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SEAL



# ENTUITIVE

## 11 MACEY AVE

### RAPID HOUSING INITIATIVE

P:\2023\EN023-02179 CoT - Rapid Housing Initiative - Building Envelope Advisor\3 Design\33 Drafting\330 Working Files\Startup Package - Macey Ave\Revit\EN023-02179-11 Macey Ave\_03.rvt  
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1	2024 08 02	ISSUED FOR TENDER	
MARK	DATE	REVISIONS	BY

**ENTUITIVE**

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CLIENT NAME  
**CITY OF TORONTO**

PROJECT  
**11 MACEY AVE  
RAPID HOUSING INITIATIVE**

TITLE  
**COVER SHEET**

DESIGN	MK	SCALE	NTS	DRAWING No.
DRAWN	JM	DATE	07/18/24	<b>A000</b>
CHECKED	VD	PROJECT NO.	EN023-02179	

**GENERAL REQUIREMENTS**

- THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE KNOWLEDGEABLE IN THE WORK AS DESCRIBED IN THE DRAWINGS AND SHALL HAVE A MINIMUM OF FIVE (5) YEARS OF PROVEN EXPERIENCE FOR PROJECTS OF SIMILAR SIZE AND COMPLEXITY.
- PROVIDE A DESIGNATED EXPERIENCED PERSON ON SITE THROUGHOUT THE PROJECT FOR CONSULTATION AND SUPERVISION PURPOSES THAT HAS A MINIMUM OF 10 YEARS OF EXPERIENCE IN SIMILAR ROLES ON SIMILAR PROJECTS. IDENTIFY THIS SUPERVISOR OR FOREMAN PRIOR TO COMMENCEMENT OF WORK. THE SUPERVISOR OR FOREMAN SHALL NOT BE CHANGED WITHOUT 72 HOURS WRITTEN NOTICE TO THE OWNER AND PROVIDED THAT THE PROPOSED INDIVIDUAL MEETS THE OWNER'S APPROVAL.
- PROJECT SUPERVISOR IS INTENDED TO BE ON SITE FULL-TIME DURING CONSTRUCTION AND ASSIST WITH HANDLING OF DAY-TO-DAY ACTIVITIES INCLUDING (BUT NOT LIMITED TO) COORDINATION OF TRADES, DELIVERIES, MAINTAINING SAFE ACCESS AND EGRESS, ONGOING STRICT QUALITY CONTROL AND ASSURANCE, COORDINATING REVIEWS AND REQUESTS-FOR-INFORMATION WITH THE CONSULTANT, AND OTHER DUTIES AS REQUIRED. THE INTENTION IS THAT THE SUPERVISOR OR FOREMAN MAINTAINS A SAFE WORKSITE AND COORDINATES ALL ACTIVITIES.
- ENSURE QUALITY OF WORK IS OF HIGHEST STANDARD, EXECUTED BY WORKERS EXPERIENCED AND SKILLED IN RESPECTIVE DUTIES FOR WHICH THEY ARE EMPLOYED. IMMEDIATELY NOTIFY CONSULTANT IF REQUIRED WORK IS SUCH AS TO MAKE IT IMPRACTICAL TO PRODUCE REQUIRED RESULTS.
- MAINTAIN AT JOB SITE, ONE COPY EACH OF THE FOLLOWING:
  - CONTRACT DRAWINGS
  - SPECIFICATIONS
  - MANUFACTURER'S INSTALLATION AND APPLICATION INSTRUCTIONS
- GENERALLY, THE DRAWINGS INDICATE GRAPHICALLY, THE DIMENSIONS AND LOCATION OF COMPONENTS AND EQUIPMENT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ON SITE ALL DIMENSIONS, AND LOCATION OF EQUIPMENT REQUIRED FOR ANY PART OF THE WORK, WHICH IS TO FIT TO OR CONFORM TO WORK ALREADY INSTALLED.
- CONTRACTOR TO EXAMINE SURFACES PREPARED BY OTHERS, WHICH AFFECT THE WORK AND ENSURE THAT DEFECTS ARE CORRECTED. DO NOT COMMENCE WITH THE WORK UNTIL SUCH CONDITIONS OR DEFECTS HAVE BEEN INVESTIGATED AND CORRECTED. COMMENCEMENT OF WORK CONSTITUTES ACCEPTANCE OF PREPARED WORK.
- CONTRACTOR TO REPORT IMMEDIATELY, IN WRITING TO THE OWNER, ALL INCIDENTS OF DAMAGE TO THE WORK BY VANDALS OR OTHERS PRIOR TO ACCEPTANCE.
- SUBMIT IN WRITING A PRE-CONSTRUCTION CONDITION RECORD TO THE OWNER, PRIOR TO COMMENCING THE WORK. REPORT ANY CONDITIONS OR DEFECTS ENCOUNTERED ON SITE AND WHICH MAY ADVERSELY AFFECT THE PERFORMANCE OF THE WORK. PRE-CONSTRUCTION RECORD IS TO INCLUDE A FULL PHOTOGRAPHIC DOCUMENTATION OF EXISTING CONDITIONS INCLUDING THE OVERALL SITE WORK, PARKING AREAS, SURROUNDING APPURTENANCES, LANDSCAPING, TREES/BUSHES, SIDEWALKS, ENTRANCES, WALKWAYS, THE BUILDING, INTERIOR COMMON SPACES, AND ANY OTHER AREAS THAT MAY BE AFFECTED BY THE WORK. NO MOBILIZATION IS TO PROCEED UNTIL THIS RECORD IS COMPLETED AND SUBMITTED. INCLUDE NOTES IF APPLICABLE TO ANY PRE-EXISTING CONDITIONS.
- CONTRACTOR TO COMPLY WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS FOR MATERIAL STORAGE, HANDLING, AND TEMPORARY PROTECTION.
- MAINTAIN WORK AREAS IN TIDY CONDITION, FREE FROM ACCUMULATION OF WASTE PRODUCTS AND DEBRIS. REMOVE WASTE MATERIAL FROM SITE AT REGULARLY SCHEDULE TIMES OR DISPOSE OF AS DIRECTED BY THE OWNER.
- WORK TO EACH INDIVIDUAL SUITE REQUIRES MINIMUM (5) BUSINESS DAYS NOTICE TO THE OWNER (THIS INCLUDES EXTERIOR AND INTERIOR WORK TO EACH INDIVIDUAL SUITE).
- PROVIDE PROPOSED PROPOSED CONTRACT BASELINE SCHEDULE WITHIN FOURTEEN (14) DAYS FROM THE DATE OF NOTIFICATION OF AWARD.
- PARKING AND STORAGE IS NOT PERMITTED OUTSIDE OF FENCED LAYDOWN AREAS OR ON NEIGHBOURING DRIVEWAYS.
- WORK HOURS TO BE BETWEEN 9:00 AM TO 5:00 PM MONDAY TO FRIDAY UNLESS OTHERWISE APPROVED BY THE OWNER. VIBRATION AND NOISE BY-LAWS DURING CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF TORONTO BY-LAWS.
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL MEASUREMENTS IN THE FIELD.
- ALL SUBMITTALS ARE TO BE SUBMITTED MINIMUM FOURTEEN (14) DAYS IN ADVANCE FOR REVIEW BY THE OWNER AND CONSULTANT UNLESS OTHER SPECIFIED. RESUBMIT AS REQUIRED TO ATTAIN REVIEWED OR REVIEWED AS NOTED STATUS.
- REVIEW OF SUBMITTALS BY OWNER AND CONSULTANT WILL BE CONFORMITY TO DESIGN CONCEPT AND FOR GENERAL ARRANGEMENT ONLY. SUCH REVIEW WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR ERRORS OR OMISSIONS IN SUBMITTALS, OR OF RESPONSIBILITY FOR MEETING REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- STORE ALL MATERIAL THAT IS TO BE REINSTALLED IN A SAFE ENVIRONMENT. PROTECT FROM WEATHER AND THEFT.
- ALL MATERIALS FOR REPAIR ARE TO BE STORED IN ACCORDANCE WITH MANUFACTURER REQUIREMENTS.

**SUMMARY OF WORK**

- THE WORK OF THIS CONTRACT, DESIGNATED 11 MACEY - BUILDING ENCLOSURE REPAIR, CONSISTS OF THE SUPPLY OF ALL LABOUR, EQUIPMENT, AND MATERIALS TO REPAIR THE EXISTING WINDOWS AND ROOF MEMBRANE. THE WORK INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:
  - PROVIDE CONSTRUCTION HOARDING TO PREVENT DEBRIS FROM FALLING. PEDESTRIAN TRAFFIC SHALL BE SAFELY MAINTAINED AT ALL TIMES AND MUST BE SEPARATE FROM THE CONSTRUCTION AREAS.
  - AT EACH INTERIOR/EXTERIOR OPENING PERFORMED FOR THE WINDOWS, MAKE IT AVAILABLE FOR CONSULTANT REVIEW PRIOR TO REPAIR COMMENCEMENT.
  - REMOVE REMOVE EXISTING INTERIOR AND EXTERIOR WALL ASSEMBLY AS REQUIRED TO PERFORM REQUIRED REPAIRS AT ALL WINDOW LOCATIONS, AND REINSTATE THE WALL ASSEMBLY ONCE THE REPAIR IS COMPLETED.
  - REPAIR REPAIR ROOF MEMBRANE AS NOTED IN THE CONTRACT DRAWINGS.
  - REPAIR ALL WINDOWS AND ITS ASSOCIATED MEMBRANE, ANCHORS, ALIGNMENT, AND SEALANT AS NOTED IN THE CONTRACT DRAWINGS.
  - MAINTAIN AIR AND WATERTIGHTNESS OF THE BUILDING AT ALL TIMES AS THE REPAIR WORK IS BEING COMPLETED.
  - PROVIDE A MOCKUP OF THE ROOF MEMBRANE REPAIR WORK, AND WINDOW REPAIR WORK (INTERIOR AND EXTERIOR) FOR OWNER AND CONSULTANT REVIEW.

