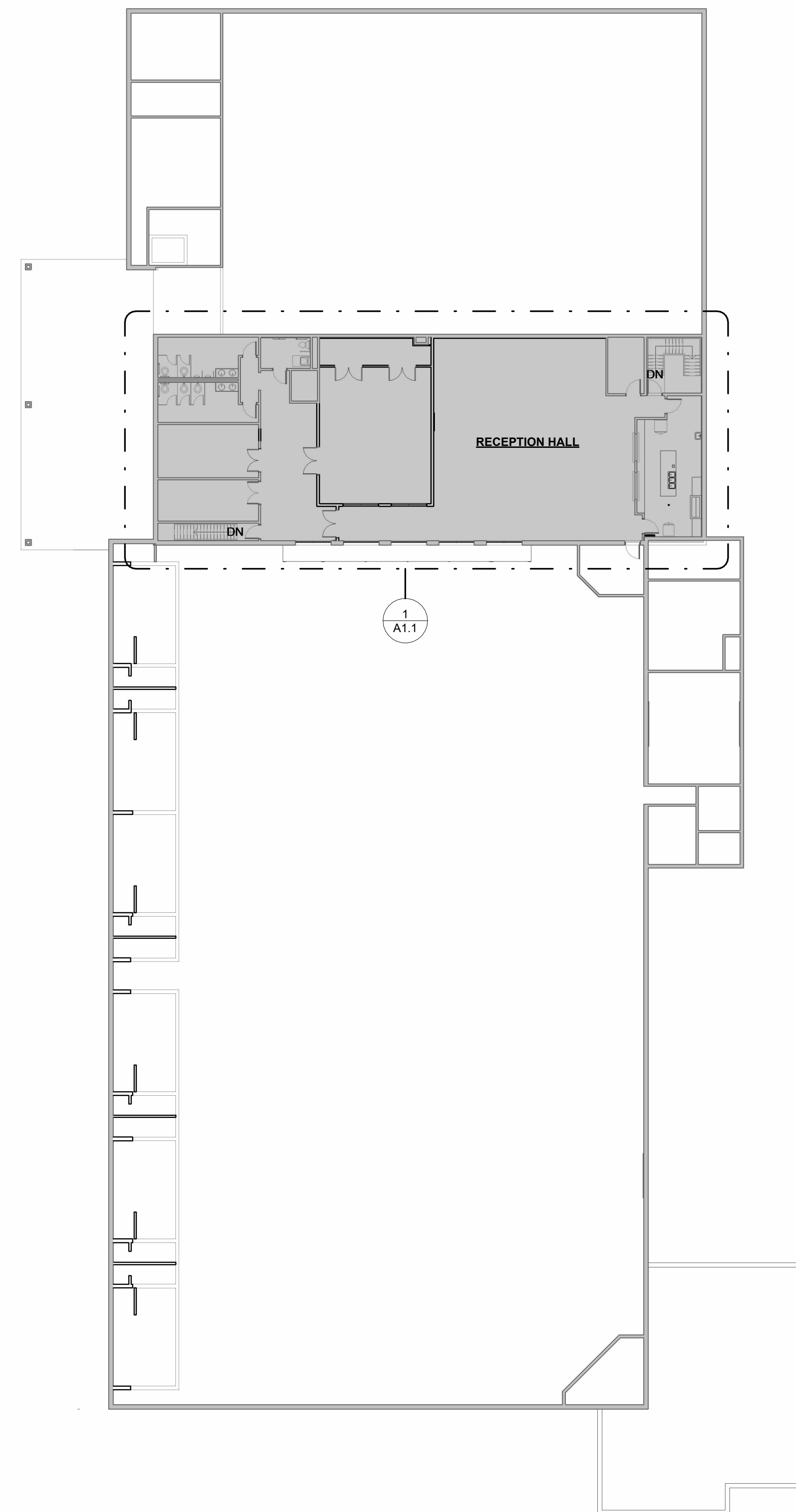




2 LOCATION PLAN
SCALE: 1/2" = 1'-0"



1 SECOND FLOOR PLAN - AREA OF WORK
SCALE: 1" = 20'-0"

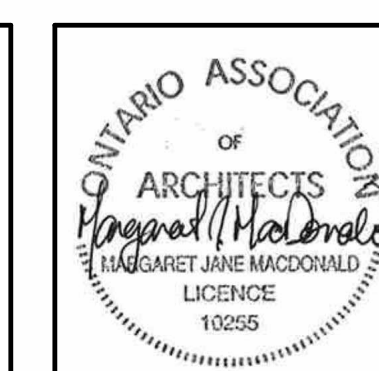


51 Kingston Street T 519 524 5313
Goderich, ON N7A 3K3
www.JPMArchitecture.ca

Rev No.	DATE	ISSUED FOR TENDER & PERMIT	REMARKS
17 JUL 2024	17 JUL 2024	ISSUED FOR TENDER & PERMIT	

ISSUED FOR

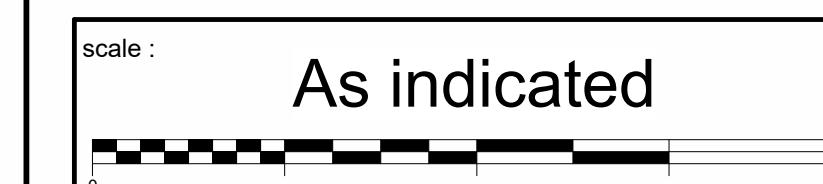
All measurements must be checked on the work by the Contractor.
Do not scale the drawing.
Do not use this drawing for construction until sealed and signed by the Architect.
Signing Architect has exercised responsible control with respect to design activities.



ARTHUR ARENA
INTERIOR RENOVATIONS
158 DOMVILLE ST.
ARTHUR, ONTARIO

TITLE & KEY PLAN

TENDER & PERMIT



detail : a - Detail number b - Location drawing

drawn : PM check : PM

date : 04/29/24 sheet :

job : 2160.00 **A0.0**

DIVISION 1 - GENERAL REQUIREMENTS

Section 00700 – AGREEMENT DEFINITIONS AND GENERAL CONDITIONS

1. The Agreement, Definitions and General Conditions contained in the Standard Construction Document for Stipulated Price Contract CCDC No. 2, revised 2020, shall become a part of the Contract and shall apply to all Contractors and Sub-Contractors.

Section 00100 - SUMMARY OF WORK

1. Demolition of an existing grandstand building and construction of a new four-storey (plus service level) grandstand building, including site services, structural, mechanical and electrical work.
2. Confine work to the area defined by property lines.
3. Commence no work until Contract is signed.
4. The Owner will apply and pay for Building Permit.
5. Contractor shall procure all other permits, licenses, inspections and certificates necessary for the performance of the Work.
6. Perform Work per the Ontario Building Code and any other codes of Provincial or local application.
7. Meet or exceed requirements of the Contract Documents.
8. Repair, patch and make good all existing conditions disturbed by the Work, to match or better pre-construction conditions.
9. Verify locations, dimensions and elevations on site.
10. Execute utility locates.

Section 1250 - SUBSTITUTION PROCEDURES

1. Substitution Procedures
 1. Contractor may propose a Substitution wherever a Product or manufacturer is specified by proprietary name(s), unless there is accompanying language indicating that Substitutions will not be considered.
 2. Contractor may propose a Substitution wherever a Product or manufacturer is specified by proprietary name(s) and accompanied by language such as "or equal", "or approved equal", or other similar words. Do not construe such language as an invitation to unilaterally provide a Substitution without Consultant's prior acceptance in writing. Do not order or install any Substitution without a Supplemental Instruction or Change Order.
 3. Provided a proposed Substitution submission includes all of the information specified in this Section under Submission Requirements For Proposed Substitutions, Consultant will promptly review and accept or reject the proposed Substitution.
 4. Consultant may accept a Substitution if satisfied that:
 1. the proposed substitute Product is the same type as, is capable of performing the same functions as, interfaces with adjacent work the same as, and meets or exceeds the standard of quality, performance and, if applicable, appearance and maintenance considerations, of the specified Product,
 2. the proposed substitute manufacturer has capabilities comparable to the specified manufacturer, and
 3. the Substitution provides a benefit to Owner.
 5. If Contractor fails to order a specified Product or order a Product by a specified manufacturer in adequate time to meet Contractor's construction schedule, Consultant will not consider that a valid reason to accept a Substitution.
 6. If Consultant accepts a Substitution and subject to Owner's agreement, the change in the Work will be documented in the form of either a Supplemental Instruction or Change Order as specified in Section 01260 - Contract Modification Procedures.
 7. If a Substitution is accepted in the form of a Supplemental Instruction or Change Order, Contractor shall not revert to an originally specified Product or manufacturer without Consultant's prior written acceptance.
2. Submission Requirements for Proposed Substitutions
 - .1 Include with each proposed Substitution the following information:
 - .1 Identification of the Substitution, including product name and manufacturer's name, address, telephone numbers, and web site.
 - .2 Reason(s) for proposing the Substitution.
 - .3 A statement verifying that the Substitution will not affect the Contract Price and Contract Time or, if applicable, the amount and extent of a proposed increase or decrease in Contract Price and Contract Time on account of the Substitution.
 - .4 A statement verifying that the Substitution will not affect the performance [or warranty] of other parts of the Work.
 - .5 Manufacturer's Product literature for the Substitution, including material descriptions, compliance with applicable codes and reference standards, performance and test data, compatibility with contiguous materials and systems, and environmental considerations.
 - .6 Product samples as applicable.
 - .7 A summarized comparison of the physical properties and performance characteristics of the specified Product and the Substitution, with any significant variations clearly highlighted.
 - .8 Availability of maintenance services and sources of replacement materials and parts for the Substitution, as applicable, including associated costs and time frames.
 - .9 Details of other projects and applications where the Substitution has been used.
 - .10 Identification of any consequential changes in the Work to accommodate the Substitution and any consequential effects on the performance of the Work as a whole. A later claim for an increase to the Contract Price or Contract Time for other changes in the Work attributable to the Substitution will not be considered.

Section 01300 - SUBMITTALS

1. Submit shop drawings, manufacturer product data, samples as specified.
2. Submit maintenance material for Operating and Maintenance Manual. Operating and Maintenance Manual shall contain:
 1. List of all suppliers and contractors.
 2. Instructions for operating, lubricating and repair or equipment installed.
 3. Final finish hardware schedule.
 4. Maintenance instructions for all finishes.
 5. All signed warranties beyond one year general period.

Section 01410 - SITE INSPECTION REPORTS & TESTING

1. The Ontario Building Code specifies the general field reviews of the building be carried out during the course of construction. Contractor shall notify the Consultant of the state of construction to facilitate such reviews by the Consultant and their subconsultants.
2. Third party inspection and testing reports are to be supplied to Consultant by the Contractor for the following:
 1. Soil bearing capacity for all footings.
 2. Reinforcing steel placement.
 3. Concrete cylinder test reports for all structural concrete footings, foundation walls, slab-on-grade, structural slabs, concrete on steel deck.
 4. Backfill and fill compaction.
 5. Slab moisture and pH testing.
 6. Inspection of structural steel for alignment, bolts and welded connections.
3. Moisture and pH Testing of Concrete Slabs.
 1. Execute concrete floor slab moisture testing and pH testing of slabs to receive flooring. Tests to be executed by independent testing company as specified in Section 01020. Testing to be paid for from Cash Allowance as specified in Section 01020.
 2. Moisture testing shall be done in accordance with ASTM F2170-02 - Standard Test Method for Determining Relative Humidity in Concrete Floor Slabs Using in situ Probes. Testing shall also be done per ASTM F1869 Calcium Chloride Test, when the ASTM F2170 indicates that slabs have reached a relative humidity level of 80% or less.
 3. Testing shall not take place until minimum 46 days following completion of curing of floor slabs.
 4. Ensure that 20"x20" test areas for four (4) F1869 tests are ground clean and left open for 24 hours prior to installation of calcium chloride test kits by testing company.
 5. Ensure that test area is at the same temperature and humidity expected during normal use; 65 degree F to 85 degree F and 45% to 55% relative humidity. The area should be enclosed and HVAC unit should be operating.
 6. Surface pH testing of concrete slabs shall be done per ASTM F710 - Standard Practice for Preparing Concrete Floors to Receive Resilient Flooring, and must range between 7 and 9 before flooring can be installed.

Section 01500 - TEMPORARY FACILITIES

1. General Contractor shall provide the following as required for completion of the Work:
 1. Temporary electricity.
 2. Temporary lighting.
 3. Temporary water.
 4. Temporary telephone.
 5. Temporary fire protection.
 6. Temporary first aid.
 7. Temporary heating.
 8. Temporary sanitary facilities.
 9. Temporary site office.

DIVISION 4 - MASONRY

Section 04050 - MASONRY PROCEDURES

General

1. Quality Assurance: Comply with the following standards:
 1. CSA S304.1 Design of Masonry Structures
 2. CSA A371 Masonry Construction for Buildings
 3. CSA A179 Mortar and Grout for Unit Masonry
2. Submittals: submit shop drawing, product data, samples, etc, for each product under this Division.
3. Qualifications:
 - .1 Provide competent trade foreman, well skilled and experienced in the specialized type of work required, for continuous supervision.
 - .2 Provide specialized skilled and competent tradesmen who have had considerable experience in this type of work.
 - .3 Submit, if requested, a detailed list of projects and experience relating to any of the above workers

Designated Substances

1. Silica is present in mortar and concrete block. Disturbance of materials containing silica will occur during cutting or grinding of mortar joints. The Contractor undertaking this work is responsible to ensure that workers performing the work are not exposed to airborne silica levels in excess of 0.20 mg/m³. This can be accomplished by:
 - .1 providing workers with suitable respiratory protection and disposable coveralls if airborne levels are in excess of regulated limits;
 - .2 misting work area with water to suppress dust levels and avoiding dry sweeping of dust and debris during clean-up (i.e. use damp mopping or HEPA vacuums;
 - .3 ensuring that adequate temporary ventilation is available inside the work area.
2. It should be noted that the use of mechanically powered tools for the work increases the concentration of airborne silica and therefore requires more stringent respiratory protection and controlled work procedures.
3. Precautions must be taken, during construction disturbance of silica, to ensure that persons exposed are protected. Constructing physical barriers and using polyethylene drop sheets or enclosures to isolate the work area will control silica levels.
4. Comply with "Guideline - Silica on Construction Projects", dated April 2011, as issued by Occupational Health and Safety Branch Ministry of Labour.

Environmental Requirements

1. Cold Weather Requirements
 - .1 Protect masonry walls from precipitation so that they are dry in terms of masonry work.
 - .2 Implement cold weather procedures when mean daily air temperatures fall below 4C (40 F). Provide "Protection Period Procedures" and "Requirements During Construction" as specified herein.
 - .3 Masonry temperature shall be not less than 4C (40F).
 - .4 Mortar temperature shall be in the range of 4C (40F) to 20 C (68F). Comply with "Requirements During Construction" chart as specified herein.
 - .5 Provide mortar with 10-16% air entrainment.
 - .6 Utilize maximum/minimum thermometers and relative humidity gauge to ensure conditions are complied with.
 - .7 No frozen materials nor materials containing ice shall be used.
 - .8 Moisture content of the mortar shall be 10-11.5%.
 - .9 Temperature of warmed sand shall be 21 C (70F).
 - .10 Temperature of warmed mortar shall be maintained between 4C (40F) and 49C (120F). There is a danger of flash setting at higher temperatures.
 - .11 Protection Period Procedures: Protection period for mortar before exposure to freezing temperatures shall be 7 days minimum. During the first 3 days the mortar shall be damp cured using damp burlap covered with polyethylene film at masonry temperature above 10C (50F) to ensure some initial strength for the mortar. This shall be followed by four additional days of protection from wind and precipitation with masonry temperature above 0C (32F). Provide water mist curing.
 - .12 Requirements During Construction:

Air Temperature	Requirements During Construction
0C (32F) to 4C (40F)	1. Heat mixing water to minimum 66C (150F) and maximum of 82C (180F).
-4C (25F) to 0C (32F)	1. Heat sand to 21C (70F) and mixing water to minimum 66C (150F) and maximum 82C (180F).
-7C (19F) to 4C (25F)	1. Heat sand to 21C (70F) and mixing water to minimum 66C (150F) and maximum 82C (180F). 2. Provide heat on both sides of walls. 3. Provide windbreaks when wind is in excess of 25 km/hr.
-7C (19F) and below	1. Heat sand to 21C (70F) and mixing water to minimum 66C (150F) and maximum 82C (180F). 2. Provide enclosures and supplementary heat to maintain masonry wall and air temperature above 4C (40F).

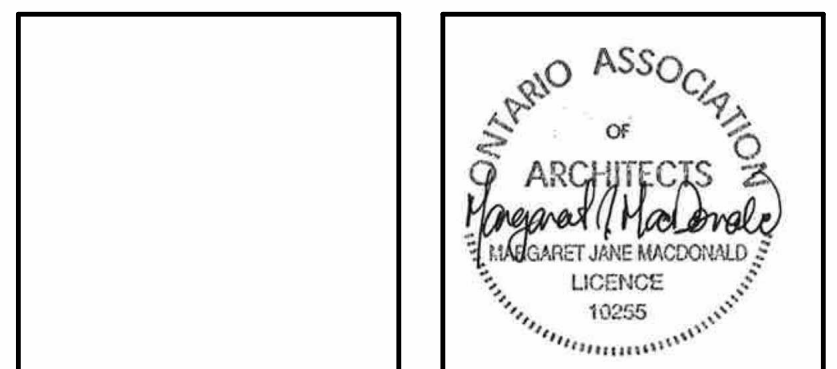
- .13 Heating Sand and Water
 - .1 A common method of heating sand is to place a series of culverts beneath the sand pile with a heating source in the pipe. Heat sand slowly to avoid scorching it. Scorched sand will have a reddish tint and should not be used.
 - .2 Electric heating pads for mortar heating are acceptable (9' x 15' or 9' x 7.5' in size). Heat mortar for minimum of 12 hours using this method - eliminates scorching of sand and reduces labour required to tend open fires. Pads should be UL or ULC approved.
 - .3 Alternate method, electric rod heater for water filled drum situated in sand pile - UL approval required. Heats both sand and water. Heating time about 8 to 12 hours and will keep up to 4 tons of sand thawed at sub-zero temperatures.
- .14 Hot Weather Requirements
 - .1 When wall surfaces or ambient temperature reach 25 C, protect new work from rapid drying by providing burlap protection kept misted as necessary to control drying and shrinkage



51 Kingston Street T 519 524 5313
Goderich, ON N7A 3K3
www.JPMArchitecture.ca

Rev No.	DATE	ISSUED FOR TENDER & PERMIT	REMARKS
	17 JUL 2024	ISSUED FOR TENDER & PERMIT	
ISSUED FOR			

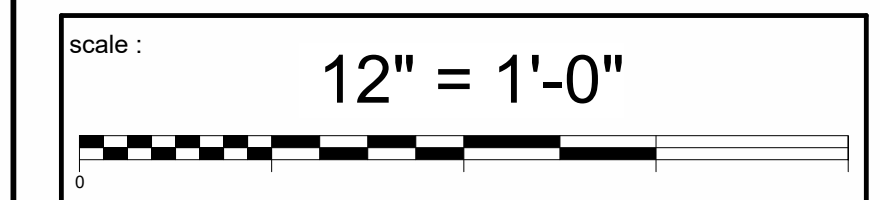
All measurements must be checked on the work by the Contractor.
Do not scale the drawing.
Do not use this drawing for construction until sealed and signed by the Architect.
Signing Architect has exercised responsible control with respect to design activities.



**ARTHUR ARENA
INTERIOR RENOVATIONS**
158 DOMVILLE ST.
ARTHUR, ONTARIO

SPECIFICATIONS

TENDER & PERMIT



detail : a - Detail number
b - Location drawing

drawn : PM check : PM

date : 07/08/24 sheet :

job : 2160.00 **A0.2**

DIVISION 9 - FINISHES

Section 09100 - METAL SUPPORT SYSTEMS

General

- 1. Provide metal support systems for ceilings, partitions, facings, bulkheads, soffits, etc. as shown on Drawings and specified herein.
2. Submittals: Submit shop drawings, manufacturer product data, standard details and installation instructions. Shop drawings to be signed and sealed by a qualified Professional Engineer registered in Ontario.
3. References: 1. ASTM C635, Standard Specifications for Metal Suspension Systems.
2. ASTM C636, Recommended Practice for Installation of Metal Suspension Systems.
3. Ceiling & Interior Systems Construction Association (CISCA) - Ceiling Systems Installation Handbook.
4. ASTM C645, Standard Specification for Non-Load Bearing (Axial) Steel Studs, Runners, (Track), and Rigid Furring Channels for Screw Application of Gypsum Board.
5. ASTM C754, Specification for Installation of Steel Framing Members to Receive Screw-Attached Gypsum Panel Product.
6. ASTM E119, Standard Test Methods for Fire Tests of Building Construction and Materials. Underwriters Laboratories Inc. (UL) Fire Resistance Directory.
7. Store and handle products and provide environmental conditions as recommended by manufacturer.

Products

- 1. Suspended ceiling system for gypsum board: Furnish 37mm (1 1/2") cold-rolled steel carrying channels, metal furring channels and hangers.
2. Metal Furring Channels: 22mm (7/8") winged flange type, cold rolled galvanized steel hat channels for screw-on gypsum board.
3. Metal Resilient Channels: 12.7mm (1/2"), cold rolled galvanized steel for screw-on gypsum board.
4. Hangers: 5mm (3/16") diameter pencil rods of galvanized steel to CSA A82.30-M.
5. Tie Wire: minimum No. 18 gauge galvanized wire to CSA A 82.30-A.
6. Hanger Anchors: Appropriate for construction assembly.
7. Interior non-load bearing channel stud framing: to ASTM C645 of sizes as shown, of roll formed electrogalvanized steel, for screw attachment of gypsum board. Knockout service holes at 46mm centers.
8. Floor and ceiling track: to ASTM C645 in widths to suit stud sizes.
9. Screws: per ASTM C754.
10. Concrete anchors: per ASTM C754.

Execution

- 1. Install ceiling suspension system per ASTM C635, ASTM C636, CISCA installation standards, shop drawings and manufacturer installation instructions.
2. Install steel stud partitions, furring channel between studs for attachment of fixtures, electrical boxes, etc. per ASTM C645, shop drawings and manufacturer installation instructions.

Section 09250 - GYPSUM BOARD ASSEMBLIES

General

- 1. Provide gypsum board work including ceilings, partitions, bulkheads, soffits, shaft-wall system, etc. as shown on Drawings and specified herein.
2. Submittals: Submit manufacturer product data, standard details and installation instructions.
3. References: 1. Levels of Gypsum Board Finish by the Association of the Wall and Ceiling Industry (AWCI).
2. CGC, Installation & Finish of Gypsum Panels, document GA216.
3. ASTM C36/C36M, Specification for Gypsum Board Wallboard.
4. ASTM C475/C475M, Specification for Joint Compound and Joint Tape for Finishing Gypsum Board.
5. ASTM C840, Specification for Application and Finishing of Gypsum Board.
6. ASTM C1002-04, Specifications for Steel Self-Piercing Tapping Screws for the Application of Gypsum Board Panel Products.
7. ASTM C1047, Specifications for Accessories for Gypsum Wallboard.
8. CAN/CGSB-51.34-M, Vapour Barrier, Polyethylene Sheet for Use in Building Construction.
9. CSA A82.31M Gypsum Board Application.
10. CGSB 19-GP-14M Sealing Compound, One Component, Butyl-Polyisobutylene Polymer Base, Solvent Curing.
4. Store and handle products and provide environmental condition as recommended by manufacturer.

Products

- 1. Gypsum board: to ASTM C36/C36M regular and Type X of thicknesses shown, 48" wide x maximum practical length.
2. Screws: to ASTM C1002.
3. Laminating compound: "Green Glue" by Green Building Supply, or other approved.
4. Shaft Wall System: CGC "Sheetrock Shaft Wall System" as shown, per ULC certified assembly.
5. Accessories: 1. Joint reinforcement tape and joint compound: to ASTM C475/C475M.
2. Casing beads, corner bead, fill-type: to ASTM C1047, galvanized.
3. Zinc control joint No. 093 by US Gypsum or equal.
4. Acoustic sealant: to CGSB 19-GP-14M.
5. Polyethylene film: to CAN/CGSB-51.34-M.
6. Insulation strip: Rubberized, moisture resistant, 3mm thick.
7. Attic access hatch: Nystrom "IUA Series" fire-rated with gasketing and paint finish.
8. Shaft wall access door: Fire-rated insulated metal as shown.

Execution

- 1. Do application and finishing of gypsum board per CSA A 82.31M, ASTM C840 and manufacturer's specifications.
2. Finish gypsum board to Level 4 finish, except ceilings and bulkheads, per AWCI "Levels of Gypsum Board Finish".
3. Finish gypsum board ceilings and bulkheads to Level 5 per AWCI "Level of Gypsum Board Finish".

Section 09511 - ACOUSTIC LAY-IN CEILINGS

General

- 1. Provide suspended acoustic tile ceiling system as shown on Drawings and specified.
2. Reuse and clean existing grid as possible. Replace as required.
3. Design criteria for suspension system: Maximum deflection 1/360th of span to ASTM C635 deflection test.
4. Submittals: Submit manufacturer's product data, duplicate samples of acoustic tile units and 600mm (24") long samples of tee grid.
5. Maintenance Materials: Submit two cartons of acoustic tile units, from same production run as installed units.

Products

- 1. Acoustic Tile: 1. Furnish CertainTeed Architectural Acoustical Ceiling Panel "Symphony m", 2' x 4', square edge, white colour, in new exposed tee grid in areas indicated ACT-1.
2. Furnish CertainTeed Architectural Acoustical Ceiling Panel "Symphony m", 2' x 4', square edge, white colour, in existing exposed tee grid in areas indicated ACT-3.
3. Furnish CertainTeed Architectural Acoustical Ceiling Panel "Symphony m RX", 2' x 4', square edge, white colour, in existing exposed tee grid in areas indicated ACT-2.
2. Suspended System: Donn DX, 24mm (or equivalent by Armstrong) intermediate duty, white, two-directional exposed tee bar grid.
3. Hangar Wire: galvanized soft annealed steel wire, 2.6mm diameter.
4. Hangar Inserts: as appropriate to substrates and structures hung from.
5. Accessories: wall moulding, retainers, clips, splices, etc.

Execution

- 1. Install suspension system to ASTM C636 and per manufacturer's specifications.
2. Install acoustic tile units per manufacturer specifications and as shown on Drawings.

DIVISION 9 - FINISHES

Section 09660 - RESILIENT FLOORING

General

- 1. Provide resilient flooring, base and accessories as shown on Drawings and specified herein.
2. Submittals: Submit manufacturer's product data for each product as specified. Submit duplicate samples of each product specified. Submit manufacturers maintenance data.
3. Environmental Requirements: Provide such per manufacturer specifications.
4. Maintenance Materials: Provide extra flooring materials of each type specified for Owner's maintenance purposes.

Products

- 1. Sheet Vinyl: 1. TYPE SV: Forbo Eternal Safety Sheet flooring 172812 GREY LAVENDER
2. TYPE RT-1: Forbo Marmoleum Modular Tile 19.69"x19.69" t3053 DOVE GREY.
3. TYPE RT-2: Forbo Marmoleum Modular Tile 19.69"x19.69" t3718 PLUTO.
2. Furnish Forbo "T940" adhesive.
3. Resilient Base: 4" high resilient cove profile. 1. Forbo Wall Base: C40 SAND GRANITE
4. Divider Strips: Furnish Schluter transition strips.
5. Sub-Floor Filler and Leveller: as recommended by flooring manufacturer.
6. Moisture Control: Refer to Sections 01400 and 03343.

Execution

- 1. Install products per manufacturer specifications. Clean resilient flooring per manufacturer specifications.

Section 09900 - PAINTING

General

- 1. Provide painting as shown on Drawings and specified herein.
2. Submittals: Submit manufacturer's product data for each paint coating as specified. After selection of colours by Architect or Owner, submit 150mm x 200mm (6" x 8") sample crowdown of each finish colour and sheen for review. Submit two samples of wood stain with clear coat finish.
3. Environmental Requirements: Comply with humidity an ambient temperature requirements as specified by paint manufacturer.

Products

- 1. Qualified Products: only paint materials listed on the CGSB Qualified Products List are acceptable for use on this project. Formulas specified herein are based on Benjamin Moore numbers; equivalent paints by ICI, Glidden, Colour Your World, Sico, Pratt & Lambert or other quality product manufacturer is acceptable.
2. Paint materials for each coating system to be products of a single manufacturer as possible.

Execution

- 1. Preparation of Surfaces: to paint manufacturer's published recommendations.
2. Application: Sand and dust between coats. Finish faces, bottoms, edges, tops and cutouts of doors after fitting. Comply with manufacturer's product data and application specifications.
3. Mechanical and Electrical: Paint exposed conduits, pipes, hangers and other mechanical and electrical equipment exposed in finish painted areas.
4. Exterior Paint Systems: 1. System No. 1E: Galvanized metal: 1. Clean wipe with recommended solvent. 2. One coat latex Fresh Start Primer K046. 3. Two coats acrylic exterior Soft Gloss K543.
2. System No. 2E: Wood and high density polyurethane foam: 1. One coat latex Fresh Start Primer K046. 2. Two coats acrylic exterior Soft Gloss K543.
3. System No. 3E: Wood to receive stain and clear coat: 1. Transparent stain K637. 2. Two coats Arborcoat K636.
5. Interior Paint Systems: 1. System No. 1: Masonry block: 1. One coat latex block filler Super Spec K160. 2. Two coats EcoSpec WB F375 Pearl.
2. System No. 2: Gypsum board walls: 1. One coat latex primer sealer K253. 2. Two coats acrylic latex EcoSpec WB F375 Pearl.
3. System No. 3: Gypsum board ceilings: 1. One coat latex primer sealer K253. 2. Two coats acrylic latex EcoSpec WB F374 Eggshell.
4. System No. 4: Hollow metal doors and frames: 1. Clean wipe with solvent. 2. One coat acrylic primer KP04. 3. Two coats acrylic latex EcoSpec WB F376 Semi Gloss.
5. System No. 5: Ferrous miscellaneous metal: 1. One coat acrylic primer KP04. 2. Two coats acrylic latex EcoSpec WB F376 Semi Gloss.

SECTION 10 - SPECIALTIES

Section 10800 - WASHROOM ACCESSORIES

General

- 1. Provide washroom accessories as shown and specified on drawings.
2. Provide wood backing in wall to support all wall-hung fixtures.

Products

- 1. Universal Washroom Toilet Tissue Dispenser: Frost Surface Mounted Single Toilet Paper Holder, Product Code "1135-S", Single roll unit, Type 304 stainless steel, brushed finish, with concealed mounting. Roller shall hold and dispense all standard core roll tissue up to 5" diameter.
2. "L" Grab Bar: Frost Stainless Steel 1-1/2" Diameter Grab Bars, Product Code "1003-NP30X30", 18 gauge stainless steel, 1-1/2" O.D. (outside diameter), brushed finish with peened grip, provided with 12 gauge stainless steel snap flange with concealed mounting, bead weld to stainless steel tubing.
3. 24" Grab Bar: Frost Stainless Steel 1-1/2" Diameter Grab Bars, Product Code "1003-NP24", 18 gauge stainless steel, 1-1/2" diameter, brushed finish with peened grip, provided with 12 gauge stainless steel snap flange with concealed mounting, bead weld to stainless steel tubing.
4. 36" Grab Bar: Frost Stainless Steel 1-1/2" Diameter Grab Bars, Product Code "1003-NP36", 18 gauge stainless steel, 1-1/2" diameter, brushed finish with Peened grip, provided with 12 gauge stainless steel snap flange with concealed mounting, bead weld to stainless steel tubing.
5. Feminine Napkin Disposal Bin: Frost, Product Code "622" welded, 22 gauge stainless steel, brushed finish, continuous hinged door, etched with "napkin disposal", surface mounted.
6. Wall-Mounted Waste Receptacle: Frost Wall Mounted Waste Receptacle with Galvanized Liner, Product Code "303-3", Body: 22 gauge stainless steel, Type 304 no. 4, brushed finish, Lid: 20 gauge stainless steel, Type 304 no. 4, brushed finish, 33" high.
7. Mirror: Frameless Bevel Mirror, Product Code "6271167", dimensions per drawings.
8. Safety Coat Hook: Frost Steel Safety Coat Hook, Product Code "1150-Black", Body: 18 gauge stainless steel, Type 304, brushed finish, Hook: 18 gauge steel, black powder coat finish.

Execution

- 1. Install in-wall backing and anchors to stud framing prior to installation of gypsum board.
2. Use tamper-proof screws/bolts for fasteners.

Section 10400 - INTERIOR SIGNAGE

General

- 1. Signage to be provided per Building Code Requirements.
2. Room Signage style, wording and numbering to be confirmed with Owner.

Products

- 1. Updated Fire Exit Plan: Signage locations to be confirmed by Authority Having Jurisdiction, size to suit plan graphic.
2. Service / Utility Rooms: 8" x 8" signage.
3. Washrooms: International Male / Female / Accessible signage, include tactile / Braille. Size 8" x 8".



51 Kingston Street T 519 524 5313
Goderich, ON N7A 3K3
www.JPMArchitecture.ca

Table with 4 columns: Rev No., DATE, ISSUED FOR TENDER & PERMIT, REMARKS. Includes 'ISSUED FOR' stamp.

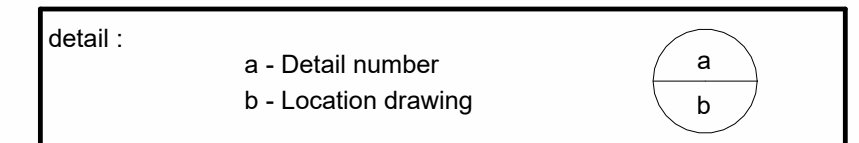
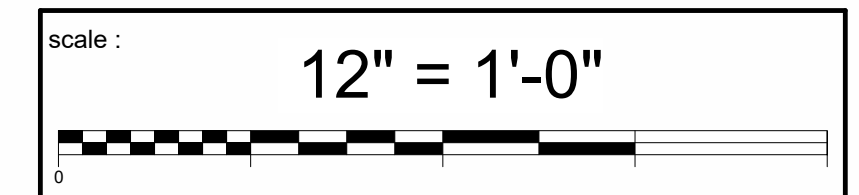
All measurements must be checked on the work by the Contractor. Do not scale the drawing. Do not use this drawing for construction until sealed and signed by the Architect. Signing Architect has exercised responsible control with respect to design activities.



ARTHUR ARENA INTERIOR RENOVATIONS
158 DOMVILLE ST. ARTHUR, ONTARIO

SPECIFICATIONS

TENDER & PERMIT

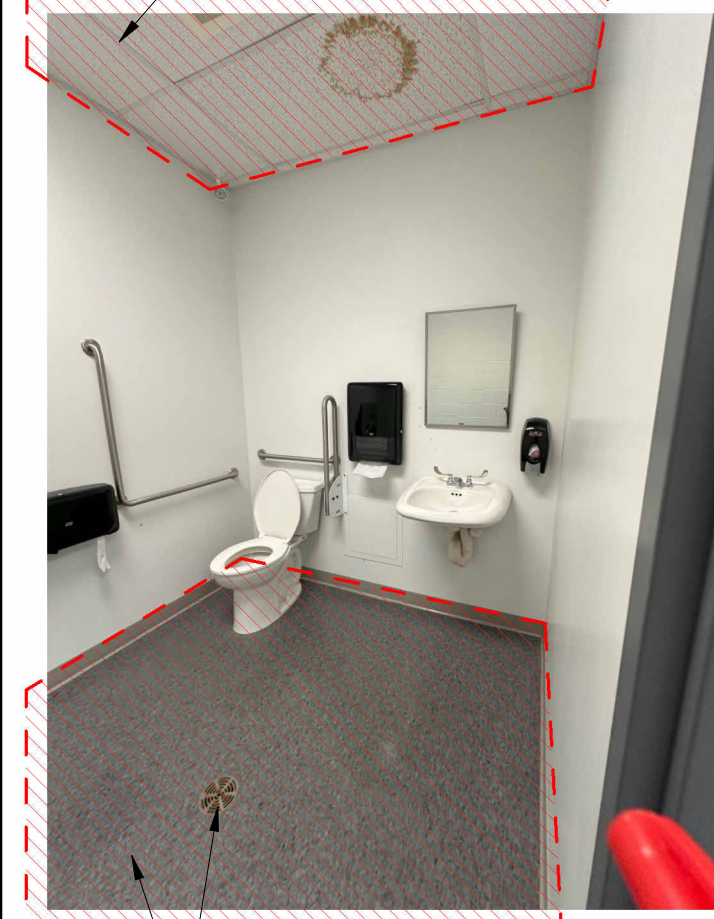


drawn : PM check : PM

date : 07/08/24 sheet :

job : 2160.00 A0.5

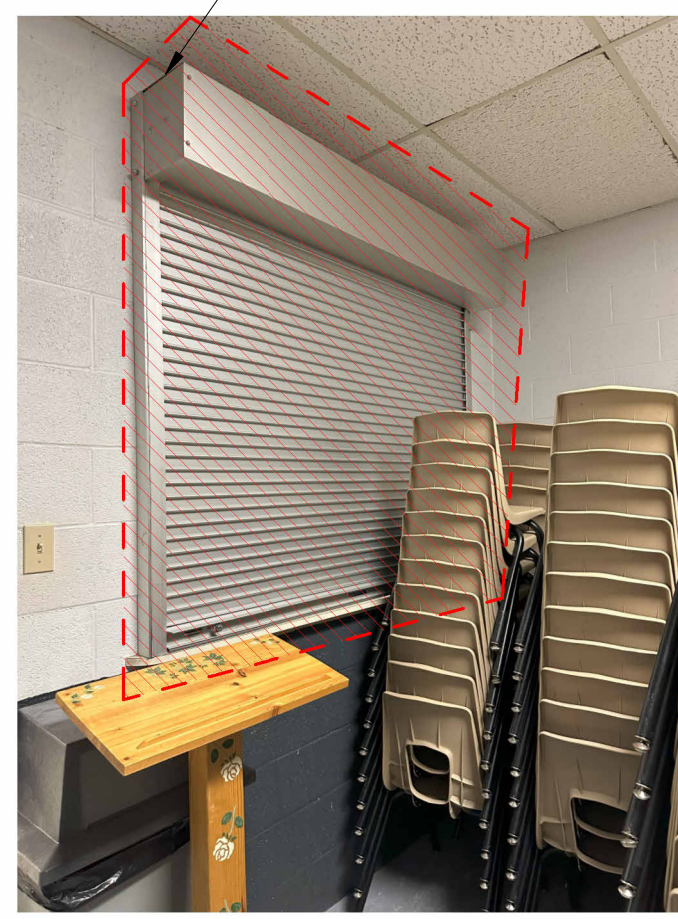
REMOVE AND DISPOSE OF CEILING TILES. CLEAN EXISTING T-BAR GRID STRUCTURE TO REMAIN.



EXISTING FLOOR DRAIN COVER TO REMAIN
REMOVE AND DISPOSE OF EXISTING FLOORING AND BASE MATERIAL.

