

**KEY PLAN** SCALE: 1/16"=1'-0"

AREA OF WORK: 187 m<sup>2</sup> (2,010 sq. ft. USEABLE)  
 AREA NOT IN CONTRACT

**SCOPE OF WORK**

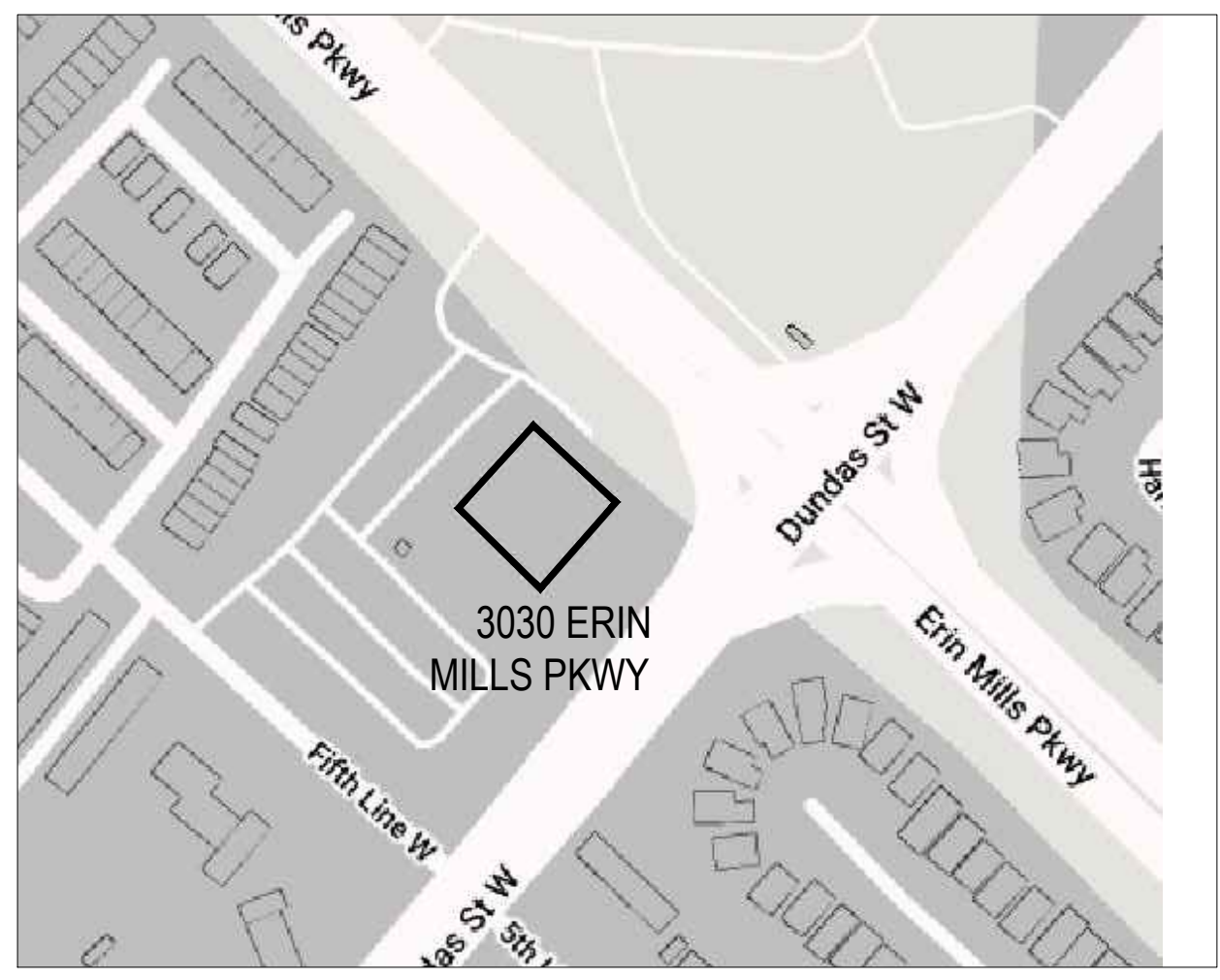
- A. INTERIOR ALTERATION TO GROUP D OCCUPANCY:
- INTERIOR RENOVATION
  - DEMOLITION OF EXISTING PARTITIONS AND DOORS
  - NEW PARTITIONS AND DOORS
  - NEW PLUMBING FOR NEW SHOWERS

**DRAWING LIST**

<p>INTERIOR DESIGN</p> <p>ID0 COVER PAGE</p> <p>ID1 DEMOLITION AND PARTITION PLANS</p> <p>ID2 POWER AND COMMUNICATIONS PLAN; REFLECTED CEILING PLAN</p> <p>ID3 FINISHES PLAN AND DOOR SCHEDULE</p> <p>ID4 SHOWER DETAILS</p> <p>F1 FURNITURE PLAN</p>	<p>MECHANICAL</p> <p>REFER TO MECHANICAL DRAWINGS FOR COVER PAGE DRAWING LIST</p> <p>ELECTRICAL</p> <p>REFER TO ELECTRICAL DRAWINGS FOR COVER PAGE DRAWING LIST</p>
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**PROJECT CONTACT**

<p>INTERIOR DESIGN</p> <p>COMLEY VAN BRUSSEL DESIGN</p> <p>2600 SKYMARK AVENUE, BUILDING 8, SUITE 101</p> <p>MISSISSAUGA, ON L4W 5B2</p> <p>CONTACT: DARCEL L&amp;BLANC-YOUNG</p> <p>dablanc-young@comleyvanbrussel.com</p> <p>LANDLORD</p> <p>PEEL REGIONAL POLICE</p> <p>7150 MISSISSAUGA ROAD</p> <p>MISSISSAUGA, ON L5N8M5</p> <p>CONTACT: ANDREW COBER</p> <p>3076C@peelpolice.ca</p>	<p>MECHANICAL &amp; ELECTRICAL</p> <p>TANCO ENGINEERING LTD.</p> <p>80 NASHDENE RD, 2ND FLR., STE 212</p> <p>TORONTO, ON M1V 5E4</p> <p>CONTACT: MIKE CHONG</p> <p>tanco@tancoengineering.ca</p> <p>SPRINKLER</p> <p>NORRIS FIRE CONSULTING</p> <p>1840 CLEMENTS RD., STE 202</p> <p>PICKERING, ON L1W 3Y2</p> <p>CONTACT: M&amp;J NORRIS</p> <p>905-669-5154</p>
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**LOCATION PLAN**

**GENERAL NOTES**

- TENDERING, PERMITS AND INSPECTIONS, COMPLIANCE OF WORK:
- NO DEMOLITION OR CONSTRUCTION IS TO START WITHOUT ISSUANCE OF A BUILDING PERMIT.
  - THE CONTRACTOR SHALL GIVE ALL REQUIRED NOTICES FOR INSPECTIONS AS REQUIRED BY THE BUILDING PERMIT AND ALL AUTHORITIES HAVING JURISDICTION.
  - UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PAY FOR, AND OBTAIN, A SIGNED RELEASE FROM THE MUNICIPALITY HAVING JURISDICTION INDICATING THAT ALL WORK IS COMPLETED AND THE PERMIT IS SIGNED OFF.
  - ALL WORK IN THIS CONTRACT SHALL CONFORM TO THE REQUIREMENTS OF ALL EXISTING BY-LAWS, CODES, MUNICIPAL GOVERNMENTS AND JURISDICTIONS HAVING AUTHORITY OVER THIS PROJECT.
  - CONTRACTOR IS TO COMPLY WITH ALL BASE BUILDING WORK REGULATIONS AND PROCEDURES. REFER TO TENANT GUIDELINES AND/OR CO-ORDINATE WITH PROPERTY MANAGER.

- SITE MEETINGS:
- THE GENERAL CONTRACTOR, DURING THE COURSE OF THE WORK, SHALL CO-ORDINATE REGULARLY SCHEDULED SITE MEETINGS.
  - IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO CHAIR, RECORD AND DISTRIBUTE MEETING MINUTES INCLUSIVE OF SCHEDULE UPDATES.

- CO-ORDINATION OF THE WORK:
- IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE CONTRACT DOCUMENTS ARE MADE AVAILABLE TO ALL TRADES IN ORDER TO ENSURE INCLUSION OF ALL ASPECTS OF THE WORK.
  - ALL DRAWINGS AND SPECIFICATIONS MUST BE REVIEWED IN CONJUNCTION WITH ALL OTHER DRAWINGS OF ALL CONSULTANTS INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL ENGINEERING DRAWINGS AND SPECIFICATIONS. EXTRAS FOR MISSED WORK THAT WAS COVERED ON ANY OF THE DRAWINGS EVEN IF NOT COVERED IN ALL OF THE DRAWINGS WILL NOT BE CONSIDERED.
  - ANY CONFLICTS, DISCREPANCIES AND/OR OMISSIONS ARE TO BE REPORTED TO COMLEY VAN BRUSSEL DESIGN AND MANAGEMENT FOR CLARIFICATIONS PRIOR TO PROCEEDING WITH ANY WORK.

- SITE MAINTENANCE, PROTECTION AND CLEANING:
- THE GENERAL CONTRACTOR SHALL PROTECT ALL FINISHED AREAS DURING THE SCOPE OF THE PROJECT. ANY RESULTANT DAMAGE SHALL BE MADE GOOD BY THE GENERAL CONTRACTOR TO THE SATISFACTION OF THE DESIGNER.
  - CONTRACTOR IS TO PROVIDE PROTECTION TO ANY BASE BUILDING ELEMENTS DURING THE SCOPE OF THE PROJECT.
  - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, SAFE STORAGE AND RE-INSTALLATION OF CEILING TILES AS REQUIRED FOR THE SUB-TRADES TO COMPLETE THEIR WORK.
  - ALL DEBRIS SHALL BE REMOVED FROM SITE ON A DAILY BASIS. SITE TO BE LEFT BROOM CLEAN DAILY.
  - CONTRACTOR IS TO INCLUDE FOR ALL NECESSARY AND REQUIRED MEANS TO MAINTAIN A CLEAN WORK SITE AND FOR THE REMOVAL OF DEBRIS AND RUBBISH INCLUDING BUT NOT LIMITED TO GARBAGE CHUTES AND DISPOSAL BINS.
  - EXITS AND POINTS OF EGRESS SHALL BE CLEARLY IDENTIFIED AND MAINTAINED ACCESSIBLE DURING THE PROJECT.

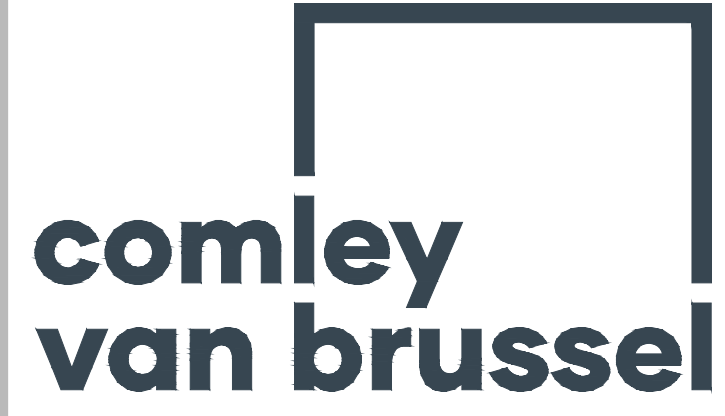
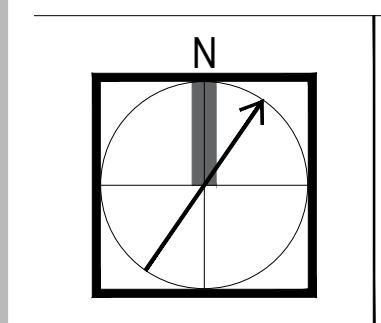
- DEMOLITION AND CONSTRUCTION:
- DESIGNATED MATERIALS (E.G. ASBESTOS): IMMEDIATELY REPORT THE DISCOVERY OF DMS AND STOP WORK IN THE AREA UNTIL THE BUILDING MANAGER OR OWNER AUTHORIZES OTHERWISE. ALL CLEAN UP, REMOVAL AND DISPOSAL OF DMS SHALL CONFORM TO THE ONTARIO MINISTRY OF LABOUR CURRENT REGULATIONS.
  - FIREPROOFING: PATCH AND REPAIR ALL FIREPROOFING DAMAGED DURING THE CONSTRUCTION.

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03	issued for permit + tender	25 July 2024	dly
02	revised as per PRP	23 July 2024	dly
01	issued to PRP for review	21 Jun 2024	dly
no.	issued for	date	by

DO NOT SCALE THIS DRAWING.

CONTRACTOR TO VERIFY ALL MEASUREMENTS ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO PROCEEDING.

ALL DRAWINGS REMAIN THE PROPERTY OF COMLEY VAN BRUSSEL DESIGN. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERCEDED.



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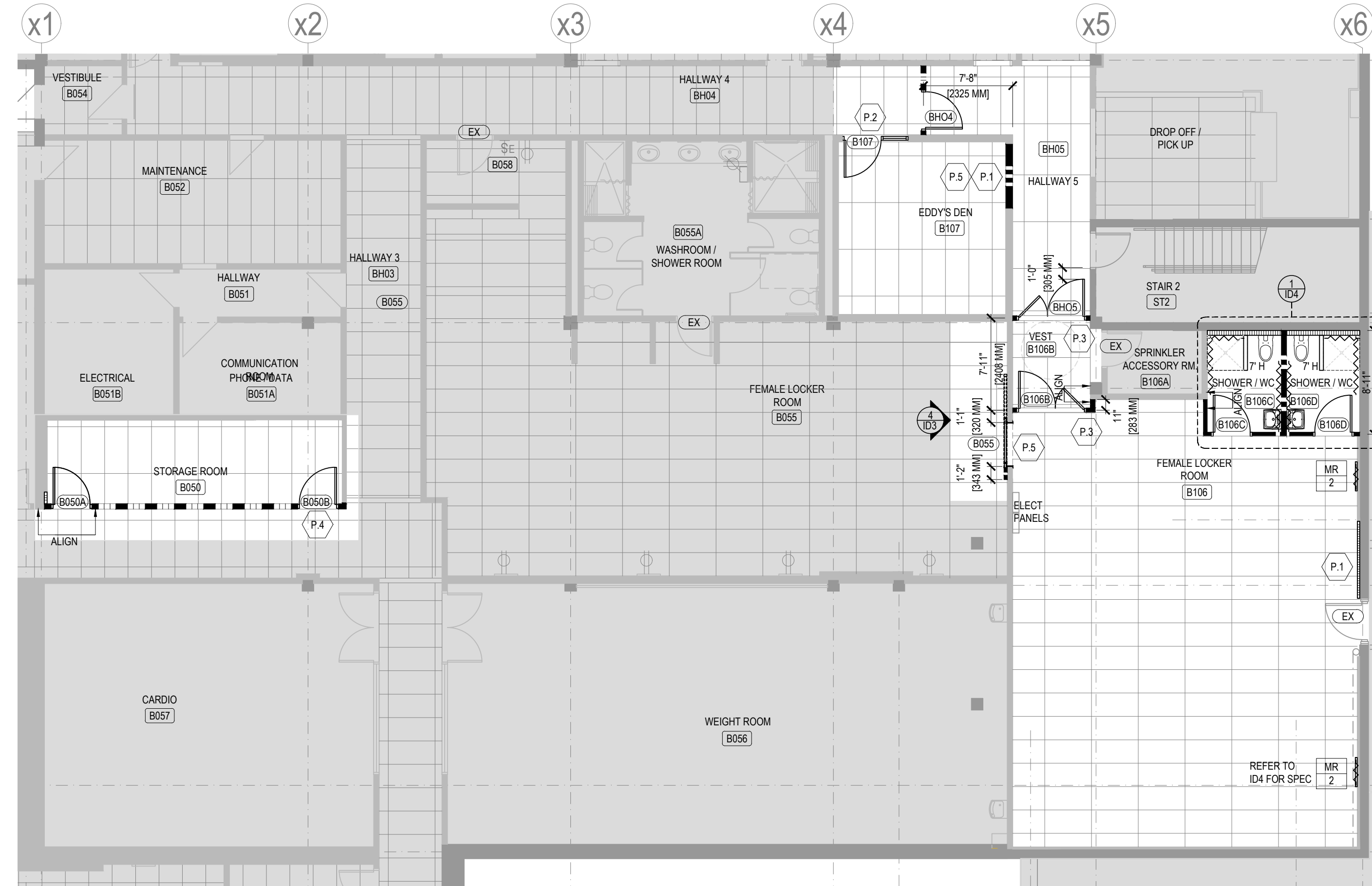
project  
**PEEL REGIONAL POLICE**  
 3030 Erin Mills Parkway  
 Mississauga, ON  
 Basement

title  
**COVER PAGE**

drawn by	dly	reviewed	fh/dly/jc
project no.	24-3538	date	05 May, 2024
sheet no.			

