


# YWCA Toronto - Davenport Women's Shelter

348 Davenport Road, Toronto, Ontario

## KITCHEN AND SPRINKLER MODIFICATIONS

PRIME CONSULTANT  
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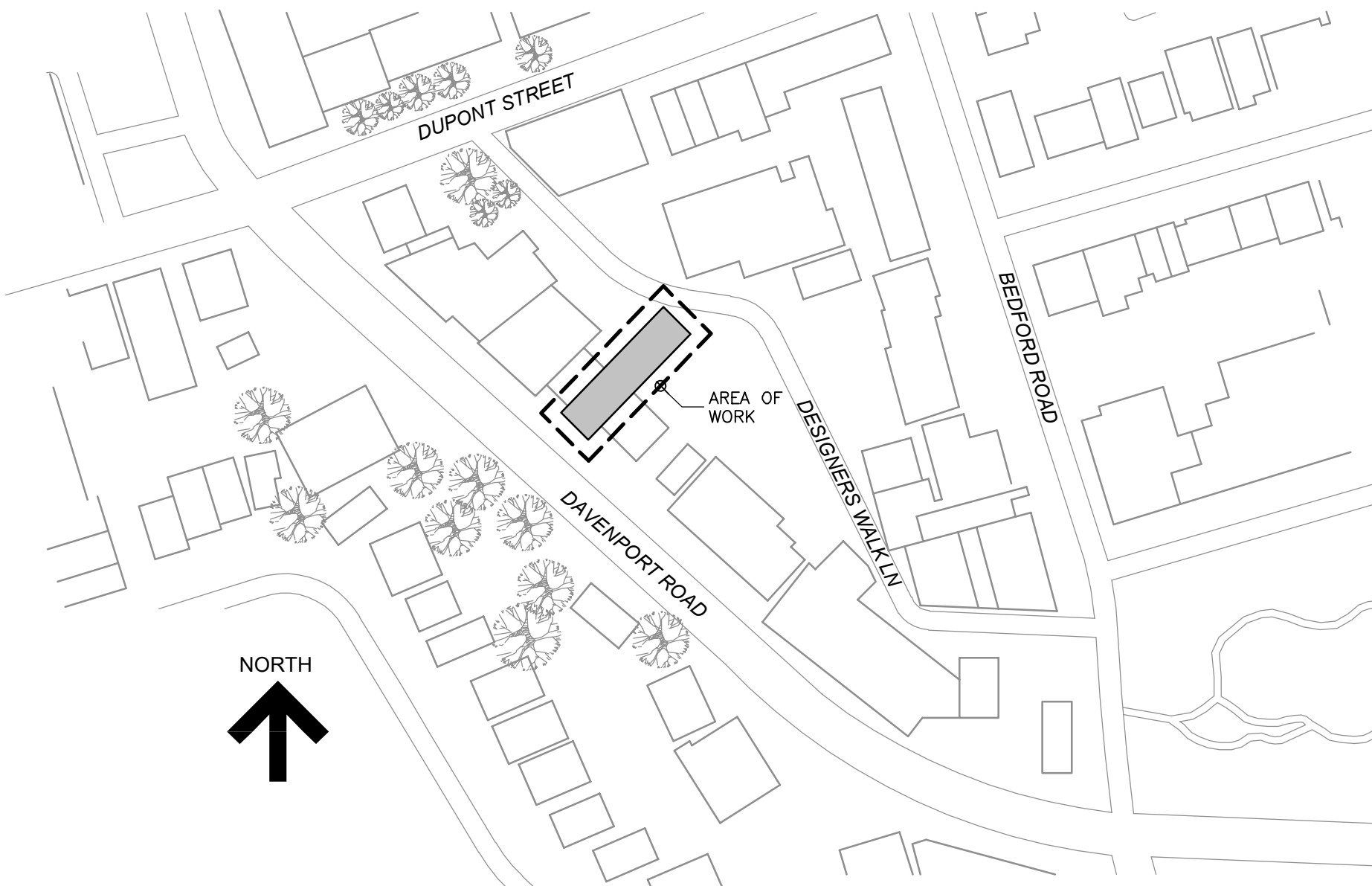
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KITCHEN AND FOODSERVICE CONSULTANT



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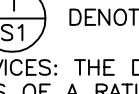
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LIST OF DRAWINGS :	
COVER PAGE AND GENERAL NOTES	
P1	GROUND FLOOR PHASING PLAN
P2	B1 LEVEL PHASING PLAN
P3	B2 LEVEL PHASING PLAN
S1	B2 LEVEL FOUNDATION PLAN
M0.1	FIRE PROTECTION DIAGRAMS EXISTING AND NEW LAYOUT (PHASE 1)
M0.2	BASEMENT 2 PLUMBING EXISTING AND NEW (PHASE 2)
M0.3	DOMESTIC HOT WATER DIAGRAMS EXISTING AND NEW LAYOUT (PHASE 2)
EO.1	BASEMENT 1 AND 2 POWER (PHASE 1)
QF-000	COVER SHEET
QF-100	OVERALL PLAN
QF-101	FOOD SERVICE EQUIPMENT LAYOUT AND LIST



**1.0 GENERAL NOTES :**  
(THESE NOTES APPLY TO ALL PHASES / ASPECTS OF THE PROJECT)

- THESE DRAWINGS ARE TO PROVIDE A SCHEMATIC REPRESENTATION OF THE APPROXIMATE LAYOUT OF THE LOCATION OF THE BUILDING IN THE AREA OF WORK. THE PROJECT SPECIFICATIONS AND DRAWINGS CONSIST OF MULTIPLE DISCIPLINES AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW AND COORDINATE BETWEEN THEM.
- THE CONTRACTOR MUST REVIEW AND CONFIRM THE EXTENT OF EXISTING SITE CONDITIONS THAT WILL AFFECT OR WILL REQUIRE ADJUSTMENT IN ORDER TO COMPLETE THE WORK AS SHOWN ON THE DOCUMENTS PRIOR TO BIDDING.
- DISCREPANCIES, AMBIGUITIES OR OMISSIONS IN THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE CONSULTANT IMMEDIATELY.
- PARTIAL COPIES OF THE ORIGINAL CONSTRUCTION DRAWINGS ARE AVAILABLE FOR VIEWING AND REFERENCE PURPOSES ONLY. DO NOT SCALE FROM THIS DRAWING OR RELY ON ANY DRAWINGS AS ACCURATELY REFLECTING THE AS-BUILT CONDITION.
- THE EXTENT OF WORK IS AS SHOWN ON THE DRAWINGS.
- HOARDING, DUST PROTECTION, SITE PROTECTION AND SIGNAGE TO BE INSTALLED AROUND THE SITE PRIOR TO COMMENCING WORK AS PER SECTION 01 10 01. THESE NOTES AND PHASING DRAWINGS.
- THIS SET OF DRAWINGS DOES NOT INCLUDE COMPONENTS THAT MAY BE NECESSARY FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY IN AND AROUND THE JOB SITE DURING CONSTRUCTION, AND FOR DESIGN AND ERECTION OF ALL TEMPORARY STRUCTURES REQUIRED TO COMPLETE THE WORK.
- THE USE OF THESE DRAWINGS IS LIMITED TO THAT EXTENT IDENTIFIED IN THE REVISIONS COLUMNS. DO NOT CONSTRUCT FROM THESE DRAWINGS UNLESS MARKED "ISSUED FOR CONSTRUCTION" BY READ JONES CHRISTOFFERSEN LTD. OR THE RELEVANT SUB-CONSULTANTS.
- ALL DIMENSIONS TAKEN FROM THE DRAWINGS SHALL BE CHECKED ON SITE PRIOR TO START OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SUCH MEASUREMENTS AND REPORT TO THE ENGINEER IN WRITING ALL DISCREPANCIES BETWEEN MEASUREMENTS AT BUILDING AND THOSE SHOWN ON DRAWINGS PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL REVIEW ALL THE DRAWINGS AND CHECK DIMENSIONS BEFORE CONSTRUCTION. REPORT DISCREPANCIES BETWEEN THESE DRAWINGS AND SITE CONDITION TO THE ENGINEER IMMEDIATELY.
- SECTION MARK SHOWN THUS  DENOTE SECTION 1 ON DRAWING S1.
- THE DESIGN TEAM'S FIELD SERVICES: THE DESIGN TEAM WILL PROVIDE FIELD SERVICE DURING THE CONSTRUCTION PHASE OF THE WORK TO SATISFY THEMSELVES, BY MEANS OF A RATIONAL SAMPLING PROCEDURE WHICH THEY IN THEIR SOLE DISCRETION CONSIDER NECESSARY, TO DETERMINE THAT THE CONTRACTOR IS CARRYING OUT THAT WORK IN GENERAL CONFORMANCE WITH THE CONTRACT DOCUMENTS. THE FIELD SERVICES PROVIDED APPLY ONLY TO THAT WORK SHOWN ON THE REVIEWING PARTY'S DRAWINGS. THE PERFORMANCE OF THE CONTRACT IS NOT THE DESIGN TEAM'S RESPONSIBILITY NOR ARE THE FIELD SERVICES RENDERED FOR THE CONTRACTOR'S BENEFIT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR QUALITY CONTROL AND PERFORMING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- CONTRACTOR WILL BE RESPONSIBLE TO REPAIR/RESTORE/REPAINT ALL EXISTING FINISHES AND LANDSCAPING DAMAGED AS A RESULT OF CONSTRUCTION OR REMOVED IN ORDER TO ALLOW CONSTRUCTION TO BE UNDERTAKEN.
- PROVIDE SIGNAGE AS REQUIRED TO ENSURE SAFE PEDESTRIAN TRAFFIC FLOW THROUGH AND AROUND WORK AREAS IS MAINTAINED. ENSURE BUILDING ENTRANCES HAVE PROPER SIGNAGE FOR THAT PHASE OF THE WORK. REFER TO SECTION 01 10 01. CONTRACTOR TO PROVIDE APPROPRIATE DIRECTIONAL ARROW WITH EACH SIGN.
- APPROXIMATE TYPE AND LOCATION OF SIGNS HAS BEEN SHOWN, HOWEVER ADDITIONAL SIGNAGE MAY BE REQUIRED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ENTRANCE AND EXIT WAYS TO THE BUILDING (INCLUDING STORAGE ROOMS, MECHANICAL ROOMS, STAIRWELLS, ETC.) REMAIN OPEN AT ALL TIMES. PROVIDE TEMPORARY ACCESS RAMPS/STAIRS AS REQUIRED.
- THE CONTRACTOR SHALL NOT IMPED OR CLOSE ANY EMERGENCY EGRESS ROUTES DURING CONSTRUCTION, AS THE FACILITY WILL BE OCCUPIED. CONSULT AND COMPLY WITH THE RELEVANT AUTHORITIES HAVING JURISDICTION TO ENSURE THE REQUIRED EMERGENCY EGRESS ROUTES ARE PROVIDED AND MAINTAINED DURING CONSTRUCTION.
- THIS SET OF DRAWINGS ALONG WITH THE SPECIFICATIONS FORM THE CONTRACT DOCUMENTS AND MUST BE READ AND INTERPRETED IN CONJUNCTION WITH ONE ANOTHER.
- THE CONTRACTOR IS TO PROTECT IN PLACE OR TEMPORARILY REMOVE/REINSTATE OR RELOCATE ALL SURFACE MOUNTED FIXTURES (I.E. LIGHTS, SIGNS, DOWNSPOUTS, CONDUIT, ETC.) DURING THE COURSE OF WORK. DAMAGE TO SURFACE MOUNTED FIXTURES WILL BE THE CONTRACTOR'S RESPONSIBILITY.
- ALL WORK IS TO BE IN ACCORDANCE WITH THE 2012 ONTARIO BUILDING CODE.

**2.0 GENERAL SCOPE OF WORK :**

- IN GENERAL, THIS PROGRAM INCLUDES THE UPGRADE OF THE BUILDING KITCHEN EQUIPMENT AND SPRINKLER SYSTEM AT THE YWCA TORONTO - DAVENPORT WOMEN'S SHELTER LOCATED AT 348 DAVENPORT ROAD IN TORONTO, ONTARIO.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL LABOUR, MATERIAL, EQUIPMENT AND SUPERVISION TO COMPLETE THE REPAIRS OUTLINED IN THESE SPECIFICATIONS, TAKING INTO ACCOUNT ALL SITE CONDITIONS, NOISE RESTRICTIONS, WORK AREA RESTRICTIONS, PROTECTION REQUIREMENTS, ACCESSIBILITY RESTRICTIONS, ETC. NO EXTRAS WILL BE ENTERTAINED FOR INCONVENIENCES AFTER THE AWARD OF THIS CONTRACT.
- IN PARTICULAR, THE WORK, BRIEFLY DESCRIBED BELOW, INCLUDES, BUT IS NOT NECESSARILY LIMITED TO THE FOLLOWING:
  - THE INSTALLATION AND MAINTENANCE OF HOARDING DUST PROTECTION AND CONSTRUCTION SIGNAGE AROUND EACH PHASE AND AREA OF WORK AS DESCRIBED IN SECTION 01 10 01 - GENERAL REQUIREMENTS.
  - THE DESIGN, INSTALLATION AND MAINTENANCE OF EXCAVATION SHORING AND TEMPORARY WORKS AS REQUIRED TO CARRY OUT THE WORK, INCLUDING SUBMISSION OF SHOP DRAWINGS SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
  - COORDINATION OF ALL TEMPORARY CLOSURES WITH THE OWNER AND YWCA AS REQUIRED TO PERFORM THE WORK.
  - PROTECTION IN PLACE OR TEMPORARY REMOVAL AND REINSTATEMENT OF EXISTING FIXTURES, FURNITURE OR EQUIPMENT AS REQUIRED TO PERFORM THE WORK.
  - THIRD PARTY VERIFICATIONS AND INSPECTIONS AS REQUIRED TO CLOSE BUILDING PERMIT.
  - SPRINKLER UPGRADES
    - REMOVAL AND DISPOSAL OF EXISTING SPRINKLER HOSE AND REEL.
    - LOCALIZED REMOVAL AND DISPOSAL OF EXISTING CONCRETE SLAB-ON-GRADE AND UNDERLYING GRANULAR MATERIALS AS REQUIRED TO INSTALL NEW SUMP PIT.
    - INSTALLATION OF NEW CORRUGATED STEEL PIPE SUMP PIT AND PREFABRICATED COVER.
    - INSTALLATION OF NEW REINFORCED CAST-IN-PLACE CONCRETE SUMP PIT SLAB.
    - INSTALLATION OF NEW UNSHRINKABLE FILL IN SUMP PIT EXCAVATION.
    - REINSTATEMENT OF CONCRETE SLAB-ON-GRADE.
    - MODIFICATION OF EXISTING SPRINKLER SYSTEM AND SANITARY SEWER PIPING.
    - INSTALLATION OF NEW SUMP PUMP AND PIPING CONNECTED TO EXISTING SANITARY SEWER SYSTEM.
    - INSTALLATION/MODIFICATION OF EXISTING ELECTRICAL POWER TO SUIT NEW EQUIPMENT.
    - INSTALLATION/MODIFICATION OF EXISTING CONTROLS TO SUIT NEW EQUIPMENT, SENSORS AND ALARMS.
    - REPLACEMENT AND SEALING OF EXISTING SUMP PIT COVERS.
- KITCHEN EQUIPMENT MODIFICATIONS
  - REMOVAL OF EXISTING COMBI OVEN AND TURNOVER TO CITY OF TORONTO, INCLUDING DELIVERY TO OWNER-SELECTED LOCATION.
  - REMOVAL OF EXISTING KETTLE AND RELOCATION TO A NEW LOCATION ON SITE.
  - SUPPLY AND INSTALLATION OF NEW CONVECTION OVEN.
  - SUPPLY AND INSTALLATION OF NEW STAINLESS STEEL SPACER TABLE.
  - MODIFICATION OF EXISTING DISHWASHER CONDENSATE HOOD AND ADJUSTMENT OF POSITIONING OF EXISTING DISHWASHER AND DISH TABLES.
  - MODIFICATION OF PLUMBING AND DRAINAGE AS REQUIRED TO SUIT KITCHEN EQUIPMENT MODIFICATIONS.
  - MODIFICATION OF ELECTRICAL POWER TO SUIT KITCHEN EQUIPMENT MODIFICATIONS.
  - MODIFICATION OF EXISTING ARCHITECTURAL FINISHES AS REQUIRED TO SUIT KITCHEN MODIFICATIONS.

**H. HOT WATER TANK UPGRADES**

- INSTALLATION OF NEW CONCRETE HOUSEKEEPING PAD.
- INSTALLATION OF NEW DOMESTIC HOT WATER HEATER (DHWH-4) AND PIPING CONNECTED TO EXISTING DOMESTIC HOT WATER SYSTEM.
- MODIFICATION OF EXISTING PLUMBING AND DRAINAGE AS REQUIRED TO SUIT NEW AND EXISTING HOT WATER EQUIPMENT.
- INSTALLATION/MODIFICATION OF EXISTING ELECTRICAL POWER TO SUIT NEW HOT WATER EQUIPMENT.
- MODIFICATION OF EXISTING ARCHITECTURAL FINISHES AS REQUIRED TO SUIT NEW AND EXISTING EQUIPMENT AND ASSOCIATED CONNECTIONS.

**J. FINAL CLEANING OF THE SITE, STRUCTURE, FIXTURES, PIPING, ETC. AND THE DISPOSAL OF ALL WASTE PRODUCTS AND/OR DEBRIS GENERATED BY THE CONSTRUCTION ACTIVITY, AS WELL AS, ANY MATERIAL PRESENT IN THE WORK AREA PRIOR TO THE COMMENCEMENT OF THE WORK. THE AREAS REQUIRING CLEANING SHALL CONSIST OF ALL AREAS AFFECTED BY THE WORK.**

**3.0 HOARDING NOTES :**

- CONTRACTOR TO INSTALL AND MAINTAIN HOARDING AND DUST PROTECTION AROUND EACH PHASE OF WORK AS OUTLINED IN SECTION 01 10 01 AND THESE DRAWINGS.
- POSITION HOARDING TO MAINTAIN PEDESTRIAN AND VEHICULAR TRAFFIC FLOW AND MINIMIZE IMPACT TO THE REGULAR OPERATION OF THE FACILITY.
- HOARDING BETWEEN OCCUPIED BUILDING AND WORK AREA SHALL BE COMPLETELY TIGHT AND WATER TIGHT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING HOARDING IN GOOD CONDITION AND DAMAGES AS A RESULT OF DUST AND MOISTURE INGRESS.
- WALKWAYS SHALL BE CONSTRUCTED IF REQUIRED TO MAINTAIN SAFE AND BARRIER-FREE ACCESS TO ALL BUILDING ENTRANCE/EXITS AND OTHER SERVICES, ETC., THAT REQUIRE ACCESS SO AS PROTECT PEDESTRIANS USING SUCH ENTRANCE WAYS, ROOMS, AND SERVICES.

