STATION DOWN AND RUN BELOW FLOOR SLAB.
- 25# DOMESTIC COLD WATER PIPE DOWN TO WATERCLOSET, 50# VENT LINE UP FROM WATERCLOSET, AND 75# SANITARY DRAIN FROM WATERCLOSET RUN IN WALL PRIOR TO DROPPING DOWN TO BELOW FLOOR SLAB. (TYPICAL)
- 12# DOMESTIC HOT AND COLD WATER PIPES DOWN TO MOP SINK, 38# VENT PIPE UP AND 50# SANITARY DRAIN FROM MOP SINK RUN BELOW FLOOR SLAB.
- CONNECT NEW 50# SANITARY DRAIN TO EXISTING 100# BURIED SANITARY PIPE.
- CONNECT NEW 75# SANITARY DRAIN TO EXISTING 100# BURIED SANITARY PIPE.
- NEW 100# SANITARY DRAIN PIPE DOWN TO BELOW FLOOR SLAB AND RUN BURIED AS INDICATED.
- REFER TO DOMESTIC WATER PIPING SCHEMATIC THIS DRAWING FOR PIPE SIZES. ALL DOMESTIC WATER PIPING TO BE ELECTRICALLY TRACED AND INSULATED.
- ALL NEW SANITARY DRAINAGE PIPING LOCATED ABOVE SLAB TO BE ELECTRICALLY TRACED AND INSULATED.
- PROVIDE NEW FLOOR DRAINS COMPLETE WITH TRAPS AND TRAP PRIMERS.
- ALL NEW SANITARY DRAINAGE ABOVE AND BELOW GRADE TO BE ELECTRICALLY TRACED, INCLUDING LAVATORY P TRAPS AND FLOOR DRAIN P TRAPS.

PROJECT CONTACT

NAME: SCOTT GOULD
TEL: 416-218-7019
EMAIL: scott.gould@smithandandersen.com

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH MECHANICAL SPECIFICATION SUBMITTED FOR THIS PROJECT.



Smith + Andersen
1100 - 100 Sheppard Ave. East, Toronto, ON, M2N 6N5
416 487 8151 / 416 487 9104 smithandandersen.com

Lower Hillside Washroom Building Improvements

City of Toronto
1873 BLOOR ST W
TORONTO, ON M6R 2Z3

Issue / Revision

No.	Date	Description
1.	23/11/06	Issued for 50% Tender Review
2.	24/02/08	Issued for Permit / Tender

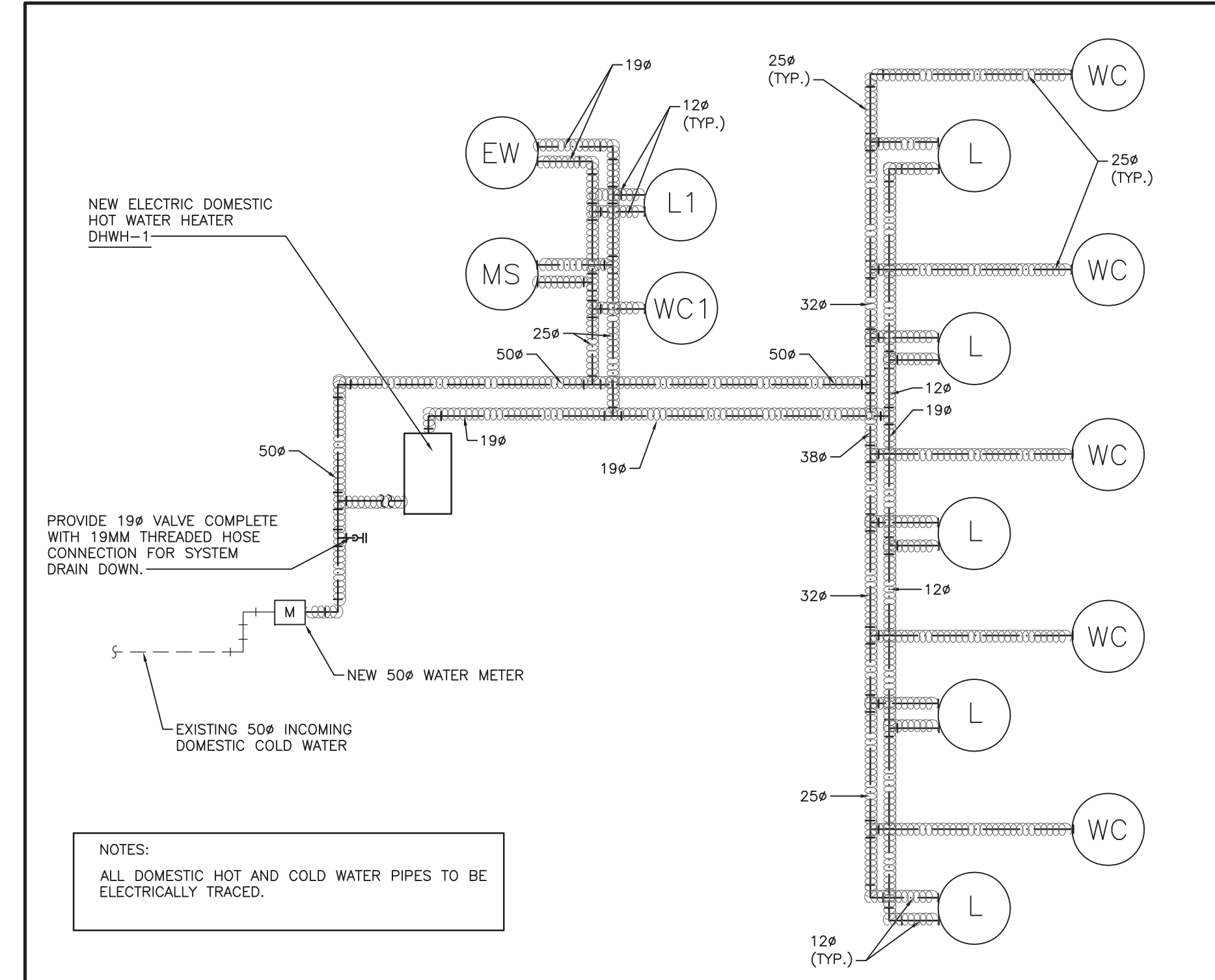
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

Project: 23210.001.ME
Drawn: S.G.
Checked: A.V.
Scale: 1:50
Date: 2023.04
Sheet Title:

**GROUND FLOOR
PLUMBING & DRAINAGE
LAYOUT**

Drawing #:

TM-2.1



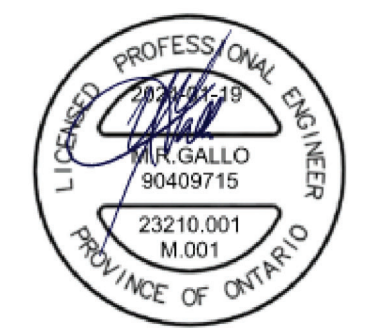
1 DOMESTIC WATER PIPING SCHEMATIC

EQUIPMENT LIST		ELECTRIC DOMESTIC HOT WATER HEATER							
TAG	SERVICE	LOCATION	# ELEMENTS	KW/MBH	RECOVERY L/S-GPM	STORAGE	VOLTAGE	WEIGHT	REMARKS
DHWH-1	LAVATORIES/MOP SINK EYEWASH	EQUIP. RM 107	1	3.0/9.2	85.0/23.0	20 GAL.	208/1/60	276 LBS	A.O. SMITH DEL-20 SIDE CONNECTIONS REQUIRED

PROJECT CONTACT

NAME: SCOTT GOULD
TEL: 416-218-7019
EMAIL: scott.gould@smithandandersen.com

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH MECHANICAL SPECIFICATION SUBMITTED FOR THIS PROJECT.



