LIST	OF DRAWINGS :
	COVER PAGE AND GENERAL NOTES
P1	GROUND FLOOR PHASING PLAN
P2	B1 LEVEL PHASING PLAN
P3	B2 LEVEL PHASING PLAN
S1	B2 LEVEL FOUNDATION PLAN
M0.1	FIRE PROTECTION DIAGRAMS EXISTING AND NEW LAYOUT (PHASE 1)
M0.2	BASEMENT 2 PLUMBING EXISTING AND NEW (PHASE 2)
M0.3	DOMESTIC HOT WATER DIAGRAMS EXISTING AND NEW LAYOUT (PHASE :
E0.1	BASEMENT 1 AND 2 POWER (PHASE 1)
QF-000	COVER SHEET
QF-100	OVERALL PLAN
QF-101	FOOD SERVICE EQUIPMENT LAYOUT AND LIST





LENGER

**ISSUED FOR TENDER - July 19, 2024** ISSUED FOR PERMIT - July 19, 2024 ISSUED FOR CLASS A COSTING - April 22, 2024 **ISSUED FOR CLIENT REVIEW - April 22, 2024** 

**RJC PROJECT No. TOR.121290.0014** 

#### 1.0 GENERAL NOTES

- (THESE NOTES APPLY TO ALL PHASES / ASPECTS OF THE PROJECT) TO REVIEW AND COORDINATE BETWEEN THEM.
- ORDER TO COMPLETE THE WORK AS SHOWN ON THE DOCUMENTS PRIOR TO BIDDING.
- FROM THIS DRAWING OR RELY ON ANY DRAWINGS AS ACCURATELY REFLECTING THE AS-BUILT CONDITION. THE EXTENT OF WORK IS AS SHOWN ON THE DRAWINGS
- HOARDING, DUST PROTECTION, SITE PROTECTION AND SIGNAGE TO BE INSTALLED AROUND THE SITE PRIOR TO COMMENCING WORK AS PER SECTION 01 10 01, THESE NOTES AND PHASING DRAWINGS.
- THIS SET OF DRAWINGS DOES NOT INCLUDE COMPONENTS THAT MAY BE NECESSARY FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY IN AND AROUND THE JOB SITE DURING CONSTRUCTION, AND FOR DESIGN AND ERECTION OF ALL TEMPORARY STRUCTURES REQUIRED TO COMPLETE THE WORK
- DRAWINGS UNLESS MARKED "ISSUED FOR CONSTRUCTION" BY READ JONES CHRISTOFFERSEN LTD. OR THE RELEVANT SUB-CONSULTANTS.
- DRAWINGS AND SITE CONDITION TO THE ENGINEER IMMEDIATELY.
- 1. SECTION MARK SHOWN THUS ( ) DENOTE SECTION 1 ON DRAWING S1.
- SATISFY THEMSELVES, BY MEANS OF A RATIONAL SAMPLING PROCEDURE WHICH THEY IN THEIR SOLE DISCRETION CONSIDER NECESSARY, TO DETERMINE THAT THE CONTRACTOR IS CARRYING OUT THAT WORK IN GENERAL CONFORMANCE WITH THE CONTRACT DOCUMENTS. THE FIELD SERVICES PROVIDED APPLY ONLY TO THAT WORK SHOWN ON THE REVIEWING PARTY'S DRAWINGS. THE PERFORMANCE OF THE CONTRACT IS NOT RESPONSIBLE FOR QUALITY CONTROL AND PERFORMING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 13. CONTRACTOR WILL BE RESPONSIBLE TO REPAIR/RESTORE/REPAINT ALL EXISTING FINISHES AND LANDSCAPING DAMAGED AS A RESULT OF CONSTRUCTION OR REMOVED IN ORDER TO ALLOW CONSTRUCTION TO BE UNDERTAKEN.
- APPROPRIATE DIRECTIONAL ARROW WITH EACH SIGN.
- MECHANICAL ROOMS, STAIRWELLS, ETC.) REMAIN OPEN AT ALL TIMES. PROVIDE TEMPORARY ACCESS RAMPS/STAIRS AS REQUIRED.
- ROUTES ARE PROVIDED AND MAINTAINED DURING CONSTRUCTION.
- CONJUNCTION WITH ONE ANOTHER.
- RESPONSIBILITY 20. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2012 ONTARIO BUILDING CODE.
- 2.0 GENERAL SCOPE OF WORK :
- DAVENPORT WOMEN'S SHELTER LOCATED AT 348 DAVENPORT ROAD IN TORONTO, ONTARIO. OUTLINED IN THESE SPECIFICATIONS, TAKING INTO ACCOUNT ALL SITE CONDITIONS, NOISE RESTRICTIONS, WORK AREA RESTRICTIONS,
- OF THIS CONTRACT. IN PARTICULAR, THE WORK, BRIEFLY DESCRIBED BELOW, INCLUDES, BUT IS NOT NECESSARILY LIMITED TO THE FOLLOWING:
- WORK AS DESCRIBED IN SECTION 01 10 01 GENERAL REQUIREMENTS.
- INCLUDING SUBMISSION OF SHOP DRAWINGS SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
- PERFORM THE WORK.
- E. THIRD PARTY VERIFICATIONS AND INSPECTIONS AS REQUIRED TO CLOSE BUILDING PERMIT. F. SPRINKLER UPGRADES
- REMOVAL AND DISPOSAL OF EXISTING SPRINKLER HOSE AND REEL.
- TO INSTALL NEW SUMP PIT iii. INSTALLATION OF NEW CORRUGATED STEEL PIPE SUMP PIT AND PREFABRICATED COVER. iv. INSTALLATION OF NEW REINFORCED CAST-IN-PLACE CONCRETE SUMP PIT SLAB.
- . INSTALLATION OF NEW UNSHRINKABLE FILL IN SUMP PIT EXCAVATION. vI. REINSTATEMENT OF CONCRETE SLAB-ON-GRADE. VII. MODIFICATION OF EXISTING SPRINKLER SYSTEM AND SANITARY SEWER PIPING.
- viii. INSTALLATION OF NEW SUMP PUMP AND PIPING CONNECTED TO EXISTING SANITARY SEWER SYSTEM. ix. INSTALLATION/MODIFICATION OF EXISTING ELECTRICAL POWER TO SUIT NEW EQUIPMENT.
- x. INSTALLATION/MODIFICATION OF EXISTING CONTROLS TO SUIT NEW EQUIPMENT, SENSORS AND ALARMS. xi. REPLACEMENT AND SEALING OF EXISTING SUMP PIT COVERS.
- G. KITCHEN EQUIPMENT MODIFICATIONS
- REMOVAL OF EXISTING KETTLE AND RELOCATION TO A NEW LOCATION ON SITE. i. SUPPLY AND INSTALLATION OF NEW CONVECTION OVEN. IV. SUPPLY AND INSTALLATION OF NEW STAINLESS STEEL SPACER TABLE. vi. MODIFICATION OF PLUMBING AND DRAINAGE AS REQUIRED TO SUIT KITCHEN EQUIPMENT MODIFICATIONS. vii. MODIFICATION OF ELECTRICAL POWER TO SUIT KITCHEN EQUIPMENT MODIFICATIONS. VIII. MODIFICATION OF EXISTING ARCHITECTURAL FINISHES AS REQUIRED TO SUIT KITCHEN MODIFICATIONS.

HE DESIGN TEAM'S RESPONSIBILITY NOR ARE THE FIELD SERVICES RENDERED FOR THE CONTRACTOR'S BENEFIT. THE CONTRACTOR IS SOLELY C. HOT WATER TANK UPGRADES 4. PROVIDE SIGNAGE AS REQUIRED TO ENSURE SAFE PEDESTRIAN TRAFFIC FLOW THROUGH AND AROUND WORK AREAS IS MAINTAINED. ENSURE BUILDING ENTRANCES HAVE PROPER SIGNAGE FOR THAT PHASE OF THE WORK. REFER TO SECTION 01 10 01. CONTRACTOR TO PROVIDE 15. APPROXIMATE TYPE AND AND LOCATION OF SIGNS HAS BEEN SHOWN, HOWEVER ADDITIONAL SIGNAGE MAY BE REQUIRED. 6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ENTRANCE AND EXIT WAYS TO THE BUILDING (INCLUDING STORAGE ROOMS, THE CONTRACTOR SHALL NOT IMPEDE OR CLOSE ANY EMERGENCY EGRESS ROUTES DURING CONSTRUCTION, AS THE FACILITY WILL BE OCCUPIED. CONSULT AND COMPLY WITH THE RELEVANT AUTHORITIES HAVING JURISDICTION TO ENSURE THE REQUIRED EMERGENCY EGRESS 18. THIS SET OF DRAWINGS ALONG WITH THE SPECIFICATIONS FORM THE CONTRACT DOCUMENTS AND MUST BE READ AND INTERPRETED IN 19. THE CONTRACTOR IS TO PROTECT IN PLACE OR TEMPORARILY REMOVE/REINSTATE OR RELOCATE ALL SURFACE MOUNTED FIXTURES (I.E. LIGHTS, SIGNS, DOWNSPOUTS, CONDUIT, ETC.) DURING THE COURSE OF WORK. DAMAGE TO SURFACE MOUNTED FIXTURES WILL BE THE CONTRACTOR'S IN GENERAL, THIS PROGRAM INCLUDES THE UPGRADE OF THE BUILDING KITCHEN EQUIPMENT AND SPRINKLER SYSTEM AT THE YWCA TORONTO 6.0 STAGING NOTES : IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL LABOUR, MATERIAL, EQUIPMENT AND SUPERVISION TO COMPLETE THE REPAIRS BOARD OF ONTARIO. PROTECTION REQUIREMENTS, ACCESSIBILITY RESTRICTIONS, ETC. NO EXTRAS WILL BE ENTERTAINED FOR INCONVENIENCES AFTER THE AWARD A. THE INSTALLATION AND MAINTENANCE OF HOARDING DUST PROTECTION AND CONSTRUCTION SIGNAGE AROUND EACH PHASE AND AREA OF B. THE DESIGN, INSTALLATION AND MAINTENANCE OF EXCAVATION SHORING AND TEMPORARY WORKS AS REQUIRED TO CARRY OUT THE WORK, PHASING OF ACCESS IS ACCEPTABLE. C. COORDINATION OF ALL TEMPORARY CLOSURES WITH THE OWNER AND YWCA AS REQUIRED TO PERFORM THE WORK. D. PROTECTION IN PLACE OR TEMPORARY REMOVAL AND REINSTATEMENT OF EXISTING FIXTURES, FURNITURE OR EQUIPMENT AS REQUIRED TO 7.0 TEMPORARY WORK : LOCALIZED REMOVAL AND DISPOSAL OF EXISTING CONCRETE SLAB-ON-GRADE AND UNDERLYING GRANULAR MATERIALS AS REQUIRED REMOVAL OF EXISTING COMBI OVEN AND TURNOVER TO CITY OF TORONTO, INCLUDING DELIVERY TO OWNER-SELECTED LOCATION. v. MODIFICATION OF EXISTING DISHWASHER CONDENSATE HOOD AND ADJUSTMENT OF POSITIONING OF EXISTING DISHWASHER AND DISH TABLES.

ALL DIMENSIONS TAKEN FROM THE DRAWINGS SHALL BE CHECKED ON SITE PRIOR TO START OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SUCH MEASUREMENTS AND REPORT TO THE ENGINEER IN WRITING ALL DISCREPANCIES BETWEEN MEASUREMENTS AT BUILDING AND THOSE SHOWN ON DRAWINGS PRIOR TO COMMENCING WORK. ). THE CONTRACTOR SHALL REVIEW ALL THE DRAWINGS AND CHECK DIMENSIONS BEFORE CONSTRUCTION. REPORT DISCREPANCIES BETWEEN THE 2. THE DESIGN TEAM'S FIELD SERVICES: THE DESIGN TEAM WILL PROVIDE FIELD SERVICE DURING THE CONSTRUCTION PHASE OF THE WORK

THE USE OF THESE DRAWINGS IS LIMITED TO THAT EXTENT IDENTIFIED IN THE REVISIONS COLUMNS. DO NOT CONSTRUCT FROM THESE

. DISCREPANCIES, AMBIGUITIES OR OMISSIONS IN THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE CONSULTANT IMMEDIATELY. . PARTIAL COPIES OF THE ORIGINAL CONSTRUCTION DRAWINGS ARE AVAILABLE FOR VIEWING AND REFERENCE PURPOSES ONLY. DO NOT SCALE

THESE DRAWINGS ARE TO PROVIDE A SCHEMATIC REPRESENTATION OF THE APPROXIMATE LAYOUT OF THE LOCATION OF THE BUILDING IN THE AREA OF WORK. THE PROJECT SPECIFICATIONS AND DRAWINGS CONSIST OF MULTIPLE DISCIPLINES AND IT IS THE CONTRACTOR'S RESPONSIBILIT THE CONTRACTOR MUST REVIEW AND CONFIRM THE EXTENT OF EXISTING SITE CONDITIONS THAT WILL AFFECT OR WILL REQUIRE ADJUSTMENT

PRIME CONSULTANT STRUCTURAL ENGINEER Read Jones Christoffersen Ltd. Engineers rjc.ca Creative Thinking 100 University Avenue, North Tower, Suite 300 Practical Results Toronto, ON M5J 1V6 Canada tel 416-977-5335 email toronto@rjc.ca MECHANICAL ENGINEER ELECTRICAL ENGINEER Sharma & Partners Inc Mechanical and Electrical Engineers sharmaandpartners.com 85 Curlew Drive, Suite 108, Sharma & Partners Inc. Toronto, ON M3A 2P8 Canada tel 416-291-8822 KITCHEN AND FOODSERVICE CONSULTANT Kaizen Foodservice Planning & Design Inc. kaizenfood.com 1525 Cornwall Road, Unit 14 Oakville, ON L6J 0B2 Canada FOODSERVICE PLANNING & tel 905-338-3222 DESIGN INC. fax 905-338-1522 H. HOT WATER TANK UPGRADES INSTALLATION OF NEW CONCRETE HOUSEKEEPING PAD. INSTALLATION OF NEW DOMESTIC HOT WATER HEATER (DHWH-4) AND PIPING CONNECTED TO EXISTING DOMESTIC WATER SYSTEM. MODIFICATION OF EXISTING PLUMBING AND DRAINAGE AS REQUIRED TO SUIT NEW AND EXISTING HOT WATER EQUIR INSTALLATION/MODIFICATION OF EXISTING ELECTRICAL POWER TO SUIT NEW HOT WATER EQUIPMENT. MODIFICATION OF EXISTING ARCHITECTURAL FINISHES AS REQUIRED TO SUIT NEW AND EXISTING EQUIPMENT AND ASSOCIATED CONNECTIONS.

REPAIR ALL AREAS DAMAGED BY CONSTRUCTION ACTIVITY; SPECIFICALLY, THE CONTRACTOR SHALL REPAIR ALL DAMAGE FROM THE CONSTRUCTION TO THE SATISFACTION OF THE CONSULTANT INCLUDING REPAINTING OF SURFACES IN ACCOR THESE SPECIFICATIONS WHICH HAVE BEEN DAMAGED.

- FINAL CLEANING OF THE SITE, STRUCTURE, FIXTURES, PIPING, ETC. AND THE DISPOSAL OF ALL WASTE PRODUCTS AND GENERATED BY THE CONSTRUCTION ACTIVITY, AS WELL AS, ANY MATERIAL PRESENT IN THE WORK AREA PRIOR TO THE COMMENCEMENT OF THE WORK. THE AREAS REQUIRING CLEANING SHALL CONSIST OF ALL AREAS AFFECTED BY THE WO
- 3.0 HOARDING NOTES CONTRACTOR TO INSTALL AND MAINTAIN HOARDING AND DUST PROTECTION AROUND EACH PHASE OF WORK AS OUTLI SECTION 01 10 01 AND THESE DRAWINGS.
- POSITION HOARDING TO MAINTAIN PEDESTRIAN AND VEHICULAR TRAFFIC FLOW AND MINIMIZE IMPACT TO THE REGULAR OPE FACILITY.
- HOARDING BETWEEN OCCUPIED BUILDING AND WORK AREA SHALL BE COMPLETELY DUST AND WATER TIGHT. THE CON SHALL BE RESPONSIBLE FOR MAINTAINING HOARDING IN GOOD CONDITION AND DAMAGES AS A RESULT OF DUST AND INGRESS
- WALKWAYS SHALL BE CONSTRUCTED IF REQUIRED TO MAINTAIN SAFE AND BARRIER-FREE ACCESS TO ALL BUILDING ENTRANCE/EXITS AND OTHER SERVICES, ETC., THAT REQUIRE ACCESS SO AS PROTECT PEDESTRIANS USING SUCH EN ROOMS, AND SERVICES.

4.0 PHASING NOTES

IN GENERAL, THE PROJECT SCOPE OF WORK HAS BEEN DIVIDED INTO THREE (3) MAIN SUB-SCOPES, WITH SPECIFIC PH A. KITCHEN EQUIPMENT MODIFICATIONS

3. SPRINKLER UPGRADES

REFER TO SECTION 2.0 GENERAL SCOPE OF WORK FOR THE WORK INCLUDED IN EACH SUB-SCOPE.

