

July 10, 2024

Sent via Email (17 pages + 8 drawings)

**ADDENDUM NO. 2  
RFTWORK ASSIGNMENT NO. CREM-PMO-24-009  
IN ACCORDANCE WITH  
REQUEST FOR SUPPLIER QUALIFICATION (RFSQ) NO. Doc 3512316731  
Closing July 15, 2024**

Structural Rehabilitation of the East Entrance at 703 Don Mills Rd. facility as detailed in the consultant's Drawings and Specifications documents and according to the City's Contract.

**CLOSING DATE:** July 15, 2024 AT 12:00 P.M. (Local time) \*No change

Please refer to the above Request for Quotation (RFQ) document in your possession and be advised of the following:

I. **QUESTIONS/ CLARIFICATIONS:**

- 1) Question 1: Specification Section 01 03 00, Clause 1.3, indicates a maximum allowable construction schedule of 12 weeks (6 weeks per phase). Is this negotiable?

Answer 1: The 12-week schedule is non-negotiable. The City may incur additional relocations costs if the schedule is exceeded due to contractor's delays.

- 2) Question 2: Are contractors meant to provide a temporary shoring design, and all temporary shoring as part of the base bid?

Answer 2: That is correct. Contractors may assume shoring for the entire slab as required.

II. **REVISIONS TO SPECIFICATIONS & DRAWINGS:**

- 3) Refer to **attached Addendum #2 document**, issued by Engineering Link, dated July 10, 2024 for revisions to the specifications and drawings. The attachment includes 16 pages plus 8 drawings.

Should you have any questions regarding this addendum, please contact the Roster Captain named below.

Please attach this addendum to your call document and be governed accordingly. Suppliers must acknowledge receipt of all addenda in their submission in the space provided on the Bid Form as per Clause 1.10 in Part 2 – Form of Agreements (RFSQ) NO. Doc 3512316731. All other aspects of the call remain the same.

**END OF ADDENDUM NO. 2**

**Roster Captain Name:** Malake AbouHmaid,  
**Title:** Sr. Project Manager, Project Management Office,  
**Division:** CREM

## ADDENDUM #2

<b>Project</b>	East Stair Structural Repairs	<b>Addendum No.</b>	2
<b>Project No.</b>	24-0306	<b>Date</b>	July 10, 2024
<b>From</b>	Engineering Link Incorporated	<b>Pages</b>	1 of 3

### Drawings issued:

Drawing no.	Drawing title	Revision no.	Date
R500	RESTORATION DETAILS	2	July 9, 2024
R501	WATERPROOFING DETAILS	2	July 9, 2024

### Specifications issued:

Section	Title	Revision no.	Date
01 03 00 REV 1	General Instructions	1	July 2024
01 11 13 REV1	Work Covered by Contract Documents	1	July 2024



**Description of revisions:**

Document	Description of Revisions
01 03 00 General Instruction	Add Item 1.15.2 to Contract Sign In & Interior Access: <b>Contractor may use the loading dock doors for temporary exhaust methods only if the Contractor maintains site personal to monitor door at all times.</b>
01 03 00 General Instruction	Add Item 1.19.4 to Temporary Protection and Enclosures: Temporary Mechanical Service Protection: <b>Contractor is responsible to protect the existing mechanical services below the structural slab as part of the base bid (not paid through allowances). Contractor to assume mechanical services will not be re-located, but rather re-hung to temporarily protect, wherever possible. Assume maximum clearance is 6-8" between services and contractor demolition area, and provide all necessary support and protection. Include cost to re-hang mechanical services in base bid Item #1.</b>
01 11 13 Work Covered by General	Add to Item #1 – Mobilization: <b>Item includes cost to temporarily re-hang mechanical services (assume mechanical services will not be relocated, but rather re-hung where possible). Assume maximum clearance at 6" – 8" between services and contractor demolition area, and provide all necessary support and protection. Refer to Specification Section 01 11 13 General Requirements Item 1.19.4.</b>
01 11 13 Work Covered by General	Add to Item #22 – Handrails: <b>This item includes concrete repair patches at the location of existing handrail removals.</b>
Drawing R500	Detail 7/R500 – Handrail detail: Updated callouts to note 1 5/8" handrail size and circular handrail mount (not square). Updated callout to include concrete patches at existing handrail removal locations.
Drawing R501	Added Detail 7/R501 – Upturn Detail at Building: Added upturn detail for EWS PUMA system at building interface.



**End of Addendum**

Regards,  
**Engineering Link Incorporated**

A handwritten signature in black ink that reads "Gabriel Anderson".

A handwritten signature in black ink that reads "D. Vickers".

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## **DIVISION 01 – GENERAL REQUIREMENTS**

### Section 01 03 00 – General Instructions

#### 1. GENERAL

##### 1.1 PROJECT SCHEDULE & PHASING

###### .1 **Phasing**

.1 **Project to be completed in two (2) phases in order to maintain continuous tenant access to east entrance/exit doors.**

###### .2 Project Start Date

.1 The proposed project start timeline is as indicated by the Bidder in Specification Section 00 40 00, Bid Form, under “Declarations”.

###### .3 **Project Completion Date**

.1 **The maximum allowable project duration is 12 consecutive weeks (6 weeks per phase).**

###### .4 Schedule

.1 The successful bidder must provide a project schedule within 5 (five) days of project award. An updated project schedule must be submitted every two (2) weeks. Payment will not be certified without submission of an updated project schedule.

##### 1.2 CARD READERS, DOOR OPENERS, INTERCOM, ETC

.1 Note that for Phase 2, the card reader and intercom will be temporarily disable, as there is a secondary security barrier inside the vestibule.

##### 1.3 PERMITS, INSPECTIONS AND CERTIFICATES

.1 The Contractor shall pay all costs associated with, and be responsible for, obtaining all permits, tests, and certificates, except for the building permit, as required by the local municipality. The Owner will obtain and pay for the building permit, if required.

.2 The Contractor shall be responsible for filing and posting a "Notice of Project" as required by the Occupational Health and Safety Act and Regulations for Construction Projects.

.3 Copies of inspection/approval certificates must accompany any invoices and shall be sent to the Owner.

##### 1.4 SAFETY CODES AND STANDARDS

.1 All work shall be in accordance with the latest edition of the Occupational Health and Safety Act and Regulations for Construction Projects in the Province of Ontario.

.2 Perform all work in accordance with the latest edition of the Ontario Building Code (OBC) unless otherwise specified.

.3 Work to meet or exceed the requirements of specified standards, codes, and referenced documents, the Fire Marshall, City Fire Prevention and Building Management.

.4 Comply with the requirements of the Workplace Hazardous Materials Information System (WHMIS) regarding use, storage, handling and disposal of hazardous materials, and regarding labelling and the provision of material safety data sheets

## 1.5 SUPPLEMENTARY DEFINITIONS

- .1 In the specifications, references such as, "shown on the Drawings," "specified", "scheduled", "called for", and the like, shall be deemed to include work required by the Contract Documents.
- .2 In the specifications, the expression "Trade(s)" is synonymous with subcontractor(s) if the context permits. The expression "All Trades" shall be deemed to include the Contractor.

## 1.6 SUPERVISION

- .1 The Contractor's supervisor or foreman shall be identified prior to the commencement of construction. The supervisor or foreman shall be physically on site while any or all work is being undertaken by all trades. The foreman or supervisor shall not be changed without 70 hours written notice to the Owner and provided that the proposed foreman meets the Owner's approval.

## 1.7 CONTRACTOR'S SANITARY FACILITIES

- .1 Sanitary facilities are not available on site for use by the Contractor.

## 1.8 CONTRACTOR'S ELECTRICAL SUPPLY

- .1 Electrical power supply is not available onsite- Contractor to supply all power.

## 1.9 CONTRACTOR'S WATER SUPPLY

- .1 Water supply is available to the limit of the existing service in the building on site and will be provided for construction usage, as directed by the Owner. Use of the water service will be permitted only so far as the supply provided to the building occupants is not restricted.

## 1.10 CONTRACTOR'S PARKING

- .1 Parking is not available onsite.

## 1.11 TEMPORARY WORKS

- .1 Means and methods of construction are completely and solely the responsibility of the Contractor. Cost of all temporary works to be included in the Contract Price.
- .2 The Contractor shall provide all temporary works to facilitate construction. Contractor to design, erect, maintain, remove and assume full responsibility for temporary works require for the safe and complete execution of the Work.
- .3 Access of heavy construction equipment and accumulation of construction materials on the floors are not permitted unless the Contractor has provided engineered load checks, due diligence site investigation and whatever else the Owner and Consultant deem required.
- .4 Submit shop drawings for all temporary works for review before fabrication commence. Shop drawings shall be sealed by a professional engineer registered in the Province of Ontario.

## 1.12 CONTRACTOR'S USE OF THE SITE

- .1 Do not encumber the site with materials or equipment.
- .2 Limit areas of work and storage to areas agreed to with the Owner.
- .3 Maintain full entry and exit facilities at all times. Keep all existing egress routes free from materials, equipment and obstructions of all kinds.

- .4 The Contractor is responsible for all damage to the interior finishes, cladding, roofing structure, landscaping (shrubs, bushes, grass, sidewalks etc.), as a result of the Work. The Contractor shall rectify any damages as part of the Base Bid.
- .5 No destructive temporary protection, hoarding, traffic flow, etc, measures can impact the structure, waterproofing systems, etc. Contractor is responsible for including non-destructive methods in their cost.

#### 1.13 OCCUPATION AND PROTECTION OF PREMISES

- .1 The Contractor is solely responsible for the safety and security of the construction site.
- .2 From the time of commencement to the completion of the total contract, the Contractor shall protect the premises and all persons from hazards that are likely to occur as a result of his operations. The Contractor is solely responsible for any damages or such claim for damages as a direct or indirect result of his operations.
- .3 Execute the Work to cause minimum interference to occupants and personal affects and the daily operations of the site. Coordinate all work 1 week in advance of execution with the Owner's Representative.
- .4 Do not permit public access to the construction area or to areas immediately below or adjacent to work areas.
- .5 The building will remain in full operation during the execution of the Work.
- .6 Control dust, water and odours from operations to the complete satisfaction of the Owner as well as to municipal and provincial regulations.
- .7 All protection barriers, pedestrian control measures, signage, temporary lighting, dust control, odour control, noise control, protection of building elements (such as exterior wall cladding, interior finishes etc) etc., shall be inclusive to the contract and no further or separate payment shall be made.

#### 1.14 WORKING HOURS

- .1 **Permissible working hours are:**
  - .1 **General:**
    - .1 **Monday to Friday, 7:00 AM to 7:00 PM**
    - .2 **Saturday 9:00 AM to 7:00 PM**
    - .3 **Sunday, quiet work only**
  - .2 **Noisy Work (*Concrete Removals*): Contractor must advise the City a minimum two (2) week in advance.**
  - .3 **All work to be in accordance with applicable by-laws.**
  - .4 **All work must be coordinated with the Owner.**

#### 1.15 CONTRACTOR SIGN-IN & INTERIOR ACCESS

- .1 Contractor to sign in with Security each workday. Contractor must be escorted when accessing interior spaces. Police clearance may be required at the discretion of the City Site Team.

- .2 Contractor may use the loading dock doors for temporary exhaust methods only if the Contractor maintains site personal to monitor door at all times.

#### 1.16 OTHER PROJECTS

- .1 The Contractor must coordinate with the City to avoid conflicts with other construction activities.

#### 1.17 EXISTING CONDITIONS

- .1 Report in writing to the Owner, prior to commencing the Work, any conditions or defects encountered on site and which may adversely affect the performance of the Work.
- .2 Do not commence with the Work until such conditions or defects have been investigated and corrected.
- .3 Commencement of the Work implies acceptance of surfaces and conditions. No claim for damages or resulting extra work will be accepted where such conditions were known, visible or reasonably inferable at the time of bidding.
- .4 Ascertain the location of any services buried in the structure prior to cutting and take protective measures.
- .5 The Owner or Consultant will not be liable for any difficulties encountered or expenses incurred resulting from any condition known, or visible, at the time of bidding.
- .6 Check and verify on site all dimensions details and measurements required for any part of the Work, which is to fit to or conform to work already installed.

#### 1.18 RESPONSIBILITY FOR TEMPORARY STRUCTURES

- .1 Take precautions to prevent the overloading of scaffolding, and other temporary structures. Make good, at own expense, any damage resulting from such overloading.
- .2 Make good all areas affected by the use of any and all temporary structures.

#### 1.19 TEMPORARY PROTECTION & ENCLOSURES

- .1 Interior: Full-height hoarding (wooden frame, plywood and poly tarping) is required around all interior work areas, including inside server room. Areas to be dust tight and secure.
- .2 Exterior: Contractor to provide temporary protections and enclosures necessary to ensure the work area remains:
- .3 As a bare minimum, **Contractor to provide a shop drawing of temporary structure, to be constructed of shore towers with plywood to minimum 8-feet from ground level, new door with lock, plywood/modified bitumen roofing system, etc. Provide all necessary temporary protection to ensure the storage spaces below, building, etc., remains in a watertight condition and protected from all external environmental elements. The enclosures are to provide adequate control that meets the following:**
  - .1 Watertight and protected from exterior environmental elements
  - .2 Security to prevent unlawful entry
  - .3 Interior space thermal comfort

- .4 Minimum R-Value of R13
  - .5 Air barrier that is continuous to prevent the uncontrolled airflow between the interior and exterior
  - .4 Dust/debris control
  - .5 Protection of mechanical/electrical equipment below.
  - .6 Around enclosures, maintain the Contractor to provide new-looking 6-foot height chainlink fence/fast fence around the entire work area perimeter, covered with well-maintained, new, black scaffnet fabric and custom signage. Contractor to maintain a neat and tidy site appearance at all times.
- .4 Temporary Mechanical Service Protection
- .1 **Contractor is responsible to protect the existing mechanical services below the structural slab as part of the base bid (not paid through allowances). Contactor to assume mechanical services will not be re-located, but rather re-hung to temporally protect, wherever possible. Assume maximum clearance is 6-8" between services and contractor demolition area, and provide all necessary support and protection. Include cost to re-hang mechanical services in base bid Item #1.**
- .5 Base Bid Additional Protections:
- .1 This includes, but is not limited to temporary lighting, access (interior and exterior as required to facilitate work), shoring, etc.
  - .2 Install all necessary fencing, hoarding, barriers and signage to protect staff, building elements, vehicular and pedestrian traffic in accordance with the Occupational Health and Safety Act.
  - .3 Maintain all building entrances as fire exits from the building at all times during construction. Post all necessary signage to indicate construction and erect all barricades/hoarding protection necessary to direct pedestrians through the construction area. Alternately, contractor to commission a fire safety consultant to provide a fire safety plan for alternate routes. Contractor to provide all temporary signage, permits, obtain all fire department approval, etc.
  - .4 Erect all necessary barriers to keep pedestrians from gaining access onto the scaffolding the end of each work day.
  - .5 Carry out tree protection in accordance with City of Toronto Tree Protection Policy for all trees near the work area.  
[https://www1.toronto.ca/city\\_of\\_toronto/parks\\_forestry\\_\\_recreation/urban\\_forestry/files/pdf/TreeProtSpecs.pdf](https://www1.toronto.ca/city_of_toronto/parks_forestry__recreation/urban_forestry/files/pdf/TreeProtSpecs.pdf)
  - .6 Include all necessary construction signage and coordination. Signage is to be properly lettered and visible.
  - .7 In addition to preventing injury, all work areas must be protected from damage due to equipment.

- .8 Provide temporary support to existing structural loads, where required, to ensure the building is maintained in a safe condition and damage is not caused to building elements. Any damage as a result of inadequate shoring or support shall be rectified at no additional cost to the Owner. **Shop drawings are to be provided for all required shoring designed and sealed by an engineer licensed to practice in the province of Ontario. This includes temporary lateral support prior to demolition of slabs, support of construction loads, etc.**
- .9 Include the manufacture and installation of all necessary material and performance of site mock-ups that will be required to the satisfaction of the Owner and Consultant.
- .10 Make allowances during construction for down time made necessary for access to and review of the Work by Consultant.
- .11 Following removal of the temporary enclosure, clean the building interiors (storage rooms below) of all construction dust, dirt and debris to the satisfaction of City of Toronto.
- .12 Provide, maintain and remove protection barriers, dust-tight partitions, lighting and warning signs and protect the building and adjacent areas from flying debris, dust, water impingement and any and all such hazards as may cause damage or destruction to persons, vehicles, furnishings or elements of the structure.
- .13 Protection must be provided to ensure the building finishes, especially flooring, are not marked or damaged in all areas travelled by the Contractor within the building.
- .14 Rectify any damage resulting from inadequate protection during the Work.
- .15 Do not exceed the safe live load capacity due to loads from equipment, materials, and the like, without the areas being adequately shored. Wherever possible, materials to be stored on grade. As a minimum, the contractor must include for an engineered letter and drawing confirming allowable material, equipment, etc, loads allowed during construction. Letter must be provided prior to mobilization.

## 1.2 MAINTAINING LIFE SAFETY SYSTEMS IN OCCUPIED FACILITIES

- .1 Maintain operational life safety systems and public access to exits in occupied areas during all stages of the Work.
- .2 Determine nature and exact locations of existing fire and smoke sensors prior to the commencement of the Work. Avoid direct or indirect jarring while working in adjacent areas and exercise caution to avoid triggering these devices.
- .3 Be responsible for costs incurred by Owner on account of false fire alarms activated as a result of the execution of the Work without adequate precautions.

## 1.3 COORDINATION

- .1 The entire project will require strict coordination with the building operation staff and tenants.
- .2 It is conceivable that a scheduled unit replacement can be altered the same day due to unanticipated tenant requirements or building operations. The contractor is to be prepared with alternate unit replacement so as not to lose production days.