**ID00**





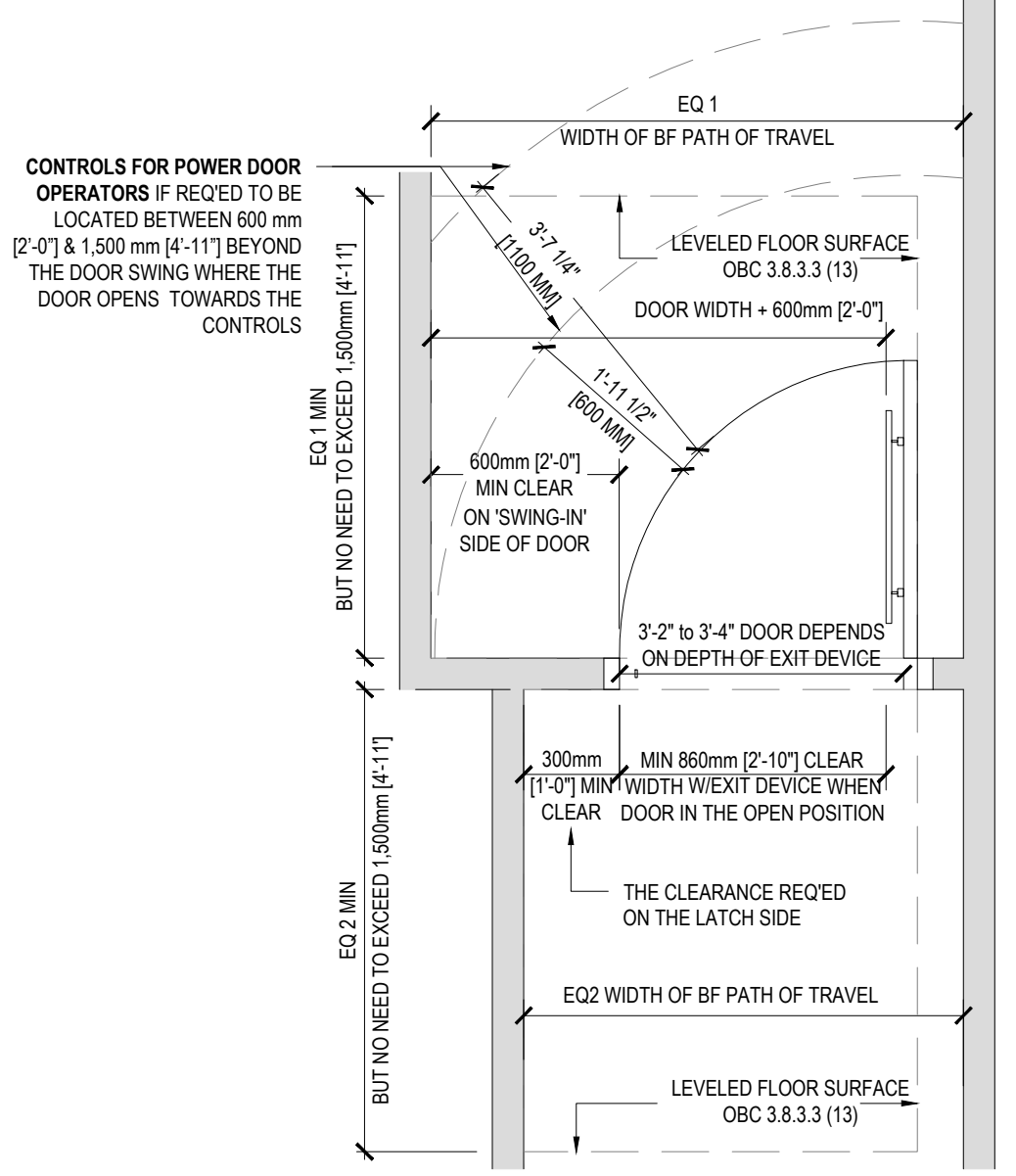
**1 DEMOLITION PLAN**  
ID1 SCALE: 1/8" = 1'-0"

**2 PARTITION PLAN**  
ID1 SCALE: 1/8" = 1'-0"

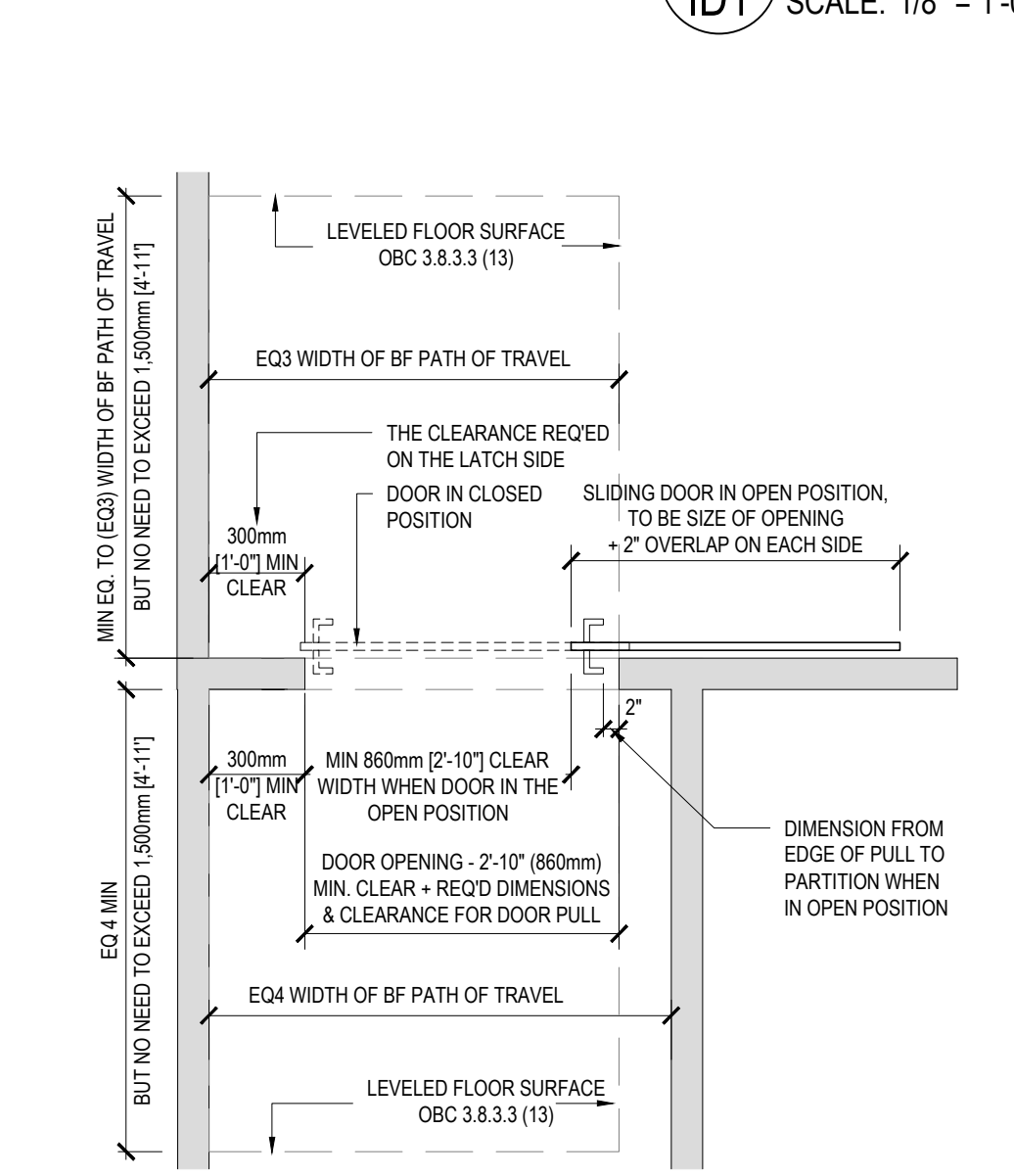
DEMOLITION PLAN LEGEND	
	EXISTING PARTITIONS AND COLUMNS TO REMAIN (PREPARE TO RECEIVE NEW FINISH AS INDICATED ON WALL FINISHES PLAN)
	EXISTING PARTITIONS TO BE DEMOLISHED
	DOOR TO BE REMOVED
	DATA OUTLET TO BE REMOVED
	ELECTRICAL OUTLET TO BE REMOVED
	LIGHTING CONTROLS TO BE REMOVED
	EXISTING SUSPENDED 1'x4' FLUORESCENT LIGHT FIXTURE TO BE REMOVED AND/OR RELOCATED
	EXISTING SUSPENDED LINEAR FIXTURE TO BE REMOVED

DEMOLITION PLAN : NOTES	
1.	THIS DRAWING MUST BE REVIEWED IN CONJUNCTION WITH ALL OTHER DRAWINGS OF ALL CONSULTANTS INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL ENGINEERING DRAWINGS AND SPECIFICATIONS. EXTRAS FOR MISSED WORK THAT WAS COVERED ON ANY OF THE DRAWINGS EVEN IF NOT COVERED IN ALL OF THE DRAWINGS WILL NOT BE CONSIDERED.
2.	ALL DOORS, GLAZED PANELS, FRAMES AND HARDWARE REMOVED.
3.	POWER, COMMUNICATIONS AND LIGHTING ELEMENTS INDICATED FOR REMOVAL ARE TO BE REMOVED PRIOR TO DEMOLITION.
4.	ALL BASE TO BE REMOVED.
5.	REMOVE ALL WALL MOUNTED ITEMS INCLUDING WHITEBOARDS, CORK BOARDS, PICTURE HOOKS, NAILS.

KEY NOTES	
D.1	REMOVE EXISTING DOOR AND FRAME AND TOOTH-IN FOR NEW CONCRETE BLOCK INFILL
D.2	SAWCUT FOR NEW DOOR AND SIDELIGHT OPENING IN EXISTING CONCRETE BLOCK WALL. TOOTH-IN TO MATCH EXISTING ADJACENT. SUPPLY AND INSTALL NEW LINTEL. REFER TO CONSTRUCTION KEY NOTES.
D.3	CONTRACTOR TO CUT EXISTING 1-BAR TO ALLOW FOR NEW SLAB TO SLAB PARTITION.



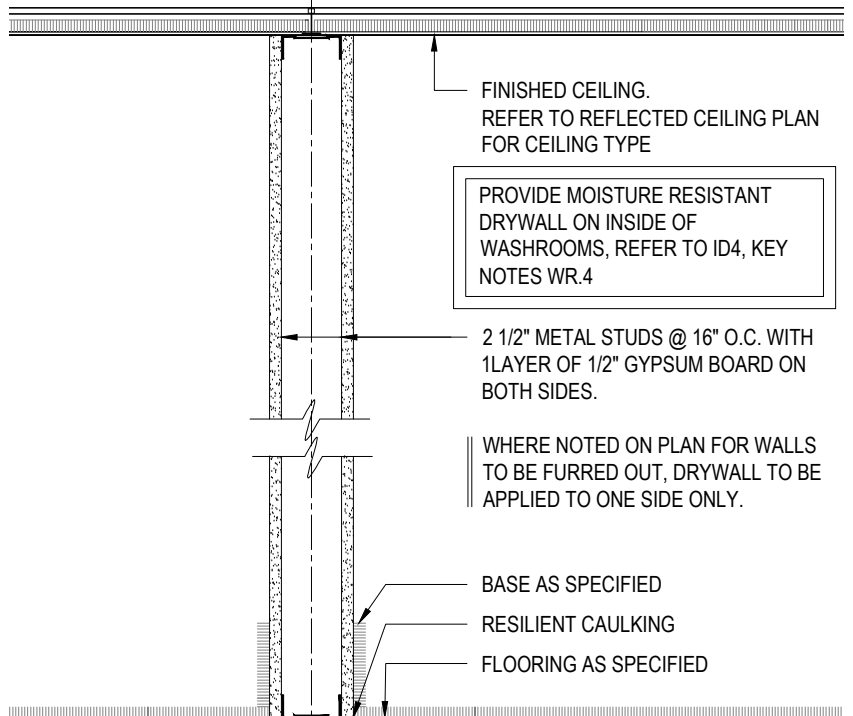
**3 SWING DOOR - REQ'D CLEARANCE**  
ID1 SCALE: 1/2" = 1'-0"



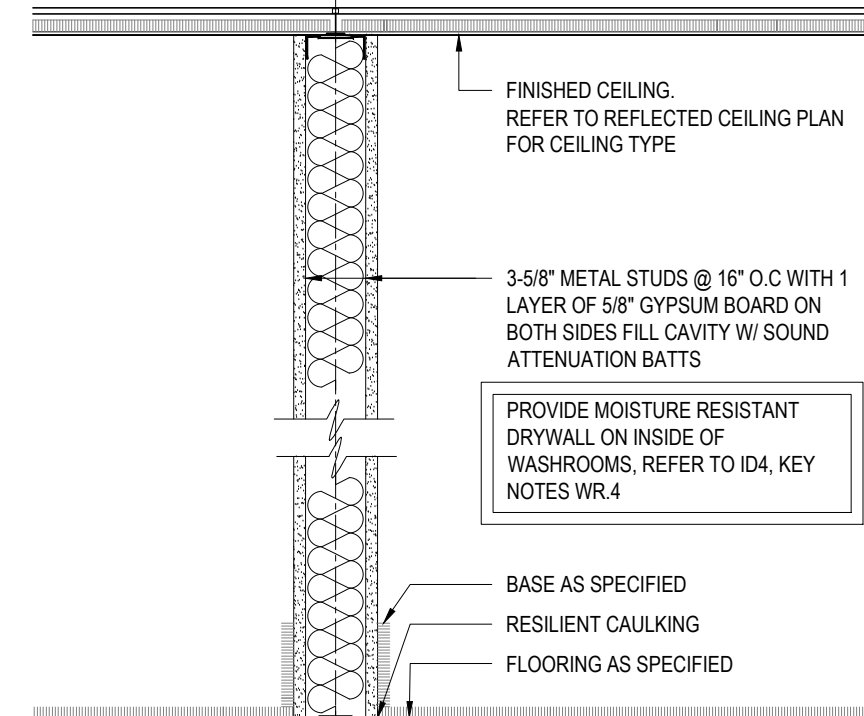
**4 SLIDING DOOR - REQ'D CLEARANCE**  
ID1 SCALE: 1/2" = 1'-0"

