

SITE LOCATION

1
G01 KEY MAP
SCALE: N.T.S.

GENERAL NOTES:

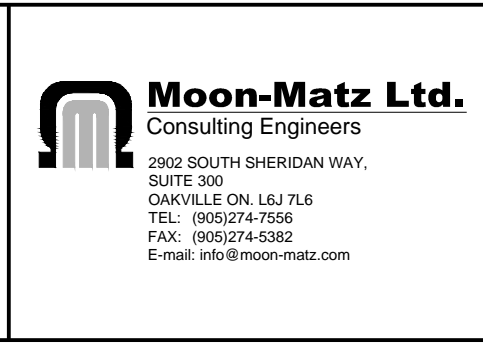
1. THE DRAWINGS AND SPECIFICATIONS SHALL BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, CONTRACT REQUIREMENTS, THE LEGEND AND SPECIFICATIONS. MOST STRINGENT CONDITIONS WILL GOVERN.
2. ACCURATE DIMENSIONS FOR THE WORK MUST BE OBTAINED FROM ACTUAL MEASUREMENT ON SITE BY CONTRACTOR.
3. REPORT TO THE CONSULTANT ALL POTENTIAL AMBIGUITIES (INCLUDING CONSTRUCTION STAGES), DISCREPANCIES, OMISSIONS, ERRORS, DEPARTURES FROM BUILDING BYLAWS AND/OR FROM GOOD PRACTICE IN WRITING PRIOR TO TENDER CLOSING AND PRIOR TO COMMENCING WORK BASED ON RESULTS OF SITE INVESTIGATION.
4. PROVIDE ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNING AUTHORITIES, AND LOCAL BY-LAWS.
5. APPLY FOR, OBTAIN AND PAY FOR ALL PERMITS, EXCEPT FOR BUILDING PERMIT, AND INSPECTIONS REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION INCLUDING PROVINCIAL AND FEDERAL TAXES.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPROVED SCHEDULE TO MEET THE PROJECT COMPLETION DATE AND ALL SPECIFIED INTERIM SCHEDULES AS PROVIDED BY THE OWNER.
7. COMPLY WITH OWNER'S OVERALL CONSTRUCTION SCHEDULE.
8. MAKE GOOD ALL DAMAGES OR AFFECTED AREA TO ADJACENT WORK. PROVIDE ALL CUTTING, PATCHING, FLASHING WORK AND CLEANUP OF FLOORS, WALLS, CEILINGS, WINDOWS, DOORS, ETC.
9. CONFER WITH ALL TRADES INSTALLING EQUIPMENT WHICH MAY AFFECT THE CONSTRUCTION WORK AND ARRANGE THE WORK IN PROPER RELATION WITH EQUIPMENT INSTALLED UNDER ALL DIVISIONS OF THE CONTRACT.
10. INSTALL ALL MATERIAL IN THE BEST WORKMANLIKE MANNER AND IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADE.
11. REUSE EXISTING MATERIALS AND/OR EQUIPMENT ONLY WITH WRITTEN PERMISSION FROM THE CONSULTANT. ALL EQUIPMENT, MATERIALS AND ASSOCIATED CONTROLS NOT USED IN THIS CONTRACT SHALL BE RETURNED TO OWNER OR PROPERLY DISPOSED OF OFF SITE AS DIRECTED BY OWNER OR CONSULTANT.
12. UNDER NO CIRCUMSTANCES SHALL THE CONSTRUCTION WORK INTERFERE WITH OWNER'S OPERATION SCHEDULE.
13. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL CONSTRUCTION WASTE AT AN ACCRETED FACILITY.
14. CONTRACTOR SHALL PROVIDE PROGRESSIVE AND POST-CONSTRUCTION CLEANING TO THE SATISFACTION OF REGION OF NIAGARA.
15. INSTALL AND MAINTAIN HOARDING, DUST PROTECTION AND CONSTRUCTION SIGNAGE, AROUND EACH PHASE OF THE WORK TO PREVENT ACCESS BY THE PUBLIC. PROVIDE SAFE PASSAGE THROUGHOUT WORK AREA TO THE CONSULTANT AND OWNER WHENEVER REQUESTED.
16. CONTRACTOR SHALL COORDINATE WORK WITH ALL RELATED TRADES, OWNER AND OWNER'S MAINTENANCE STAFF.
17. CONTRACTOR SHALL FOLLOW ALL SAFETY AND HEALTH REQUIREMENTS AS REQUIRED BY OSHA AND ALL AUTHORITIES HAVING JURISDICTION.
18. MAKE GOOD ALL AREAS THAT ARE AFFECTED BY THE DEMOLITION WORK AND NEW CONSTRUCTION WORK.
19. PROVIDE ALL MEASURES AS NECESSARY TO PREVENT LEAKAGE OF WATER AND MINIMIZE NOISE AND DISTURBANCE OUTSIDE THE WORK AREA AND INTO THE BUILDING FROM THE OUTSIDE DURING DEMOLITION AND CONSTRUCTION. NORMAL WORKING HOURS ARE BETWEEN 7:30 a.m. AND 7:00 p.m. MONDAY TO FRIDAY. AFTER-HOURS WORKING HOURS ARE CONSIDERED AFTER 7:00 p.m. TO BEFORE 7:30 a.m. MONDAY TO FRIDAY AND ANYTIME ON SATURDAYS AND SUNDAYS.
20. THE CONTRACTOR SHALL BECOME AWARE OF ALL EXISTING UTILITIES AND SERVICES IN THE WORKING AREA PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND SERVICES TO THE SATISFACTION OF THE UTILITY COMPANIES CONCERNED AND THE OWNER. PROVIDE STRUCTURAL SUPPORT OF EXISTING UTILITIES TO MAINTAIN SERVICES IN OPERATION AND MAINTENANCE OF REQUIRED CLEARANCES BETWEEN UTILITIES, SERVICES AND ADJACENT OBJECTS AS REQUIRED TO COMPLETE THE WORK. THE CONTRACTOR SHALL TAKE ALL LIABILITY FOR AND PAY FOR ANY DAMAGES TO EXISTING UTILITIES AND SERVICES. ANY DAMAGES TO UTILITIES OR SERVICES SHALL BE REMEDIED BY THE CONTRACTOR TO THE SATISFACTION OF THE UTILITY COMPANY OR OWNER AT NO COST TO THE CONCERNED UTILITY COMPANY OR OWNER. THE EXISTING UTILITIES AND SERVICES ARE NOT NECESSARILY SHOWN ON THE DRAWINGS AND ACCURACY CANNOT BE GUARANTEED WHERE SHOWN.

DRAWING NAME: P:\6930 SAEO Ceiling and Lighting Upgrades\03 Draw\Electrical\Working Drawings\06 GENERAL\6930 - G01 TO 604.dwg

NO.	REVISION	DATE	INIT.
1	ISSUED FOR TENDER	2024-07-12	T.D.
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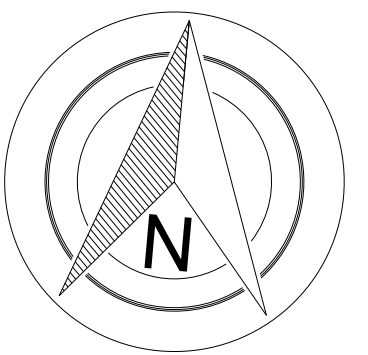
DRAFTING	R.V.G.
DESIGN	T.D.
CHECKED BY	T.D.
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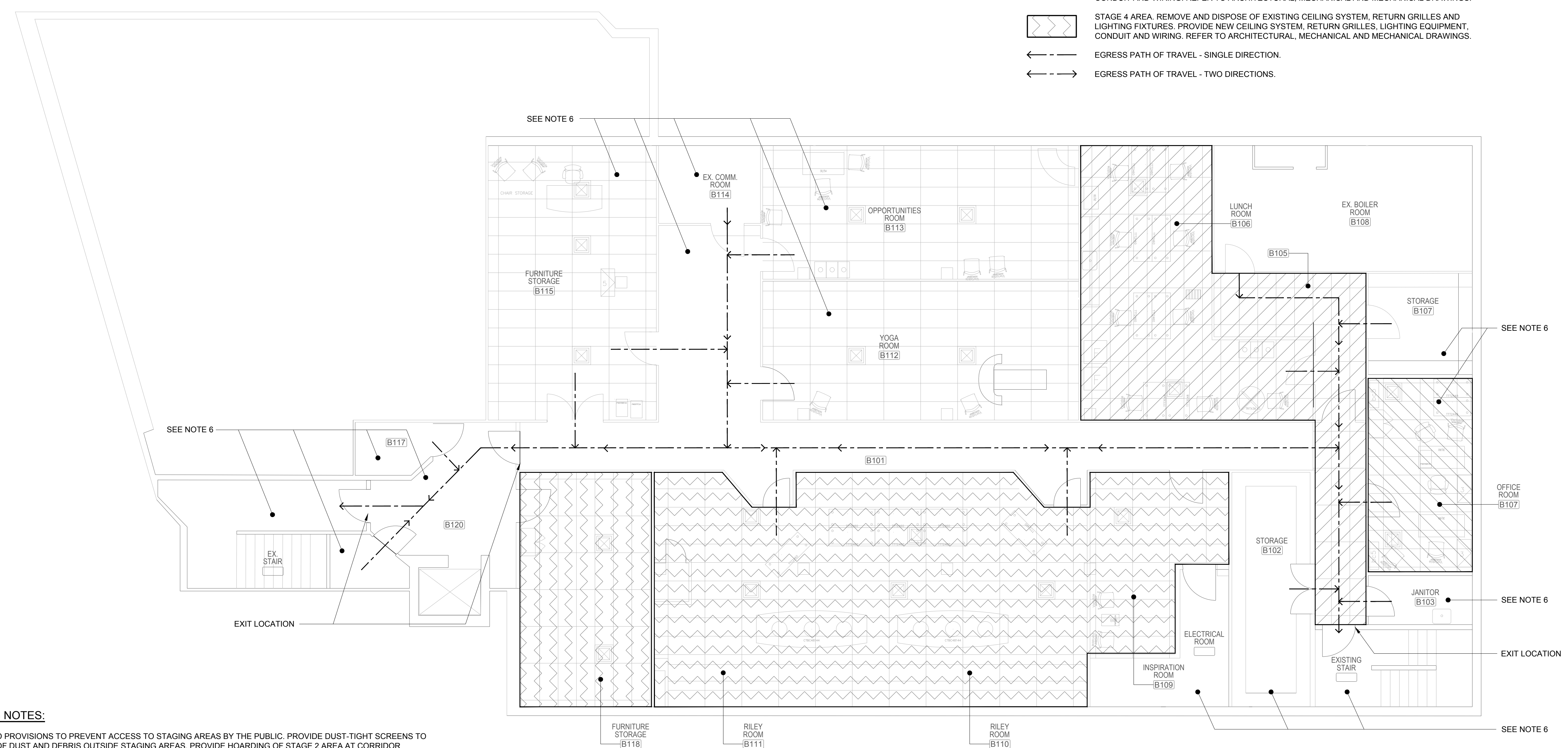


COMMUNITY SERVICES NIAGARA
SAEO CEILING AND LIGHTING UPGRADES
5853 PEER STREET, NIAGARA FALLS, ON.
KEY MAP AND NOTES

CONSULTANT FILE No.	6930
DATE	2023-06-03
SCALE	N.T.S.
REF. No.	1 OF 22
DWG No.	G01
REV.	1



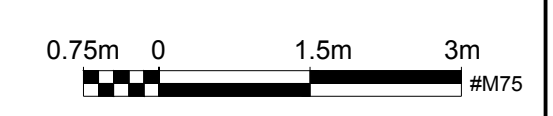
- LEGEND:**
- STAGE 1 AREA. REMOVE AND DISPOSE OF EXISTING CEILING SYSTEM, RETURN GRILLES AND LIGHTING FIXTURES. PROVIDE NEW CEILING SYSTEM, RETURN GRILLES, LIGHTING EQUIPMENT, CONDUIT AND WIRING. REFER TO ARCHITECTURAL, MECHANICAL AND MECHANICAL DRAWINGS.
 - STAGE 2 AREA. REMOVE AND DISPOSE OF EXISTING CEILING SYSTEM, RETURN GRILLES AND LIGHTING FIXTURES. PROVIDE NEW CEILING SYSTEM, RETURN GRILLES, LIGHTING EQUIPMENT, CONDUIT AND WIRING. REFER TO ARCHITECTURAL, MECHANICAL AND MECHANICAL DRAWINGS.
 - STAGE 3 AREA. REMOVE AND DISPOSE OF EXISTING CEILING SYSTEM, RETURN GRILLES AND LIGHTING FIXTURES. PROVIDE NEW CEILING SYSTEM, RETURN GRILLES, LIGHTING EQUIPMENT, CONDUIT AND WIRING. REFER TO ARCHITECTURAL, MECHANICAL AND MECHANICAL DRAWINGS.
 - STAGE 4 AREA. REMOVE AND DISPOSE OF EXISTING CEILING SYSTEM, RETURN GRILLES AND LIGHTING FIXTURES. PROVIDE NEW CEILING SYSTEM, RETURN GRILLES, LIGHTING EQUIPMENT, CONDUIT AND WIRING. REFER TO ARCHITECTURAL, MECHANICAL AND MECHANICAL DRAWINGS.
 - EGRESS PATH OF TRAVEL - SINGLE DIRECTION.
 - EGRESS PATH OF TRAVEL - TWO DIRECTIONS.



BASEMENT STAGING NOTES:

1. PROVIDE SIGNAGE AND PROVISIONS TO PREVENT ACCESS TO STAGING AREAS BY THE PUBLIC. PROVIDE DUST-TIGHT SCREENS TO PREVENT MIGRATION OF DUST AND DEBRIS OUTSIDE STAGING AREAS. PROVIDE HOARDING OF STAGE 2 AREA AT CORRIDOR BOUNDARY OF STAGING AREA C/W DUST-TIGHT PARTITION.
2. THE OWNER WILL MOVE EXISTING FURNITURE OUT OF THE STAGING AREAS PRIOR TO THE BEGINNING OF EACH STAGE AND RESTORE EXISTING FURNITURE AT THE END OF EACH STAGE. ASSIST OWNER WITH DISCONNECTION AND COILING OF FURNITURE POWER AND DATA CABLES AND RECONNECTION OF CABLES AFTER CEILING REPLACEMENT.
3. STAGES 1 AND 2 SHALL NOT OCCUR AT THE SAME TIME.
4. STAGES 1, 2, 3 AND 4 SHALL EACH OCCUR ONLY ONCE (ONE(1) TIME) DURING CONSTRUCTION, MAXIMUM DURATION OF EACH STAGE SHALL BE FIFTEEN(15) WORKING DAYS.
5. THERE SHALL BE NO EXPENSE TO THE OWNER AS A RESULT OF WORK AT PREMIUM TIMES TO MAINTAIN THE SCHEDULE OF WORK WITHIN THE STAGES. COSTS FOR ADDITIONAL FURNITURE WORK, MOBILIZATION, HOARDING, CEILING REPLACEMENT WORK, MECHANICAL WORK OR ELECTRICAL WORK AND REMOBILIZATION SHALL BE BORNE BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER WHERE THE CONTRACTOR HAS NOT COMPLETED THE WORK IN THE ALLOTTED TIME, SURRENDERS THE AREA BACK TO THE OWNER AND HAS TO REMOBILIZE TO COMPLETE WORK.
6. WORK IN STAIRWELLS, ELEVATOR LOBBIES CAN PROCEED AT TIMES AGREEABLE TO THE OWNER. CONTRACTOR SHALL APPLY FOR PERMISSION FOR THE WORK FROM THE OWNER. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK UNTIL AFTER THE OWNER PROVIDES PERMISSION IN WRITING MINIMUM TEN(10) WORKING DAYS PRIOR THE REQUESTED DATE OF WORK.
7. EGRESS PATHS OF TRAVEL ARE SHOWN ON THE PLANS. CONSTRUCT HOARDING AT BOUNDARIES OF STAGING AREAS TO MAINTAIN THE REMAINING EGRESS PATHS OUTSIDE THE HOARDING TO THE EXTENT POSSIBLE SO ACCESS TO EXITS CAN BE MAINTAINED.
8. THE OWNER SHALL BE PROVIDED ACCESS INTO AND PASSAGE THROUGH ALL STAGE AREAS AT ALL TIMES WHEN REQUESTED.

