

SITE PLAN NOTES:

- ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND CHIEF PLANNER, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
- FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO THE SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF THE OWNER.
- MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS OR MINUS 7.5m UNLESS OTHERWISE STATED.
- ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - BUILDING PERMITS
 - SEWER AND WATER PERMITS
 - ROAD CUT PERMITS
 - RELOCATION OF SERVICES
 - APPROACH APPROVAL PERMITS
 - SIGN PERMITS
 - COMMITTEE OF ADJUSTMENT
 - ENCROACHMENT AGREEMENTS (IF REQUIRED)

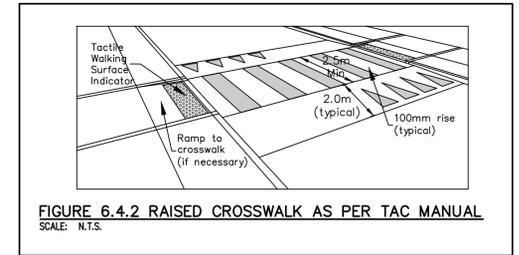
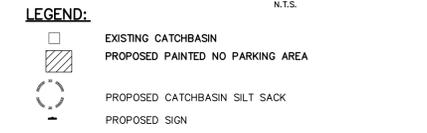
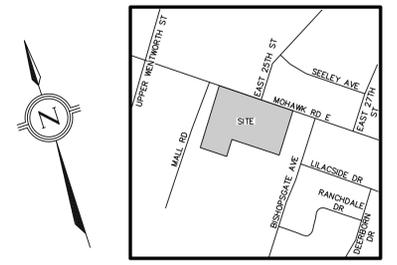
- ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE CORRIDOR MANAGEMENT SECTION, PUBLIC WORKS DEPARTMENT
- FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOWING NOTE TO BE PROVIDED:

"5.0 METRE BY 5.0 METRE VISIBILITY TRIANGLES IN WHICH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT TO EXCEED A HEIGHT OF 0.69 METRES ABOVE THE CORRESPONDING PERPENDICULAR CENTERLINE ELEVATION OF ADJACENT STREET."
- SIGNAGE IS NOT APPROVED THROUGH THE SITE PLAN PROCESS. ALL SIGNS MUST COMPLY WITH HAMILTON SIGN BY-LAW NO. 10-197.
- LIGHTING MUST BE DIRECTED ON SITE AND MUST NOT SPILL OVER TO ADJACENT PROPERTIES OF STREET.
- CALL BEFORE YOU DIG, ARRANGE FOR UNDERGROUND HYDRO CABLE LOCATE(S) AND GAS PIPELINES BEFORE BEGINNING CONSTRUCTION BY CONTACTING ONTARIO ONE CALL AT 1-800-400-2255

NOTE
EXISTING BUS SHELTER AND SIDEWALK TO REMAIN ACCESSIBLE AND UNOBTSTRUCTED DURING CONSTRUCTION

SITE STATISTICS			
ZONING DESIGNATION	I1 - NEIGHBORHOOD INSTITUTIONAL		
SITE LAYOUT	REQUIRED	PROPOSED	
LOT AREA	MINIMUM	N/A	17738.29 m ²
BUILDING COVERAGE (%)	EXISTING	N/A	19.9 %
GROSS FLOOR AREA	EXISTING	N/A	3536.51 m ²
BUILDING HEIGHT	EXISTING	10.5m	10.45m
NUMBER OF STOREYS	EXISTING	N/A	3
NUMBER OF RESIDENTIAL UNITS	MAXIMUM	N/A	N/A
NUMBER OF PARKING SPACES	SPACES (1.25 SPACE/1 CLASSROOM)	21	66
BARRIER-FREE PARKING	SPACES (4% X PROVIDED)	3	4
NUMBER OF LOADING SPACES		N/A	YES
LANDSCAPED AREA	LANDSCAPE STRIP	3.0m WIDE	YES

LEGAL DESCRIPTION
PART OF LOT 10,
CONCESSION 6
GEOGRAPHIC TOWNSHIP OF BARTON
CITY OF HAMILTON



BENCH MARK NOTE:
STATION 07720090024
LOCATED IN HAMILTON IN SACKVILLE HILL PARK 26 METRES WEST OF CENTRELINE UPPER WENTWORTH STREET.
ELEVATION: 211.630 CGVD28-78

NO.	DATE	BY	REVISIONS
03	JUN 10/24	SD	ISSUED FOR TENDER.
02	MAY 30/24	SD	ISSUED FOR SPA.
01	MAY 2/24	SD	ISSUED FOR FORMAL CONSULTATION.

NOTES TO CONTRACTOR:

- CONTRACTORS AND SUBCONTRACTORS SHALL NOT SCALE FROM THIS DRAWING.
- ANY INCONSISTENCIES AND OMISSIONS FOUND ON THE DRAWINGS MUST BE REPORTED TO THE ENGINEER FOR CLARIFICATION BEFORE COMMENCING THE WORK.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND ELEVATIONS AND REPORT ALL FINDINGS TO THE ENGINEER. ONCE CONSTRUCTION HAS COMMENCED, THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS.
- THE POSITIONS OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVER-GROUND UTILITIES AND STRUCTURES ARE NOT NECESSARILY SHOWN ON THE DRAWINGS, WHERE SHOWN ON THE DRAWINGS, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM THEMSELVES OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.
- ALL DRAWINGS REMAIN THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED, REVISED, OR REVISED WITHOUT THE WRITTEN CONSENT OF S. LLEWELLYN AND ASSOCIATES LIMITED.