UNIVERSAL WASHROOM 205

REMOVE AND DISPOSE OF EXISTING SHUTTER. ENLARGE NEW OPENING TO SUIT NEW DOUBLE DOOR.



STORAGE ROOM 202

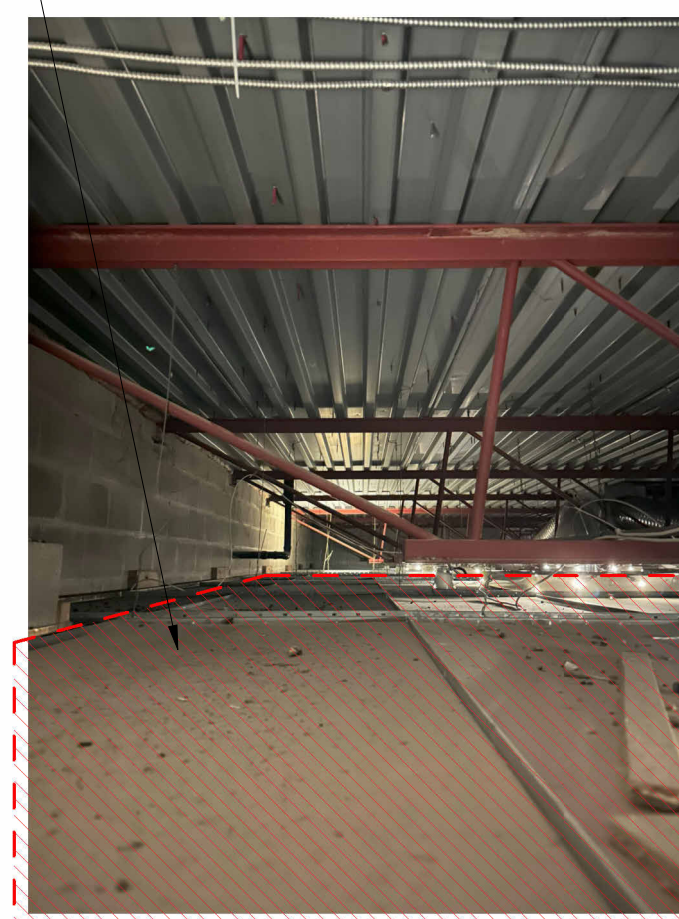
REMOVE AND DISPOSE OF EXISTING CEILING TILES, DIFFUSERS AND LIGHTING. EXISTING T-BAR GRID STRUCTURE TO REMAIN AND BE CLEANED.



REMOVE AND DISPOSE OF EXISTING WIRE GLASS WINDOWS AND FRAMES ENLARGE OPENINGS AS DESIGNED AND DISPOSE OF WALL MATERIAL

RECEPTION HALL 210 - LOOKING EAST

REMOVE AND DISPOSE OF EXISTING ACT CEILING TILES AND ANY MISCELLANEOUS LOOSE MATERIALS ABOVE



RECEPTION HALL - CEILING SPACE

REMOVE AND DISPOSE OF EXISTING CEILING TILES, LIGHTING AND GRILLES - CLEAN EXISTING T-BAR GRID STRUCTURE TO REMAIN.

REMOVE AND DISPOSE OF EXISTING RANGES, HOOD FANS, REFRIGERATOR AND UPPER CABINETS



REMOVE AND DISPOSE OF EXISTING FLOORING AND BASE REMOVE AND DISPOSE OF EXISTING MILLWORK AND SINK

KITCHEN 213

DEMOLITION NOTES

- DO NOT DAMAGE EXISTING BUILDING OR PORTIONS OF EXISTING BUILDING TO REMAIN. TAKE CARE NOT TO ENCRUCH ON ADJACENT OCCUPIED AREAS OR AREAS NOT WITHIN THE SCOPE OF WORK. PROTECT ALL EXISTING FINISHES THAT ARE TO REMAIN. PATCH AND MAKE GOOD ALL EXISTING ADJACENT SURFACES FINISHES AND MATERIALS WHERE DISTURBED OR DAMAGED BY NEW CONSTRUCTION.
- UNLESS NOTED OTHERWISE (UNO) REMOVE AND DISPOSE OF ALL EXISTING WALL MOUNTED ITEMS (EG. MIRRORS, SOAP DISPENSERS, PAPER TOWEL DISPENSERS, ETC.) WITHIN THE AREA OF WORK.
- WHERE A WALL MOUNTED ITEM IS REMOVED PATCH AND REPAIR VOIDS AND MAKE WALL SURFACE READY TO RECEIVE FINISH INDICATED.
- REMOVE ALL WIRING FROM ELECTRICAL ITEMS THAT WILL BE REMOVED AND ALL REDUNDANT CONDUIT TO NEAREST JUNCTION BOX THAT WILL REMAIN, AND MAKE SAFE. INSTALL COVER PLATES OVER EXPOSED OPENINGS AND ELECTRICAL BOXES. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- ALL PIPING AND DUCTWORK THAT IS TO BE REMOVED IS TO BE REMOVED BACK TO THE NEAREST JUNCTION AND CAPPED. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- NOTIFY CONSULTANT AND OWNER OF SUSPECTED HAZARDOUS MATERIAL IMMEDIATELY.
- DISPOSE OF ALL DESIGNATED SUBSTANCES PER THE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- PROVIDE PROTECTION FOR ALL FINISHES OR SERVICES TO REMAIN.
- ALL WINDOWS WITHIN THE DEMOLITION AREA ARE TO HAVE COVERINGS, THEIR FITTINGS AND MOUNTING HARDWARE REMOVED AND RETURNED TO THE OWNER.



51 Kingston Street T 519 524 5313
Goderich, ON N7A 3K3
www.JPMArchitecture.ca

2 DEMOLITION PHOTOS

SCALE: 12" = 1'-0"

Rev No.	DATE	REMARKS
17JUL2024	ISSUED FOR TENDER & PERMIT	
ISSUED FOR		

All measurements must be checked on the work by the Contractor.
Do not scale the drawing.
Do not use this drawing for construction until sealed and signed by the Architect.
Signing Architect has exercised responsible control with respect to design activities.



ARTHUR ARENA
INTERIOR RENOVATIONS
158 DOMVILLE ST.
ARTHUR, ONTARIO

DEMOLITION PLAN

TENDER & PERMIT

scale: **As indicated**

detail: a - Detail number, b - Location drawing

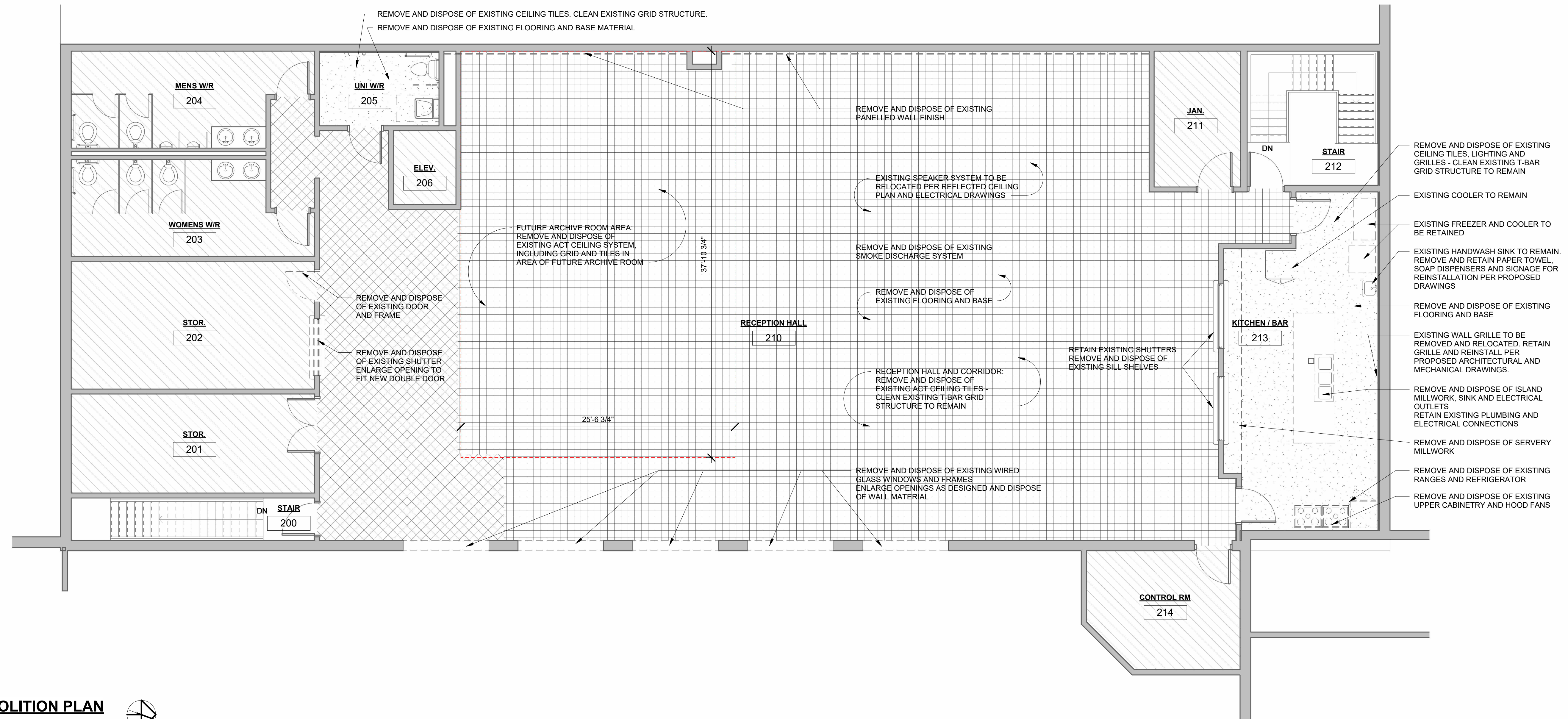
drawn: PM, check: PM

date: 04/29/24, sheet: A1.0

job: 2160.00

1 DEMOLITION PLAN

SCALE: 3/16" = 1'-0"



2024-07-17 3:12:58 PM



51 Kingston Street
Goderich, ON N7A 3K3
www.JPMArchitecture.ca
T 519 524 5313

- UNIVERSAL BARRIER-FREE WASHROOM GENERAL NOTES:**
THE UNIVERSAL BARRIER-FREE WASHROOM MUST HAVE THE FOLLOWING:
1. A DOOR THAT IS CAPABLE OF BEING LOCKED FROM THE INSIDE AND RELEASED FROM THE OUTSIDE IN CASE OF EMERGENCY THAT HAS A GRASPABLE STOREROOM FUNCTION LATCH-OPERATING MECHANISM LOCATED BETWEEN 2' - 11 3/8" (900mm) AND 3' - 3 3/8" (1000mm) FROM FINISHED FLOOR.
 2. DOOR FRAME TO INCORPORATE ELECTRIC STRIKE CONTROLLED BY POWER DOOR OPERATOR CONTROL SYSTEM.
 3. A DOOR EQUIPPED WITH A POWER DOOR OPERATOR WITH A SELF-CLOSING DEVICE WHICH INCORPORATES EXTERIOR LIGHTED ACTUATOR BUTTON, INTERIOR LIGHTED ACTUATOR BUTTON, INTERIOR LOCKING BUTTON AND RELATED CONTROLS. OPERATION OF INTERIOR LOCKING BUTTON WILL DISABLE EXTERIOR ACTUATOR, TURN LIGHTED BUTTONS FROM GREEN TO RED. OPERATION OF INTERIOR ACTUATOR WILL RELEASE DOOR STRIKE (UNLOCKING DOOR), TURN LIGHTED BUTTONS RED TO GREEN AND ENGAGE THE OPERATOR. POWER DOOR OPERATOR AND LOCKING DEVICE TO BE INSTALLED BETWEEN 2' - 11 3/8" (900mm) AND 3' - 3 3/8" (1000mm) FROM FINISHED FLOOR.
 4. LIGHTING CONTROLLED BY A MOTION SENSOR.
 5. AN EMERGENCY CALL SYSTEM THAT CONSISTS OF AUDIBLE AND VISUAL SIGNAL DEVICES INSIDE AND OUTSIDE OF THE WASHROOM THAT ARE ACTIVATED BY A CONTROL DEVICE INSIDE THE WASHROOM. REFER TO 7/A2.0 FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

Rev No.	DATE	ISSUED FOR TENDER & PERMIT	REMARKS
17JUL2024		ISSUED FOR TENDER & PERMIT	
ISSUED FOR			

All measurements must be checked on the work by the Contractor.
Do not scale the drawing.
Do not use this drawing for construction until sealed and signed by the Architect.
Signing Architect has exercised responsible control with respect to design activities.



**ARTHUR ARENA
INTERIOR RENOVATIONS**
158 DOMVILLE ST.
ARTHUR, ONTARIO

FLOOR PLAN

TENDER & PERMIT

scale : **As indicated**

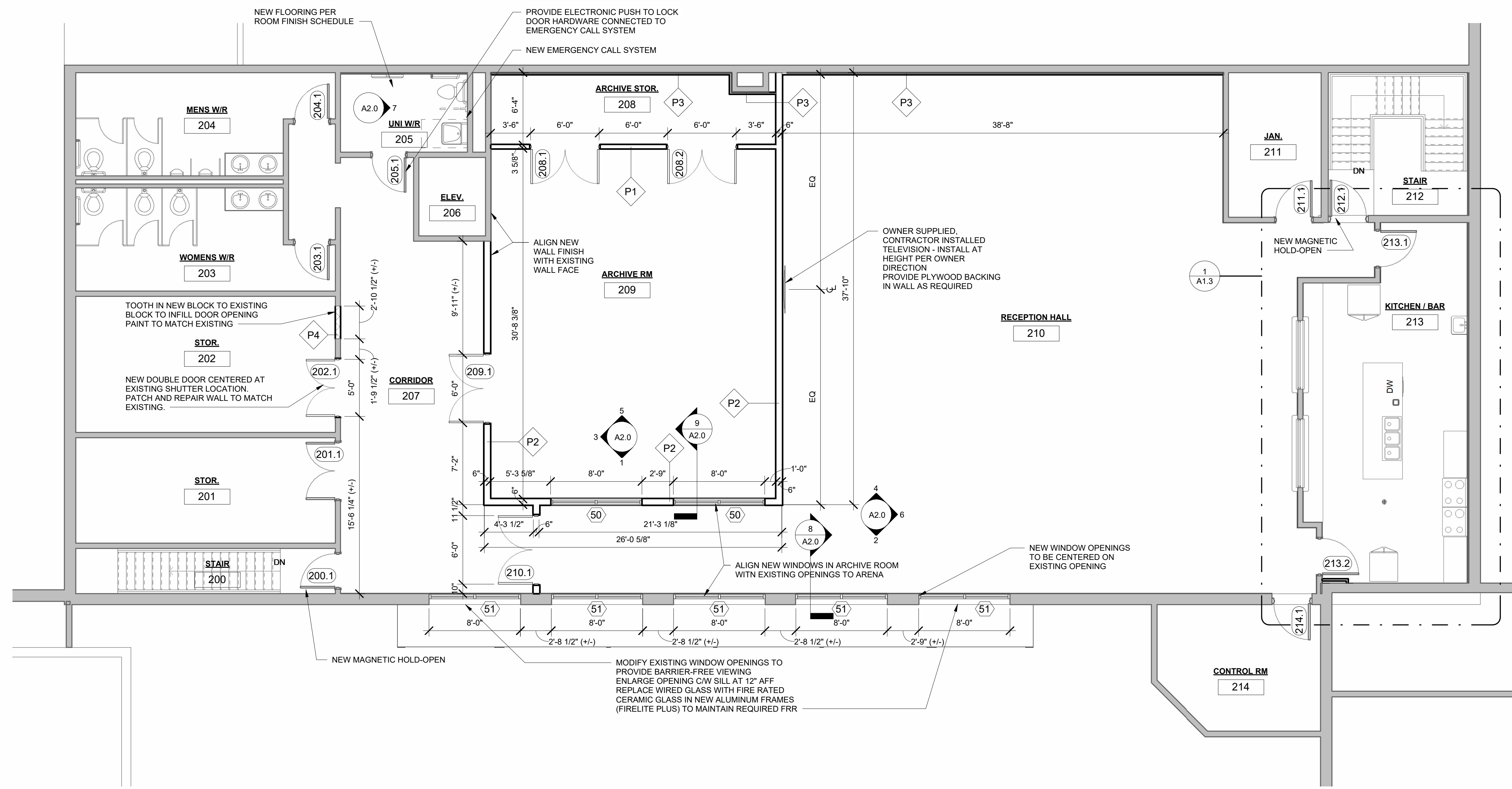
detail : a - Detail number
b - Location drawing

drawn : NR check : PM

date : 04/29/24 sheet : **A1.1**

job : 2160.00

2024-07-17 3:13:00 PM



1 SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"



51 Kingston Street
Goderich, ON N7A 3K3
www.JPMArchitecture.ca
T 519 524 5313

REFLECTED CEILING PLAN (RCP) LEGEND

- 2x4' ACT TILES
- CEILING TYPES:**
- ACT-1: PROVIDE FOR NEW T-BAR GRID STRUCTURE AND NEW CEILING TILES.
 - ACT-2: PROVIDE NEW, WASHABLE CEILING TILES SUITABLE FOR FOOD PREPARATION AREAS. CLEAN EXISTING T-BAR GRID STRUCTURE TO REMAIN.
 - ACT-3: PROVIDE NEW CEILING TILES. CLEAN EXISTING T-BAR GRID STRUCTURE TO REMAIN.
- □ LIGHT FIXTURE
- ⊗ ⊠ DIFFUSER
- ▨ RETURN AIR GRILLE
- ▽ S SPEAKER - EXISTING SPEAKERS TO BE RELOCATED - REFER ALSO TO ELECTRICAL DRAWINGS
- MECHANICAL AND ELECTRICAL COMPONENTS SHOWN FOR COORDINATION IN CEILINGS ONLY - REFER TO MECHANICAL AND ELECTRICAL DRAWINGS

Rev No.	DATE	ISSUED FOR TENDER & PERMIT	REMARKS
17JUL2024		ISSUED FOR TENDER & PERMIT	

ISSUED FOR

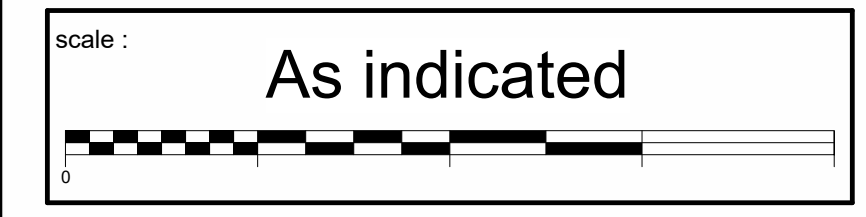
All measurements must be checked on the work by the Contractor.
Do not scale the drawing.
Do not use this drawing for construction until sealed and signed by the Architect.
Signing Architect has exercised responsible control with respect to design activities.



**ARTHUR ARENA
INTERIOR RENOVATIONS**
158 DOMVILLE ST.
ARTHUR, ONTARIO

REFLECTED CEILING PLAN

TENDER & PERMIT



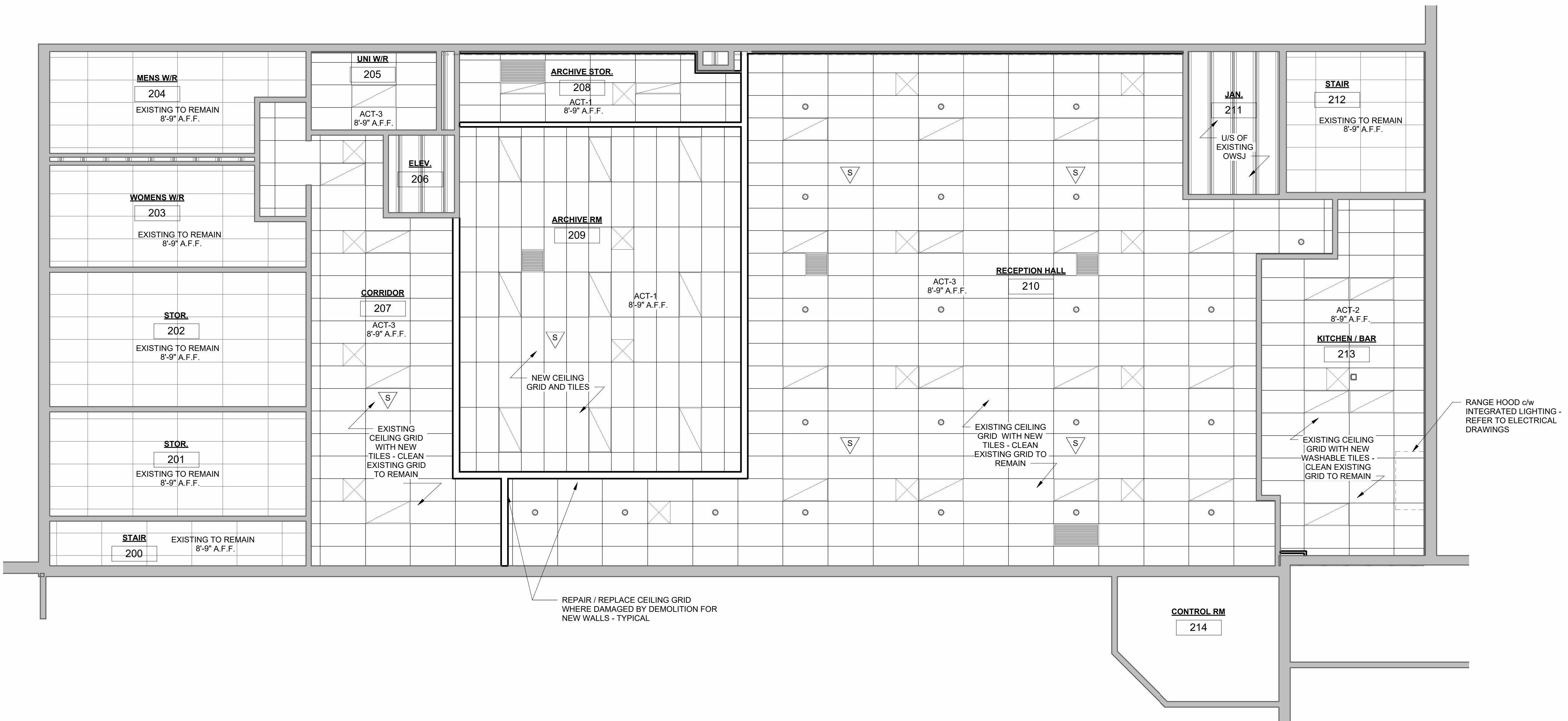
detail : a - Detail number
b - Location drawing

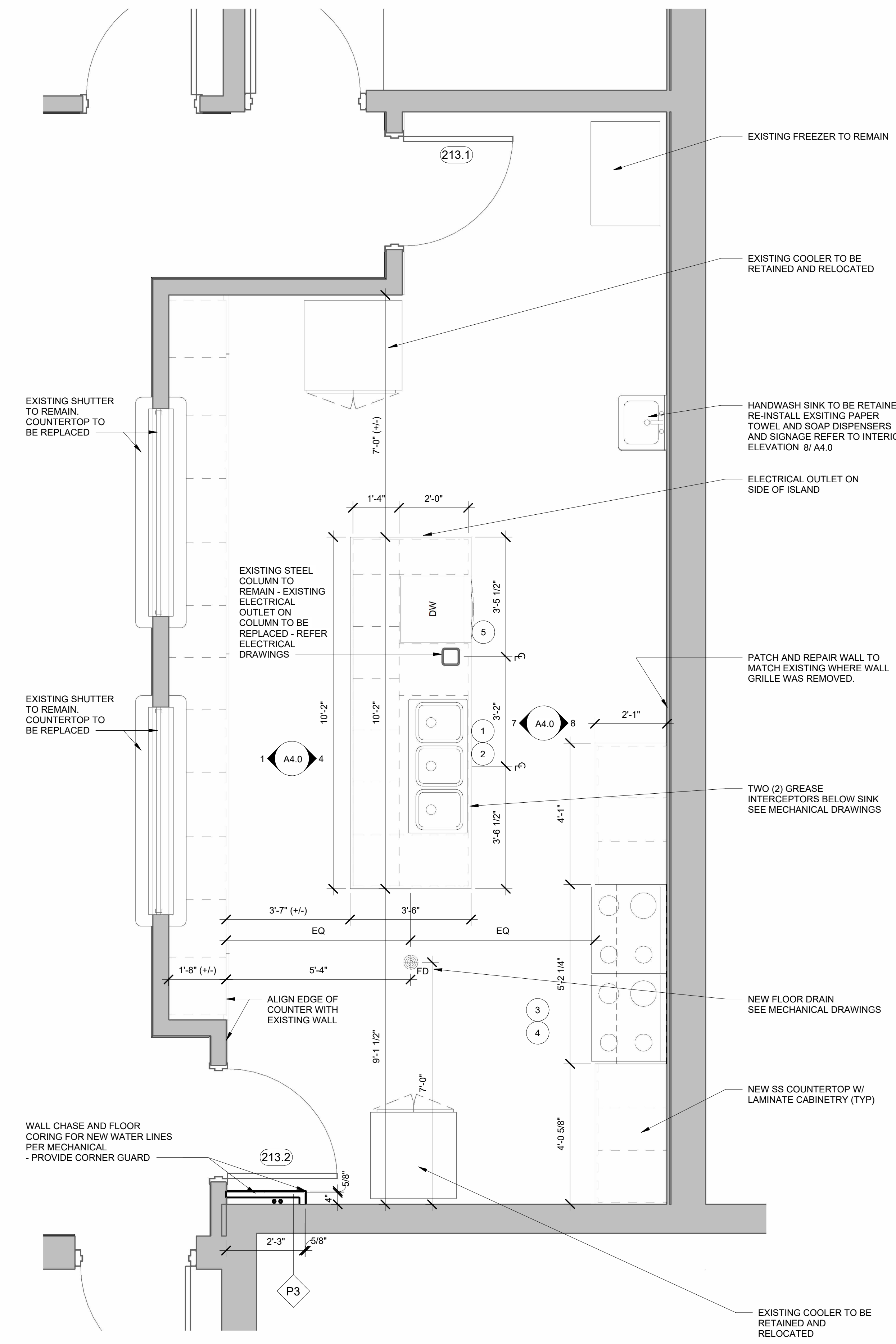
drawn : NR check : PM

date : 04/30/24 sheet : **A1.2**

job : 2160.00

2024-07-17 3:13:04 PM





Rev No.	DATE	ISSUED FOR TENDER & PERMIT	REMARKS
17JUL2024		ISSUED FOR TENDER & PERMIT	
ISSUED FOR			

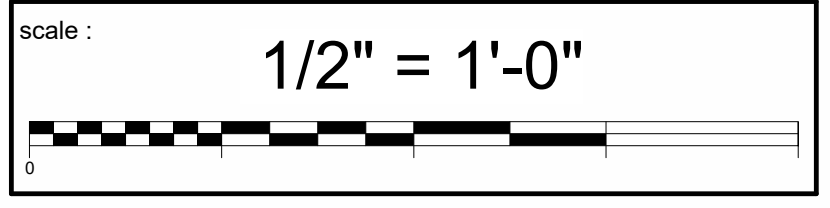
All measurements must be checked on the work by the Contractor.
Do not scale the drawing.
Do not use this drawing for construction until sealed and signed by the Architect.
Signing Architect has exercised responsible control with respect to design activities.



**ARTHUR ARENA
INTERIOR RENOVATIONS**
158 DOMVILLE ST.
ARTHUR, ONTARIO

**ENLARGED FLOOR
PLANS**

TENDER & PERMIT



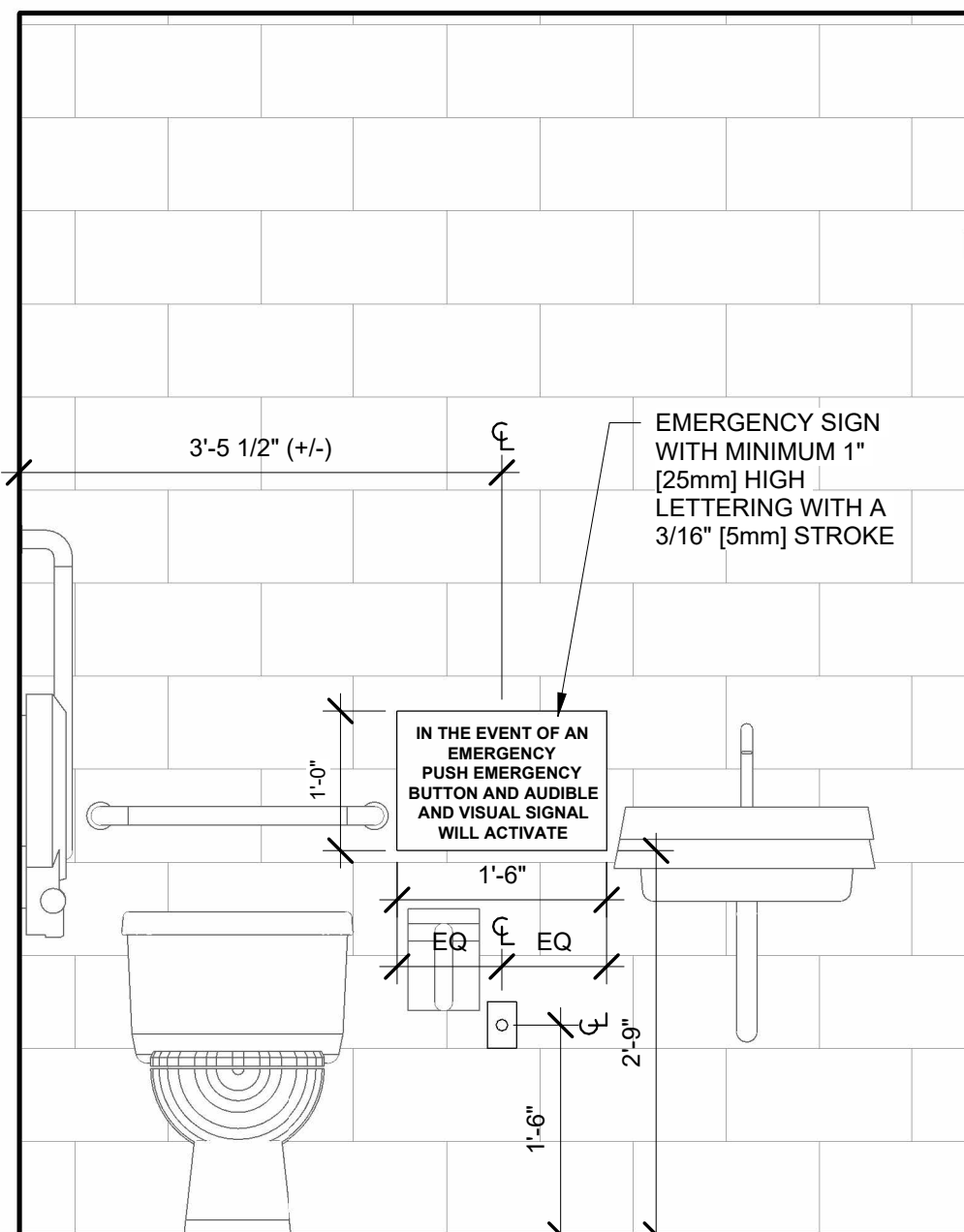
detail :	a - Detail number	(a)
	b - Location drawing	(b)

