

Lower Hillside Washroom Building Improvements

1873 BLOOR ST W TORONTO, ON M6R 2Z3 TENDER JUNE 12, 2024

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STRUCTURAL ENGINEERING

ENGINEERING LINK INC. 375 University Ave Suite 901, Toronto, ON M5G 2J5

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MECHANICAL ENGINEERING

SMITH + ANDERSEN 100 Sheppard Ave East North York, ON M2N 6N5

TM-0.0 MECHANICAL DRAWING LIST AND LEGENDS
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ELECTRICAL ENGINEERING

SMITH + ANDERSEN 100 Sheppard Ave East North York, ON M2N 6N5

TE-0.1 DRAWING LIST AND LEGENDS
TE-0.2 ELECTRICAL DETAILS
TE-0.3 ELECTRICAL DETAILS
TE-1.1 GROUND FLOOR ELECTRICAL LAYOUT
TE-1.2 GROUND FLOOR ELECTRICAL DEMOLITION LAYOUT

CERI	IFICATE OF PRACTICE N	IUMBER: 6114 1137a QUEEN STREET EAST	
		1137a QUEEN STREET EAST TORONTO, ONTARIO M4M 1K9 (437) 916-9272	
	E OF PROJECT: TION:	LOWER HILLSIDE WASHROOM BUILDIN GIMPROVEMENTS HIGH PARK, 1873 BLOOR STREET WEST	
DATE	:	JUNE 12, 2024	
		Ontario Building Code Data Matrix Part 11 - Renovation of Existing Building	OBC Refe
11.00	Building Code Version:	O. Reg. 332/12 Last Amendment: 390/23	
11.01	Project Type:	☐ Addition ☐ Renovation ☐ Addition and Renovation ☐ Change of use	[A] 1.1.2.
44.00		Description Washroom building expansion and winterization.	0.4.0.4.(4)
11.02	Major Occupancy Classification:	Occupancy Use Group A Div. 2 Washroom facility	3.1.2.1.(1)
11.03	Superimposed Major Occupancies:	☐ Yes ☐ No Description	3.2.2.7
11.04	Building Area (m²)	Description Existing New Total LEVEL 1 30m ² 46m ² 76m ²	[A] 1.4.1.2.
11.05	Building Height	1 Storeys above grade 4.13m Above Grade 0 Storey below grade	[A] 1.4.1.2 & 3.2.1.1
11.06	Number of streets/ fire fighter access:	1 street(s)	3.2.2.10 & 3.2.5
11.07	Building Size:	⊠ Small	T.11.2.1.1.C.
11.08	Existing Building Classification:	Change in Major Occupancy: Yes Not Applicable (no change of major occupancy) Construction Index: Hazard Index:	11.2.1 T11.2.1.1A T11.2.1.1B to N, 4.2.1(3) & 5.2.2.1.(2)
		Importance Category:	
11.09	Renovation Type:	☐ Basic Renovation ☐ Extensive Renovation	11.3.3.1 & 11.3
11.10	Occupant Load:	Floor Level/ Area Occupancy Type Based On Occupant Load Ground Floor Assembly 3.1.17.1. N/A	3.1.17
11.11		Ratio: Male/Female = 50:50 Except as noted otherwise	3.7.4 / 9.31
	Requipments:	Floor Level/ Area Occupant Load Based On Fixtures Req. Fixtures Provided Ground Floor N/A N/A 6 All washrooms are gender neutral. Washrooms are servicing a park, no defined interior or exterior occupant load.	
11.12	Barrier-free Design:	⊠Yes	11.3.3.2.(2)
11.13	Reduction in Performance Level:	Structural	11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5
		0 ,	
11.14	Compensating Construction:	Yes No Structural No Yes By Increase in occupant load: No Yes By change of major occupancy: No Yes Plumbing No Yes Sewage - system: No Yes Extension of Combustible No Yes Construction:	11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5 11.4.2.6 11.4.2.7
11.15	Compliance Alternatives Proposed:	⊠ No ☐ Yes	11.5.1.
11.16	Notes:	BUILDING CLASSIFICATION: 3.2.2.28 COMBUSTIBLE CONSTRUCTION PERMITTED	

SOCA STUDIO OF CONTEMPORARY ARCHITECTURE

LAPTISTE ARCHITECTURE INC.

1137A Queen St. East Toronto, ON M4M 1K9 (437) 916-9272

Lower Hillside Washroom Building Improvements
City of Toronto

City of Toronto 1873 BLOOR ST W TORONTO, ON M6R 2Z3

2222

No. Date Description

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.

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Drawn: DW

Checked: SL

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Date: JUNE 12, 2024

COVER PAGE

A000

INTERIOR FINISHES LEGEND

FLOOR FINISHES FLOOR TILE:

EPX EPOXY FLOORING

SERIES: PROFILE COLOUR: ICELAND WHITE FINISH: SUAVE SIZE: AS SHOWN ON WALL TYPE BOND: STACKED

BOND: RUNNING

FLOOR/WALL BASE STANDARD CONCRETE BLOCK: MANUFACTURER: BRAMPTON BRICK INTEGRAL EPOXY BASE SERIES: CarboClave Block

B-Z RUBBER BASE REFER TO SPECIIFCATIONS.

SEALED CONCRETE FLOORING

WALL TILE B-3 TILE BASE TO MATCH WT-1 WT-1 MANUFACTURER: STONETILE SERIES: JOINT

COLOUR: TERRACOTTA FINISH: MATTE SIZE: 7x28x1cm **CEILING FINISHES**

13mm GYPSUM BOARD ON STEEL STUD FRAMING

WALL FINISHES ARCHITECTURAL CONCRETE BLOCK: MANUFACTURER: BRAMPTON BRICK

SIZE: AS SHOWN ON WALL TYPE

COLOUR NO.: SW 7004 COLOUR NAME: SNOWBOUND MANUFACTURER: SHERWIN WILLIAMS PT-2 DOORS/FRAMES (WHITE ACCENT)

PAINT :

НМ

HM

EX

COORDINATE FLUSH

VALVE HEIGHT WITH **GRAB BAR MOUNTING**

965 2150 50 HM A PT

A PT

965 2150

COLOUR NO.: SW 9542 COLOUR NAME: NATURAL WHITE MANUFACTURER: SHERWIN WILLIAMS DOORS/FRAMES (RED ACCENT) COLOUR NO.: SW 6613

NOTED OTHERWISE.

COLOUR NAME: LEI FLOWER MANUFACTURER: SHERWIN WILLIAMS PROVIDE PAINT PT-1 TO ALL WALLS UNLESS NOTED OTHERWISE.

ALL WALLS AFFECTED BY THIS WORK ARE

TO RECEIVE PAINT AND B-2 BASE, UNLESS

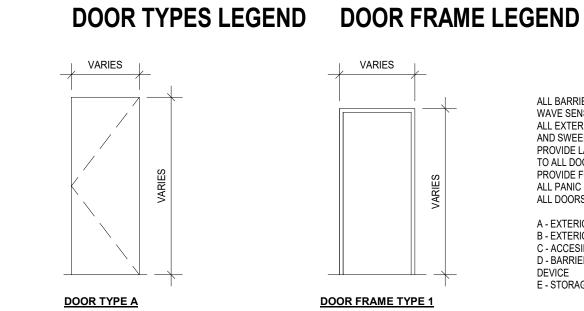
FLOOR TYPE SCHEDULE **ROOF TYPE SCHEDULE** R1 - SLOPED ROOF STANDING SEAM METAL ROOFING (NEW) ROOF MEMBRANE (NEW) VENTED ROOF STRUCTURE (EXISTING) R60 - BATT INSULATION (NEW) AIR/VAPOUR BARRIER MEMBRANE (NEW)

R1 ALT - SLOPED ROOF ALTERNATE SHINGLES (NEW) ROOF UNDERLAYMENT (NEW) ROOF MEMBRANE (NEW) VENTED ROOF STRUCTURE (EXISTING) R60 - BATT INSULATION (NEW) AIR/VAPOUR BARRIER MEMBRANE (NEW) ROOF DECKING (EXISTING)

SLAB ON GRADE FLOOR FINISH (REFER TO FLOOR FINISH DRAWINGS) 100mm CONCRÈTE SLAB (REFER TO STRUCTURAL DRAWINGS) POLYETHELYNE MEMBRANE 100mm RIGID INSULATION (R12 MIN) CLEAR STONE CAPILLARY MOISTURE BARRIER (CONFIRM WITH GEOTECHNICAL REPORT) 200mm GRANULAR FILL (CONFIRM WITH GEOTECHNICAL REPORT) REFER TO GEOTECHNICAL REPORT FOR SUB-BASE/BASE

WALL TYPES SCHEDULE PARTITION TYPES SCHEDULE BLOCK DIMENSIONS ARE (D x H x L) ----140 mm x 90 mm x 390 mm CONCRETE BLOCK TO U/S OF DECK HOST 190 mm x 190 mm x 390 mm CONCRETE BLOCK TO U/S OF DECK 12mm CEMENT FIBRE CLADDING ON MANUFACTURER SUPPLIED SUPPORTS(NEW) 12mm CEMENT FIBRE CLADDING ON 25mm VERTICAL METAL Z GIRT / 25mm AIR SPACE (NEW) MANUFACTURER SUPPLIED SUPPORTS (NEW) 150mm HORIZONTAL NONCONDUCTIVE 150mm VERTICAL METAL Z GIRT / 150mm AIR SPACE (NEW) CLADDING SUPPORT SYSTEM / 150mm SEMI RIGID 150mm HORIZONTAL NONCONDUCTIVE CLADDING 140 mm x 190 mm x 390 mm CONCRETE BLOCK TO U/S OF DECK INSULATION (NEW) SUPPORT SYSTEM / 150mm SEMI RIGID INSULATION (NEW) P2b 190 mm x 190 mm x 390 mm CONCRETE BLOCK TO U/S OF DECK VAPOUR BARRIER (NEW) VAPOUR BARRIER (NEW) 190mm CMU (WALL TYPE P1B OR P2B) REFER TO DRAWINGS SOFFIT TYPES SCHEDULE ON EXISTING WALL HOST HOST ON FRAMING AS REQUIRED (SEE DETAILS) COORDINATE WITH ELECTICAL FOR LIGHTING LOCATIONS 12mm CEMENT FIBRE CLADDING ON EXISTING WALL INFILL MANUFACTURER SUPPLIED SUPPORTS (NEW) 12mm SHEATHING (NEW) 25mm VERTICAL METAL Z GIRT / 25mm AIR SPACE 92mm STEEL STUD LAYER FILLED WITH INSULATION (NEW) (ADDITIONAL FRAMING TO SUIT AT BUILDING CORNERS) (NEW) 15.9mm MOISTURE AND IMPACT RESISTANT GYPSUM WALL 150mm HORIZONTAL NONCONDUCTIVE CEILING TYPES SCHEDULE BOARD (NEW) CLADDING SUPPORT SYSTEM / 150mm SEMI RIGID INSULATION (NEW) VAPOUR BARRIER (NEW) ON EXISTING WALL 16mm MOISTURE AND IMPACT RESISTANT GYPSUM BOARD (NEW)
ON FRAMING AS REQUIRED (SEE DETAILS)
COORDINATE WITH ELECTICAL FOR LIGHTING LOCATIONS EXISTING EXTERIOR WALL 2X4" STUD LAYER FILLED WITH INSULATION (EXISTING) 2 LAYERS OF 16mm TYPE X GYPSUM BOARD (NEW) 25mm AIR SPACE (EXISTING) ON FRAMING AS REQUIRED (SEE DETAILS)

DEGREE DAYS BELOW 18°C	3520	
CLIMATE ZONE	5	
ASSEMBLY	MAX. ASSEMBLY U VALUE (W/(m ² K))	MIN. INSULATION R-VALUE (ft²·°F·hr/Btu)
ABOVE GROUND OPAQUE WALLS (Mass)	0.307	R17.0 ci
ABOVE GROUND OPAQUE WALLS (Steel Framed)	0.281	R13.0 + R12.0 ci
OPAQUE ROOFS (Insulation above deck)	0.164	R35.0 ci
OPAQUE ROOFS (Attic and Other)	0.019	R60
UNHEATED SLAB-ON-GRADE FLOORS	F-0.810	R15 for 48in.
HEATED SLAB-ON-GRADE FLOORS	F-1.072	R10
UNHEATED SLAB-ON-GRADE FLOORS HEATED SLAB-ON-GRADE FLOORS	F-1.072	
PAQUE DOOR	2.56	



ALL BARRIER FREE DOOR OPERATORS TO BE TOUCHLESS WAVE SENSORS ALL EXTERIOR DOORS TO FEATURE WEATHER STRIPPING AND SWEEP AND TO BE INSULATED PROVIDE LATCHES, PUSH PLATES, CLOSERS AND LEVERS TO ALL DOORS PROVIDE FULL DOOR WIDTH KICK PLATES TO ALL DOORS ALL PANIC HARDWARE TO BE SURFACE MOUNTED ALL DOORS TO HAVE WALL MOUNTED DOOR STOPS

DO NOT PENETRATE CEILING MEMBRANE

1 HOUR FIRE RESISTANCE RATING

A - EXTERIOR KEY LOCK AND INTERIOR LEVER B - EXTERIOR KEY LOCK AND INTERIOR PANIC DEVICE C - ACCESIBLE LEVER HANDLE WITH DEADBOLT D - BARRIER FREE DOOR OPERATOR WITH WAVE TO OPEN E - STORAGE ROOM DEADBOLT

MATERIAL **FINISHES AL** ALUMINUM CA CLEAR ANODIZED IM INSULATED METAL **PT** PAINT **HM** HOLLOW METAL MANUFACTURE FINISH CC CLEAR COAT **SWD** SOLID WOOD DOOR PRE-FINISHED ALUMINUM **PS** PRESSED STEEL PF IPS INSULATED PRESSED STEEL **DF** DECORATIVE FENCE **GL** GLASS **EX** EXISTING

DOOR HARDWARE TYPES

REFER TO SPECIFICATIONS PROVIDE LATCHES, PUSH PLATES, CLOSERS AND LEVERS TO ALL DOORS PROVIDE WEATHER STRIP AND SWEEP TO ALL EXTERIOR DOORS PROVIDE ELECTROMAGNETIC LOCK TO HARDWARE TYPES AS PER THE HARDWARE SCHEDULE.

DOOR THRESHOLD TYPES

A - CT65 B - CT75

C - CT410



LEGENDS, SCHEDULES, GENERAL NOTES

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Lower Hillside Washroom Building

Description

Improvements

TORONTO, ON M6R 2Z3

Date

City of Toronto

2222

Drawn:

Checked:

Issued For: TENDER

JUNE 12, 2024

1873 BLOOR ST W

SOCA STUDIO

CONTEMPORARY

ARCHITECTURE

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ROOM FINISH SCHEDULE - PAGE 1 EAST FL00R NORTH SOUTH WEST CEILING ROOM NAME MAT'L FIN MAT'L FIN MAT'L FIN MAT'L FIN COMMENTS NUMBER FIN BASE MAT'L FIN WASHROOM WASHROOM WASHROOM WASHROOM WASHROOM WASHROOM A EX, CMU-2 WT1 EX WT1 CMU-2 WT1 CMU-2 WT1 GWB PT-1 WT-1 ON ALL WALLS GWB PT-1 EXP EQUIPMENT ROOM EX, CMU-2 EX, CMU-2 EX, CMU-2 EX, CMU-2 SERVICE ROOM A EXISTING FINISHES TO REMAIN STORAGE ROOM DOOR FRAME GROUP OPERATOR HARDWARE MATERIAL MATERIAL FINISH RE DOOR FROM TO ROOM ROOM **ROOM NAME** NO. COMMENTS LEVEL 1 101 WASHROOM 965 2150 100 102 НМ PT 102 100 WASHROOM PT 103 WASHROOM HM 103 100 104 PT 104 WASHROOM HM 100 105 WASHROOM HM PT 105 100 PT

PS

1 PT

HM 1 PT

TOILET PAPER FEMININE COAT COAT PAPER TOWEL GRAB BAR (800) STAINLESS STEEL LIGHT SWITCH **EMERGENCY** SANITARY SURFACE GRAB BAR (600) FOLD DOWN FOLD DOWN **BABY CHANGE** DISPENSER PRODUCT HOOK HOOK DISPENSER DISPENSER NAPKIN/TAMPON MOUNTED WASTE HORIZONTÀL & RIGHT ANGLE HORIZONTAL GRAB HORIZONTAL GRAB TABLE VERTICAL SHELF LIGHT (TP) BY OWNER NIC RECEPTACLE DISPOSAL (CH) (CH) (SD) VENDER VERTICAL (REFER (GB3) BAR BAR (SIDE VIEW) (BC) (SSH) (EL) (PT) (GB2) TO DRAWINGS) (GB4) (SNV) (WR) (GB4) (GB1)

106

107

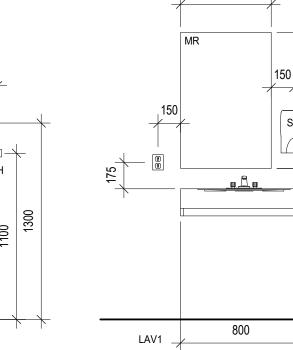
107

109

100

EXT

EXT



460 MIN LAV2

DOOR AND FRAME TO REMAIN WITH

NEW HARDWARE.

GRAB BARS SHALL BE MIN. 35mm DIAMETER, 40mm DIAMETER MAX. CLEARANCE FOR GRAB BARS TO BE MIN. 38mm, 50mm MAX. GRAB BARS TO HAVE SLIP RESISTANT SURFACE AS SPECIFIED INSTALL GRAB BARS TO SUPPORT LOADING REQUIRED BY THE ONTARIO BUILDING CODE. LOCATE COAT HOOK ON INTEIOR OF WASHROOM DOOR AT 1200mm MAX. ABOVE FINISHED FLOOR AND PROJECTING NOT MORE THAN TP - TOILET PAPER DISPENSER - 1 PER TOILET FIXTURE. SND - SANITARY NAPKIN DISPOSAL - 1 PER TOILET FIXTURE.

100mm BLOCK (EXISTING)

SD - SOAP DISPENSER - 1 PER LAVATORY FIXTURE. MR - MIRROR - 1 PER LAVATORY FIXTURE. SSH - STAINLESS STEEL SHELF - 1 PER WASHROOM

IN ROOM 106 PROVIDE GB1, GB2, GB4 SND

106

107

108

109

WASHROOM A

EQUIPMENT ROOM

EQUIPMENT ROOM

STORAGE ROOM

400 200 500

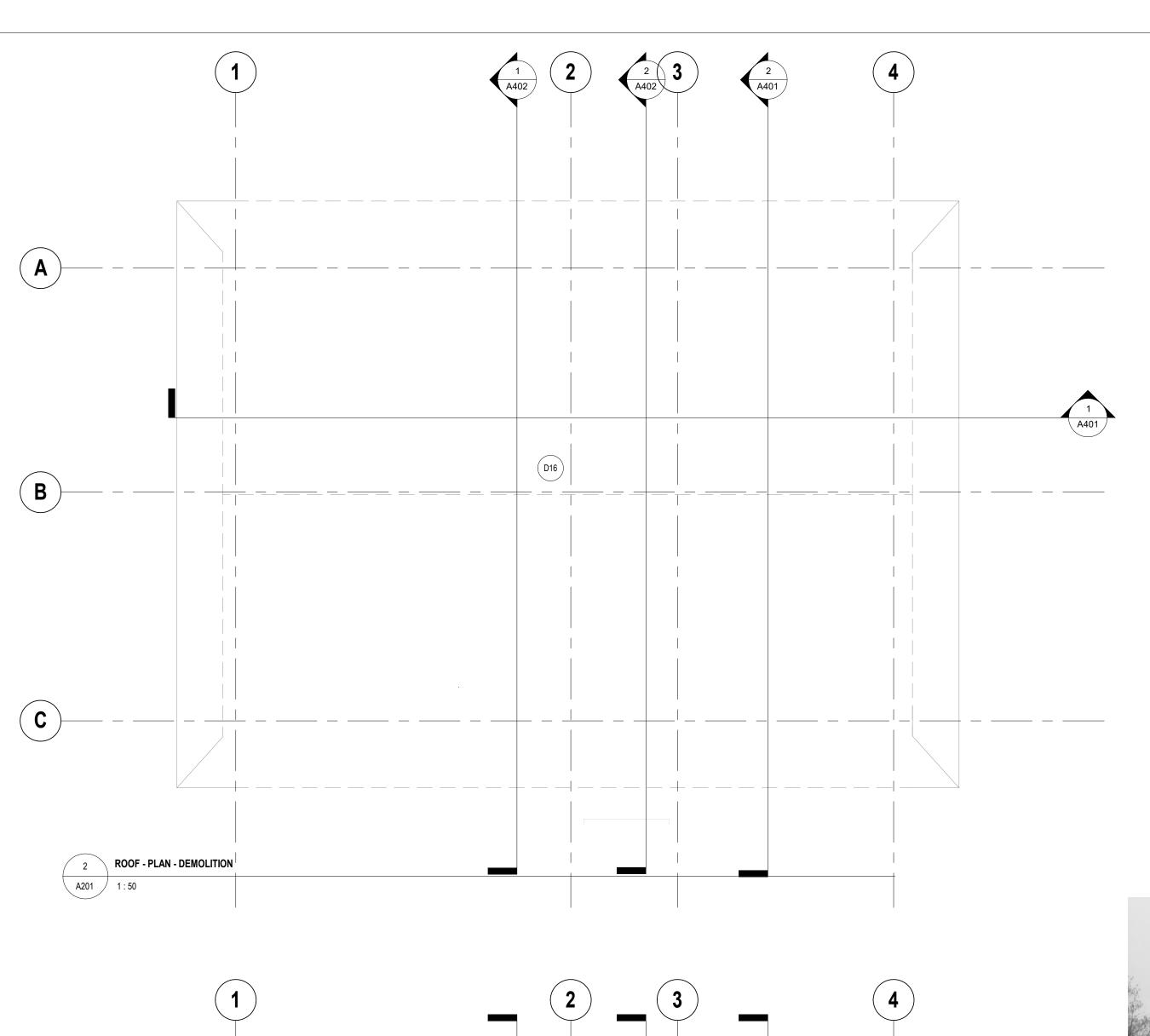
SOCA STUDIO

Lower Hillside Washroom Building

Description

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LEVEL 1 - FLOOR PLAN - DEMOLITION



Demolition Keynote					
Key Value Keynote Text					
D01	DEMOLISH EXISTING WALL TO EXTENTS SHOWN. MAKE GO!				
D02	PATCH, REPAIR AND MAKE GOOD EXISTING FLOOR SLAB FOR INSTALLATION OF NEW FLOOR FINISHES.				
D03					
D12	REMOVE EXISTING TOILETS, URINALS AND SINKS. TYPICAL.				
D14	REMOVE EXISTING CLADDING TO FACE OF SHEATHING. MAI GOOD EXISTING SHEATHING. TYPICAL.				
D15	REMOVE EXISTING GLASS BLOCK.				
D16	REMOVE EXISTING ROOFING AND PREPARE FOR NEW.				
D17	DEMOLISH PORTION OF EAVE TO EXTENT INDICATED ON DRAWINGS. MAKE GOOD EAVE TO PREPARE FOR NEW SOF REFER TO DETAIL DRAWINGS.				

DEMOLITION LEGEND

EXISTING WALL TO REMAIN

_ __ EXISTING WALL TO BE DEMOLISHED

DEMOLITION NOTES

- 1. SITE VERIFY ALL DIMENSIONS AND CONDITIONS.
 2. ALL WORK TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND THE OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS.
 3. PROVIDE PROTECTION IN LOCATIONS APPROVED BY THE OWNER AND CONSULT AND ASSOCIATION OF THE OWNER AND CONSULT CONSULTANT SO AS NOT TO DAMAGE EXISTING STRUCTURE OR PART THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND IS TO REPAIR / REPLACE SAME TO THE SATISFACTION OF THE OWNER
- AND CONSULTANT. COMPLETE ALL DEMOLITION WORK NECESSARY TO COMPLETE THE RENOVATIONS AS SHOWN AND AS REQUIRED. DEMOLITION OF BUILDING ELEMENTS INCLUDES COMPLETE REMOVAL OF ALL ASSOCIATED FIXTURES, FITTINGS, HARDWARE, FASTENERS,
- EQUIPMENT AND ACCESSORIES UNLESS NOTED OTHERWISE. ARCHITECTURAL, MECHANICAL AND ELECTRICAL DEMOLITION
- ARCHITECTURAL, MECHANICAL AND ELECTRICAL DEMOLITION
 DRAWINGS ARE COMPLEMENTARY AND SHALL BE READ TOGETHER.
 NOTIFY CONSULTANT OF LOAD BEARING MEMBERS OR ASSEMBLIES
 IDENTIFIED OR DISCOVERED DURING WORK AND NOT INDICATED ON
 DRAWINGS. DO NOT PROCEED WITH REMOVALS WITHOUT PRIOR
 REVIEW BY THE CONSULTANT.
 PROVIDE TEMPORARY SUPPORT OF PIPES, DUCTS AND ELECTRICAL
 CHASES AS REQUIRED FOR SAFE REMOVAL. EXISTING AND
 PROPOSED SUPPORTS ARE TO BE REVIEWED BY THE CONSULTANT.
- PROPOSED SUPPORTS ARE TO BE REVIEWED BY THE CONSULTANT PRIOR TO THE REMOVAL OF ANY COMPONENTS WHICH MAY FALL. OR
- CAUSE OTHERS TO FALL.

 8. MAINTAIN WORK AREAS AND STORAGE AREAS CLEAN AND ORDERLY AT ALL TIMES.
 REMOVAL OF EXISTING FLOOR FINISHES IS TO INCLUDE COMPLETE
- REMOVAL OF BASE AND ALL MORTAR AND ADHESIVES AND PREPARATION OF EXISTING SUBSTRATES TO RECEIVE NEW
- FREPARATION OF EXISTING SUBSTRATES TO RECEIVE NEW
 FLOORING, SATISFACTORY TO THE MANUFACTURER OF NEW FLOOR
 FINISHES. ALLOW FOR EXCESSIVE LEVELING OF SLABS.

 10. DEMOLITION INCLUDES ALL ASSOCIATED MECHANICAL AND
 ELECTRICAL SERVICES, EQUIPMENT, FITTINGS, FIXTURES, HANGERS,
 BRACKETS, TRIM AND ACCESSORIES AS REQUIRED TO COMPLETE
- THE WORK.

 11. MAINTAIN EXISTING FIRE SUPPRESSION SYSTEMS AND EQUIPMENT

 12. MAINTAIN FIRE SEPRATIONS AND FIRE RATINGS. MAKE GOOD ANY
 DAMAGE TO CEILING CEMENTITIOUS FIRE SPRAY.
- REMOVAL OF DOORS AND FRAMES IS TO INCLUDE REMOVAL OF ALL
- 14. DISCONNECT AND CAP OFF ALL SERVICES PRIOR TO DEMOLITION.
 15. CONTRACTOR TO BE RESPONSIBLE FOR ANY DAMAGE TO THE
- EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND REPAIR SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT. 16. PROVIDE OPENING FOR NEW 750mm X 750mm ACCESS PANEL IN
- EXISTING GYPSUM BOARD CEILING OF JANITOR ROOM (ROOM 124). COORDINATE LOCATION WITH ELECTRICAL DRAWINGS.

 17. CONTRACTOR TO VACUUM EXISTING RANGE HOOD DUCTWORK PRIOR





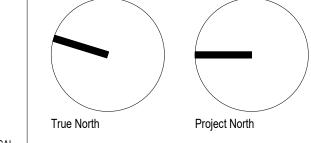
- ASPHALT ROOFING AND SHEATHING TO BE REMOVED, ROOF TO BE MADE GOOD FOR NEW ROOFING. TYPICAL.

EXTERIOR LIGHT FIXTURES TO BE REMOVED. REFER TO ELECTRICAL DRAWINGS.

PUMP EQUIPMENT TO BE RELOCATED TO BUILDING INTERIOR. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.

STEEL COLUMNS TO REMAIN. MAKE GOOD FOR NEW PAINT.

BRICK AND CONCRETE COLUMNS TO REMAIN.



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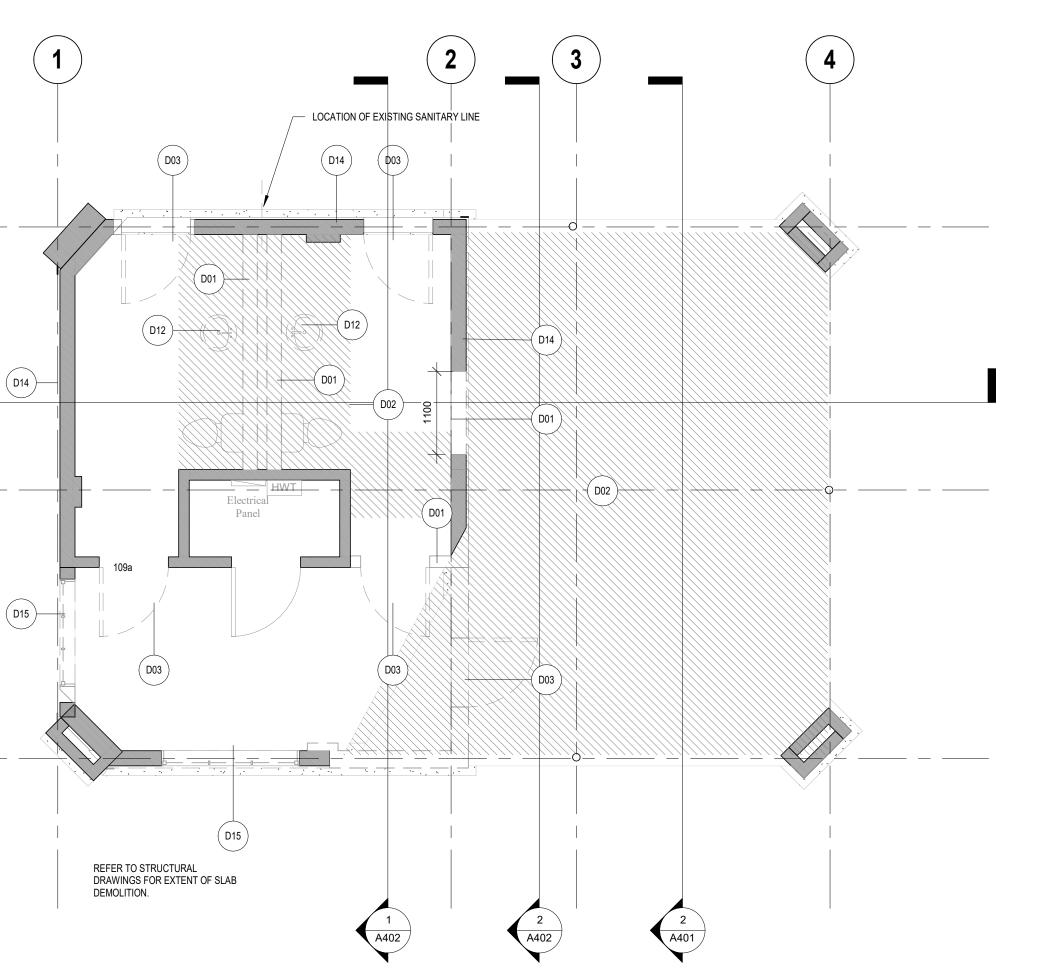
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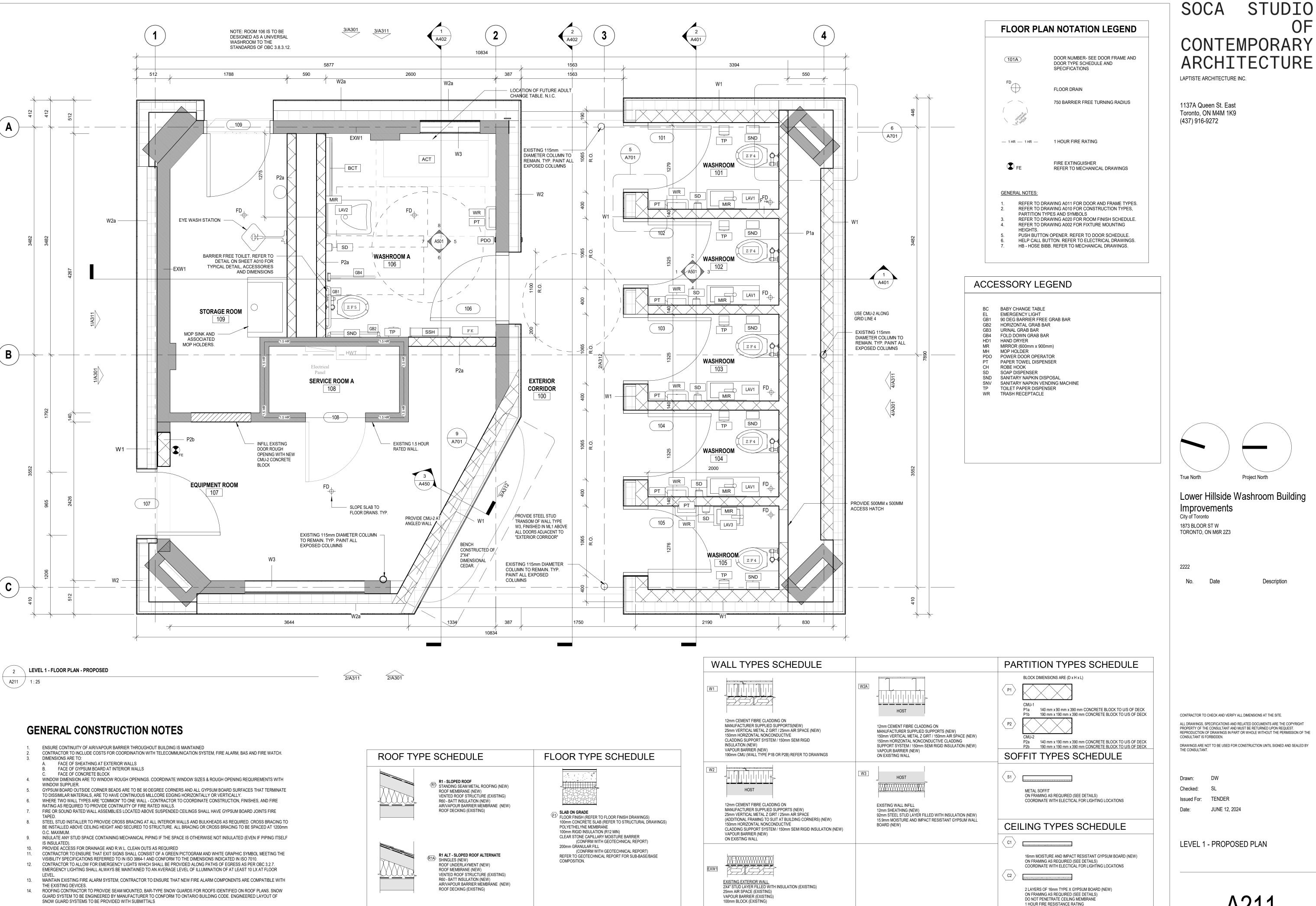
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LEVEL 1 - DEMOLITION PLAN





EXISTING EXTERIOR VIEW A201 1:10



OBC SB-2 TABLE 2.3.12.