## 1.4 PROJECT SIGNS

- .1 No signs or advertisements of any description, other than those regarding safety, caution, and instructions shall be permitted.

## 1.5 MAINTENANCE

- .1 Maintain all parts of the Work from the time of installation until final acceptance. Any completed work damaged prior to completion of the Work shall be rectified at the Contractor's expense.
- .2 Report immediately, in writing to the Owner, all incidents of damage to the installations by vandals or others prior to acceptance.

## 1.6 RESTORATION

- .1 Repair all areas having been damaged in the process of execution of the Work and replace all items being damaged beyond repair, to the complete satisfaction of the Owner.
- .2 Repair all areas having been damaged on adjacent properties in the process of execution of the Work and replace all items damaged beyond repair, to the complete satisfaction of the Owner and the adjacent property Owner. In all cases, blend with existing conditions.

## 1.7 REVIEW

- .1 Give timely notice when any phase of the Work is ready for review by Consultant and notice in writing when the Work is complete and ready for final inspection. A minimum of thirty-two (32) hours notice is required.
- .2 The Consultant's general review during construction are undertaken to inform the Owner of the Contractor's performance and shall in no way augment the Contractor's quality control or relieve the Contractor of contractual responsibility.
- .3 The Contractor shall provide access to the Consultant to facilitate review of the Work at no extra cost to the Owner or the Consultant. Where work is carried out by swing stage, provide a third life-line.
- .4 Should additional work and/or visits by the Consultant be required because of the Contractor's failure to perform in accordance with the Contract Documents, or if additional design or drafting time is required by the Consultant to provide/review corrective measures caused by the Contractor's failure to perform in accordance with the Contract Documents, the Contractor shall reimburse the Consultant at the rate of direct personnel expense plus 150% overhead plus travel, equipment and material costs plus H.S.T. where applicable. This cost cannot be passed onto the Owner.

## 1.8 SUBMITTALS

- .4 Within (5) five days after award of contract, the Contractor shall submit the following information for review:
  - .1 General Liability Insurance
  - .2 Bonding
  - .3 WSIB
  - .4 Schedule

## 1.9 WARRANTY

- .1 General: The Contractor shall submit a full labour and material warranty against defective workmanship or materials that result in maintenance or repair for a period of TWO (2) years from the date of Substantial performance of the Contract.

- .2 Water Seal Installation (Tremco Vulkem EWS): The Contractor shall submit a full labour and material warranty against defective workmanship or materials that result in water penetration, material incompatibility, material failure etc for a period of TEN (10) years from the date of Substantial Performance of the Contract.
- .3 Warranty coverage to include the repair of any premise/content property damaged as a result of failure of the waterproofing assembly system.
- .4 The warranty is to be supplied on official company letterhead and shall bear the corporate seal.  
  
Within 10 days of written notification from the Owner, the Contractor is to begin taking step to rectify the above defects including all cost associated with replacement and reinstatement of the expansion joint assembly, including the cost of making good items damaged or removed in order to perform the work.

1.10 CLEANLINESS AND REMOVAL OF RUBBISH

- .1 Keep the building site and work areas free from accumulation of dirt, debris, and excess materials.
- .2 At the end of each working day, the work areas shall be made clean. Remove waste from premises at the close of each day or more often, if required.
- .3 Upon completion of the Work and immediately prior to final inspection by the Consultant and Owner, thoroughly clean the Work. Clean all elements of the building adjacent to and affected by the Work, including but not limited to: glass, roof, and walls.

END OF SECTION 01 03 00



## **DIVISION 01 – GENERAL REQUIREMENTS**

### Section 01 11 13 – Work Covered by Contract Documents

#### 1.1 GENERAL

- .1 Bids shall be based on the materials and methods as outlined in the bid documents. If the contractor cannot meet the requirements, no bid shall be entered.
- .2 Refer to Section 01 03 00 - General Requirements for the hours of operation, noise restrictions, and hoarding requirements, etc.
- .3 Refer to the technical specifications and drawings sections for products, and technical requirements.

#### 1.2 SCOPE OF WORK

- .1 The work outlined herein is a general description. The specific requirements for the execution of the Work shall be as described in the bid documents. The itemized tasks of work outlined below correspond with the items outlined in Section 00 40 00 - Bid Form.

#### 1.3 PURPOSE OF WORK

- .1 The purpose of this project is to perform structural and waterproofing repairs to the stair.

#### 1.4 BASE BID

##### **.1 Mobilization and General Requirements (including Temporary Protection to ensure work area remains water tight and insulated, to protect interior spaces below)**

- .1 Mobilize on site all plant, tools, equipment and labour required to carry out this Work.
- .2 Provide all the necessary labour, plant, equipment, and materials necessary to conform to all requirements as specified in the Contract Documents, including Specification Section 01 11 13 General Requirements.
- .3 Includes an extraordinary temporary enclosure structure and protection over repair areas, see Specification Section 01 11 13 General Requirements.
- .4 Supply and install full-height hoarding inside server room, to maintain dust and water tight separation.
- .5 Item includes cost to temporarily re-hang mechanical services (assume mechanical services will not be relocated, but rather re-hung where possible). Assume maximum clearance at 6" – 8" between services and contractor demolition area, and provide all necessary support and protection. Refer to Specification Section 01 11 13 General Requirements Item 1.19.4.

##### **.2 Bonds and Permits**

- .1 Provide specified bonds to the Owner following the contract award. Work must not commence without the submission of the Performance Bond, and the Material and Labour Bond.
- .2 Obtain and pay for all Federal, Provincial and Municipal permits necessary for this work, with the exception of the building permit, which will be obtained by the Owner.

##### **.3 Topographic Survey of Stair Before Mobilization**

- .1 Commission a licensed site surveyor to complete a topographic survey of the stair before demolition, to ensure finish elevations match, except where drainage improvements are required, as approved by the Consultant.
- .2 Provide a pdf drawing of the survey within three weeks of award.

**.4 Engineered Temporary Shoring Design Drawings**

- .1 For pricing, assume shoring of the entire structure is required.
- .2 Contractor and temporary shoring designer to visit site and review all spaces impacted by shoring. Contractor to survey interior conditions, mechanical services, electrical services, during walk-around and ensure temporary shoring is designed around any obstructions.
- .3 Submit engineered temporary shoring drawings within three (3) weeks of contract award, for the Consultant's review. Shop drawings are to be provided for all required shoring designed and sealed by an engineer licensed to practice in the province of Ontario.
- .4 Temporary shoring design engineer and contractor to make regular maintenance inspections. A minimum three (3) maintenance inspection letters are required.
- .5 Structural shoring engineer must have minimum ten (10) years previous experience shoring existing buildings undergoing localized reinforced concrete repairs. Design must be as economical as possible and have minimum impact to building interior and facilities used.
- .6 Any additional shoring required to support construction loads to be at contractor's expense.

**.5 Engineered Temporary Shoring Review Letters**

- .1 Provide letters from the design engineer approving the installed shoring. Stamped letters are required before removals will be permitted. Minimum three (3) shoring review letters are required.
- .2 Demolition cannot commence until the shoring design engineer has performed an onsite review and the contractor has provided their written approval letter to the Consultant.

**.6 Demobilization and Site Cleanup**

- .1 Demobilize all plant, tools, equipment and labour for this Work from site. Upon completion of Work, and immediately before the Consultant's final review for Total Performance of the work, all areas of the building affected by this Contract shall be thoroughly cleaned. Include the dismantling and removal of the scaffolding at the completion of the project. Remove all temporary protection, equipment, waste and surplus materials from site and leave in neat, tidy condition to the satisfaction of the Owner.

**.7 Warranties**

- .1 Provide specified warranties (on contractor letterhead, not subcontractor or manufacturer warranties).

**.8 Tremco Manufacturer Review Letters**

- .1 Tremco Vulkem EWS (PUMA) waterproofing installation to be performed under the supervision of a Tremco representative at all times. Provide manufacturer review letters, confirming material was installed in accordance with the project specifications and manufacturer requirements.

**.9 Engineered Temporary Shoring Installation, Maintenance and Removal**

- .1 Provide temporary support to existing structural elements/loads, where required, to ensure the building is maintained in a safe condition and damage is not caused to building elements. Any damage as a result of inadequate shoring or support shall be rectified at no additional cost to the Owner. Shop drawings are to be provided for all required shoring designed and sealed by an engineer licensed to practice in the province of Ontario, per above items.
- .2 All labour, equipment, materials and supervision required to supply, install, maintenance and remove temporary shoring systems in accordance with the Project Drawings and Specifications.
- .3 The Contractor's temporary shoring design engineer to determine where temporary shoring is required but, as a bare minimum, costing for temporary shoring at locations noted in the Project Drawings must be included. The Contractor's temporary shoring design engineer must determine where other shoring is required prior to tender close. No additional shoring costs will be entertained after tender close.
- .4 Removal and patching of existing interior finishes is to be included as required for shoring installation, including safe removal procedures.

**.10 Stair Topside Repair**

- .1 Provide all labour, equipment, materials and supervision required to perform topside concrete repairs in accordance with the Project Details and Specifications.
- .2 Perform all sounding and complete mark-outs for the Consultant's review. Provide a map with quantities, for Consultant's review prior to site visit.

**.11 Stair Through-Slab Repairs (price to assume additional chipping at walls)**

- .1 Similar to Item 9.

**.12 Landing Topside Repair**

- .1 Similar to Item 9.

**.13 Landing Through-Slab Repair (price to assume additional chipping at walls)**

- .1 Similar to Item 9.

**.14 Reinforcing Steel**

- .1 Provide all labour, equipment, materials and supervision required to supply and install new reinforcing steel in accordance with the Project Details and Specifications.

**.15 Dowels Secured with Epoxy Adhesive**

- .1 Provide all labour, equipment, materials and supervision required to supply and install new reinforcing steel dowels secured with epoxy adhesive in accordance with the Project Details and Specifications. Assume 15M reinforcing steel with Hilti Hy-200.

**.16 Galvanic Anodes**

- .1 Provide all labour, equipment, materials and supervision required to supply and install new galvanic anodes in accordance with the Project Details and Specifications.

- .17 Wholesale Removal and Disposal of All Existing Toppings and Waterproofing Systems (to expose bare structural slabs)**
- .1 Provide all labour, equipment, materials and supervision required to remove and dispose of existing toppings (concrete, terrazzo, etc) and waterproofing systems in order to expose bare structural slab.
- .18 Supply and Installation of New Tremco Vulkem EWS (Pedestrian) Waterproofing Systems (including Epoxy for Resloping)**
- .1 Supply and install new waterproofing system in accordance with the Project Details and Specifications.
- .2 Payment certification is contingent on receiving manufacturer approval letters.
- .19 Supply and Installation of New Concrete Topping at Landings**
- .1 Provide all labour, equipment, materials and supervision required to supply and install new concrete topping at landings (similar to existing construction) in accordance with the Project Details and Specifications.
- .20 Install 2" Wide Strip of Black Tremco Vulkem EWS Topcoat at Stair Tread Edges**
- .21 Handrail Shop Drawings**
- .1 Within three (3) weeks of contract award, provide stair handrail shop drawing, stamped by a licensed professional Engineer .
- .2 If handrails are not installed in time for re-opening of each phase, the Contractor must supply a temporary OBC compliant railing at their own cost. To include localized waterproofing repairs as required.
- .22 Remove and Dispose of Existing Handrails and Supply and Installation of New Stainless Steel Handrails**
- .1 Provide all labour, equipment, materials and supervision required to remove and dispose of existing handrails and supply and install ne stainless steel handrails as indicated in the Project Drawings and Specifications.
- .2 This item includes concrete repair patches at location of existing handrail removals.
- .23 New Tactile Plates**
- .1 Provide all labour, equipment, materials and supervision required to supply and install new tactile plates at top of stair risers as indicated in the Project Drawings and Specifications.
- Product: 24" Wide Armor-Tile Tactile System by Kinesik (Surface Applied) to span full width of stairs
- Contractor to seal all penetrations prior to anchoring.
- .24 Cleaning All Leakage Staining at Soffit Below Stair and Repaint Previously Painted Soffits**
- .25 Mechanical & Electrical Protection Allowance**
- .1 Provide all labour, equipment, materials and supervision required to temporarily protection, temporarily relocate, replace, temporarily support, etc., existing mechanical and electrical services as required to complete the repair work.

- .2 Contractor to use Base Building Service Providers approved by the City of Toronto.
- .3 Payment of this item is based on the cost to the Contractor marked up 10%. Contractor must show proof of costs. Unexpended portions of this allowance will be deducted from the Contract Price. Increase in allowance beyond the stipulated amount shall be authorized by a Change Order.
- .4 Contractor must provide proposed scope in the form of a Contemplated Change Order for the Owner's review and approval via Change Order prior to proceeding with work.

**.26 Testing Allowance**

- .1 Arrange and pay for a third party testing company/consultant, acceptable to the Owner and Consultant, to perform testing specified herein and as directed by the Consultant. Examples of testing that may be requested include: concrete strength. Administer this allowance and do not arrange for testing beyond the stipulated amount without approval. No payment shall be made for costs incurred as a result of re-testing necessitated by work that has failed a previous test.
- .2 Payment of this item is based on the cost to the Contractor marked up 10%.
- .3 Unexpended portions of the testing allowance will be deducted from the Contract Price.
- .4 Increase in allowance beyond the stipulated amount shall be authorized by a Change Order.

**.27 Contingency Allowance**

- .1 The Contingency Allowance may be used for electrical repairs to embedded conduits (due to chipping needed to facilitate base repair scope), where the embedded services were not reasonably foreseeable by reviewing the existing building drawings, meeting with the base building electrician, using ground penetrating radar scans, and visual review.

It may also be used for Owner-requested changes due to unforeseen site conditions. Owner's written approval in the form of a Change Order is required before any work requiring use of this allowance can proceed, otherwise payment will not be certified.

Payment will not be certified for any work undertaken prior to receiving Owner approval via a Change Order.

For unit rate work, the Contractor is required to track the unit rates and notify the Consultant and Owner when they are 20% away from the target quantity. Payment will not be certified for unit rate work exceeding the contract quantity without written permission from the Owner in advance of undertaking the work.

Subcontractor invoices are to be charged directly with a maximum 10% mark-up.

END OF SECTION 01 11 13



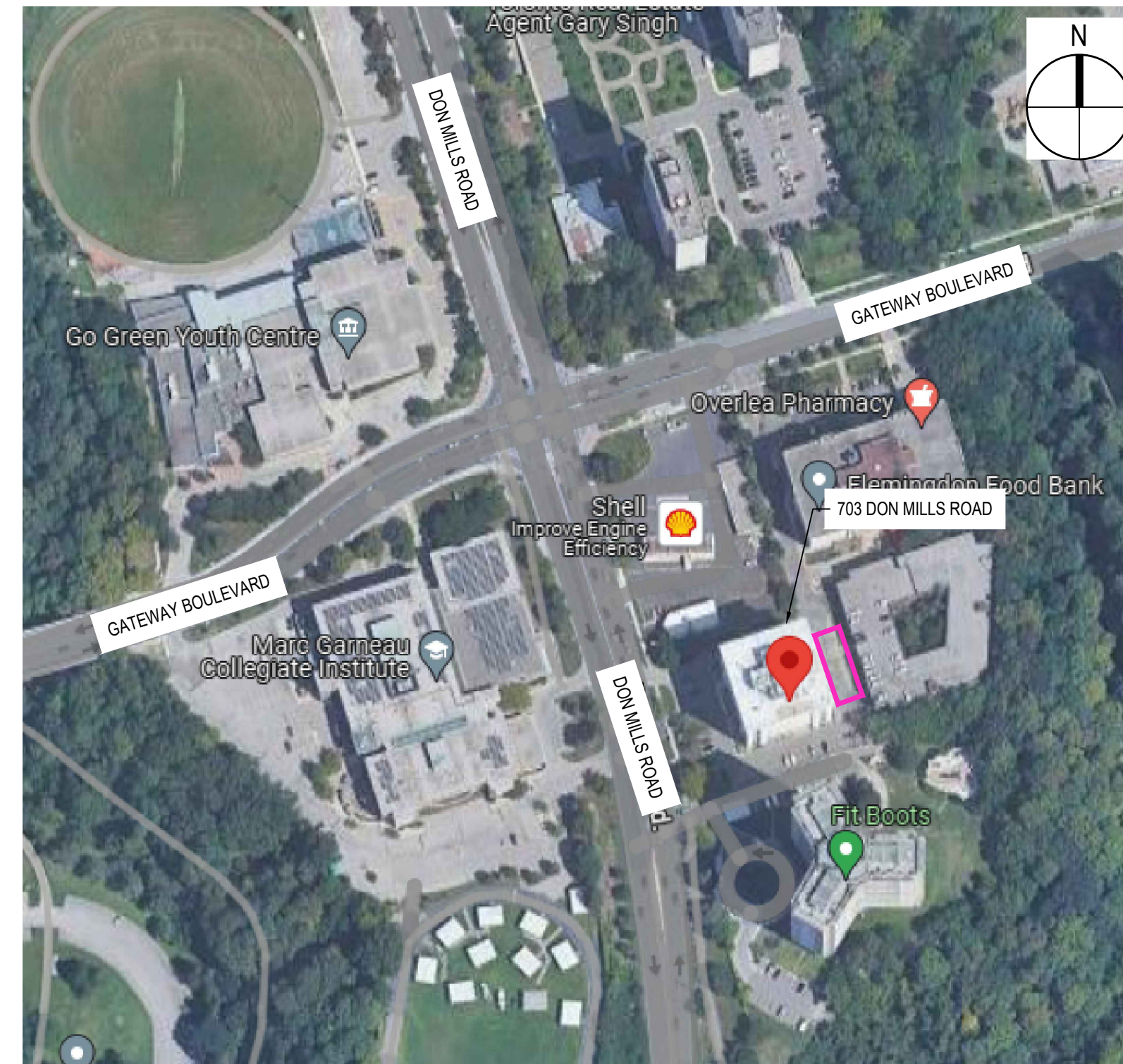
# 703 DON MILLS ROAD, TORONTO, ON.