drawn :	PM/NR	check :	PM
---------	-------	---------	----

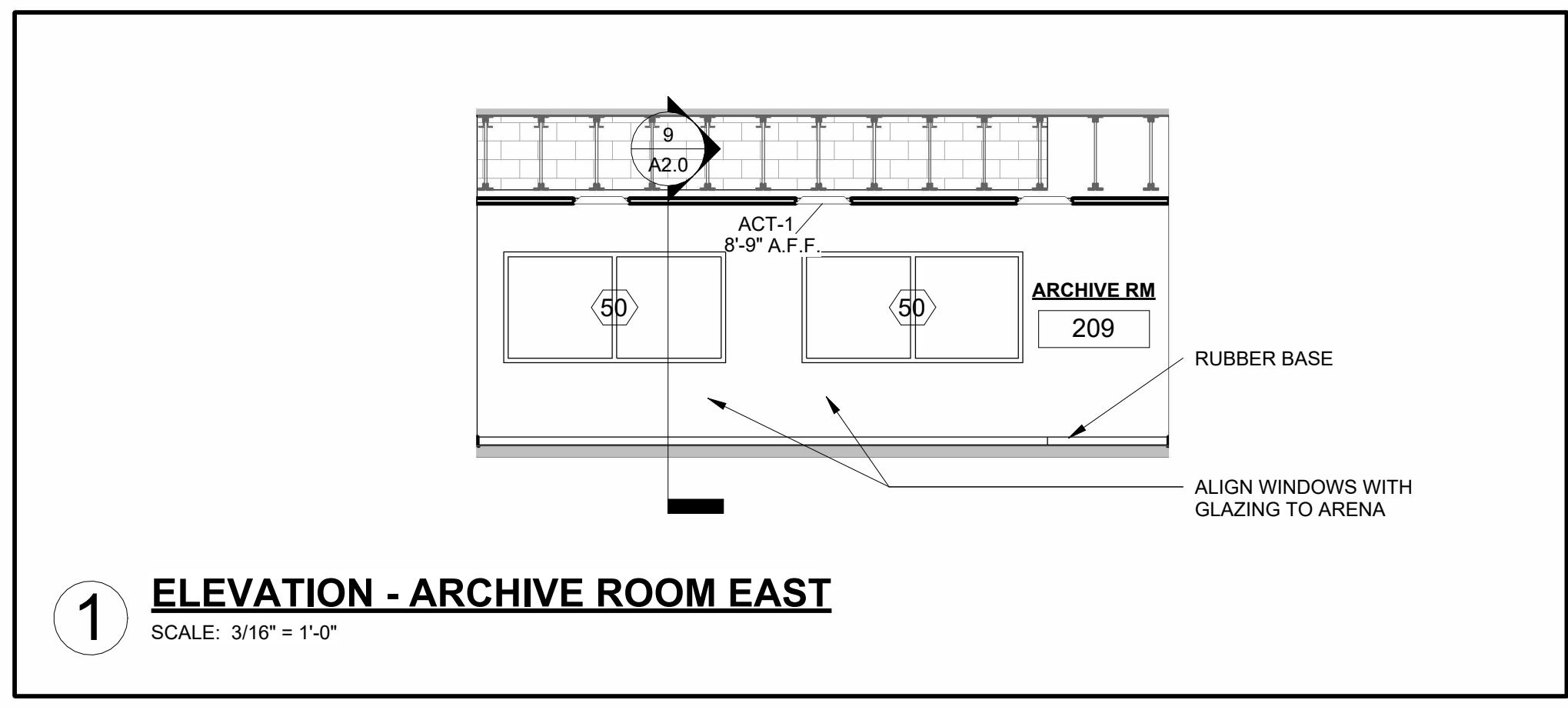
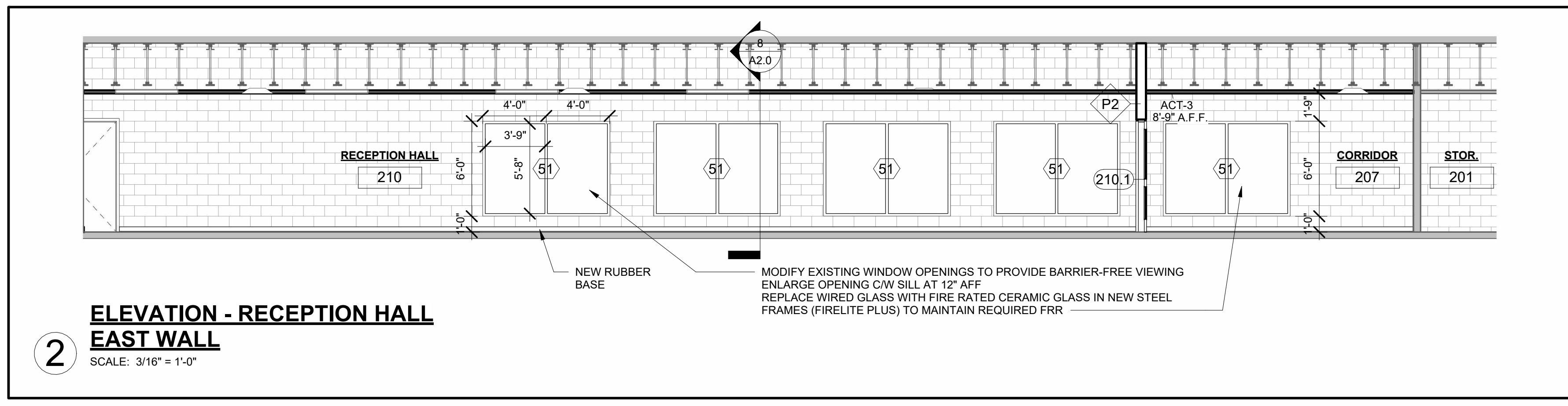
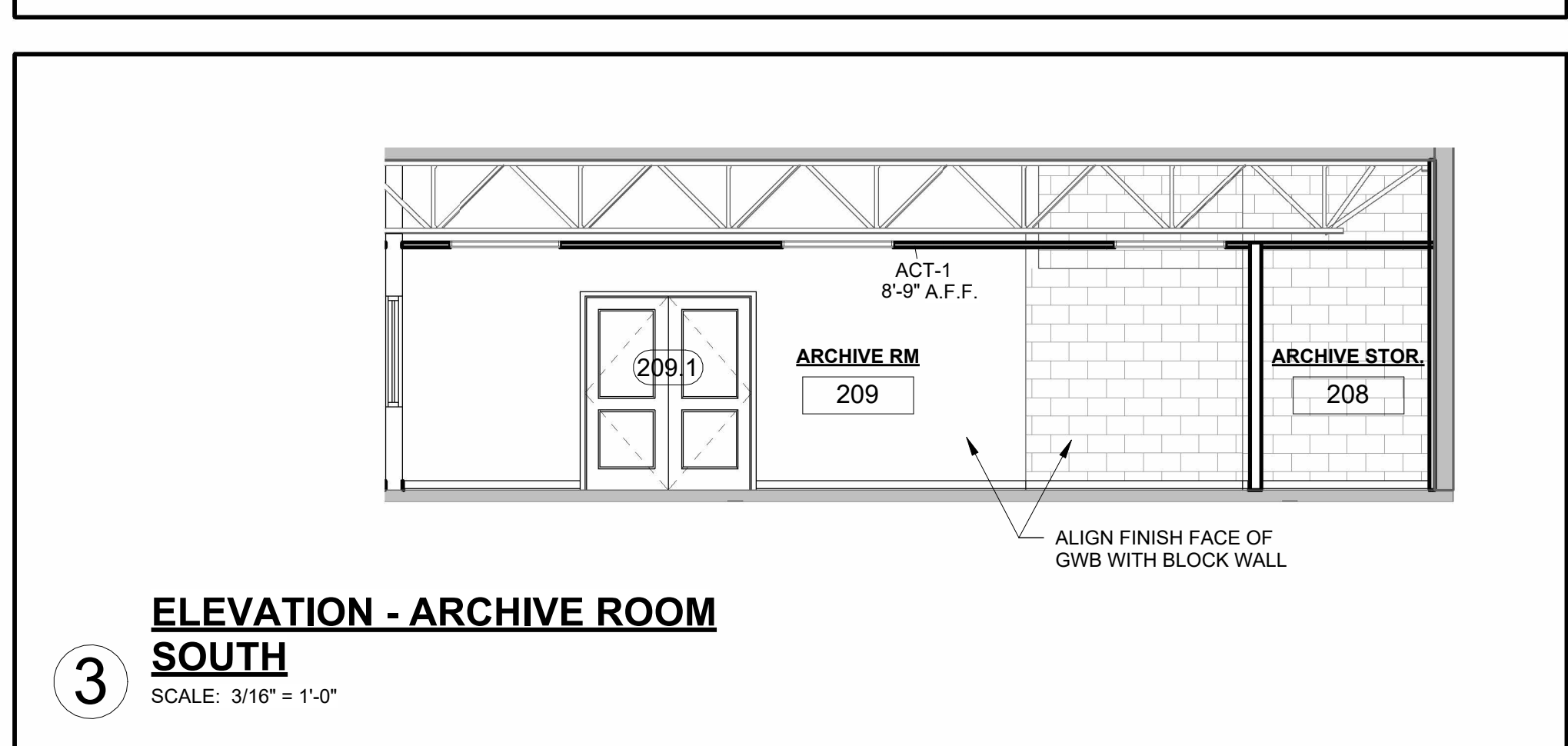
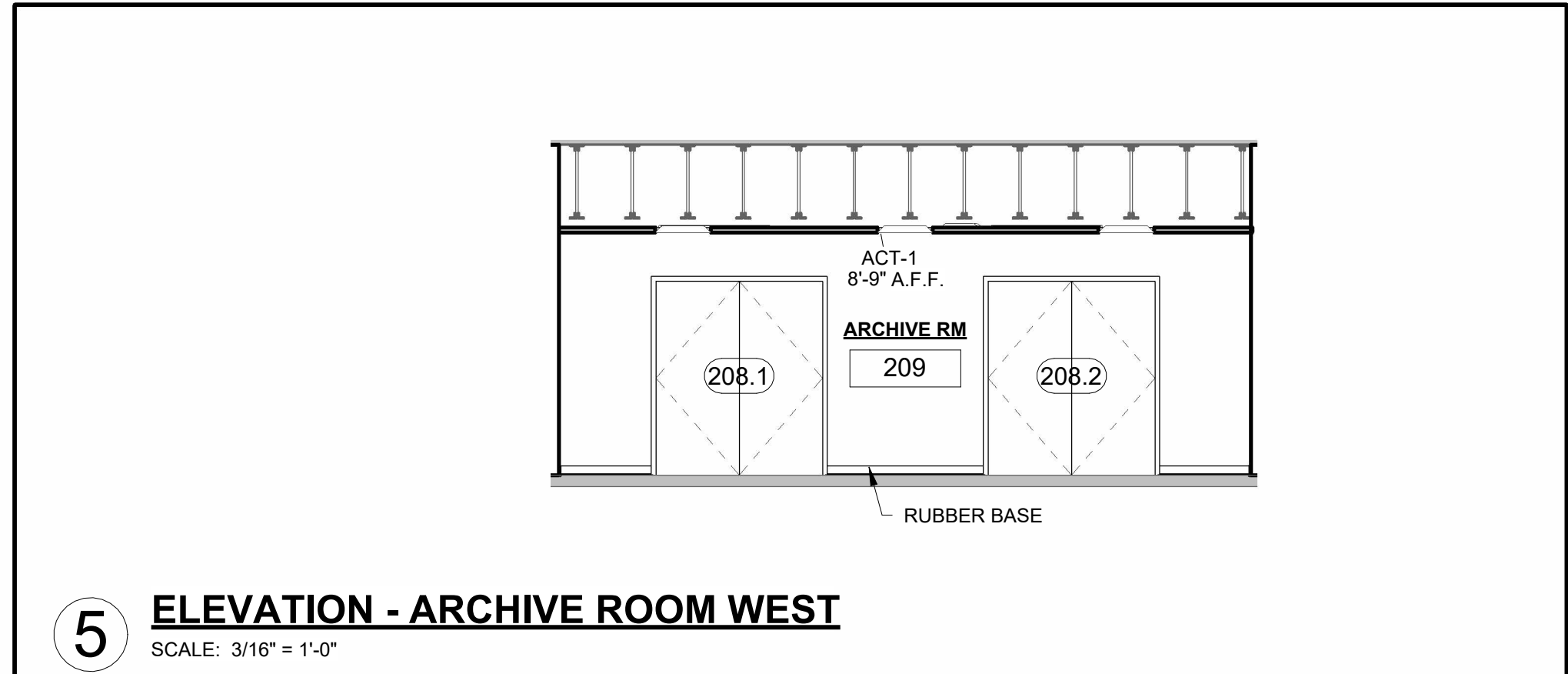
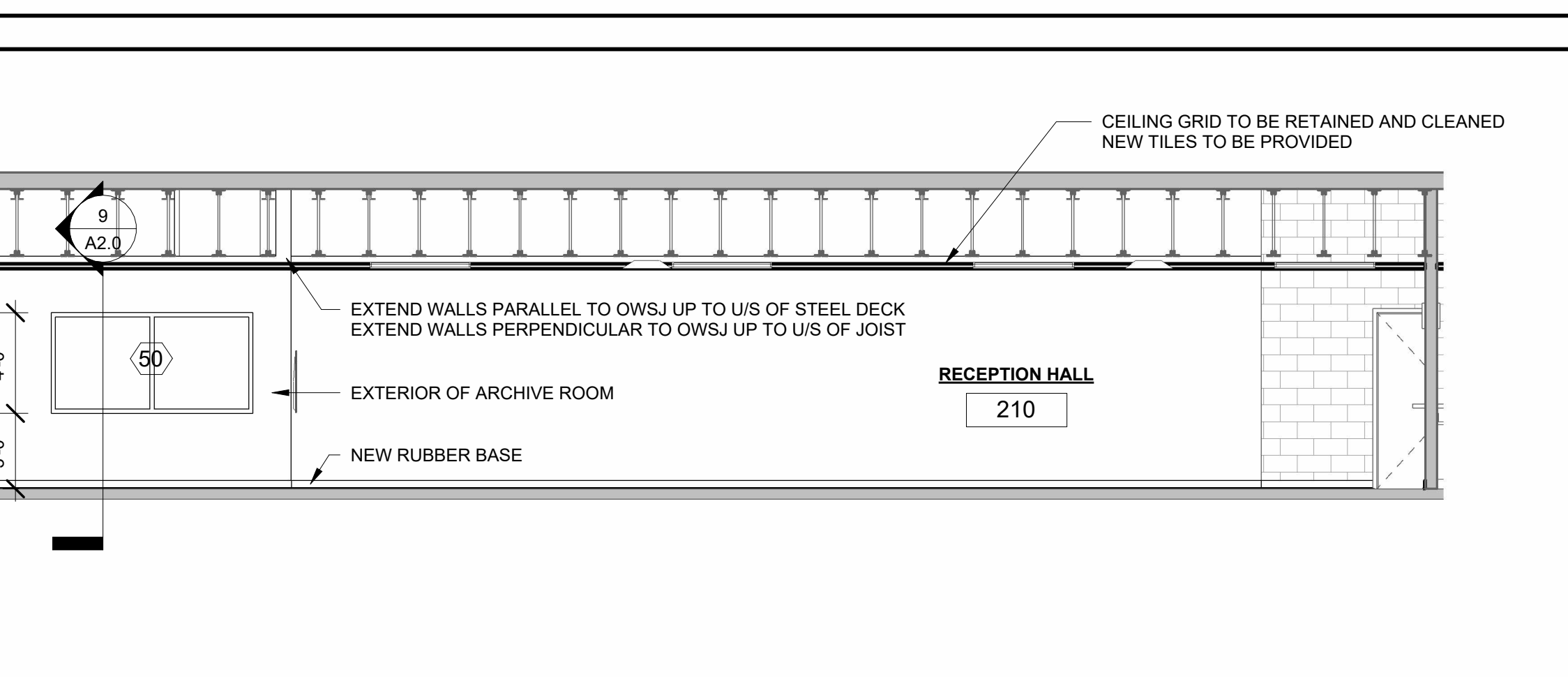
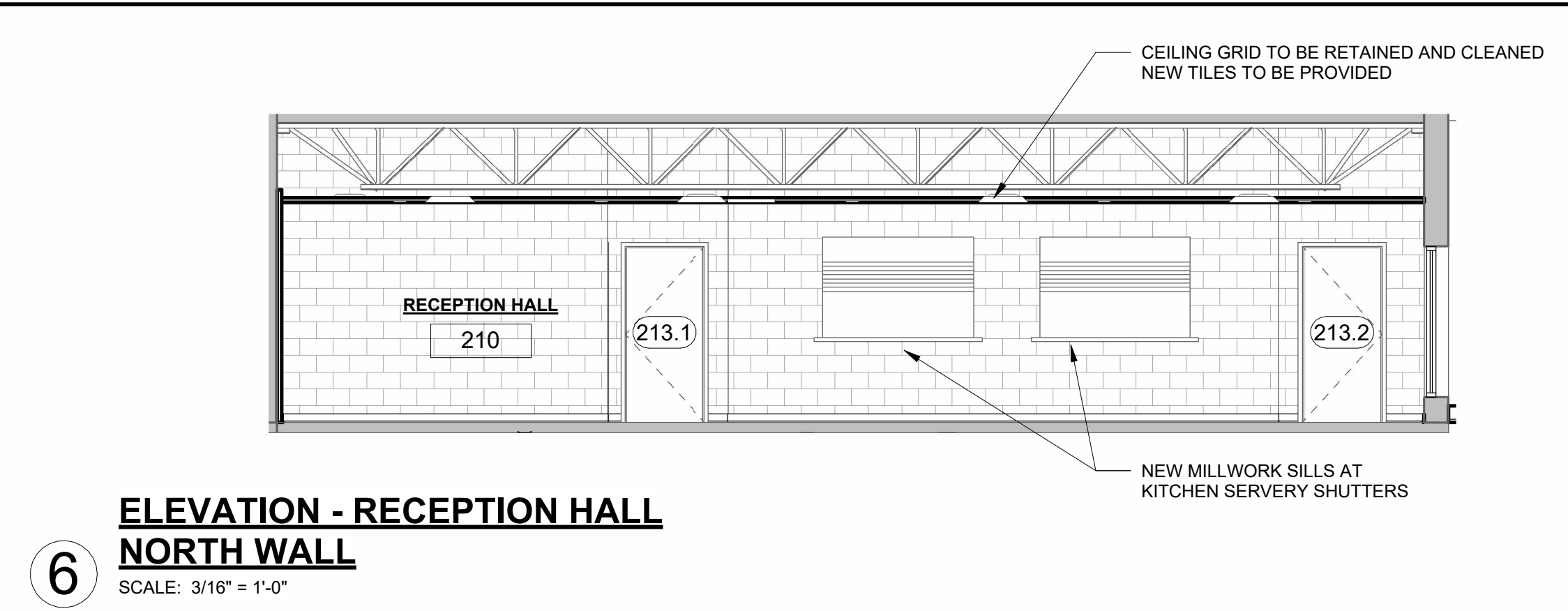
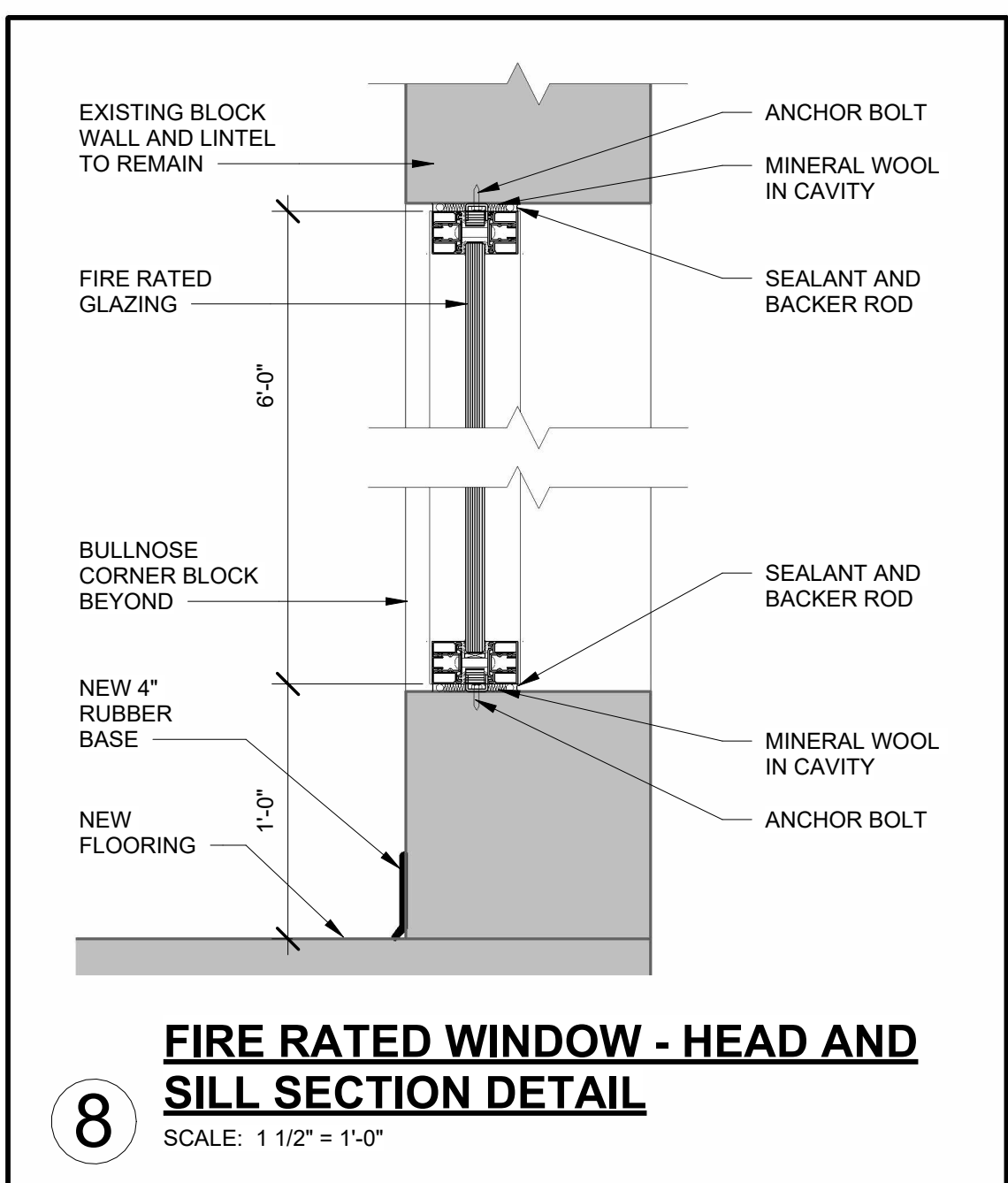
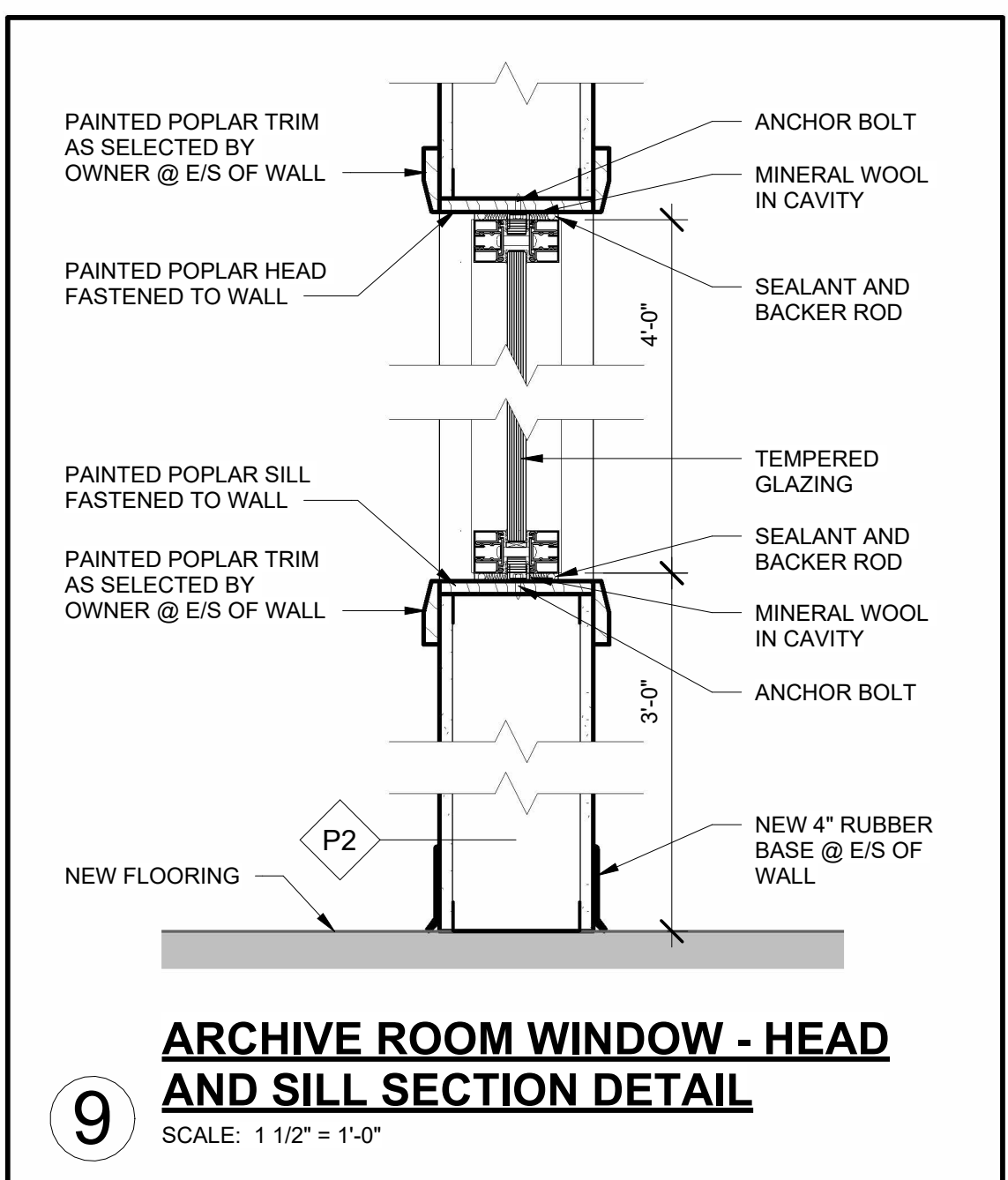
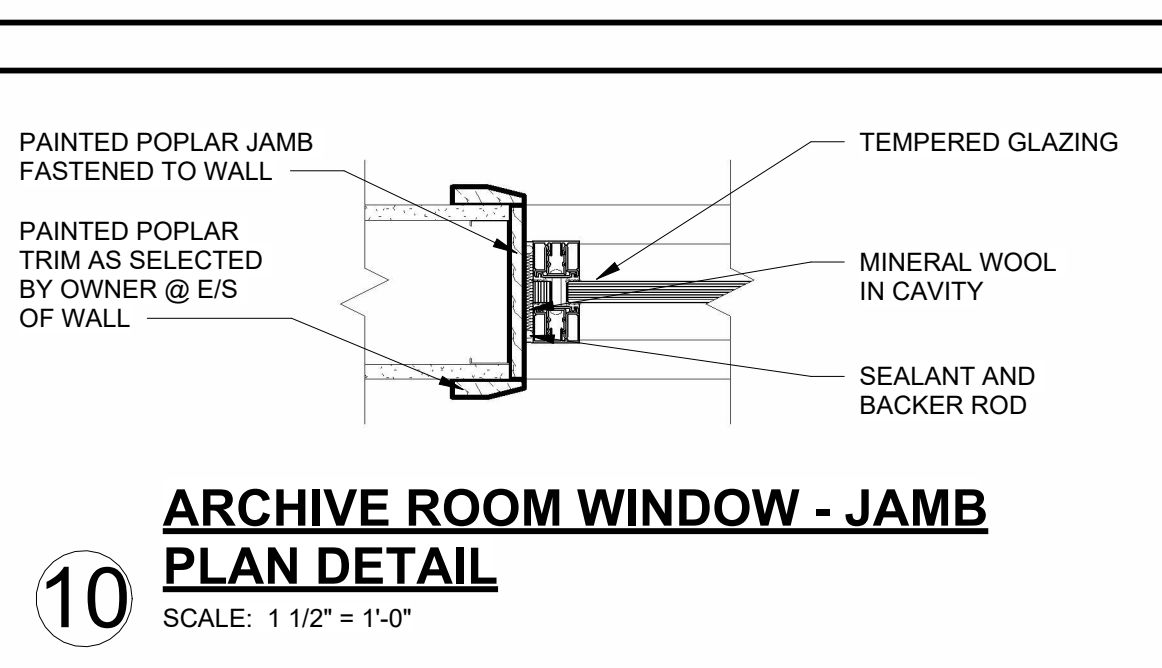
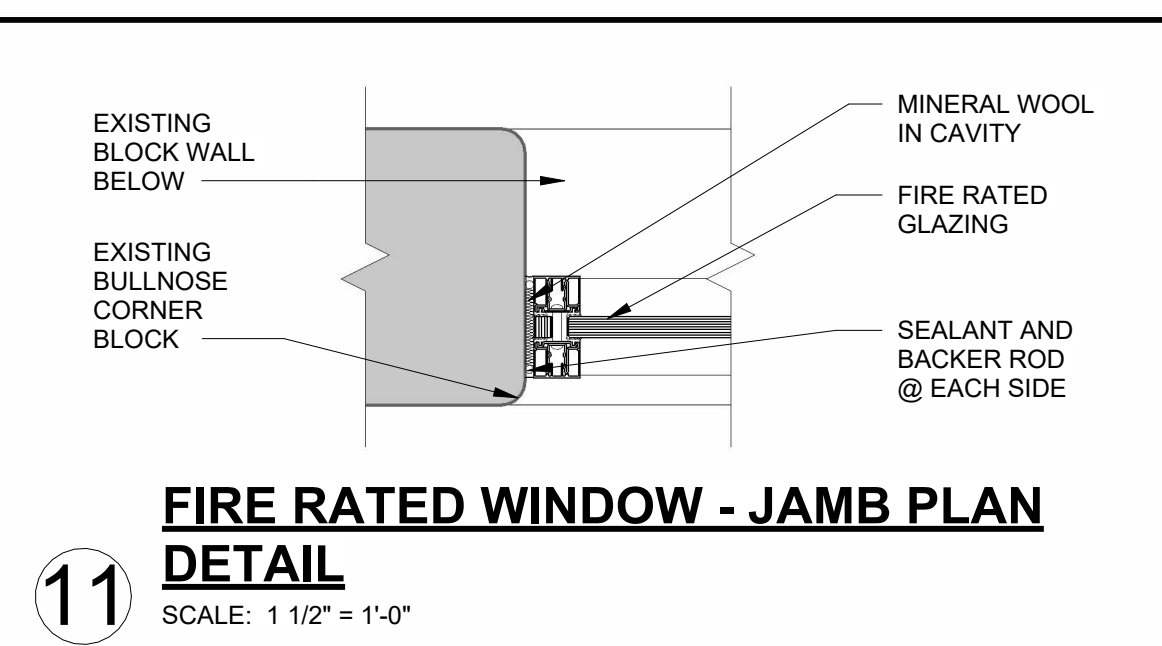
date :	04/30/24	sheet :	A1.3
--------	----------	---------	------

job :	2160.00
-------	---------

1 KITCHEN PLAN
SCALE: 1/2" = 1'-0"



7 UNIVERSAL WASHROOM ELEVATION
SCALE: 3/4" = 1'-0"



Rev No.	DATE	ISSUED FOR TENDER & PERMIT	REMARKS
17	JUL 2024	ISSUED FOR TENDER & PERMIT	

ISSUED FOR

All measurements must be checked on the work by the Contractor. Do not scale the drawing. Do not use this drawing for construction until sealed and signed by the Architect. Signing Architect has exercised responsible control with respect to design activities.

**ARTHUR ARENA
INTERIOR RENOVATIONS**
158 DOMVILLE ST.
ARTHUR, ONTARIO

SECTIONS & INTERIOR ELEVATIONS

TENDER & PERMIT

scale: As indicated

detail: a - Detail number, b - Location drawing

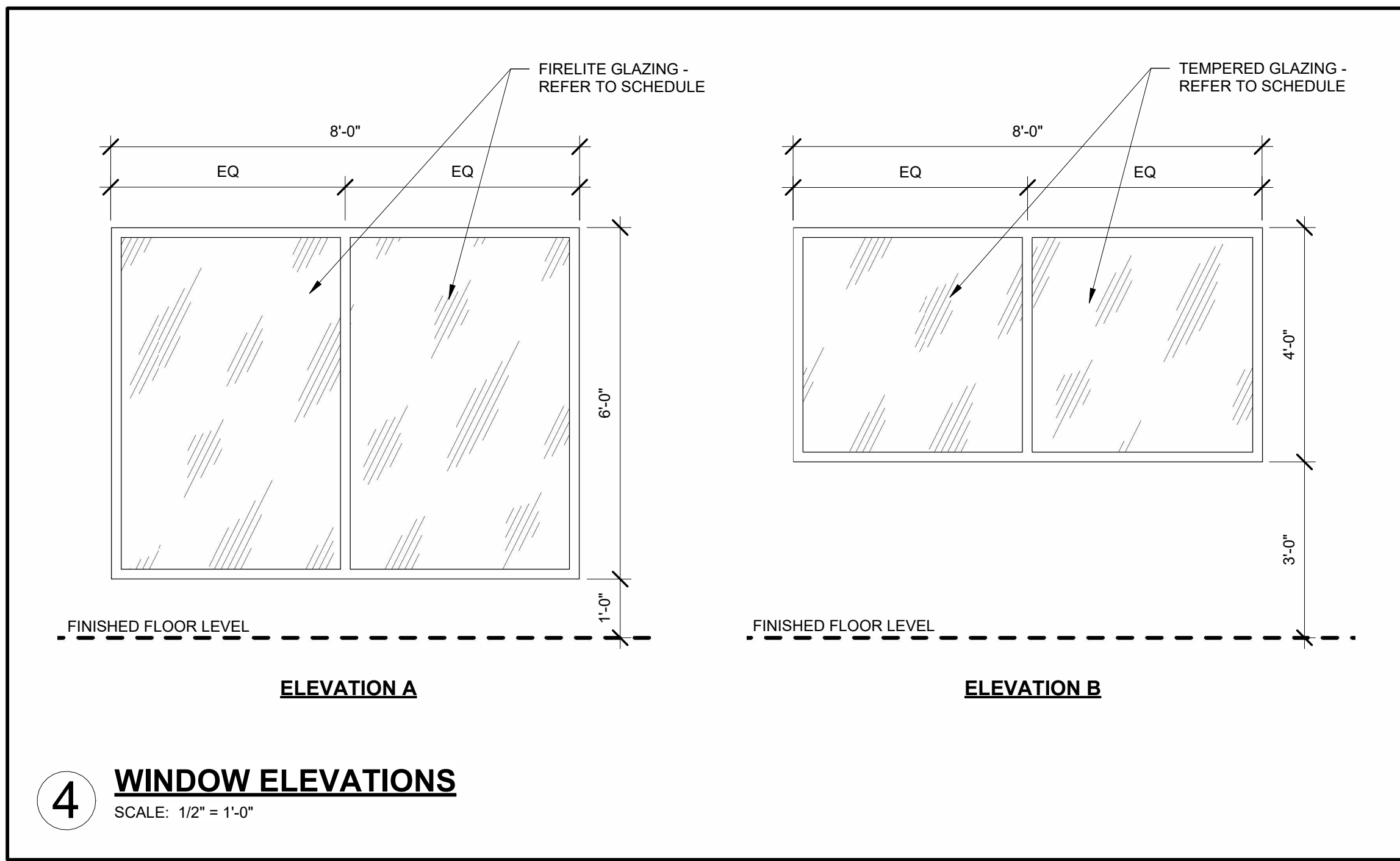
drawn: PM check: PM

date: 04/30/24 sheet: A2.0

job: 2160.00

APPLIANCE & FIXTURE SCHEDULE						#
TAG	TYPE	MANUF	MODEL	FINISH	COMMENTS	
1	SINK	FRANKE	LBT6410PCB-1 Triple topmount, 18 ga	STAINLESS	TRIPLE BOWL DROP-IN SINK	
2	FAUCET	T & S	B-1123-WH4	CHROME	8" DECK MOUNT WORKBOARD FAUCET, 12" SWING, WRIST PADDLES	
3	RANGE	WHIRLPOOL	YWFC315S0JS	STAINLESS	ELECTRIC COIL TOP RANGE (TOTAL QTY = 2)	
4	RANGE HOOD	HALTON	EO	STAINLESS	COMMERCIAL RANGE HOOD C/W LIGHTS AND GREASE FILTER	
5	DISHWASHER	HOBERT	CUH	STAINLESS	UNDERCOUNTER, HIGH TEMPERATURE RINSE	

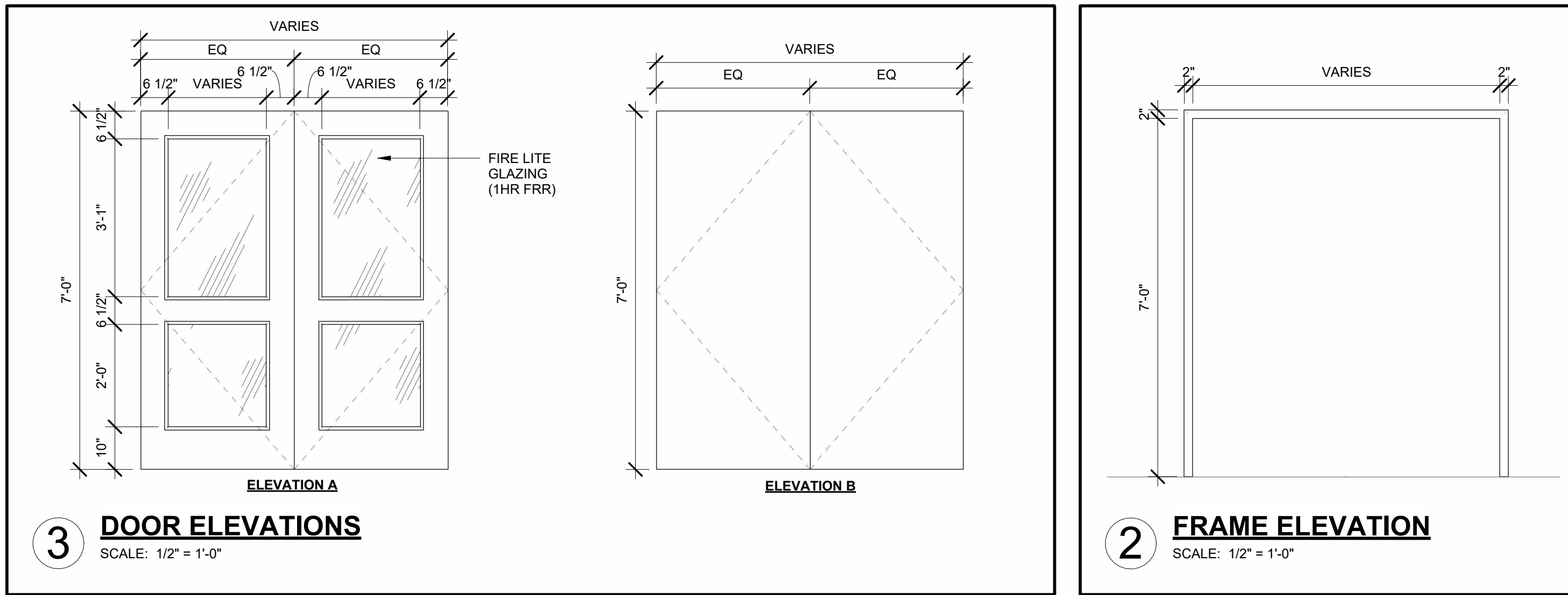
WINDOW SCHEDULE												
No.	FIRE RATING	ELEVATION	WINDOW			GLAZING			FRAME			REMARKS
			STYLE	THICKNESS	TYPE	PANES	WIDTH	HEIGHT	MATERIAL	FINISH		
50	-	B	FIXED	1/4"	TEMP	SINGLE	8'-0"	4'-0"	HM	PTD		
50	-	B	FIXED	1/4"	TEMP	SINGLE	8'-0"	4'-0"	HM	PTD		
51	1 HR	A	FIXED	5/16"	FIRE	SINGLE	8'-0"	6'-0"	HM	PTD		
51	1 HR	A	FIXED	5/16"	FIRE	SINGLE	8'-0"	6'-0"	HM	PTD		
51	1 HR	A	FIXED	5/16"	FIRE	SINGLE	8'-0"	6'-0"	HM	PTD		
51	1 HR	A	FIXED	5/16"	FIRE	SINGLE	8'-0"	6'-0"	HM	PTD		
51	1 HR	A	FIXED	5/16"	FIRE	SINGLE	8'-0"	6'-0"	HM	PTD		



4 WINDOW ELEVATIONS
SCALE: 1/2" = 1'-0"

DOOR SCHEDULE																												
NO.	DOOR					HARDWARE								FRAME					REMARKS									
	NEW DOOR	EXISTING DOOR	ELEVATION	MATERIAL	FINISH	GLAZING	ELECTRIC STRIKE	POWER OPERATOR	CLOSER	COORDINATOR	FLUSH BOLT	LOUVER	LATCH DEVICE	EXIT DEVICE	PUSH/PULL	KICKPLATES	WEATHERSTRIP	SOUND SEALS		NEW FRAME	EXISTING FRAME	ELEVATION	FRAME DETAIL	REBATE WIDTH	REBATE HEIGHT	MATERIAL	FINISH	
200.1	•	EX	EX	HM	PTD	1 3/4"	45 MIN													•	EX	EX	3'-0"	7'-0"	EX	HM	PTD	
201.1	•	EX	EX	HM	PTD	1 3/4"	45 MIN													•	TYPE 1	EX	5'-0"	7'-0"	EX	HM	PTD	
202.1	•	B	HM	PTD	1 3/4"	45 MIN														•	TYPE 1	No. 1	5'-0"	7'-0"	HM	PTD		
203.1	•	EX	EX	HM	PTD	1 3/4"	45 MIN													•	EX	EX	3'-0"	7'-0"	EX	HM	PTD	
204.1	•	EX	EX	HM	PTD	1 3/4"	45 MIN													•	EX	EX	3'-0"	7'-0"	EX	HM	PTD	
205.1	•	EX	EX	HM	PTD	1 3/4"	45 MIN													•	EX	EX	3'-0"	7'-0"	EX	HM	PTD	NOTE 1
208.1	•	B	HM	PTD	1 3/4"															•	TYPE 1	No. 1	6'-0"	7'-0"	HM	PTD		
208.2	•	B	HM	PTD	1 3/4"															•	TYPE 1	No. 1	6'-0"	7'-0"	HM	PTD		
209.1	•	A	HM	PTD	1 3/4"	45 MIN														•	TYPE 1	No. 1	6'-0"	7'-0"	HM	PTD		
210.1	•	A	HM	PTD	1 3/4"	45 MIN														•	TYPE 1	No. 1	6'-0"	7'-0"	HM	PTD		
211.1	•	EX	EX	HM	PTD	1 3/4"	0 HR													•	EX	EX	3'-2"	7'-0"	EX	HM	PTD	
212.1	•	EX	EX	HM	PTD	1 3/4"	45 MIN													•	EX	EX	3'-2"	7'-0"	EX	HM	PTD	
213.1	•	EX	EX	HM	PTD	1 3/4"														•	EX	EX	3'-2"	7'-0"	EX	HM	PTD	
213.2	•	EX	EX	HM	PTD	1 3/4"														•	EX	EX	3'-2"	7'-0"	EX	HM	PTD	
214.1	•	EX	EX	HM	PTD	1 3/4"	45 MIN													•	EX	EX	3'-2"	7'-0"	EX	HM	PTD	

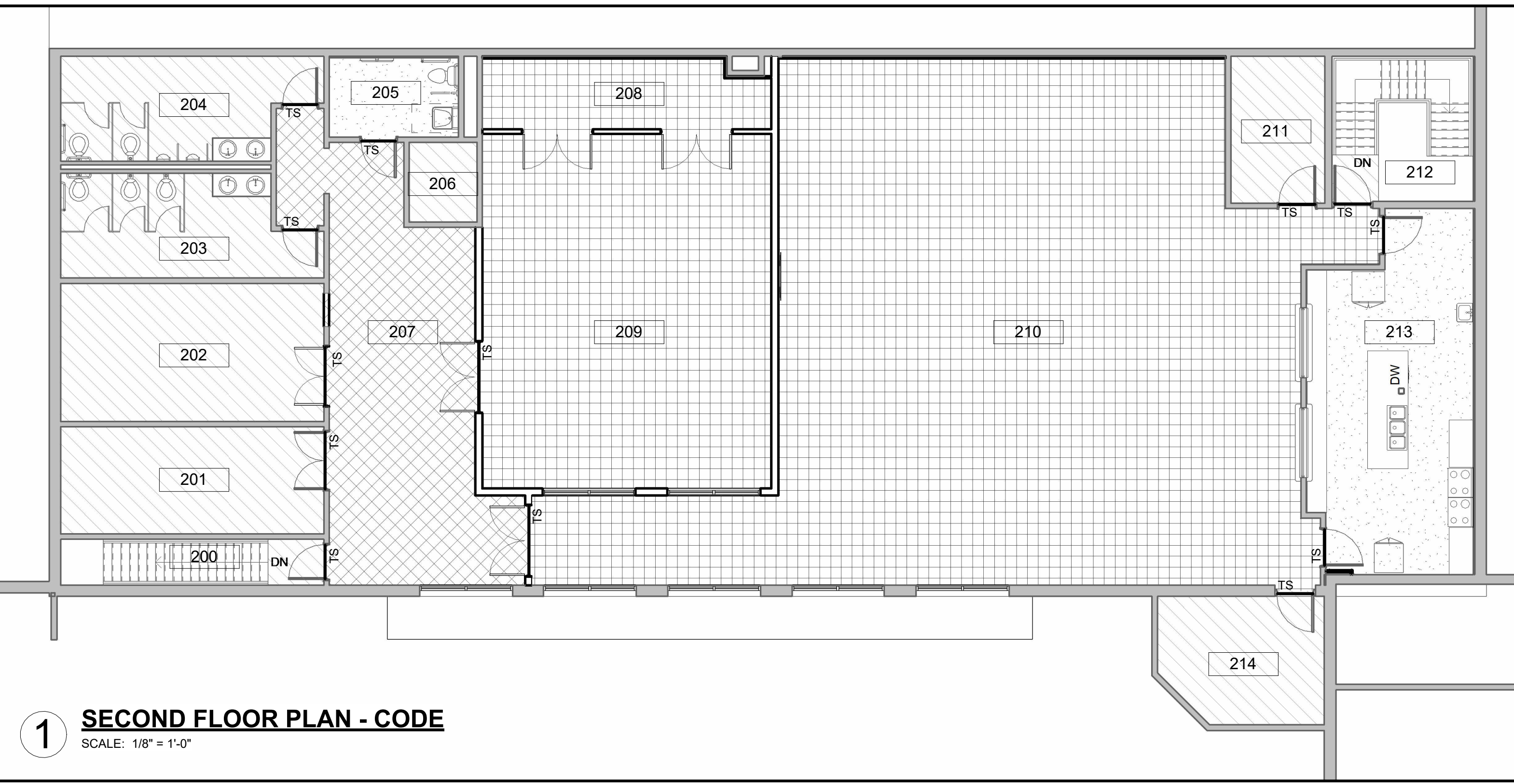
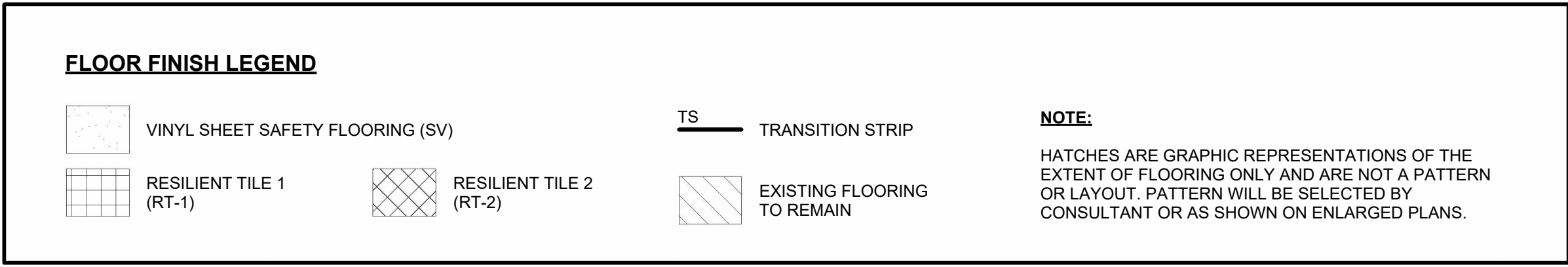
NOTE 1: PROVIDE NEW ELECTRONIC PUSH TO LOCK DOOR HARDWARE INTERCONNECTED WITH NEW EMERGENCY CALL SYSTEM - REFER TO ELECTRICAL DRAWINGS



3 DOOR ELEVATIONS
SCALE: 1/2" = 1'-0"

2 FRAME ELEVATION
SCALE: 1/2" = 1'-0"

INTERIOR FINISH SCHEDULE																
NO.	ROOM NAME	FLOOR	WALLS								CEILING		REMARKS			
			MATERIAL	BASE	NORTH	SOUTH	EAST	WEST	MATERIAL	FINISH	MATERIAL	FINISH				
200	STAIR	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	-	8'-0"			
201	STOR.	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	-	8'-0"			
202	STOR.	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	-	8'-0"			
203	WOMENS W/R	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	-	8'-0"			
204	MENS W/R	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	-	8'-0"			
205	UNI W/R	SF	4" COVE	EX	GB	EX	EX	CMU	EX	EX	GB	EX	ACT-1	-	8'-0"	
206	ELEV.	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	-	8'-0"			
207	CORRIDOR	RT-2	4" RB	GB/EX	CMU	PTD	EX	CMU	PTD	EX	CMU	PTD	ACT-1	-	8'-0"	
208	ARCHIVE STOR.	RT-1	4" RB	GB	EX	CMU	PTD	EX	CMU	PTD	GB	PTD	ACT-1	-	8'-0"	PAINTE WHITE W/ EGGSHELL FINISH
209	ARCHIVE RM	RT-1	4" RB	GB	EX	CMU	PTD	GB/EX	CMU	PTD	GB	PTD	ACT-1	-	8'-0"	PAINTE WHITE W/ EGGSHELL FINISH
210	RECEPTION HALL	RT-1	4" RB	EX	CMU	PTD	EX	CMU	PTD	GB/EX	CMU	PTD	ACT-1	-	8'-0"	
211	JAN.	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	-	8'-0"			
212	STAIR	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	-	8'-0"			
213	KITCHEN / BAR	SF	4" COVE	EX	GB	PTD	EX	CMU	PTD	EX	GB	PTD	ACT-2	-	8'-0"	
214	CONTROL RM	EX	EX	EX	CMU	EX	EX	EX	EX	CMU	EX	EX	-	8'-0"		



1 SECOND FLOOR PLAN - CODE
SCALE: 1/8" = 1'-0"

Rev No.	DATE	ISSUED FOR TENDER & PERMIT	REMARKS
	17 JUL 2024	ISSUED FOR TENDER & PERMIT	

ISSUED FOR

All measurements must be checked on the work by the Contractor. Do not scale the drawing. Do not use this drawing for construction until sealed and signed by the Architect. Signing Architect has exercised responsible control with respect to design activities.