**4.0 PHASING NOTES :**

- IN GENERAL, THE PROJECT SCOPE OF WORK HAS BEEN DIVIDED INTO THREE (3) MAIN SUB-SCOPES, WITH SPECIFIC PHASING:
  - KITCHEN EQUIPMENT MODIFICATIONS
  - SPRINKLER UPGRADES
  - HOT WATER TANK UPGRADES
 REFER TO SECTION 2.0 GENERAL SCOPE OF WORK FOR THE WORK INCLUDED IN EACH SUB-SCOPE.
- THE SUB-SCOPES SHALL BE UNDERTAKEN IN A PHASED MANNER, PER THE PHASING DRAWINGS. ACCESS TO THE BUILDING AND REGULAR OPERATION OF THE FACILITY SHALL BE MAINTAINED AT ALL TIMES, DURING ALL SUB-SCOPES AND PHASES.
- PROVISIONS FOR TEMPORARY CLOSURES OF LOCALIZED AREAS OF THE EXISTING BUILDING, EITHER FOR PART OF THE PHASE OR DURING SPECIFIED WORKING HOURS, HAVE BEEN INDICATED ON THE PHASING DRAWINGS.
- MAINTAIN THE WORK AREA REQUIREMENTS SHOWN ON THE DRAWINGS AND AS OUTLINED IN SECTION 01 10 01. CONTRACTOR'S WORK AREA TO BE FULLY ENCLOSED DURING EACH PHASE.
- CONTRACTOR SHALL ALLOW FOR A MINIMUM OF 72 HOURS NOTICE FOR WORK REQUIRED IN OCCUPIED SPACE OR POWER AND WATER SHUTDOWNS. CLOSE COORDINATION WITH THE CITY OF TORONTO AND YWCA IS REQUIRED.
- CONTRACTOR TO ENSURE ACCESS TO WORK AREA IS RESTRICTED TO CONTRACTOR'S STAFF, CONSULTANT AND OWNER.
- ENSURE PEDESTRIAN TRAFFIC FLOW IS MAINTAINED, REFER TO SECTION 01 10 01 FOR SIGNAGE REQUIREMENTS.

**5.0 EXISTING CONDITIONS :**

- THIS SET OF DRAWINGS IS BASED ON THE EXISTING DRAWINGS AVAILABLE AT THE TIME OF DESIGN AND LIMITED REVIEW UNDERTAKEN BY THE DESIGN TEAM. NOTIFY THE CONSULTANT OF ANY DISCREPANCIES FOR CLARIFICATION, PRIOR TO UNDERTAKING WORK. WORK UNDERTAKEN BY THE CONTRACTOR WITHOUT SEEKING APPROPRIATE CLARIFICATION MAY BE CONSIDERED DEFICIENT AT THE DESIGN TEAM'S DISCRETION AND THE CONTRACTOR'S RESPONSIBILITY TO CORRECT AT THEIR OWN COST.

**6.0 STAGING NOTES :**

- CONTRACTOR TO PROVIDE SAFE WORK TO EXECUTE THE WORK SPECIFIED IN THE CONTRACT DOCUMENTS. ACCESS MAY BE COMPRISED OF SCAFFOLDING, FALLS WORK, COMBINATIONS OF THE PRECEDING OR OTHER METHODS APPROVED BY WORKERS' COMPENSATION BOARD OF ONTARIO.
- ALL ACCESS SHALL BE SUITABLE FOR THE SAFE AND EFFICIENT PERFORMANCE OF THE WORK. CONTRACTOR TO SUBMIT A PLAN OF THE BUILDING (PROVIDED) INDICATING THE TYPE OF ACCESS TO BE EMPLOYED ON EACH PORTION OF THE BUILDING, IN ACCORDANCE WITH THE TEMPORARY WORKS NOTES BELOW, IF REQUESTED BY THE CONSULTANT.
- ALL ACCESS SHALL BE CAPABLE OF RESISTING ITS DEAD LOAD AND THE LIVE LOAD OF THE WORKERS AND STORED MATERIALS. LIVE LOADING TO CONFORM TO CAN/CSA S269.2 M87, ACCESS SCAFFOLD FOR CONSTRUCTION PURPOSES, CLAUSE 5.2.1.(B).
- PHASING OF ACCESS IS ACCEPTABLE.
- THE CONTRACTOR SHALL STORE ALL MATERIALS AND EQUIPMENT WITHIN THEIR WORK AREA.
- THE SITE ACCESS WAYS SHALL NOT BE BLOCKED BY MATERIALS OR DELIVERIES AT ANY TIME. ALL DELIVERIES OF MATERIAL AND EQUIPMENT SHALL BE VIA THE MAIN BUILDING ENTRANCE BY HAND THROUGH STAIRWELLS. USE OF ELEVATOR SHALL BE PERMITTED FOR KITCHEN EQUIPMENT DELIVERY ONLY AND OTHERWISE AT THE OWNER/YWCA'S DISCRETION TO THE DESIGNATED STAGING AREA.

**7.0 TEMPORARY WORK :**

- THE CONTRACTOR SHALL DESIGN, PROVIDE, ERECT, MAINTAIN, REMOVE AND ASSUME FULL AND SOLE RESPONSIBILITY FOR ALL TEMPORARY WORKS REQUIRED FOR THE SAFE AND COMPLETE EXECUTION OF THE WORKS.
- IN THE EXECUTION OF THE TEMPORARY WORKS AND FOR THE DURATION OF THE CONTRACT, THE CONTRACTOR SHALL MAKE ADEQUATE PROVISION FOR ALL LIKELY CONSTRUCTION LOADING AND PROVIDE SUFFICIENT BRACING AND PROPS TO KEEP THE WORKS IN PLUMB AND ALIGNMENT AND FREE FROM EXCESSIVE DEFLECTION.
- ACCESS OF HEAVY CONSTRUCTION EQUIPMENT AND ACCUMULATION OF CONSTRUCTION MATERIALS ON THE FLOORS ARE NOT PERMITTED, UNLESS SUCH HAVE BEEN CATERED FOR IN THE CONTRACTOR'S TEMPORARY WORK DESIGN TO THE SATISFACTION OF THE ENGINEER.
- COSTS OF ALL TEMPORARY WORKS ARE TO BE INCLUDED IN THE CONTRACT PRICE.
- SUBMIT SHOP DRAWINGS FOR ALL TEMPORARY WORKS FOR REVIEW BEFORE FABRICATION COMMENCES. SHOP DRAWINGS SHALL BE SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF ONTARIO.

**8.0 RENOVATION NOTES :**

- THE CONTRACT DOCUMENTS ARE BASED ON ASSUMED AS-BUILT DIMENSIONS FOR THE EXISTING BUILDING STRUCTURE AND ASSUMPTIONS IN ACCORDANCE WITH DETAILING AND PLACING PRACTICE. THESE ASSUMPTIONS MAY VARY FROM THE ACTUAL ON-SITE CONDITIONS. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE CONSULTANT OF ANY ACTUAL VARIATIONS FROM THE ASSUMED CONDITIONS.
- MINOR MODIFICATIONS TO SUIT TOLERANCES OF +/- 50mm WILL BE REQUIRED TO THE WORK INDICATED ON THESE DRAWINGS TO REFLECT ACTUAL SITE CONDITIONS. THE CONTRACTOR WILL COOPERATE WITH THE CONSULTANT AND RJC IN THIS REGARD. MINOR MODIFICATIONS WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR AND WILL NOT RESULT IN A CHANGE IN THE CONTRACT PRICE.
- ENSURE THAT ALL NECESSARY JOB DIMENSIONS ARE TAKEN AND ALL TRADES ARE COORDINATED FOR THE PROPER EXECUTION OF THE WORK. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS OF SUCH DIMENSIONS, AND FOR COORDINATION.

- PRIOR TO FABRICATION OF ANY STRUCTURAL MEMBERS, THE CONTRACTOR SHALL COMPLETE THIS SITE REVIEW OF CRITICAL "TIE-IN" DIMENSIONS AND CONFIRM ALL DIMENSIONS TO ENSURE PROPER FIT OF NEW WORK TO EXISTING. REPORT ANY DISCREPANCIES TO RJC PRIOR TO STARTING WORK.
- COMMENCEMENT OF CONSTRUCTION OR ANY PART THEREOF CONSTITUTES ACCEPTANCE OF EXISTING CONDITIONS AND MEANS DIMENSIONS AND ELEVATIONS HAVE BEEN CONSIDERED, VERIFIED AND ARE ACCEPTABLE.
- ANY OPENINGS THAT ARE NOT SHOWN OR INDICATED ON THE STRUCTURAL DRAWINGS SHALL BE REPORTED TO RJC FOR REVIEW. THESE OPENINGS MAY NOT BE ALLOWED, MAY HAVE TO BE MOVED, OR MAY REQUIRE ADDITIONAL STRUCTURAL WORK AND DETAILING. DO NOT PROCEED WITH THESE OPENINGS WITHOUT WRITTEN PERMISSION FROM RJC.
- UNLESS NOTED OTHERWISE ON THE STRUCTURAL DRAWINGS, THE CORING OR CUTTING OF OPENINGS AND HOLES SHOWN ON THE STRUCTURAL DRAWINGS THROUGH THE EXISTING STRUCTURE SHALL NOT CUT ANY REINFORCING BARS. THE CONTRACTOR SHALL LOCATE THE LOCATION, SIZE, LENGTH, ORIENTATION AND POSITION OF EXISTING REINFORCING AND PROVIDE RJC WITH HARD COPIES OF SUCH FOR OUR REVIEW IN THE VICINITY OF THE HOLES AND SLEEVES TO BE CUT OR CORED, AND THE HOLES AND SLEEVES SHALL BE LOCATED TO AVOID CUTTING OF REINFORCING BARS. WHERE THIS IS NOT POSSIBLE, IT SHALL BE REPORTED TO RJC FOR REVIEW.
- NEW OPENINGS TO BE CUT THROUGH EXISTING FLOOR SLAB OR WALLS SHALL BE CLEARLY MARKED OUT BY THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY RJC ONCE THE MARKING OUT HAS BEEN COMPLETED SO THAT RJC CAN REVIEW THE PROPOSED LOCATIONS OF ALL NEW OPENINGS. DO NOT PROCEED WITH CUTTING OF NEW OPENINGS WITHOUT THE APPROVAL OF RJC.
- UNLESS NOTED OTHERWISE ON THE DRAWINGS NEW STRAIGHT SIDED OPENINGS THROUGH EXISTING SLABS AND WALLS SHALL BE SAWCUT WITH NO OVERCUTS. USE CORED HOLES AT THE CORNERS. JACKHAMMERING SHALL NOT BE PERMITTED. REFER TO THE DETAILS AND PROCEDURES INDICATED ON THE STRUCTURAL DRAWINGS FOR THE NEW OPENINGS. ALTERNATES TO THE ABOVE PROCEDURES MUST BE REVIEWED BY RJC PRIOR TO THE START OF DEMOLITION OR CONSTRUCTION.
- UNLESS NOTED OTHERWISE AT ALL LOCATIONS WHERE NEW CONCRETE WILL BE IN CONTACT WITH EXISTING CONCRETE SURFACES, THE EXISTING CONCRETE SURFACE IS TO BE COMPLETELY CLEANED AND ROUGHENED BY BUSH HAMMERING, (OR APPROVED EQUAL) TO AN AMPLITUDE OF 6mm.
- CONTRACTOR TO ENSURE THAT UNDERGROUND OR IN-SLAB SERVICES ARE NOT DAMAGED THROUGH DEMOLITION, SAWCUTTING, HOLE AUGURING, OR OTHER CONSTRUCTION ACTIVITIES. REFER TO GENERAL NOTES FOR TESTING/LOCATING REQUIREMENTS.
- FASTENING TO EXISTING MATERIALS:
 

UNLESS NOTED OTHERWISE, THE FOLLOWING REQUIREMENTS APPLY TO ALL CONNECTIONS BETWEEN EXISTING AND NEW MATERIALS:

  - USE ONLY PRODUCTS AS SPECIFIED UNLESS ALTERNATES HAVE BEEN PRE-APPROVED BY RJC IN WRITING.
  - ON SITE TRAINING - THE CONTRACTOR SHALL RETAIN A MANUFACTURER'S REPRESENTATIVE TO PROVIDE ON-SITE ANCHOR INSTALLATION TRAINING FOR ALL PROPRIETARY PRODUCTS SPECIFIED. THE CONTRACTOR'S PERSONNEL MUST BE TRAINED PRIOR TO THE COMMENCEMENT OF INSTALLING ANCHORS.
  - THE CONTRACTOR IS TO RETAIN A THIRD PARTY MATERIALS TESTING AGENCY EXPERIENCED WITH THE INSTALLATION OF ANCHORS TO PROVIDE AN ON-GOING SERVICE OF ON-SITE QUALITY CONTROL REVIEWS TO ENSURE THAT ANCHORS ARE BEING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS AND INSTALLATION PROCEDURES. QUALITY ASSURANCE REPORTS FROM THE TESTING AGENCY ARE TO BE SUBMITTED TO RJC AFTER EACH SITE VISIT. AT THE END OF THE PROJECT, THE TESTING AGENCY IS TO PROVIDE A LETTER SIGNED BY A REGISTERED ENGINEER STATING THAT THE GENERAL INSTALLATION OF ANCHORS FOR THE PROJECT IS IN ACCORDANCE WITH THE RECOMMENDED INSTALLATION PRACTICE AS SPECIFIED BY THE MANUFACTURER.
  - A REPRESENTATIVE SAMPLE OF ANCHORS IS TO BE TESTED FOR EACH TYPE OF ANCHOR SPECIFIED. TESTING SHALL BE CARRIED OUT BY A TESTING AGENCY APPOINTED AND PAID FOR BY THE OWNER. ANCHORS WHICH FAIL THE LOAD TEST SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S COST. IF THE FAILURE RATE EXCEEDS 1 IN 10 FOR A TYPE OF ANCHORS, ALL ANCHORS ARE TO BE TESTED.
  - SEE ALSO CONCRETE ANCHOR NOTE.
- DRILL AND SITE MEASURE BOLT HOLES IN EXISTING STRUCTURE PRIOR TO FABRICATING STEEL CONNECTION PLATES. BOLT HOLES MAY HAVE TO BE MOVED FROM WHAT IS SHOWN ON THE DRAWINGS TO AVOID CUTTING EXISTING REINFORCING OR TO AVOID OTHER SITE CONDITIONS. SITE MODIFICATION OF STEEL CONNECTION PLATES WILL NOT BE ACCEPTED WITHOUT THE PRIOR APPROVAL OF RJC.

**9.0 FIELD REVIEW BY READ JONES CHRISTOFFERSEN (RJC) AND ITS SUB-CONSULTANTS :**

- READ JONES CHRISTOFFERSEN (RJC) AND ITS SUB-CONSULTANTS PROVIDES FIELD REVIEW ONLY FOR THE WORK SHOWN ON THESE DRAWINGS. THIS REVIEW IS NOT A "FULL TIME" REVIEW BUT IS A PERIODIC REVIEW AT THE SOLE DISCRETION OF RJC AND ITS SUB-CONSULTANTS IN ORDER TO ASCERTAIN THAT THE WORK IS IN GENERAL CONFORMANCE WITH THE PLANS AND SUPPORTING DOCUMENTS PREPARED BY THE REVIEWING PARTY. FIELD REVIEW BY RJC AND ITS SUB-CONSULTANTS IS NOT CARRIED OUT FOR THE CONTRACTOR'S BENEFIT, NOR DOES IT MAKE RJC AND ITS SUB-CONSULTANTS GUARANTORS OF THE CONTRACTOR'S WORK. IT REMAINS THE CONTRACTOR'S RESPONSIBILITY TO BUILD THE WORK IN CONFORMANCE WITH THE DOCUMENTS. RJC AND ITS SUB-CONSULTANTS SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- PROVIDE 24 HOURS ADVANCE NOTICE OF EACH REQUIRED FIELD REVIEW. FIELD REVIEWS SHALL BE SCHEDULED TO BE CARRIED OUT DURING NORMAL BUSINESS HOURS UNLESS SPECIAL ARRANGEMENTS ARE MADE WITH RJC AND ITS SUB-CONSULTANTS.
- THE WORK TO BE REVIEWED SHALL BE GENERALLY COMPLETE.

**10.0 SHOP DRAWING REVIEW RESPONSIBILITY :**


AS PART OF THEIR FIELD SERVICES, RJC AND ITS SUB-CONSULTANTS WILL REVIEW SHOP DRAWINGS PERTAINING TO WORK SHOWN ON THE REVIEWING PARTY'S DRAWINGS BY MEANS OF APPROPRIATE RATIONAL SAMPLING PROCEDURES AND COMMENT ON THE ACCURACY WITH WHICH THE CONTRACTOR PREPARED THE DRAWINGS. REVIEW OF SHOP DRAWINGS IS FOR THE SOLE PURPOSE OF ASCERTAINING CONFORMANCE WITH THE GENERAL DESIGN CONCEPT AND IS NOT AN APPROVAL OF THE DETAIL DESIGN INHERENT IN THE SHOP DRAWINGS. RESPONSIBILITY FOR WHICH SHALL REMAIN WITH THE CONTRACTOR SUBMITTING THEM. SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR ERRORS AND OMISSIONS IN THE SHOP DRAWINGS OR FOR MEETING ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR INFORMATION PERTAINING TO THE FABRICATION PROCESS, TECHNIQUES OF CONSTRUCTION AND INSTALLATION, AND FOR COORDINATION OF THE WORK OF ALL SUB-TRADES.

**11.0 SIGNAGE NOTES :**

\* \* DENOTES CONSTRUCTION SIGN LOCATION

- CONTRACTOR SHALL PROVIDE ALL REQUIRED SIGNAGE NECESSARY TO PROTECT THE PUBLIC FROM THE CONSTRUCTION, CONTROL THE TRAFFIC FLOW THROUGH THE SITE AND THE WORK AREA AND TO INFORM PATRONS THAT CONSTRUCTION ACTIVITY IS IN PROGRESS.
- ADDITIONAL SIGNS MAY BE REQUIRED AT THE DISCRETION OF OWNER OR CONSULTANT AS CONSTRUCTION PROGRESSES TO ENSURE VEHICLE AND PEDESTRIAN TRAFFIC FLOW IS MAINTAINED. NO EXTRAS WILL BE ENTERTAINED FOR SIGNAGE REQUIREMENTS AFTER TENDER CLOSURE.
- SIGNAGE WILL BE REQUIRED AT ALL ENTRANCES TO THE BUILDING, STAIRWELLS, ETC. THIS SIGNAGE SHALL CONSIST OF THE STANDARD "MEN AT WORK" SIGN WITH AN ADDITIONAL SIGN (SPECIAL ORDER) INDICATING THAT THE "SITE IS TEMPORARILY UNDER CONSTRUCTION" AND "WE ARE SORRY FOR THE INCONVENIENCE".
- SIGNAGE IS REQUIRED AT ALL BUILDING ENTRANCES TO THE WORK AREA. SIGNS ARE TO INDICATE THAT "THIS ENTRANCE IS CLOSED DUE TO CONSTRUCTION".
- THE LOCATION AND TYPE OF SITE SPECIFIC CONSTRUCTION SIGNAGE IS INDICATED ON THE PHASING DRAWINGS WHICH INCLUDES, BUT IS NOT NECESSARILY LIMITED TO THE FOLLOWING:
  - "BUILDING RENOVATION IN PROGRESS - SORRY FOR THE INCONVENIENCE"
  - "THIS AREA IS CLOSED DUE TO CONSTRUCTION - DO NOT ENTER"
  - "KITCHEN CLOSED FOR CONSTRUCTION"
  - "PROCEED WITH CAUTION" (WITH DIRECTIONAL ARROW)

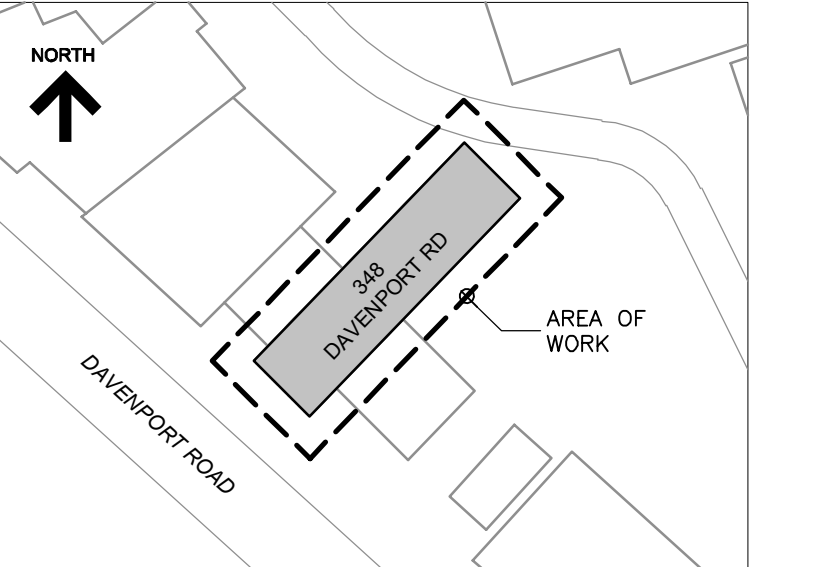
ISSUED FOR TENDER - July 19, 2024  
ISSUED FOR PERMIT - July 19, 2024  
ISSUED FOR CLASS A COSTING - April 22, 2024  
ISSUED FOR CLIENT REVIEW - April 22, 2024