**SUBMITTALS**

- ADMINISTRATIVE
  - SUBMIT TO CONSULTANT SUBMITTALS LISTED FOR REVIEW. SUBMIT WITH REASONABLE PROMPTNESS AND IN ORDERLY SEQUENCE SO AS TO NOT CAUSE DELAY IN WORK. FAILURE TO SUBMIT IN AMPLE TIME IS NOT CONSIDERED SUFFICIENT REASON FOR AN EXTENSION OF CONTRACT TIME AND NO CLAIM FOR EXTENSION BY REASON OF SUCH DEFAULT WILL BE ALLOWED.
  - WORK AFFECTED BY SUBMITTAL SHALL NOT PROCEED UNTIL REVIEW IS COMPLETE.
  - PRESENT PRODUCT DATA, SAMPLES AND MOCK-UPS.
  - REVIEW SUBMITTALS PRIOR TO SUBMISSION TO CONSULTANT. THIS REVIEW REPRESENTS THAT NECESSARY REQUIREMENTS HAVE BEEN DETERMINED AND VERIFIED, OR WILL BE, AND THAT EACH SUBMITTAL HAS BEEN CHECKED AND CO-ORDINATED WITH REQUIREMENTS OF WORK AND CONTRACT DOCUMENTS.
  - SUBMITTALS NOT STAMPED, SIGNED, DATED, IDENTIFIED AS TO SPECIFIC PROJECT, AND ATTESTING TO THEIR BEING REVIEWED WILL BE RETURNED WITHOUT BEING EXAMINED AND SHALL BE CONSIDERED REJECTED.
  - NOTIFY CONSULTANT, IN WRITING AT TIME OF SUBMISSION, IDENTIFYING DEVIATIONS FROM REQUIREMENTS OF CONTRACT DOCUMENTS STATING REASONS FOR DEVIATIONS.
  - VERIFY FIELD MEASUREMENTS AND AFFECTED ADJACENT WORK ARE COORDINATED.
  - CONTRACTOR'S RESPONSIBILITY FOR ERRORS AND OMISSIONS IN SUBMISSION IS NOT RELIEVED BY CONSULTANT'S REVIEW OF SUBMITTALS.
  - CONTRACTOR'S RESPONSIBILITY FOR DEVIATIONS IN SUBMISSION FROM REQUIREMENTS OF CONTRACT DOCUMENTS IS NOT RELIEVED BY CONSULTANT REVIEW.
  - KEEP ONE (1) REVIEWED COPY OF EACH SUBMISSION ON SITE.
- PRODUCT DATA
  - SUBMIT PRODUCT DATA FOR ALL PRODUCTS & MATERIALS LISTED UNDER THE "PRODUCTS" HEADING.
  - ALLOW TEN (10) DAYS FOR CONSULTANT'S REVIEW OF EACH SUBMISSION.
  - ACCOMPANY SUBMISSIONS WITH TRANSMITTAL LETTER, CONTAINING:
    - DATE.
    - PROJECT TITLE AND NUMBER.
    - CONTRACTOR'S NAME AND ADDRESS.
    - IDENTIFICATION AND QUANTITY OF EACH SHOP DRAWING, PRODUCT DATA AND SAMPLE.
    - OTHER PERTINENT DATA.
  - SUBMISSIONS SHALL INCLUDE:
    - DATE AND REVISION DATES.
    - PROJECT TITLE AND NUMBER.
    - NAME AND ADDRESS OF:
      - SUBCONTRACTOR.
      - SUPPLIER.
      - MANUFACTURER.
  - SUBMIT ELECTRONIC COPIES OF PRODUCT DATA SHEETS OR BROCHURES FOR REQUIREMENTS REQUESTED IN SPECIFICATION SECTIONS AND AS REQUESTED BY CONSULTANT.
  - SUPPLEMENT STANDARD INFORMATION TO PROVIDE DETAILS APPLICABLE TO PROJECT.
  - IF UPON REVIEW BY CONSULTANT, NO ERRORS OR OMISSIONS ARE DISCOVERED OR IF ONLY MINOR CORRECTIONS ARE MADE, COPIES WILL BE RETURNED AND INSTALLATION OF WORK MAY PROCEED.
- MOCK-UP
  - PROVIDE ONE (1) INSTALLATION MOCK-UP OF EACH CONDITION DETAILED IN THE DRAWINGS.
  - MOCK-UP TO BE IN GENERAL CONFORMANCE WITH THE DRAWINGS.
  - NOTIFY CONSULTANT TWENTY-FOUR (24) HOURS PRIOR TO MOCK-UP COMPLETION FOR CONSULTANT REVIEW AND APPROVAL.
  - REMAINING PROJECT SCOPE WORK TO NOT PROCEED UNTIL INSTALLATION MOCK-UP HAS BEEN APPROVED.

**PRODUCTS**

- SELF ADHERED MEMBRANE:
  - PRODUCT DATA: PROVIDE DATA FOR SELF ADHERED MEMBRANE, WITH TEMPERATURE RANGE FOR APPLICATION.
  - MAINTAIN AMBIENT TEMPERATURES ABOVE <5 DEGREES C FOR TWENTY-FOUR (24) HOURS BEFORE AND DURING APPLICATION AND UNTIL LIQUID ACCESSORIES HAVE CURED.
  - WARRANTY: PROVIDE MANUFACTURER'S TWENTY (20) YEAR MATERIAL WARRANTY FOR INSTALLED SELF ADHERED MEMBRANE.
  - SELF-ADHERED TRANSITION MEMBRANE: 40 MIL THICK, SELF-ADHERING MEMBRANE CONSISTING OF AN SBS RUBBERIZED ASPHALT COMPOUND LAMINATED ON A POLYETHYLENE FILM.
  - INSTALL FLUID-APPLIED WATERPROOFING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
  - BASIS OF DESIGN: HENRY BLUESKIN SA, TREMCO EXOAIR 110AT, SOPREMA SOPRESEAL STICK 1100 AT.
- LIQUID FLASHING MEMBRANE:
  - PRODUCT DATA: PROVIDE DATA FOR LIQUID FLASHING MEMBRANE, WITH TEMPERATURE RANGE FOR APPLICATION.
  - WARRANTY: PROVIDE MANUFACTURER'S TWENTY (20) YEAR MATERIAL WARRANTY.
  - BASIS OF DESIGN: HENRY AIR-BLOCK LF LIQUID APPLIED FLASHING, TREMCO EXOAIR 130, OR SOPREMA SOPRESEAL LIQUID FLASHING.
- SILICONE TRANSITION SHEET
  - PRODUCT DATA: PROVIDE DATA FOR SILICONE TRANSION SHEET, WITH TEMPERATURE RANGE FOR APPLICATION.
  - WARRANTY: PROVIDE MANUFACTURER'S TWENTY (20) YEAR MATERIAL WARRANTY.
  - SUBMIT PRECONSTRUCTION COMPATIBILITY AND ADHESION TEST REPORT FOR SEALANTS AT EACH INTENDED SUBSTRATE.
  - BASIS OF DESIGN: SILICONE TRANSITION SHEET BY DOWSIL, ADHERED WITH DOWSIL 758 SEALANT.
- INTERIOR AND EXTERIOR SEALANT:
  - PRODUCT DATA: PROVIDE DATA INDICATING SEALANT CHEMICAL CHARACTERISTICS, PERFORMANCE CRITERIA, SUBSTRATE PREPARATION, LIMITATIONS, COLOUR AVAILABILITY.
  - SUBMIT PRECONSTRUCTION COMPATIBILITY AND ADHESION TEST REPORT FOR SEALANTS AT EACH INTENDED SUBSTRATE.
  - MAINTAIN TEMPERATURE AND HUMIDITY RECOMMENDED BY THE SEALANT MANUFACTURER.
  - WARRANTY: PROVIDE A FIFTEEN (15) YEAR WARRANTY TO INCLUDE COVERAGE FOR FAILURE TO MEET SPECIFIED REQUIREMENTS. INCLUDE COVERAGE FOR INSTALLED SEALANTS AND ACCESSORIES WHICH FAIL TO ACHIEVE AIR AND WATERTIGHT SEAL, EXHIBIT LOSS OF ADHESION OR COHESION, OR DO NOT CURE. PROVIDE MANUFACTURER'S TWENTY (20) YEAR MATERIAL WARRANTY FOR INSTALLED SILICONE SEALANT.
  - DURING AND AFTER INSTALLATION. ONE COMPONENT, NEUTRAL-CURING, MEDIUM MODULUS SILICONE SEALANT FOR WEATHER SEAL AND STRUCTURAL APPLICATIONS.
  - BASIS OF DESIGN: DOWSIL 790, TREMCO SPECTREM.
  - COLOUR: TO MATCH ADJACENT FINISHES.
  - ACCESSORIES:
    - CLEANING AGENTS AND PRIMER AS RECOMMENDED BY SEALANT MANUFACTURER FOR THE SUBSTRATE. SUBSTRATES TO BE CLEANED AT MINIMUM WITH THE TWO-WIPE METHOD.
    - JOINT BACKING: EXTRUDED, ROUND, SOLID SECTION, SKINNED BONDED BREAKER TYPE SURFACE, CLOSED CELL, SOFT POLYETHYLENE FOAM GASKET STOCK, COMPATIBLE WITH PRIMER AND SEALANT MATERIALS. 30-50% OVERSIZED FOR THE JOINT TO BE INSTALLED. SHORE A HARDNESS OF 20, TENSILE STRENGTH OF 140 KPA TO 200 KPA, IN ACCORDANCE WITH ASTM C 1330.
  - SEALANT TO BE TOOLED TO A CONCAVE PROFILE WITH 2:1 JOINT WIDTH TO DEPTH RATIO UP TO A MAXIMUM OF 13 MM AND NO LESS THAN 6MM DEPTH AT THE CENTRE OF JOINT. TOOL IMMEDIATELY AFTER SEALANT APPLICATION AND BEFORE SKINNING BEGINS TO FORM A SMOOTH, UNIFORM SEALANT BEAD FREE FROM FRIDGES, SAG, AIR POCKETS, EMBEDDED IMPURITIES, DIRTY, STAINS AND OTHER DEFECTS.
  - CUT ADHESION TESTS TO BE PERFORMED ON THE SEALANT. REPAIR ALL TEST LOCATIONS.
- SHEET METAL FLASHING AND TRIM:
  - PRODUCT DATA: INCLUDE CONSTRUCTION DETAILS, MATERIAL DESCRIPTIONS, DIMENSIONS OF INDIVIDUAL COMPONENTS AND PROFILES, AND FINISHES FOR EACH MANUFACTURED PRODUCT AND ACCESSORY.
  - SPECIAL WARRANTY ON FINISHES: MANUFACTURER AGREES TO REPAIR FINISH OR REPLACE SHEET METAL FLASHING AND TRIM THAT SHOWS EVIDENCE OF DETERIORATION OF FACTORY-APPLIED FINISHES WITHIN SPECIFIED WARRANTY PERIOD.
    - EXPOSED PANEL FINISH: DETERIORATION INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:
      - COLOUR FADING MORE THAN 5 HUNTER UNITS WHEN TESTED ACCORDING TO ASTM D 2244.
      - CHALKING IN EXCESS OF A NO. 8 RATING WHEN TESTED ACCORDING TO ASTM D 4214.
      - CRACKING, CHECKING, PEELING, OR FAILURE OF PAINT TO ADHERE TO BARE METAL.
      - FINISH WARRANTY PERIOD: 20 YEARS FROM DATE OF SUBSTANTIAL COMPLETION.
  - CONTRACTOR'S WARRANTY: PROVIDE FIVE (5) YEAR WARRANTY ON FLASHING, DATED FROM TIME OF SUBSTANTIAL PERFORMANCE.
  - PERFORMANCE REQUIREMENTS
    - GENERAL: SHEET METAL FLASHING AND TRIM ASSEMBLIES SHALL WITHSTAND WIND LOADS, STRUCTURAL MOVEMENT, THERMALLY INDUCED MOVEMENT, AND EXPOSURE TO WEATHER WITHOUT FAILURE DUE TO DEFECTIVE MANUFACTURE, FABRICATION, INSTALLATION, OR OTHER DEFECTS IN CONSTRUCTION. COMPLETED SHEET METAL FLASHING AND TRIM SHALL NOT RATTLE, LEAK, OR LOOSEN, AND SHALL REMAIN WATERTIGHT.
    - SHEET METAL STANDARD FOR FLASHING AND TRIM: COMPLY WITH NRCA'S "THE NRCA ROOFING MANUAL" REQUIREMENTS FOR DIMENSIONS AND PROFILES SHOWN UNLESS MORE STRINGENT REQUIREMENTS ARE INDICATED.
    - FM APPROVALS LISTING: MANUFACTURE AND INSTALL COPINGS THAT ARE LISTED IN FM APPROVALS' "ROOFNAV" AND APPROVED FOR WINDSTORM CLASSIFICATION.
    - IDENTIFY MATERIALS WITH NAME OF FABRICATOR AND DESIGN APPROVED BY FM APPROVALS.
    - THERMAL MOVEMENTS: ALLOW FOR THERMAL MOVEMENTS FROM AMBIENT AND SURFACE TEMPERATURE CHANGES TO PREVENT BUCKLING, OPENING OF JOINTS, OVERSTRESSING OF COMPONENTS, FAILURE OF JOINT SEALANTS, FAILURE OF CONNECTIONS, AND OTHER DETRIMENTAL EFFECTS. BASE CALCULATIONS ON SURFACE TEMPERATURES OF MATERIALS DUE TO BOTH SOLAR HEAT GAIN AND NIGHTTIME-SKY HEAT LOSS.
  - MATERIALS
    - PREPAINTED SHEET STEEL: IN ACCORDANCE WITH ASTM A653/A653M, COMMERCIAL STEEL (CS) DESIGNATION, TYPE A, GRADE 230, Z275 ZINC COATING DESIGNATION, MINIMUM 0.60 MM BASE STEEL THICKNESS, COMMERCIAL QUALITY.
      - PREFINISHED PREFINISHED IN ACCORDANCE WITH AAMA 2604 SILICONE MODIFIED POLYESTER (SMP) 2-COAT CONSISTING OF PRIMER AND TOPCOAT, MINIMUM DRY FILM THICKNESS 0.90 MILS, WEATHERX BY SHERWIN-WILLIAMS COIL COATINGS, THE SHERWIN-WILLIAMS COMPANY.
      - COLOUR:
        - TO MATCH EXISTING.
  - ACCESSORIES
    - FASTENERS: WOOD SCREWS, ANNULAR THREADED NAILS, SELF-TAPPING SCREWS, SELF-LOCKING RIVETS AND BOLTS, AND OTHER SUITABLE FASTENERS DESIGNED TO WITHSTAND DESIGN LOADS AND RECOMMENDED BY MANUFACTURER OF PRIMARY SHEET METAL.
      - GENERAL: BLIND FASTENERS OR SELF-DRILLING SCREWS, GASKETED, WITH HEX-WASHER HEAD.
        - EXPOSED FASTENERS: HEADS MATCHING COLOR OF SHEET METAL USING PLASTIC CAPS OR FACTORY-APPLIED COATING. PROVIDE METAL-BACKED EPDM OR PVC SEALING WASHERS UNDER HEADS OF EXPOSED FASTENERS BEARING ON WEATHER SIDE OF METAL.
        - BLIND FASTENERS: HIGH-STRENGTH ALUMINUM OR STAINLESS-STEEL RIVETS SUITABLE FOR METAL BEING FASTENED.
      - FASTENERS FOR ZINC-COATED (GALVANIZED) STEEL SHEET: SERIES 300 STAINLESS STEEL OR HOT-DIP GALVANIZED STEEL ACCORDING TO ASTM A 153/A 153M OR ASTM F 2329.
  - THERMOPLASTIC POLYOLEFIN (TPO) ROOFING
    - PRODUCT DATA: PROVIDE DATA FOR TPO ROOFING, WITH TEMPERATURE RANGE FOR APPLICATION.
    - WARRANTY: PROVIDE MANUFACTURER'S FIFTEEN (15) YEAR MATERIAL WARRANTY.
    - IN ADDITION TO ABOVE, PROVIDE TO OWNER A WRITTEN WARRANTY COVERING DEFECTS OF WORKMANSHIP FOR A PERIOD OF 2 YEARS COMMENCING FROM DATA OF SUBSTANTIAL PERFORMANCE OF WORK AND AGREE TO MAKE GOOD PROMPTLY ANY DEFECTS WHICH OCCUR OR BECOME APPARENT WITHIN WARRANTY PERIOD IN CONJUNCTION WITH MEMBRANE MANUFACTURER'S WARRANTY. ENSURE WARRANTY IS ON CRA'S OR OIRCA'S STANDARD FORM OF WARRANTY.
    - ROOFING MEMBRANE: CARLISLE THERMOPLASTIC POLYOLEFIN (TPO) MEMBRANE, 60 MIL THICK. MEMBRANE TYPE TO MATCH EXISTING (SURE-WELD OR FLEECEBACK).
    - ADHESIVE: CARLISLE FLEXIBLE FAST ADHESIVE
    - PROVIDE CUSTOM PREFABRICATED TPO MEMBRANE BOOTS FOR ALL PENETRATIONS OF THE ROOF.
    - INSTALL ROOF MEMBRANE MATERIAL IN ACCORDANCE WITH MANUFACTURER'S STANDARD DETAILS.

