

MONTGOMERY SISAM ARCHITECTS INC.
ARCHITECTURAL

21501.F03
*ISSUED FOR
REVIEW*

EMERGENCY POWER UPGRADE

BENDALE ACRES
LONG-TERM CARE HOMES AND SERVICES
2920 Lawrence Ave E, Scarborough



Long-Term Care Homes and Services Division

DEMOLITION AND INSTALLATION NOTES FOR ALL DRAWINGS

- D1** TEMPORARILY REMOVE ALL FURNITURE AND EQUIPMENT IN CEILING REPLACEMENT AREAS. STORAGE LOCATION TO BE COORDINATED WITH BUILDING MAINTENANCE DEPARTMENT.
- D2** DEMOLISH ALL EXISTING CEILING FINISHES AS INDICATED ON DRAWINGS. REPAIR ANY DAMAGED CEILING SUPPORTS FOR NEW CEILING FINISH IF REQUIRED.
- D3** CUT AND PREPARE CEILING FOR NEW CONDUIT AS REQUIRED.
- D4** ALL REMOVED AND DEMOLISHED MATERIAL TO BE REMOVED FROM THE SITE. LOCATION OF REMOVAL RECEPTACLE TO BE COORDINATED WITH BUILDING MAINTENANCE DEPARTMENT.
- D5** ALL CEILING FIXTURES AND DEVICES INTERFERING WITH INSTALLATION OF NEW CONDUIT TO BE TEMPORARILY REMOVED AND RE-INSTALLED AFTER COMPLETION OF THAT SECTION OF WORK. CONTRACTOR TO COORDINATE WITH OWNER.
- D6** EXISTING SLOPED STEEL PLATE / PAN TO BE DEMOLISHED; UNLESS NOTED OTHERWISE ON PLAN.
- D7** EXISTING MILLWORK TO REMAIN. DEMOLITION AND NEW FLOOR REPLACEMENT AREA OF WORK TO BE COMPLETED UP TO BASE OF EXISTING MILLWORK. PROTECT MILLWORK AND MAKE GOOD OF ANY DAMAGES. REFER TO SCHEDULE FOR ALTERNATIVE MILL WORK BASE.
- 1** CRACKS, HOLES OR LEVELING TO BE PATCHED/REPAIRED IN WALLS, AS REQUIRED.
- 2** TOUCH UP PAINT TO MATCH EXISTING COLOURS WHERE REQUIRED THROUGHOUT DUE TO DEMOLITION WORK.
- 3** IN CASE OF NEW PENETRATION IN WALLS/CEILING MAKE GOOD AND REPAIR AS REQUIRED.
- 4** PROTECT/HOARD ALL AREAS OF WORK AS REQUIRED DURING RENOVATION WORK. PROVIDE DUST TIGHT FLOOR TO CEILING HOARDING ASSEMBLY TO FULLY SEPARATE ALL AREAS OF WORK FROM OCCUPIED AREAS OF THE HOME TO THE SATISFACTION OF THE BUILDING SERVICES MANAGER AND THE MINISTRY OF HEALTH OPERATIONAL PLAN FOR THE WORK.
- 5** PROTECT FINISHED INSTALLATION AFTER INSTALLATION IS COMPLETE.
- 6** BUILDING EXPANSION JOINTS TO BE MAINTAINED DURING DEMOLITION AND INSTALLATION. ANY VOIDS IN STRUCTURAL CONCRETE ADJACENT TO EXPANSION JOINTS TO BE MADE GOOD CREATING A LEVEL SURFACE ON EITHER SIDE OF JOINT.
- 7** ALL JOINTS BETWEEN EXISTING SHEET FLOORING AND NEW SHEET FLOORING TO BE WELDED CREATING A SEAMLESS TRANSITION.
- 8** NEW FLOORING TO BE DRESSED AROUND AND SEALED AGAINST EXISTING FLOOR DRAINS, POP UPS AND PROTRUDING PIPE WORK.
- 9** MAKE GOOD ALL WALL DAMAGED BY THE REMOVAL OF EXISTING CEILING. NEW WALL TO MATCH EXISTING ABOVE. TAPE ALL JOINTS NO FINISH REQUIRED BELOW LINE OF NEW WALL BASE.
- 10** RE-INSTALL EXISTING FURNITURE AND EQUIPMENT AS PER ORIGINAL LAYOUT.

ABBREVIATION SCHEDULE

ACT	ACOUSTIC CEILING TILE	GL	GLASS	RB	RESILIENT BASE
AFF	ABOVE FINISHED FLOOR	GWG	GEORGIAN WIRED GLASS	RCP	REFLECTED CEILING PLAN
ADJ	ADJUSTABLE	GWB	GYPSON WALL BOARD	R.O.	ROUGH OPENING
CG	CORNER GUARD	HC	HOLLOW CORE	RSF	RESILIENT SHEET FLOORING
CH	COAT HOOK	HB	HOSE BIB	SD	SOAP DISPENSER
CJ	CONTROL JOINT	HD	HAND DRYER	SF	SAFETY FLOORING
CMU	CONCRETE MASONRY UNIT	HM	HOLLOW METAL	SH	SHOWER
CONC	CONCRETE	HIM	HOLLOW INSULATED METAL	SCR	SHOWER CURTAIN ROD
CO	CLEAN OUT	HT	HEIGHT	SIM	SIMILAR
CT	CERAMIC TILE	INT	INTERIOR	SO	EMERGENCY SHUT OFF
CR	CLOSET RAIL	L.L.	LOOSE LINTEL	S	SPEAKER
COVE	COVE/INTEGRAL BASE	MAT'L	MATERIAL	SSTL	STAINLESS STEEL
C/W	COMPLETED WITH	MAX	MAXIMUM	STL	STEEL
DO	DOOR OPERATOR	MIN	MINIMUM	STN	STONE
DU	DUPLEX RECEPTACLE PLATE	MIR	MIRROR	SV	SHEET VINYL
DIA.	DIAMETER	M.GWB	MOISTURE RESISTANT GWB	TEMP	TEMPORARY
ELEV	ELEVATION	MG	MED.GASES	T	THERMOSTAT
(E)	EXISTING	MTL	METAL	TERR	TERRAZZO
EL	EMERGENCY LIGHT	N/A	NOT APPLICABLE	T.O.	TOP OF
EPT	EPOXY PAINT	NC	NURSE CALL	TYP	TYPICAL
E.GWB	EXISTING WALL BOARD	N.I.C.	NOT IN CONTRACT	U/S	UNDERSIDE OF
FA	FIRE ALARM DEVICE	NTS	NOT TO SCALE	U.N.O.	UNLESS NOTED OTHERWISE
FEC	FIRE EXTINGUISHER CABINET	O.C.	ON CENTRE	VB	VAPOUR BARRIER
FHC	FIRE HOSE CABINET	O.F.	OUTSIDE FACE	V.I.F.	VERIFY IN FIELD
FD	FIRE DAMPER	O/H	OVER HEAD	VR	VAPOUR RETARDER
FIX	FIXED	PLAM	PLASTIC LAMINATE	WD	WOOD
FIN	FINISH	PLY	PLYWOOD	WF	WINDOW FILM
FLR	FLOOR	PS	PULL STATION	WP	WALL PROTECTION
FRR	FIRE RESISTANT RATING	PTW	PRESSURE TREATED WOOD	WS	WINDOW SHADE
GA	GAUGE	PT	PAINT	W/	WITH
GALV	GALVANIZED	PTD	PAPER TOWEL DISPENSER	ZV	ZONE VALVE
GB	GRAB BAR	QU	QUAD RECEPTACLE PLATE		
GIF	GROUND FAULT INTERRUPTER				