- THE SUB-SCOPES SHALL BE UNDERTAKEN IN A PHASED MANNER, PER THE PHASING DRAWINGS. ACCESS TO THE BUILDI
- REGULAR OPERATION OF THE FACILITY SHALL BE MAINTAINED AT ALL TIMES, DURING ALL SUB-SCOPES AND PHASES. PROVISIONS FOR TEMPORARY CLOSURES OF LOCALIZED AREAS OF THE EXISTING BUILDING, EITHER FOR PART OF THE PHA
- SPECIFIED WORKING HOURS, HAVE BEEN INDICATED ON THE PHASING DRAWINGS. MAINTAIN THE WORK AREA REQUIREMENTS SHOWN ON THE DRAWINGS AND AS OUTLINED IN SECTION 01 10 01. CONTRAC AREA TO BE FULLY ENCLOSED DURING EACH PHASE.
- CONTRACTOR SHALL ALLOW FOR A MINIMUM OF 72 HOURS NOTICE FOR WORK REQUIRED IN OCCUPIED SPACE OR POWER
- SHUTDOWNS. CLOSE COORDINATION WITH THE CITY OF TORONTO AND YWCA IS REQUIRED.
- . CONTRACTOR TO ENSURE ACCESS TO WORK AREA IS RESTRICTED TO CONTRACTOR'S STAFF, CONSULTANT AND OWNER. ENSURE PEDESTRIAN TRAFFIC FLOW IS MAINTAINED, REFER TO SECTION 01 10 01 FOR SIGNAGE REQUIREMENTS.
- 5.0 EXISTING CONDITIONS :
- THIS SET OF DRAWINGS IS BASED ON THE EXISTING DRAWINGS AVAILABLE AT THE TIME OF DESIGN AND LIMITED REVIEW BY THE DESIGN TEAM. NOTIFY THE CONSULTANT OF ANY DISCREPANCIES FOR CLARIFICATION, PRIOR TO UNDERTAKING WO UNDERTAKEN BY THE CONTRACTOR WITHOUT SEEKING APPROPRIATE CLARIFICATION MAY BE CONSIDERED DEFICIENT AT THE TEAM'S DISCRETION AND THE CONTRACTOR'S RESPONSIBILITY TO CORRECT AT THEIR OWN COST.
- CONTRACTOR TO PROVIDE SAFE ACCESS TO EXECUTE THE WORK SPECIFIED IN THE CONTRACT DOCUMENTS. ACCESS MAY OF SCAFFOLDING, FALSE WORK, COMBINATIONS OF THE PROCEEDING OR OTHER METHODS APPROVED BY WORKERS' COMF
- ALL ACCESS SHALL BE SUITABLE FOR THE SAFE AND EFFICIENT PERFORMANCE OF THE WORK. CONTRACTOR TO SUBMIT BUILDING (PROVIDED) INDICATING THE TYPE OF ACCESS TO BE EMPLOYED ON EACH PORTION OF THE BUILDING, IN ACCORD. TEMPORARY WORKS NOTES BELOW, IF REQUESTED BY THE CONSULTANT.
- ALL ACCESS SHALL BE CAPABLE OF RESISTING ITS DEAD LOAD AND THE LIVE LOAD OF THE WORKERS AND STORED MATERIA LOADING TO CONFORM TO CAN/CSA S269.2 M87, ACCESS SCAFFOLD FOR CONSTRUCTION PURPOSES, CLAUSE 5.2.1.(B).
- 5. THE CONTRACTOR SHALL STORE ALL MATERIALS AND EQUIPMENT WITHIN THEIR WORK AREA.
- THE SITE ACCESS WAYS SHALL NOT BE BLOCKED BY MATERIALS OR DELIVERIES AT ANY TIME. ALL DELIVERIES OF MATER EQUIPMENT SHALL BE VIA THE MAIN BUILDING ENTRANCE BY HAND THROUGH STAIRWELLS. USE OF ELEVATOR SHALL BE KITCHEN EQUIPMENT DELIVERY ONLY AND OTHERWISE AT THE OWNER/YWCA'S DISCRETION TO THE DESIGNATED STAGING /
- THE CONTRACTOR SHALL DESIGN, PROVIDE, ERECT, MAINTAIN, REMOVE AND ASSUME FULL AND SOLE RESPONSIBILITY FOR TEMPORARY WORKS REQUIRED FOR THE SAFE AND COMPLETE EXECUTION OF THE WORKS.
- IN THE EXECUTION OF THE TEMPORARY WORKS AND FOR THE DURATION OF THE CONTRACT, THE CONTRACTOR SHALL MA PROVISION FOR ALL LIKELY CONSTRUCTION LOADING AND PROVIDE SUFFICIENT BRACING AND PROPS TO KEEP THE WORKS AND ALIGNMENT AND FREE FROM EXCESSIVE DEFLECTION.
- ACCESS OF HEAVY CONSTRUCTION EQUIPMENT AND ACCUMULATION OF CONSTRUCTION MATERIALS ON THE FLOORS ARE N UNLESS SUCH HAVE BEEN CATERED FOR IN THE CONTRACTOR'S TEMPORARY WORK DESIGN TO THE SATISFACTION OF THE
- COSTS OF ALL TEMPORARY WORKS ARE TO BE INCLUDED IN THE CONTRACT PRICE.
- SUBMIT SHOP DRAWINGS FOR ALL TEMPORARY WORKS FOR REVIEW BEFORE FABRICATION COMMENCES. SHOP DRAWINGS SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF ONTARIO.
- 8.0 RENOVATION NOTES : THE CONTRACT DOCUMENTS ARE BASED ON ASSUMED AS-BUILT DIMENSIONS FOR THE EXISTING BUILDING STRUCTURE AN IN ACCORDANCE WITH DETAILING AND PLACING PRACTICE. THESE ASSUMPTIONS MAY VARY FROM THE ACTUAL ON-SITE CO CONTRACTOR SHALL IMMEDIATELY INFORM THE CONSULTANT OF ANY ACTUAL VARIATIONS FROM THE ASSUMED CONDITION
- MINOR MODIFICATIONS TO SUIT TOLERANCES OF +/- 50mm WILL BE REQUIRED TO THE WORK INDICATED ON THESE D REFLECT ACTUAL SITE CONDITIONS. THE CONTRACTOR WILL COOPERATE WITH THE CONSULTANT AND RJC IN THIS REGARD MODIFICATIONS WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR AND WILL NOT RESULT IN A CHANGE IN THE CO
- ENSURE THAT ALL NECESSARY JOB DIMENSIONS ARE TAKEN AND ALL TRADES ARE COORDINATED FOR THE PROPER EXEC WORK. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS OF SUCH FOR COORDINATION.

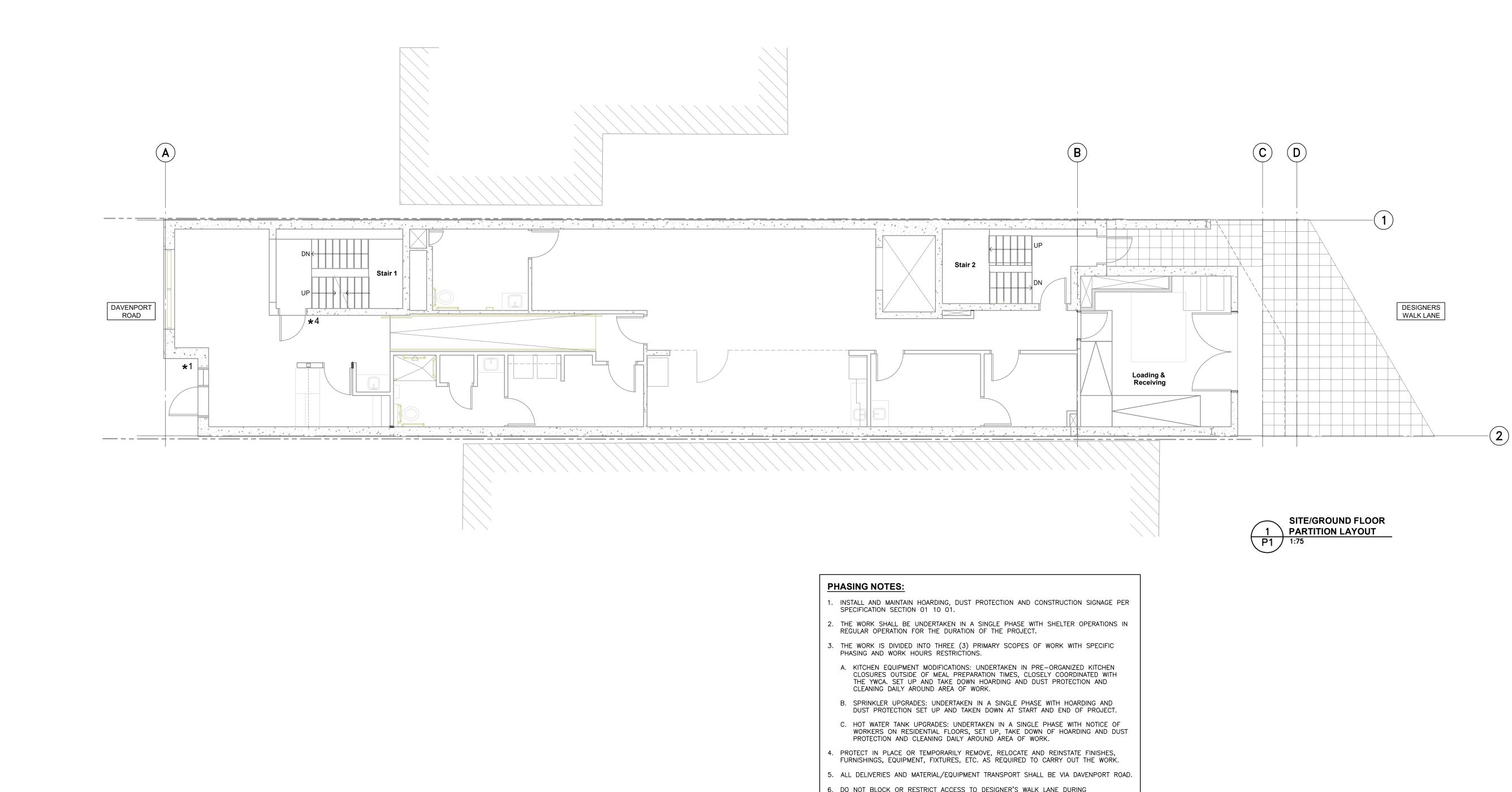
# **YWCA Toronto -Davenport Women's Shelter**

348 Davenport Road,

Toronto, Ontario

# **KITCHEN AND SPRINKLER MODIFICATIONS**

	4. PRIOR TO FABRICATION OF ANY STRUCTURAL MEMBERS, THE CONTRACTOR SHALL COMPLETE THIS SITE REVIEW OF CRITICAL "TIE-IN" DIMENSIONS AND CONFIRM ALL DIMENSIONS TO ENSURE PROPER FIT OF NEW WORK TO EXISTING. REPORT ANY DISCREPANCIES TO RJC PRIOR TO STARTING WORK.
HOT PMENT.	<ol> <li>COMMENCEMENT OF CONSTRUCTION OR ANY PART THEREOF CONSTITUTES ACCEPTANCE OF EXISTING CONDITIONS AND MEANS DIMENSIONS AND ELEVATIONS HAVE BEEN CONSIDERED, VERIFIED AND ARE ACCEPTABLE.</li> </ol>
	6. ANY OPENINGS THAT ARE NOT SHOWN OR INDICATED ON THE STRUCTURAL DRAWINGS SHALL BE REPORTED TO RJC FOR REVIEW. THESE OPENINGS MAY NOT BE ALLOWED, MAY HAVE TO BE MOVED, OR MAY REQUIRE ADDITIONAL STRUCTURAL WORK AND DETAILING. DO NOT PROCEED WITH THESE OPENINGS WITHOUT WRITTEN PERMISSION FROM RJC.
RESULTING DANCE WITH /OR DEBRIS	7. UNLESS NOTED OTHERWISE ON THE STRUCTURAL DRAWINGS, THE CORING OR CUTTING OF OPENINGS AND HOLES SHOWN ON THE STRUCTURAL DRAWINGS THROUGH THE EXISTING STRUCTURE SHALL NOT CUT ANY REINFORCING BARS. THE CONTRACTOR SHALL LOCATE THE LOCATION, SIZE, LENGTH, ORIENTATION AND POSITION OF EXISTING REINFORCING AND PROVIDE RJC WITH HARD COPIES OF SUCH FOR OUR REVIEW IN THE VICINITY OF THE HOLES AND SLEEVES TO BE CUT OR CORED, AND THE HOLES AND SLEEVES SHALL BE LOCATED TO AVOID CUTTING OF REINFORCING BARS. WHERE THIS IS NOT POSSIBLE, IT SHALL BE REPORTED TO RJC FOR REVIEW.
ORK.	8. NEW OPENINGS TO BE CUT THROUGH EXISTING FLOOR SLAB OR WALLS SHALL BE CLEARLY MARKED OUT BY THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY RJC ONCE THE MARKING OUT HAS BEEN COMPLETED SO THAT RJC CAN REVIEW THE PROPOSED LOCATIONS
INED IN ERATION OF THE	OF ALL NEW OPENINGS. DO NOT PROCEED WITH CUTTING OF NEW OPENINGS WITHOUT THE APPROVAL OF RJC. 9. UNLESS NOTED OTHERWISE ON THE DRAWINGS NEW STRAIGHT SIDED OPENINGS THROUGH EXISTING SLABS AND WALLS SHALL BE SAWCUT WITH NO OVERCUTS. USE CORED HOLES AT THE CORNERS. JACKHAMMERING SHALL NOT BE PERMITTED. REFER TO THE DETAILS AND PROCEDURES INDICATED ON THE STRUCTURAL DRAWINGS FOR THE NEW OPENINGS. ALTERNATES TO THE ABOVE PROCEDURES MUST BE
ITRACTOR D MOISTURE	REVIEWED BY RJC PRIOR TO THE START OF DEMOLITION OR CONSTRUCTION. 10. UNLESS NOTED OTHERWISE AT ALL LOCATIONS WHERE NEW CONCRETE WILL BE IN CONTACT WITH EXISTING CONCRETE SURFACES, THE EXISTING CONCRETE SURFACE IS TO BE COMPLETELY CLEANED AND ROUGHENED BY BUSH HAMMERING, (OR APPROVED EQUAL) TO AN
ITRANCE WAYS.	AMPLITUDE OF 6mm. 11. CONTRACTOR TO ENSURE THAT UNDERGROUND OR IN-SLAB SERVICES ARE NOT DAMAGED THROUGH DEMOLITION, SAWCUTTING, HOLE AUGURING, OR OTHER CONSTRUCTION ACTIVITIES. REFER TO GENERAL NOTES FOR TESTING/LOCATING REQUIREMENTS.
INANCE WATS,	12. FASTENING TO EXISTING MATERIALS:
ASING:	UNLESS NOTED OTHERWISE, THE FOLLOWING REQUIREMENTS APPLY TO ALL CONNECTIONS BETWEEN EXISTING AND NEW MATERIALS: A. USE ONLY PRODUCTS AS SPECIFIED UNLESS ALTERNATES HAVE BEEN PRE-APPROVED BY RJC IN WRITING.
	B. ON SITE TRAINING – THE CONTRACTOR SHALL RETAIN A MANUFACTURER'S REPRESENTATIVE TO PROVIDE ON-SITE ANCHOR INSTALLATION TRAINING FOR ALL PROPRIETARY PRODUCTS SPECIFIED. THE CONTRACTOR'S PERSONNEL MUST BE TRAINED PRIOR TO THE COMMENCEMENT OF INSTALLING ANCHORS.
ING AND	C. THE CONTRACTOR IS TO RETAIN A THIRD PARTY MATERIALS TESTING AGENCY EXPERIENCED WITH THE INSTALLATION OF ANCHORS TO PROVIDE AN ON-GOING SERVICE OF ON-SITE QUALITY CONTROL REVIEWS TO ENSURE THAT ANCHORS ARE BEING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS AND INSTALLATION PROCEDURES. QUALITY ASSURANCE
HASE OR DURING	REPORTS FROM THE TESTING AGENCY ARE TO BE SUBMITTED TO RJC AFTER EACH SITE VISIT. AT THE END OF THE PROJECT, THE TESTING AGENCY IS TO PROVIDE A LETTER SIGNED BY A REGISTERED ENGINEER STATING THAT THE GENERAL INSTALLATION OF ANCHORS FOR THE PROJECT IS IN ACCORDANCE WITH THE RECOMMENDED INSTALLATION PRACTICE AS SPECIFIED BY THE MANUFACTURER.
CTOR'S WORK	D. A REPRESENTATIVE SAMPLE OF ANCHORS IS TO BE TESTED FOR EACH TYPE OF ANCHOR SPECIFIED. TESTING SHALL BE CARRIED OUT BY A TESTING AGENCY APPOINTED AND PAID FOR BY THE OWNER. ANCHORS WHICH FAIL THE LOAD TEST SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S COST. IF THE FAILURE RATE EXCEEDS 1 IN 10 FOR A TYPE OF ANCHORS, ALL
R AND WATER	ANCHORS ARE TO BE TESTED. E. SEE ALSO CONCRETE ANCHOR NOTE.
	13. DRILL AND SITE MEASURE BOLT HOLES IN EXISTING STRUCTURE PRIOR TO FABRICATING STEEL CONNECTION PLATES. BOLT HOLES MAY
	HAVE TO BE MOVED FROM WHAT IS SHOWN ON THE DRAWINGS TO AVOID CUTTING EXISTING REINFORCING OR TO AVOID OTHER SITE CONDITIONS. SITE MODIFICATION OF STEEL CONNECTION PLATES WILL NOT BE ACCEPTED WITHOUT THE PRIOR APPROVAL OF RJC.
UNDERTAKEN DRK. WORK IE DESIGN	9.0 FIELD REVIEW BY READ JONES CHRISTOFFERSEN (RJC) AND ITS SUB-CONSULTANTS :
A PLAN OF THE	1. READ JONES CHRISTOFFERSEN (RJC) AND ITS SUB-CONSULTANTS PROVIDES FIELD REVIEW ONLY FOR THE WORK SHOWN ON THESE DRAWINGS. THIS REVIEW IS NOT A "FULL TIME" REVIEW BUT IS A PERIODIC REVIEW AT THE SOLE DISCRETION OF RJC AND ITS SUB-CONSULTANTS IN ORDER TO ASCERTAIN THAT THE WORK IS IN GENERAL CONFORMANCE WITH THE PLANS AND SUPPORTING DOCUMENTS PREPARED BY THE REVIEWING PARTY. FIELD REVIEW BY RJC AND ITS SUB-CONSULTANTS IS NOT CARRIED OUT FOR THE CONTRACTOR'S BENEFIT, NOR DOES IT MAKE RJC AND ITS SUB-CONSULTANTS GUARANTORS OF THE CONTRACTOR'S WORK. IT REMAINS THE CONTRACTOR'S RESPONSIBILITY TO BUILD THE WORK IN CONFORMANCE WITH THE DOCUMENTS. RJC AND ITS SUB-CONSULTANTS SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
ALS. LIVE	2. PROVIDE 24 HOURS ADVANCE NOTICE OF EACH REQUIRED FIELD REVIEW. FIELD REVIEWS SHALL BE SCHEDULED TO BE CARRIED OUT DURING NORMAL BUSINESS HOURS UNLESS SPECIAL ARRANGEMENTS ARE MADE WITH RJC AND ITS SUB-CONSULTANTS.
	3. THE WORK TO BE REVIEWED SHALL BE GENERALLY COMPLETE.
	10.0 SHOP DRAWING REVIEW RESPONSIBILITY :
RIAL AND PERMITTED FOR AREA.	AS PART OF THEIR FIELD SERVICES, RJC AND ITS SUB-CONSULTANTS WILL REVIEW SHOP DRAWINGS PERTAINING TO WORK SHOWN ON THE REVIEWING PARTY'S DRAWINGS BY MEANS OF APPROPRIATE RATIONAL SAMPLING PROCEDURES AND COMMENT ON THE ACCURACY WITH WHICH THE CONTRACTOR PREPARED THE DRAWINGS. REVIEW OF SHOP DRAWINGS IS FOR THE SOLE PURPOSE OF ASCERTAINING CONFORMANCE WITH THE GENERAL DESIGN CONCEPT AND IS NOT AN APPROVAL OF THE DETAIL DESIGN INHERENT IN THE SHOP DRAWINGS, RESPONSIBILITY FOR WHICH SHALL REMAIN WITH THE CONTRACTOR SUBMITTING THEM. SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR ERRORS AND OMISSIONS IN THE SHOP DRAWINGS OR FOR MEETING ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR INFORMATION PERTAINING TO THE FABRICATION PROCESS,
R ALL	TECHNIQUES OF CONSTRUCTION AND INSTALLATION, AND FOR COORDINATION OF THE WORK OF ALL SUB-TRADES. 11.0 SIGNAGE NOTES:
AKE ADEQUATE (S IN PLUMB	" " DENOTES CONSTRUCTION SIGN LOCATION
NOT PERMITTED, E ENGINEER.	1. CONTRACTOR SHALL PROVIDE ALL REQUIRED SIGNAGE NECESSARY TO PROTECT THE PUBLIC FROM THE CONSTRUCTION, CONTROL THE TRAFFIC FLOW THROUGH THE SITE AND THE WORK AREA AND TO INFORM PATRONS THAT CONSTRUCTION ACTIVITY IS IN PROGRESS.
	2. ADDITIONAL SIGNS MAY BE REQUIRED AT THE DISCRETION OF OWNER OR CONSULTANT AS CONSTRUCTION PROGRESSES TO ENSURE VEHICLE AND PEDESTRIAN TRAFFIC FLOW IS MAINTAINED. NO EXTRAS WILL BE ENTERTAINED FOR SIGNAGE REQUIREMENTS AFTER TENDER CLOSES.
SHALL BE	3. SIGNAGE WILL BE REQUIRED AT ALL ENTRANCES TO THE BUILDING, STAIRWELLS, ETC. THIS SIGNAGE SHALL CONSIST OF THE STANDARD "MEN AT WORK" SIGN WITH AN ADDITIONAL SIGN (SPECIAL ORDER) INDICATING THAT THE "SITE IS TEMPORARILY UNDER CONSTRUCTION" AND "WE ARE SORRY FOR THE INCONVENIENCE".
ND ASSUMPTIONS ONDITIONS. THE NS.	<ol> <li>SIGNAGE IS REQUIRED AT ALL BUILDING ENTRANCES TO THE WORK AREA. SIGNS ARE TO INDICATE THAT "THIS ENTRANCE IS CLOSED DUE TO CONSTRUCTION".</li> </ol>
RAWINGS TO . MINOR	5. THE LOCATION AND TYPE OF SITE SPECIFIC CONSTRUCTION SIGNAGE IS INDICATED ON THE PHASING DRAWINGS WHICH INCLUDES, BUT IS NOT NECESSARILY LIMITED TO THE FOLLOWING:
NTRACT PRICE. CUTION OF THE DIMENSIONS, AND	.1 "BUILDING RENOVATION IN PROGRESS – SORRY FOR THE INCONVENIENCE" .2 "THIS AREA IS CLOSED DUE TO CONSTRUCTION – DO NOT ENTER" .3 "KITCHEN CLOSED FOR CONSTRUCTION" .4 "PROCEED WITH CAUTION" (WITH DIRECTIONAL ARROW)