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G02 STAGING PLAN BASEMENT
SCALE: 1:75



DRAWING NAME: P:\6930 SAEO Ceiling and Lighting Upgrades\03_Dwg\Electrical\Working Drawings\06_GENERAL\6930 - G01 TD G04.dwg

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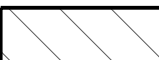



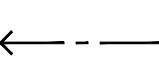
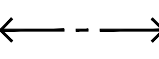
COMMUNITY SERVICES NIAGARA
SAEO CEILING AND LIGHTING UPGRADES
5853 PEER STREET, NIAGARA FALLS, ON.
STAGING PLAN BASEMENT

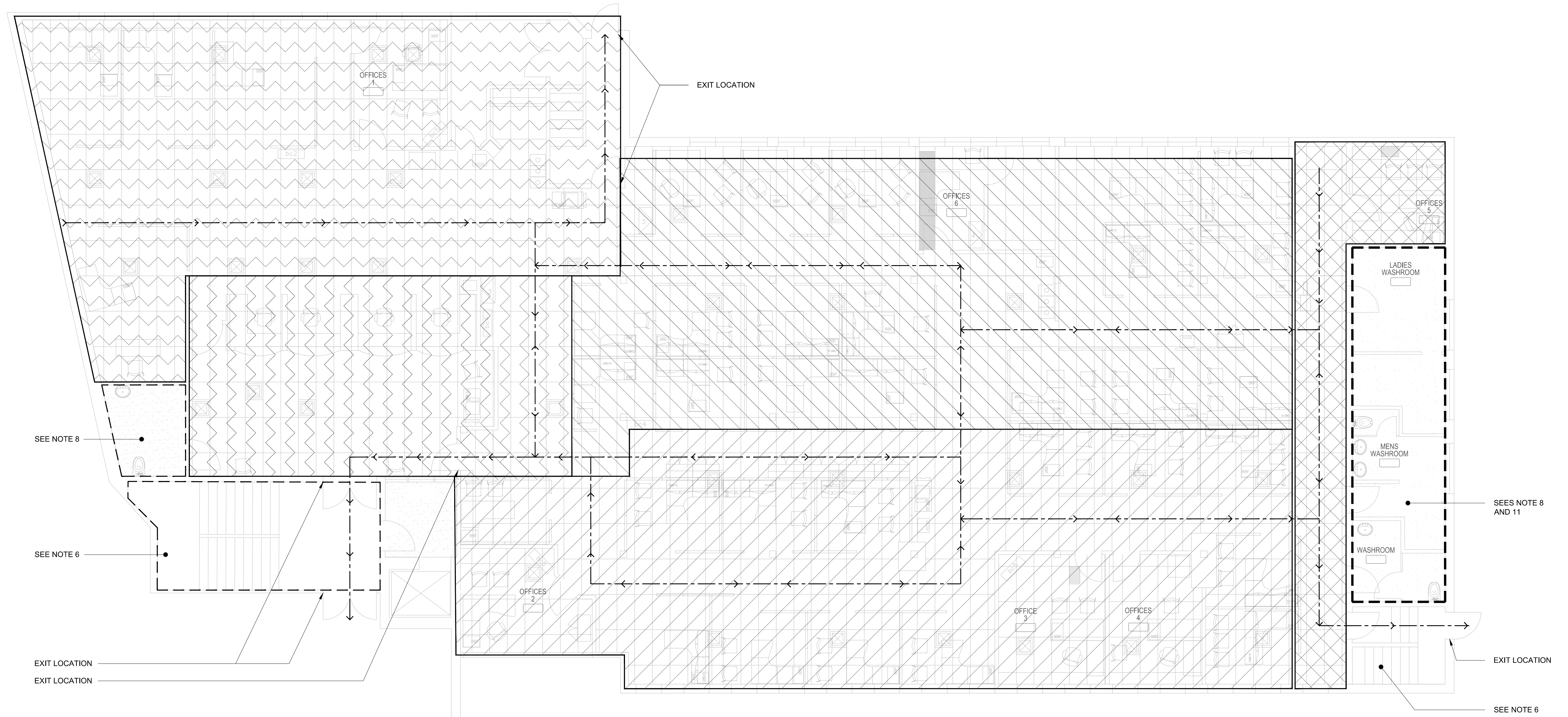
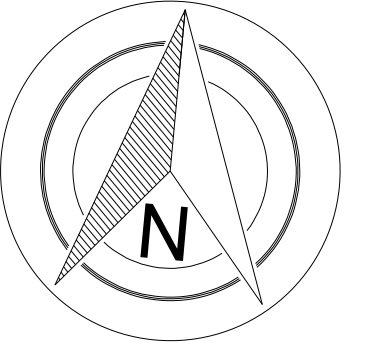
CONSULTANT FILE No.	6930
DATE	2023-06-03
SCALE	1:75
REF. No.	2 OF 22
DWG No.	G02
REV.	1

GROUND FLOOR STAGING NOTES:

1. PROVIDE HOARDING FULL HEIGHT AT EACH STAGING AREA BOUNDARIES C/W TEMPORARY DOORS, LOCKS AND DUST-TIGHT PARTITIONS TO ENCLOSE STAGING AREAS, PREVENT ACCESS BY THE PUBLIC AND PREVENT MIGRATION OF DUST AND DEBRIS OUTSIDE THE WORKING AREA.
2. THE OWNER WILL MOVE EXISTING FURNITURE PRIOR THE BEGINNING OF EACH STAGE (INCLUDING INSTALLATION OF HOARDING) AND RESTORE EXISTING FURNITURE AFTER EACH STAGE HAS BEEN COMPLETED AND HOARDING REMOVED. THROUGHOUT CONSTRUCTION AFTER HOARDING ASSIST WITH DISCONNECTION, RECONNECTION AND COILING OF POWER AND DATA WIRING FOR FURNITURE AND MAKE SAFE.
3. STAGES 1, 2 AND 3 MAY EACH ONLY OCCUR ONCE (ONE TIME) DURING CONSTRUCTION. ALL WORK INSIDE STAGE AREA SHALL BE COMPLETE BEFORE REMOVAL OF HOARDING. MAXIMUM DURATION OF EACH STAGE SHALL BE TWENTY(20) WORKING DAYS.
4. STAGES 4 AND 5 SHALL BE UNDERTAKEN AFTER HOURS AND ON A WEEKEND.
5. THERE SHALL BE NO EXPENSE TO THE OWNER AS A RESULT OF WORK AT PREMIUM TIMES TO MAINTAIN THE SCHEDULE OF WORK WITHIN THE STAGES. COSTS FOR ADDITIONAL FURNITURE WORK, MOBILIZATION, HOARDING, CEILING REPLACEMENT WORK, MECHANICAL WORK OR ELECTRICAL WORK AND REMOBILIZATION SHALL BE BORNE BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER WHERE THE CONTRACTOR HAS NOT COMPLETED THE WORK IN THE ALLOTTED TIME, SURRENDERS THE AREA BACK TO THE OWNER AND HAS TO REMOBILIZE TO COMPLETE WORK.
6. WORK IN STAIRWELLS, ELEVATOR LOBBIES CAN PROCEED AT TIMES AGREEABLE TO THE OWNER. CONTRACTOR SHALL APPLY FOR PERMISSION FOR THE WORK FROM THE OWNER. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK UNTIL AFTER THE OWNER PROVIDES PERMISSION MINIMUM TEN(10) WORKING DAYS PRIOR THE REQUESTED DATE OF WORK.
7. ONLY ONE(1) STAGE MAY BE IN PLACE AT A GIVEN TIME. ALL AREAS OUTSIDE THE CONCERNED STAGE SHALL REMAIN FULLY USABLE BY THE OWNER WITH ALL BUILDING SERVICES IN FULL OPERATION.
8. WORK IN WASHROOMS CAN PROCEED OUTSIDE BUILDING BUSINESS HOURS AT TIMES AGREEABLE TO THE OWNER. CONTRACTOR SHALL APPLY FOR PERMISSION FOR THE WORK FROM THE OWNER MINIMUM OF TEN(10) DAYS PRIOR THE REQUESTED DAY OF WORK. THE CONTRACTOR SHALL NOT PROCEED WITH WORK UNTIL AFTER THE OWNER PROVIDES PERMISSIONS IN WRITING.
9. EGRESS PATHS OF TRAVEL ARE SHOWN ON THE PLANS. CONSTRUCT HOARDING AT BOUNDARIES OF STAGING AREAS TO MAINTAIN THE REMAINING EGRESS PATHS OUTSIDE THE HOARDING TO THE EXTENT POSSIBLE SO ACCESS TO EXITS CAN BE MAINTAINED.
10. THE OWNER SHALL BE PROVIDED ACCESS INTO AND PASSAGE THROUGH STAGE AREAS AT ALL TIMES WHEN REQUESTED.
11. ARRANGE HOARDING TO MAINTAIN ACCESS TO AT LEAST ONE(1) WASHROOM BY THE OWNER'S STAFF IN THE BUILDING AT ALL TIMES. THE OWNER'S STAFF SHALL NOT HAVE TO PASS THROUGH A WORK AREA TO ACCESS THE WASHROOM. CO-ORDINATE THE WASHROOM THAT WILL BE ACCESSIBLE TO THE OWNER'S STAFF AT EACH STAGE WITH THE OWNER PRIOR TO CONSTRUCTION OF THE HOARDING AT EACH STAGE.

LEGEND:

-  STAGE 1 AREA. REMOVE AND DISPOSE OF EXISTING CEILING SYSTEM, RETURN GRILLES AND LIGHTING FIXTURES. PROVIDE NEW CEILING SYSTEM, RETURN GRILLES, LIGHTING EQUIPMENT, CONDUIT AND WIRING. REFER TO ARCHITECTURAL, MECHANICAL AND MECHANICAL DRAWINGS.
-  STAGE 2 AREA. REMOVE AND DISPOSE OF EXISTING CEILING SYSTEM, RETURN GRILLES AND LIGHTING FIXTURES. PROVIDE NEW CEILING SYSTEM, RETURN GRILLES, LIGHTING EQUIPMENT, CONDUIT AND WIRING. REFER TO ARCHITECTURAL, MECHANICAL AND MECHANICAL DRAWINGS.
-  STAGE 3 AREA. REMOVE AND DISPOSE OF EXISTING CEILING SYSTEM, RETURN GRILLES AND LIGHTING FIXTURES. PROVIDE NEW CEILING SYSTEM, RETURN GRILLES, LIGHTING EQUIPMENT, CONDUIT AND WIRING. REFER TO ARCHITECTURAL, MECHANICAL AND MECHANICAL DRAWINGS.
-  STAGE 4 AREA. REMOVE AND DISPOSE OF EXISTING CEILING SYSTEM, RETURN GRILLES AND LIGHTING FIXTURES. PROVIDE NEW CEILING SYSTEM, RETURN GRILLES, LIGHTING EQUIPMENT, CONDUIT AND WIRING. REFER TO ARCHITECTURAL, MECHANICAL AND MECHANICAL DRAWINGS.
-  STAGE 5 AREA. REMOVE AND DISPOSE OF EXISTING CEILING SYSTEM, RETURN GRILLES AND LIGHTING FIXTURES. PROVIDE NEW CEILING SYSTEM, RETURN GRILLES, LIGHTING EQUIPMENT, CONDUIT AND WIRING. REFER TO ARCHITECTURAL, MECHANICAL AND MECHANICAL DRAWINGS.
-  EGRESS PATH OF TRAVEL - SINGLE DIRECTION.
-  EGRESS PATH OF TRAVEL - TWO DIRECTIONS.



1 STAGING PLAN - GROUND FLOOR
G03 SCALE: 1:75

0.75m 0 1.5m 3m
#M75

DRAWING NAME: P:\6930 SAE0 Ceiling and Lighting Upgrades\03 Drawings\Electrical\Working Drawings\06 GENERAL\6930 - G01 TO G04.dwg

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1	ISSUED FOR TENDER	2024-07-12	T.D.
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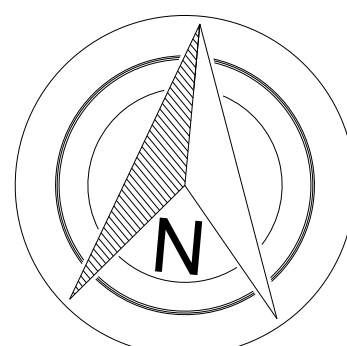
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COMMUNITY SERVICES NIAGARA
SAEO CEILING AND LIGHTING UPGRADES
5853 PEER STREET, NIAGARA FALLS, ON.
STAGING PLAN GROUND FLOOR

CONSULTANT FILE No.	6930
DATE	2023-06-03
SCALE	1:75
REF. No.	3 OF 22
DWG No.	G03
REV.	1

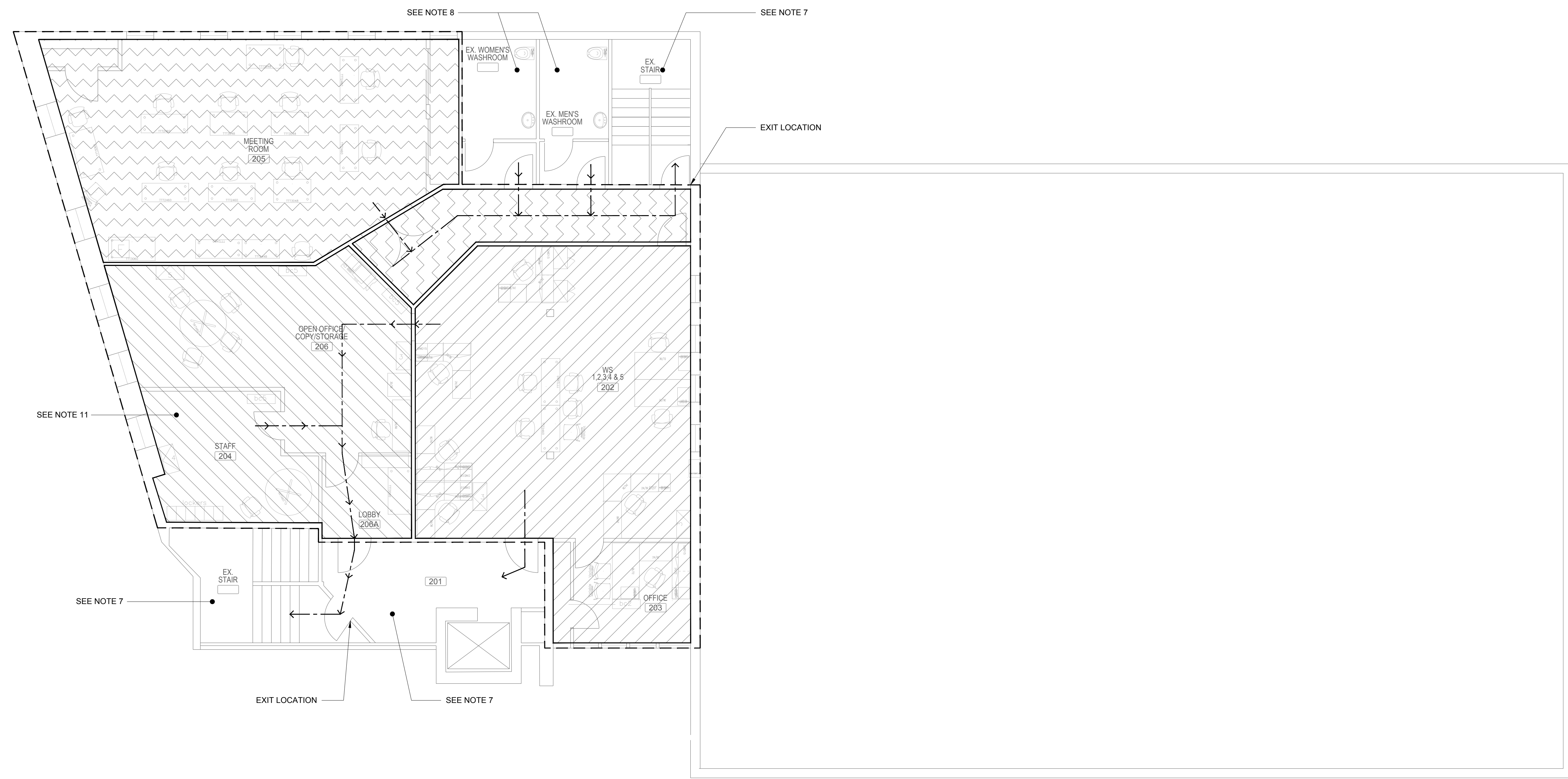


GROUND FLOOR STAGING NOTES:

1. PROVIDE SIGNAGE AND PROVISIONS TO PREVENT ACCESS TO STAGING AREAS BY THE PUBLIC. PROVIDE DUST-TIGHT SCREENS TO PREVENT MIGRATION OF DUST AND DEBRIS OUTSIDE STAGING AREAS. PROVIDE HOARDING OF STAGE 2 AREA AT CORRIDOR BOUNDARY OF STAGING AREA C/W DUST-TIGHT PARTITION.
2. THE OWNER WILL MOVE EXISTING FURNITURE OUT OF THE STAGING AREAS PRIOR TO THE BEGINNING OF EACH STAGE AND RESTORE EXISTING FURNITURE AT THE END OF EACH STAGE. ASSIST OWNER WITH DISCONNECTION AND COILING OF FURNITURE POWER AND DATA CABLES AND RECONNECTION OF CABLES AFTER CEILING REPLACEMENT.
3. STAGES 1, 2 AND 3 SHALL NOT OCCUR AT THE SAME TIME.
4. STAGES 1, 2 AND 3 MAY EACH ONLY OCCUR ONCE (ONE TIME) DURING CONSTRUCTION. MAXIMUM DURATION OF EACH STAGE SHALL BE FIFTEEN(15) WORKING DAYS.
5. STAGE 4 SHALL OCCUR AFTER HOURS ON WEEKENDS.
6. THERE SHALL BE NO EXPENSE TO THE OWNER AS A RESULT OF WORK AT PREMIUM TIMES TO MAINTAIN THE SCHEDULE OF WORK WITHIN THE STAGES. COSTS FOR ADDITIONAL FURNITURE WORK, MOBILIZATION, HOARDING, CEILING REPLACEMENT WORK, MECHANICAL WORK OR ELECTRICAL WORK AND REMOBILIZATION SHALL BE BORNE BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER WHERE THE CONTRACTOR HAS NOT COMPLETED THE WORK IN THE ALLOTTED TIME. SURRENDERS THE AREA BACK TO THE OWNER AND HAS TO REMOBILIZE TO COMPLETE WORK.
7. WORK IN STAIRWELLS, ELEVATOR LOBBIES CAN PROCEED AT TIMES AGREEABLE TO THE OWNER. CONTRACTOR SHALL APPLY FOR PERMISSION FOR THE WORK FROM THE OWNER. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK UNTIL AFTER THE OWNER PROVIDES PERMISSION MINIMUM TEN(10) WORKING DAYS PRIOR TO THE REQUESTED DATE OF WORK.
8. WORK IN WASHROOMS CAN PROCEED OUTSIDE BUILDING BUSINESS HOURS AT TIMES AGREEABLE TO THE OWNER. CONTRACTOR SHALL APPLY FOR PERMISSION FOR THE WORK FROM THE OWNER MINIMUM OF TEN(10) DAYS PRIOR TO THE REQUESTED DAY OF WORK. THE CONTRACTOR SHALL NOT PROCEED WITH WORK UNTIL AFTER THE OWNER PROVIDES PERMISSIONS IN WRITING.
9. EGRESS PATHS OF TRAVEL ARE SHOWN ON THE PLANS. CONSTRUCT HOARDING AT BOUNDARIES OF STAGING AREAS TO MAINTAIN THE REMAINING EGRESS PATHS OUTSIDE THE HOARDING TO THE EXTENT POSSIBLE SO ACCESS TO EXITS CAN BE MAINTAINED.
10. THE OWNER SHALL BE PROVIDED ACCESS INTO AND PASSAGE THROUGH STAGE AREAS AT ALL TIMES WHEN REQUESTED.
11. PROVIDE PROTECTION OF PAPER RECORDS STORED IN ROOM 204 THROUGHOUT CONSTRUCTION. PROVIDE OWNER FIFTEEN(15) WORKING DAYS NOTICE BEFORE SCHEDULED START OF STAGE 2 SO THEY CAN DECIDE WHETHER TO MOVE OR RE-ARRANGE MATERIALS IN THE ROOM. ATTEND WALK THROUGH WITH OWNER LAST DAY BEFORE STAGE 2 BEGINS TO TAKE PICTURES AND OBTAIN ACCEPTANCE OF THE EXISTING CONDITIONS IN THE ROOM BEFORE STAGE 2 CONSTRUCTION BY THE OWNER. PROVIDE PLASTIC TARPS OVER SHELVES CABINETS AND PAPER RECORDS IN ROOM. CO-ORDINATE THE PROTECTION MEASURES WITH THE OWNER PRIOR BEGINNING OF STAGE 2.