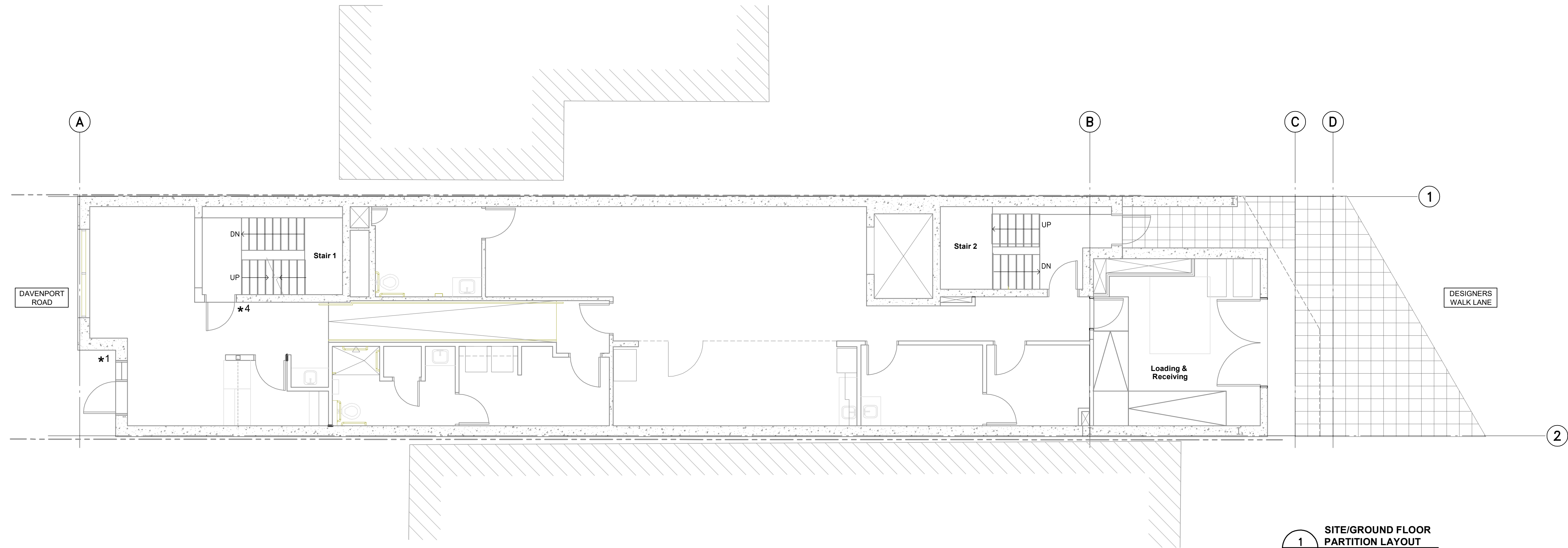
RJC PROJECT No. TOR.121290.0014







KEY PLAN



1 SITE/GROUND FLOOR  
P1 PARTITION LAYOUT  
1:75

**PHASING NOTES:**

1. INSTALL AND MAINTAIN HOARDING, DUST PROTECTION AND CONSTRUCTION SIGNAGE PER SPECIFICATION SECTION 01 10 01.
2. THE WORK SHALL BE UNDERTAKEN IN A SINGLE PHASE WITH SHELTER OPERATIONS IN REGULAR OPERATION FOR THE DURATION OF THE PROJECT.
3. THE WORK IS DIVIDED INTO THREE (3) PRIMARY SCOPES OF WORK WITH SPECIFIC PHASING AND WORK HOURS RESTRICTIONS.
  - A. KITCHEN EQUIPMENT MODIFICATIONS: UNDERTAKEN IN PRE-ORGANIZED KITCHEN CLOSURES OUTSIDE OF MEAL PREPARATION TIMES, CLOSELY COORDINATED WITH THE YWCA, SET UP AND TAKE DOWN HOARDING AND DUST PROTECTION AND CLEANING DAILY AROUND AREA OF WORK.
  - B. SPRINKLER UPGRADES: UNDERTAKEN IN A SINGLE PHASE WITH HOARDING AND DUST PROTECTION SET UP AND TAKEN DOWN AT START AND END OF PROJECT.
  - C. HOT WATER TANK UPGRADES: UNDERTAKEN IN A SINGLE PHASE WITH NOTICE OF WORKERS ON RESIDENTIAL FLOORS, SET UP, TAKE DOWN OF HOARDING AND DUST PROTECTION AND CLEANING DAILY AROUND AREA OF WORK.
4. PROTECT IN PLACE OR TEMPORARILY REMOVE, RELOCATE AND REINSTATE FINISHES, FURNISHINGS, EQUIPMENT, FIXTURES, ETC. AS REQUIRED TO CARRY OUT THE WORK.
5. ALL DELIVERIES AND MATERIAL/EQUIPMENT TRANSPORT SHALL BE VIA DAVENPORT ROAD.
6. DO NOT BLOCK OR RESTRICT ACCESS TO DESIGNER'S WALK LANE DURING CONSTRUCTION. THE CONTRACTOR MAY BE PENALIZED FOR INCONVENIENCES REPORTED, RELATED TO BLOCKAGE OF THE LANEWAY.
7. THE ELEVATOR SHALL BE PROTECTED FROM DAMAGES FOR THE DURATION OF CONSTRUCTION. INSTALL PLYWOOD AND RIGID INSULATION HOARDING AND PROTECTION ON ELEVATOR CAB INTERIOR. PROTECT ELEVATOR FINISHES, MACHINERY, BUTTONS, ETC. FROM DAMAGE DUE TO DUST INFILTRATION OR USE DURING CONSTRUCTION. PER SPECIFICATION SECTION 01 56 00. USE OF ELEVATOR SHALL BE LIMITED TO LARGE EQUIPMENT DELIVERIES AND DURING NON-PEAK HOURS.
8. MAINTAIN ALL EMERGENCY EGRESS ROUTES AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION FOR THE DURATION OF CONSTRUCTION.
9. MAKE GOOD FINISHES DAMAGED BY HOARDING AND PROTECTION.
10. WORK HOURS ARE 7:00 AM TO 5:00 PM MONDAY TO FRIDAY, IN ACCORDANCE WITH MUNICIPAL BYLAWS. QUIET WORK MAY BE PERFORMED OUTSIDE THESE WORK HOURS AS COORDINATED WITH THE OWNER AND YWCA. WORK ON RESIDENTIAL FLOORS SHALL BE COMPLETED BETWEEN THE HOURS OF 10:00 AM AND 3:00 PM.
11. THE CONTRACTOR SHALL SECURE THE WORK AREA WHILE ON AND OFF SITE. DAMAGES AS A RESULT OF FAILURE TO SECURE THE WORK AREA SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
12. OBTAIN ALL NECESSARY PERMITS FOR THE PERFORMANCE OF THE WORK (STREET, ROAD CLOSURES, ETC.) EXCEPT FOR BUILDING PERMIT.
13. PROVIDE FLAG PEOPLE TO DIRECT VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE WORK AREA.
14. DO NOT OVERLOAD THE STRUCTURE DURING THE COURSE OF WORK.
15. CONTRACTOR SHALL ALLOW FOR A MINIMUM OF 72 HOURS NOTICE FOR WORK REQUIRED IN OCCUPIED SPACE OR POWER AND WATER SHUTDOWNS. CLOSE COORDINATION WITH THE CITY OF TORONTO AND YWCA IS REQUIRED.

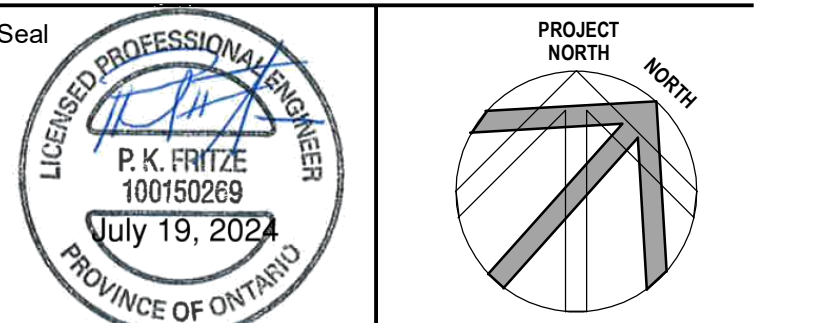
**LEGEND:**

- BUILDING OUTLINE
- PROPERTY LINE
- APPROXIMATE TYPE AND LOCATION OF CONSTRUCTION SIGNAGE (REFER TO COVER PAGE)
- APPROXIMATE EXTENT OF TEMPORARY HOARDING

No.	Revision	Date	By
4.	ISSUED FOR TENDER	July 19, 24	P.F.
3.	ISSUED FOR PERMIT	July 19, 24	P.F.
2.	ISSUED FOR CLASS A COSTING	Apr. 22, 24	P.F.
1.	ISSUED FOR CLIENT REVIEW	Apr. 22, 24	P.F.

**Drawing Notes**

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Project Name

**YWCA Toronto -  
Davenport Women's Shelter**  
348 Davenport Road, Toronto, ON

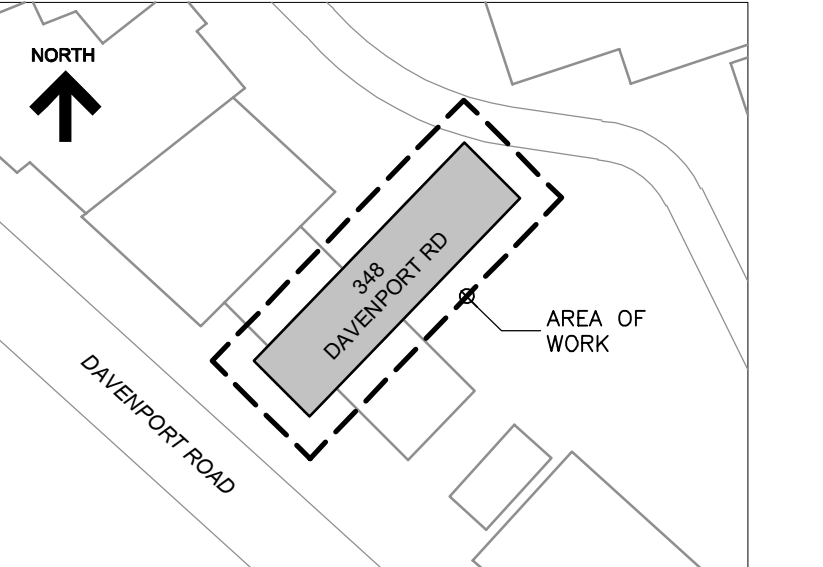
**KITCHEN AND  
SPRINKLER MODIFICATIONS**

Sheet Title

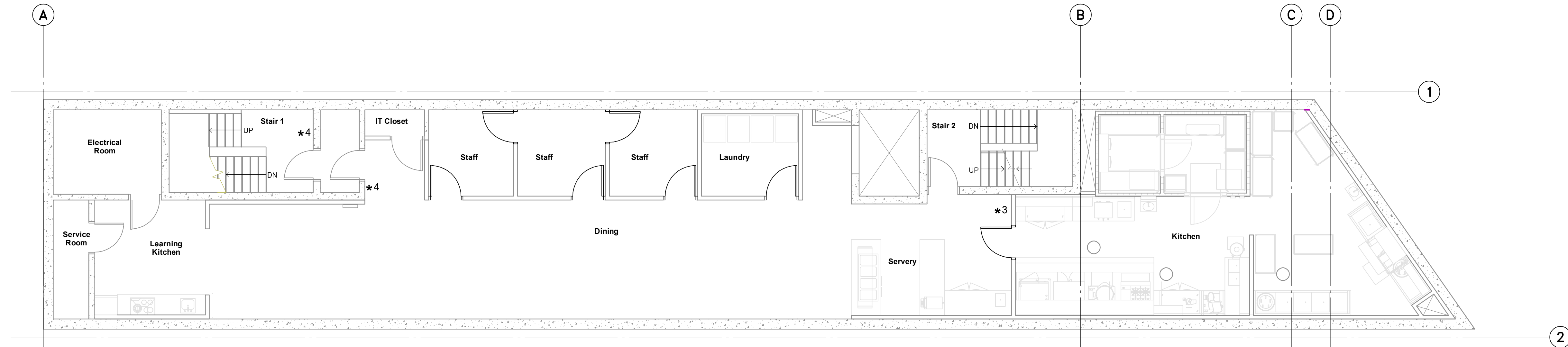
**SITE AND GROUND FLOOR  
PHASING AND HOARDING PLAN**

Drawn By T.S. Scale 1:75  
Designed By P.F. Date April, 2024  
RJC Project Number TOR.121290.0014

Sheet Number P1 Revision



KEY PLAN



**1**  
**P2** B1 LEVEL  
PARTITION LAYOUT  
1:75

**PHASING NOTES:**  
1. REFER TO NOTES ON DRAWING P1.

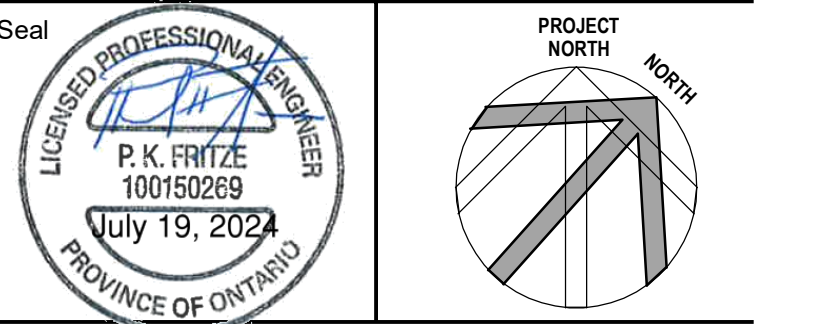
**LEGEND:**

	BUILDING OUTLINE
	PROPERTY LINE
	APPROXIMATE TYPE AND LOCATION OF CONSTRUCTION SIGNAGE (REFER TO COVER PAGE)
	APPROXIMATE EXTENT OF TEMPORARY HOARDING

No.	Revision	Date	By
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Project Name  
**YWCA Toronto -  
Davenport Women's Shelter**  
348 Davenport Road, Toronto, ON

**KITCHEN AND  
SPRINKLER MODIFICATIONS**

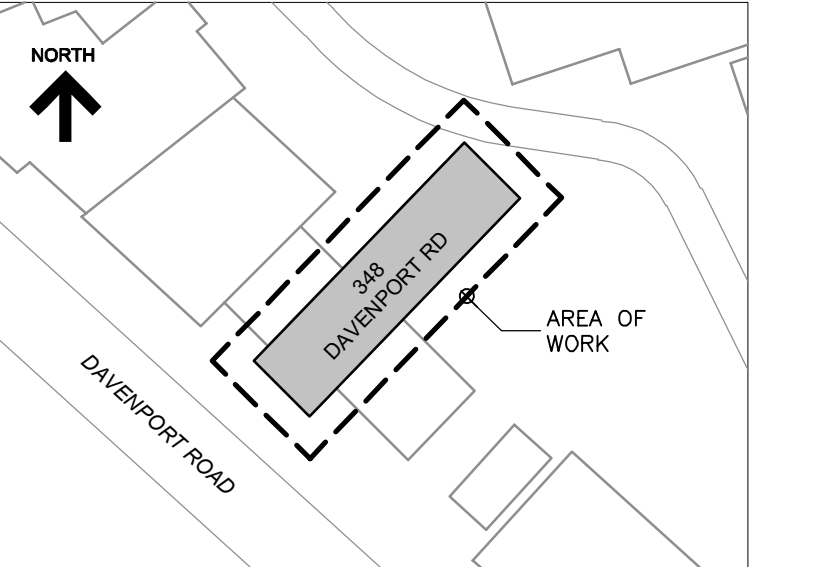
Sheet Title

**B1 LEVEL  
PHASING AND HOARDING PLAN**

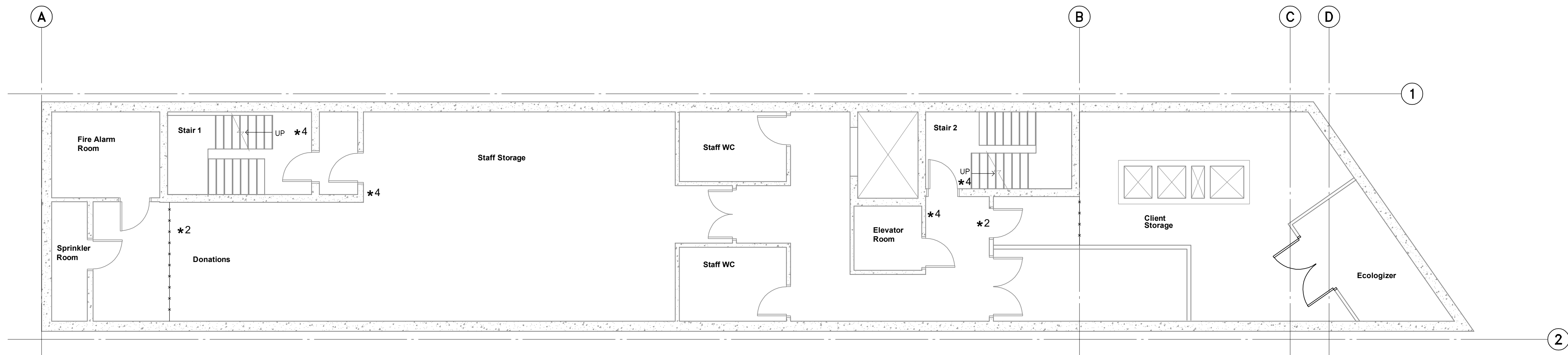
Drawn By T.S. Scale 1:75  
Designed By P.F. Date April, 2024  
RJC Project Number **TOR.121290.0014**

Sheet Number **P2** Revision





**KEY PLAN**



**1**  
**P3**  
**B2 LEVEL**  
**PARTITION LAYOUT**  
1:75

**PHASING NOTES:**  
1. REFER TO NOTES ON DRAWING P1.

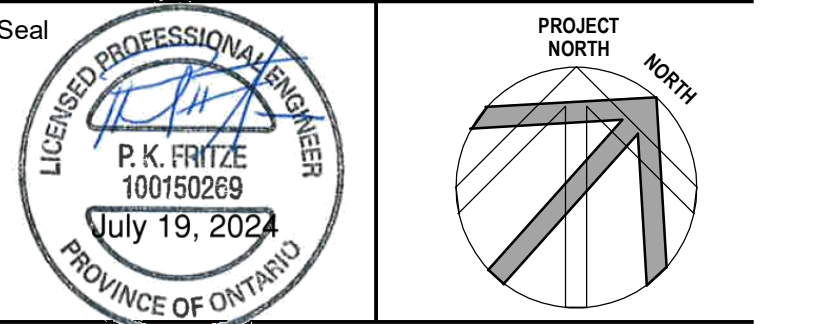
**LEGEND:**

	BUILDING OUTLINE
	PROPERTY LINE
	APPROXIMATE TYPE AND LOCATION OF CONSTRUCTION SIGNAGE (REFER TO COVER PAGE)
	APPROXIMATE EXTENT OF TEMPORARY HOARDING