A212 1 : 50

GENERAL CONSTRUCTION NOTES

- ENSURE CONTINUITY OF AIR/VAPOUR BARRIER THROUGHOUT BUILDING IS MAINTAINED CONTRACTOR TO INCLUDE COSTS FOR COORDINATION WITH TELECOMMUNICATION SYSTEM, FIRE ALARM, BAS AND FIRE WATCH.
- DIMENSIONS ARE TO:

 A. FACE OF SHEATHING AT EXTERIOR WALLS

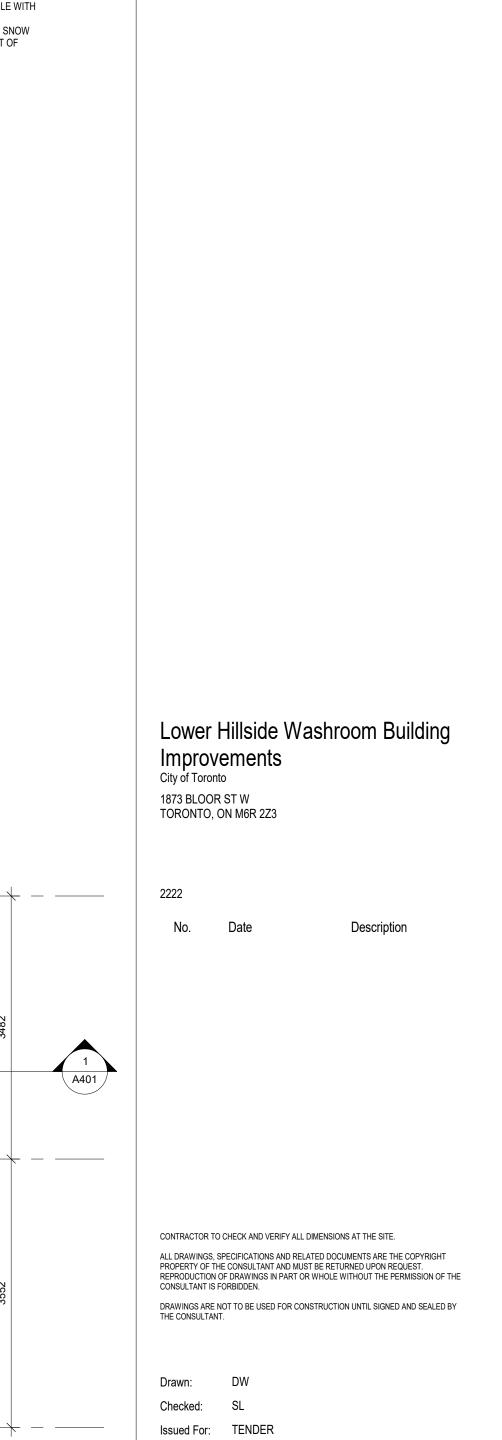
 B. FACE OF GYPSUM BOARD AT INTERIOR WALLS

 C. FACE OF CONCRETE BLOCK
- WINDOW DIMENSION ARE TO WINDOW ROUGH OPENINGS. COORDINATE WINDOW SIZES & ROUGH OPENING REQUIREMENTS WITH GYPSUM BOARD OUTSIDE CORNER BEADS ARE TO BE 90 DEGREE CORNERS AND ALL GYPSUM BOARD SURFACES THAT TERMINATE
- TO DISSIMILAR MATERIALS, ARE TO HAVE CONTINUOUS MILLCORE EDGING HORIZONTALLY OR VERTICALLY. WHERE TWO WALL TYPES ARE "COMMON" TO ONE WALL - CONTRACTOR TO COORDINATE CONSTRUCTION, FINISHES, AND FIRE
- RATING AS REQUIRED TO PROVIDE CONTINUITY OF FIRE RATED WALLS. FIRE OR SOUND RATED WALL ASSEMBLIES LOCATED ABOVE SUSPENDED CEILINGS SHALL HAVE GYPSUM BOARD JOINTS FIRE
- 8. STEEL STUD INSTALLER TO PROVIDE CROSS BRACING AT ALL INTERIOR WALLS AND BULKHEADS AS REQUIRED. CROSS BRACING TO BE INSTALLED ABOVE CEILING HEIGHT AND SECURED TO STRUCTURE. ALL BRACING OR CROSS BRACING TO BE SPACED AT 1200mm O.C. MAXIMUM.
- 9. INSULATE ANY STUD SPACE CONTAINING MECHANICAL PIPING IF THE SPACE IS OTHERWISE NOT INSULATED (EVEN IF PIPING ITSELF
- IS INSULATED).

 PROVIDE ACCESS FOR DRAINAGE AND R.W.L. CLEAN OUTS AS REQUIRED

 CONTRACTOR TO ENSURE THAT EXIT SIGNS SHALL CONSIST OF A GREEN PICTOGRAM AND WHITE GRAPHIC SYMBOL MEETING THE VISIBILITY SPECIFICATIONS REFERRED TO IN ISO 3864-1 AND CONFORM TO THE DIMENSIONS INDICATED IN ISO 7010.

 CONTRACTOR TO ALLOW FOR EMERGENCY LIGHTS WHICH SHALL BE PROVIDED AND STATES OF EGRESS AS PER OBC 3.2.7.
- EMERGENCY LIGHTING SHALL ALWAYS BE MAINTAINED TO AN AVERAGE LEVEL OF ILLUMINATION OF AT LEAST 10 LX AT FLOOR
- MAINTAIN EXISTING FIRE ALARM SYSTEM, CONTRACTOR TO ENSURE THAT NEW FIRE ALARM COMPONENTS ARE COMPATIBLE WITH ROOFING CONTRACTOR TO PROVIDE SEAM MOUNTED, BAR-TYPE SNOW GUARDS FOR ROOFS IDENTIFIED ON ROOF PLANS. SNOW
- GUARD SYSTEM TO BE ENGINEERED BY MANUFACTURER TO CONFORM TO ONTARIO BUILDING CODE. ENGINEERED LAYOUT OF SNOW GUARD SYSTEMS TO BE PROVIDED WITH SUBMITTALS



SOCA STUDIO

CONTEMPORARY

ARCHITECTURE

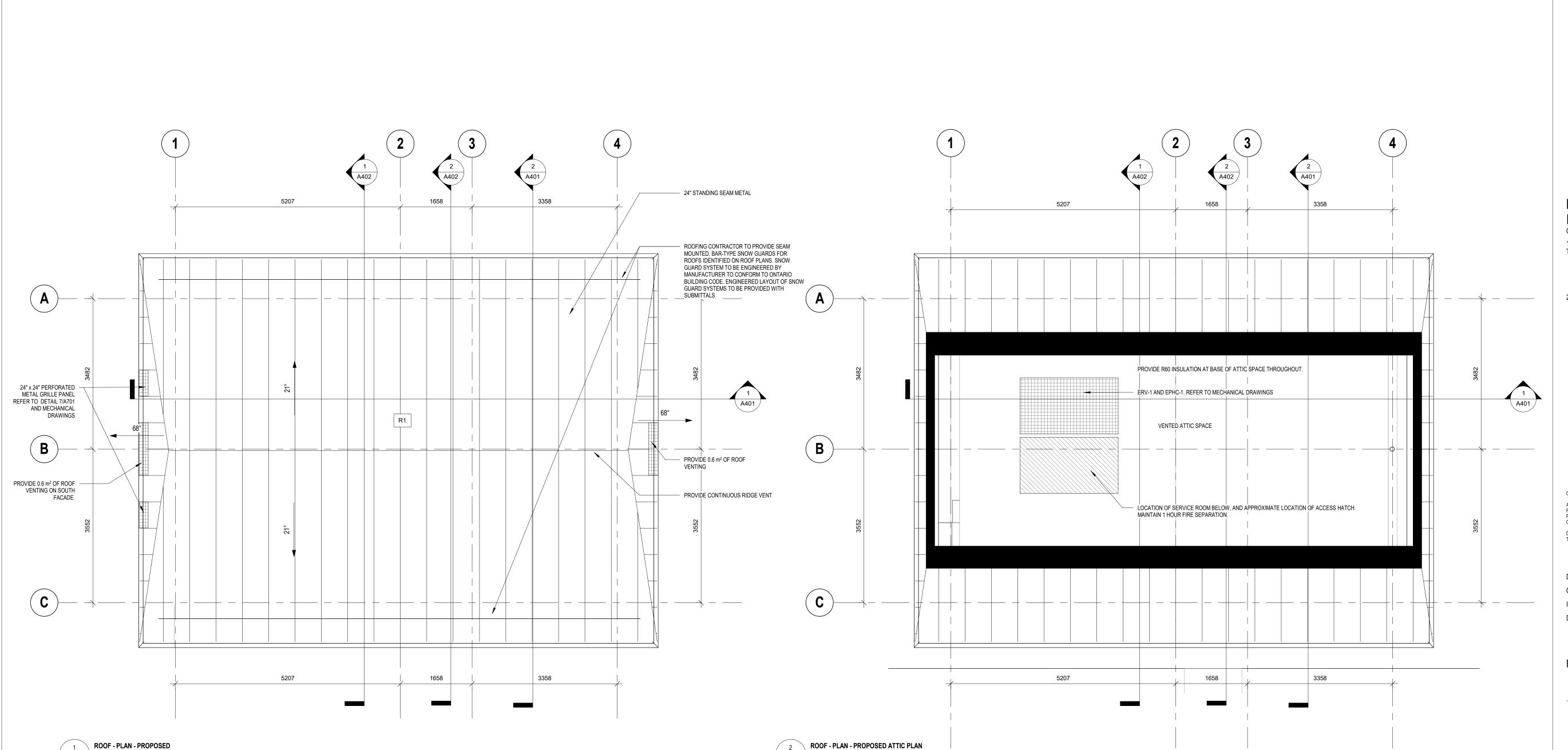
LAPTISTE ARCHITECTURE INC.

1137A Queen St. East

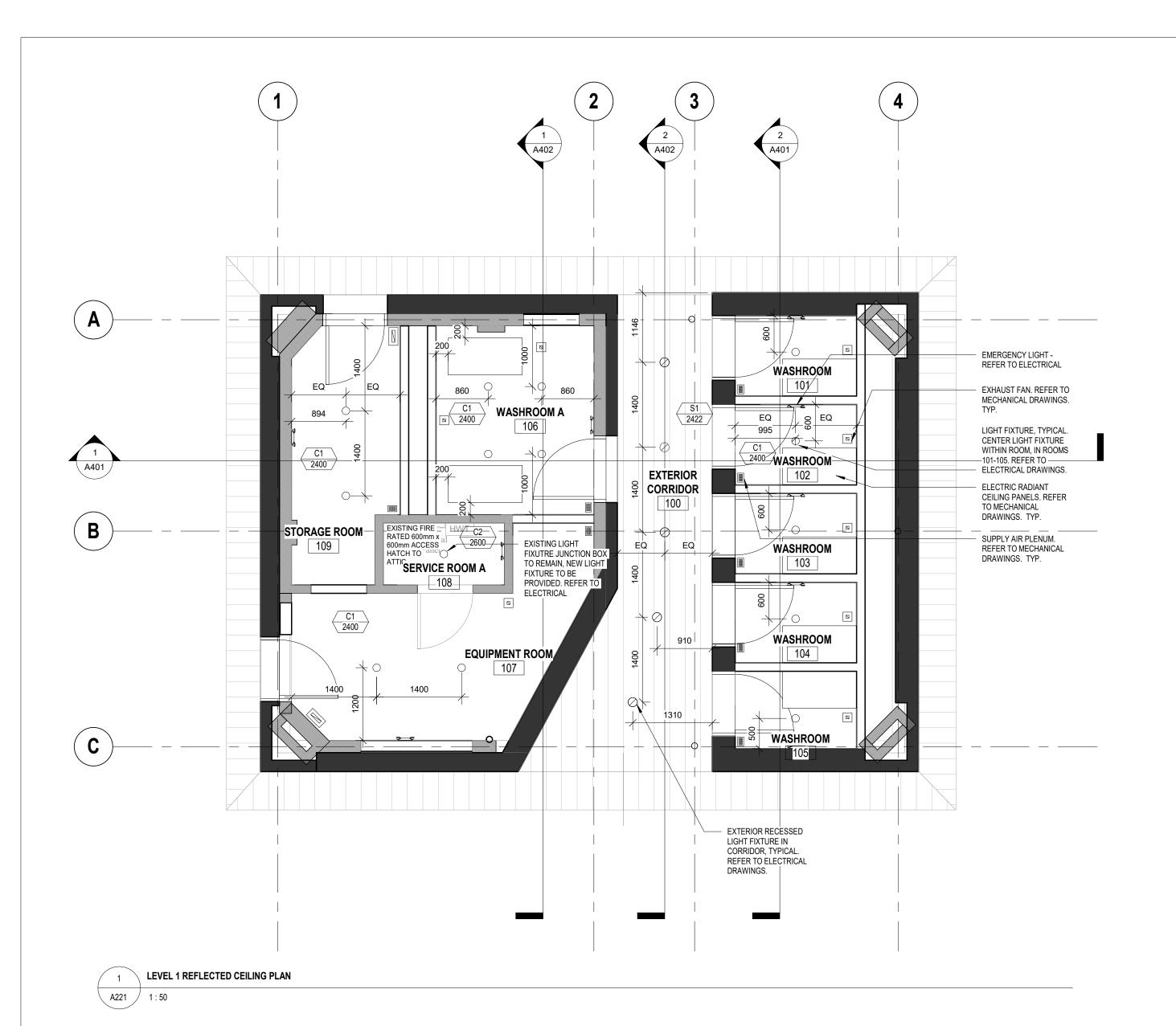
Toronto, ON M4M 1K9 (437) 916-9272

JUNE 12, 2024

ROOF - PROPOSED PLAN



A212 1 : 50



CEILING LEGEND

TYPE CEILING TYPE HEIGHT CEILING HEIGHT

CEILING NOTES

- 1. CEILING HEIGHTS FOR EXPOSED STRUCTURE NOTED AS
- CEILING HEIGHTS FOR EXPOSED STRUCTURE NOTED AS UNDERSIDE OF DECK. REFER TO WALL SECTIONS.

 REFLECTED CEILING PLAN TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL CONSULTANT DRAWINGS.

 REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR FURTHER DUCTING AND LIGHTING INFORMATION.

 ALL CEILING TYPES SHOWN ARE TO BE READ IN CONJUNCTION WITH THE REFLECTED CEILING PLAN FOR HEIGHTS AND INSTALLATION LOCATIONS.

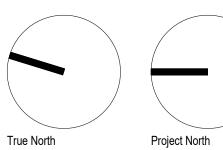
 CEILING IN ROOM 108 IS 1 HOUR RATED.
- 5. CEILING IN ROOM 108 IS 1 HOUR RATED.

SOFFIT TYPES						
TYPE DESCRIPTION						
C1	GWB CEILING					
C2	GWB CEILING - 1HR RATED					
S1	METAL SOFFIT					



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Lower Hillside Washroom Building Improvements

Description

City of Toronto 1873 BLOOR ST W TORONTO, ON M6R 2Z3

2222

No. Date

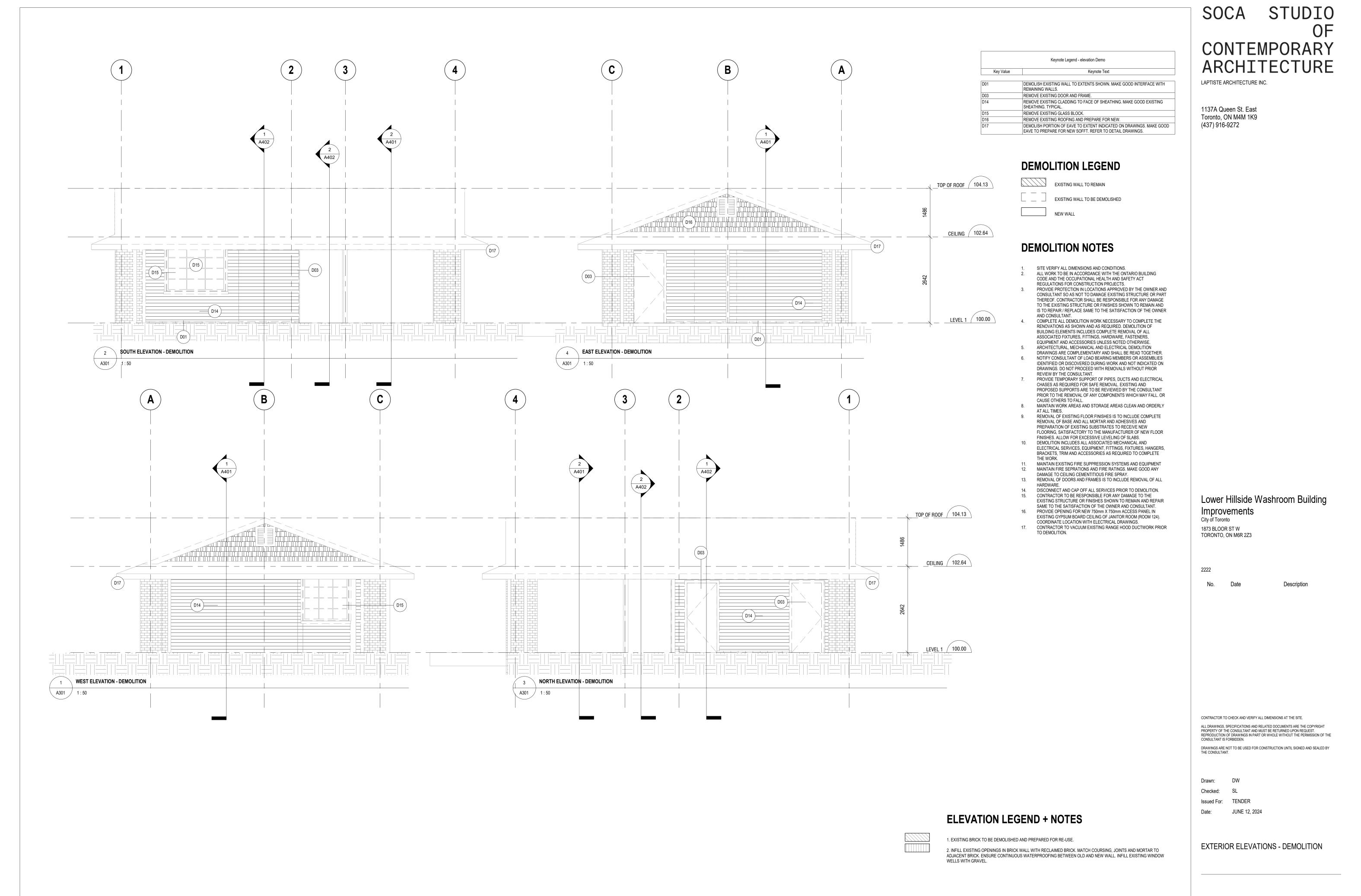
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE. ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

Drawn: DW Checked: SL Issued For: TENDER

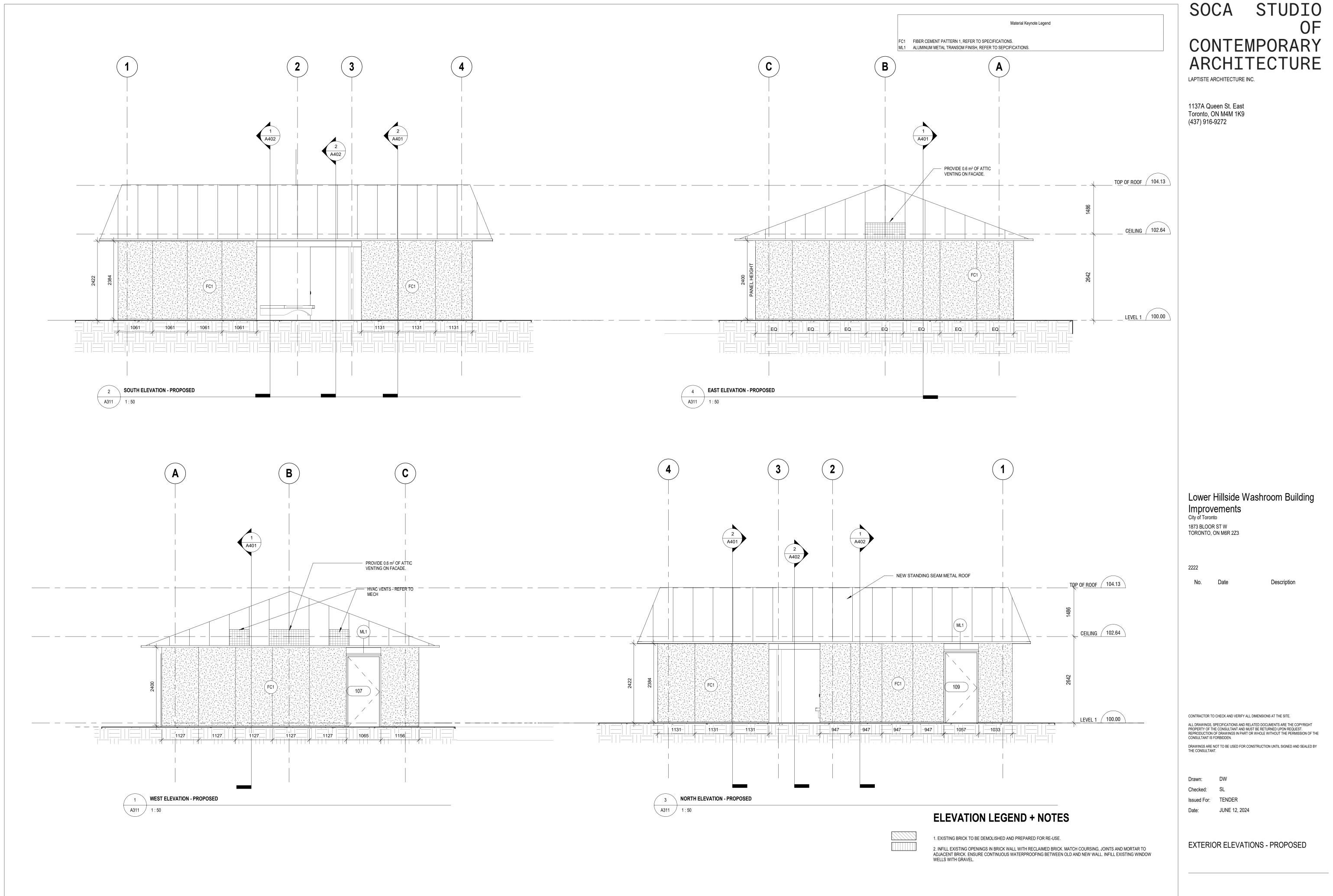
PROPOSED

Date: JUNE 12, 2024

LEVEL 1 - REFLECTED CEILING PLAN



A301



A311

Material Keynote Legend

FC2 FIBER CEMENT PATTERN 2, REFER TO SPECIFICATIONS.

ML1 ALUMINUM METAL TRANSOM FINISH, REFER TO SEPCIFICATIONS.

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LAPTISTE ARCHITECTURE INC.

Lower Hillside Washroom Building Improvements
City of Toronto

City of Toronto 1873 BLOOR ST W TORONTO, ON M6R 2Z3

2222

Date Description

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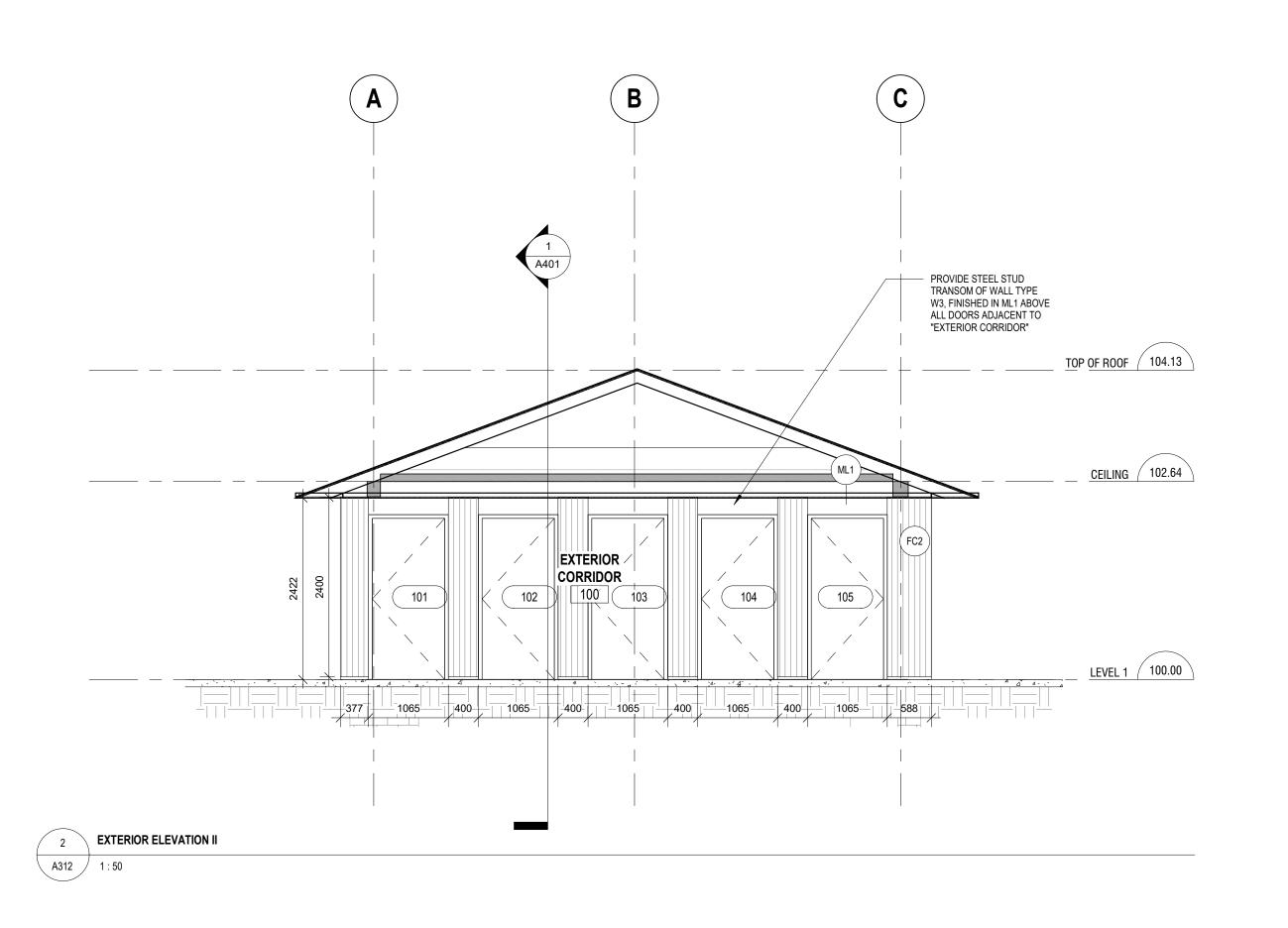
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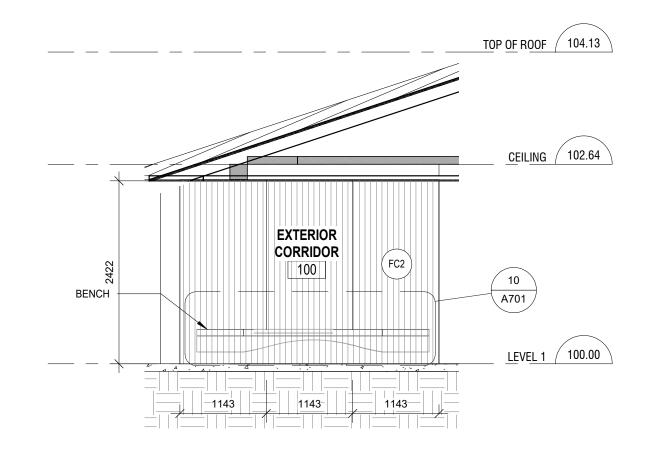
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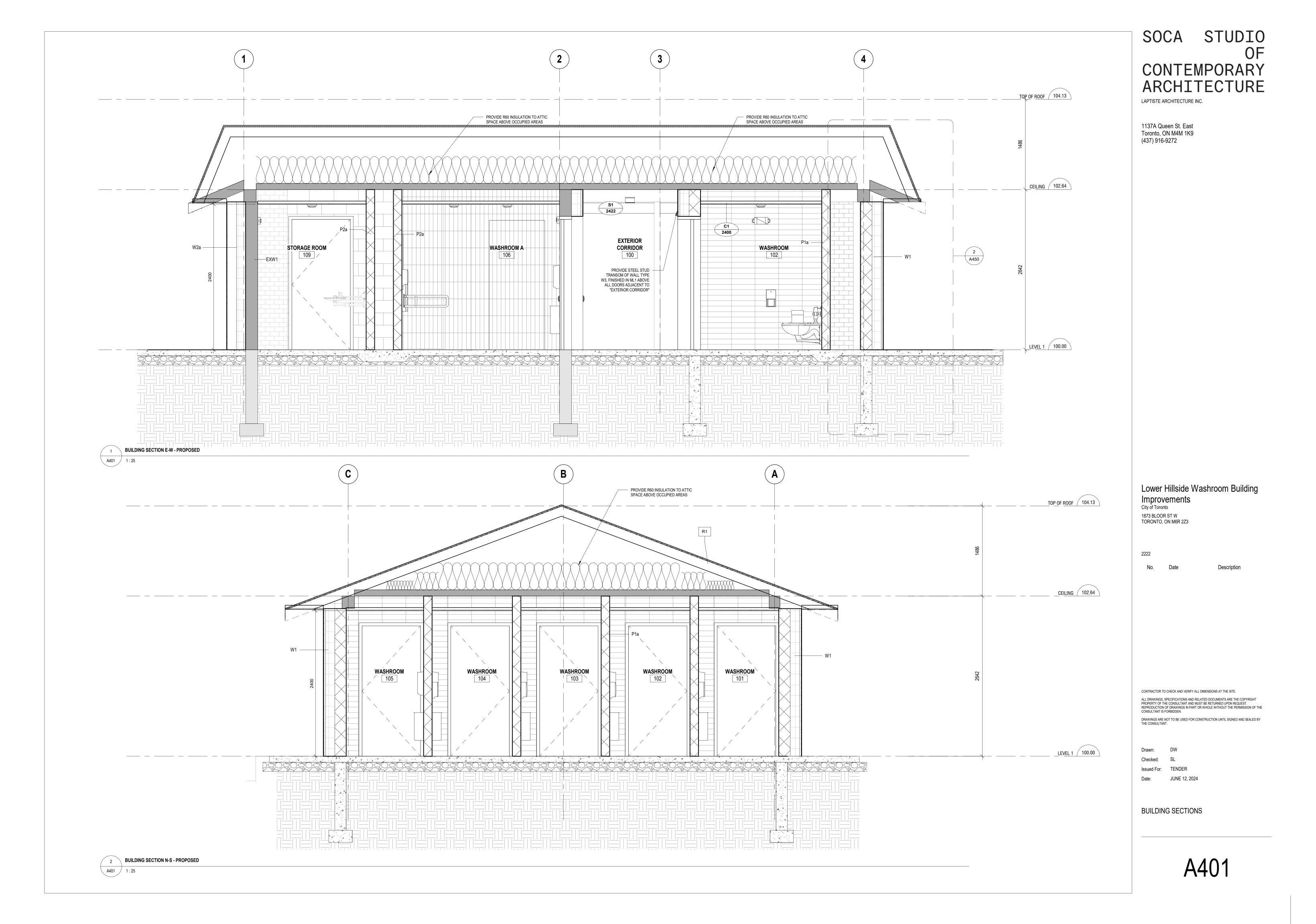
EXTERIOR ELEVATIONS - PROPOSED

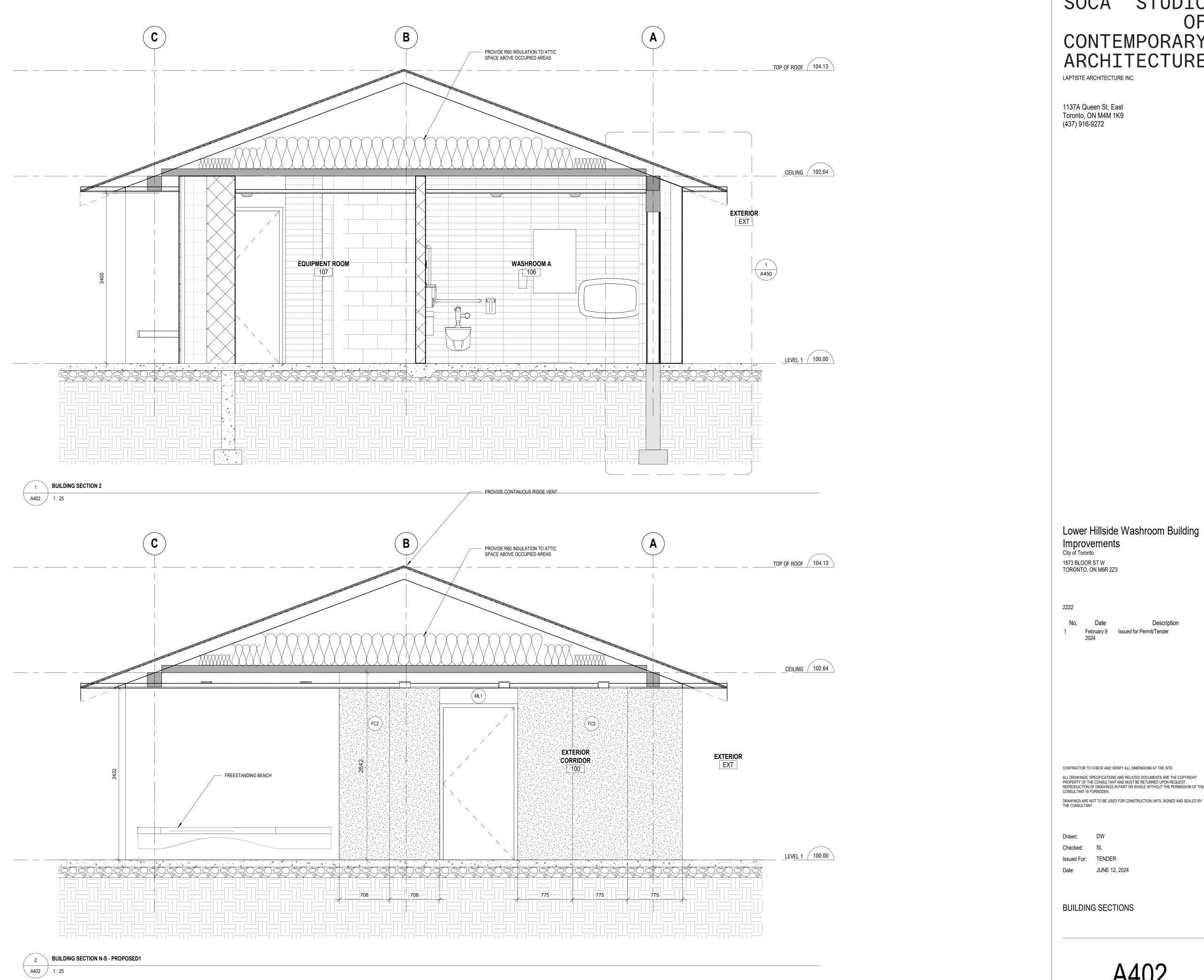
A312





3 INTERIOR ELEVATION PERPENDICULAR TO EQUIPMENT ROOM WALL
A312 1:50

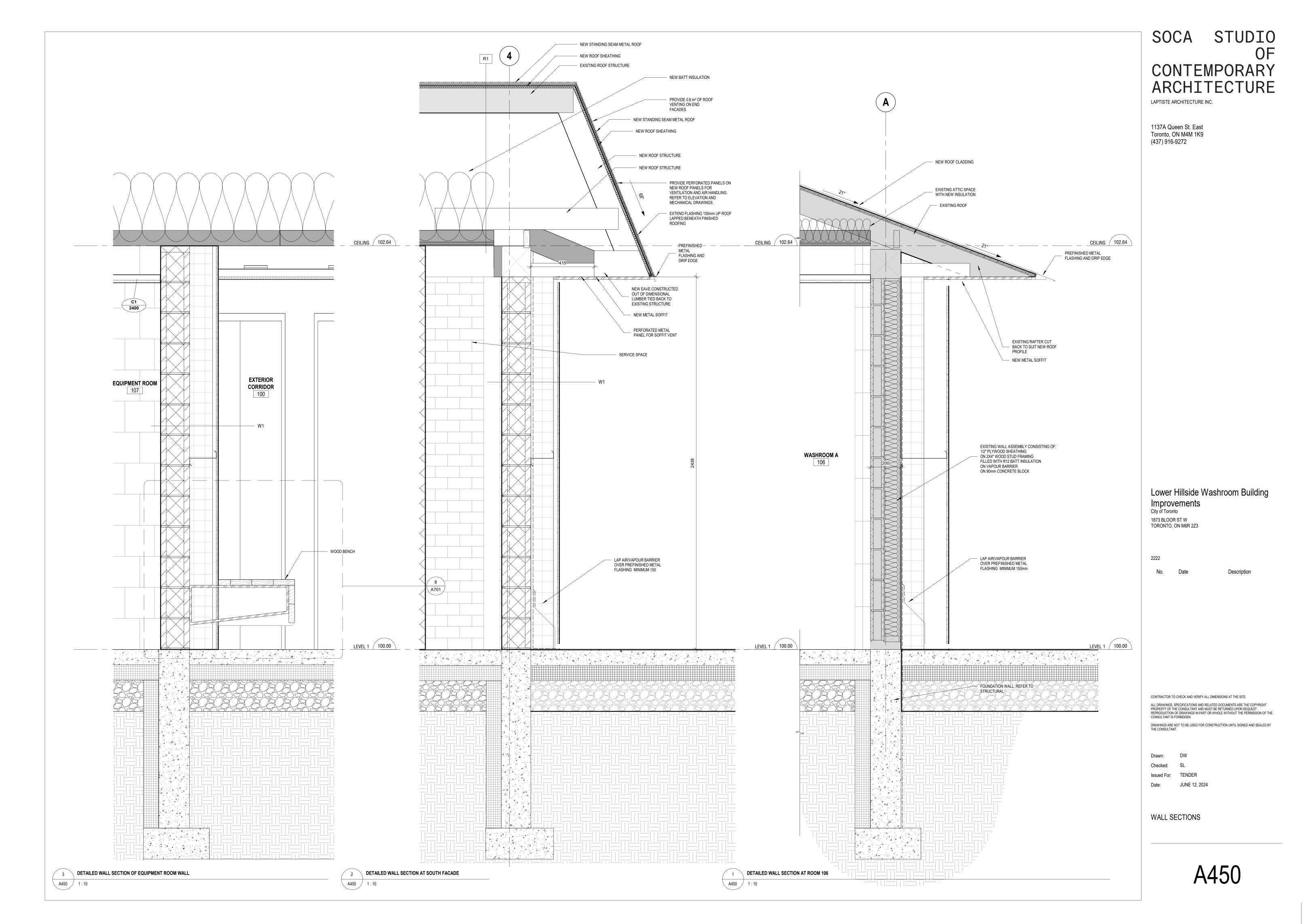




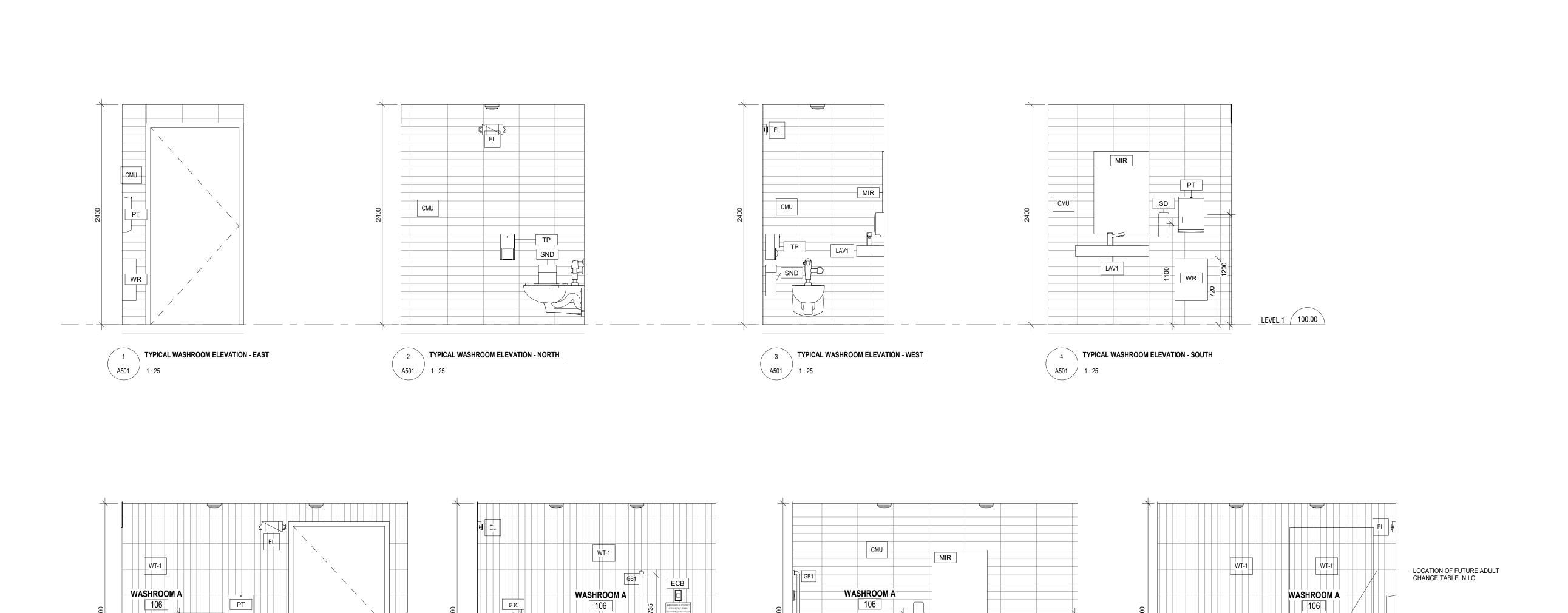
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5 WASHROOM A ELEVATION - WEST