DESIGN	SD	CHK'D	SF	DATE
DRAWN	SD	CHK'D	SF	Jun. 19, 24

SCALE: 1:400

APPROVALS

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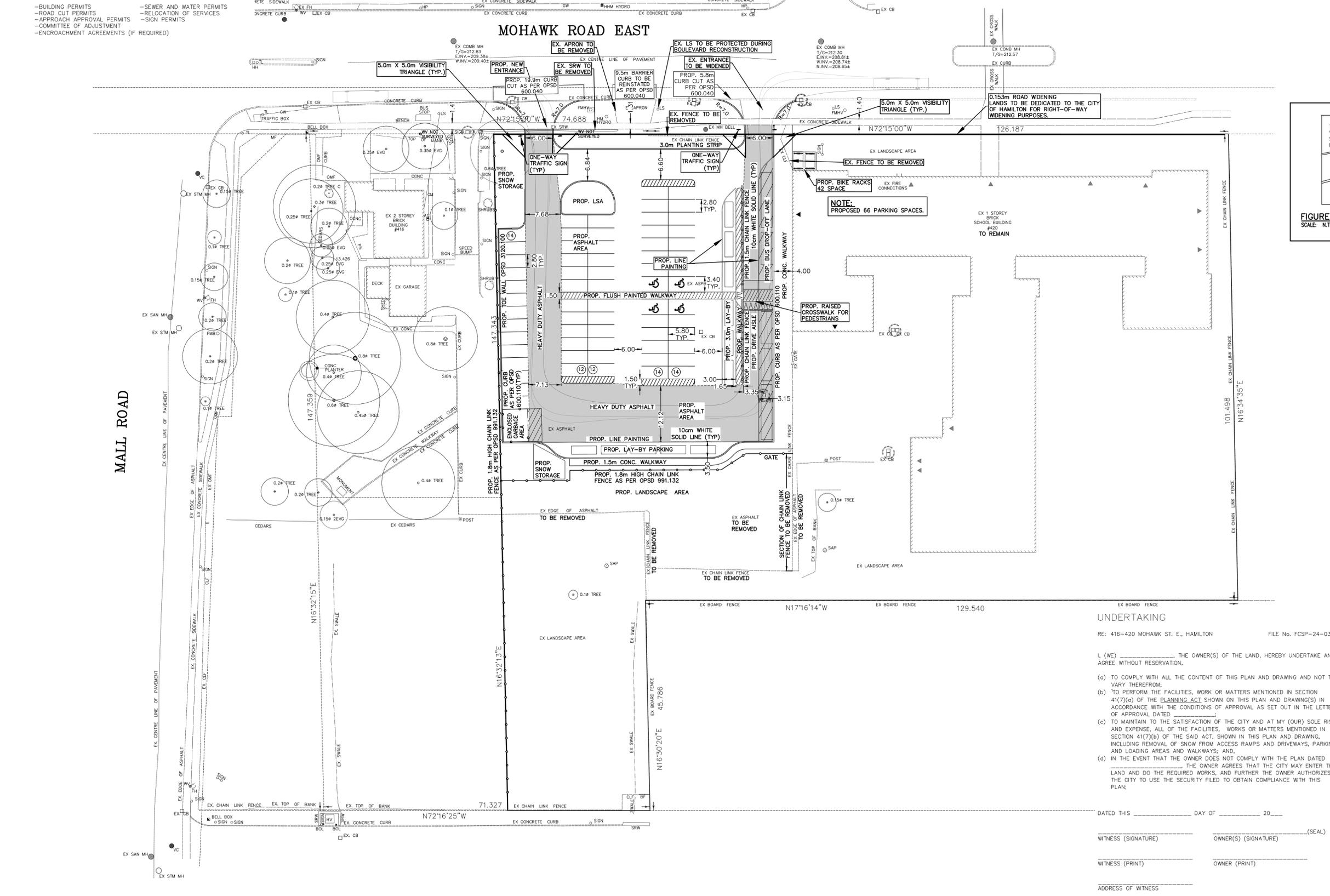
S. LLEWELLYN & ASSOCIATES LIMITED
CONSULTING ENGINEERS
Tel. (905) 631-6978
Website: www.sla.on.ca
email: info@sla.on.ca
3228 South Service Road, Suite #105 East Wing, Burlington, Ont., L7N 3H8

HAMILTON WENTWORTH CATHOLIC DISTRICT SCHOOL BOARD
90 MULBERRY ST, HAMILTON

PARKING RECONSTRUCTION
416-420 MOHAWK ST E, HAMILTON

SITE PLAN

PROJECT No.	23096	DRAWING No.	C100A
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UNDERTAKING
RE: 416-420 MOHAWK ST. E., HAMILTON FILE No. FCSP-24-030