LEGEND:

- STAGE 1 AREA. REMOVE AND DISPOSE OF EXISTING CEILING SYSTEM, RETURN GRILLES AND LIGHTING FIXTURES. PROVIDE NEW CEILING SYSTEM, RETURN GRILLES, LIGHTING EQUIPMENT, CONDUIT AND WIRING. REFER TO ARCHITECTURAL, MECHANICAL AND MECHANICAL DRAWINGS.
- STAGE 2 AREA. REMOVE AND DISPOSE OF EXISTING CEILING SYSTEM, RETURN GRILLES AND LIGHTING FIXTURES. PROVIDE NEW CEILING SYSTEM, RETURN GRILLES, LIGHTING EQUIPMENT, CONDUIT AND WIRING. REFER TO ARCHITECTURAL, MECHANICAL AND MECHANICAL DRAWINGS.
- STAGE 3 AREA. REMOVE AND DISPOSE OF EXISTING CEILING SYSTEM, RETURN GRILLES AND LIGHTING FIXTURES. PROVIDE NEW CEILING SYSTEM, RETURN GRILLES, LIGHTING EQUIPMENT, CONDUIT AND WIRING. REFER TO ARCHITECTURAL, MECHANICAL AND MECHANICAL DRAWINGS.
- STAGE 4 AREA. REMOVE AND DISPOSE OF EXISTING CEILING SYSTEM, RETURN GRILLES AND LIGHTING FIXTURES. PROVIDE NEW CEILING SYSTEM, RETURN GRILLES, LIGHTING EQUIPMENT, CONDUIT AND WIRING. REFER TO ARCHITECTURAL, MECHANICAL AND MECHANICAL DRAWINGS.
- EGRESS PATH OF TRAVEL - SINGLE DIRECTION.
- EGRESS PATH OF TRAVEL - TWO DIRECTIONS.



1 STAGING PLAN - SECOND FLOOR PLAN
 G04 SCALE: 1:75

0.75m 0 1.5m 3m
 #M75

DRAWING NAME: P:\6930 SAEO Ceiling and Lighting Upgrades\03 Drawings\Electrical\Working Drawings\06 GENERAL\6930 - G01 TD G04.dwg

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APPROVED BY	T.B.



COMMUNITY SERVICES NIAGARA
 SAEO CEILING AND LIGHTING UPGRADES
 5853 PEER STREET, NIAGARA FALLS, ON.
 STAGING PLAN SECOND FLOOR

CONSULTANT FILE No.	6930
DATE	2023-06-03
SCALE	1:75
REF. No.	4 OF 22
DWG No.	G04
REV.	1

GENERAL NOTES:

1. VERIFY ALL CONDITIONS AND DIMENSIONS DURING THE OPTIONAL SITE VISIT, INCLUDING LOCATIONS OF EXISTING CAPPED SERVICES, AND ALLOW FOR ANY REROUTING OF EXISTING AND/OR NEW SERVICES AND EQUIPMENT IN TENDER PRICE. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY.
2. ASSUME RESPONSIBILITY AND PAY FOR ANY ADDITIONAL INSTALLATION COSTS INCURRED BY ALL DIVISIONS RESULTING FROM USE OF ANY ALTERNATES AND/OR SUBSTITUTIONS AT NO ADDITIONAL COST TO THE CONTRACT OR OWNER. MAKE REVISIONS TO AS-BUILT DRAWINGS INCORPORATING ALL ALTERNATES AND/OR SUBSTITUTIONS AND ALL RELATED CHANGES.
3. MARK THE QUANTITY OF CEILING TILES ACTUALLY INSTALLED ON THE AS-BUILT DRAWING MARK-UPS. NOTE THE OFFSETS OF THE GRID HANGERS TILES FROM WALL AND COLUMNS ON THE AS-BUILT DRAWING MARK-UPS.

GENERAL SCOPE OF WORK:

1. REMOVE AND DISPOSE OF EXISTING ACOUSTIC CEILING TILES C/W T-BAR FRAME, METAL CEILING HANGER SYSTEM AND TRIM SYSTEM C/W ACCESSORIES. THE EXISTING CEILING MOUNTED ELEC. EQUIPMENT, LIGHTING FIXTURES, MECH. HVAC DIFFUSERS, GRILLES AND EXHAUST FANS ARE NOT SHOWN ON ARCH. DRAWINGS PROPERLY. CONTRACTOR SHALL REFER TO ELEC. DRAWINGS AND MECH. DRAWINGS FOR EXISTING ELEC. & MECH. EQUIPMENT REMOVAL AND REPLACEMENT REQUIREMENTS.
2. PROVIDE NEW 24"x48"x1" (2"x4") ARMSTRONG CALLA TEGULAR SMOOTH TEXTURE ACOUSTIC CEILING PANEL SYSTEM OR APPROVED EQUIVALENT BY GYPSUM COMPANY CERTAINTED OR APPROVED EQUIVALENT C/W GALV. STEEL SUSPENSION SYSTEM AND ACCESSORIES BY ARMSTRONG, CANADA GYPSUM COMPANY (CGC), CERTAINTED OR APPROVED EQUIVALENT. REFER TO SPECIFICATIONS & MANUFACTURER'S INSTALLATION INSTRUCTIONS.
3. THE ELEC. & MECH. EQUIPMENT MOUNTED ON NEW CEILING IS NOT PROPERLY SHOWN ON THESE ARCHITECTURAL DRAWING. THE CEILING INSTALLER SHALL REFER TO ELEC. & MECH. DRAWINGS FOR CEILING MOUNTED EQUIPMENT LOCATIONS AND QUANTITIES AND VERIFICATION AND MEASUREMENT OF THE LOCATIONS AT THE SITE. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH CEILING INSTALLER, MECHANICAL CONTRACTOR AND ELECTRICAL CONTRACTOR FOR THE CEILING INSTALLATION.
4. DEMOLITION WORK SHALL COMPLY WITH THE SPECIFICATIONS AND ALL HEALTH, SAFETY AND ENVIRONMENTAL REGULATIONS THAT HAVE JURISDICTION.

ABBREVIATION:

F.F.L	FINISHED FLOOR LEVEL
A.F.F	ABOVE FLOOR FINISH
ELEV.	ELEVATION
U/S	UNDER SIDE
/W	WITH...
C/W	COMPLETE WITH...
CBW	CONCRETE BLOCK WALL
CMU	CONCRETE MASONRY UNIT
G.W.B.	GYPSUM BOARD
T/O	TOP OF...
N.I.C	NOT IN CONTRACT
EX.	EXISTING
MTL	METAL
GALV.	GALVANIZED
S.S.	STAINLESS STEEL

DRAWING NAME: P:\6930 SAEO Ceiling and Lighting Upgrades\03_Dwg\Structural\Working Drawings\6930 - A01 To A04.dwg

NO.	REVISION	DATE	INIT.
1	ISSUED FOR TENDER	2024-07-12	T.D.
0	ISSUED FOR 95% REVIEW	2024-06-28	T.D.

DRAFTING	B.L.
DESIGN	H.L.C.
CHECKED BY	H.L.C.
APPROVED BY	H.L.C.



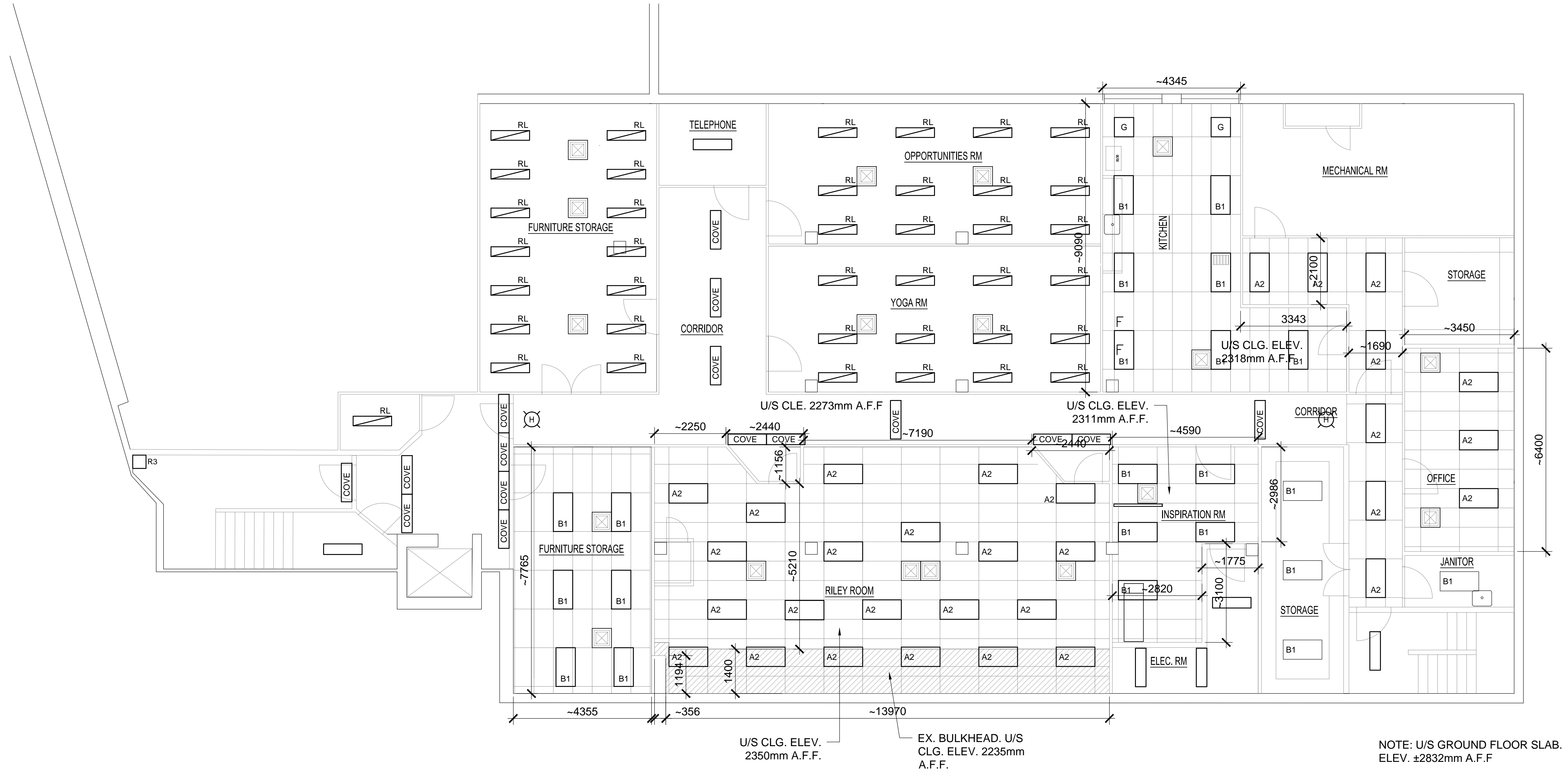
COMMUNITY SERVICES NIAGARA

SAEO CEILING AND LIGHTING UPGRADES

5853 PEER STREET, NIAGARA FALLS, ON.
LEGEND, NOTES AND ABBREVIATIONS

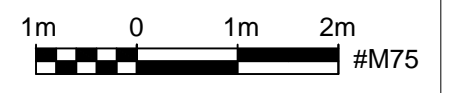
6930	
DATE	2023-06-03
SCALE	N.T.S.
REF. No.	5 OF 22
DWG No.	A01
REV.	1

DRAWING NAME: P:\6930 S&E0 Ceiling and Lighting Upgrades\03 Dwg\Structural\Working Drawings\6930 - A01 To A04.dwg



1 BASEMENT REFLECTED CEILING PLAN
A02 Scale: 1:75

NOTE: U/S GROUND FLOOR SLAB. ELEV. ±2832mm A.F.F



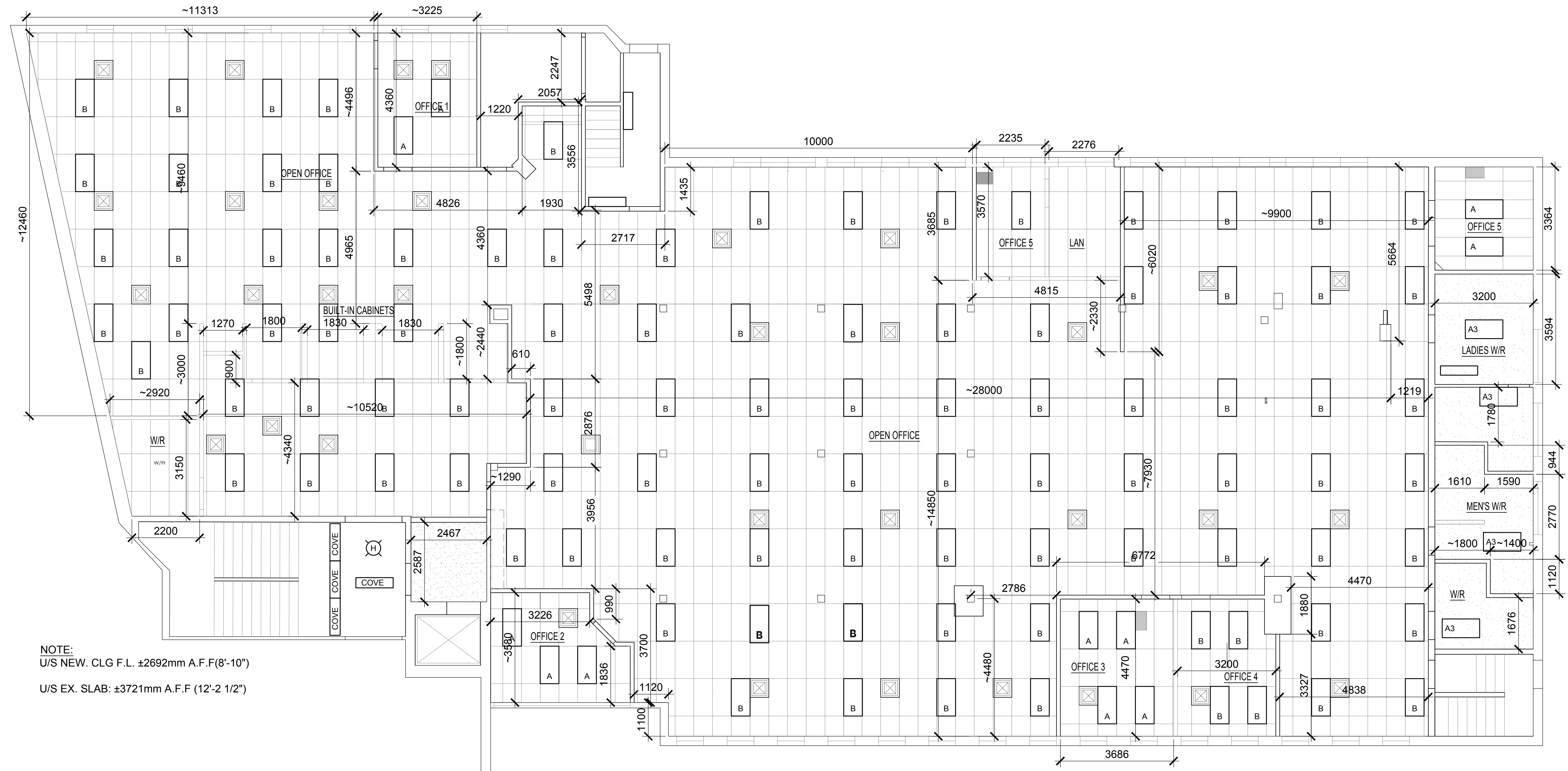
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0	ISSUED FOR 95% REVIEW	2024-06-28	T.D.

DRAFTING	B.L.
DESIGN	H.L.C.
CHECKED BY	H.L.C.
APPROVED BY	H.L.C.



COMMUNITY SERVICES NIAGARA
SAEO CEILING AND LIGHTING UPGRADES
5853 PEER STREET, NIAGARA FALLS, ON.
BASEMENT REFLECTED CEILING PLAN

CONSULTANT FILE No.	6930
DATE	2023-06-03
SCALE	1:75
REF. No.	6 OF 22
DWG No.	A02
REV.	1



1 GROUND FLOOR REFLECTED CEILING PLAN
 A03 Scale: 1:75

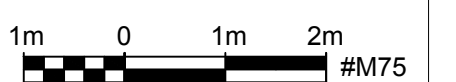
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NO.	REVISION	DATE	INIT.
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0	ISSUED FOR 95% REVIEW	2024-06-28	T.D.

DRAFTING	B.L.
DESIGN	H.L.C.
CHECKED BY	H.L.C.
APPROVED BY	H.L.C.



COMMUNITY SERVICES NIAGARA
 SAEO CEILING AND LIGHTING UPGRADES
 5853 PEER STREET, NIAGARA FALLS, ON.
 PROPOSED GROUND FLOOR REFLECTED CEILING PLAN



CONSULTANT FILE No.	6930
DATE	2023-06-03
SCALE	1:75
REF. No.	7 OF 22
DWG No.	A03
REV.	1



NOTE:
 U/S EX. CLG ±2743mm A.F.F(9')
 U/S EX. SLAB: ±3700mm A.F.F (12'-1 3/4")

2 2ND FLOOR REFLECTED CEILING PLAN
 A04 Scale: 1:75

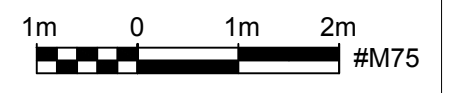
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NO.	REVISION	DATE	INIT.
1	ISSUED FOR TENDER	2024-07-12	T.D.
0	ISSUED FOR 95% REVIEW	2024-06-28	T.D.