•••	
	CONSTRUCTION. THE CONTRACTOR MAY BE PENALIZED FOR INCONVENIENCES REPORTED
	RELATED TO BLOCKAGE OF THE LANEWAY.
7.	THE ELEVATOR SHALL BE PROTECTED FROM DAMAGES FOR THE DURATION OF
	CONSTRUCTION. INSTALL PLYWOOD AND RIGID INSULATION HOARDING AND PROTECTION

- ON ELEVATOR CAB INTERIOR. PROTECT ELEVATOR FINISHES, MACHINERY, BUTTONS, ETC. FROM DAMAGE DUE TO DUST INFILTRATION OR USE DURING CONSTRUCTION.PER SPECIFICATION SECTION 01 56 00. USE OF ELEVATOR SHALL BE LIMITED TO LARGE EQUIPMENT DELIVERIES AND DURING NON-PEAK HOURS.
- 8. MAINTAIN ALL EMERGENCY EGRESS ROUTES AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION FOR THE DURATION OF CONSTRUCTION. 9. MAKE GOOD FINISHES DAMAGED BY HOARDING AND PROTECTION.
- 10. WORK HOURS ARE 7:00 AM TO 5:00 PM MONDAY TO FRIDAY, IN ACCORDANCE WITH MUNICIPAL BYLAWS. QUIET WORK MAY BE PERFORMED OUTSIDE THESE WORK HOURS AS COORDINATED WITH THE OWNER AND YWCA. WORK ON RESIDENTIAL FLOORS SHALL BE COMPLETED BETWEEN THE HOURS OF 10:00 AM AND 3:00 PM.
- 11. THE CONTRACTOR SHALL SECURE THE WORK AREA WHILE ON AND OFF SITE. DAMAGES AS A RESULT OF FAILURE TO SECURE THE WORK AREA SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- 12. OBTAIN ALL NECESSARY PERMITS FOR THE PERFORMANCE OF THE WORK (STREET, ROAD CLOSURES, ETC.) EXCEPT FOR BUILDING PERMIT. 13. PROVIDE FLAG PEOPLE TO DIRECT VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE
- WORK AREA. 14. DO NOT OVERLOAD THE STRUCTURE DURING THE COURSE OF WORK.
- 15. CONTRACTOR SHALL ALLOW FOR A MINIMUM OF 72 HOURS NOTICE FOR WORK REQUIRED IN OCCUPIED SPACE OR POWER AND WATER SHUTDOWNS. CLOSE COORDINATION WITH THE CITY OF TORONTO AND YWCA IS REQUIRED.

#### LEGEND:

\*1

<del>- x x x x</del>

(///)PROPERTY LINE \_\_\_\_

OF	CON FER
AP	PROX

BUILDING OUTLINE

APPROXIMATE TYPE AND LOCATION OF CONSTRUCTION SIGNAGE TO COVER PAGE)

XIMATE EXTENT OF TEMPORARY HOARDING

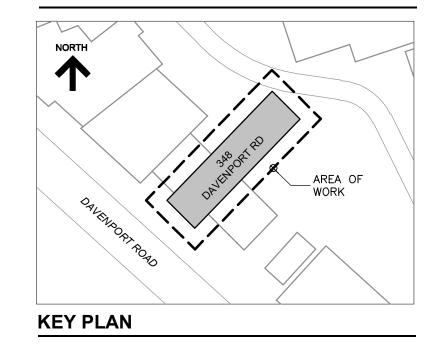


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#### Read Jones Christoffersen Ltd. Engineers

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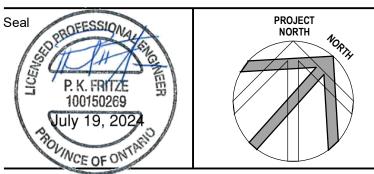
4.	ISSUED FOR TENDER	July 19, 24	P.F.
3.	ISSUED FOR PERMIT	July 19, 24	P.F.
2.	ISSUED FOR CLASS A COSTING	Apr. 22, 24	P.F.
1.	ISSUED FOR CLIENT REVIEW	Apr. 22, 24	P.F.
No.	Revision	Date	Ву

Drawing Notes

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Project Name

YWCA Toronto -**Davenport Women's Shelter** 348 Davenport Road, Toronto, ON

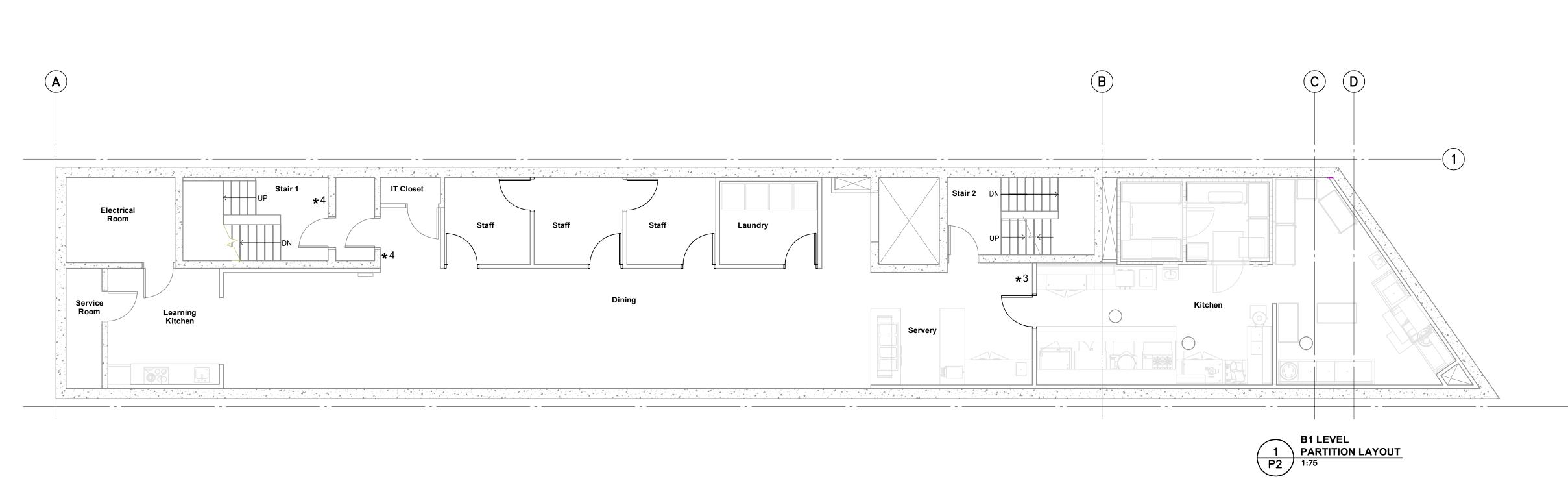
## **KITCHEN AND**

SPRINKLER MODIFICATIONS Sheet Title

### SITE AND GROUND FLOOR PHASING AND HOARDING PLAN

Drawn By	T.S.	Scale	1:75
Diawii by	1.5.	Scale	1.75
Designed By	P.F.	Date	April, 2024
RJC Project Number		TOR	.121290.0014
Sheet Number	-		Revision

**P1** 



	LEGEND:	
		BUILD
		PROPE
PHASING NOTES:	*1	APPRO OF CO (REFE
1. REFER TO NOTES ON DRAWING P1.	<u> </u>	APPR( TEMP(



DING OUTLINE

PERTY LINE

PROXIMATE TYPE AND LOCATION CONSTRUCTION SIGNAGE EFER TO COVER PAGE) PROXIMATE EXTENT OF MPORARY HOARDING

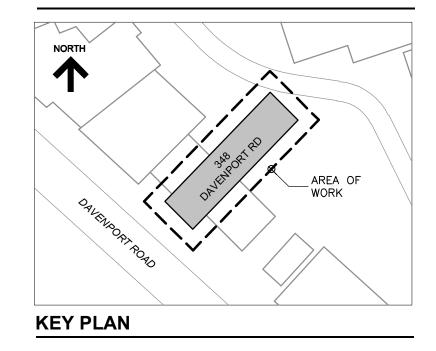


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Project Name

### YWCA Toronto -Davenport Women's Shelter 348 Davenport Road, Toronto, ON

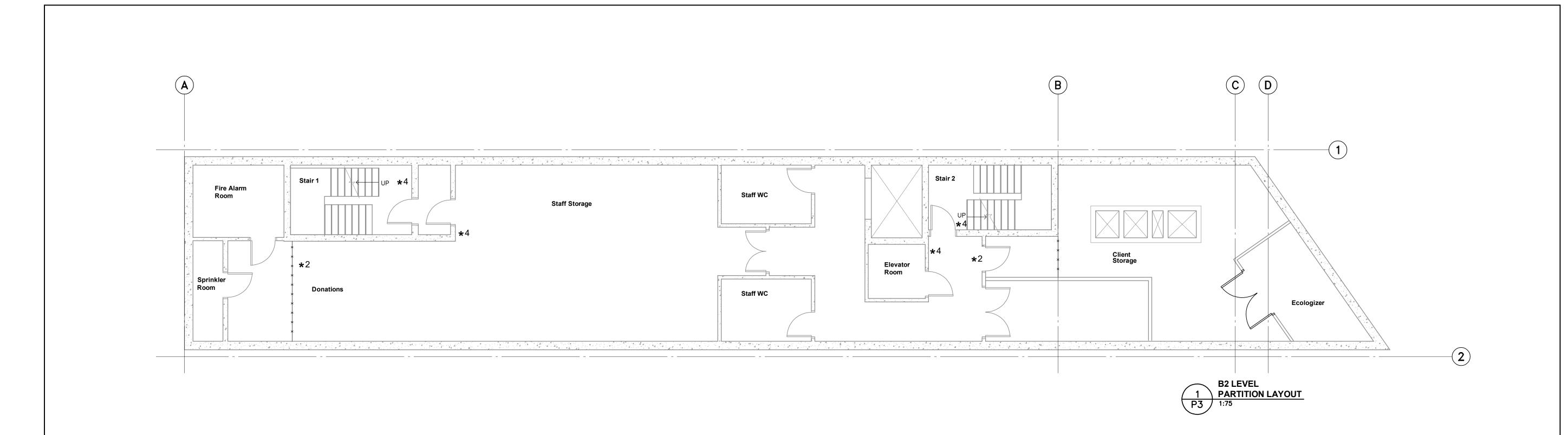
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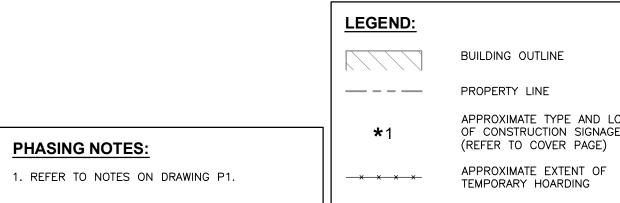
SPRINKLER MODIFICATIONS

B1 LEVEL PHASING AND HOARDING PLAN				
Drawn By	T.S.	Scale	1:75	

Sheet Number	Revision
RJC Project Number	TOR.121290.0014
Designed By <b>P.F.</b>	Date April, 2024

**P2** 





APPROXIMATE TYPE AND LOCATION OF CONSTRUCTION SIGNAGE (REFER TO COVER PAGE)

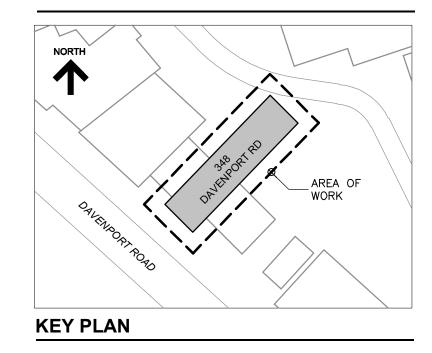


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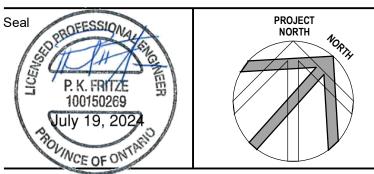
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Project Name

### YWCA Toronto -**Davenport Women's Shelter** 348 Davenport Road, Toronto, ON

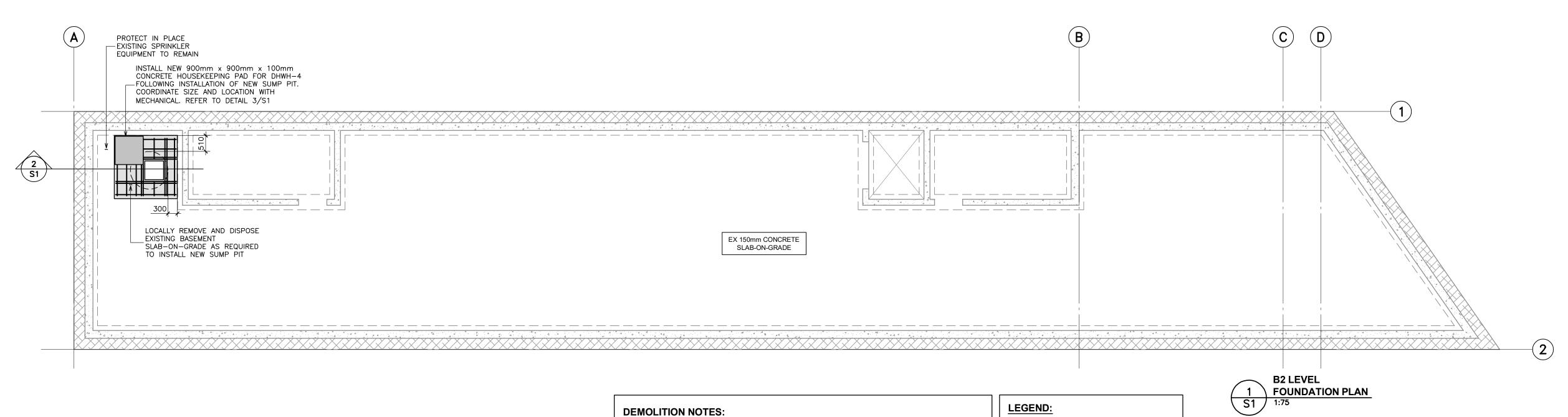
#### **KITCHEN AND** SPRINKLER MODIFICATIONS