I, (WE) _____ THE OWNER(S) OF THE LAND, HEREBY UNDERTAKE AND AGREE WITHOUT RESERVATION,

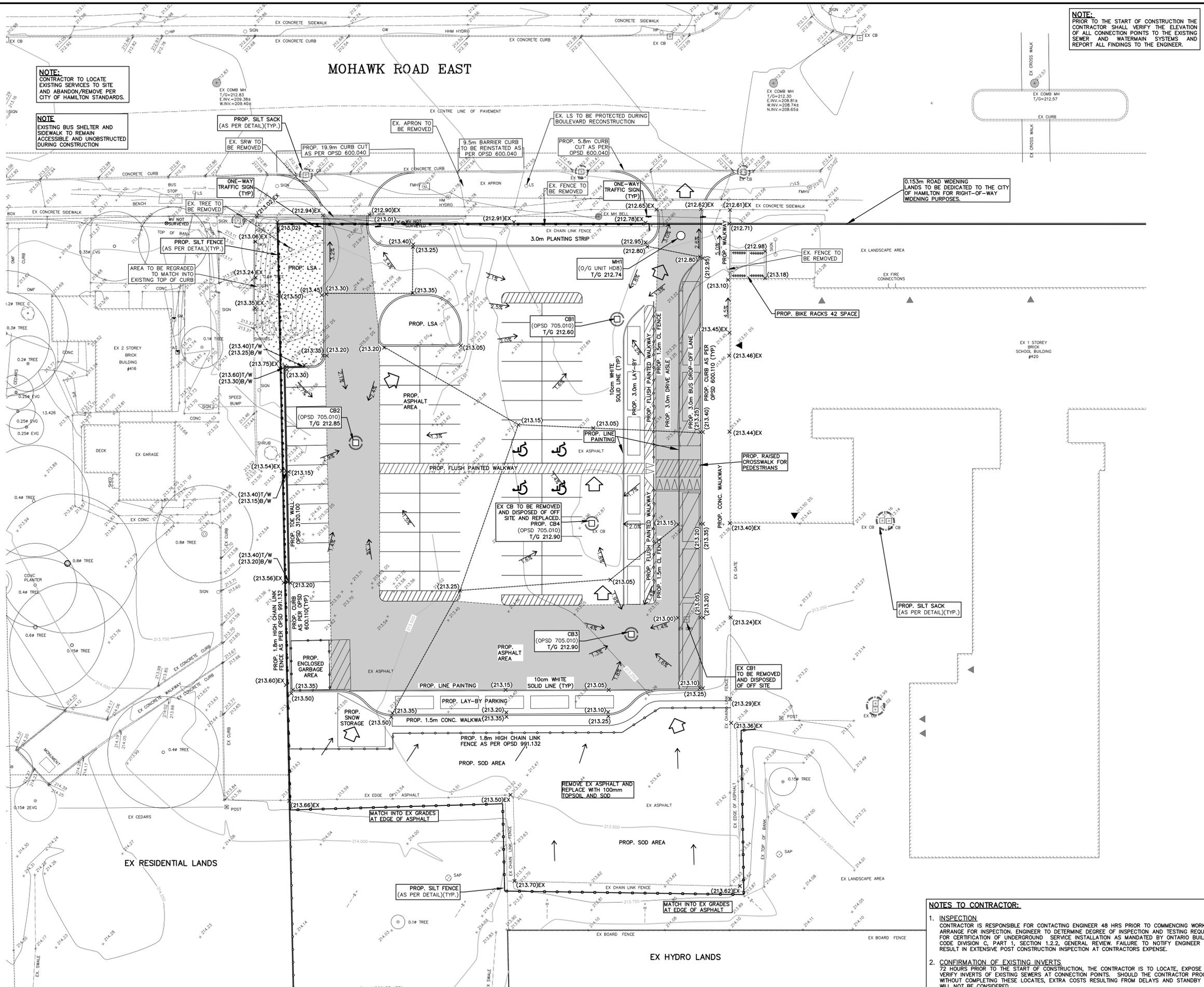
- TO COMPLY WITH ALL THE CONTENT OF THIS PLAN AND DRAWING AND NOT TO VARY THEREFROM;
- TO PERFORM THE FACILITIES, WORK OR MATTERS MENTIONED IN SECTION 41(7)(c) OF THE PLANNING ACT SHOWN ON THIS PLAN AND DRAWING(S) IN ACCORDANCE WITH THE CONDITIONS OF APPROVAL AS SET OUT IN THE LETTER OF APPROVAL DATED _____;
- TO MAINTAIN TO THE SATISFACTION OF THE CITY AND AT MY (OUR) SOLE RISK AND EXPENSE, ALL OF THE FACILITIES, WORKS OR MATTERS MENTIONED IN SECTION 41(7)(b) OF THE SAID ACT, SHOWN IN THIS PLAN AND DRAWING, INCLUDING REMOVAL OF SNOW FROM ACCESS RAMPS AND DRIVEWAYS, PARKING AND LOADING AREAS AND WALKWAYS; AND;
- IN THE EVENT THAT THE OWNER DOES NOT COMPLY WITH THE PLAN DATED _____ THE OWNER AGREES THAT THE CITY MAY ENTER THE LAND AND DO THE REQUIRED WORKS, AND FURTHER THE OWNER AUTHORIZES THE CITY TO USE THE SECURITY FILED TO OBTAIN COMPLIANCE WITH THIS PLAN;

DATED THIS _____ DAY OF _____ 20____

WITNESS (SIGNATURE) _____ OWNER(S) (SIGNATURE) _____ (SEAL)

WITNESS (PRINT) _____ OWNER (PRINT) _____

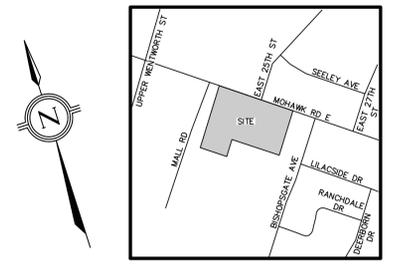
ADDRESS OF WITNESS _____



NOTE:
CONTRACTOR TO LOCATE EXISTING SERVICES TO SITE AND ABANDON/REMOVE PER CITY OF HAMILTON STANDARDS.

NOTE:
EXISTING BUS SHELTER AND SIDEWALK TO REMAIN ACCESSIBLE AND UNOBSTRUCTED DURING CONSTRUCTION

NOTE:
PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE ELEVATION OF ALL CONNECTION POINTS TO THE EXISTING SEWER AND WATERMAIN SYSTEMS AND REPORT ALL FINDINGS TO THE ENGINEER.



- LEGEND:**
- ×(100.00) EXISTING GROUND ELEVATION
 - ×(100.00) EX PROPOSED GROUND ELEVATION
 - (100.00)T/W PROPOSED ELEVATION TO MATCH EXISTING
 - (100.00)B/W PROPOSED TOP OF WALL ELEVATION
 - 2.0% PROPOSED DIRECTION OF SHEET FLOW
 - EXISTING CATCHBASIN
 - EXISTING STORM/SANITARY MANHOLE
 - PROPOSED CATCHBASIN
 - PROPOSED STORM MANHOLE
 - PROPOSED SILTATION CONTROL FENCE
 - PROPOSED CATCHBASIN SILT SACK
 - EMERGENCY OVERLAND FLOW ROUTE
 - - - PROPOSED DRAINAGE BREAK LINE
 - - - EXISTING DIRECTION OF SHEET FLOW
 - PROPOSED NO PARKING AREA
 - CL DENOTES CHAIN LINK

BENCH MARK NOTE:
STATION 07720090024
LOCATED IN HAMILTON IN SACKVILLE HILL PARK 26 METRES WEST OF CENTRELINE UPPER WENTWORTH STREET.
ELEVATION: 211.630 CGVD28:78

NO.	DATE	BY	REVISIONS
02	JUN 10/24	SD	ISSUED FOR TENDER.
01	JUN 7/24	SD	ISSUED FOR SPA.