DRAWING LIST

A0.00	COVER PAGE
A0.01	GENERAL INFORMATION
A0.02	GENERAL INFORMATION
A0.04	EXISTING CONDITIONS PHOTOS
A0.09	SITE PLAN
A0.13	SERVICES PLAN - BASEMENT
A0.14	SERVICES PLAN -LEVEL 1
A0.15	SERVICES PLAN -LEVEL 2 -5
A0.16	SERVICES PLAN - LEVEL 6
A0.17	SERVICES PLAN - PENTHOUSE
A0.18	AREA OF WORK PLAN - ROOF PLAN
A5.01	BUILDING SECTION

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CONTEXT PLAN

1 2023-09-19 ISSUED FOR REVIEW MSA
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EMERGENCY POWER UPGRADE

2920 Lawrence Ave E, Scarborough

GENERAL INFORMATION

scale: 1 : 100

drawn by: MO

reviewed by: AR

job number: 21501.F03

plot date: 2023-09-29

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GENERAL NOTES

- REPAIR, PATCH & MAKE GOOD ALL EXISTING STRUCTURE AND FINISHES AFFECTED BY CONSTRUCTION.
- ALL REQUIRED CUTTING & FITTING INCLUDING ELECTRICAL & MECHANICAL TO CONNECT THE EXISTING WORK WITH THE NEW WORK SHALL BE PERFORMED AS PART OF THIS CONTRACT AS AN ENTIRE OR COMPLETE WORK IN A PROFESSIONAL AND WHOLE MANNER.
- ALL NEW WORK TO MAKE GOOD EXISTING; SHALL MATCH EXISTING IN MATERIAL, CONSTRUCTION AND FINISH UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL PERFORM ALL NECESSARY DEMOLITION, ALTERATIONS AND NEW CONSTRUCTIONS AS REQUIRED TO MAKE THE WORK A COMPLETE JOB, INCLUDING BUT NOT LIMITED TO WORK SHOWN ON DRAWINGS AND SPECIFICATIONS.
- ANY OPENINGS IN FIRE RATED WALLS, CEILINGS AND FLOORS TO BE RETURNED TO EQUIVALENT CONDITION PRIOR TO THE OPENING. ALL ELECTRICAL & MECHANICAL PENETRATIONS TO BE SEALED WITH FIRE STOP MATERIAL AS PER SPECIFICATION. ALL ELECTRICAL & MECHANICAL PENETRATIONS TO BE SEALED WITH FIRE STOP MATERIAL AS REQUIRED BY O.B.C.
- All items indicated in the contract documents as 'COORDINATION ITEMS' or items identified as NIC, INCLUDING BUT NOT LIMITED TO EQUIPMENT AND OTHER SPECIALTY ITEMS IDENTIFIED AS TO BE SUPPLIED AND INSTALLED BY OTHER PARTIES OR ALLOWANCES WILL REQUIRE THE COMMON ACTION OR EFFORT OF THE GENERAL CONTRACTOR IN RELATION TO THE OVERALL PROJECT. WITH RESPECT TO ALL COORDINATION ITEMS IDENTIFIED, THE GENERAL CONTRACTOR IS EXPECTED TO:
 - REVIEW ALL ITEMS IDENTIFIED AS 'COORDINATION ITEMS' IN THE DRAWINGS AND COMMUNICATE WITH THE REQUIRED RESPONSIBLE PARTIES OF THE DEVICES THE DETAILED REQUIREMENTS OF EACH ITEM AS IT IMPACTS THE WORK OF GENERAL CONTRACTOR AND AS IT RELATES TO THE OVERALL COMPLETION OF THE PROJECT.
 - VERIFY THE EXISTING CONDITION AND ANY LIMITATIONS OF THE DEVICE AS INSTALLED IN THE PROPOSED LOCATION.
 - PROVIDE ALL REQUIRED ROUGH-INS, RELATED CONSTRUCTIONS AND CONNECTIONS REQUIRED BY THE DEVICES OF OTHERS TO SUIT THE COORDINATION ITEM AND AS INDICATED IN THE CONTRACT DOCUMENTS.
 - SCHEDULE AND COORDINATE THE WORK OF OTHERS INTO THE OVERALL CONSTRUCTION SEQUENCE TO AVOID UNNECESSARY DELAY TO THE COMPLETION OF THE OVERALL PROJECT.
 - ENSURE THAT THE PROPOSED ITEM IS INSTALLED AS INTENDED AND IS MADE FULLY OPERATIONAL AT THE COMPLETION OF THE WORK.
- THE EXISTING PORTIONS OF THESE PLANS ARE TAKEN FROM ARCHIVE DRAWINGS AND LIMITED SITE SURVEY INFORMATION. CONTRACTOR TO SITE VERIFY ALL DIMENSIONS, CONDITIONS AND LEVELS ON SITE PRIOR TO FABRICATIONS/ INSTALLATIONS. ALL DIMENSIONS ARE PER SITE REVIEW AND EXIST. ARCH. DWGS. ALL DISCREPANCIES BETWEEN CONDITIONS SHOWN AND SITE CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT. PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL VISIT THE SITE AND EXAMINE THE FOLLOWING:
 - VERIFY EXISTING AREAS WITHIN THE SCOPE OF WORK WITH RESPECT TO THE PROPOSED FOR PROBLEMS AND ANY LIMITATIONS.
 - VERIFY EXISTING ARCHITECTURE, STRUCTURE AND ALL ADJACENT FINISHES IMPACTED BY THE WORK.
 UPON EXAMINING ALL OF THE ABOVE AGAINST THE DRAWINGS AND SPECIFICATIONS AND TERMS OF THE CONTRACT, THE CONTRACTOR MUST SATISFY HIMSELF THAT THE PROPOSED WORK CAN BE CARRIED OUT AS INTENDED, TO THE SATISFACTION OF THE OWNER, AT NO ADDITIONAL COST TO THE CONTRACT.
- PROTECT ALL FINISHES TO REMAIN PART OF THE FINAL PRODUCT. ALL FINISHES DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE MADE GOOD BY THE GC.
- COORDINATE ALL WORK WITH THE HOME AND FOLLOW ALL HOME PROTOCOLS.
- HOARDING SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE HOME.
- COORDINATE ALL WORK WITH ARCHITECTURAL / MECHANICAL / ELECTRICAL DRAWINGS AND SPECIFICATIONS. WHERE A DISCREPANCY IS DISCOVERED BETWEEN THE DOCUMENTS NOTIFY THE ARCHITECT.
- ALL REMOVED AND DEMOLISHED MATERIAL TO BE REMOVED FROM THE SITE. LOCATION OF REMOVAL RECEPTACLE TO BE CO-ORDINATED WITH BUILDING MAINTENANCE DEPARTMENT.