Sheet Title

B2 LEVEL	
PHASING AND HOARDING PLA	Ν

Sheet Number				Revision
RJC Project N	umber	TOR	.121290.00 <sup>2</sup>	14
Designed By	P.F.	Date	April, 2024	
Drawn By	T.S.	Scale	1:75	

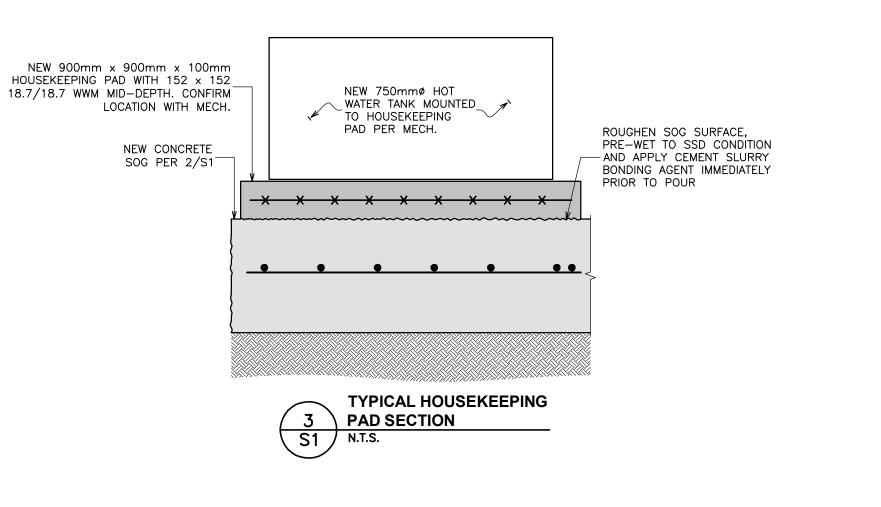
**P3** 

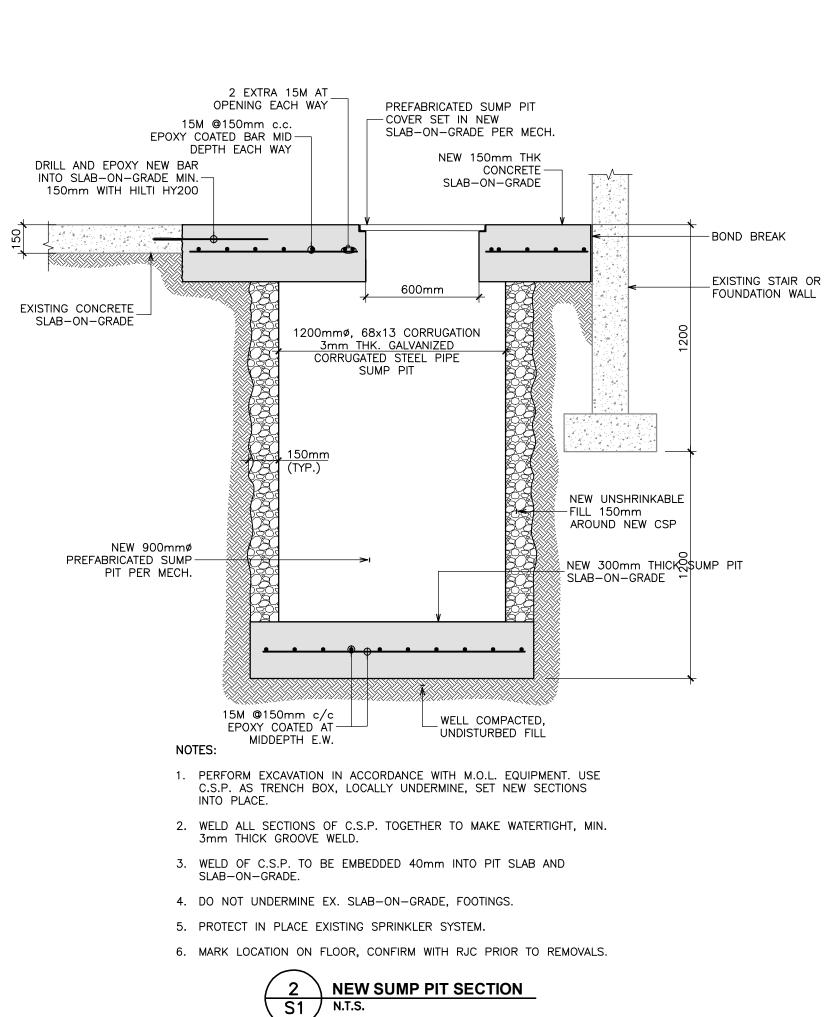


- INSTALL HOARDING, DUST PROTECTION AND CONSTRUCTION SIGNAGE AS NOTED ON THE PHASING NOTES AND IN ACCORDANCE WITH SECTION 01 10 01.
- COORDINATE THE WORK IN ACCORDANCE WITH THE DRAWINGS AND GENERAL SITE RESTRICTIONS AS OUTLINED IN THE SPECIFICATIONS.
- PROTECT ALL STORAGE/ELEVATOR/UTILITY/MECHANICAL ROOMS AGAINST DAMAGE FOR THE DURATION OF THE WORK. ANY CONSTRUCTION RELATED DAMAGE (INCLUDING DUST AND WATER CONTAMINATION) WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- . CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL AND REINSTALLATION OF ALL MECHANICAL AND ELECTRICAL BUILDING SERVICES TO FACILITATE THE WORK.
- . PROTECT ALL FINISHES, STRUCTURAL FRAMING MEMBERS, MECHANICAL EQUIPMENT ACCESSORIES, LANDSCAPING, ETC. THAT ARE TO REMAIN. ANY DAMAGES TO BE RECTIFIED BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.
- 6. DEMOLISH EXISTING ARCHITECTURAL FEATURES (I.E. PARTITION WALLS, FINISHES, ETC.) AS REQUIRED TO CARRY OUT THE STRUCTURAL MODIFICATIONS INDICATED. REINSTATE TO MATCH EXISTING ON COMPLETION.
- REVIEW THE EFFECT OF DEMOLITION WITH RJC PRIOR TO COMMENCING THE WORK. DO NOT UNDERMINE FOOTINGS OR AFFECT/DRILL/CORE THROUGH STRUCTURAL ELEMENTS WITHOUT WRITTEN AUTHORIZATION FROM RJC.
- PROVIDE TEMPORARY SHORING AS REQUIRED TO PERFORM DEMOLITION WORK. PROVIDE SHORING SHOP DRAWINGS FOR REVIEW, STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
- OBTAIN UTILITY LOCATES OF UNDERGROUND SERVICES AND UTILITIES PRIOR TO EXCAVATION. DAMAGES TO UNDERGROUND UTILITIES AS A RESULT OF CONTRACTOR'S NEGLIGENCE IN THE OPINION OF THE CONSULTANT SHALL BE REPAIRED AT NO EXTRA COST TO THE OWNER.

#### **RESTORATION NOTES:**

- SCAN OR X-RAY ALL STRUCTURAL ELEMENTS (FLOOR SLABS, WALLS, ETC.) TO LOCATE ALL EMBEDDED ITEMS (REBAR, CONDUIT, ETC.) AND CALL FOR RJC'S REVIEW AND WRITTEN APPROVAL BEFORE CORING. DO NOT DAMAGE EMBEDDED ITEMS TO REMAIN.
- 2. INSTALL NEW CONCRETE PER SECTION 03 01 30.
- PRE-WET EXISTING CONCRETE SURFACES RO RECEIVE NEW CONCRETE REPAIR MATERIAL TO SURFACE SATURATED DRY CONDITION AND APPLY CEMENT SLURRY BONDING AGENT IMMEDIATELY PRIOR TO POUR.
- 4. WET CURE CONCRETE MINIMUM 10 DAYS.





CONCRETE

BELOW

YXXXX.

= = = =

FOUNDATION WALL

EXISTING FOOTING

NEW CONCRETE SLAB-ON-GRADE

EXISTING SHORING/PILING

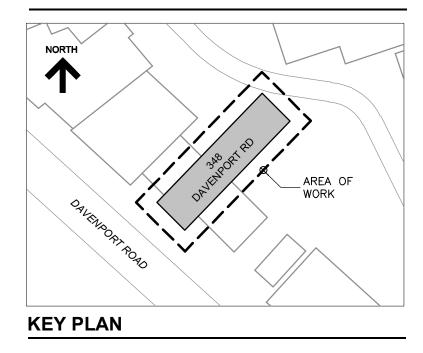


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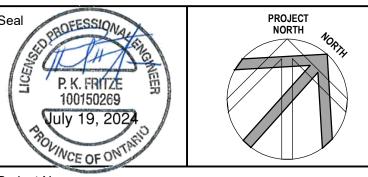
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Project Name

### YWCA Toronto -**Davenport Women's Shelter** 348 Davenport Road, Toronto, ON

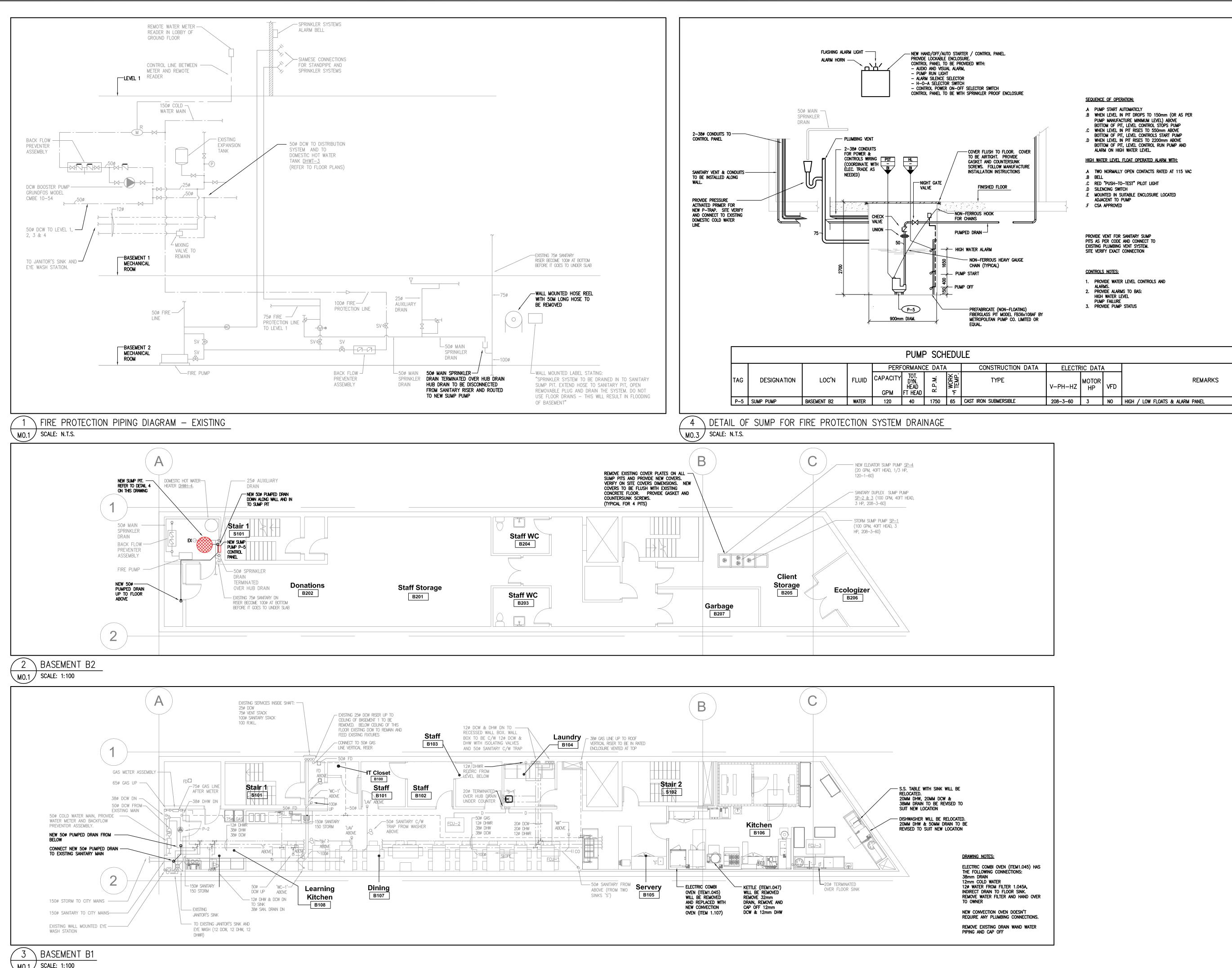
## **KITCHEN AND**

#### SPRINKLER MODIFICATIONS Sheet Title

#### **B2 LEVEL** FOUNDATION PLAN

Drawn By	T.S.	Scale	AS NOTED						
Designed By	P.F.	Date	April, 2024						
RJC Project N	lumber	TOR	.121290.0014						
Sheet Number	r		Revision						
<b>C</b> 4									

# 51



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UCTION DATA	ELECTR	RIC DATA	A	
E	V-PH-HZ	Motor HP	VFD	REMARKS
ERSIBLE	208-3-60	3	NO	HIGH / LOW FLOATS & ALARM PANEL



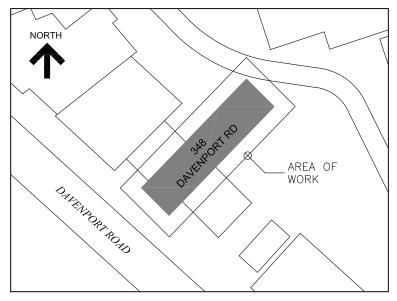
#### SHARMA & PARTNERS INC. Mechanical and Electrical

Engineers 85 Curlew Drive, Unit 108, Toronto, Ontario

M3A 2P8 Tel.:(416) 291–8822

SPI PROJECT #: 2024-1010

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**KEY PLAN** 

1.	ISSUED FOR PERMIT AND TENDER	Jul. 19/24	A.P.
No.	Revision	Date	Ву



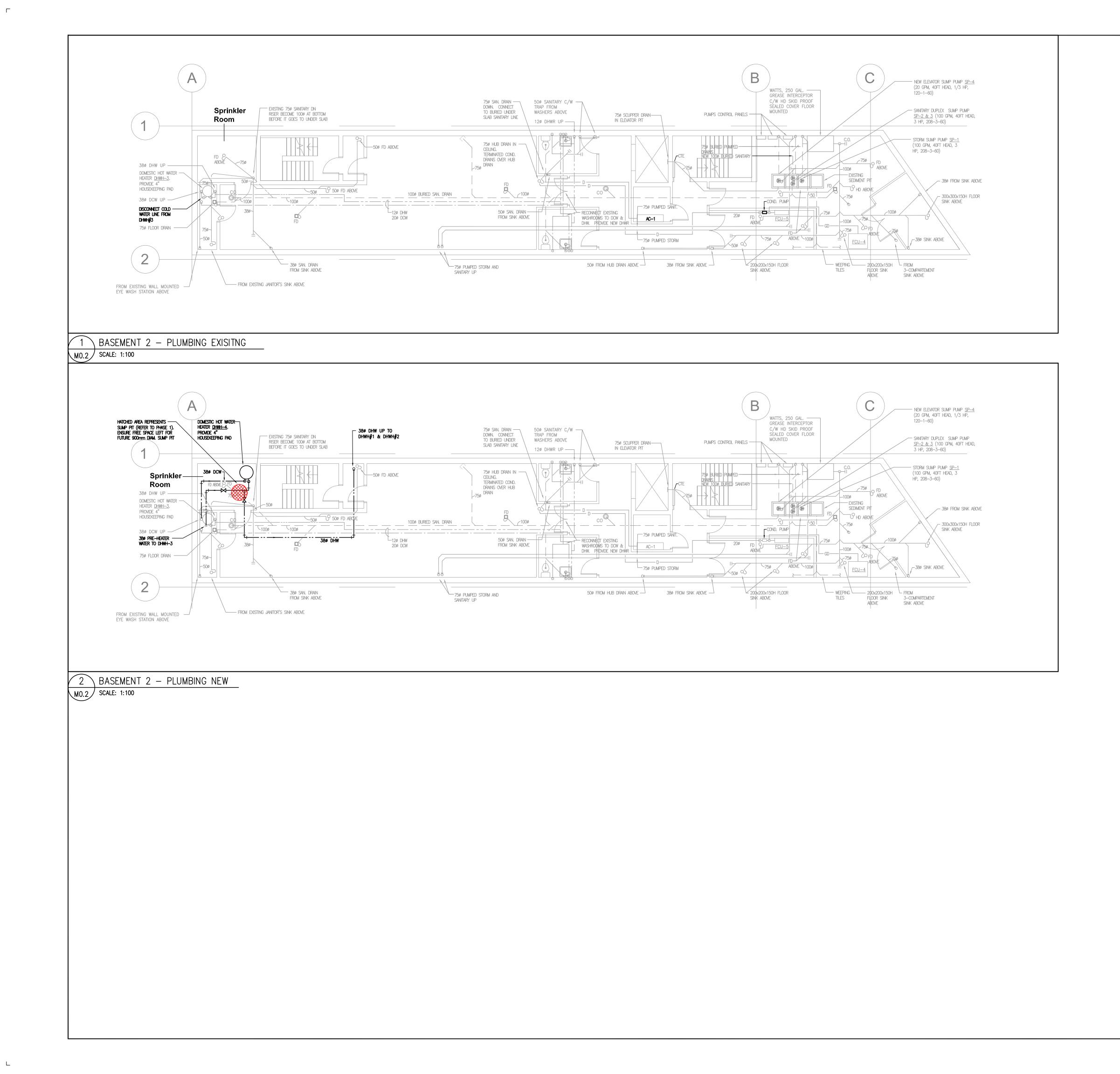
Project Name

348 Davenport Road Toronto, Ontario **YWCA TORONTO - DAVENPORT** WOMEN'S SHELTER **KITCHEN AND SPRINKLER** MODIFICATIONS

Sheet Title FIRE PROTECTION DIAGRAMS **EXISTING AND NEW LAYOUT** (PHASE 1)

Drawn By	CAD	Scale	NTS
Designed By	A.P.	Date	July 19, 2024
RJC Project N	umber	TOR	.121290.0014
Sheet Number	-		Revision