Smith + Andersen
1100 - 100 Sheppard Ave. East, Toronto, ON, M2N 6N5
416 487 8151 / 416 487 9104 smithandandersen.com

Lower Hillside Washroom Building
Improvements

City of Toronto
1873 BLOOR ST W
TORONTO, ON M6R 2Z3

Issue / Revision

No.	Date	Description
1.	23/11/06	Issued for 50% Tender Review
2.	24/02/08	Issued for Permit / Tender

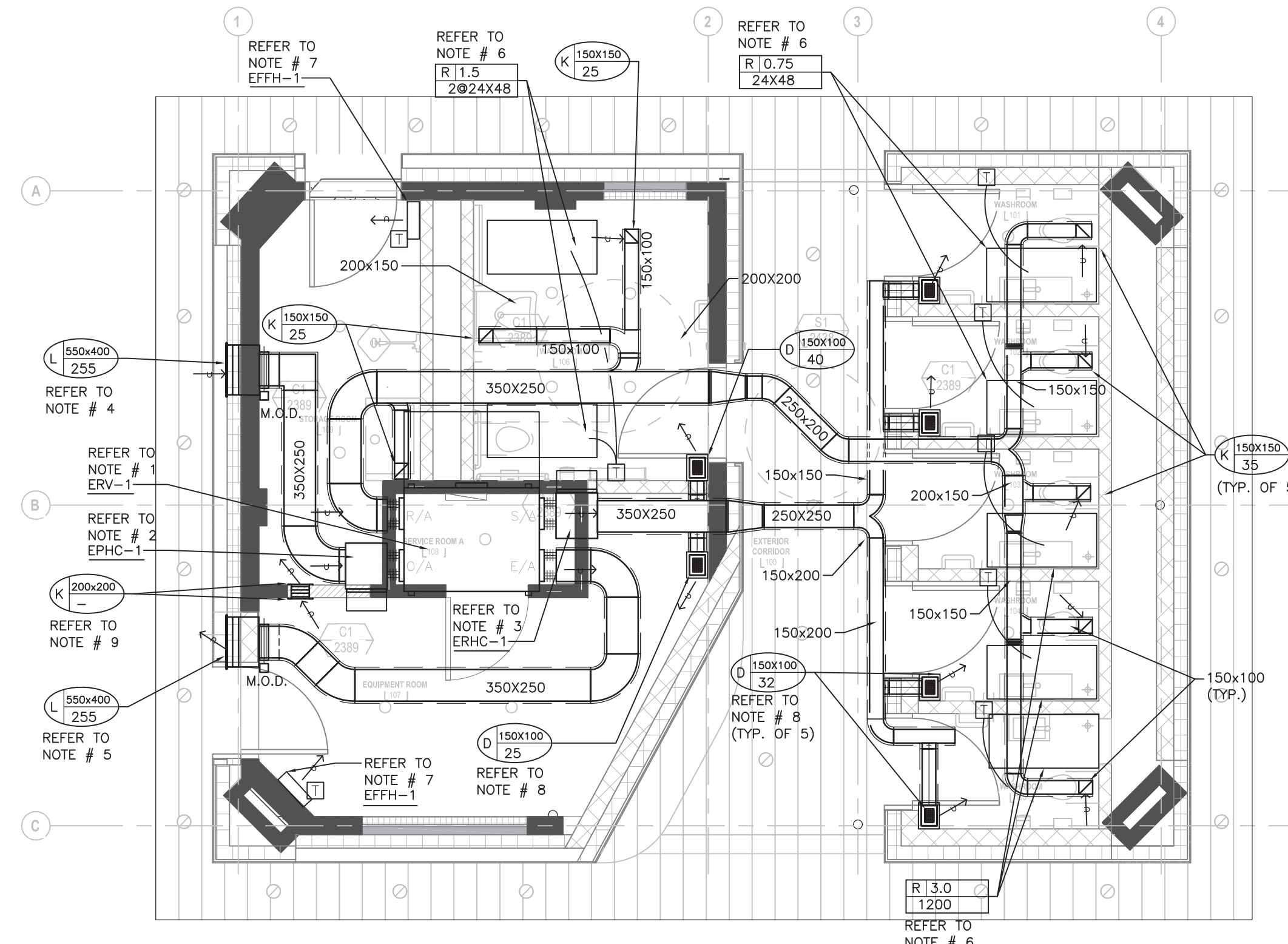
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

Project: 23210.001.ME
Drawn: S.G.
Checked: A.V.
Scale : 1:50
Date: 2023.04
Sheet Title:

GROUND FLOOR
H.V.A.C.
LAYOUT

Drawing #:

TM-3.1



GENERAL NOTES:

- DO NOT SCALE DRAWINGS. THE LOCATIONS OF ALL ITEMS SHOWN ON THE DRAWINGS OR SPECIFIED THAT ARE NOT DEFINITELY FIXED BY DIMENSIONS ARE APPROXIMATE. DETERMINE THE EXACT LOCATIONS NECESSARY TO SECURE THE BEST CONDITIONS AND RESULTS BASED ON THE SITE CONDITIONS. REVIEW ALL REVISIONS WITH THE CONSULTANT.
- READ FLOOR PLANS IN CONJUNCTION WITH SCHEMATICS. ASSUME INFORMATION SHOWN ON FLOOR PLANS TO BE APPLICABLE TO THE RELATED SYSTEM SCHEMATIC AND VICE-VERSA TO PROVIDE A COMPLETE AND OPERATIONAL SYSTEM.
- VERIFY STRUCTURAL INTEGRITY OF ALL TEMPORARY AND PERMANENT OPENINGS. PROVIDE ADDITIONAL FRAMING TO ENSURE STRUCTURAL INTEGRITY AS REQUIRED.
- REFER TO STANDARD DETAILS AND DETAIL SHEETS FOR ADDITIONAL INFORMATION.

DRAWING NOTES:

- PROVIDE AND INSTALL ENERGY RECOVERY OUTSIDE AIR UNIT ERV-1 IN ATTIC SPACE, COMPLETE WITH ALL ASSOCIATED HANGERS, SUPPORTS, FLEXIBLE CONNECTIONS, THERMALLY LINED DUCTWORK, GRILLE, DIFFUSERS, CONDUIT, CONTROLS ETC. TO PROVIDE A COMPLETE AND FUNCTIONAL INSTALLATION. ELECTRICAL CONNECTION BY ELECTRICAL DIVISION.
- PROVIDE AND INSTALL NEW ELECTRIC PRE-HEAT COIL EPHC-1 FOR INCOMING OUTSIDE AIR TO ENERGY RECOVERY UNIT COMPLETE WITH ALL ASSOCIATED HANGERS, SUPPORTS, CONDUIT, CONTROLS ETC. TO PROVIDE A COMPLETE AND FUNCTIONAL INSTALLATION. ELECTRICAL CONNECTION BY ELECTRICAL DIVISION.
- PROVIDE AND INSTALL NEW ELECTRIC HEATING COIL EHC-1 FOR DISCHARGE AIR FROM ENERGY RECOVERY UNIT COMPLETE WITH ALL ASSOCIATED HANGERS, SUPPORTS, CONDUIT, CONTROLS ETC. TO PROVIDE A COMPLETE AND FUNCTIONAL INSTALLATION. ELECTRICAL CONNECTION BY ELECTRICAL DIVISION.
- PROVIDE NEW 550X400 OUTSIDE AIR LOUVRE COMPLETE WITH THERMALLY INSULATED 550X400X400 INTAKE PLENUM. CONNECT NEW 350X250 OUTSIDE AIR DUCT TO PLENUM COMPLETE WITH MOTOR OPERATED DAMPED (M.O.D.). SEAL PLENUM WATER TIGHT AND SLOPE BOTTOM OF PLENUM TO OUTSIDE.
- PROVIDE NEW 550X400 EXHAUST AIR LOUVRE COMPLETE WITH THERMALLY INSULATED 550X400X400 EXHAUST PLENUM. CONNECT NEW 350X250 EXHAUST AIR DUCT TO PLENUM COMPLETE WITH MOTOR OPERATED DAMPED (M.O.D.). SEAL PLENUM WATER TIGHT AND SLOPE BOTTOM OF PLENUM TO OUTSIDE.
- PROVIDE AND INSTALL NEW ELECTRIC RADIANT CEILING PANELS COMPLETE WITH HANGERS CONDUIT AND CONTROLS. REFER TO DRAWING FOR LENGTH AND OUTPUT. ELECTRICAL CONNECTION BY ELECTRICAL DIVISION.
- RELOCATED EXISTING 3.0 KW FORCE FLOW HEATERS. PROVIDE ALL CONDUIT AND CONTROLS AS REQUIRED. ELECTRICAL CONNECTION BY ELECTRICAL DIVISION.
- ACOUSTICALLY LINED 150X150X250 HIGH SUPPLY AIR PLENUM OVER TYPE 'D' CEILING REGISTER, CONNECT NEW 150X100 THERMALLY INSULATED DUCT TO SUPPLY AIR PLENUM. (TYPICAL).
- PROVIDE TRANSFER AIR GRILLE DUCT THROUGH WALL AT HIGH LEVEL COMPLETE WITH WALL GRILLES ON BOTH SIDES.
- ALL DUCTWORK IN ATTIC SPACE TOP BE 50mm THERMALLY INSULATED DUCTWORK.

NAME	SUPPLY	EXHAUST	EXT.SP (IN WC)	POWER	MROPD	DESIGN OUTDOOR			DESIGN INDOOR			SUPPLY CONDITIONS				REMARKS
						EXH. SUM/WIN DBT (°F)	OA/SUM/WIN WBT (°F)	SUM/WIN R.H.	SUM/WIN DBT (°F)	R.H.	SUM/WIN DBT (°F)	SUM/WIN WBT (°F)	SUM/WIN RH %	SUM/WIN DEW POINT	SUM/WIN ENTHALPY BTU/LB	
ERV-1	255 L/S	255 L/S	3.9"	208/1/60	15 AMP	75.0/-70.0	75.0/-4.0	50.0/35.0 %	75.0/72.0	50.0/35.0 %	81.6/47.0	69.1/37.2	52.6/12.9	54.0/36.0	31.1/13.9	OXYGEN8 A16IN

TAG	AIR FLOW	POWER	KILOWATTS	MOCF	REMARKS
EPHC-1	255 L/S	208/1/60	2.0	15 AMP	OXYGEN 8 PRE-HEAT COIL NOVA A16IDU INTEGRATED TO ERV CONTROLS
EHC-1	255 L/S	208/1/60	6.0	40 AMP	OXYGEN 8 PRE-HEAT COIL NOVA A16IDU INTEGRATED TO ERV CONTROLS

R	POWER	KILOWATTS	MOCF	REMARKS
R	120/1/60	0.75	15 AMP	OUELLET 'AS2448-750-120' COMPLETE WITH LINE VOLTAGE RECESSED TEMPERATURE SENSOR WITH VANDAL PROOF SCREWS

PROJECT CONTACT

NAME: WUN YAN CHOW
TEL: 416 487 8151 x1617
EMAIL: wunyan.chow@smithandanderson.com



Smith + Andersen
1100 - 100 Sheppard Ave. East, Toronto, ON, M2N 6H5
416 487 8151 / 416 487 3104 smithandanderson.com

Lower Hillside Washroom Building Improvements
City of Toronto
1873 BLOOR ST W
TORONTO, ON M6R 2Z3

Issue / Revision

No.	Date	Description
01	2023-11-03	ISSUED FOR 90% REVIEW
02	2024-04-08	ISSUED FOR PERMITTENDER

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY THE CONSULTANT.