CONSTRUCTION PLAN LEGEND	
	EXISTING PARTITIONS AND COLUMNS TO REMAIN (PREPARE TO RECEIVE NEW FINISH AS INDICATED WALL FINISHES PLAN)
	NEW SLIDING BARN DOOR
	DENOTES ROOM NUMBER
	DOOR NUMBER (REFER TO DOOR SCHEDULE FOR DETAILS)
	DETAIL NUMBER SHEET NUMBER
<b>ONLY THE FOLLOWING PARTITION TYPES ARE USED IN THIS PROJECT</b>	
	PARTITION TYPE 1: TO FINISHED CEILING, NO INSULATION REFER TO SID1
	PARTITION TYPE 2: TO FINISHED CEILING C/W SOUND ATTENUATION BATT REFER TO SID1
	PARTITION TYPE 5: SLAB TO SLAB C/W SOUND ATTENUATION BATTS REFER TO 7ID1
	PARTITION TYPE 6: PARTIAL HEIGHT PARTITION, NO INSULATION REFER TO SID1
	PARTITION TYPE 8: FURR-OUT TO FINISHED CEILING, NO INSULATION REFER TO SID1
	PARTITION TYPE 11: TO MATCH ADJACENT PARTITION
	DENOTES BLOCKING AS REQ'D. REFER TO MILLWORK DETAILS, ELEVATIONS & FURNITURE PLAN FOR ADDITIONAL DETAILS

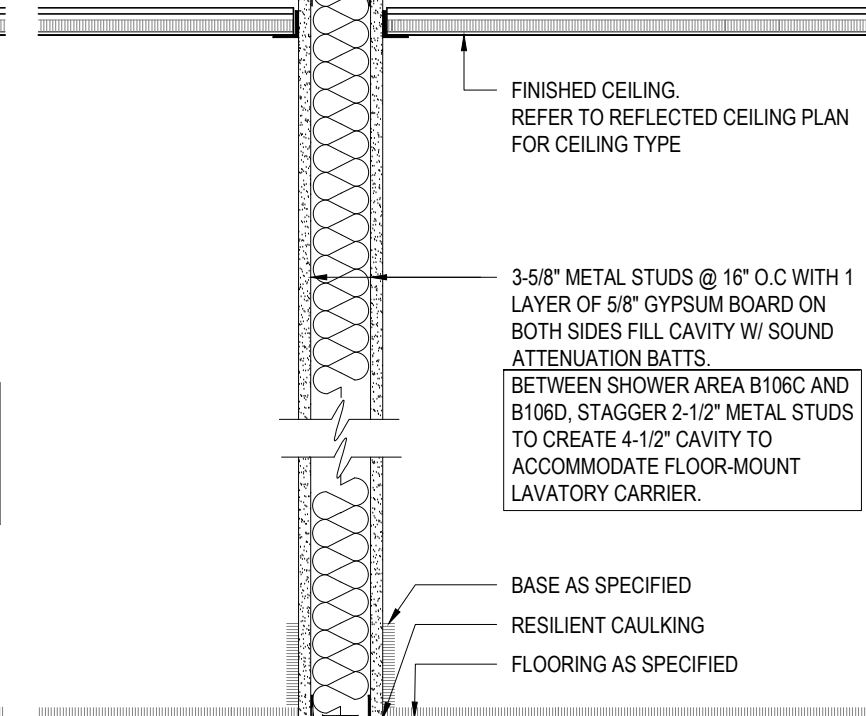
CONSTRUCTION PLAN : NOTES	
1.	THIS DRAWING MUST BE REVIEWED IN CONJUNCTION WITH ALL OTHER DRAWINGS OF ALL CONSULTANTS INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL ENGINEERING DRAWINGS AND SPECIFICATIONS. EXTRAS FOR MISSED WORK THAT WAS COVERED ON ANY OF THE DRAWINGS EVEN IF NOT COVERED IN ALL OF THE DRAWINGS WILL NOT BE CONSIDERED.
2.	LOCATIONS OF REQUIRED ACCESS PANELS ARE TO BE REVIEWED WITH DESIGNER.
3.	ALL DIMENSIONS MEASURED FROM FACE OF EXISTING WALLS AND CENTERS OF NEW WALLS UNLESS NOTED THUS 'CL' AS CLEAR FACE TO FACE. CONTRACTOR TO INFORM DESIGNER OF ANY DISCREPANCIES.
4.	WHERE NEW PARTITIONS ARE FLUSH WITH COLUMN FACE, CONTRACTOR TO INSTALL ONE SHEET DRYWALL/WALLBOARD CONTINUOUS OVER COLUMN FACE.
5.	DRYWALL IS TO BE INSTALLED WITH MAXIMUM 1/2" SPACE AT FLOOR SLAB.
6.	LOCATE ALL DOOR JAMBS 4" FROM CORNER WALL, UNLESS NOTED OTHERWISE.
7.	WHERE NEW PARTITIONS MEET EXISTING CONTRACTOR TO MATCH THICKNESS OF EXISTING.
8.	PROVIDE APPROPRIATE FIRE-TREATED OR NON-COMBUSTIBLE BLOCKING WITHIN PARTITIONS WHERE APPARENT LOADS ARE PRESENT. THIS INCLUDES BUT IS NOT LIMITED TO DOORS AND FRAMES, SHELVING AND MILLWORK, HANGING RODS, TRACK HARDWARE, GRAB BARS AND OTHER ACCESSORIES
9.	CONTRACTOR TO PROVIDE BLOCKING IN EXISTING WALLS FOR NEW MILLWORK. PATCH AND REPAIR DRYWALL AS REQUIRED AND MAKE READY FOR NEW PAINT FINISH.
10.	REFER TO FURNITURE PLAN TO COORDINATE LOCATION OF BLOCKING TO SUPPORT ALL WALL MOUNTED FURNISHINGS PROVIDED BY OTHERS.
11.	CONTRACTOR TO MAKE GOOD ALL FLOORS, BASES, WALLS, COLUMNS AND CEILING SUITABLE TO ACCEPT NEW FINISHES OR MATERIALS.
12.	ALL WALL SCARS TO BE REPAIRED, WALLS TO BE SMOOTH AND READY TO RECEIVE SPECIFIED FINISH
13.	EXISTING PARTITIONS, DRYWALL BULKHEADS, CONVICTORS, COLUMNS, DOORS AND FRAMES, TO BE SANDED, PATCHED AND REPAIRED PRIOR TO APPLICATION OF NEW FINISHES.
14.	ALL WOOD SOLIDS AND VENEERS TO BE FIRE TREATED AS NECESSARY TO MEET BUILDING CODE REQUIREMENTS.
15.	CONTRACTOR TO ALLOW FOR ADDITIONAL METAL STUD IF REQUIRED TO MAINTAIN DIMENSION FOR POWER AND COMMUNICATION. REFER TO POWER AND COMMUNICATION PLAN FOR LOCATIONS.
16.	HOARDING SCREEN SHALL BE ERECTED WITH MINIMAL NOISE, DUST AND INCONVENIENCE TO ADJUST OCCUPIED AREAS AT FLOOR PLATE.
17.	HOARDING SCREEN SHALL BE REMOVED AND ANY AND ALL DAMAGED OR BLEMISHED ADJOINING WORK SHALL BE MADE GOOD.



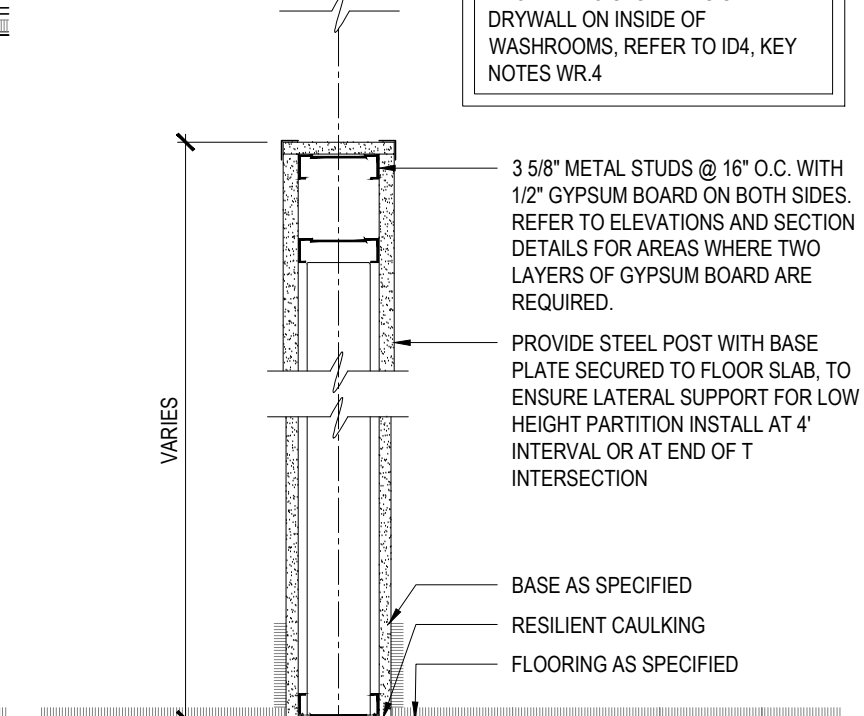
**5 PARTITION TYPE 1**  
ID1 SCALE: 1 1/2" = 1'-0"



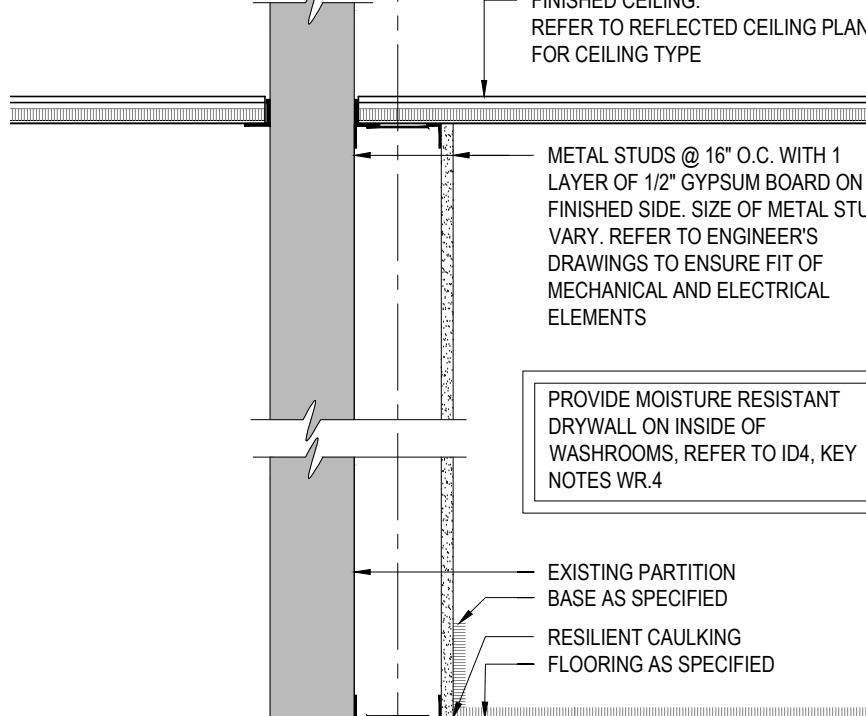
**6 PARTITION TYPE 2**  
ID1 SCALE: 1 1/2" = 1'-0"



**7 PARTITION TYPE 5**  
ID1 SCALE: 1 1/2" = 1'-0"



**8 PARTITION TYPE 6**  
ID1 SCALE: 1 1/2" = 1'-0"

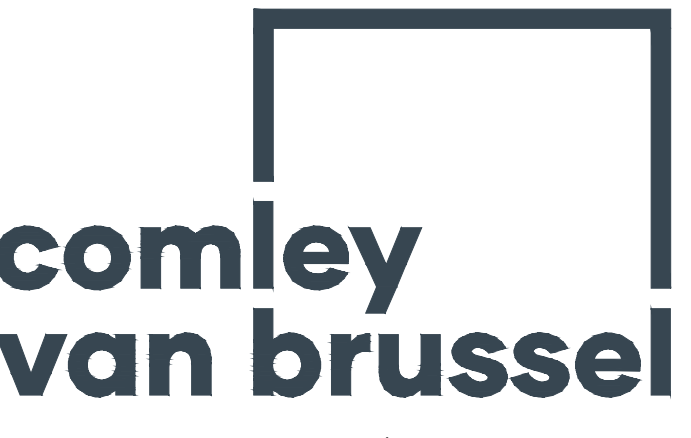
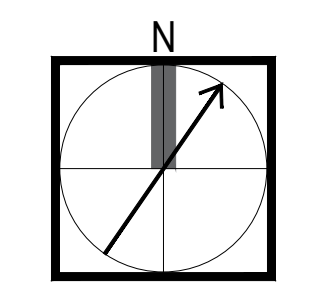


**9 PARTITION TYPE 8**  
ID1 SCALE: 1 1/2" = 1'-0"

KEY NOTES	
P.1	INFILL OPENING WITH CONCRETE BLOCK; SPEC TO MATCH EXISTING, (17'-2 1/2" x 15'-2 1/2" x 5'-2 1/2" BLOCK WALL). TOOTH-IN TO MATCH EXISTING ADJACENT. ALIGN FACE OF WALL W/ ADJACENT. SITE VERIFICATION REQUIRED
P.2	SUPPLY AND INSTALL LINTEL AT NEW MASONRY OPENING FOR NEW DOOR AND SIDELIGHT (21.88x26x7.5 (IBC Table 9.20.5.2a)), ANGLES TO BEAR ON MASONRY MIN. 6" BOTH SIDES OF OPENING
P.3	PARTITION TYPE 5
P.4	CONTRACTOR TO CUT 3' WIDE OPENING ABOVE DOOR TO ALLOW FOR FIRE ALARM SOUND TO TRANSFER INTO THE ROOM
P.5	CONTRACTOR TO SALVAGE BLOCK WALL FOR REINSTALLATION FOR INFILL IN ROOM B107

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05	issued for permit + tender	25 July 2024	dly
04	revised as per PRP	23 July 2024	dly
03	Engineer coordination	25 Jun 2024	th
02	issued to PRP for review	21 Jun 2024	dly
01	issued to PRP for review	31 May 2024	dly
no.	issued for	date	by

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telephone: 416.621.7745 | email: design@comleyvanbrussel.com

Project  
**PEEL REGIONAL POLICE**  
3030 Erin Mills Parkway  
Mississauga, ON  
Basement

title  
**DEMOLITION & PARTITION PLANS**  
1/8" = 1'-0"  
drawn by **dly** reviewed **fh/dly/jc**  
project no. **24-3538** date **05 May, 2024**  
sheet no.