DRAFTING	B.L.
DESIGN	H.L.C.
CHECKED BY	H.L.C.
APPROVED BY	H.L.C.






COMMUNITY SERVICES NIAGARA
 SAEO CEILING AND LIGHTING UPGRADES
 5853 PEER STREET, NIAGARA FALLS, ON.
 LEGEND, NOTES, ABBREVIATIONS AND DETAILS



CONSULTANT FILE No.	6930
DATE	2023-06-03
SCALE	1:75
REF. No.	8 OF 22
DWG No.	A04
REV.	1

LEGEND:

-  SUPPLY AIR DIFFUSER
-  RETURN GRILL
-  THERMOSTAT
- EX EXISTING EQUIPMENT AS NOTED

SCOPE OF WORK

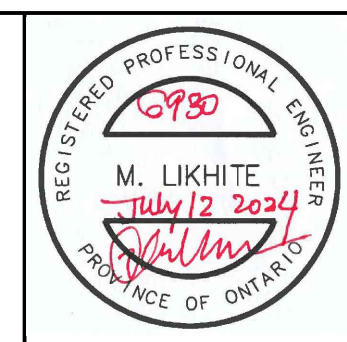
1. COVERING AND CLEANING OF EXISTING SUPPLY AIR DIFFUSERS AND DUCTWORK
2. REMOVAL AND DISPOSAL OF EXISTING RETURN GRILLES AND REPLACEMENT OF RETURN GRILLES AT LOCATIONS NOTED ON THE DRAWINGS.
3. PROVIDE FOUR(4) TYPE A SUPPLY AIR DIFFUSERS FOR USE AT THE SITE AT LOCATIONS DESIGNATED BY THE OWNER DURING CONSTRUCTION.

GRILLES AND DIFFUSERS				
TYPE NO.	TYPE	E.H.PRICE MODEL No. OR APPROVED EQUIVALENT	FINISH	REMARKS
A	SUPPLY AIR DIFFUSER	ACD-24"x24"	FACTORY WHITE	REFERENCE EXISTING 8" NECK. SITE VERIFY EXISTING NECK PRIOR SHOP DRAWING SUBMISSION AND REVISE AS REQUIRED.
B	GRILLE	SERIES 80 24"x24"	FACTORY WHITE	24"x24"
C	GRILLE	SERIES 80 12"x6"	FACTORY WHITE	12"x6"

DRAWING NAME: P:\6930 SAEO Ceiling and Lighting Upgrades\03 Dwg\Mechanical\Working Drawings\6930 - M01 TO M07.dwg

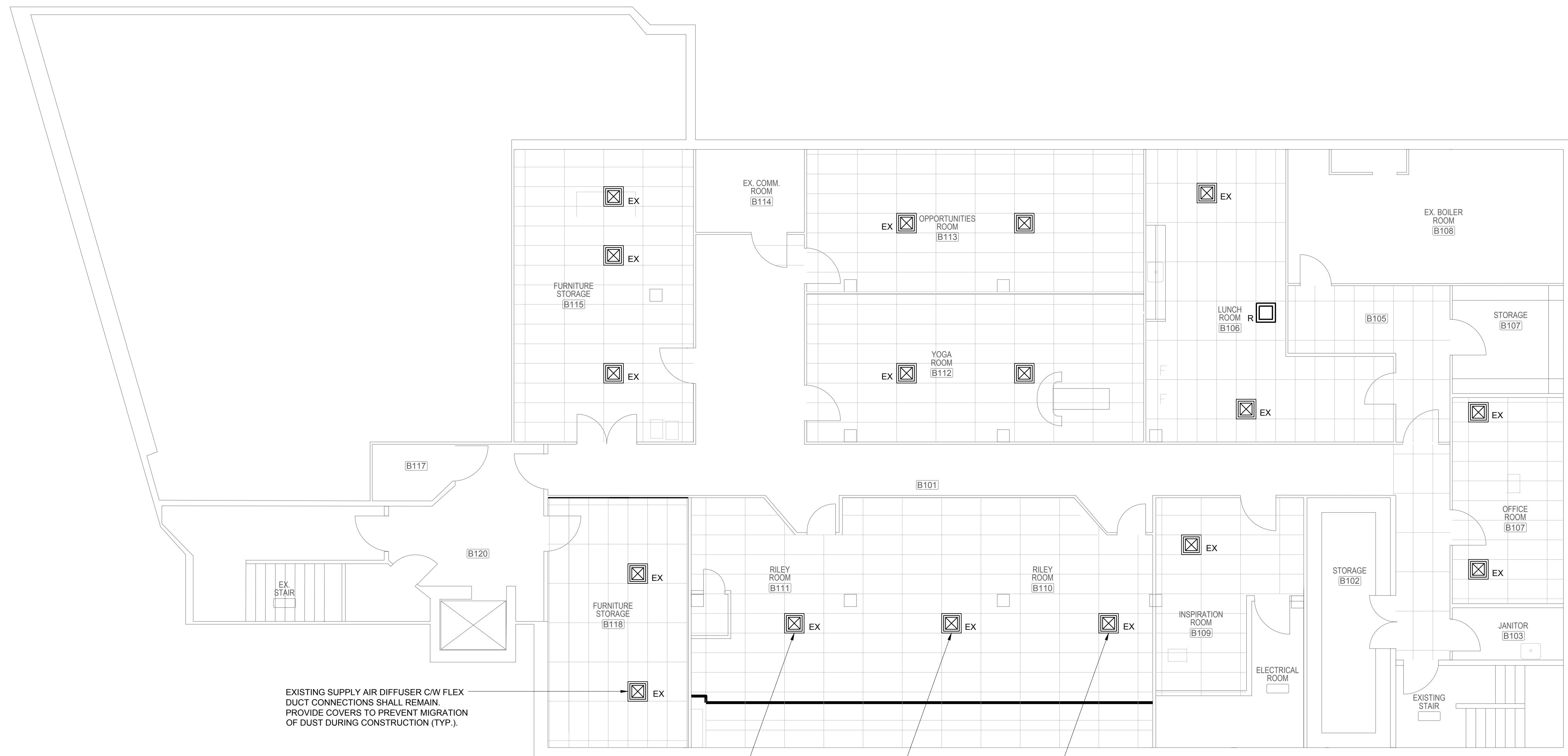
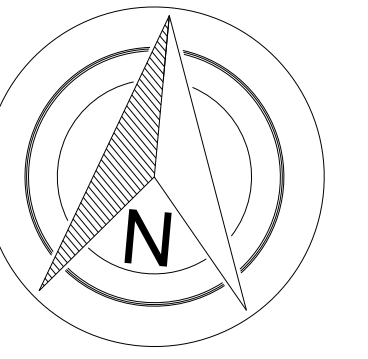
NO.	REVISION	DATE	INIT.
1	ISSUED FOR TENDER	2024-07-12	T.D.
0	ISSUED FOR 95% REVIEW	2024-06-28	T.D.

DRAFTING R.V.G.
DESIGN T.D.
CHECKED BY M.L.
APPROVED BY M.L.



COMMUNITY SERVICES NIAGARA
SAEO CEILING AND LIGHTING UPGRADES
 5853 PEER STREET, NIAGARA FALLS, ON.
KEY PLAN AND NOTES

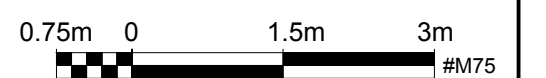
CONSULTANT FILE No. 6930	
DATE 2023-06-03	
SCALE N.T.S.	
REF. No.	9 OF 22
DWG No.	M01
REV.	1



EXISTING SUPPLY AIR DIFFUSER C/W FLEX DUCT CONNECTIONS SHALL REMAIN. PROVIDE COVERS TO PREVENT MIGRATION OF DUST DURING CONSTRUCTION (TYP.).

EXISTING SUPPLY AIR DIFFUSER C/W FLEX DUCT CONNECTIONS SHALL REMAIN. PROVIDE COVERS TO PREVENT MIGRATION OF DUST DURING CONSTRUCTION. CLEAN EXISTING DIFFUSER AND DUCTWORK.

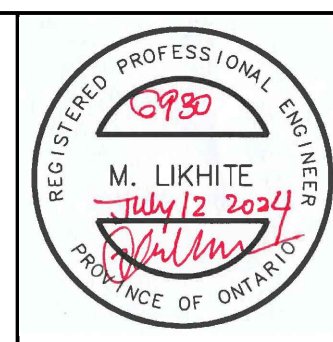
1 BASEMENT MECHANICAL DEMOLITION PLAN
M02 SCALE: 1:75



DRAWING NAME: P:\6930 SAE0 Ceiling and Lighting Upgrades\03 Dwg\Mechanical\Working Drawings\6930 - M01 TO M07.dwg

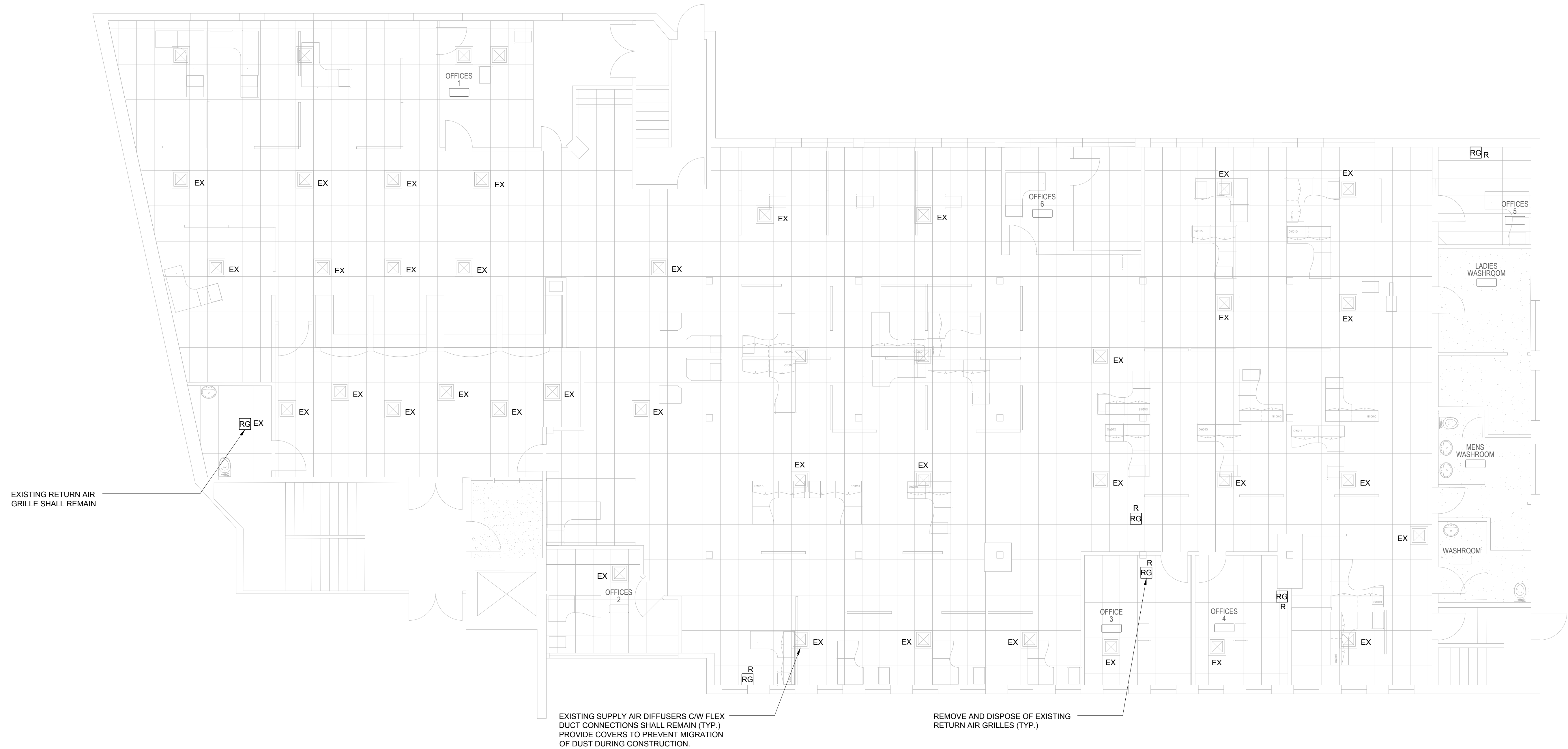
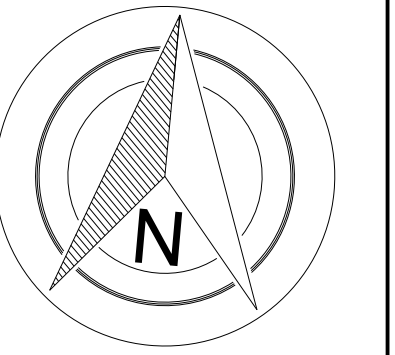
NO.	REVISION	DATE	INIT.
1	ISSUED FOR TENDER	2024-07-12	T.D.
0	ISSUED FOR 95% REVIEW	2024-06-28	T.D.

DRAFTING	R.V.G.
DESIGN	T.D.
CHECKED BY	M.L.
APPROVED BY	M.L.

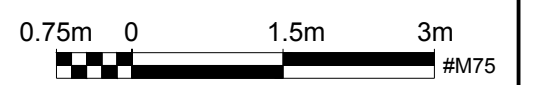


COMMUNITY SERVICES NIAGARA
SAEO CEILING AND LIGHTING UPGRADES
5853 PEER STREET, NIAGARA FALLS, ON.
BASEMENT MECHANICAL DEMOLITION PLAN

CONSULTANT FILE No.	6930
DATE	2023-06-03
SCALE	1:75
REF. No.	10 OF 22
DWG No.	M02
REV.	1



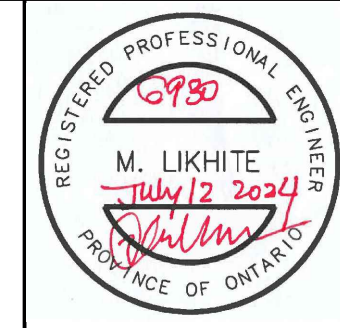
1 GROUND FLOOR MECHANICAL DEMOLITION PLAN
 M03 SCALE: 1:75



DRAWING NAME: P:\6930 SAE0 Ceiling and Lighting Upgrades\03 Dwg\Mechanical\Working Drawings\6930 - M01 TO M07.dwg

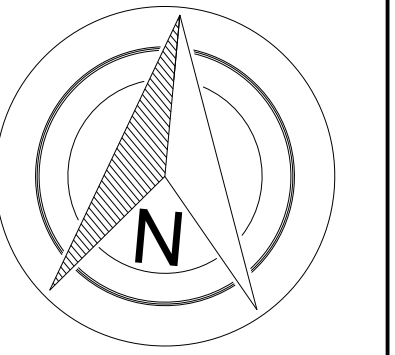
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1	ISSUED FOR TENDER	2024-07-12	T.D.
0	ISSUED FOR 95% REVIEW	2024-06-28	T.D.

DRAFTING	R.V.G.
DESIGN	T.D.
CHECKED BY	M.L.
APPROVED BY	M.L.

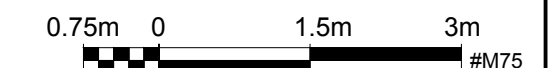


COMMUNITY SERVICES NIAGARA
 SAE0 CEILING AND LIGHTING UPGRADES
 5853 PEER STREET, NIAGARA FALLS, ON.
 STAGING PLAN GROUND FLOOR

CONSULTANT FILE No.	6930
DATE	2023-06-03
SCALE	1:75
REF. No.	11 OF 22
DWG No.	M03
REV.	1



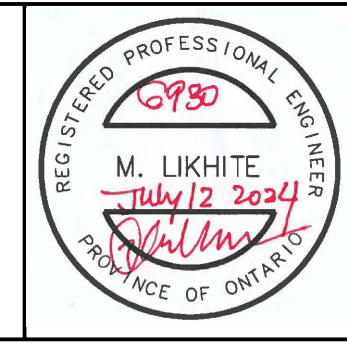
1 SECOND FLOOR MECHANICAL DEMOLITION PLAN
 M04 SCALE: 1:75



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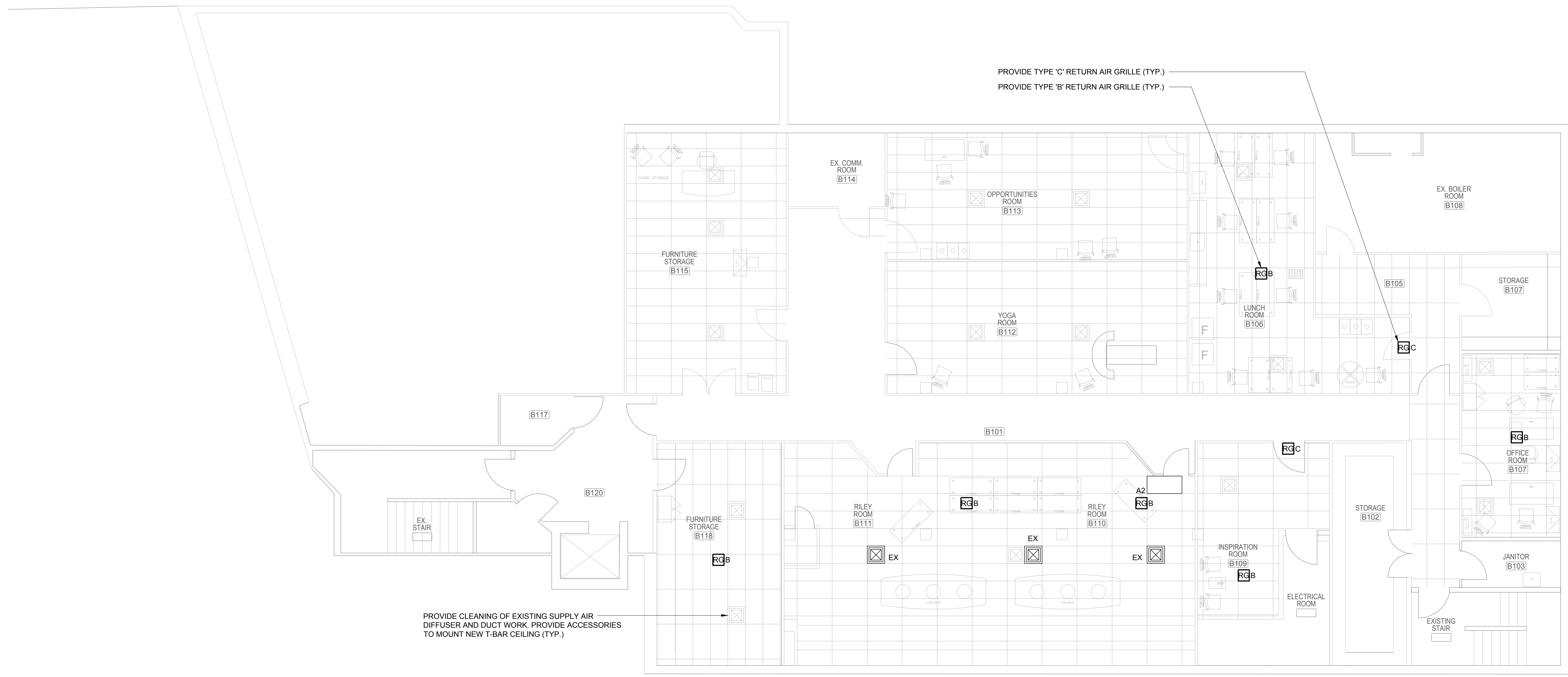
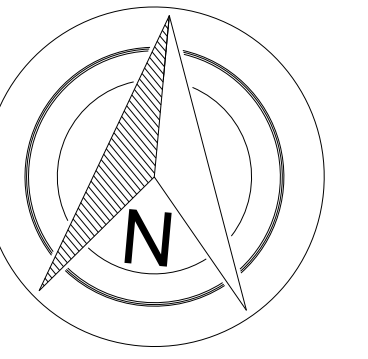
NO.	REVISION	DATE	INIT.
1	ISSUED FOR TENDER	2024-07-12	T.D.
0	ISSUED FOR 95% REVIEW	2024-06-28	T.D.

