

EXISTING/DEMOLITION NOTES

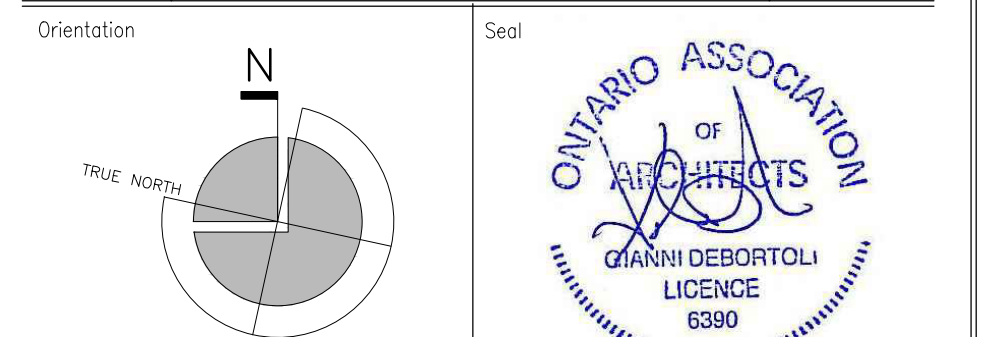
- x1 EXISTING DRYWALL/ VINYL BOARD DEMOUNTABLE PARTITION WALLS TO BE DEMOLISHED & DISPOSED OF & ONLY FULL UNDAMAGED VINYL BOARD DEMOUNTABLE PARTITION PANELS TO BE RETURN TO THE CLIENT. PATCH/REPAIR/PAINT ALL SURFACES AFFECTED BY DEMO TO MATCH EXISTING FINISHES.
- x2 EXISTING WINDOW/DOOR/FRAME TO BE REMOVED & RETURN TO THE CLIENT. PATCH/REPAIR/PAINT ALL FINISHES AFFECTED BY DEMO TO MATCH EXISTING FINISHES.
- x3 EXISTING DRYWALL CEILING & BULKHEAD TO BE DEMOLISHED & DISPOSED OF. (PREPARE/REPAIR EXISTING T-BAR CEILING FOR NEW INFILL T-BAR CEILING).
- x4 EXISTING FURNITURE/FILING CABINETS/STORAGE ETC TO BE REMOVED & HANDLED BY OPP.
- x5 ALL EXISTING RAISED FLOOR SERVICE BOXES [CANADIAN RACEWAY] IN THE AREA TO BE RELOCATED (SEE ELECTRICAL DRAWINGS).
- x6 EXISTING MILLWORK TO BE RELOCATED. (SEE PROPOSED PLAN).
- x7 EXISTING BULLET TRAP GUN LOCKER TO BE RELOCATED (SEE PROPOSED PLAN).
- x8 EXISTING PORTION OF RAILING TO BE DEMOLISHED & DISPOSED OF. PATCH/REPAIR/PAINT ALL FINISHES AFFECTED BY DEMO TO MATCH EXISTING FINISHES.
- x9 EXISTING FIRE EXTINGUISHER TO BE RELOCATED (SEE PROPOSED PLAN).
- x10 EXISTING WINDOW/DOOR/FRAME TO BE REMOVED & RE-USED. PATCH/REPAIR/PAINT ALL FINISHES AFFECTED BY DEMO TO MATCH EXISTING FINISHES.
- x11 EXISTING PORTION OF MILLWORK TO BE REMOVED & RELOCATED.
- x12 EXISTING CARD READER & ELECTRIC STRIKE TO BE RE-USED AT DOOR (SEE ELECTRICAL DRAWINGS).
- x13 EXISTING FURNITURE TO BE RELOCATED BY OPP (SEE PROPOSED FLOOR PLAN).
- x14 EXISTING WALL MOUNTED SHELF & LIGHTS TO BE REMOVED & RELOCATED (SEE PROPOSED PLAN).