7 WASHROOM A ELEVATION - EAST

WASHROOM A ELEVATION - SOUTH

A501 1 : 25



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No. Date Description
1 February 9 Issued for Permit/Tender

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LEVEL 1 100.00

ACT

BC BABY CHANGE TABLE EL EMERGENCY LIGHT

GB3 URINAL GRAB BAR

CH ROBE HOOK SD SOAP DISPENSER

GB4 FOLD DOWN GRAB BAR
HD1 HAND DRYER
MR MIRROR (600mm x 900mm)
MH MOP HOLDER

PDO POWER DOOR OPERATOR
PT PAPER TOWEL DISPENSER

SND SANITARY NAPKIN DISPOSAL

SNV SANITARY NAPKIN VENDING MACHINE
TP TOILET PAPER DISPENSER
WR TRASH RECEPTACLE

GB1 90 DEG BARRIER FREE GRAB BAR GB2 HORIZONTAL GRAB BAR

8 WASHROOM A ELEVATION - NORTH

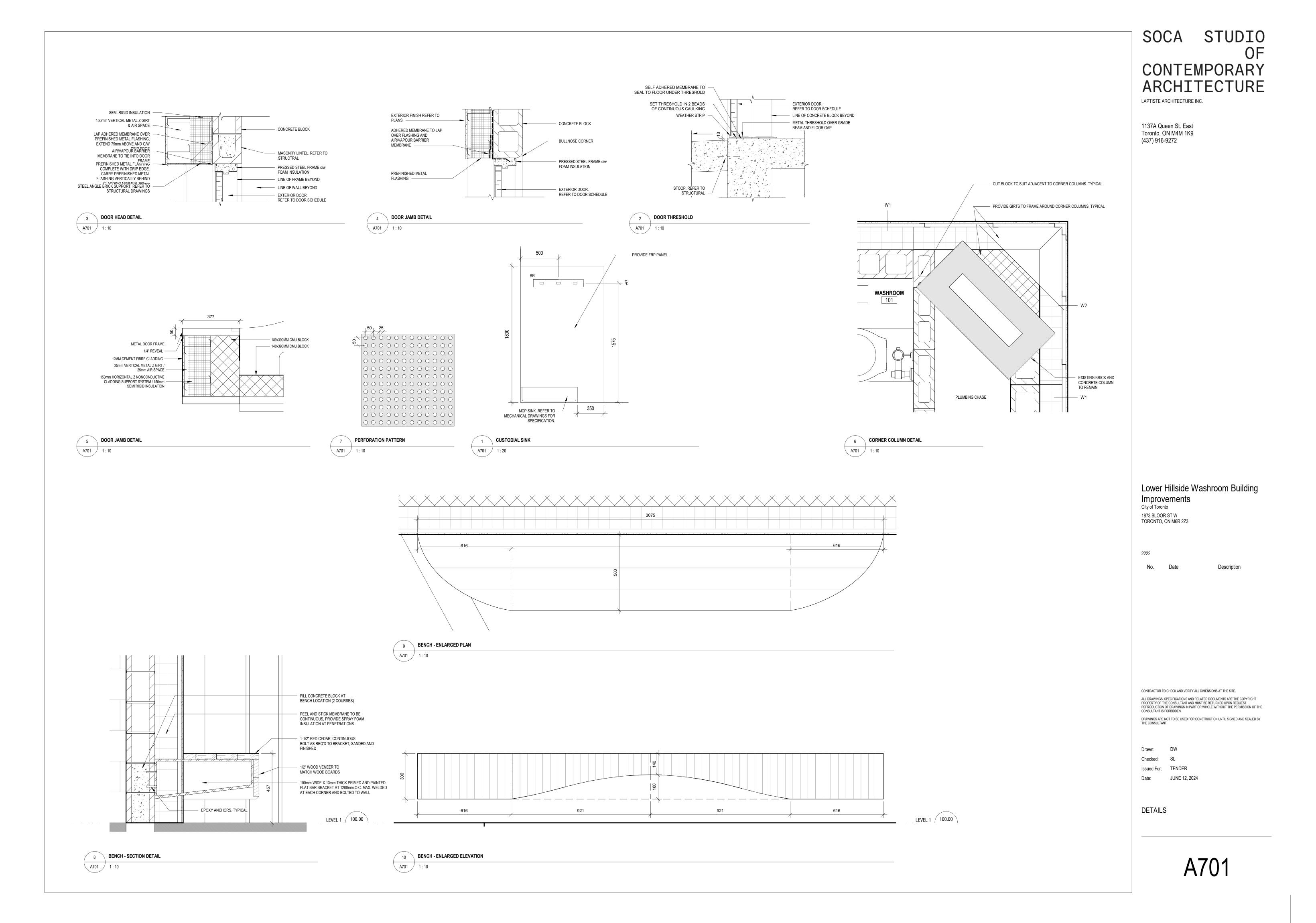
A501 1 : 25

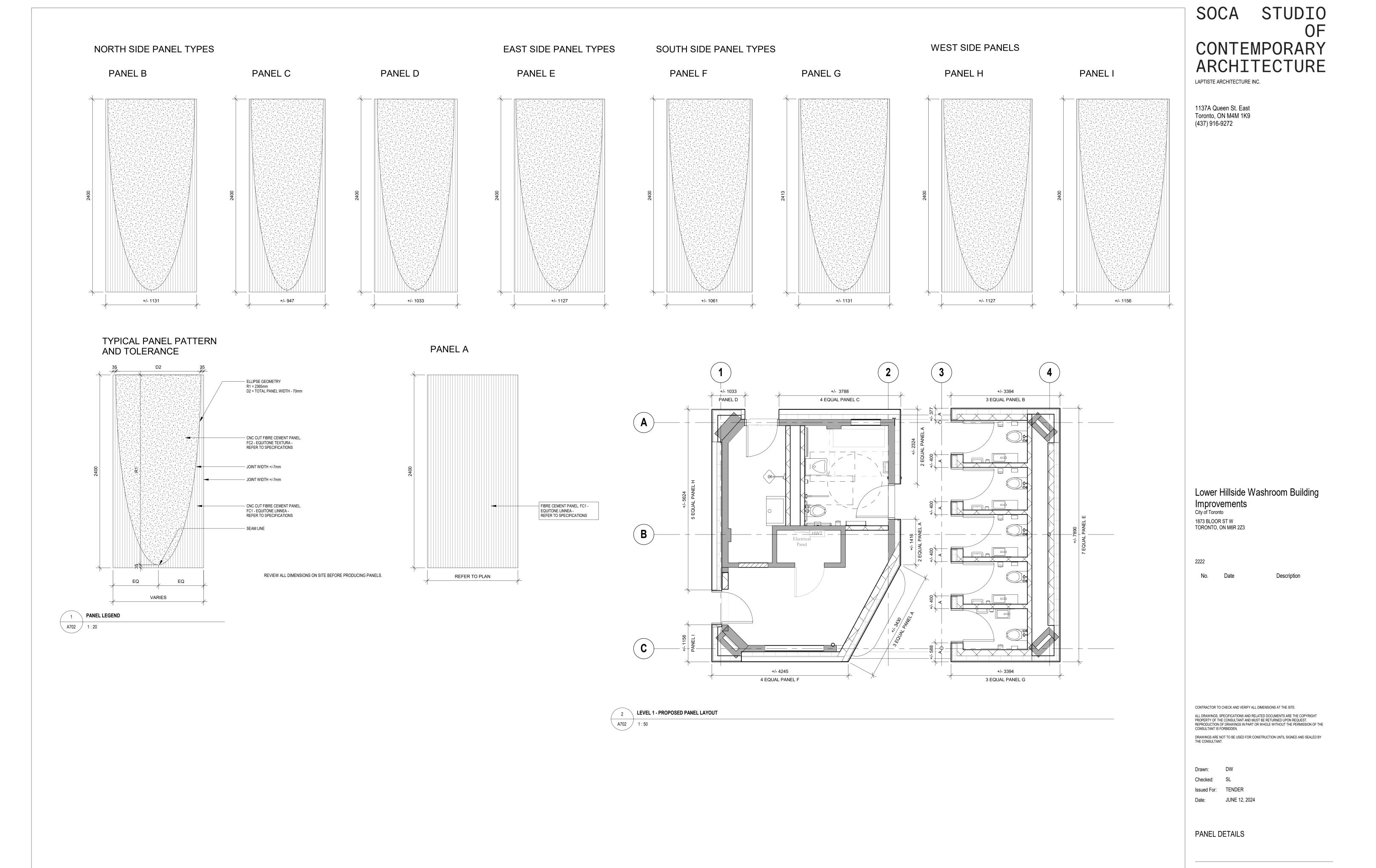
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Checked: SL
Issued For: TENDER
Date: JUNE 12, 2024

INTERIOR ELEVATIONS

A501





A702

GENERAL NOTES

A. GENERAL INFORMATION

- 1. READ STRUCTURAL DOCUMENTS IN CONJUNCTION WITH CONTRACT DOCUMENTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO, ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DOCUMENTS.
- 2. CONTRACTOR TO BE RESPONSIBLE FOR CHECKING SITE CONDITIONS AGAINST DOCUMENTS, BEFORE PROCEEDING WITH THE WORK, AND REPORT DISCREPANCIES TO THE CONSULTANT.
- 3. CONTRACTOR TO PROVIDE LABOUR, MATERIALS, AND EQUIPMENT TO COMPLETE ALL STRUCTURAL WORK INDICATED.
- CARRY OUT CONSTRUCTION OPERATIONS, INCLUDING THE INSTALLATION OF TEMPORARY GUYING AND SHORING REQUIRED, ENSURING THAT THE EXISTING STRUCTURE OR MEMBERS ALREADY ERECTED ARE NOT LOADED IN EXCESS OF THEIR SAFE LOAD CARRYING CAPACITY.
- STRUCTURAL DOCUMENTS DO NOT NECESSARILY SHOW ALL OPENINGS AND SLAB VARIATIONS REQUIRED. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR THE EXACT LOCATION, NUMBER, AND SIZE OF OPENINGS, TRENCHES, PITS, SUMPS, SLEEVES, AND DEPRESSIONS. PROVIDE STRUCTURAL FRAMING AT THESE LOCATIONS IN ACCORDANCE WITH THE APPLICABLE TYPICAL DETAIL.

REFERENCE STANDARDS / CODES AND ACTS

CONFORM WITH THE 2012 BUILDING CODE (ONTARIO REGULATION 332/12, AMENDED BY ONTARIO REGULATION 867/21), AND ANY APPLICABLE ACTS OF ANY AUTHORITY HAVING JURISDICTION, AND THE FOLLOWING:

REF	CODE	TITLE
a)	CAN/CSA A23.1	CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION
b) CAN/CSA A23.2 METHODS OF TEST FOR CONCRETE		METHODS OF TEST FOR CONCRETE
c)	c) CAN/CSA A23.3 DESIGN OF CONCRETE STRUCTURES	
d) CAN/CSA-S16 LIMIT STATES DESIGN OF STEEL STRUCTURES		LIMIT STATES DESIGN OF STEEL STRUCTURES
e)	CAN/CSA G40.20/G40.21	STRUCTURAL QUALITY STEEL
f)	RSIC	REINFORCING STEEL INSTITUTE OF CANADA (RSIC), MANUAL OF STANDARD PRACTICE
g)	O86	ENGINEERING DESIGN IN WOOD (LIMIT STATES DESIGN)
h)	CAN/CSA-A370	CONNECTORS FOR MASONRY
i)	CSA-A371	MASONRY CONSTRUCTION FOR BUILDINGS
j)	S304.1	DESIGN OF MASONRY STRUCTURES
k)	CSA G30.18	CARBON STEEL BARS FOR CONCRETE REINFORCING

- 2. ALL STANDARDS AND PUBLICATIONS REFERENCED BY THE STANDARDS NOTED ABOVE ARE TO APPLY.
- . WHERE THERE ARE DIFFERENCES BETWEEN THE DOCUMENTS AND THE STANDARDS, CODES AND ACTS, THE MOST STRINGENT SHALL GOVERN.

C. <u>SUBMITTALS</u>

1. SUBMIT FOR REVIEW BY THE VARIOUS CONSULTANTS, DETAILED INFORMATION FOR ALL TEMPORARY AND PERMANENT STRUCTURAL WORK. THIS INCLUDES. BUT IS NOT LIMITED TO:

ITEM	ITEM SUBMISSION REQUIRED		COMMENTS	
CONCRETE MIX DESIGNS YES		NO	INCLUDE A BRIEF DESCRIPTION OF WHERE EACH MIX WILL BE USED	

- 2. CONTRACTOR SHALL ALLOW FOR A TURN AROUND TIME OF FIVE WORKING DAYS FOR THE REVIEW OF THESE SUBMISSIONS.
- OUR REVIEW OF THE SHOP DRAWINGS IS ONLY FOR GENERAL CONFORMITY WITH STRUCTURAL CONTRACT DOCUMENTS AND SPECIFICATIONS. COMMENTS MADE ON THE SHOP DRAWINGS DURING THIS REVIEW DO NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH THE REQUIREMENTS OF THE STRUCTURAL CONTRACT DOCUMENTS AND SPECIFICATIONS, NOR DO THEY AUTHORIZE ANY CHANGES TO THE CONTRACT. REVIEW OF A SPECIFIC ITEM SHALL NOT INCLUDE REVIEW OF AN ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. THE CONTRACTOR'S RESPONSIBILITIES INCLUDE ALL QUANTITIES, DETAIL DIMENSIONS, FIELD MEASUREMENTS, FABRICATION PROCESS, MEANS, METHODS, SEQUENCES, AND PROCEDURES OF CONSTRUCTION, COORDINATION OF WORK WITH ALL TRADES AND PERFORMING ALL WORK IN A SAFE AND SATISFACTORY MANNER. THE REVIEW OF SHOP DRAWINGS DOES NOT IMPLY ANY CHANGE IN ANY OTHER CONSULTANTS' OR PROFESSIONALS' RESPONSIBILITY RELATED TO DESIGN OF SPECIFIC ITEMS AS OUTLINED BY THE SPECIFICATIONS (SUCH AS STRUCTURAL STEEL CONNECTIONS, STEEL JOISTS, PRECAST ELEMENTS, ETC.). AFTER REVIEW, THE DRAWINGS WILL BE STAMPED AND RETURNED TO SHOW ONE OF THE FOLLOWING:

NOT REVIEWED SHOWS WORK WHICH IS NOT WITHIN THE SCOPE OF STRUCTURAL CONSULTING SERVICES.

REVIEWED NO DEVIATIONS FROM THE CONTRACT DOCUMENTS NOTED.

NOTED WE HAVE MADE COMMENTS, TO BE REVIEWED/INCORPORATED. SUBMIT RECORD PRINT.

RESUBMIT REVISE AND RESUBMIT FOR REVIEW.

. MATERIALS

1. PROVIDE ONLY NEW STRUCTURAL MATERIALS IN ACCORDANCE WITH THE REFERENCE STANDARDS AND THE FOLLOWING, UNLESS OTHERWISE NOTED.

1.1. CONCRETE:

STRUCTURAL ELEMENT AND EXPOSURE	EXPOSURE CLASS PER CSA A23.1	CONCRETE STRENGTH f'c (MPa)	SLUMP (mm)	MAX W/C RATIO	AIR CONTENT
FOOTING AND CAPS		25	80		
SLABS-ON-GRADE EXPOSED TO CHLORIDES AND FREEZING	C-2	32	60*	0.45	5% - 8%

TOLERANCE FOR SLUMP SHALL BE \pm 20 mm FOR SPECIFIED SLUMP LESS THAN 80 mm, AND \pm 30 mm FOR SPECIFIED SLUMP BETWEEN 80 mm AND 170 mm.

* SPECIAL CONCRETE HANDLING AND PLACING METHODS, OR THE USE OF A SUPER PLASTICIZER, WILL BE REQUIRED TO PLACE THIS CONCRETE. FINAL PLASTICIZED SLUMP SHALL BE ± 125 mm.

- 1.2. REINFORCING STEEL: CONFORM TO CSA G30 SERIES, GRADE 400.
- 1.3. WELDED WIRE FABRIC: CONFORM TO CSA G30 SERIES, GRADE 386, IN FLAT SHEETS.
- 1.4. STRUCTURAL STEEL:
 - 1.4.1. STRUCTURAL WIDE FLANGE AND WELDED WIDE FLANGE SHAPES (W, WWF) TO CONFORM TO CAN/CSA G40.20/G40.21 GRADE 350W.
 - 1.4.2. ANGLES (L), CHANNELS (C), AND PLATES TO CONFORM TO CAN/CSA-G40.20/G40.21 GRADE 300W.
 - 1.4.3. HOLLOW STRUCTURAL SECTIONS (HSS) TO CONFORM TO ASTM A500 GRADE C.
- 1.5. PRIME PAINT: CONFORM TO CISC/CPMA STANDARD 2-75.
- 1.6. STRUCTURAL BOLTS, NUTS, AND WASHERS: CONFORM TO ASTM A325M.
- 1.7. NON-SHRINK GROUT = COMPRESSIVE STRENGTH OF 35 MPa AT 24 HOURS.
- 1.8. BLOCK: CONFORM TO CAN3-A165 SERIES, MINIMUM COMPRESSIVE STRENGTH = 15.0 MPa (MIN) BASED ON NET AREA.
- 1.9. MORTAR: CONFORM TO CSA A179 TYPE S FOR LOADBEARING WALLS UNLESS NOTED.
- 1.10. MASONRY GROUT: CONFORM TO CSA A179, 15 MPa MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS, 250 mm (10") SLUMP, MAXIMUM AGGREGATE SIZE 10 mm (3/8").
- 1.11. SAWN LUMBER: SPRUCE-PINE-FIR (SPF), No. 2 GRADE OR BETTER UNLESS NOTED ON DRAWINGS. CONFORM TO CSA 0141.
- 1.12. POST-INSTALLED ANCHORS: PROVIDED BY HILTI (CANADA) CORPORATION. CONTACT HILTI AT (800) 363-4458 FOR PRODUCT RELATED QUESTIONS.

E. EXECUTION

1. FOUNDATIONS

- 1.1. FOUND ALL FOOTINGS (AND UNDERPINNING) ON SOIL CAPABLE OF SUSTAINING A MINIMUM ULTIMATE LIMIT STATES / SERVICE LIMIT STATES BEARING STRESS (ULS / SLS) OF 100 kPa (2,100 psf) / 225 kPa (4,700 psf).
- 1.2. FOUND ALL FOOTINGS WHICH WILL BE EXPOSED TO FROST ACTION IN THE COMPLETED BUILDING A MINIMUM OF 1200 mm (4'-0") BELOW FINISHED GRADE.
- 1.3. DO NOT EXCEED A RISE OF 7 IN A RUN OF 10 IN THE LINE OF SLOPE BETWEEN ADJACENT FOOTING EXCAVATIONS OR ALONG STEPPED FOOTINGS. FOR STEPPED FOOTINGS, USE STEPS NOT EXCEEDING 600 mm (2'-0") IN HEIGHT AND 1200 mm (4'-0") (MIN) IN LENGTH.
- 1.4. SOIL BEARING CAPACITY SPECIFIED MUST BE VERIFIED BY THE SOIL ENGINEER PRIOR TO THE PLACING OF FOOTINGS AND ANY NON-CONFORMANCE WITH THE SPECIFIED MINIMUM CAPACITIES MUST BE IMMEDIATELY REPORTED TO THE STRUCTURAL ENGINEERS.

2. SLAB ON GRADE

- 2.1. PLACE SLAB-ON-GRADE ON SUB-GRADE MATERIAL CAPABLE OF SUSTAINING A MINIMUM BEARING CAPACITY OF 25 kPa (500 psf) WITHOUT SETTLEMENT RELATIVE TO THE BUILDING FOOTINGS.
- 2.2. UNLESS OTHERWISE NOTED, PROVIDE IMMEDIATELY UNDER SLABS-ON-GRADE A MINIMUM OF 200 mm (8") OF COMPACTED (MTC) GRANULAR 'B' MATERIAL. COMPACTION TO ACHIEVE A MINIMUM OF 98% STANDARD PROCTOR MAXIMUM DRY DENSITY.

3. CONCRETE

3.1. WHEN ATMOSPHERIC TEMPERATURE IS AT OR BELOW 5°C, OR WHEN THERE IS A POSSIBILITY OF IT FALLING TO THAT LIMIT, PLACE CONCRETE IN ACCORDANCE WITH THE REQUIREMENTS OF CAN/CSA A23.1 "COLD WEATHER CONCRETING" AND ACI 306 "RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETING". WHEN ATMOSPHERIC TEMPERATURE IS AT OR ABOVE 27° C, PLACE CONCRETE IN ACCORDANCE WITH CAN/CSA A23.1 "HOT WEATHER CONCRETING" AND ACI 305 "RECOMMENDED PRACTICES FOR HOT WEATHER CONCRETING".

4. STRUCTURAL STEEL

- 4.1. PAINT ALL STRUCTURAL STEEL TO REQUIREMENTS OF CISC/CPMA 2-75. TOUCH UP ALL FIELD WELDS.
- 4.2. ALL STRUCTURAL STEEL EXPOSED TO WEATHER SHALL BE GALVANIZED IN ACCORDANCE WITH CSA G164.
- 4.3. ALL WELDS SHALL CONFORM TO CSA STANDARD W59.
- 4.4. ALL WELDS EXPOSED TO VIEW SHALL BE GROUND SMOOTH.
- 4.5. ANY ORGANIZATION UNDERTAKING TO WELD UNDER THIS CONTRACT SHALL BE CERTIFIED BY THE CANADIAN WELDING BUREAU UNDER REQUIREMENTS OF DIVISION 1 OR DIVISION 2.1 OF W47.1.
- 4.6. DO NOT SPLICE STRUCTURAL STEEL SECTIONS WITHOUT PRIOR APPROVAL OF THE CONSULTANT. ALL SPLICES SHALL DEVELOP THE FULL CAPACITY OF THE SECTION AND ARE TO BE TESTED BY NON DESTRUCTIVE METHODS, BY AN INDEPENDENT INSPECTION AND TESTING COMPANY, AT THE CONTRACTOR'S EXPENSE.
- 4.7. SEE ARCHITECTURAL DRAWINGS FOR FIREPROOFING REQUIREMENTS. CONFIRM COMPATIBILITY OF FIREPROOFING MATERIAL WITH STEEL PAINT.

MASONRY

- 5.1. PROVIDE A MINIMUM LENGTH OF 200 mm (8") OF 100% SOLID MASONRY UNITS FOR BEARING OF STEEL, CONCRETE OR REINFORCED MASONRY LINTELS.
- 5.2. SUPPLY AND PLACE REINFORCEMENT AND CONCRETE FOR REINFORCED MASONRY LINTELS IN ACCORDANCE WITH TYPICAL DETAILS SHOWN.
- 5.3. FOR THE PURPOSE OF DETERMINING THE REQUIRED REINFORCING FOR LOAD-BEARING AND NON-LOAD-BEARING MASONRY WALLS THE SEISMIC HAZARD INDEX IEFASA(0.2) = XXXXX. REFER TO TYPICAL DETAILS FOR REINFORCING REQUIREMENTS.

6. POST-INSTALLED ANCHORS

- 6.1. INSTALL ANCHORS PER THE MANUFACTURER INSTRUCTIONS, AS INCLUDED IN THE ANCHOR PACKAGING.
- 6.2. THE CONTRACTOR SHALL ARRANGE AN ANCHOR MANUFACTURER'S REPRESENTATIVE TO PROVIDE ONSITE INSTALLATION TRAINING FOR ALL OF THEIR ANCHORING PRODUCTS SPECIFIED. THE STRUCTURAL ENGINEER OF RECORD MUST RECEIVE DOCUMENTED CONFIRMATION THAT ALL OF THE CONTRACTOR'S PERSONNEL WHO INSTALL ANCHORS ARE TRAINED PRIOR TO THE COMMENCEMENT
- 7. ALTERATIONS AND/OR CONNECTIONS TO EXISTING STRUCTURE

OF INSTALLING ANCHORS.

- 7.1. INSPECT THE EXISTING BUILDING AND BECOME THOROUGHLY FAMILIAR WITH THE EXISTING CONDITIONS.
- 7.2. MAKE GOOD THE EXISTING WORK.

QUALITY CONTROL

1. GENERAL

- 1.1. IMPLEMENT A SYSTEM OF QUALITY CONTROL TO ENSURE THAT THE MINIMUM STANDARDS SPECIFIED HEREIN ARE ATTAINED.
- 1.2. BRING TO THE ATTENTION OF THE CONSULTANT ANY DEFECTS IN THE WORK OR DEPARTURES FROM THE CONTRACT DOCUMENTS, WHICH MAY OCCUR DURING CONSTRUCTION. THE CONSULTANT WILL DECIDE UPON CORRECTIVE ACTION AND GIVE RECOMMENDATIONS IN WRITING.
- 1.3. THE CONSULTANT'S GENERAL REVIEW DURING CONSTRUCTION AND INSPECTION AND TESTING BY INDEPENDENT INSPECTION AND TESTING AGENCIES REPORTING TO THE CONSULTANT ARE BOTH UNDERTAKEN TO INFORM THE OWNER / CLIENT OF THE CONTRACTOR'S PERFORMANCE AND SHALL IN NO WAY AUGMENT THE CONTRACTOR'S QUALITY CONTROL OR RELIEVE THE CONTRACTOR OF CONTRACTUAL RESPONSIBILITY.

2. NOTIFICATION

PRIOR TO COMMENCING SIGNIFICANT SEGMENTS OF THE WORK, GIVE THE CONSULTANT AND INDEPENDENT INSPECTION AND TESTING COMPANIES APPROPRIATE NOTIFICATION (MINIMUM 24 HOURS) SO AS TO AFFORD THEM REASONABLE OPPORTUNITY TO REVIEW THE WORK. FAILURE TO MEET THIS REQUIREMENT MAY BE CAUSE FOR THE CONSULTANT TO CLASSIFY THE WORK AS DEFECTIVE.

3. INSPECTION AND TESTING

- 3.1. AN INDEPENDENT INSPECTION AND TESTING COMPANY SHALL MAKE INSPECTIONS OR PERFORM TESTS AS THE CONSULTANT DIRECTS. THE INDEPENDENT INSPECTION AND TESTING COMPANIES SHALL BE RESPONSIBLE ONLY TO THE CONSULTANT AND SHALL MAKE ONLY SUCH INSPECTIONS OR TESTS AS THE CONSULTANT MAY DIRECT.
- 3.2. THE FOLLOWING ITEMS REQUIRE TESTING AND/OR INSPECTION BY A CERTIFIED, INDEPENDENT INSPECTION AND TESTING COMPANY UNLESS OTHERWISE NOTED. THE TESTING FIRM SHALL SUBMIT COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS TO THE CONSULTANT FOR REVIEW:

ITEM	REQUIRED	COMMENTS	
SOIL BEARING CAPACITY	YES	BY GEOTECHNICAL CONSULTANT	

4. DEFECTIVE MATERIALS AND WORK

- 4.1. WHERE EVIDENCE EXISTS THAT DEFECTIVE WORK HAS OCCURRED OR THAT WORK HAS BEEN CARRIED OUT INCORPORATING DEFECTIVE MATERIALS, THE CONSULTANT MAY HAVE TESTS, INSPECTIONS OR SURVEYS PERFORMED, ANALYTICAL CALCULATIONS OF STRUCTURAL STRENGTH MADE, AND THE LIKE, IN ORDER TO HELP DETERMINE WHETHER THE WORK MUST BE CORRECTED OR REPLACED. TESTS, INSPECTIONS OR SURVEYS OR CALCULATIONS CARRIED OUT UNDER THESE CIRCUMSTANCES WILL BE MADE AT THE CONTRACTOR'S EXPENSE, REGARDLESS OF THEIR RESULTS, WHICH MAY BE SUCH THAT, IN THE CONSULTANT'S OPINION, THE WORK MAY BE ACCEPTABLE.
- 4.2. ALL TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2012 BUILDING CODE (ONTARIO REGULATION 332/12), EXCEPT WHERE THIS WOULD, IN THE CONSULTANT'S OPINION, CAUSE UNDUE DELAY OR GIVE RESULTS NOT REPRESENTATIVE OF THE REJECTED MATERIAL IN PLACE. IN THIS CASE, THE TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH THE STANDARDS GIVEN BY THE CONSULTANT.
- 4.3. MATERIALS OR WORK, WHICH FAIL TO MEET SPECIFIED REQUIREMENTS, MAY BE REJECTED BY THE CONSULTANT WHENEVER FOUND AT ANY TIME PRIOR TO FINAL ACCEPTANCE OF THE WORK REGARDLESS OF PREVIOUS INSPECTION. IF REJECTED, DEFECTIVE MATERIALS OR WORK SHALL BE PROMPTLY REMOVED AND REPLACED OR REPAIRED TO THE SATISFACTION OF THE CONSULTANT, AT NO EXPENSE TO THE OWNER.



375 University Ave., Suite 901 Toronto, ON M5G 2J5 416-599-(LINK) 5465 www.engineeringlink.ca

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No. Revision Description YYYY-MM-DD

1 ISSUED FOR PERMIT & TENDER 2024 - 02 - 08

North

Project Title:

Sheet Number

PARK WASHROOM RENOVATION

LIST OF STRUCTURAL DRAWINGS

LIST OF STRUCTURAL DRAWINGS				
SHEET No.	SHEET TITLE			
S1.1	GENERAL NOTES			
S1.2	TYPICAL DETAILS			
S1.3	TYPICAL DETAILS			
S1.4	TYPICAL DETAILS			
S2.1	FOUNDATION PLAN			
S2.2	ROOF FRAMING PLAN			

SECTIONS AND DETAILS

1873 BLOOR STREET WEST, TORONTO, ON

Designed by:

STB
Scale:

N/A

Drawn by:

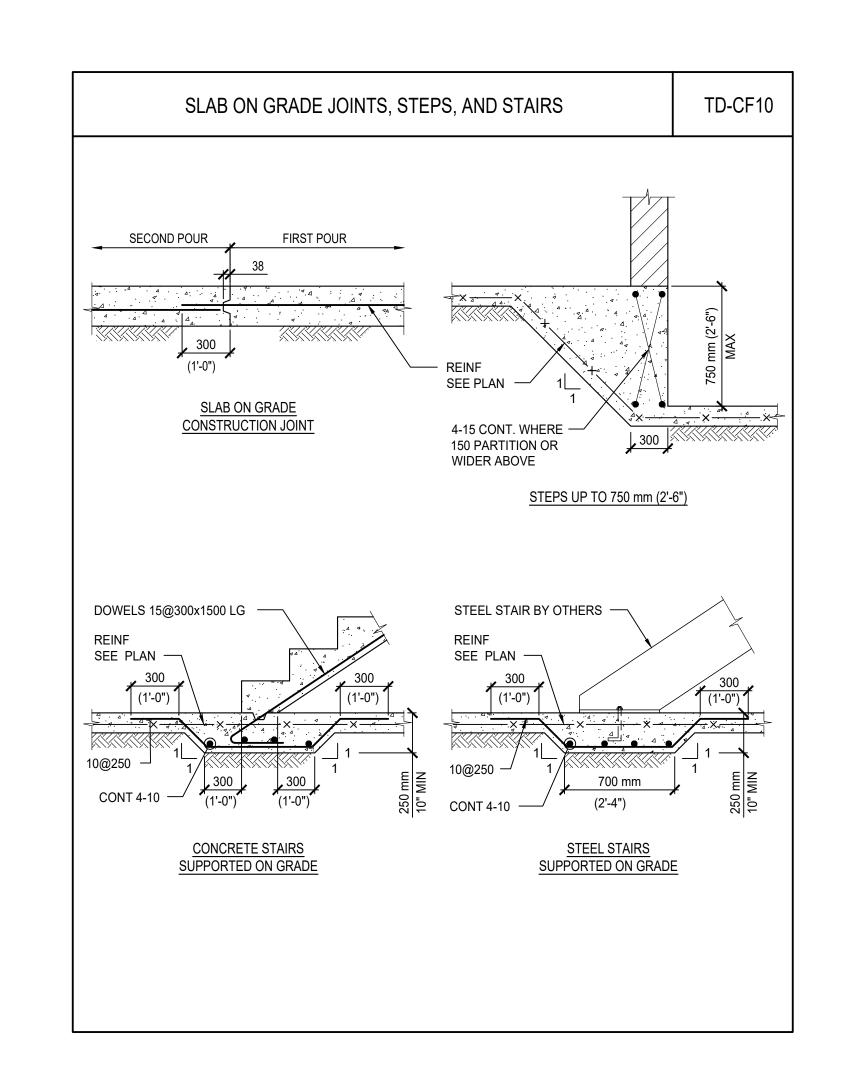
AQV
Date:

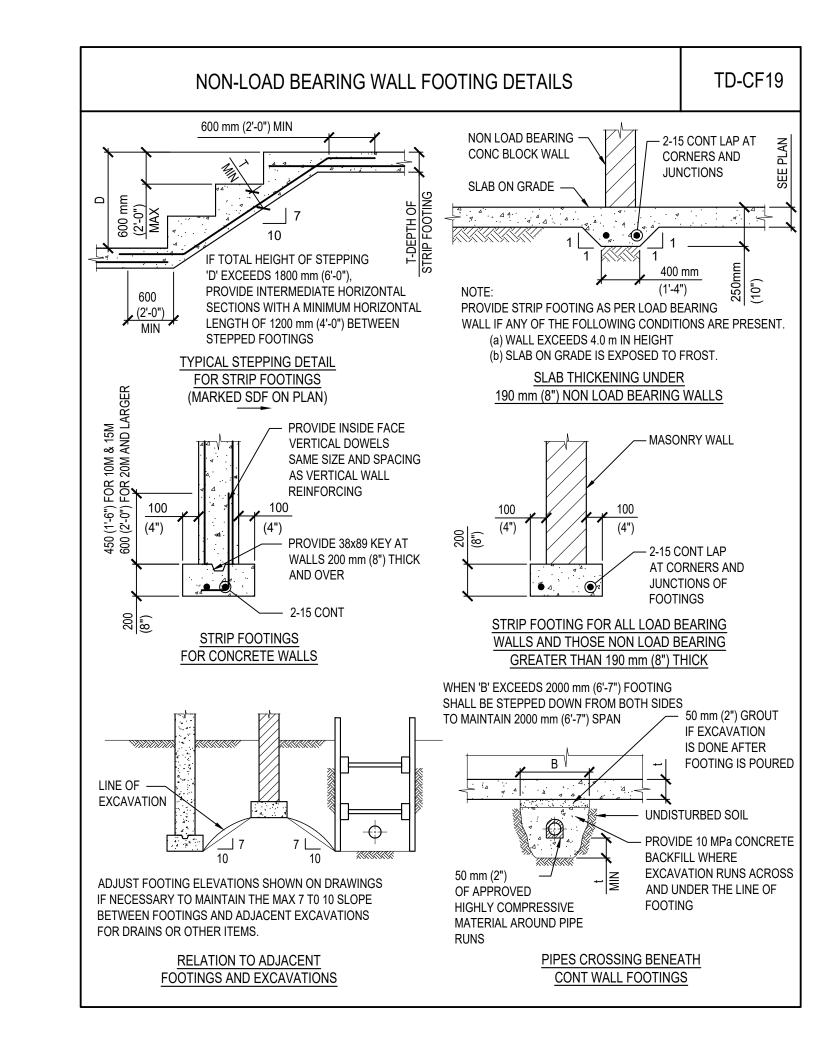
JAN 23, 2024

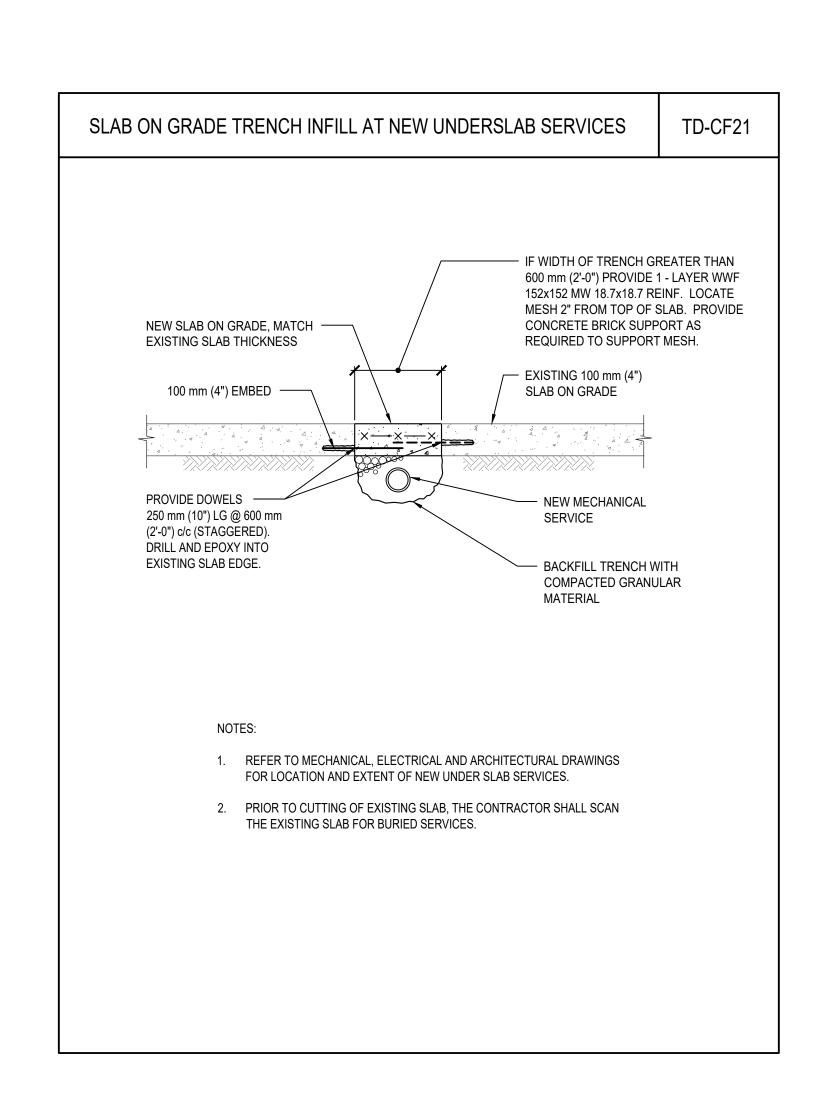
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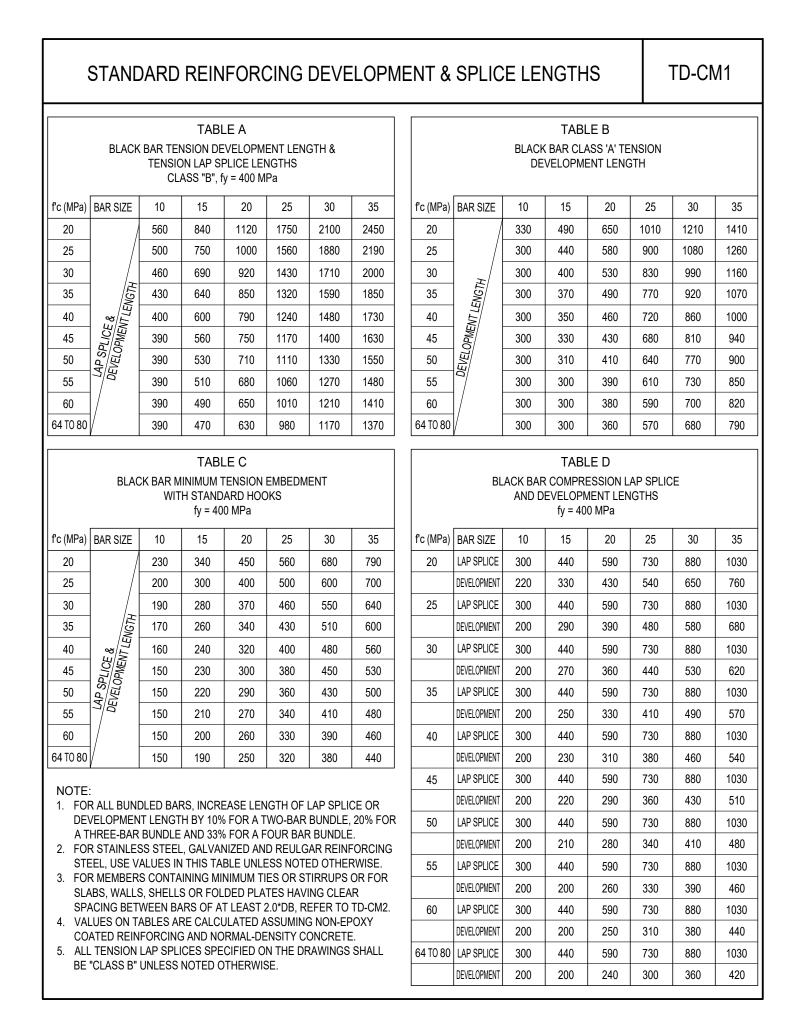
GENERAL NOTES

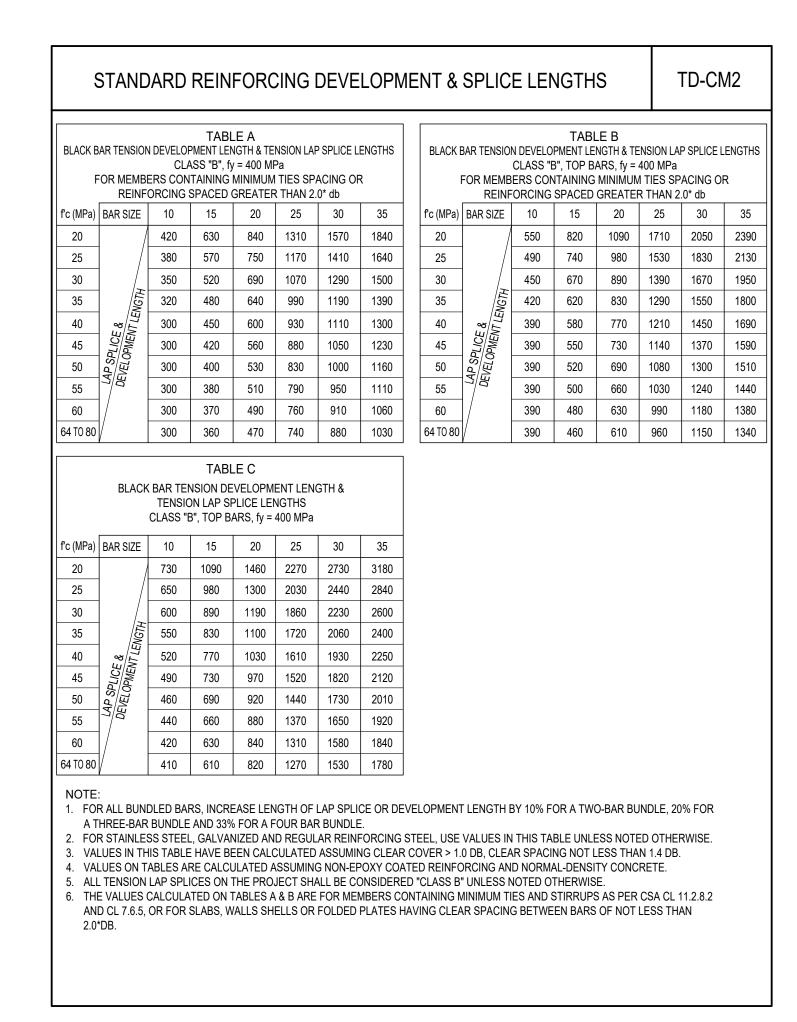
	STRUC	TURAL A	ABBREVIATIONS		TD-G01
A BOLT	ANCHOR BOLT	fc	28 DAYS CONCRETE	OF	OUTSIDE FACE
ADJ	ADJUSTABLE		COMPRESSIVE STRENGTH	OPEN	OPENING
AFF	ABOVE FINISHED FLOOR	FDN	FOUNDATION	OWSJ	OPEN WEB STEEL JOIST
AIFB	ASPHALT IMPREGNATED	FF	FAR FACE	Pf	AXIAL FORCE (FACTORED)
	FIBREBOARD	FIN	FINISHED	PC	PRECAST
ALT	ALTERNATE	FL	FLOOR	PL	PLATE
ARCH	ARCHITECTURAL	ft	FOOT, FEET	PLF	POUNDS PER LINEAR FOOT
ASL	ADDITIONAL ACCUMULATED	FTG	FOOTING	PROJ	PROJECTION
^	SNOW LOAD	Fy	YIELD STRENGTH	psf	POUNDS PER SQUARE FOOT
@ D. DOTT	AT	GA	GAUGE	PT	PRESSURE TREATED
B, BOTT	BOTTOM	GALV	GALVANIZED	RD	ROOF DRAIN
B/B	BACK TO BACK	GEN	GENERAL	Rf	REACTION (FACTORED)
BEW	BOTTOM EACH WAY	HEF	HORIZONTAL EACH FACE	RAD	RADIUS
BH	BOREHOLE	Hf	HORIZONTAL FORCE (FACTORED)	REINF	REINFORCED, REINFORCEMENT
BLL BLDG	BOTTOM LOWER LAYER BUILDING	HH HIF	HOOK EACH END HORIZONTAL INSIDE FACE	REF RE	REFERENCE RIGHT END
BLDG BM	BEAM	HOF	HORIZONTAL INSIDE FACE	REQ'D	REQUIRED
BPL	BEARING/BASE PLATE	HUF H, HORZ	HORIZONTAL OUTSIDE FACE	REV	REVISION, REVISED
BRDG	BRIDGING	HSC	HORIZONTALLY SLOTTED CONNECTION	R/W	REINFORCED WITH
BUL	BOTTOM UPPER LAYER	HSS	HOLLOW STEEL SECTION	SAD	SEE ARCHITECTURAL DRAWINGS
C	CAMBER	IF.	INSIDE FACE	SDF	STEP DOWN FOOTING
C	EPOXY COATED	IN	INCH(ES)	SECT	SECTION
c/c, o/c	CENTRE TO CENTRE	INT	INTERIOR	SIM	SIMILAR
CA	COLUMN ABOVE	JT	JOINT	SL	SLAB
CB	COLUMN BELOW	K	KIP, 1000 LBS	SOG	SLAB ON GRADE
CANT	CANTILEVER	K-ft	KIP FEET	SPDD	STANDARD PROCTOR DRY DENSITY
Cf	COMPRESSIVE FORCE (FACTORED)	kg	KILOGRAM(S)	ST	STRAIGHT
CJ	CONTROL JOINT	KĽF	KIPS PER LINEAR FOOT	STIFF	STIFFENER
Q.	CENTRELINE	kN	KILONEWTON	STIR	STIRRUP
COL	COLUMN	kN-m	KILONEWTON METRE	STRUCT	STRUCTURAL
COMP	COMPOSITE	kN/m	KILONEWTON PER METRE	STD	STANDARD
CONC	CONCRETE	kPa	KILOPASCAL	SQ	SQUARE
CONT	CONTINUOUS	KSF	KIPS PER SQUARED FOOT	T	TOP
C/W	COMPLETE WITH	KSI	KIPS PER SQUARED INCH	Tf	TENSILE FORCE (FACTORED)
DEMO	DEMOLITION	L	SINGLE ANGLE	TEMP	TEMPORARY, TEMPERATURE
DET	DETAIL	LE	LEFT END	TEW	TOP EACH WAY
DIA, Ø	DIAMETER	LG	LONG	TJ	TIE JOIST
DIAG	DIAGONAL	LL	LIVE LOAD, LOWER LAYER	TLL	TOP LOWER LAYER
DIM	DIMENSION	LLH	LONG LEG HORIZONTAL	TMf	TORSIONAL MOMENT (FACTORED)
DL	DEAD LOAD	LLV	LONG LEG VERTICAL	TOD	TOP OF DECK
DP	DEEP BRAW(NO(0)	m	METRE	TOS	TOP OF STEEL/SLAB
DWG(S)	DRAWING(S)	MC -	MOMENT CONNECTION	TRANS	TRANSVERSE
DWL(S)	DOWEL(S)	MEOU	(FULL MOMENT UNLESS NOTED)	TUL	TOP UPPER LAYER
DN	DOWN	MECH	MECHANICAL	TYP	TYPICAL
EA	EACH END	Mf	MOMENT (FACTORED)	UL LI/N	UPPER LAYER
EE	EACH END	ML	MIDDLE LAYER	U/N	UNLESS NOTED OTHERWISE
EF ELEC	EACH FACE	mm MPa	MILLIMETRE MEGARASCAL	U/S	UNDERSIDE
ELEC EL	ELECTRICAL	мга Mxf	MEGAPASCAL BENDING MOMENT	V, VERT Vf	VERTICAL VERTICAL SHEAR FORCE (FACTORED)
ELEV	ELEVATION ELEVATOR	IVIXI	ABOUT x-x AXIS (FACTORED)	VI VBF	VERTICAL BRACED FRAME
EMBED	EMBEDMENT	Myf	BENDING MOMENT	VEF	VERTICAL BRACED FRAME VERTICAL EACH FACE
EQ	EQUAL	iviyi	ABOUT y-y AXIS (FACTORED)	VEF	VERTICAL EACH FACE VERTICAL INSIDE FACE
ES	EACH SIDE	NF	NEAR FACE	VIF	VERTICAL INSIDE FACE VERTICAL OUTSIDE FACE
EX, EXIST	EXISTING	NIC	NOT IN CONTRACT	VSC	VERTICAL OUTSIDE FACE VERTICALLY SLOTTED CONNECTION
EJ, EXP JT	EXPANSION JOINT	N-S	NORTH-SOUTH	W	WIDE FLANGE BEAM
EJ, EAF JI E-W	EAST WEST	NTS	NOT TO SCALE	WT	WEIGHT, STRUCTURAL TEE
E-vv EW	EACH WAY	NIO	NOT TO OUNLE	WWF	WELDED WIRE FABRIC OR WELDED WIDE FLANGE
EXT	EXTERIOR			W.P.	WORKING POINT













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North

Project Title:

PARK WASHROOM RENOVATION

1873 BLOOR STREET WEST, TORONTO, ON

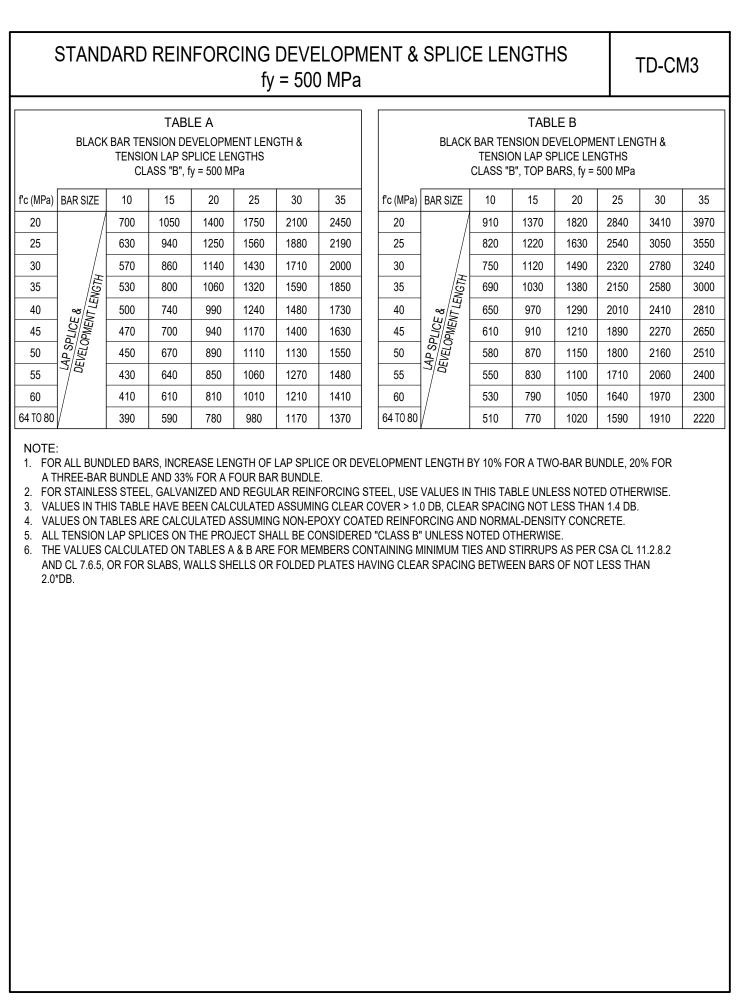
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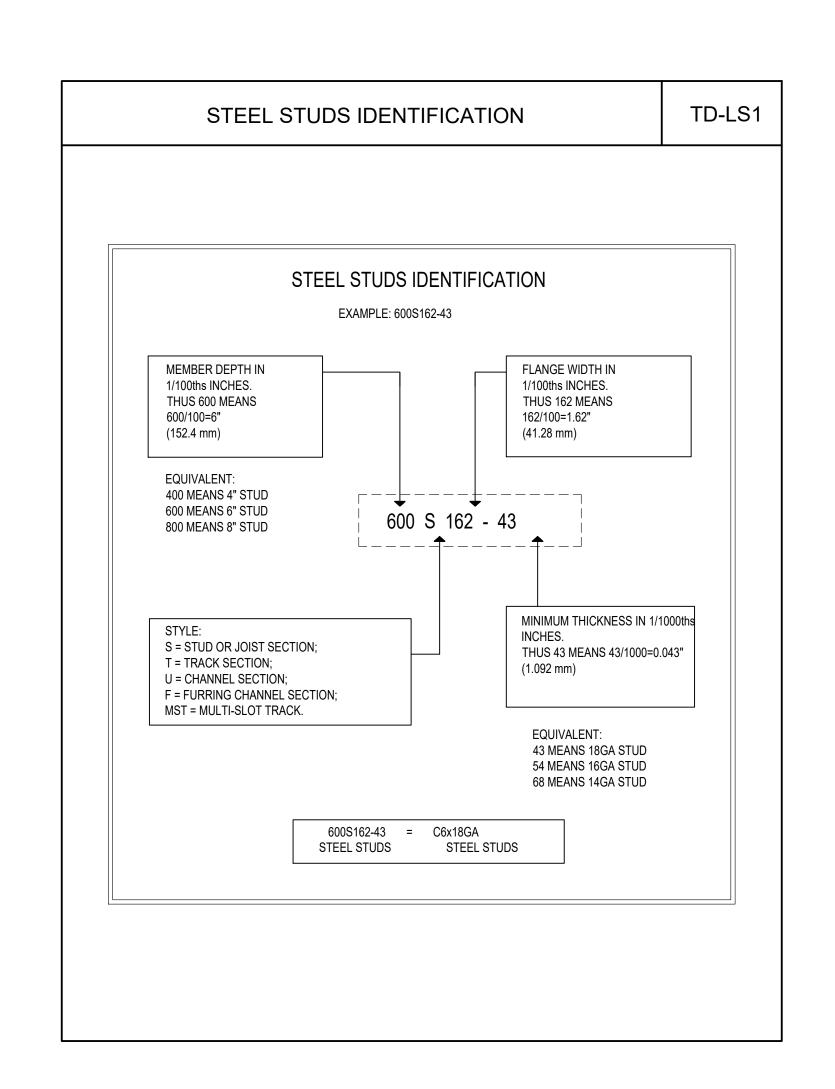
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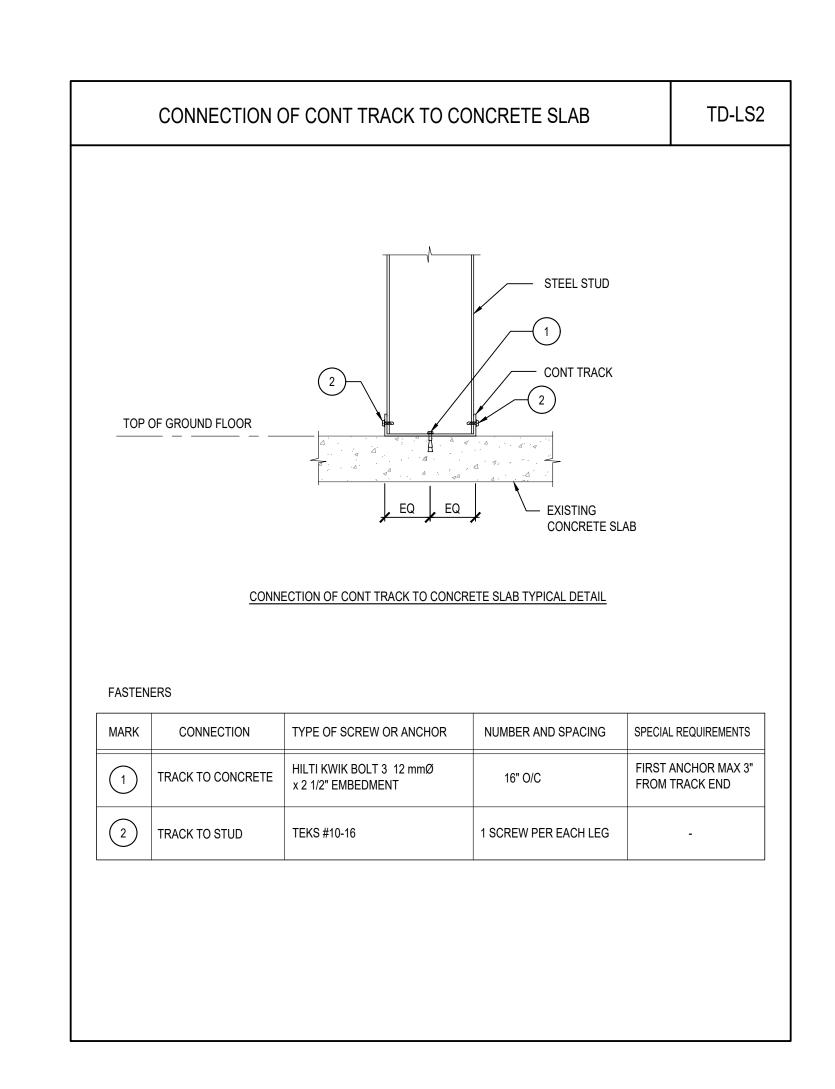
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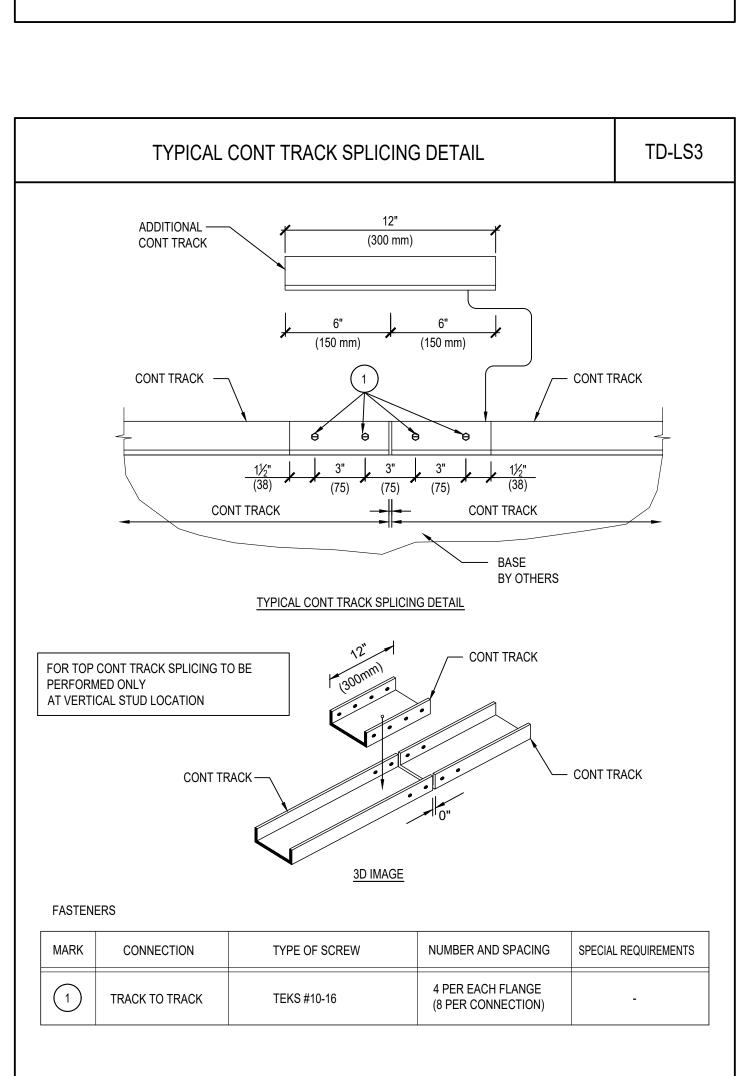
TYPICAL DETAILS

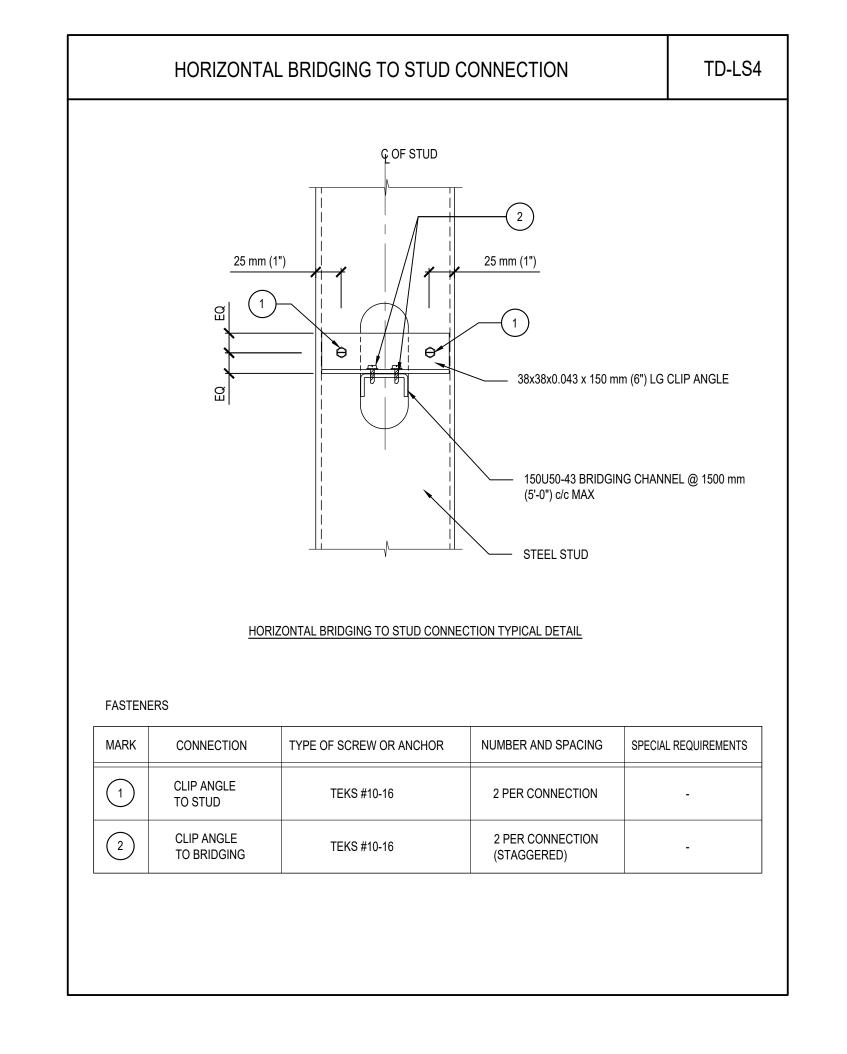
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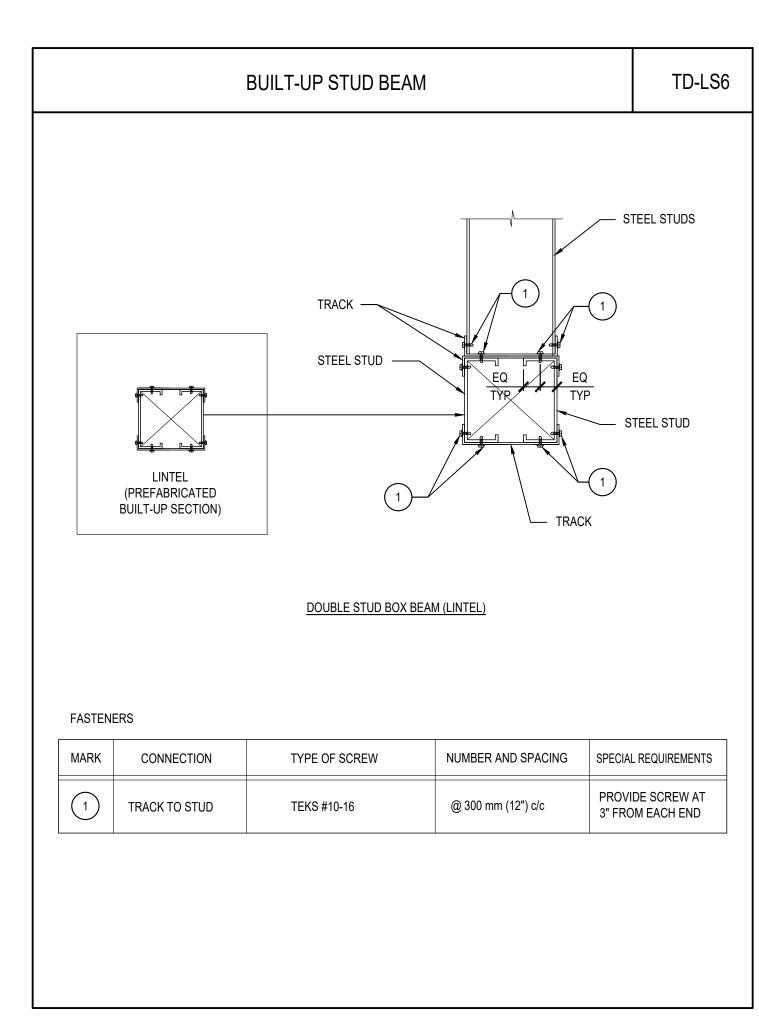