DRAFTING	R.V.G.
DESIGN	T.D.
CHECKED BY	M.L.
APPROVED BY	M.L.

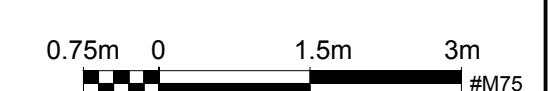


COMMUNITY SERVICES NIAGARA
 SAE0 CEILING AND LIGHTING UPGRADES
 5853 PEER STREET, NIAGARA FALLS, ON.
 STAGING PLAN SECOND FLOOR

CONSULTANT FILE No.	6930
DATE	2023-06-03
SCALE	1:75
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DWG No.	M04
REV.	1



1 BASEMENT MECHANICAL PLAN
M05 SCALE: 1:75



DRAWING NAME: P:\6930 SAEO Ceiling and Lighting Upgrades\03 Dwg\Mechanical\Working Drawings\6930 - M01 TO M07.dwg

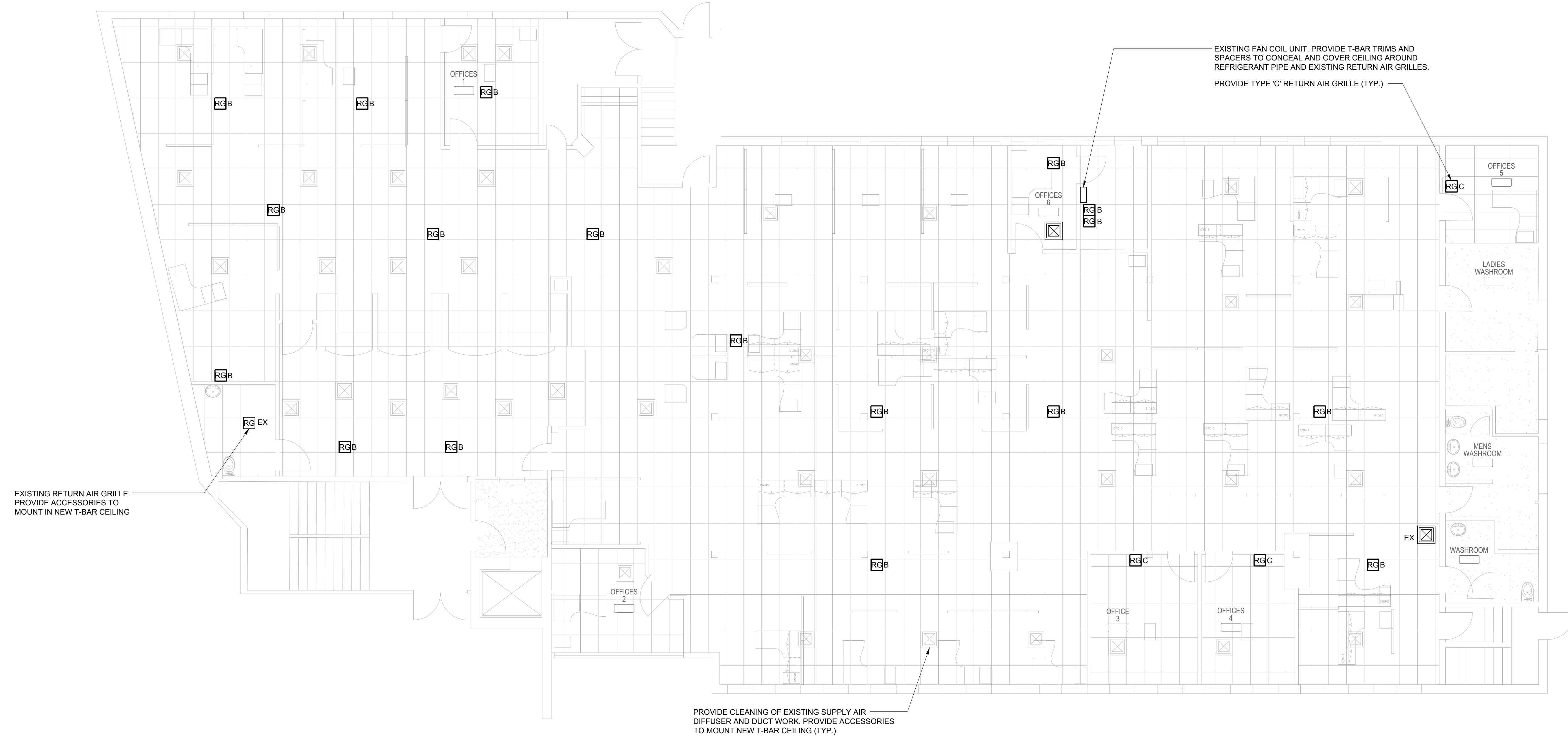
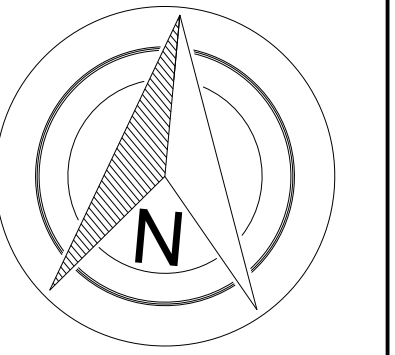
NO.	REVISION	DATE	INIT.
1	ISSUED FOR TENDER	2024-07-12	T.D.
0	ISSUED FOR 95% REVIEW	2024-06-28	T.D.

DRAFTING
R.V.G.
 DESIGN
T.D.
 CHECKED BY
M.L.
 APPROVED BY
M.L.



COMMUNITY SERVICES NIAGARA
SAEO CEILING AND LIGHTING UPGRADES
 5853 PEER STREET, NIAGARA FALLS, ON.
BASEMENT MECHANICAL PLAN

CONSULTANT FILE No.	6930
DATE	2023-06-03
SCALE	1:75
REF. No.	13 OF 22
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REV.	1



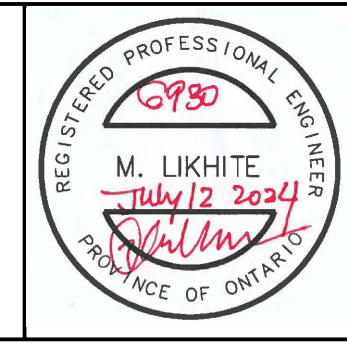
1 GROUND FLOOR MECHANICAL DEMOLITION PLAN
 M03 SCALE: 1:75



DRAWING NAME: P:\6930 SAEO Ceiling and Lighting Upgrades\03 Dwg\Mechanical\Working Drawings\6930 - M01 TO M07.dwg

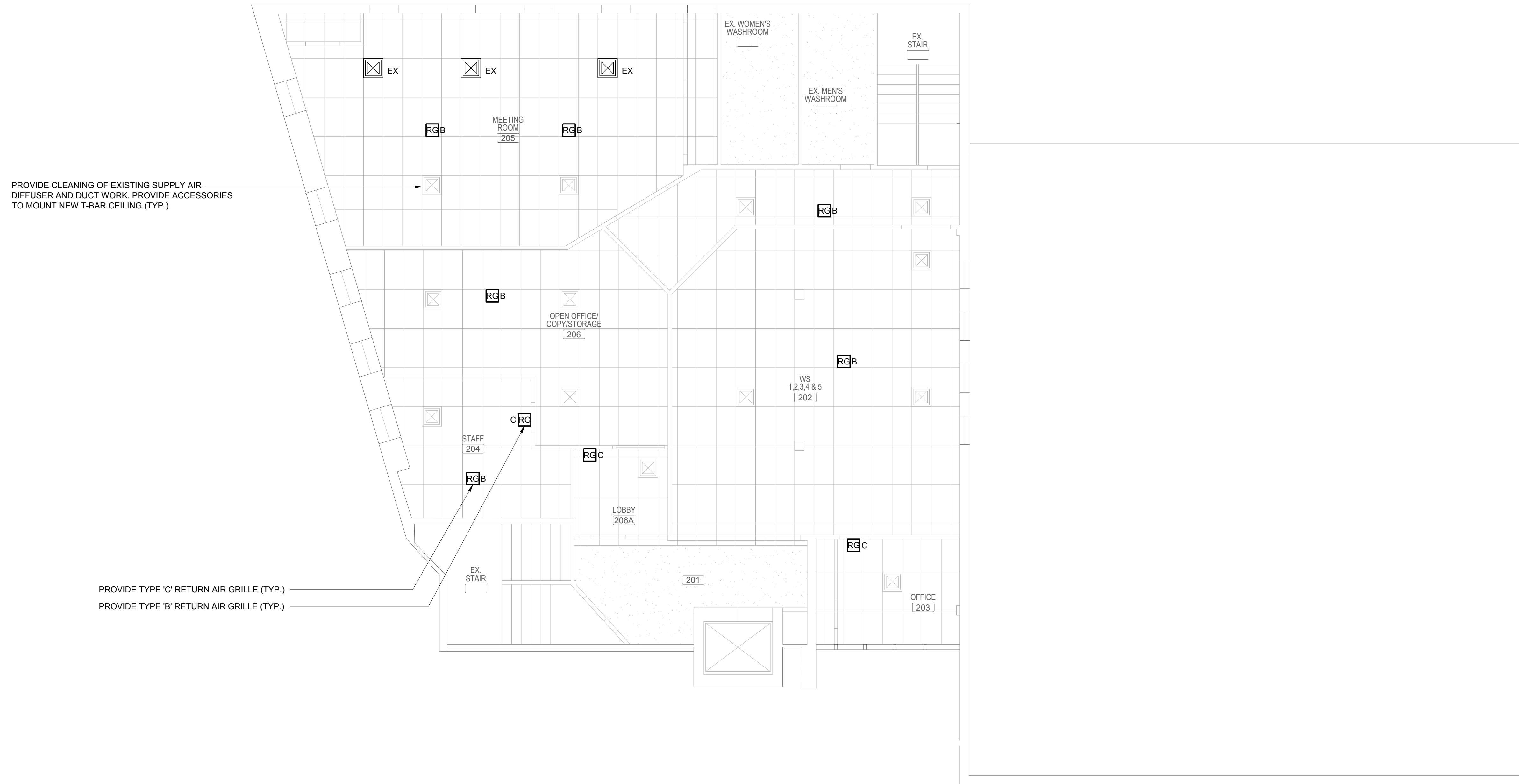
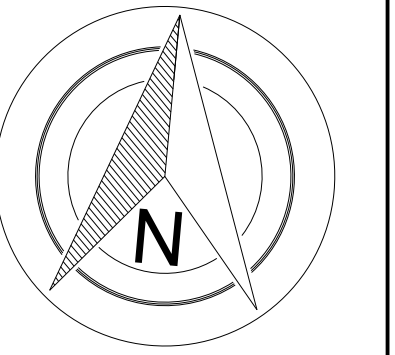
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1	ISSUED FOR TENDER	2024-07-12	T.D.
0	ISSUED FOR 95% REVIEW	2024-06-28	T.D.

DRAFTING	R.V.G.
DESIGN	T.D.
CHECKED BY	M.L.
APPROVED BY	M.L.

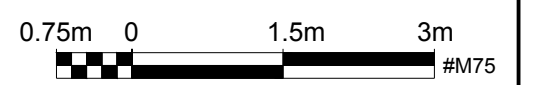


COMMUNITY SERVICES NIAGARA
 SAEO CEILING AND LIGHTING UPGRADES
 5853 PEER STREET, NIAGARA FALLS, ON.
 STAGING PLAN GROUND FLOOR

CONSULTANT FILE No.	6930
DATE	2023-06-03
SCALE	1:75
REF. No.	14 OF 22
DWG No.	M06
REV.	1



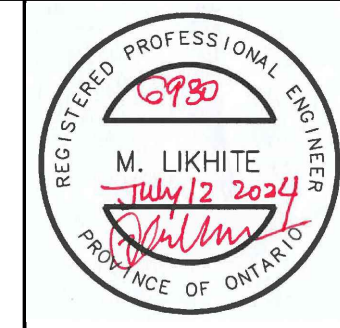
1 SECOND FLOOR MECHANICAL PLAN
 (M07) SCALE: 1:75



DRAWING NAME: P:\6930 SAEO Ceiling and Lighting Upgrades\03 Dwg\Mechanical\Working Drawings\6930 - M01 TO M07.dwg

NO.	REVISION	DATE	INIT.
1	ISSUED FOR TENDER	2024-07-12	T.D.
0	ISSUED FOR 95% REVIEW	2024-06-28	T.D.

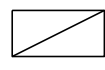
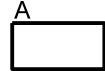
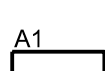
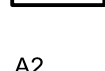
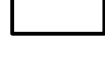
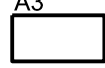
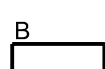

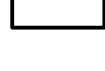
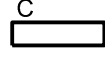
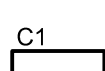

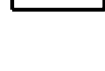
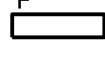








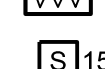






DRAFTING	R.V.G.
DESIGN	T.D.
CHECKED BY	M.L.
APPROVED BY	M.L.



COMMUNITY SERVICES NIAGARA
SAEO CEILING AND LIGHTING UPGRADES
 5853 PEER STREET, NIAGARA FALLS, ON.
 STAGING PLAN SECOND FLOOR

CONSULTANT FILE No.	6930
DATE	2023-06-03
SCALE	1:75
REF. No.	15 OF 22
DWG No.	M07
REV.	1

LEGEND:

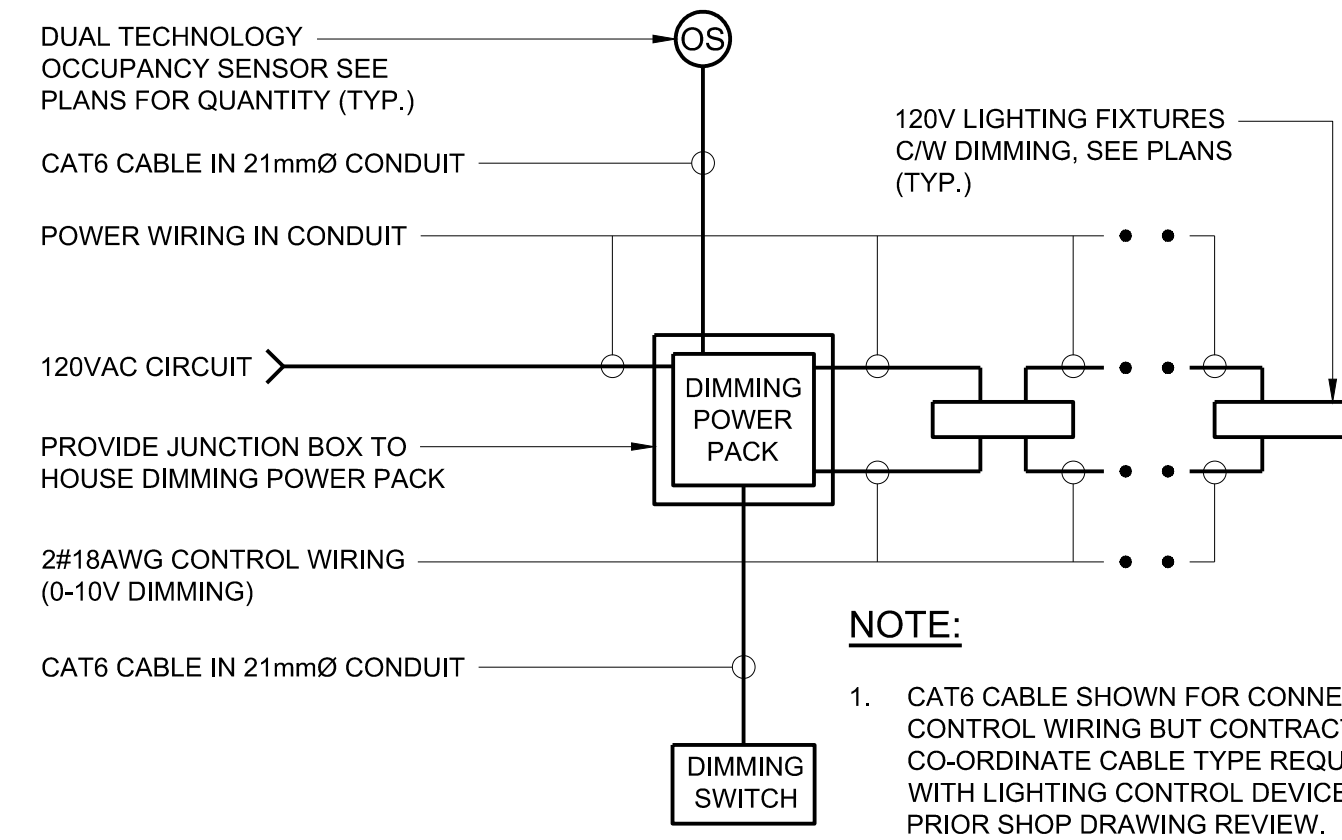
-  EXISTING LUMINAIRE CW T8 FLUORESCENT LAMPS, BALLAST AND ACCESSORIES
-  PROVIDE ONE (1) 120V TYPE A LED LUMINAIRE AND CONNECT TO EXISTING POWER CIRCUIT. SEE LIGHTING FIXTURE SCHEDULE FOR FIXTURE INFORMATION.
-  PROVIDE ONE (1) 120V TYPE A1 LED LUMINAIRE AND CONNECT TO EXISTING POWER CIRCUIT. SEE LIGHTING FIXTURE SCHEDULE FOR FIXTURE INFORMATION.
-  PROVIDE ONE (1) 120V TYPE A2 LED LUMINAIRE AND CONNECT TO EXISTING POWER CIRCUIT. SEE LIGHTING FIXTURE SCHEDULE FOR FIXTURE INFORMATION.
-  PROVIDE ONE (1) 120V TYPE A3 LED LUMINAIRE AND CONNECT TO EXISTING POWER CIRCUIT. SEE LIGHTING FIXTURE SCHEDULE FOR FIXTURE INFORMATION.
-  PROVIDE ONE (1) 120V TYPE B LED LUMINAIRE AND CONNECT TO EXISTING POWER CIRCUIT. SEE LIGHTING FIXTURE SCHEDULE FOR FIXTURE INFORMATION.
-  PROVIDE TWO(2) T8 LED LAMPS AND INSTANT START BALLAST OF EXISTING LIGHTING FIXTURE. SEE LIGHTING FIXTURE SCHEDULE FOR FIXTURE INFORMATION.
-  PROVIDE ONE (1) 120V TYPE C LED LUMINAIRE AND CONNECT TO EXISTING POWER CIRCUIT. SEE LIGHTING FIXTURE SCHEDULE FOR FIXTURE INFORMATION.
-  PROVIDE ONE (1) 120V TYPE C1 LED LUMINAIRE AND CONNECT TO EXISTING POWER CIRCUIT. SEE LIGHTING FIXTURE SCHEDULE FOR FIXTURE INFORMATION.
-  PROVIDE ONE (1) 120V TYPE D LED LUMINAIRE AND CONNECT TO EXISTING POWER CIRCUIT. SEE LIGHTING FIXTURE SCHEDULE FOR FIXTURE INFORMATION.
-  PROVIDE ONE (1) 120V TYPE F LED LUMINAIRE AND CONNECT TO EXISTING POWER CIRCUIT. SEE LIGHTING FIXTURE SCHEDULE FOR FIXTURE INFORMATION.
-  PROVIDE ONE (1) 120V TYPE G LED LUMINAIRE AND CONNECT TO EXISTING POWER CIRCUIT. SEE LIGHTING FIXTURE SCHEDULE FOR FIXTURE INFORMATION.
-  PROVIDE ONE (1) 120V TYPE H LED LUMINAIRE AND CONNECT TO EXISTING POWER CIRCUIT. SEE LIGHTING FIXTURE SCHEDULE FOR FIXTURE INFORMATION.
-  LIGHTING FIXTURE WITH COMPACT FLUORESCENT LAMP
-  SMOKE DETECTOR
-  DUCT DETECTOR
-  HEAT DETECTOR
-  MANUAL PULL STATION
-  FIRE ALARM CONTROL PANEL
-  ISOLATOR
-  END OF LINE RESISTOR
-  FIRE ALARM STROBE - 15cd INDICATES STROBE SET AT 15 CANDELA INTENSITY
-  FIRE ALARM SYSTEM BELL
-  ELECTRICAL EQUIPMENT AS NOTED
-  REMOTE ANNUNCIATOR PANEL
-  CIRCUIT BREAKER IN EEMAC 2 ENCLOSURE
-  JIFFY POLE C/W DUAL CHANNEL POWER AND DATA RACEWAY
-  COVE LIGHT
-  FIXED CCTV CAMERA

ABBREVIATIONS:

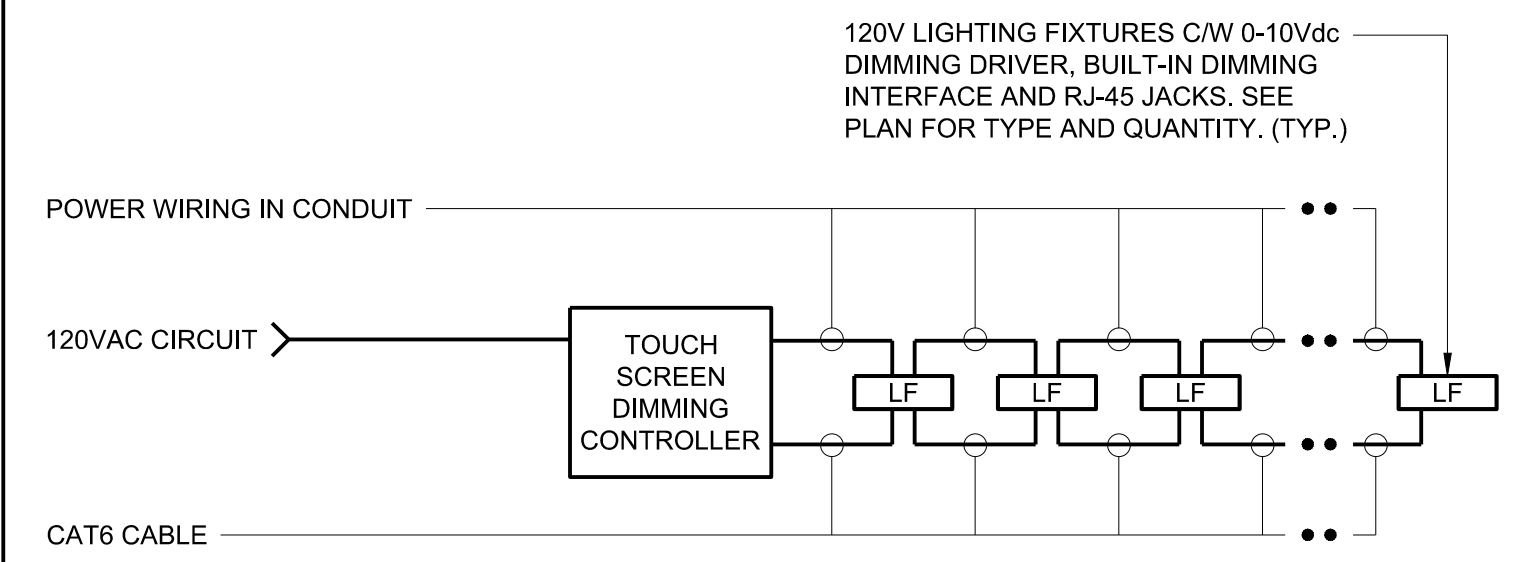
- EX EXISTING EQUIPMENT TO REMAIN
- C/W COMPLETE WITH
- W/P WEATHERPROOF
- FAS FIRE ALARM SYSTEM
- OFC ONTARIO FIRE CODE
- OBC ONTARIO BUILDING CODE
- R EXISTING DEVICE C/W WIRING AND CONDUIT TO BE REMOVED AND DISPOSED OF BACK TO SOURCE AND MADE SAFE AFTER NEW SYSTEM IS OPERATIONAL.
- Cd CANDELA
- PS PULL STATION
- CCT. CIRCUIT
- RL REMOVE AND DISPOSE OF EXISTING LAMP AND BALLAST. EXISTING LIGHTING FIXTURE SHALL REMAIN
- CFL COMPACT FLUORESCENT LAMP

CONSTRUCTION NOTES:

1. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB BY THE CONTRACTOR AND ANY DISCREPANCIES MUST BE REPORTED BEFORE COMMENCING THE WORK.
2. VISIT THE SITE PRIOR CLOSE OF TENDER. EXAMINE THE CONDITIONS AND MAKE NECESSARY ALLOWANCES IN THE BID PRICE FOR REMOVAL, REROUTING, RELOCATION AND RECONNECTION OF ELECTRICAL EQUIPMENT AND WIRING AS MAY BE NECESSARY FOR PROTECTING EXISTING UTILITIES AND SERVICES TO THE SATISFACTION OF THE CONCERNED OWNERS AND THE OVERALL EXECUTION AND COMPLETION OF THE PROJECT. EXTRA CHARGES FOR PREMIUM TIME SHALL BE INCLUDED IN THE BID AMOUNT. PROVIDE EXPOSING UTILITIES AND SERVICES, MAINTAINING REQUIRED CLEARANCES AND STRUCTURAL SUPPORT OF UTILITIES AND SERVICES.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BECOME INFORMED OF THE EXACT LOCATION OF, AND ASSUME ALL LIABILITY FOR DAMAGE TO ALL UTILITIES, SERVICES, AND STRUCTURES WHETHER ABOVE GROUND OR BELOW GRADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING SERVICES AND UTILITIES IN WORKING AREA PRIOR TO CONSTRUCTION AND SHALL PROTECT THESE SERVICES AND UTILITIES TO THE SATISFACTION OF THE CONCERNED UTILITY COMPANIES AND OWNER. DAMAGES BY THE CONTRACTOR SHALL BE RESTORED TO THE OWNER AT NO EXPENSE TO THE OWNER. PROVIDE EXPOSING UTILITIES AND SERVICES, MAINTAINING REQUIRED CLEARANCES AND STRUCTURAL SUPPORT OF UTILITIES AND SERVICES.
4. CO-ORDINATE CONSTRUCTION WITH REGION OF NIAGARA PRIOR TO INTERRUPTION OF POWER AND BUILDING SERVICES.
5. FIRE ALARM SYSTEM SHALL REMAIN OPERATIONAL THROUGH CONSTRUCTION. THE EXISTING FIRE ALARM SYSTEM IS EDWARDS FIRE SHIELD PLUS NON-ADDRESSABLE FIRE ALARM SYSTEM. THERE IS NO MEANS OF BY-PASSING INDIVIDUAL ZONES IN A GIVEN AREA. PROVIDE A FIRE WATCH WHEREIN IMPAIRMENT OF THE FIRE ALARM SYSTEM IS REQUIRED FOR THE WORK.
6. PROVIDE FIRE ALARM SYSTEM TESTING AND VERIFICATION REPORT AT COMPLETION OF PROJECT.
7. PROVIDE CERTIFICATE OF DISPOSAL FOR ALL EXISTING LUMINAIRES, LAMPS, AND BALLASTS REMOVED UNDER THIS PROJECT.
8. EACH EXISTING LINEAR LUMINAIRE SHOWN ON THE PLANS CONTAINS TWO (2) FLUORESCENT UNLESS SHOWN OTHERWISE.



1 LIGHTING CONTROL DETAIL
SCALE: N.T.S. - PRIVATE OFFICES, CORRIDORS SERVICE ROOMS AND WASHROOMS



2 LIGHTING CONTROL DETAIL
SCALE: N.T.S. - OPEN OFFICE AREA INDIVIDUAL FIXTURE CONTROL

LIGHTING FIXTURE SCHEDULE

SYMBOLS	BASE MANUFACTURER (AS SPECIFIED)	CATALOGUE NUMBER	CEILING TYPE		WALL TYPE		WATTAGE	BALLAST DRIVER VOLTAGE		ACCEPTABLE ALTERNATE MANUFACTURERS	REMARKS
			SURFACE	RECESSED	SURFACE	RECESSED		120 V.	347 V.		
A	LITHONIA LIGHTING	2BLT4-30L-ADP-EZ1-LP835-N100	●				LED	23W	●	COOPER HUBBELL	2'x4' DESIGN LIGHTS CONSORTIUM-LISTED LED LIGHTING FIXTURE RECESSED IN T-BAR CEILING. 3000 LUMENS, 3500K CCT, 80CRI C/W ACRYLIC DIFFUSER, 0-10Vdc DIMMING TO 1% AND BUILT-IN ADDRESSABLE LIGHTING CONTROL INTERFACE TERMINATED WITH IN AND OUT RJ45 JACKS. PROVIDE SAFETY CHAIN FOR SECURING FIXTURE TO FLOOR SLAB/ROOF DECK ABOVE.
A1	LITHONIA LIGHTING	2BLT4-40L-ADP-EZ1-LP835	●				LED	23W	●	COOPER HUBBELL	2'x4' DESIGN LIGHTS CONSORTIUM-LISTED LED LIGHTING FIXTURE RECESSED IN T-BAR CEILING. 4000 LUMENS, 3500K CCT, 80CRI C/W ACRYLIC DIFFUSER, 0-10Vdc DIMMING TO 1%. PROVIDE SAFETY CHAIN FOR SECURING FIXTURE TO FLOOR SLAB/ROOF DECK ABOVE.
A2	LITHONIA LIGHTING	2BLT4-30L-ADP-EZ1-LP835	●				LED	23W	●	COOPER HUBBELL	2'x4' DESIGN LIGHTS CONSORTIUM-LISTED LED LIGHTING FIXTURE RECESSED IN T-BAR CEILING. 3000 LUMENS, 3500K CCT, 80CRI C/W ACRYLIC DIFFUSER, 0-10Vdc DIMMING TO 1%. PROVIDE SAFETY CHAIN FOR SECURING FIXTURE TO FLOOR SLAB/ROOF DECK ABOVE.
A3	LITHONIA LIGHTING	2BLT4-30L-ADP-EZ1-LP835 C/W DGA-24 DRYWALL GRID ADAPTOR	●				LED	23W	●	COOPER HUBBELL	PROVIDE 2'x4' DRYWALL GRID ADAPTOR DESIGN LIGHTS CONSORTIUM-LISTED LED LIGHTING FIXTURE RECESSED IN DRYWALL CEILING. 3000 LUMENS, 3500K CCT, 80CRI C/W ACRYLIC DIFFUSER, 0-10Vdc DIMMING TO 1% AND BUILT-IN ADDRESSABLE LIGHTING CONTROL INTERFACE TERMINATED WITH IN AND OUT RJ45 JACKS. PROVIDE DRYWALL GRID ADAPTOR FOR MOUNTING IN DRYWALL CEILING.
B	LITHONIA LIGHTING	2BLT4-40L-ADP-EZ1-LP835-N100	●				LED	31W	●	COOPER HUBBELL	2'x4' DESIGN LIGHTS CONSORTIUM-LISTED LED LIGHTING FIXTURE RECESSED IN T-BAR CEILING. 4000 LUMENS, 3500K CCT, 80CRI C/W ACRYLIC DIFFUSER, 0-10Vdc DIMMING TO 1% AND BUILT-IN ADDRESSABLE LIGHTING CONTROL INTERFACE TERMINATED WITH IN AND OUT RJ45 JACKS. PROVIDE SAFETY CHAIN FOR SECURING FIXTURE TO FLOOR SLAB/ROOF DECK ABOVE.
B1	OSRAM SYLVANIA LEDVANCE	41827/LED15T8-L48FG-DIM835 -SUBG9 AND 75861/LHE2x32T8UNVISNSCB INSTANT-START BALLAST	●				LED	2-15W	●	PHILIPS GE	PROVIDE TWO(2) 4-LED T8 LAMPS AND SUITABLE INSTANT-START BALLAST IN EXISTING LIGHTING FIXTURE. 2100 LUMENS PER LAMP, 3500K CCT, 80CRI
C	LITHONIA LIGHTING	ZL1N-L48-7000LM-FST-MVOLT-35K-80CRI	●				LED	53W	●	COOPER HUBBELL	4' LINEAR LED STRIP LIGHTING FIXTURE SURFACE MOUNTED INSIDE EXISTING DRYWALL COVE ENCLOSURES 7000 LUMENS, 3500K CCT, 80CRI, FROSTED LENS, 0-10Vdc DIMMING
C1	LITHONIA LIGHTING	ZL1N-L48-5000LM-FST-MVOLT-35K-80CRI		●			LED	34W	●	COOPER HUBBELL	4' LINEAR LED STRIP LIGHTING FIXTURE SUSPENDED FROM CEILING, 5000 LUMENS, 3500K CCT, 80CRI, FROSTED LENS, 0-10Vdc DIMMING. PROVIDE SAFETY CHAIN.
D	LITHONIA LIGHTING	BLT4-15L-ADP-EZ1-LP835 C/W DGA-14 DRYWALL GRID ADAPTOR	●				LED	12W	●	COOPER HUBBELL	1'x4' DESIGN LIGHTS CONSORTIUM-LISTED LED LIGHTING FIXTURE RECESSED IN T-BAR CEILING. 1500 LUMENS, 3500K CCT, 80CRI C/W ACRYLIC DIFFUSER, 0-10Vdc DIMMING TO 1%. PROVIDE DRYWALL GRID ADAPTOR FOR MOUNTING IN DRYWALL CEILING.
F	LITHONIA LIGHTING	BLT4-20L-ADP-EZ1-LP835 C/W DGA-14 DRYWALL GRID ADAPTOR	●				LED	16W	●	COOPER HUBBELL	1'x4' DESIGN LIGHTS CONSORTIUM-LISTED LED LIGHTING FIXTURE RECESSED IN T-BAR CEILING. 2000 LUMENS, 3500K CCT, 80CRI C/W ACRYLIC DIFFUSER, 0-10Vdc DIMMING TO 1%. PROVIDE DRYWALL GRID ADAPTOR FOR MOUNTING IN DRYWALL CEILING.
G	LITHONIA LIGHTING	2BLT2-20L-ADP-EZ1-LP835	●				LED	17W	●	COOPER HUBBELL	610mm x 610mm x 57mm (2' x 2' x 1/4") LED LIGHTING FIXTURE RECESSED IN T-BAR CEILING, 0-10V DIMMING, DESIGN LIGHTS LISTED, 2000 LUMENS SWITCHABLE, 3500K CCT., 80CRI MOUNTED IN T-BAR CEILING. PROVIDE T-BAR SPACERS TO FIT IN 2' x 4' GRID.
H	LITHONIA LIGHTING	LBR6-AL02-SWW13500K-AR-LSS-WD-MVOLT-UGZ	●				LED	25W	●	COOPER HUBBELL	6" POT LIGHT C/W RETROFIT HOUSING, 0-10VDC DIMMING, 2000 LUMENS OUTPUT, 3500 CCT., 80CRI ENERGY-STAR LISTED, WIDE DISTRIBUTION, CLEAR REFLECTOR WITH SEMI-SPECULAR FINISH AND SELF-FLANGED. PROVIDE ACCESSORIES FOR MOUNTING FIXTURE IN DRYWALL CEILING. ADJUST OPENING IN CEILING AS REQUIRED TO INSTALL LIGHTING FIXTURE. REPAIR CEILING TO MATCH EXISTING FINISHES.