- NOTES TO CONTRACTOR:**
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DRAWN	SD	CHK'D	SF	Jun. 19, 24

SCALE 1:250

APPROVALS

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S. LLEWELLYN & ASSOCIATES LIMITED
CONSULTING ENGINEERS
Tel. (905) 631-6978
Website: www.sla.on.ca
email: info@sla.on.ca
3228 South Service Road, Suite #105 East Wing, Burlington, Ont., L7N 3H8

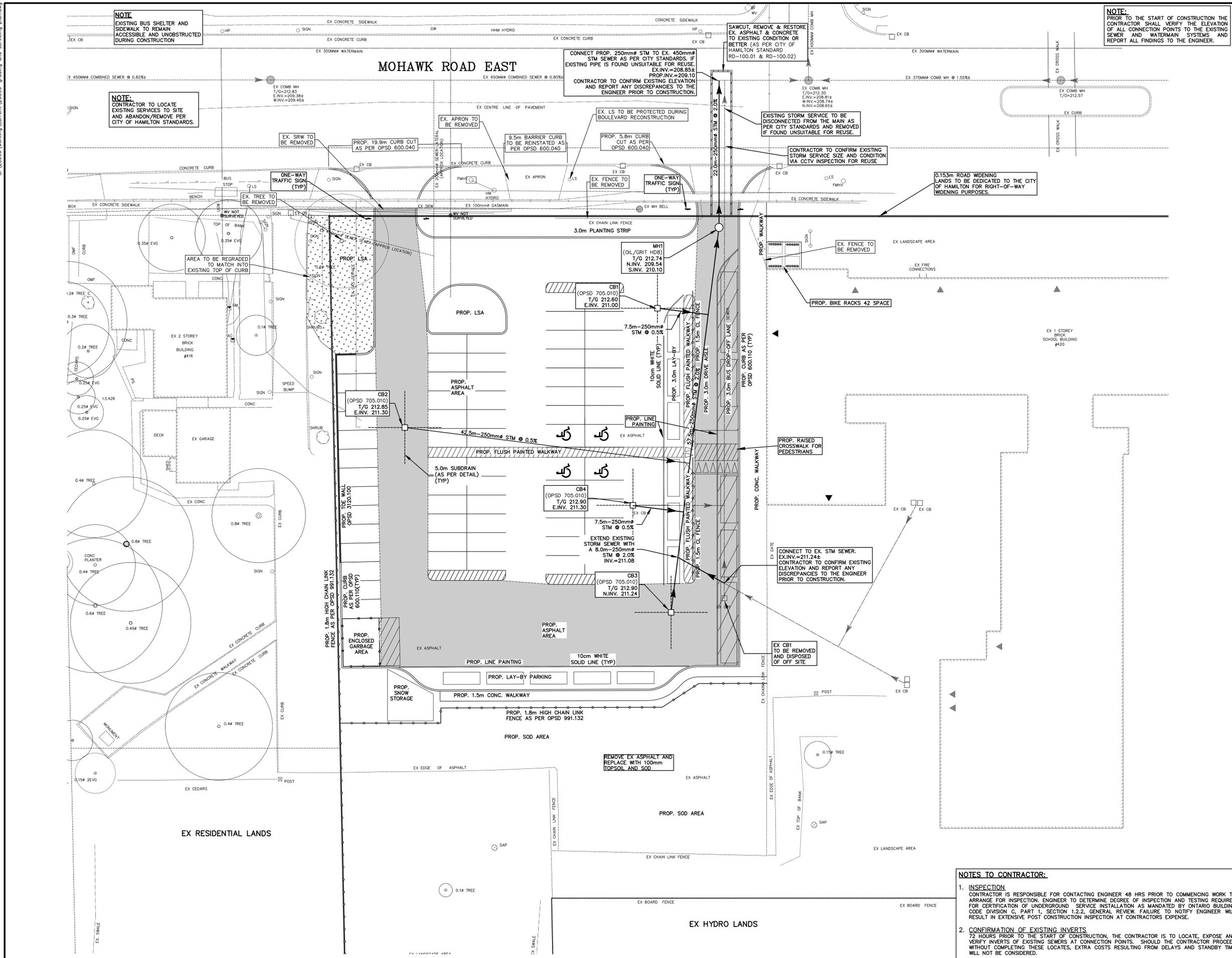
CLIENT
HAMILTON WENTWORTH CATHOLIC DISTRICT SCHOOL BOARD
90 MULBERRY ST, HAMILTON

PROJECT NAME
PARKING RECONSTRUCTION
416-420 MOHAWK ST E, HAMILTON

TITLE
GRADING AND EROSION & SEDIMENT CONTROL PLAN

PROJECT No. 23096 DRAWING No. C101

- NOTES TO CONTRACTOR:**
- INSPECTION**
CONTRACTOR IS RESPONSIBLE FOR CONTACTING ENGINEER 48 HRS PRIOR TO COMMENCING WORK TO ARRANGE FOR INSPECTION. ENGINEER TO DETERMINE DEGREE OF INSPECTION AND TESTING REQUIRED FOR CERTIFICATION OF UNDERGROUND SERVICE INSTALLATION AS MANDATED BY ONTARIO BUILDING CODE DIVISION C, PART 1, SECTION 1.2.2, GENERAL REVIEW. FAILURE TO NOTIFY ENGINEER WILL RESULT IN EXTENSIVE POST CONSTRUCTION INSPECTION AT CONTRACTORS EXPENSE.
 - CONFIRMATION OF EXISTING INVERTS**
72 HOURS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS TO LOCATE, EXPOSE AND VERIFY INVERTS OF EXISTING SEWERS AT CONNECTION POINTS. SHOULD THE CONTRACTOR PROCEED WITHOUT COMPLETING THESE LOCATES, EXTRA COSTS RESULTING FROM DELAYS AND STANDBY TIME WILL NOT BE CONSIDERED.



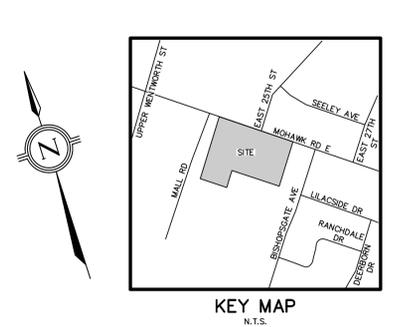
NOTE:
EXISTING BUS SHELTER AND SIDEWALK TO REMAIN ACCESSIBLE AND UNOBSTRUCTED DURING CONSTRUCTION

NOTE:
CONTRACTOR TO LOCATE EXISTING SERVICES TO SITE AND ABANDON/REMOVE PER CITY OF HAMILTON STANDARDS.