## EAST STAIR STRUCTURAL REPAIRS

No.	Issue Description	YYYY-MM-DD
0	ISSUED FOR CLIENT REVIEW	2024-06-04
1	ISSUED FOR TENDER	2024-06-20
2	ISSUED FOR ADDENDUM #2	2024-07-09

### LIST OF DRAWINGS

DRAWING NO.	DRAWING TITLE
R000	TITLE PAGE
R100	WORK PLAN
R500	RESTORATION DETAILS
R501	WATERPROOFING DETAILS
R502	SEPARATE PRICE ITEMS
R600	PHOTOGRAPHS
R700	EXISTING BUILDING DRAWING
R800	RAILING PHOTOGRAPH



North

Project Title:

703 DON MILLS ROAD

EAST STAIR STRUCTURAL REPAIRS

703 DON MILLS ROAD, TORONTO, ON.

Designed By: D.V. Scale: AS NOTED

Drawn By: S.C. Date: 2024-05-13

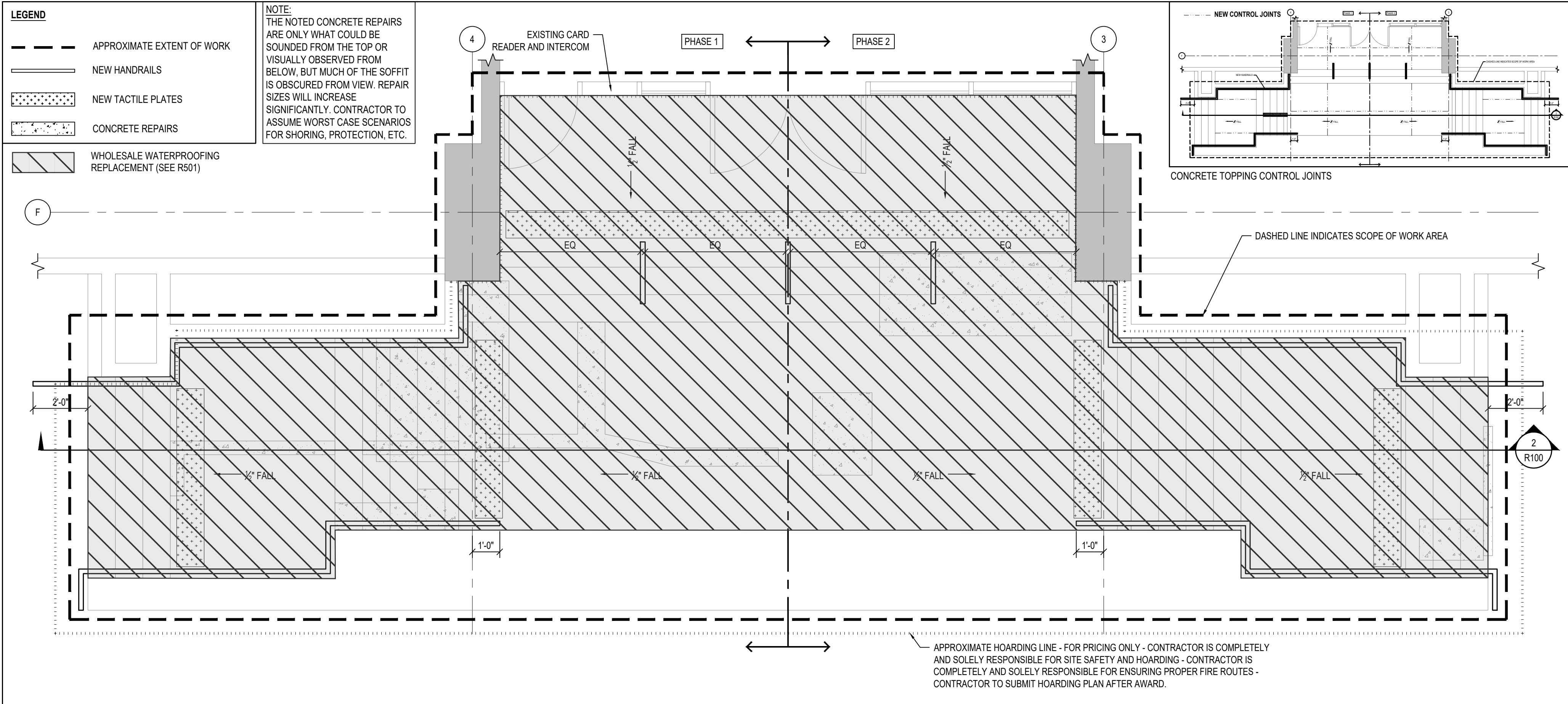
Drawing Title

TITLE PAGE

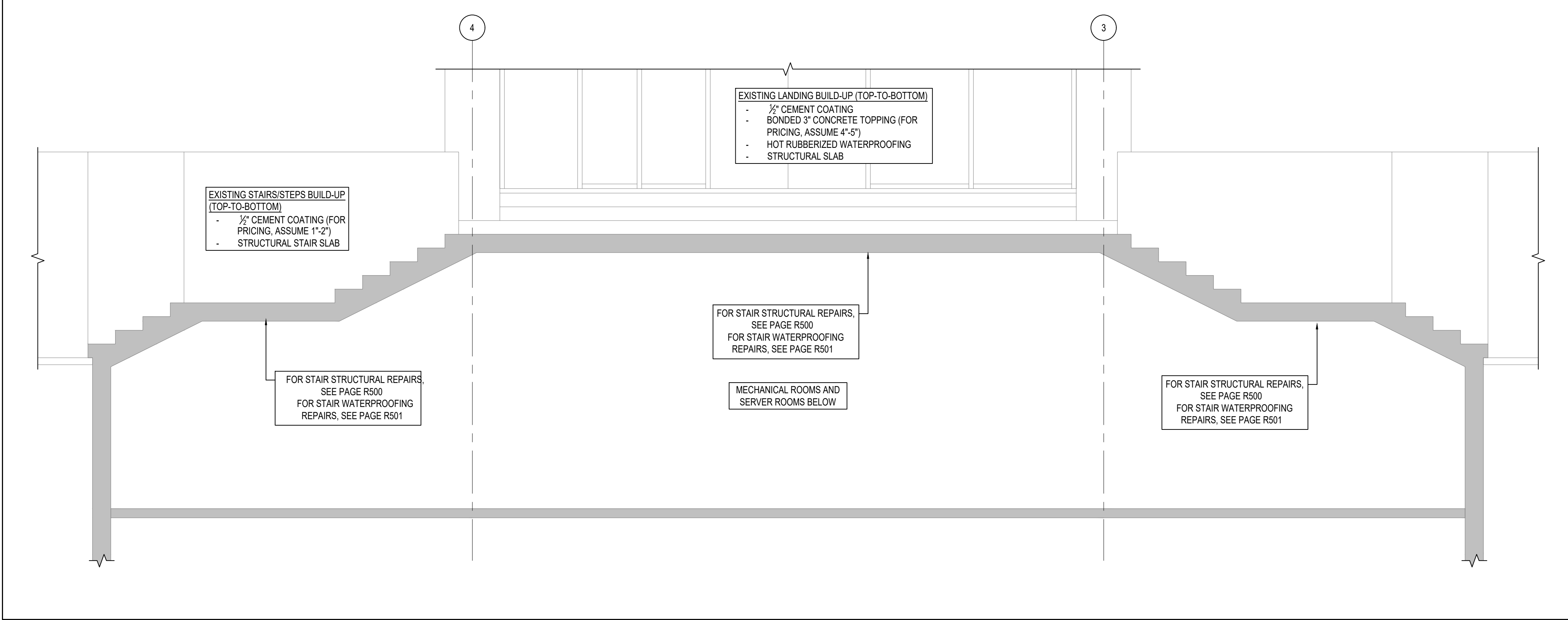
Drawing Number

R000





1 EAST STAIR PLAN VIEW  
SCALE: N.T.S.



2 EAST STAIR LONGITUDINAL SECTION  
SCALE: N.T.S.

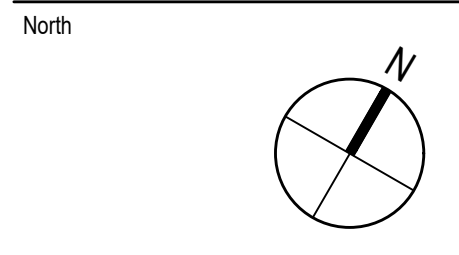
- ABRIDGED SCOPE OF WORK**
- FOR COMPREHENSIVE SCOPE PLEASE SEE SPECIFICATION SECTION 01 03 00 WORK SCOPE COVERED UNDER CONTRACT DOCUMENTS.
  - WORK TO BE COMPLETED IN TWO PHASES.
  - CONTRACTOR TO COMMISSION A LICENSED PROFESSIONAL SURVEYOR TO COMPLETE A TOPOGRAPHIC SURVEY OF THE EXISTING STAIRS IN ORDER TO MATCH ELEVATIONS, EXCEPT WHERE CAN BE IMPROVED TO SLOPE TO DRAIN, AS APPROVED BY THE CONSULTANT.
  - SUPPLY AND INSTALL COMPLETE SHORING OF STAIR UNDERSIDE.
  - SUPPLY AND INSTALL TEMPORARY EXTERIOR PROTECTION TO MAINTAIN A WEATHER-TIGHT WORK AREA AND PREVENT WATER LEAKAGE TO INTERIOR SPACES.
  - WHOLESALE REMOVAL AND DISPOSAL OF EXISTING CONCRETE AND TERRAZZO TOPPINGS.
  - WHOLESALE REMOVAL AND DISPOSAL OF EXISTING HANDRAILS
  - MARK AND IDENTIFY TOPSIDE AND SOFFIT CONCRETE DELAMINATIONS FOR CONSULTANT'S REVIEW.
  - SUPPLY AND INSTALL TEMPORARY SHORING AT STRUCTURAL REPAIR AREAS.
  - TEMPORARILY PROTECT, RELOCATE, DROP, DIVERT, ETC. EXISTING MECHANICAL AND ELECTRICAL SYSTEMS BELOW STRUCTURAL REPAIRS. ASSUME SUPPLY AND INSTALLATION OF TEMPORARY HOARDING IS REQUIRED THROUGHOUT ENTIRE MECHANICAL ROOM.
  - PERFORM STRUCTURAL REPAIRS TO SLAB:
    - STAIR THROUGH-SLAB REPAIRS
    - STAIR THROUGH-SLAB REPAIRS AT WALL
    - STAIR TREAD REPAIRS
    - LANDING THROUGH-SLAB REPAIRS
    - LANDING THROUGH-SLAB REPAIRS AT WALL
    - LANDING TOP-SIDE REPAIRS
  - SUPPLY AND INSTALL NEW CONCRETE TOPPINGS TO MATCH EXISTING AT LANDINGS.
  - SUPPLY AND INSTALL NEW TREMCO PUMA EWS PEDESTRIAN TRAFFIC COATING SYSTEM.
  - SUPPLY AND INSTALL NEW PUMA TC STRIPS AND TACTILE PLATES.
  - SUPPLY AND INSTALL NEW STAINLESS STEEL HANDRAILS.

- GENERAL NOTES**
- READ DRAWINGS IN CONJUNCTION WITH PROJECT SPECIFICATIONS.
  - THIS DRAWING IS FOR CONTRACTOR INFORMATION AND COORDINATION PURPOSES ONLY. CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING ALL ON-SITE DIMENSIONS AND CONDITIONS PRIOR TO TENDER CLOSE. ANY VARIATIONS ARE TO BE REPORTED TO THE CONSULTANT AND INSTRUCTIONS RECEIVED BEFORE PROCEEDING WITH WORK.
  - EXISTING CONDITIONS SHOWN ON THE DRAWINGS ARE BASED ON THE INFORMATION AVAILABLE AT THE TIME THE DRAWINGS WERE PREPARED.
  - NO ADDITIONAL COSTS DUE TO CONTRACTOR OMISSIONS WILL BE CONSIDERED AFTER TENDER CLOSE.

- CONCRETE REPAIR NOTES**
- THIS IS A CONCEPTUAL LAYOUT OF HOLLOW-SOUNDING AREAS AT SLAB SOFFIT. ITS PURPOSE IS TO PROVIDE A CONCEPTUAL IDEA OF CONFIGURATION TO BETTER ENABLE CONTRACTOR UNIT RATE PRICING.
  - TOPSIDES ARE NOT SHOWN, OBSCURED BY CONCRETE TOPPING. ASSUMED TOPSIDE HOLLOW-SOUNDING AREAS SIGNIFICANTLY MORE THAN SOFFIT.
  - CONCRETE REPAIR LOCATIONS TO BE IDENTIFIED BY SOFFIT TAPPING AND HAMMER SOUNDING SURVEYS BY CONCRETE RESTORATION CONTRACTOR, IN ACCORDANCE WITH SPECIFICATION SECTIONS 03 30 00 AND 03 40 00.
  - STRUCTURAL CONCRETE REPAIR CONTRACTOR MUST HAVE A MINIMUM 10 YEARS EXPERIENCE IN LOCALIZED REPAIRS TO EXISTING CONVENTIONALLY REINFORCED CONCRETE STRUCTURE.

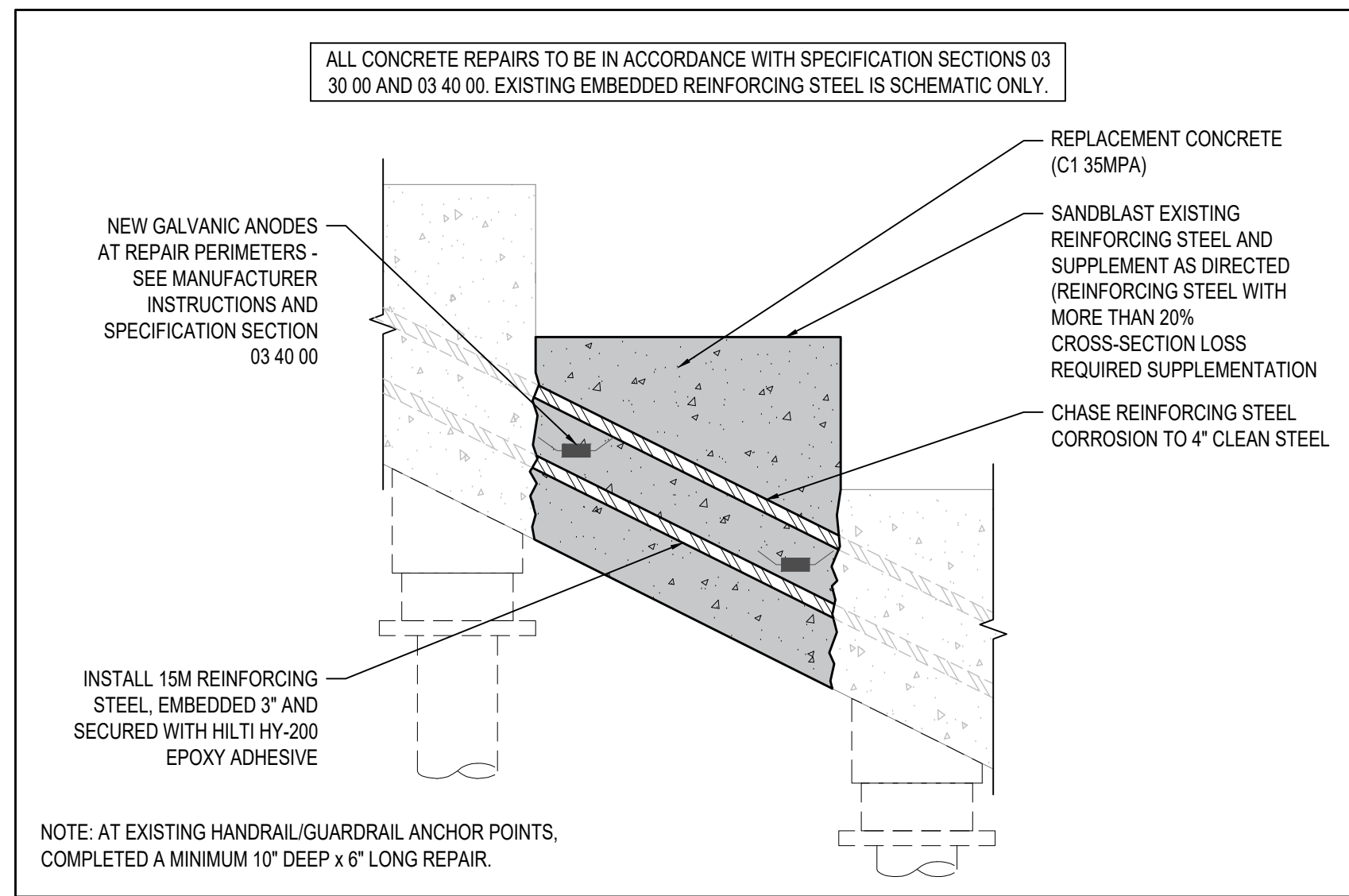
- PHASING NOTES**
- ONE HALF OF THE STAIR MUST REMAIN OPEN AND ACCESSIBLE TO PEDESTRIANS AT ALL TIMES.