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SEAL

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CLIENT NAME  
**CITY OF TORONTO**

PROJECT  
**11 MACEY AVE  
RAPID HOUSING INITIATIVE**

TITLE  
**GENERAL NOTES**

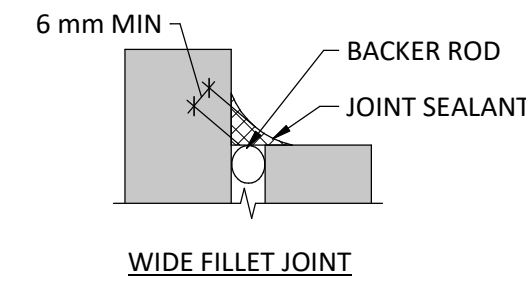
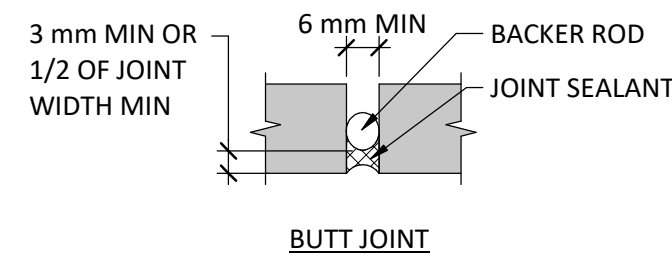
DESIGN	MK	SCALE	NTS	DRAWING No.
DRAWN	JM	DATE	07/29/24	<b>A001</b>
CHECKED	VD	PROJECT NO.	EN023-02179	

ABBREVIATIONS

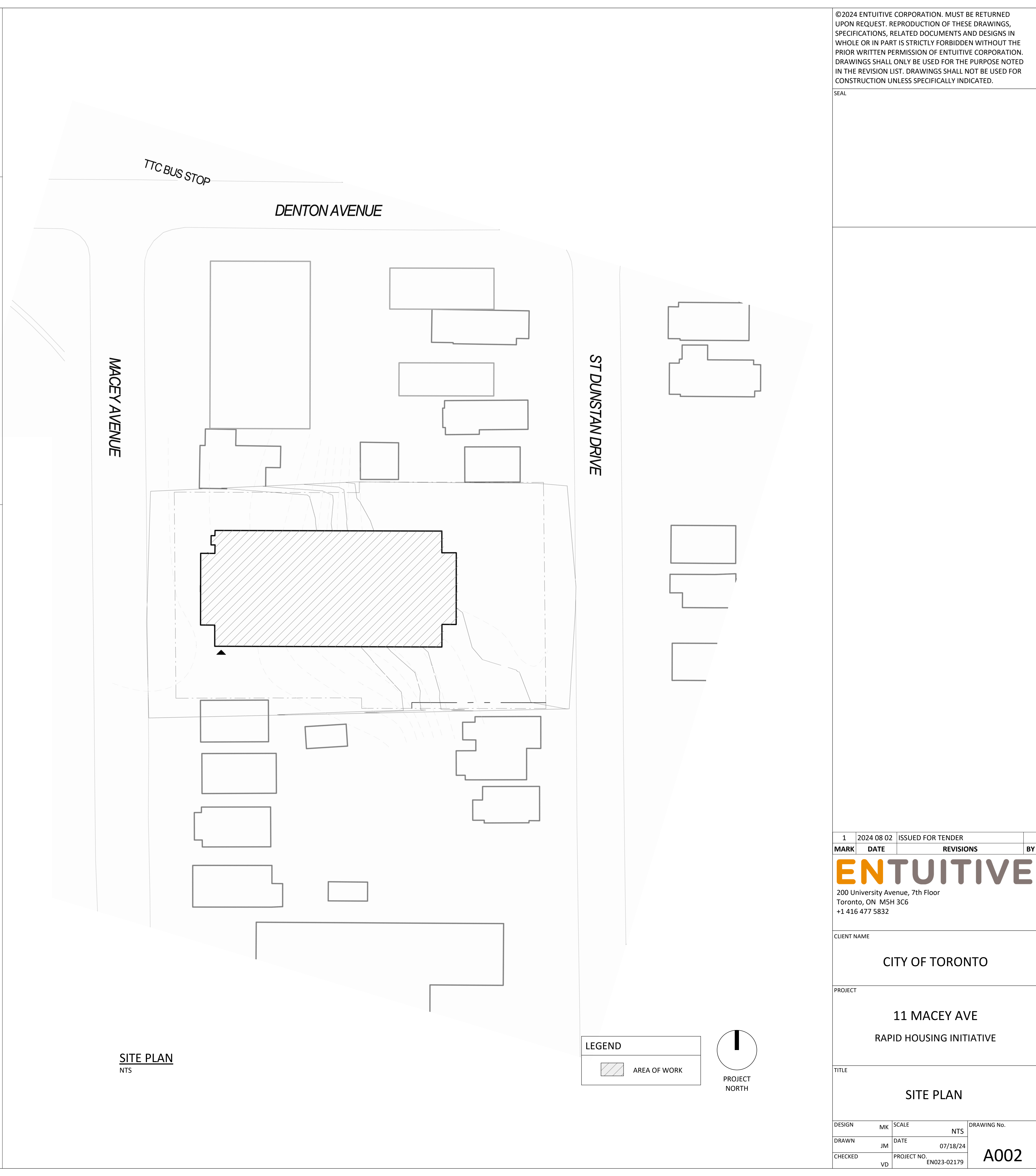
AD	AREA DRAIN	NIS	NOT IN SCOPE
AFF	ABOVE FINISHED FLOOR #, No.	NTS	NOT TO SCALE
BO	BOTTOM OF		
BLDG	BUILDING	OH	OVERHEAD
BUR	BUILT-UP ROOFING	O.C.	ON CENTER
		OPP	OPPOSITE
CL	CENTER LINE		
CLR	CLEAR	PL	PLATE
CMU	CONCRETE MASORY UNIT	PT	PRESSURE TREATED
COL	COLUMN	PTD	PAINTED
CONC	CONCRETE	PWDR	POWDER
CONT	CONTINUOUS		
CP	CAST-IN PLACE	RO	ROUGH OPENING
C/W	COMPLETE WITH	REF	REFER (ENCE)
		REQ'D	REQUIRED
DBL	DOUBLE		
DIA	DIAMETER	SAM	SELF-ADHERED MEMBRANE
DIM	DIMENSION	SCHED	SCHEDULE
DN	DOWN	SIM	SIMILAR
DWG	DRAWING	SS	STAINLESS STEEL
		STL	STEEL
		STRUCT	STRUCTURAL
EA	EACH		
EL	ELEVATION		
EQ	EQUAL	T&G	TONGUE AND GROOVE
EX, EXIST	EXISTING	TBC	TO BE CONFIRMED
EXT	EXTERIOR	T/O	TOP OF
		THK	THICK
		TYP	TYPICAL
FD	FLOOR DRAIN		
GA	GUAGE	U/S	UNDERSIDE
GYP	GYPNUM	UNO	UNLESS NOTED OTHERWISE
GWB	GYPNUM WALL BOARD		
		VB	VAPOUR BARRIER
HDG	HOT DIP GALVANIZED		
		W/	WITH
INSUL	INSULATION	WD	WOOD
		WPR	WATERPROOFING
		WRB	WEATHER RESISTIVE BARRIER
MAX	MAXIMUM		
MECH	MECHANICAL		
MIN	MINIMUM		
MOD-BIT	MODIFIED BITUMEN		