NOT IN SCOPE

REFLECTED CEILING PLAN NOTES

- C1 NEW T-BAR CEILING (8'-10" u/s):
-NEW T-BAR CEILING & GRID TO MATCH EXISTING.

04	ISSUED FOR PERMIT/ TENDER	2024-08-21
03	ISSUED FOR 99% DESIGN REVIEW	2024-07-10
02	ISSUED FOR 66% DESIGN REVIEW	2024-05-06
01	ISSUED FOR 33% DESIGN REVIEW	2024-04-16
No	Revisions	Date



The Contractor shall check and verify all dimensions and report all errors and omissions to the IO-Owner's/MBS Designee (as applicable) for his/her written direction before proceeding with the Work.

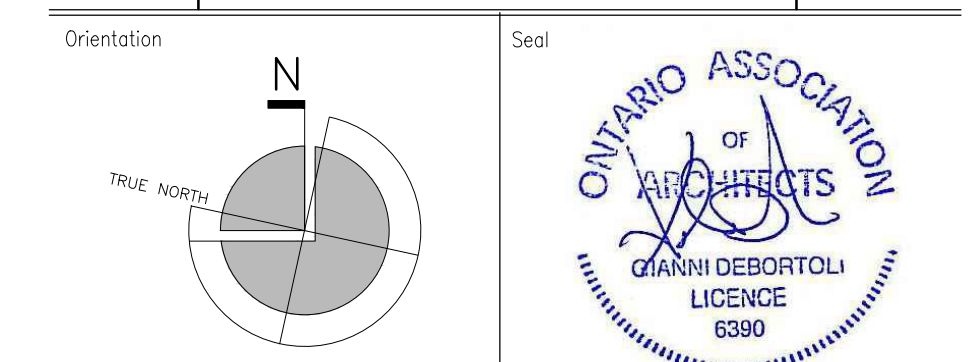
A	Detail No
B	Sheet No where detailed



AMIS N B
Project
GHQ PROV COMMANDER RENOVATION
Location
777 MEMORIAL AVE,
ORILLIA, ONTARIO
IO Project No 1105199 Site No N06689 Building No B25370
Client
ONTARIO PROVINCIAL POLICE
Drawing Title
EXISTING/ DEMO. & PROPOSED FLOOR PLANS/ ELEVATIONS.