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0	ISSUED FOR CLIENT REVIEW	2024-06-04
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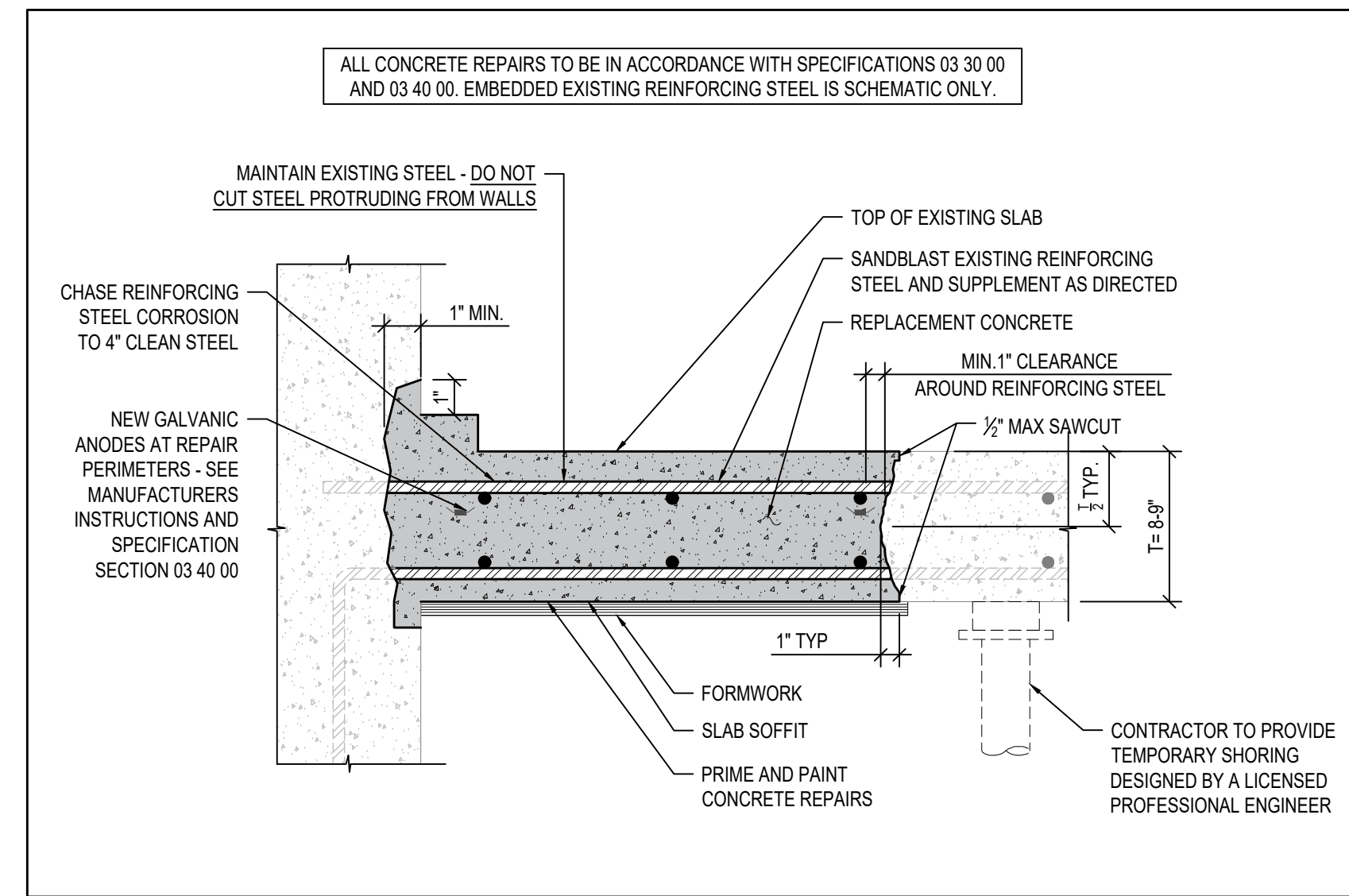




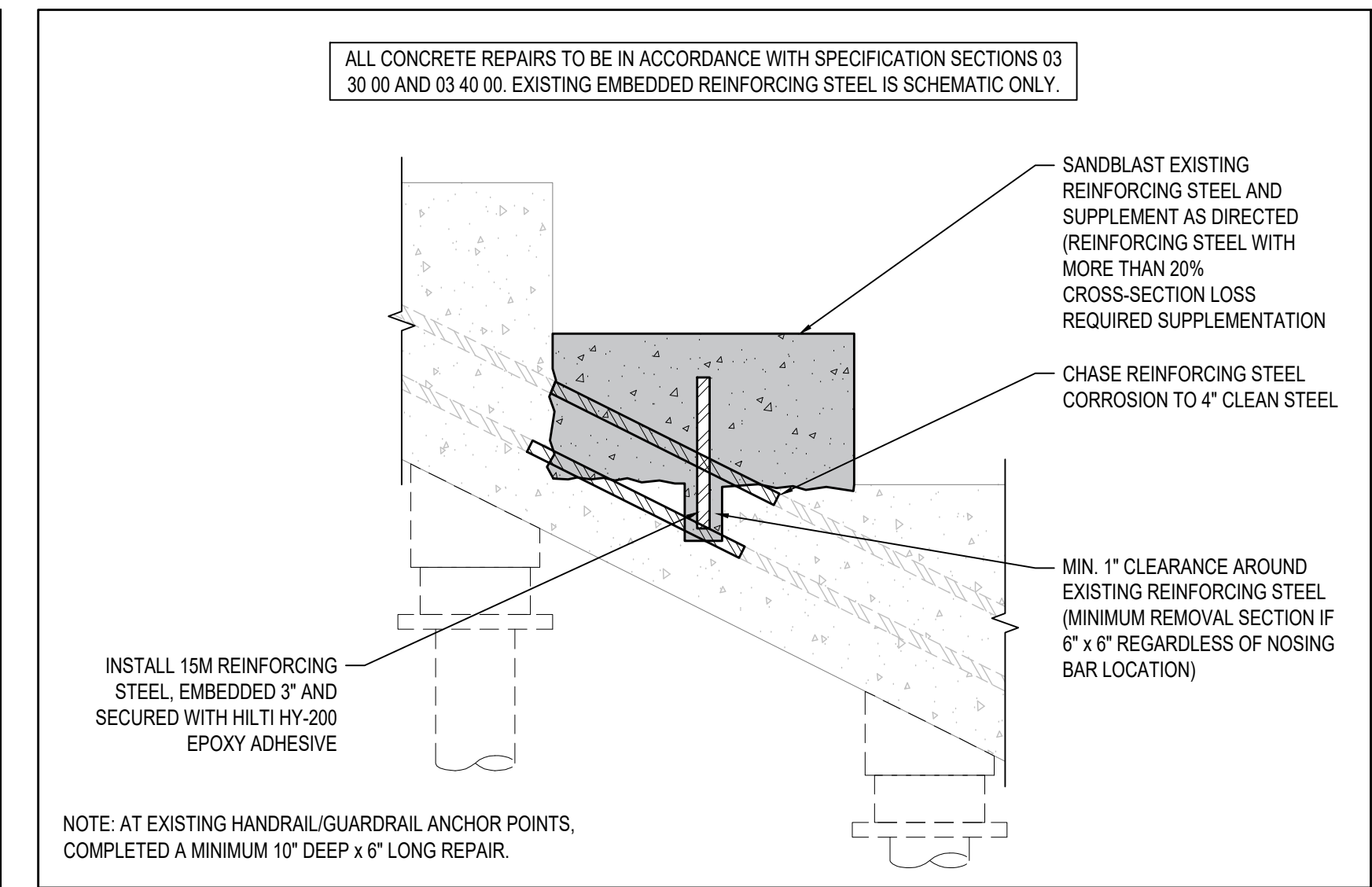
No.	Issue Description	YYYY-MM-DD
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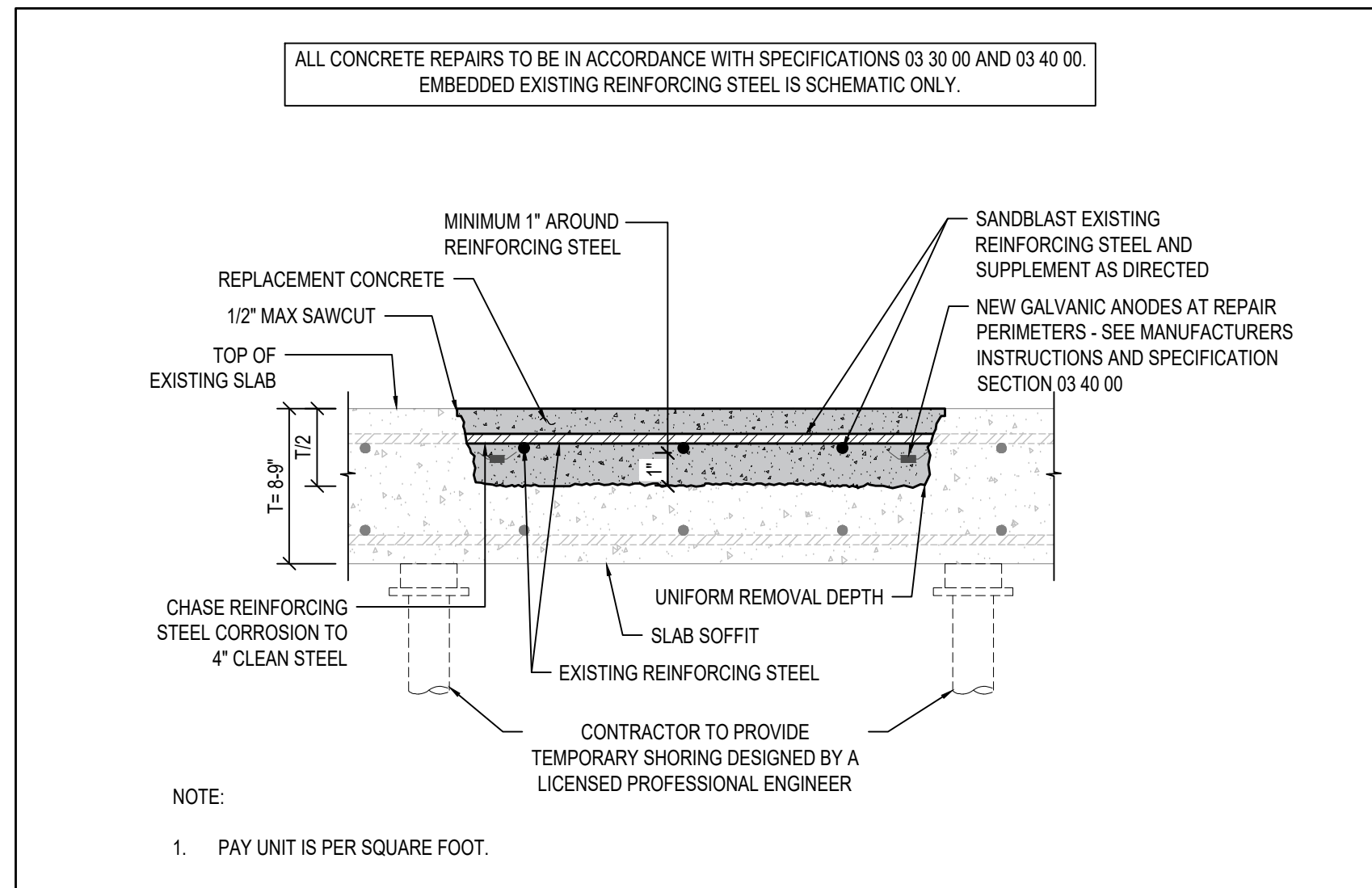
**1 STAIR THROUGH-SLAB REPAIR**  
SCALE: NTS



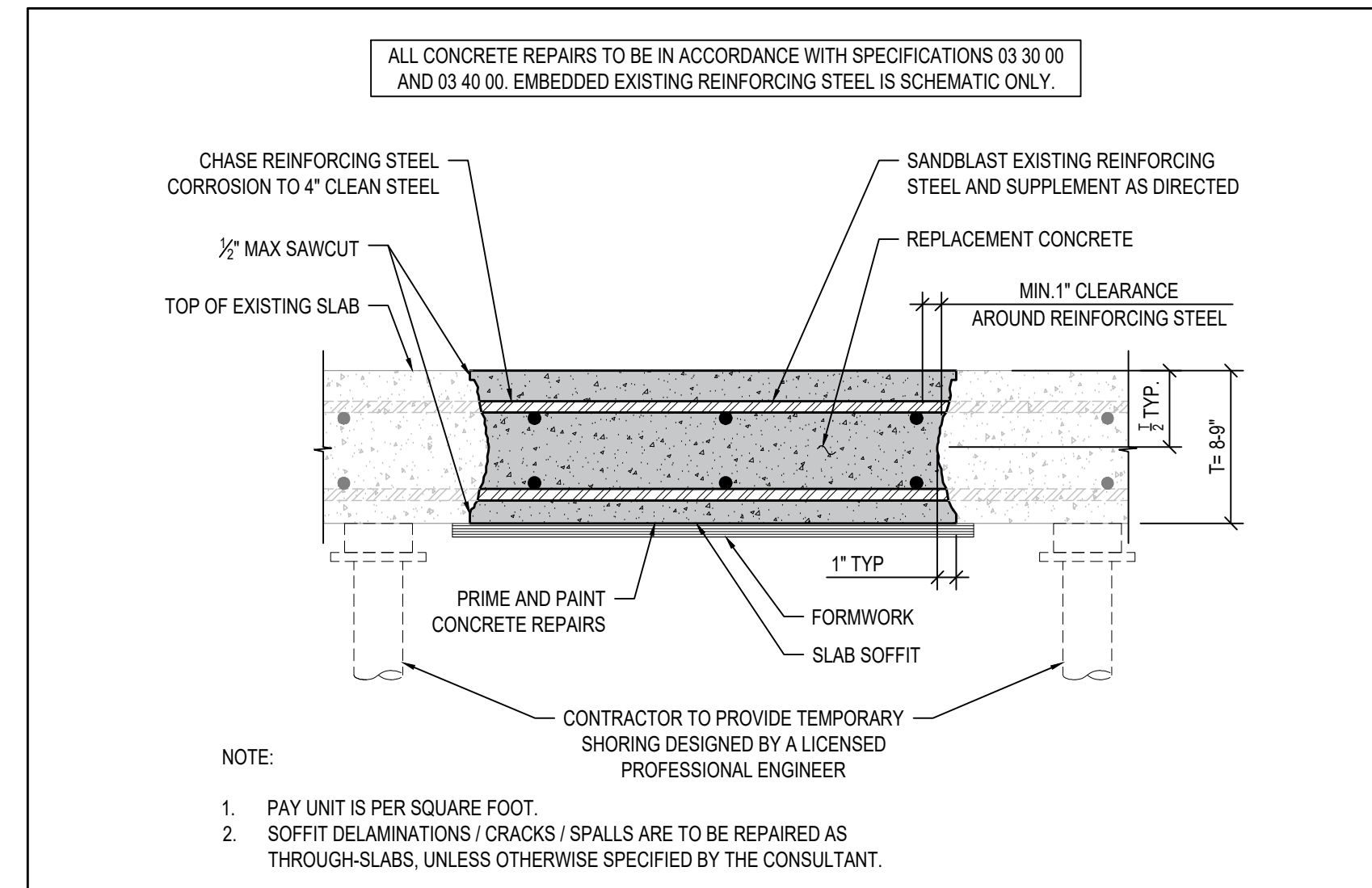
**2 THROUGH-SLAB REPAIR AT WALL**  
SCALE: NTS