DRAWING LIST	
DRAWING No.	DRAWING TITLE
A000	COVER SHEET
A001	GENERAL NOTES
A002	SITE PLAN
A100	EXISTING FLOOR PLANS
A101	EXISTING FLOOR PLANS
A200	EXISTING ELEVATIONS
A201	EXISTING ELEVATIONS
A300	WINDOW DETAILS
A301	WINDOW REMOVAL DETAILS
A302	ROOF & VENT DETAILS

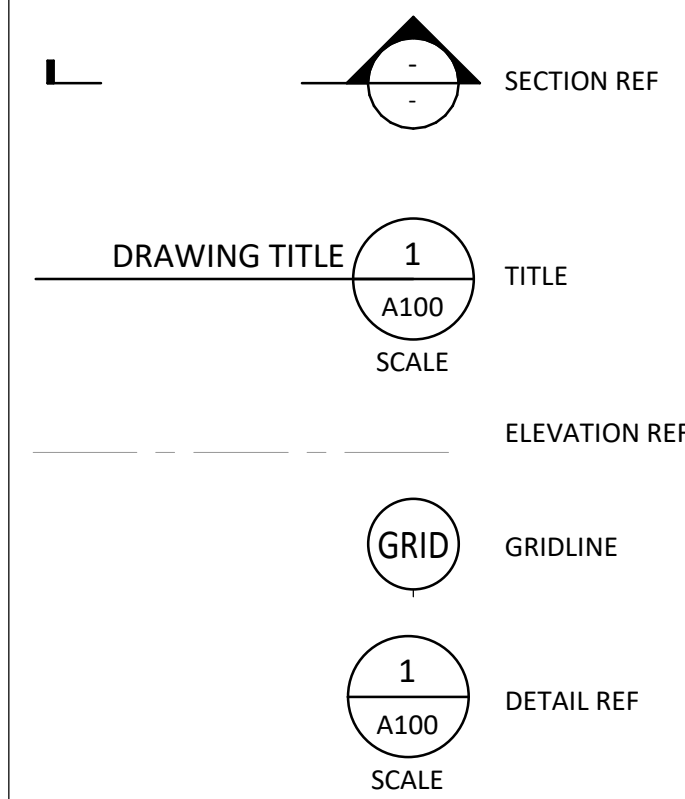
TYPICAL SEALANT PROFILE



NOTE:  
1. BOND BREAKER TO BE USED WHEN BACKER ROD CANNOT BE INSERTED INTO JOINT.



SYMBOLS



DETAIL PATTERN LEGEND

	CONCRETE
	GROUT
	GYPNUM BOARD/ PROTECTION BOARD
	CONCRETE
	STEEL
	PLYWOOD SHEATHING
	WOOD CLADDING / WOOD TRIM
	SEALANT BED/BEADS/MASTIC
	SPRAY FOAM INSULATION
	BATT INSULATION
	EARTH
	GRAVEL

LINE TYPE LEGEND

	VAPOUR BARRIER
	SELF-ADHERED MEMBRANE (SAM)
	EXISTING COMPONENTS (UNO)
	EXISTING INTERIOR POLY SHEET
	EXISTING SELF ADHERED MEMBRANE
	EXISTING BUILDING WRAP

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1	2024 08 02	ISSUED FOR TENDER	
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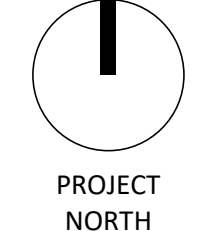
CLIENT NAME  
**CITY OF TORONTO**

PROJECT  
**11 MACEY AVE  
RAPID HOUSING INITIATIVE**

TITLE  
**SITE PLAN**

DESIGN	MK	SCALE	NTS	DRAWING No.
DRAWN	JM	DATE	07/18/24	<b>A002</b>
CHECKED	VD	PROJECT NO.	EN023-02179	

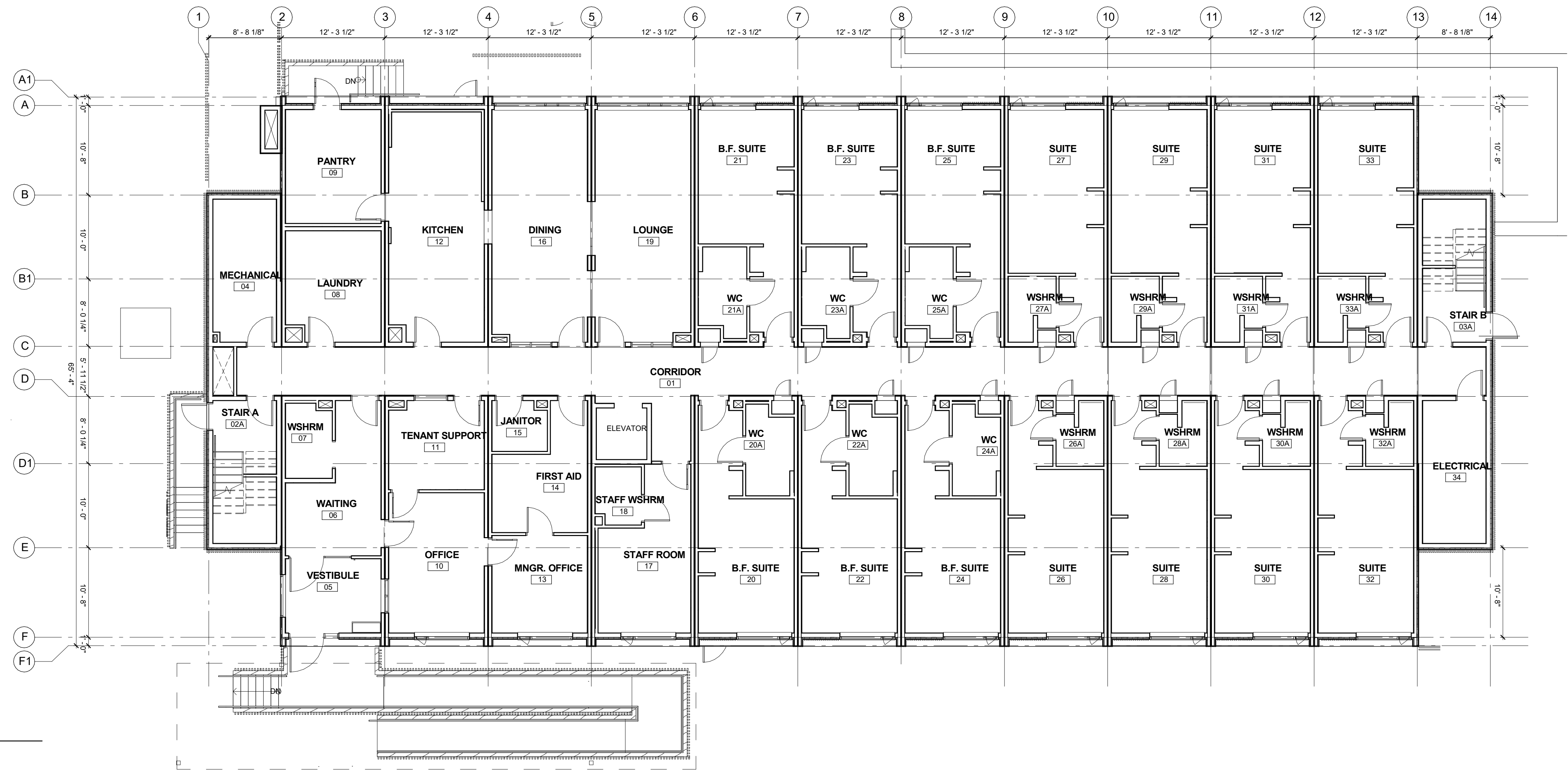
LEGEND	
	AREA OF WORK



**SITE PLAN**  
NTS

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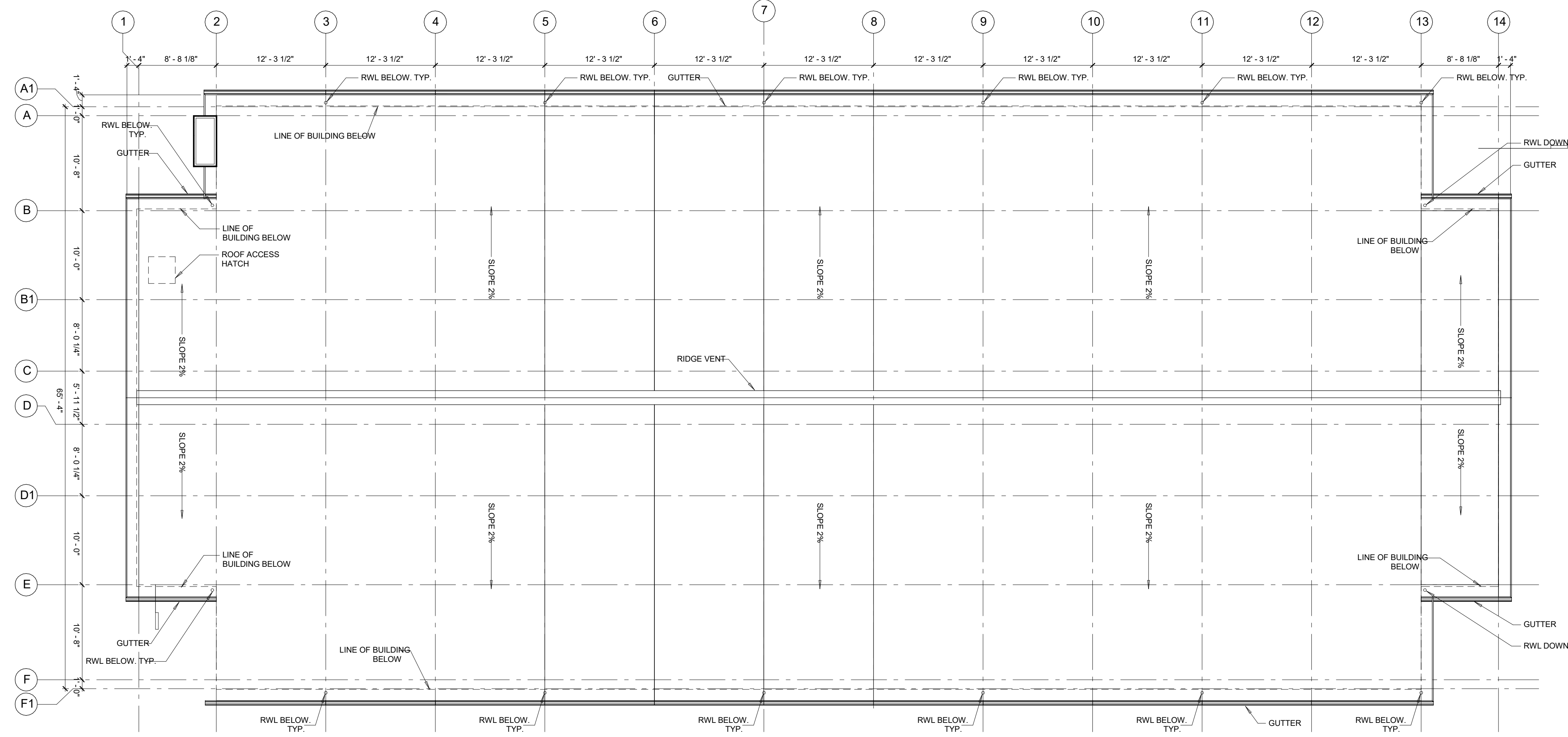
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CITY OF TORONTO			
PROJECT			
11 MACEY AVE RAPID HOUSING INITIATIVE			
TITLE			
EXISTING FLOOR PLANS			
DESIGN	MK	SCALE	NTS
DRAWN	JM	DATE	07/18/24
CHECKED	VD	PROJECT NO.	EN023-02179
			DRAWING No. <b>A100</b>



- FIELD OF ROOF NOTES:
1. REMOVE AND DISPOSE OF ALL NON-TPO PENETRATION BOOTS
  2. INSTALL NEW HEAT-WELDED TPO PENETRATION BOOTS
  3. INSPECT AND REPAIR ALL OPEN SEAMS AT THE FIELD OF ROOF
  4. INSTALL NEW HEAT-WELDED TPO PATCHES AT T-JOINTS
  5. INSTALL NEW HEAT WELDED TPO TIE-IN MEMBRANE AT MODULE TO MODULE JOINTS. TIE-IN MEMBRANE TO BE A SINGLE SHEET WITH MIN 6" LAP ONTO EACH MODULE'S FIELD OF ROOF MEMBRANE.