No.	Revision	Date	By
4.	ISSUED FOR TENDER	July 19, 24	P.F.
3.	ISSUED FOR PERMIT	July 19, 24	P.F.
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Project Name  
**YWCA Toronto -  
Davenport Women's Shelter**  
348 Davenport Road, Toronto, ON

**KITCHEN AND  
SPRINKLER MODIFICATIONS**

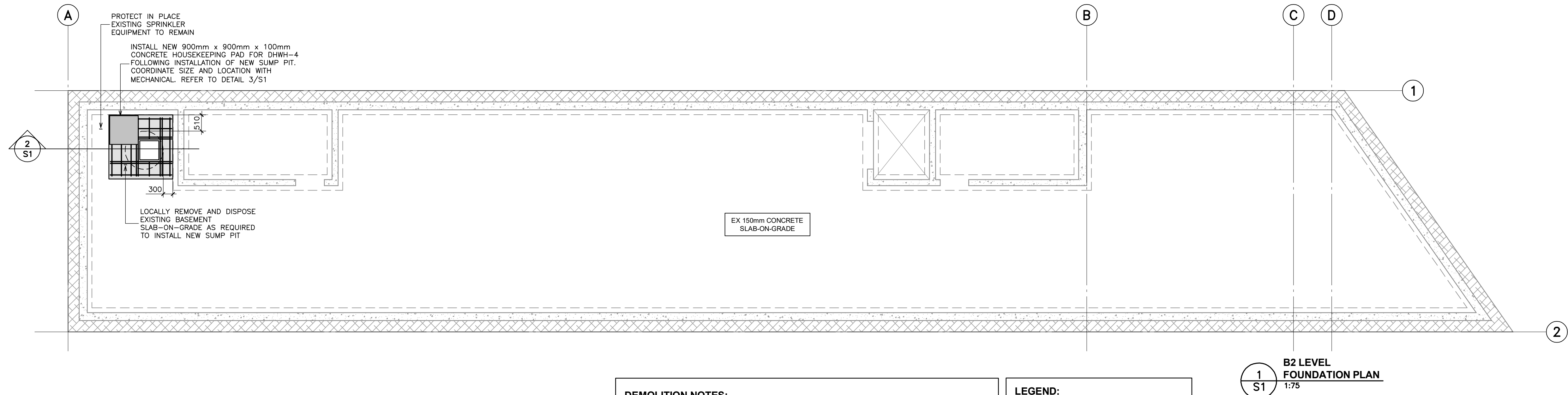
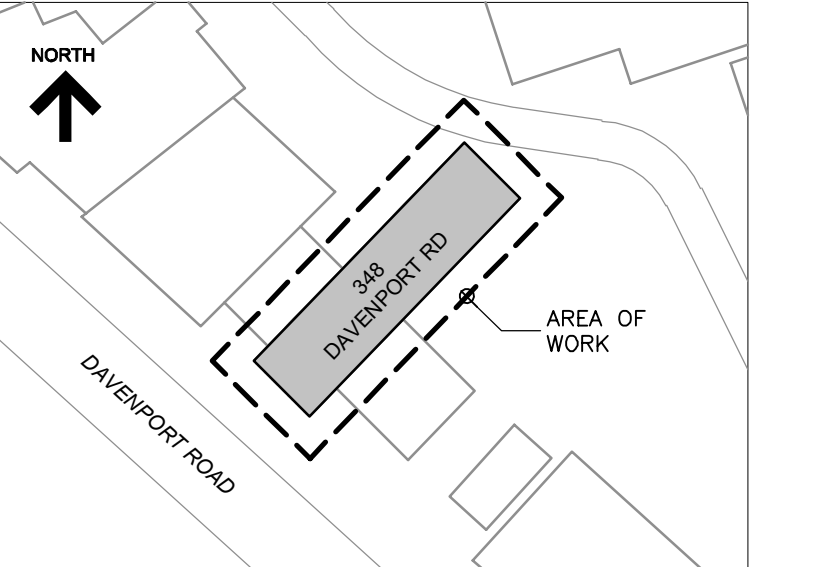
Sheet Title

**B2 LEVEL  
PHASING AND HOARDING PLAN**

Drawn By T.S. Scale 1:75  
Designed By P.F. Date April, 2024  
RJC Project Number **TOR.121290.0014**

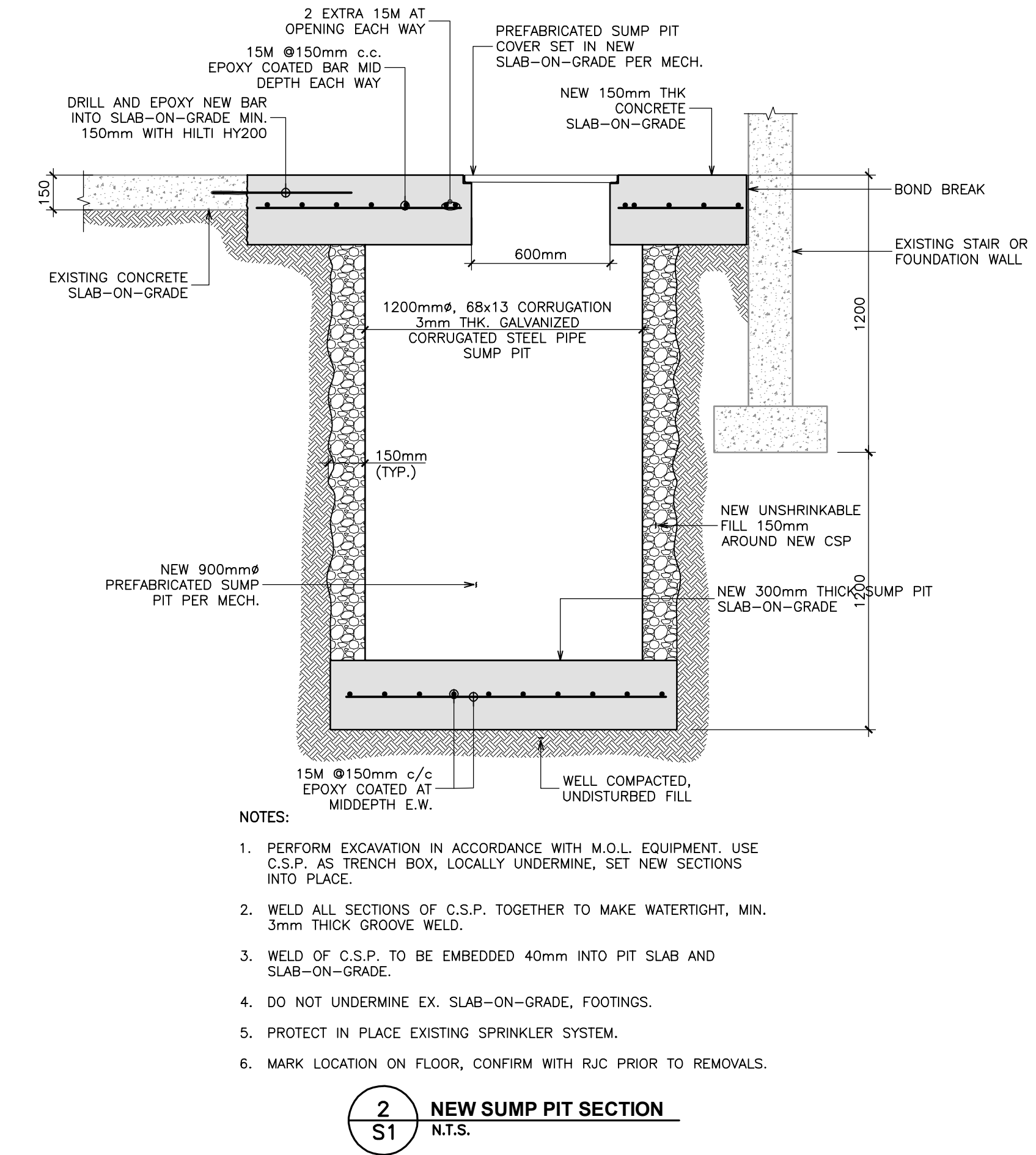
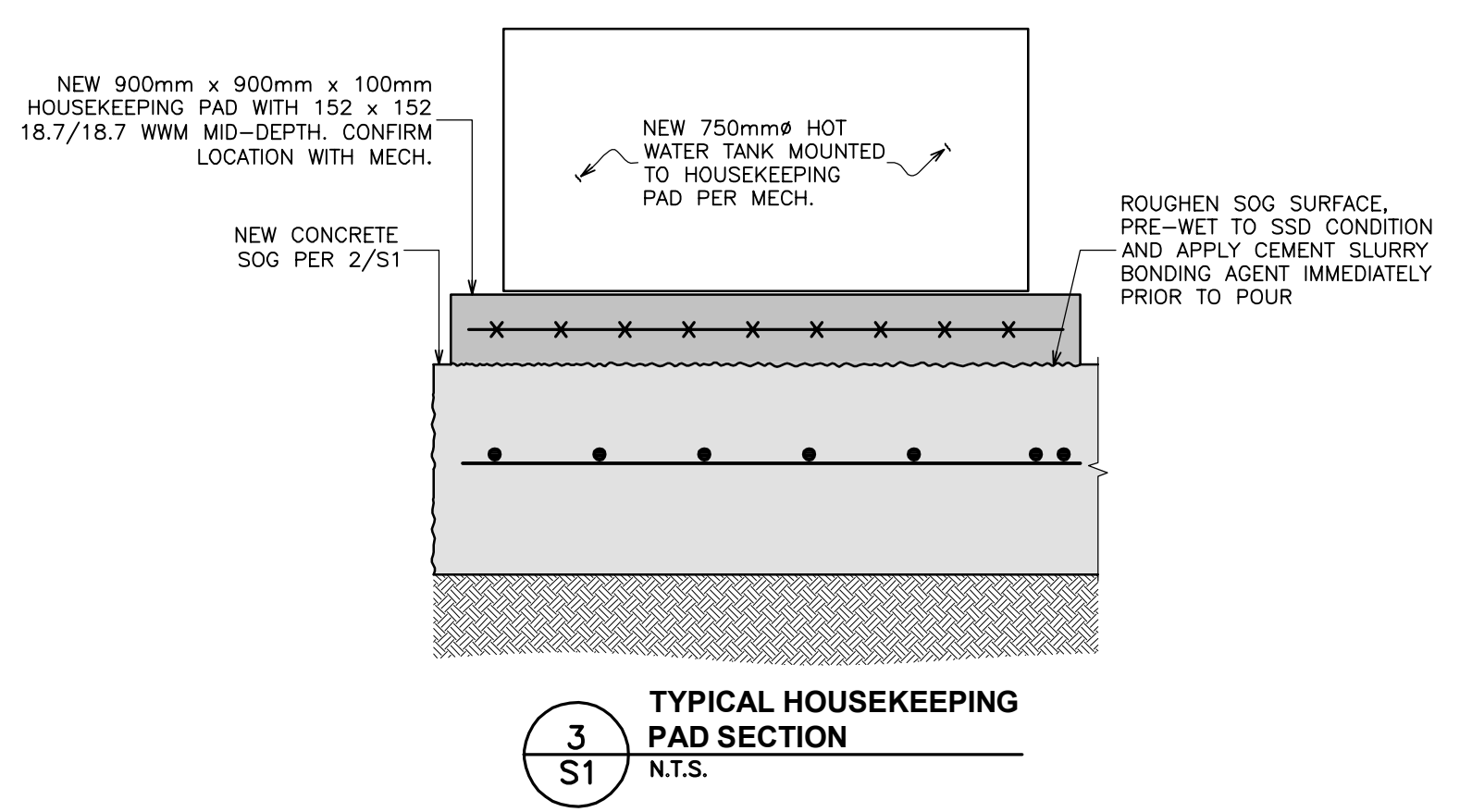
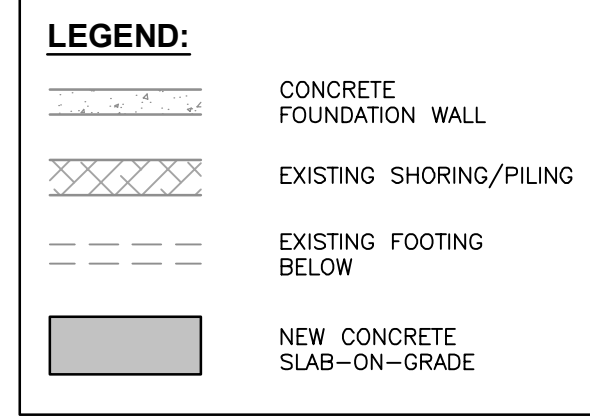
Sheet Number Revision

**P3**



- DEMOLITION NOTES:**
1. INSTALL HOARDING, DUST PROTECTION AND CONSTRUCTION SIGNAGE AS NOTED ON THE PHASING NOTES AND IN ACCORDANCE WITH SECTION 01 10 01.
  2. COORDINATE THE WORK IN ACCORDANCE WITH THE DRAWINGS AND GENERAL SITE RESTRICTIONS AS OUTLINED IN THE SPECIFICATIONS.
  3. PROTECT ALL STORAGE/ELEVATOR/UTILITY/MECHANICAL ROOMS AGAINST DAMAGE FOR THE DURATION OF THE WORK. ANY CONSTRUCTION RELATED DAMAGE (INCLUDING DUST AND WATER CONTAMINATION) WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  4. CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL AND REINSTALLATION OF ALL MECHANICAL AND ELECTRICAL BUILDING SERVICES TO FACILITATE THE WORK.
  5. PROTECT ALL FINISHES, STRUCTURAL FRAMING MEMBERS, MECHANICAL EQUIPMENT ACCESSORIES, LANDSCAPING, ETC. THAT ARE TO REMAIN. ANY DAMAGES TO BE RECTIFIED BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.
  6. DEMOLISH EXISTING ARCHITECTURAL FEATURES (I.E. PARTITION WALLS, FINISHES, ETC.) AS REQUIRED TO CARRY OUT THE STRUCTURAL MODIFICATIONS INDICATED. REINSTATE TO MATCH EXISTING ON COMPLETION.
  7. REVIEW THE EFFECT OF DEMOLITION WITH RJC PRIOR TO COMMENCING THE WORK. DO NOT UNDERMINE FOOTINGS OR AFFECT/DRILL/CORE THROUGH STRUCTURAL ELEMENTS WITHOUT WRITTEN AUTHORIZATION FROM RJC.
  8. PROVIDE TEMPORARY SHORING AS REQUIRED TO PERFORM DEMOLITION WORK. PROVIDE SHORING SHOP DRAWINGS FOR REVIEW, STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
  9. OBTAIN UTILITY LOCATES OF UNDERGROUND SERVICES AND UTILITIES PRIOR TO EXCAVATION. DAMAGES TO UNDERGROUND UTILITIES AS A RESULT OF CONTRACTOR'S NEGLIGENCE IN THE OPINION OF THE CONSULTANT SHALL BE REPAIRED AT NO EXTRA COST TO THE OWNER.

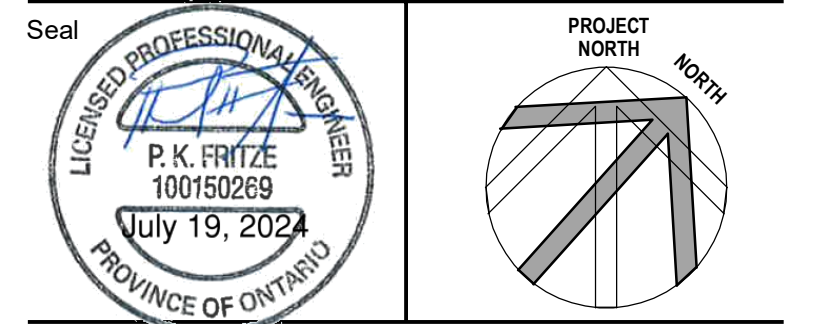
- RESTORATION NOTES:**
1. SCAN OR X-RAY ALL STRUCTURAL ELEMENTS (FLOOR SLABS, WALLS, ETC.) TO LOCATE ALL EMBEDDED ITEMS (REBAR, CONDUIT, ETC.) AND CALL FOR RJC'S REVIEW AND WRITTEN APPROVAL BEFORE CORING. DO NOT DAMAGE EMBEDDED ITEMS TO REMAIN.
  2. INSTALL NEW CONCRETE PER SECTION 03 01 30.
  3. PRE-WET EXISTING CONCRETE SURFACES TO RECEIVE NEW CONCRETE REPAIR MATERIAL TO SURFACE SATURATED DRY CONDITION AND APPLY CEMENT SLURRY BONDING AGENT IMMEDIATELY PRIOR TO POUR.
  4. WET CURE CONCRETE MINIMUM 10 DAYS.



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Project Name  
**YWCA Toronto - Davenport Women's Shelter**  
348 Davenport Road, Toronto, ON

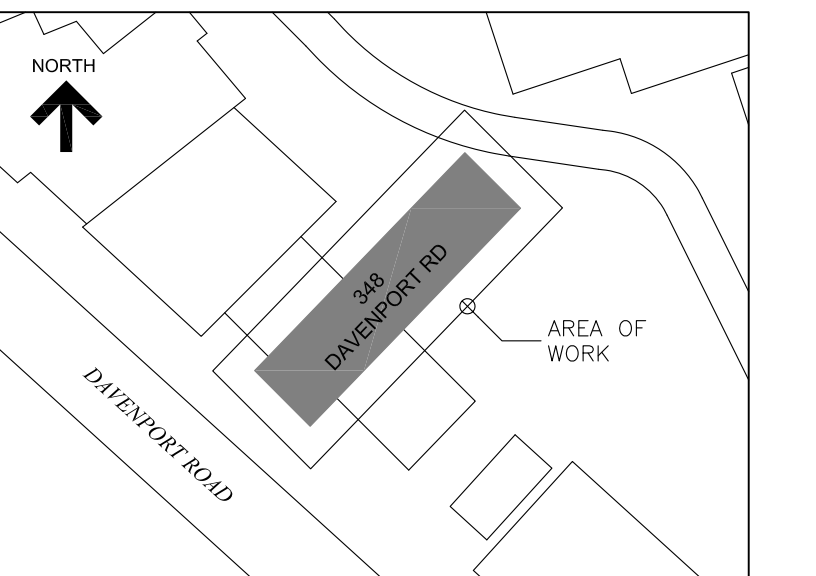
**KITCHEN AND SPRINKLER MODIFICATIONS**

Sheet Title

**B2 LEVEL FOUNDATION PLAN**  
Drawn By T.S. Scale AS NOTED  
Designed By P.F. Date April, 2024  
RJC Project Number TOR.121290.0014

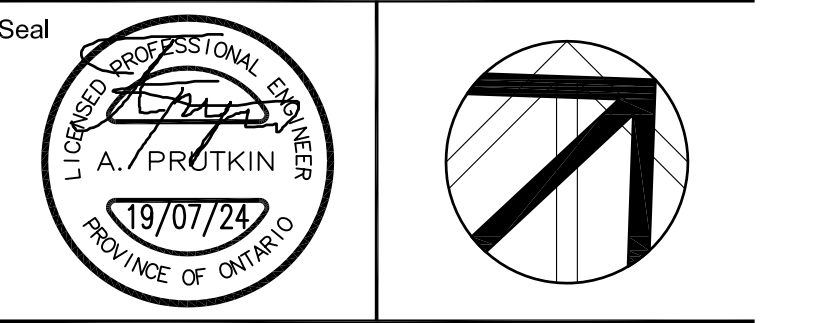
Sheet Number 81  
Revision





**KEY PLAN**

No.	Revision	Date	By
1.	ISSUED FOR PERMIT AND TENDER	Jul. 19/24	A.P.