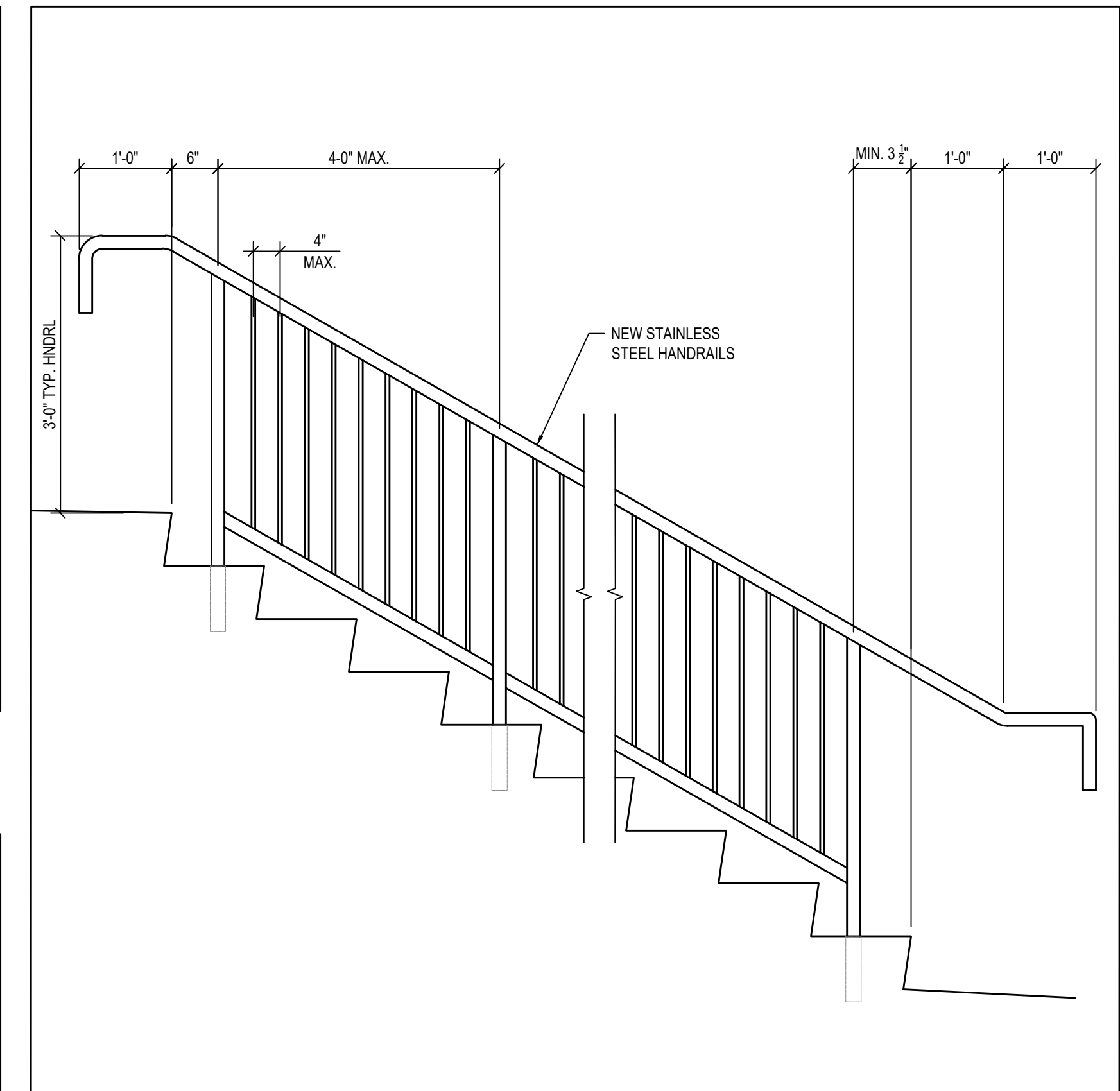
**3 STAIR TOPSIDE REPAIR**  
SCALE: NTS



**4 LANDING TOPSIDE REPAIR**  
SCALE: NTS



**5 LANDING THROUGH-SLAB REPAIR**  
SCALE: NTS



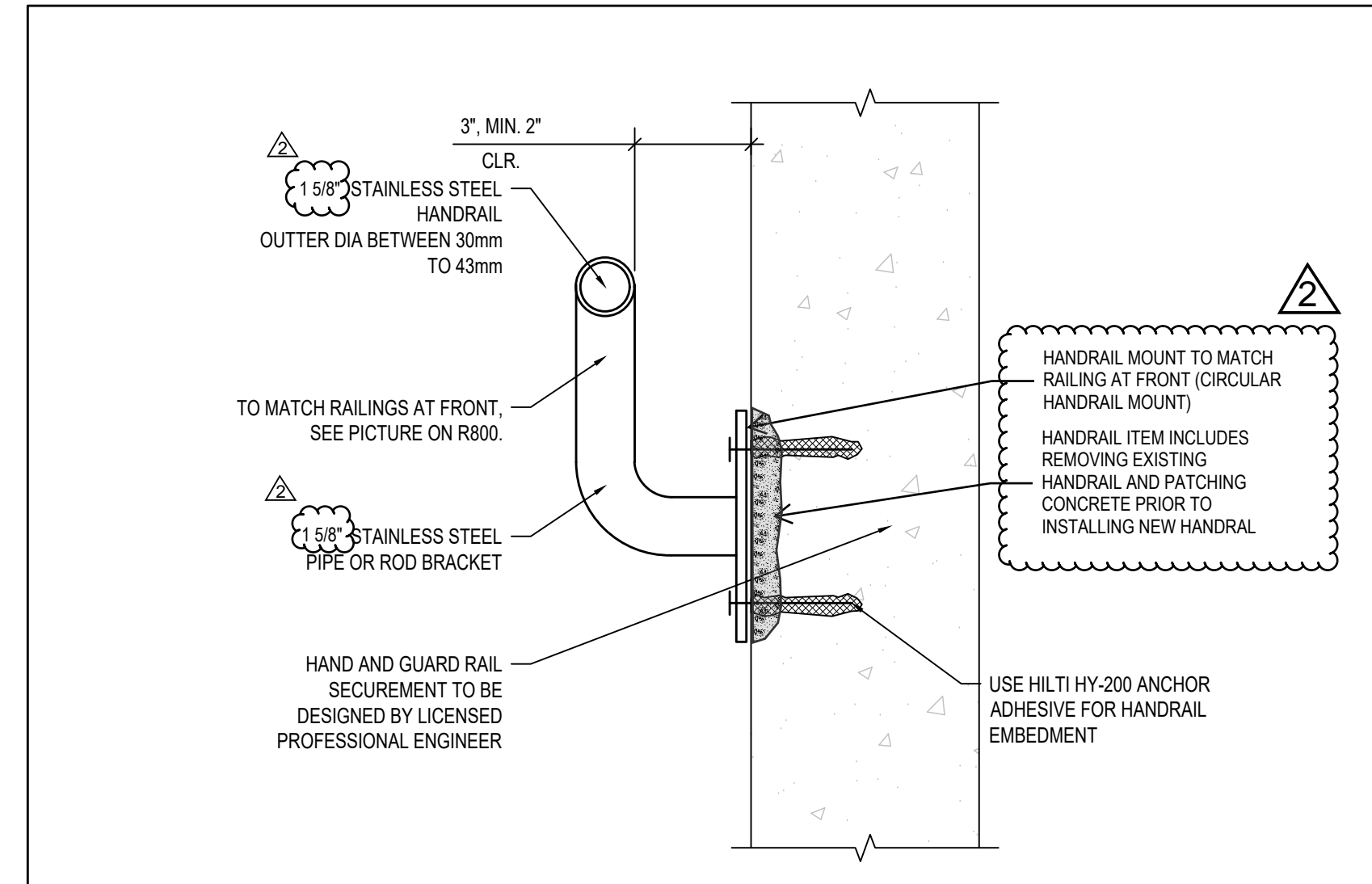
**6 HANDRAIL ELEVATION**  
SCALE: NTS

**STAIR HANDRAIL NOTES**

- REMOVE EXISTING HANDRAILS AND GUARDRAILS AND SUPPLY AND INSTALL NEW STAINLESS STEEL HANDRAILS. ALL ANCHORS TO BE STAINLESS STEEL.
- CONTRACTOR TO PERFORM ALL FIELD MEASUREMENTS PRIOR TO FABRICATION.
- CONTRACTOR TO PROVIDE A STAMPED ENGINEERED HANDRAIL SHOP DRAWINGS (CONNECTIONS AND SECUREMENT).

HANDRAIL LOADS ARE TO BE DESIGNED TO OBC 2012:  
- CLAUSE 3.4.6.5 (12):  
LIVE LOADS = 0.9 kN  
0.7 kN/m

- HANDRAILS TO BE CIRCULAR  
- HANDRAILS MUST BE CONTINUOUS ACROSS LANDINGS AND MUST MEET SPACING REQUIREMENTS (ADD HANDRAILS AS REQUIRED)  
- HANDRAILS MUST INCLUDE 12\"/>

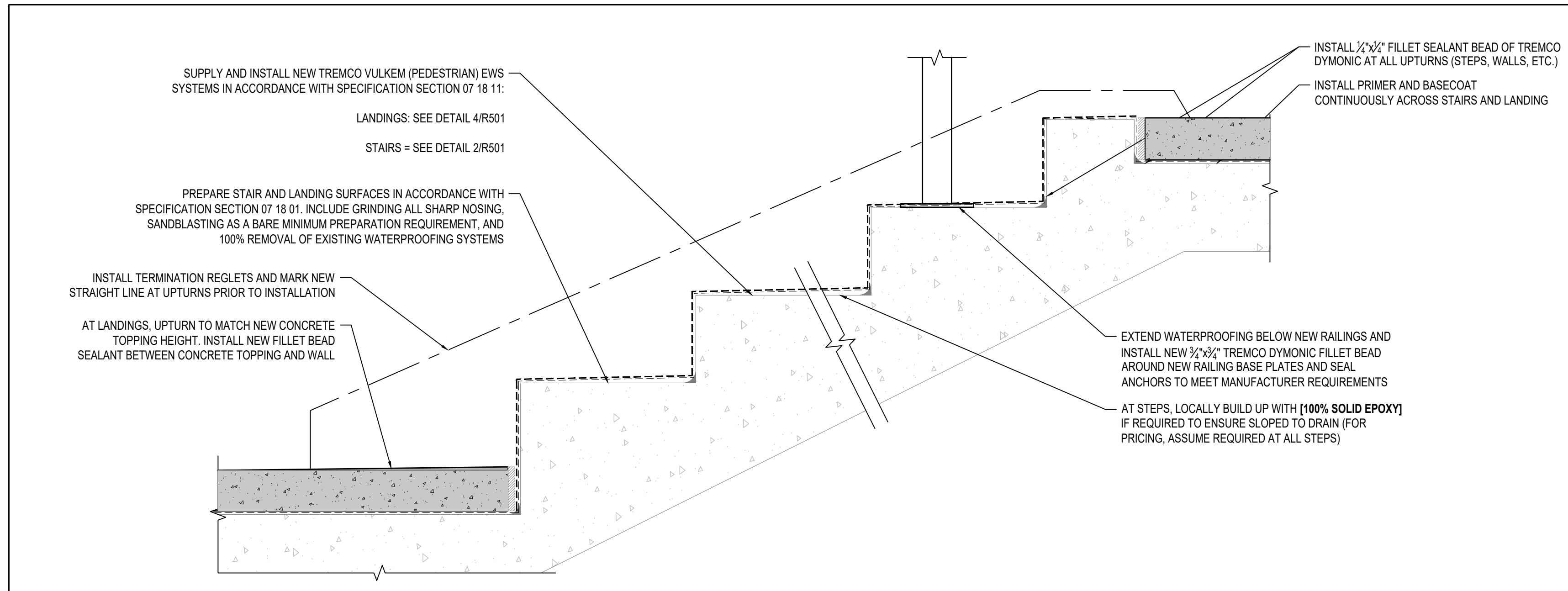


**7 HANDRAIL DETAIL**  
SCALE: NTS

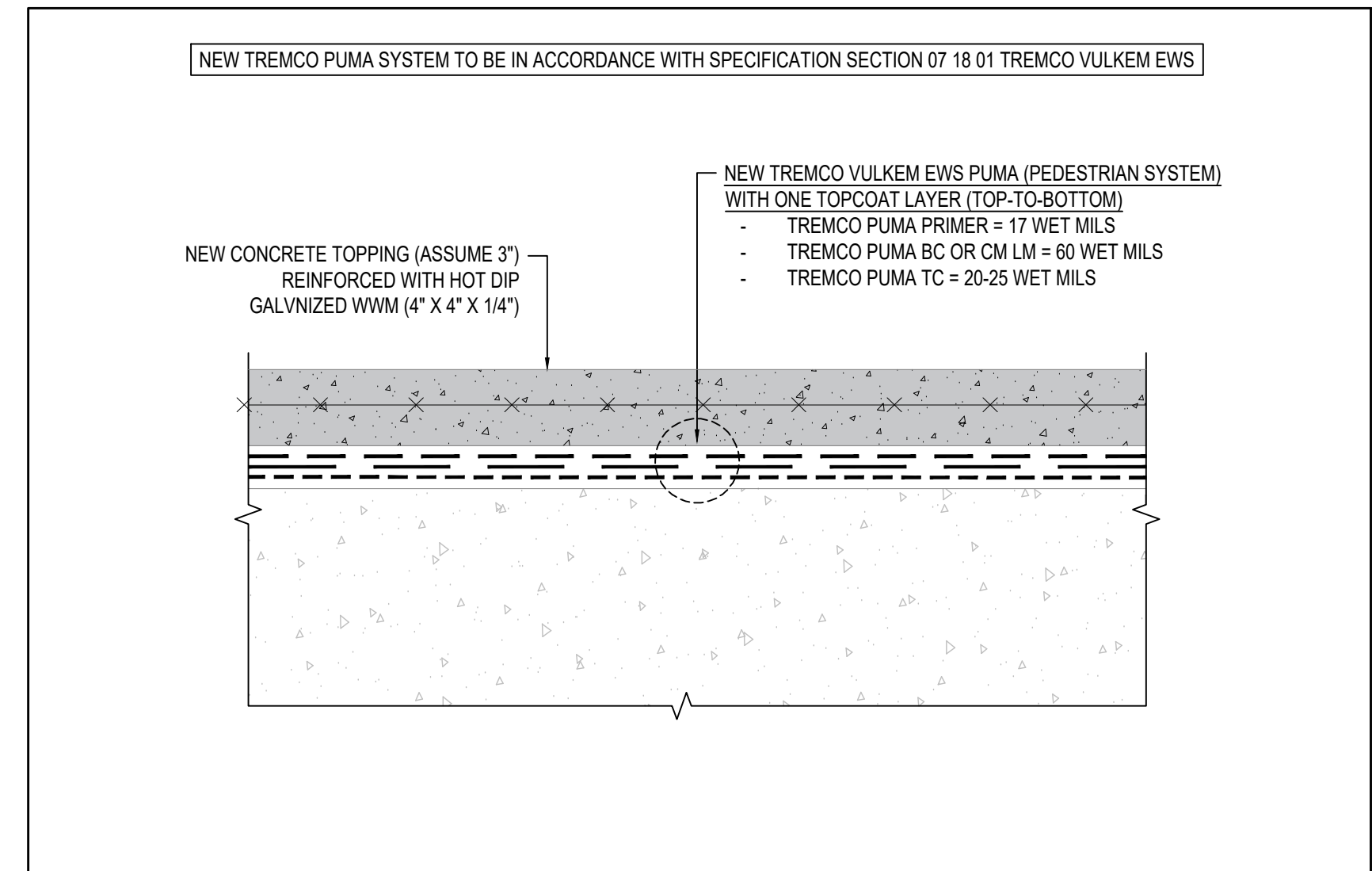


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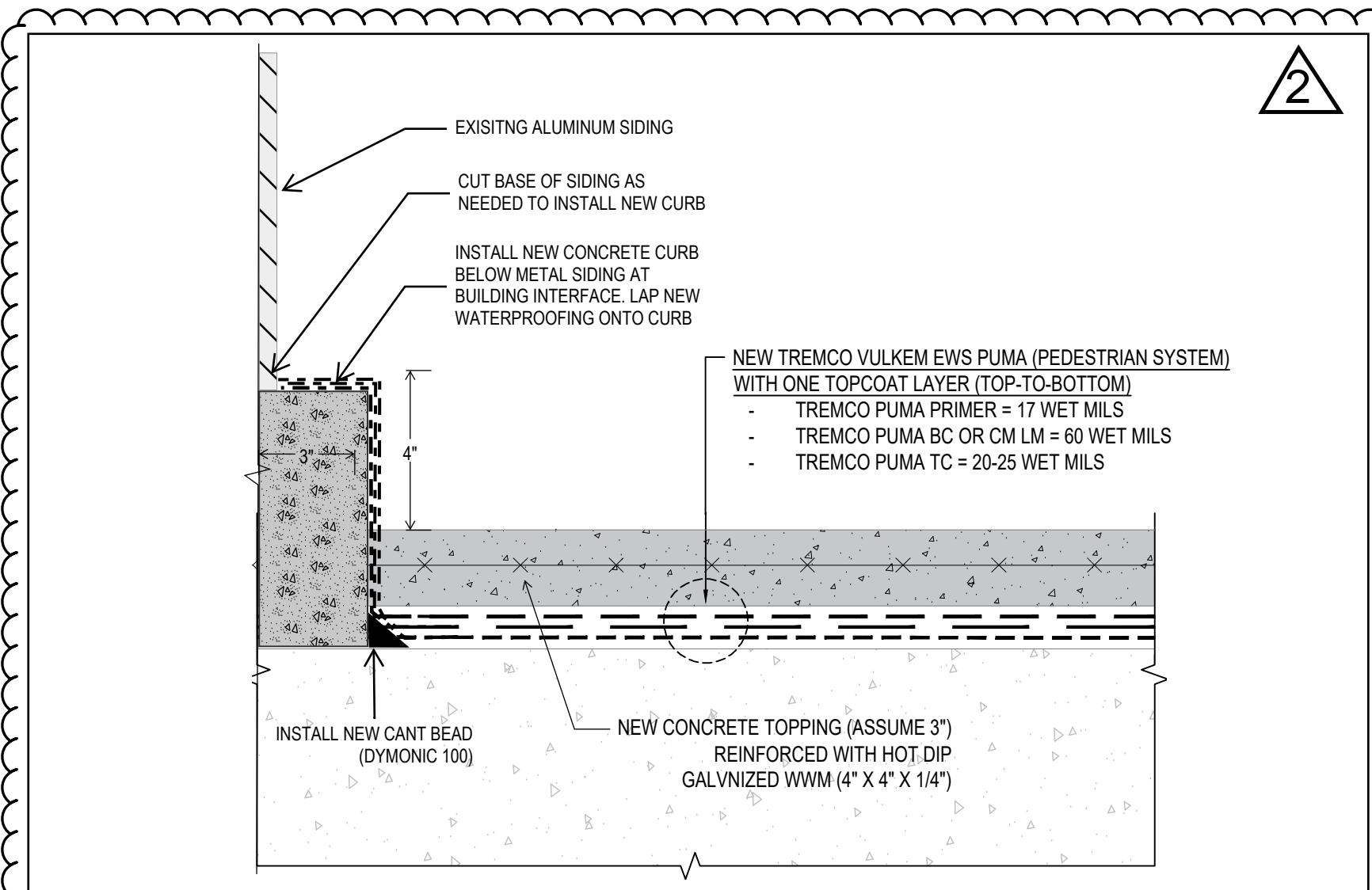
**1 NEW TOPPINGS AND WATERPROOFING**  
R501 SCALE: NTS