SYMBOL LEGEND

	INDICATES SECTION / DETAIL NUMBER		INDICATES REFERENCE TO A SIMILAR DETAIL DRAWING		KEYNOTE
	INDICATES REFERENCE TO A SIMILAR DETAIL DRAWING		INDICATES REFERENCE TO DETAIL DRAWING		GRID LINE
	BUILDING SECTION REFERENCE		PROJECT ELEVATION		CONSTRUCTION ASSEMBLY TYPE
	WALL SECTION REFERENCE		GEODETIC ELEVATION		INDICATES DOOR NUMBER
	DETAIL REFERENCE		ROOM NAME & ROOM NUMBER TAG		INDICATES CEILING FINISH MATERIAL
	BUILDING ELEVATION REFERENCE		ROOF TYPE		INDICATES CEILING HEIGHT (mm) A.F.F.
	INDICATES DRAWING SHEET NUMBER		WINDOW TYPE		WALL / PARTITION TYPE
	INDICATES ELEVATION		MATERIAL TAG		DIMENSION
	INTERIOR ELEVATION REFERENCE		REVISION NUMBER		CENTRELINE MARK
	AREA OF WORK		FLOOR DRAIN LOCATION		INDICATES ALTERNATIVE BASE TYPE
	EXISTING AREA TO REMAIN AS-IS		SERVICE DRAIN LOCATION		INDICATES LENGTH AND TYPE

PHASING & CONSTRUCTION NOTES

- THE WORK OF THIS CONTRACT SHALL BE PERFORMED IN PHASES. ALL PHASING WILL BE SUBJECT TO APPROVAL FROM THE MANAGER OF BUILDING SERVICES AND AS IDENTIFIED IN THE MINISTRY OF HEALTH OPERATIONAL PLAN FOR THE WORK
- ALL WORK WITHIN THIS PROJECT WILL BE COMPREHENSIVELY SCHEDULED WITH THE HOME PRIOR TO START-UP ON SITE. CONTRACTORS WILL BE REQUIRED TO ADHERE TO THIS SCHEDULE FOR THE DURATION OF THE WORK. NO WORK SHALL BE LEFT IN AN UNFINISHED STATE AT DAYS END. ALL AREAS OF WORK SHOULD BE MADE SAFE AND COMPLETELY OPERATIONAL AT THE END OF EACH DAYS WORK. ALL REPLACEMENT WORK WITHIN RESIDENT ROOMS IS EXPECTED TO TAKE PLACE OVER THE COURSE OF A SINGLE DAY. RESIDENT ROOMS ARE TO BE COMPLETE AND FULLY OCCUPIABLE AT THE COMPLETION OF EACH DAYS WORK OMITTING THE NEED TO RELOCATE RESIDENTS. RESIDENT ROOMS SHOULD BE RETURNED TO THE RESIDENT EXACTLY AS THEY WERE HANDED OVER TO THE CONTRACTOR THAT MORNING. REFER ALSO TO THE OPERATIONAL PLANS ISSUED FOR EACH HOME.
- THE REQUIRED MOVING AND REINSTALLATION OF ALL FURNITURE IS TO BE INCLUDED IN THE BASE BID PRICE. IT IS EXPECTED THAT ALL AREAS WILL BE HANDED BACK TO THE HOME IN A RESTORED AND FULLY FUNCTIONAL ORDER BY THE CONTRACTOR. TEMPORARY STORAGE FOR ALL REMOVED FURNITURE AND EQUIPMENT WILL BE PROVIDED BY AND COORDINATED WITH THE HOME.

CONTEXT PLAN

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EMERGENCY POWER UPGRADE

2920 Lawrence Ave E, Scarborough

GENERAL INFORMATION

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EXISTING CONDITIONS PHOTOS

scale:

drawn by: MO

reviewed by: AR

job number: 21501.F03

plot date: 2023-09-29

drawing number:

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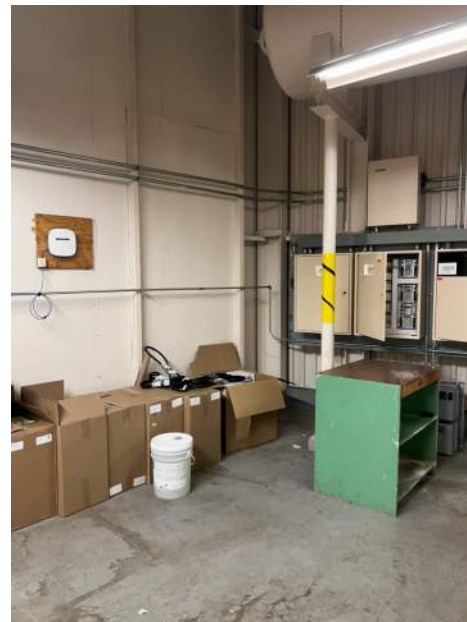
EXISTING CONDITION PHOTO - ECP1



EXISTING CONDITION PHOTO - ECP4



EXISTING CONDITION PHOTO - ECP7



EXISTING CONDITION PHOTO - ECP10



EXISTING CONDITION PHOTO - ECP13



EXISTING CONDITION PHOTO - ECP2



EXISTING CONDITION PHOTO - ECP5



EXISTING CONDITION PHOTO - ECP8



EXISTING CONDITION PHOTO - ECP11



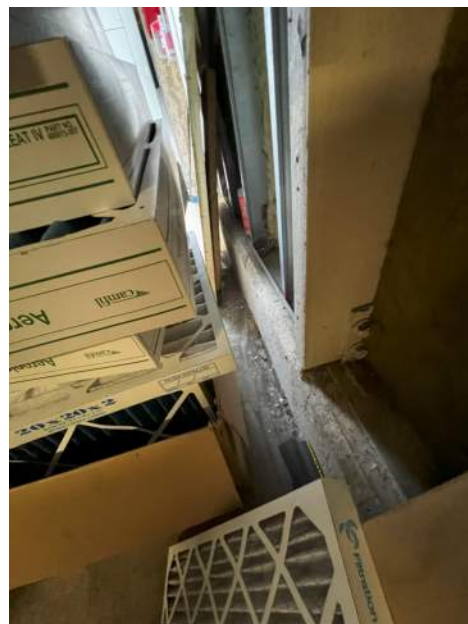
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EXISTING CONDITION PHOTO - ECP3