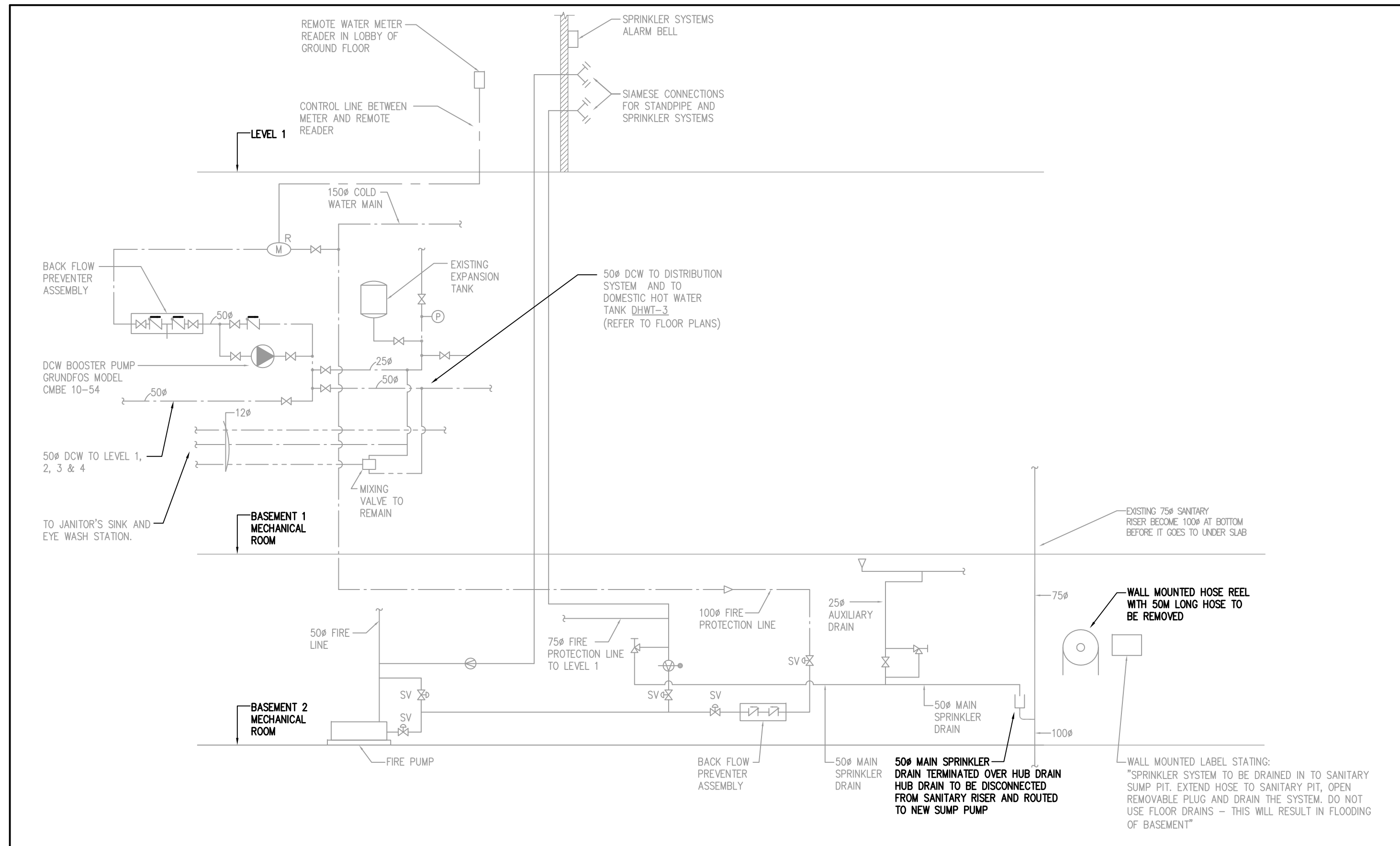


Project Name  
**348 Davenport Road**  
Toronto, Ontario  
**YWCA TORONTO - DAVENPORT WOMEN'S SHELTER KITCHEN AND SPRINKLER MODIFICATIONS**

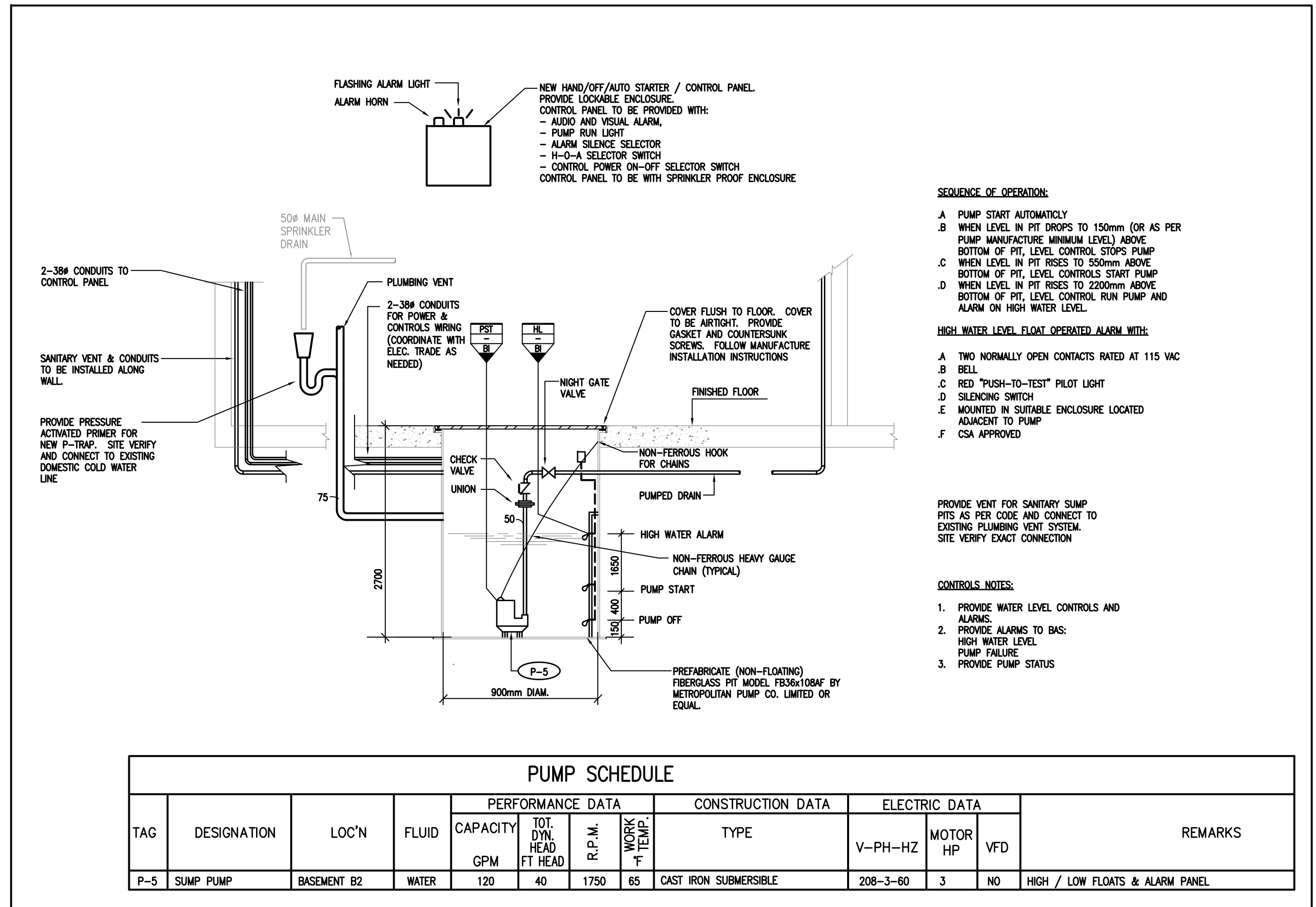
Sheet Title  
**FIRE PROTECTION DIAGRAMS EXISTING AND NEW LAYOUT (PHASE 1)**

Drawn By CAD Scale NTS  
Designed By A.P. Date July 19, 2024  
RJC Project Number **TOR.121290.0014**

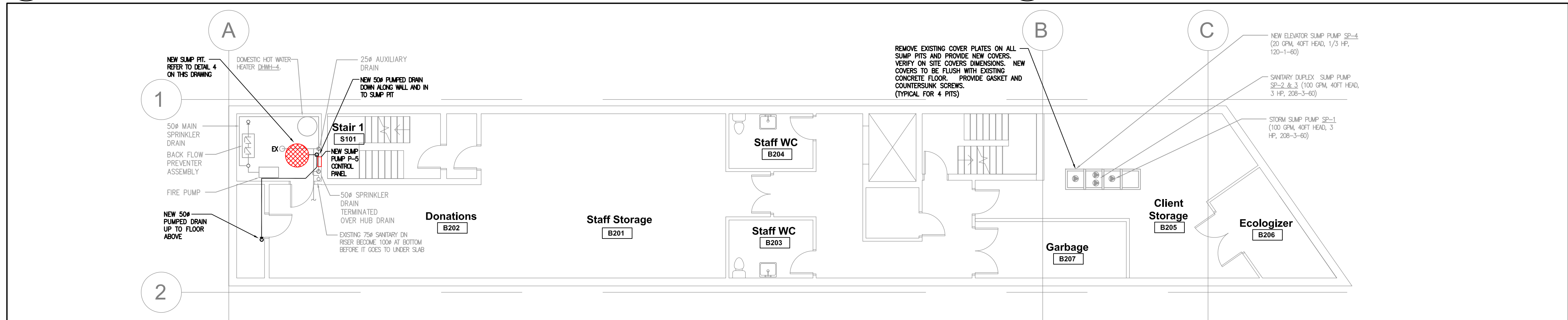
Sheet Number **M0.1** Revision



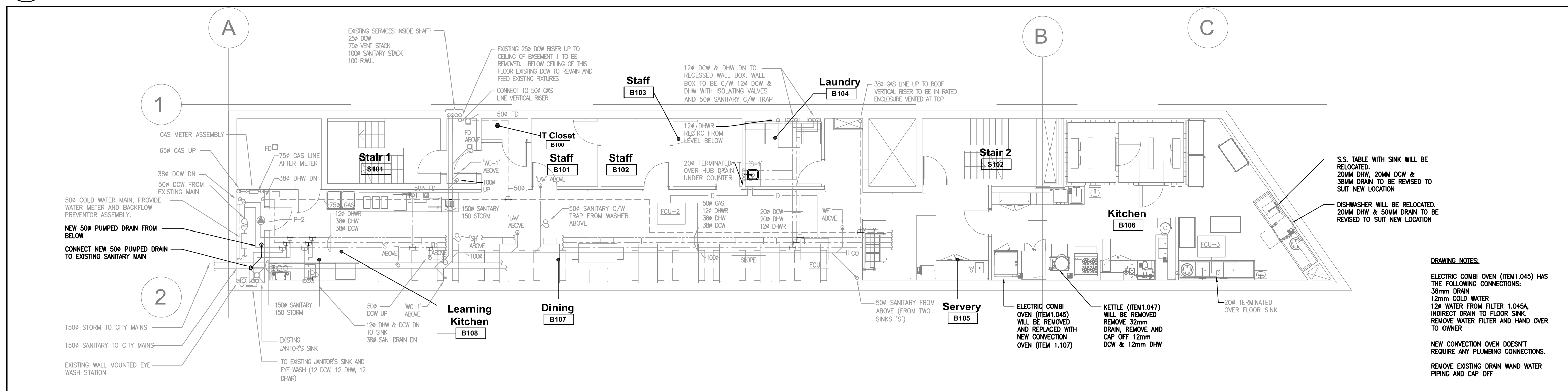
**1 FIRE PROTECTION PIPING DIAGRAM - EXISTING**  
MO.1 SCALE: N.T.S.



**4 DETAIL OF SUMP FOR FIRE PROTECTION SYSTEM DRAINAGE**  
MO.3 SCALE: N.T.S.



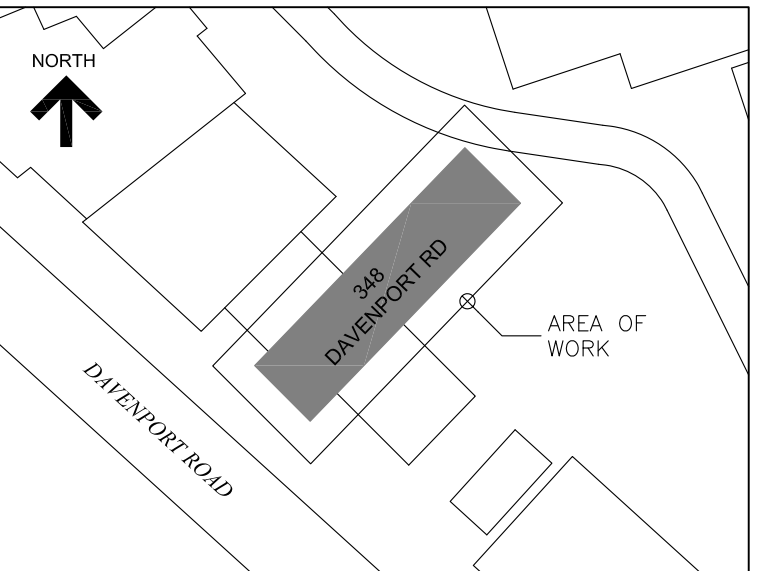
**2 BASEMENT B2**  
MO.1 SCALE: 1:100



**3 BASEMENT B1**  
MO.1 SCALE: 1:100

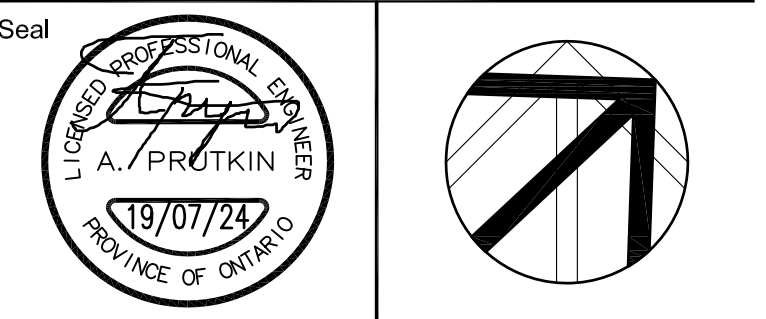
**DRAWING NOTES:**  
ELECTRIC COMBI OVEN (ITEM 1.045) HAS THE FOLLOWING CONNECTIONS:  
38mm DRAIN  
12mm COLD WATER  
12" WATER FROM FILTER 1.045A, INDIRECT DRAIN TO FLOOR SINK, REMOVE WATER FILTER AND HAND OVER TO OWNER  
NEW CONNECTION OVEN DOESN'T REQUIRE ANY PLUMBING CONNECTIONS.  
REMOVE EXISTING DRAIN WAND WATER PIPING AND CAP OFF





**KEY PLAN**

No.	Revision	Date	By
1.	ISSUED FOR PERMIT AND TENDER	Jul. 19/24	A.P.

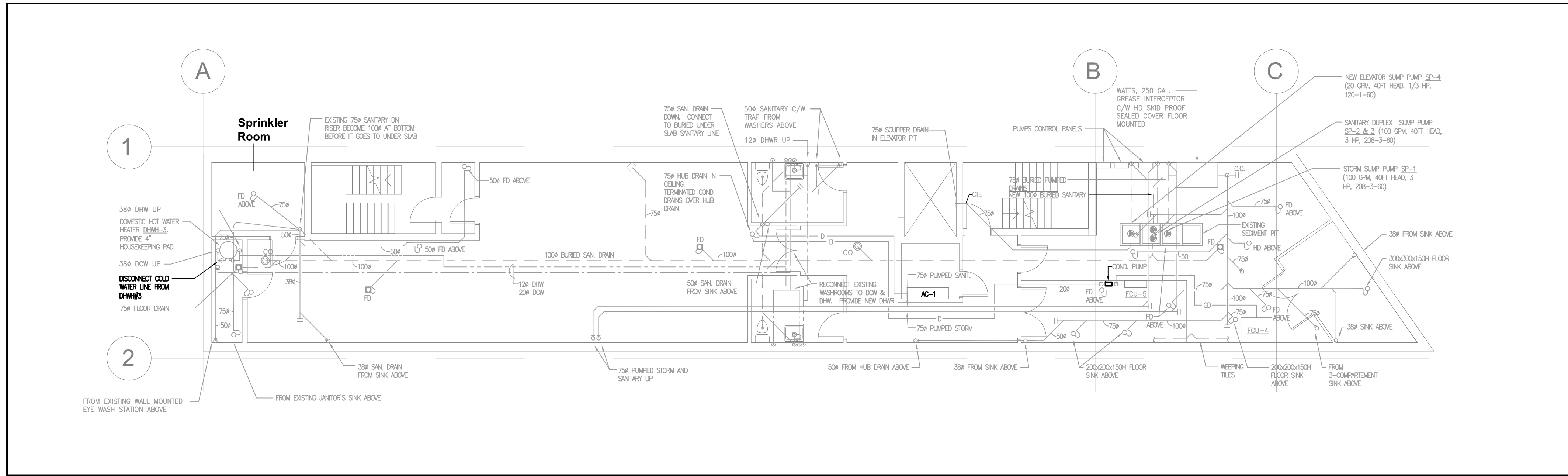


Project Name  
**348 Davenport Road**  
Toronto, Ontario  
**YWCA TORONTO - DAVENPORT  
WOMEN'S SHELTER  
KITCHEN AND SPRINKLER  
MODIFICATIONS**

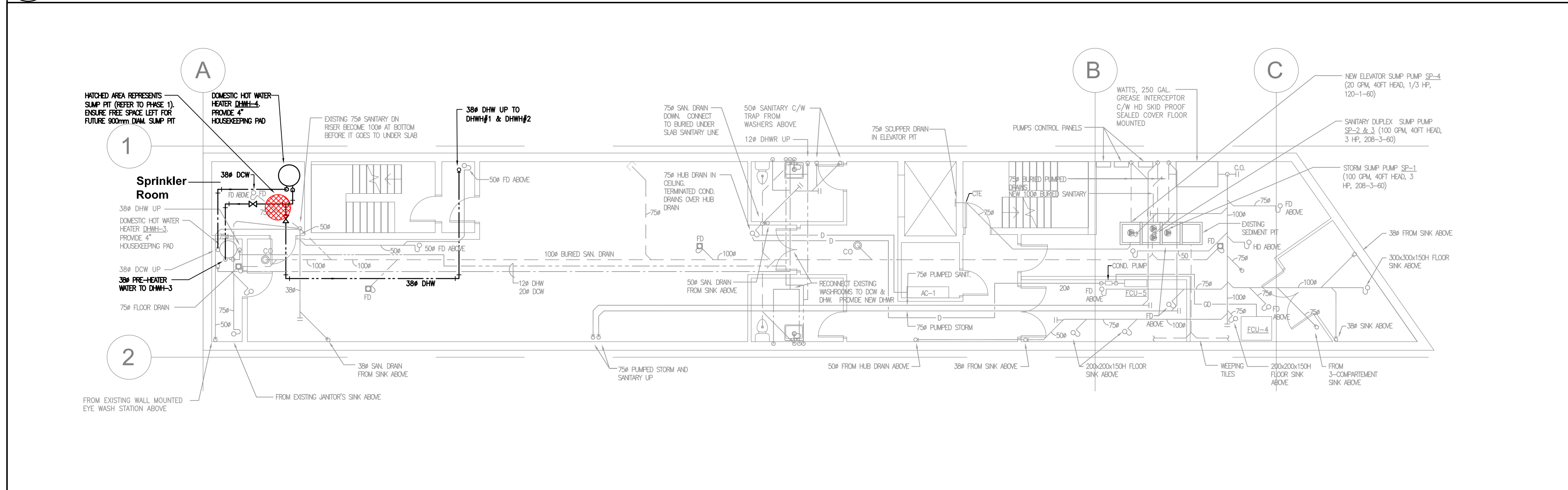
Sheet Title  
**BASEMENT 2  
PLUMBING  
EXISTING AND NEW  
(PHASE 2)**

Drawn By CAD Scale As Indicated  
Designed By A.P. Date July 19, 2024  
RJC Project Number **TOR.121290.0014**

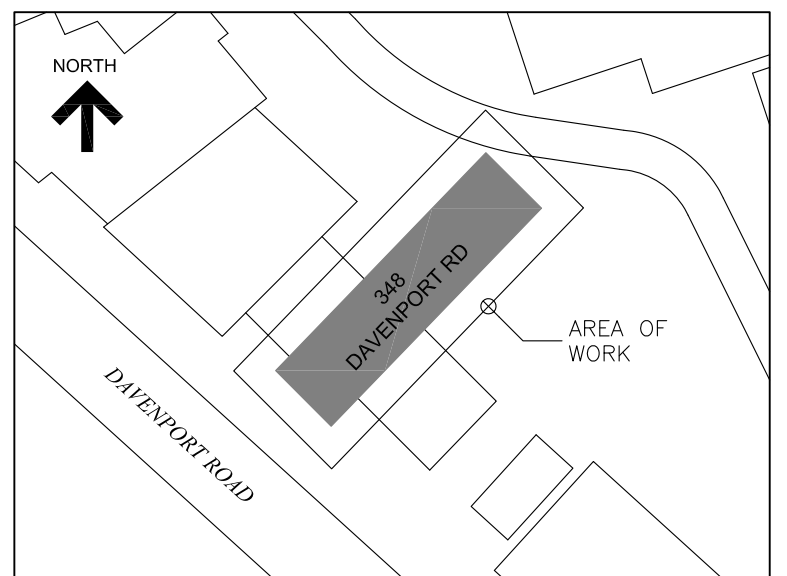
Sheet Number **M0.2** Revision



**1 BASEMENT 2 – PLUMBING EXISTING**  
SCALE: 1:100

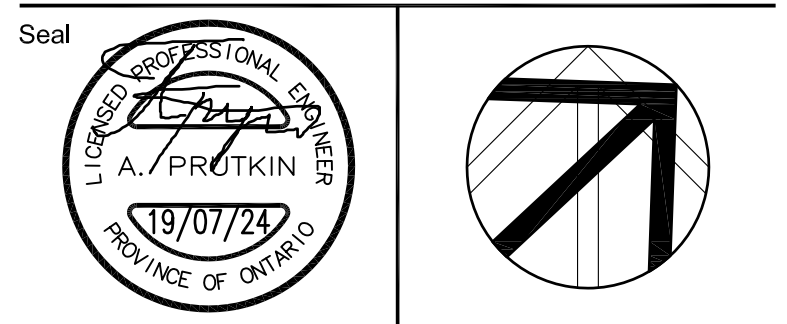


**2 BASEMENT 2 – PLUMBING NEW**  
SCALE: 1:100



**KEY PLAN**

No.	Revision	Date	By
1.	ISSUED FOR PERMIT AND TENDER	Jul. 19/24	A.P.