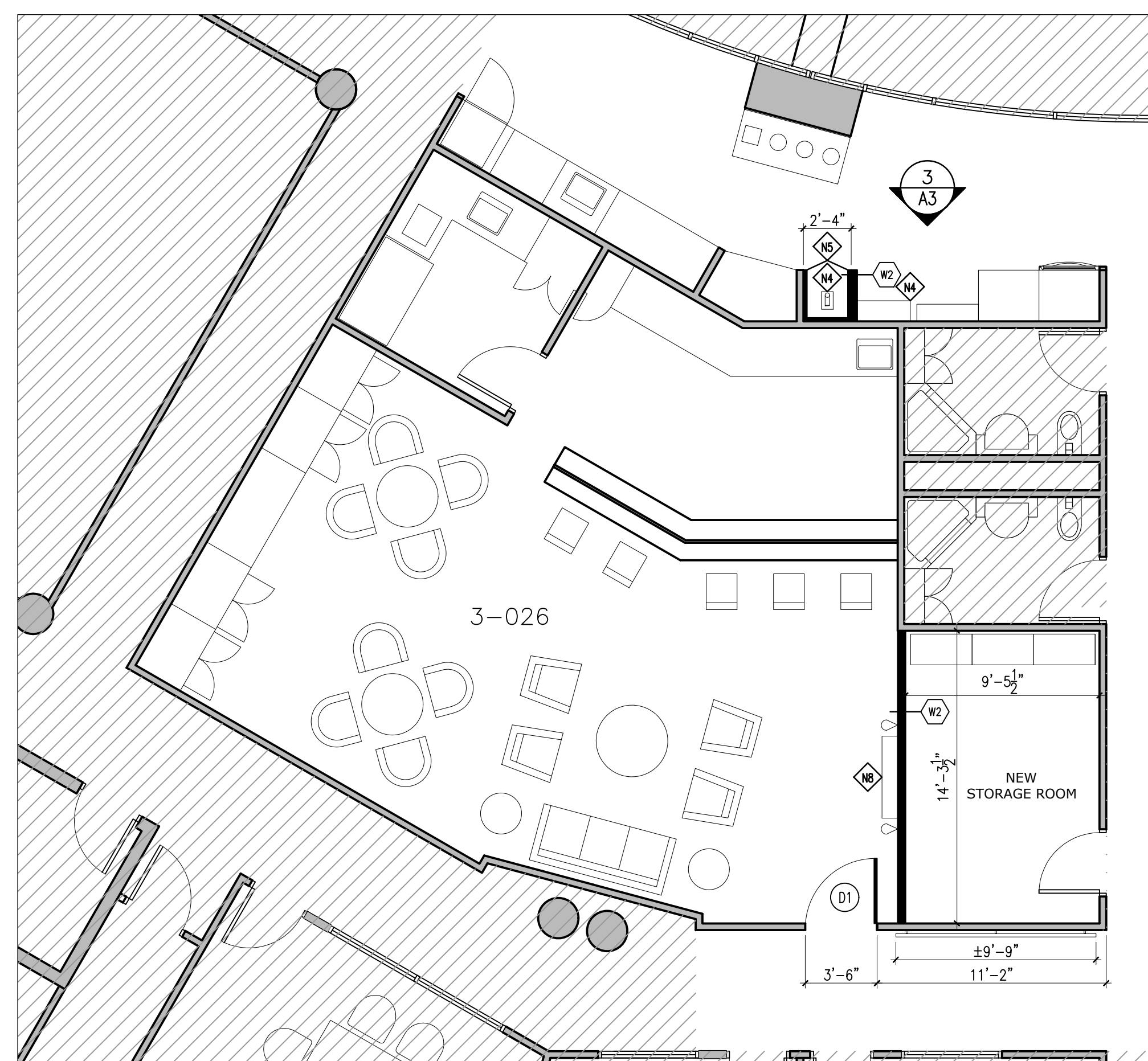
Scale AS SHOWN	Date 2024-08-21
Drawn by AAK	Substantial Performance Date
Designed by AAK/GD	Drawing No A1
Approved by GD	of 4 CADD File NAME PERMIT/TENDER