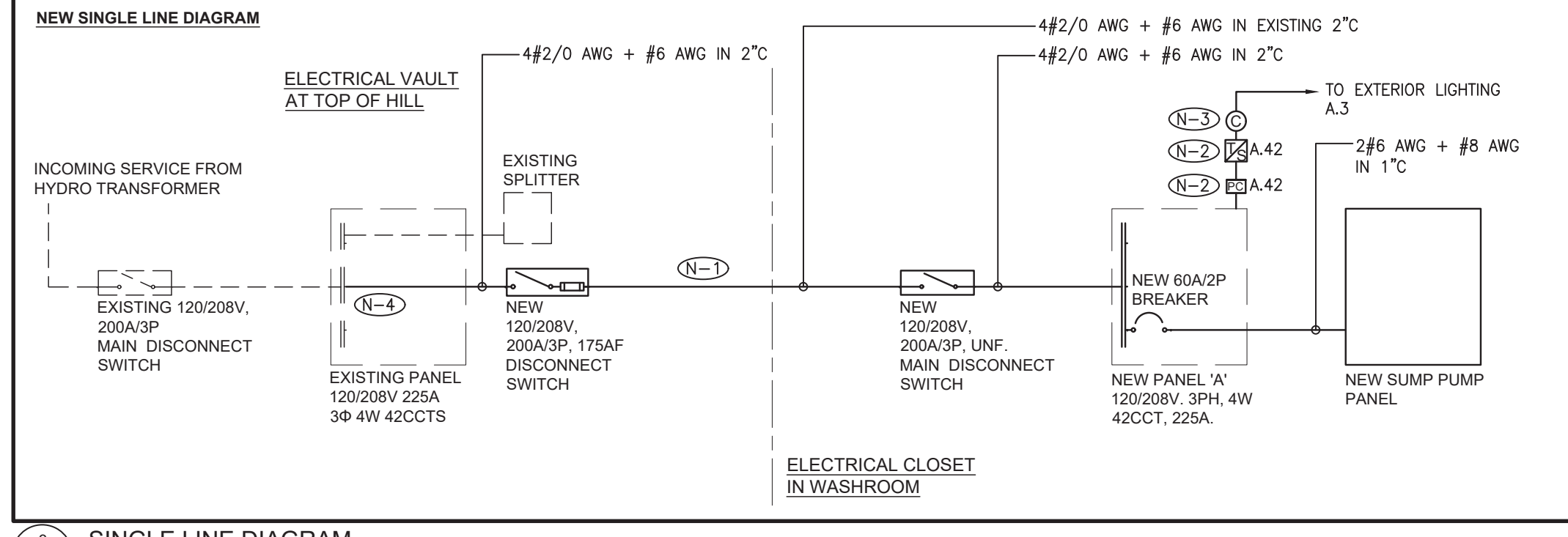
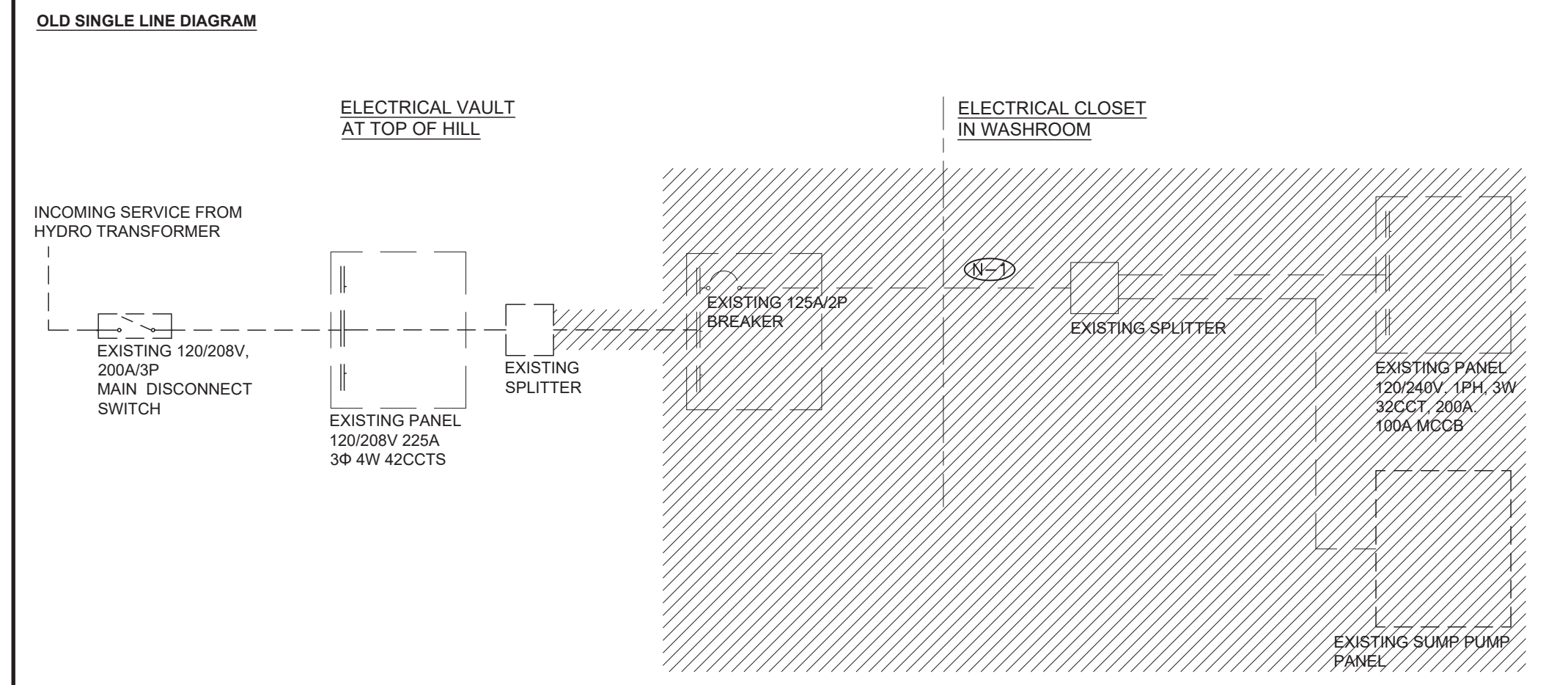
Project: 23210.001.ME
Drawn: J.B.
Checked: W.Y.C./N.C.
Scale: AS SHOWN
Date: 2023.04
Sheet Title:
ELECTRICAL DETAILS

Drawing #:
TE-0.2

LEGEND
 ——— NEW
 - - - - - EXISTING
 // // // // DEMOLITION

GENERAL NOTES:
 1. REFER TO FLOOR PLANS FOR LOCATION OF EQUIPMENT.
 2. PROVIDE NEW LAMACOID NAMEPLATE TO DENOTE PANEL NAME AND FED-FROM INFORMATION.

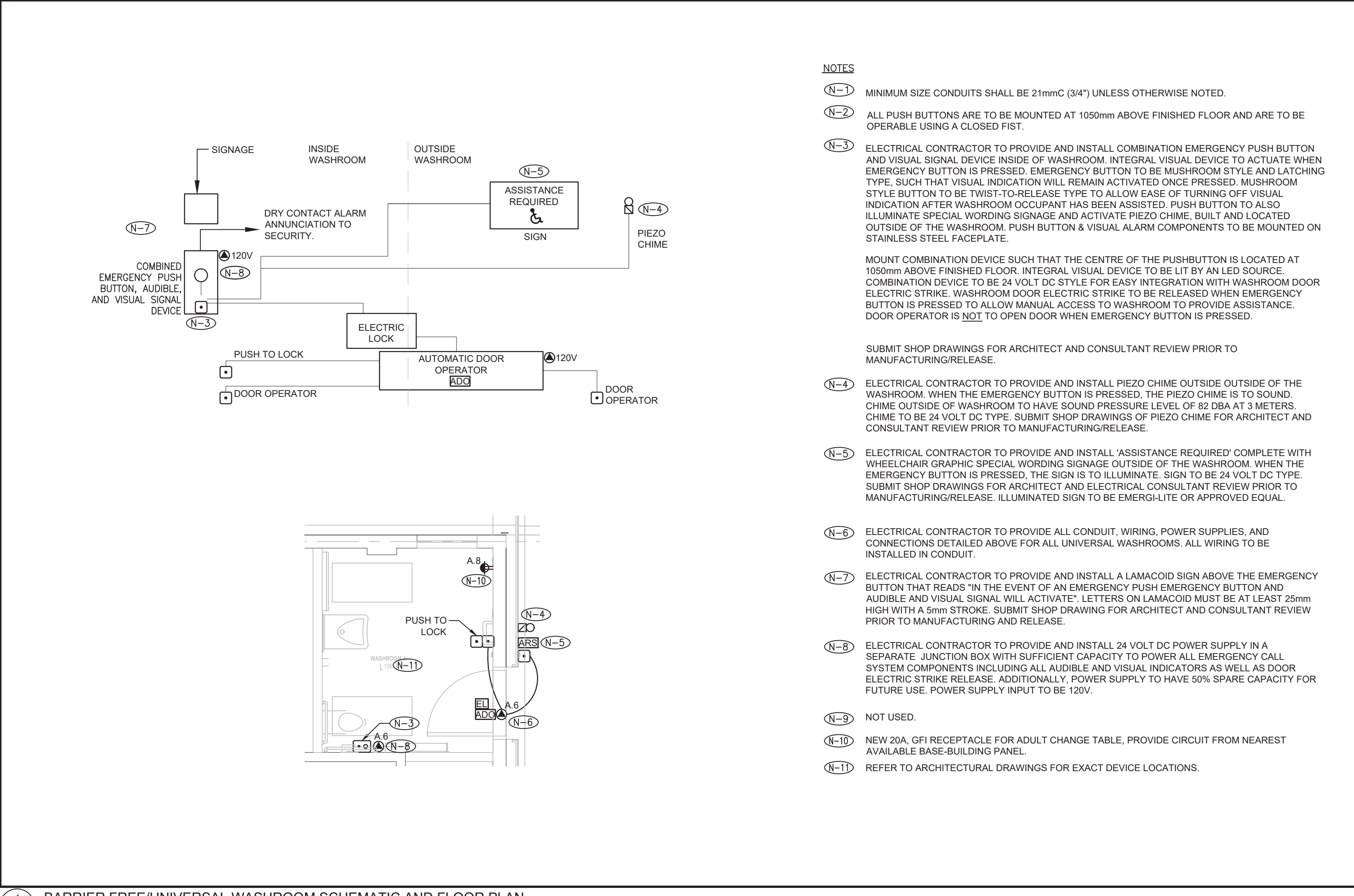
CODED NOTES:
 (N-1) EXISTING FEEDER TO ELECTRICAL CLOSET TO BE DEMOLISHED, PROVIDE NEW FEEDER PER DRAWINGS. EXISTING 2" CONDUIT BETWEEN VAULT AND WASHROOM TO REMAIN.
 (N-2) NEW TIMER AND PHOTOCELL TO CONTROL EXTERIOR LIGHTING. TIMER TO BE INTERMATIC T101. PHOTOCELL TO BE INTERMATIC K4221C MOUNTED ON ROOF FACING NORTH. CONFIRM EXACT LOCATION ON SITE.
 (N-3) SQUARE D CAT#8903 ELECTRICALLY HELD CONTACTOR WITH 3-POLES.
 (N-4) FEEDER TO NEW DISCONNECT TO BE FED FROM PANEL BUS. ALLOW FOR SPECIAL ESA INSPECTION FOR THIS SCOPE OF WORK.