1 LEVEL 3  
A101  
NTS



2 ROOF  
A101  
NTS

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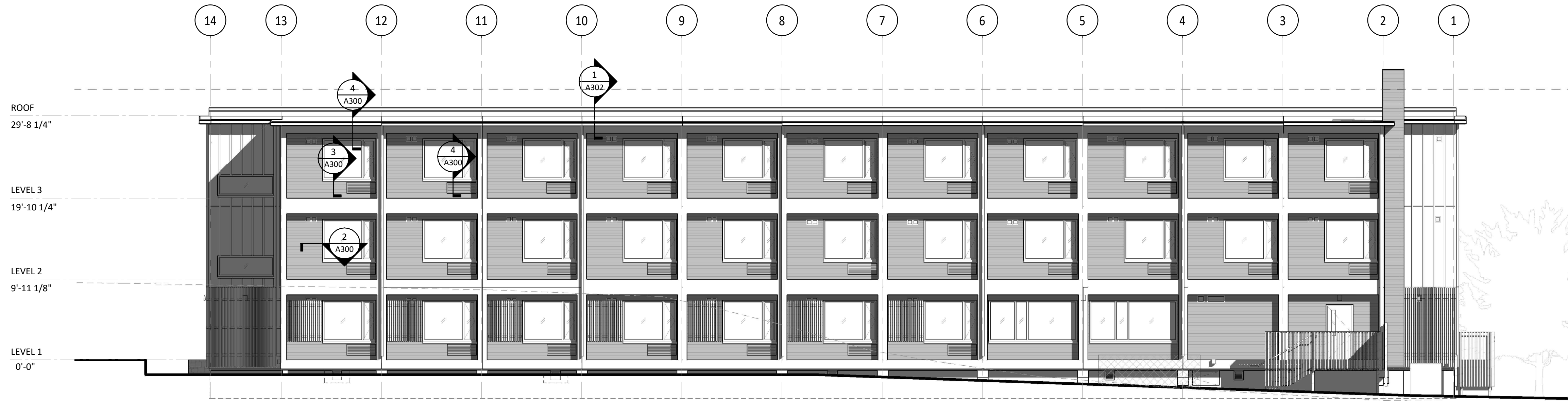
CLIENT NAME  
**CITY OF TORONTO**

PROJECT  
**11 MACEY AVE  
RAPID HOUSING INITIATIVE**

TITLE  
**EXISTING FLOOR PLANS**

DESIGN	MK	SCALE	NTS	DRAWING No.
DRAWN	JM	DATE	07/18/24	<b>A101</b>
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1 NORTH ELEVATION  
A200  
SCALE



2 SOUTH ELEVATION  
A200  
SCALE

GENERAL NOTE:  
1. DETAIL REFERENCES ON ELEVATIONS ARE SHOWN AS A300, BUT COULD BE A301 SHOULD THE WINDOW REQUIRE REMOVAL PENDING SITE SURVEY.

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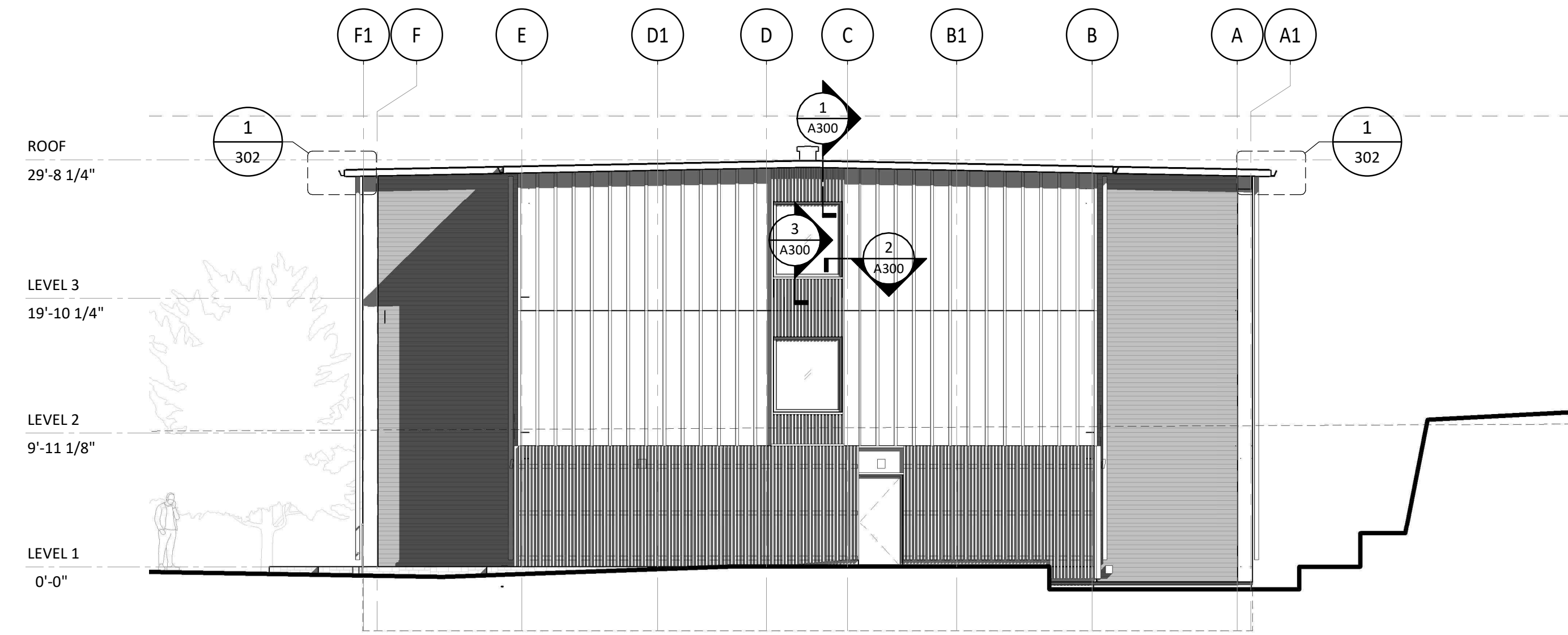
PROJECT  
**11 MACEY AVE  
RAPID HOUSING INITIATIVE**

TITLE  
**EXISTING ELEVATIONS**

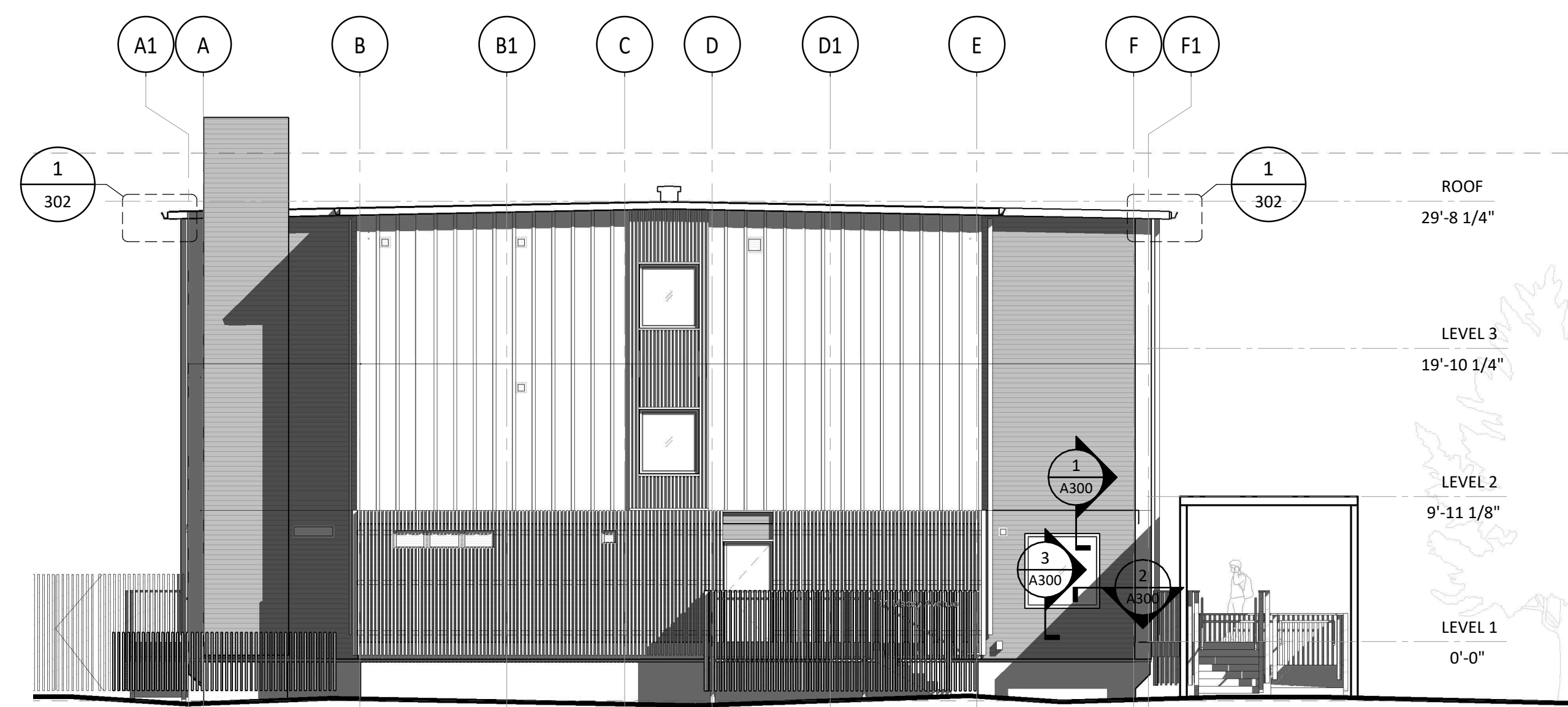
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SEAL