**ID1**





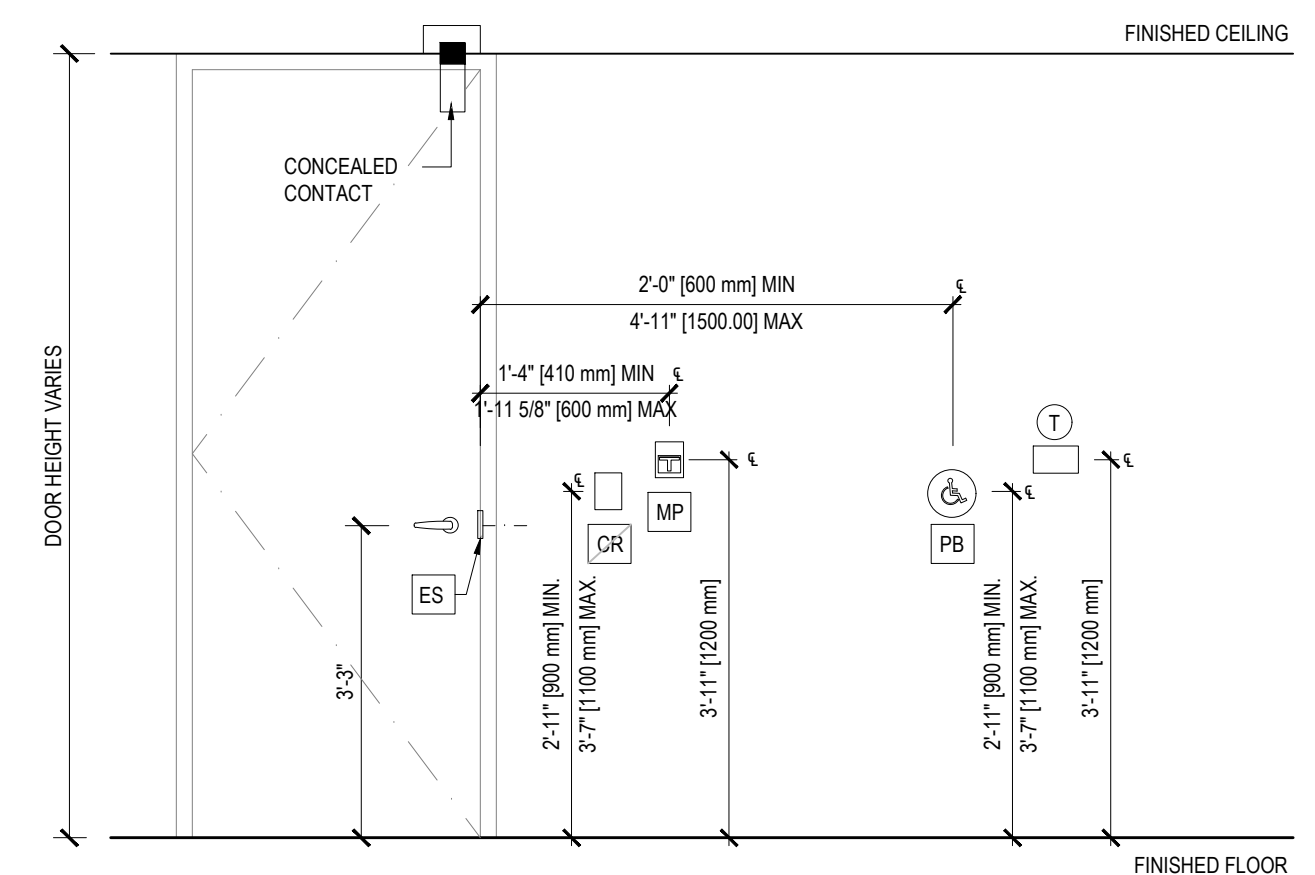
**1 POWER & COMMUNICATIONS PLAN**  
 ID2 SCALE: 1/8" = 1'-0"

**2 REFLECTED CEILING PLAN**  
 ID2 SCALE: 1/8" = 1'-0"

POWER & COMMUNICATIONS LEGEND	
R	DENOTES EXISTING TO BE REMOVED AND DISPOSED OF OR RELOCATED
E	DENOTES EXISTING TO REMAIN
C	DENOTES EXISTING TO BE CAPPED
⊕	DENOTES STANDARD DUPLEX ELECTRICAL RECEPTACLE, WALL MOUNTED @ 12" A.F.F.
⊕	DENOTES DUPLEX ELECTRICAL, WALL MOUNTED @ SPECIFIED NON-STANDARD HEIGHT
⚡	DENOTES VOICE/DATA OUTLET, WALL MOUNTED @ 12" A.F.F. UNLESS NOTED OTHERWISE. STANDARD 1 VOICE AND 1 DATA UNLESS NOTED OTHERWISE. THIS #/I#D
S	SINGLE SWITCH TO BE WALL MOUNTED TO MATCH EXISTING HEIGHT, UNLESS NOTED OTHERWISE. 'M' DENOTES MASTER, '3' DENOTES 3-WAY, 'MS' DENOTES MOTORIZED SCREEN, 'MB' DENOTES MOTORIZED BLINDS
ADO	NEW AUTOMATIC DOOR OPERATORS TO BE SUPPLIED AND INSTALLED BY THIS CONTRACTOR. REFER TO ENGINEER'S DRAWINGS FOR CONDUIT LOCATION. REFER TO DOOR SCHEDULE IDS NOTE 8. REFER TO O.B.C. 3.8.3.3. (17)
SECURITY LEGEND	
ES	DENOTES ELECTRIC STRIKE
CR	DENOTES CARD READER

POWER & COMMUNICATIONS : NOTES	
1.	THIS DRAWING MUST BE REVIEWED IN CONJUNCTION WITH ALL OTHER DRAWINGS OF ALL CONSULTANTS INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL ENGINEERING DRAWINGS AND SPECIFICATIONS. EXTRAS FOR MISSED WORK THAT WAS COVERED ON ANY OF THE DRAWINGS EVEN IF NOT COVERED IN ALL OF THE DRAWINGS WILL NOT BE CONSIDERED.
2.	THIS DRAWING SHALL TAKE PRECEDENCE FOR LOCATION, ENGINEERING DRAWINGS TO TAKE PRECEDENCE FOR CIRCUITRY AND LIFE SAFETY CONSIDERATIONS.
3.	ANY CORING, DRILLING OR CHASING OF SLABS IS TO BE DONE IN ACCORDANCE WITH THE LANDLORDS CRITERIA AND AUTHORIZATION.
4.	INACTIVE DEVICES: REMOVE ALL BLANK PLATED DEVICES C/W, BOXES/CONDUIT AND WIRING IN LOCATIONS NOT TO BE REACTIVATED. PATCH AND REPAIR RESULTANT DAMAGE AS REQUIRED TO ACCEPT NEW FINISHES.
5.	ENSURE ALL 'EXISTING TO REMAIN' OUTLETS, WITHIN THE AREA OF WORK, ARE OPERATIONAL. CONFIRM CIRCUITRY AND REPAIR OR REPLACE AS REQUIRED.
6.	ALL 'EXISTING TO REMAIN' OUTLETS REQUIRE ALL EXISTING OUTLETS NOT SHOWN ARE TO REMAIN AS IS.
7.	ALL DIMENSIONS ARE TO THE CENTER OF THE RECEPTACLE, OR CENTER OF GANGED RECEPTACLES. ADJACENT OUTLETS TO BE GANGED C/W COMMON COVER PLATE.
8.	WHERE OUTLETS OCCUR BACK TO BACK, STAGGER AND PACK WITH INSULATION TO PREVENT SOUND TRANSFER.
9.	ADJACENT OUTLETS TO BE GANGED W/ COMMON COVER PLATE.
10.	ALL NEW POWER AND COMMUNICATIONS DEVICES AND FACE PLATES TO BE MATCH EXISTING
11.	LOCATION MAY VARY 10'-0" ± IN ANY DIRECTION NOT AFFECTING CONTRACT PRICE.
<b>COMMUNICATIONS:</b>	
1.	ALL DATA AND TELEPHONE REQUIREMENTS SHALL BE COORDINATED THROUGH THE CLIENT CONTACT: ANDREW COBER, 1-289-541-8829
2.	ELECTRICAL TRADE IS RESPONSIBLE FOR THE SUPPLY AND INSTALLATION OF ALL BOXES, CONDUITS AND PULL STRINGS FOR VOICE AND DATA.
3.	CABLING CONTRACTOR IS RESPONSIBLE FOR THE SUPPLY AND INSTALL OF CABLING, JACKS AND FACE PLATES.
4.	CABLING CONTRACTOR IS TO INCLUDE FOR THE TERMINATION OF ALL COMMUNICATIONS CABLING AT BOTH ENDS COMPLETE INCLUDING TESTING AND VERIFICATION.
5.	CAT 6 PLENUM RATED CABLING, 1 DROPS PER LOCATION UNLESS OTHERWISE NOTED
6.	PULL QTY. OF CABLES AS SHOWN ON PLAN
7.	LABEL ALL CABLES AND OUTLETS
8.	CABLES TO BE JACKED AT OUTLET, PUNCHED DOWN AT PANEL AND CERTIFIED
9.	RUN CABLE BUNDLES IN CEILING SUSPENDED ON L-HOOKS
10.	ALL COMMUNICATIONS CABLING TO TERMINATE IN ROOM B051A. REFER TO ENGINEER'S DRAWINGS FOR EQUIPMENT SPECIFICATIONS.
<b>SECURITY:</b>	
1.	ELECTRICAL TRADE IS TO INCLUDE ALL ROUGH INS, CONDUIT, DEVICES BOXES AND LINE VOLTAGE WIRING AS REQUIRED FOR SECURITY SYSTEM
2.	SECURITY VENDOR IS TO SUPPLY AND INSTALL ALL SECURITY DEVICES INCLUSIVE OF LOW-VOLTAGE WIRING AND REQUIRED PROGRAMMING AS NEEDED TO RENDER A COMPLETE AND OPERABLE SYSTEM

CONTROLS LEGEND	
T	DENOTES NEW THERMOSTATS SHALL BE MOUNTED WITH THEIR CENTRELINE 1,200 mm [3'-11"] ABOVE THE FINISHED FLOOR LEVEL AND SHALL BE LOCATED SO AS TO BE ADJACENT TO AND CENTRED ON EITHER THE LENGTH OR WIDTH OF A CLEAR FLOOR SPACE OF 810 mm by 1,370 mm [2'-8" x 4'-6"]
MP	DENOTES NEW MANUAL PULL STATIONS FOR THE FIRE ALARM SYSTEM SHALL BE MOUNTED ON THE DOOR NOT LESS THAN 410 mm [1'-4"] AND NOT MORE THAN 600 mm [1'-11 5/8"] FROM THE DOOR WITH THEIR CENTRELINE 1,200 mm [3'-11"] ABOVE THE FINISHED FLOOR LEVEL. NEW MANUAL PULL STATIONS SHALL BE LOCATED SO AS TO BE ADJACENT TO AND CENTRED ON THE WIDTH OF A CLEAR FLOOR SPACE OF 810 mm by 1,370 mm [2'-8" x 4'-6"]. THE SIGN TO BE INSTALLED ON THE DOOR AS PER 3.4.6.17. (4) REQUIREMENTS.
PB	DENOTES NEW CONTROLS FOR POWER DOOR OPERATORS SHALL BE MOUNTED WITH THEIR CENTRELINE NOT LESS THAN 900 mm [2'-11"] AND NOT MORE THAN 1,100 mm [3'-7"] ABOVE THE FINISHED FLOOR LEVEL AND BE LOCATED BETWEEN 600 mm [2'-0"] AND 1,500 mm [4'-11"] BEYOND THE DOOR SWING WHERE THE DOOR OPENS TOWARDS THE CONTROLS PER OBC 3.8.3.3.(18)
ES	DENOTES ELECTRIC STRIKE
CR	DENOTES NEW CARD READER SHALL BE MOUNTED NOT LESS THAN 900 mm [2'-11"] AND NOT MORE THAN 1,100 mm [3'-7"] ABOVE THE FINISHED FLOOR LEVEL.
CONTROLS NOTES	
ALL NEW OTHER WALL MOUNTED CONTROLS NOT LISTED ABOVE SHALL BE MOUNTED NOT LESS THAN 900 mm [2'-11"] AND NOT MORE THAN 1,100 mm [3'-7"] ABOVE THE FINISHED FLOOR LEVEL. WHEN CONTROLS EXIST, NEW CONTROLS TO MATCH THE MOUNTING HEIGHT OF EXISTING CONTROLS WITHOUT COMPRISING OBC 3.8.1.5 REQUIREMENTS.	
CONTROLS FOR THE OPERATION OF BUILDING SERVICES AND/OR SAFETY DEVICES (INCL. ELECTRICAL SWITCHES, THERMOSTATS, INTERCOM SWITCHES) INTENDED TO BE OPERATED BY THE OCCUPANT SHALL BE LOCATED TO BE ADJACENT TO AND CENTERED ON A CLEAR FLOOR SPACE OF 810 mm by 1,370 mm [2'-8" x 4'-6"]	
REFER TO ENGINEER'S DRAWINGS FOR LIFE SAFETY SYSTEMS AND LOCATIONS OF ALL NECESSARY DEVICES, AS WELL AS FOR ALL FIXTURE, SWITCH, AND COVER-PLATE SPECIFICATIONS.	
ANY DISCREPANCIES BETWEEN DESIGN AND ENGINEERING DRAWINGS TO BE REPORTED TO THE CONSULTANTS IMMEDIATELY.	



**3 CONTROL ELEVATION - FOR REFERENCE ONLY**  
 ID2 SCALE: 1/2" = 1'-0"

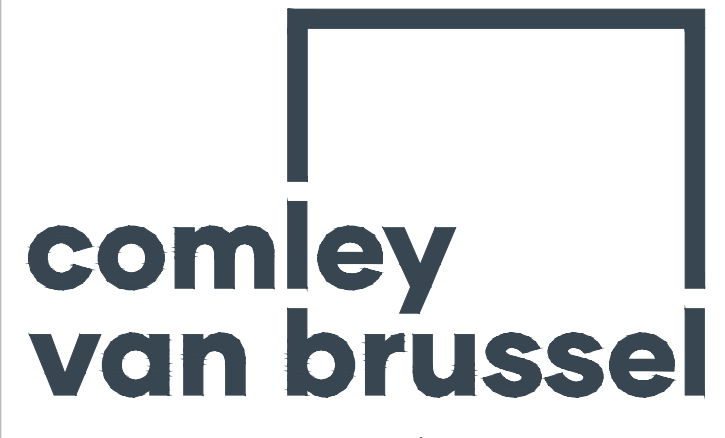
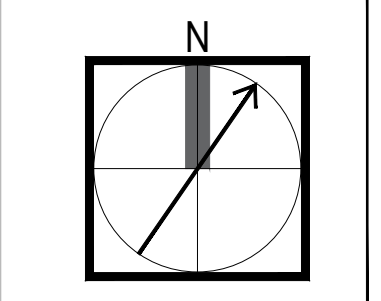
REFLECTED CEILING PLAN LEGEND	
R	DENOTES EXISTING TO BE REMOVED AND DISPOSED OF OR RELOCATED
E	DENOTES EXISTING TO REMAIN
	EXISTING BUILDING STANDARD (2x4) T-BAR CEILING GRID
	EXISTING BUILDING STANDARD (2x4) T-BAR CEILING GRID TO BE RECYCLED WITH VIKING RECYCLING
	NEW (2x4) T-BAR CEILING GRID TO MATCH BASE BUILDING STANDARD
	EXISTING DRYWALL CEILING TO REMAIN
	NEW DRYWALL BULKHEAD/CEILING
	EXISTING BASE BUILDING STANDARD 1'x4' LED LIGHT FIXTURE TO REMAIN
	EXISTING BASE BUILDING STANDARD 1'x4' LED LIGHT FIXTURE TO BE REMOVED AND DISPOSED OF OR RELOCATED
	NEW AND/OR RELOCATED 1'x4' LED LIGHT FIXTURE TO MATCH BASE BUILDING STANDARD
	NEW AND/OR RELOCATED RECESSED POT LIGHT TO MATCH EXISTING
	EXISTING SUSPENDED LINEAR FIXTURE TO BE REMOVED
	SINGLE SWITCH TO BE WALL MOUNTED TO MATCH EXISTING HEIGHT, UNLESS NOTED OTHERWISE. 'M' DENOTES MASTER, '3' DENOTES 3-WAY, 'MS' DENOTES MOTORIZED SCREEN, 'MB' DENOTES MOTORIZED BLINDS
X-X'	DENOTES CEILING HEIGHT