ARTHUR ARENA INTERIOR RENOVATIONS
158 DOMVILLE ST.
ARTHUR, ONTARIO

SCHEDULES

TENDER & PERMIT

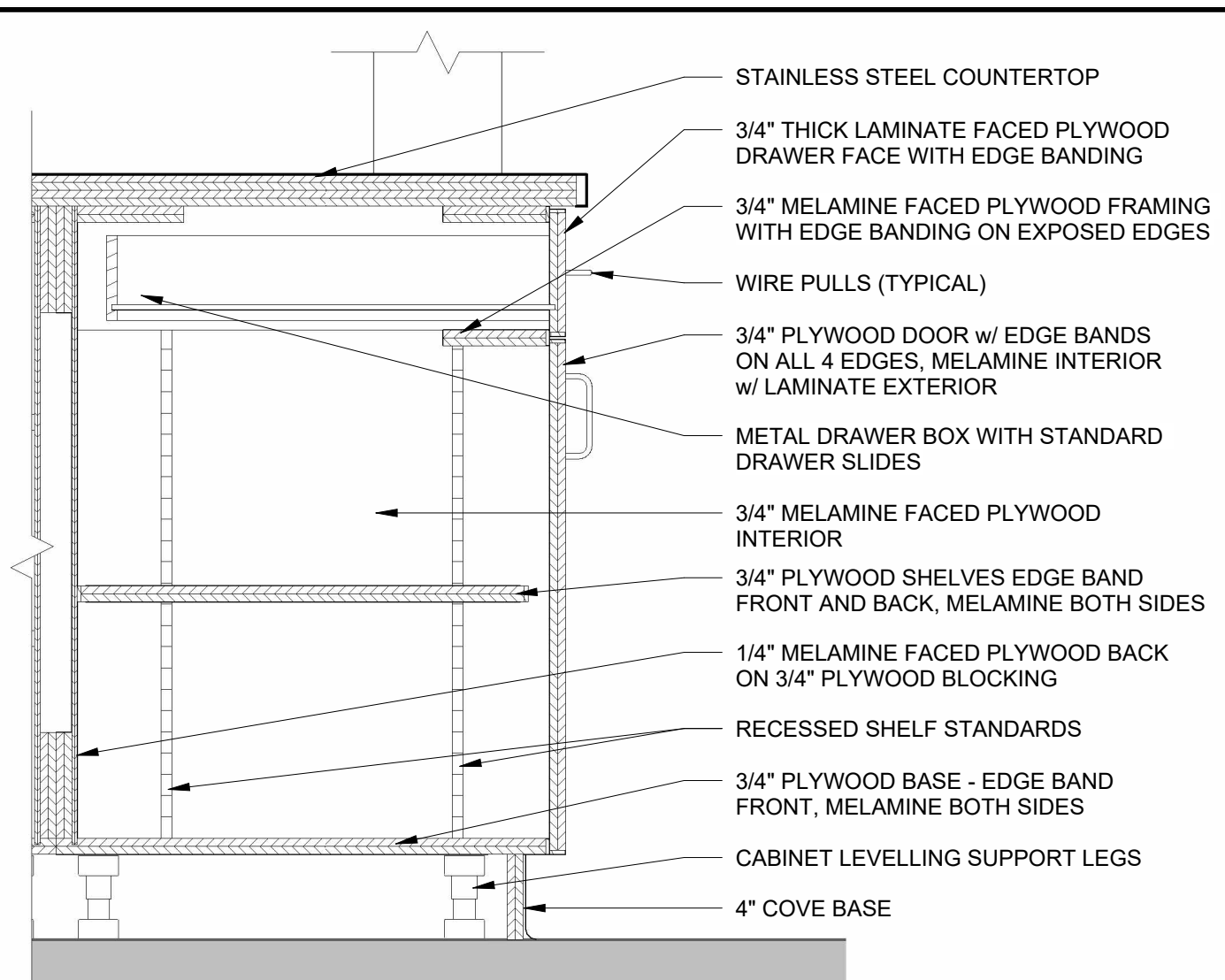
scale : As indicated

detail : a - Detail number, b - Location drawing

drawn : NR check : PM

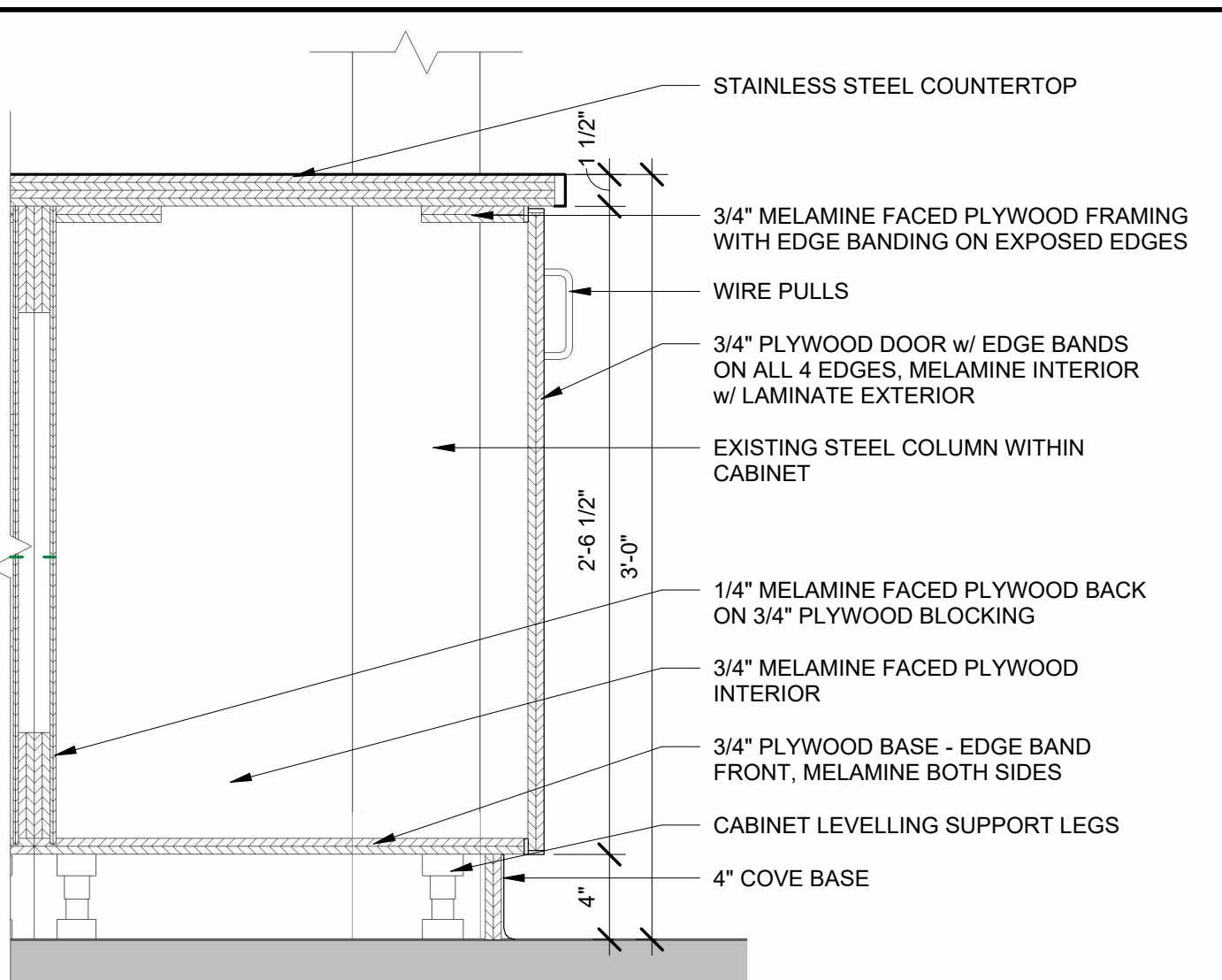
date : 04/30/24 sheet : **A3.0**

job : 2160.00



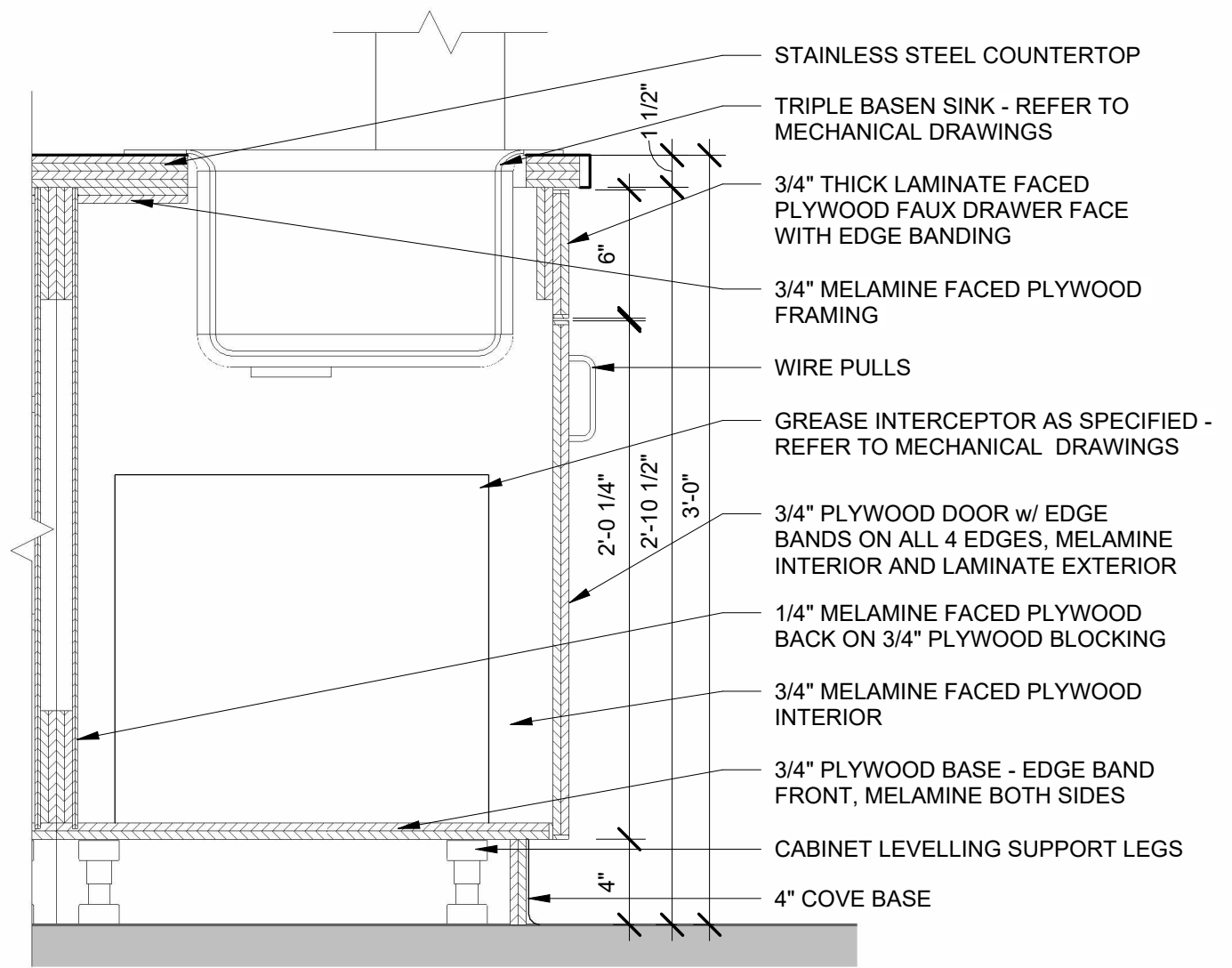
**KITCHEN MILLWORK SECTION
DETAIL**

10 SCALE: 1 1/2" = 1'-0"



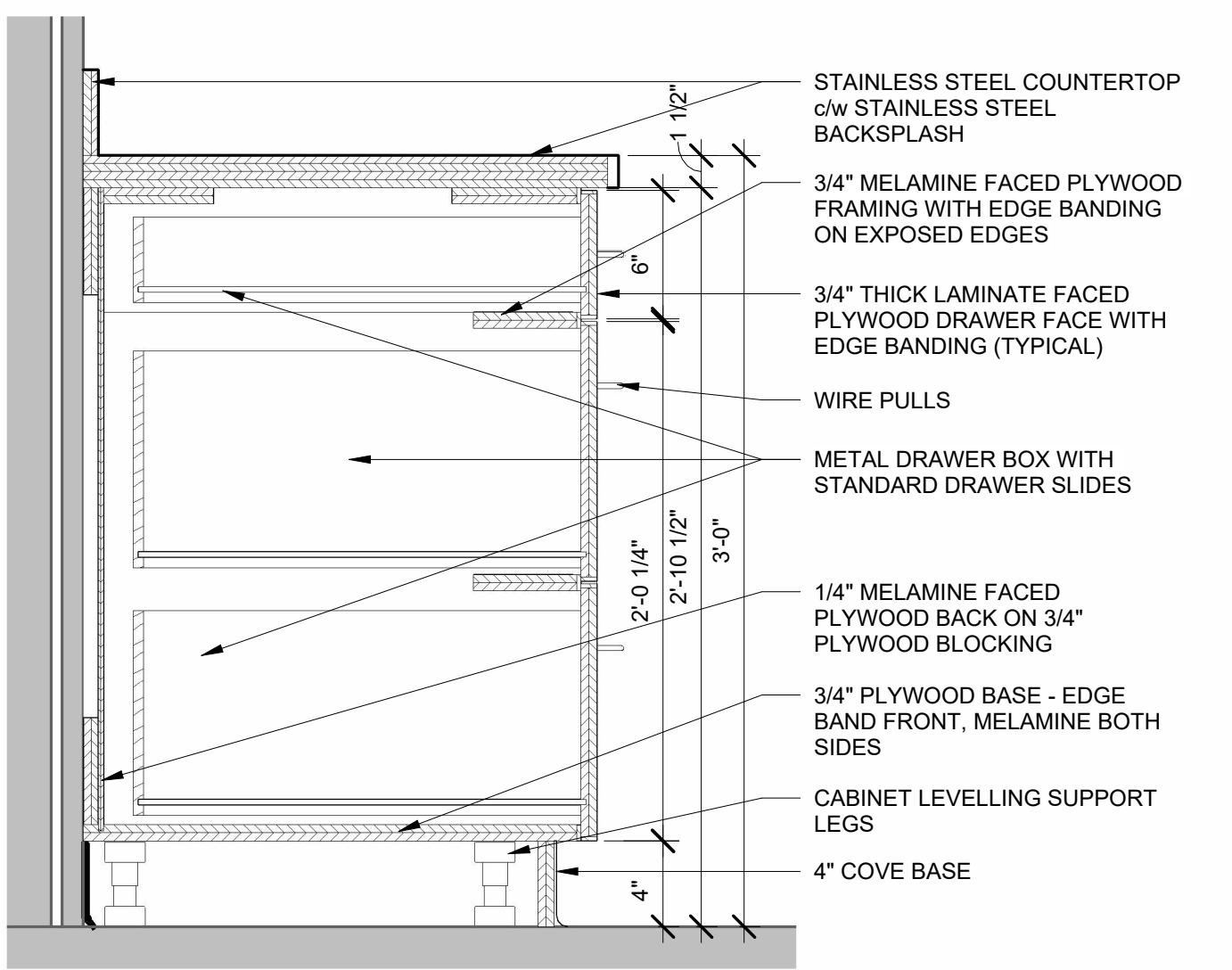
**KITCHEN MILLWORK SECTION
DETAIL**

9 SCALE: 1 1/2" = 1'-0"



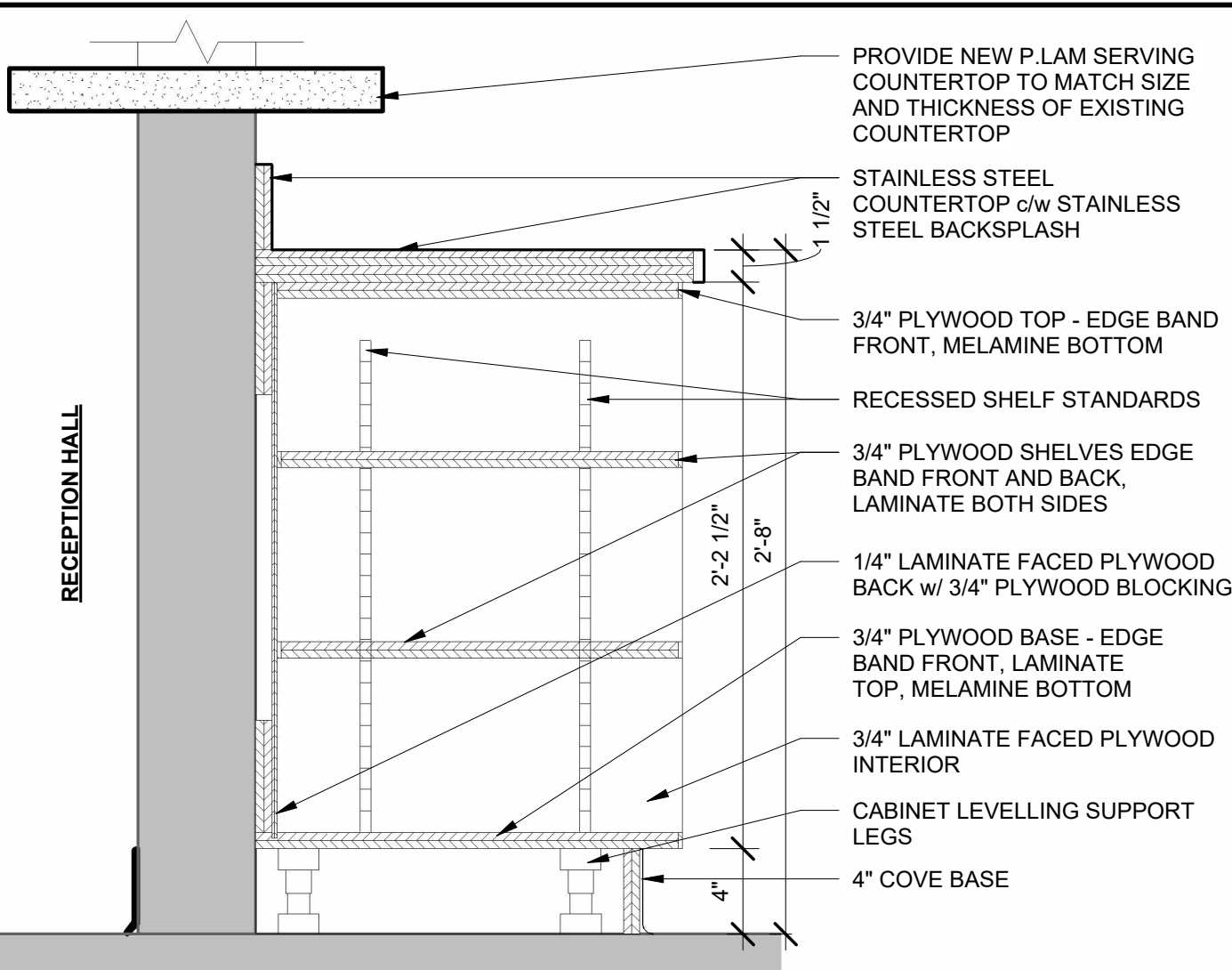
**KITCHEN MILLWORK SECTION
DETAIL**

6 SCALE: 1 1/2" = 1'-0"



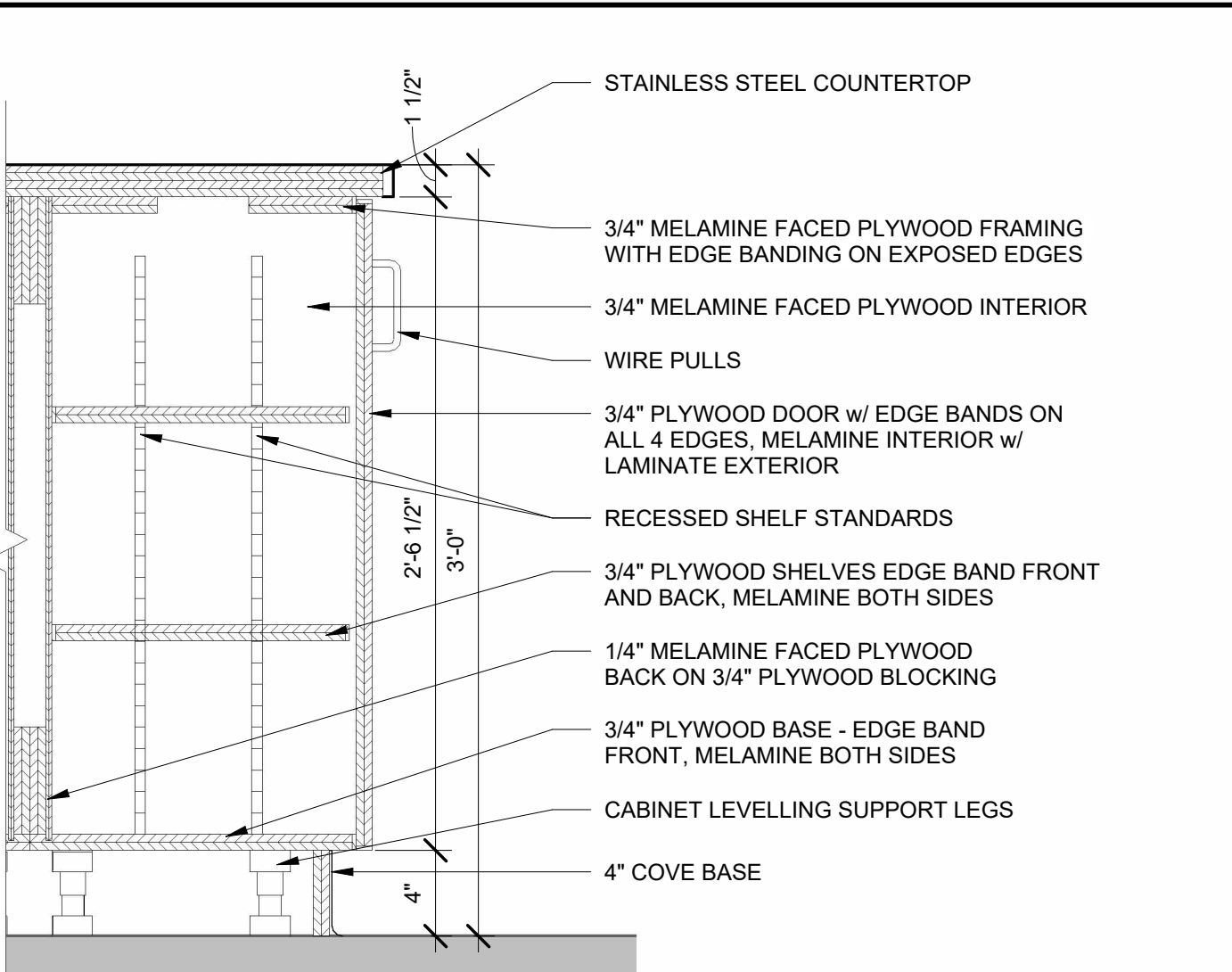
**KITCHEN MILLWORK SECTION
DETAIL**

5 SCALE: 1 1/2" = 1'-0"



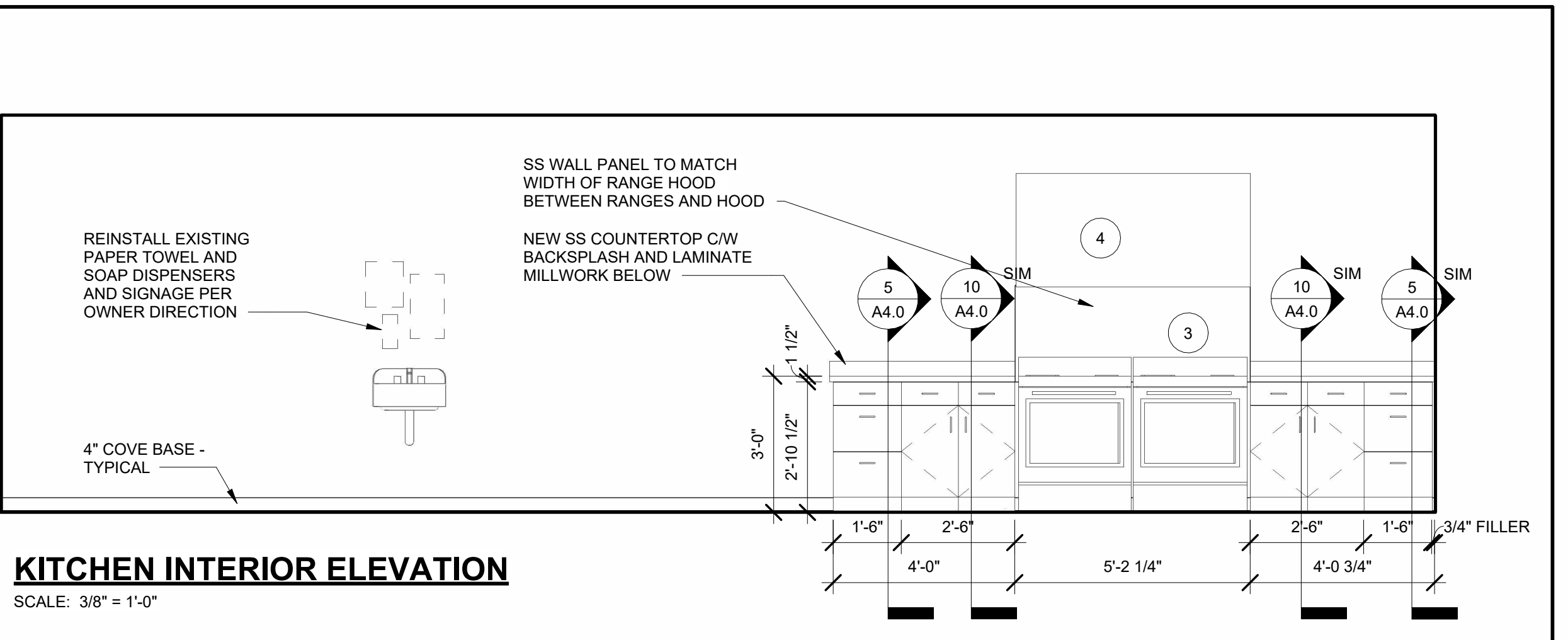
**KITCHEN MILLWORK SECTION
DETAIL**

3 SCALE: 1 1/2" = 1'-0"



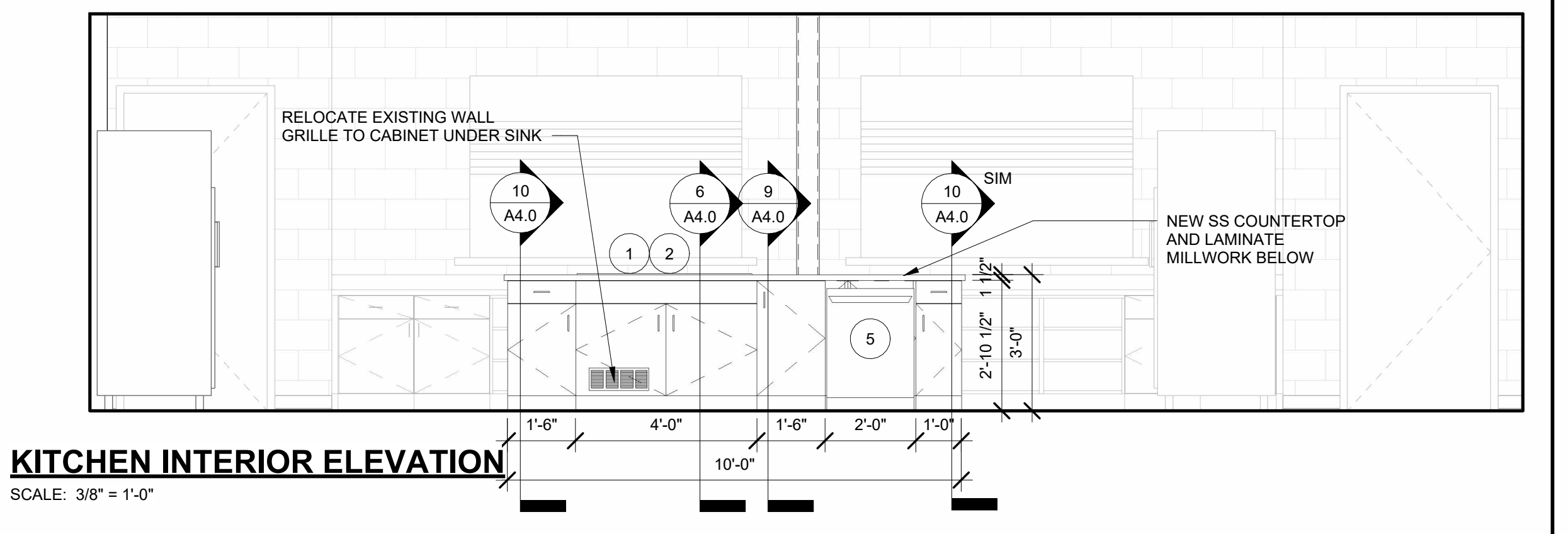
**KITCHEN MILLWORK SECTION
DETAIL**

2 SCALE: 1 1/2" = 1'-0"



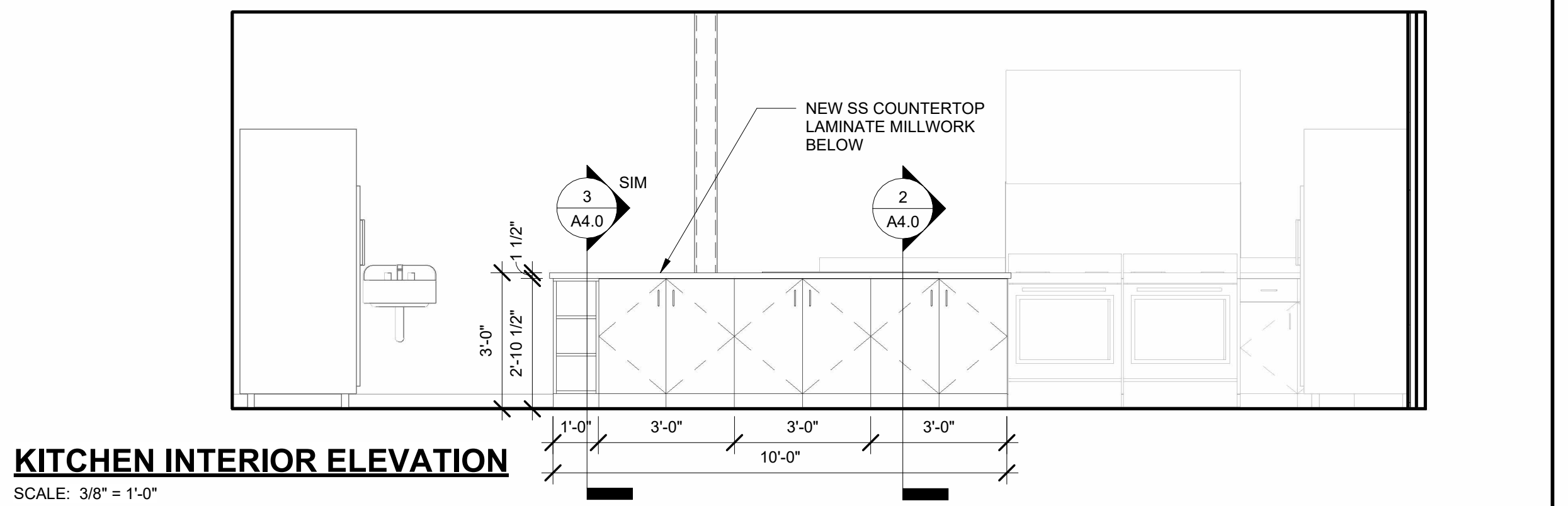
8 KITCHEN INTERIOR ELEVATION

SCALE: 3/8" = 1'-0"



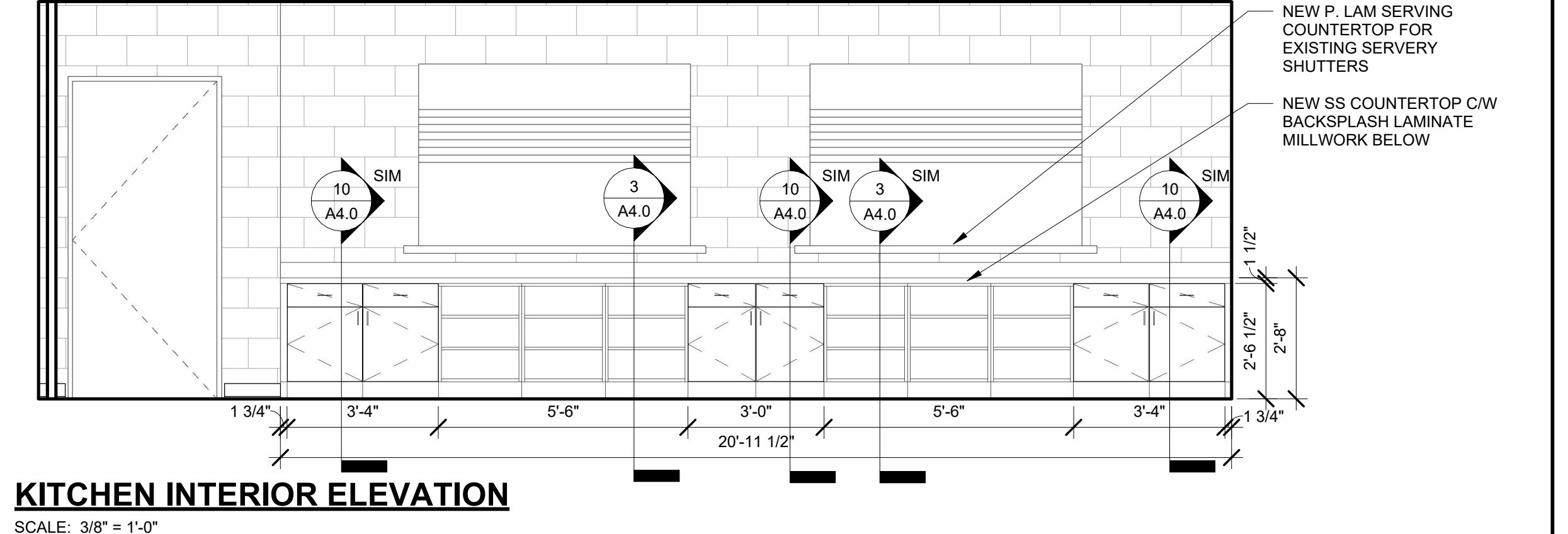
7 KITCHEN INTERIOR ELEVATION

SCALE: 3/8" = 1'-0"



4 KITCHEN INTERIOR ELEVATION

SCALE: 3/8" = 1'-0"



1 KITCHEN INTERIOR ELEVATION

SCALE: 3/8" = 1'-0"



51 Kingston Street
Goderich, ON N7A 3K3
www.JPMArchitecture.ca
T 519 524 5313

Rev No.	DATE	ISSUED FOR TENDER & PERMIT	REMARKS
17JUL2024		ISSUED FOR TENDER & PERMIT	
ISSUED FOR			

All measurements must be checked on the work by the Contractor.
Do not scale the drawing.
Do not use this drawing for construction until sealed and signed by the Architect.
Signing Architect has exercised responsible control with respect to design activities.