04	ISSUED FOR PERMIT/ TENDER	2024-08-21
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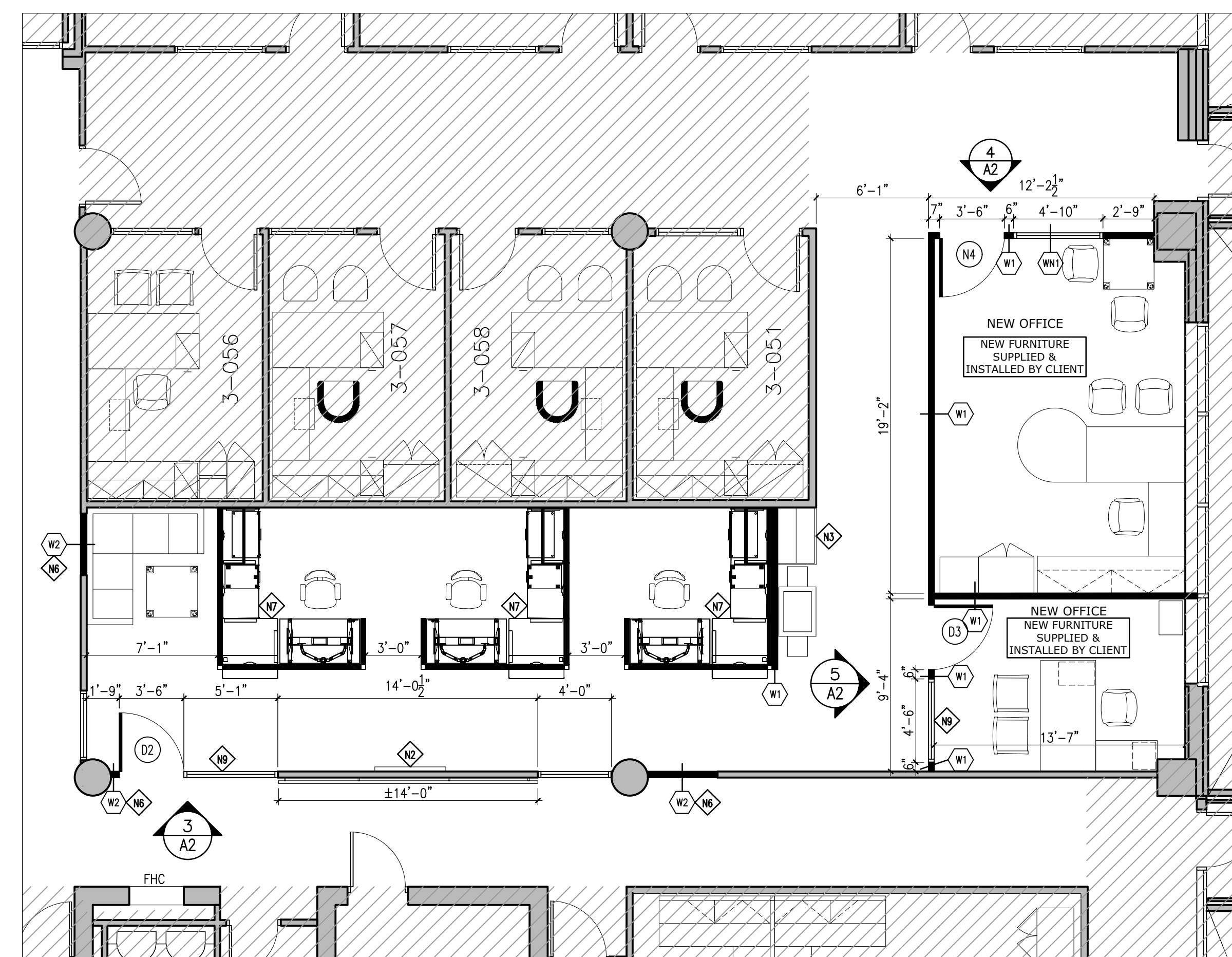


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- A Detail No
- B Sheet No where detailed