CONNECT PROP. 250mm^Ø STM TO EX. 450mm^Ø STM SEWER AS PER CITY STANDARDS. IF EXISTING PIPE IS FOUND UNSUITABLE FOR REUSE, EX.INV.=208.85±
CONTRACTOR TO CONFIRM EXISTING ELEVATION AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

SAWCUT, REMOVE & RESTORE EX ASPHALT & CONCRETE TO EXISTING CONDITION OR BETTER (AS PER CITY OF HAMILTON STANDARD RD=100.01 & RD=100.02)

NOTE:
PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE ELEVATION OF ALL CONNECTION POINTS TO THE EXISTING SEWER AND WATERMAIN SYSTEMS AND REPORT ALL FINDINGS TO THE ENGINEER.



LEGEND:

- x(100.00) EXISTING GROUND ELEVATION
- x(100.00)EX PROPOSED GROUND ELEVATION
- (100.00)/W PROPOSED ELEVATION TO MATCH EXISTING
- (100.00)/B/W PROPOSED TOP OF WALL ELEVATION
- 2.0% PROPOSED BOTTOM OF WALL ELEVATION
- PROPOSED DIRECTION OF SHEET FLOW
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DRAWN	SD	CHK'D	SF	Jun. 19, 24

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APPROVALS

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CLIENT
HAMILTON WENTWORTH CATHOLIC DISTRICT SCHOOL BOARD
90 MULBERRY ST, HAMILTON

PROJECT NAME
PARKING RECONSTRUCTION
416-420 MOHAWK ST E, HAMILTON

TITLE
SERVICING PLAN

PROJECT No.	DRAWING No.
23096	C102

NOTES TO CONTRACTOR:

- INSPECTION**
CONTRACTOR IS RESPONSIBLE FOR CONTACTING ENGINEER 48 HRS PRIOR TO COMMENCING WORK TO ARRANGE FOR INSPECTION. ENGINEER TO DETERMINE DEGREE OF INSPECTION AND TESTING REQUIRED FOR CERTIFICATION OF UNDERGROUND SERVICE INSTALLATION AS MANDATED BY ONTARIO BUILDING CODE DIVISION C, PART 1, SECTION 1.2.2, GENERAL REVIEW. FAILURE TO NOTIFY ENGINEER WILL RESULT IN EXTENSIVE POST CONSTRUCTION INSPECTION AT CONTRACTORS EXPENSE.
- CONFIRMATION OF EXISTING INVERTS**
72 HOURS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS TO LOCATE, EXPOSE AND VERIFY INVERTS OF EXISTING SEWERS AT CONNECTION POINTS. SHOULD THE CONTRACTOR PROCEED WITHOUT COMPLETING THESE LOCATES, EXTRA COSTS RESULTING FROM DELAYS AND STANDBY TIME WILL NOT BE CONSIDERED.

GENERAL NOTES

- THIS/THESE PLAN(S) IS/ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SEALED BY THE ENGINEER AND INDICATED ISSUED FOR CONSTRUCTION ON THE DRAWING.
- THIS/THESE PLAN(S) IS/ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF S. LLEWELLYN & ASSOCIATES LIMITED.
- INFORMATION REGARDING ANY EXISTING SERVICES AND/OR UTILITIES SHOWN ON THE APPROVED SET OF CONSTRUCTION DRAWINGS IS FURNISHED AS THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL INTERPRET THIS INFORMATION AS HE SEES FIT WITH THE UNDERSTANDING THAT THE OWNER AND HIS AGENTS DISCLAIM ALL RESPONSIBILITY FOR ITS ACCURACY AND/OR SUFFICIENCY. THE CONTRACTOR SHALL ASSUME LIABILITY FOR ANY DAMAGE TO EXISTING WORKS.
- EXISTING TOPOGRAPHIC AND LEGAL INFORMATION TAKEN FROM PLANS PREPARED BY A. T. McLAREN LIMITED, DATED JANUARY 29, 2024.
- PROPOSED LEGAL INFORMATION TAKEN FROM PLANS PREPARED BY A. T. McLAREN LIMITED, RECEIVED MAY 17, 2024.
- SITE PLAN INFORMATION TAKEN FROM PLANS PREPARED BY S. LLEWELLYN & ASSOCIATES LIMITED, DATED MAY 2024.
- THIS/THESE PLAN(S) TO BE READ IN CONJUNCTION WITH THE STORM WATER MANAGEMENT (SWM) REPORT PREPARED BY S. LLEWELLYN & ASSOCIATES LIMITED, DATED MAY 2024.
- THIS (THESE) PLAN(S) TO BE USED FOR SERVICING AND GRADING ONLY, FOR BUILDING LOCATION REFER TO THE SITE PLAN.
- MUNICIPAL APPROVAL OF THESE DRAWINGS IS FOR MATERIAL AND COMPLIANCE WITH CITY OF HAMILTON AND PROVINCIAL SPECIFICATIONS AND STANDARDS ONLY. APPROVAL AND INSPECTION OF THE WORKS BY THE CITY OF HAMILTON STAFF DOES NOT CERTIFY THE LINE AND GRADE OF THE WORKS NOR RELIEVE THE CONTRACTOR OF CERTIFICATION OF ALL WORKS BY THE OWNER'S ENGINEER.
- ALTERNATE MATERIALS MAY BE ACCEPTABLE PROVIDED WRITTEN APPROVAL HAS FIRST BEEN OBTAINED FROM THE CITY OF HAMILTON AND THE ENGINEER.
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - ROAD CUT PERMITS
 - SEWER PERMITS
 - APPROACH APPROVAL PERMITS
 - RELOCATION OF SERVICES
 - COMMITTEE OF ADJUSTMENT
 - ENCROACHMENT AGREEMENTS
- PRIOR TO CONSTRUCTION THE CONTRACTOR MUST:
 - CHECK AND VERIFY ALL DIMENSIONS AND EXISTING ELEVATIONS WHICH INCLUDE BUT ARE NOT LIMITED TO THE BENCHMARK ELEVATIONS, EXISTING SERVICE CONNECTIONS, EXISTING INVERTS AND REPORT FINDING IN WRITING TO THE ENGINEER.
 - OBTAIN ALL UTILITY LOCATES AND REQUIRED PERMITS AND LICENSES.
 - VERIFY ALL FINISHED FLOOR ELEVATIONS AND BASEMENT FLOOR ELEVATIONS WHICH MAY APPEAR ON THESE PLANS COMPLY WITH THE FINAL ARCHITECTURAL DRAWINGS.
 - CONFIRM ALL DRAWINGS USED FOR CONSTRUCTION ARE OF THE MOST RECENT REVISION.
 - NOTIFY THE ENGINEER OF THE PROPOSED CONSTRUCTION SCHEDULE FOR COORDINATION OF NECESSARY INSPECTIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ENGINEER 48 HOURS PRIOR TO THE COMMENCING SITE WORKS TO ARRANGE FOR INSPECTION. THE ENGINEER SHALL DETERMINE THE EXTENT OF INSPECTION AND TESTING REQUIRED FOR CERTIFICATION OF THE UNDERGROUND SERVICE INSTALLATION AS MANDATED BY THE ONTARIO BUILDING CODE DIVISION C, PART 1, SECTION 1.2.2, GENERAL REVIEW. FAILURE TO MAKE SUITABLE ARRANGEMENTS FOR INSPECTION WILL LEAD TO POST CONSTRUCTION TESTING AND INSPECTION AS DETERMINED BY THE ENGINEER. THE COSTS OF WHICH INCLUDING ANY DELAYS IN CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR. FULL PAYMENT FOR UN-INSPECTED WORKS MAY BE WITHHELD UNTIL THE COMPLETION OF THE POST CONSTRUCTION INSPECTION AND TESTING TO THE SATISFACTION OF THE ENGINEER.
- INSPECTION BY THE OWNER'S ENGINEER IS FOR CERTIFICATION AND GENERAL CONFORMANCE PURPOSES AND DOES NOT CERTIFY LINE AND GRADE OR IMPLY AN ASSURANCE OF QUALITY CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THE INSTALLATION OF THE WORKS TO PROPER LINE, GRADE AND QUALITY TO CURRENT INDUSTRY STANDARDS.
- ANY UTILITY RELOCATIONS AND RESTORATIONS DUE TO THE DEVELOPMENT TO BE UNDERTAKEN AT THE EXPENSE OF THE OWNER/DEVELOPER AND SHALL BE COORDINATED BY THE CONTRACTOR.
- ALL RESTORATIONS AND RECONSTRUCTIONS SHALL BE TO COMPLETED TO MATCH EXISTING CONDITIONS OR BETTER AND ARE TO BE PERFORMED TO THE SATISFACTION OF THE ENGINEER AND THE CITY OF HAMILTON.
- SERVICING CONTRACTOR TO MAINTAIN A "CONFINED TRENCH CONDITION" IN ALL SEWER AND WATERMAIN INSTALLATION TRENCHES.
- THE SITE SERVICING CONTRACTOR SHALL TERMINATE ALL SERVICES 1.0m FROM THE BUILDING FACE.
- NO BLASTING WILL BE PERMITTED.