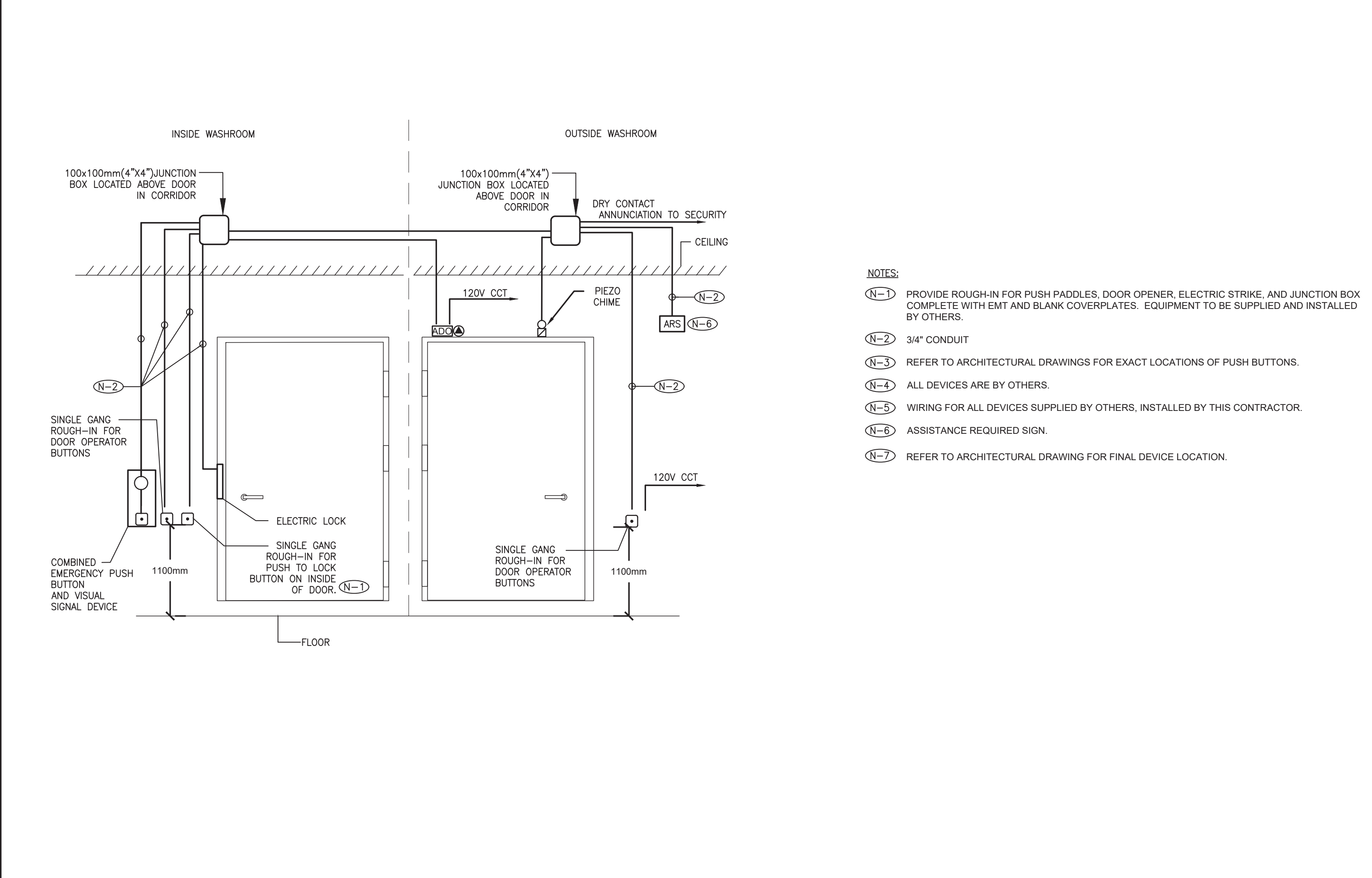
3 SINGLE LINE DIAGRAM
TE-0.2 NTS



4 PARTIAL KEYPLAN
TE-0.2 NTS



1 BARRIER FREE/UNIVERSAL WASHROOM SCHEMATIC AND FLOOR PLAN
TE-0.2 1:50



2 BARRIER FREE/UNIVERSAL WASHROOM DOOR DETAIL
TE-0.2 N.T.S.

PROJECT CONTACT

NAME: WUN YAN CHOW
TEL: 416 487 8151 x1617
EMAIL: wunyan.chow@smithandanderson.com

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ELECTRICAL SPECIFICATION SUBMITTED FOR THIS PROJECT.



Smith + Andersen

1100 - 160 Sheppard Ave. East, Toronto, ON, M2N 6H5
416 487 8151 / 416 487 8154 smithandanderson.com

Lower Hillside Washroom Building Improvements

City of Toronto
1873 BLOOR ST W
TORONTO, ON M6R 2Z3

Issue / Revision

No.	Date	Description
01	2023-11-03	ISSUED FOR 90% REVIEW
02	2024-04-08	ISSUED FOR PERMIT/ENDER