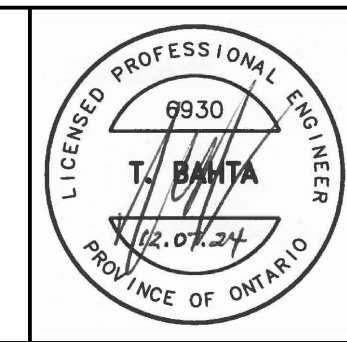
NOTES:

1. THE LIGHTING DESIGN IS BASED ON THE BASE MANUFACTURER'S PRODUCTS. WHERE ALTERNATE MANUFACTURERS ARE USED, COMPLETE PHOTOMETRIC CALCULATIONS SHOWING A LAYOUT MEETING OR EXCEEDING THE LIGHTING DESIGN CRITERIA MUST BE SUBMITTED DURING SHOP DRAWING SUBMISSION FOR CONSULTANT'S REVIEW.
2. PRODUCTS OF ALTERNATE MANUFACTURERS ARE UNACCEPTABLE WHEN POWER CONSUMPTION IS INCREASED SIGNIFICANTLY ENOUGH TO AFFECT ELECTRICAL DESIGN.
3. CONFIRM FINISHES AND TRIMS WITH CONSULTANT AND SITE CONDITIONS PRIOR EQUIPMENT ORDER.

DRAWING NAME: P:\6930 SAEO Ceiling and Lighting Upgrades\03 Drawg\Electrical\Working Drawings\6930-E01 TO E07.dwg

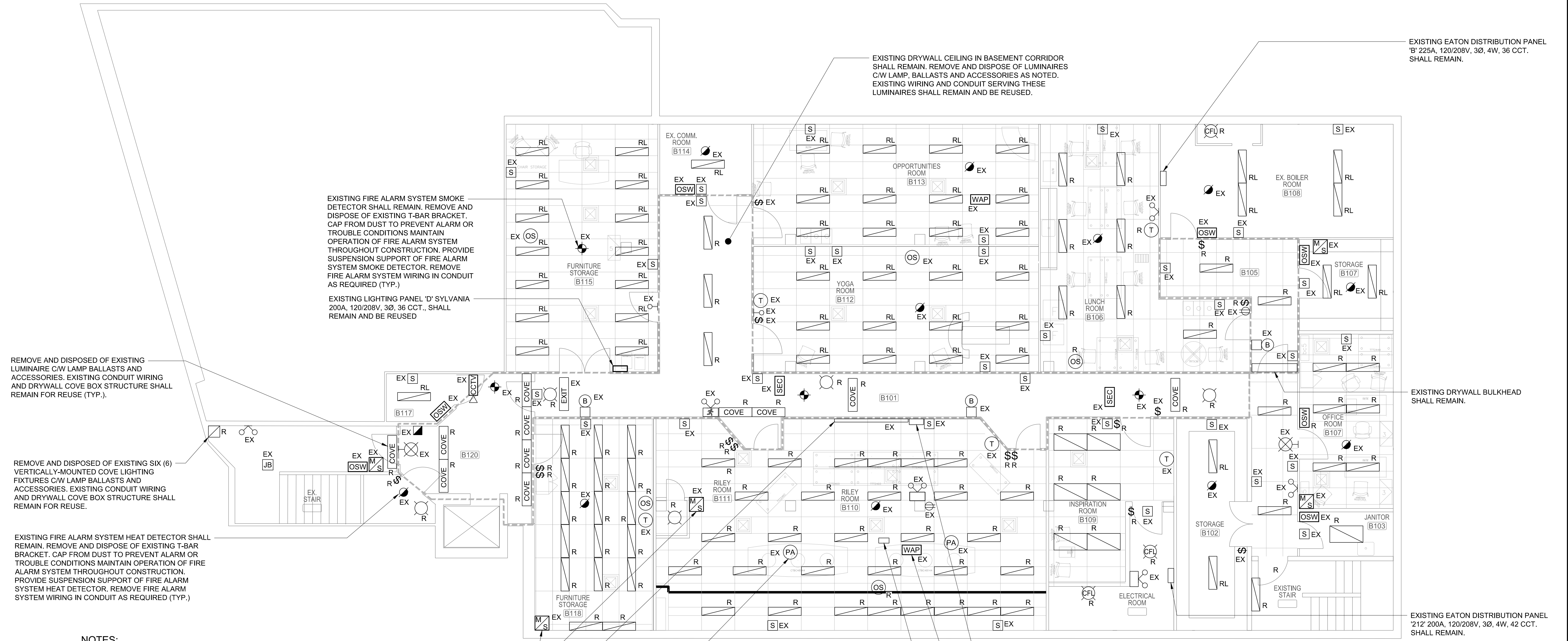
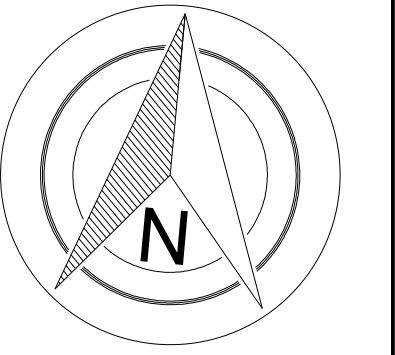
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0	ISSUED FOR 95% REVIEW	2024-06-28	T.D.
No.	REVISION	DATE	INIT.

DRAFTING
R.V.G.
DESIGN
T.D.
CHECKED BY
T.D.
APPROVED BY
T.B.



COMMUNITY SERVICES NIAGARA
SAEO CEILING AND LIGHTING UPGRADES
5853 PEER STREET, NIAGARA FALLS, ON.
LEGEND, NOTES, ABBREVIATIONS AND DETAILS

CONSULTANT FILE No.	6930
DATE	2023-06-03
SCALE	N.T.S.
REF. No.	16 OF 22
DWG No.	E01
REV.	1



REMOVE AND DISPOSE OF EXISTING LUMINAIRE C/W LAMP BALLASTS AND ACCESSORIES. EXISTING CONDUIT WIRING AND DRYWALL COVE BOX STRUCTURE SHALL REMAIN FOR REUSE (TYP.).

REMOVE AND DISPOSE OF EXISTING SIX (6) VERTICALLY-MOUNTED COVE LIGHTING FIXTURES C/W LAMP BALLASTS AND ACCESSORIES. EXISTING CONDUIT WIRING AND DRYWALL COVE BOX STRUCTURE SHALL REMAIN FOR REUSE.

EXISTING FIRE ALARM SYSTEM HEAT DETECTOR SHALL REMAIN. REMOVE AND DISPOSE OF EXISTING T-BAR BRACKET. CAP FROM DUST TO PREVENT ALARM OR TROUBLE CONDITIONS MAINTAIN OPERATION OF FIRE ALARM SYSTEM THROUGHOUT CONSTRUCTION. PROVIDE SUSPENSION SUPPORT OF FIRE ALARM SYSTEM HEAT DETECTOR. REMOVE FIRE ALARM SYSTEM WIRING IN CONDUIT AS REQUIRED (TYP.)

EXISTING FIRE ALARM SYSTEM SMOKE DETECTOR SHALL REMAIN. REMOVE AND DISPOSE OF EXISTING T-BAR BRACKET. CAP FROM DUST TO PREVENT ALARM OR TROUBLE CONDITIONS MAINTAIN OPERATION OF FIRE ALARM SYSTEM THROUGHOUT CONSTRUCTION. PROVIDE SUSPENSION SUPPORT OF FIRE ALARM SYSTEM SMOKE DETECTOR. REMOVE FIRE ALARM SYSTEM WIRING IN CONDUIT AS REQUIRED (TYP.)

EXISTING LIGHTING PANEL 'D' SYLVANIA 200A, 120/208V, 3Ø, 36 CCT., SHALL REMAIN AND BE REUSED

EXISTING DRYWALL CEILING IN BASEMENT CORRIDOR SHALL REMAIN. REMOVE AND DISPOSE OF LUMINAIRES C/W LAMP, BALLASTS AND ACCESSORIES AS NOTED. EXISTING WIRING AND CONDUIT SERVING THESE LUMINAIRES SHALL REMAIN AND BE REUSED.

EXISTING EATON DISTRIBUTION PANEL 'B' 225A, 120/208V, 3Ø, 4W, 36 CCT. SHALL REMAIN.

EXISTING DRYWALL BULKHEAD SHALL REMAIN.

EXISTING EATON DISTRIBUTION PANEL '212' 200A, 120/208V, 3Ø, 4W, 42 CCT. SHALL REMAIN.

NOTES:

1. CEILINGS ARE T-BAR OR OPEN CONCRETE UNLESS NOTED OTHERWISE.
2. TEST EMERGENCY LIGHTING AFTER COMPLETION OF CONSTRUCTION AND PROVIDE TEST REPORT TO OWNER.
3. TEST, INSPECT AND VERIFY FIRE ALARM SYSTEM AT COMPLETION OF CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF CAN/ULC-S536/S537. PROVIDE FIRE ALARM SYSTEM VERIFICATION REPORT

SALVAGE EXISTING MOTION SENSORS. COIL EXISTING COMMUNICATIONS CABLE IN CEILING SPACE FOR REUSE (TYP.)

EXISTING PROJECTOR SCREEN TO BE SALVAGED BY OWNER

EXISTING PUBLIC ADDRESS SPEAKER TO BE SALVAGED BY OWNER. DISCONNECT AND COIL EXISTING CABLE AT CEILING SPACE FOR REUSE.

EXISTING PROTECTION CONTROL PANEL TO REMAIN. PROTECTED THROUGHOUT CONSTRUCTION.

EXISTING WIRELESS ACCESS POINT TO BE SALVAGED BY OWNER. COIL EXISTING CAT6 DATA CABLE AT CEILING SPACE FOR RECONNECTION (TYP.)

EXISTING PROJECTOR TO OWNER SHALL REMAIN PROTECTED DURING CONSTRUCTION. PROVIDE CEILING TILE TRIMS AROUND PROJECTOR PENDANT. CO-ORDINATE WITH CEILING INSTALLATION.

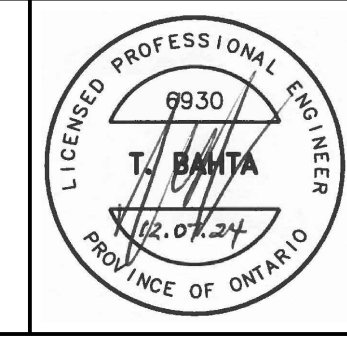
1 BASEMENT - LIGHTING DEMOLITION PLAN
E02 SCALE: 1:75

1m 0 1m 2m #M75

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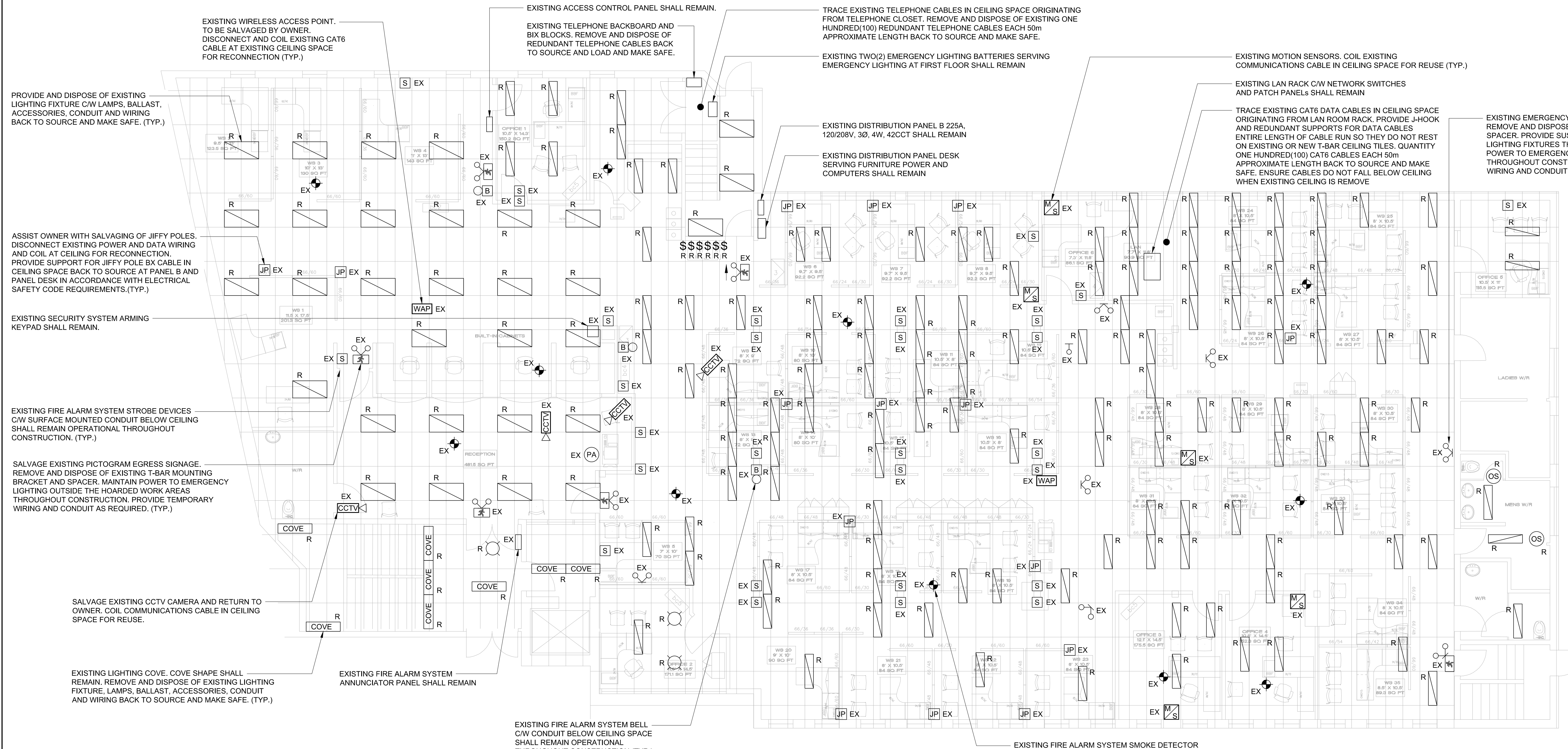
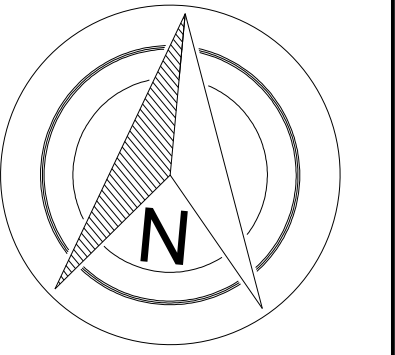
No.	REVISION	DATE	INIT.
1	ISSUED FOR TENDER	2024-07-12	T.D.
0	ISSUED FOR 95% REVIEW	2024-06-28	T.D.

DRAFTING
R.V.G.
DESIGN
T.D.
CHECKED BY
T.D.
APPROVED BY
T.B.



COMMUNITY SERVICES NIAGARA
SAEO CEILING AND LIGHTING UPGRADES
5853 PEER STREET, NIAGARA FALLS, ON.
BASEMENT - LIGHTING DEMOLITION PLAN

CONSULTANT FILE No.	6930
DATE	2023-06-03
SCALE	1:75
REF. No.	17 OF 22
DWG No.	E02
REV.	1



EXISTING WIRELESS ACCESS POINT. TO BE SALVAGED BY OWNER. DISCONNECT AND COIL EXISTING CAT6 CABLE AT EXISTING CEILING SPACE FOR RECONNECTION (TYP.)

EXISTING TELEPHONE BACKBOARD AND BIX BLOCKS. REMOVE AND DISPOSE OF REDUNDANT TELEPHONE CABLES BACK TO SOURCE AND LOAD AND MAKE SAFE.

TRACE EXISTING TELEPHONE CABLES IN CEILING SPACE ORIGINATING FROM TELEPHONE CLOSET. REMOVE AND DISPOSE OF EXISTING ONE HUNDRED(100) REDUNDANT TELEPHONE CABLES EACH 50m APPROXIMATE LENGTH BACK TO SOURCE AND MAKE SAFE.

EXISTING MOTION SENSORS. COIL EXISTING COMMUNICATIONS CABLE IN CEILING SPACE FOR REUSE (TYP.)

EXISTING EMERGENCY LIGHTING FIXTURES SHALL REMAIN. REMOVE AND DISPOSE OF EXISTING T-BAR BRACKET AND SPACER. PROVIDE SUSPENSION SUPPORT FOR EMERGENCY LIGHTING FIXTURES THROUGHOUT CONSTRUCTION MAINTAIN POWER TO EMERGENCY LIGHTING OUTSIDE HOARDED AREA THROUGHOUT CONSTRUCTION. PROVIDE TEMPORARY WIRING AND CONDUIT AS REQUIRED. (TYP.)

PROVIDE AND DISPOSE OF EXISTING LIGHTING FIXTURE C/W LAMPS, BALLAST, ACCESSORIES, CONDUIT AND WIRING BACK TO SOURCE AND MAKE SAFE. (TYP.)