1
A2
PROPOSED ROOM 3-026 FLOOR PLAN
 SCALE: 3/16" = 1'-0"

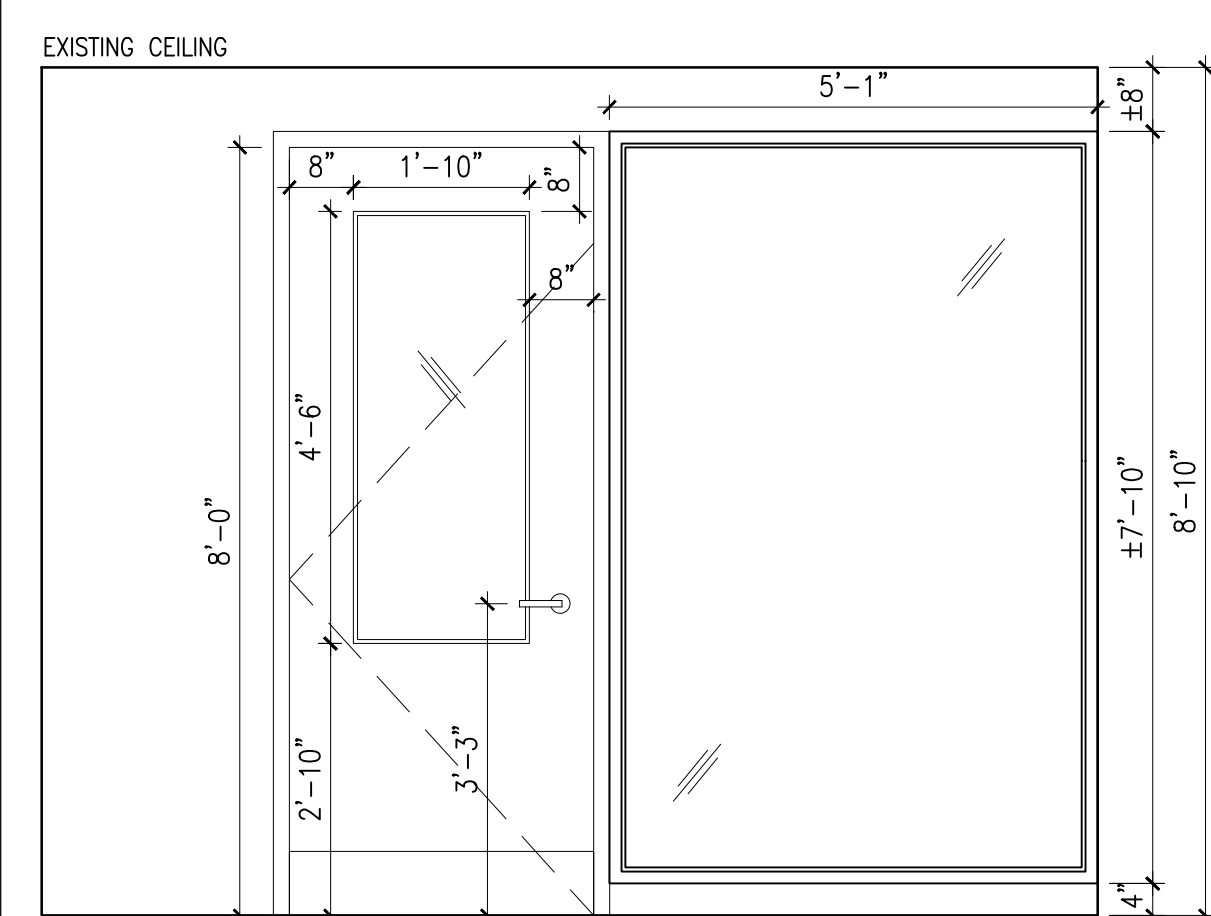


2
A2
PROPOSED ROOM 3-049 / 3-059 / 3-060 FLOOR PLAN
 SCALE: 3/16" = 1'-0"

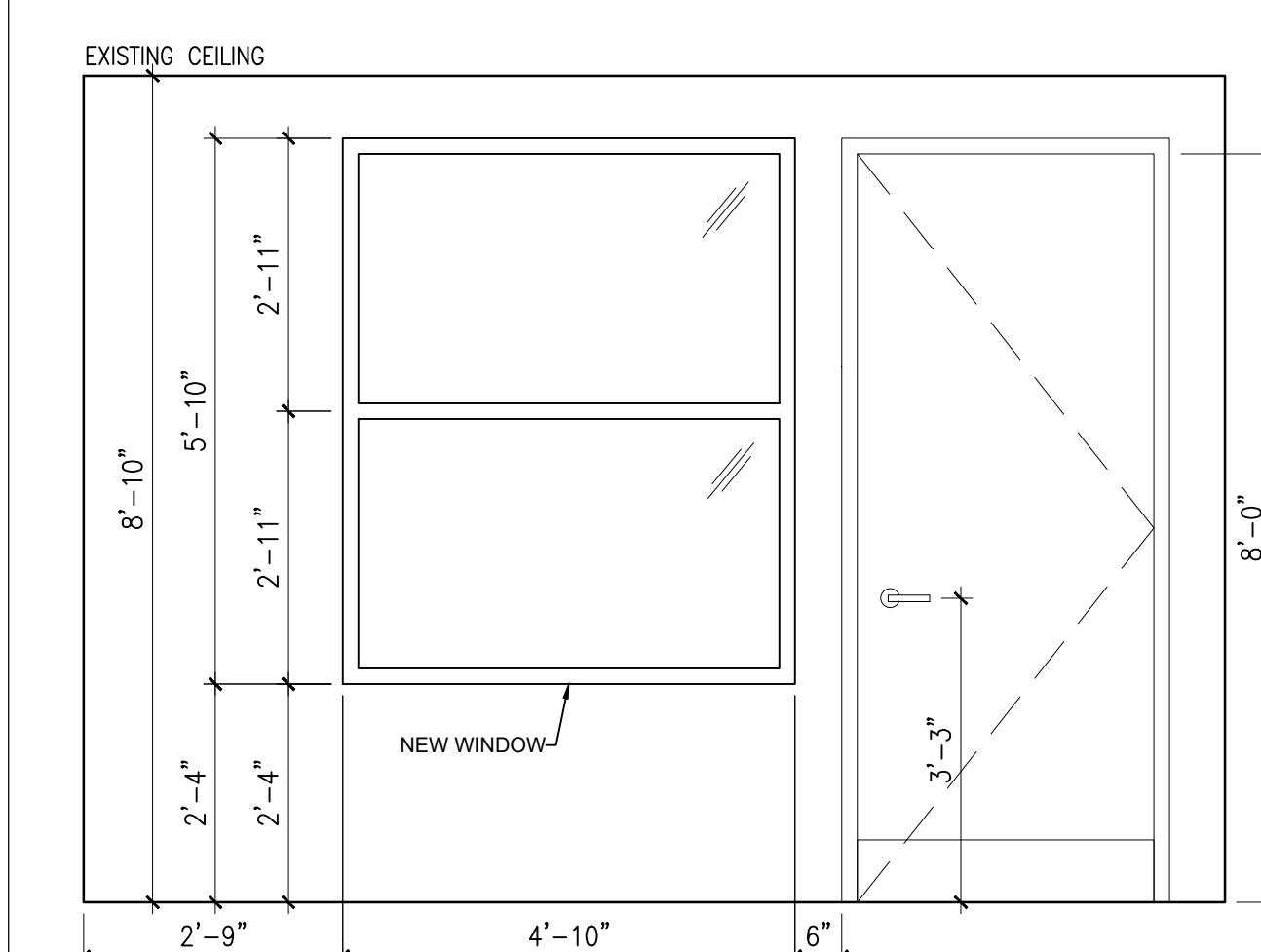
CONSTRUCTION NOTES

- W1** NEW VINYL BOARD DEMOUNTABLE PARTITION: (TO u/s OF CEILING)
 -(WINDSONG WALLS PATTERN) BY [ENVIROWALL]
 -1 LAYER OF 1/2" VINYL DEMOUNTABLE BOARD
 -2 1/2" METAL STUDS SPACED @ 16" o.c.
 -c/w 2 1/2" [CERTAINTED 'NOISE REDUCER'] SOUND BATT INSULATION
 -1 LAYER OF 1/2" VINYL DEMOUNTABLE BOARD
 NOTE: ALL TRIMS TO BE ANNOZIDED ALUMINUM BY [ENVIROWALL].
- W2** NEW PARTITION WALL: (TO u/s OF CEILING)
 -1 LAYER OF 1/2" GYPSUM BOARD
 -3 5/8" METAL STUDS SPACED @ 16" o.c.
 -1 LAYER OF 1/2" GYPSUM BOARD