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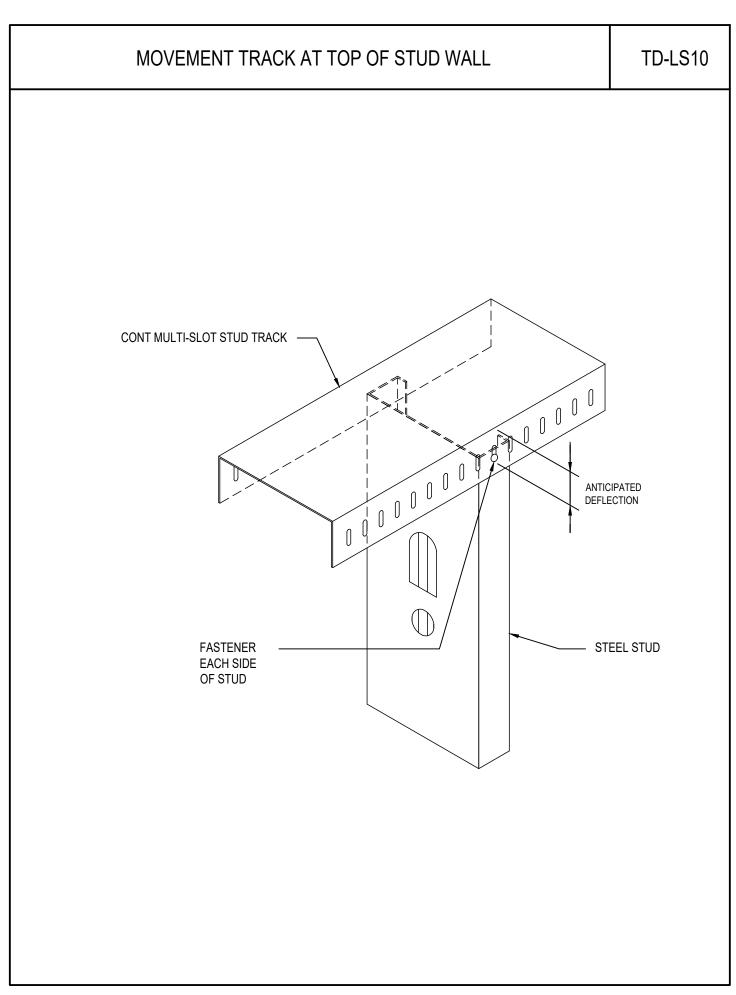
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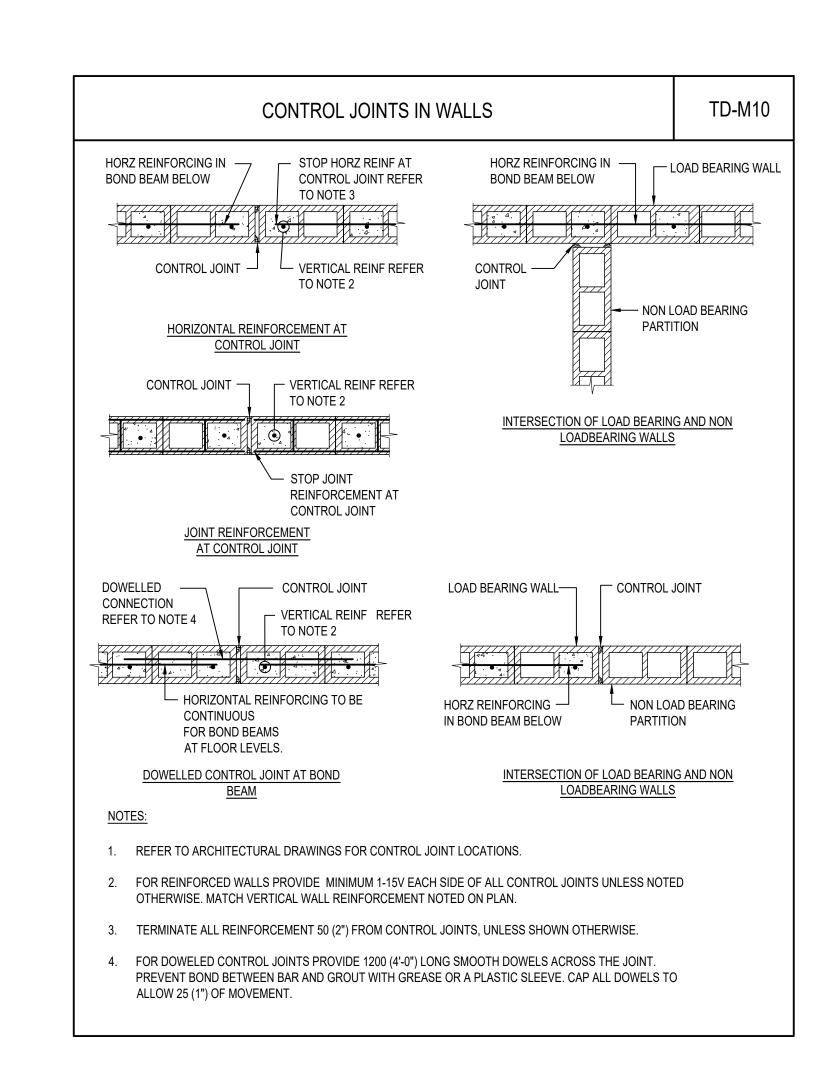
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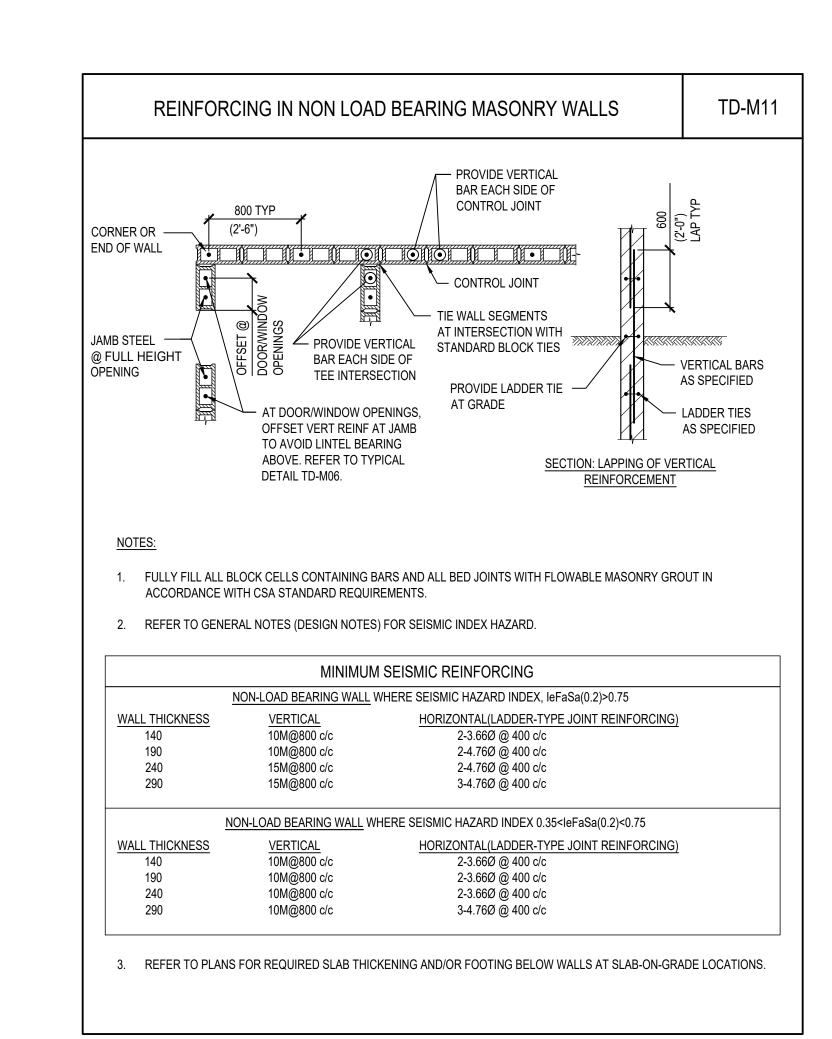
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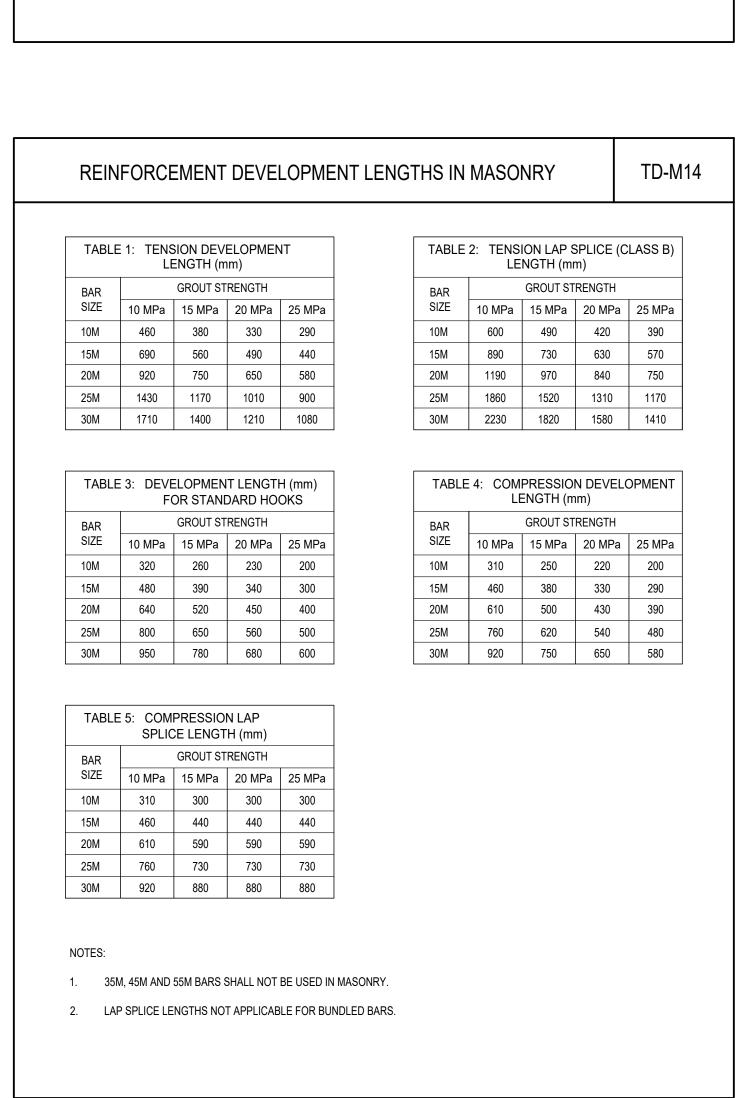
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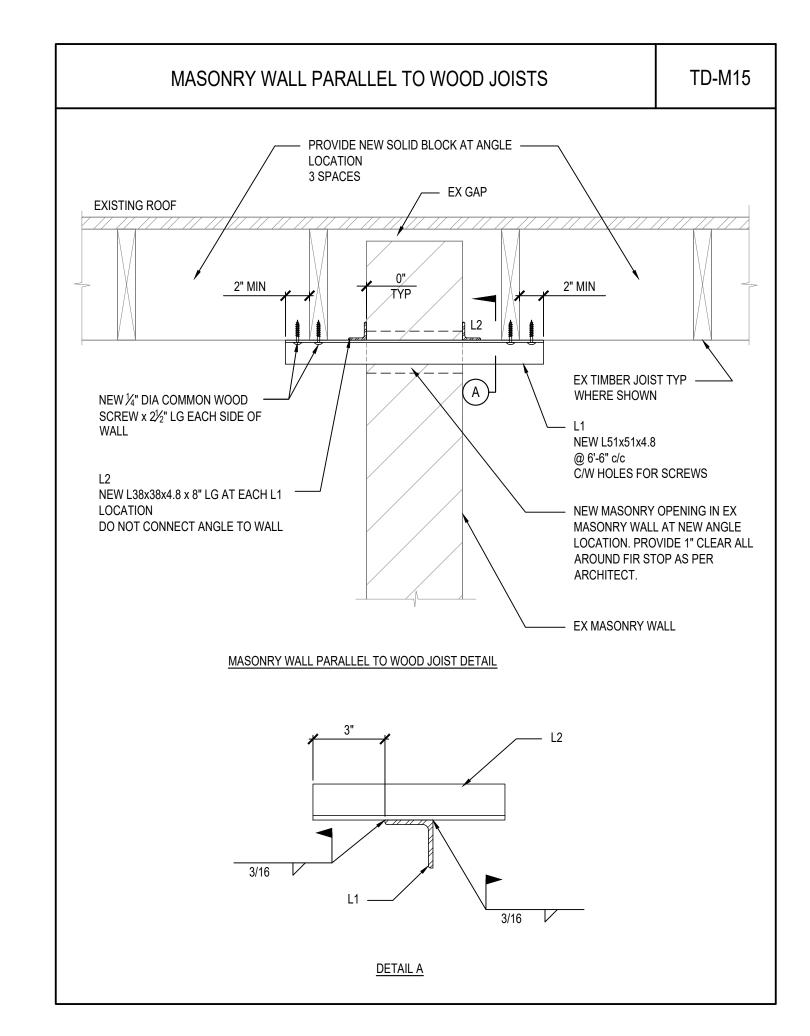
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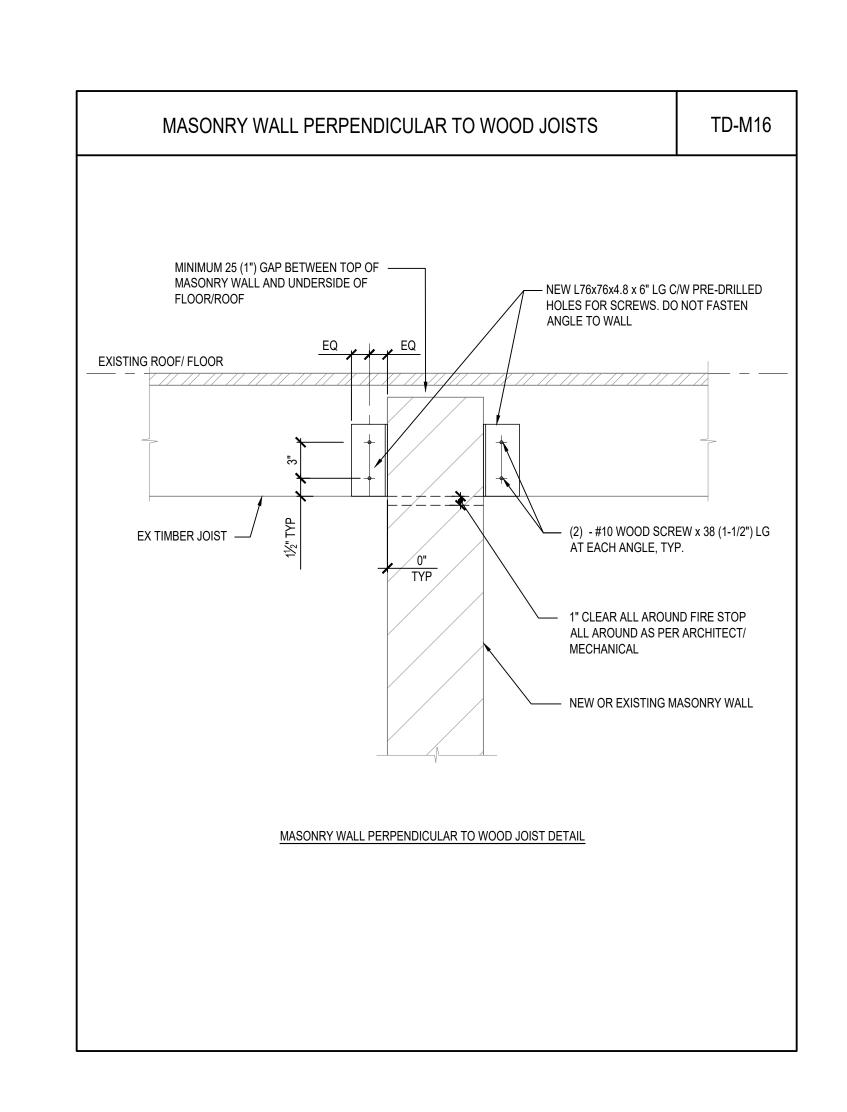














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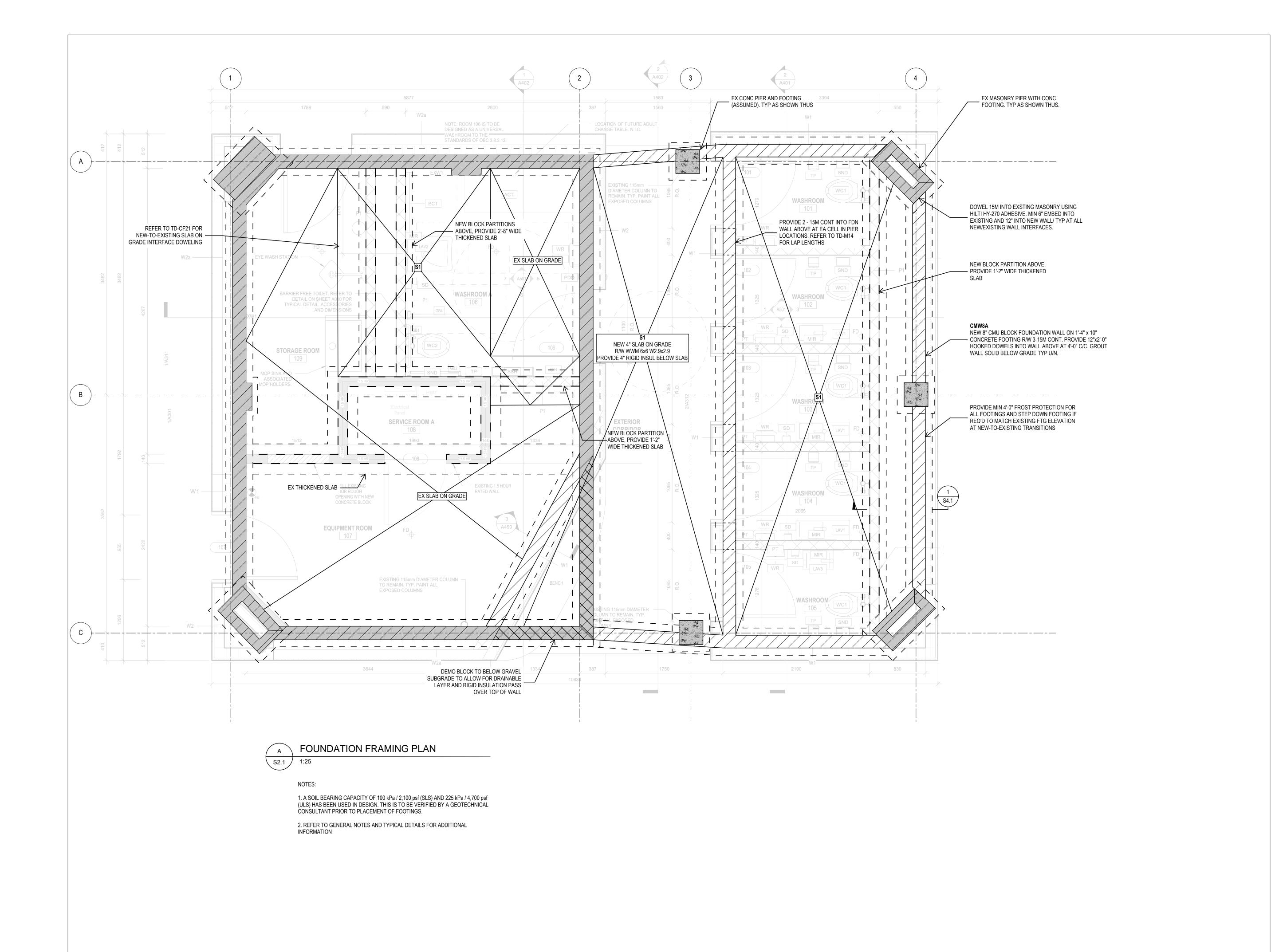
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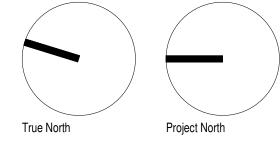
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Lower Hillside Washroom Building Improvements
City of Toronto

1873 BLOOR ST W TORONTO, ON M6R 2Z3

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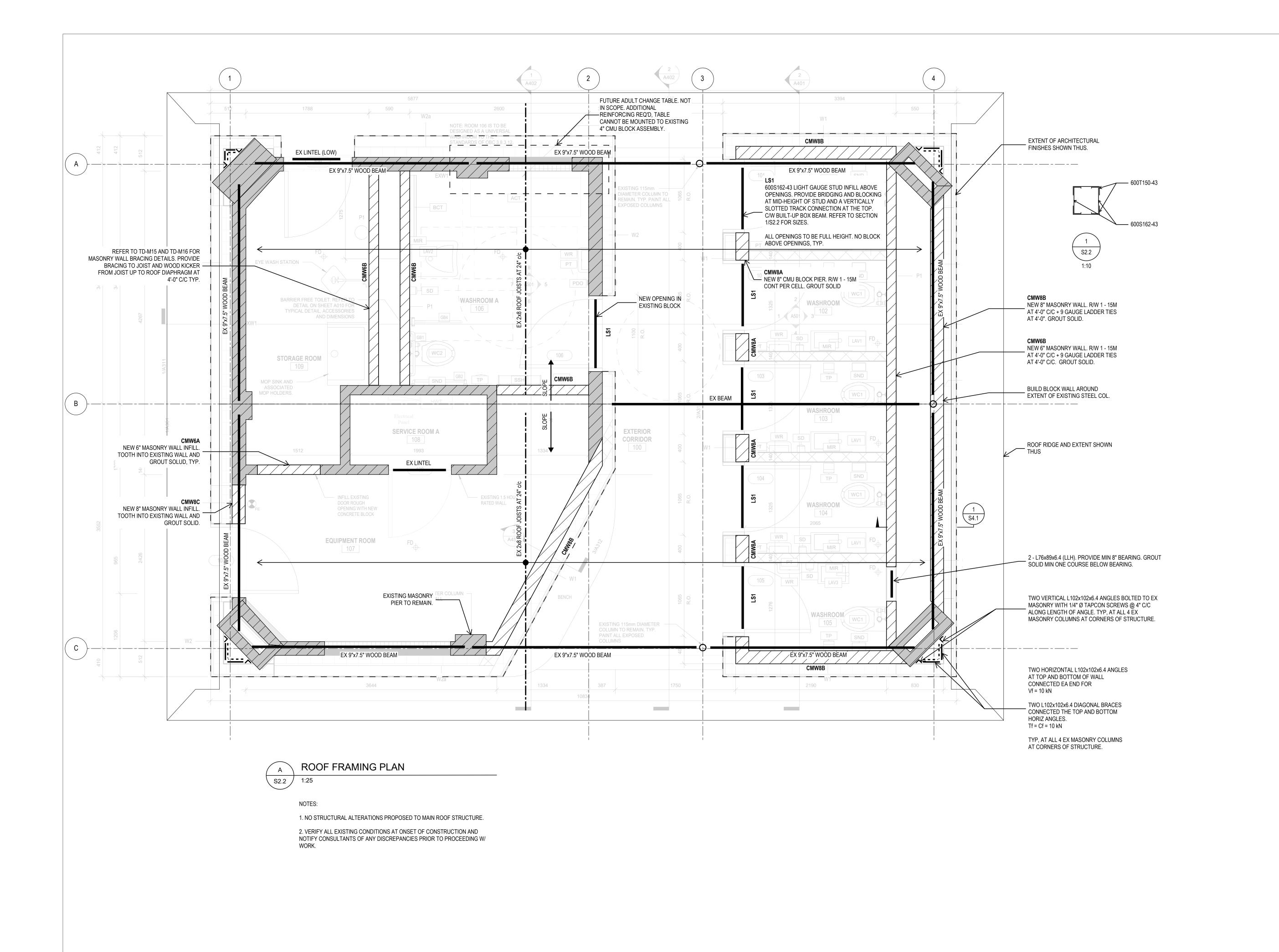
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FOUNDATION PLAN



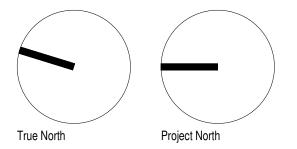
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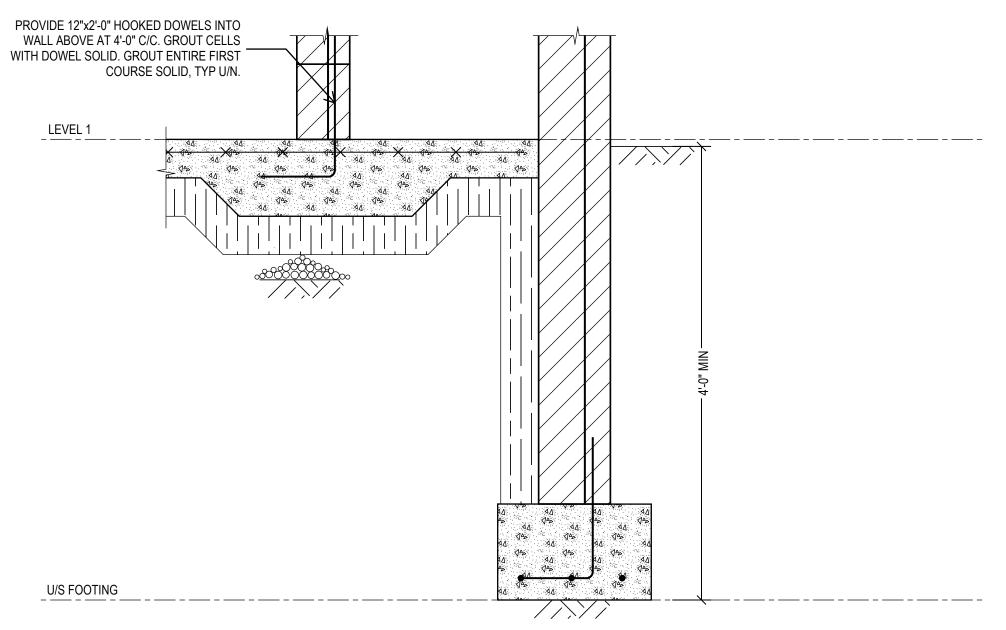
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ROOF FRAMING PLAN

PROVIDE SOLID BLOCKING AT 4'-0" C/C. L64x64x6.4 FASTENED TO CMU WALL AND WOOD BEAM AT 4'-0" C/C ALONG WALL. MAX SHIM OFFSET OF 1/2". ALTERNATE WHICH SIDE THE ANGLE IS INSTALLED. CEILING REFER TO TYPICAL DETAIL (2) - 1/4" Ø x 3" LAG SCREW. PRE-DRILL A PILOT HOLE. TD-M15 AND TD-M16 FOR 6" CMU -WALL BRACING DETAILS EXTENT OF EXISTING SHOWN DASHED FOR CONTEXT SHIMS PROVIDED TO ALIGN BEAM AND WALL AND ENSURE ANGLES REMAIN VERTICAL. 1/2" Ø THREADED ROD WITH HILTI HOY270 ADHESIVE THROUGH VERTICALLY SLOTTED CONNECTION IN ANGLE. GROUT COURSE SOLID PRIOR TO ANCHORING.





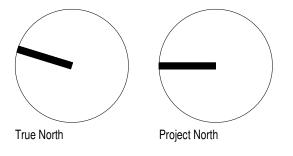
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DETAILS AND SECTIONS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
∯ F.D.	FLOOR DRAIN SIZE AS NOTED REFER TO SPECIFICATION FOR TYPES	<u> </u>	DOMESTIC COLD WATER (DOM. COLD WATER)
∯ F.F.D.	FUNNEL FLOOR DRAIN SIZE AS NOTED REFER TO SPECIFICATION FOR TYPES		DOMESTIC HOT WATER (DOM. HOT WATER)
	UPTURNED CLEANOUT		DOMESTIC HOT WATER RECIRCULATION (DOM. HOT WATER RECIRC.)
II C.O.	HORIZONTAL CLEANOUT	— т —	TEMPERED DOMESTIC HOT WATER
 \$\displaystyle{\Phi_{\phi}}\displaystyle{\phi_{\phi}}}\displaystyle{\phi_{\phi}}\displaystyle{\phi_{\phi}}\displaystyle{\phi_{\phi}}\displaystyle{\phi_{\phi}}\displaystyle{\phi_{\phi}}\displaystyle{\phi_{\phi}}\displaystyle{\phi_{\phi}}\displaystyle{\phi_{\phi}}\displaystyle{\phi_{\phi}}\displaystyle{\phi_{\phi}}\displaystyle{\phi_{\phi}}\displaystyle{\phi_{\phi}}\display	FLOOR DRAIN FROM ABOVE WITH TRAP	—— G ——	NATURAL GAS
 \$\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	FUNNEL FLOOR DRAIN FROM ABOVE WITH TRAP	— — GV — —	NATURAL GAS VENT
€ € ₩ - ₩ -	WATER CLOSET AS NOTED REFER TO SPECIFICATION FOR TYPES		VENT
CS- CS-	SINGLE COMPARTMENT KITCHEN SINK	—— SAN ——	SANITARY ABOVE GRADE OR FLOOR
MS- MS-	MOP SINK	— —SAN(B)— —	SANITARY BELOW GRADE OR FLOOR
CS- CS-	DOUBLE COMPARTMENT SINK	── ⋈──	GATE OR ISOLATION VALVE (REFER TO SPECIFICATION)
<mark>८-ि ८-ि</mark> DF− DF−	DRINKING FOUNTAIN	×	GLOBE VALVE
	URINAL	ю	BALL VALVE
P P	WALL HUNG LAVATORY	•	PENDANT SPRINKLER HEAD
SP	WET SPRINKLER	● DP	DRY PENDANT SPRINKLER HEAD
—— DSP——	DRY SPRINKLER	0	UPRIGHT SPRINKLER HEAD
F.H.Cx	FIRE HOSE CABINET AND TYPE	•	CONCEALED SPRINKLER HEAD
S.V.Cx	SPRINKLER SHUT-OFF VALVE CABINET AND TYPE	O ^{NF}	NON-FREEZE SPRINKLER HEAD
F.E.−x	FIRE EXTINGUISHER AND TYPE	O ^{HT}	HIGH TEMPERATURE SPRINKLER HEAD
F.E.C.—»^	FIRE EXTINGUISHER CABINET AND TYPE	0*	CHEMICAL SPRINKLER HEAD
F.R. []	FIRE REEL	4	SIDEWALL SPRINKLER HEAD
WM	WATER METER	∢ ^w	WINDOW SPRINKLER HEAD
BFP	BACK FLOW PREVENTOR		L SYMBOLS APPLY, REFER NS AND DRAWINGS

5 GENERAL SYMBOLS AND ABBREVIATIONS (MSD-012.13)

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
\bowtie	GATE OR ISOLATION VALVE (REFER TO SPECIFICATION)	_=_	PIPE GUIDE
	GLOBE VALVE		PIPE SLEEVE
ΙФΙ	BALL VALVE	×	ANCHOR
\boxtimes	LOCKSHIELD VALVE		STRAINER
F.B.V.	FLOW BALANCING VALVE		UNION
P.I.F.B.V.	PRESSURE INDEPENDENT FLOW BALANCING VALVE	———	FLANGE FITTING
\forall	PLUG VALVE		ECCENTRIC FITTING
P.R.V. \$\$ - \$\$	PRESSURE REDUCING VALVE		CONCENTRIC FITTING
$\overrightarrow{\mathbb{N}}$	CHECK VALVE	$ \bowtie$ - \oslash	PRESSURE GAUGE
N N	SOLENOID VALVE	T T	THERMOMETER
S.R.V.	SAFETY RELIEF VALVE	ф	PRESSURE GAUGE COCK ASSEMBLY
FMS	FLOW METERING STATION	T.W.	THERMOMETER WELL
□ B.P.	BACKFLOW PREVENTOR	E.J.	EXPANSION JOINT
M	ANGLE VALVE		MANUAL AIR VENT
m	BUTTERFLY VALVE		AUTOMATIC AIR VENT
<u> </u>	2-WAY BUTTERFLY VALVE	SA.S	AIR SEPARATOR
· ————————————————————————————————————	TEMPERED MIXING VALVE		SIGHT GLASS
	TEMPERED MIXING VALVE	-55	PUMP
M	FLEXIBLE JOINT	-×-X-×-	P.R.V. C/W SHUT-OFF VALVE
VB	VACUUM BREAKER	-⋈	P.R.V. STATION
B.W.V.	BACK WATER VALVE	WHA	WATER HAMMER ARRESTOR

6 VALVES AND APPURTENANCES (MSD-012.05)

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
F/D	FIRE DAMPER	SM/D	SMOKE DAMPER
M.O.D.	MOTOR OPERATED DAMPER	P.S.D.	POSITIVE SEAL DAMPER
M.D.	MANUAL DAMPER	B.D.D.	GRAVITY OR BACKDRAFT DAMPER
B.D.	BALANCING DAMPER	SP/D	SPLITTER DAMPER
C.S.F/D	COMBINATION SMOKE AND FIRE DAMPER	31 / 0	
<i>y</i>	VOLUME EXTRACTOR		
	DX TYPE A 0 MIN. FLO	(/ /	AL: CFM,[INS.] C: L/s,[mm]
	VERED V.A.V. FE 120/1000 SECONDA	MARY FLOW (L/s) RY FLOW (L/s) COIL CAPACITY (IMPERIAL: CFM,[INS.] METRIC: L/s,[mm]
	V.A.V. BOX (VARIABLE AIR VOLUME)		FAN POWERED BOX C/W RETURN AIR SILENCER OR ACOUSTICALLY LINED RETURN AIR
	V.A.V. BOX WITH ATTENTUATOR		INDUCTION V.A.V. BOX
	V.A.V. BOX WITH REHEAT COIL		PNEUMATIC AIR VALVE (LAB)
	V.A.V. BOX WITH REHEAT COIL AND ATTENTUATOR		
A 120	ELEMENT TAG OW — HEATING CAPACITY 4 — ACTIVE ELEMENT LENGTH — ENCLOSURE TYPE		
	REHEAT COIL IN DUCT (RHC) WATER		REHEAT COIL IN DUCT (ERHC) ELECTRIC
U.H.−1	HORIZONTAL UNIT HEATER	R-X	RADIATION HEATING RISER NUMBERS (S=SUPPLY AND R=RETURN)
∪ ∪ ∪.H.−2	DOWN BLAST UNIT HEATER		WALL FIN ELEMENT IN CONTINUOUS ENCLOSURE
	RADIANT HEATING PANEL		
IOTE: NOT AL	L SYMBOLS APPLY, REFER TO FLOOR PI	_ANS AND DRAWI	NGS
	HANDLING SYMBOLS D-012.08)		
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	SUPPLY DUCT UP OR FROM ABOVE		ACOUSTICALLY LINED TRANSFER AIR DUCT
	SUPPLY DUCT DOWN OR FROM BELOW		SILENCER
	RETURN OR EXHAUST DUCT UP OR FROM ABOVE	CTS	CROSSTALK SILENCER
	RETURN OR EXHAUST DUCT DOWN OR FROM BELOW		DUCT WITH MINIMUM CLEARANCE FIRE RATED ENCLOSURE
	ROUND DUCT UP OR FROM ABOVE	F/D	DUCT WITH SLEEVE, INSULATION AND DAMPER
	ROUND DUCT DOWN OR FROM BELOW	CAP	CAPPED CONNECTION
	ACOUSTIC LINED DUCT	RISE UP	RISE IN DUCT
#	FLEXIBLE CONNECTION	SLOPE DN	DROP IN DUCT
(CC)	SQUARE ELBOW DUCT WITH TURNING VANE	■ S.B.	SOUND BAFFLE
	RADIUS ELBOW WITH TURNING VANES		PROPELLER FAN
	AXIAL FAN/INLINE FAN MIXED FLOW OR CENTRIFUG		
$\overline{\mathcal{C}}$	CENTRIFUGAL FAN		
FFUSER GRILLE REGISTER TYF PERIAL: CFM,[IN TRIC: L/s,[mm	PE	LINEAR SLOT DIFFUSER — AIR FLOW (L/S) —	IMPERIAL: CFM,[INS.] METRIC: L/s,[mm] 300 NECK SIZE AND LINEAR DIFFUSER LENGTH (MM)
(0) →	ROUND SUPPLY DIFFUSER		SUPPLY AIR DIFFUSER C/W FLEXIBLE DUCT
	DUCTED RETURN OR EXHAUST REGISTER OR GRILLE		LIGHT TROFFER DIFFUSER TOP INLET C/W FLEXIBLE DUCT
	SQUARE OR RECTANGULAR DIFFUSER		LIGHT TROFFER DIFFUSER SIDE INLET C/W FLEXIBLE DUCT
<u> </u>	NON DUCTED RETURN OR EXHAUST GRILLE		DUCT MOUNTED SUPPLY OR RETURN GRILLE
_		H T	SINIELE

	AIR HANDLING SYMBOLS	
M - 0.0	AIR HANDLING SYMBOLS (MSD-012.09)	

(QTY SHOWN)

NON DUCTED ROUND RETURN OR EXHAUST GRILLE

DIFFUSERS WITH BLANK-OFF PORTION

NOTE: NOT ALL SYMBOLS APPLY, REFER TO FLOOR PLANS AND DRAWINGS

SQUARE PLAQUE DIFFUSER

LINEAR SUPPLY OR RETURN GRILLE

SPIN-IN CONNECTION C/W BALANCING DAMPER AND FLEX DUCT

SPIN-IN CONNECTION C/W BALANCING DAMPER AND RIGID DUCT

	er Sheet Title		
GENERAL M-0.0 M-0.1	MECHANICAL DRAWING LIST		
DEMOLITION TM-1.1	GROUND FLOOR PLUMBING	AND DRAINAG	E DEMOLITION LAYOUT
TM-1.2	GROUND FLOOR H.V.A.C. DE	MOLITION LAY	OUT .
PLUMBING TM-2.1	GROUND FLOOR PLUMBING	AND DRAINAG	E LAYOUT
H.V.A.C. TM-3.1	GROUND FLOOR H.V.A.C. LA	YOUT	
1 DRA	WING LIST		
	WING LIST		T
M-0.9	WING LIST DESCRIPTION	SYMBOL	DESCRIPTION
SYMBOL		12	DESCRIPTION
SYMBOL	DESCRIPTION	12	
SYMBOL	DESCRIPTION - DETAIL NUMBER	12	SECTION NUMBER
SYMBOL	DESCRIPTION - DETAIL NUMBER - DRAWING NUMBER	12	SECTION NUMBER DRAWING NUMBER
SYMBOL 6 M-01	DESCRIPTION - DETAIL NUMBER - DRAWING NUMBER REVISION NUMBER	12	SECTION NUMBER DRAWING NUMBER REVISION BUBBLE PIPING SERVICE CONTINUES REFER TO STANDARD DETAIL DRAWINGS FOR ADDITIONAL REQUIREMENTS OF
SYMBOL 6 M-01	DESCRIPTION - DETAIL NUMBER - DRAWING NUMBER REVISION NUMBER ELBOWS	12 M-01	SECTION NUMBER DRAWING NUMBER REVISION BUBBLE PIPING SERVICE CONTINUES REFER TO STANDARD DETAIL DRAWINGS
SYMBOL 6 M-01	DESCRIPTION - DETAIL NUMBER - DRAWING NUMBER REVISION NUMBER ELBOWS TEE BRANCH OFF	12 M-01 ————————————————————————————————————	PIPING SERVICE CONTINUES REFER TO STANDARD DETAIL DRAWINGS FOR ADDITIONAL REQUIREMENTS OF EQUIPMENT NOTED
SYMBOL 6 M-01	DESCRIPTION - DETAIL NUMBER - DRAWING NUMBER REVISION NUMBER ELBOWS TEE BRANCH OFF BOTTOM OF MAIN	12 M-01 ————————————————————————————————————	PIPING SERVICE CONTINUES REFER TO STANDARD DETAIL DRAWINGS FOR ADDITIONAL REQUIREMENTS OF EQUIPMENT NOTED
SYMBOL 6 M-01 4 4 4 4 4 4 4 6 M-01 4 4 6 M-01 4 4 6 M-01 4 M-01 M-	DESCRIPTION DESCRIPTION DETAIL NUMBER DRAWING NUMBER REVISION NUMBER ELBOWS TEE BRANCH OFF BOTTOM OF MAIN BRANCH OFF TOP OF MAIN	12 M-01 ————————————————————————————————————	- SECTION NUMBER - DRAWING NUMBER REVISION BUBBLE PIPING SERVICE CONTINUES REFER TO STANDARD DETAIL DRAWINGS FOR ADDITIONAL REQUIREMENTS OF EQUIPMENT NOTED AIR QUANTITY C.F.M. (L/s)
SYMBOL 6 M-01 4 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	DESCRIPTION DESCRIPTION DETAIL NUMBER DRAWING NUMBER REVISION NUMBER ELBOWS TEE BRANCH OFF BOTTOM OF MAIN BRANCH OFF TOP OF MAIN DIRECTION OF FLOW EXISTING EQUIPMENT, PIPING, VALVES, DUCTWO EXISTING DUCT, FLEX. DUCT AND	TI2 M-01 M-01 CFM CFM DRK SHOWN LIGHT	- SECTION NUMBER - DRAWING NUMBER REVISION BUBBLE PIPING SERVICE CONTINUES REFER TO STANDARD DETAIL DRAWINGS FOR ADDITIONAL REQUIREMENTS OF EQUIPMENT NOTED AIR QUANTITY C.F.M. (L/s) TO REMAIN EXISTING CONCEALED SPRINKLER
SYMBOL 6 M-01 4 NOTE: EXIS	DESCRIPTION DESCRIPTION DETAIL NUMBER DRAWING NUMBER REVISION NUMBER ELBOWS TEE BRANCH OFF BOTTOM OF MAIN BRANCH OFF TOP OF MAIN DIRECTION OF FLOW EXISTING EQUIPMENT, PIPING, VALVES, DUCTWO AIR SUPPLY TO REMAIN	12 M-01 ————————————————————————————————————	SECTION NUMBER DRAWING NUMBER REVISION BUBBLE PIPING SERVICE CONTINUES REFER TO STANDARD DETAIL DRAWINGS FOR ADDITIONAL REQUIREMENTS OF EQUIPMENT NOTED AIR QUANTITY C.F.M. (L/s) TO REMAIN EXISTING CONCEALED SPRINKLER HEAD & PIPING TO REMAIN EXISTING PENDANT SPRINKLER HEAD
SYMBOL 6 M-01 4 4 4 4 4 4 4 6 M-01 4 4 6 M-01 4 4 6 M-01 4 M-01 M-	DESCRIPTION DESCRIPTION DETAIL NUMBER DRAWING NUMBER REVISION NUMBER ELBOWS TEE BRANCH OFF BOTTOM OF MAIN BRANCH OFF TOP OF MAIN DIRECTION OF FLOW EXISTING EQUIPMENT, PIPING, VALVES, DUCTWO EXISTING DUCT, FLEX. DUCT AND	CFM) DRK SHOWN LIGHT EX	- SECTION NUMBER - DRAWING NUMBER REVISION BUBBLE PIPING SERVICE CONTINUES REFER TO STANDARD DETAIL DRAWINGS FOR ADDITIONAL REQUIREMENTS OF EQUIPMENT NOTED AIR QUANTITY C.F.M. (L/s) TO REMAIN EXISTING CONCEALED SPRINKLER HEAD & PIPING TO REMAIN
SYMBOL 6 M-01 4 NOTE: EXIS EXIS NOTE: EXIS	DESCRIPTION DESCRIPTION DETAIL NUMBER DRAWING NUMBER REVISION NUMBER ELBOWS TEE BRANCH OFF BOTTOM OF MAIN BRANCH OFF TOP OF MAIN DIRECTION OF FLOW STING EQUIPMENT, PIPING, VALVES, DUCTWO EXISTING DUCT, FLEX. DUCT AND AIR SUPPLY TO REMAIN EXISTING ELECTRIC/PNEUMATIC THERMOSTAT/TEMPERATURE SENSOR AND SPEED CONTROL SWITCH TO REMAIN EXISTING UPRIGHT SPRINKLER HEAD	DRK SHOWN LIGHT EX EX EX T T T T T T T T T T T T T	- SECTION NUMBER - DRAWING NUMBER REVISION BUBBLE PIPING SERVICE CONTINUES REFER TO STANDARD DETAIL DRAWINGS FOR ADDITIONAL REQUIREMENTS OF EQUIPMENT NOTED AIR QUANTITY C.F.M. (L/s) TO REMAIN EXISTING CONCEALED SPRINKLER HEAD & PIPING TO REMAIN EXISTING PENDANT SPRINKLER HEAD & PIPING TO REMAIN EXISTING SIDEWALL OR WINDOW SPRINKLER HEAD & PIPING TO REMAIN
SYMBOL 6 M-01 A NOTE: EXIS EX NOTE: EXIS	DESCRIPTION DESCRIPTION DESCRIPTION DETAIL NUMBER DRAWING NUMBER REVISION NUMBER ELBOWS TEE BRANCH OFF BOTTOM OF MAIN BRANCH OFF TOP OF MAIN DIRECTION OF FLOW STING EQUIPMENT, PIPING, VALVES, DUCTWO EXISTING DUCT, FLEX. DUCT AND AIR SUPPLY TO REMAIN EXISTING ELECTRIC/PNEUMATIC THERMOSTAT/TEMPERATURE SENSOR AND SPEED CONTROL SWITCH TO REMAIN EXISTING UPRIGHT SPRINKLER HEAD & PIPING TO REMAIN STING EQUIPMENT SHOWN HATCHED TO BE OCATED.	DRK SHOWN LIGHT EX EX EX T T T T T T T T T T T T T	SECTION NUMBER DRAWING NUMBER REVISION BUBBLE PIPING SERVICE CONTINUES REFER TO STANDARD DETAIL DRAWINGS FOR ADDITIONAL REQUIREMENTS OF EQUIPMENT NOTED AIR QUANTITY C.F.M. (L/s) TO REMAIN EXISTING CONCEALED SPRINKLER HEAD & PIPING TO REMAIN EXISTING PENDANT SPRINKLER HEAD & PIPING TO REMAIN EXISTING SIDEWALL OR WINDOW SPRINKLER HEAD & PIPING TO REMAIN EXISTING SIDEWALL OR WINDOW SPRINKLER HEAD & PIPING TO REMAIN
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SYMBOL 6 M-01 4 NOTE: EXIS EXIS NOTE: EXIS	DESCRIPTION DESCRIPTION DESCRIPTION DESCRIPTION DESCRIPTION DESCRIPTION DESCRIPTION DESCRIPTION REVISION NUMBER ELBOWS TEE BRANCH OFF BOTTOM OF MAIN BRANCH OFF TOP OF MAIN DIRECTION OF FLOW STING EQUIPMENT, PIPING, VALVES, DUCTWO EXISTING DUCT, FLEX. DUCT AND AIR SUPPLY TO REMAIN EXISTING ELECTRIC/PNEUMATIC THERMOSTAT/TEMPERATURE SENSOR AND SPEED CONTROL SWITCH TO REMAIN EXISTING UPRIGHT SPRINKLER HEAD & PIPING TO REMAIN STING EQUIPMENT SHOWN HATCHED TO BE OCATED. EXISTING DUCT, FLEX. DUCT AND AIR SUPPLY TO BE REMOVED EXISTING ELECTRIC/PNEUMATIC THERMOSTAT/TEMPERATURE SENSOR	DRK SHOWN LIGHT EX EX EX T T T T T T T T T T T T T	SECTION NUMBER DRAWING NUMBER REVISION BUBBLE PIPING SERVICE CONTINUES REFER TO STANDARD DETAIL DRAWINGS FOR ADDITIONAL REQUIREMENTS OF EQUIPMENT NOTED AIR QUANTITY C.F.M. (L/s) TO REMAIN EXISTING CONCEALED SPRINKLER HEAD & PIPING TO REMAIN EXISTING PENDANT SPRINKLER HEAD & PIPING TO REMAIN EXISTING SIDEWALL OR WINDOW SPRINKLER HEAD & PIPING TO REMAIN R EXISTING CONCEALED SPRINKLER