**ARTHUR ARENA
INTERIOR RENOVATIONS**
158 DOMVILLE ST.
ARTHUR, ONTARIO
MILLWORK

TENDER & PERMIT

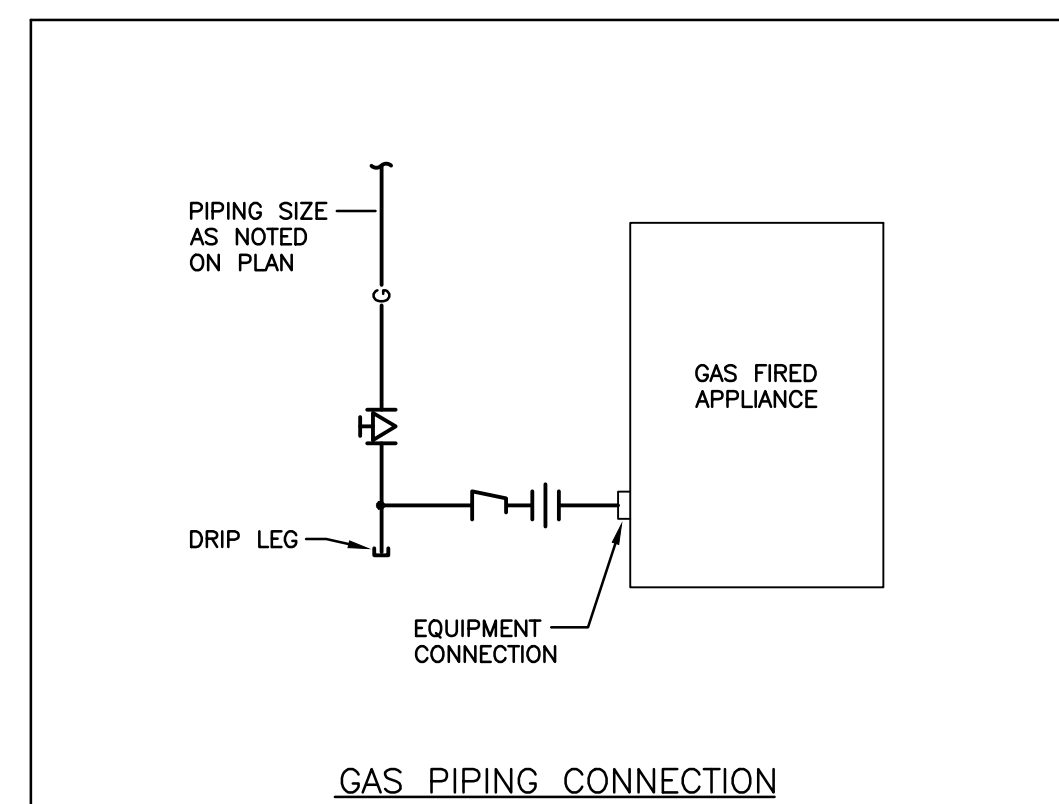
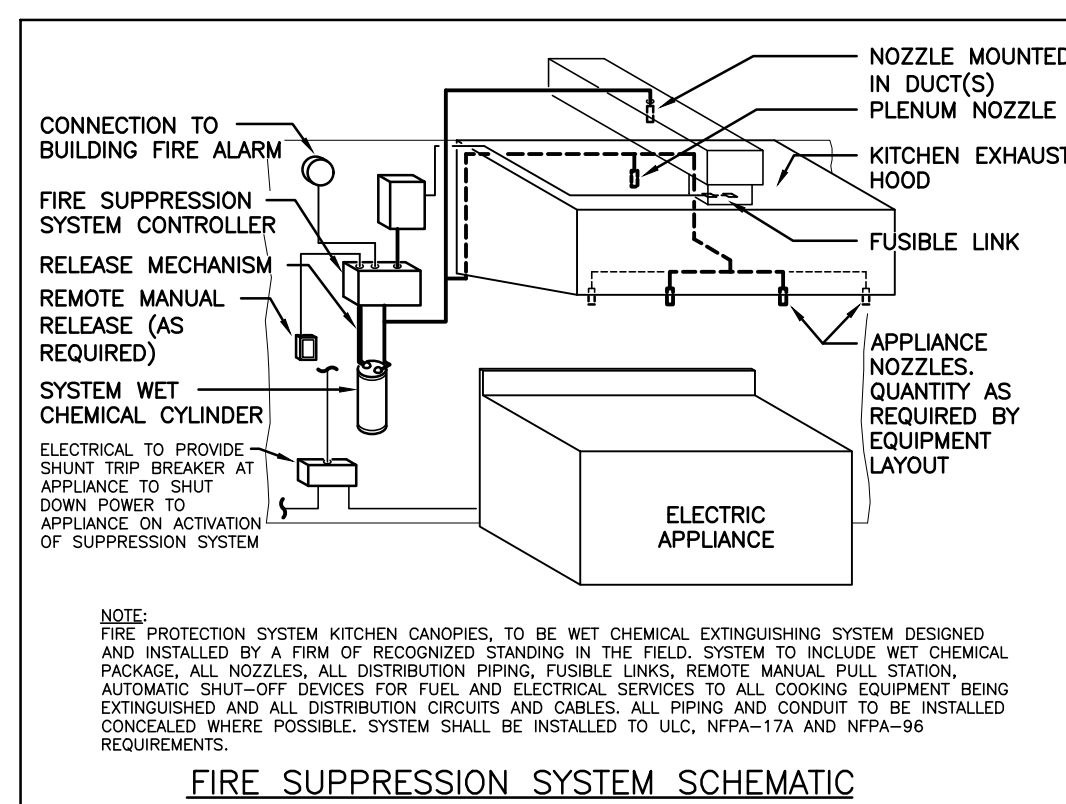
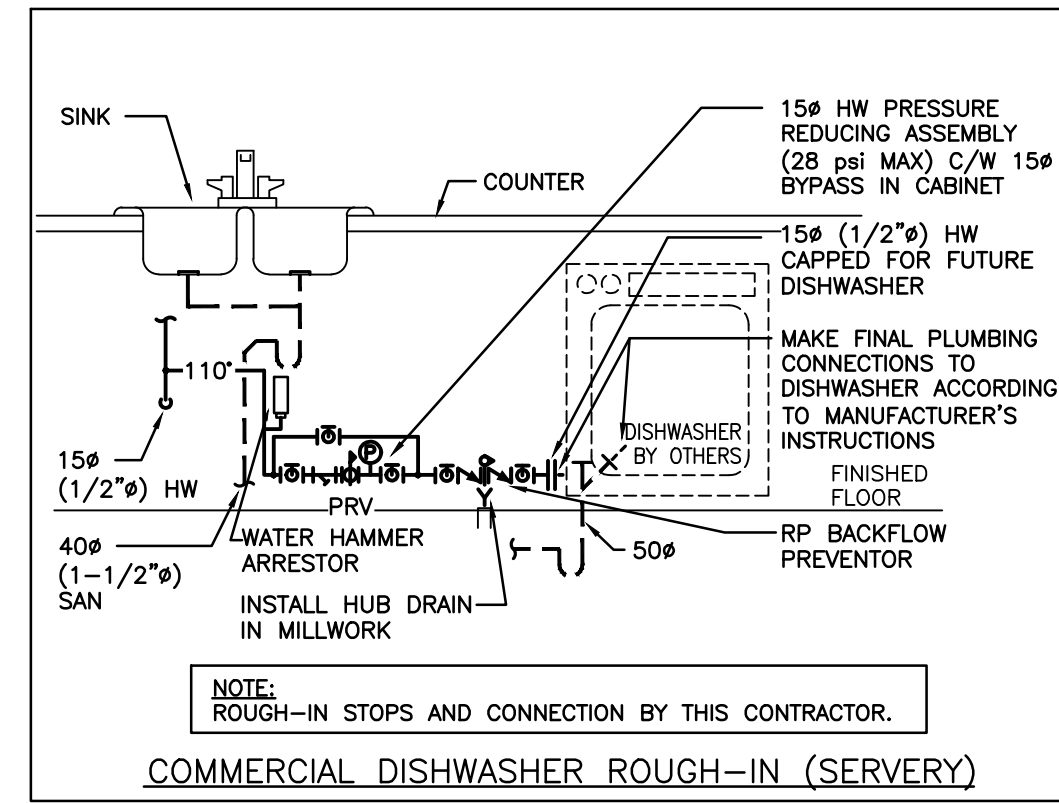
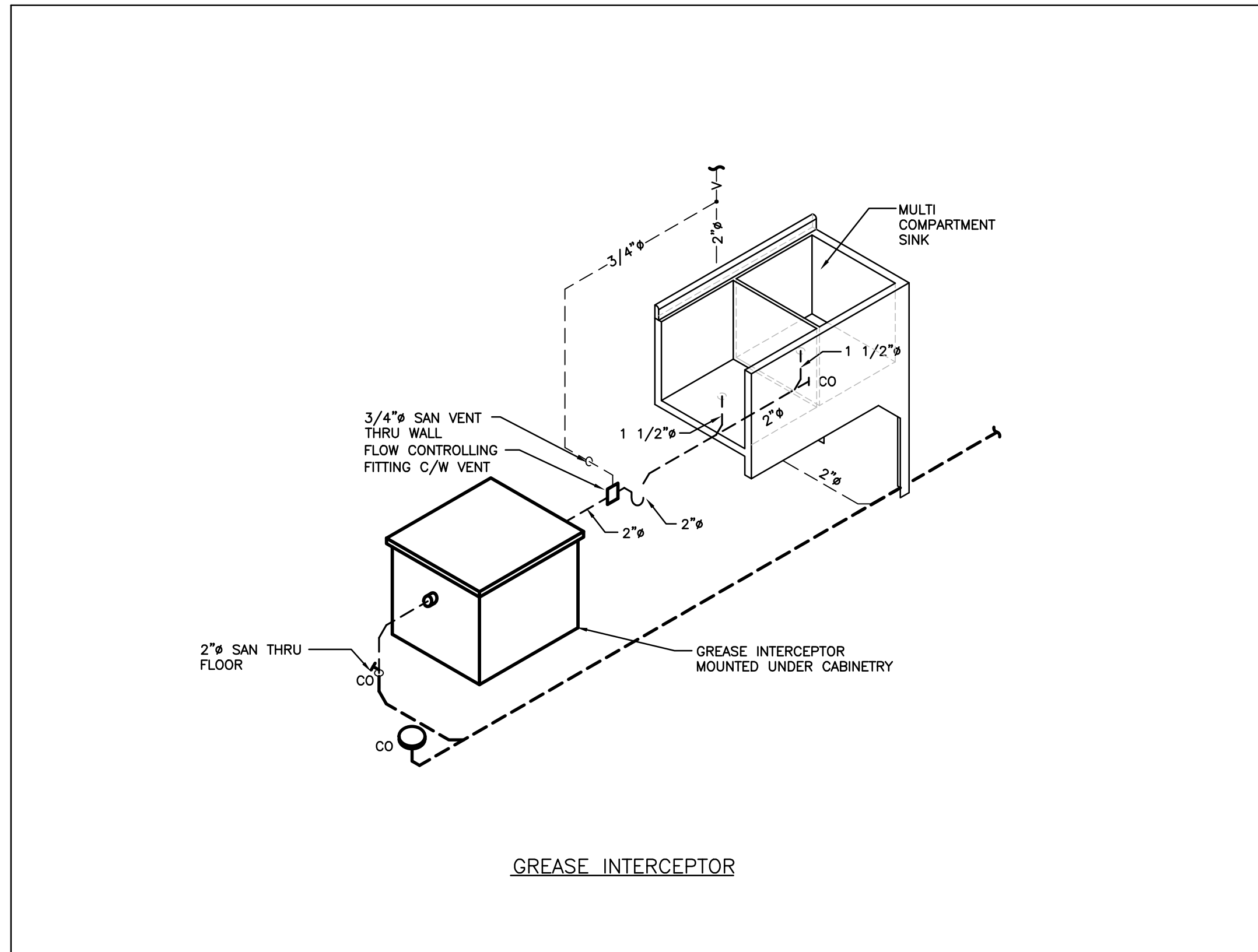
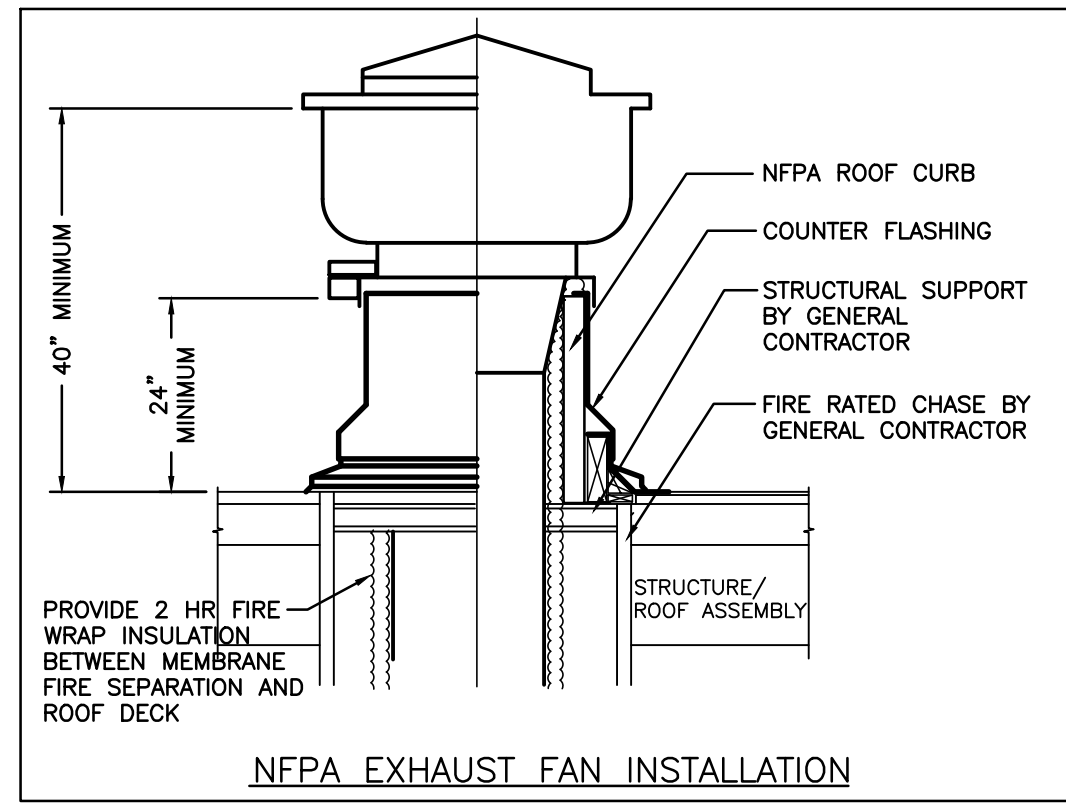
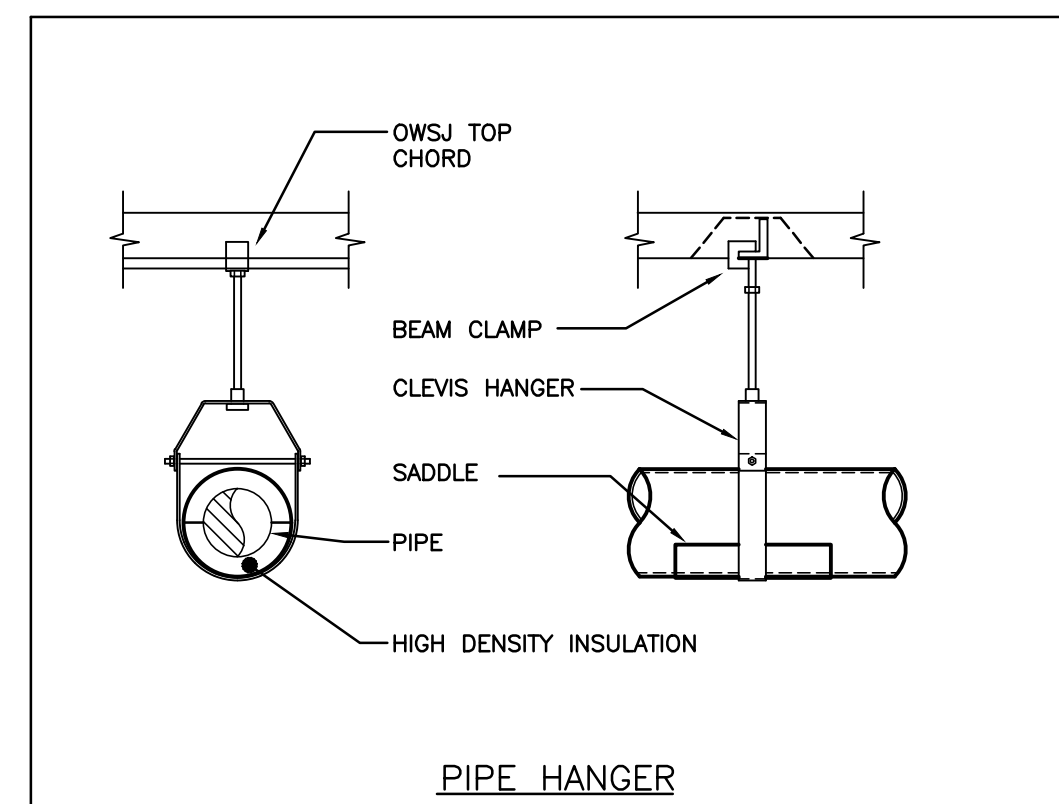
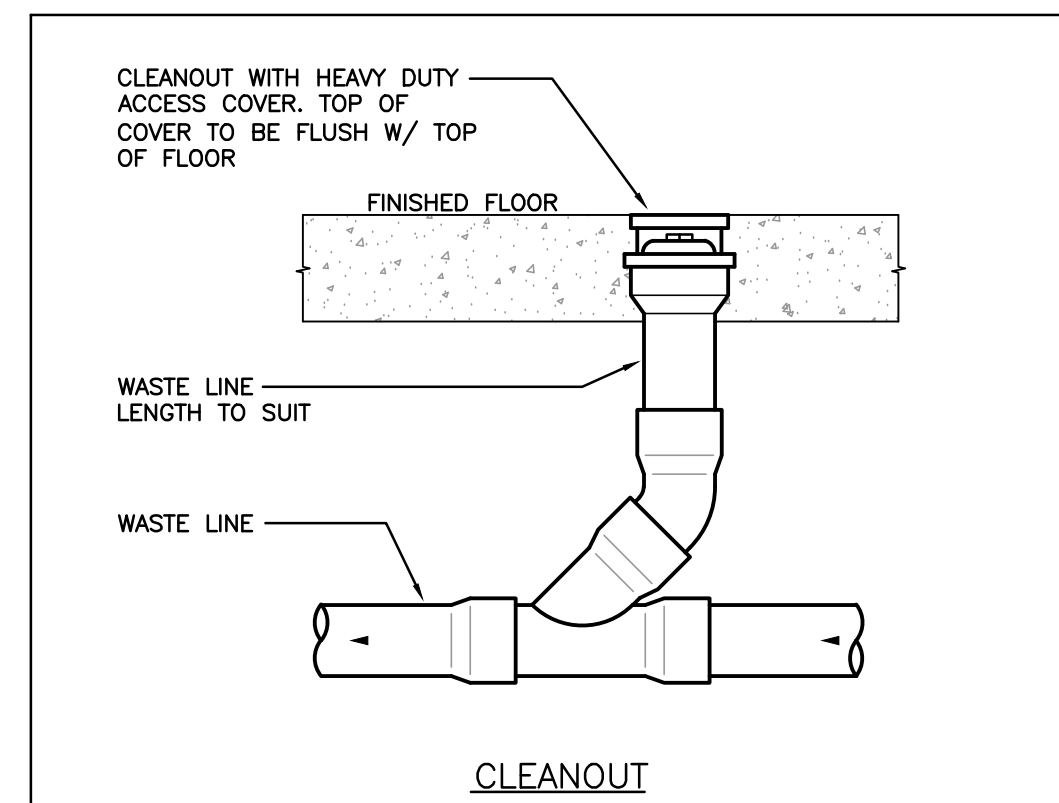
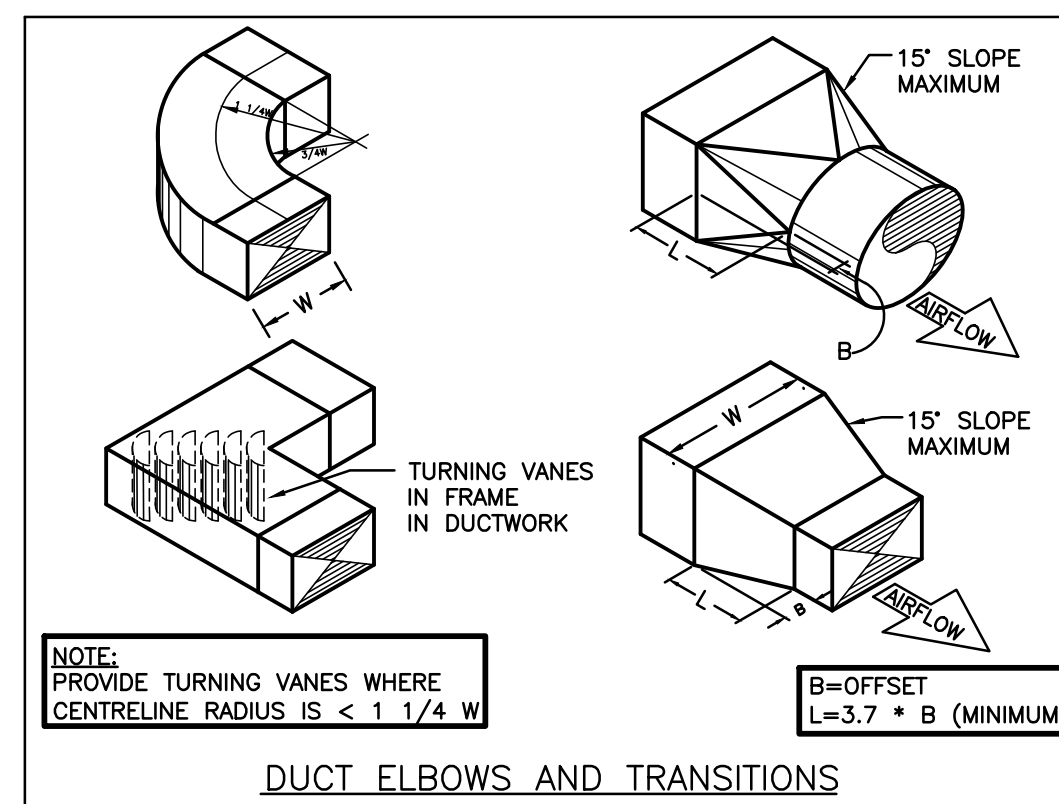
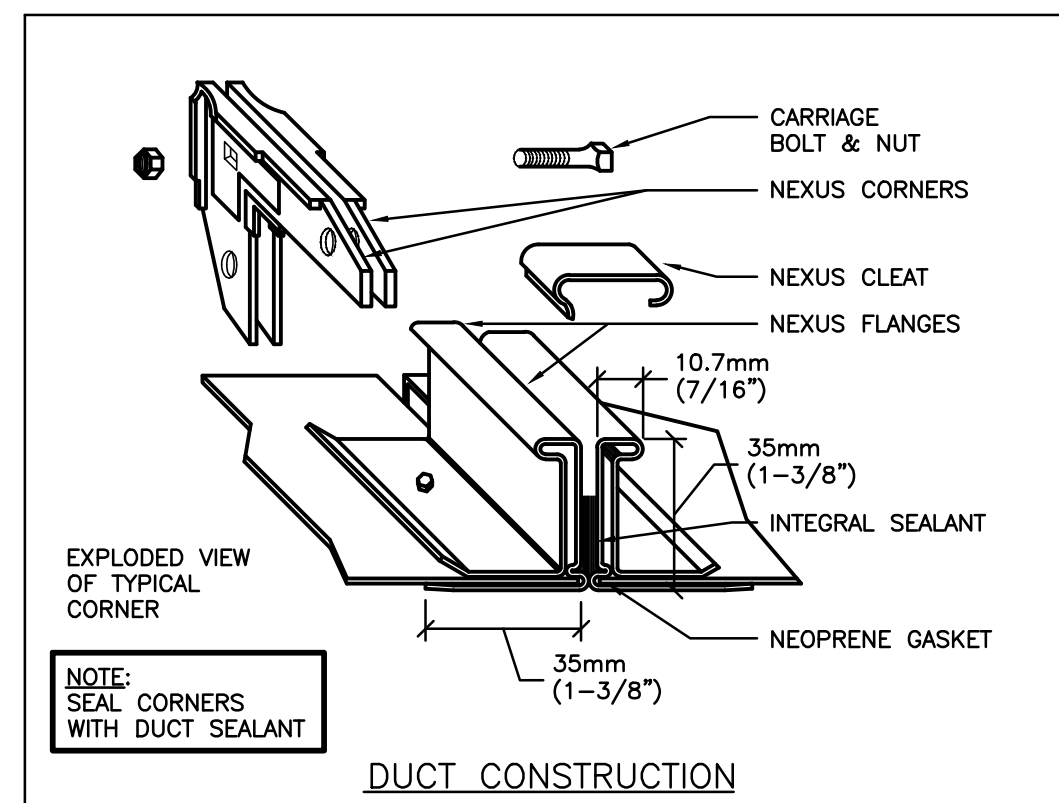
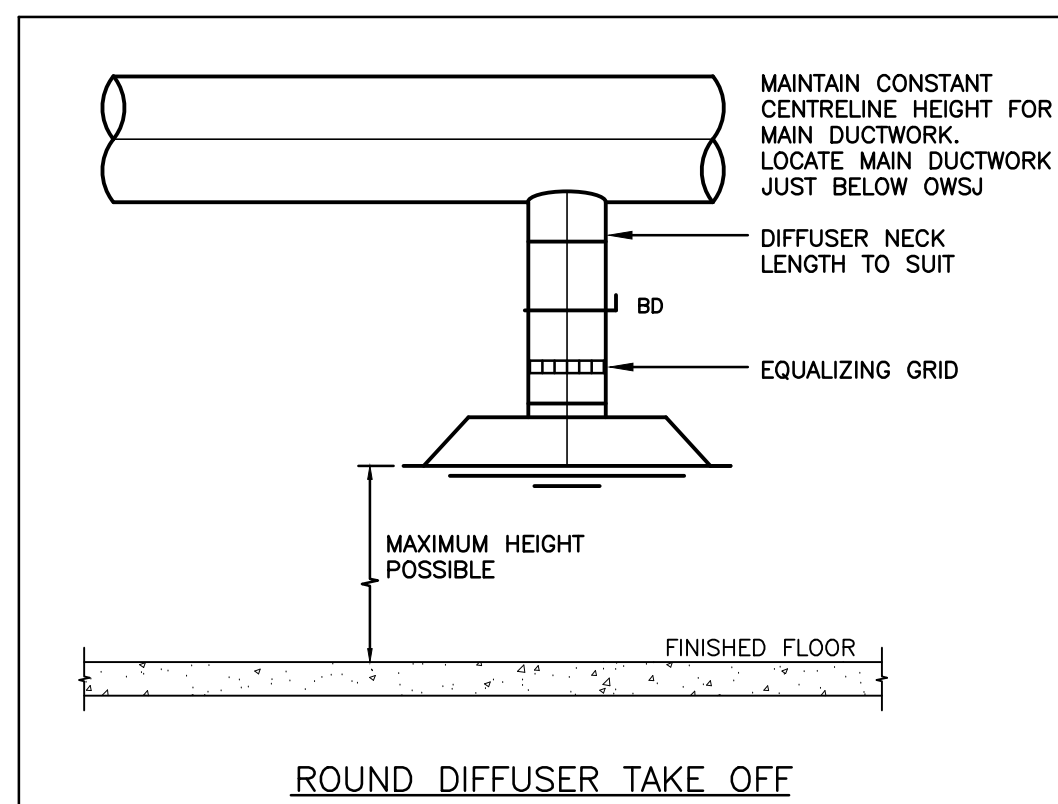
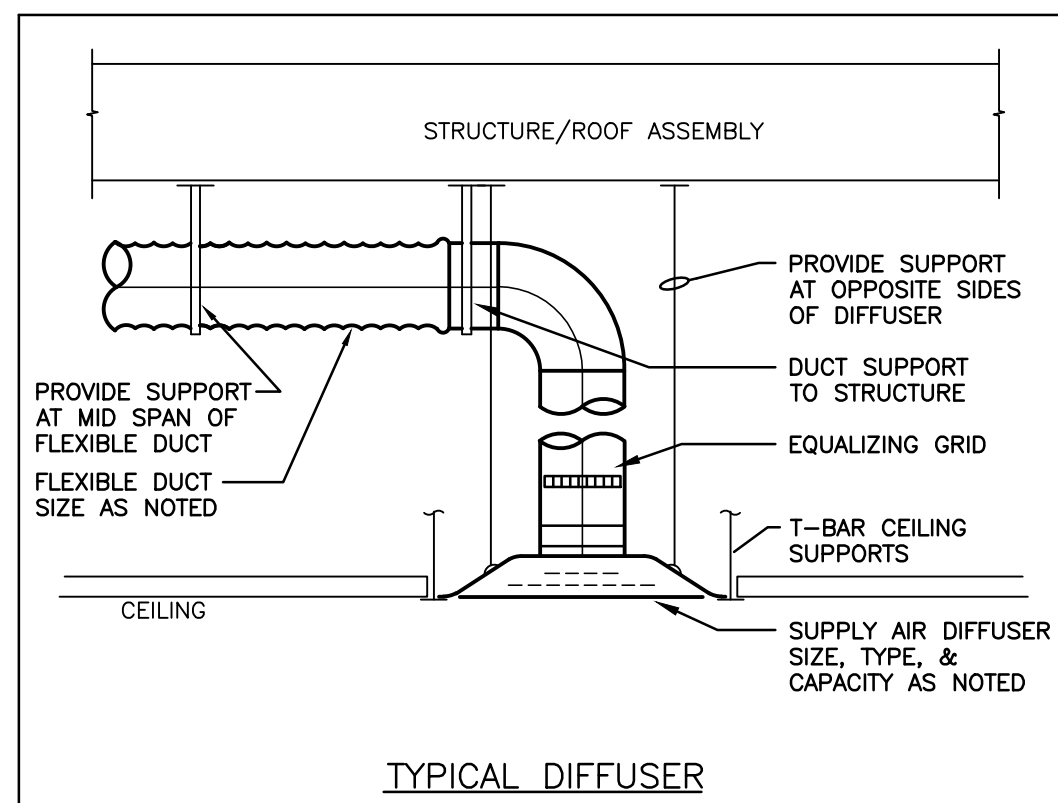
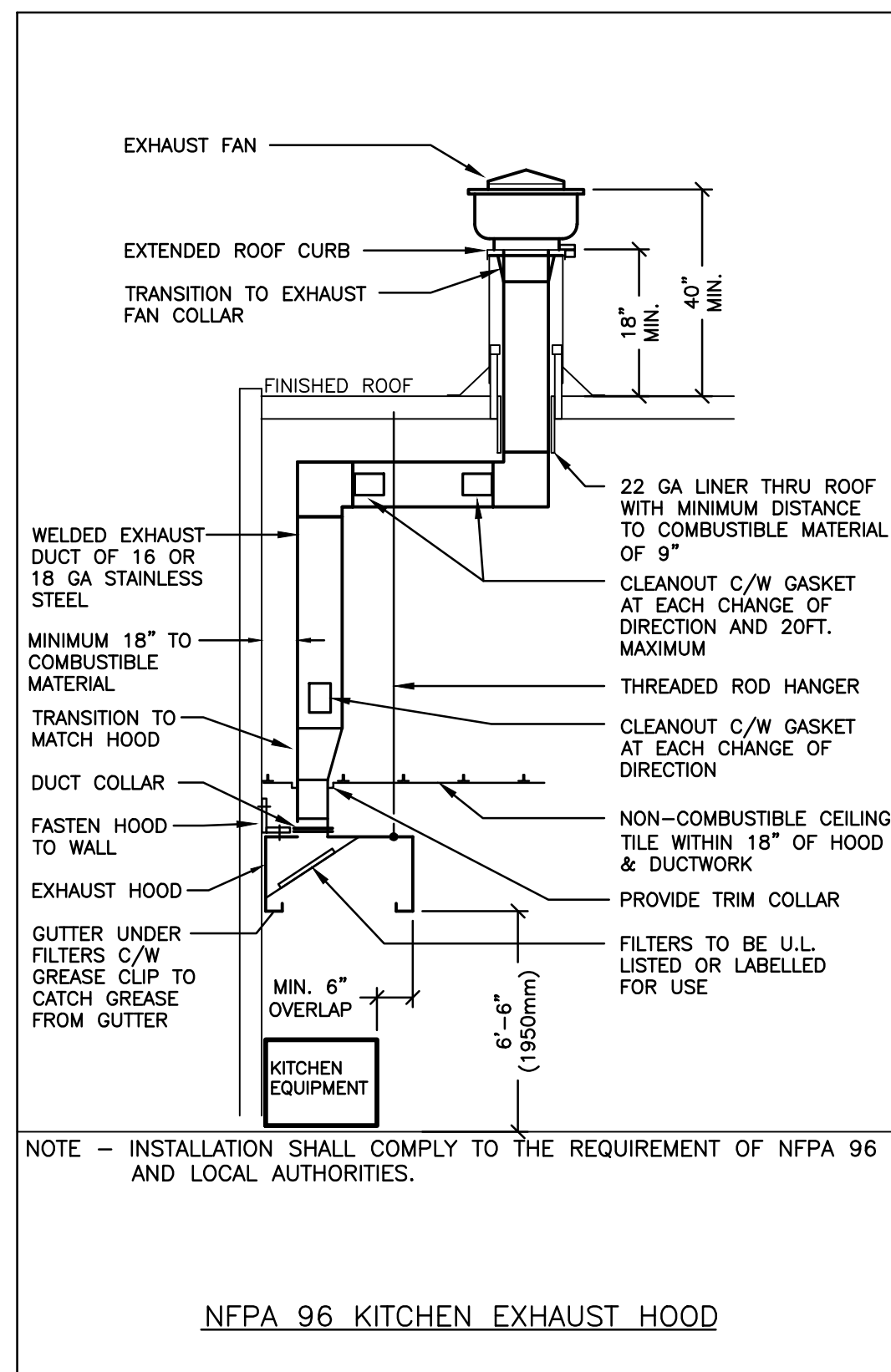
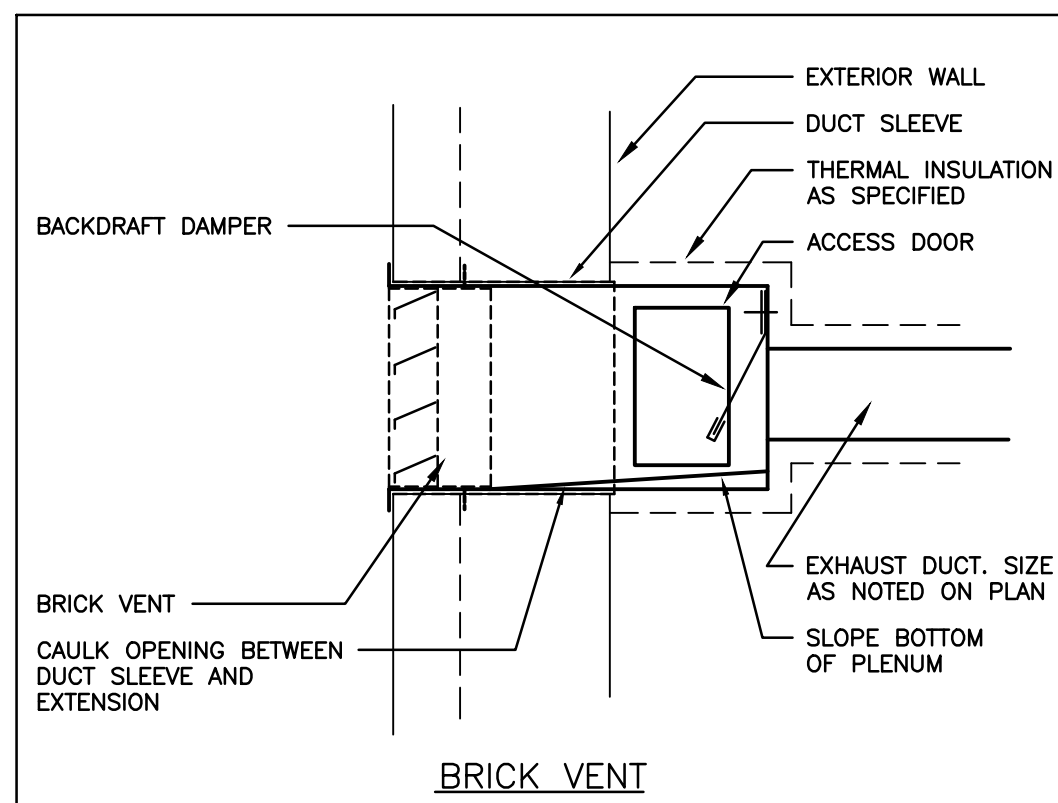
scale: **As indicated**

detail: a - Detail number, b - Location drawing

drawn: PM/NR, check: PM

date: 04/30/24, sheet: A4.0

job: 2160.00



51 Kingston Street
Goderich, ON N7A 3K3
T 519 524 5313
F 519 524 5253
www.AllanAvisArchitects.com

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work. The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work. The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions. Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant. Do not scale this drawing. © 2024 DEI Consulting Engineers Inc.