- WN1** NEW WINDOW REFER TO 4/A2 FOR SIZE.
- N1** PATCH/REPAIR EXISTING CARPET (GC. TO ORDER 10 MORE BOXES TO MATCH EXISTING CARPET).
 NOTE: PROVIDE ALL TRIMS, BATTENS, COVERS & COMPONENTS FOR THE DEMOUNTABLE PARTITION.
- N2** PROVIDE BLOCKING FOR SUPPORT OF WALL MOUNTED TV.
- N3** EXISTING MILLWORK TO BE RE-INSTALLED.
- N4** EXISTING BULLET TRAP & GUN LOCKER TO BE RE-INSTALLED.
- N5** NEW BALLISTIC PANELS:
 (DURA-PANEL™ EXP BALLISTIC RUBBER) BY [RANGE SYSTEMS] FULL WALL HEIGHT
 -PROVIDE BLOCKING FOR SUPPORT OF BALLISTIC PANELS ON ALL 3 SIDES.
- N6** NEW RUBBER BASEBOARD TO MATCH EXISTING CORRIDOR BASEBOARD.
- N7** RELOCATED FURNITURE BY OPP.
- N8** RELOCATED WALL MOUNTED SHELF & LIGHTS.
- N9** RELOCATED WINDOW & FRAME.