NOTE: NOT ALL SYMBOLS APPLY, REFER TO FLOOR PLANS AND DRAWINGS

GENERAL SYMBOLS AND ABBREVIATIONS (MSD-012.12)

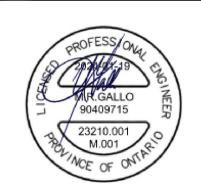
SOCA STUDIO
OF
CONTEMPORARY
ARCHITECTURE
LAPTISTE ARCHITECTURE.

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Lower Hillside Washroom Building Improvements

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Scale: N.T.S.

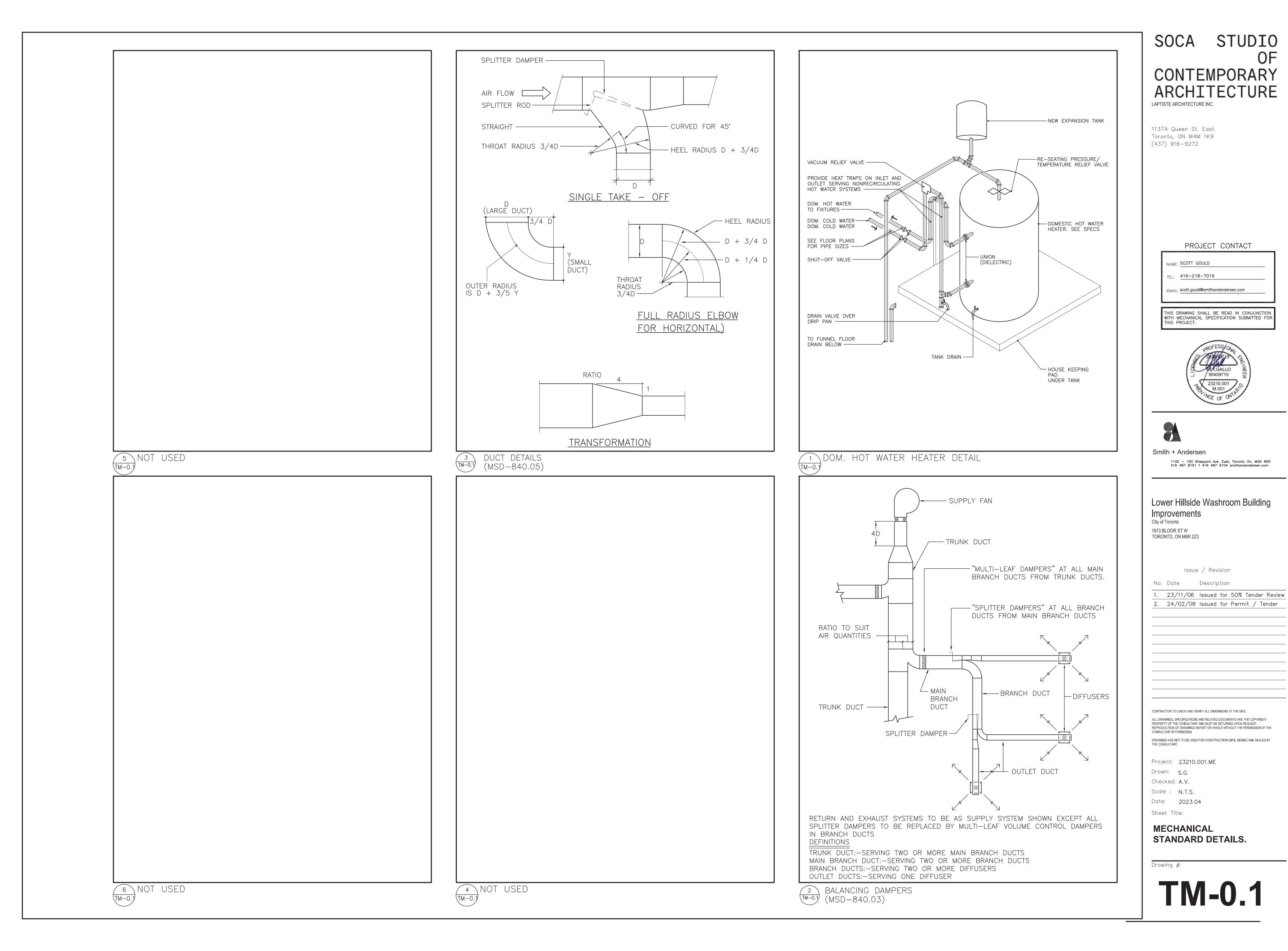
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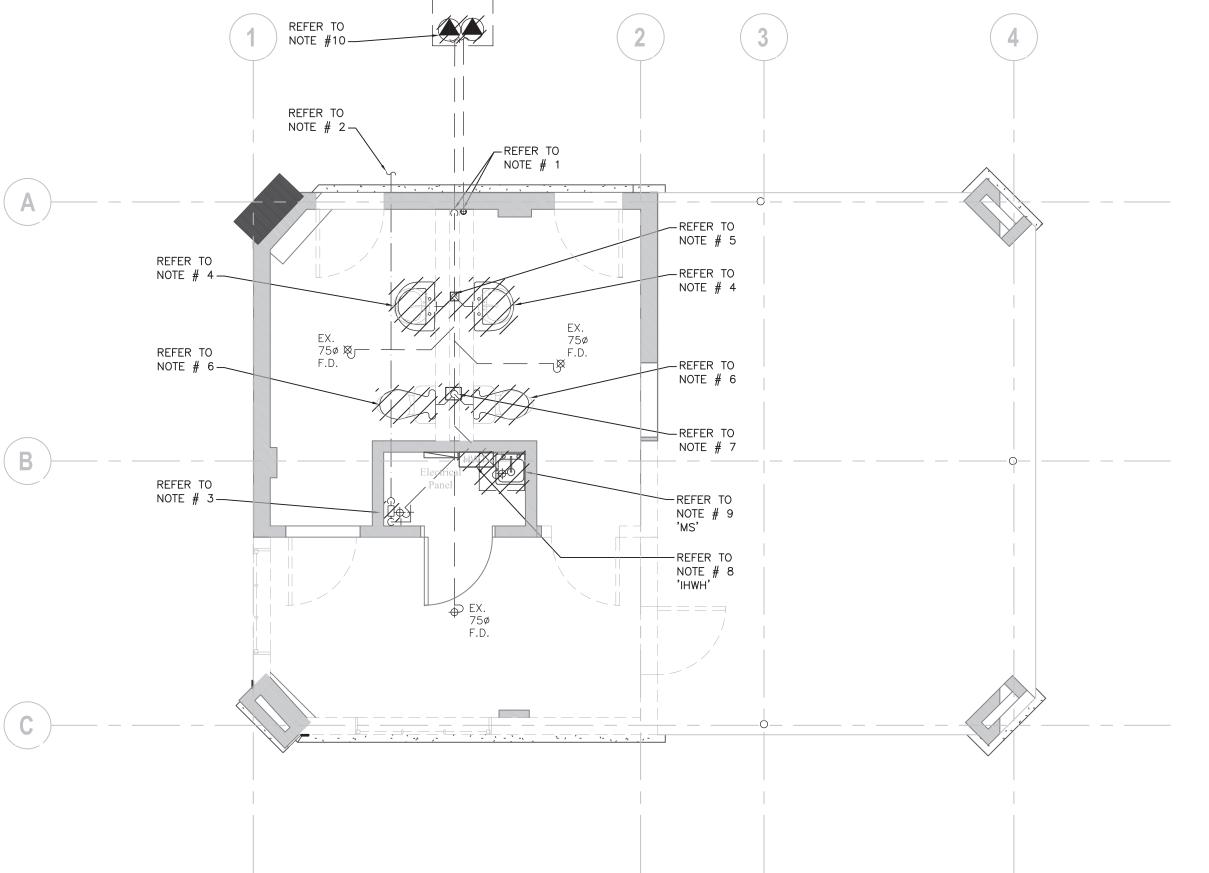
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- REFER TO STANDARD DETAILS AND DETAIL SHEETS FOR ADDITIONAL INFORMATION.

DRAWING NOTES:

- 1. EXISTING 1000 BURIED SANITARY TO EXISTING PUMPING STATION BEYOND. EXISTING 500 VENT PIPE UP FROM EXISTING PUMPING
- 2. EXISTING BURIED INCOMING 500 DOMESTIC COLD WATER LINE TO REMAIN.
- 3. EXISTING 400 WATER METER TO BE REMOVED. CAP EXISTING SERVICES TO ALLOW FOR INSTALLATION OF NEW 500 METER.
- 4. REMOVE EXISTING LAVATORY(S) AND ALL ASSOCIATED DOMESTIC HOT AND COLD WATER PIPES, VENT PIPE AND SANITARY DRAIN. (TYPICAL).
- 5. CONTRACTOR TO CAP EXISTING LAVATORY DRAIN BELOW FLOOR SLAB AND PATCH FLOOR SLAB.
- REMOVE EXISTING WATER CLOSET(S) AND ALL ASSOCIATED DOMESTIC COLD WATER PIPES, VENT PIPE AND SANITARY DRAIN. (TYPICAL).
- 7. CONTRACTOR TO CAP EXISTING WATER CLOSET DRAIN BELOW FLOOR SLAB AND PATCH FLOOR SLAB.
- 8. REMOVE EXISTING ELECTRIC INSTANT HOT WATER HEATER,
 TEMPORARILY CAP EXISTING SERVICES TO ALLOW FOR NEW
 HEATER INSTALLATION, ELECTRIC DISCONNECTION BY ELECTRICAL
 DIVISION.
- 9. REMOVE EXISTING MOP SINK AND ALL ASSOCIATED HOT AND COLD WATER PIPES, VENT PIPE AND SANITARY DRAIN. REMOVE BURIED P TRAP AND CAP SANITARTY DRAIN BELOW FLOOR..
- 10. REMOVE EXISTING GRINDER DUPLEX PUMP SET. ELECTRICAL DISCONNECTION BY ELECTRICAL DIVISION.

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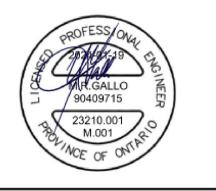
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Lower Hillside Washroom Building Improvements

City of Toronto 1873 BLOOR ST W TORONTO, ON M6R 2Z3

Issue / Revision

No. Date Description

1. 23/11/06 Issued for 50% Tender Review
2. 24/02/08 Issued for Permit / Tender

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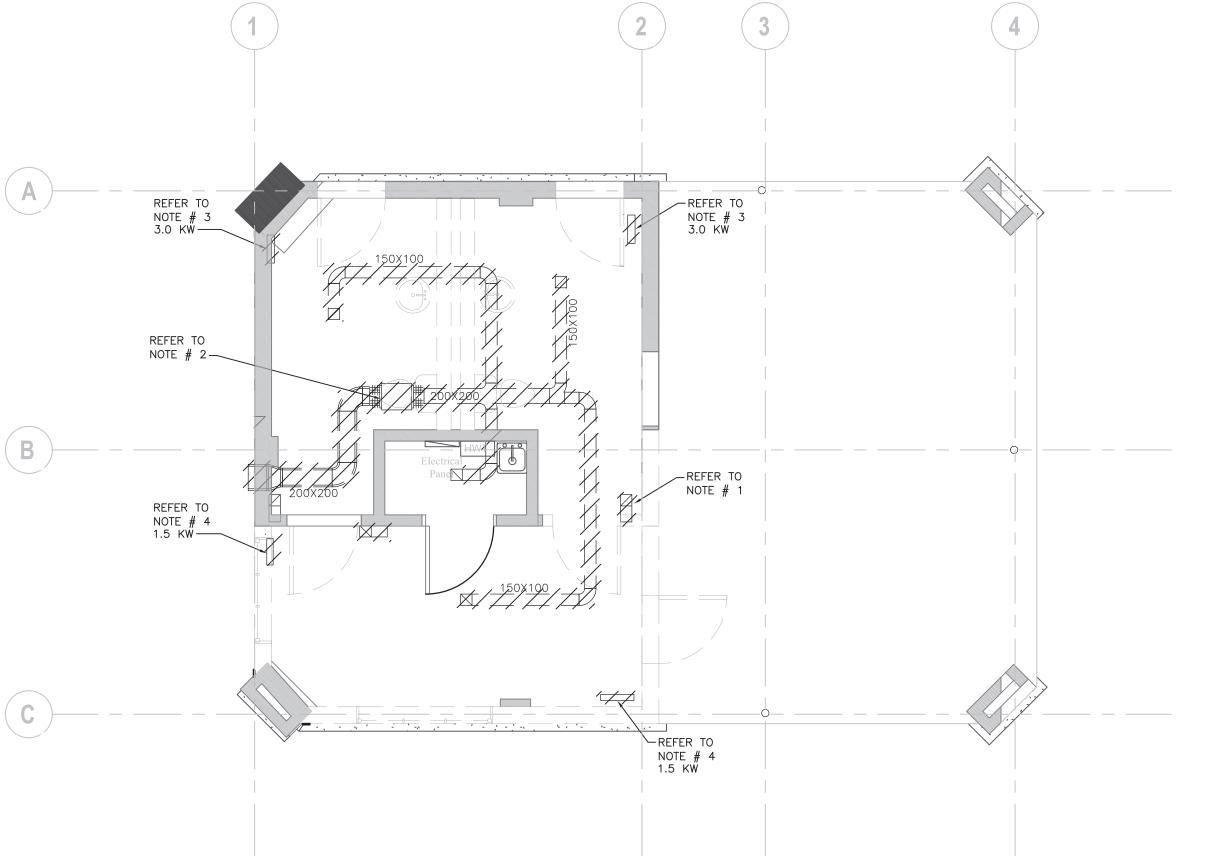
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GROUND FLOOR
PLUMBING & DRAINAGE
DEMOLITION LAYOUT

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DRAWING NOTES:

- EXISTING 150X150 TRANSFER GRILLE AND ACOUSTICALLY LINED DUCT TO BE REMOVED. (TYPICAL).
- REMOVE EXISTING SANITARY EXHAUST FAN AND ALL ASSOCIATED SANITARY EXHAUST DUCTWORK.
- 3. REMOVE AND RELOCATE EXISTING 3.0 KW FORCE FLOW HEATERS. CONTRACTOR TO SUBMIT A REPORT ON CONDITION OF EXISTING ELECTRIC FORCE FLOW HEATER AND PROVIDE COSTS ASSOCIATED WITH RECOMMENDED REPAIR, MAINTENANCE OR REPLACEMENT. ELECTRICAL DISCONNECTION AND RECONNECTION BY THE ELECTRICAL DIVISION.
- 4. REMOVE AND DISPOSE OF EXISTING ELECTRIC FORCE FLOW HEATERS. ELECTRICAL DISCONNECTION BY THE ELECTRICAL DIVISION.

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PROJECT	CONTACT
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Lower Hillside Washroom Building Improvements

City of Toronto 1873 BLOOR ST W TORONTO, ON M6R 2Z3

Issue / Revision

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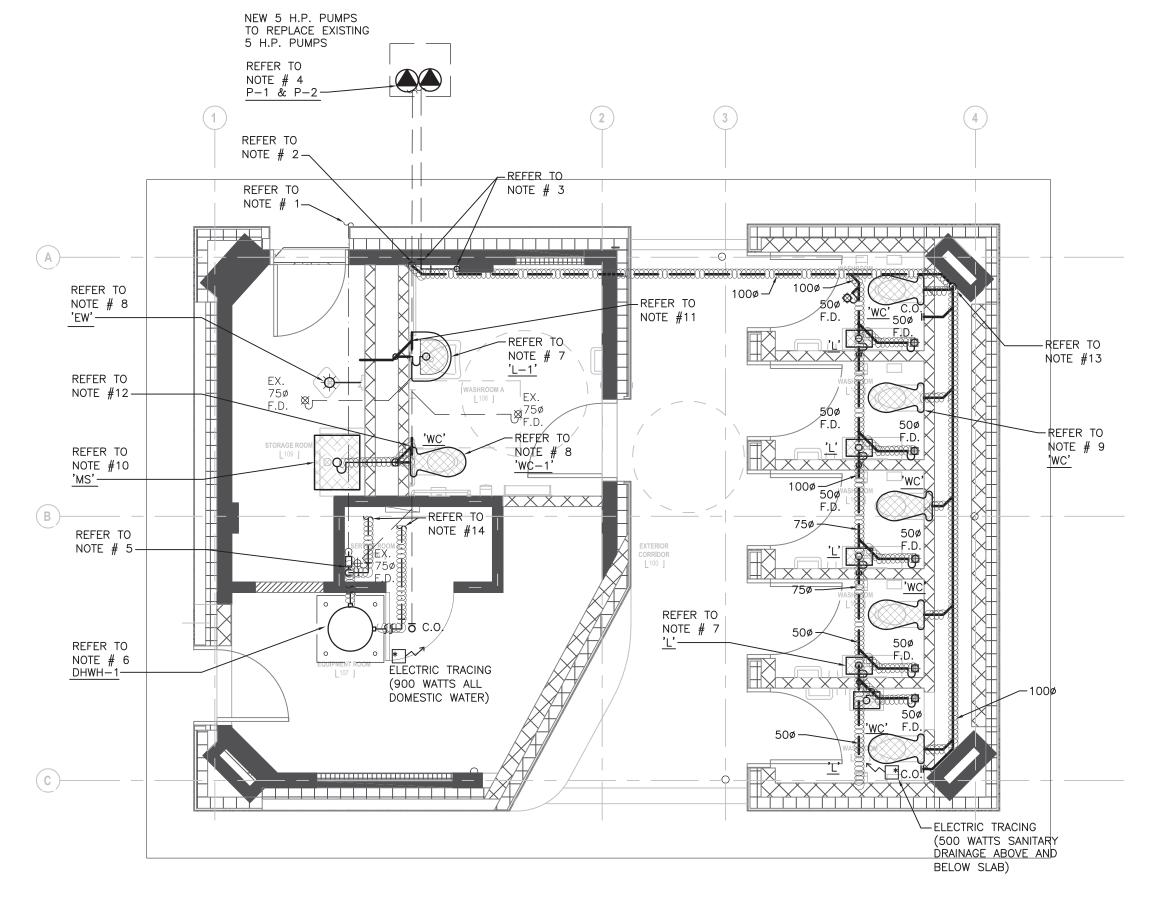
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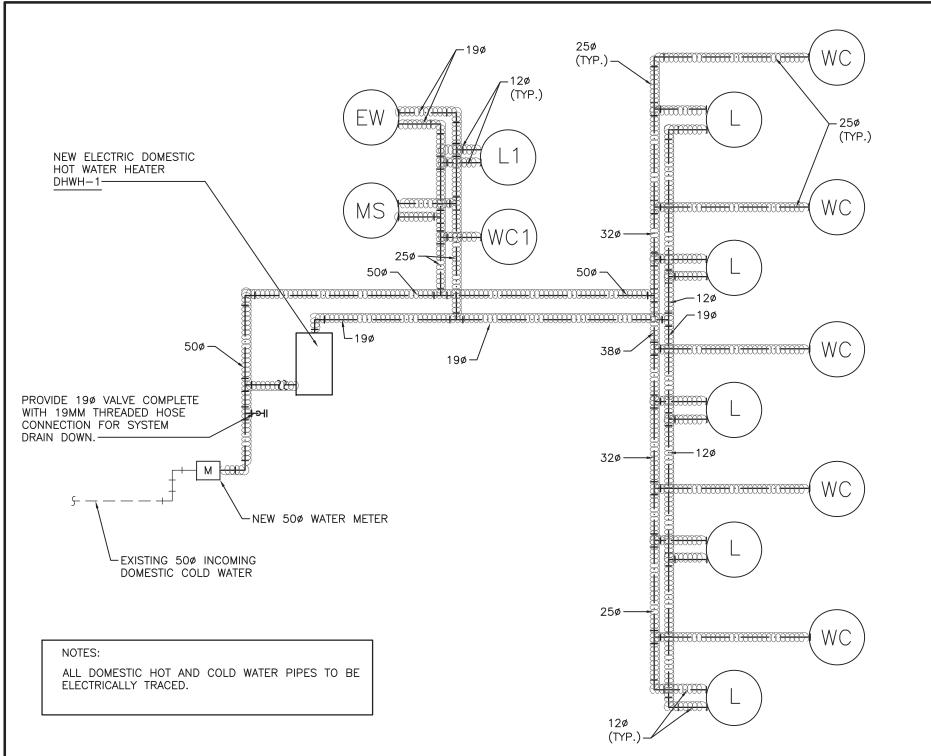
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GROUND FLOOR
H.V.A.C.
DEMOLITION LAYOUT

Drawing #:

TM-1.3





DOMESTIC WATER PIPING SCHEMATIC

EQUIPMEN1	LIST	ELECTRIC D	OMESTIC HOT	WATER HEA	ATER				
TAG	SERVICE	LOCATION	# ELEMENTS	kW/MBH	RECOVERY L/S-GPM	STORAGE	VOLTAGE	WEIGHT	REMARKS
DHWH-1	LAVATORIES/MOP SINK EYEWASH	EQUIP. RM 107	1	3.0/9.2	85.0/23.0	20 GAL.	208/1/60	276 LBS	A.O. SMITH DEL—20 SIDE CONNECTIONS REQUIRED

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DRAWING NOTES:

- 1. EXISTING INCOMING BURIED 500 DOMESTIC COLD WATER SERVICE TO
- 2. CONNECT NEW 1000 BURIED SANITARY DRAIN DOWN AND CONNECT TO EXISTING 1000 BURIED SANITARY DRAIN.
- 3. CONNECT NEW BURIED 500 VENT PIPE TO EXISTING INCOMING BURIED VENT AND EXTEND NEW 500 VENT PIPE UP THOUGH ROOF.
- 4. PROVIDE AND INSTALL NEW GRINDER DUPLEX PUMP SET COMPLETE WITH RAILS, FLOATS, CONTROLS ETC, ELECTRICAL CONNECTION BY ELECTRICAL DIVISION.
- 5. PROVIDE AND INSTALL NEW 500 DOMESTIC COLD WATER METER, MODIFY PIPING AS REQUIRED, PROVIDE NEW PIPING AS INDICATED ON THE PIPING SCHEMATIC LOCATED ON THIS DRAWING.
- 6. PROVIDE AND INSTALL NEW ELECTRIC DOMESTIC HOT WATER HEATER DHWH-1 COMPLETE WITH WALL SUPPORTS, HANGERS, BRACKETS, CONTROLS ETC. T&P RELIEF AND 250 DRAIN DOWN AND TERMINATE OVER FLOOR DRAIN IN SERVICE ROOM A 108. ELECTRICAL CONNECTION BY ELECTRICAL DIVISION.
- 7. 120 DOMESTIC HOT AND COLD WATER PIPES DOWN TO LAVATORY, 320 VENT LINE UP FROM LAVATORY, AND 320 SANITARY DRAIN DOWN TO 500 BURIED SANITARY DRAIN BELOW SLAB.
- 8. 190 DOMESTIC HOT AND COLD WATER PIPES DOWN TO EYEWASH STATION, 380 VENT LINE UP FROM EYEWASH STATION AND 500 SANITARY DRAIN DOWN FROM EYEWASH STATION DOWN AND RUN BELOW FLOOR SLAB.
- 9. 25¢ DOMESTIC COLD WATER PIPE DOWN TO WATERCLOSET, 50¢ VENT LINE UP FROM WATERCLOSET, AND 75¢ SANITARY DRAIN FROM WATERCLOSET RUN IN WALL PRIOR TO DROPPING DOWN TO BELOW FLOOR SLAB. (TYPICAL)
- 10. 120 DOMESTIC HOT AND COLD WATER PIPES DOWN TO MOP SINK, 380 VENT PIPE UP AND 500 SANITARY DRAIN FROM MOP SINK RUN BELOW FLOOR SLAB.
- 11. CONNECT NEW 500 SANITARY DRAIN TO EXISTING 1000 BURIED SANITARY PIPE.
- 12. CONNECT NEW 750 SANITARY DRAIN TO EXISTING 1000 BURIED SANITARY PIPE.
- 13. NEW 1000 SANITARY DRAIN PIPE DOWN TO BELOW FLOOR SLAB AND RUN BURIED AS INDICATED.
- 14. REFER TO DOMESTIC WATER PIPING SCHEMATIC THIS DRAWING FOR PIPE SIZES. ALL DOMESTIC WATER PIPING TO BE ELECTRICALLY TRACED AND INSULATED.
- 15. ALL NEW SANITARY DRAINAGE PIPING LOCATED ABOVE SLAB TO BE ELECTRICALLY TRACED AND INSULATED.
- 16. PROVIDE NEW FLOOR DRAINS COMPLETE WITH TRAPS AND TRAP
- 17. ALL NEW SANITARY DRAINAGE ABOVE AND BELOW GRADE TO BE ELECTRICALLY TRACED, INCLUDING LAVATORY P TRAPS AND FLOOR DRAIN P TRAPS.

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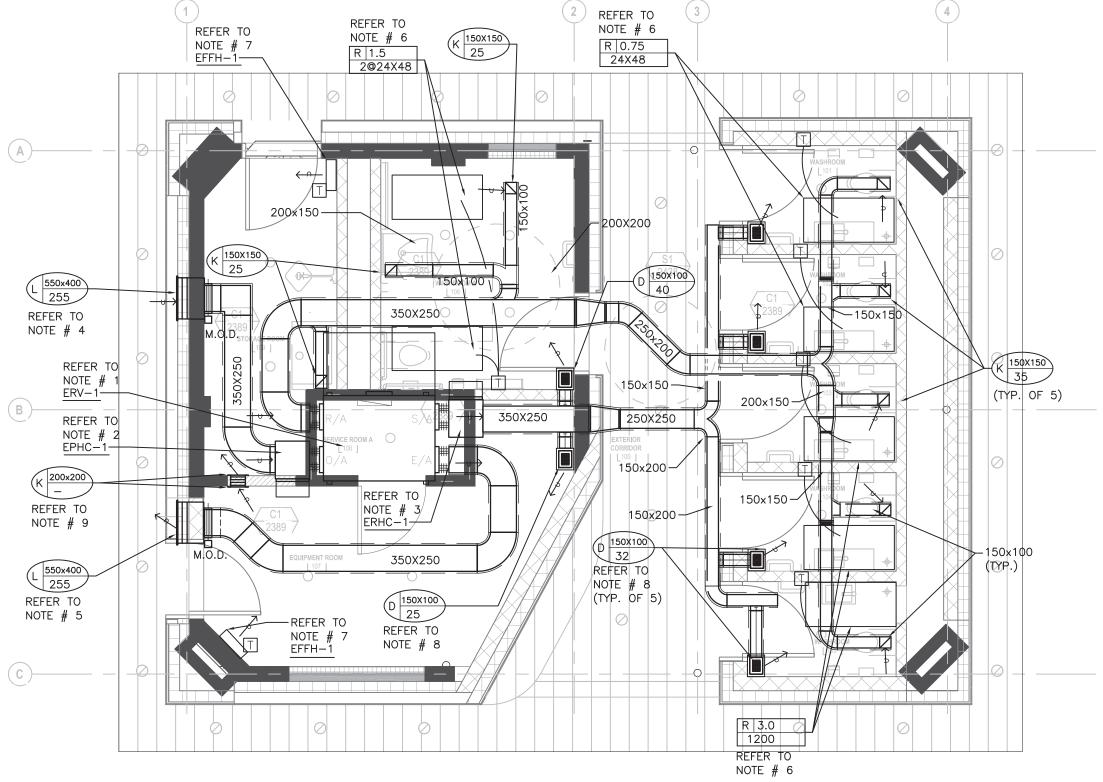
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GROUND FLOOR PLUMBING & DRAINAGE LAYOUT

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DRAWING NOTES:

- 1. PROVIDE AND INSTALL ENERGY RECOVERY OUTSIDE AIR UNIT ERV-1 IN ATTIC SPACE, COMPLETE WITH ALL ASSOCIATED HANGERS, SUPPORTS, FLEXIBLE CONNECTIONS, THERMALLY LINED DUCTWORK, GRILLE, DIFFUSERS, CONDUIT, CONTROLS ETC. TO PROVIDE A COMPLETE AND FUNCTIONAL INSTALLATION. ELECTRICAL CONNECTION BY ELECTRICAL DIVISION.
- 2. PROVIDE AND INSTALL NEW ELECTRIC PRE—HEAT COIL EPHC—1 FOR INCOMING OUTSIDE AIR TO ENERGY RECOVERY UNIT COMPLETE WITH ALL ASSOCIATED HANGERS, SUPPORTS, CONDUIT, CONTROLS ETC. TO PROVIDE A COMPLETE AND FUNCTIONAL INSTALLATION. ELECTRICAL CONNECTION BY ELECTRICAL DIVISION.
- 3. PROVIDE AND INSTALL NEW ELECTRIC HEATING COIL EHC-1 FOR DISCHARGE AIR FROM ENERGY RECOVERY UNIT COMPLETE WITH ALL ASSOCIATED HANGERS, SUPPORTS, CONDUIT, CONTROLS ETC. TO PROVIDE A COMPLETE AND FUNCTIONAL INSTALLATION. ELECTRICAL CONNECTION BY ELECTRICAL DIVISION.
- 4. PROVIDE NEW 550X400 OUTSIDE AIR LOUVRE COMPLETE WITH THERMALLY INSULATED 550X400X400 INTAKE PLENUM. CONNECT NEW 350X250 OUTSIDE AIR DUCT TO PLENUM COMPLETE WITH MOTOR OPERATED DAMPED (M.O.D.). SEAL PLENUM WATER TIGHT AND SLOPE BOTTOM OF PLENUM TO OUTSIDE.
- 5. PROVIDE NEW 550X400 EXHAUST AIR LOUVRE COMPLETE WITH THERMALLY INSULATED 550X400X400 EXHAUST PLENUM. CONNECT NEW 350X250 EXHAUST AIR DUCT TO PLENUM COMPLETE WITH MOTOR OPERATED DAMPED (M.O.D.). SEAL PLENUM WATER TIGHT AND SLOPE BOTTOM OF PLENUM TO OUTSIDE.
- 6. PROVIDE AND INSTALL NEW ELECTRIC RADIANT CEILING PANELS COMPLETE WITH HANGERS CONDUIT AND CONTROLS. REFER TO DRAWING FOR LENGTH AND OUTPUT. ELECTRICAL CONNECTION BY ELECTRICAL DIVISION.
- RELOCATED EXISTING 3.0 KW FORCE FLOW HEATERS. PROVIDE ALL CONDUIT AND CONTROLS AS REQUIRED. ELECTRICAL CONNECTION BY ELECTRICAL DIVISION.
- ACOUSTICALLY LINED 150X150X250 HIGH SUPPLY AIR PLENUM OVER TYPE 'D' CEILING REGISTER. CONNECT NEW 150X100 THERMALLY INSULATED DUCT TO SUPPLY AIR PLENUM. (TYPICAL).
- 9. PROVIDE TRANSFER AIR GRILLE DUCT TROUGH WALL AT HIGH LEVEL COMPLETE WITH WALL GRILLES ON BOTH SIDES.
- 10. ALL DUCTWORK IN ATTIC SPACE TOP BE 50mm THERMALLY INSULATED DUCTWORK.

EQUIPMENT	LIST				100% Ol	JTSIDE AIR ERV	/									
						DESIGN OUTDOOR			DESIGN INDOOR		SUPPLY CONDITIONS					
NAME	SUPPLY	EXHAUST	EXT.SP (IN WC)	POWER	MROPD	EXH.SUM/WIN DBT (F°)	OA/SUM/WIN WBT (F°)	SUM/WIN R.H.	SUM/WIN DBT (F°)	R.H.	SUM/WIN DBT (F°)	SUM/WIN WBT (F°)	SUM/WIN RH %	SUM/WIN DEW POINT	SUM/WIN ENTHALPY BTU/LB	REMARKS
ERV-1	255 L/S	255 L/S	3.9"	208/1/60	15 AMP	75.0/-70.0	75.0/-4.0	50.0/35.0 %	75.0/72.0	50.0/35.0 %	81.6/47.0	69.1/37.2	52.6/12.9	54.0/36.0	31.1/13.9	OXYGEN8 A16IN

EQUIPMEN	NT LIST			ELECTR	IC DUCT COILS
TAG	AIR FLOW	POWER	KILOWATTS	MOCP	REMARKS
EPHC-1	255 L/S	208/1/60	2.0	15 AMP	OXYGEN 8 PRE-HEAT COIL NOVA A16IDU INTEGRATED TO ERV CONTROLS
EHC-1	255 L/S	208/1/60	6.0	40 AMP	OXYGEN 8 PRE-HEAT COIL NOVA A16IDU INTEGRATED TO ERV CONTROLS
ELECTRIC	C RADIANT PA	ANELS			
R		120/1/60	0.75	15 AMP	OUELLET 'AS2448-750-120' COMPLETE WITH LINE VOLTAGE RECESSED TEMPERATURE SENSOR WITH VANDAL PROOF SCREWS

SOCA STUDIO OF CONTEMPORARY ARCHITECTURE LAPTISTE ARCHITECTURE.