**2 STEPS - NEW TREMCO VULKEM EWS (PEDESTRIAN)**  
R501 SCALE: NTS

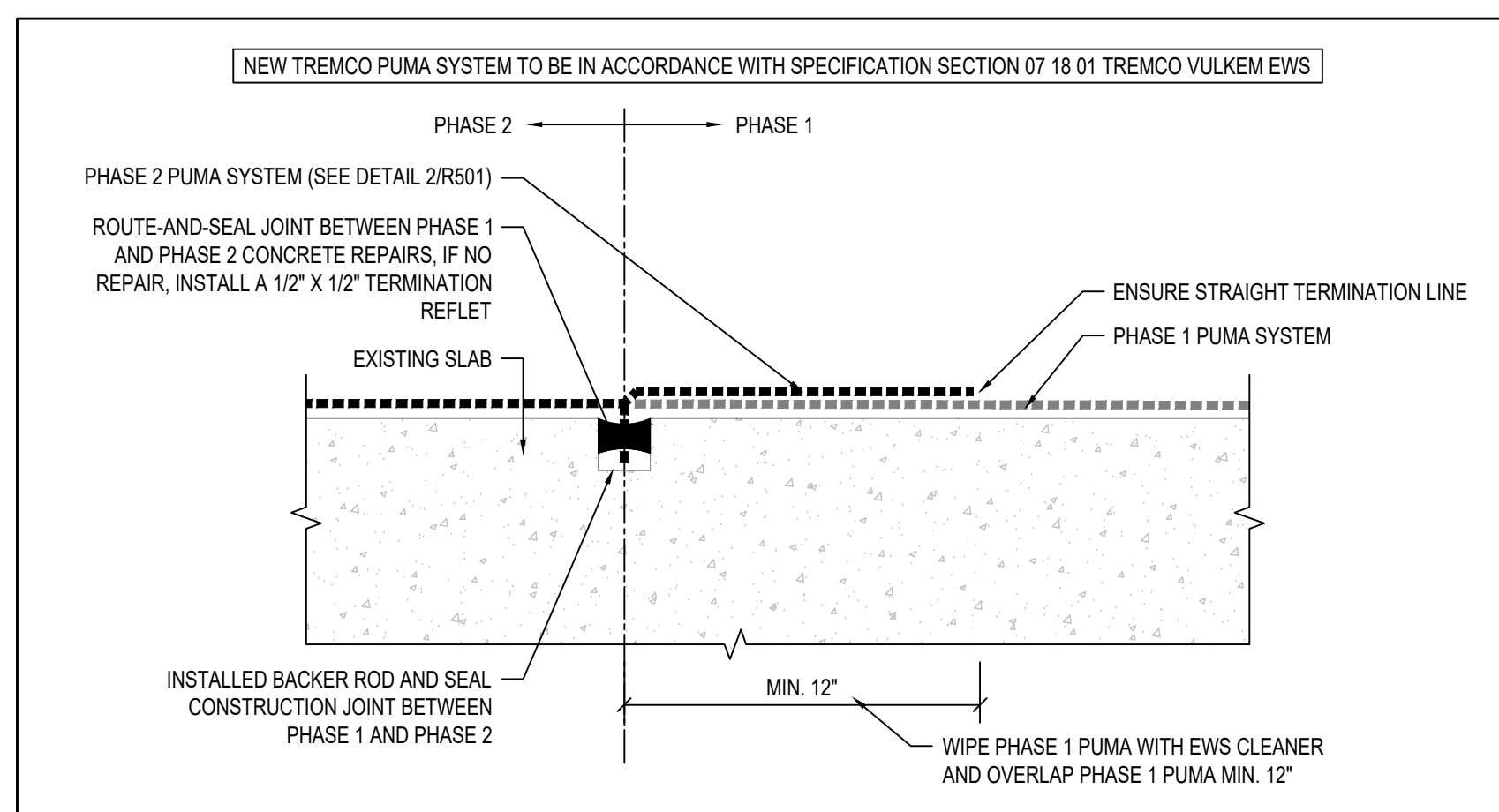


**4 LANDINGS - NEW TREMCO VULKEM EWS (PEDESTRIAN) WITH CONCRETE TOPPING**  
R501 SCALE: NTS

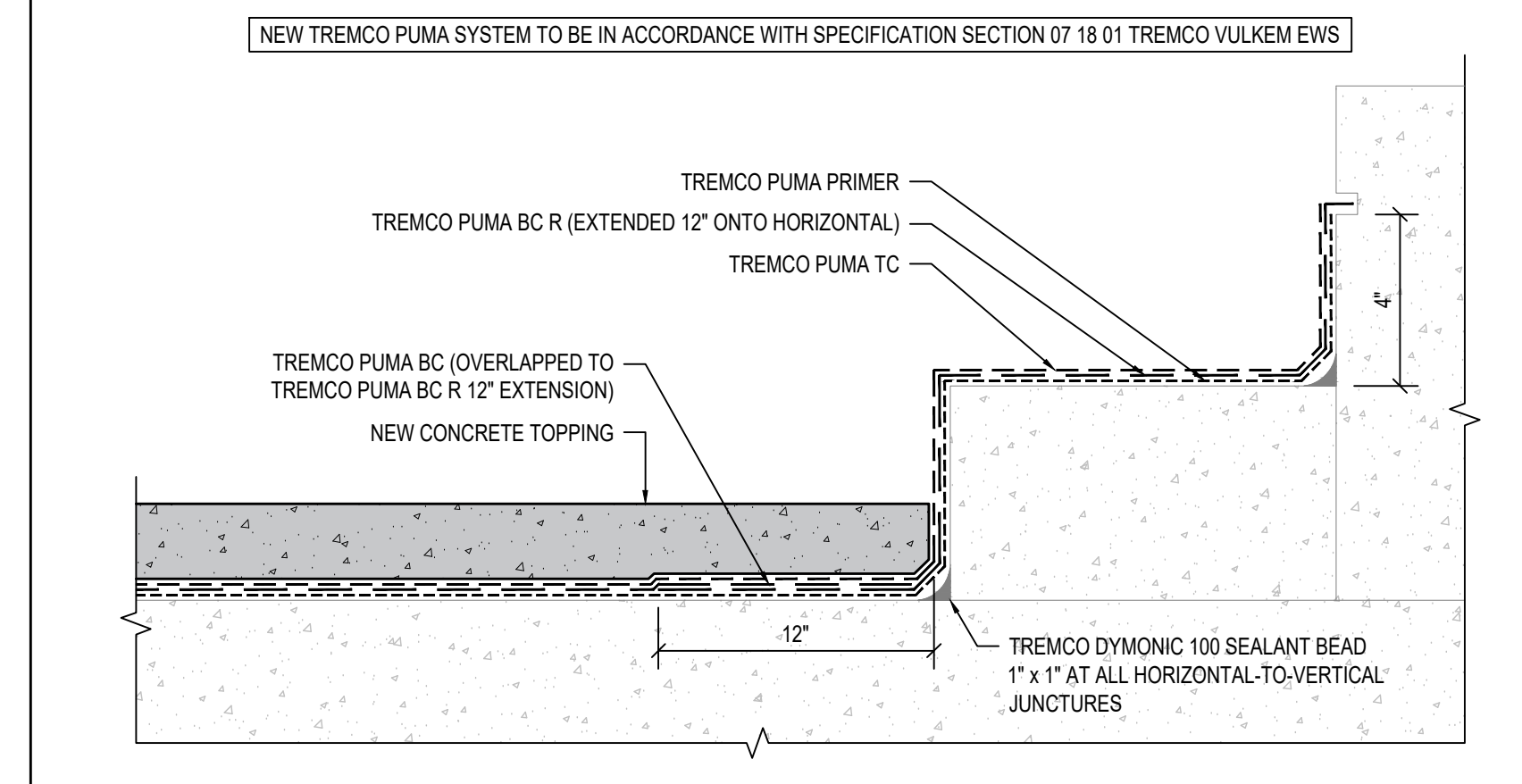


**7 UPTURN DETAIL - NEW TREMCO VULKEM EWS (PEDESTRIAN) WITH CONCRETE TOPPING**  
R501 SCALE: N.T.S.

**3 NEW WATERPROOFING**  
R501 SCALE: NTS



**5 WATERPROOFING DETAIL AT PHASE 1 TO PHASE 2 OVERLAP**  
R501 SCALE: NTS



**6 NEW WATERPROOFING UPTURN AT CURB**  
R501 SCALE: NTS

Project Title:  
**703 DON MILLS ROAD**

**EAST STAIR STRUCTURAL REPAIRS**

703 DON MILLS ROAD, TORONTO, ON.

Designed By: D.V. Scale: AS NOTED

Drawn By: S.C. Date: 2024-05-13

Drawing Title

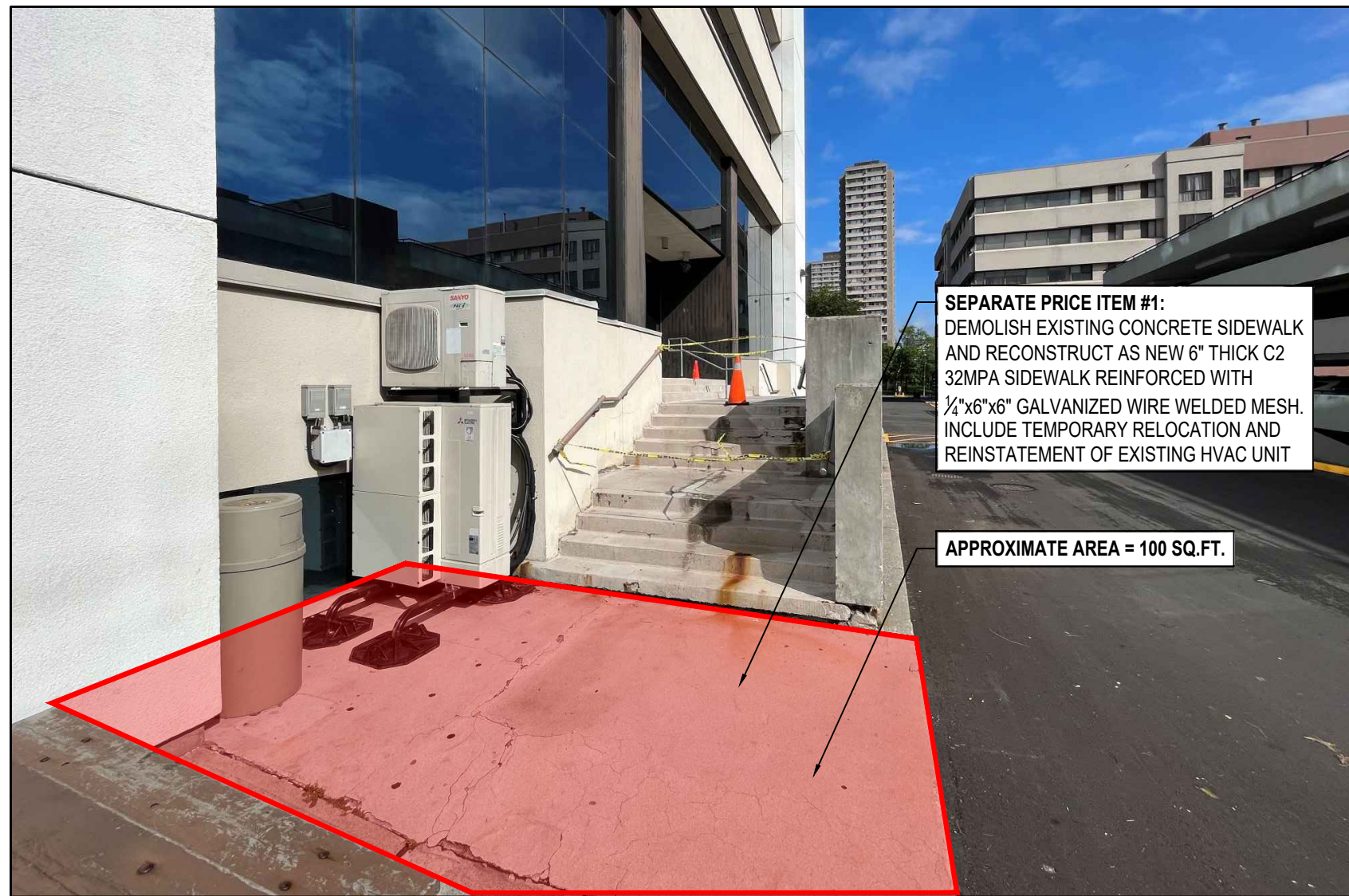
**WATERPROOFING DETAILS**

Drawing Number

**R501**



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0	ISSUED FOR CLIENT REVIEW	2024-06-04
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**SEPARATE PRICE ITEM #1:**  
DEMOLISH EXISTING CONCRETE SIDEWALK AND RECONSTRUCT AS NEW 6" THICK C2 32MPA SIDEWALK REINFORCED WITH 3/4"x6" GALVANIZED WIRE WELDED MESH. INCLUDE TEMPORARY RELOCATION AND REINSTATEMENT OF EXISTING HVAC UNIT

APPROXIMATE AREA = 100 SQ.FT.



APPROXIMATE AREA= 117 SQ.FT.

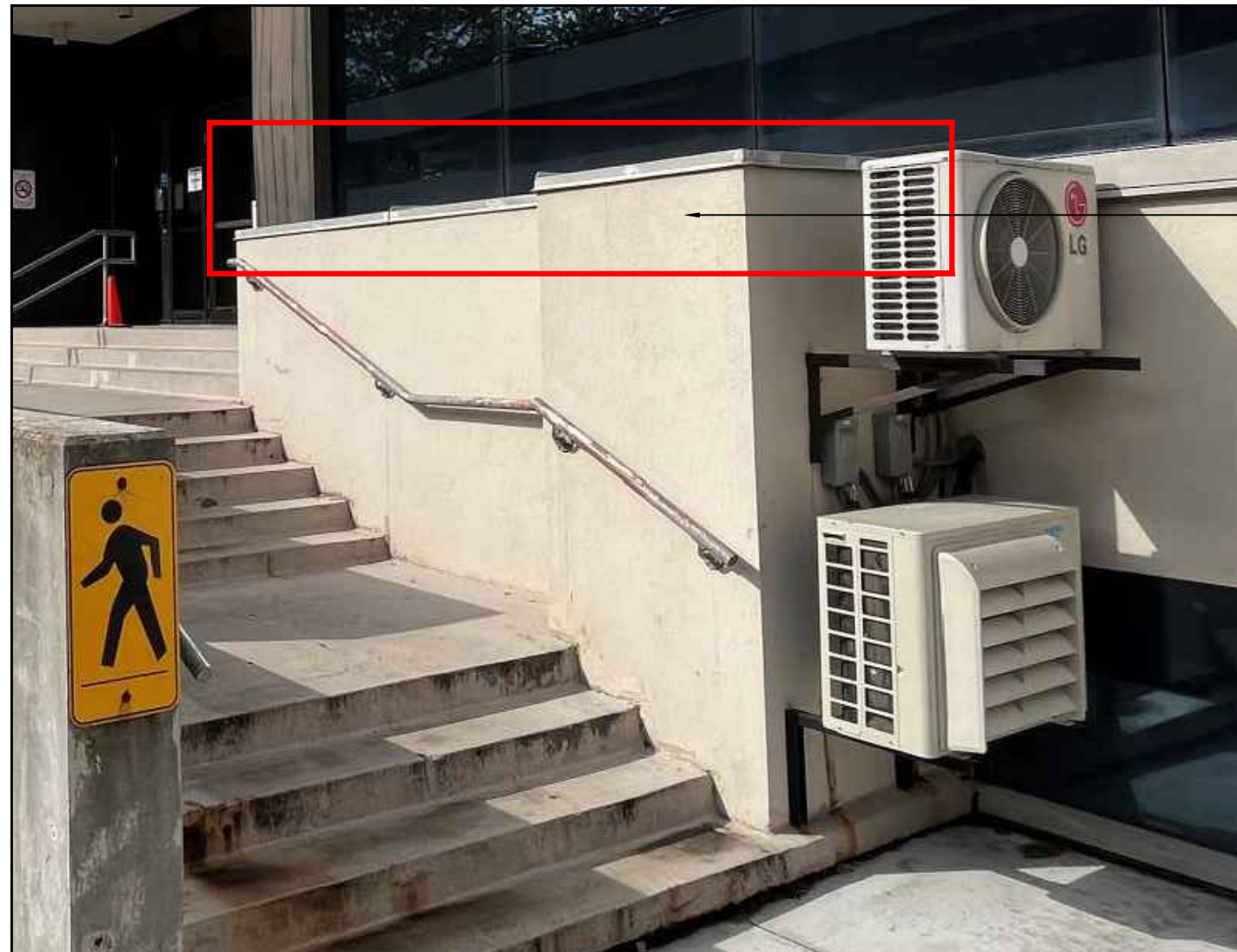
APPROXIMATE AREA (BOTH SIDES) = 680 SQ.FT.

**SEPARATE PRICE ITEM #6:**  
REPLACE THE EXISTING SURFACE MOUNTED DOWNLIGHTS WITH RECESSED LED LIGHT FIXTURES (TOTAL OF 4 UNITS). MODIFY AND/OR REPAIR THE CEILING CUT-OUTS TO SUIT NEW FIXTURES. UTILIZE THE SAME CIRCUIT AND SWITCHING; PROVIDE INTEGRAL TRANSFORMERS AS REQUIRED FOR THE NEW LED LIGHTS. CONTRACTOR SHALL VERIFY THE EXISTING VOLTAGE ON SITE BEFORE ORDERING.  
THE NEW LED FIXTURES TO BE HALO COMMERCIAL (OR APPROVED EQUIVALENCE), 8-INCH LED DOWNLIGHT, COMPLETE WITH HC8/HM8 RETROFIT FRAME, CANADIAN OPTION DRIVER FOR 4000 LUMENS (~40W), 5000K CCT, 80 CRI MEDIUM CONICAL REFLECTOR DISTRIBUTION AND SEMI-SPECULAR CLEAR (HAZE) REFLECTOR FINISHES. ULC CERTIFIED, SUITABLE FOR DAMP AND WET CONDITIONS IN COVERED CEILING.