55 Northland Road, Waterloo, ON N2V 1Y8
Phone: 519-735-3555
Website: deiassociates.ca
Project Number: 24061

Rev.No.	DATE	REMARKS
3	2024-07-17	ISSUED FOR TENDER & PERMIT
2	2024-06-25	ISSUED FOR 90% REVIEW
1	2024-05-23	ISSUED FOR 50% REVIEW

ISSUED FOR



ARTHUR ARENA
INTERIOR
RENOVATIONS
158 DOMVILLE ST.
ARTHUR, ONTARIO
MECHANICAL DETAILS

drawn :	CSP	check :	AD
date :	05/24/24	sheet :	M1.2
job :	24061		

SPECIFIC DEMOLITION NOTES

1. CUT AND CAP PORTION OF ACCESSIBLE ABANDONED STORM DRAINAGE PIPE. REMOVE BEYOND COMPLETE.
2. REMOVE EXISTING ABANDONED STORM PIPING.
3. EXISTING SINK TO BE REMOVED COMPLETE. CUT EXISTING WATER CONNECTION AND PREPARE FOR NEW SINK INSTALLATION.
4. CUT EXISTING SANITARY LINE AND REMOVE VERTICAL PIPING. PREPARE FOR NEW CONNECTION. CO-ORDINATE WITH ARCHITECTURAL TRADE TO SAWCUT FLOOR AS REQUIRED FOR INSTALLATION OF NEW DRAINS BELOW SLAB.
5. CUT EXISTING 1/2" C&HW AND PREPARE FOR NEW CONNECTION.
6. REMOVE EXISTING 1/2" C&HW BACK LOCATION WHERE PIPE IS LARGER. LEAVE HANGERS IN PLACE FOR INSTALLATION OF NEW 1" PIPE.

GENERAL DEMOLITION NOTES

- A. EXISTING MECHANICAL ITEMS NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- B. EXISTING MECHANICAL ITEMS SHOWN BUT NOT NOTED AS BEING REMOVED OR RENOVATED SHALL REMAIN AS PRESENTLY INSTALLED AND OPERATING.
- C. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ON SITE ALL LOCATIONS AND SIZES OF ALL SERVICES & EQUIPMENT PRIOR TO THE COMMENCEMENT OF WORK.
- D. ALL OPENINGS THAT RESULT FROM THE REMOVAL OF EQUIPMENT OR SERVICES SHALL BE NEATLY PATCHED WITH SUITABLE NEW MATERIALS TO SUIT EXISTING CONSTRUCTION.
- E. PLUMBING VENTS ARE NOT INDICATED OR IDENTIFIED. REMOVE ALL REDUNDANT VENTS WHILE MAINTAINING INTEGRITY OF EXISTING SYSTEMS TO REMAIN.
- F. REMOVAL OF EXISTING PIPING, OR DUCT SYSTEMS INCLUDES REMOVAL OF ALL HANGERS, INSULATION, FITTINGS, ETC.
- G. MAINTAIN INTEGRITY OF EXISTING SYSTEMS THAT ARE TO REMAIN OR BE MODIFIED.
- H. INSTALL NEW SYSTEM OR SERVICES WHERE REQUIRED TO MAINTAIN SYSTEM OPERATION PRIOR TO DEMOLITION OF EXISTING SERVICES.
- I. THIS CONTRACTOR IS TO REMOVE & REPLACE CEILING AS REQUIRED FOR REMOVAL/REPLACEMENT OF SERVICES.



51 Kingston Street
Goderich, ON N7A 3K3
T 519 524 5313
F 519 524 5253
www.AllanAvisArchitects.com

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.
The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.
The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions.
Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant.
Do not scale this drawing.
© 2024 DEI Consulting Engineers Inc.

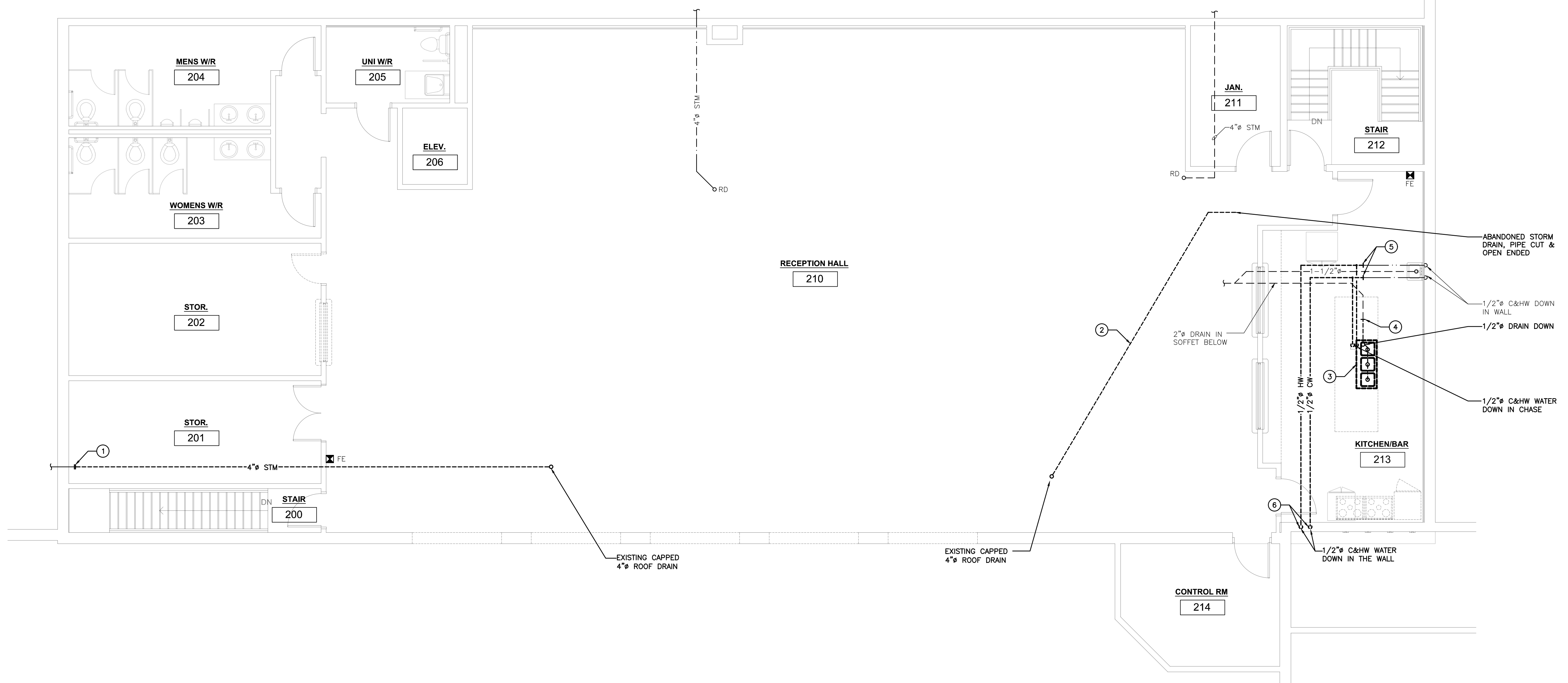


MECHANICAL | ELECTRICAL | AQUATIC

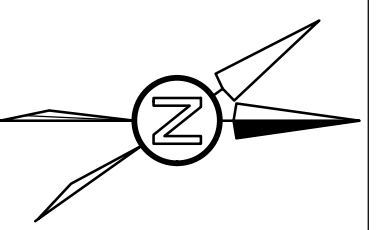
55 Northland Road, Waterloo, ON N2V 1Y8
Phone: 519-735-3555
Website: deiassociates.ca
Project Number: 24061

Rev.No.	DATE	REMARKS
3	2024-07-17	ISSUED FOR TENDER & PERMIT
2	2024-06-25	ISSUED FOR 90% REVIEW
1	2024-05-23	ISSUED FOR 50% REVIEW

ISSUED FOR



SECOND FLOOR DEMOLITION PLAN – PLUMBING AND DRAINAGE
SCALE: 3/16"=1'-0"



**ARTHUR ARENA
INTERIOR
RENOVATIONS
158 DOMVILLE ST.
ARTHUR, ONTARIO
DEMOLITION PLAN -
PLUMBING AND
DRAINAGE**

drawn : CSP	check : AD
date : 05/24/24	sheet : M2.1
job : 24061	



51 Kingston Street
Goderich, ON N7A 3K3
www.AllanAvisArchitects.com

T 519 524 5313
F 519 524 5253

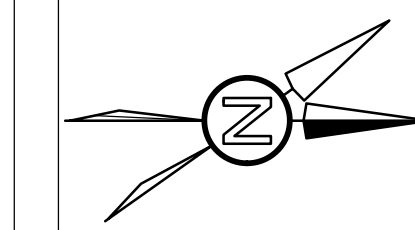
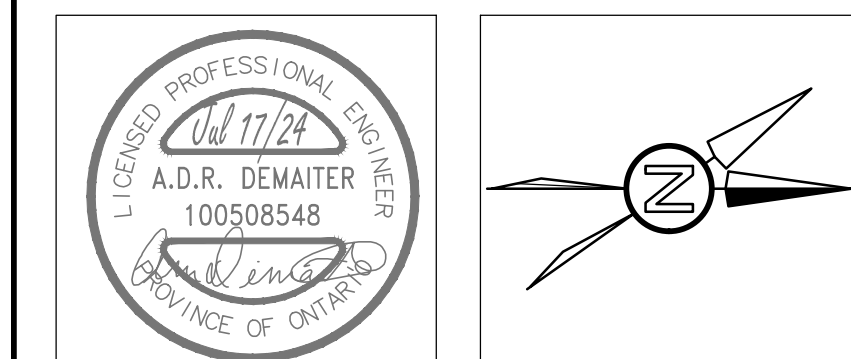
The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.
The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.
The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions.
Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant.
Do not scale this drawing.
© 2024 DEI Consulting Engineers Inc.



MECHANICAL | ELECTRICAL | AQUATIC
55 Northland Road, Waterloo, ON N2V 1Y8
Phone: 519-735-3555
Website: deiasociates.ca
Project Number: 24061

Rev.No.	DATE	REMARKS
3	2024-07-17	ISSUED FOR TENDER & PERMIT
2	2024-06-25	ISSUED FOR 90% REVIEW
1	2024-05-23	ISSUED FOR 50% REVIEW

ISSUED FOR



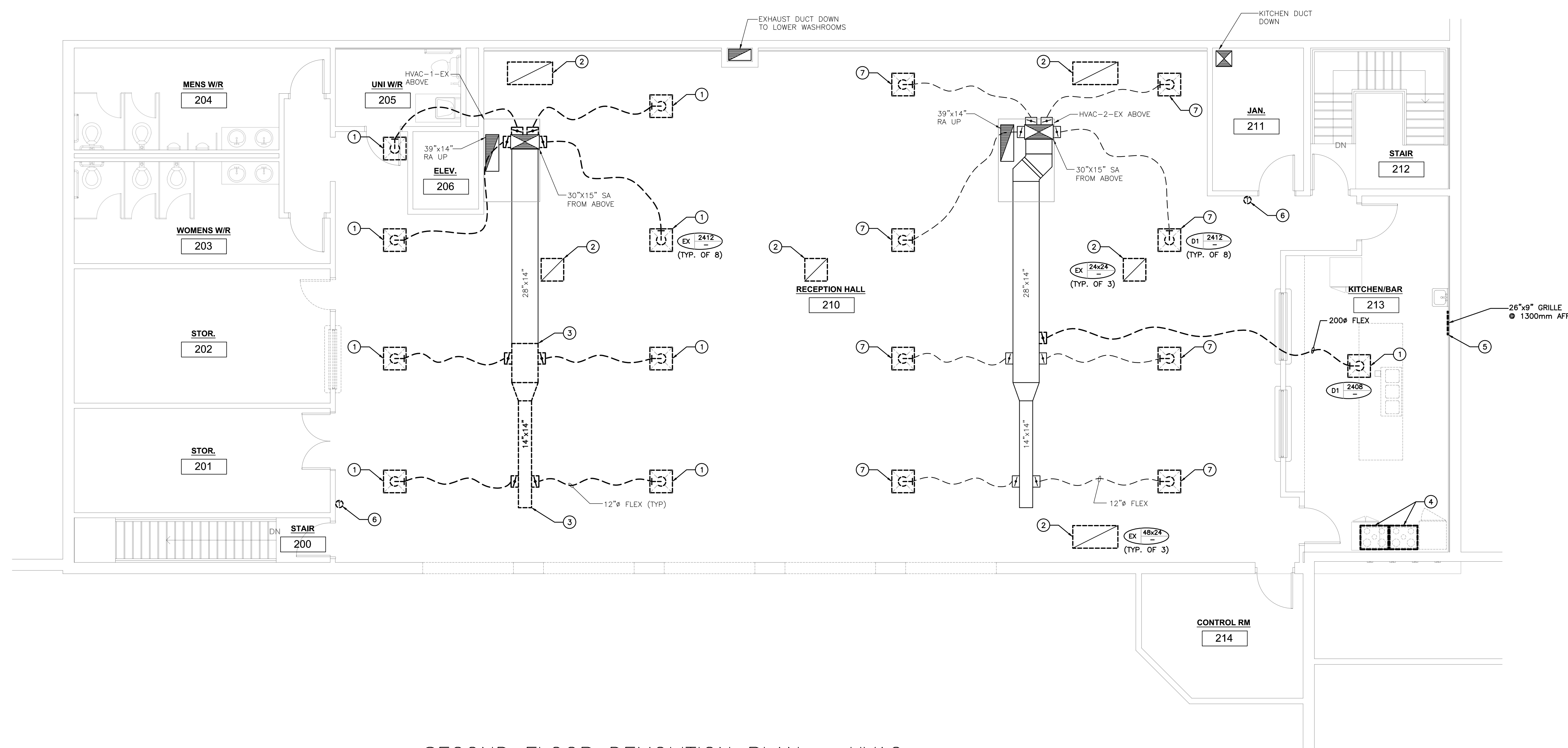
**ARTHUR ARENA
INTERIOR
RENOVATIONS
158 DOMVILLE ST.
ARTHUR, ONTARIO
DEMOLITION PLAN -
HVAC**

SPECIFIC DEMOLITION NOTES

- EXISTING DIFFUSER AND FLEXIBLE DUCTWORK TO BE REMOVED COMPLETE.
- EXISTING RETURN GRILLE TO BE REMOVED COMPLETE.
- CUT AND CAP DUCT.
- EXISTING EXHAUST HOODS TO BE REMOVED COMPLETE.
- EXISTING GRILLE TO BE REMOVED COMPLETE. CAP DUCT CONCEALED IN WALL AND REMOVE BEYOND COMPLETE. PATCH AND MAKE GOOD ALL SURFACES.
- REMOVE EXISTING THERMOSTAT.
- EXISTING DIFFUSER TO BE REMOVED, FLEXIBLE DUCTWORK TO REMAIN. PREPARE FOR NEW DIFFUSER CONNECTION.

GENERAL DEMOLITION NOTES

- EXISTING MECHANICAL ITEMS NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- EXISTING MECHANICAL ITEMS SHOWN BUT NOT NOTED AS BEING REMOVED OR RENOVATED SHALL REMAIN AS PRESENTLY INSTALLED AND OPERATING.
- THIS CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ON SITE ALL LOCATIONS AND SIZES OF ALL SERVICES & EQUIPMENT PRIOR TO THE COMMENCEMENT OF WORK.
- ALL OPENINGS THAT RESULT FROM THE REMOVAL OF EQUIPMENT OR SERVICES SHALL BE NEATLY PATCHED WITH SUITABLE NEW MATERIALS TO SUIT EXISTING CONSTRUCTION.
- PLUMBING VENTS ARE NOT INDICATED OR IDENTIFIED. REMOVE ALL REDUNDANT VENTS WHILE MAINTAINING INTEGRITY OF EXISTING SYSTEMS TO REMAIN.
- REMOVAL OF EXISTING PIPING, OR DUCT SYSTEMS INCLUDES REMOVAL OF ALL HANGERS, INSULATION, FITTINGS, ETC.
- MAINTAIN INTEGRITY OF EXISTING SYSTEMS THAT ARE TO REMAIN OR BE MODIFIED.
- INSTALL NEW SYSTEM OR SERVICES WHERE REQUIRED TO MAINTAIN SYSTEM OPERATION PRIOR TO DEMOLITION OF EXISTING SERVICES.
- THIS CONTRACTOR IS TO REMOVE & REPLACE CEILING AS REQUIRED FOR REMOVAL/REPLACEMENT OF SERVICES.
- ENSURE ANY REMAINING DUCTWORK, FITTINGS, AND CONTROLS OF DECOMMISSIONED SMOKE HEATER SYSTEM IS REMOVED.



SECOND FLOOR DEMOLITION PLAN – HVAC
SCALE: 3/16"=1'-0"

drawn :	CSP	check :	AD
date :	05/24/24	sheet :	M2.2
job :	24061		



51 Kingston Street
Goderich, ON N7A 3K3
www.AllanAvisArchitects.com

T 519 524 5313
F 519 524 5253

GENERAL RENOVATION NOTES

- A. CO-ORDINATE MOUNTING HEIGHTS OF FIXTURES WITH MILLWORK AND ARCHITECTURAL DETAILS.
- B. SANITARY VENT PIPING IS NOT SHOWN. PROVIDE ALL NECESSARY VENT PIPING FROM ALL FIXTURES FOR A COMPLETE SYSTEM TO ALL LOCAL PLUMBING CODE & LOCAL AUTHORITY REQUIREMENTS, CONNECTED TO EXISTING VENTS OR NEW VENTS AS REQUIRED.
- C. FLOOR DRAINS ARE TO BE VENTED AND TRAP SEAL PRIMED PROVIDE AUTOMATIC TRAP SEAL PRIMERS, MANIFOLDS, AND ASSOCIATED PIPING AS REQUIRED.
- D. EXTEND CLEANOUTS UP THROUGH FLOOR.
- E. REFER TO PLUMBING SCHEDULE FOR ALL FIXTURE BRANCH SIZING.

SPECIFIC RENOVATION NOTES

- 1. CONNECT NEW SINK TO EXISTING C&HW BRANCH.
- 2. INSTALL GREASE INTERCEPTOR UNDER CABINETRY.
- 3. 2" SAN DRAIN DOWN FROM GREASE INTERCEPTOR INTO SOFFIT BELOW.
- 4. RECONNECT NEW 2" SAN TO EXISTING DRAIN LINE.
- 5. HUB DRAIN MOUNTED ABOVE THE FLOOR.

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.
The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.
The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions.
Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant.
Do not scale this drawing.
© 2024 DEI Consulting Engineers Inc.

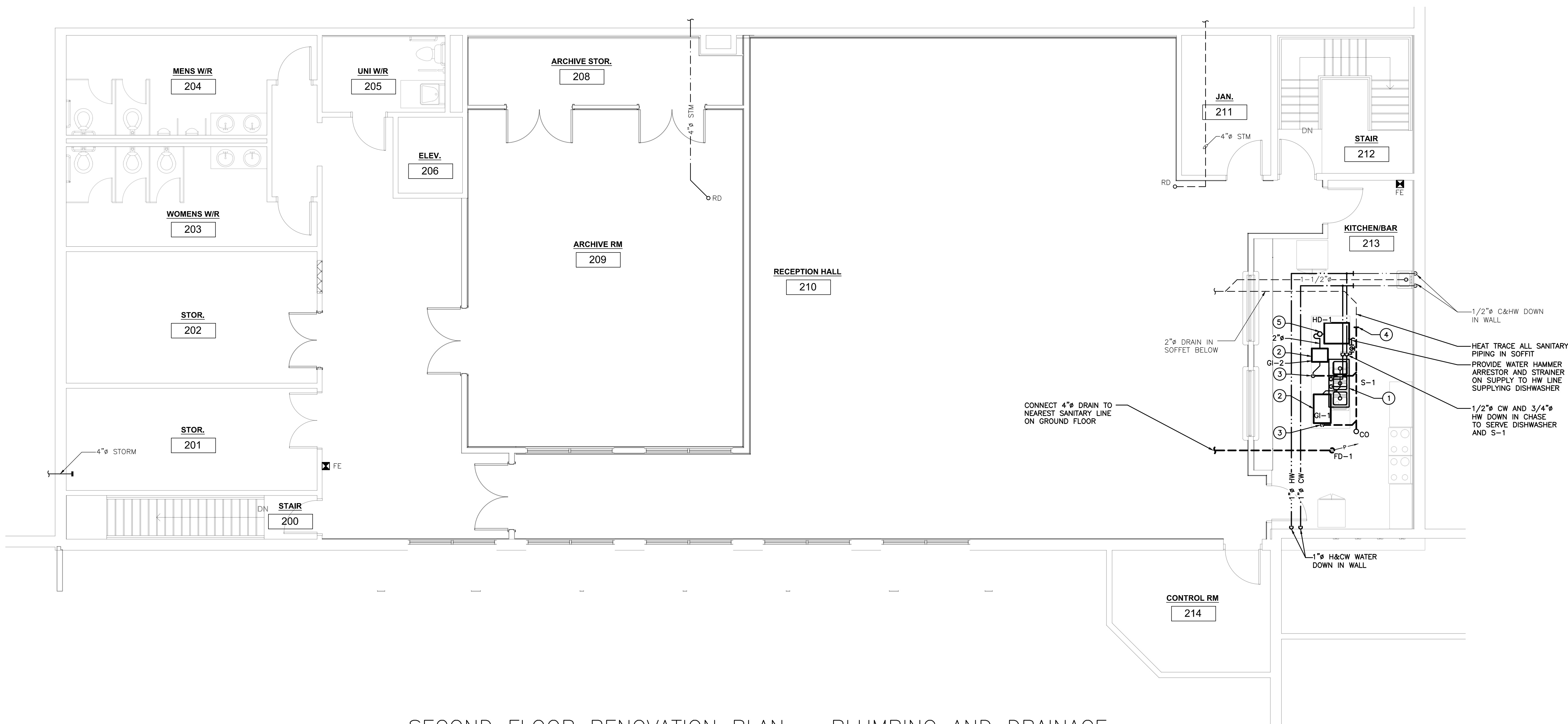
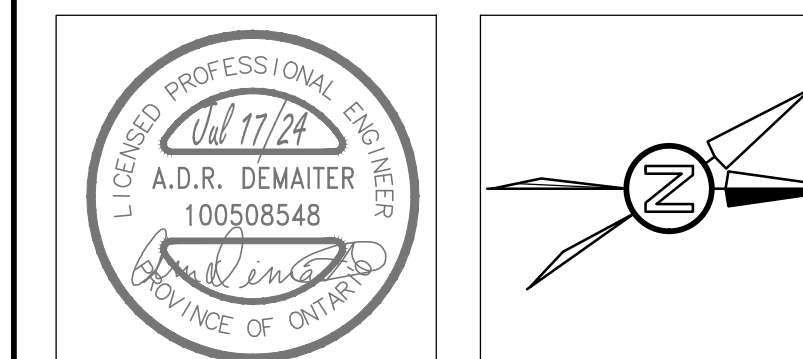


MECHANICAL | ELECTRICAL | AQUATIC

55 Northland Road, Waterloo, ON N2V 1Y8
Phone: 519-755-3555
Website: deiassociates.ca
Project Number: 24061

Rev.No.	DATE	REMARKS
3	2024-07-17	ISSUED FOR TENDER & PERMIT
2	2024-06-25	ISSUED FOR 90% REVIEW
1	2024-05-23	ISSUED FOR 50% REVIEW

ISSUED FOR



SECOND FLOOR RENOVATION PLAN – PLUMBING AND DRAINAGE
SCALE: 3/16"=1'-0"

**ARTHUR ARENA
INTERIOR
RENOVATIONS
158 DOMVILLE ST.
ARTHUR, ONTARIO
RENOVATION PLAN -
PLUMBING AND
DRAINAGE**

drawn : CSP	check : AD
date : 05/24/24	sheet : M3.1
job : 24061	

GENERAL RENOVATION NOTES

- A. REFER TO ARCHITECTURAL CEILING PLANS FOR GRILLE/DIFFUSER LOCATIONS. CO-ORDINATE FINAL LOCATION ON SITE.
- B. WHERE DUCTWORK PENETRATES A CORRIDOR WALL, CENTER DUCTS BETWEEN OWSJ.

SPECIFIC RENOVATION NOTES

- 1. EXTEND EXISTING RETURN DUCT AS REQUIRED TO CONNECT NEW BYPASS DUCTWORK. BOTTOM OF DUCTWORK TO REMAIN OPEN.
- 2. NEW DIFFUSER CONNECTED TO EXISTING FLEX DUCT. STRETCH FLEX DUCT AS NEEDED TO SUIT LOCATION.



51 Kingston Street
Goderich, ON N7A 3K3
T 519 524 5313
F 519 524 5253
www.AllanAvisArchitects.com

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.
The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.
The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions.
Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant.
Do not scale this drawing.
© 2024 DEI Consulting Engineers Inc.

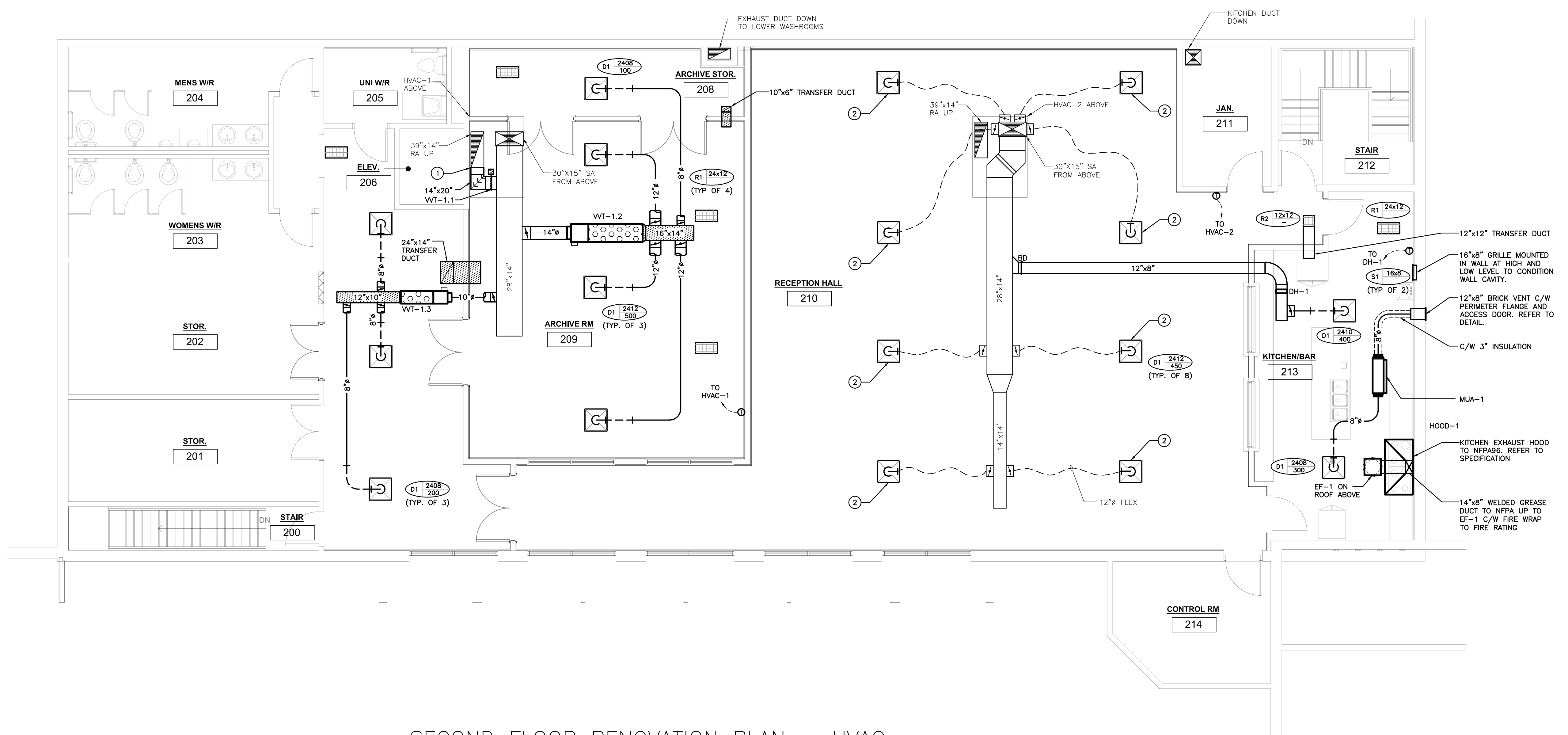


MECHANICAL | ELECTRICAL | AQUATIC

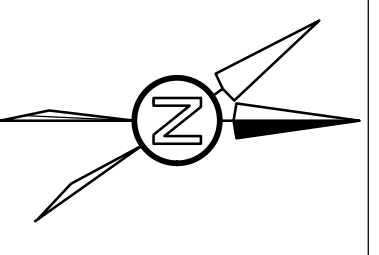
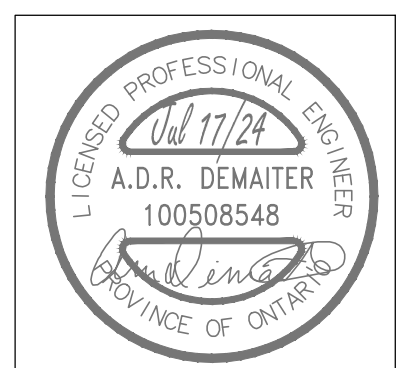
55 Northland Road, Waterloo, ON N2V 1Y8
Phone: 519-735-3555
Website: deiasociates.ca
Project Number: 24061

Rev.No.	DATE	REMARKS
3	2024-07-17	ISSUED FOR TENDER & PERMIT
2	2024-06-25	ISSUED FOR 90% REVIEW
1	2024-05-23	ISSUED FOR 50% REVIEW

ISSUED FOR



SECOND FLOOR RENOVATION PLAN – HVAC
SCALE: 3/16"=1'-0"



**ARTHUR ARENA
INTERIOR
RENOVATIONS
158 DOMVILLE ST.
ARTHUR, ONTARIO
RENOVATION PLAN -
HVAC**

drawn :	CSP	check :	AD
date :	05/24/24	sheet :	M3.2
job :	24061		

GENERAL RENOVATION NOTES

- A. NO NEW PENETRATIONS THROUGH ROOF TO BE MADE. ROUTE ALL SANITARY AND/OR PRV VENTS THROUGH EXISTING VENTS OR ROUTE THROUGH KITCHEN WALL.
- B. ALL EQUIPMENT SHALL BE MINIMUM 3.0m FROM EDGE OF ROOF.



51 Kingston Street
 Goderich, ON N7A 3K3
 www.AllanAvisArchitects.com
 T 519 524 5313
 F 519 524 5253

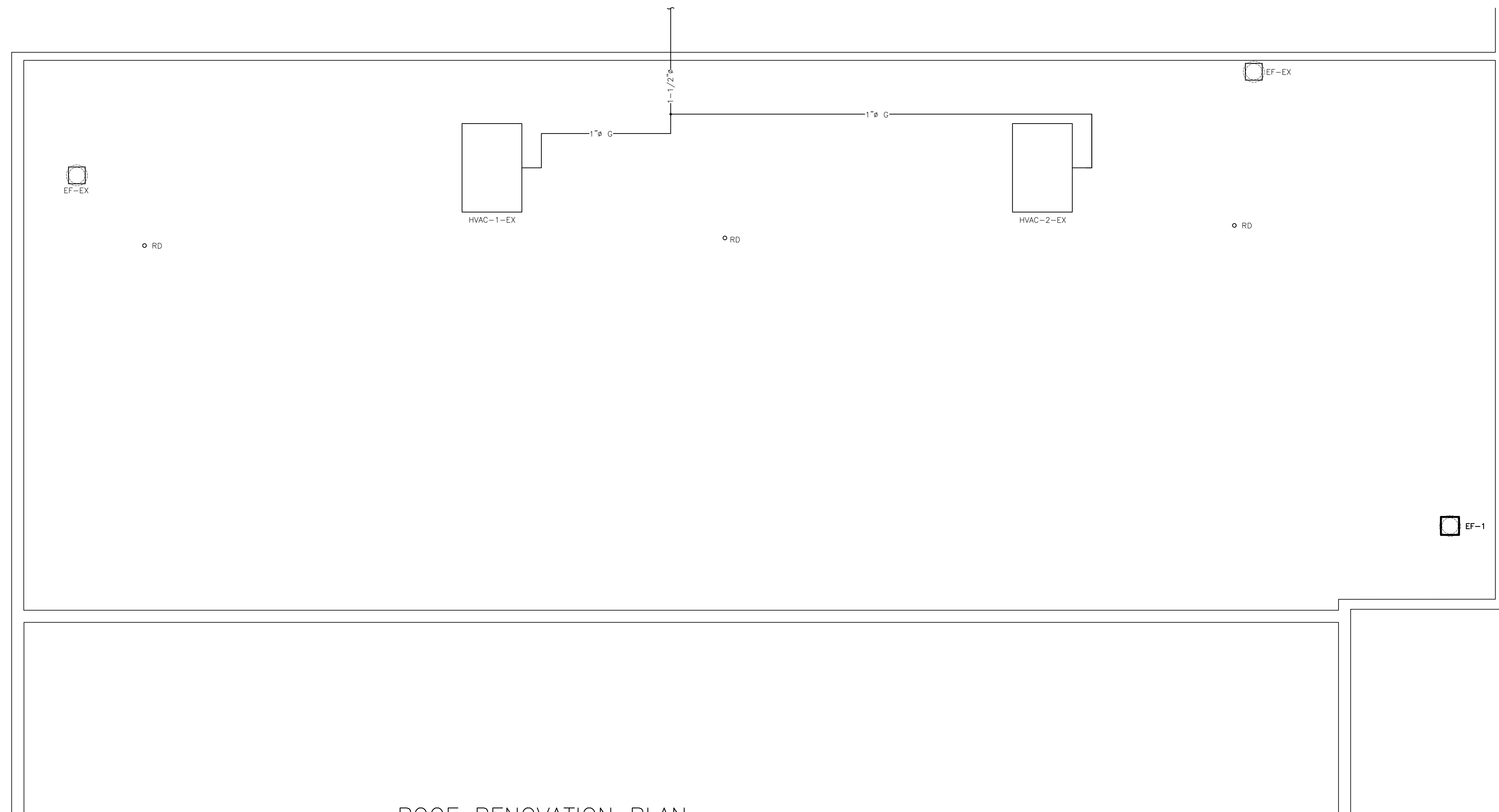
The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.
 The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.
 The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions.
 Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant.
 Do not scale this drawing.
 © 2024 DEI Consulting Engineers Inc.



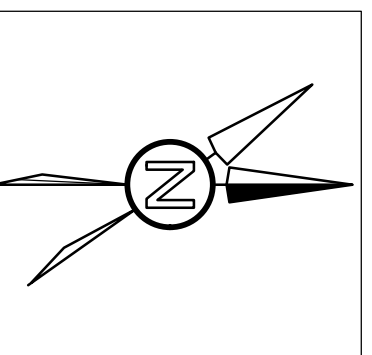
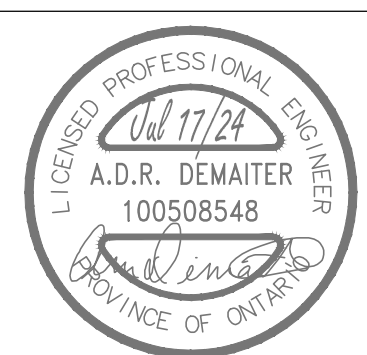
Consulting Engineers
 MECHANICAL | ELECTRICAL | AQUATIC

55 Northland Road, Waterloo, ON N2V 1Y8
 Phone: 519-735-3555
 Website: deiasociates.ca
 Project Number: 24061

Rev.No.	DATE	REMARKS
3	2024-07-17	ISSUED FOR TENDER & PERMIT
2	2024-06-25	ISSUED FOR 90% REVIEW
1	2024-05-23	ISSUED FOR 50% REVIEW
ISSUED FOR		



ROOF RENOVATION PLAN
 SCALE: 3/16"=1'-0"



**ARTHUR ARENA
 INTERIOR
 RENOVATIONS
 158 DOMVILLE ST.
 ARTHUR, ONTARIO
 RENOVATION PLAN -
 ROOF**

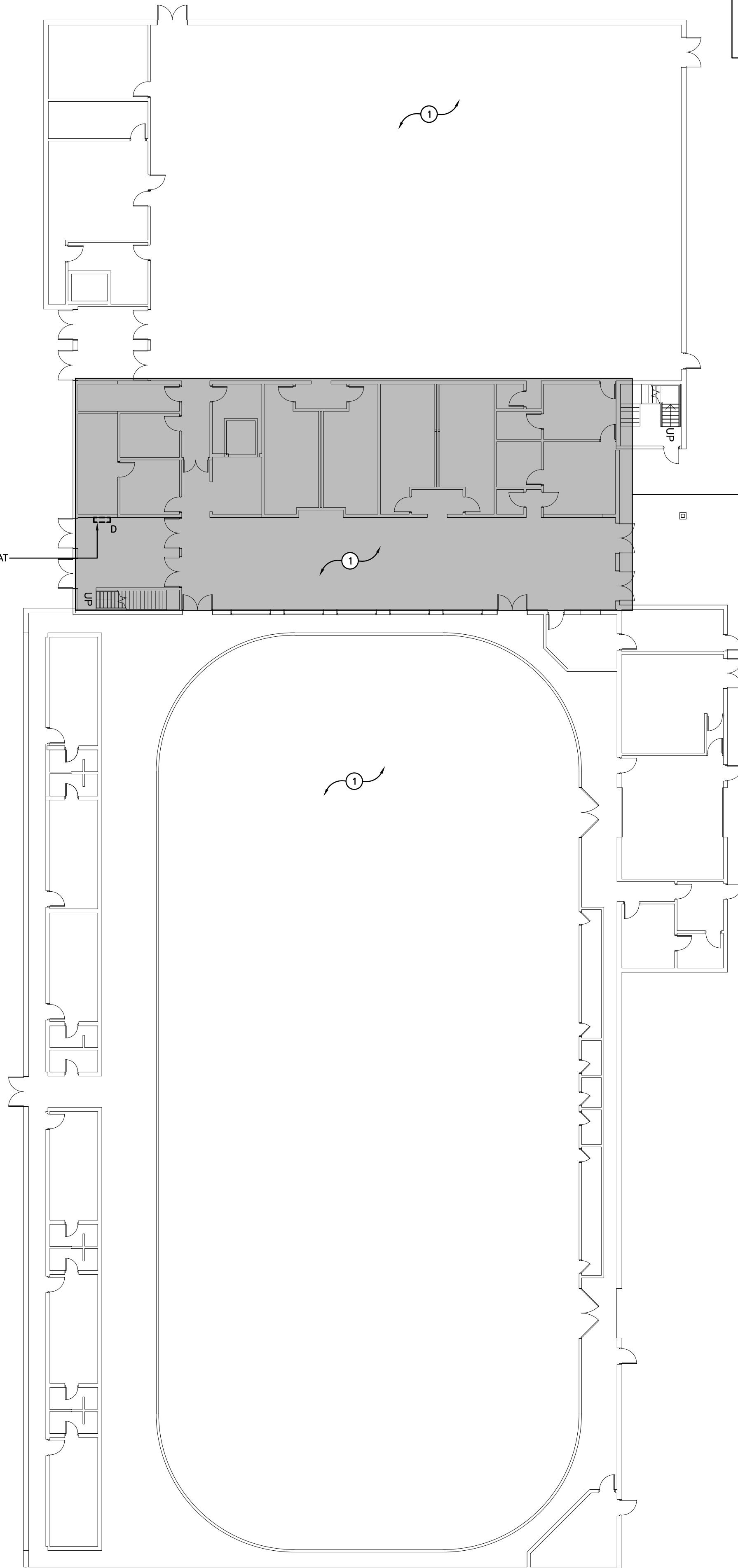
drawn : CSP	check : AD
date : 05/24/24	sheet : M3.3
job : 24061	

NOTES:

1. INDICATES PORTION OF BUILDING WITH EXISTING INCOMPATIBLE SMOKE DETECTORS TO BE REPLACED PER EQUIPMENT ALLOWANCES TO SUIT FIRE ALARM CONTROL PANEL REPLACEMENT. DEVICE LOCATIONS NOT SHOWN. COORDINATE LOCATIONS ON SITE. REMAINDER OF EXISTING FIRE ALARM DEVICES ARE TO REMAIN AND TO BE RECONNECTED TO REPLACEMENT CONTROL PANEL AND TESTED. REFER TO FIRE ALARM RISER DIAGRAM AND SPECIFICATIONS.