REFLECTED CEILING : NOTES	
1.	THIS DRAWING MUST BE REVIEWED IN CONJUNCTION WITH ALL OTHER DRAWINGS OF ALL CONSULTANTS INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL ENGINEERING DRAWINGS AND SPECIFICATIONS. EXTRAS FOR MISSED WORK THAT WAS COVERED ON ANY OF THE DRAWINGS EVEN IF NOT COVERED IN ALL OF THE DRAWINGS WILL NOT BE CONSIDERED.
2.	THIS DRAWING SHALL TAKE PRECEDENCE FOR LOCATION, ENGINEERING DRAWINGS TO TAKE PRECEDENCE FOR CIRCUITRY AND LIFE SAFETY CONSIDERATIONS.
3.	WHERE EXISTING PARTITIONS ARE REMOVED, PATCH AND REPAIR ALL ADJACENT CEILING GRIDS WITH FULL CROSS TEES - FILL-IN PIECES NOT ACCEPTED. MAIN TEES TO BE REPAIRED WITH MIN. 4" SECTIONS.
4.	PROVIDE MODIFICATIONS TO CEILING GRID, INCLUDING THE PROVISION OF ADDITIONAL SUPPORTS, AS REQUIRED FOR THE INSTALLATION OF REQUIRED EQUIPMENT AND DEVICES.
5.	TURN ALL INTERMEDIATE T'S AND CUTTINGS OF THE CEILING GRID AS REQUIRED FOR NEW LAYOUT.
6.	REMOVE AND RE-INSTALL CEILING TILES AS MAY BE REQUIRED TO ALLOW ACCESS FOR ALL TRADES. INCLUDE FOR CUTTING OF CEILING TILES.
7.	CUT EXISTING DRYWALL CEILINGS FOR TRADE ACCESS, PATCH AND REPAIR AS REQUIRED.
8.	PROVIDE ADEQUATE NON-COMBUSTIBLE HANGERS AND BLOCKING ABOVE THE CEILING TO SUPPORT ALL ITEMS FORMING PART OF THIS PROJECT SCOPE OF WORK.
9.	REPLACE ANY DAMAGED OR SOILED CEILING TILES INCLUDING TILES DAMAGED DUE TO PREVIOUS CONSTRUCTION WITH NEW TO MATCH EXISTING AT JOB COMPLETION.
10.	GENERAL CONTRACTOR TO ALLOW FOR 20% OF CEILING TILES TO BE REPLACED.
11.	EXISTING LIGHT FIXTURES TO BE CLEANED AND RE-LAMPED AS REQUIRED.
12.	RECESSED FIXTURES LOCATED IN CEILING TILE ARE TO BE CENTERED ON TILE UNLESS DIMENSIONED OTHERWISE.
13.	LAYOUT ON THE FLOOR ALL DRYWALL BULKHEADS AND FEATURE ELEMENTS INCLUSIVE OF LIGHT FIXTURES, ACCESS PANELS, SPRINKLERS ETC. FOR THE APPROVAL OF THE DESIGNER, PRIOR TO THE CONSTRUCTION. PROVIDE 24 HOURS NOTICE TO DESIGNER.
14.	LAYOUT ON THE FLOOR ALL LOCATIONS OF RECESSED DOWNLIGHTS, TRACK LIGHTING AND PENDANTS FOR THE APPROVAL OF THE DESIGNER, PRIOR TO THE CONSTRUCTION. PROVIDE 24 HOURS NOTICE TO DESIGNER.
15.	ALL FRAMING IN CEILING PLENUM, VISIBLE THROUGH AIR SLOTS OR RETURN AIR GRILLES, ARE TO BE PAINTED FLAT BLACK.
16.	LOCATION OF THERMOSTATS ARE TO BE REVIEWED BY DESIGNER PRIOR TO INSTALLATION.
17.	THE HVAC SYSTEM IS TO BE BALANCED UPON COMPLETION OF CONSTRUCTION.
18.	ALL SWITCHES ARE TO BE GANGED TOGETHER WHEREVER POSSIBLE.
19.	REUSE EXISTING DIMMER AND LIGHT SWITCHES FROM DEMOLITION UNLESS OTHERWISE NOTED.
20.	SWITCH HEIGHTS TO BE 39" TO CENTRELINE ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
21.	ALL NEW SWITCH PLATES TO MATCH EXISTING.
22.	CONTRACTOR TO ALLOW FOR PAINT GRADE METAL ACCESS PANELS IN DRYWALL CEILINGS AS REQUIRED. REVIEW ALL LOCATIONS WITH DESIGNER ON SITE PRIOR TO INSTALL.

KEY NOTES	
RC.1	NEW CEILING GRID TO BE CENTRED IN ROOM
RC.2	CONTRACTOR TO CUT EXISTING T-BAR TO ACCEPT NEW SLAB TO SLAB PARTITION, REPAIR T-BAR AND PROVIDE NEW CEILING TILES

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05	issued for permit + tender	25 July 2024	dly
04	revised as per PRP	23 Jun 2024	dly
03	Engineer coordination	25 Jun 2024	th
02	issued to PRP for review	21 Jun 2024	dly
01	issued to PRP for review	31 May 2024	dly
no.	issued for	date	by
ISSUE / REVISION			

DO NOT SCALE THIS DRAWING.  
 CONTRACTOR TO VERIFY ALL MEASUREMENTS ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO PROCEEDING.  
 ALL DRAWINGS REMAIN THE PROPERTY OF COMLEY VAN BRUSSEL DESIGN. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERCEDED.



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Project  
 PEEL REGIONAL POLICE  
 3030 Erin Mills Parkway  
 Mississauga, ON  
 Basement

title  
 P&C AND RCP PLANS  
 1/8" = 1'-0"

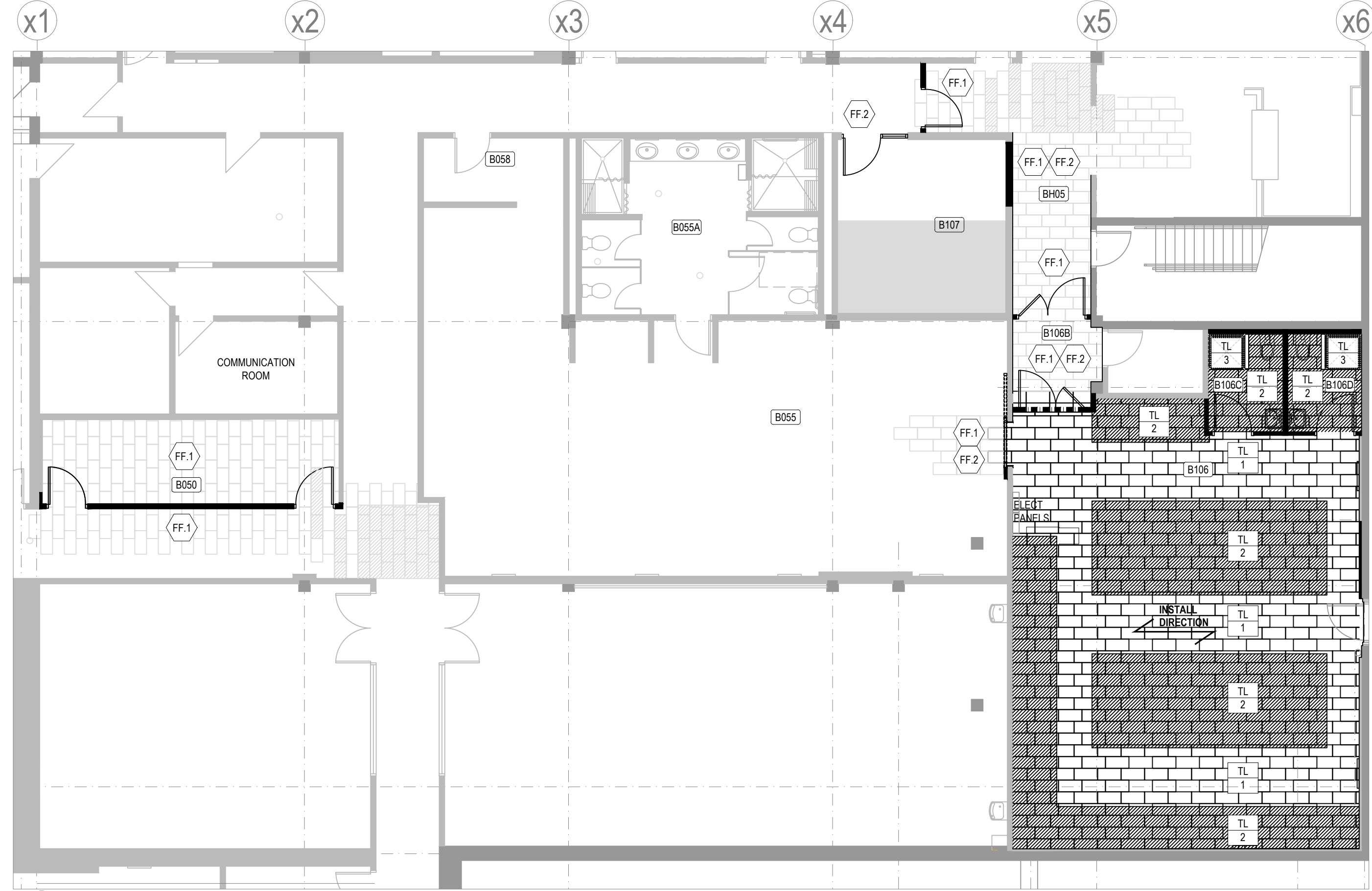
drawn by **dly** reviewed **fh/dly/jc**  
 project no. **24-3538** date **05 May, 2024**  
 sheet no.

**ID2**





**1 WALL FINISHES PLAN**  
ID3 SCALE: 1/8" = 1'-0"



**2 FLOOR FINISHES PLAN**  
ID3 SCALE: 1/8" = 1'-0"

WALL FINISHES PLAN LEGEND	
<b>PT 1</b>	PAINT 1 MANUFACTURER: SHERWIN WILLIAMS COLOUR: # SW 7647 CRUSHED ICE FINISH: EGGSHELL APPLICATION: GENERAL
<b>PT 2</b>	PAINT 2 MANUFACTURER: SHERWIN WILLIAMS COLOUR: # SW 7647 CRASHED ICE FINISH: SEMI-GLOSS APPLICATION: DOORS
<b>PT 3</b>	PAINT 3 MANUFACTURER: SHERWIN WILLIAMS COLOUR: # SW 7017 DORIAN GRAY FINISH: SEMI-GLOSS APPLICATION: FRAMES
<b>PT 4</b>	PAINT 4 MANUFACTURER: SHERWIN WILLIAMS COLOUR: # SW 7005 PURE WHITE FINISH: FLAT APPLICATION: DRYWALL CEILING
<b>WF 1</b>	WALL TILE 1 MANUFACTURER: ROYAL MOSA PATTERN: MURAL BLENDS 12"x24" COLOUR: STACK ALTERNATE ROWS WITH MATTE (31010 BRIGHT WHITE STONE MATTE) AND GLOSS TILES (31510 BRIGHT WHITE PLAIN GLOSS); START WITH MATTE ROW FROM TOP OF WALL BASE GROUT: LATICRETE 44 BRIGHT WHITE
<b>WF 2</b>	WALL TILE 2 MANUFACTURER: OLYMPIA TILE PATTERN: QUEBEC UNGLAZED 2"x2" COLOUR: GRAPHITE GROUT: LATICRETE 45 RAVEN

WALL FINISHES PLAN : NOTES	
1.	THIS DRAWING MUST BE REVIEWED IN CONJUNCTION WITH ALL OTHER DRAWINGS OF ALL CONSULTANTS INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL ENGINEERING DRAWINGS AND SPECIFICATIONS. EXTRAS FOR MISSED WORK THAT WAS COVERED ON ANY OF THE DRAWINGS EVEN IF NOT COVERED IN ALL OF THE DRAWINGS WILL NOT BE CONSIDERED.
2.	ALL FINISHES ARE TO BE HANDLED AND APPLIED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.
3.	ALL PAINTS AND PRIMER TO MEET LEED STANDARDS. TOP COAT PAINTS TO MEET GREEN SEAL STANDARDS - GS-11. NON-FLAT PAINT 150 VOC LIMIT (GL). FLAT PAINT 50 VOC LIMIT (GL). PRIMER AND UNDERCOATS TO MEET SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE #113. CONTRACTOR TO PROVIDE DATA SHEET FOR PAINT PRODUCTS TO SHOW PRODUCT MEETS LEED STANDARDS - MUST SUBMIT DATA FOR DESIGNER TO SIGN-OFF.
4.	CONTRACTOR TO SUPPLY AND PAINT DRAW DOWNS FOR DESIGNER APPROVAL PRIOR TO APPLICATION.
5.	EXISTING PARTITION AND BASE BUILDING ELEMENTS: INCLUDE TO PATCH SKIM AS NEEDED TO RECEIVE NEW FINISH. PRIME ONE (1) COAT BASE PRIMER TO ALL SURFACE PRIOR TO INSTALLATION OF FINISHES.
6.	EXISTING PARTITION AND BASE BUILDING ELEMENTS PAINTED IN DARK COLOURS ARE TO RECEIVE MIN. THREE (3) COATS ACRYLIC LATEX FINISH. ALL OTHER COLOURS TO RECEIVE (2) COATS ACRYLIC LATEX FINISH.
7.	NEW SURFACES TO BE PAINTED WITH A LIGHT OR MEDIUM BASE TINT: PRIME ONE (1) COAT PRIMER AND TWO (2) COATS ACRYLIC LATEX FINISH.
8.	ALL EXISTING PAINT GRADE DOORS TO BE PRIMED AND PAINTED PT-2 (SEMI-GLOSS). ALL EXISTING HOLLOW METAL FRAMES TO BE PRIMED AND PAINTED PT-3 (SEMI-GLOSS).
9.	ALL NEW PAINT GRADE DOORS TO BE PRIMED AND PAINTED PT-2 (SEMI-GLOSS). ALL NEW HOLLOW METAL FRAMES TO BE PRIMED AND PAINTED PT-3 (SEMI-GLOSS).

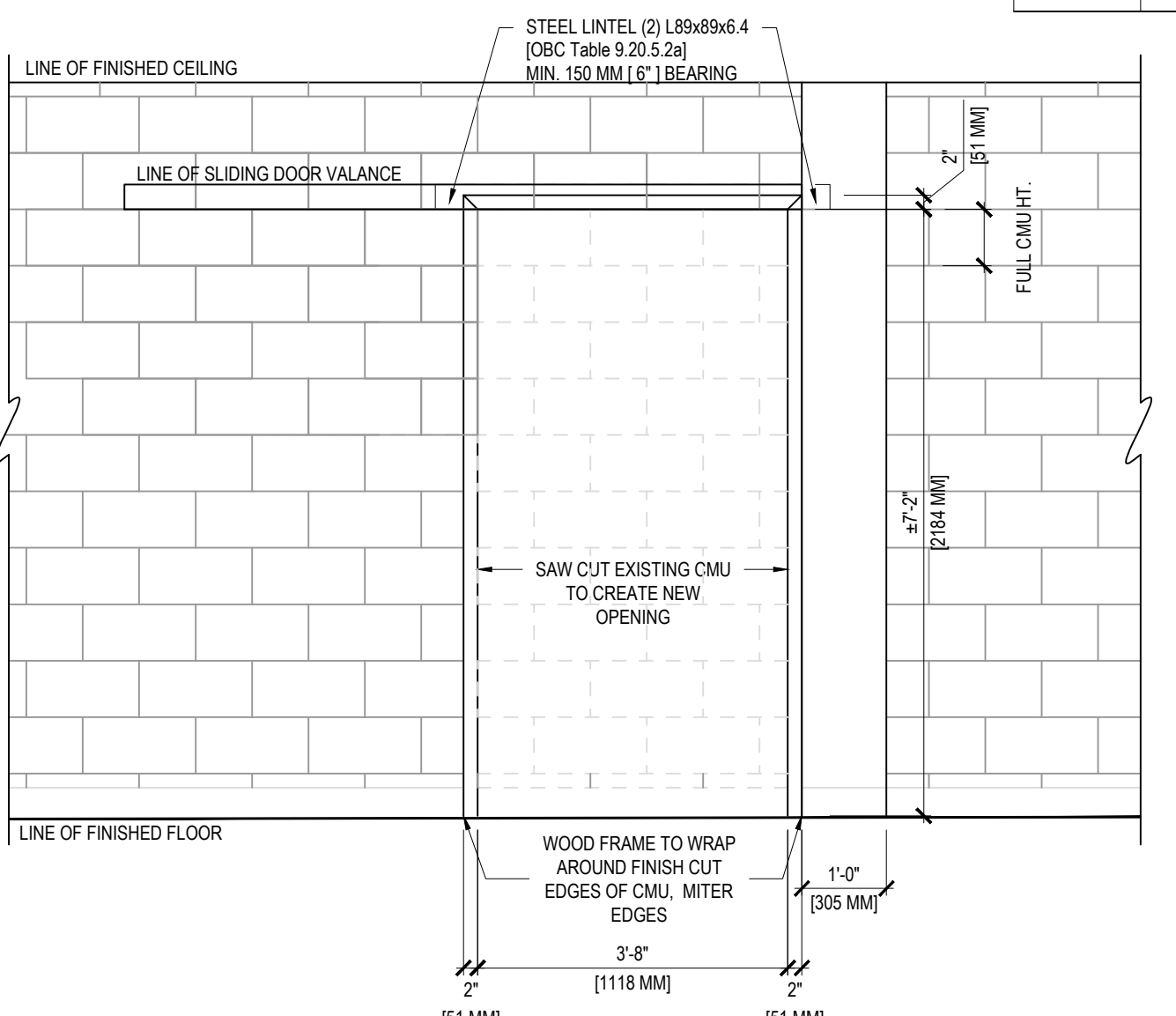
KEY NOTES	
<b>WF-1</b>	REFER TO ID4 FOR FINISHES INFORMATION INSIDE SHOWER ROOMS
<b>WF-2</b>	CONTRACTOR TO BE ADVISED ALL EXISTING WALLS ARE CONCRETE BLOCK WALLS. PREP WALLS TO RECEIVE NEW FINISH.