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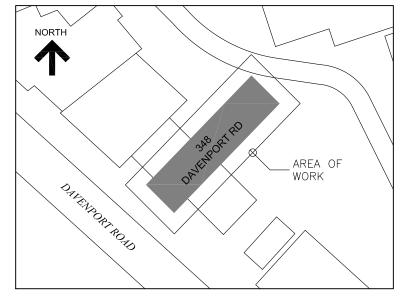


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Tel.:(416) 291–8822

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No.	Revision	Date	Ву

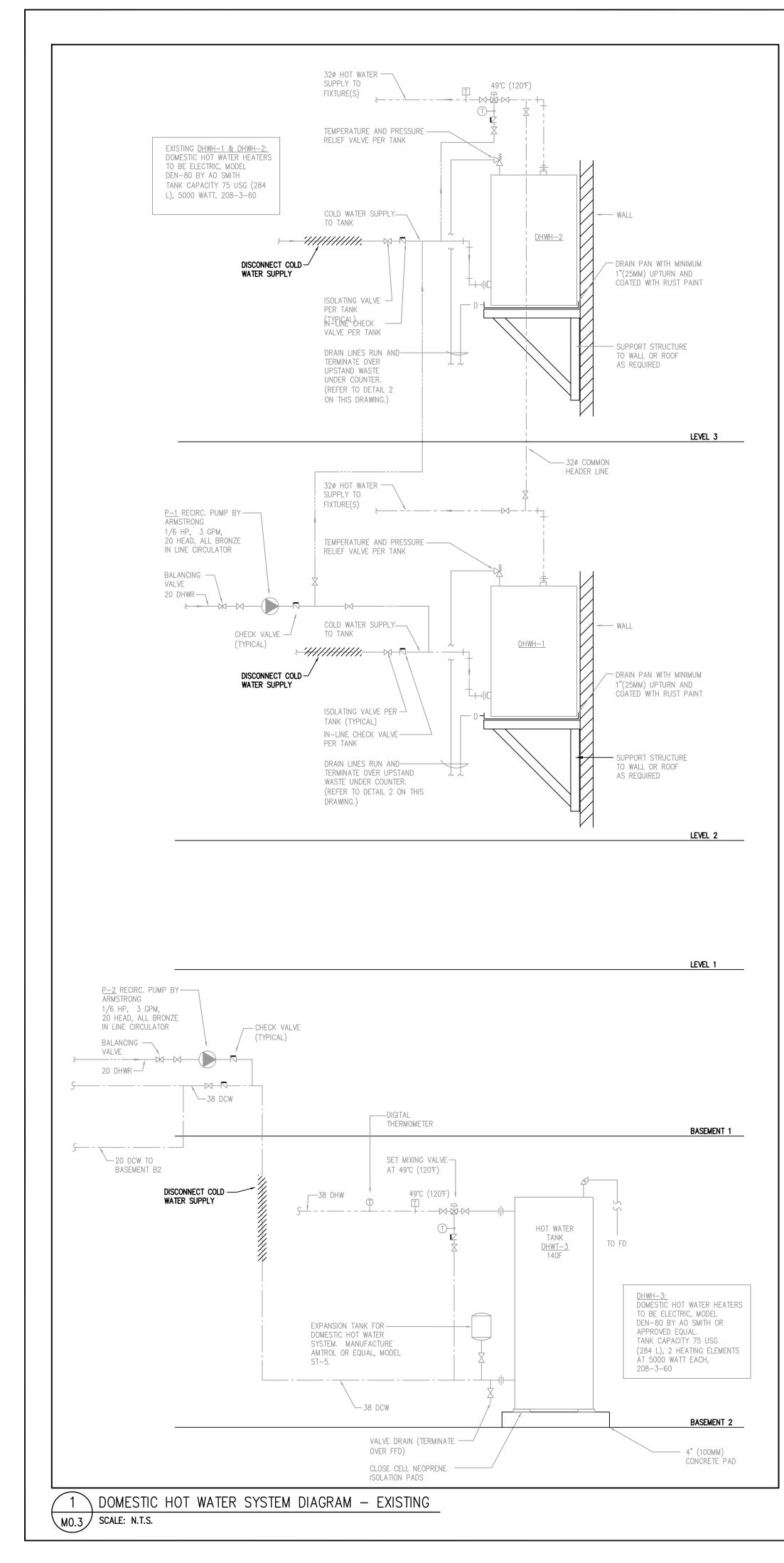


Project Name

348 Davenport Road Toronto, Ontario YWCA TORONTO - DAVENPORT WOMEN'S SHELTER **KITCHEN AND SPRINKLER** MODIFICATIONS

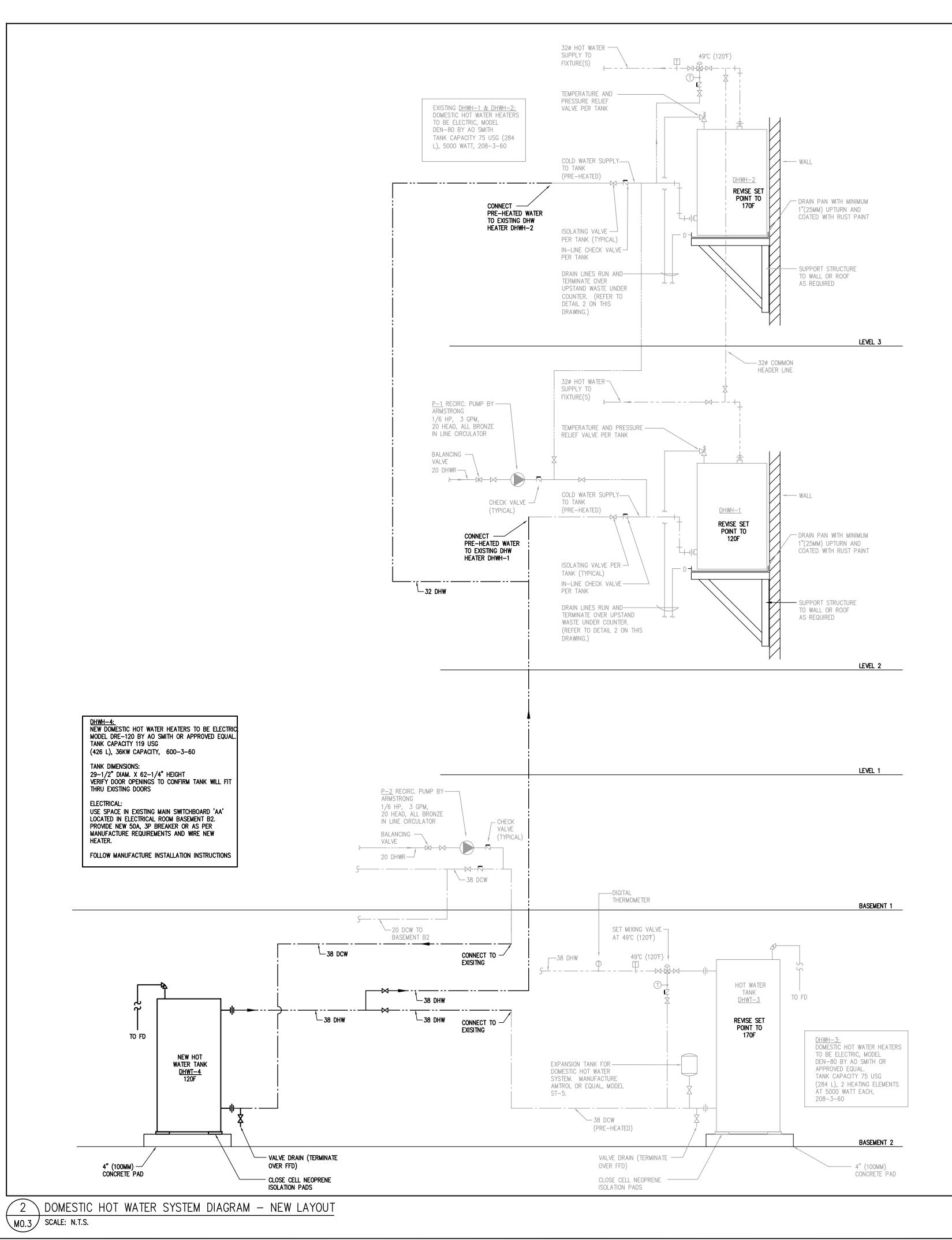
Sheet Title BASEMENT 2 PLUMBING EXISTING AND NEW (PHASE 2)

Drawn By	CAD	Scale	As Indicated
Designed By	A.P.	Date	July 19, 2024
RJC Project Number		TOR	.121290.0014
Sheet Number			Revision



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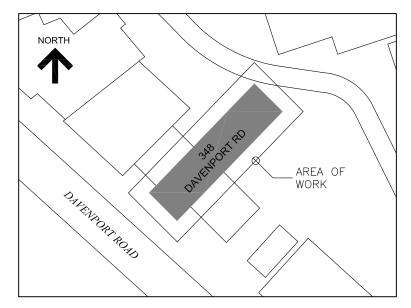


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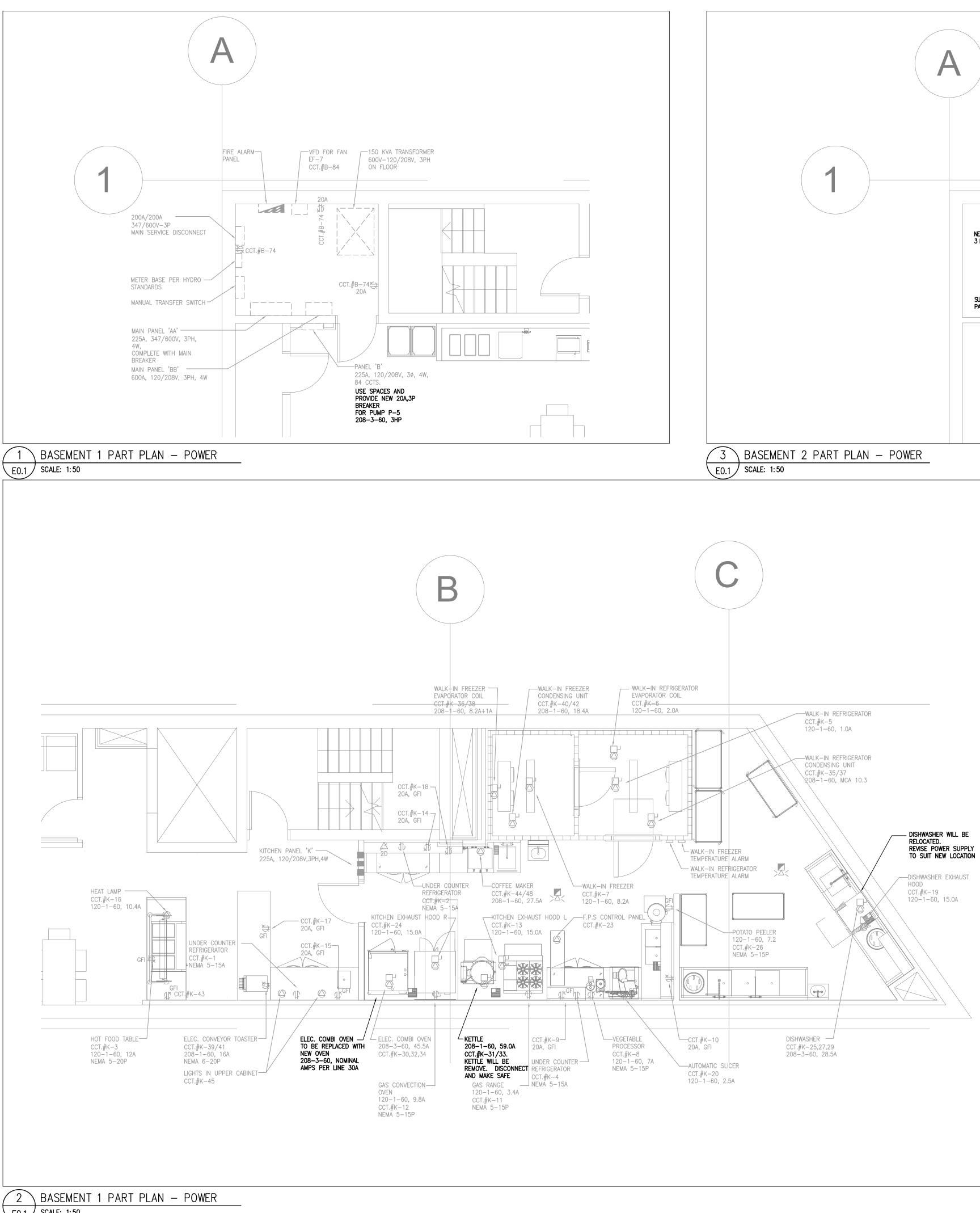


Project Name

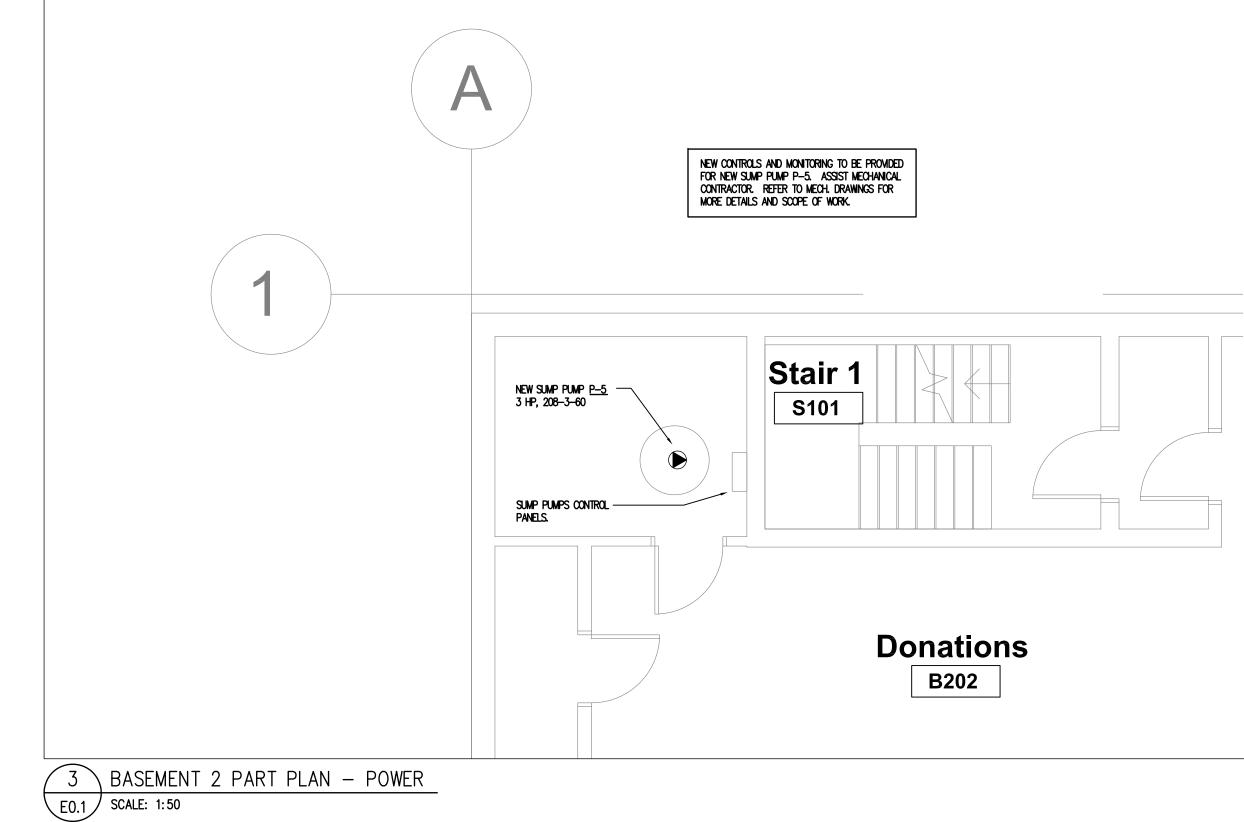
348 Davenport Road Toronto, Ontario YWCA TORONTO - DAVENPORT WOMEN'S SHELTER **KITCHEN AND SPRINKLER** MODIFICATIONS Sheet Title

DOMESTIC HOT WATER DIAGRAMS **EXISTING AND NEW LAYOUT** (PHASE 2)

Drawn By	CAD	Scale	NTS
Designed By	A.P.	Date	July 19, 2024
RJC Project N	umber	TOR	.121290.0014
Sheet Number			Revision
M0.3	8		



E0.1 SCALE: 1:50



	ANEL K 20/208V,3PH,4W		TYPE: MAINS: MOUNTING:		BOLT-ON 225 AMPS RECESSED			LOCATION: KITCHEN - BASEMENT B1		
LOAD	DESCRIPTION	BREAKER		CIR	CUITS	5	BREAKER	DESCRIPTION	LOAD	
	UNDER COUNTER REFRIGERATOR	15A	1	-		2	15A	UNDER COUNTER REFRIGERATOR		
	HOT FOOD TABLE	20A	3		┥┤	4	15A	UNDER COUNTER REFRIGERATOR		
	WALK-IN REFRIGERATOR	15A	5		┼┢	6	15A	WALK-IN REFRIGERATOR EVAPORATOR COIL		
	WALK-IN FREEZER	15A	7	┢	$\left  \right $	8	15A	VEGETABLE PROCESSOR		
	GENERAL PURPOSE RECEPTICLE, GFI	20A	9		┥┤	10	20A	GENERAL PURPOSE RECEPTICLE, GFI		
	GAS RANGE	15A	11		╎┢	12	15A	GAS CONVECTION OVEN		
	KITCHEN EXHAUST HOOD L	15A	13	┢	$\left  \right $	14	20A	GENERAL PURPOSE RECEPTICLE, GFI		
	GENERAL PURPOSE RECEPTICLE, GFI	20A	15		┥┤	16	15A	HEAT LAMP		
	GENERAL PURPOSE RECEPTICLE, GFI	20A	17		╞	18	20A	GENERAL PURPOSE RECEPTICLE, GFI		
	DISHWASHER EXHAUST HOOD	15A	19	┢		20	15A	AUTOMATIC SLICER		
	SPARE	15A	21		┥┤	22	15A	SPARE		
	F.P.S. CONTROL PANEL	15A	23		╞	24	15A	KITCHEN EXHAUST HOOD R		
		30A /	25	┢		26	15A	POTATO PEELER, GFI		
	DISHWASHER		27		┥┤	28		SPACE		
		3P	29		╞	30	60A			
		80A		┢		32		ELECTRIC COMBI OVEN		
	KETTLE		33		┥┤	34	3P			
	WALK-IN REFRIGERATOR CONDENSING UNIT	20A 2P	35 37	- 1 -		36 38	20A 2P	WALK-IN FREEZER EVAPORATOR UNIT		
	ELECTRIC CONVEYER TOASTER	20A 2P	39 41		╞┼	40 42	20A 2P	WALK-IN FREEZER CONDENSING UNIT		
	GENERAL PURPOSE RECEPTACLE, GFI	15A	43			44	40A			
	UPPER CUPBOARD LIGHTS	15A	45			46	2P	COFFEE MAKER		
	SPACE		47			48		SPACE		
	SPACE		49			50		SPACE		
	SPACE		51			52		SPACE		
	SPACE		53			54		SPACE		
	SPACE		55			56		SPACE		
	SPACE		57			58		SPACE		
	SPACE		59			60		SPACE		