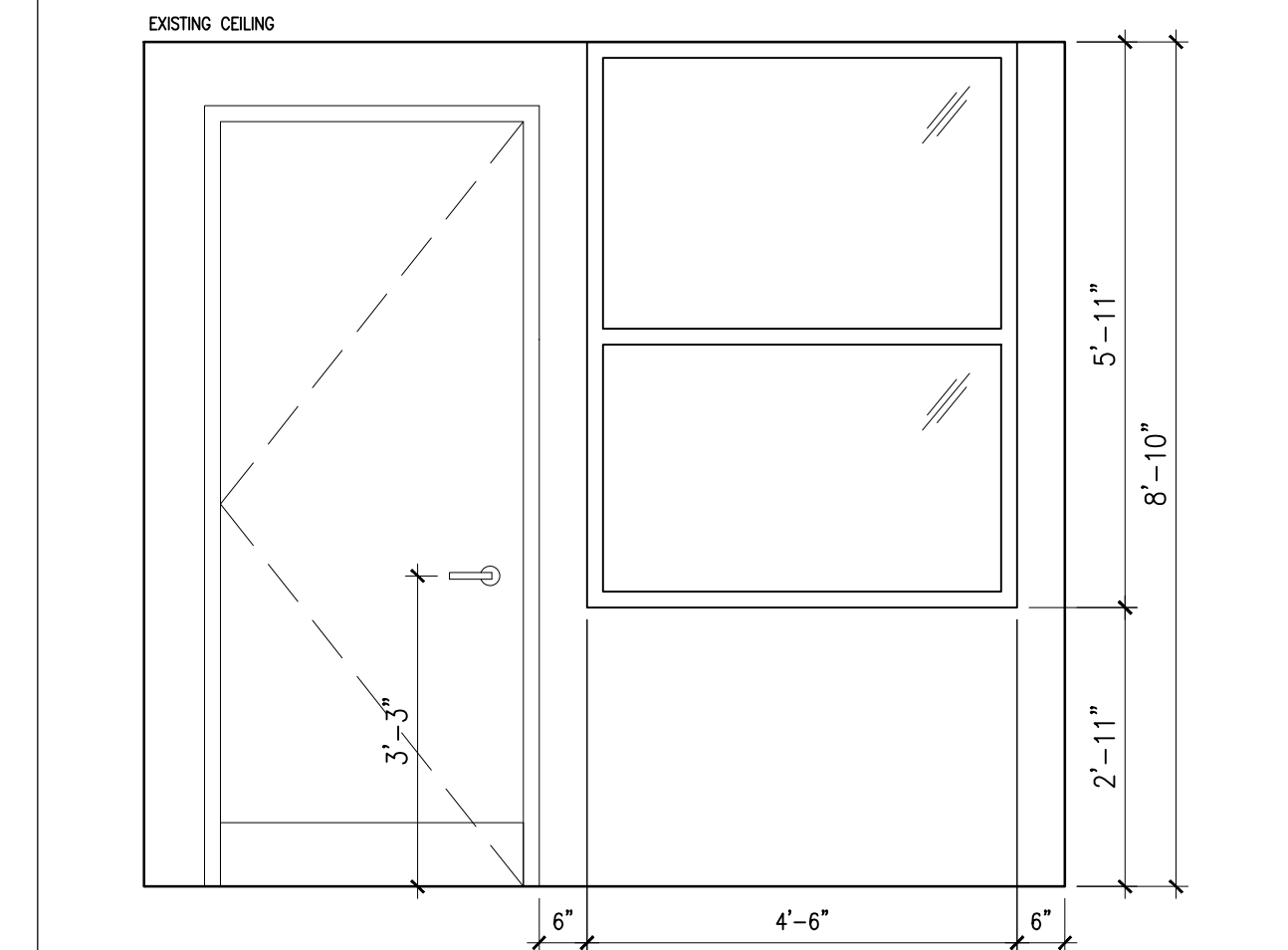
-PATCH/REPAIR/PAINT ALL WALLS/FLOORS/CEILINGS AFFECTED BY ALL ARCHITECTURAL/ MECHANICAL & ELECTRICAL WORK.
 -INCLUDE FOR PATCHING/PAINTING (TAPED/SANDED/PAINT) FOR ALL EXISTING WALL/CEILING PENETRATIONS.