SEWERS

- CONSTRUCTION OF STORM SEWERS SHALL BE IN ACCORDANCE WITH CITY STANDARDS & SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION).
- COVER AND BEDDING MATERIAL FOR CONCRETE PIPE SHALL BE GRANULAR 'A' MATERIAL AS PER OPSD 802.030 & 802.050 OR 802.033 & 802.053, CLASS 'B' BEDDING.
- COVER AND BEDDING MATERIAL FOR PVC PIPE SHALL BE GRANULAR 'A' MATERIAL AS PER OPSD 802.010 OR 802.013.
- PVC PIPE WILL REQUIRE SPECIAL CONSTRUCTION PROCEDURES AS PER CITY SPECIFICATIONS.
- ALL SEWERS TO BE VIDEO INSPECTED AS PER OPSD 409.
- ALL SEWERS TO BE FLUSHED PRIOR TO VIDEO INSPECTION.
- MANHOLE FRAMES AND COVERS SHALL BE AS PER OPSD 401.010 (STORM-OPEN).
- CATCHBASIN FRAMES AND GRATES SHALL BE AS PER OPSD 400.100 IN PAVED AREAS.
- SINGLE/DOUBLE CATCHBASINS SHALL BE AS PER OPSD 705.010/705.020 RESPECTIVELY WITH 500mm SUMP AND COSS TRAPS AS PER SEW-304.
- SEWERS 100mm TO 150mm IN DIAMETER SHALL BE PVC PIPE, CSA B182.2, SDR-28.
- STORM SEWERS 250mm TO 600mm IN DIAMETER SHALL BE PVC PIPE, CSA B182.2, SDR-35.
- ALL PVC STORM SEWERS ARE TO BE TESTED FOR DEFLECTION (MANDREL PASSAGE) AFTER INSTALLATION AS PER OPSD 410. PRIOR TO ASSUMPTION BY THE CITY, PIPE DEFLECTION TESTING SHALL BE REPEATED.
- CLEANOUTS CAN ONLY BE PROVIDED FOR SEWERS CONTAINING A SIZE OF 150mm IN DIAMETER OR SMALLER. CLEANOUTS SHALL BE PROVIDED AT EACH CHANGE IN PIPE ALIGNMENT (VERTICAL AND HORIZONTAL), AND AT ANY CHANGE IN PIPE SIZE OR MATERIAL.

GRADING NOTES

- ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATIONS WITH SLOPED SLOPES (MIN. 3% TO 1V) AND/OR RETAINING WALLS AS SPECIFIED.
- ALL RETAINING WALLS, WALKWAYS, CURBS, ETC., SHALL BE PLACED A MIN. OF 0.45m OFF THE PROPERTY LINE. ALL WALLS 1.0m OR HIGHER SHALL BE DESIGNED BY A P.E.N.G.
- SHOULD A RETAINING WALL BE REQUIRED, THE TOP OF WALL ELEVATIONS SHALL BE SET 150mm ABOVE THE PROPOSED SIDE YARD WALLS.
- RETAINING WALLS 0.6m IN HEIGHT OR GREATER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXTERIOR GUARDS AS CONTAINED IN THE ONTARIO BUILDING CODE.
- TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150mm (MIN) ABOVE FINISHED GRADE.
- DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 7.0% REVERSED SLOPED DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
- IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS, OTHERWISE RETAINING WALLS MUST BE USED.
- THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING THE WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
- DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO VAULTS AND OTHER STREET FURNITURE ARE A MIN. OF 1.2m FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.
- ANY CHANGES IN GRADES AND CATCH BASINS REQUIRE THE APPROVAL OF THE CITY'S MANAGER OF DEVELOPMENT ENGINEERING.
- ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.