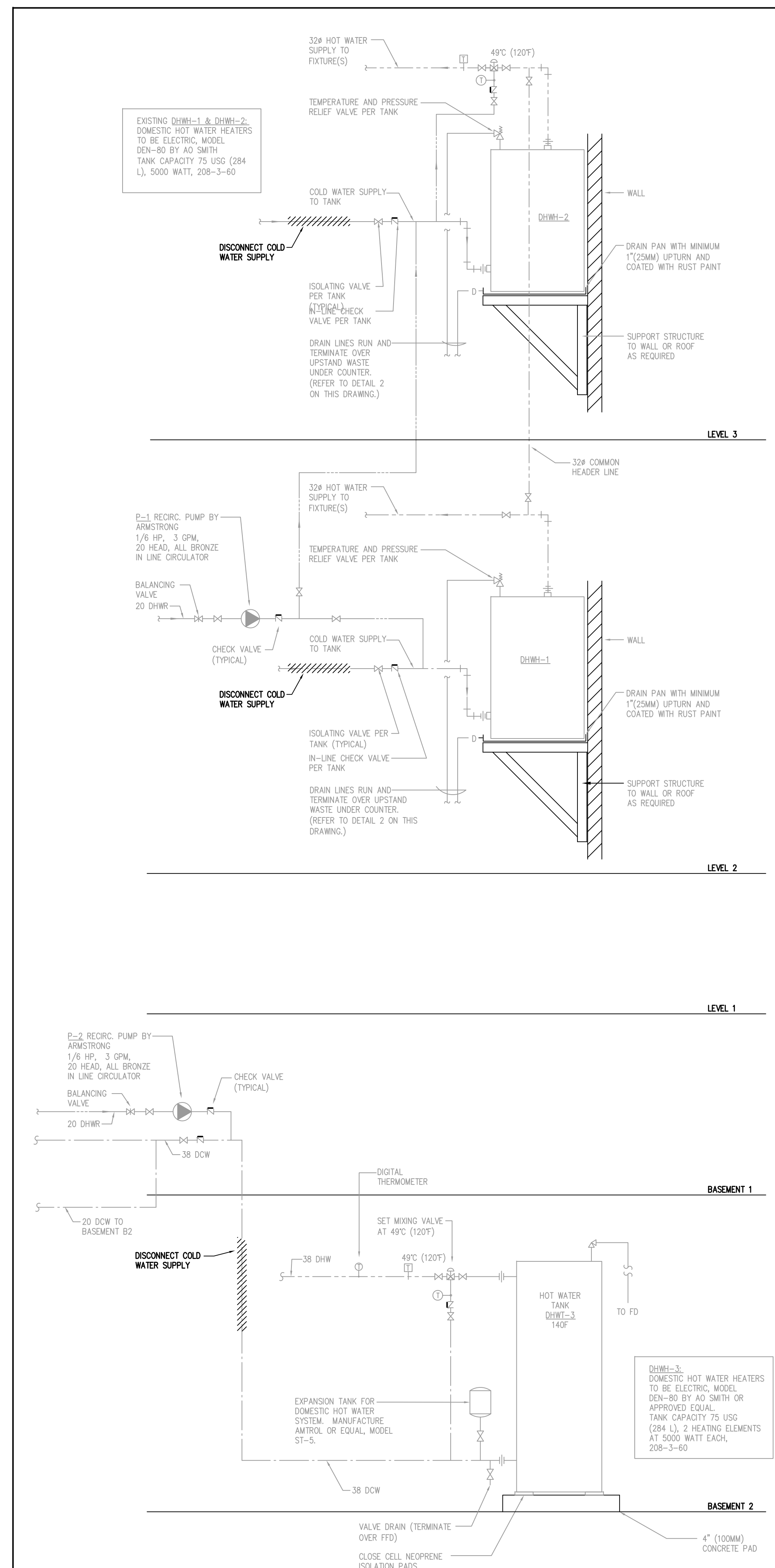


Project Name  
**348 Davenport Road**  
Toronto, Ontario  
**YWCA TORONTO - DAVENPORT  
WOMEN'S SHELTER  
KITCHEN AND SPRINKLER  
MODIFICATIONS**

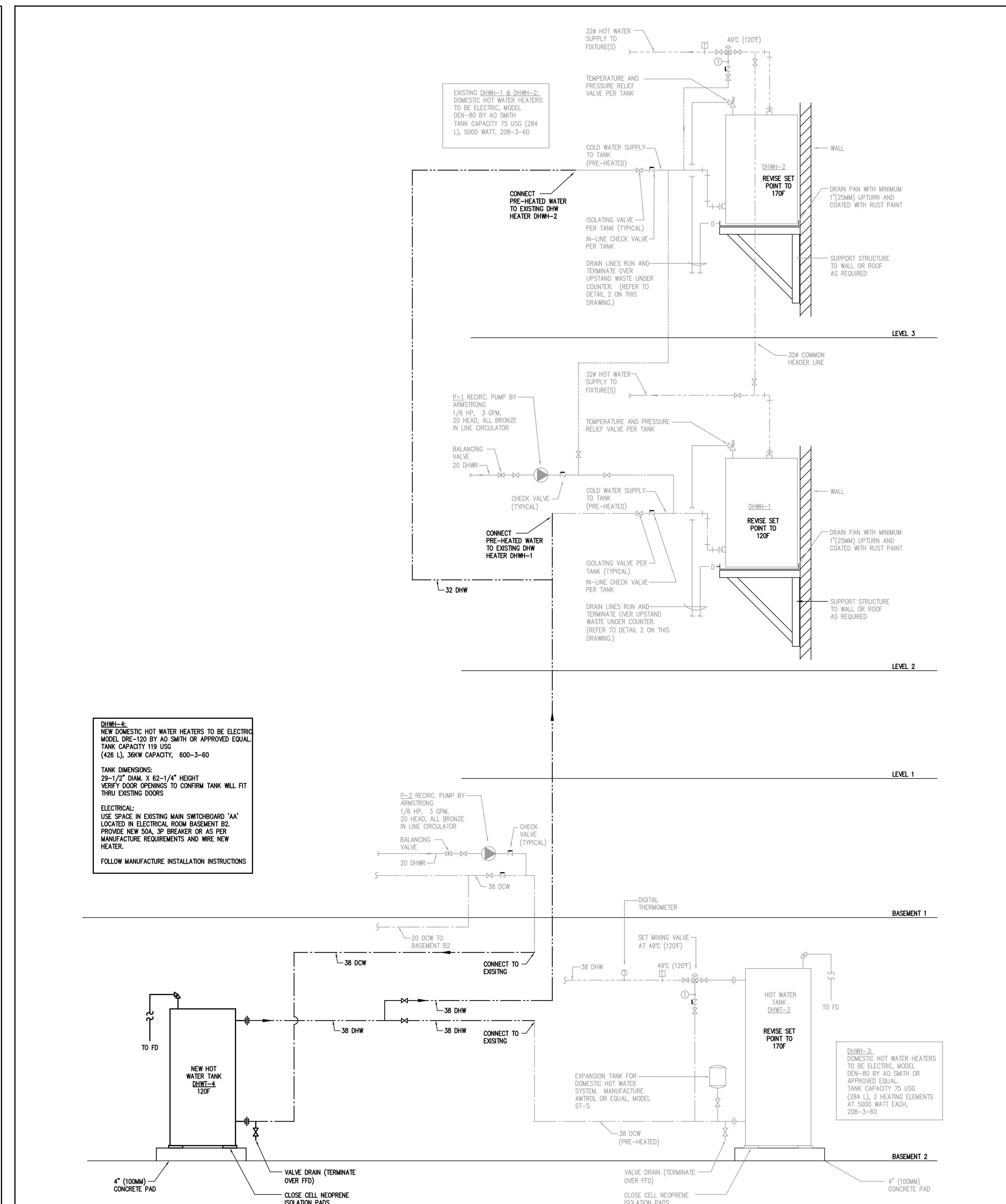
Sheet Title  
**DOMESTIC HOT WATER  
DIAGRAMS  
EXISTING AND NEW LAYOUT  
(PHASE 2)**

Drawn By CAD Scale NTS  
Designed By A.P. Date July 19, 2024  
RJC Project Number **TOR.121290.0014**

Sheet Number **M0.3** Revision

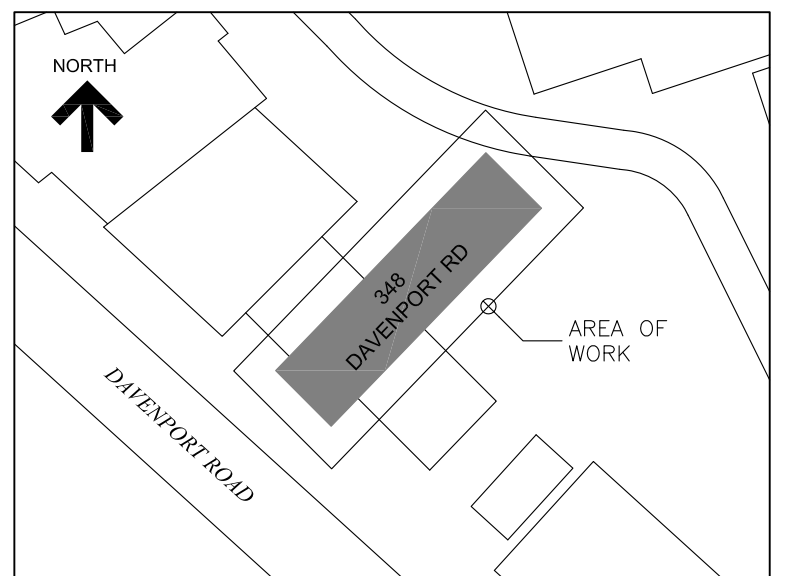


**1** DOMESTIC HOT WATER SYSTEM DIAGRAM - EXISTING  
SCALE: N.T.S.



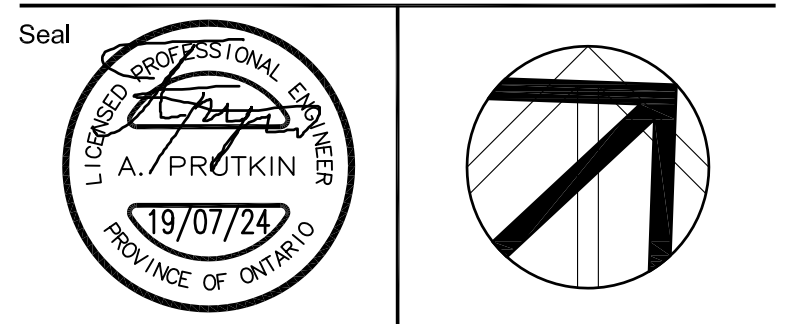
**2** DOMESTIC HOT WATER SYSTEM DIAGRAM - NEW LAYOUT  
SCALE: N.T.S.





KEY PLAN

No.	Revision	Date	By
1.	ISSUED FOR PERMIT AND TENDER	Jul. 19/24	A.P.

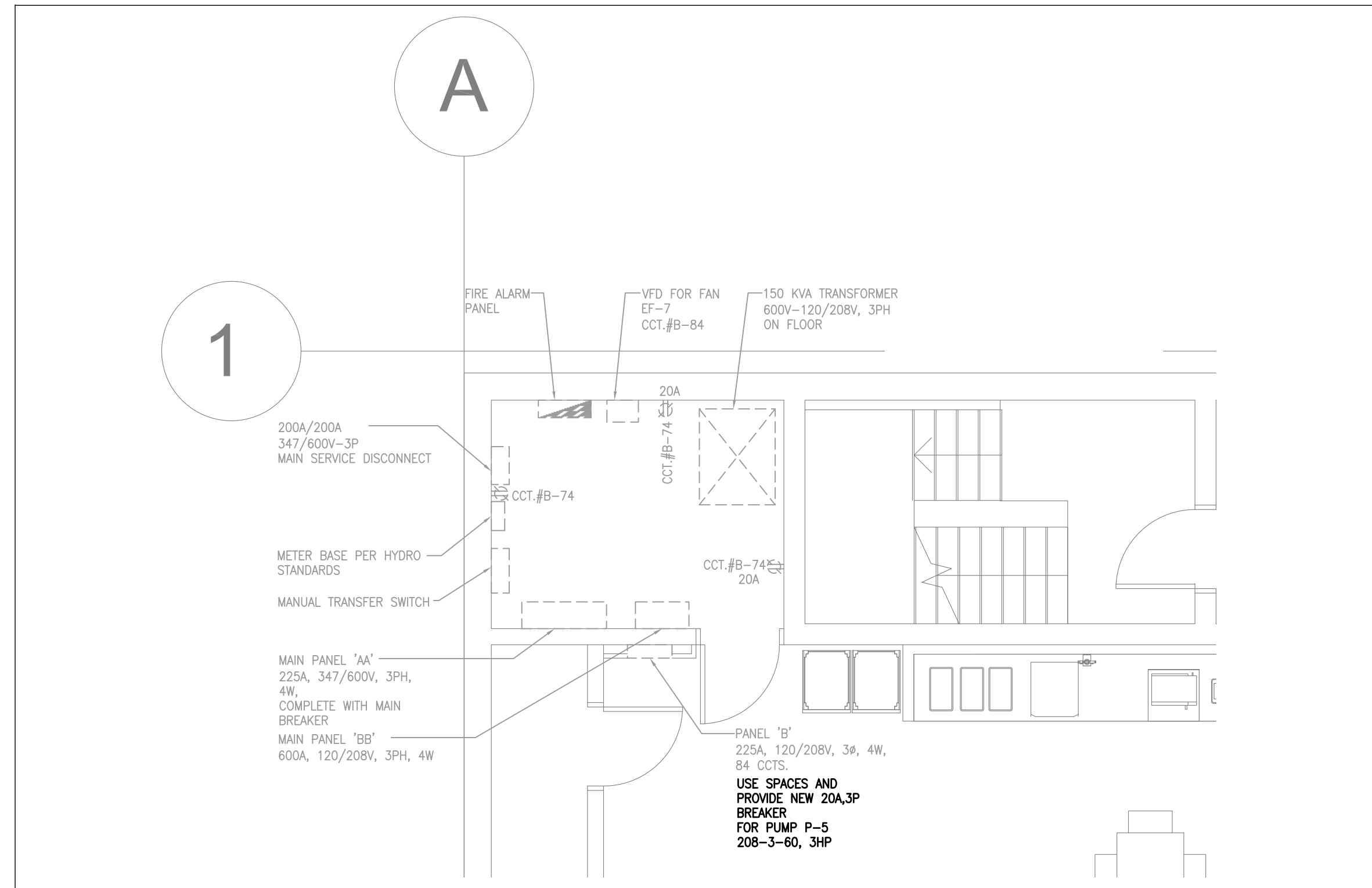


Project Name  
**348 Davenport Road**  
Toronto, Ontario  
**YWCA TORONTO - DAVENPORT WOMEN'S SHELTER KITCHEN AND SPRINKLER MODIFICATIONS**

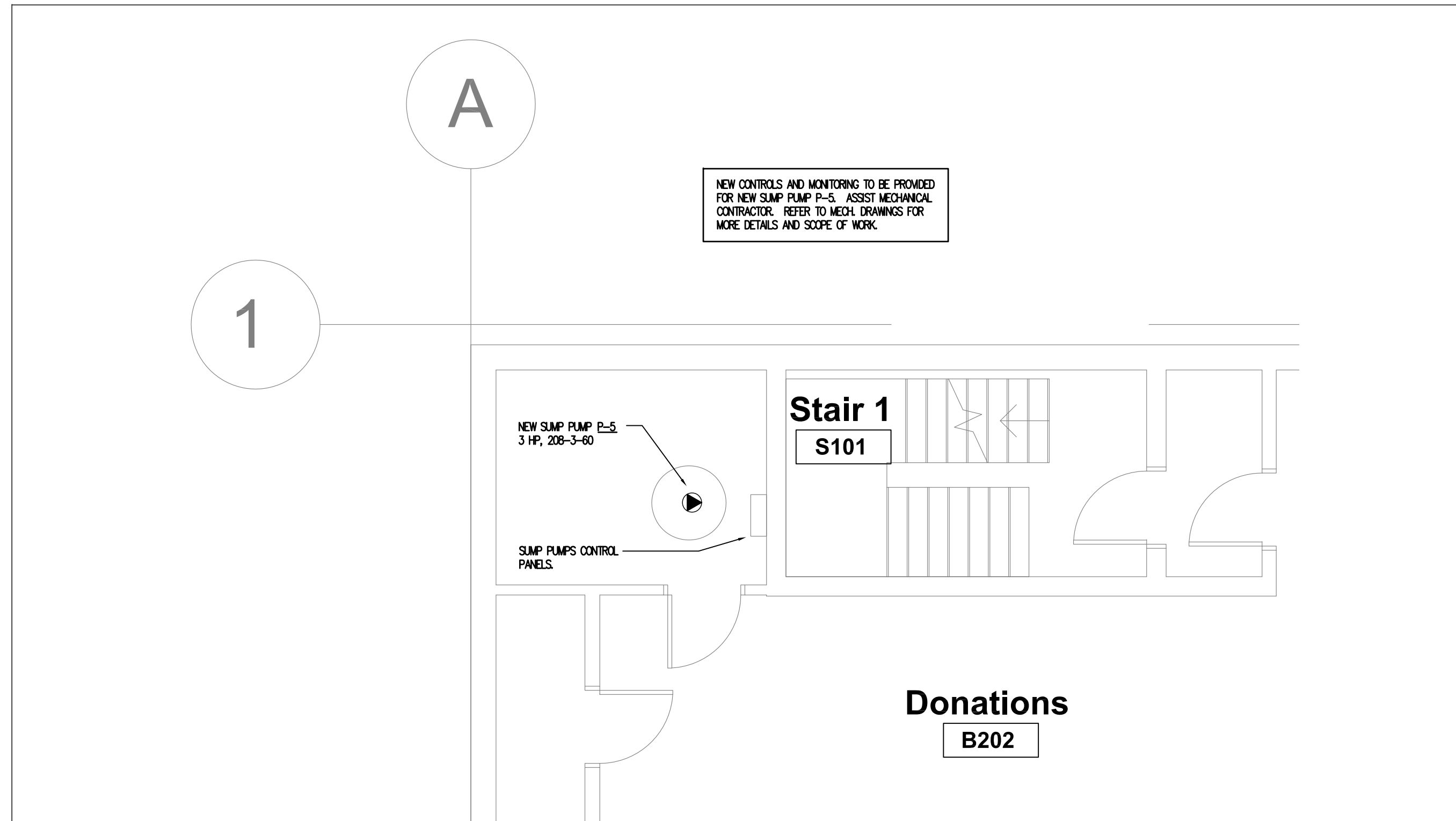
Sheet Title  
**BASEMENT 1 & 2 POWER (PHASE 1)**