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THIS DRAWING SHALL BE READ IN CONJUNCTION WITH MECHANICAL SPECIFICATION SUBMITTED FOR





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Lower Hillside Washroom Building Improvements

City of Toronto 1873 BLOOR ST W TORONTO, ON M6R 2Z3

Issue / Revision

No.	Date	Descrip	otion	l		
1.	23/11/06	Issued	for	50%	Tender	Revi
2.	24/02/08	Issued	for	Perm	nit / T	ender

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.

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Project: 23210.001.ME

Drawn: S.G.

Checked: A.V.

Scale: 1:50

Date: 2023.04

Sheet Title:

GROUND FLOOR H.V.A.C. LAYOUT

Drawing #:

TM-3.1

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	CEILING MOUNTED LINEAR LUMINAIRE. DIMENSIONS AS SHOWN. REFER TO SCHEDULE FOR TYPE.	+	CEILING MOUNTED WALL WASHER LUMINAIRE. ILLUMINATION DIRECTION DENOTED BY HATCHED SIDE.	φ	WALL MOUNTED DUPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R
<i>'</i> ////////////////////////////////////	DENOTES FIXTURE ON EMERGENCY/NIGHT LIGHT CIRCUIT.	$\Delta\Delta\Delta$	CEILING MOUNTED TRACK LIGHTING C/W NUMBER OF FIXTURES.	PF PF	WALL MOUNTED ABOVE COUNTER DUPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R
	WALL MOUNTED LINEAR LUMINAIRE. DIMENSIONS AS SHOWN. REFER TO SCHEDULE FOR TYPE.	ф	WALL MOUNTED LUMINAIRE	₩	WALL MOUNTED DUPLEX RECEPTACLE 120 VOLT, 20 AMP, CSA 5-20R (T-SLOT)
	CEILING MTD. LUMINAIRE OR BASKET LUMINAIRE. LAMP ORIENTATION AS SHOWN. REFER TO SCHEDULE FOR TYPE.	+	PENDANT FIXTURE	#	WALL MOUNTED ABOVE COUNTER DUPLEX RECEPTACLE 120 VOLT, 20 AMP, CSA 5-20R (T-SLOT)
	EXISTING LUMINAIRE TO BE REMOVED		CEILING MOUNTED LUMINAIRE	P	WALL MOUNTED DUPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R, DEDICATED CIRCUIT
	EXISTING LUMINAIRE TO REMAIN	፟፟፟፟፟፟፟፟	FLOOR MOUNTED LUMINAIRE	•	WALL MOUNTED DUPLEX RECEPTACLE 120 VOLT, 20 AMP, CSA 5-20R, DEDICATED CIRCUIT
_	POLE MOUNTED LUMINAIRE. NUMBER OF HEADS SHOWN. REFER TO SCHEDULE FOR FIXTURE AND POLE TYPE.	IфI	TRACK LIGHT WITH PENDANT LUMINAIRE AS INDICATED	Φ	WALL MOUNTED, SPLIT SWITCH CONTROLLED DUPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R
00000	CEILING MOUNTED LUMINAIRE WITH GIMBALLED HEADS. REFER TO SCHEDULE FOR TYPE AND NUMBER OF HEADS.	- ф	BOLLARD LUMINAIRE	₩	WALL MOUNTED DUPLEX GROUND FAULT RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R
모	VERTICAL WALL MOUNTED FLUORESCENT LUMINAIRE			₩	WALL MOUNTED ABOVE COUNTER DUPLEX GROUND FAULT RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R
	CONTINUOUS STRIP LIGHT. REFER TO SCHEDULE FOR FIXTURE TYPE.			₩	WALL MOUNTED DUPLEX GROUND FAULT RECEPTACLE 120 VOLT, 20 AMP CSA 5-20R
	STAGGERED COVE LIGHT. DIMENSIONS AND NUMBER OF FIXTURES SHOWN. REFER TO SCHEDULE FOR FIXTURE TYPE.			\$\frac{\pi}{\pi}	WALL MOUNTED ABOVE COUNTER DUPLEX GROUND FAULT RECEPTACLE 120 VOLT, 20 AMP CSA 5-20R
				#	WALL MOUNTED QUADPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R
				₩	WALL MOUNTED DUPLEX RECEPTACLE 120 VOLT, 15 AMP, 2 POLE, SPLIT CIRCUIT
				ALC .	WALL MOUNTED ABOVE COUNTER DUPLEX RECEPTACLE 120 VOLT, 15 AMP, 2 POLE, SPLIT CIRCUIT
				₩	WALL MOUNTED SIMPLEX RECEPTACLE 250 VOLT, 15 AMP, 3Ø CSA 15-15R
				φ	SPECIAL RECEPTACLE. TYPE AND DETAILS AS NOTED ON DRAWING.
+	RECESSED CEILING MOUNTED REMOTE ADJUSTABLE LUMINAIRE CONNECTED TO EMERGENCY LIGHTING BATTERY UNIT.	₹	EMERGENCY LIGHTING BATTERY UNIT C/W NUMBER OF HEADS SHOWN	Ø	WALL MOUNTED ABOVE COUNTER SIMPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R
Î	WALL MOUNTED EMERGENCY SINGLE REMOTE HEAD		EMERGENCY LIGHTING BATTERY UNIT	Φ	WALL MOUNTED SIMPLEX RECEPTACLE 120 VOLT, 20 AMP, CSA 5-20R
5	WALL MOUNTED EMERGENCY DOUBLE REMOTE HEAD	B	EMERGENCY LIGHTING BATTERY + EXIT LIGHT COMBINATION UNIT C/W NUMBER OF HEADS SHOWN	•	WALL MOUNTED SIMPLEX RECEPTACLE 250 VOLT, 30 AMP, CSA 14-30R
•	CEILING MOUNTED EMERGENCY SINGLE REMOTE HEAD	<u> </u>	EXIT LIGHT CEILING MOUNTED C/W FACES AND ARROWS AS INDICATED	Φ	WALL MOUNTED SIMPLEX RECEPTACLE 120 VOLT, 30 AMP, CSA 5-30R
<> >	CEILING MOUNTED EMERGENCY DOUBLE REMOTE HEAD	<u>\$</u>	EXIT LIGHT WALL MOUNTED C/W FACES AND ARROWS AS INDICATED	•	WALL MOUNTED SIMPLEX RECEPTACLE 250 VOLT, 50 AMP, CSA 14-50R

5 LIGHTING LEGEND 1 OF 2

6 LIGHTING LEGEND 2 OF 2

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
\$	SINGLE POLE LINE VOLTAGE LIGHT SWITCH		
\$	2 GANG - LINE VOLTAGE LIGHT SWITCH		
#	3 GANG - LINE VOLTAGE LIGHT SWITCH		
\$ ³	3 WAY - LINE VOLTAGE LIGHT SWITCH		
\$ ⁴	4 WAY - LINE VOLTAGE LIGHT SWITCH		
\$ ^{LV}	LOW VOLTAGE LIGHT SWITCH		
\$ ^K	KEY OPERATED LINE VOLTAGE SWITCH		
\$ ^{MS}	MASTER SWITCH		
\$ ^{AO}	ALL-OFF SWITCH		
\$	SINGLE POLE 347V SWITCH		
Ф	DIMMER TYPE TO SUIT LOAD		
PC	CEILING MOUNTED PHOTO CELL SWITCH		
PC	WALL MOUNTED PHOTO CELL SWITCH		
(DL)	DAY LIGHT PHOTO SENSOR		
I	TIME SWITCH		
OS'X'	CEILING MOUNTED OCCUPANCY SENSOR. TYPE DENOTED BY 'X'. REFER TO OCCUPANCY SENSOR SCHEDULE.		
OS 'X'	WALL MOUNTED OCCUPANCY SENSOR. TYPE DENOTED BY 'X'. REFER TO OCCUPANCY SENSOR SCHEDULE.		
LC	LIGHTING CONTROL MODULE		
DIM	MULTI-ZONE LIGHTING CONTROL PANEL		
RS	REMOTE STATION WITH PRESET SCENE SELECTION BUTTON		
IR	PARTITION POSITION INFRARED SENSOR FOR LIGHTING CONTROL		
		1	

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
φ	WALL MOUNTED DUPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R	₩7	WALL MOUNTED COMBINATION COMMS./ QUADPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R. REFER TO DETAIL.
Ø	WALL MOUNTED ABOVE COUNTER DUPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R		FLOOR OR CEILING MOUNTED (AS SHOWN) COMBINATION COMMUNICATION / QUADPLEX RECEPTACLE 120 VOLT. 15
•	WALL MOUNTED DUPLEX RECEPTACLE 120 VOLT, 20 AMP, CSA 5-20R (T-SLOT)	◆▼	AMP, CSA 5-15R. REFER TO CORRESPONDING DETAIL.
#	WALL MOUNTED ABOVE COUNTER DUPLEX RECEPTACLE 120 VOLT, 20 AMP, CSA 5-20R (T-SLOT)		FLOOR POKE THROUGH COMBINATION COMMUNICATION / QUADPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA
•	WALL MOUNTED DUPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R, DEDICATED CIRCUIT	<u>.</u>	5-15R. REFER TO CORRESPONDING DETAIL.
•	WALL MOUNTED DUPLEX RECEPTACLE 120 VOLT, 20 AMP, CSA 5-20R, DEDICATED CIRCUIT		FLOOR POKE THROUGH AS ABOVE WITH AUDIO/VISUAL REQUIREMENT. REFER TO DETAIL.
•	WALL MOUNTED, SPLIT SWITCH CONTROLLED DUPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R	₽ ▼	WALL MOUNTED COMBINATION COMMS./ DUPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R. REFER TO DETAIL.
₩	WALL MOUNTED DUPLEX GROUND FAULT RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R WALL MOUNTED ABOVE COUNTER DUPLEX		FLOOR OR CEILING MOUNTED (AS SHOWN) COMBINATION COMMUNICATION / DUPLEX RECEPTACLE 120 VOLT, 15 AMP,
₩	GROUND FAULT RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R	ΨΨ	CSA 5-15R. REFER TO CORRESPONDING DETAIL.
₩	WALL MOUNTED DUPLEX GROUND FAULT RECEPTACLE 120 VOLT, 20 AMP CSA 5-20R WALL MOUNTED ABOVE COUNTER DUPLEX		FLOOR POKE THROUGH COMBINATION COMMUNICATION / DUPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R. REFER
₩	GROUND FAULT RECEPTACLE 120 VOLT, 20 AMP CSA 5-20R		TO CORRESPONDING DETAIL. FLOOR POKE THROUGH AS ABOVE WITH
#	WALL MOUNTED QUADPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R		AUDIO/VISUAL REQUIREMENT. REFER TO DETAIL.
•	WALL MOUNTED DUPLEX RECEPTACLE 120 VOLT, 15 AMP, 2 POLE, SPLIT CIRCUIT		SYSTEMS FURNITURE FEED POINT FOR POWER & COMMS. CABLING. LETTER
A	WALL MOUNTED ABOVE COUNTER DUPLEX RECEPTACLE 120 VOLT, 15 AMP, 2 POLE, SPLIT CIRCUIT		DENOTES FEED LOCATION: W= WALL, F= FLOOR, P= PAC POLE, WM = WIREMOLD
Ф	WALL MOUNTED SIMPLEX RECEPTACLE 250 VOLT, 15 AMP, 3Ø CSA 15-15R	Ф	CEILING MOUNTED DUPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R
φ	SPECIAL RECEPTACLE. TYPE AND DETAILS AS NOTED ON DRAWING.	Ф	CEILING MOUNTED SIMPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R
Ø	WALL MOUNTED ABOVE COUNTER SIMPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R	#	CEILING MOUNTED QUADPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R
•	WALL MOUNTED SIMPLEX RECEPTACLE 120 VOLT, 20 AMP, CSA 5-20R		FLOOR MOUNTED DUPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R
•	WALL MOUNTED SIMPLEX RECEPTACLE 250 VOLT, 30 AMP, CSA 14-30R		FLOOR MOUNTED QUADPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R
Ф	WALL MOUNTED SIMPLEX RECEPTACLE 120 VOLT, 30 AMP, CSA 5-30R	9 9 9	RACEWAY RECEPTACLE, TYPE AS SPECIFIED C/W QUANTITY OF DEVICES INDICATED
•	WALL MOUNTED SIMPLEX RECEPTACLE 250 VOLT, 50 AMP, CSA 14-50R	⊕■⊕	SERVICE POLE, TYPE AS SPECIFIED C/W QUANTITY OF DEVICES INDICATED

POWER LEGEND 1 OF 2

POWER LEGEND 2 OF 2

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	FLUSH MOUNTED SINGLE TUB PANEL. RATING AS NOTED ON SINGLE LINE/PANEL SCHEDULE.	©	CONTACTOR
	FLUSH MOUNTED DOUBLE TUB PANEL RATING AS NOTED ON SINGLE LINE/PANEL SCHEDULE.	Ţ	GROUND ROD WITH INSPECTION PIT
	SURFACE MOUNTED SINGLE TUB PANEL. RATING AS NOTED ON SINGLE LINE/PANEL SCHEDULE.	1	THERMOSTAT-16mm (1/2") CONDUIT TO ACCESSIBLE CEILING SPACE
	SURFACE MOUNTED DOUBLE TUB PANEL. RATING AS NOTED ON SINGLE LINE/PANEL SCHEDULE.	JB	JUNCTION BOX (SIZE SPECIFIED ON DRAWING)
	TRANSFORMER (SIZE NOTED ON SINGLE LINE DIAGRAM)		ELECTRIC UNIT HEATER
마	DISCONNECT	X	ELECTRIC BASEBOARD HEATER. 'X' DENOTES TYPE. REFER TO BASEBOARD HEATER SCHEDULE.
	COMBINATION MANUAL STARTER WITH INTEGRAL DISCONNECT	▽ ▽	GROUND BAR
	COMBINATION STARTER WITH INTEGRAL DISCONNECT	HD	HAND DRYER HARD WIRED CONNECTION
	DIRECT CONNECTION	M	METER
	DIRECT CONNECTION C/W DISCONNECT	R	RELAY
<u> </u>	MOTOR AND DISCONNECT	PB	PULL BOX
	MOTOR AND RELAY DISCONNECT DISCONNECT	•———• 	GROUND BUS
	MOTOR AND COMBINATION STARTER WITH INTEGRAL DISCONNECT	♦	DENOTES RECEPTACLE TYPE. REFER TO RECEPTACLE SCHEDULE.
	VARIABLE FREQUENCY DRIVE AND VFD		UTILITY METERING CABINET
	CABLE CONNECTION TO MOTOR. LINE AND LOAD SIDE WIRING OF HARMONIC FILTER AND VFD BY ELECTRICAL CONTRACTOR. MOTOR, VFD AND HARMONIC FILTER SUPPLIED BY MECHANICAL DIVISION.		DOOR BELL/CHIME
		Ф	CLOCK WALL MOUNTED
	VARIABLE FREQUENCY DRIVE. LINE AND	0	CLOCK CEILING MOUNTED
VFD	LOAD SIDE WIRING OF HARMONIC FILTER AND VFD BY ELECTRICAL CONTRACTOR, LOAD SIDE WIRING OF VFD TO BE VFD	•	PUSH BUTTON
	CABLE. VFD AND HARMONIC FILTER SUPPLIED BY MECHANICAL DIVISION.	NÀ	MOTOR
[IIIE]	HARMONIC FILTER (SUPPLIED BY MECH. CONTRACTOR UNLESS NOTED		
HF	OTHERWISE.) LINE AND LOAD SIDE WIRING OF HARMONIC FILTER BY ELECTRICAL CONTRACTOR.		

	ELECTRICAL DRAWING LIST
DRAWING No.	DRAWING NAME
TE-0.1	DRAWING LIST AND LEGENDS
TE-0.2	ELECTRICAL DETAILS
TE-0.3	ELECTRICAL DETAILS
TE-1.1	GROUND FLOOR ELECTRICAL LAYOUT
TE-1.2	GROUND FLOOR ELECTRICAL DEMOLITION LAYOUT
	CLOSEOUT DOCUMENT CHECKLIST

CLOSEOUT DOCUMENT CHECKLIST

ELECTRICAL CONTRACTOR SHALL PROVIDE THE FOLLOWING DOCUMENTS TWO (2) DAYS PRIOR TO OCCUPANCY:

- ESA CERTIFICATE (NOTING ALL NEW DEVICE TYPES AND QUANTITIES TESTED)
- EMERGENCY LIGHTING LETTER
- (LETTER SHALL STATE EMERGENCY LIGHTING HAS BEEN INSTALLED IN ACCORDANCE WITH CONTRACT DOCUMENTS AND LATEST EDITION OF THE ONTARIO BUILDING CODE SECTIONS [3.2.7.3 AND 3.2.7.4].)
- CHAIN HUNG LIGHTING LETTER
- (WRITTEN CONFIRMATION ALL NEW AND RELOCATED CEILING LIGHTING FIXTURES HAVE BEEN SUPPORTED FROM THE STRUCTURE INDEPENDENT FROM SUSPENDED CEILING)

GENERAL AND SYMBOLS AND ABBREVIATIONS

2 GENERAL AND SYMBOLS AND ABBREVIATIONS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
6	DETAIL NUMBER	12	SECTION NUMBER
E-01	DRAWING NUMBER	E-01	DRAWING NUMBER
4	REVISION NUMBER		REVISION BUBBLE
A	AMPS	MO	MOTOR OPERATED
AD	ACCESS DOOR	MOD	MOTOR OPERATED DAMPER
AFCI	ARC FAULT CIRCUIT INTERRUPTER	MW	MICROWAVE
AFF	ABOVE FINISHED FLOOR	N	NEW
BBH	BASEBOARD HEATER	NC	NORMALLY CLOSED
BU	BATTERY UNIT	NIC	NOT IN CONTRACT
С	CONDUIT	NL	NIGHT LIGHT
CD	CANDELA	NO	NORMALLY OPEN
CL	CEILING MOUNTED	ОС	OVER COUNTER
CS	CHARGING STATION	OL	OBSTRUCTION LIGHT
CV	CONVENTIONAL STYLE DEVICE	Р	PARABOLIC LOUVRE
D	DEDICATED	PL	PATIENT LIFT
DG	DEDICATED GROUND	R	RELOCATE
DHWT	DOMESTIC HOT WATER TANK	RA	RANGE
DNC	DEDICATED NEUTRAL + BOND	RC	REVISE EXISTING CIRCUIT
DR	LAUNDRY DRYER	RH	RANGE HOOD
DW	DISHWASHER	RIC	ROUGH IN AND CONNECT
E	EXISTING	RO	ROUGH IN ONLY
EF	EXHAUST FAN	RR	REMOVE AND REINSTALL
EM	EMERGENCY CIRCUIT	SC	SEPARATE CIRCUIT
EP	ELECTRICAL SUITE PANEL	SF	SYSTEM FURNITURE
ER	EXISTING TO BE REMOVED	SP	SUITE ALARM PANEL
F	REFRIGERATOR	SSP	SLAVE SUITE ALARM PANEL
FF	FLOOR FEED	TYP	TYPICAL
FFH	FORCE FLOW HEATER	UC	UNDER CABINET MOUNTED
FL	FLOOR MOUNTED	U	UPS CIRCUIT
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	UH	UNIT HEATER
GFI	GROUND FAULT INTERRUPTER	UPS	UNINTERRUPTIBLE POWER SUPPLY
GND	GROUND	V	VOLTS
HK	HOUSE KEEPING	W	WATTS
HMT	HARMONIC MITIGATING TRANSFORMER	WG	WIRE GUARD
ICE	ICE MACHINE	WAP	WIRELESS ACCESS POINT
IG	ISOLATED GROUND	WF	WALL FEED
JB	JUNCTION BOX	WP	WEATHERPROOF
KW	KILOWATTS	Х	EXPLOSION PROOF DEVICE + BACK BOX
LV	LOW VOLTAGE	ZSCT	ZERO SEQUENCE CURRENT TRANSFORMER

SOCA STUDIO CONTEMPORARY ARCHITECTURE LAPTISTE ARCHITECTURE INC.

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THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ELECTRICAL SPECIFICATION SUBMITTED FOR THIS PROJECT.





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Lower Hillside Washroom Building Improvements

City of Toronto 1873 BLOOR ST W TORONTO, ON M6R 2Z3

Issue / Revision

No. Date Description ISSUED FOR 50% REVIEW 01 2023-11-03 ISSUED FOR PERMIT/TENDER 02 2024-02-08

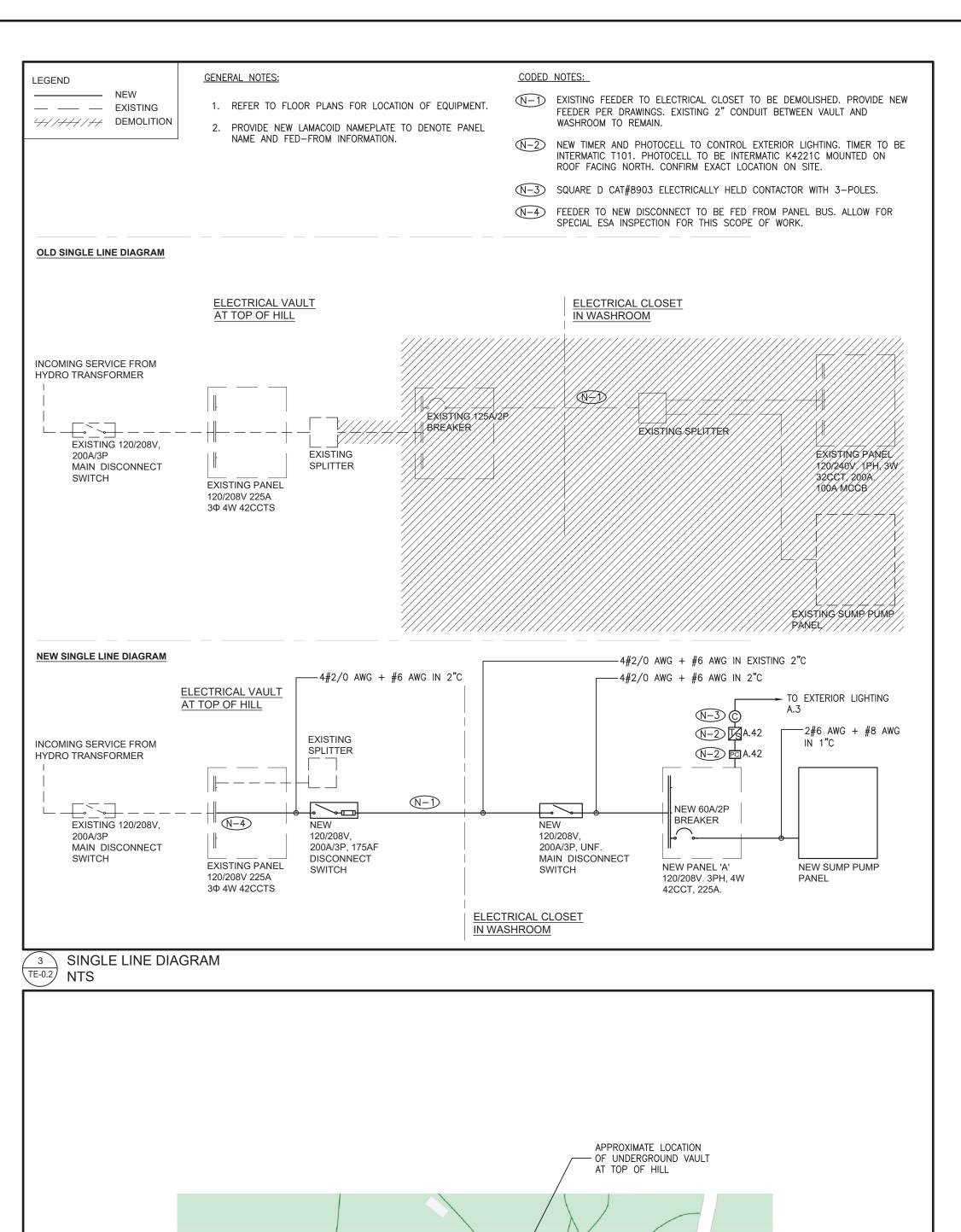
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Project: 23210.001.ME Drawn: J.B. Checked: W.Y.C./N.C. Scale: N.T.S. Date: 2023.04

Sheet Title: DRAWING LIST AND LEGENDS

Drawing #:

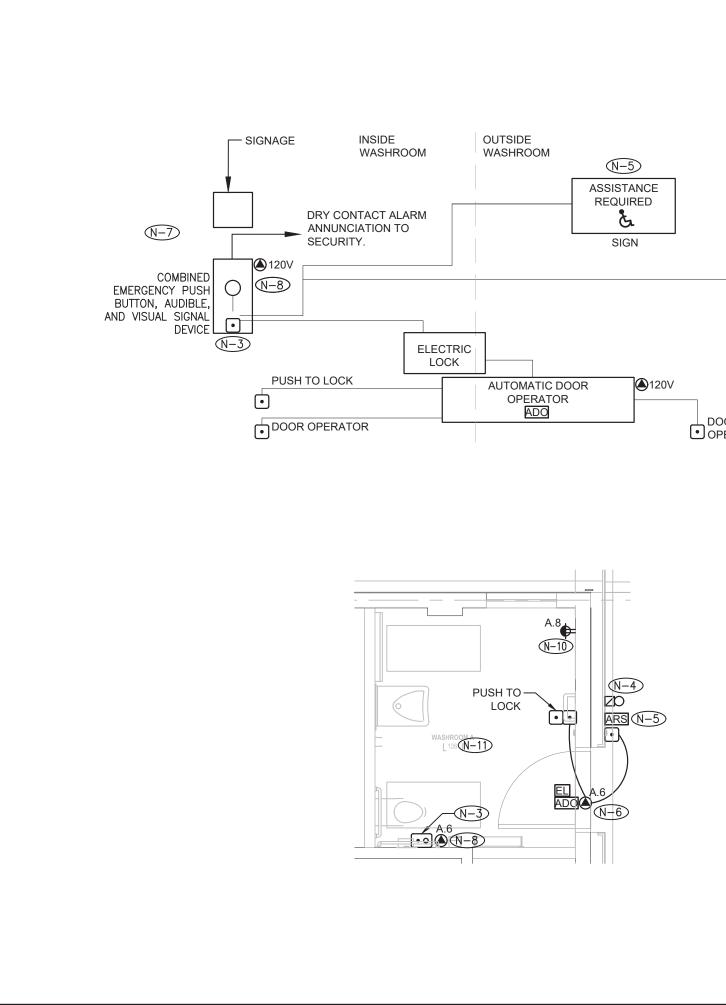
TE-0.1



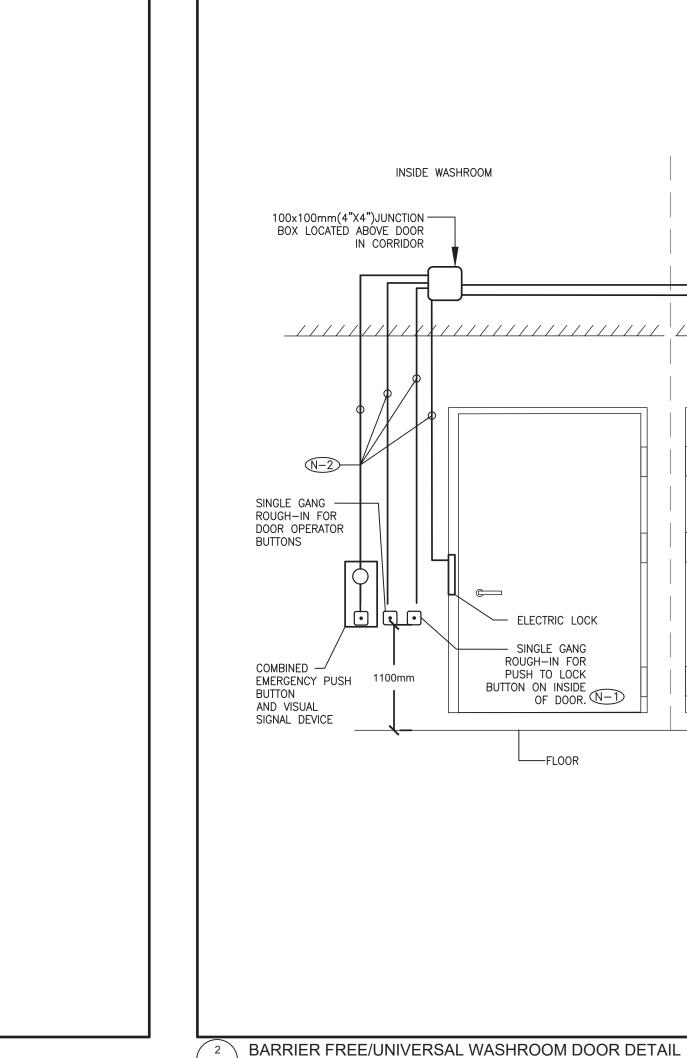
LOCATION OF EXISTING

4 PARTIAL KEYPLAN

TE-0.2 NTS



<u>NOTES</u> MINIMUM SIZE CONDUITS SHALL BE 21mmC (3/4") UNLESS OTHERWISE NOTED. N-2 ALL PUSH BUTTONS ARE TO BE MOUNTED AT 1050mm ABOVE FINISHED FLOOR AND ARE TO BE OPERABLE USING A CLOSED FIST. N-3 ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL COMBINATION EMERGENCY PUSH BUTTON AND VISUAL SIGNAL DEVICE INSIDE OF WASHROOM. INTEGRAL VISUAL DEVICE TO ACTUATE WHEN EMERGENCY BUTTON IS PRESSED. EMERGENCY BUTTON TO BE MUSHROOM STYLE AND LATCHING TYPE, SUCH THAT VISUAL INDICATION WILL REMAIN ACTIVATED ONCE PRESSED. MUSHROOM STYLE BUTTON TO BE TWIST-TO-RELEASE TYPE TO ALLOW EASE OF TURNING OFF VISUAL \mathbb{Q} \mathbb{N} INDICATION AFTER WASHROOM OCCUPANT HAS BEEN ASSISTED. PUSH BUTTON TO ALSO ILLUMINATE SPECIAL WORDING SIGNAGE AND ACTIVATE PIEZO CHIME, BUILT AND LOCATED OUTSIDE OF THE WASHROOM. PUSH BUTTON & VISUAL ALARM COMPONENTS TO BE MOUNTED ON PIEZO STAINLESS STEEL FACEPLATE. MOUNT COMBINATION DEVICE SUCH THAT THE CENTRE OF THE PUSHBUTTON IS LOCATED AT 1050mm ABOVE FINISHED FLOOR. INTEGRAL VISUAL DEVICE TO BE LIT BY AN LED SOURCE. COMBINATION DEVICE TO BE 24 VOLT DC STYLE FOR EASY INTEGRATION WITH WASHROOM DOOR ELECTRIC STRIKE. WASHROOM DOOR ELECTRIC STRIKE TO BE RELEASED WHEN EMERGENCY BUTTON IS PRESSED TO ALLOW MANUAL ACCESS TO WASHROOM TO PROVIDE ASSISTANCE. DOOR OPERATOR IS <u>NOT</u> TO OPEN DOOR WHEN EMERGENCY BUTTON IS PRESSED. SUBMIT SHOP DRAWINGS FOR ARCHITECT AND CONSULTANT REVIEW PRIOR TO MANUFACTURING/RELEASE. (N-4) ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL PIEZO CHIME OUTSIDE OUTSIDE OF THE WASHROOM. WHEN THE EMERGENCY BUTTON IS PRESSED, THE PIEZO CHIME IS TO SOUND. OPERATOR CHIME OUTSIDE OF WASHROOM TO HAVE SOUND PRESSURE LEVEL OF 82 DBA AT 3 METERS. CHIME TO BE 24 VOLT DC TYPE. SUBMIT SHOP DRAWINGS OF PIEZO CHIME FOR ARCHITECT AND CONSULTANT REVIEW PRIOR TO MANUFACTURING/RELEASE. (N-5) ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL 'ASSISTANCE REQUIRED' COMPLETE WITH WHEELCHAIR GRAPHIC SPECIAL WORDING SIGNAGE OUTSIDE OF THE WASHROOM. WHEN THE EMERGENCY BUTTON IS PRESSED, THE SIGN IS TO ILLUMINATE. SIGN TO BE 24 VOLT DC TYPE. SUBMIT SHOP DRAWINGS FOR ARCHITECT AND ELECTRICAL CONSULTANT REVIEW PRIOR TO MANUFACTURING/RELEASE. ILLUMINATED SIGN TO BE EMERGI-LITE OR APPROVED EQUAL. (N-6) ELECTRICAL CONTRACTOR TO PROVIDE ALL CONDUIT, WIRING, POWER SUPPLIES, AND CONNECTIONS DETAILED ABOVE FOR ALL UNIVERSAL WASHROOMS. ALL WIRING TO BE INSTALLED IN CONDUIT. (N-7) ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL A LAMACOID SIGN ABOVE THE EMERGENCY BUTTON THAT READS "IN THE EVENT OF AN EMERGENCY PUSH EMERGENCY BUTTON AND AUDIBLE AND VISUAL SIGNAL WILL ACTIVATE". LETTERS ON LAMACOID MUST BE AT LEAST 25mm HIGH WITH A 5mm STROKE. SUBMIT SHOP DRAWING FOR ARCHITECT AND CONSULTANT REVIEW PRIOR TO MANUFACTURING AND RELEASE. (N-8) ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL 24 VOLT DC POWER SUPPLY IN A SEPARATE JUNCTION BOX WITH SUFFICIENT CAPACITY TO POWER ALL EMERGENCY CALL SYSTEM COMPONENTS INCLUDING ALL AUDIBLE AND VISUAL INDICATORS AS WELL AS DOOR ELECTRIC STRIKE RELEASE. ADDITIONALLY, POWER SUPPLY TO HAVE 50% SPARE CAPACITY FOR FUTURE USE. POWER SUPPLY INPUT TO BE 120V. N-9 NOT USED. N=10 NEW 20A, GFI RECEPTACLE FOR ADULT CHANGE TABLE, PROVIDE CIRCUIT FROM NEAREST AVAILABLE BASE-BUILDING PANEL. (N-11) REFER TO ARCHITECTURAL DRAWINGS FOR EXACT DEVICE LOCATIONS.



SOCA STUDIO CONTEMPORARY ARCHITECTURE LAPTISTE ARCHITECTURE INC.

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> PROJECT CONTACT NAME: WUN YAN CHOW TEL: 416 487 8151 x1617 EMAIL: wunyan.chow@smithandandersen.com THIS DRAWING SHALL BE READ IN CONJUNCTION



WITH ELECTRICAL SPECIFICATION SUBMITTED FOR



THIS PROJECT.