APPROX. LOCATION OF EXISTING FACP AT ENTRANCE VESTIBULE TO BE REMOVED AND REPLACED. REFER TO FIRE ALARM RISER DRAWING E3.1

LOCATION OF RENOVATION WORK ON SECOND FLOOR ABOVE. REFER TO DRAWINGS E2.1, E2.2 & E2.3



A-OVERALL GROUND FLOOR PLAN
SCALE: NTS

ELECTRICAL SYMBOLS

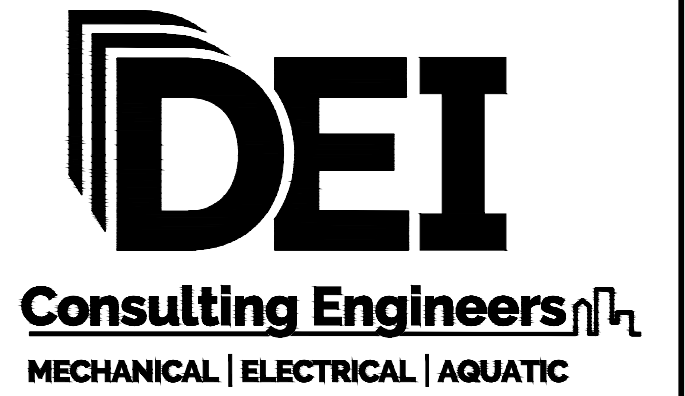
NOTE: ALL SYMBOLS MAY NOT BE USED

LIGHTING		POWER	
	LIGHT FIXTURE TYPE AS INDICATED		WALL MOUNTED RECEPTACLE (15A-120V)
	COMBINATION EMERGENCY/EXIT TYPE AS NOTED		WALL MOUNTED T-SLOT RECEPTACLE (20A-120V)
	CEILING MOUNTED LIGHT FIXTURE TYPE AS INDICATED		RECEPTACLE MTD. ABOVE COUNTER (15A-120V)
	CEILING MOUNTED EXIT LIGHT ARROWS DENOTE DIRECTION SHADING INDICATES FACE		STOVE RECEPTACLE
	SINGLE OR TWIN EMERGENCY LIGHTING FIXTURE		DRYER RECEPTACLE
	RECESSED REMOTE EMERGENCY FIXTURES		QUAD RECEPTACLE
	BATTERY UNIT WITH INTEGRAL EMERGENCY FIXTURE (EM-X INDICATES BATTERY UNIT TYPE, DC-X INDICATES DC CIRCUIT, AND X-X INDICATES AC SOURCE CIRCUIT)		DIRECT CONNECTION
	SINGLE POLE SWITCH		FUSED DISCONNECT
	OCCUPANCY SENSOR DUAL TECH.		UNFUSED DISCONNECT
	CEILING MOUNTED OCCUPANCY SENSOR		THERMOSTAT
	CEILING MOUNTED SYSTEM OCCUPANCY SENSOR	FIRE ALARM	
	WALL MOUNTED MOTION SENSOR		HEAT DETECTOR (135 DEGREE RATE OF RISE AND FIXED TEMPERATURE)
	ANALOG POWER PACK		SMOKE DETECTOR (RL=RELAY BASE)
	3-BUTTON SWITCH		PULLSTATION
COMMUNICATIONS			ALARM BELL
	WIRELESS ACCESS POINT. PROVIDE 3/4" (21mm) C TO CABLE MANAGEMENT SYSTEM		ALARM BELL/STROBE COMBINATION
	CEILING MOUNTED SPEAKER		END-OF-LINE RESISTOR
ACCESS CONTROL			DOOR HOLD OPEN DEVICE
	"OCCUPIED WHEN LIT" BUTTON		ALARM STROBE
	ELECTRIC STRIKE. CONFIRM ROUGHIN WITH DOOR HARDWARE.		CONTROL MODULE
	"PUSH-TO-LOCK" BUTTON		INTEGRATING MODULE
	EMERGENCY PUSH BUTTON STATION		MONITORING MODULE
	"ASSISTANCE REQUIRED" DOME LIGHT WITH SOUNDER	GENERAL	
	"ASSISTANCE REQUIRED" INDICATOR LIGHT WITH SOUNDER	ER	INDICATED EXISTING ITEM TO REMAIN
STANDARD CIRCUIT LABELING		D	INDICATES EXISTING ITEM TO BE DELETED
	POWER PANEL LABEL	R	INDICATES EXISTING ITEM TO BE RELOCATED/IN RELOCATED POSITION
	CIRCUIT INDICATION	GF	GROUND FAULT
	SWITCH LEG (IF APPLICABLE)	CLG	CEILING MOUNTED
			NOTE INDICATOR
			MECHANICAL ITEM NO.



51 Kingston Street
Goderich, ON N7A 3K3
www.AllanAvisArchitects.com
T 519 524 5313
F 519 524 5253

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work. The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work. The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions. Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant. Do not scale this drawing. © 2024 DEI Consulting Engineers Inc.



Consulting Engineers
MECHANICAL | ELECTRICAL | AQUATIC
55 Northland Road, Waterloo, ON N2V 1Y8
Phone: 519-735-3555
Website: deiassociates.ca
Project Number: 24061

Rev.No.	DATE	REMARKS
3	2024-07-17	ISSUED FOR TENDER & PERMIT
2	2024-06-25	ISSUED FOR 90% REVIEW
1	2024-05-23	ISSUED FOR 50% REVIEW

ISSUED FOR



ARTHUR ARENA
INTERIOR
RENOVATIONS
158 DOMVILLE ST.
ARTHUR, ONTARIO
LEGEND AND
OVERALL PLAN

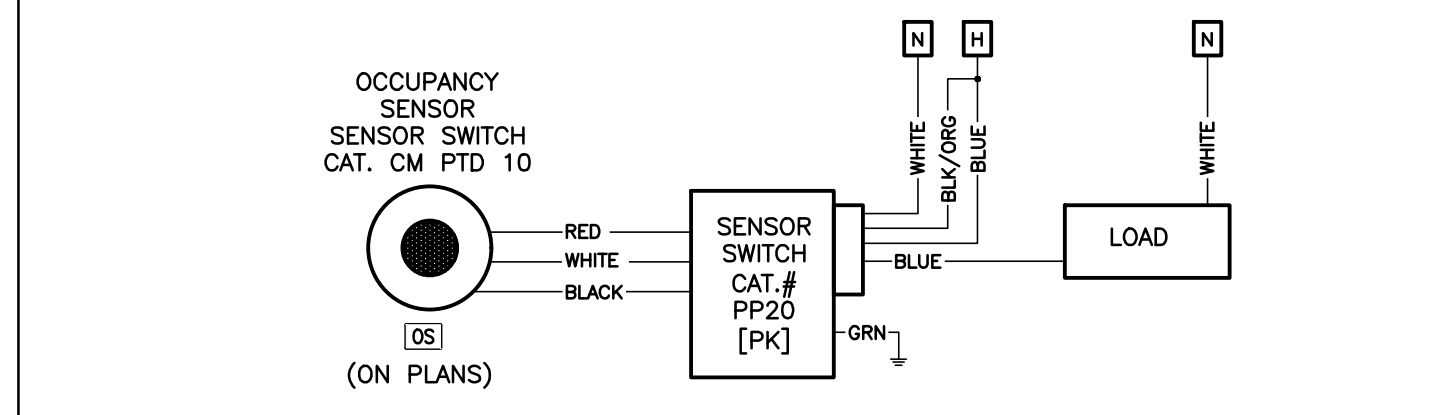
drawn : SB	check : RV
date : 05/24/24	sheet : E1.1
job : 24061	

LIGHTING CONTROL SYSTEMS SEQUENCE OF OPERATION

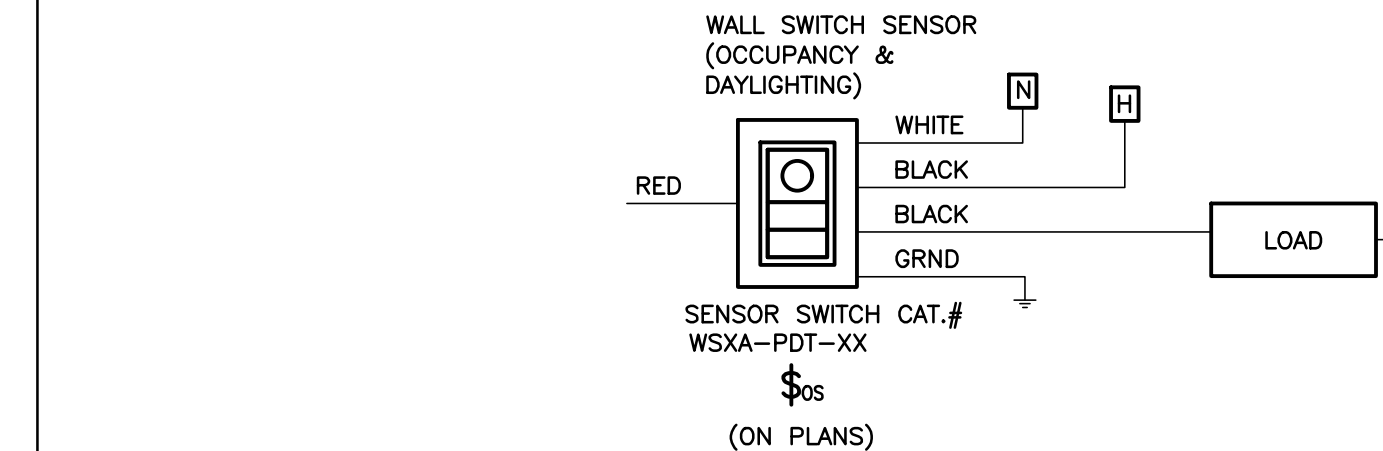
Space Type	Room Names	Control Sequence / Control Device(s):	Control System	DETAIL REFERENCE
CORRIDOR	ARCHIVE RM '209' & CORRIDOR	Sequence: AUTOMATIC ON/AUTOMATIC OFF THROUGH OCCUPANCY SENSOR AS INDICATED ON DRAWINGS. OCCUPANCY SENSOR SET TO 30 MINUTES. DELAY ONCE THE ROOM HAS BEEN VACATED, THE LIGHTS WILL AUTOMATICALLY TURN OFF.	DIGITAL OCCUPANCY CONTROL SYSTEM	A E1.2
WASHROOMS AND ARCHIVE STORAGE	UNIVERSAL WASH-ROOM '205' & ARCHIVE STORAGE '208'	Sequence: AUTO ON: LIGHTS TURNED AUTOMATICALLY VIA WALL SENSOR SWITCH. AUTO OFF: 30 MINUTES AFTER ROOM IS VACATED, LIGHTS TURN OFF.	DIGITAL OCCUPANCY CONTROL SYSTEM	B E1.2
RECEPTION	RECEPTION HALL '210'	Sequence: LZ-2 AND LZ-3: MANUAL ON THROUGH WALL SWITCH/POD/AUTOMATIC OFF THROUGH OCCUPANCY SENSOR/MANUAL OFF THROUGH WALL SWITCH/POD. DIMMING THROUGH WALL SWITCH/POD.	DIGITAL OCCUPANCY CONTROL SYSTEM	C E1.2
ARCHIVE	ARCHIVE ROOM '209'	Sequence: LZ-1: AUTOMATIC ON/AUTOMATIC OFF THROUGH OCCUPANCY SENSOR/MANUAL OFF THROUGH SWITCH/POD. DIMMING THROUGH WALL SWITCH/POD.	DIGITAL OCCUPANCY CONTROL SYSTEM	D E1.2

NOTES:

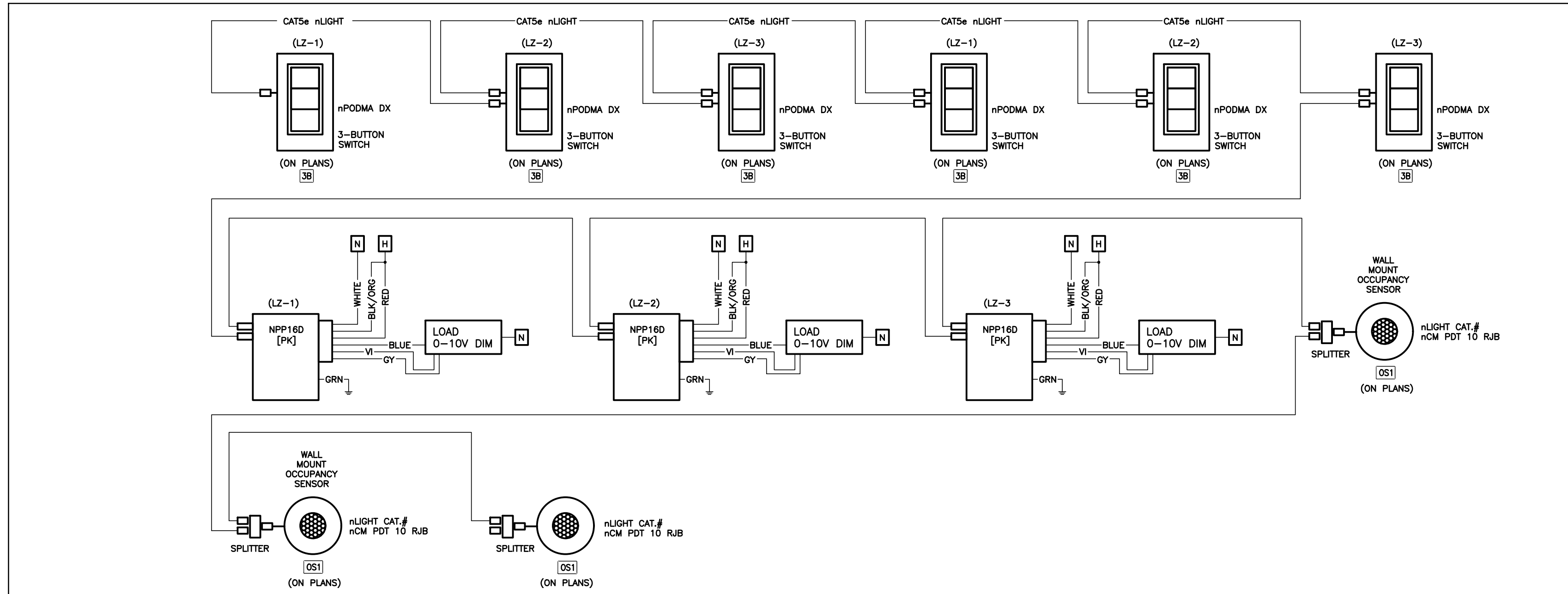
- REFER TO SPECIFICATIONS FOR FURTHER INFORMATION REGARDING COMMISSIONING AND 3RD PARTY FUNCTIONAL TESTING OF LIGHTING CONTROL SYSTEMS.



A-CORRIDOR/RECEPTION HALL LIGHTING WIRING DIAGRAM
SCALE: N.T.S.



B-WALL MOUNTED OCCUPANCY SENSOR WIRING DIAGRAM (LINE VOLTAGE)
SCALE: N.T.S.

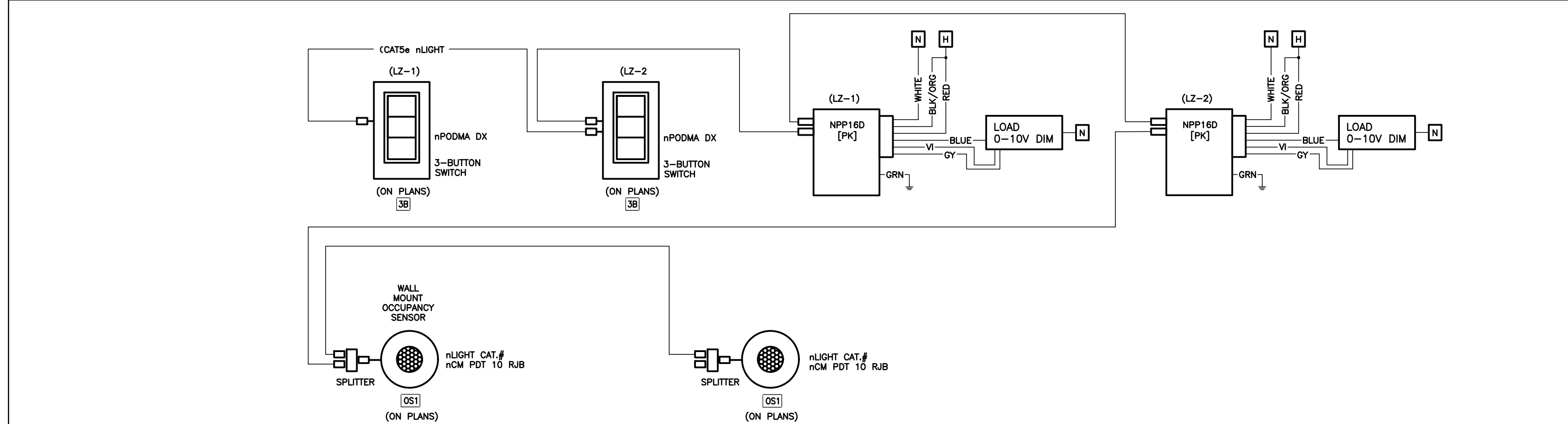


NOTES:

- POWER PACKS ARE TO BE MOUNTED ON A JUNCTION BOX IN CEILING SPACE.
- CONTROL WIRING AS INDICATED BY MANUFACTURER IS TO BE PLENUM RATED CAT5E CABLE C/W RJ45 CONNECTORS.
- ENSURE CEILING MOUNTED OCCUPANCY SENSOR IS INSTALLED IN AN OUTLET BOX AND IS MOUNTED A MINIMUM OF 605mm (24") FROM DIFFUSERS AND 300mm (12") FROM LIGHT FIXTURES.
- SWITCHES SHALL BE AS NOTED ON DRAWINGS.
- REFER TO FLOOR PLANS FOR QUANTITIES OF INDICATED DEVICES.
- INDICATED CATALOGUE NUMBERS ARE FOR nLIGHT PRODUCTS. EQUALS ARE ACCEPTABLE FROM THE FOLLOWING MANUFACTURERS:
- WATTSTOPPER
- GREENGATE

- THE MANUFACTURER'S REPRESENTATIVE IS TO PROVIDE AN ON SITE COMMISSIONING SESSION WITH THE CONTRACTOR AND/OR CONSULTANT TO CONFIRM OPERATION.
- AS AN OPTION, THE CONTRACTOR/SUPPLIER MAY REVISE THESE DEVICES TO A SINGLE DIGITAL ROOM CONTROLLER. IF SO, POWER MUST BE PROVIDED TO THE CONTROLLER FROM THE LINE SIDE OF THE ROOM'S LIGHTING CIRCUIT. IF AN ADDITIONAL WIRING METHOD IS REQUIRED BY THE MANUFACTURER THE CONTRACTOR MUST INCLUDE ALL COSTS IN TENDER.
- LOW VOLTAGE 0-10V PLENUM RATED CONTROL WIRING AS INDICATED BY MANUFACTURER.
- COMMISSIONING REPORT IS TO BE INCLUDED IN THE OWNER'S MANUAL.

C-RECEPTION HALL LIGHTING WIRING DIAGRAM
SCALE: N.T.S.



NOTES:

- POWER PACKS ARE TO BE MOUNTED ON A JUNCTION BOX IN CEILING SPACE.
- CONTROL WIRING AS INDICATED BY MANUFACTURER IS TO BE PLENUM RATED CAT5E CABLE C/W RJ45 CONNECTORS.
- ENSURE CEILING MOUNTED OCCUPANCY SENSOR IS INSTALLED IN AN OUTLET BOX AND IS MOUNTED A MINIMUM OF 605mm (24") FROM DIFFUSERS AND 300mm (12") FROM LIGHT FIXTURES.
- SWITCHES SHALL BE AS NOTED ON DRAWINGS.
- REFER TO FLOOR PLANS FOR QUANTITIES OF INDICATED DEVICES.
- INDICATED CATALOGUE NUMBERS ARE FOR nLIGHT PRODUCTS. EQUALS ARE ACCEPTABLE FROM THE FOLLOWING MANUFACTURERS:
- WATTSTOPPER
- GREENGATE

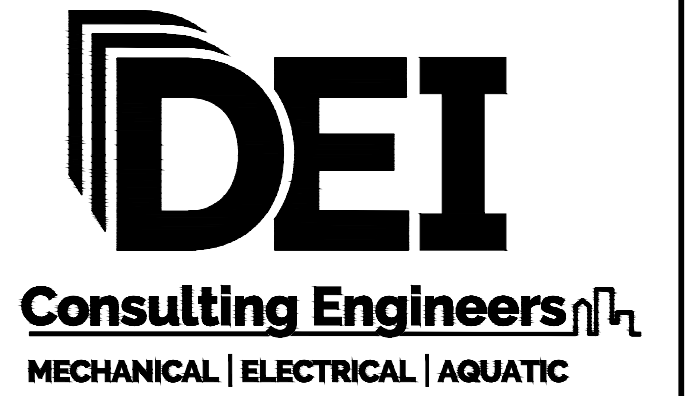
- THE MANUFACTURER'S REPRESENTATIVE IS TO PROVIDE AN ON SITE COMMISSIONING SESSION WITH THE CONTRACTOR AND/OR CONSULTANT TO CONFIRM OPERATION.
- AS AN OPTION, THE CONTRACTOR/SUPPLIER MAY REVISE THESE DEVICES TO A SINGLE DIGITAL ROOM CONTROLLER. IF SO, POWER MUST BE PROVIDED TO THE CONTROLLER FROM THE LINE SIDE OF THE ROOM'S LIGHTING CIRCUIT. IF AN ADDITIONAL WIRING METHOD IS REQUIRED BY THE MANUFACTURER THE CONTRACTOR MUST INCLUDE ALL COSTS IN TENDER.
- LOW VOLTAGE 0-10V PLENUM RATED CONTROL WIRING AS INDICATED BY MANUFACTURER.
- COMMISSIONING REPORT IS TO BE INCLUDED IN THE OWNER'S MANUAL.

D-ARCHIVE ROOM LIGHTING WIRING DIAGRAM
SCALE: N.T.S.



51 Kingston Street
Goderich, ON N7A 3K3
T 519 524 5313
F 519 524 5253
www.AllanAvisArchitects.com

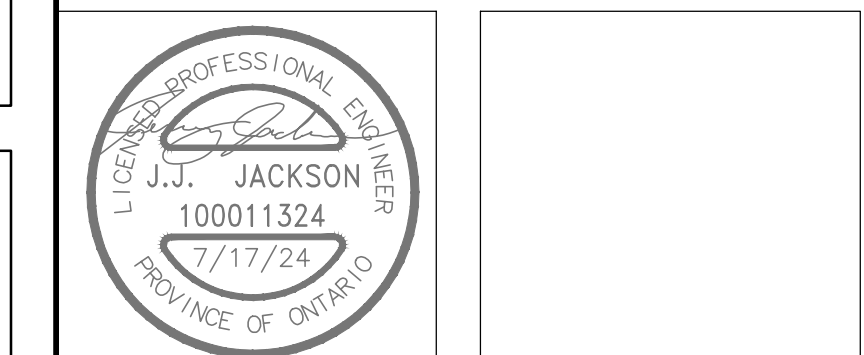
The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.
The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.
The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions.
Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant.
Do not scale this drawing.
© 2024 DEI Consulting Engineers Inc.



55 Northland Road, Waterloo, ON N2V 1Y8
Phone: 519-735-3555
Website: deiassociates.ca
Project Number: 24061

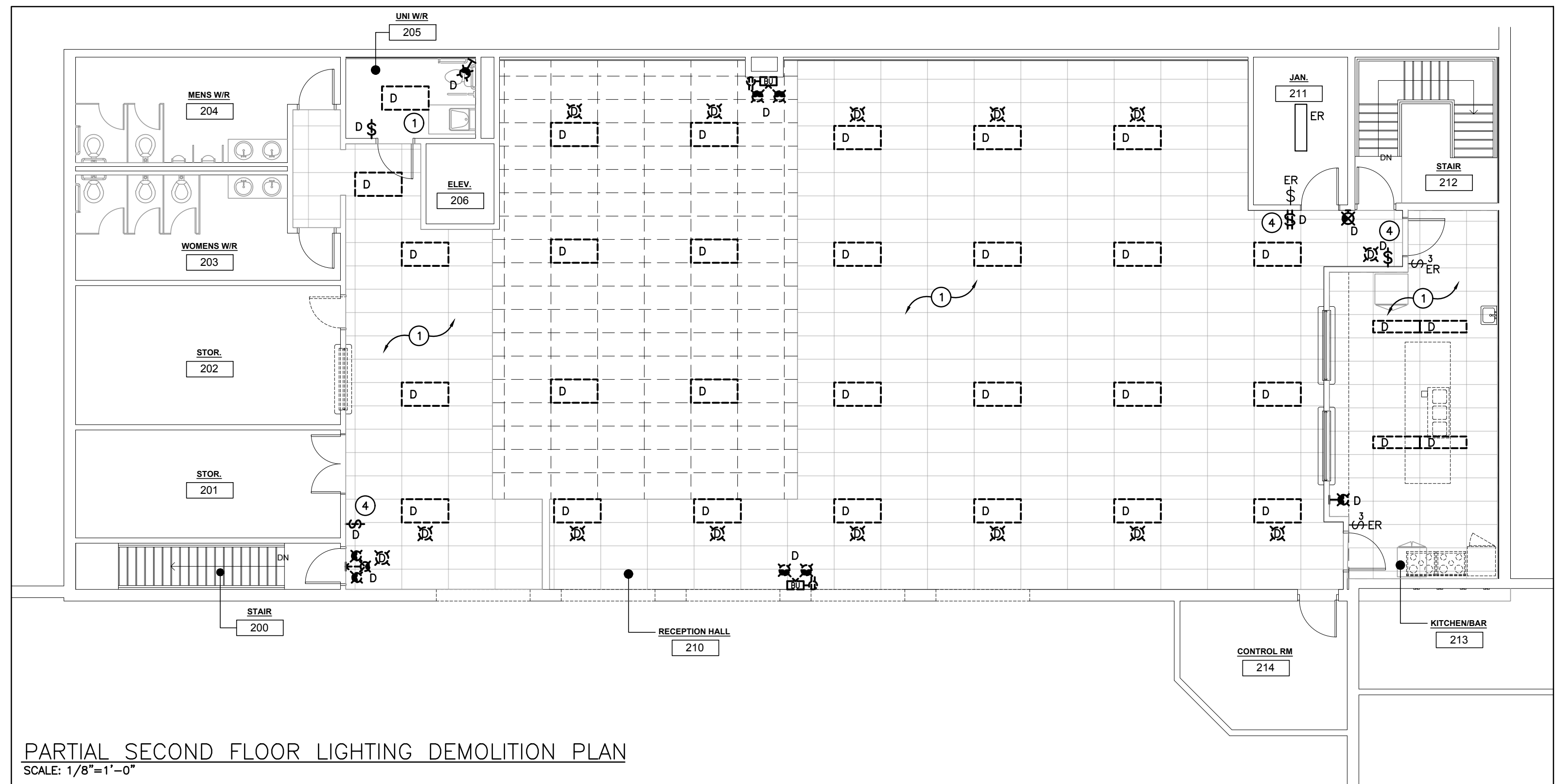
Rev.No.	DATE	REMARKS
3	2024-07-17	ISSUED FOR TENDER & PERMIT
2	2024-06-25	ISSUED FOR 90% REVIEW
1	2024-05-23	ISSUED FOR 50% REVIEW

ISSUED FOR

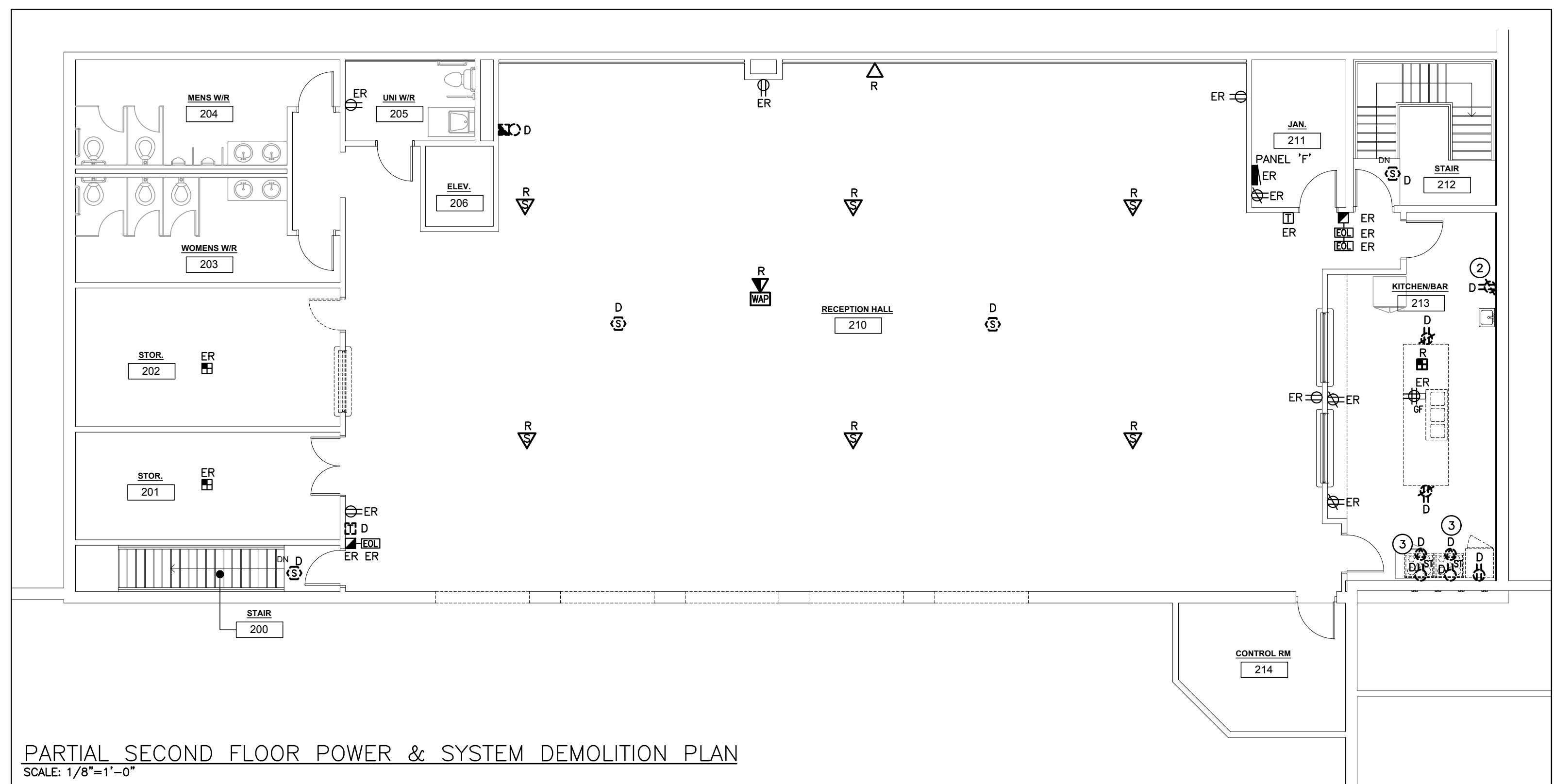


**ARTHUR ARENA
INTERIOR
RENOVATIONS
158 DOMVILLE ST.
ARTHUR, ONTARIO
LIGHTING CONTROLS
DETAILS**

drawn : SB	check : RV
date : 05/24/24	sheet : E1.2
job : 24061	



PARTIAL SECOND FLOOR LIGHTING DEMOLITION PLAN
SCALE: 1/8"=1'-0"



PARTIAL SECOND FLOOR POWER & SYSTEM DEMOLITION PLAN
SCALE: 1/8"=1'-0"

GENERAL NOTES

- 'ER' DENOTES EXISTING ITEM TO REMAIN.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- 'R' INDICATES EXISTING ITEM TO BE RELOCATED. REFER TO RENOVATION DRAWINGS AND RELOCATE DEVICE AND WIRING TO SUIT, UNLESS OTHERWISE NOTED.
- 'D' INDICATES EXISTING ITEM TO BE DELETED.

SPECIFIC DEMOLITION NOTES

- 1 IN THIS AREA, FIXTURES ARE TO BE DISCONNECTED AND REMOVED. MAINTAIN WIRING FOR CONNECTION TO NEW FIXTURES AS NOTED ON THE RENOVATION DRAWINGS.
- 2 INDICATES EXISTING RECEPTACLE TO BE DISCONNECTED AND REMOVED. MAINTAIN WIRING FOR CONNECTION OF NEW RECEPTACLE AS NOTED ON THE RENOVATION DRAWING.
- 3 INDICATES EXISTING RANGE HOOD TO BE REMOVED. EXTEND/MAINTAIN BRANCH WIRING AND CIRCUIT FOR NEW ELECTRIC STOVE. REFER RENOVATION PLAN FOR MORE INFORMATION.
- 4 EXISTING SWITCH TO BE REMOVED C/W WIRING BACK TO SOURCE. PROVIDE NEW STAINLESS COVER-PLATE.



51 Kingston Street
Goderich, ON N7A 3K3
T 519 524 5313
F 519 524 5253
www.AllanAvisArchitects.com

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.
The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.
The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions.
Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant.
Do not scale this drawing.
© 2024 DEI Consulting Engineers Inc.