EXISTING CONDITION PHOTO - ECP6



EXISTING CONDITION PHOTO - ECP9



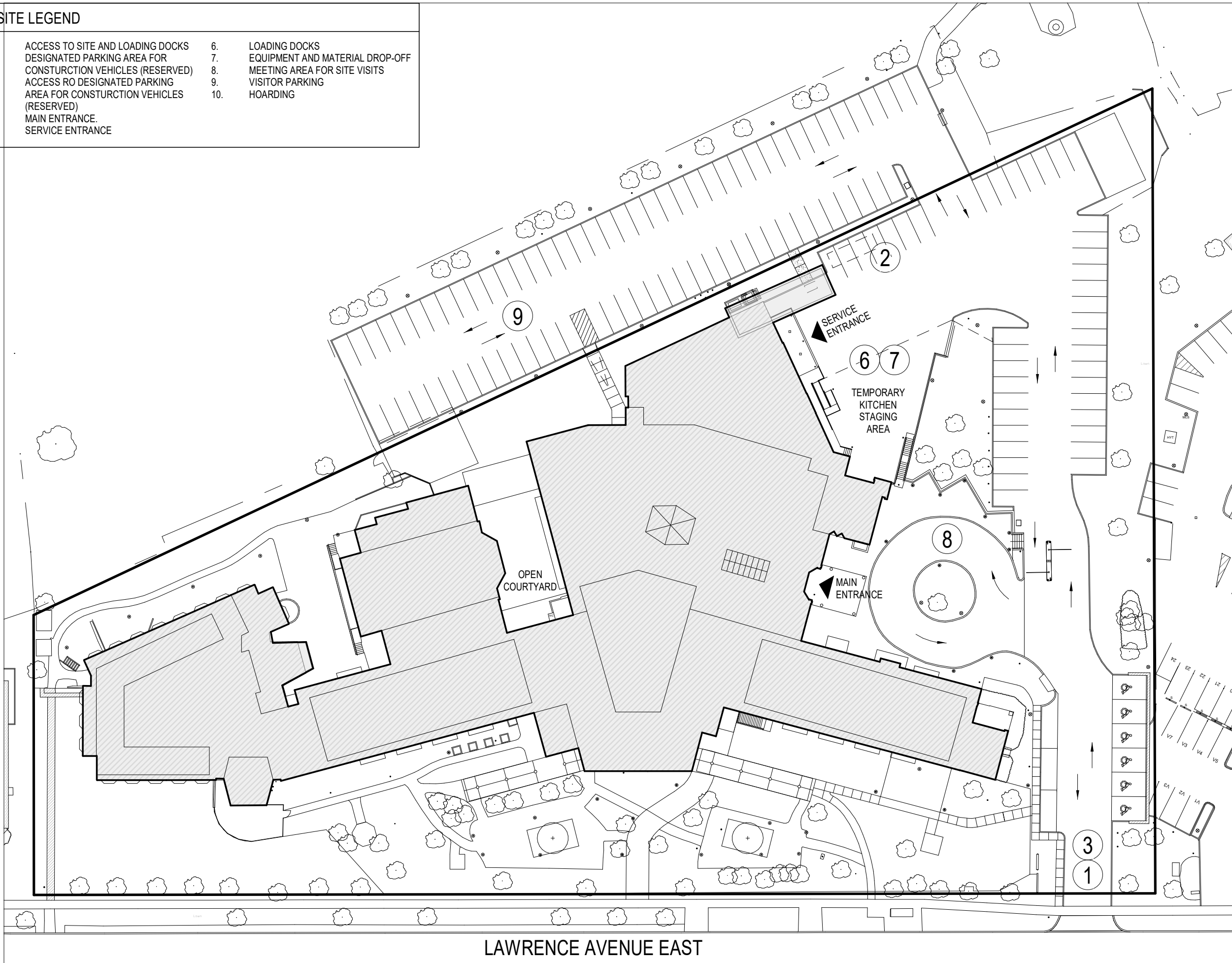
EXISTING CONDITION PHOTO - ECP12



EXISTING CONDITION PHOTO - ECP15

SITE LEGEND

- | | |
|---|------------------------------------|
| 1. ACCESS TO SITE AND LOADING DOCKS | 6. LOADING DOCKS |
| 2. DESIGNATED PARKING AREA FOR CONSTRUCTION VEHICLES (RESERVED) | 7. EQUIPMENT AND MATERIAL DROP-OFF |
| 3. ACCESS TO DESIGNATED PARKING AREA FOR CONSTRUCTION VEHICLES (RESERVED) | 8. MEETING AREA FOR SITE VISITS |
| 4. MAIN ENTRANCE | 9. VISITOR PARKING |
| 5. SERVICE ENTRANCE | 10. HOARDING |



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2920 Lawrence Ave E, Scarborough

SITE PLAN

scale: As indicated

drawn by: MO

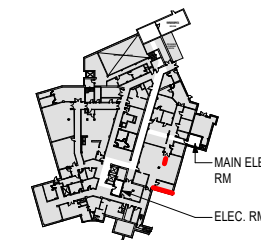
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plot date: 2023-09-29

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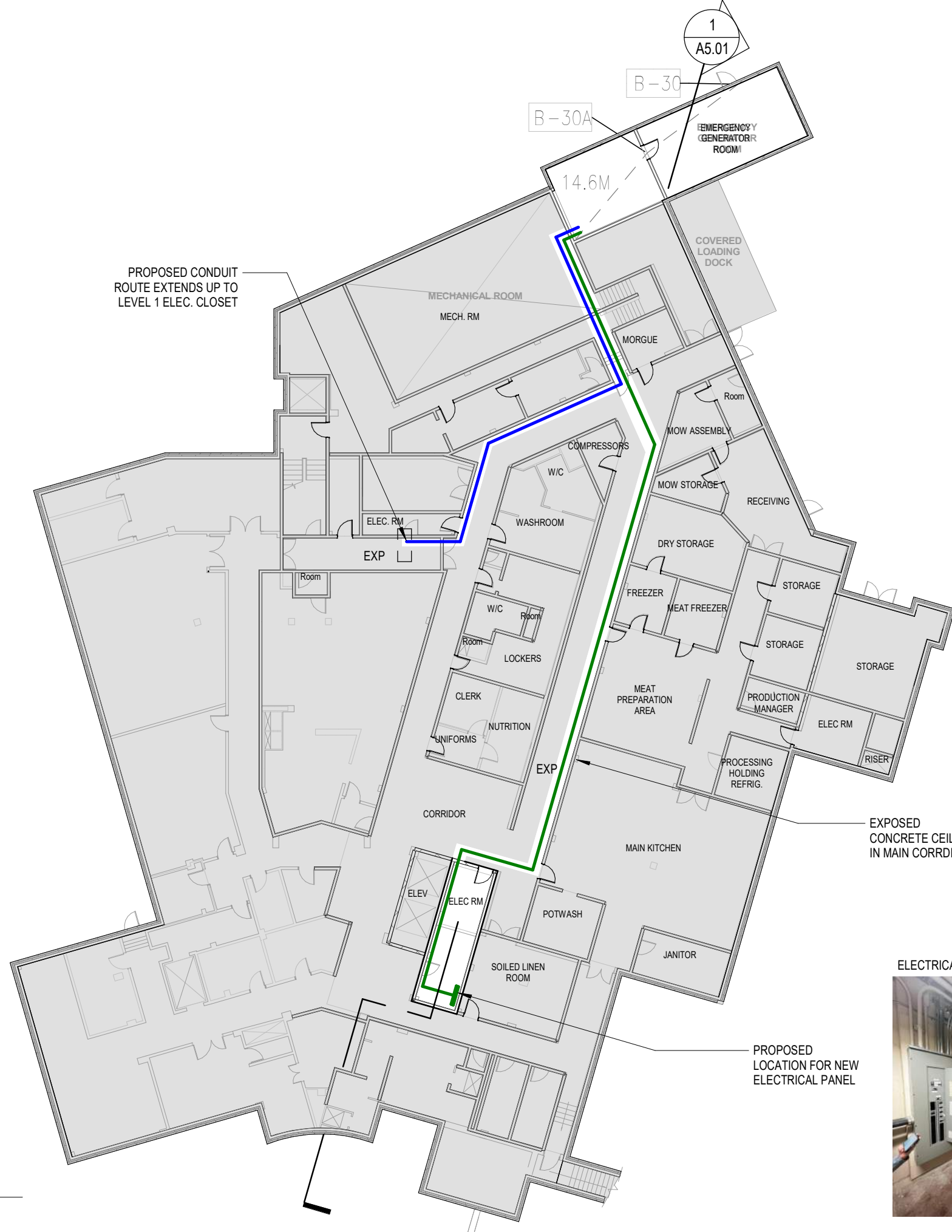
CONTEXT PLAN