COMPACTION REQUIREMENTS

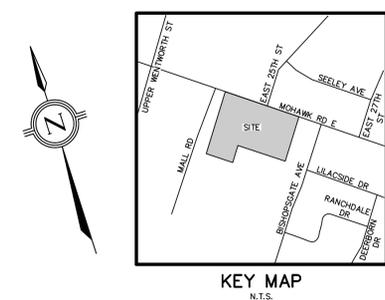
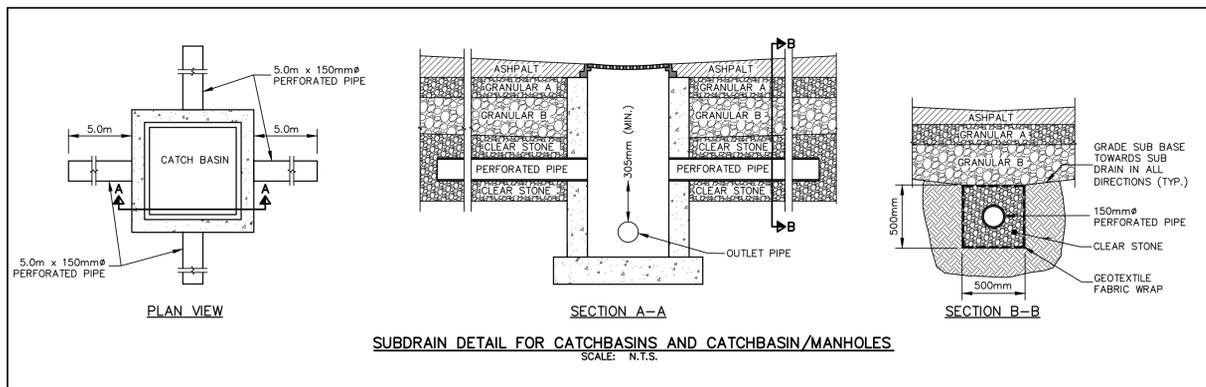
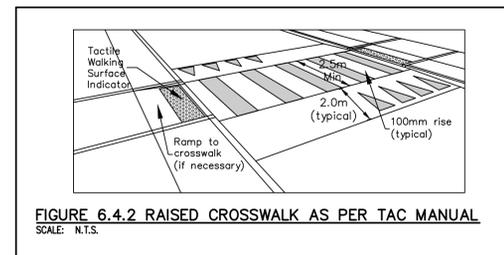
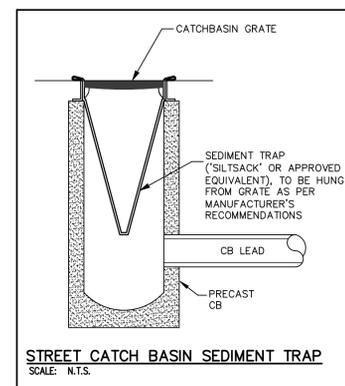
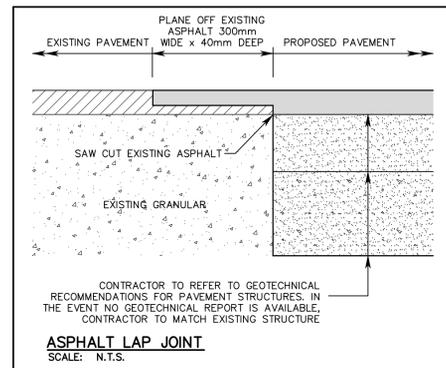
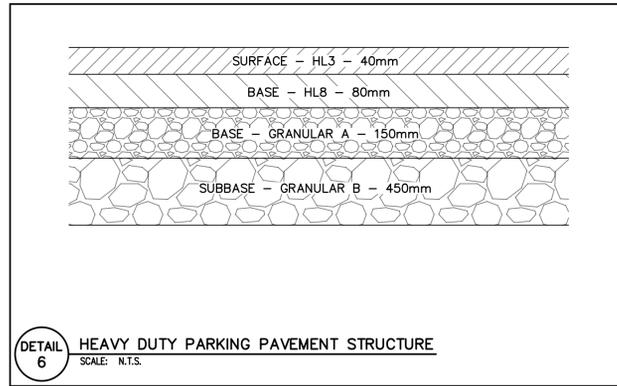
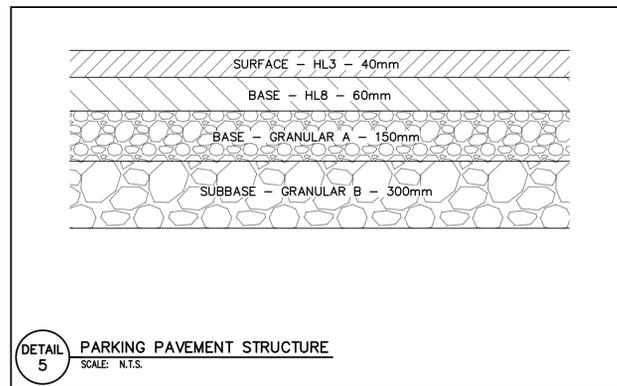
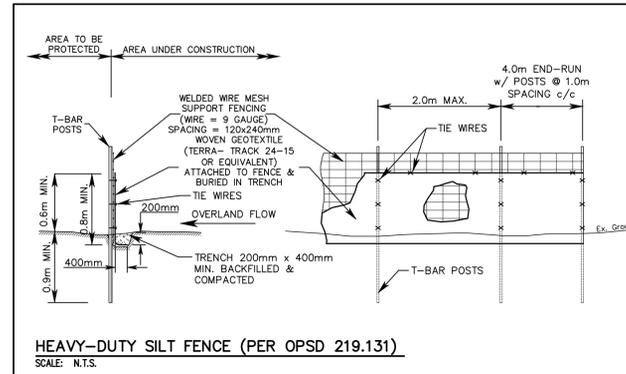
- UNLESS OTHERWISE NOTED OR DIRECTED BY THE GEOTECHNICAL CONSULTANT, THE FOLLOWING SHALL APPLY:
- ALL BEDDING AND BACKFILL MATERIAL ROAD SUB-GRADES AND GENERALLY ALL MATERIAL USED FOR LOT GRADING AND FILL SECTIONS, ETC., SHALL BE COMPACTED TO MIN. 98% SPD. ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm LIFTS.
 - ALL GRANULAR ROAD BASE MATERIALS SHALL BE COMPACTED TO 98% SPD.
 - FOR ALL SEWERS AND WATERMANS IN FILL SECTIONS, THE COMPACTION SHALL BE CERTIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO LAYING OF PIPE.