1 EAST ELEVATION  
A201  
SCALE



2 WEST ELEVATION  
A201  
SCALE

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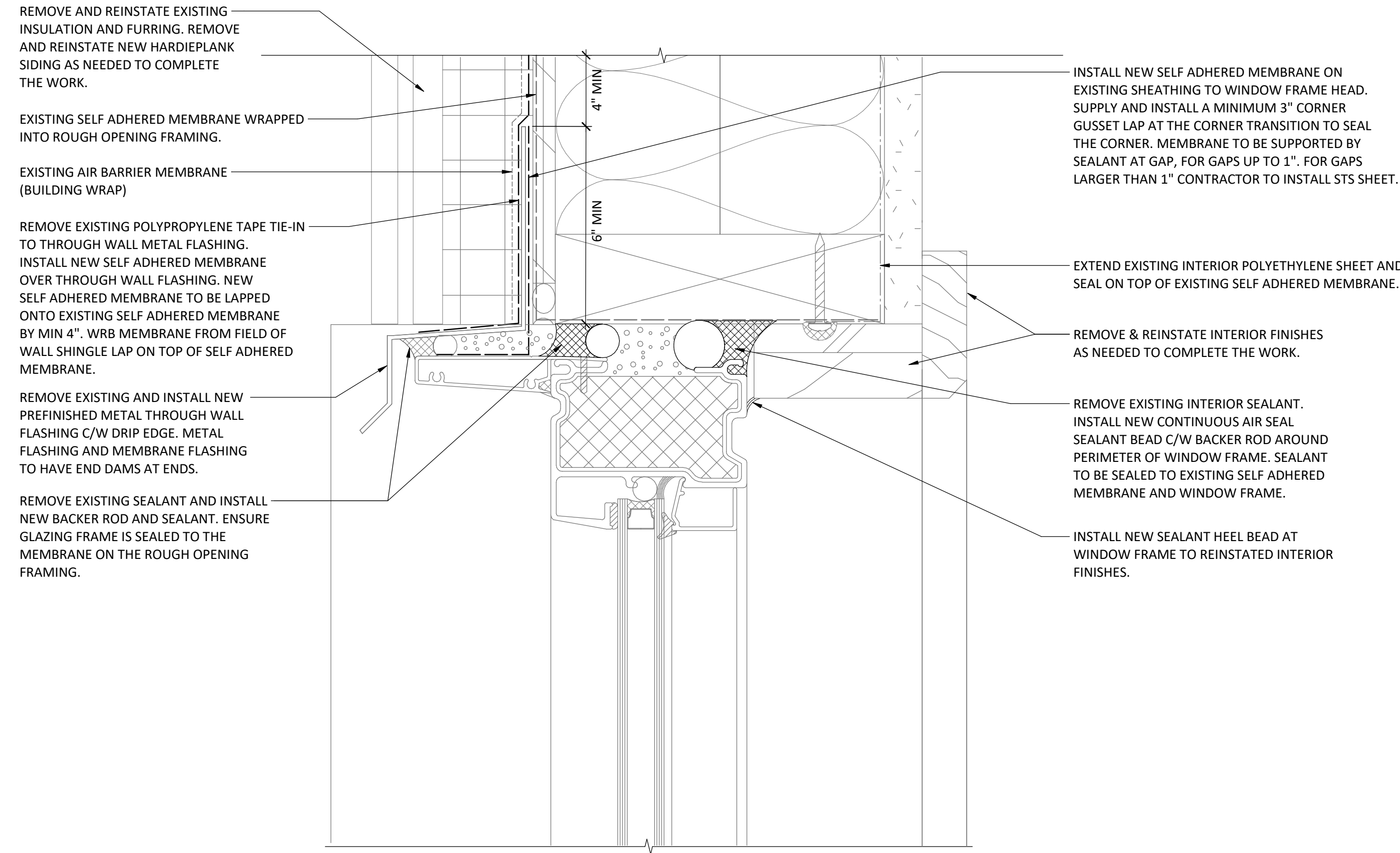
CLIENT NAME  
**CITY OF TORONTO**

PROJECT  
**11 MACEY AVE  
RAPID HOUSING INITIATIVE**

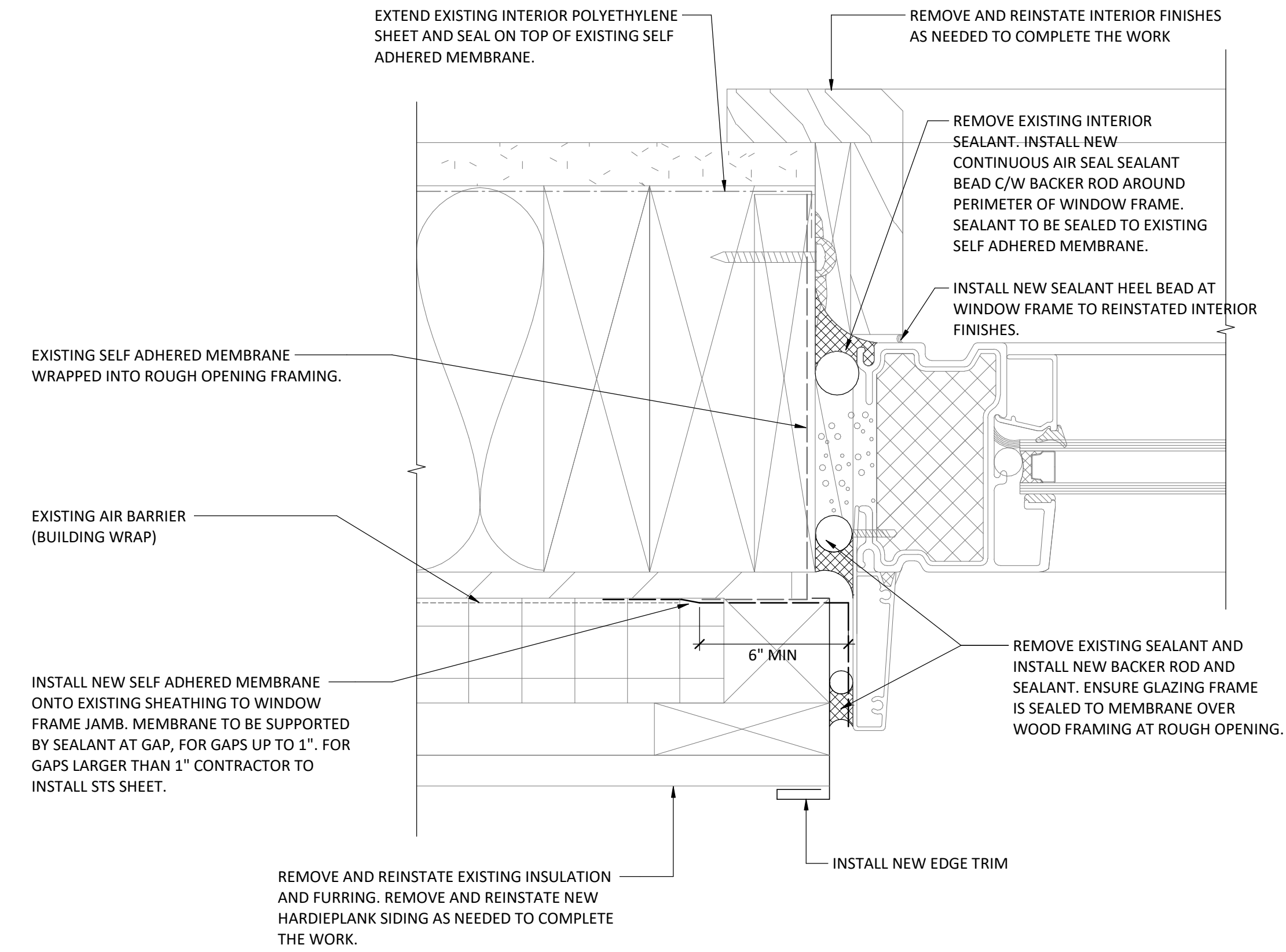
TITLE  
**EXISTING ELEVATIONS**

DESIGN	MK	SCALE	NTS	DRAWING No.
DRAWN	JM	DATE	07/18/24	<b>A201</b>
CHECKED	VD	PROJECT NO.	EN023-02179	

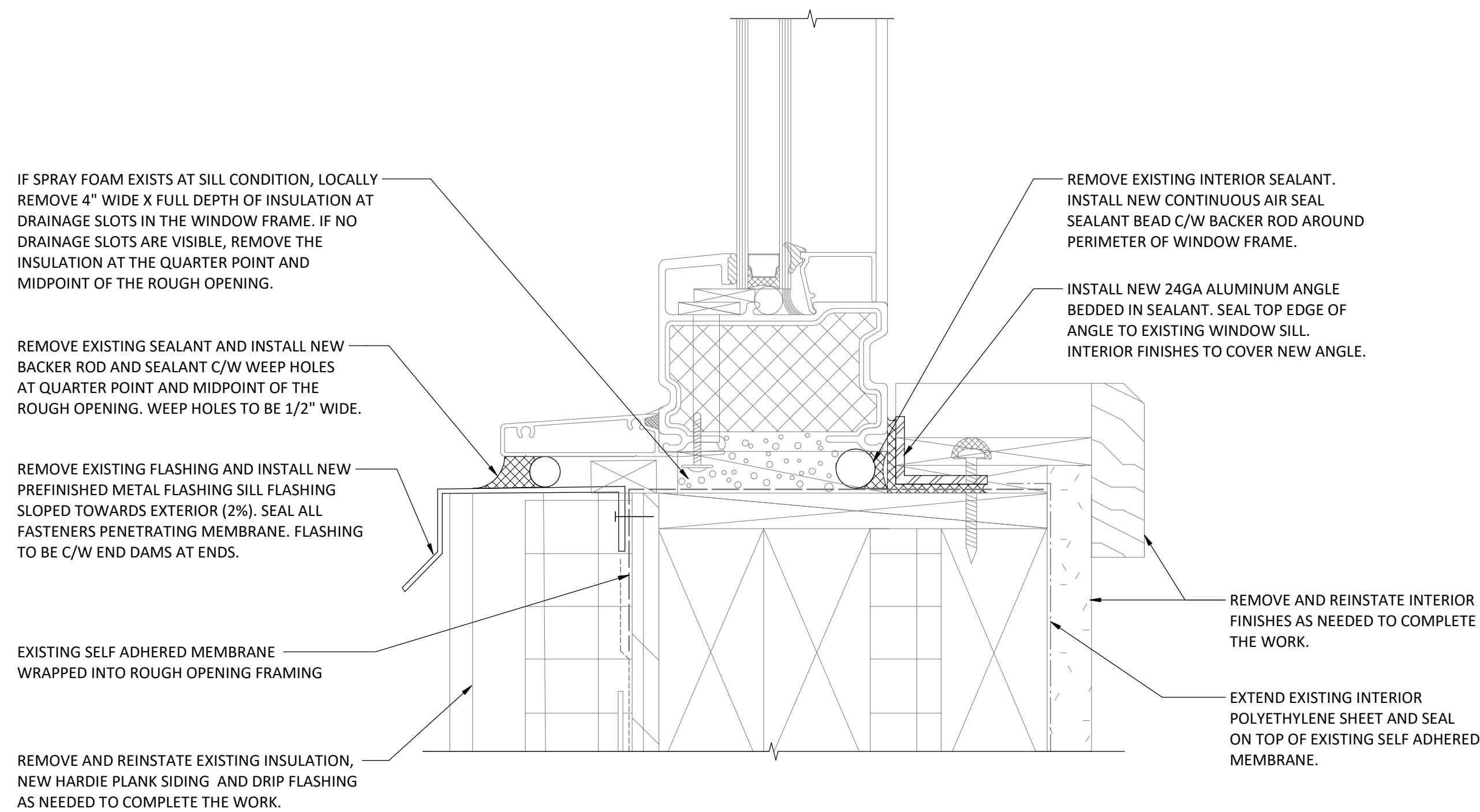
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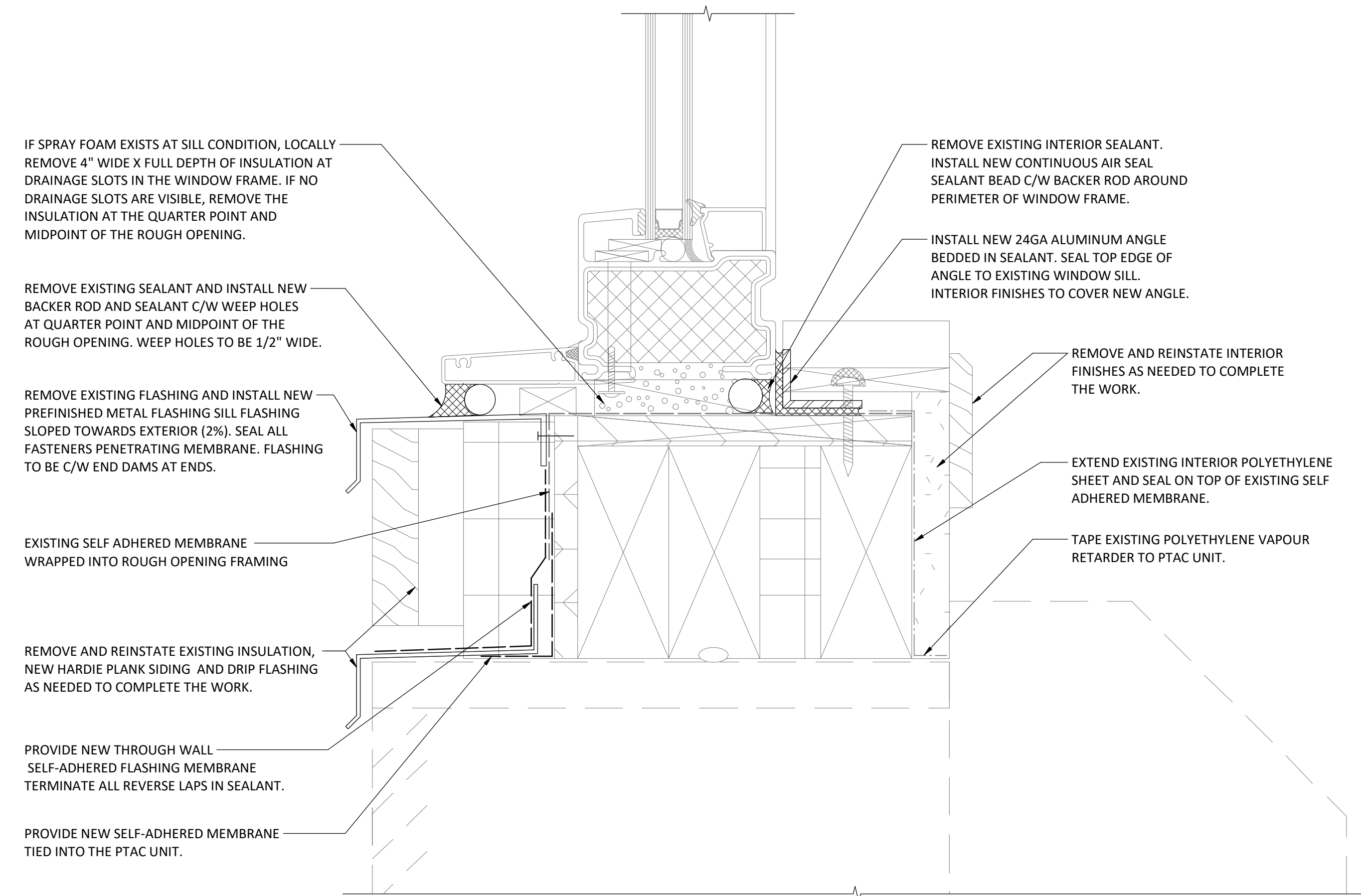
1 TYP WINDOW HEAD DETAIL  
A300 SECTION DETAIL  
NTS