AREA OF WORK LEGEND

□ AREA OF WORK
 ■ EXISTING AREA TO REMAIN AS-IS

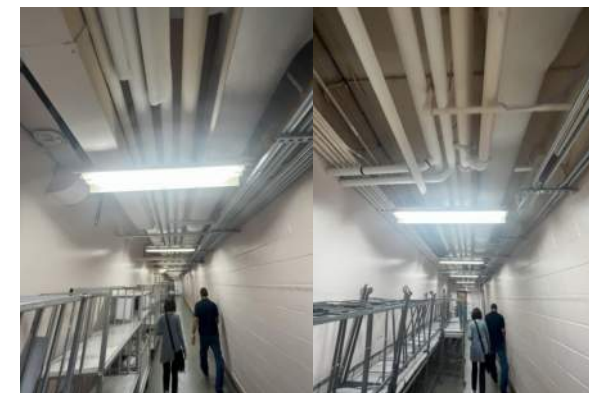
SERVICES LEGEND

— PROPOSED SERVICES ROUTE TO MAIN MECH. PENTHOUSE. REFER TO ELECTRICAL
 — PROPOSED SERVICES ROUTE TO LOWER MECH. PENTHOUSE. REFER TO ELECTRICAL



PROPOSED CONDUIT ROUTE EXTENDS UP TO LEVEL 1 ELEC. CLOSET

MAIN CORRIDOR



EXPOSED CONCRETE CEILING IN MAIN CORRIDOR

ELECTRICAL ROOM - B-65



PROPOSED LOCATION FOR NEW ELECTRICAL PANEL

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SERVICES PLAN - BASEMENT

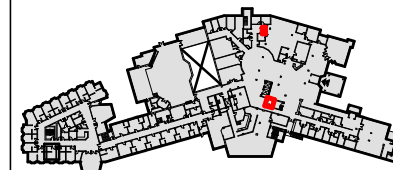
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 reviewed by: AR
 job number: 21501.F03
 plot date: 2023-09-29

drawing number:

A0.13

AREA OF WORK LEGEND	
	AREA OF WORK
	EXISTING AREA TO REMAIN AS-IS

SERVICES LEGEND	
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	PROPOSED SERVICES ROUTE TO LOWER MECH. PENTHOUSE. REFER TO ELECTRICAL



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SERVICES PLAN -LEVEL 1

scale: As indicated

drawn by: MO

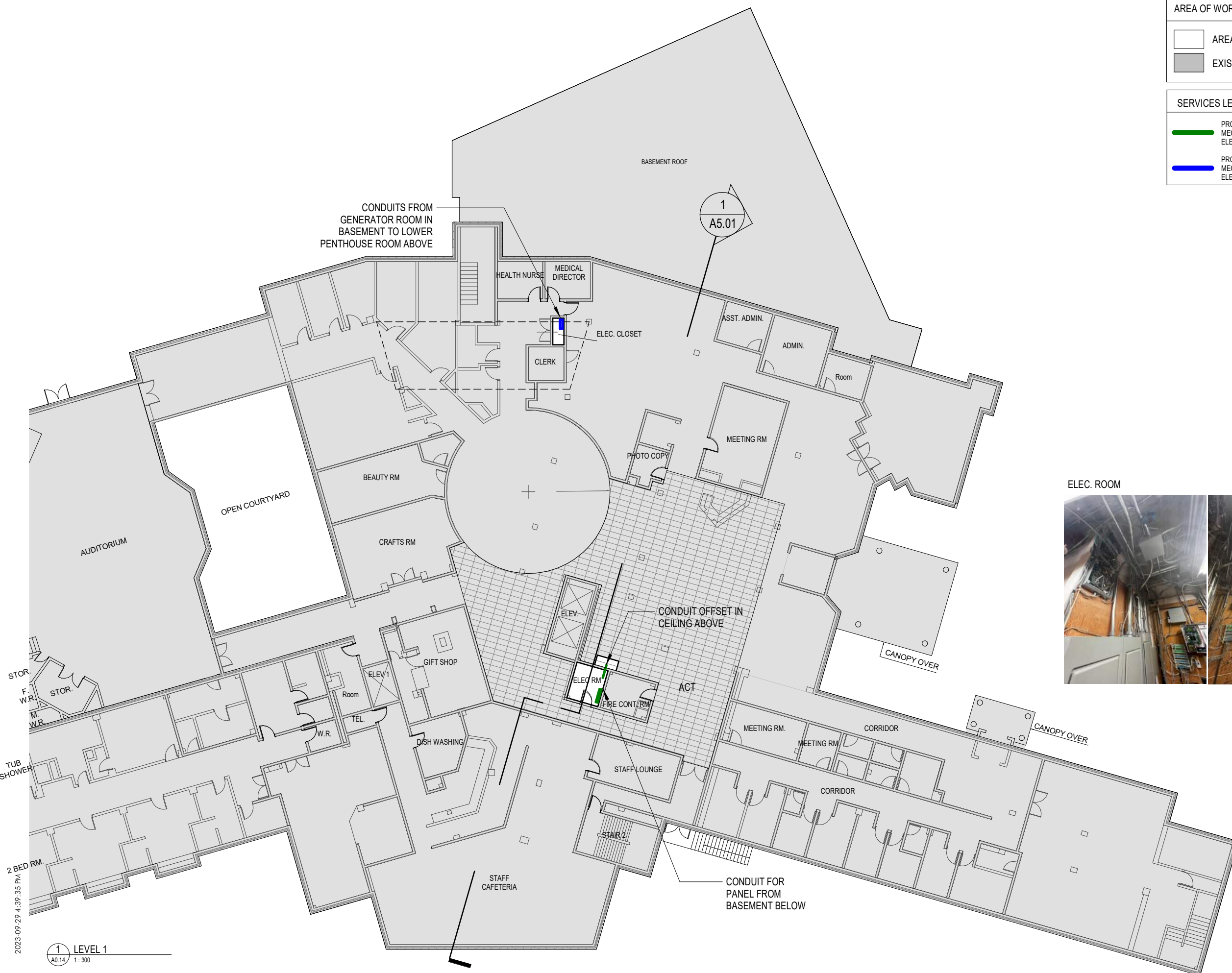
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job number: 21501.F03

plot date: 2023-09-29

drawing number:

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ELEC. ROOM



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LOWER PENTHOUSE PANEL LOCATIONS



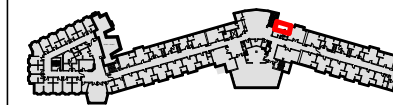
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AREA OF WORK LEGEND	
	AREA OF WORK
	EXISTING AREA TO REMAIN AS-IS

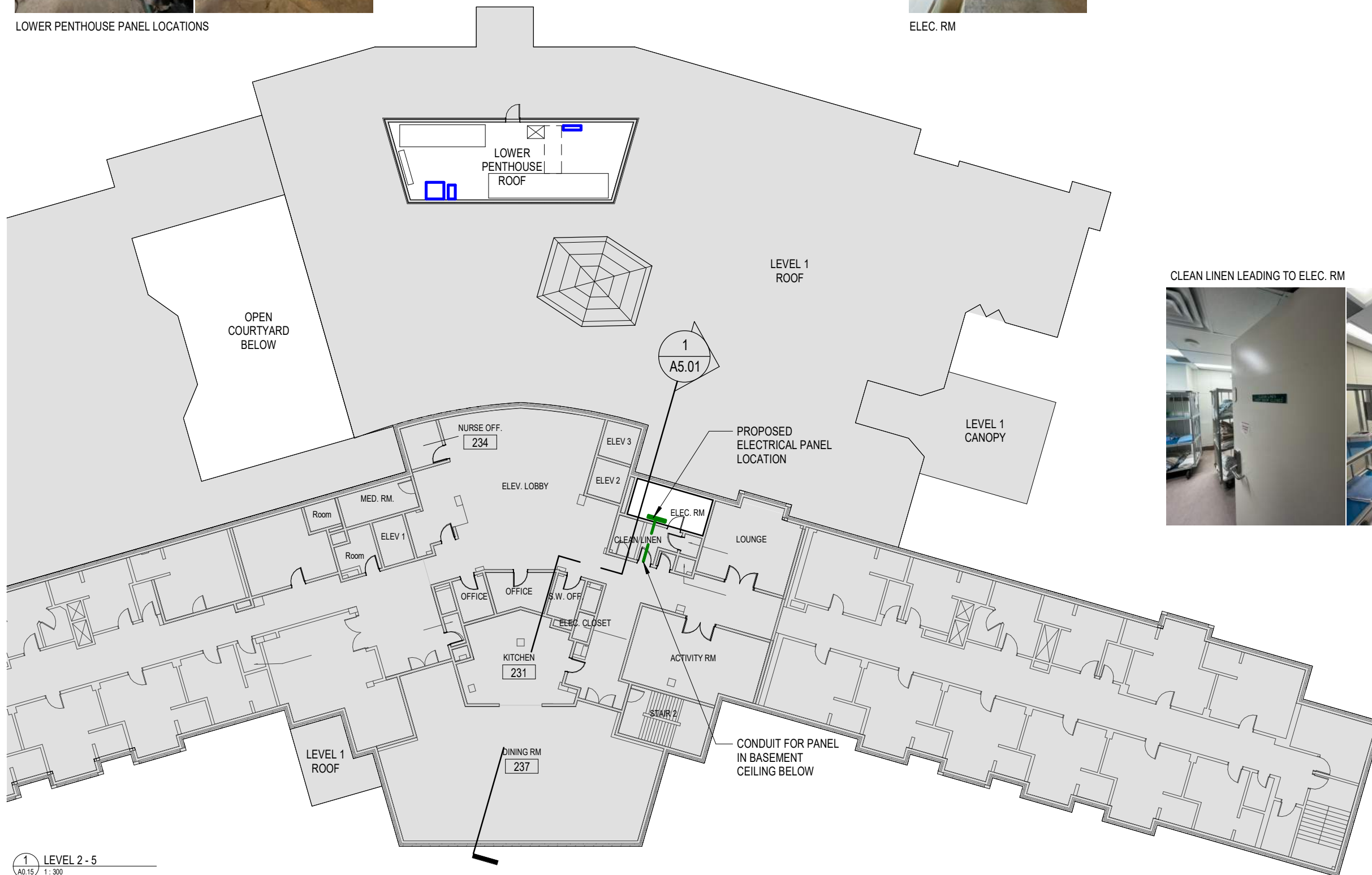
SERVICES LEGEND	
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CONTEXT PLAN



CLEAN LINEN LEADING TO ELEC. RM



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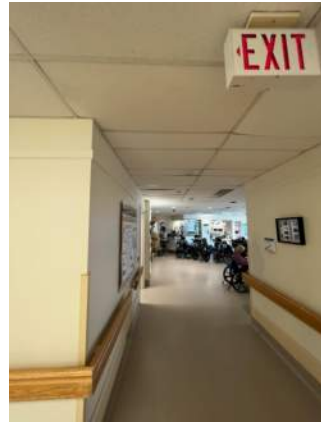
SERVICES PLAN -LEVEL 2 -5

scale: As indicated
 drawn by: MO
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drawing number:

A0.15

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CORRIDOR OUTSIDE ELEC. ROOM



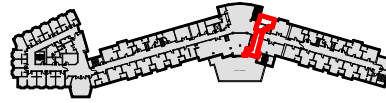
ELEC. RM

AREA OF WORK LEGEND	
	AREA OF WORK
	EXISTING AREA TO REMAIN AS-IS

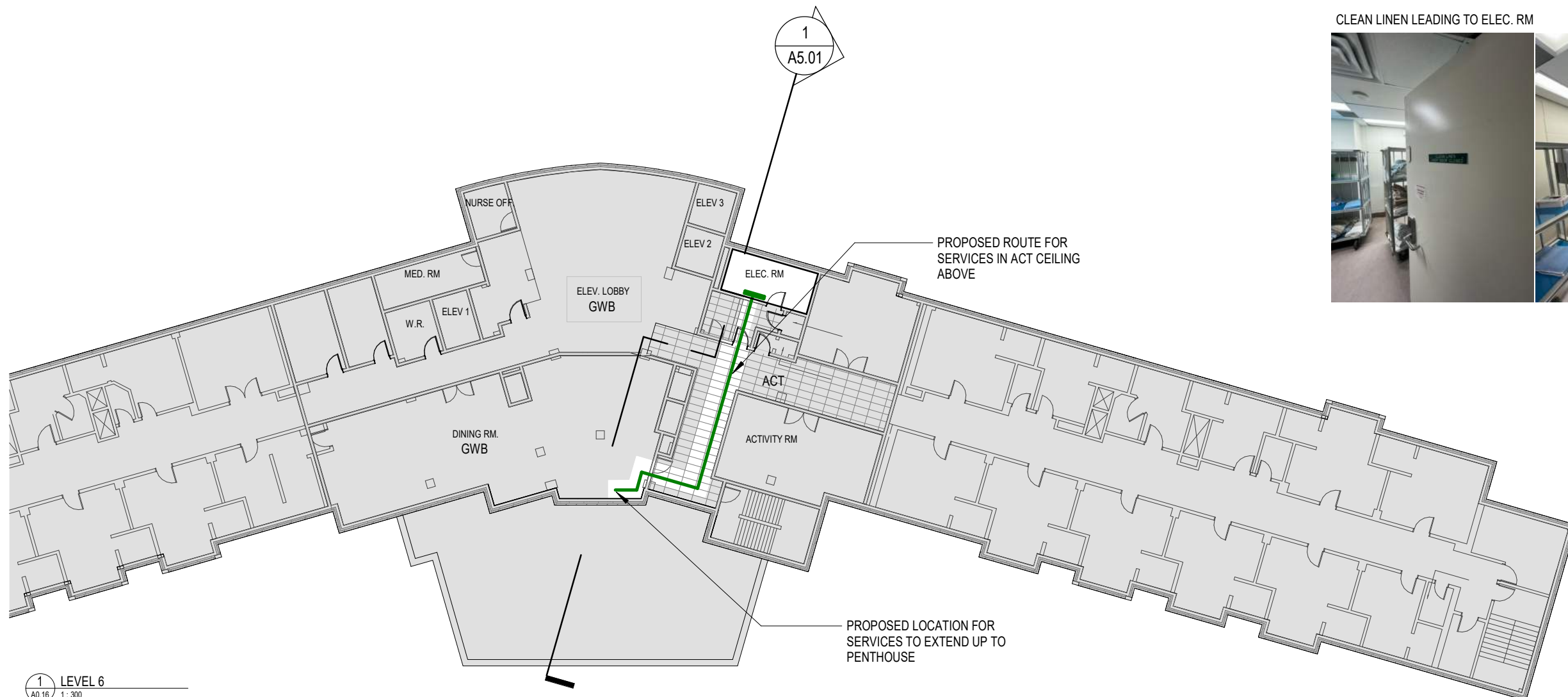
SERVICES LEGEND	
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CONTEXT PLAN



CLEAN LINEN LEADING TO ELEC. RM



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SERVICES PLAN - LEVEL 6

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A0.16

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UPPER PENTHOUSE PANEL LOCATIONS

AREA OF WORK LEGEND

□ AREA OF WORK

■ EXISTING AREA TO REMAIN AS-IS

SERVICES LEGEND

— PROPOSED SERVICES ROUTE TO MAIN MECH. PENTHOUSE. REFER TO ELECTRICAL

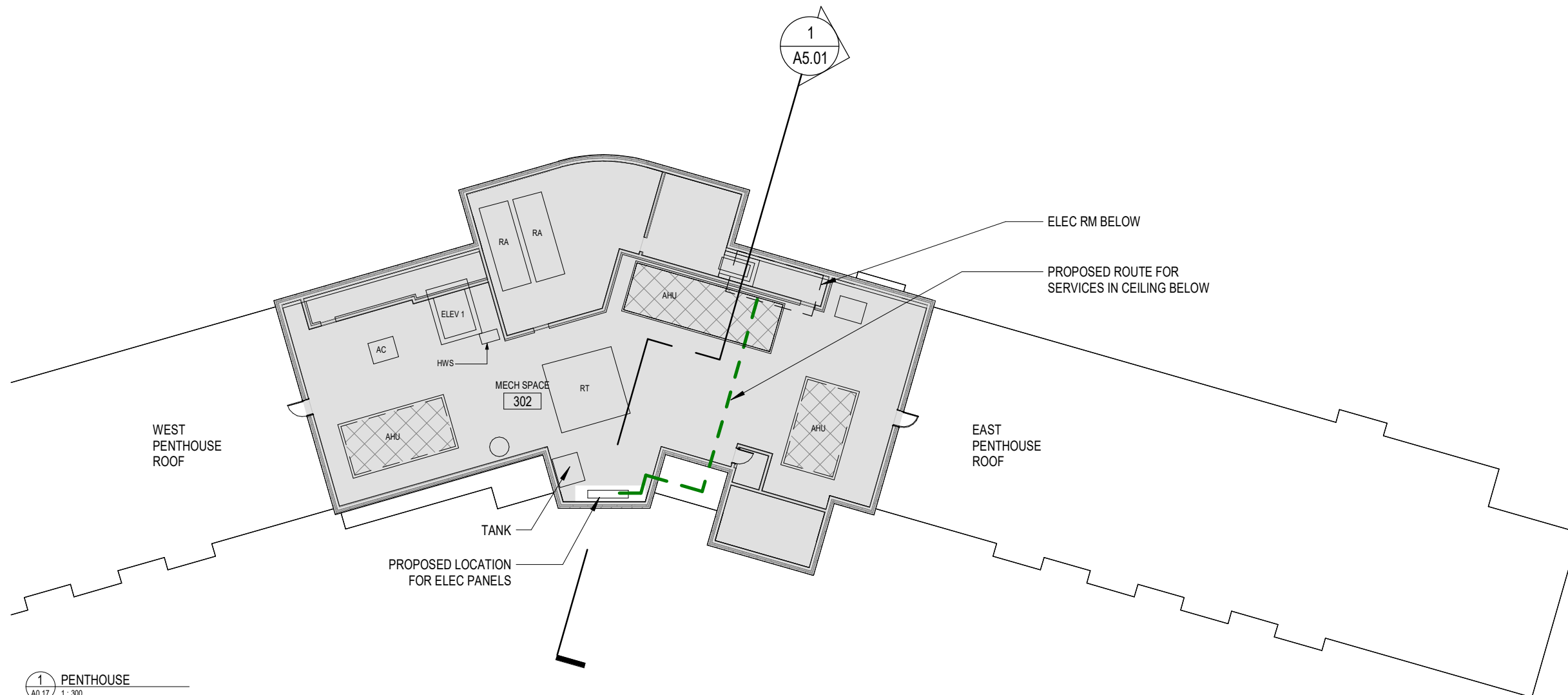
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SERVICES PLAN - PENTHOUSE