Smith + Andersen 1100 - 100 Sheppard Ave. East, Toronto On, M2N 6N5 416 487 8151 f 416 487 9104 smithandandersen.com

Lower Hillside Washroom Building Improvements City of Toronto

1873 BLOOR ST W TORONTO, ON M6R 2Z3

Issue / Revision No. Date Description 2023-11-03 ISSUED FOR 50% REVIEW ISSUED FOR PERMIT/TENDER 2024-02-08

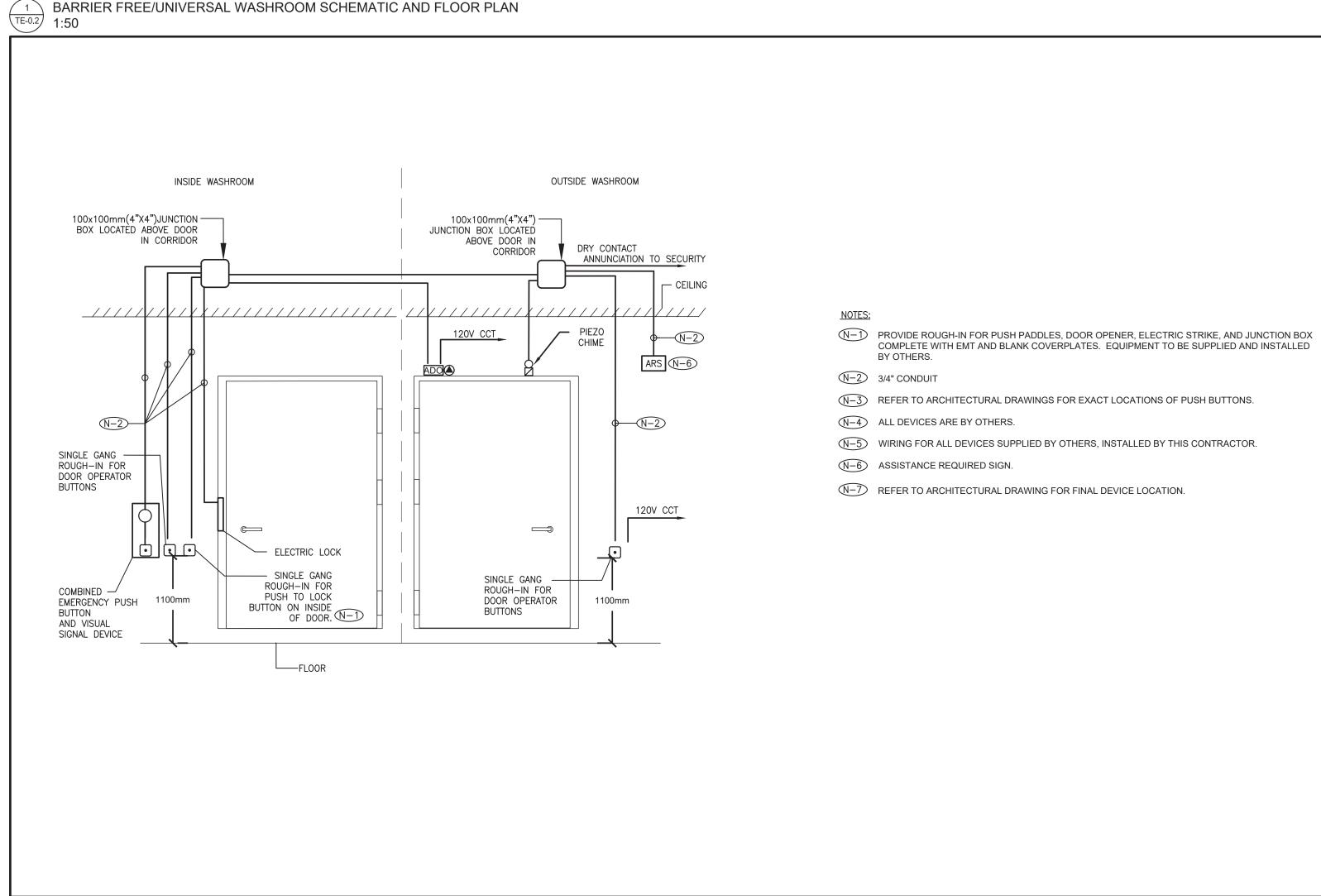
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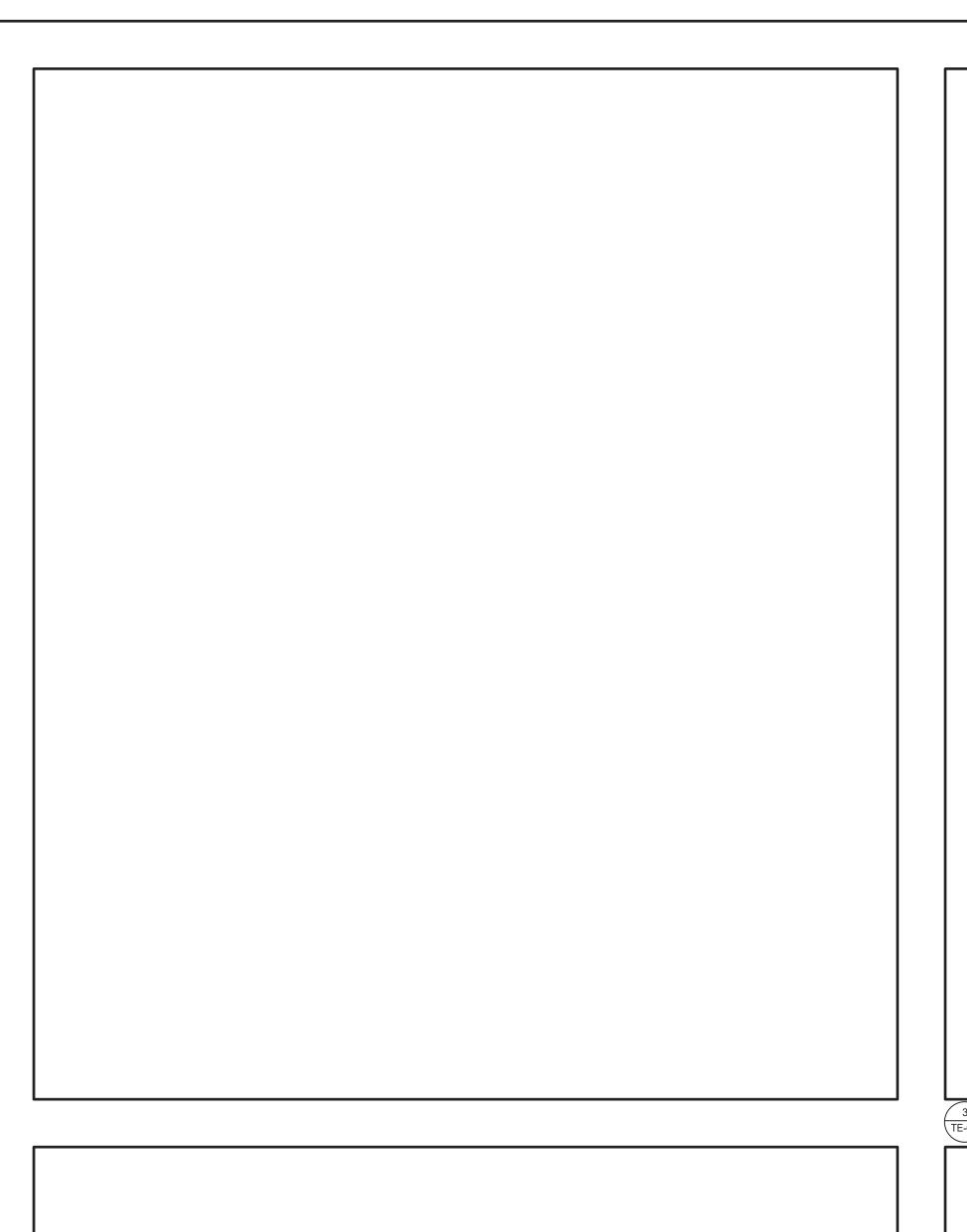
Project: 23210.001.ME Drawn: J.B. Checked: W.Y.C./N.C. Scale: AS SHOWN Date: 2023.04 Sheet Title:

ELECTRICAL DETAILS

Drawing #:

TE-0.2





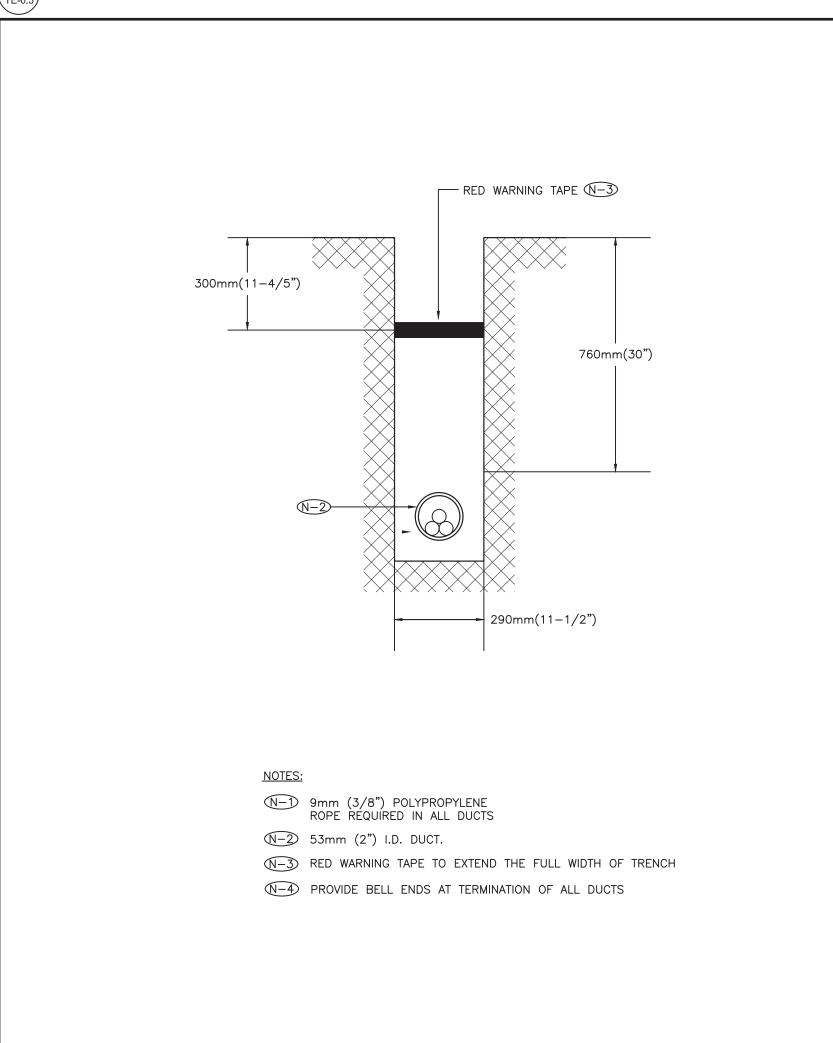
	LIGHTING CONTROL SCHEDULE						
TYPE	DESCRIPTION	MANUFACTURER/CATALOGUE NO.					
©S)	DUAL TECH OCCUPANCY SENSOR.	WATTSTOPPER/LEGRAND CAT#: DT-355 C/W VANDAL RESISTANT WIRE GUARD					

	EMERGENCY LIGHTING SCHEDULE									
TYPE	DESCRIPTION	MANUFACTURER/CATALOGUE NO.								
B B B B B B B B B B	EMERGENCY BATTERY UNIT	LUMACELL CAT#: RG12S-200								
R1	VANDAL RESISTANT EMERGENCY REMOTE HEAD	LUMACELL CAT#: MQMP2NX-LD10-X-SM								

LUMINAIRE SCHEDULE									
TYPE	LAMP	VOLTAGE	DESCRIPTION	MANUFACTURER/CATALOGUE NO.					
	TYPE		Bestill Holl						
A	LED	120V	EXTERIOR VANDAL RESISTANT DOWNLIGHT	BEGA					
ф ^A			Bouncion	24 136					
·									
	LED	120V	INTERIOR VANDAL RESISTANT DOWNLIGHT	BEGA					
- ф ^В			DOWNLIGHT	24 330					
·									

N-1) THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT FOR ALL MOUNTING HEIGHTS, COLOR TEMPERATURES, AND FINISHED COLOURS PRIOR TO PROCUREMENT.





PANEL: RP-A PROJECT NAME: HIGH PARK HILLSIDE WASHROOM RENO PROJECT #: 23210.001.E.001			LOCATION: SERVICE ROOM A FED FROM: ELECTRICAL VAULT							Smith + Andersen					
PROJE	C1#: 23210.001.E001			FED FROIVI.	ELEC	TRICA	LVA	VOLI							
TYPE/	DESCRIPTION	D.F	CONN.	DEMAND	BKR	ССТ	Φ	ССТ	BKR	DEMAND	CONN.	D.F	DESCRIPTION	TYPE	
INFO		[%]	LOAD [W]	LOAD [W]	[A]	NO.		NO.	[A]	LOAD [W]	LOAD [W]	[%]		INFO	
	LIGHTING/BU	100	480	480	15	1	Α	2	15	100	200	50	STORAGE GFI		
	EXTERIOR LIGHTS	100	560	560	15	3	В	4	20	50	100	50	SERVICE ROOM OUTLET		
GFCI	HEAT TRACE	100	900	900	15	5	С	6	15	150	300	50	AUTOMATIC DOOR OPENER/EM CALL SYS		
GFCI	HEAT TRACE	100	500	500	15	7	Α	8	20	50	500	10	WASHROOM ADULT CHANGE TABLE		
	SPACE					9	В	10	15				SPARE		
	SPACE					11	С	12	20	750	1500	50	FFH		
	SPACE					13	Α	14	2P	750	1500	50	1		
	SPACE					15	В	16	20	750	1500	50	FFH		
	SPACE					17	С	18	2P	750	1500	50	1		
	SPACE					19	Α	20	20	750	1500	50	DHWH-1		
	SPARE				15	21	В	22	2P	750	1500	50			
	SPARE				15	23	С	24	15	150	300	50	AUTOFAUCET/FLUSH		
	SPARE				15	25	Α	26	15	100	200	50	AUTOFAUCET/FLUSH		
	SPARE				15	27	В	28	15	500	1000	50	EPHC-1		
	SPARE				15	29	С	30	2P	500	1000	50			
	RADIANT PANEL (105)	50	750	375	20	31	Α	32	40	1500	3000	50	-		
	RADIANT PANEL (103, 104)	50	1500	750	20	33	В	34	2P	1500	3000	50			
	RADIANT PANEL (101, 102)	50	1500	750	20	35	С	36	15	275	550	50	ERV-1		
	RADIANT PANEL (106)	50	1500	750	20	37	Α	38	2P	275	550	50			
	SUMP PUMP	50	4056	2028	60	39	В	40	15	100	100	100	BAS		
		50	4056	2028	2P	41	С	42	15	100	100	100	CONTACTOR/TIMER		
		•		•			,		•		•	•		•	
PANEL	LOAD A [KW]: 5.6						PHA	SE VOLTA GE [V]:	120						
2	:CSA ENCLOSURE RATING	ПП	FLUSH		LOAD B [KW]: LOAD C [KW]:			7			LINE	INE VOLTAGE [V]:			
П	FEED THROUGH	X	SURFACE									PHASE:		3Ф	
Ħ	SUB-FEED	X	BOLT-ON E	BREAKER				19		l _w		WRE:			
Ħ	MAIN BREAKER		SPD	l							I _M A		NS [A]:	225	
П	200% RATED NEUTRAL BUS				CUR	RENT A	A [A]	:	47			MAIN	N BREAKER [A]:		
=		- = 			1							ı			

CURRENT B [A]: 58

CURRENT C [A]: 53

BAS-Building Automation System R.C-Relay Controlled LTS-Lighting
HID-High Intensity 1. Surge Protection Device (SPD) to be in a separate barriered SFCI-Ground Fault Circuit Interrupter enclosure with separate cover. Discharge Lighting Breaker FCI-Arc Fault Circuit Interrupter D.F-Demand Factor SPD - Surge Protection Device REC-Receptacle D.C-Direct Connection BLO-Breaker Lock-On Device

BATTERY UNIT LOAD SCHEDULE

YEANEL A SCHEDULE

PROJECT NAME: LOWER HILLSIDE WASHROOM BUILDING IMPROVEMENTS

PROJECT #: 23210.001.E.001

ISOLATED GROUND BUS

PROJECT #: 23210.	001.E.001	Suite 1100 - 100 Toronto, ON M2N							
									LENGTH OF
UNIT	LOCATION				TOTAL		TOTAL	MAXIMUM	RUNTIME
DESIGNATION	OF BATTERY UNIT	TYPE	QUANTITIES	WATTAGE	LOAD	VOLTAGE	CAPACITY	CAPACITY (W)	REQUIRED (hr)
BU-1	SERVICE	R1	10	12 W	120 W	12 V	120 W	200 W	0.5
BO-1	ROOM A 108						12U VV	200 VV	0.5

Smith + Andersen

1. Provide all mounting shelves for installation of battery units. Size to suit.

2. Provide breaker lock-on devices for all circuit(s) feeding battery units.

3. The electrical contractor is to measure the illumination of the floor at night with emergency lighting on only, and send a drawing showing the maximum and minimum level of illumination, to the consulting engineer, for review. **Provide written confirmation that** emergency lighting has been installed in accordance with contract documents and latest edition of the Ontario Building Code sections [3.2.7.3 and 3.2.7.4]. Letter to be included as part of close-out document submittal package.

4. Refer to drawings for exact Quantities and locations.

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PROJECT CONTACT

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THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ELECTRICAL SPECIFICATION SUBMITTED FOR THIS PROJECT.





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Lower Hillside Washroom Building Improvements City of Toronto

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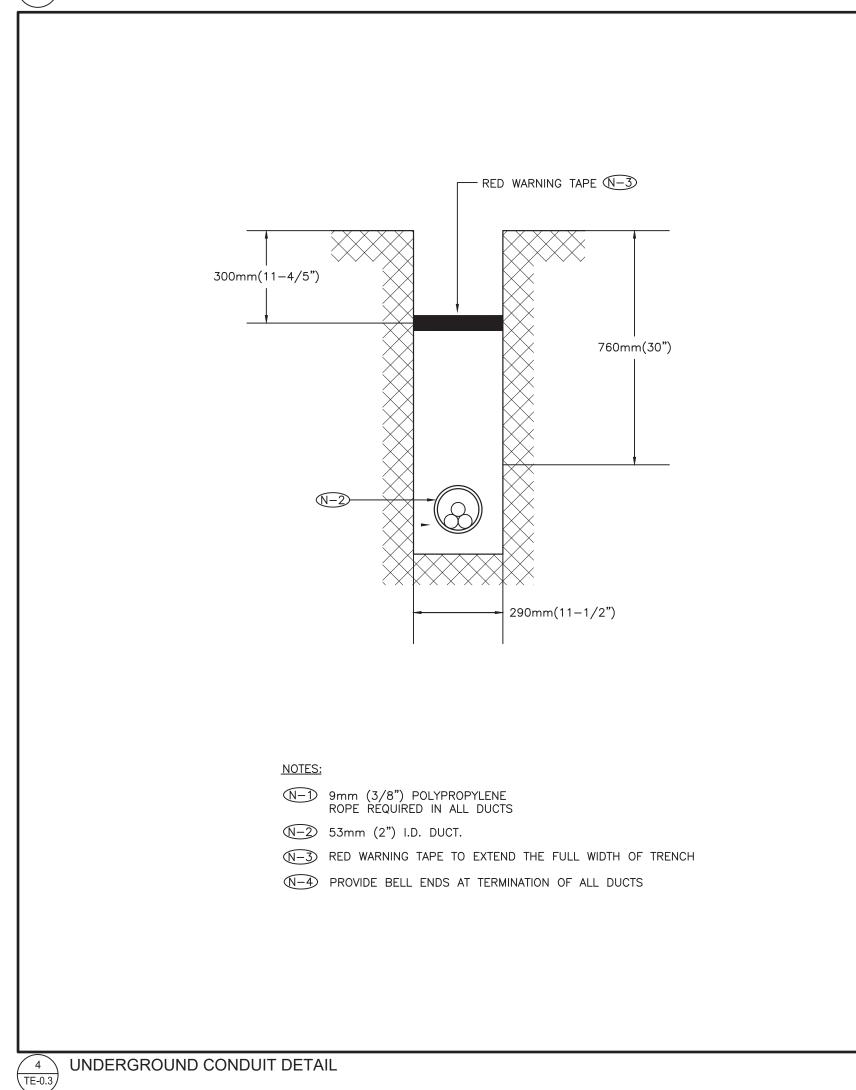
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ELECTRICAL DETAILS

Drawing #:

TE-0.3



BATTERY UNIT LOAD SCHEDULE

LOMES IN THE MEAN TO DESCRIPTION OF THE PROPERTY OF THE PROPER

GENERAL NOTES:

- 1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH INTERIOR DESIGNER'S/ARCHITECT'S DRAWINGS FOR DIMENSIONS, HEIGHTS, CONSTRUCTION DETAILING, FINISHES AND COLOURS.
- 2. CIRCUITING IN PART IS DIAGRAMMATIC INTENDED TO SHOW GENERAL CIRCUIT ARRANGEMENT AND PANEL DESIGNATION.
- 3. PROVIDE EMT CONDUIT IN AREAS WITH EXPOSED CEILINGS .BX CABLING IS NOT ACCEPTABLE UNLESS OTHERWISE NOTED. BX CABLES MAY BE USED FOR FINAL CONNECTIONS TO LIGHTING FIXTURES OR EQUIPMENT WITH A MAXIMUM HORIZONTAL RUN LENGTH OF 3 FEET / 1 METER. PAINT CONDUITS TO MATCH ARCHITECTURAL BACKGROUNDS. MOUNT EXIT SIGNS, OCCUPANCY SENSORS, EXIT SIGNS, CAMERAS, WAPS AND ALL OTHER CEILING MOUNTED DEVICES WITH STEMS SUCH THAT THEY ARE ON THE SAME PLANE AS SUSPENDED LIGHTING FIXTURES. COORDINATE CEILINGS AND WALL HEIGHTS WITH INTERIOR DESIGNER DRAWINGS.
- 4. ALL NEWLUMINAIRES SHALL BE CHAIN HUNG AND SUPPORTED FROM THE SLAB ABOVE. PROVIDE LETTER
- 5. MEASURE THE ILLUMINATION OF THE FLOOR AT NIGHT WITH EMERGENCY LIGHTING ON ONLY, AND SEND A DRAWING SHOWING THE MAXIMUM AND MINIMUM LEVEL OF ILLUMINATION, TO THE CONSULTING ENGINEER, FOR REVIEW. PROVIDE WRITTEN CONFIRMATION THAT EMERGENCY LIGHTING HAS BEEN INSTALLED IN ACCORDANCE WITH CONTRACT DOCUMENTS AND LATEST EDITION OF THE ONTARIO BUILDING CODE SECTIONS 3.2.7.3 AND 3.2.7.4. LETTER TO BE INCLUDED AS PART OF CLOSE—OUT DOCUMENT SUBMITTAL PACKAGE.
- 6. ENSURE THAT ALL LIGHTING FIXTURES ARE CLEAN AND ILLUMINATED BY END OF PROJECT.
- COORDINATE INSTALLATION OF FIXTURES WITH MECHANICAL EQUIPMENT, ELECTRICAL EQUIPMENT, SPRINKLERS AND DUCT WORK WITH OTHER TRADES PRIOR TO WORK COMMENCING.
- 8. ALL CEILING MOUNTED OCCUPANCY SENSORS PROVIDED AS PART OF THIS SCOPE OF WORK MUST BE LOCATED AT LEAST 6'0" AWAY FROM ANY SUPPLY AIR DIFFUSER AND RETURN AIR GRILLE AS PER MANUFACTURER'S RECOMMENDATION. COORDINATE INSTALLATION ON SITE WITH MECHANICAL CONTRACTOR PRIOR TO COMMENCING WORK.

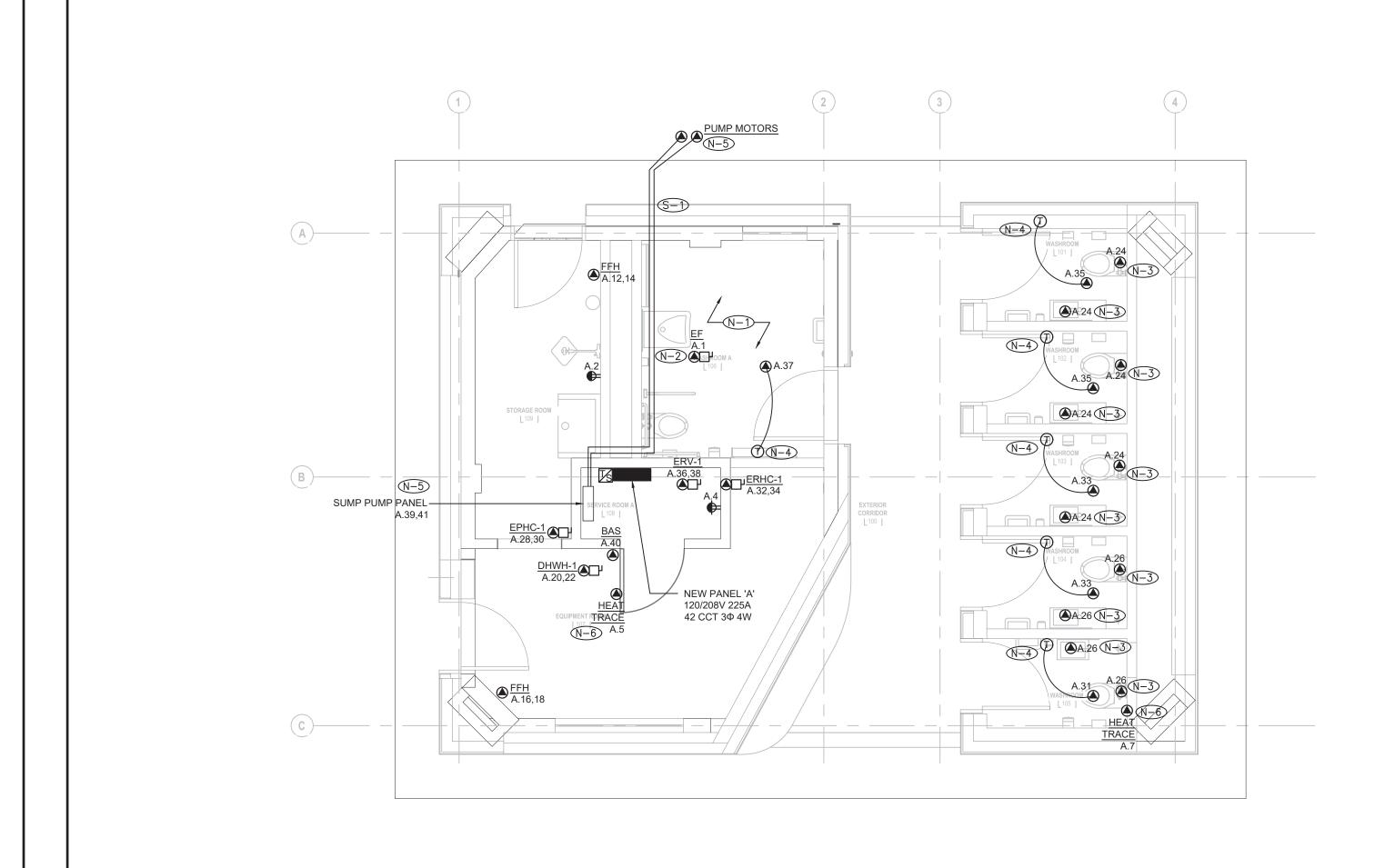
DRAWING NOTES:

N-1) EXTERIOR LIGHTS TO BE CONTROLLED BY PHOTOCELL/TIMER. REFER TO DETAIL 3/TE-0.2.

1 LIGHTING LAYOUT 1:50

2 POWER AND SYSTEMS LAYOUT

TE-1.1 1:50



SEPARATE PRICE:

PROVIDE SEPARATE PRICE TO DEMOLISH EXISTING CONDUIT FROM SUMP PUMP CONTROLLER TO SUMP PIT AND TO PROVIDE NEW 2" UNDERGROUND PVC CONDUIT.

GENERAL NOTES:

- 1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH INTERIOR DESIGNER'S/ARCHITECT'S DRAWINGS FOR DIMENSIONS, HEIGHTS, CONSTRUCTION DETAILING, FINISHES AND COLOURS.
- 2. CIRCUITING IN PART IS DIAGRAMMATIC INTENDED TO SHOW GENERAL CIRCUIT ARRANGEMENT
- AND PANEL DESIGNATION.
- 3. PROVIDE EMT CONDUIT IN AREAS WITH EXPOSED CEILINGS. BX CABLING IS NOT ACCEPTABLE UNLESS OTHERWISE NOTED. BX CABLES MAY BE USED FOR FINAL CONNECTIONS TO LIGHTING FIXTURES OR EQUIPMENT WITH A MAXIMUM HORIZONTAL RUN LENGTH OF 3 FEET / 1 METER. PAINT CONDUITS TO MATCH ARCHITECTURAL BACKGROUNDS. MOUNT EXIT SIGNS, OCCUPANCY SENSORS, EXIT SIGNS, CAMERAS, WAPS AND ALL OTHER CEILING MOUNTED DEVICES WITH STEMS SUCH THAT THEY ARE ON THE SAME PLANE AS SUSPENDED LIGHTING FIXTURES. COORDINATE CEILINGS AND WALL HEIGHTS WITH INTERIOR DESIGNER DRAWINGS.
- 4. VERIFY EXACT POWER REQUIREMENTS AND RECEPTACLE TYPES FOR SPECIAL EQUIPMENT WITH MANUFACTURER PRIOR TO INSTALLATION. PROVIDE HARDWIRE CONNECTIONS FOR DISHWASHERS AND COPIERS ETC. IN LIEU OF RECEPTACLES OR VICE VERSA, AS REQUIRED.
- REFER TO INTERIOR DESIGN/ARCHITECT DRAWINGS FOR THE COLOUR OF COVERPLATES AND MOUNTING HEIGHTS.
 PROVIDE SUITABLE LABELS ON ALL RECEPTACLES. LABELS TO INCLUDE BOTH PANEL AND
- CIRCUIT DESIGNATION. REVIEW LABEL SIZE AND TYPE WITH CONSULTANT PRIOR TO INSTALLATION.
- 7. CONFIRM ELECTRICAL REQUIREMENTS AND EXACT LOCATION OF ALL MECHANICAL EQUIPMENT WITH MECHANICAL DRAWINGS AND CONTRACTOR PRIOR TO ROUGH—INS.
- 8. ROUTE ALL CONDUIT SYSTEMS AROUND DUCT WORK, BEAMS AND PIPING AS REQUIRED TO ACCOMMODATE LAYOUT SHOWN. REFER TO MECHANICAL DRAWINGS AND ARCHITECTURAL DRAWINGS FOR ADDITIONAL DETAILS.
- REFER TO THE INTERIOR DESIGNER'S/ARCHITECT'S DRAWINGS TO DETERMINE COMPLETE EXTENT OF DEMOLITION AND ALLOW FOR ALL COSTS. COMPLETE EXTENT OF DEMOLITION IS NOT SHOWN.
- 10. AS PART OF THE DEMOLITION CONTRACT, THE ELECTRICAL CONTRACTOR SHALL REMOVE ALL FLOOR, COLUMN, CEILING, AND WALL MOUNTED POWER, TELEPHONE/DATA OUTLETS, CABLING AND CONDUIT NOT REQUIRED, TO SUIT NEW LAYOUT AND MAKE SAFE. VISIT THE SITE TO DETERMINE THE EXACT REQUIREMENTS AND REFER TO THE DEMOLITION DRAWINGS.

DRAWING NOTES:

- N-1) REFER TO DETAIL 1/TE-0.2 FOR UNIVERSAL WASHROOM SCHEMATIC AND FLOOR PLAN.
- N-2 EXHAUST FAN TO BE CONTROLLED BY OCCUPANCY SENSOR.
- N=3 POWER CONNECTION FOR AUTO FAUCET/FLUSH. COORDINATE WITH MECHANICAL FOR EXACT REQUIREMENTS AND LOCATION ON SITE.
- N-4 PROVIDE POWER TO RADIANT CEILING PANEL. PANEL TO BE CONTROLLED BY LINE-VOLTAGE THERMOSTAT. THERMOSTAT SUPPLIED MY MECHANICAL, INSTALLED BY ELECTRICAL. COORDINATE LOCATION WITH MECHANICAL ON SITE.
- N-5) POWER TO SUMP PUMP MOTORS FED VIA PUMP CONTROL CONTROL PANEL. FEED POWER TO PUMPS VIA EXISTING CONDUIT. CONFIRM EXACT LOCATION AND ROUTING ON SITE.
- N-6 POWER FOR HEAT TRACING. COORDINATE LOCATION WITH MECHANICAL.

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Lower Hillside Washroom Building Improvements

City of Toronto 1873 BLOOR ST W TORONTO, ON M6R 2Z3

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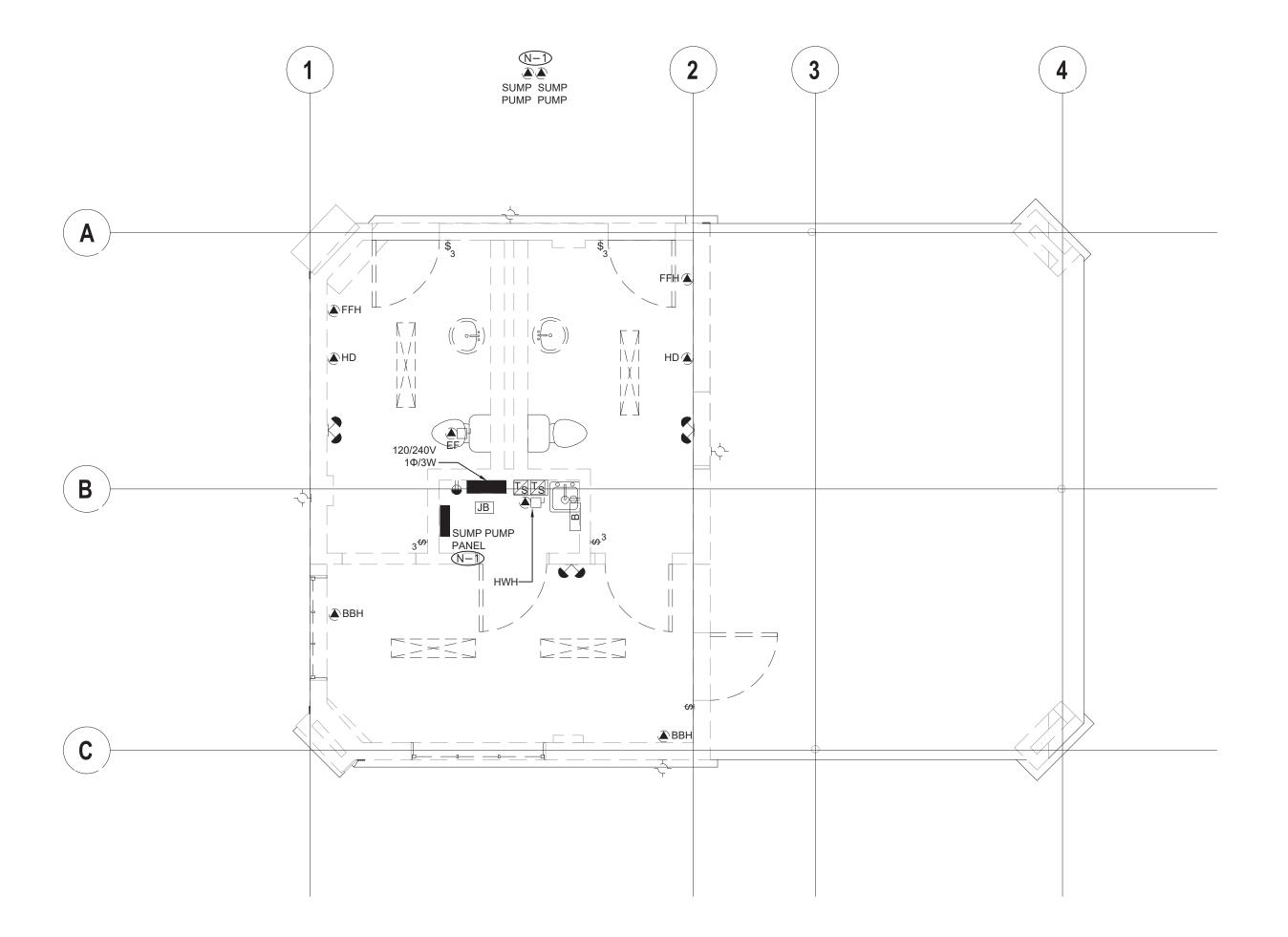
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Sheet Title:

GROUND FLOOR ELECTRICAL LAYOUT

Drawing #:

TE-1.1



GENERAL NOTES:

- REFER TO THE ARCHITECT'S DRAWINGS TO DETERMINE COMPLETE EXTENT OF DEMOLITION AND ALLOW FOR ALL COSTS. COMPLETE EXTENT OF DEMOLITION IS NOT SHOWN.
- 2. REMOVE ALL FLOOR, COLUMN, CEILING, AND WALL MOUNTED POWER, TELEPHONE/DATA OUTLETS, CABLING AND CONDUIT NOT REQUIRED, TO SUIT NEW LAYOUT AND MAKE SAFE. VISIT SITE TO DETERMINE EXACT REQUIREMENTS AND REFER TO DEMOLITION DRAWINGS.
- 3. MAKE GOOD ALL CORE HOLES FROM ELECTRICAL EQUIPMENT AND DEVICES DISCONNECTED, RELOCATED AND OR REMOVED IN THIS PROJECT.
- 4. REMOVE FLOOR MONUMENT(S) AND ALL ASSOCIATED CONDUIT(S) AND WIRE BACK TO SOURCE. MAKE GOOD ALL FLOOR PENETRATIONS TO COMPLY WITH CURRENT LOCAL APPLICABLE CODES.
- 5. ENSURE THAT ALL EXISTING ELECTRICAL DEVICES, EQUIPMENT AND LIGHTING WITHIN BASE BUILDING ROOMS, STAIRWELLS AND AREAS DEEMED NOT IN SCOPE, REMAIN LIVE OPERATIONAL, ISOLATED AND PROTECTED DURING CONSTRUCTION.
- NO ADDITIONAL COST WILL BE APPROVED FOR ANY REVISIONS/MODIFICATIONS REQUIRED BY ANY TRADE OR CONTRACTOR DUE TO THE LACK OF COORDINATION BETWEEN TRADES AND CONTRACTORS.
- 7. COORDINATE WITH GENERAL CONTRACTOR AND LANDLORD FOR DISPOSAL OF ALL MATERIALS FROM SITE.

DRAWING NOTES:

N-1 EXISTING FEEDERS FOR SUMP PUMP EQUIPMENT TO BE REMOVED BACK TO SOURCE AND

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Scale: 1:50

Date: 2023.04

Sheet Title:

GROUND FLOOR ELECTRICAL

DEMOLITION LAYOUT

Drawing #:

TE-1.2