(1) REPLACE EXISTING BREAKER WITH 40A, 3P OR AS PER MANUFACTURE ELECTRICAL REQUIREMENTS (2) KETTLE WILL BE REMOVED. LEAVE BREAKER AND MARK AS SPARE



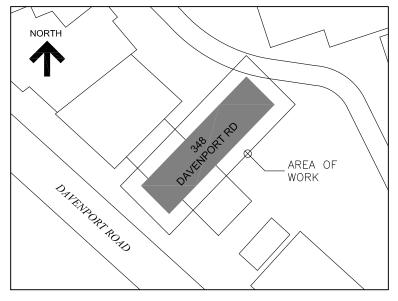
#### SHARMA & Partners inc. Mechanical and Electrical Engineers

85 Curlew Drive, Unit 108, Toronto, Ontario M3A 2P8

Tel.:(416) 291–8822

SPI PROJECT #: 2024-1010

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**KEY PLAN** 

1.	ISSUED FOR PERMIT AND TENDER	Jul. 19/24	A.P.
No.	Revision	Date	Ву



Project Name

Sheet Title

348 Davenport Road Toronto, Ontario YWCA TORONTO - DAVENPORT WOMEN'S SHELTER **KITCHEN AND SPRINKLER** MODIFICATIONS

BASEMENT 1 & 2 POWER (PHASE 1)

Drawn By	CAD	Scale	As Indicated
Designed By	A.P.	Date	July 19, 2024
RJC Project N	umber	TOR	.121290.0014
Sheet Number			Revision
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NT     NTCHEN     UDN     UNITERPORTALISE OFFERVISE OFFER     WALL       NA     HICKARAS     UPR     UNITERPORTALISE OFFERVISE     WALL       NO     HICKARA     UPR     UNITERPORTALISE OFFERVISE     WALL       LS     LUENS PER SECOND     VOL     VOLVEN       LS     LUENS PER SECOND     WO     WTH       LG     LOAD CENTER     WO     WTH       LG     LOAD CENTER     WO     WTH       LG     LOAD CENTER     WO     WTH       LG     LINEAR     WT     WEELCHAR       LG     LINEAR     WT     WEELCHAR       LG     LINEAR     WT     WEELCHAR       LG     LINEAR     WT     WEELCHAR       C     PROJECT KEYNOTES     KEYNOTE TEXT     WEENT       GP114     KTCHENE COMPARIT CONTRACTOR NOTE ON CONTROLOGY NAME CENTER FAULTISK HORE REFE AND HORE REFE CONTROLOGY NAME     NUTERIOR ELEVATION       GP115     SUPPORT HAND SINKSSOM DISTREE AND PARTE TOWE DISTREEMENTS     NUTERIOR ELEVATION     NUTERIOR ELEVATION       GP121     AMMONDANCINCE CANAR OF TO CO-ORONANCE THE ELEVITER HORE AND HORE REFE TO FLOOR THANS FOR AMMONDANCES CANNON TO REFERE AND ANY THE HUTTERS HORE REFERENCES AND HORE REFERENCE     NUTERIOR ELEVATION       GP123     AMMONDANCE CONTROLOGY TO CO-ORONANCE THE ELEVITER AND KECHANARCES NETHER TO FLOOR THANS FOR AMMOND	
NW     KILOWATT     V     VOLTS       L     LONG     VERT     VERT       LB     POARD     VOL     VOLUME       LB     LIGHTERPERSTCOMP     VOL     VOLUME       LE     LINER     VIEWALLE     VIEWALLE       REVALLE     VIEWALLE     KEYNOTE TEXT     KEYNOTE TEXT       REVALLE     KEYNOTE TEXT     KEYNOTE TEXT     KEYNOTE TEXT       GP1.12     KITCHEN EQUIPMENT CONTRACTOR TO CO-GRIMMENT MIGHTERSCONTRACTOR INSTALLATION OF WALL SERVICES AND HOSE SECONT O     INTERIOR ELEVATION       GP1.21     KITCHEN EQUIPMENT CONTRACTOR TO CO-GRIMMENT MIGHTERSCONTRACTOR INSTALLATION OF WALL SERVICES AND HOSE SECONTROL OF INSTALLATION OF WALL SERVICES AND HOSE SECONTROL OF INSTALLATION OF VALL SECONTROL OF INSTALLATION OF VALL SERVICES AND HOSE SECONTROL OF INSTALLATION OF VALL SECONTROL OF I	
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LIN       LINEAR       YD       YARD         DEROJECT KEYNOTES         KEY VALUE       KEYNOLE TEXT         GF1.14       KITCHEN EQUIPMENT CONTRACTOR TO CO-ORDINATE WITH EMBERAL CONTRACTOR INSTALLATION OF WALL REINFORCING TO       INTERNO RELEXANCES         GF1.14       KITCHEN EQUIPMENT CONTRACTOR TO CO-ORDINATE WITH EMBERAL CONTRACTOR INSTALLATION OF WALL REINFORCING TO       INTERNO RELEXANCES         GF1.21       REPROVINTE CONTRACTOR TO CO-ORDINATE WITH EMBERAL CONTRACTOR INSTALLATION OF WALL REINFORCING TO       INTERIOR ELEVATION         GF2.10       A NIMIMUM OF CS & SERVER FOR LECTRICAL AND ARCHANICAL SERVICES REFER TO FLOOR PLANS FOR       INTERIOR ELEVATION         GF2.11       A NIMIMUM OF CS & SERVER WALKING AND BUILDING WALLS       INTERIOR FLEVATION         GF2.12       REPERT TO CONTRACTOR TO PROVIDE ENCLOSURES PARELS TO MICH WALKIN EMBER FROM TOP OF INSULATED       INTERIOR ELEVATION         GF2.12       REPERT TO EXHIBIT FOUNDED STAILES STELE ENCLOSURES PARELS FROM TOP OF OF HOOD TO FINISHED       IARGE SOLE BLOWUP OF PLAN ON TO FOR TENDER AND ISSUER FOR TENDER AND ISSUER FOR TERMENT 2024-07-10         GF3.12       REPERT NO EXHAUST HOUD DRAWINGS (D-400 SERRES) FOR MECHANICAL AND ELECTRICAL CONNECTIONS       DATE         GF3.13       FIRE SUPPRESSION CARINET       ISSUED FOR TENDER AND ISSUER FOR PREMIT       2024-07-10         GF3.13       FIRE SUPPRESSION CARINET       ISSUED FOR TENDER AND ISSUED FOR PREMIT <td< td=""><td>П</td></td<>	П
KEY VALUE       KEYNOTE TEXT         QF1.4       KITCHEN EQUIPMENT CONTRACTOR TO GO ORDINATE WITH GENERAL CONTRACTOR INSTALLATION OF WALL REINFORCING TO SUPPORT WALL MOUNTED OVER SHELVES, WATER FALCETS, WATER FILTERS, HOSE REELS AND HOSE REEL CONTROL PANELS OF1.19       INTERIOR ELEVATION         QF1.14       SUPPORT WALL MOUNTED OVER SHELVES, WATER FALCETS, WATER FILTERS, HOSE REELS AND HOSE REEL CONTROL PANELS OF1.19       INTERIOR ELEVATION         QF1.21       APPROXIMATE LOCATION OF SS. SERVICE CHASE FOR ELECTRICAL AND MECHANICAL SERVICES. REFER TO FLOOR PLANS FOR FINAL LOCATION       INTERIOR ELEVATION         QF2.10       A MININUM OF SOMM MUST BE ALLOWED BETWEEN WALK-INS AND BUILDING WALLS CELINO PAREL TO FINSHED CELING IN FRUENCE MALES TO BE CONFIRMED ABOVE INSULATED WALK IN ROOMS       INTERIOR ELEVATION         QF2.21       MANAUA COLER/FREEZER SINNE DOOR       INTERIOR ELEVATION OF SALL STRUCTOR TO REVISIONE ENCLOSURES PANELS TO MALTCH WALK-IN ROOMS       INTERIOR ELEVATION         QF2.21       MANAUA COLER/FREEZER SINNE DOOR       INTERIOR ELEVATION OF MALL REINFORMENT CONTROL FOR TEXTURES TO BE CONFIRMED ABOVE MULTED WALK IN ROOMS       INTERIOR ELEVATION         QF2.21       MANAUA COLER/FREEZER SINNE DOOR       INTERIOR ELEVATION OF MALL REINFORMENTS       INTERIOR ELEVATION         QF2.21       MANUAL COLER/FREEZER SINNE DOOR       INTERIOR ELEVATION OF MALL REINFORMENTS       INTERIOR ELEVATION         QF2.21       MANAUA COLER/FREEZER SINNE DOOR       SUED FOR TENDER AND ISSUED FOR FERMIT 2024-07.19       IARGE SCALE BLO	
GF1.14       KITCHEN EQUIPMENT CONTRACTOR TO CO-ORDINATE WITH GENERAL CONTRACTOR INSTALLATION OF WALL REINFORCING TO SUPPORT WALL MOUNTED OVER SHELVES, WATER FAUCTS, WATER FAURCES, MOSE REEL CONTROL PANELS OF 1.0       INTERIOR ELEVATION TO SUPPORT HAND SINKSSOAP DISPENSER AND PAPER TOWEL DISPENSERS         GF1.21       APPROXIMATE UCATION OF S.S. SERVICE CHASE FOR ELECTRICAL AND MECHANICAL SERVICES, REFERE TO FLOOR PLANS FOR FINAL LOCATION OF 1.21       INTERIOR ELEVATION         GF2.10       A MINIMUM COSIMM SE ALLOWED BETWEEN WALKINS AND BUILDING WALLS OF 2.10       INTERIOR ELEVATION         GF2.11       KITCHEN EQUIPMENT CONTRACTOR TO PROVIDE ENCISUENCE PARELS TO MATCH WALKIN INSH FROM TOP OF INSULATED CELLING FAULT OF MINISHED CELLINGS TO BE CONFIRMED WITH ELECTRICAL DRAWINGS OF 2.10       INTERIOR ELEVATION         GF2.20       MINIMUM COLORTROT CONTRACTOR TO PROVIDE ENCISUENCE PARELS TO MATCH WALKIN IN ROOMS       INTERIOR ELEVATION         GF2.21       MANUAL COCLER/REEZER SWING DOOR       INTERIOR ELEVATION       INTERIOR ELEVATION         GF2.20       SUGGESTED LOCATION FOR WALKIN ULEHT FIXTURES TO BE CONFIRMED WITH ELECTRICAL DRAWINGS OF 5.11       RITCHEN EQUIPMENT LONGTON OF ON SERVES) FOR MECHANICAL AND ELECTRICAL CONNECTIONS OF 5.12       REFER TO EXHAUST HOOD DRAWINGS (GF-400 SERVES) FOR MECHANICAL AND ELECTRICAL CONNECTIONS OF 5.12       LEVEL REFERENCE       LEVEL REFERENCE         GF3.12       SHEET NO.       SHEET NAME       ISSUED FOR TENDER AND ISSUED FOR PERMIT       2024-07-19 2024-07-19       LEVEL REFERENCE         GF3.10       COVER SHEE	
SUPPORT WALL MOUNTED OVER SHELVES, WATER FAUCETS, WATER FILTERS, HOSE RELE CANTROL PARELS OF 1.15 SUPPORT HAND SINKSGOAP DISPENSER AND PAPER TOWEL DISPENSERS OF 1.21 APPROXIMATE LOCATION OF SS. SERVICE CHASE FOR ELECTICAL AND MECHANICAL SERVICES. REFER TO FLOOR PLANS FOR FINAL LOCATION OF 2.10 A MINIMUM OF SOMM MUST BE ALLOWED BETWEEN WALK-INS AND BUILDING WALLS OF 2.15 KITCHEN EQUIPMENT CONTRACTOR TO PROVIDE ENCLOSURES PARELS TO MATCH WALK-IN FINISH FROM TOP OF INSULATED CELLING PAREL TO FINISHED CELLING. NO FINISHED CELLING IS REQUIRED ADOVE MOUSLATED WALK-IN RIGHT OF 2.10 A MINIMUM COOLER/FREZER SWING DOOR OF 2.10 A MINIMUM COOLER/FREZER SWING DOOR OF 2.10 A MINIMUM COOLER/FREZER SWING DOOR OF 2.10 CANCINE TO PROVIDE STALESS STEEL ENCLOSURES PARELS FROM TOP OF INSULATED CELLING. NO ARCHITECTURAL FINISHED CELLING IS REQUIRED ADOVE MOUSLATED WALK-IN RIGHT FIXTURES TO BE CONFIRMED WITH ELECTRICAL DRAWINGS OF 5.11 KITCHEN EQUIPMENT CONTRACTOR TO PROVIDE STAINLESS STEEL ENCLOSURES PARELS FROM TOP OF HODD TO FINISHED CELLING. NO ARCHITECTURAL INSISHE DECILING IS REQUIRED ADOVE MOUSLATED WALK-IN ROOMS OF 5.12 REFER TO EXHAUST HOOD DRAWINGS (OF 400 SERIES) FOR MECHANICAL AND ELECTRICAL CONNECTIONS OF 5.12 REFER TO EXHAUST HOOD DRAWINGS (OF 400 SERIES) FOR MECHANICAL AND ELECTRICAL CONNECTIONS OF 5.12 REFER TO EXHAUST HOOD DRAWINGS (OF 400 SERIES) FOR MECHANICAL AND ELECTRICAL CONNECTIONS OF 5.12 REFER TO EXHAUST HOOD DRAWINGS (OF 400 SERIES) FOR MECHANICAL AND ELECTRICAL CONNECTIONS OF 5.12 REFER TO EXHAUST HOOD DRAWINGS (OF 400 SERIES) FOR MECHANICAL AND ELECTRICAL CONNECTIONS OF 5.12 REFER TO EXHAUST HOOD DRAWINGS (OF 400 SERIES) FOR MECHANICAL AND ELECTRICAL CONNECTIONS OF 7.00 MILLWORK BY OTHERS SHEET NO. SHEET NAME OF 7.00 COVER SHEET ISSUED FOR TENDER AND ISSUED FOR PERMIT 2024-07-19 ISSUED FOR TENDER AND ISSUED FOR PERMIT 2024-07-19 VIEW REFERENCE VIEW REFERENCE VIEW REFERENCE EXISTING	
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FINAL LOCATION         OP2.10       A MINIMUM OF 6MM MUST BE ALLOWED BETWEEN WALK-INS AND BUILDING WALLS         OP2.15       KITCHEN EQUIPMENT CONTRACTOR TO PROVIDE ENCLOSURES PANELS TO MATCH WALK-IN FINISH FROM TOP OF INSULATED         CELING PAREL TO FINISHED CELING, NO FINISHED CELING IS REQUIRED ABOVE INSULATED WALK-IN ROOMS         OF2.11       MULUAL COOLER/FREEZER SWING DOOR         OF2.21       MANUAL COOLER/FREEZER SWING DOOR         OF2.21       MANUAL COOLER/FREEZER SWING DOOR         OF2.40       SUGGESTED LOCATION FOR WALK-IN LIGHT FIXTURES TO BE CONFIRMED WITH ELECTRICAL DRAWINGS         OF5.11       NTCHENEQUIPMENT CONTRACTOR TO PROVIDE STAINLESS STEEL ENCLOSURES PANELS FROM TOP OF HOOD TO FINISHED         CELING, NO ARCHITECTURAL FINISHED CELING, IS REQUIRED ABOVE HOODS       IS ADDVE HOODS         OF5.12       REFER TO EXHAUST HOO DRAWINGS (DF-400 SERIES) FOR MECHANICAL AND ELECTRICAL CONNECTIONS         QF5.15       FIRE SUPPRESSION CABINET       ISSUED FOR TENDER AND ISSUED FOR PERMIT       2024-07-19         QF-100       COVER SHEET       SHEET NAME       ISSUED FOR TENDER AND ISSUED FOR PERMIT       2024-07-19         QF-101       FOODSERVICE EQUIPMENT LAYOUT AND LIST       ISSUED FOR TENDER AND ISSUED FOR PERMIT       2024-07-19         QF-101       FOODSERVICE EQUIPMENT LAYOUT AND LIST       ISSUED FOR TENDER AND ISSUED FOR PERMIT       2024-07-19         QF-101       FOO	INTERIOR ELEVATION
OP2.15       KITCHEN EQUIPMENT CONTRACTOR TO PROVIDE ENCLOSURES PARIES TO MULK-IN FINISH FROM TOP OF INSULATED         OP2.21       MANUAL COOLER/FREEZER SWING DOOR         QF2.40       SUGGESTED LOCATION FOR WALK-IN LIGHT FIXTURES TO BE CONFIRMED WITH ELECTRICAL DRAWINGS         QF5.11       KITCHEN EQUIPMENT CONTRACTOR TO PROVIDE STANLESS TEL ENCLOSURES PARIES FROM TOP OF HOOD TO FINISHED         QF5.12       REFER TO CONTRACTOR TO PROVIDE STANLESS TEL ENCLOSURES PARIES FROM TOP OF HOOD TO FINISHED         QF5.12       REFER TO CONTRACTOR TO PROVIDE STANLESS FOR MECHANICAL AND ELECTRICAL CONNECTIONS         QF5.15       FIRE SUPPRESSION CABINET         QF7.00       MILLWORK BY OTHERS         SHEET INO.         SHEET INO.         SHEET NO.         SHEET NO.         OF-100         OVER SHEET         OVER SHEET         OVER SHEET         OF TENDER AND ISSUED FOR PERMIT         OVER SHEET         OF TENDER AND ISSUED FOR PERMIT         OVER SHEET         OCOVER SHEET         OF TENDER AND ISSUED FOR PERMIT         OF TENDER AND ISSUED FOR PERMIT         OF TENDER AND ISSUED FOR PERMIT         OF TEND	
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QF7.00       MILLWORK BY OTHERS         SHEET LIST         SHEET NAME         QF-000       COVER SHEET         QF-100       OVERALL PLAN         QF-101       FOODSERVICE EQUIPMENT LAYOUT AND LIST         ISSUED FOR TENDER AND ISSUED FOR PERMIT       2024-07-19         QF-101       FOODSERVICE EQUIPMENT LAYOUT AND LIST         ISSUED FOR TENDER AND ISSUED FOR PERMIT       2024-07-19         VIEW REFERENCE       1         VIEW REFERENCE       1	/
SHEET NO.       SHEET NAME       ISSUANCE       DATE         QF-000       COVER SHEET       ISSUED FOR TENDER AND ISSUED FOR PERMIT       2024-07-19         QF-100       OVERALL PLAN       ISSUED FOR TENDER AND ISSUED FOR PERMIT       2024-07-19         QF-101       FOODSERVICE EQUIPMENT LAYOUT AND LIST       ISSUED FOR TENDER AND ISSUED FOR PERMIT       2024-07-19         VIEW REFERENCE       ISSUED FOR TENDER AND ISSUED FOR PERMIT       2024-07-19       VIEW REFERENCE       ISSUED FOR TENDER AND ISSUED FOR PERMIT	
SHEET NO.       SHEET NAME       ISSUANCE       DATE         QF-000       COVER SHEET       ISSUED FOR TENDER AND ISSUED FOR PERMIT       2024-07-19         QF-100       OVERALL PLAN       ISSUED FOR TENDER AND ISSUED FOR PERMIT       2024-07-19         QF-101       FOODSERVICE EQUIPMENT LAYOUT AND LIST       ISSUED FOR TENDER AND ISSUED FOR PERMIT       2024-07-19         VIEW REFERENCE       ISSUED FOR TENDER AND ISSUED FOR PERMIT       2024-07-19       VIEW REFERENCE       ISSUED FOR TENDER AND ISSUED FOR PERMIT	
QF-00 COVER SHEET ISSUED FOR TENDER AND ISSUED FOR PERMIT 2024-07-19 QF-100 OVERALL PLAN ISSUED FOR TENDER AND ISSUED FOR PERMIT 2024-07-19 QF-101 FOODSERVICE EQUIPMENT LAYOUT AND LIST ISSUED FOR TENDER AND ISSUED FOR PERMIT 2024-07-19 VIEW REFERENCE	
QF-101 FOODSERVICE EQUIPMENT LAYOUT AND LIST ISSUED FOR TENDER AND ISSUED FOR PERMIT 2024-07-19 VIEW REFERENCE	LEVEL REFERENCE ELE
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## ENERAL NOTES