EXISTING DISTRIBUTION PANEL B 225A, 120/208V, 3Ø, 4W, 42CCT SHALL REMAIN

EXISTING DISTRIBUTION PANEL DESK SERVING FURNITURE POWER AND COMPUTERS SHALL REMAIN

TRACE EXISTING CAT6 DATA CABLES IN CEILING SPACE ORIGINATING FROM LAN ROOM RACK. PROVIDE J-HOOK AND REDUNDANT SUPPORTS FOR DATA CABLES ENTIRE LENGTH OF CABLE RUN SO THEY DO NOT REST ON EXISTING OR NEW T-BAR CEILING TILES. QUANTITY ONE HUNDRED(100) CAT6 CABLES EACH 50m APPROXIMATE LENGTH BACK TO SOURCE AND MAKE SAFE. ENSURE CABLES DO NOT FALL BELOW CEILING WHEN EXISTING CEILING IS REMOVE

ASSIST OWNER WITH SALVAGING OF JIFFY POLES. DISCONNECT EXISTING POWER AND DATA WIRING AND COIL AT CEILING FOR RECONNECTION. PROVIDE SUPPORT FOR JIFFY POLE BX CABLE IN CEILING SPACE BACK TO SOURCE AT PANEL B AND PANEL DESK IN ACCORDANCE WITH ELECTRICAL SAFETY CODE REQUIREMENTS.(TYP.)

EXISTING SECURITY SYSTEM ARMING KEYPAD SHALL REMAIN.

EXISTING FIRE ALARM SYSTEM STROBE DEVICES C/W SURFACE MOUNTED CONDUIT BELOW CEILING SHALL REMAIN OPERATIONAL THROUGHOUT CONSTRUCTION. (TYP.)

SALVAGE EXISTING PICTOGRAM EGRESS SIGNAGE. REMOVE AND DISPOSE OF EXISTING T-BAR MOUNTING BRACKET AND SPACER. MAINTAIN POWER TO EMERGENCY LIGHTING OUTSIDE THE HOARDED WORK AREAS THROUGHOUT CONSTRUCTION. PROVIDE TEMPORARY WIRING AND CONDUIT AS REQUIRED. (TYP.)

SALVAGE EXISTING CCTV CAMERA AND RETURN TO OWNER. COIL COMMUNICATIONS CABLE IN CEILING SPACE FOR REUSE.

EXISTING LIGHTING COVE. COVE SHAPE SHALL REMAIN. REMOVE AND DISPOSE OF EXISTING LIGHTING FIXTURE, LAMPS, BALLAST, ACCESSORIES, CONDUIT AND WIRING BACK TO SOURCE AND MAKE SAFE. (TYP.)

EXISTING FIRE ALARM SYSTEM ANNUNCIATOR PANEL SHALL REMAIN

EXISTING FIRE ALARM SYSTEM BELL C/W CONDUIT BELOW CEILING SPACE SHALL REMAIN OPERATIONAL THROUGHOUT CONSTRUCTION (TYP.)

EXISTING FIRE ALARM SYSTEM SMOKE DETECTOR SHALL REMAIN. REMOVE AND DISPOSE OF EXISTING T-BAR BRACKET. CAP FROM DUST TO PREVENT ALARM OR TROUBLE CONDITIONS MAINTAIN OPERATION OF FIRE ALARM SYSTEM THROUGHOUT CONSTRUCTION. PROVIDE SUSPENSION SUPPORT OF FIRE ALARM SYSTEM SMOKE DETECTOR. REMOVE FIRE ALARM SYSTEM WIRING IN CONDUIT AS REQUIRED (TYP.)

NOTES:

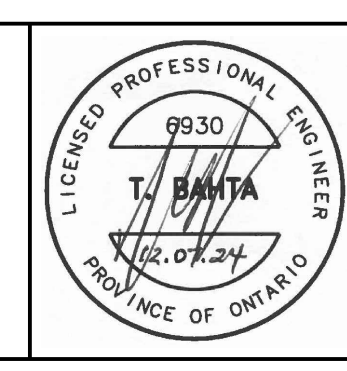
1. TEST EMERGENCY LIGHTING AFTER COMPLETION OF CONSTRUCTION AND PROVIDE TEST REPORT TO OWNER. .
2. TEST, INSPECT AND VERIFY FIRE ALARM SYSTEM AT COMPLETION OF CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF CAN/ULC-S536/S537. PROVIDE FIRE ALARM SYSTEM VERIFICATION REPORT.

1 GROUND FLOOR - LIGHTING DEMOLITION PLAN
E03 SCALE: 1:75

1m 0 1m 2m
#M75

No.	REVISION	DATE	INIT.
1	ISSUED FOR TENDER	2024-07-12	T.D.
0	ISSUED FOR 95% REVIEW	2024-06-28	T.D.

DRAFTING
R.V.G.
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T.D.
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T.D.
APPROVED BY
T.B.



COMMUNITY SERVICES NIAGARA
SAEO CEILING AND LIGHTING UPGRADES
5853 PEER STREET, NIAGARA FALLS, ON.
GROUND FLOOR LIGHTING DEMOLITION PLAN

CONSULTANT FILE No. 6930	REV.
DATE 2023-06-03	1
SCALE 1:75	
REF. No. 18 OF 22	
DWG No. E03	

DRAWING NAME: P:\6930 SAEO Ceiling and Lighting Upgrades\03 Dwg\Electrical\Working Drawings\6930-E01 TO E07.dwg



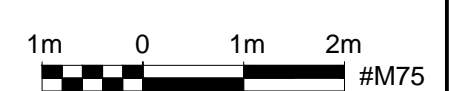
EXISTING PROJECTOR SHALL REMAIN PROTECTED DURING CONSTRUCTION. PROVIDE CEILING TILE TRIMS AROUND PROJECTOR PENDANT. CO-ORDINATE WITH CEILING INSTALLATION.

REMOVE AND DISPOSED OF EXISTING THREE (3) VERTICALLY-MOUNTED COVE LIGHTING FIXTURES C/W LAMP BALLASTS AND ACCESSORIES. EXISTING CONDUIT WIRING AND DRYWALL COVE BOX STRUCTURE SHALL REMAIN FOR REUSE.

NOTES:

1. ALL CEILINGS ARE T-BAR CEILINGS OR OPEN CEILINGS EXCEPT WHERE NOTED OTHERWISE
2. TEST EMERGENCY LIGHTING AFTER COMPLETION OF CONSTRUCTION AND PROVIDE TEST REPORT TO OWNER.
3. TEST, INSPECT AND VERIFY FIRE ALARM SYSTEM AT COMPLETION OF CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF CANULC-S536/S537. PROVIDE FIRE ALARM SYSTEM VERIFICATION REPORT

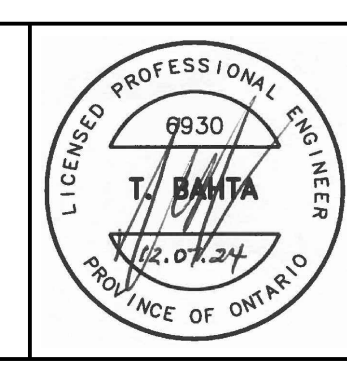
1 SECOND FLOOR - LIGHTING DEMOLITION PLAN
 E04 SCALE: 1:75



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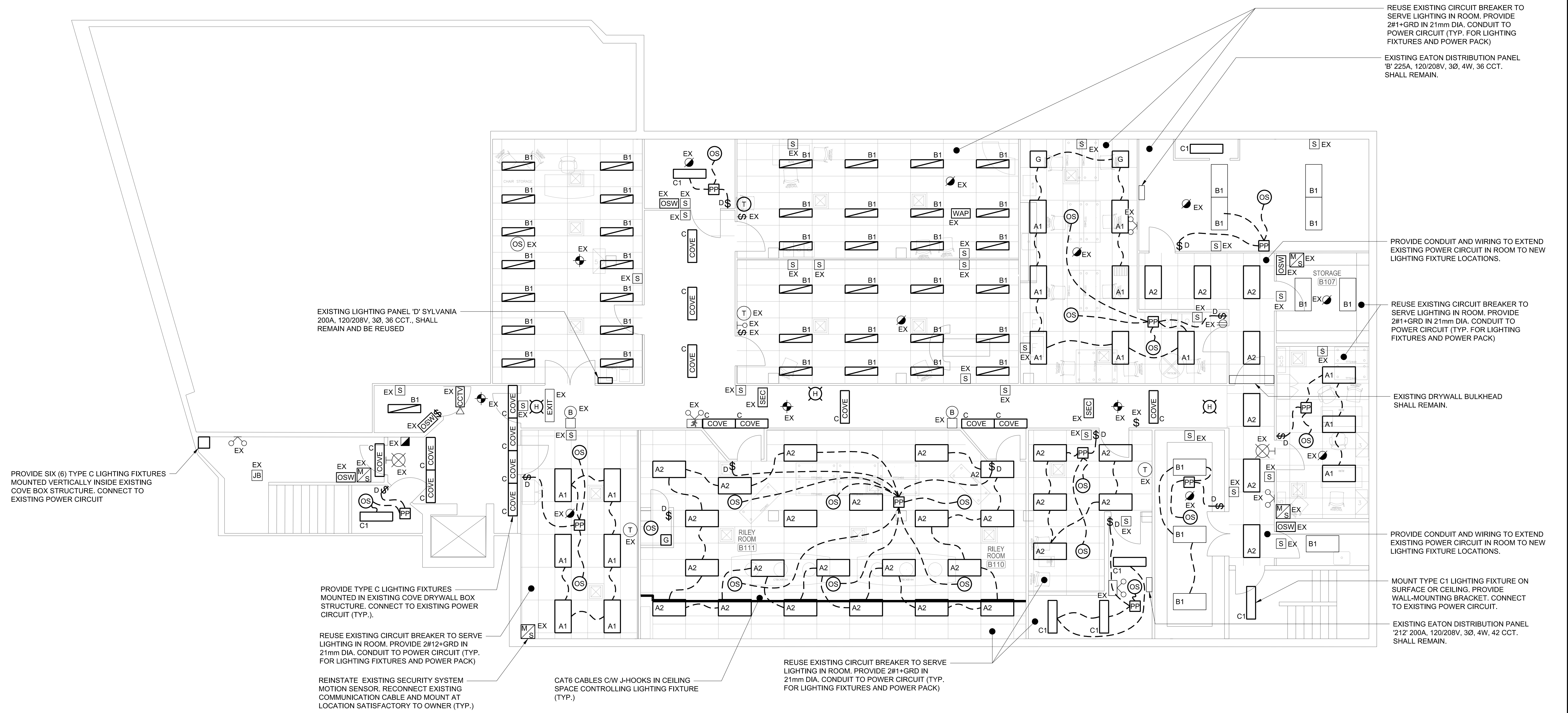
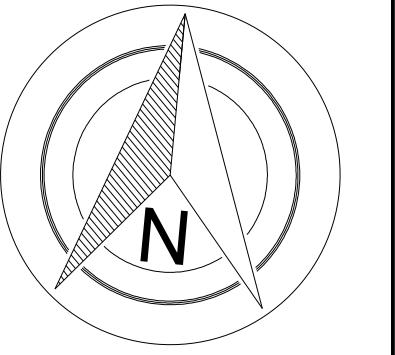
No.	REVISION	DATE	INIT.
1	ISSUED FOR TENDER	2024-07-12	T.D.
0	ISSUED FOR 95% REVIEW	2024-06-28	T.D.

DRAFTING	R.V.G.
DESIGN	T.D.
CHECKED BY	T.D.
APPROVED BY	T.B.



COMMUNITY SERVICES NIAGARA
 SAEO CEILING AND LIGHTING UPGRADES
 5853 PEER STREET, NIAGARA FALLS, ON.
 SECOND FLOOR LIGHTING DEMOLITION PLAN

CONSULTANT FILE No.	6930
DATE	2023-06-03
SCALE	1:75
REF. No.	19 OF 22
DWG No.	E04
REV.	1



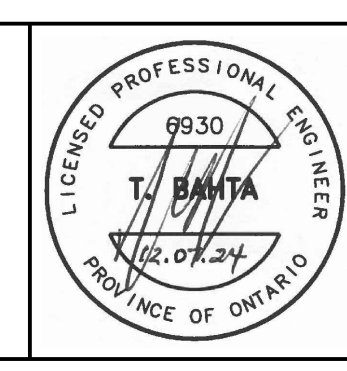
1 BASEMENT - LIGHTING SYSTEM PLAN
E05 SCALE: 1:75

1m 0 1m 2m
 #M75

DRAWING NAME: P:\6930 SAE0 Ceiling and Lighting Upgrades\03 Drawg\Electrical\Working Drawings\6930-E01 TO E07.dwg

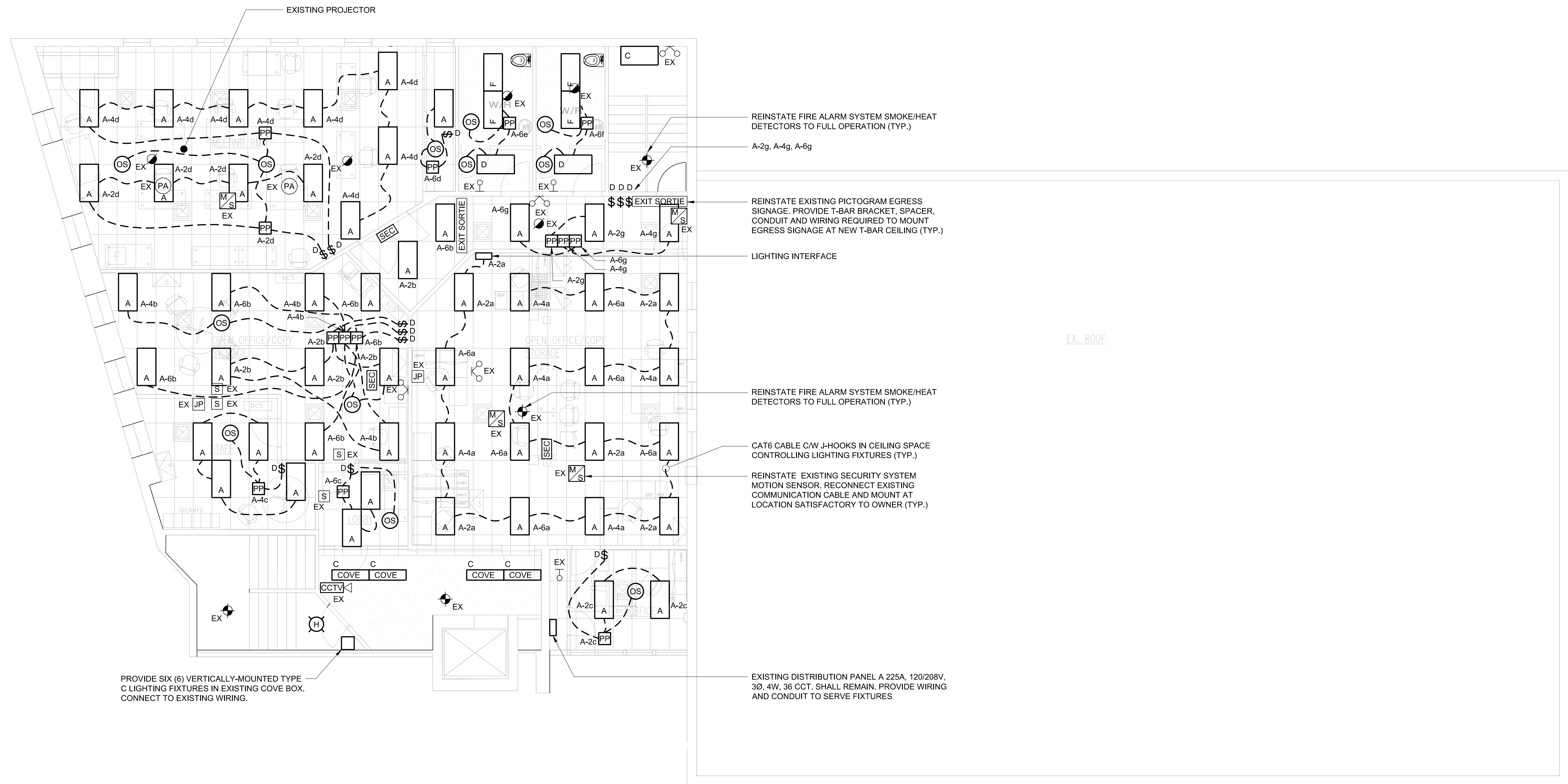
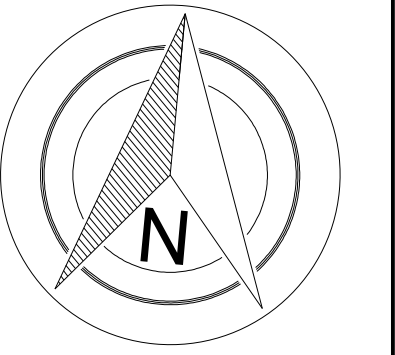
No.	REVISION	DATE	INIT.
1	ISSUED FOR TENDER	2024-07-12	T.D.
0	ISSUED FOR 95% REVIEW	2024-06-28	T.D.

DRAFTING	R.V.G.
DESIGN	T.D.
CHECKED BY	T.D.
APPROVED BY	T.B.



COMMUNITY SERVICES NIAGARA
 SAE0 CEILING AND LIGHTING UPGRADES
 5853 PEER STREET, NIAGARA FALLS, ON.
 BASEMENT - LIGHTING SYSTEM PLAN

CONSULTANT FILE No.	6930
DATE	2023-06-03
SCALE	1:75
REF. No.	20 OF 22
DWG No.	E05
REV.	1



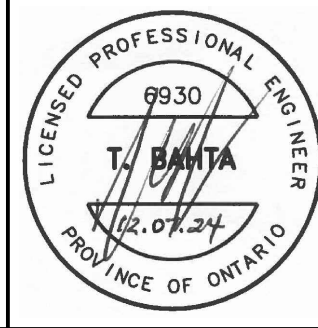
1 SECOND FLOOR LIGHTING PLAN
E07 SCALE: 1:75

1m 0 1m 2m #M75

DRAWING NAME: P:\6930 SAEO Ceiling and Lighting Upgrades\03 Dwg\Electrical\Working Drawings\6930-E01 TO E07.dwg

No.	REVISION	DATE	INIT.
1	ISSUED FOR TENDER	2024-07-12	T.D.
0	ISSUED FOR 95% REVIEW	2024-06-28	T.D.

DRAFTING	R.V.G.
DESIGN	T.D.
CHECKED BY	T.D.
APPROVED BY	T.B.



COMMUNITY SERVICES NIAGARA
SAEO CEILING AND LIGHTING UPGRADES
5853 PEER STREET, NIAGARA FALLS, ON.
SECOND FLOOR LIGHTING PLAN

CONSULTANT FILE No.	6930
DATE	2023-06-03
SCALE	1:75
REF. No.	22 OF 22
DWG No.	E07
REV.	1