SILTATION AND EROSION CONTROL

- SILTATION CONTROL BARRIERS SHALL BE PLACED AS DETAILED.
- ALL SILTATION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AFTER EACH RAINFALL AS DIRECTED AND TO THE SATISFACTION OF THE CITY OF HAMILTON AND/OR THE HAMILTON CONSERVATION AUTHORITY.
- ADDITIONAL SILT CONTROL LOCATIONS MAY BE REQUIRED AS DETERMINED BY THE ENGINEER, THE CITY OF HAMILTON AND/OR THE HAMILTON CONSERVATION AUTHORITY.
- ALL EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED PRIOR TO DEVELOPMENT AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS, UNTIL ALL DISTURBED AREAS HAVE BEEN RE-ESTABLISHED.
- ALL EROSION AND SEDIMENT CONTROL DEVICES SHOULD BE INSPECTED MINIMUM WEEKLY, AFTER EVERY RAINFALL AND MAINTAINED AND CLEANED AS REQUIRED.
- THE OWNER IS RESPONSIBLE FOR THE REMOVAL OF ALL MUD AND DEBRIS THAT ARE TRACKED ONTO THE ROADWAYS FROM VEHICLES ENTERING AND LEAVING THE CONSTRUCTION SITE. THE OWNER SHALL, UPON VERBAL AND/OR REQUEST BY THE CITY, IMMEDIATELY PROCEED WITH THE CLEANUP OPERATION AT THEIR EXPENSE. SHOULD THE OWNER FAIL TO MAINTAIN THE ROAD AS DIRECTED, THE CITY WILL HAVE THE CLEANING CARRIED OUT, AND DRAW ON THE SECURITY FOR COSTS AND/OR LAY CHARGES.

SEWER/WATER ABANDONMENT

- ALL EXISTING UNUSED SEWERS MUST BE PROPERLY ABANDONED BY DISCONNECTING SEWER AT THE MAIN AND GROUTING EITHER END OF THE SEWER WITH A MINIMUM 300mm OF CONCRETE.
- UNUSED MAINTENANCE HOLES AND CATCHBASINS MUST BE COMPLETELY REMOVED.
- OPENINGS IN MAINTENANCE HOLES AND CATCHBASINS WHERE SERVICES WERE REMOVED OR ABANDONED MUST BE BRICKED AND PARGED.
- ALL EXISTING UNUSED WATER SERVICES MUST BE PROPERLY ABANDONED AS FOLLOWS:
 - FOR COPPER SERVICES: REMOVE CURB STOP, SHUT OFF MAIN STOP, CUT & CRIMP WATER SERVICE AT THE MAIN.
 - FOR PVC SERVICES: REMOVE GATE VALVE, REMOVE TEE AND REPLACE WITH SLEEVE. IF A TAPPING VALVE WAS USED, CONTACT THE CITY OF HAMILTON FOR FURTHER DIRECTION.



LEGEND:

x(100.00)	EXISTING GROUND ELEVATION
×(100.00)EX	PROPOSED GROUND ELEVATION
(100.00)T/W	PROPOSED ELEVATION TO MATCH EXISTING
(100.00)B/W	PROPOSED TOP OF WALL ELEVATION
2.0%	PROPOSED BOTTOM OF WALL ELEVATION
→	PROPOSED DIRECTION OF SHEET FLOW
□	EXISTING CATCHBASIN
○	EXISTING STORM/SANITARY MANHOLE
○	PROPOSED CATCHBASIN
○	PROPOSED STORM MANHOLE
○	PROPOSED SILTATION CONTROL FENCE
○	PROPOSED CATCHBASIN SILT SACK
→	EMERGENCY OVERLAND FLOW ROUTE
- - -	PROPOSED DRAINAGE BREAK LINE
→	EXISTING DIRECTION OF SHEET FLOW
---	PROPOSED NO PARKING AREA
CL	DENOTES CHAIN LINK

BENCH MARK NOTE:
STATION 07720090024
LOCATED IN HAMILTON IN SACKVILLE HILL PARK 26 METRES WEST OF CENTRELINE UPPER WENTWORTH STREET.
ELEVATION: 211.630 CGVD28:78

NO.	DATE	BY	REVISIONS
02	JUN 10/24	SD	ISSUED FOR TENDER.
01	JUN 7/24	SD	ISSUED FOR SPA.

NOTES TO CONTRACTOR:

- CONTRACTORS AND SUBCONTRACTORS SHALL NOT SCALE FROM THIS DRAWING.
- ANY INCONSISTENCIES AND OMISSIONS FOUND ON THE DRAWINGS MUST BE REPORTED TO THE ENGINEER FOR CLARIFICATION BEFORE COMMENCING THE WORK.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND ELEVATIONS AND REPORT ALL FINDINGS TO THE ENGINEER. ONCE CONSTRUCTION HAS COMMENCED, THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS.
- THE POSITIONS OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVER-GROUND UTILITIES AND STRUCTURES ARE NOT NECESSARILY SHOWN ON THE DRAWINGS. WHERE SHOWN ON THE DRAWING, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM THEMSELVES OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.
- ALL DRAWINGS REMAIN THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED, REVISED, OR REVISED WITHOUT THE WRITTEN CONSENT OF S. LLEWELLYN AND ASSOCIATES LIMITED.

DESIGN	SD	CHK'D	SF	DATE
DRAWN	SD	CHK'D	SF	Jun. 19, 24

SCALE

APPROVALS

STAMP

S. LLEWELLYN & ASSOCIATES LIMITED
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Website: www.sla.on.ca
email: info@sla.on.ca
3228 South Service Road, Suite #105 East Wing, Burlington, Ont., L7N 3H8

CLIENT
HAMILTON WENTWORTH CATHOLIC DISTRICT SCHOOL BOARD
90 MULBERRY ST, HAMILTON

PROJECT NAME
PARKING RECONSTRUCTION
416-420 MOHAWK ST E, HAMILTON

TITLE
NOTES AND DETAILS PLAN

PROJECT No.	23096	DRAWING No.	C103
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