FLOOR FINISHES PLAN LEGEND	
<b>TL 1</b>	FLOOR TILE 1 MANUFACTURER: UNICOM STARKER PATTERN: ICON COMPACT 12"x24" COLOUR: GUN POWDER GROUT: LATICRETE 78 STERLING SILVER BASE: 4" TILE BASE CW SCHLUTER TOP CAP CONTROL JOINT: SCHLUTER DILEX BWS, 100G GREY
<b>TL 2</b>	FLOOR TILE 2 MANUFACTURER: UNICOM STARKER PATTERN: ICON COMPACT 12"x24" COLOUR: JET BLACK GROUT: LATICRETE 45 RAVEN BASE: 4" TILE BASE CW SCHLUTER TOP CAP CONTROL JOINT: SCHLUTER DILEX BWS, 100G GREY
<b>TL 3</b>	FLOOR TILE 3 MANUFACTURER: OLYMPIA TILE PATTERN: QUEBEC UNGLAZED 2"x2" COLOUR: GRAPHITE GROUT: LATICRETE 45 RAVEN

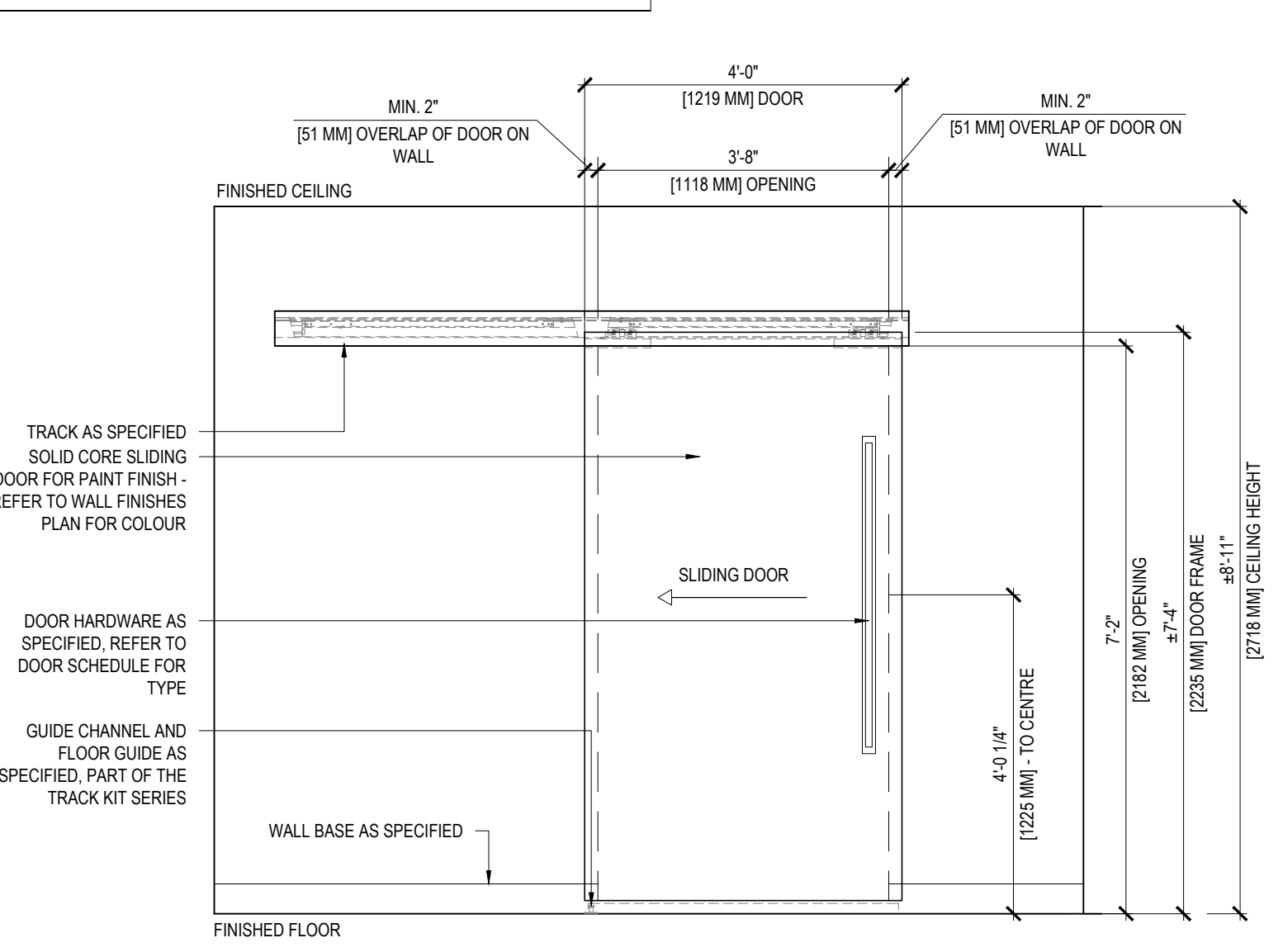
FLOOR FINISHES PLAN : NOTES	
1.	THIS DRAWING MUST BE REVIEWED IN CONJUNCTION WITH ALL OTHER DRAWINGS OF ALL CONSULTANTS INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL ENGINEERING DRAWINGS AND SPECIFICATIONS. EXTRAS FOR MISSED WORK THAT WAS COVERED ON ANY OF THE DRAWINGS EVEN IF NOT COVERED IN ALL OF THE DRAWINGS WILL NOT BE CONSIDERED.
2.	ALL FINISHES ARE TO BE HANDLED AND APPLIED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.
3.	ALL FLOORING TO BE CLEANED, SEALED AND PROPERLY FINISHED ACCORDING TO MANUFACTURERS SPECIFICATIONS PRIOR TO CLIENT MOVE IN.
4.	ALL FLOOR AND BASE ADHESIVE MUST NOT EXCEED THE FOLLOWING REQUIREMENTS: • ADHESIVES, SEALANT AND SEALANT PRIMERS: SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) RULE # 1168 REQUIREMENTS IN EFFECT JANUARY 1, 2003 AND RULE AMENDMENT DATED OCTOBER 3, 2003. • AEROSOL ADHESIVES: GREEN SEAL STANDARD GS-36 REQUIREMENTS IN EFFECT OCTOBER 19, 2000. CONTRACTOR MUST SUBMIT PRODUCT DATA SHEETS VERIFYING ADHERENCE TO THESE STANDARDS FOR DESIGNER SIGN OFF.
5.	SUB-FLOOR TO BE FREE OF ALL DEBRIS AND GLUE PRIOR TO NEW FLOORING INSTALLATION.
6.	TRANSITIONS FROM ONE FLOORING MATERIAL TO THE NEXT TO BE MADE LEVEL. FEATHER FLOOR WITH APPROPRIATE FLOOR LEVELER AS REQUIRED TO MAKE ADJACENT FLOORING MATERIALS FLUSH.

KEY NOTES	
<b>FF-1</b>	EXISTING TILE FLOOR TO REMAIN. CONTRACTOR TO PROVIDE NEW TILE WALL BASE TO NEW PARTITIONS.
<b>FF-2</b>	WHERE DEMOLITION OCCURS, CONTRACTOR TO REMOVE WALL BASE AND REPLACE WITH ONE CONTINUOUS WALL BASE. 4" PIECE INSTALLATION AT WALL SCAR IS NOT ACCEPTABLE.

INSTALL DIRECTION  
DENOTES DIRECTION OF FLOORING



**3 NEW OPENING AT SHOWER AREA ENTRY**  
ID3 SCALE: 1/2" = 1'-0"

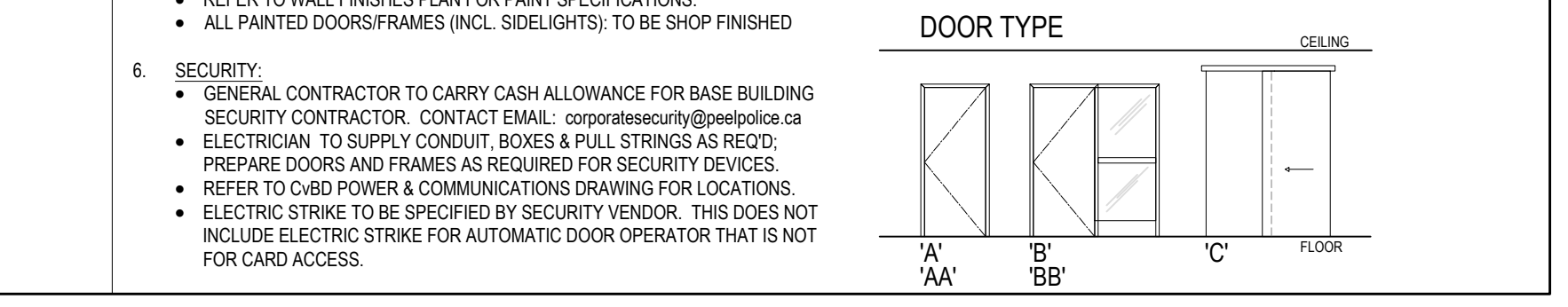


**4 ELEVATION BARN DOOR TYPE C (# B055)**  
ID3 SCALE: 1/2" = 1'-0"

DOOR SCHEDULE																				
LOCATION	DOORS	FRAMES	HARDWARE			SECURITY					REMARKS									
NO.	ROOM	TYPE	DESCRIPTION	CONST.	FINISH	FIRE RATED	LATCH SET	LOCK SET	PRIVATEY SET	PULL	DOOR STOP	DEAD BOLTS	KICK PLATES	GRILL	ADD.	CLOSER	CARD READER	TAMPER PLATE	DOOR CONTACT	
B050A	STORAGE ROOM	A	38"W X 7'-0"	HM	PT						WS									HOLD OPEN CLOSER
B050B	STORAGE ROOM	A	38"W X 7'-0"	HM	PT						WS									HOLD OPEN CLOSER
B055	LOCKER ROOM	C	48"W X 7'-0"	HM	PT															BARN DOOR HARDWARE
BH04	HALLWAY	A	38"W X 7'-0"	HM	PT						WS									
BH05	VESTIBULE	AA	38" x 30"W X 7'-0"	HM	PT						WS									
B106B	LOCKER ROOM	AA	38" x 30"W X 7'-0"	HM	PT						WS									
B106C	SHOWER ROOM	A	38"W X 7'-0"	HM	PT						WS									REFER TO ENGINEER DRAWING FOR GRILL SIZE
B106D	SHOWER ROOM	A	38"W X 7'-0"	HM	PT						WS									REFER TO ENGINEER DRAWING FOR GRILL SIZE
B107	QUIET ROOM	B	38"W X 7'-0"	HM	PT						WS									

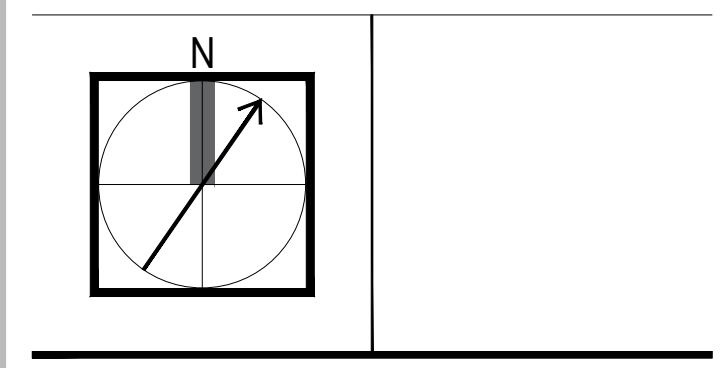
LEGEND		HARDWARE SPECIFICATIONS		GENERAL NOTES	
DOORS AND FRAMES:	LEVER: MANUFACTURER - SCHLAGE	SERIES: NO SERIES (NO96 STOREROOM OR ND92 ENTRANCE FUNCTIONS)	TO MATCH EXISTING	BARN DOOR: KN CROWDER CATCH 'N' CLOSE CCB-810 KIT SERIES (96" LONG), INCLUDING CC-920 SNAP-ON FASCIA (96" L) AND END CAPS. WHITE FINISH CUSTOM FLUSH PULL 48" HIGH, BRUSHED STAINLESS STEEL.	WALL STOP: TO MATCH EXISTING
EX	EXISTING	HM	HOLLOW METAL	PT	PAIN
ME	METAL	WN	WOOD VENEER/STAIN	WD	WOOD
HW	NEW	DS	DOOR SWEEP	OH	OVERHEAD DOOR STOP
EX	EXISTING	WS	WALL STOP	AS	ASTRAGAL
OTHER:		SILENCERS: TO BE CLEAR SILICONE		CLOSERS: TO BE SLIM LINE MODEL WHOLE-OPEN	

GENERAL NOTES	
1.	REFER TO PARTITION PLAN FOR DOOR SWINGS.
2.	PROVIDE SHOP DWGS OF DOOR/FRAME DETAILS FOR DESIGNERS APPROVAL BEFORE PROCEEDING W/ WORK.
3.	ALL DOORS TO BE 1 3/4" THK UNLESS OTHERWISE NOTED OR RECD
4.	GLAZING (INCLUDES SIDELIGHTS): ALL GLAZING PANELS TO BE CLEAR, TEMPERED GLASS, UNLESS OTHERWISE NOTED. ALL GLAZING TO BE INSTALLED IN ACCORDANCE WITH O.B.C. 3.3.1.3.883.3.3 (15. TRANSPARENT DOORS AND PANELS).
5.	FINISHES: • REFER TO WALL FINISHES PLAN FOR PAINT SPECIFICATIONS. • ALL PAINTED DOORS/FRAMES (INCL. SIDELIGHTS): TO BE SHOP FINISHED
6.	SECURITY: • GENERAL CONTRACTOR TO CARRY CASH ALLOWANCE FOR BASE BUILDING SECURITY CONTRACTOR. CONTACT EMAIL: corporatesecurity@peelpolice.ca • ELECTRICIAN TO SUPPLY CONDUIT, BOXES & PULL STRINGS AS REQ'D. • PREPARE DOORS AND FRAMES AS REQUIRED FOR SECURITY DEVICES. • REFER TO CMBD POWER & COMMUNICATIONS DRAWING FOR LOCATIONS. • ELECTRIC STRIKE TO BE SPECIFIED BY SECURITY VENDOR. THIS DOES NOT INCLUDE ELECTRIC STRIKE FOR AUTOMATIC DOOR OPERATOR THAT IS NOT FOR CARD ACCESS.