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SERVICES LEGEND

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BUILDING SECTION

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drawn by: MO

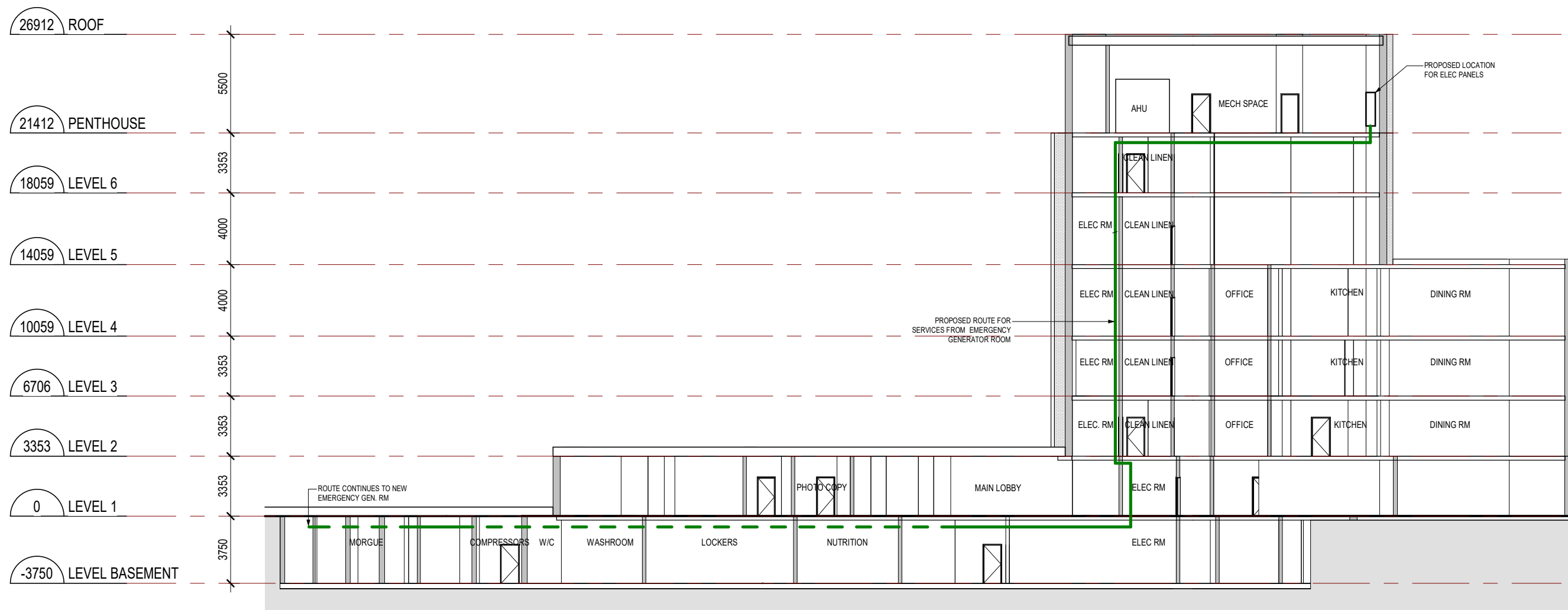
reviewed by: AR

job number: 21501.F03

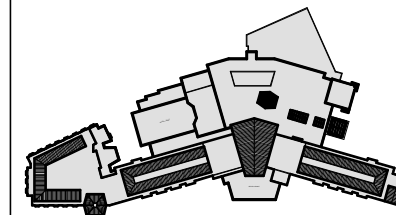
plot date: 2023-09-29

drawing number:

A5.01



2023-09-29 4:39:39 PM



CONTEXT PLAN

1	2023-09-19	ISSUED FOR REVIEW	MSA
#	date:	revision:	To By

revisions

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

EMERGENCY POWER UPGRADE

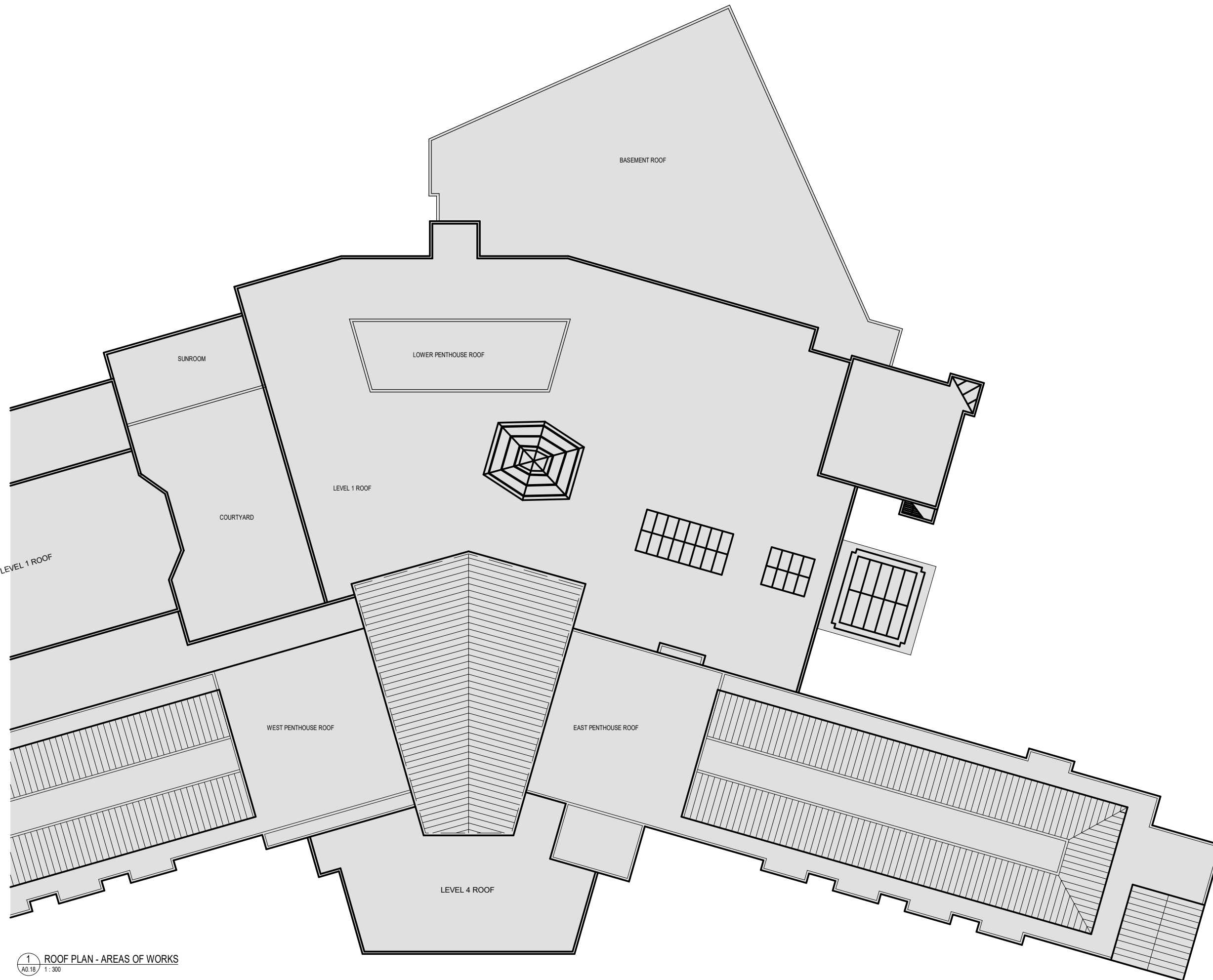
2920 Lawrence Ave E, Scarborough

AREA OF WORK PLAN - ROOF PLAN

scale: As indicated
drawn by: MO
reviewed by: AR
job number: 21501.F03
plot date: 2023-09-29

drawing number:

A0.18



2023-09-29 4:39:39 PM