Drawn By CAD Scale As Indicated  
Designed By A.P. Date July 19, 2024  
RJC Project Number **TOR.121290.0014**

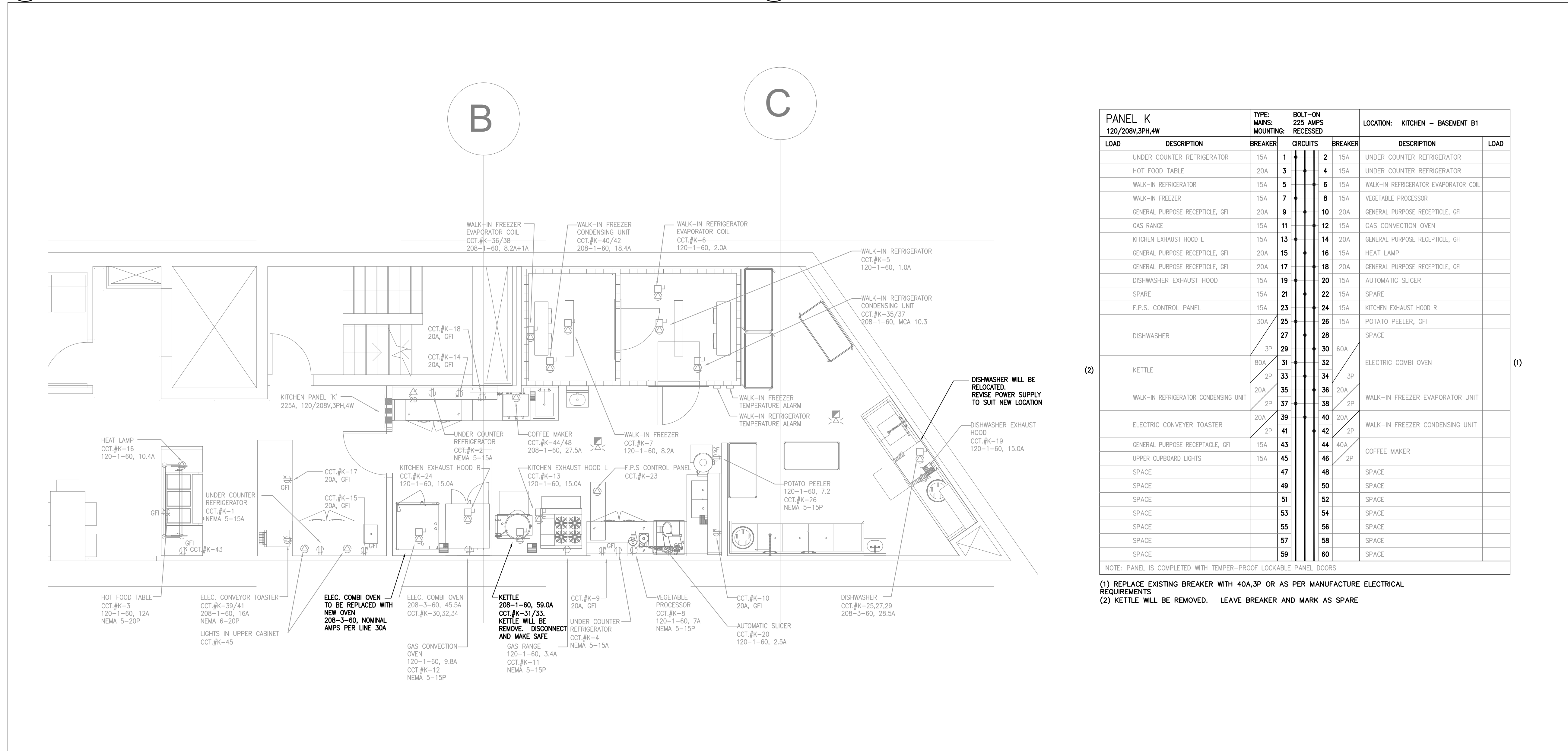
Sheet Number E0.1 Revision



1 BASEMENT 1 PART PLAN - POWER  
E0.1 SCALE: 1:50



3 BASEMENT 2 PART PLAN - POWER  
E0.1 SCALE: 1:50



2 BASEMENT 1 PART PLAN - POWER  
E0.1 SCALE: 1:50

PANEL K 120/208V, 3PH, 4W		TYPE: MANS: MOUNTING:	BOLT-ON 225 AMPS RECESSED	LOCATION: KITCHEN - BASEMENT B1	
LOAD	DESCRIPTION	BREAKER	CIRCUITS	DESCRIPTION	LOAD
	UNDER COUNTER REFRIGERATOR	15A	1	2 15A	UNDER COUNTER REFRIGERATOR
	HOT FOOD TABLE	20A	3	4 15A	UNDER COUNTER REFRIGERATOR
	WALK-IN REFRIGERATOR	15A	5	6 15A	WALK-IN REFRIGERATOR EVAPORATOR COIL
	WALK-IN FREEZER	15A	7	8 15A	VEGETABLE PROCESSOR
	GENERAL PURPOSE RECEPTACLE, GFI	20A	9	10 20A	GENERAL PURPOSE RECEPTACLE, GFI
	GAS RANGE	15A	11	12 15A	GAS CONVECTION OVEN
	KITCHEN EXHAUST HOOD L	15A	13	14 20A	GENERAL PURPOSE RECEPTACLE, GFI
	GENERAL PURPOSE RECEPTACLE, GFI	20A	15	16 15A	HEAT LAMP
	GENERAL PURPOSE RECEPTACLE, GFI	20A	17	18 20A	GENERAL PURPOSE RECEPTACLE, GFI
	DISHWASHER EXHAUST HOOD	15A	19	20 15A	AUTOMATIC SLICER
	SPARE	15A	21	22 15A	SPARE
	F.P.S. CONTROL PANEL	15A	23	24 15A	KITCHEN EXHAUST HOOD R
	DISHWASHER	30A	25	26 15A	POTATO PEELER, GFI
		27	28		SPACE
		29	30	60A	
(2)	KETTLE	80A	31	32	ELECTRIC COMBI OVEN
		2P	33	34	3P
		20A	35	36	20A
	WALK-IN REFRIGERATOR CONDENSING UNIT	2P	37	38	2P
		20A	39	40	20A
	ELECTRIC CONVEYOR TOASTER	2P	41	42	2P
	GENERAL PURPOSE RECEPTACLE, GFI	15A	43	44	40A
	UPPER CUPBOARD LIGHTS	15A	45	46	2P
	SPACE		47		SPACE
	SPACE		49		SPACE
	SPACE		51		SPACE
	SPACE		53		SPACE
	SPACE		55		SPACE
	SPACE		57		SPACE
	SPACE		59		SPACE

NOTE: PANEL IS COMPLETED WITH TEMPER-PROOF LOCKABLE PANEL DOORS  
(1) REPLACE EXISTING BREAKER WITH 40A, 3P OR AS PER MANUFACTURE ELECTRICAL REQUIREMENTS  
(2) KETTLE WILL BE REMOVED. LEAVE BREAKER AND MARK AS SPARE



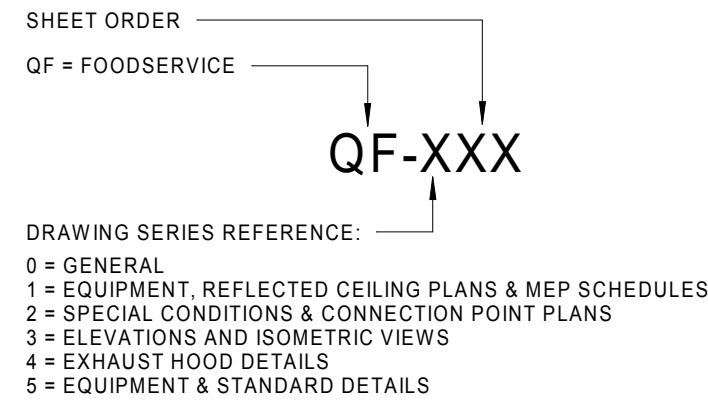
### ABBREVIATIONS

ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION
(E)	EXISTING	LT	LIGHT
(N)	NEW	LVR	LOUVER
A	AMPERES	M	METRES
AD	AREA DRAIN	MATL	MATERIAL
ADD'L	ADDITIONAL	MAX	MAXIMUM
ADJ	ADJUSTABLE	MECH	MECHANICAL
AFB	ABOVE FINISH FLOOR	MED	MEDIUM
AFG	ABOVE FINISH GRADE	MEMB	MEMBRANE
AFS	ABOVE FINISH SLAB	MFR	MANUFACTURE
ALT	ALTERNATE	MIN	MINIMUM
ALUM	ALUMINUM	MISC	MISCELLANEOUS
ANOD	ANODIZED	MM	MILLIMETERS
APPROX	APPROXIMATE(LY)	MTD	MOUNTED
ARCH	ARCHITECTURAL	MVB	MOVABLE
AVG	AVERAGE	NA	NOT APPLICABLE
BLDG	BUILDING	NAT	NATURAL
BOT	BOTTOM	NIC	NOT IN CONTACT
BTUHR	BRITISH THERMAL UNITS PER HOUR	NO	NUMBER
BTWN	BETWEEN	NTS	NOT TO SCALE
CW	COMPLETE WITH	OA	OVERALL
CBP	CIRCUIT BREAKER PANEL	OC	ON CENTER
CCI	CONTRACTOR FURNISH, CONTRACTOR INSTALL	OD	OUTSIDE DIAMETER
CFM	CUBIC FEET PER MINUTE	OF	OWNER FURNISHED, CONTRACTOR INSTALLED
CG	CORNER GUARD	OFCI	OWNER FURNISHED, OWNER INSTALLED
CL	CENTER LINE	OZ	OUNCE
CLG	CEILING	P	PHASE
CNTR	COUNTER	PCF	POUND PER CUBIC FOOT
CONC	CONCRETE	PCI	POUND PER CUBIC INCH
CONN	CONNECTION	PERF	PERFORATED
CONSTR	CONSTRUCTION	PERIM	PERIMETER
CONT	CONTINUOUS	PERP	PERPENDICULAR
CONTR	CONTRACTOR	PLAM	PLASTIC LAMINATE
CP	CHROME PLATED	PLBG	PLUMBING
CSWK	CASEWORK	PLF	POUNDS PER LINEAR FOOT
CW	COLD WATER	PLYWD	PLYWOOD
CY	CYCLE	PORT	PORTABLE
CNTR	COUNTER	PFAB	PREFABRICATION
C'	CELSIUS	PROJ	PROJECT
D	DEPTH	PSF	POUNDS PER SQUARE FOOT
DBL	DOUBLE	PSI	POUNDS PER SQUARE INCH
DEG	DEGREE	PWR	POWER
DEMO	DEMOLITION	QTY	QUANTITY
DEPT	DEPARTMENT	RAD	RADIUS
DET	DETAIL	RCP	REFLECTED CEILING PLAN
DIA	DIAMETER	RCPT	RECTANGULAR
DIM	DIMENSION	RECT	RECTANGULAR
DISP	DISPENSER	REF	REFERENCE
DN	DOWN	REFR	REFRIGERATOR
DR	DRAIN	REFR	REFRIGERATOR
DWG	DRAWING	REINF	REINFORCE (D) (ING) (MENT)
DWGS	DRAWINGS	REQD	REQUIRED
EACH	EACH	REQT	REQUIREMENT
ELEC	ELECTRICAL	RET	RETURN
ELEV	ELEVATION	REV	REVISION
ENCL	ENCLOSURE	RM	ROOM
EQ	EQUAL	RND	ROUND
EQUIP	EQUIPMENT	S	SUPPLY
EQUIV	EQUIVALENT	S	SCHEDULE
EXH	EXHAUST	SECT	SECTION
EXT	EXTERIOR	SHV	SHELVES, SHELVING
FD	FLOOR DRAIN	SIM	SIMILAR
FFD	FUNNEL FLOOR DRAIN	SINK	SINK
FS	FLOOR SINK	SP	STATIC PRESSURE
FT	FEET, FOOT	SPEC	SPECIFICATION
F'	FAHRENHEIT	SQ	SQUARE
G	GAS	SS	STAINLESS STEEL
GALV	GALVANIZED	STA	STATION
GC	GENERAL CONTRACTOR	STAG	STAGGERED
GPM	GALLONS PER MINUTE	STD	STANDARD
HB	HOSE BIB	STL	STEEL
HGT	HEIGHT	STOR	STORAGE
HORIZ	HORIZONTAL	STRUCT	STRUCTURAL
HR	HOUR	SVCE	SERVICE
HVAC	HEATING-VENTILATION- AIR CONDITIONING	SYST	SYSTEM
HW	HOT WATER	T	TREAD
ID	INSIDE DIAMETER	TD	TRENCH DRAIN
IN	INCH	TEMP	TEMPORARY
INCL	INCLUDE	THERM	THERMAL
INFO	INFORMATION	THK	TICK, THICKNESS
INSUL	INSULATION	THRU	THROUGH
INTR	INTERIOR	TOT	TOTAL
IJS	INSIDE PIPE SIZE	TYP	TYPICAL
JAN	JANITOR	US	UNDER SIDE
JBC	JUNCTION BOX	UC	UNDER COUNTER
KEC	KITCHEN EQUIPMENT CONTRACTOR	UL	UNDERWRITERS LABORATORIES
KG	KILOGRAM	UNL	UNLESS OTHERWISE NOTED
KIT	KITCHEN	UPS	UNINTERRUPTIBLE POWER SUPPLY
KPA	KILOPASCALS	UTIL	UTILITY
KPL	KICK PLATE	V	VOLTS
KW	KILOWATT	VERT	VERTICAL
L	LONG	VOL	VOLUME
L/S	LITERS PER SECOND	W	WITH
LB	POUND	W/O	WITHOUT
LC	LOAD CENTER	WCHR	WHEELCHAIR
LED	LIGHT EMITTING DIODE	WT	WEIGHT
LG	LENGTH	YD	YARD
LN	LINEAR		