2 TYP WINDOW JAMB DETAIL  
A300 PLAN DETAIL  
NTS



3 TYP WINDOW SILL DETAIL  
A300 SECTION DETAIL  
NTS



4 TYP WINDOW SILL @PTAC UNIT DETAIL  
A300 SECTION DETAIL  
NTS

- INSTALLATION NOTES:**
- REMOVE THE INTERIOR TRIM TO EXPOSE THE WINDOW FRAME-TO-WALL CONDITION AT THE FULL PERIMETER OF THE WINDOW. MAKE GOOD ALL INTERIOR FINISHES.
  - REVIEW THE ROUGH OPENING GAP. IF THE WINDOW FRAME IS TIGHT TO THE ROUGH OPENING, THE WINDOW MUST BE REMOVED AND THE ROUGH OPENING ADJUSTED TO PROVIDE THE MINIMUM 6mm CLEARANCE RECOMMENDED BETWEEN THE WINDOW FRAME AND THE ROUGH OPENING FRAMING TO ALLOW FOR MOVEMENTS. REINSTALL THE WINDOW.
  - AFTER REMOVAL OF INTERIOR FINISHES AND INTERIOR SEALANT, PERFORM THE FOLLOWING:
    - REVIEW ALL WINDOW ANCHOR LOCATIONS AND ENSURE NO ANCHORS HAVE BEEN DISENGAGED. IF AN ANCHOR IS DISENGAGED, THE WINDOW MUST BE REMOVED AND REINSTALLED WITH FULLY ENGAGED ANCHORS. THIS WORK TO BE CARRIED OUT AS PART OF A UNIT PRICE QUANTITY, THIS WORK IS ESTIMATED TO BE 20% OF THE WINDOWS FOR PRICING PURPOSES.
    - REVIEW ALL SELF ADHERED MEMBRANE INSTALLATION WRAPPED IN THE ROUGH OPENING. IF THE MEMBRANE IS DAMAGED OR NOT PROPERLY ADHERED, REMOVE WINDOW TO REPAIR MEMBRANE INSTALLATION AND REINSTALL WITH FULLY ENGAGED ANCHORS. THIS WORK TO BE CARRIED OUT AS PART OF A UNIT PRICE QUANTITY, THIS WORK IS ESTIMATED TO BE 20% OF THE WINDOWS FOR PRICING PURPOSES.
  - REMOVE THE EXTERIOR CLADDING AND INSULATION AT THE PERIMETER OF THE WINDOW TO EXPOSE ALL TIE-INS.
  - INSTALL TOOLED TERMINATION BEAD AT ALL REVERSE LAPS. REINSTALL THE EXTERIOR CLADDING AND INSULATION.
  - ALL JOINT SEALANTS TO BE MINIMUM 6mm WIDTH. IF SITE CONDITIONS DO NOT ALLOW FOR THAT TO OCCUR, NOTIFY ENTUITIVE FOR FURTHER REVIEW.
  - SPRAY FOAM INSULATION MAY EXIST BETWEEN ROUGH OPENING FRAMING AND THE WINDOW FRAME. SCOPE OF WORK TO INCLUDE PARTIAL REMOVAL OF THE INSULATION AS REQUIRED TO INSTALL BACKER ROD FOR SEALANT INSTALLATION.

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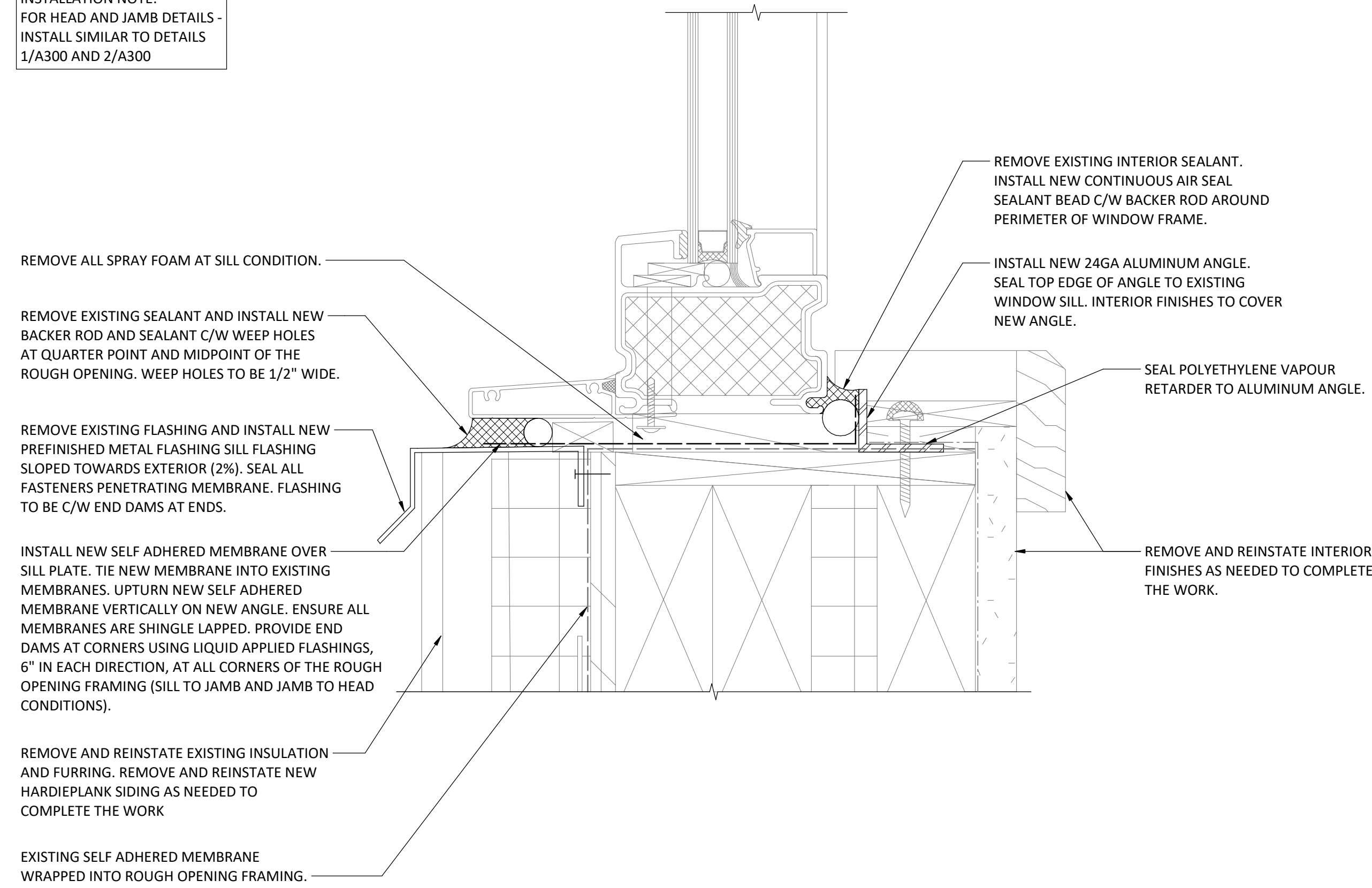
PROJECT  
**11 MACEY AVE  
RAPID HOUSING INITIATIVE**