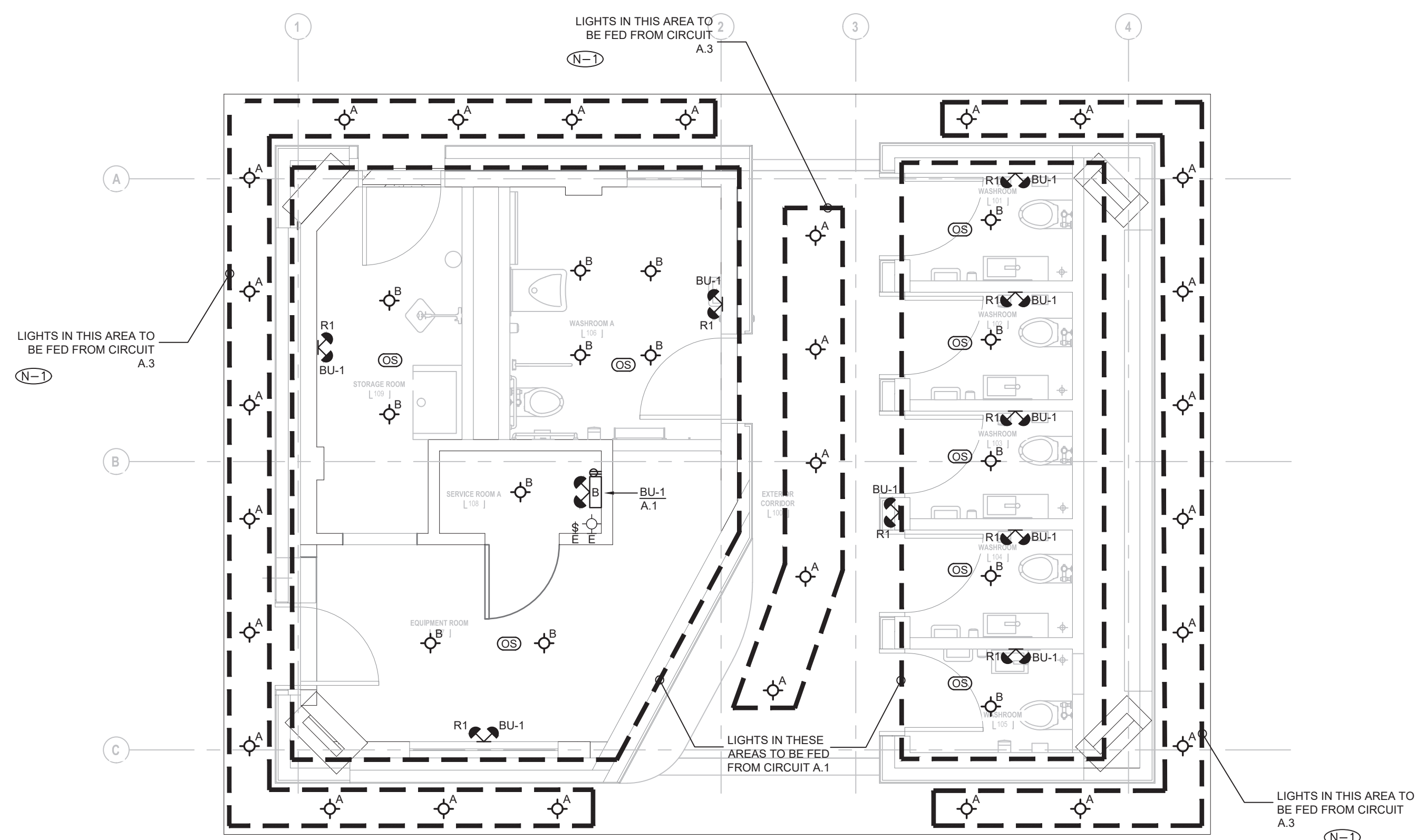
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

Project: 23210.001.ME
Drawn: J.B.
Checked: W.Y.C./N.C.
Scale: AS SHOWN
Date: 2023.04
Sheet Title:

GROUND FLOOR ELECTRICAL LAYOUT

Drawing #:

TE-1.1



GENERAL NOTES:

1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH INTERIOR DESIGNER'S/ARCHITECT'S DRAWINGS FOR DIMENSIONS, HEIGHTS, CONSTRUCTION DETAILING, FINISHES AND COLOURS.
2. CIRCUITING IN PART IS DIAGRAMMATIC INTENDED TO SHOW GENERAL CIRCUIT ARRANGEMENT AND PANEL DESIGNATION.
3. PROVIDE EMT CONDUIT IN AREAS WITH EXPOSED CEILINGS. BX CABLING IS NOT ACCEPTABLE UNLESS OTHERWISE NOTED. BX CABLES MAY BE USED FOR FINAL CONNECTIONS TO LIGHTING FIXTURES OR EQUIPMENT WITH A MAXIMUM HORIZONTAL RUN LENGTH OF 3 FEET / 1 METER. PAINT CONDUITS TO MATCH ARCHITECTURAL BACKGROUNDS. MOUNT EXIT SIGNS, OCCUPANCY SENSORS, EXIT SIGNS, CAMERAS, WAPS AND ALL OTHER CEILING MOUNTED DEVICES WITH STEMS SUCH THAT THEY ARE ON THE SAME PLANE AS SUSPENDED LIGHTING FIXTURES. COORDINATE CEILINGS AND WALL HEIGHTS WITH INTERIOR DESIGNER DRAWINGS.
4. ALL NEULMINAIRES SHALL BE CHAIN HUNG AND SUPPORTED FROM THE SLAB ABOVE. PROVIDE LETTER
5. MEASURE THE ILLUMINATION OF THE FLOOR AT NIGHT WITH EMERGENCY LIGHTING ON ONLY, AND SEND A DRAWING SHOWING THE MAXIMUM AND MINIMUM LEVEL OF ILLUMINATION, TO THE CONSULTING ENGINEER, FOR REVIEW. PROVIDE WRITTEN CONFIRMATION THAT EMERGENCY LIGHTING HAS BEEN INSTALLED IN ACCORDANCE WITH CONTRACT DOCUMENTS AND LATEST EDITION OF THE ONTARIO BUILDING CODE SECTIONS 3.2.7.3 AND 3.2.7.4. LETTER TO BE INCLUDED AS PART OF CLOSE-OUT DOCUMENT SUBMITTAL PACKAGE.
6. ENSURE THAT ALL LIGHTING FIXTURES ARE CLEAN AND ILLUMINATED BY END OF PROJECT.
7. COORDINATE INSTALLATION OF FIXTURES WITH MECHANICAL EQUIPMENT, ELECTRICAL EQUIPMENT, SPRINKLERS AND DUCT WORK WITH OTHER TRADES PRIOR TO WORK COMMENCING.
8. ALL CEILING MOUNTED OCCUPANCY SENSORS PROVIDED AS PART OF THIS SCOPE OF WORK MUST BE LOCATED AT LEAST 6" AWAY FROM ANY SUPPLY AIR DIFFUSER AND RETURN AIR GRILLE AS PER MANUFACTURER'S RECOMMENDATION. COORDINATE INSTALLATION ON SITE WITH MECHANICAL CONTRACTOR PRIOR TO COMMENCING WORK.

DRAWING NOTES:

- (N-1) EXTERIOR LIGHTS TO BE CONTROLLED BY PHOTOCELL/TIMER. REFER TO DETAIL 3/TE-0.2.

1 LIGHTING LAYOUT
TE-1.1
1:50

SEPARATE PRICE:

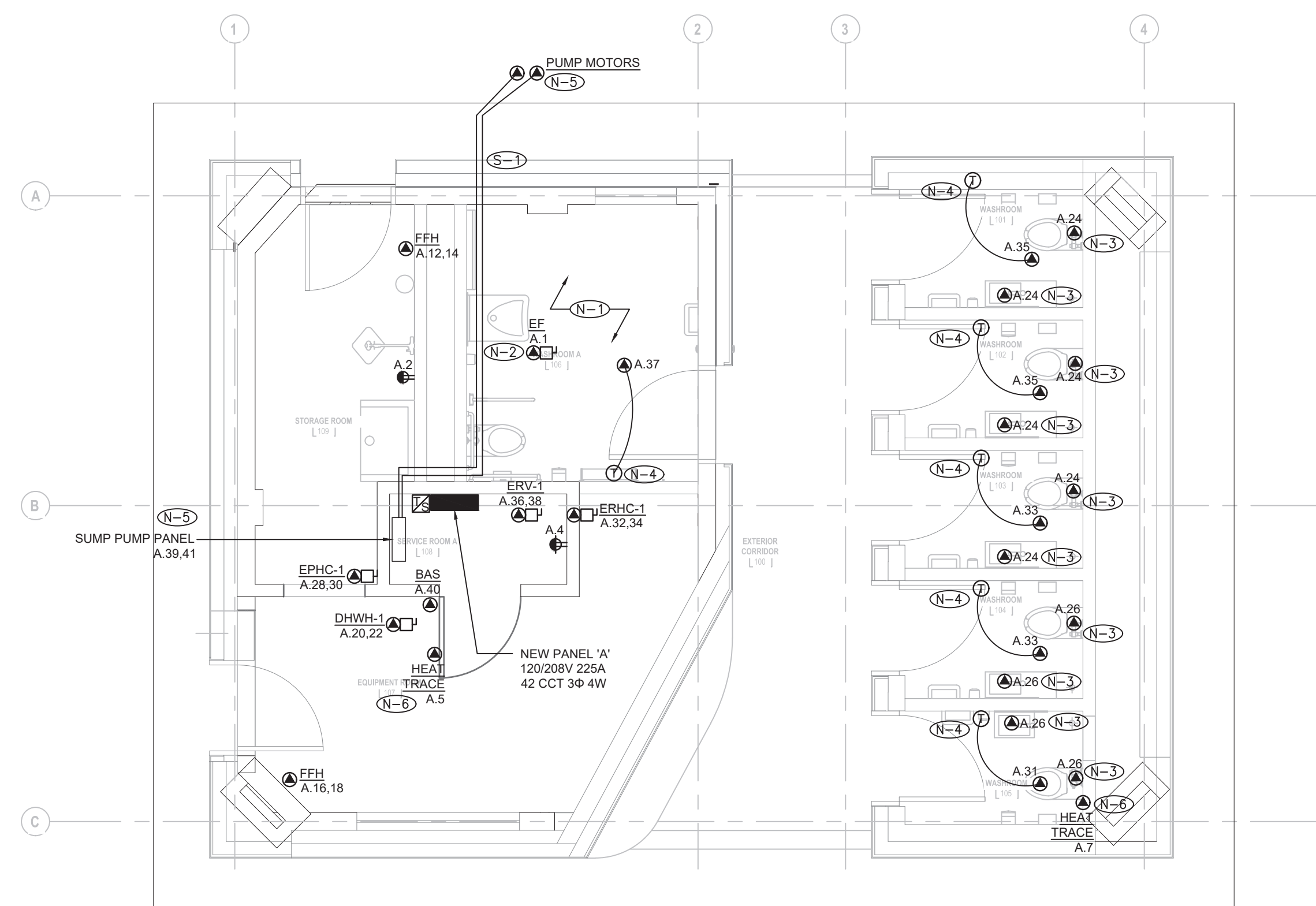
- (S-1) PROVIDE SEPARATE PRICE TO DEMOLISH EXISTING CONDUIT FROM SUMP PUMP CONTROLLER TO SUMP PIT AND TO PROVIDE NEW 2" UNDERGROUND PVC CONDUIT.

GENERAL NOTES:

1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH INTERIOR DESIGNER'S/ARCHITECT'S DRAWINGS FOR DIMENSIONS, HEIGHTS, CONSTRUCTION DETAILING, FINISHES AND COLOURS.
2. CIRCUITING IN PART IS DIAGRAMMATIC INTENDED TO SHOW GENERAL CIRCUIT ARRANGEMENT AND PANEL DESIGNATION.
3. PROVIDE EMT CONDUIT IN AREAS WITH EXPOSED CEILINGS. BX CABLING IS NOT ACCEPTABLE UNLESS OTHERWISE NOTED. BX CABLES MAY BE USED FOR FINAL CONNECTIONS TO LIGHTING FIXTURES OR EQUIPMENT WITH A MAXIMUM HORIZONTAL RUN LENGTH OF 3 FEET / 1 METER. PAINT CONDUITS TO MATCH ARCHITECTURAL BACKGROUNDS. MOUNT EXIT SIGNS, OCCUPANCY SENSORS, EXIT SIGNS, CAMERAS, WAPS AND ALL OTHER CEILING MOUNTED DEVICES WITH STEMS SUCH THAT THEY ARE ON THE SAME PLANE AS SUSPENDED LIGHTING FIXTURES. COORDINATE CEILINGS AND WALL HEIGHTS WITH INTERIOR DESIGNER DRAWINGS.
4. VERIFY EXACT POWER REQUIREMENTS AND RECEPTACLE TYPES FOR SPECIAL EQUIPMENT WITH MANUFACTURER PRIOR TO INSTALLATION. PROVIDE HARDWARE CONNECTIONS FOR DISHWASHERS AND COPIERS ETC. IN LIEU OF RECEPTACLES OR VICE VERSA, AS REQUIRED.
5. REFER TO INTERIOR DESIGNER/ARCHITECT DRAWINGS FOR THE COLOUR OF COVERPLATES AND MOUNTING HEIGHTS.
6. PROVIDE SUITABLE LABELS ON ALL RECEPTACLES. LABELS TO INCLUDE BOTH PANEL AND CIRCUIT DESIGNATION. REVIEW LABEL SIZE AND TYPE WITH CONSULTANT PRIOR TO INSTALLATION.
7. CONFIRM ELECTRICAL REQUIREMENTS AND EXACT LOCATION OF ALL MECHANICAL EQUIPMENT WITH MECHANICAL DRAWINGS AND CONTRACTOR PRIOR TO ROUGH-INS.
8. ROUTE ALL CONDUIT SYSTEMS AROUND DUCT WORK, BEAMS AND PIPING AS REQUIRED TO ACCOMMODATE LAYOUT SHOWN. REFER TO MECHANICAL DRAWINGS AND ARCHITECTURAL DRAWINGS FOR ADDITIONAL DETAILS.
9. REFER TO THE INTERIOR DESIGNER'S/ARCHITECT'S DRAWINGS TO DETERMINE COMPLETE EXTENT OF DEMOLITION AND ALLOW FOR ALL COSTS. COMPLETE EXTENT OF DEMOLITION IS NOT SHOWN.
10. AS PART OF THE DEMOLITION CONTRACT, THE ELECTRICAL CONTRACTOR SHALL REMOVE ALL FLOOR, COLUMN, CEILING, AND WALL MOUNTED POWER, TELEPHONE/DATA OUTLETS, CABLING AND CONDUIT NOT REQUIRED TO SUIT NEW LAYOUT AND MAKE SAFE. VISIT THE SITE TO DETERMINE THE EXACT REQUIREMENTS AND REFER TO THE DEMOLITION DRAWINGS.

DRAWING NOTES:

- (N-1) REFER TO DETAIL 1/TE-0.2 FOR UNIVERSAL WASHROOM SCHEMATIC AND FLOOR PLAN.
- (N-2) EXHAUST FAN TO BE CONTROLLED BY OCCUPANCY SENSOR.
- (N-3) POWER CONNECTION FOR AUTO FAUCET/FLUSH. COORDINATE WITH MECHANICAL FOR EXACT REQUIREMENTS AND LOCATION ON SITE.
- (N-4) PROVIDE POWER TO RADIANT CEILING PANEL. PANEL TO BE CONTROLLED BY LINE-VOLTAGE THERMOSTAT. THERMOSTAT SUPPLIED BY MECHANICAL, INSTALLED BY ELECTRICAL. COORDINATE LOCATION WITH MECHANICAL ON SITE.
- (N-5) POWER TO SUMP PUMP MOTORS FED VIA PUMP CONTROL CONTROL PANEL. FEED POWER TO PUMPS VIA EXISTING CONDUIT. CONFIRM EXACT LOCATION AND ROUTING ON SITE.
- (N-6) POWER FOR HEAT TRACING. COORDINATE LOCATION WITH MECHANICAL.