NO.	ISSUED FOR	DATE	BY
10			
09			
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05	issued for permit + tender	25July 2024	dly
04	revised as per PRP	23July 2024	dly
03	Engineer coordination	25Jun 2024	fh
02	issued to PRP for review	21Jun 2024	dly
01	issued to PRP for review	31May 2024	dly
no.	issued for	date	by

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telephone: 416.621.7745 | email: design@comleyvanbrussel.com

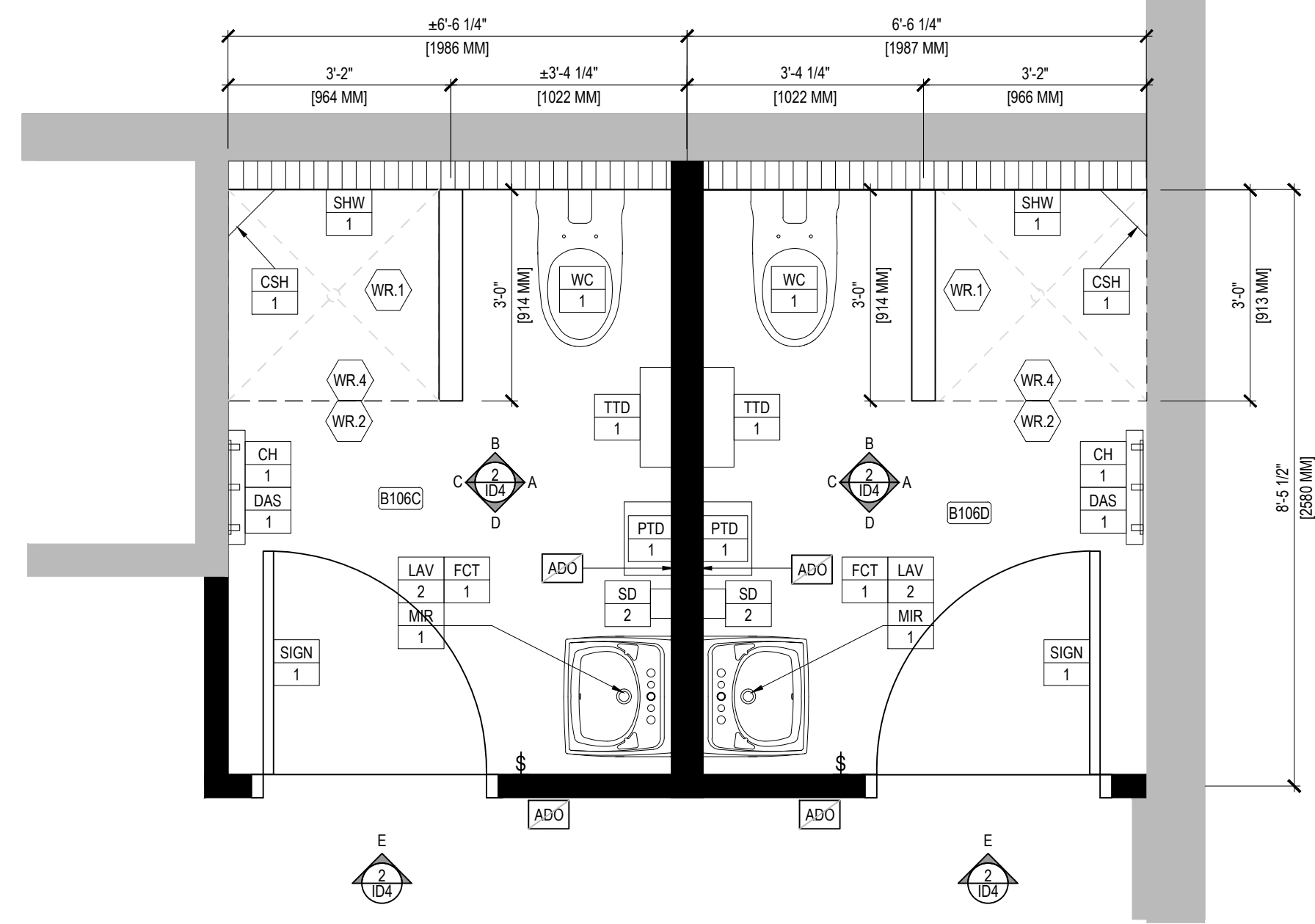
project  
PEEL REGIONAL POLICE  
3030 Erin Mills Parkway  
Mississauga, ON  
Basement

title  
FINISHES PLAN & DOOR SCHEDULE  
1/8" = 1'-0"

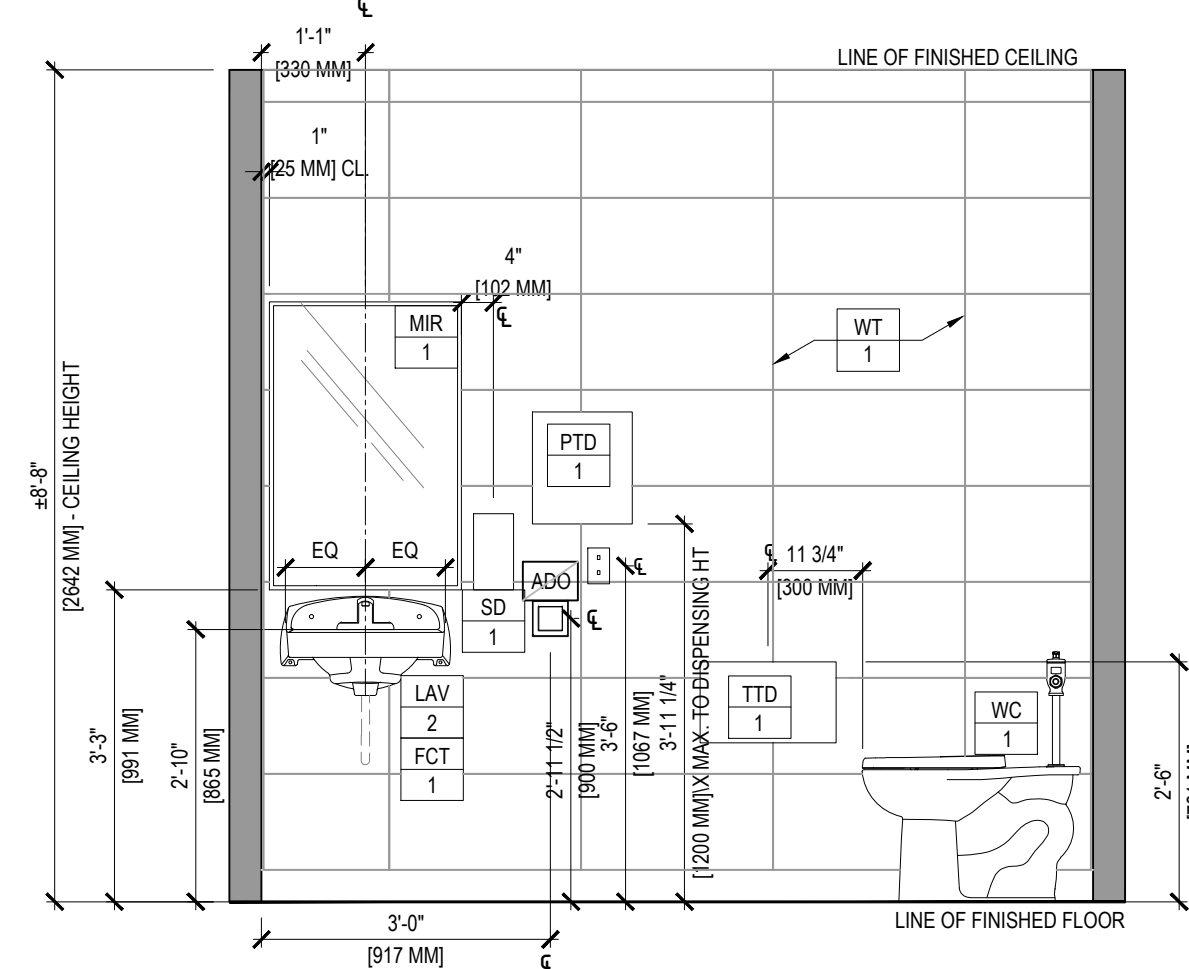
drawn by dly reviewed fh/dly/jc  
project no. 24-3538 date 05May, 2024  
sheet no.

ID3

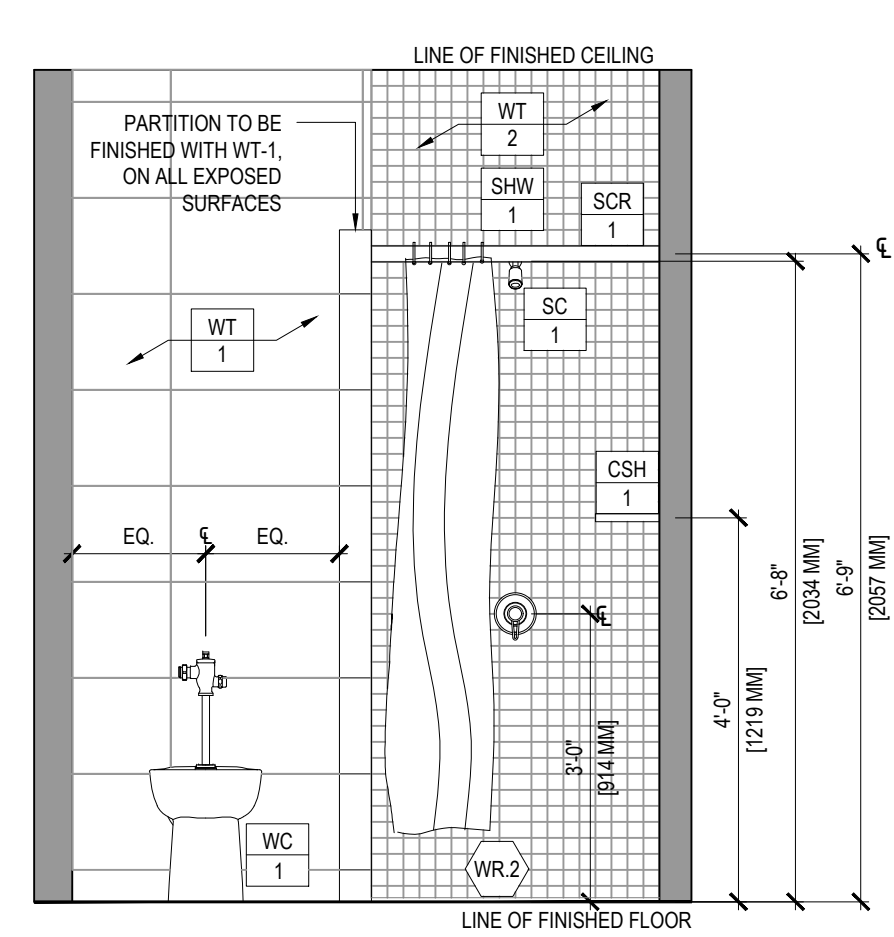




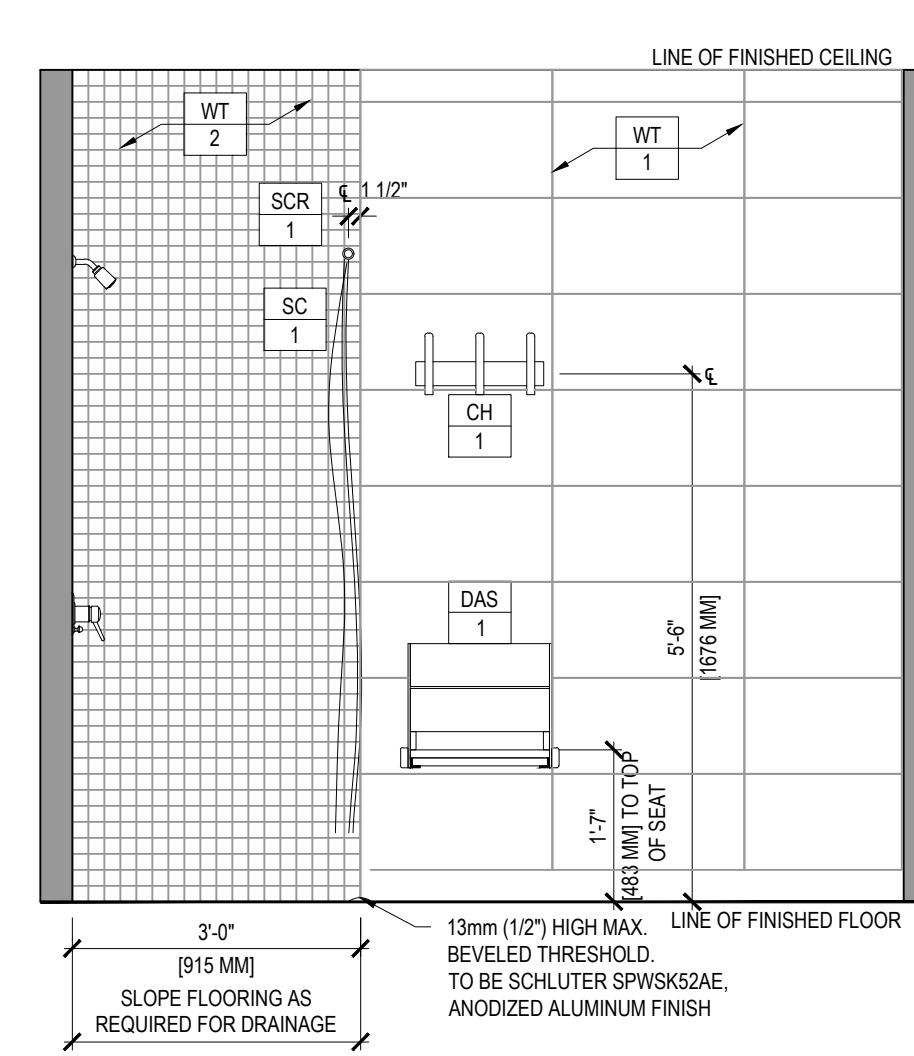
1 SHOWER AND CHANGE AREA OVERALL PLAN  
ID4 SCALE: 1/2" = 1'-0"



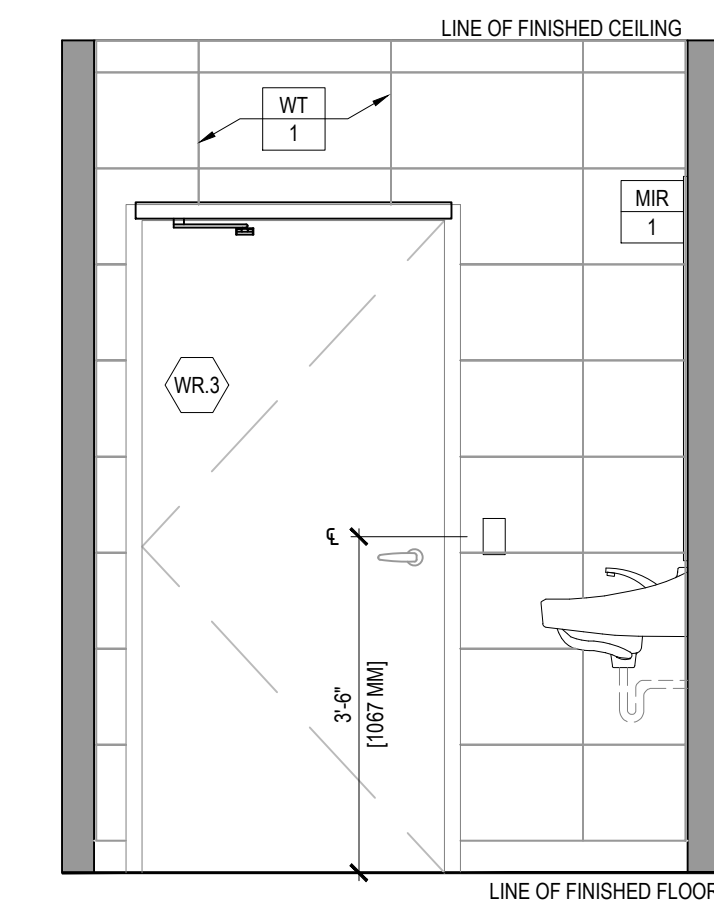
2A SHOWER ELEVATION  
ID4 SCALE: 1/2" = 1'-0"