**SEPARATE PRICE ITEM #2:**  
PREPARE SURFACES AND INSTALL TWO COATS OF DOWSIL ALLGUARD SILICONE ELASTOMERIC COATING AT ENTIRE WALL (BOTH SIDES). SURFACE PREPARATION TO INCLUDE 20 SQUARE FEET VERTICAL CONCRETE REPAIRS AND POWERWASHING AS A MINIMUM. COST TO INCLUDE ROUT-AND-SEAL OF ALL CRACKS PRIOR TO ELASTOMERIC INSTALLATION. SEE SPECIFICATION SECTION 09 98 00 ELASTOMERIC COATINGS

1 SEPARATE PRICE ITEM  
R502

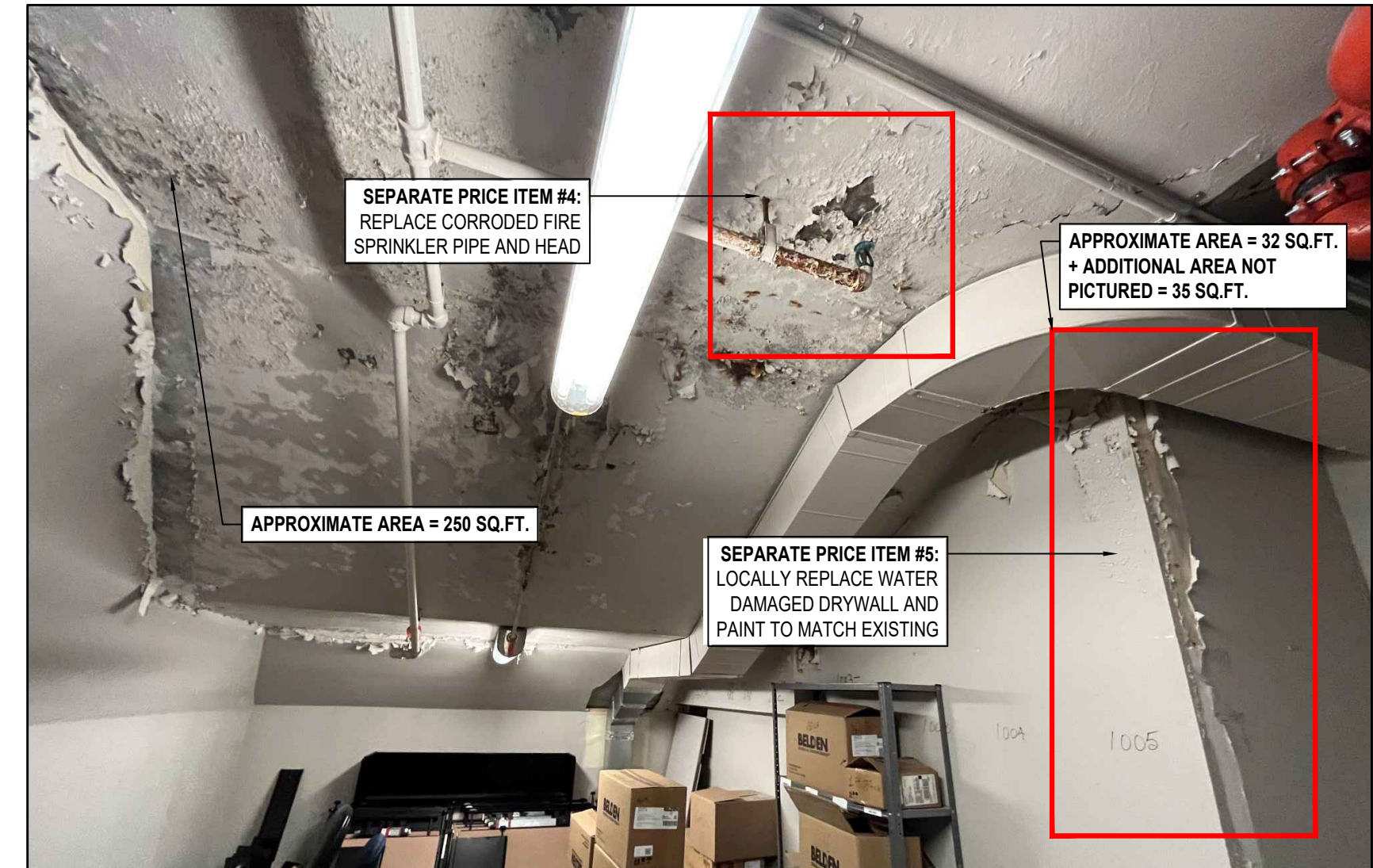
2 SEPARATE PRICE ITEM  
R502



**SEPARATE PRICE ITEM #3:**  
REMOVE AND DISPOSE EXISTING SHEET METAL OVER PLANTERS AND SUPPLY AND INSTALL NEW 24 GAUGE PRE-FINISHED SHEET METAL TO MATCH EXISTING



3 SEPARATE PRICE ITEM  
R502



**SEPARATE PRICE ITEM #4:**  
REPLACE CORRODED FIRE SPRINKLER PIPE AND HEAD

APPROXIMATE AREA = 32 SQ.FT.  
+ ADDITIONAL AREA NOT PICTURED = 35 SQ.FT.

APPROXIMATE AREA = 250 SQ.FT.

**SEPARATE PRICE ITEM #5:**  
LOCALLY REPLACE WATER DAMAGED DRYWALL AND PAINT TO MATCH EXISTING

4 SEPARATE PRICE ITEM  
R502

Project Title:  
**703 DON MILLS ROAD**

**EAST STAIR STRUCTURAL REPAIRS**

703 DON MILLS ROAD, TORONTO, ON.

Designed By: D.V. Scale: AS NOTED

Drawn By: S.C. Date: 2024-05-13

Drawing Title

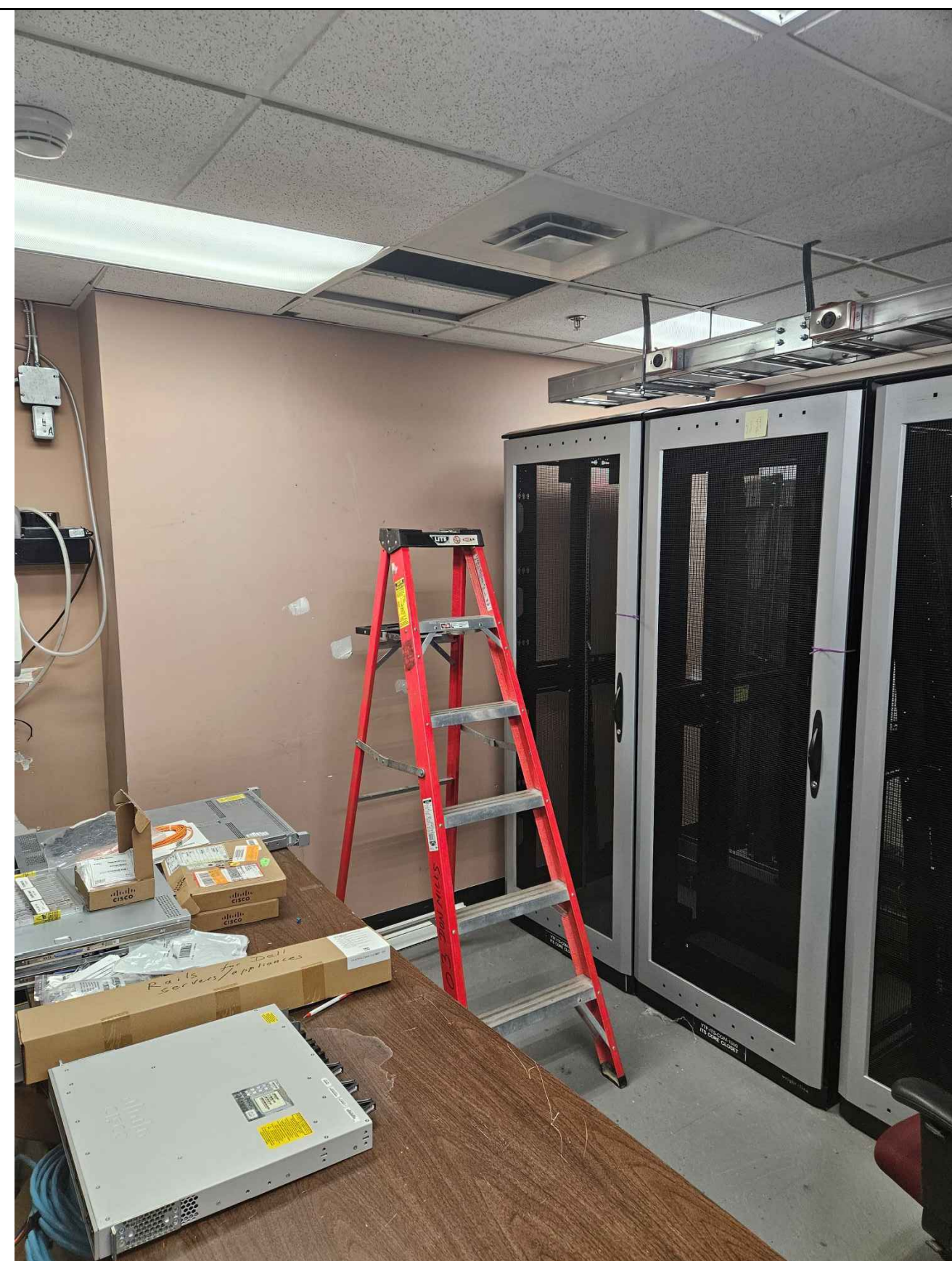
**SEPARATE PRICE ITEMS**

Drawing Number

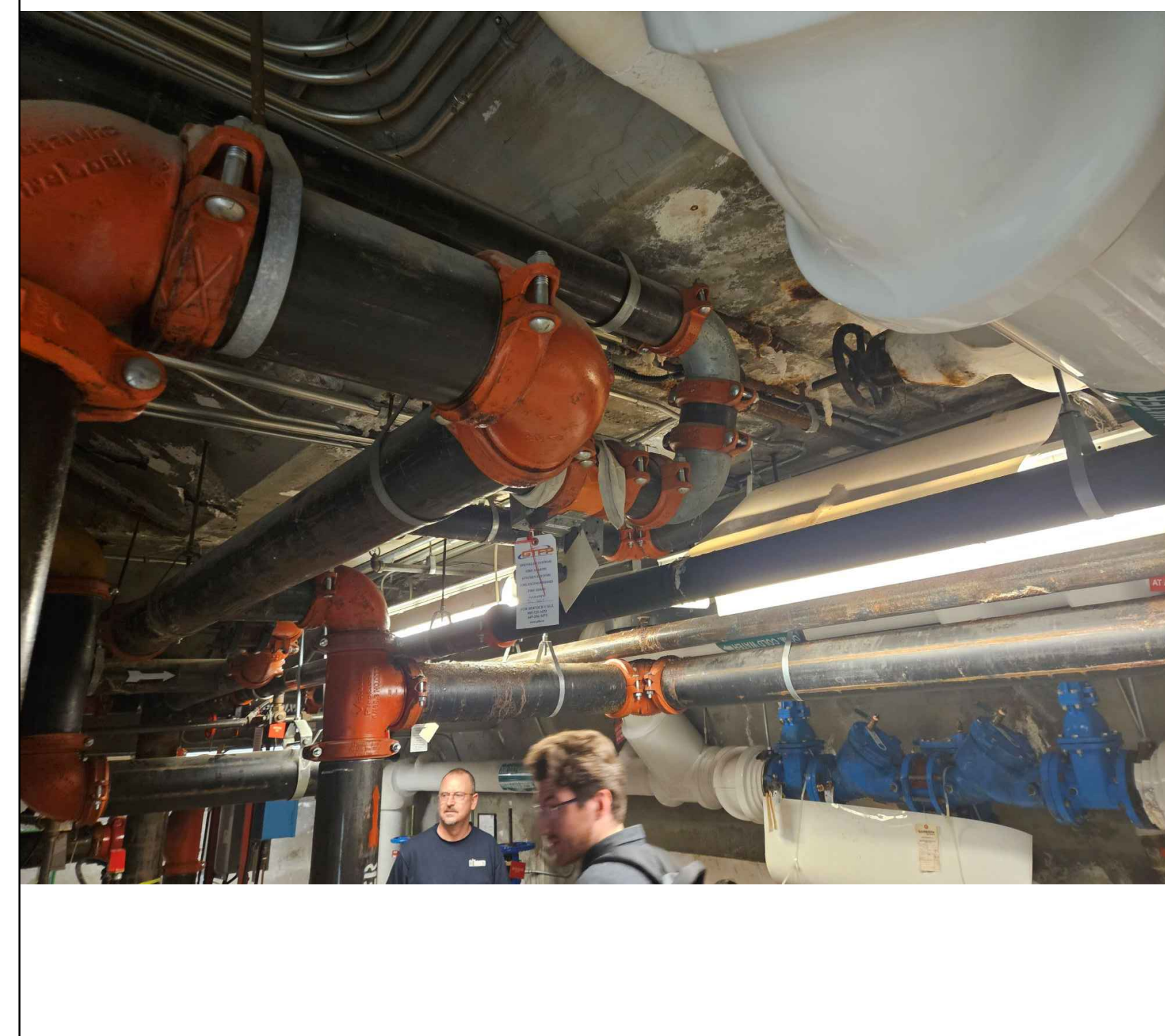
**R502**



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0	ISSUED FOR CLIENT REVIEW	2024-06-04
1	ISSUED FOR TENDER	2024-06-20
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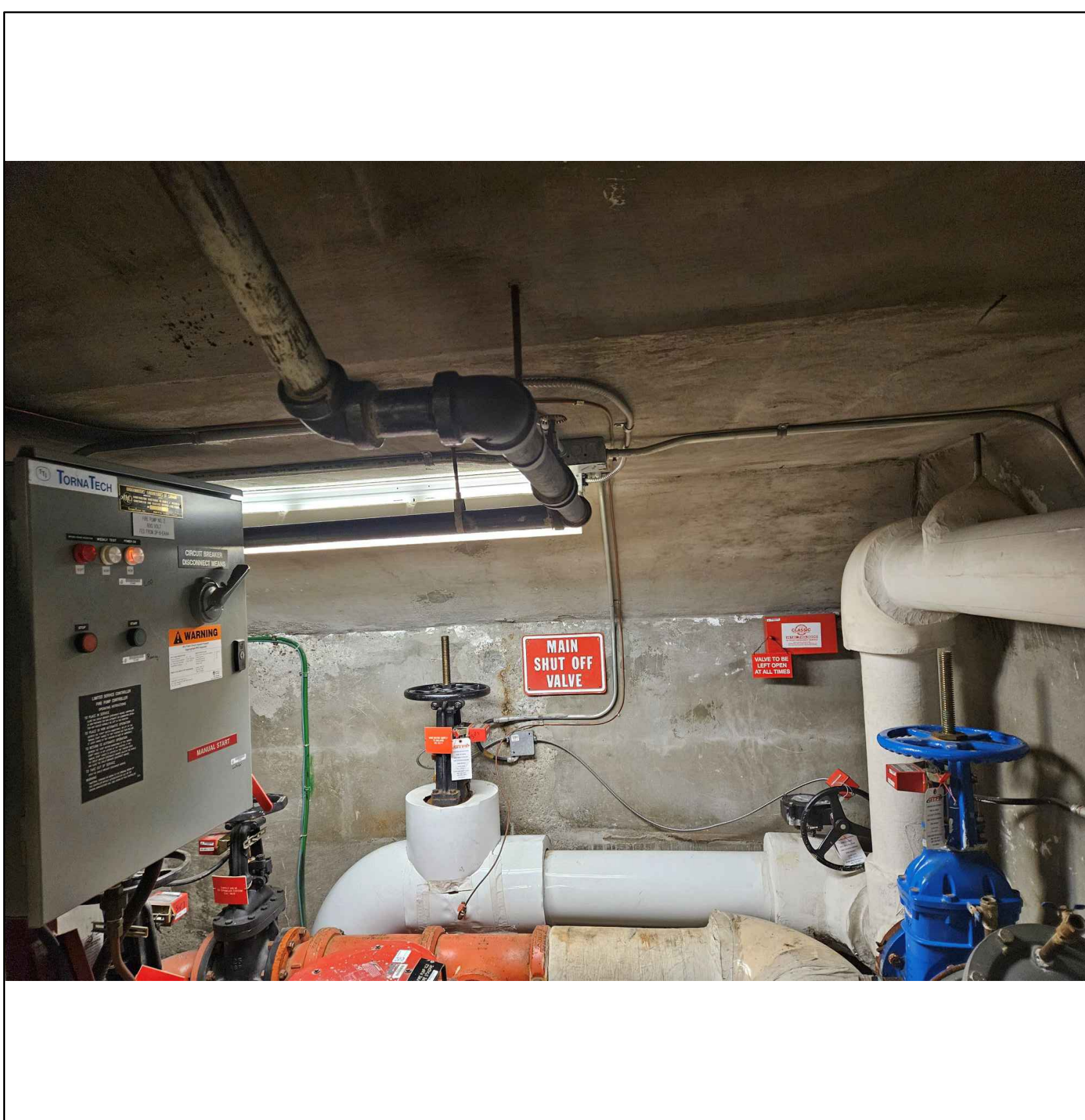
1 VIEW OF SERVER ROOM BELOW STAIR LANDING  
R600