TITLE  
**WINDOW DETAILS**

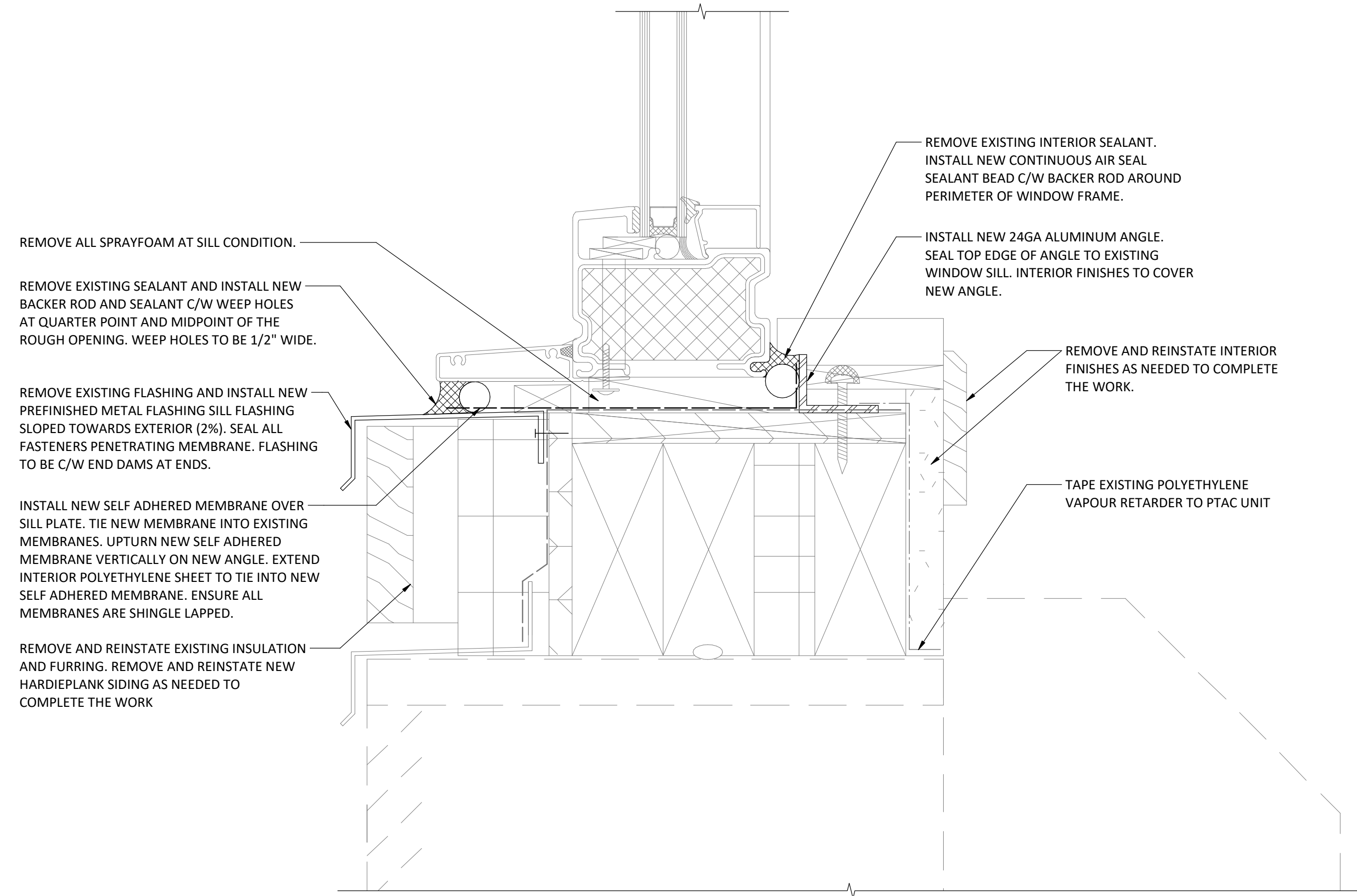
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DRAWN	JM	DATE	07/18/24	<b>A300</b>
CHECKED	VD	PROJECT NO.	EN023-02179	



INSTALLATION NOTE:  
FOR HEAD AND JAMB DETAILS -  
INSTALL SIMILAR TO DETAILS  
1/A300 AND 2/A300



1 TYP WINDOW SILL REMOVAL DETAIL  
A301 SECTION DETAIL  
NTS



2 TYP WINDOW SILL @PTAC UNIT REMOVAL DETAIL  
A301 SECTION DETAIL  
NTS

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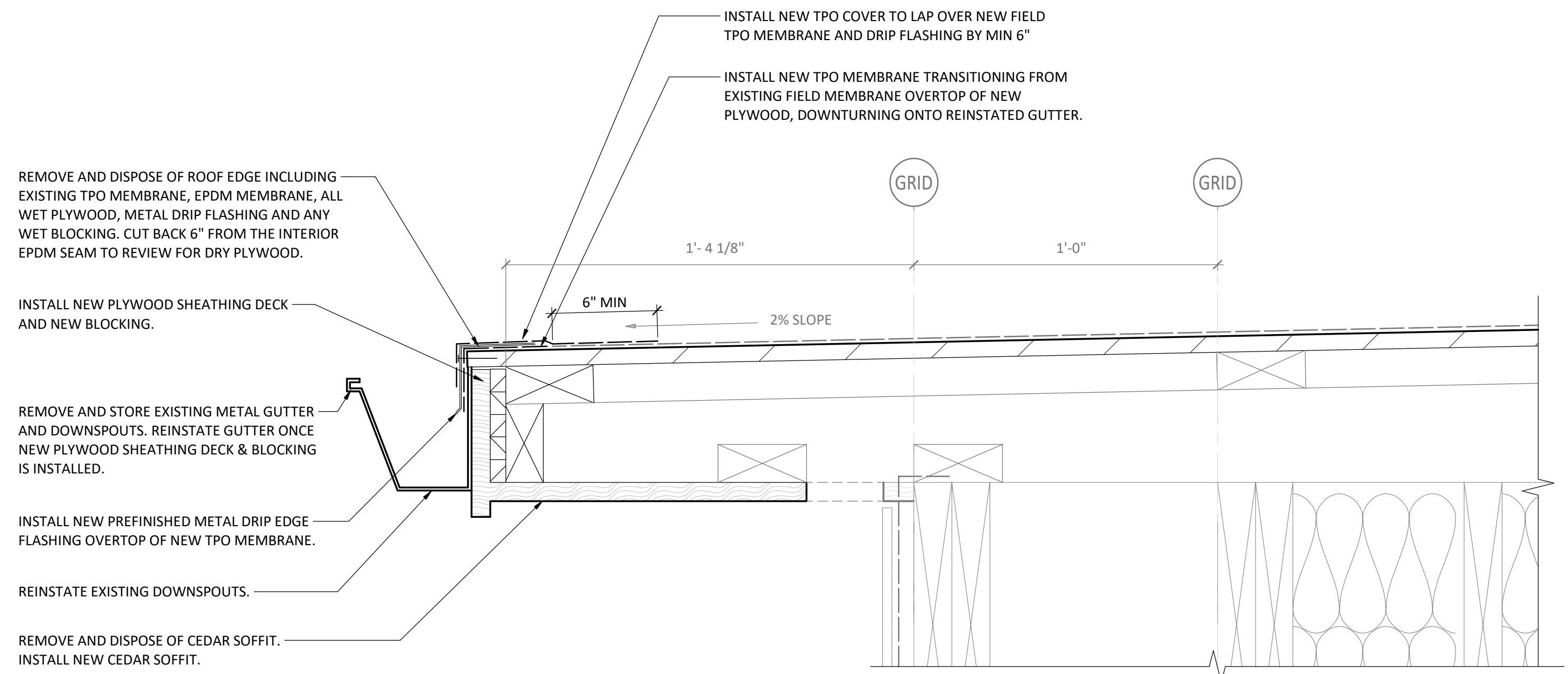
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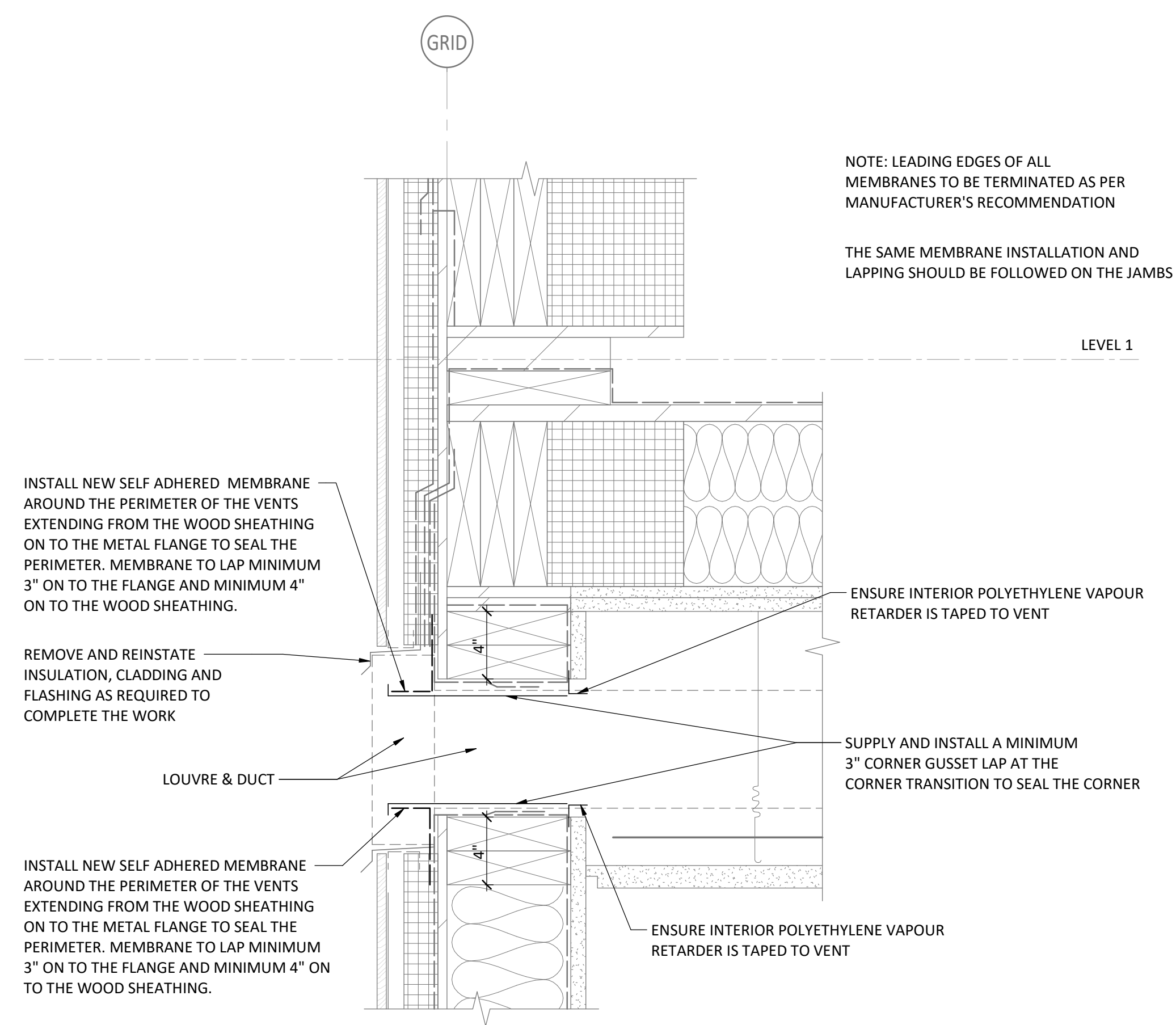
PROJECT  
**11 MACEY AVE  
RAPID HOUSING INITIATIVE**

TITLE  
**WINDOW REMOVAL DETAILS**

DESIGN	MK	SCALE	NTS	DRAWING No.
DRAWN	JM	DATE	07/22/24	<b>A301</b>
CHECKED	VD	PROJECT NO.	EN023-02179	



**1**  
A302  
NTS  
**TYP ROOF REPAIR DETAIL**



**2**  
A302  
NTS  
**TYP VENT PENETRATION**

NOTE: LEADING EDGES OF ALL MEMBRANES TO BE TERMINATED AS PER MANUFACTURER'S RECOMMENDATION

THE SAME MEMBRANE INSTALLATION AND LAPPING SHOULD BE FOLLOWED ON THE JAMBS

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PROJECT  
**11 MACEY AVE  
RAPID HOUSING INITIATIVE**

TITLE  
**ROOF & VENT DETAILS**

DESIGN	MK	SCALE	NTS	DRAWING No.
DRAWN	JM	DATE	07/19/24	<b>A302</b>
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