- FOODSERVICE GENERAL NOTES

#### RVICE SERIES DRAWINGS.

COORDINATE THE WORK OF ALL SUB-CONTRACTORS, TRADES, AND SUPPLIERS WITH THE COMMENCING AWARE OF ALL REQUIREMENTS, REGARDLESS OF WHERE THE REQUIREMENTS OCCUR IN WORK OF THAT PARTY.

RDINATE THE WORK OF ALL SUB-CONTRACTORS, TRADES, AND SUPPLIERS, THE Y THE ARCHITECT PARTIES AT THE EARLIEST POSSIBLE DATE SO AS TO ALLOW REASONABLE AND ADEQUATE Y OF THE WORK. CONTRACT DOCUMENTS MUST BE APPROVED IN ADVANCE BY THE ARCHITECT.

T ARE TO BE SUPPLIED AND INSTALLED BY ELECTRICAL DIVISION UNLESS OTHERWISE

WITCHES SUPPLIED AND INSTALLED BY KITCHEN EQUIPMENT CONTRACTOR IN THE WALK-IN VIRE FROM P OF THE BOX READY FOR FINAL CONNECTION BY ELECTRICAL DIVISION.

E HEATERS AND INSULATION SUPPLIED AND INSTALLED BY KITCHEN EQUIPMENT READY FOR FINAL CONNECTION BY ELECTRICAL DIVISION.

INSTALLED BY KITCHEN EQUIPMENT CONTRACTOR. KITCHEN EQUIPMENT CONTRACTOR TO TOP OF THE /ISION. ELECTRICAL DIVISION TO INTER-CONNECT LIGHTS TO LIGHT SWITCH JUNCTION BOX.

EM TO HAVE UNINTERRUPTED EMERGENCY POWER.

JRES IN THE EXHAUST HOODS TO LIGHT SWITCH.

E HOOD IS TO BE TERMINATED WHEN FIRE SUPPRESSION SYSTEM IS ACTIVATED.

D WITH MECHANICAL DRAWINGS.

O SUPPLIED AND INSTALLED BY MECHANICAL DIVISION UNLESS OTHERWISE NOTED. ORS ARE TO SUPPLIED AND INSTALLED BY KITCHEN EQUIPMENT CONTRACTOR. KITCHEN DRAINLINES

EEZER EVAPORATORS. MENT SUPPLED BY THE KITCHEN EQUIPMENT CONTRACTOR. ALL WATER FILTERS ARE TO

WASHERS ARE TO BE HIGH TEMPERATURE PIPING ONLY.

E MECHANICAL DIVISION.

L BE PROVIDED BY THE EXHAUST HOOD MANUFACTURE FOR INSTALLATION BY THE

ONLY AND NEED TO BE USED IN CONJUCTION WITH ELECTRICAL AND MECHANICAL

CONCEALED IN ARCHITECTURAL WALLS WERE POSSIBLE. WITH ELECTRICAL DRAWINGS.

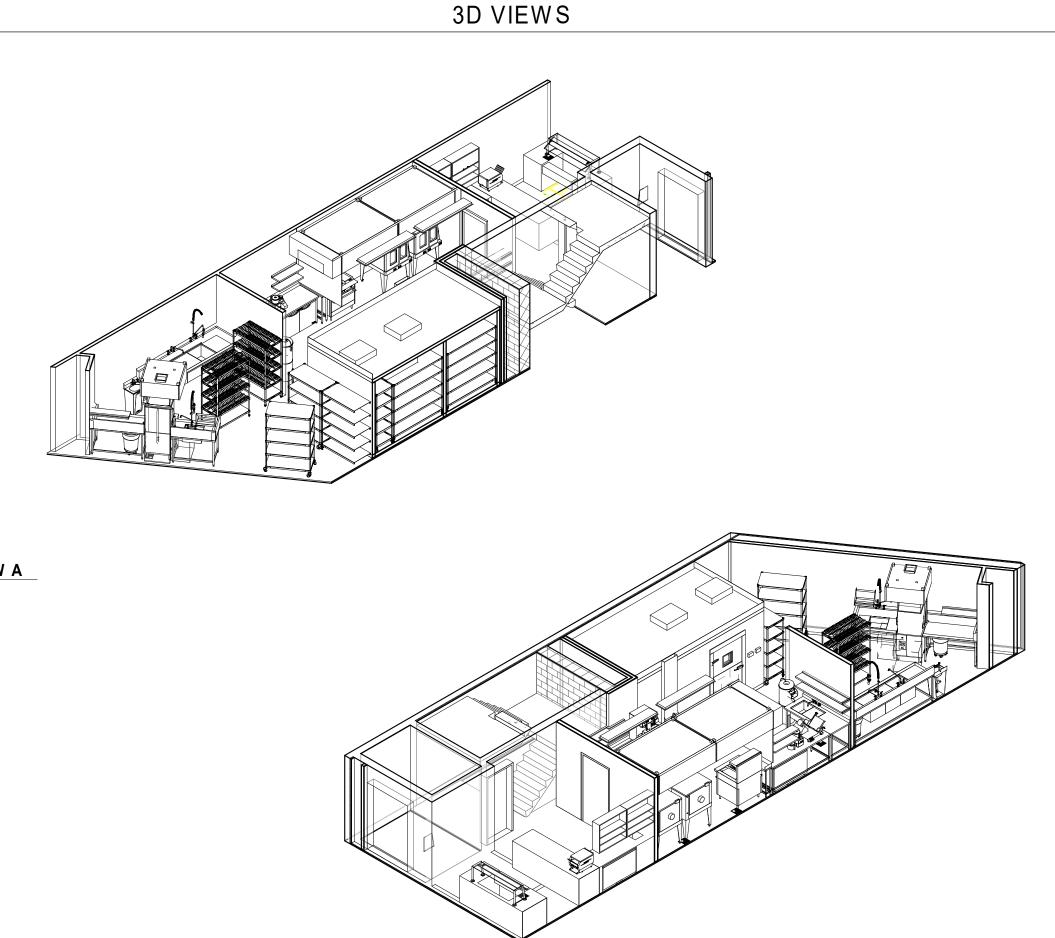
## NUMBERING LEGEND

R — ERVICE ------

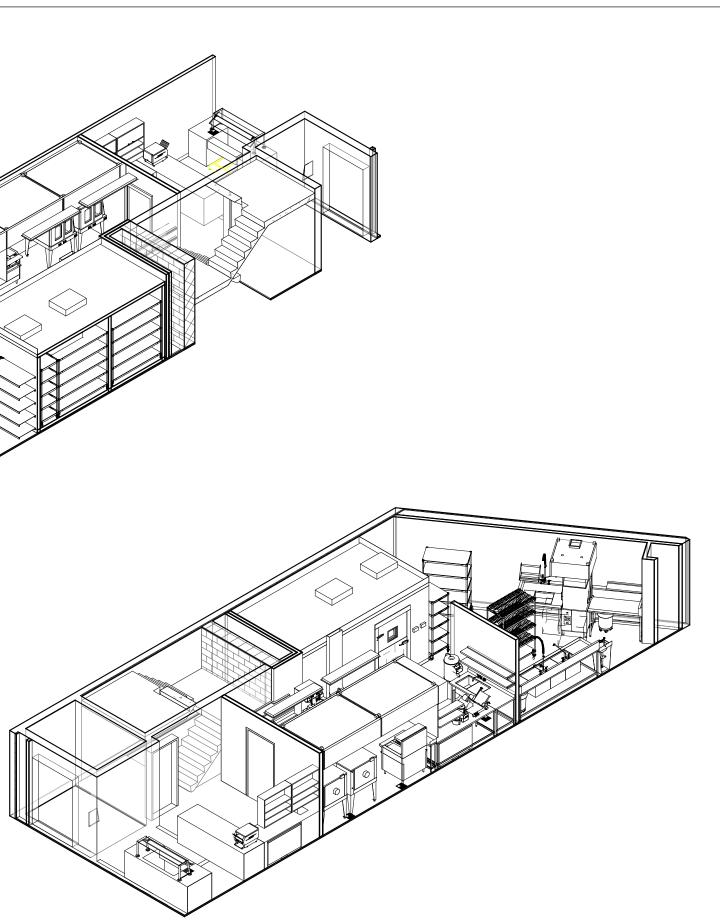


AL IENT, REFLECTED CEILING PLANS & MEP SCHEDULES L CONDITIONS & CONNECTION POINT PLANS TONS AND ISOMETRIC VIEWS

T HOOD DETAILS ENT & STANDARD DETAILS



1 3D VIEW A



(2) 3D VIEW B

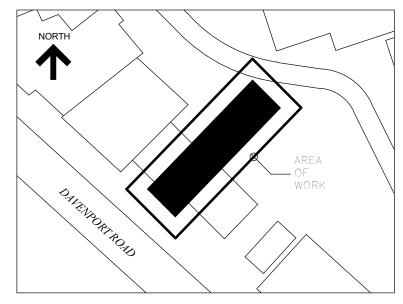
## DRAWING CONVENTIONS

OM NAME	- ROOM NAME - ROOM NUMBER - ROOM AREA	MATCH LINE	1 / QF-XXX 1 / QF-XXX	<ul><li>SHEET NUMBER</li><li>SHEET NUMBER</li><li>MATCH LINE</li></ul>	DENOTES 120 VOLT DUPLEX RECEPTACLE	(
QF-XXX	- SECTION NUMBER - SHEET NUMBER	REVISION TAG		<ul> <li>REVISION NUMBER (SHEET SPECIFIC)</li> <li>CLOUDED AREA OF REVISION</li> </ul>	DENOTES 120 VOLT SINGLE RECEPTACLE DENOTES 208 VOLT SINGLE RECEPTACLE	
QF-XXX	- SECTION NUMBER - SHEET NUMBER	NORTH ARROW			DENOTES 120 VOLT JUNCTION BOX	(
1 REF	- ELEVATION NUMBER - SHEET NUMBER	KEYNOTE TAG	?	- KEYNOTE. REFER TO KEYNOTE LEGEND	DENOTES 120 VOLT DISCONNECT SWITCH DENOTES 208 VOLT DISCONNECT SWITCH	
REF QF-XXX	- PLAN OR DETAIL NUMBER - SHEET NUMBER	WALL COVERINGS TAG	A	<ul> <li>WALL COVERING NUMBER.</li> <li>REFER TO WALL</li> <li>PROTECTION PLAN</li> </ul>	DENOTES DATA OUTLET DENOTES PHONE	
	- LEVEL DESCRIPTION	CENTER LINE EQUIPMENT TAG	€	<ul> <li>CENTER LINE</li> <li>EQUIPMENT IDENTIFIER</li> </ul>	DENOTES ALARM DENOTES HOT WATER	ALA
<u>NAME</u>	- LEVEL ELEVATION - VIEW NAME - VIEW SCALE - SHEET NUMBER - VIEW NUMBER	ROUGH-IN CONNECTION POINT	ITEM # CONNECTION POINT DATA HEIGHT A.F.F.	<ul> <li>ITEM NUMBER</li> <li>CONNECTION DATA</li> <li>HEIGHT FROM ABOVE FINISH FLOOR</li> </ul>	DENOTES COLD WATER DENOTES DRAIN	(
0-	- GRID REFERENCE - GRID LINE	DIRECT CONNECTION POINT	CONNECTION POINT DATA HEIGHT A.F.F.	<ul> <li>ITEM NUMBER</li> <li>CONNECTION DATA</li> <li>HEIGHT FROM ABOVE FINISH FLOOR</li> </ul>	DENOTES HUB DRAIN DENOTES FLOOR FUNNEL DRAIN	
	- GRID REFERENCE - GRID LINE	WATER FILTER LINE –	/	- SUGGESTED WATER FILTER LINE ROUTE		

i	DENOTES FLOOR SINK	
Þ	DENOTES NATURAL GAS	•
Þ	DENOTES BACKFILL WATER INLET	BF1
	DENOTES BACKFILL WATER OUTLET	BF2
	DENOTES CHILLED WATER SUPPLY	CS
	DENOTES CHILLED WATER RETURN	(CR)
	DENOTES CONDENSATE SUPPLY	©
D	DENOTES CONDENSATE RETURN	CR
$\Delta$	DENOTES STEAM	<b>(S</b> )
ARM	DENOTES STEAM BOOSTER	SB
	DENOTES FLUSH STRAINER	(SF)
D	DENOTES AIR	A
C	DENOTES C02	89
	DENOTES INJECTOR COLD WATER	
	DENOTES FILTERED WATER	F



# Creative Thinking Practical Results



#### **KEY PLAN**



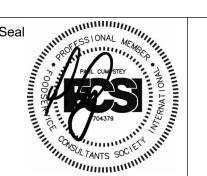
	DESIGN INC.		
			_
			_
	Issued for Client Review	2024-04-22	DD
2	Issued for Tender and Issued for Permit	2024-07-19	DD
No.	Revision	Date	Ву

Drawing Notes

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Project Name

348 Davenport Road Toronto, Ontario YWCA TORONTO -**DAVENPORT WOMEN'S** SHELTER KITCHEN AND **SPRINKLER MODIFICATIONS** Sheet Title

#### COVER SHEET

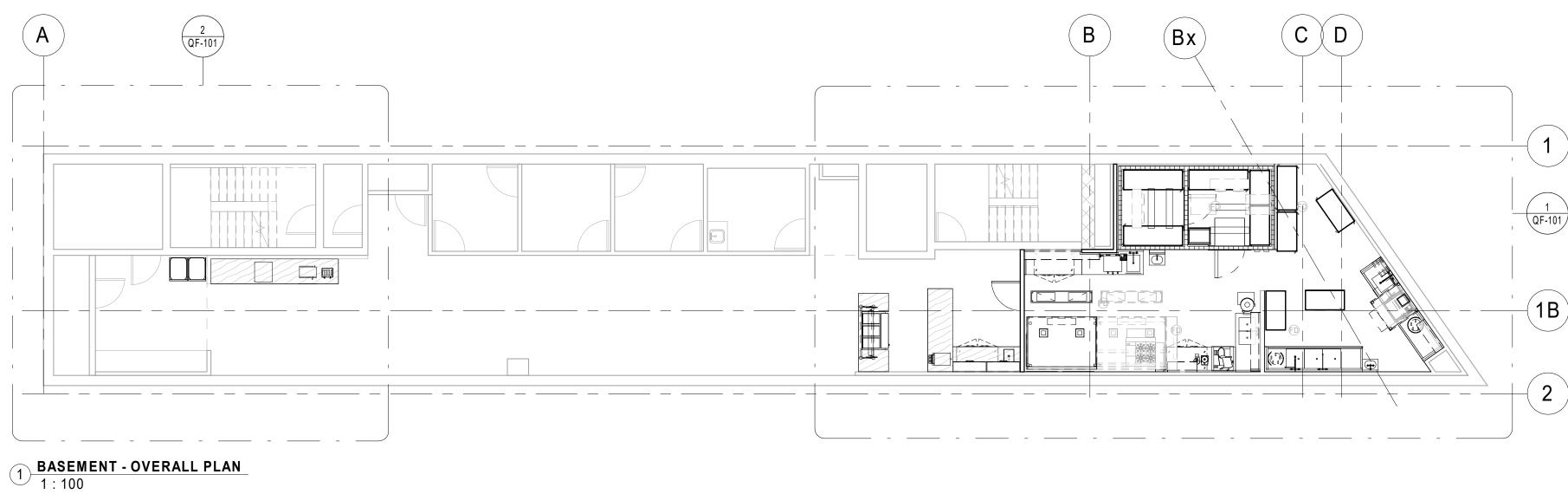
Drawn By D.D. Designed By P.C. RJC Project Number