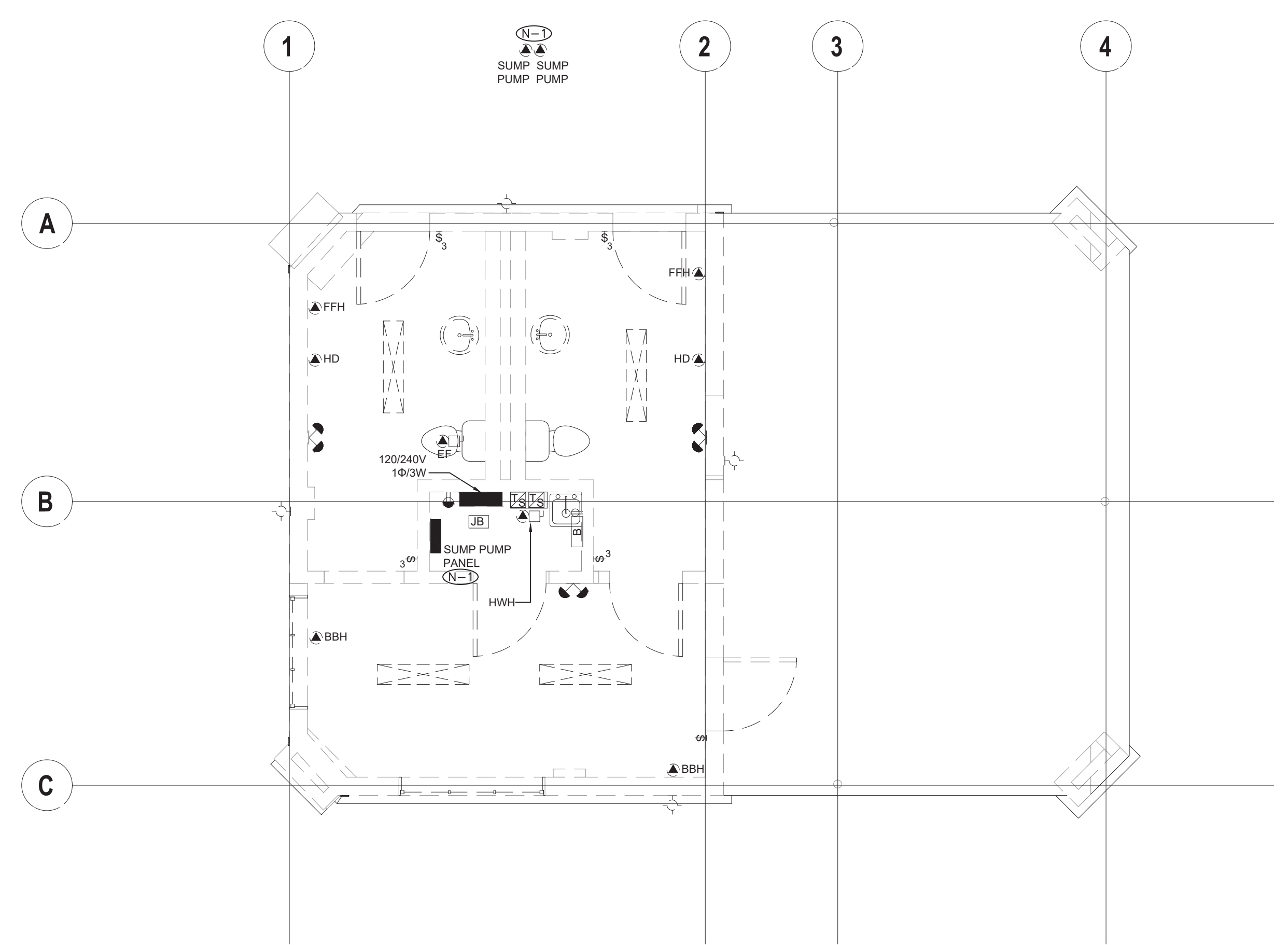
2 POWER AND SYSTEMS LAYOUT
TE-1.1
1:50

GENERAL NOTES:

- REFER TO THE ARCHITECT'S DRAWINGS TO DETERMINE COMPLETE EXTENT OF DEMOLITION AND ALLOW FOR ALL COSTS. COMPLETE EXTENT OF DEMOLITION IS NOT SHOWN.
- REMOVE ALL FLOOR, COLUMN, CEILING, AND WALL MOUNTED POWER, TELEPHONE/DATA OUTLETS, CABLING AND CONDUIT NOT REQUIRED, TO SUIT NEW LAYOUT AND MAKE SAFE. VISIT SITE TO DETERMINE EXACT REQUIREMENTS AND REFER TO DEMOLITION DRAWINGS.
- MAKE GOOD ALL CORE HOLES FROM ELECTRICAL EQUIPMENT AND DEVICES DISCONNECTED, RELOCATED AND OR REMOVED IN THIS PROJECT.
- REMOVE FLOOR MONUMENT(S) AND ALL ASSOCIATED CONDUIT(S) AND WIRE BACK TO SOURCE. MAKE GOOD ALL FLOOR PENETRATIONS TO COMPLY WITH CURRENT LOCAL APPLICABLE CODES.
- ENSURE THAT ALL EXISTING ELECTRICAL DEVICES, EQUIPMENT AND LIGHTING WITHIN BASE BUILDING ROOMS, STAIRWELLS AND AREAS DEEMED NOT IN SCOPE, REMAIN LIVE OPERATIONAL, ISOLATED AND PROTECTED DURING CONSTRUCTION.
- NO ADDITIONAL COST WILL BE APPROVED FOR ANY REVISIONS/MODIFICATIONS REQUIRED BY ANY TRADE OR CONTRACTOR DUE TO THE LACK OF COORDINATION BETWEEN TRADES AND CONTRACTORS.
- COORDINATE WITH GENERAL CONTRACTOR AND LANDLORD FOR DISPOSAL OF ALL MATERIALS FROM SITE.

DRAWING NOTES:

- (N-1) EXISTING FEEDERS FOR SUMP PUMP EQUIPMENT TO BE REMOVED BACK TO SOURCE AND MADE SAFE.



PROJECT CONTACT

NAME: WUN YAN CHOW
TEL: 416 487 8151 x1617
EMAIL: wunyan.chow@smithandandersen.com

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ELECTRICAL SPECIFICATION SUBMITTED FOR THIS PROJECT.



Smith + Andersen
1100 - 100 Sheppard Ave. East, Toronto, ON, M2N 6N5
416 487 8151 | 416 487 8154 | smithandandersen.com

Lower Hillside Washroom Building Improvements
City of Toronto
1873 BLOOR ST W
TORONTO, ON M6R 2Z3

No.	Date	Description
01	2023-11-03	ISSUED FOR 90% REVIEW
02	2024-04-08	ISSUED FOR PERMITTENDER

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

Project: 23210.001.ME
Drawn: J.B.
Checked: W.Y.C./N.C.
Scale: 1:50
Date: 2023.04
Sheet Title:

GROUND FLOOR ELECTRICAL DEMOLITION LAYOUT

Drawing #:

TE-1.2