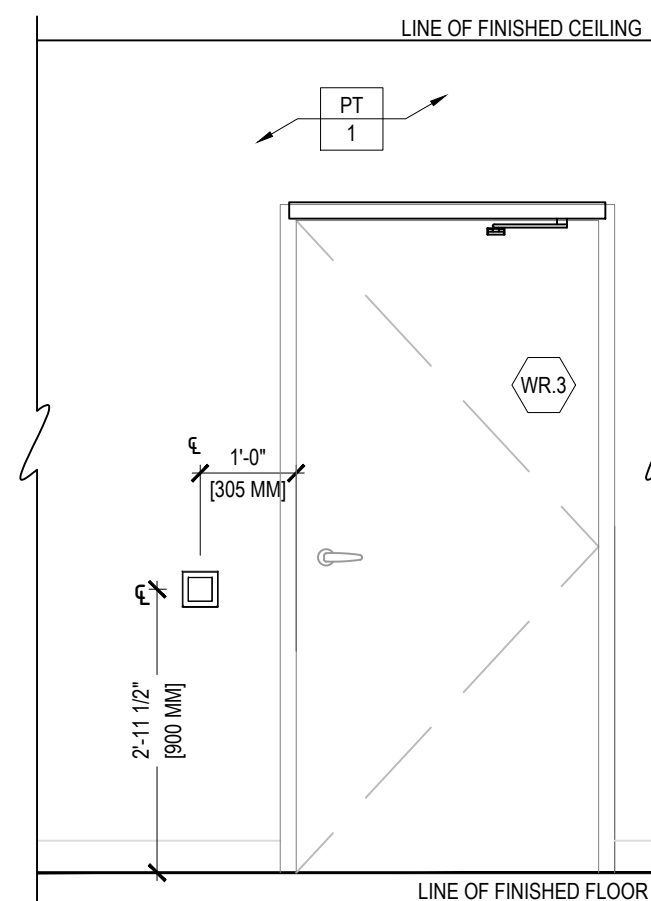
2B SHOWER ELEVATION  
ID4 SCALE: 1/2" = 1'-0"



2C SHOWER ELEVATION  
ID4 SCALE: 1/2" = 1'-0"



2D SHOWER ELEVATION  
ID4 SCALE: 1/2" = 1'-0"



2E SHOWER ELEVATION  
ID4 SCALE: 1/2" = 1'-0"

WASHROOM ACCESSORIES LEGEND	
BNC 1	BENCH REFER TO FURNITURE PLAN LEGEND ON ID1 FOR SPECIFICATIONS
CH 1	COAT HOOK MANUFACTURER: FROST MODEL: 1147 COAT HOOK, THREE HOOK STRIP FINISH: STAINLESS STEEL NOTE: COAT HOOK TO BE MOUNTED @ 3'-11" (1200 mm) A.F.F. TO CENTER
CSH 1	CORNER SHELF MANUFACTURER: FROST MODEL: 960-8X8" FINISH: BRUSHED STAINLESS STEEL NOTE: TO BE MOUNTED @ 3'-11" (1200 mm) A.F.F. TO CENTER
DAS 1	DRESSING AREA FOLDING SEAT MANUFACTURER: INVISIA MODEL: SERENA SEAT PRO MOUNTING HEIGHT: 19" TO THE TOP OF THE SEAT WHEN IN OPEN POSITION - PROVIDE BLOCKING AS REQUIRED
MIR 1	MIRROR 1 (OVER SINK) MANUFACTURER: FROST MODEL: TEMPERED GLASS MIRROR 941-TG2436 SIZE: 24"W x 36"H NOTE: REFER TO ELEVATION FOR MOUNTING HEIGHT
MIR 2	MIRROR 2 (CHANGE ROOM) GLASS MIRROR WITH 1/2" STAINLESS STEEL FRAME SECURED TO WALL WITH ACID-FREE MIRROR ADHESIVE SIZE: 30" x 72"; TO BE MOUNTED 6" A.F.F. TO THE BOTTOM OF MIRROR
PTD 1	PAPER TOWEL DISPENSER 1 GEORGIA PACIFIC ENMOTION IMPULSE, SIZE: 8" 1-ROLL, BLACK FINISH SUPPLIED AND INSTALLED BY GC. NOTE: REFER TO ELEVATION FOR MOUNTING HEIGHT
SC 1	SHOWER CURTAIN C/W ROD AND HOOKS MANUFACTURER: FROST MODEL: 1145-S ROD 36" FOR NON BARRIER-FREE SHOWERS AND 60" FOR BARRIER-FREE (SHOWER) / 1144-501L CURTAIN HOOKS / 1144-503 VINYL CURTAIN (70"W x 72"H) NOTE: REFER TO ELEVATION FOR MOUNTING HEIGHT
SD 1	SOAP DISPENSER 1 SC JOHNSON PROFESSIONAL, FOAM DISPENSER, ITEM# DEBTPWLDSEA, MFR: MODEL# TPWLDSE, UNSPSC# 47131704 SUPPLIED AND INSTALLED BY GC. NOTE: REFER TO ELEVATION FOR MOUNTING HEIGHT
SIGN 1	WASHROOM SIGNAGE 1 (UNISEX SHOWER) BY CLIENT (N.I.C.)
SIGN 2	WASHROOM SIGNAGE 2 (UNISEX BARRIER-FREE SHOWER) BY CLIENT (N.I.C.)
TTD 1	TOILET TISSUE DISPENSER CASCADES PRO TANDEM JUMBO ROOL BATH TISSUE DISPENSER, DOUBLE ROLL, DARK GREY #C380 SUPPLIED AND INSTALLED BY GC. NOTE: REFER TO ELEVATION FOR MOUNTING HEIGHT
WB 1	WASTE BIN ULINE, SUPPLIED BY CLIENT. NOTE: CONFIRM WITH CLIENT FOR PLACEMENT

WASHROOM FIXTURE LEGEND	
FCT 1	FAUCET (SENSOR-OPERATED) REFER TO ENGINEER'S DRAWINGS FOR SPECIFICATIONS. NOTE: WATER SUPPLY TEMPERATURE TO BE LIMITED TO A MAXIMUM OF 43°C
LAV 1	LAVATORY 1 MANUFACTURER: AMERICAN STANDARD MODEL: LUCERNE COLOUR: WHITE REFER TO ENGINEER'S DRAWINGS FOR SPECIFICATIONS
SHW 1	SHOWERHEAD 1 (NON-BARRIER-FREE SHOWERS) REFER TO ENGINEER'S DRAWINGS FOR SPECIFICATIONS
WC 1	WATER CLOSET REFER TO ENGINEER'S DRAWINGS FOR SPECIFICATIONS

WASHROOM GENERAL NOTES	
1.	REFER TO PARTITION PLAN FOR CONSTRUCTION GENERAL NOTES AND LEGEND.
2.	CONTRACTOR TO SITE VERIFY ALL DIMENSIONS.
3.	CONTRACTOR TO PROVIDE ADEQUATE BLOCKING IN PARTITION AS REQUIRED FOR LOAD
4.	REFER TO ACCESSORIES MANUFACTURER'S INSTRUCTIONS FOR MOUNTING HEIGHTS AND INSTALLATION DETAILS, UNLESS NOTED OTHERWISE.
5.	ALL BARRIER-FREE WASHROOM DESIGN SHALL CONFORM TO THE O.B.C. BARRIER FREE REQUIREMENTS (AS PER SECTION 3.8 OF THE O.N.T. BUILDING CODE - BARRIER FREE DESIGN).
6.	ANY DISPENSING OR HAND-OPERATED WASHROOM ACCESSORIES SHALL BE MOUNTED SO THAT THE DISPENSING HEIGHT IS BETWEEN 2'-11" (800 mm) AND 3'-11" (1200 mm) A.F.F.
7.	REFER TO ENGINEER'S DRAWINGS FOR LOCATION AND SPECIFICATIONS FOR LIGHTING CONTROLLED BY A MOTION SENSOR
8.	REFER TO ENG'S DWGS FOR LOCATION AND SPECS FOR LIGHTING AND FIRE ALARM SIGNALS
9.	ALL VISIBLE EXPOSED PLUMBING PIPES TO BE PAINTED PT-1.
10.	LAVATORY WATER SUPPLY TEMPERATURE TO BE LIMITED TO A MAXIMUM OF 43° CELSIUS. REFER TO ENGINEER'S DRAWINGS FOR SPECIFICATIONS.

WASHROOM KEY NOTES	
WR.1	SHOWER WATERPROOFING TO MEET TTMAC 319SR-2016-2017
WR.2	LINE OF 13mm (1/2") HIGH BEVELED THRESHOLD. FLOOR WITHIN SHOWER ENCLOSURE TO SLOPE TOWARDS THE SHOWER DRAIN.
WR.3	REFER TO WALL FINISHES PLAN FOR DOORS AND FRAMES PAINT FINISH SPECIFICATIONS
WR.4	SHOWER TO BE COMPLETE WITH SCHLUTER WATERPROOFING SYSTEM, KERDI MEMBRANE, KERDI-SEAL-PS-MV FOR PIPE PROTRUSIONS, KERDI-BOARD, KERDI-BAND STRIP SEALS, KERDI-KERDECK-F-KERS-B WATERPROOFING CORNERS, KERDI-SS WATERPROOFING AND VAPOR-RETARDANT MEMBRANE, KERDI-FIX SINGLE-COMPONENT SEALING AND BONDING

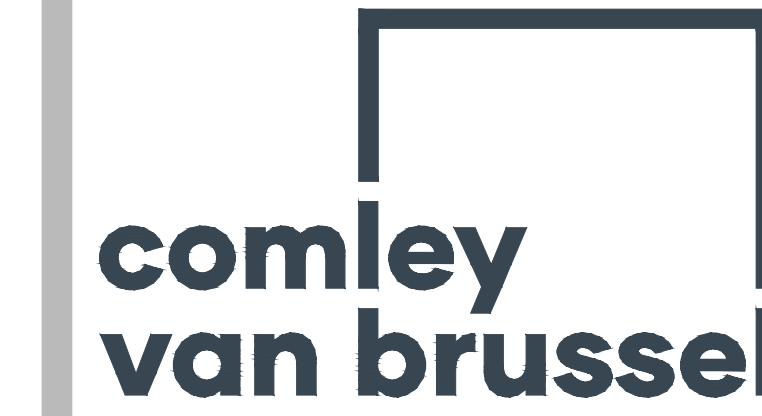
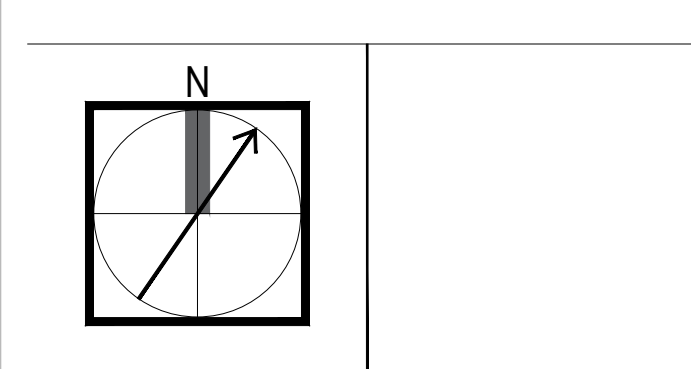
no.	issued for	date	by
05	issued for perm + tender	25 July 2024	dly
04	revised as per PRP	23 July 2024	dly
03	Engineer coordination	25 Jun 2024	fh
02	issued to PRP for review	21 Jun 2024	dly
01	issued to PRP for review	31 May 2024	dly

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project  
 PEEL REGIONAL POLICE  
 3030 Erin Mills Parkway  
 Mississauga, ON  
 Basement

title  
 SHOWER DETAILS  
 SCALE AS NOTED

drawn by dly reviewed fh/dly/jc  
 project no. 24-3538 date 05 May, 2024  
 sheet no.

ID4



1 FURNITURE PLAN  
F1 SCALE: 1/8" = 1'-0"

FURNITURE PLAN LEGEND	
	DENOTES EXISTING LOCKER TO REMAIN
	DENOTES EXISTING LOCKER TO BE REMOVED AND RELOCATED
	DENOTES LOCKER AT RELOCATED LOCATION
	DENOTES LOCKERS IN STORAGE TO BE RELOCATED, REFER TO F.4
	DENOTES NEW LOCKER

FURNITURE PLAN : NOTES	
1.	ALL DELIVERIES/INSTALLATION OF FURNITURE TO COMPLY WITH BASE BUILDING REGULATIONS, INCLUDING DISPOSAL OF WASTE.
2.	FURNITURE SUPPLIER TO COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS AND REPORT ANY SPECIAL CONDITIONS TO DESIGN CONSULTANT.
3.	FURNITURE INSTALLER TO BE RESPONSIBLE FOR VERIFYING CRITICAL DIMENSIONS ON SITE.
4.	ALL SYSTEMS FURNITURE MAIN PANEL SPINES TO BE CHALKED/TAPED BY FURNITURE INSTALLER TO BE REVIEWED ON SITE BY DESIGN CONSULTANT.
5.	NO SUBSTITUTIONS OF PRODUCT WILL BE ACCEPTED WITHOUT PRIOR APPROVAL FROM DESIGN CONSULTANT.
6.	FURNITURE SUPPLIER TO PROVIDE FULL COMPUTER GENERATED INSTALLATION DRAWINGS FOR REVIEW BY DESIGN CONSULTANT PRIOR TO INSTALLATION, AT NO COST TO THE OWNER.
7.	AS-BUILTS (RECORD) DRAWINGS TO BE PROVIDED BY FURNITURE SUPPLIER.
8.	FURNITURE INSTALLER TO ENSURE ALL SURFACES ARE WIPED CLEAN AND SITE IS FREE OF ALL WASTE MATERIAL UPON COMPLETION.
9.	FURNITURE SUPPLIER TO PROVIDE 3 COPIES OF MAINTENANCE MANUAL, CUT SHEETS AND LIST OF FINISHES FOR ALL PRODUCTS TO OWNER.
10.	ALL DIMENSIONS FOR SYSTEMS FURNITURE ARE SHOWN TO CENTER OF PANELS UNLESS NOTED OTHERWISE.
11.	KEYING OF LOCKABLE COMPONENTS SUCH AS PEDESTALS, FILE CABINETS, AND OVER HEAD STORAGE TO BE COORDINATED WITH OWNER.
12.	FURNITURE SUPPLIER TO BE RESPONSIBLE FOR FULL WORKING DAY OF TRAINING SESSIONS ON NEW PRODUCT WITH OWNER/USERS.

KEY NOTES	
F1	GC TO RECONFIGURE EXISTING LOCKERS, SUPPLY AND INSTALL NEW LOCKERS. MANUFACTURER: ANTHONY STEEL. STYLE: CONSTABLE LOCKER, 16GA DOORS, CW HAT SHELF COAT ROD, 4 COAT HOOKS (2 HOOKS ON BACK OF DOOR). LOCKABLE LOWER DRAWER AND GUN STORAGE. VENTILATED DOOR AND DRAWER. FINISH: POWDER COATED SOFT WHITE A700. CW CLEAR LACQUERED MAPLE BENCH. SIZE: 18"W x 18"H + SLOPE TOP x 24" x 33.5"D. CONTACT: METRIC STORAGE SYSTEMS, ED BARRON, TEL. 647-221-6144, EMAIL: ed.barron@metricss.com
F2	CLIENT TO REMOVE EXISTING SHELVING UNITS IN THIS AREA
F3	CONFIRM WITH CLIENT FOR FURNITURE RECONFIGURATION IN THIS AREA
F4	CONTRACTOR TO CONTACT CLIENT FOR LOCATION OF 10 NEW LOCKERS STORED ON SITE FOR RELOCATION INTO NEW LOCKER ROOM.

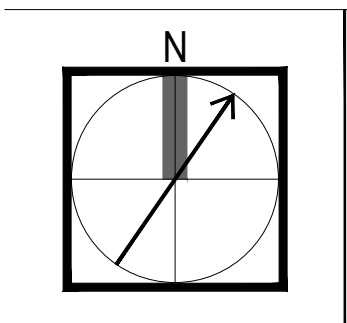
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