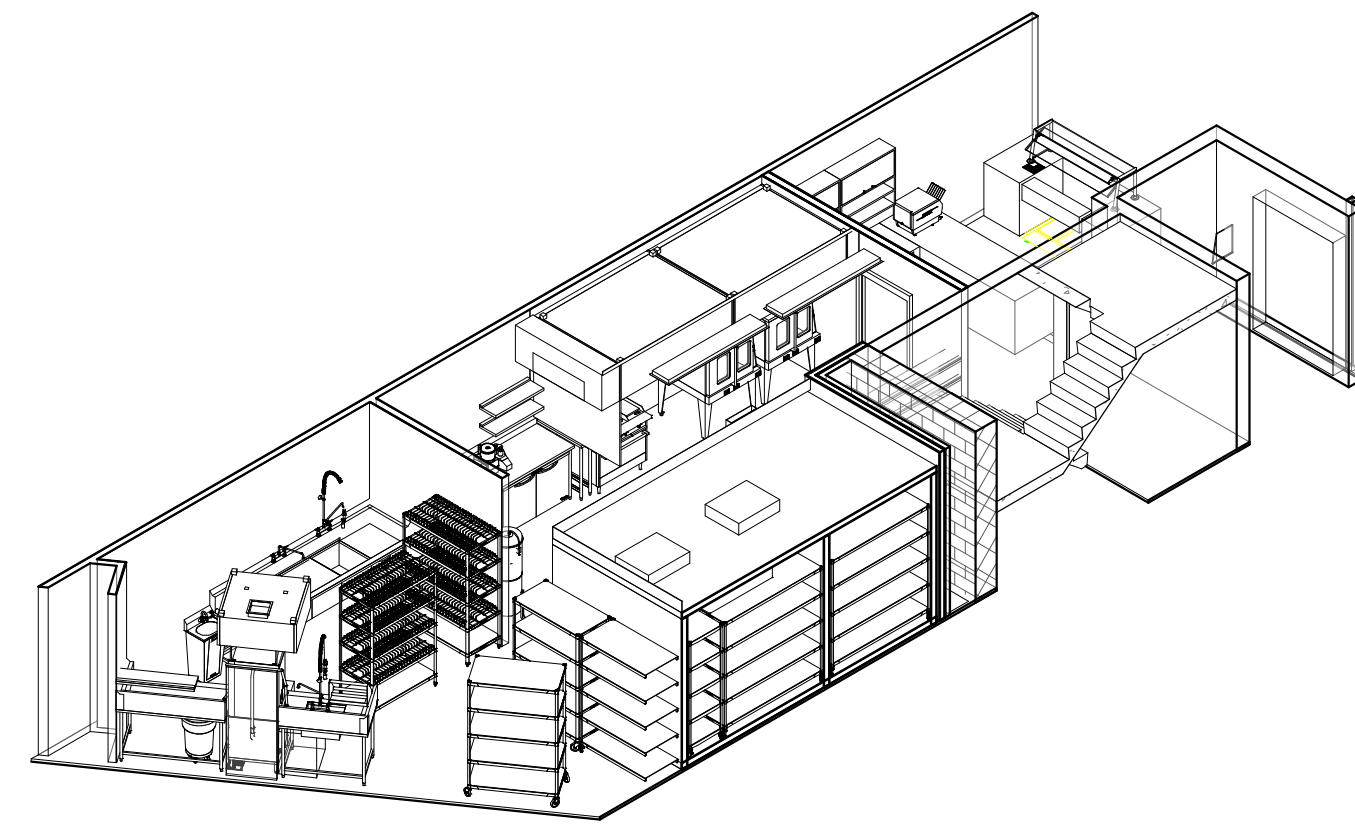
### GENERAL NOTES

- QF - FOODSERVICE GENERAL NOTES
- THE FOLLOWING GENERAL NOTES APPLY TO ALL FOODSERVICE SERIES DRAWINGS.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW AND COORDINATE THE WORK OF ALL SUB-CONTRACTORS, TRADES, AND SUPPLIERS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BEFORE COMMENCING CONSTRUCTION, AND TO ASSURE THAT ALL PARTIES ARE AWARE OF ALL REQUIREMENTS, REGARDLESS OF WHERE THE REQUIREMENTS OCCUR IN THE CONTRACT DOCUMENTS, WHICH MIGHT AFFECT THE WORK OF THAT PARTY.
  - AS PART OF THE CONTRACTORS RESPONSIBILITY TO COORDINATE THE WORK OF ALL SUB-CONTRACTORS, TRADES, AND SUPPLIERS, THE CONTRACTOR SHALL ENDEAVOR TO IDENTIFY AND NOTIFY THE ARCHITECT OF ANY CONFLICTS BETWEEN THE WORK OF DIFFERENT PARTIES AT THE EARLIEST POSSIBLE DATE SO AS TO ALLOW REASONABLE AND ADEQUATE TIME FOR THE CONFLICT TO BE RESOLVED WITHOUT DELAY OF THE WORK. ALL DEVIATIONS FROM THAT WHICH IS REQUIRED BY THE CONTRACT DOCUMENTS MUST BE APPROVED IN ADVANCE BY THE ARCHITECT.
  - ALL DISCONNECT SWITCHES FOR FOODSERVICE EQUIPMENT ARE TO BE SUPPLIED AND INSTALLED BY ELECTRICAL DIVISION UNLESS OTHERWISE NOTED.
  - ALL WALK-IN EVAPORATORS ARE TO HAVE DISCONNECT SWITCHES SUPPLIED AND INSTALLED BY KITCHEN EQUIPMENT CONTRACTOR IN THE WALK-IN ROOM. KITCHEN EQUIPMENT CONTRACTOR TO PULL ALL WIRE FROM DISCONNECT SWITCHES TO JUNCTION BOX LOCATED TOP OF THE BOX READY FOR FINAL CONNECTION BY ELECTRICAL DIVISION.
  - ALL FREEZER WALK-IN EVAPORATORS TO HAVE DRAIN LINE HEATERS AND INSULATION SUPPLIED AND INSTALLED BY KITCHEN EQUIPMENT CONTRACTOR. KITCHEN EQUIPMENT CONTRACTOR TO PULL ALL WIRE FROM HEATERS TO JUNCTION BOX LOCATED TOP OF THE BOX READY FOR FINAL CONNECTION BY ELECTRICAL DIVISION.
  - ALL WALK-IN LIGHTS FIXTURES ARE TO BE SUPPLIED AND INSTALLED BY KITCHEN EQUIPMENT CONTRACTOR. KITCHEN EQUIPMENT CONTRACTOR TO PULL ALL WIRE FROM LIGHTS TO JUNCTION BOX LOCATED TOP OF THE BOX READY FOR FINAL CONNECTION BY ELECTRICAL DIVISION. ELECTRICAL DIVISION TO INTER-CONNECT LIGHTS TO LIGHT SWITCH JUNCTION BOX.
  - EXHAUST HOODS CONTROLS AND FIRE PROTECTION SYSTEM TO HAVE UNINTERRUPTED EMERGENCY POWER.
  - ELECTRICAL DIVISION TO INTER-CONNECT ALL LIGHT FIXTURES IN THE EXHAUST HOODS TO LIGHT SWITCH.
  - ELECTRICAL SUPPLY TO EQUIPMENT LOCATED UNDER THE HOOD IS TO BE TERMINATED WHEN FIRE SUPPRESSION SYSTEM IS ACTIVATED.
  - GENERAL PURPOSE FLOOR DRAINS ARE TO BE CONFIRMED WITH MECHANICAL DRAWINGS.
  - ALL DRAIN PIPING FROM FOODSERVICE EQUIPMENT ARE TO BE SUPPLIED AND INSTALLED BY MECHANICAL DIVISION UNLESS OTHERWISE NOTED.
  - ALL CONDENSATE DRAIN LINES FROM WALK-IN EVAPORATORS ARE TO BE SUPPLIED AND INSTALLED BY KITCHEN EQUIPMENT CONTRACTOR. KITCHEN EQUIPMENT CONTRACTOR TO INSTALL ALL CONDENSATE DRAIN LINES COMPLETE WITH INSULATION AND HEATER TAPE FOR FREEZER EVAPORATORS.
  - ALL WATER FILTERS REQUIRED FOR FOODSERVICE EQUIPMENT SUPPLIED BY THE KITCHEN EQUIPMENT CONTRACTOR. ALL WATER FILTERS ARE TO BE INSTALLED BY MECHANICAL DIVISION.
  - ALL DRAIN LINES FOR STEAMERS/COMBI OVENS AND DISHWASHERS ARE TO BE HIGH TEMPERATURE PIPING ONLY.
  - ALL GREASE TRAPS ARE SUPPLIED AND INSTALLED BY THE MECHANICAL DIVISION.
  - A MECHANICAL OR ELECTRICAL GAS SHUT OFF VALVE WILL BE PROVIDED BY THE EXHAUST HOOD MANUFACTURE FOR INSTALLATION BY THE MECHANICAL CONTRACTOR.
  - CONNECTION POINTS ARE FOR FOODSERVICE EQUIPMENT ONLY AND NEED TO BE USED IN CONJUNCTION WITH ELECTRICAL AND MECHANICAL DRAWINGS.
  - ALL ELECTRICAL AND MECHANICAL SERVICES ARE TO BE CONCEALED IN ARCHITECTURAL WALLS WERE POSSIBLE.
  - GENERAL PURPOSE RECEPTACLES ARE TO BE CONFIRMED WITH ELECTRICAL DRAWINGS.

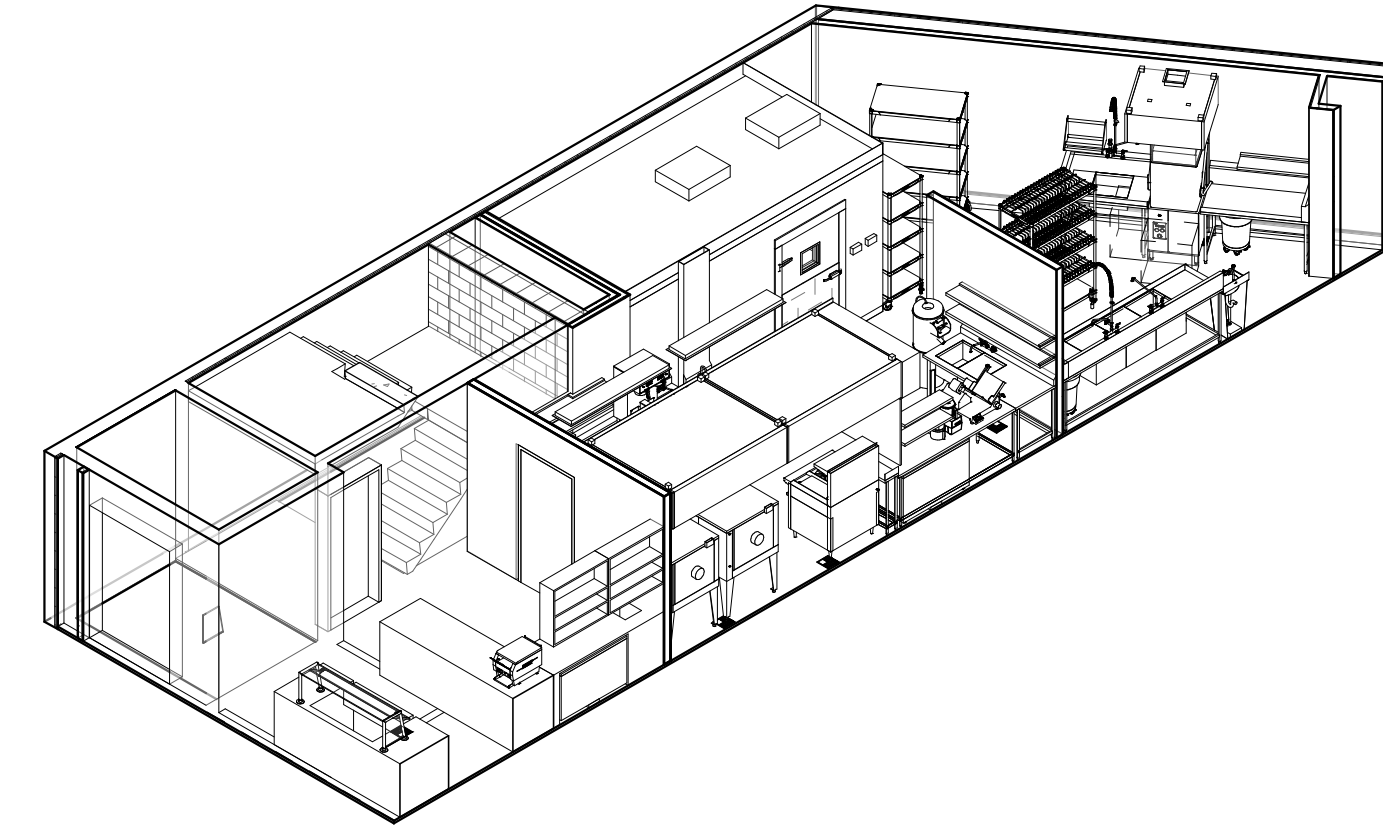
### SHEET NUMBERING LEGEND



### 3D VIEWS



1 3D VIEW A



2 3D VIEW B

### DRAWING CONVENTIONS

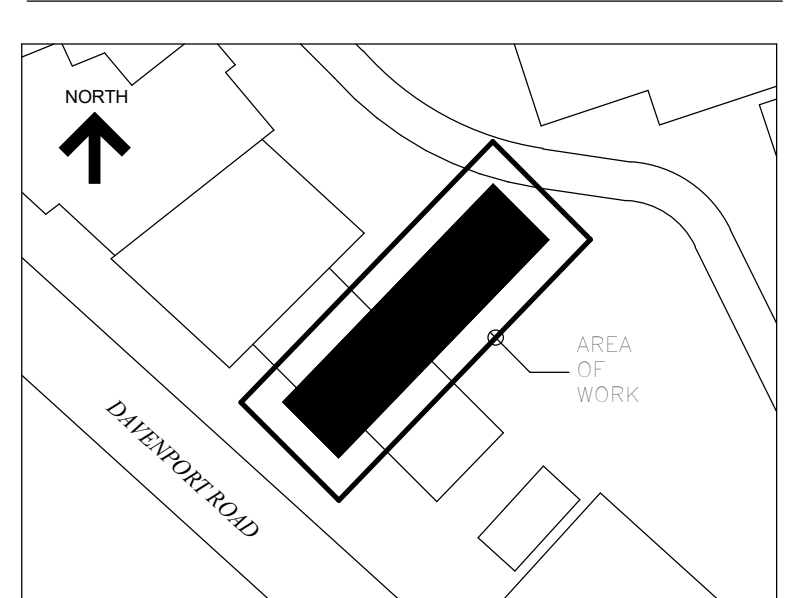


### PROJECT KEYNOTES

KEY VALUE	KEYNOTE TEXT
QF1.14	KITCHEN EQUIPMENT CONTRACTOR TO CO-ORDINATE WITH GENERAL CONTRACTOR INSTALLATION OF WALL REINFORCING TO SUPPORT WALL MOUNTED OVER SHELVES, WATER FAUCETS, WATER FILTERS, HOSE REELS AND HOSE REEL CONTROL PANELS
QF1.15	KITCHEN EQUIPMENT CONTRACTOR TO CO-ORDINATE WITH GENERAL CONTRACTOR INSTALLATION OF WALL REINFORCING TO SUPPORT HAND SINKS/SOAP DISPENSER AND PAPER TOWEL DISPENSERS
QF1.21	APPROXIMATE LOCATION OF S.S. SERVICE CHASE FOR ELECTRICAL AND MECHANICAL SERVICES. REFER TO FLOOR PLANS FOR FINAL LOCATION
QF2.10	A MINIMUM OF 50MM MUST BE ALLOWED BETWEEN WALK-INS AND BUILDING WALLS
QF2.15	KITCHEN EQUIPMENT CONTRACTOR TO PROVIDE ENCLOSURES PANELS TO MATCH WALK-IN FINISH FROM TOP OF INSULATED CEILING PANEL TO FINISHED CEILING. NO FINISHED CEILING IS REQUIRED ABOVE INSULATED WALK- IN ROOMS
QF2.21	MANUAL COOLER/FREEZER SWING DOOR
QF2.40	SUGGESTED LOCATION FOR WALK IN LIGHT FIXTURES TO BE CONFIRMED WITH ELECTRICAL DRAWINGS
QF5.11	KITCHEN EQUIPMENT CONTRACTOR TO PROVIDE STAINLESS STEEL ENCLOSURES PANELS FROM TOP OF HOOD TO FINISHED CEILING. NO ARCHITECTURAL FINISHED CEILING IS REQUIRED ABOVE HOODS
QF5.12	REFER TO EXHAUST HOOD DRAWINGS (QF-400 SERIES) FOR MECHANICAL AND ELECTRICAL CONNECTIONS
QF5.15	FIRE SUPPRESSION CABINET
QF7.00	MILLWORK BY OTHERS

### SHEET LIST

SHEET NO.	COVER SHEET	SHEET NAME	ISSUANCE	DATE
QF-000	COVER SHEET		ISSUED FOR TENDER AND ISSUED FOR PERMIT	2024-07-19
QF-100	OVERALL PLAN		ISSUED FOR TENDER AND ISSUED FOR PERMIT	2024-07-19
QF-101	FOODSERVICE EQUIPMENT LAYOUT AND LIST		ISSUED FOR TENDER AND ISSUED FOR PERMIT	2024-07-19



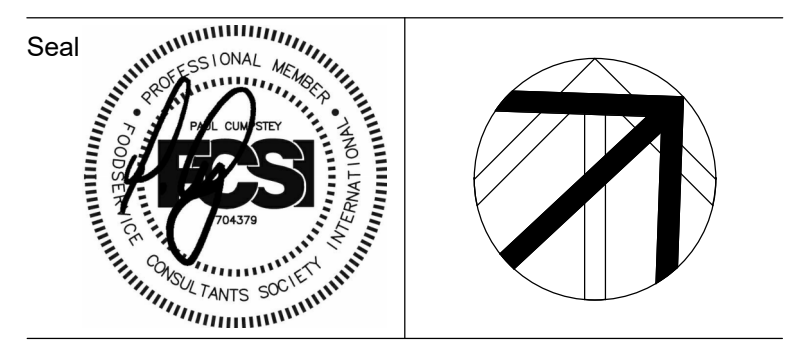
### KEY PLAN



No.	Revision	Date	By
1	Issued for Client Review	2024-04-22	DD
2	Issued for Tender and Issued for Permit	2024-07-19	DD

### Drawing Notes

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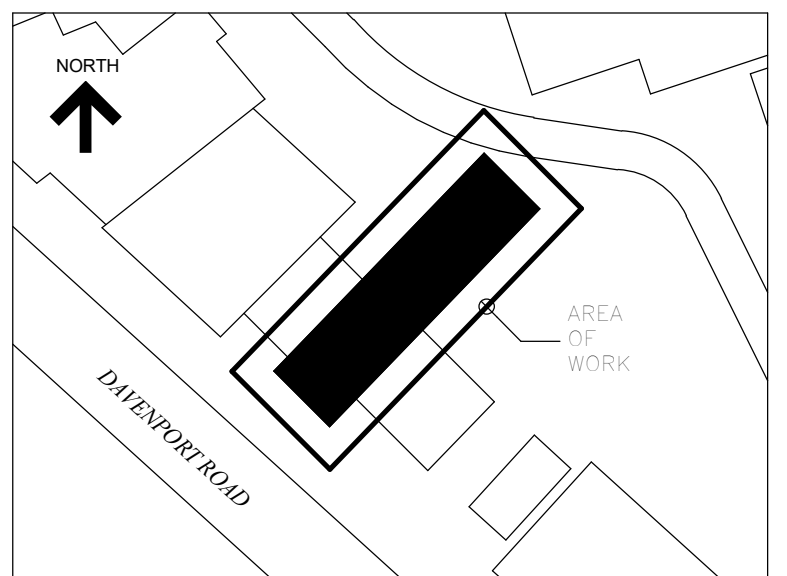


Project Name  
**348 Davenport Road**  
 Toronto, Ontario  
**YWCA TORONTO - DAVENPORT WOMEN'S SHELTER KITCHEN AND SPRINKLER MODIFICATIONS**

Sheet Title  
**COVER SHEET**

Drawn By D.D. Scale  
 Designed By P.C. Date 2024-07-26  
 RJC Project Number **TOR.121290.0014**  
 Sheet Number **QF-000** Revision





**KEY PLAN**



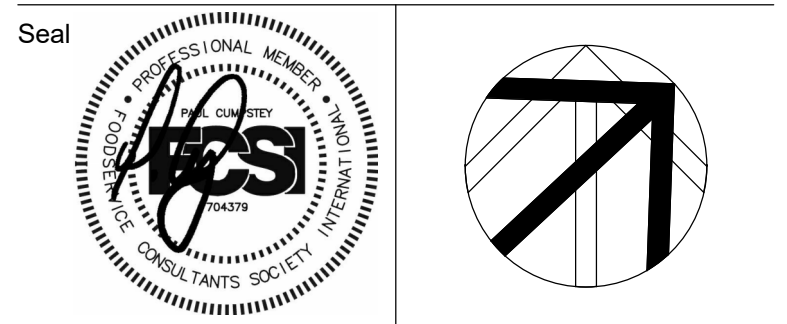
**FOODSERVICE  
PLANNING &  
DESIGN INC.**

Foodservice, Laundry and  
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**CHANGE FOR THE BETTER**  
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No.	Revision	Date	By
1	Issued for Client Review	2024-04-22	DD
2	Issued for Tender and Issued for Permit	2024-07-19	DD

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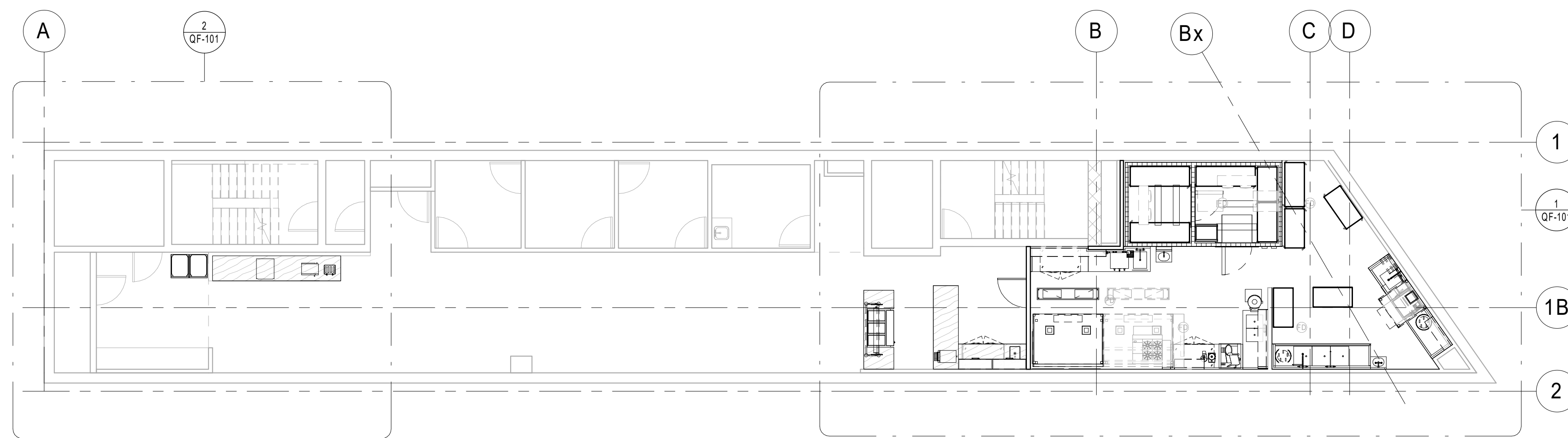
Project Name  
**348 Davenport Road  
Toronto, Ontario**  
**YWCA TORONTO -  
DAVENPORT WOMEN'S  
SHELTER KITCHEN AND  
SPRINKLER MODIFICATIONS**

Sheet Title

OVERALL PLAN

Drawn By	DD	Scale	
Designed By	PC	Date	2024-07-26
RJC Project Number	<b>TOR.121290.0014</b>		
Sheet Number		Revision	

**QF-100**



**1 BASEMENT - OVERALL PLAN**  
1 : 100