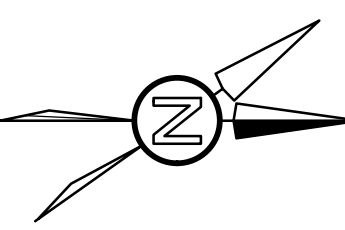


Consulting Engineers
MECHANICAL | ELECTRICAL | AQUATIC

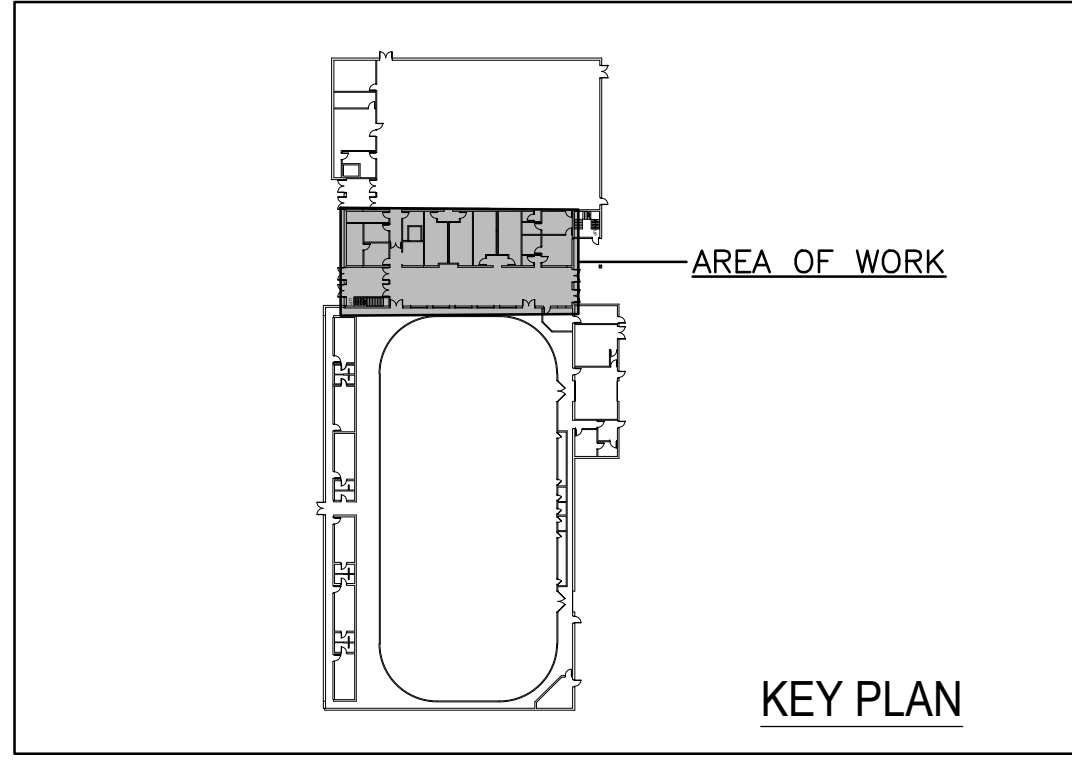
55 Northland Road, Waterloo, ON N2V 1Y8
Phone: 519-735-3555
Website: deiassociates.ca
Project Number: 24061

Rev.No	DATE	REMARKS
3	2024-07-17	ISSUED FOR TENDER & PERMIT
2	2024-06-25	ISSUED FOR 90% REVIEW
1	2024-05-23	ISSUED FOR 50% REVIEW

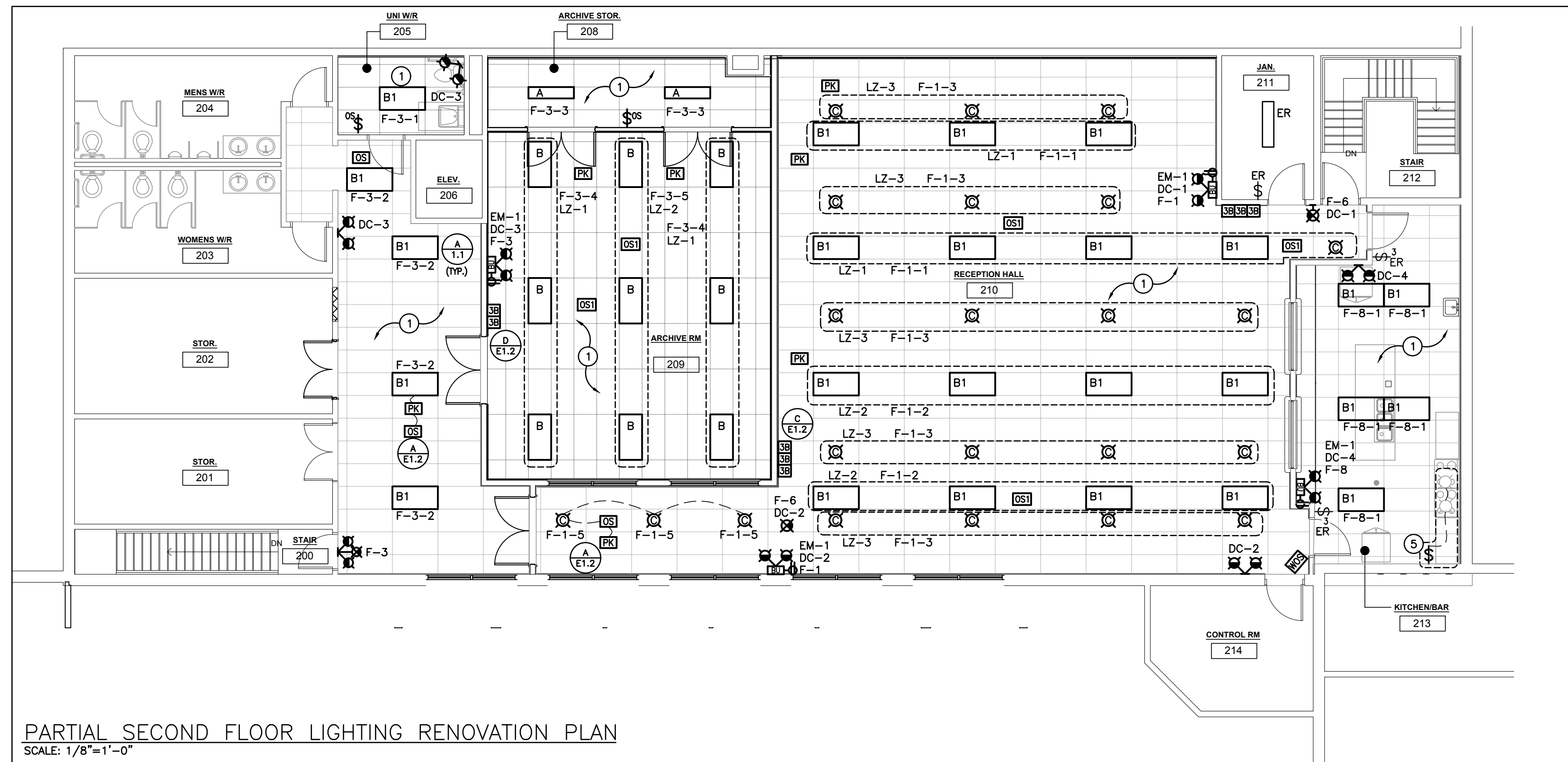
ISSUED FOR



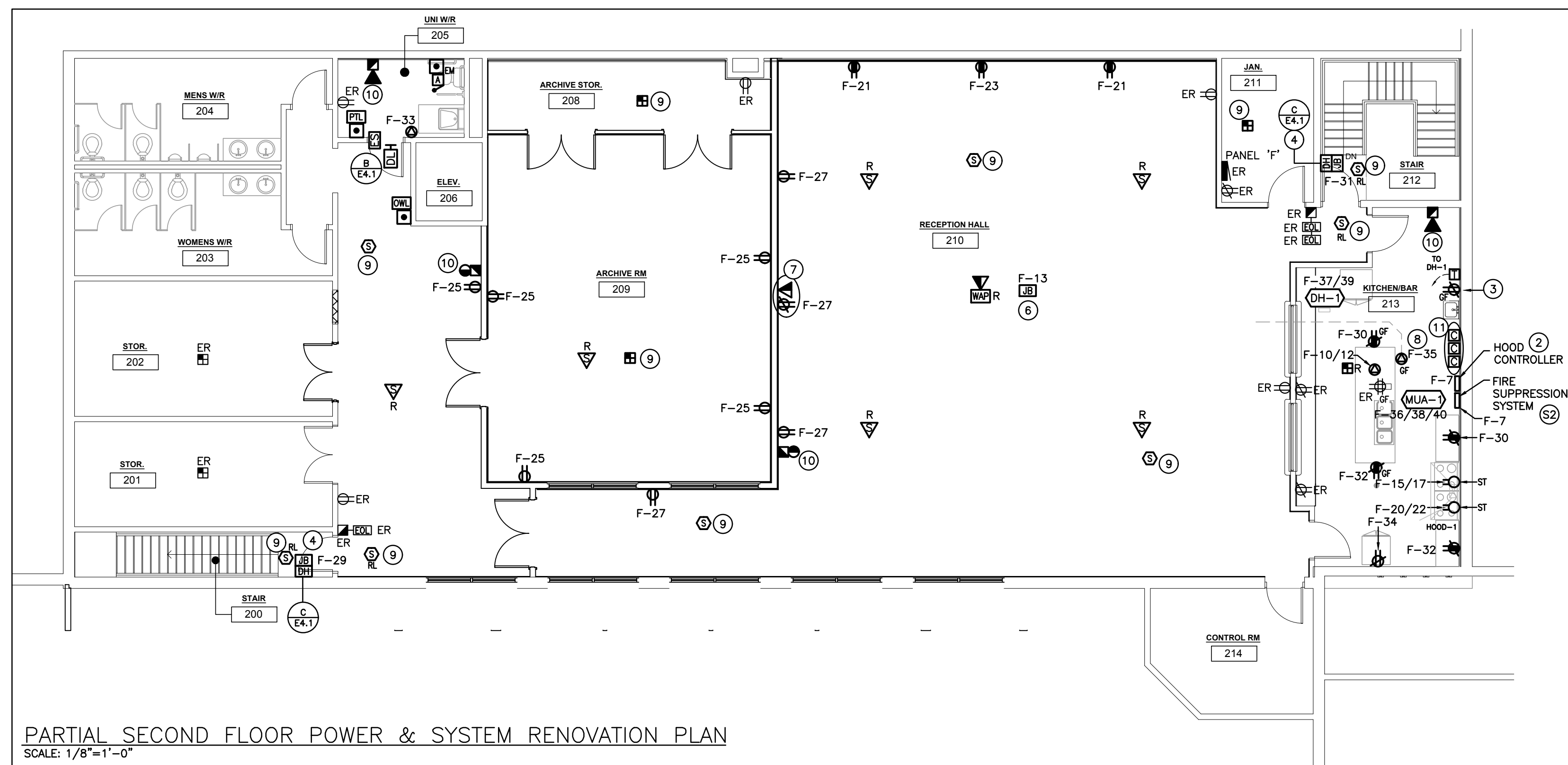
**ARTHUR ARENA
INTERIOR
RENOVATIONS
158 DOMVILLE ST.
ARTHUR, ONTARIO
PARTIAL SECOND
FLOOR DEMOLITION
PLAN**



drawn :	SB	check :	RV
date :	05/24/24	sheet :	E2.1
job :	24061		



PARTIAL SECOND FLOOR LIGHTING RENOVATION PLAN
SCALE: 1/8"=1'-0"



PARTIAL SECOND FLOOR POWER & SYSTEM RENOVATION PLAN
SCALE: 1/8"=1'-0"

GENERAL NOTES

- 'ER' INDICATES EXISTING ITEM TO REMAIN.
- 'R' INDICATES EXISTING ITEM IN RELOCATED POSITION.
- ALL DEVICES SHOWN ARE NEW UNLESS OTHERWISE NOTED.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS OTHERWISE NOTED.
- MAINTAIN SERVICE TO ALL EXISTING DEVICES TO REMAIN.
- REVISE PANEL DIRECTORIES TO SUIT CHANGES (TYPED).

SPECIFIC RENOVATION NOTES

- 1 INDICATES WITHIN NOTED AREA CONNECT NEW LIGHTING FIXTURE TO EXISTING CIRCUIT MADE AVAILABLE DURING DEMOLITION. NOTED CIRCUIT NUMBER ARE FOR REFERENCE ONLY.
- 2 INDICATES HOOD CONTROLLER FOR INTERLOCKING OF MAKE UP AIR UNIT AND ROOF EXH. FAN EF-1. COORDINATE LOCATION WITH HOOD SUPPLIER AND MECHANICAL CONTRACTOR.
- 3 INDICATES CONNECT NEW RECEPTACLE TO EXISTING CIRCUIT MADE AVAILABLE DURING DEMOLITION.
- 4 PROVIDE 120V HARDWIRED CONNECTION C/W JUNCTION BOX AND STEP DOWN TRANSFORMER (120V/24V) ABOVE ACCESSIBLE CEILING SPACE TO SERVE THE MAGNETIC DOOR HOLD OPEN DEVICES. REFER TO DETAIL C/E4.1 AND TO SPECIFICATIONS FOR FURTHER DETAILS AND REQUIREMENTS.
- 5 INDICATES LIGHTING INTEGRATED IN NFPA HOOD. COORDINATE INSTALLATION REQUIREMENTS AND SWITCH LOCATION WITH SHOP DRAWINGS PRIOR TO INSTALLATION. HOOD LIGHTING TO BE WIRED TO LOCAL INTEGRAL TO HOOD. CONNECT TO CIRCUIT F-9.
- 6 INDICATES PROVIDE JUNCTION BOX UP IN CEILING SPACE FOR VAV CONTROLLER.
- 7 INDICATES DEVICES FOR OWNER'S TV. DEVICES SHALL BE MOUNTED IN 2-GANG BACK BOX EQUAL TO EVOLUTION SERIES WALL BOX MODEL #EFSB2. MOUNTING HEIGHT TO BE COORDINATED ON SITE. PRIOR TO ROUGH-IN. PROVIDE A 1-1/4"E.C. W/ PULL ROPE TO ACCESSIBLE CEILING SPACE FOR FUTURE AV WIRING.
- 8 INDICATES THIS CONTRACTOR TO SUPPLY AND INSTALL POWER FOR HEAT TRACING. COORDINATE WORK WITH MECHANICAL CONTRACTOR.
- 9 INDICATES NEW FIRE ALARM DETECTOR CONNECTED TO NEW ADDRESSABLE LOOP AND CROSS ZONED WITH EXISTING LOCAL FLOOR ZONE. REFER TO FIRE ALARM RISER DIAGRAM AND ZONE SCHEDULE.
- 10 INDICATES NEW FIRE ALARM SIGNAL DEVICE CONNECTED TO NEW SIGNAL CIRCUIT. REFER TO FIRE ALARM RISER DIAGRAM AND ZONE SCHEDULE.
- 11 INDICATES TWO (2) NEW 240V 40A-2P AND ONE (1) 240V 20A-1P CONTACTORS C/W H-O-A AND PILOT LIGHT IN ACCESSIBLE CEILING SPACE FOR SHUTDOWN OF NOTED ELECTRICAL LOADS BENEATH SUPPRESSION SYSTEM HOOD PER NOTE #S2. CIRCUITS F-15/17, F-20/22, AND F-32 RESPECTIVELY.

SUPPRESSION SYSTEM NOTES

- S1 PROVIDE 120V UNSWITCHED POWER FROM CIRCUIT AS NOTED FOR SUPPRESSION SYSTEM.
- S2 PROVIDE CONTROL WIRING FROM SUPPRESSION SYSTEM SUCH THAT IN A FIRE CONDITION, SYSTEM MUST SHUT OFF ALL POWER AND/OR FUEL TO ALL APPLIANCES BELOW EXHAUST HOOD. REFER TO KITCHEN EQUIPMENT SCHEDULE. PROVIDE MULTI-POLE CONTACTORS TO SUIT QUANTITY OF BRANCH CIRCUITS FOR ITEMS BEING SHUTDOWN. CONNECT TO FIRE ALARM SYSTEM.
- S3 PROVIDE INTERCONNECT FOR SHUTDOWN OF KITCHEN MAKEUP AIR UNIT.



51 Kingston Street
Goderich, ON N7A 3K3
www.AllanAvisArchitects.com
T 519 524 5313
F 519 524 5253

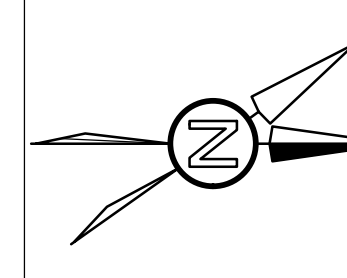
The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.
The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.
The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions.
Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant.
Do not scale this drawing.
© 2024 DEI Consulting Engineers Inc.



Consulting Engineers
MECHANICAL | ELECTRICAL | AQUATIC
55 Northland Road, Waterloo, ON N2V 1Y8
Phone: 519-735-3555
Website: deiasociates.ca
Project Number: 24061

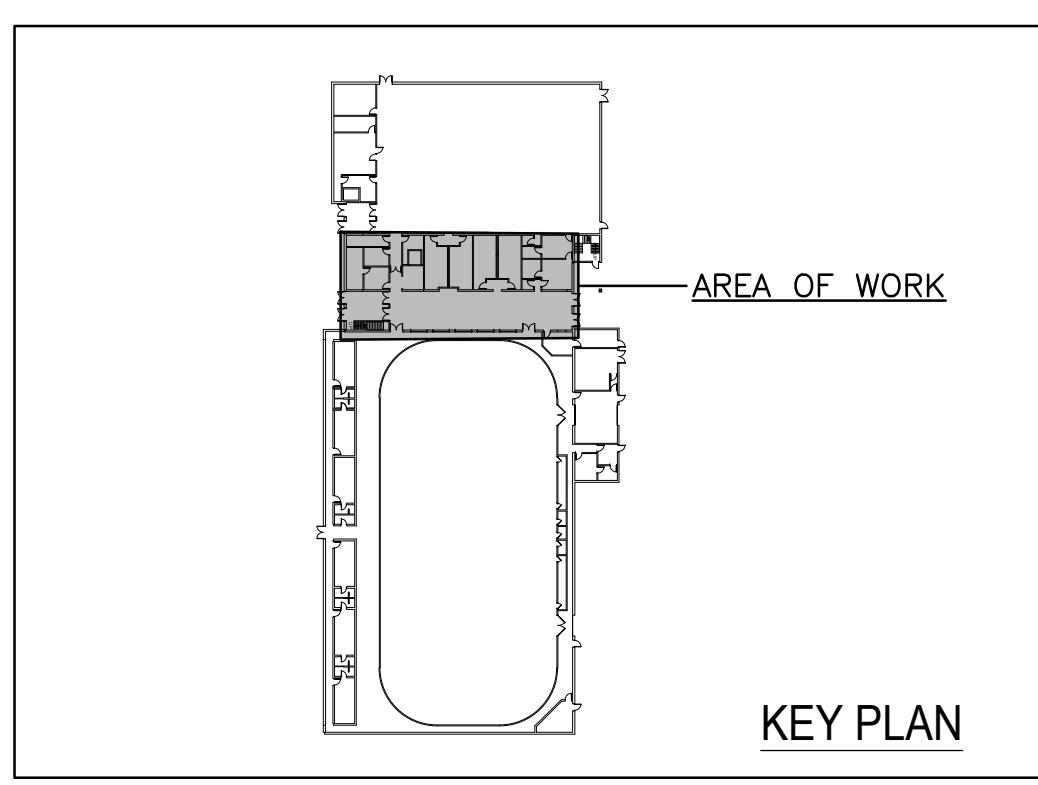
Rev.No.	DATE	REMARKS
3	2024-07-17	ISSUED FOR TENDER & PERMIT
2	2024-06-25	ISSUED FOR 90% REVIEW
1	2024-05-23	ISSUED FOR 50% REVIEW

ISSUED FOR



ARTHUR ARENA
INTERIOR
RENOVATIONS
158 DOMVILLE ST.
ARTHUR, ONTARIO
PARTIAL SECOND
FLOOR RENOVATION
PLAN

drawn :	SB	check :	RV
date :	05/24/24	sheet :	E2.2
job :	24061		





GENERAL NOTES

- 'ER' DENOTES EXISTING ITEM TO REMAIN.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.

SPECIFIC NOTES

- 1 INDICATES NEW EXHAUST FAN 'EF-1' TO BE FED FROM PANEL 'F'.

EXISTING PANEL 'F' SCHEDULE

VOLTAGE: 120/208 VOLTS
 PHASE: 3P, 4W
 MAINS: 225A
 NEUTRAL BUS: FULL
 MOUNTING: SURFACE
 NOTES: FEDERAL PIONEER TYPE 'NBLP'

RW	HALL LIGHTS	15A	1	2	15A	EXISTING LOAD	ER
RW	HALL LIGHTS	15A	3	4	15A	EXISTING LOAD	ER
RW	HALL LIGHTS	15A	5	6	15A	EXIT LIGHTS	ER
RW	HALL LIGHTS	15A	7	8	15A	KITCHEN LIGHTS	ER
RW	POT LIGHTS	15A	9	10	15A	CENTER COUNTER REC.	D
RW	POT LIGHTS	15A	11	12	2P		
RW	EXHAUST FANS	15A	13	14	15A	KITCHEN RECEPTACLE	ER
RW	ELECTRIC STOVE	40A	15	16	15A	EXHAUST FAN AND COOLER	ER
RW		2P	17	18	15A	FRIDGE	ER
ER	EXISTING LOAD	20A	19	20	40A	ELECTRIC STOVE	RW
	SPACE		21	22	2P		
	SPACE		23	24	15A	KITCHEN RECEPTACLE	ER
	SPACE		25	26	15A	REC. IN HALL AT SERVICE C.	ER
	SPACE		27	28	15A	NEW W/R. LTG./FAN	ER
	SPACE		29	30		SPACE	ER
	SPACE		31	32		SPACE	
	SPACE		33	34		SPACE	
	SPACE		35	36		SPACE	
	SPACE		37	38		SPACE	
	SPACE		39	40		SPACE	
	SPACE		41	42		SPACE	

PROPOSED PANEL 'F' SCHEDULE

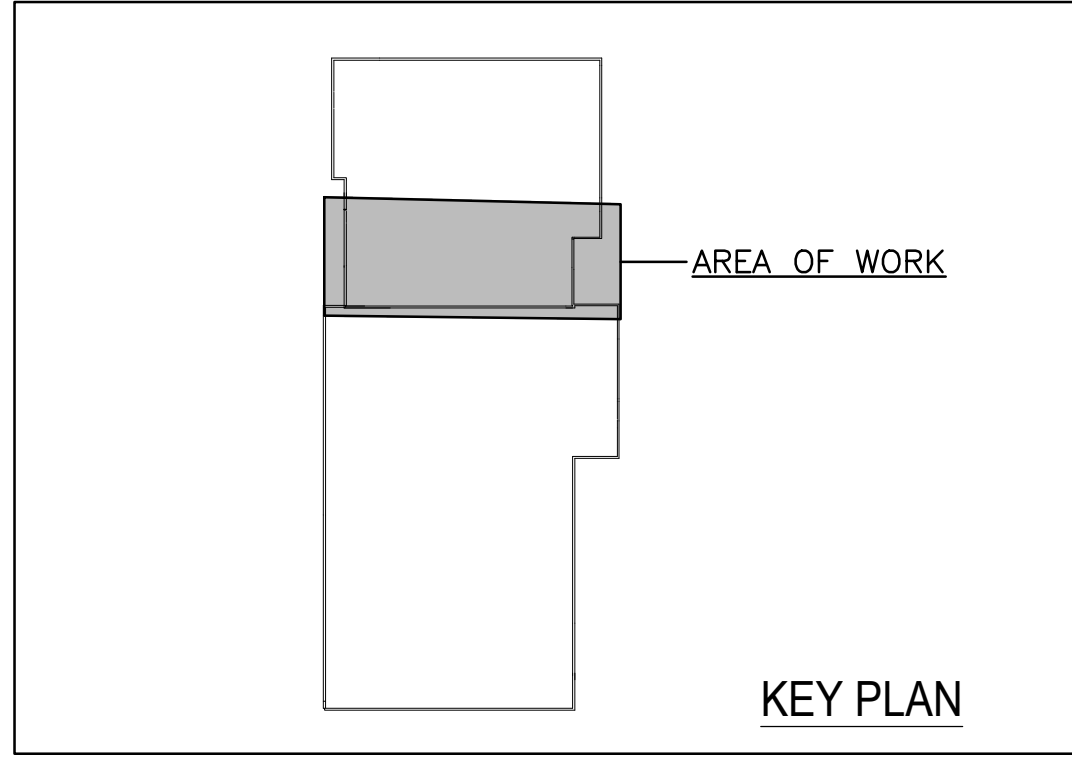
AT THE COMPLETION OF THE PROJECT, PROVIDE A NEW TYPE WRITTEN PANEL DIRECTORY AND INCLUDE A COPY IN THE MAINTENANCE MANUALS

RW	RECEPTION HALL LIGHTS	15A	1	2	15A	EXISTING LOAD	ER
RW	CORRIDOR & ARCHIVE LIGHTS	15A	3	4	15A	EXISTING LOAD	ER
RW	HALL LIGHTS	15A	5	6	15A	EXIT LIGHTS	ER
RW	FIRE SUPPRESSION SYSTEM	15A	7	8	15A	KITCHEN LIGHTS	ER
RW	EXHAUST HOOD & LIGHTS	15A	9	10	30A	KITCHEN '213' DISHWASHER	NB
SP	EXHAUST FAN EF-1	15A	11	12	2P		
RW	VAV CONTROLLER	15A	13	14	15A	KITCHEN RECEPTACLE	ER
RW	KITCHEN '213' ELECTRIC STV.	40A	15	16	15A	EXHAUST FAN AND COOLER	ER
		2P	17	18	15A	FRIDGE	ER
ER	EXISTING LOAD	20A	19	20	40A	KITCHEN '213' ELECTRIC STV.	RW
NB	RECEPTION HALL '210' REC.	20A	21	22	2P		
NB	RECEPTION HALL '210' REC.	20A	23	24	15A	KITCHEN RECEPTACLE	ER
NB	CORRIDOR RECEPTACLE	15A	25	26	15A	REC. IN HALL AT SERVICE C.	ER
NB	RECEPTION HALL '210' REC.	15A	27	28	15A	NEW W/R. LTG./FAN	ER
NB	NORTH STAIRS DOOR HOLDER	15A	29	30	20A	KITCHEN GFI T-SLOT RECEPT.	NB
NB	SOUTH STAIRS DOOR HOLDER	15A	31	32	20A	KITCHEN GFI T-SLOT RECEPT.	NB
NB	UNI. W/R. DOOR OPERATOR	15A	33	34	15A	KITCHEN COOLER RECEPT.	NB
NB	*HEAT TRACE	15A	35	36	20A	MINI INLINE MUA (MUA-1)	NB
NB	(DH-1) ELEC. DUCT HEATER	25A	37	38			
		2P	39	40	3P		
	SPACE		41	42		SPACE	

DESIGNATION
 'ER' INDICATES EXISTING SERVICE AND BREAKER THAT SHOULD REMAIN UNTOUCHED.
 'SP' INDICATES EXISTING BREAKER THAT MAY BECOME SPARE DUE TO DEMOLITION. (CONFIRM ON SITE)
 'RW' INDICATES EXISTING BREAKER THAT SHOULD BE REWIRED TO SERVICE DEVICES INDICATED ON PLAN
 'NB' INDICATES NEW BREAKER AND WIRING TO SERVICE INDICATED. PROVIDE MOUNTING HARDWARE AS REQUIRED.
 'D' INDICATES EXISTING BREAKER TO BE REMOVED COMPLETE. PROVIDE FILLER PLATES AS REQUIRED.

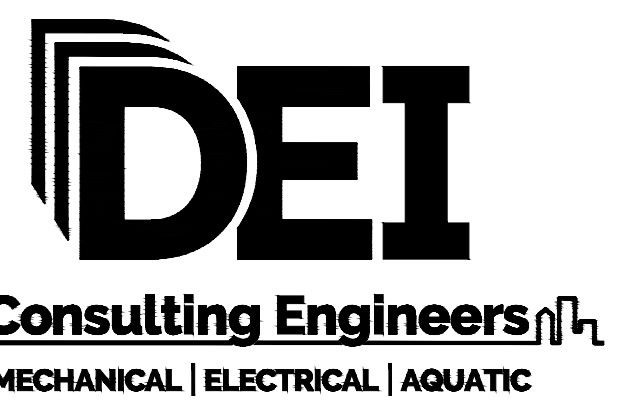
NOTES: THIS CONTRACTOR IS TO INVESTIGATE BREAKERS AND REVISE PANEL SCHEDULES TO SUIT RENOVATION, NOTING ANY BREAKERS THAT BECOME SPARE DUE TO DEMOLITION. THIS CONTRACTOR IS ALSO TO NOTIFY THE CONSULTANT OF ANY BREAKERS THAT ARE INDICATED TO BE DEMOLISHED OR REUSED, BUT WHICH ARE IN USE BY OTHER DEVICES OR SERVICES.

(*) INDICATES 33mA GROUND FAULT STYLE BREAKER



51 Kingston Street
 Goderich, ON N7A 3K3
 T 519 524 5313
 F 519 524 5253
 www.AllanAvisArchitects.com

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.
 The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.
 The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions.
 Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant.
 Do not scale this drawing.
 © 2024 DEI Consulting Engineers Inc.



55 Northland Road, Waterloo, ON N2V 1Y8
 Phone: 519-735-3555
 Website: deiassociates.ca
 Project Number: 24061

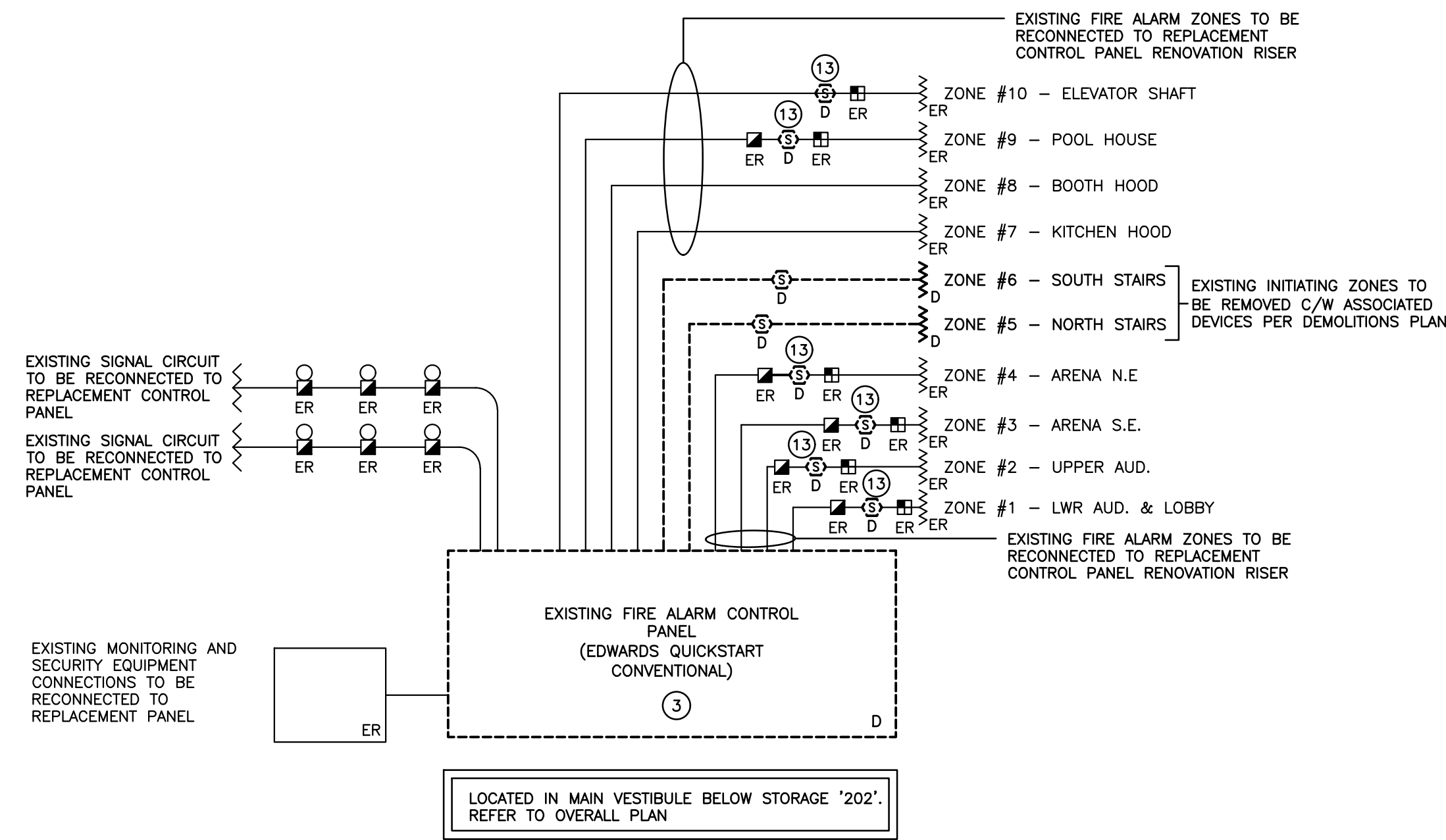
Rev.No.	DATE	REMARKS
3	2024-07-17	ISSUED FOR TENDER & PERMIT
2	2024-06-25	ISSUED FOR 90% REVIEW
1	2024-05-23	ISSUED FOR 50% REVIEW

ISSUED FOR

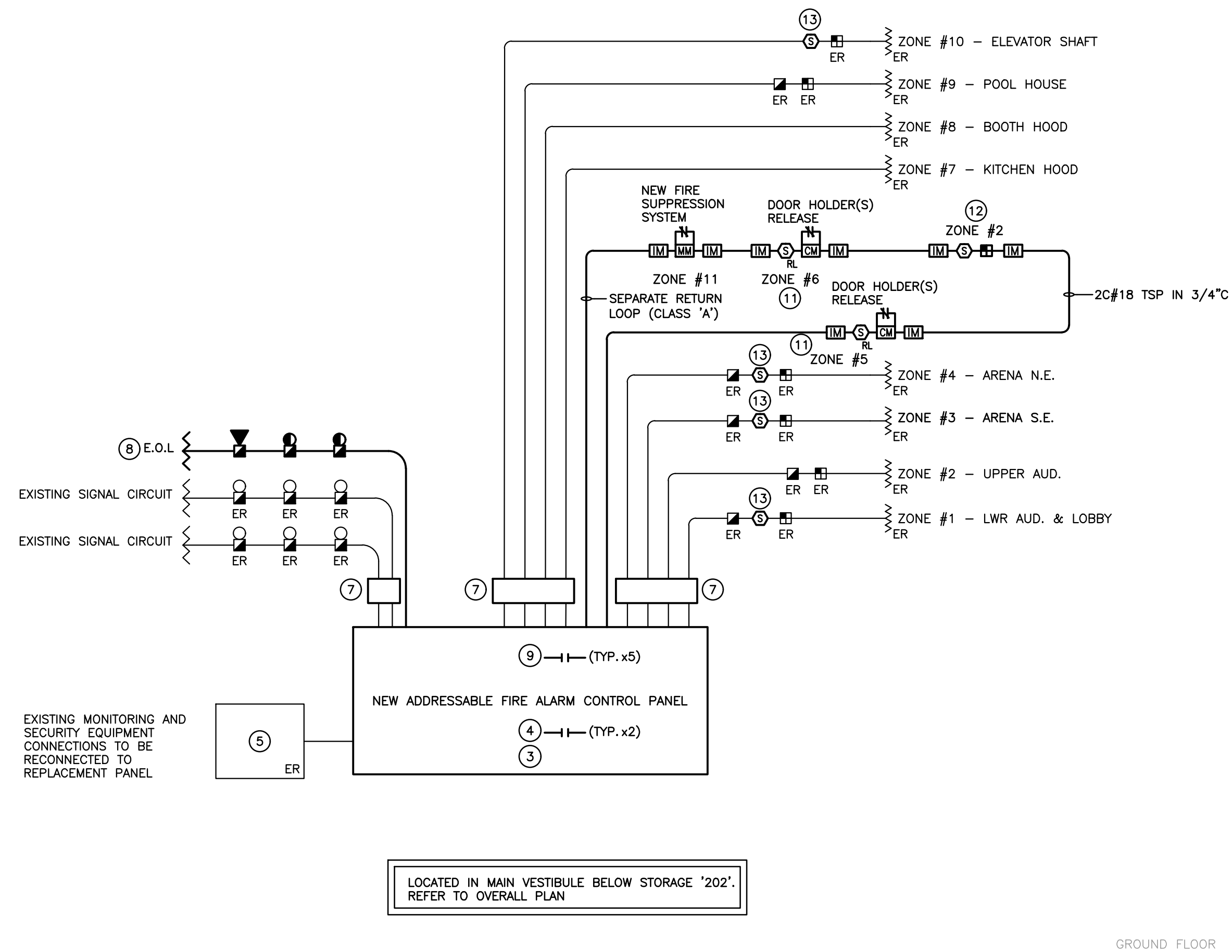


**ARTHUR ARENA
 INTERIOR
 RENOVATIONS
 158 DOMVILLE ST.
 ARTHUR, ONTARIO
 PARTIAL ROOF PLAN
 AND PANEL
 SCHEDULE**

drawn : SB	check : RV
date : 05/24/24	sheet : E2.3
job : 24061	



PARTIAL FIRE ALARM RISER DIAGRAM - DEMOLITION
SCALE: N.T.S.



PARTIAL FIRE ALARM RISER DIAGRAM - RENOVATION
SCALE: N.T.S.

FIRE ALARM SPECIFIC NOTES

- REFER TO FLOOR PLANS FOR EXACT LOCATION AND QUANTITY OF NEW DEVICES.
- PROVIDE NEW FIRE ALARM ZONES AS INDICATED.
- EXISTING FIRE ALARM CONTROL PANEL IS TO BE REPLACED WITH NEW, DISCONNECT EXISTING SIGNAL AND INITIATING CIRCUITS AND RECONNECT TO NEW PANEL.
- PROVIDE TWO SETS OF RELAYS FOR SECURITY SYSTEM FOR ALARM AND TROUBLE SIGNALS.
- RECONNECT ALL OTHER ACCESSORIES AS REQUIRED (SECURITY, ULC MONITORING, ETC.)
- EXTEND EXISTING SIGNAL WIRING TO SUIT NEW DEVICES.
- INDICATES FIRE ALARM ZONE JUNCTION BOX C/W TERMINAL BLOCK FOR EXTENSION AND RECONNECTION OF EXISTING CIRCUIT WIRING TO REPLACEMENT FIRE ALARM CONTROL PANEL. QUANTITY TEN (10) EXISTING INITIATING ZONE CIRCUITS ARE TO BE EXTENDED AND RECONNECTED. ALL EXISTING NOTIFICATION CIRCUITS ARE TO BE EXTENDED AND RECONNECTED. THE JUNCTION BOX C/W TERMINAL BLOCK FOR EXTENSION AND RECONNECTION OF EXISTING CIRCUITS WILL BE ABOVE EXISTING ACCESSIBLE CEILING.
- INDICATES NEW NOTIFICATION CIRCUIT TO SUIT QUANTITY OF NEW SIGNAL DEVICES PER RENOVATION PLAN. REFER TO FIRE ALARM SPECIFICATIONS.
- WITHIN THE FIRE ALARM CONTROL PANEL, PROVIDE A MINIMUM 5 NORMALLY OPEN DRY CONTACTS RATED FOR 120V AC AT 1.0 AMP. FOR ELEVATOR RECALL FUNCTIONS. PROVIDE WIRING AND CONNECTION FROM THESE CONTACTS TO THE ELEVATOR CONTROLLER. SHOULD EXISTING ELEVATOR NOT SUPPORT RECALL FUNCTIONS, LABEL RELAYS AS SPARE FOR FUTURE USE.
- INDICATES NEW ADDRESSABLE LOOP FOR REQUIRED FIRE ALARM CONNECTIONS TO NEW INITIATING DEVICES PER RENOVATION PLANS. REFER TO FIRE ALARM SPECIFICATIONS.
- INDICATES NEW DETECTOR ON NEW ADDRESSABLE LOOP TO REPLACE EXISTING LOCAL CONVENTIONAL FLOOR ZONE AS INDICATED.
- INDICATES NEW DETECTOR ON NEW ADDRESSABLE LOOP TO BE CROSS-ZONED WITH EXISTING LOCAL CONVENTIONAL FLOOR ZONE AS INDICATED.
- THE MANUFACTURER AND ELECTRICAL CONTRACTOR ARE TO INCLUDE IN THEIR BID THE COST TO REPLACE ALL EXISTING INCOMPATIBLE CONVENTIONAL TYPE SMOKE DETECTORS TO SUIT CONTROL PANEL REPLACEMENT. REFER TO SPECIFICATIONS FOR REPLACEMENT DEVICE ALLOWANCE QUANTITY.

DEMO'D FIRE ALARM CONTROL PANEL SCHEDULE

Zone	Description	Alarm	Supervisory
1	LWR AUD & LOBBY	*	
2	UPPER AUD.	*	
3	ARENA S.E.	*	
4	ARENA N.E.	*	
5	NORTH STAIRS	*	
6	SOUTH STAIRS	*	
7	KITCHEN HOOD	*	
8	BOOTH HOOD	*	
9	POOL HOUSE	*	
10	ELEVATOR SHAFT	*	
11	SPARE		
12	SPARE		
13	SPARE		
14	SPARE		
15	SPARE		

NEW FIRE ALARM CONTROL PANEL SCHEDULE

Zone	Description	Alarm	Supervisory
1	LWR AUD & LOBBY	•	
2	UPPER AUD.	•	
3	ARENA S.E.	•	
4	ARENA N.E.	•	
5	NORTH STAIRS	•	
6	SOUTH STAIRS	•	
7	KITCHEN HOOD	•	
8	BOOTH HOOD	•	
9	POOL HOUSE	•	
10	ELEVATOR SHAFT	•	
11	KITCHEN 213 FIRE SUPPRESSION SYSTEM	•	
12	SPARE		
13	SPARE		
14	SPARE		
15	SPARE		



51 Kingston Street
Goderich, ON N7A 3K3
T 519 524 5313
F 519 524 5253
www.AllanAvisArchitects.com

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work. The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work. The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions. Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant. Do not scale this drawing. © 2024 DEI Consulting Engineers Inc.

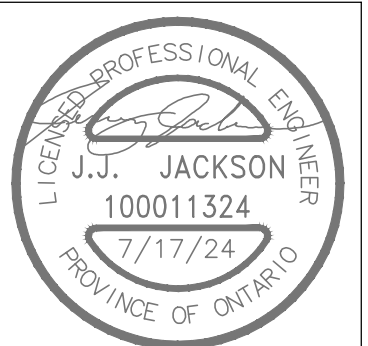


Consulting Engineers
MECHANICAL | ELECTRICAL | AQUATIC

55 Northland Road, Waterloo, ON N2V 1Y8
Phone: 519-735-3555
Website: deiasociates.ca
Project Number: 24061

Rev.No.	DATE	REMARKS
3	2024-07-17	ISSUED FOR TENDER & PERMIT
2	2024-06-25	ISSUED FOR 90% REVIEW
1	2024-05-23	ISSUED FOR 50% REVIEW

ISSUED FOR



ARTHUR ARENA
INTERIOR
RENOVATIONS
158 DOMVILLE ST.
ARTHUR, ONTARIO
FIRE ALARM RISER
DIAGRAM AND
SCHEDULES

drawn : SB	check : RV
date : 05/24/24	sheet : E3.1
job : 24061	