Sheet Number

Scale Date 2024-07-26 TOR.121290.0014

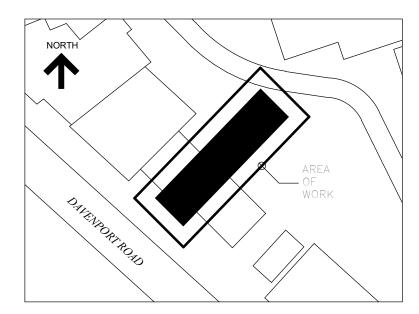
QF-000

Revision

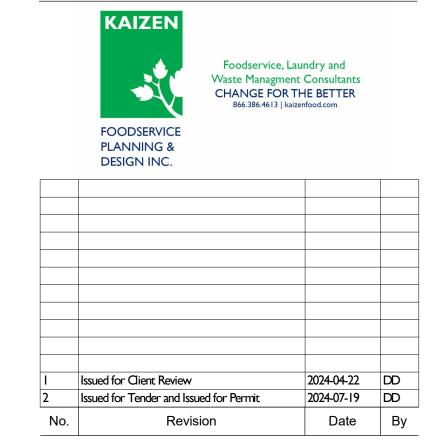




# Creative Thinking Practical Results



#### **KEY PLAN**

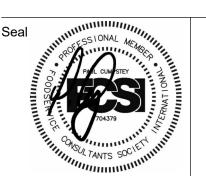


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Project Name

348 Davenport Road Toronto, Ontario YWCA TORONTO -DAVENPORT WOMEN'S SHELTER KITCHEN AND SPRINKLER MODIFICATIONS Sheet Title

OVERALL PLAN

Drawn By DD Designed By PC RJC Project Number

Sheet Number

Scale Date 2024-07-26 TOR.121290.0014

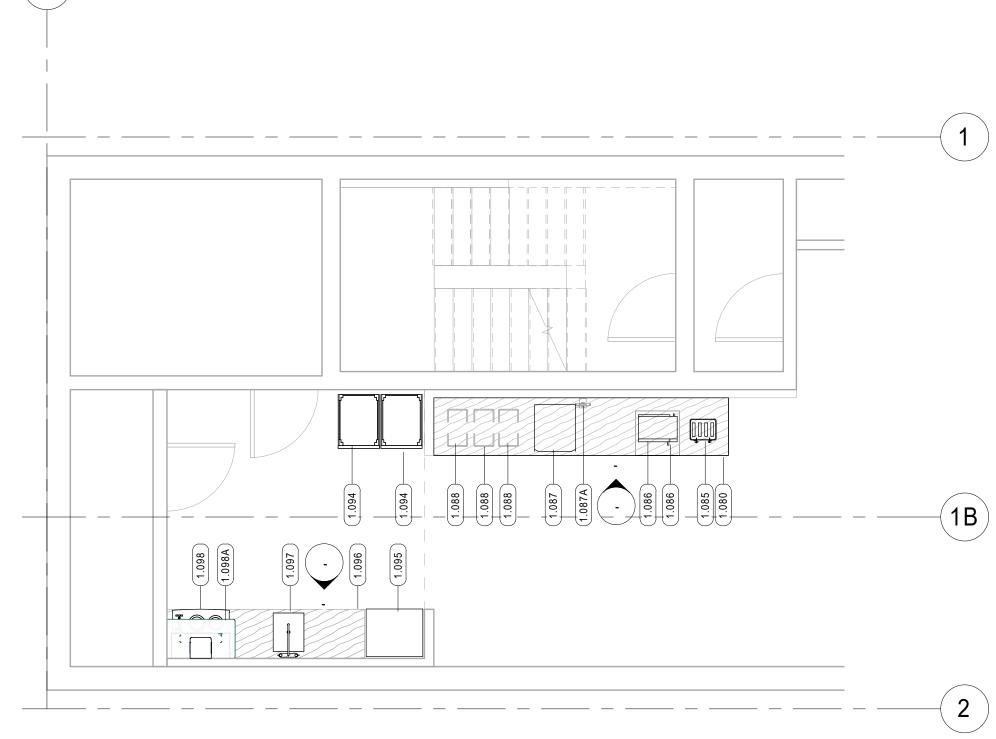
Revision

QF-100

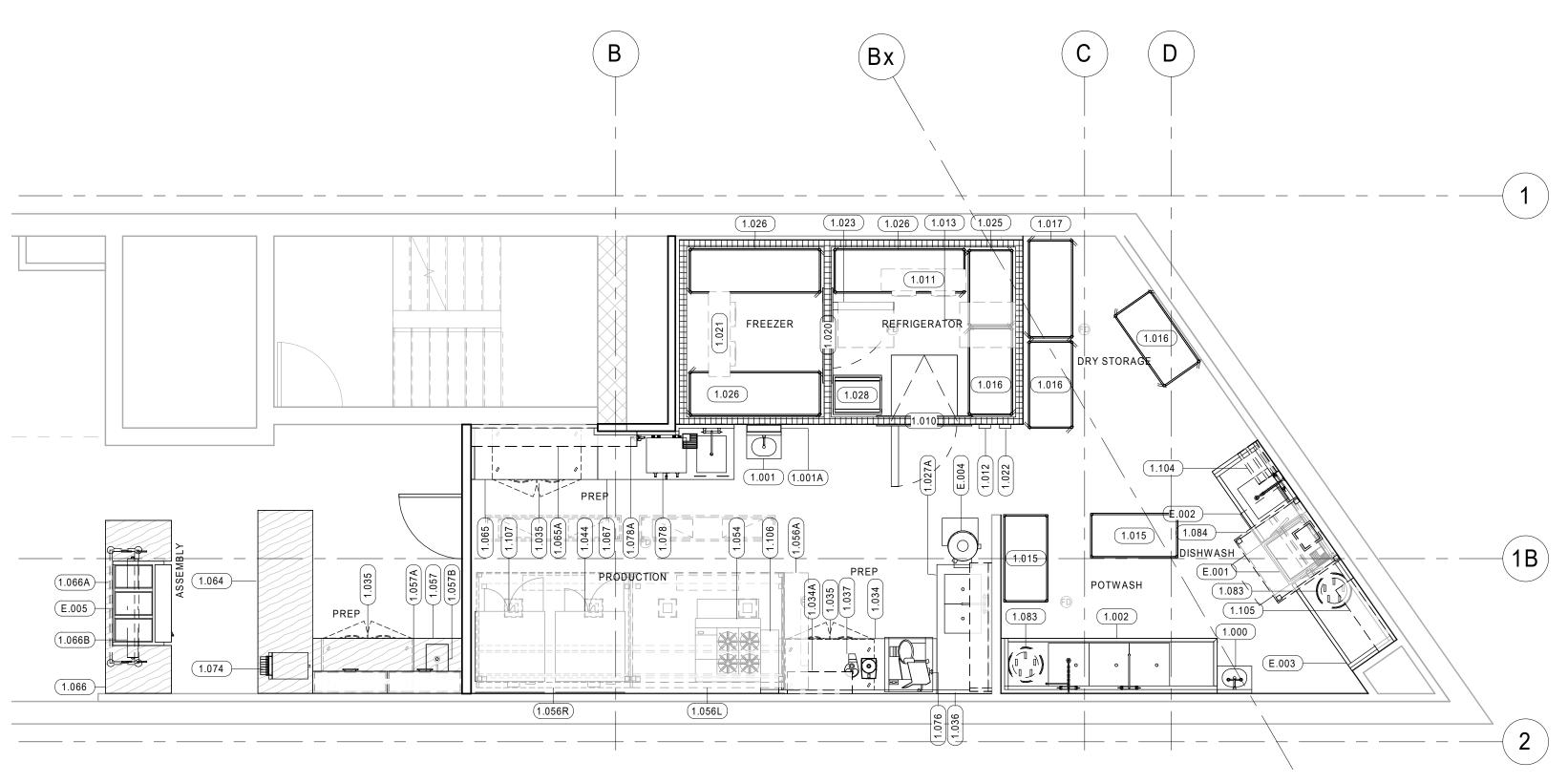
									QF - MEP SCHEDULE - NEW								
						ELECTRICAL		FILTEF	PLUMBING ED				MECHANICA				
			ω	ш ш	CONN.		ZE (MM) ZE (MM)	VASTE SIZE (MM) WASTE SIZE (MM) LY SIZE (MM)		GAS GAS WM) KE JECTION (BTU/H)	REFRIGERANT (H/() (B1()() (S1)) BW		HVAC	EXHAUST WE (r/s) WE (r/s) WE (r/s)	MAKE-U MIDTH (MM) WIDTH (MM)	P AIR (F/S) WE	C PRESSURE (KPA)
o. d		ୁ EQUIPMENT REMARKS କ୍ରିକ	NOLTS	CYCLE	ELEC.	ELECTRICAL REMARKS		SUPPI NDIR. V	PLUMBING REMARKS	SIZE (	VOLUI	MECHANICAL REMARKS	VENT	VOLUI	VENT	NOLUI	
	1     HAND SINK W/EYEWASH       1     HAND SINK						13 MM 13 MM 3 13 MM 13 MM 3										
	1 S.S. CHASE																
	1 S.S. POTWASH TABLE W/ THREE SINKS 1 WAL-IN COOLER	1.0 A	120	1 60	DIRECT	DATA EMERGENCY PWR REQ'D	19 MM 19 MM 5	01 MM	ADD'L 19MM(3/4") HW+CW & 251MM(2") DIRECT DRAIN TO G.T.								
	1 EVAPORTOR COIL		120		DIRECT	EMERGENCY PWR REQ'D		19 MM	TO F.F.D.	R404A	10,000 BTU/H						
	1 TEMPERATURE ALARM					PWR FROM 1.010 - CONN. TO B.A.S. SYSTEM BY CONTROLS DIV.											
	1 CONDENSING UNIT	12.4 A	208	1 60	DIRECT	EMERGENCY PWR REQ'D					11,378 BTU/H						
_	2 DRYING RACK 3 SHELVING, PLASTIC, LOUVERED																
	1 SHELVING, PLASTIC, LOUVERED																
	1 WALK-IN FREEZER 1 EVAPORATOR COIL		120 230	1 60 1 60	DIRECT	ADD'L 120/1/60 1A DATA & EMERGENCY PWR REQ'D ADD'L 208-230/1/60 2A CONN. REQ'D		19 MM	TO F.F.D.	R404A	0 BTU/H						
	1 TEMPERATURE ALARM				DIREOT	PWR FROM 1.020 - CONN. TO B.A.S. SYSTEM BY											
	1 CONDENSING UNIT	1844	208	1 60	DIRECT	CONTROLS DIV. EMERGENCY PWR REQ'D					12,221 BTU/H						
	1 SHELVING, PLASTIC, LOUVERED																
	SHELVING, PLASTIC, LOUVERED     S.S. WALL SHELVING																
	1 RACK, UTILITY																
	1 S.S. TABLE	12.0 A	120	1 60	PLUG	GENERAL PURPOSE RCPT											
	1S.S. WALL SHELVING3TWO DOOR UNDERCOUNTER REFRIGERATOR	3.0 A	120	1 60	PLUG	NEMA 5-15P											
	1 S.S. TABLE W/SINKS	12.0 A	120	1 60	PLUG	GENERAL PURPOSE RCPT	13 MM 13 MM	38 MM	ADD'L 38MM(1 1/2") INDIRECT DRAIN REQ'D TO F.S.								
	1         VEGETABLE PROCESSOR           1         GAS CONVECTION OVEN	7.0 A 9.8 A		1 60 1 60	PLUG PLUG	NEMA 5-15P NEMA 5-15P				19 MM 60,000 BTU/H	0 BTU/H						
	1 GAS RANGE	3.4 A	120	1 60	PLUG	NEMA 5-15P				19 MM 140,000 BTU/H	0 BTU/H						
	1 F.P.S. CONTROL PANEL 1 EXHAUST HOOD	15.0 A	120	1 60 1 60	DIRECT DIRECT								254 178	347.0 L/S 0.07 KPA	254 550	314.01/9 0	.05 KPA REFER TO QF-400 S
	1 EXHAUST HOOD	15.0 A	120	1 60	DIRECT								254 178	496.0 L/S 0.11 KPA	254 559 254 559	472.0 L/S 0	0.05 KPA REFER TO QF-400 S
	1 MILLWORK WITH HAND SINK	12.0 A	120	1 60	PLUG	GENERAL PURPOSE RCPT	13 MM 13 MM 3	8 MM									
	2 S.S. OVERHEAD CUPBOARDS 1 S.S. HAND SINK	BY MECH. DIV.															
	1 MILLWORK		120	1 60		GENERAL PURPOSE RCPT											
	1         S.S. TABLE           1         S.S. WALL SHELVING	12.0 A	120	1 60	PLUG	GENERAL PURPOSE RCPT											
	1 MILLWORK			1 60	PLUG	GENERAL PURPOSE RCPT											
	1 FOOD SHIELD 1 HEAT LAMP		0 120		DIRECT												
	1 S.S. TABLE W/SINK	12.0 A	120	1 60	PLUG	GENERAL PURPOSE RCPT	13 MM 13 MM	38 MM	TO F.S.								
	1 ELECTRIC CONVEYOR TOASTERS 1 SLICER, AUTOMATIC			1 60 1 60		NEMA 6-20P NEMA 5-15P											
	1 COFFEE MAKER			1 60		120/240V		10 MM	WATER FROM FILTER 1.078A								
	1 WATER FILTER 1 MILLWORK	1204	120	1 60	PLUG	GENERAL PURPOSE RCPT	10 MM										
	2 TRASH BIN W/ DOLLY																
	1 EXHAUST HOOD 1 POP-UP TOASTER			1 60 1 60		NEMA 5-15P							254 254	248.2 L/S 0.02 KPA	0 0	0.0 L/S 0	.01 KPA REFER TO QF-400 S
	2 COMMERCIAL MICROWAVE OVEN	13.4 A	120	1 60	PLUG	NEMA 5-15P											
	1 ICE MACHINE / WATER DISPENSER	9.0 A	120	1 60		NEMA 5-15P	0 MM	19 MM 10 MM	WATER FROM FILTER 1.087A. DRAIN TO F.S.								
	1     WATER FILTER       3     WASTE BIN W/ DOLLY						10 MM										
	2 CABINET, TRANSPORT																
	1 DOMESTIC REFRIGERATOR 1 MILLWORK	20.0 A 12 0 A	120 120	1 60 1 60	DIRECT PLUG	GENERAL PURPOSE RCPT											
	1 S.S. PREP SINK						13 MM 13 MM	38 MM	TO F.S.								
	1 COOKTOP 1 RANGE HOOD	26.9 A	208	1 60 1 60	DIRECT								203 203	231.3 L/S			8" ROUND DUCT
	1 S.S. SORTING SHELF, WALL MOUNT		120	. 00	DITEOT								200 200				
	1         S.S. WALL SHELVING           1         S.S. TABLE	12.0.4	120	1 60	PLUG	GENERAL PURPOSE RCPT											
	1     GAS CONVECTION OVEN	30.0 A	208	1     60       3     60							0 BTU/H						
			i						QF - MEP SCHEDULE - EXISTING							i	
	1 DISHWASHER		208	3 60	DIRECT	T.B.C.	19 MM	51 MM	T.B.C.				102 406	118.0 L/S 0.00 KPA			
	1 S.S. DISHTABLE W/ SINK	EXISTING TO BE RELOCATED				T.B.C.	19 MM 19 MM 3	8 MM	TO G.T. T.B.C.								
	1       S.S. CLEAN DISHTABLE         1       POTATO PEELER         1       HOT FOOD TABLE	EXISTING TO BE RELOCATED         EXISTING TO BE RELOCATED         7.2 A         EXISTING TO BE RELOCATED         12.0 A	120	1 60	PLUG	T.B.C. NEMA 5-15P. T.B.C.	16 MM		T.B.C. T.B.C. T.B.C.								
4						-					1	1			i		1

BASEMENT - SELF SERVE & LEARNING KITCHEN - $2 \frac{\text{ENLARGED PLAN}}{1:50}$ 

 $(\mathsf{A})$ 

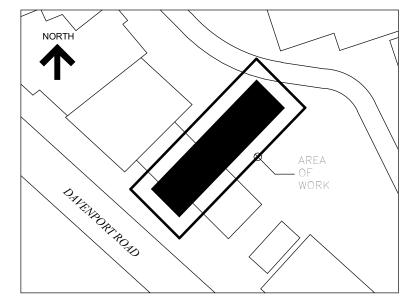


# 1 BASEMENT - KICTHEN - ENLARGED PLAN 1 : 50





# Creative Thinking Practical Results



#### **KEY PLAN**

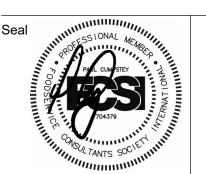
	FOODSERVICE	Foodservice, L Waste Managme CHANGE FOR 866.386.4613   ka	nt Consultants THE BETTER	
	PLANNING & DESIGN INC.			
	Design inc.			
				_
				_
				_
I	Issued for Client Review		2024-04-22	DD
2	Issued for Tender and Issu	ied for Permit	2024-07-19	DD
No	Revis	ion	Date	By

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348 Davenport Road Toronto, Ontario YWCA TORONTO -**DAVENPORT WOMEN'S** SHELTER KITCHEN AND SPRINKLER MODIFICATIONS Sheet Title

	EQUIPM	DSERVIO ENT LA ID LIST		
Drawn By	DD	Scale		
Designed By	PC	Date	2024-07-26	
RJC Project N	umber	TOR	.121290.0	014
Sheet Number				Revision

QF-101