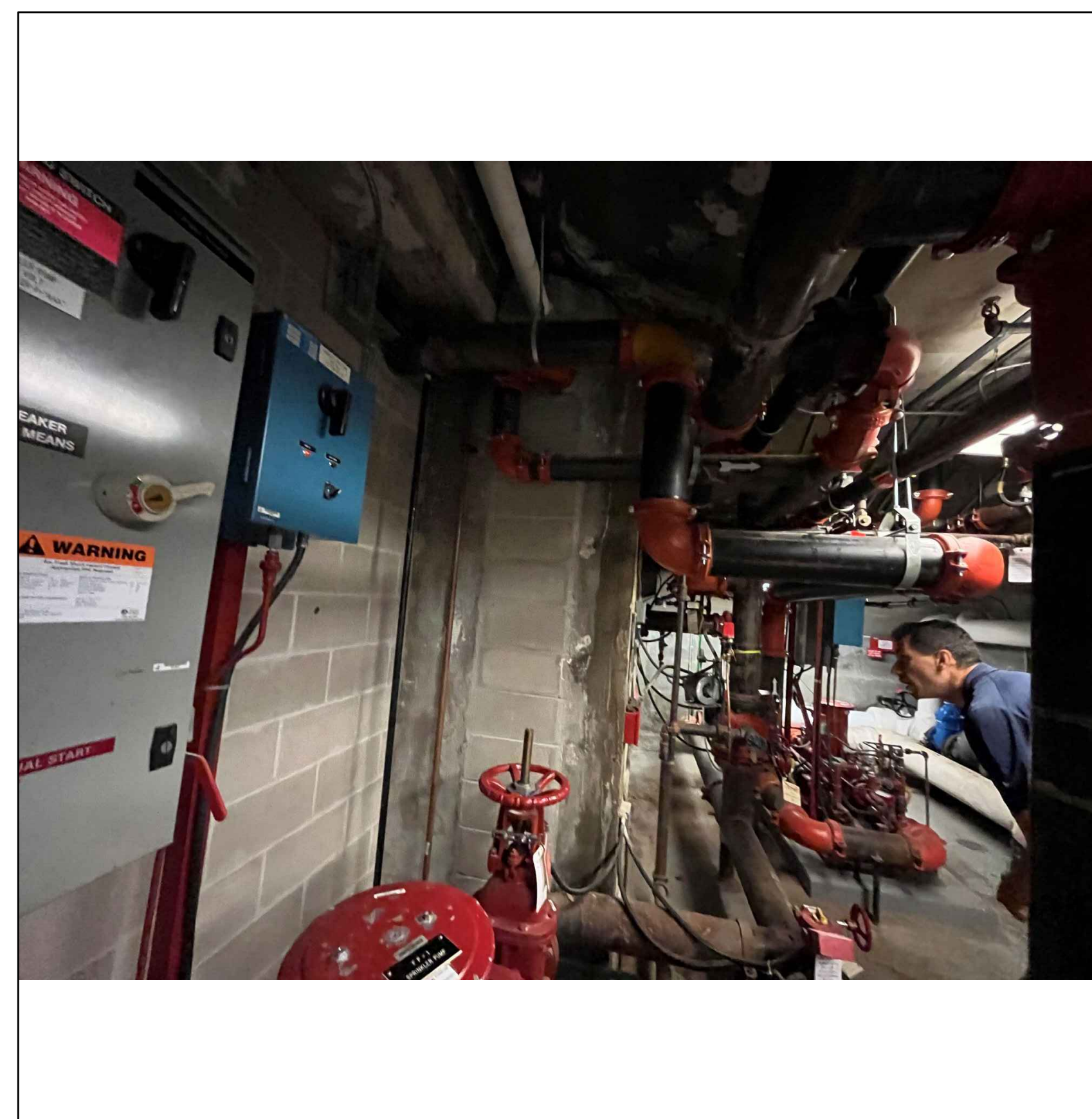
2 VIEW OF MECHANICAL ROOM  
R600



3 VIEW OF CONCRETE SOFFIT IN MECHANICAL ROOM  
R600



4 VIEW OF CONCRETE SOFFIT IN MECHANICAL ROOM  
R600



5 VIEW OF MECHANICAL ROOM  
R600

NOTE:  
THESE ARE SAMPLE PHOTOS OF SOME OF THE SPACES BELOW. THE CONTRACTOR IS RESPONSIBLE FOR VISITING SITE AND SURVEYING THESE SPACES PRIOR TO TENDER CLOSE. PRICING FOR ALL REQUIRED TEMPORARY SHORING AND MECHANICAL/ELECTRICAL PROTECTION IS REQUIRED PRIOR TO TENDER CLOSE. NO EXTRAS WILL BE ENTERTAINED AFTER TENDER CLOSE.

Project Title:  
**703 DON MILLS ROAD**

**EAST STAIR STRUCTURAL REPAIRS**

703 DON MILLS ROAD, TORONTO, ON.

Designed By:	D.V.	Scale:	AS NOTED
Drawn By:	S.C.	Date:	2024-05-13

Drawing Title

**PHOTOGRAPHS**

Drawing Number

**R600**



**DUNLOP FARROW**  
Architects

- GENERAL NOTES**
- EXISTING BUILDING INFORMATION TAKEN FROM ARCHITECTURAL WORKING DRAWINGS AS PREPARED BY DUNLOP FARROW ARCHITECTS INC. AND ASSESSED BY THE ARCHITECTS INC. JOB NO. 24-0306. ALL EXISTING CONDITIONS TO BE CHECKED & VERIFIED ON SITE PRIOR TO DEMOLITION AND NEW CONSTRUCTION.
  - EXISTING STRUCTURAL INFORMATION BASED ON DRAWINGS AS PROVIDED BY METROPOLITAN TORONTO JOB NO. 70 DON MILLS DATED DEC 1970. CHECK AND VERIFY EXISTING STRUCTURE ON SITE PRIOR TO PROCEEDING WITH DEMOLITION AND NEW CONSTRUCTION.
  - REFER ALSO TO STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR EXTENT OF DEMOLITION.
  - ALL WALLS AND PARTITIONS ARE TO BE IDENTIFIED ON EXISTING COLUMN GRID LINES AND/OR EXISTING WINDOW MELLONS UNLESS DIMENSIONED OR NOTED OTHERWISE.
  - DIMENSIONS TO WALLS OR PARTITIONS ARE TAKEN TO FACE OF CMU UNLESS OTHERWISE SPECIFIED. CMU IS BORN IN A 2" HS FIRE SEPARATION. USE SOLID UNITS.
  - ALL CMU WALLS/PARTITIONS ARE 4" NOMINAL UNLESS INDICATED OTHERWISE. WHERE CMU IS BORN IN A 2" HS FIRE SEPARATION, USE SOLID UNITS.
  - EXTEND ALL CMU WALLS/PARTITIONS TO 6" S OF STRUCTURE ABOVE UNLESS NOTED OTHERWISE.
  - REFER TO MECHANICAL DRAWINGS FOR NEW AND EXISTING FLOOR DRAINS. WHERE AN EXISTING FLOOR DRAIN IS REMOVED, PATCH AND MAKE GOOD THE EXISTING FLOOR SLAB.
  - REFER TO MECHANICAL DRAWINGS FOR NEW AND EXISTING HOODS/EXHAUST PANS. WHERE AN EXISTING PAN IS REMOVED, PATCH AND MAKE GOOD THE EXISTING FLOOR SLAB.
  - REFER TO DATA SHEET AD-01 FOR EXISTING BUILDING NOTES.

- LEGEND**
- ① REMOVE EXISTING DOOR OR FRAME WITH 6" CMU UNLESS NOTED OTHERWISE AND MAKE GOOD FINISHED ON BOTH SIDES OF PARTITION.
  - ② REMOVE EXISTING WINDOWS AND FRAMES, INSTALL PREFABRICATION METAL LOUVER WITH SLANK OFF PANELS REQUIRED. SEE MECHANICAL DRAWINGS.
  - ③ DENOTES EXTENT OF NEW QUARRY TILE ON EXTERIOR STAIRS, RAMP AND LANDINGS. REMOVE TILE WITH AREA INDICATED.

2 1/8" X 1/8" ISSUED FOR TENDER  
1 1/8" X 1/8" ISSUED FOR BUILDING PERMIT

REF. DATE DESCRIPTION

**MUNICIPALITY OF METROPOLITAN TORONTO**  
1953-2024

**THE MUNICIPALITY OF METROPOLITAN TORONTO**  
PARKS AND RECREATION DEPARTMENT  
**Dep Resm**  
COMMUNICATIONS CENTRE  
CONTRACT No. CCCC-01-91

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE DRAWINGS.

**CONTRACT ASSOCIATION OF ARCHITECTS**  
CONSTRUCTION NORTH

CONSULTANTS:  
STRUCTURAL: CARRUTHERS & WALLACE LIMITED  
MECHANICAL: SMITH & ANDERSON CONSULTING ENGINEERING  
ELECTRICAL: H.H. ANGLIS & ASSOCIATES LIMITED

PROJECT NAME:  
CONSOLIDATED COMMUNICATIONS/ COMPUTER CENTRE for METROPOLITAN TORONTO

DRAWING TITLE:  
BASEMENT and GROUND FLOOR PLANS

SCALE: 1/8" = 1'-0" PROJECT NUMBER: 91038

DATE: 9/10/26

DRAWN BY: JK, SM DRAWING NUMBER: AT-01

CHECKED BY: JAH

No.	Issue Description	YYYY-MM-DD
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North

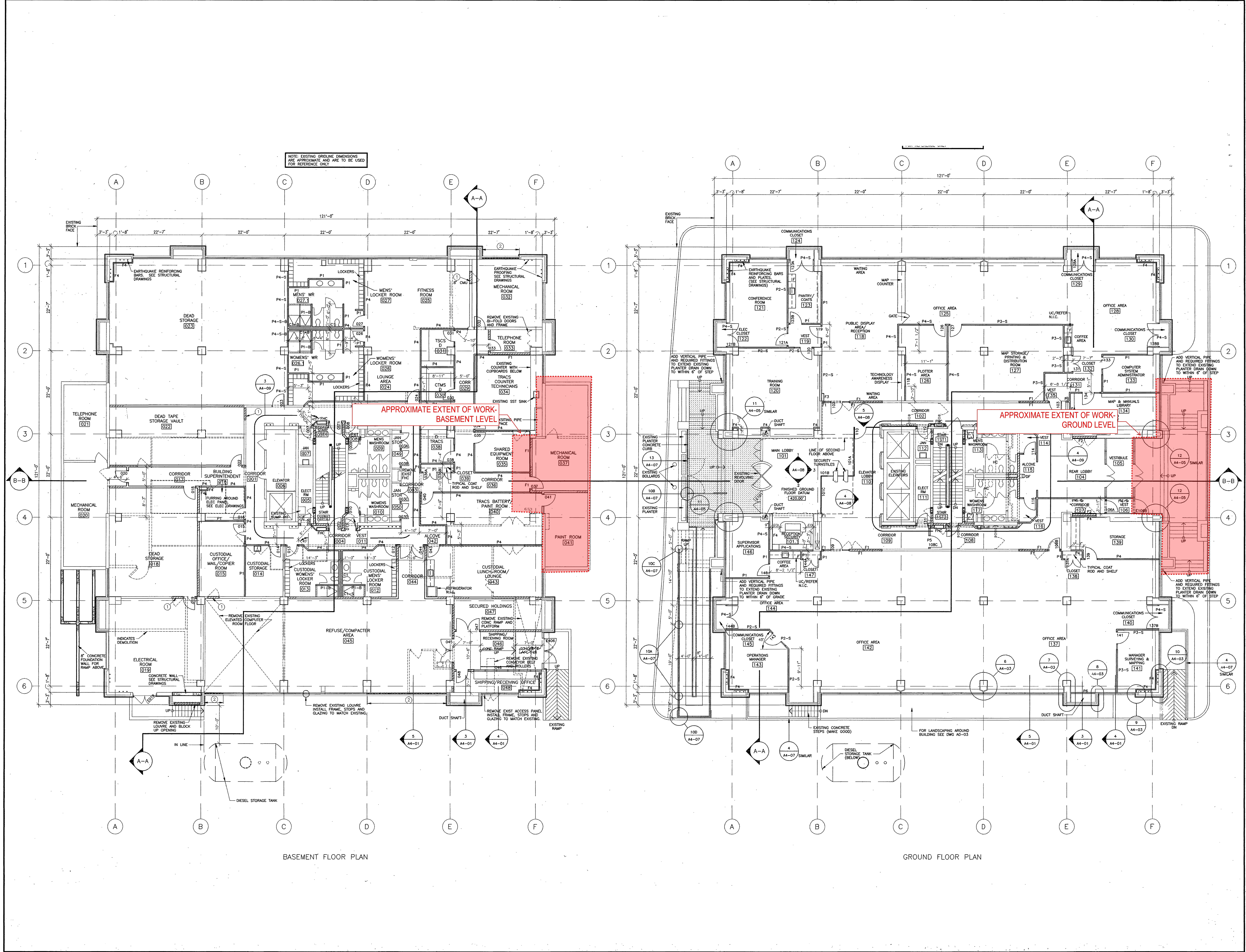
Project Title:  
**703 DON MILLS ROAD**  
**EAST STAIR STRUCTURAL REPAIRS**  
703 DON MILLS ROAD, TORONTO, ON.

Designed By: D.V. Scale: AS NOTED  
Drawn By: S.C. Date: 2024-05-13  
Drawing Title

**EXISTING BUILDING DRAWING**

Drawing Number

**R700**



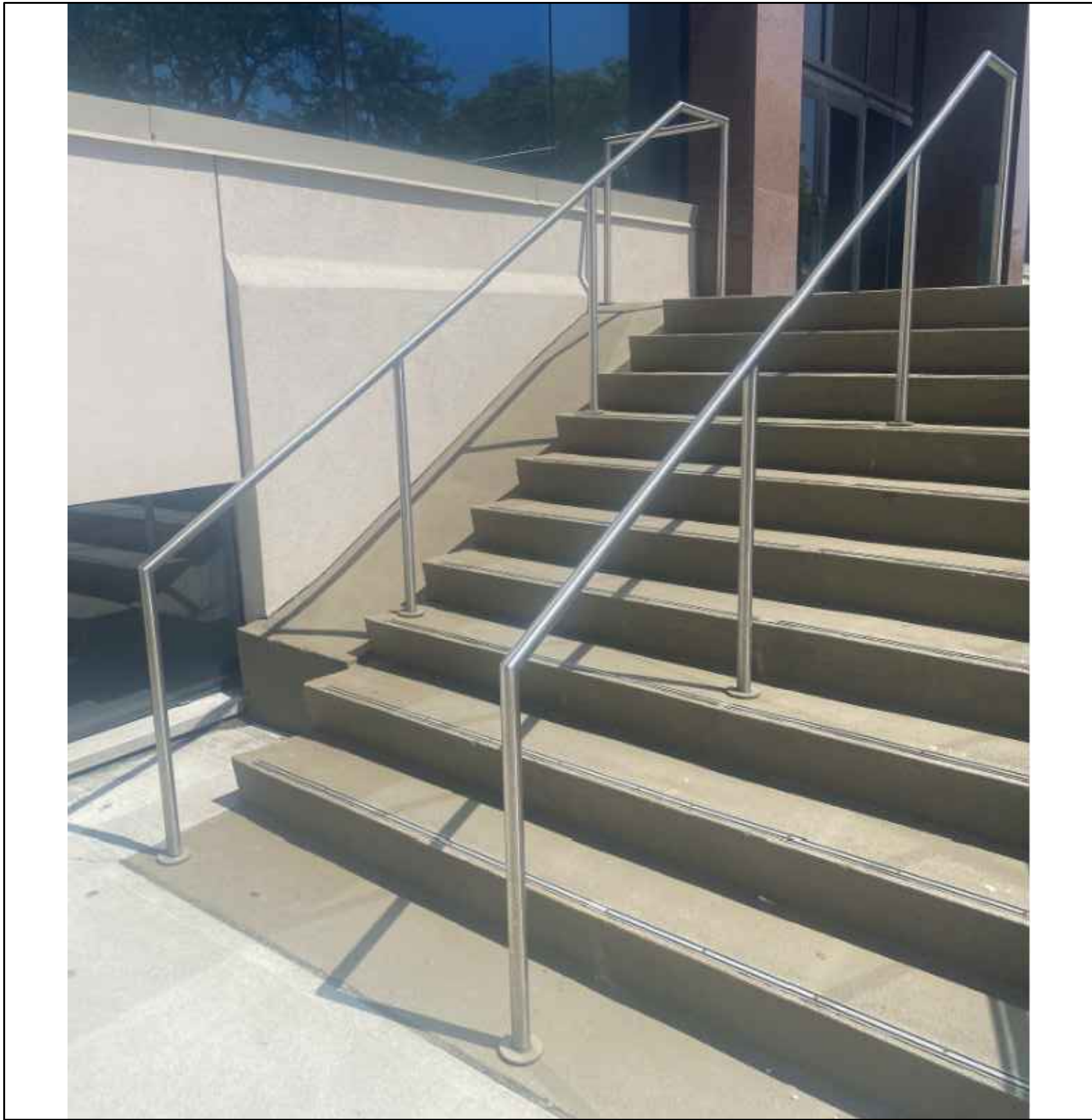
NOTE: EXISTING GROUND DIMENSIONS ARE APPROXIMATE AND ARE TO BE USED FOR REFERENCE ONLY.

BASEMENT FLOOR PLAN

GROUND FLOOR PLAN

2024-05-21 (1:54:04 PM)





1 RAILING PHOTOGRAPH  
R800

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703 DON MILLS ROAD

EAST STAIR STRUCTURAL REPAIRS

703 DON MILLS ROAD, TORONTO, ON.

Designed By: D.V. Scale: AS NOTED

Drawn By: S.C. Date: 2024-05-13

Drawing Title

RAILING PHOTOGRAPH

Drawing Number

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