3
A2
PROPOSED ROOM 3-049 DOOR ELEVATION.
 SCALE: 1/2" = 1'-0"

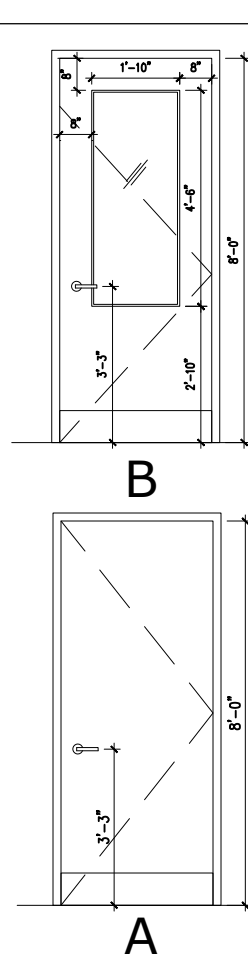


4
A2
PROPOSED OFFICE DOOR/ WINDOW ELEVATION.
 SCALE: 1/2" = 1'-0"



5
A2
PROPOSED OFFICE DOOR/ WINDOW ELEVATION.
 SCALE: 1/2" = 1'-0"

DOOR & HARDWARE SCHEDULE										2024-04-16																	
DOORS					HARDWARE					COMMENTS																	
Door Number	Door Type	Width (mm)	Height (mm)	Thickness (mm)	Material	Finish (MATERIAL)	Frame Material	Frame Finish	Exit Lockset	Chromium Lockset (Series Mortise lock) (Schlage)	Passage Lockset (Series Mortise lock) (Schlage)	Stone Room Lockset (Series Mortise lock) (Schlage)	Lever Handle (D3 Tubular / w/ A-Through Rose - 2 1/2" (Schlage) (R3) Finish)	Automatic Door Operator (Aves)	Electric Strike	Card Reader	Door Contact	Push Hardware (Von Duprin)	Door Closer (LGN 6011625 Finish) (18 gpa. Stainless steel) (F 43" (no arm) (KALFA)	Kick Plate (MACH 12071NK)	Frame Anodized Seal (Viny) (Gaskal)	Automatic Drop Bottom (MNC)	Ball Bearing Hinged Door (B8179) (Ball Chromium Plate)	Door Stop (CHH-87 & CHH-86, CSDD Finish)			
D1	A	965	2134	45	SW	STN/V																					
D2	B	965	2134	45	SW	STN/V																					
D3	A	965	2134	45	SW	STN/V																					
D4	A	965	2134	45	SW	STN/V																					



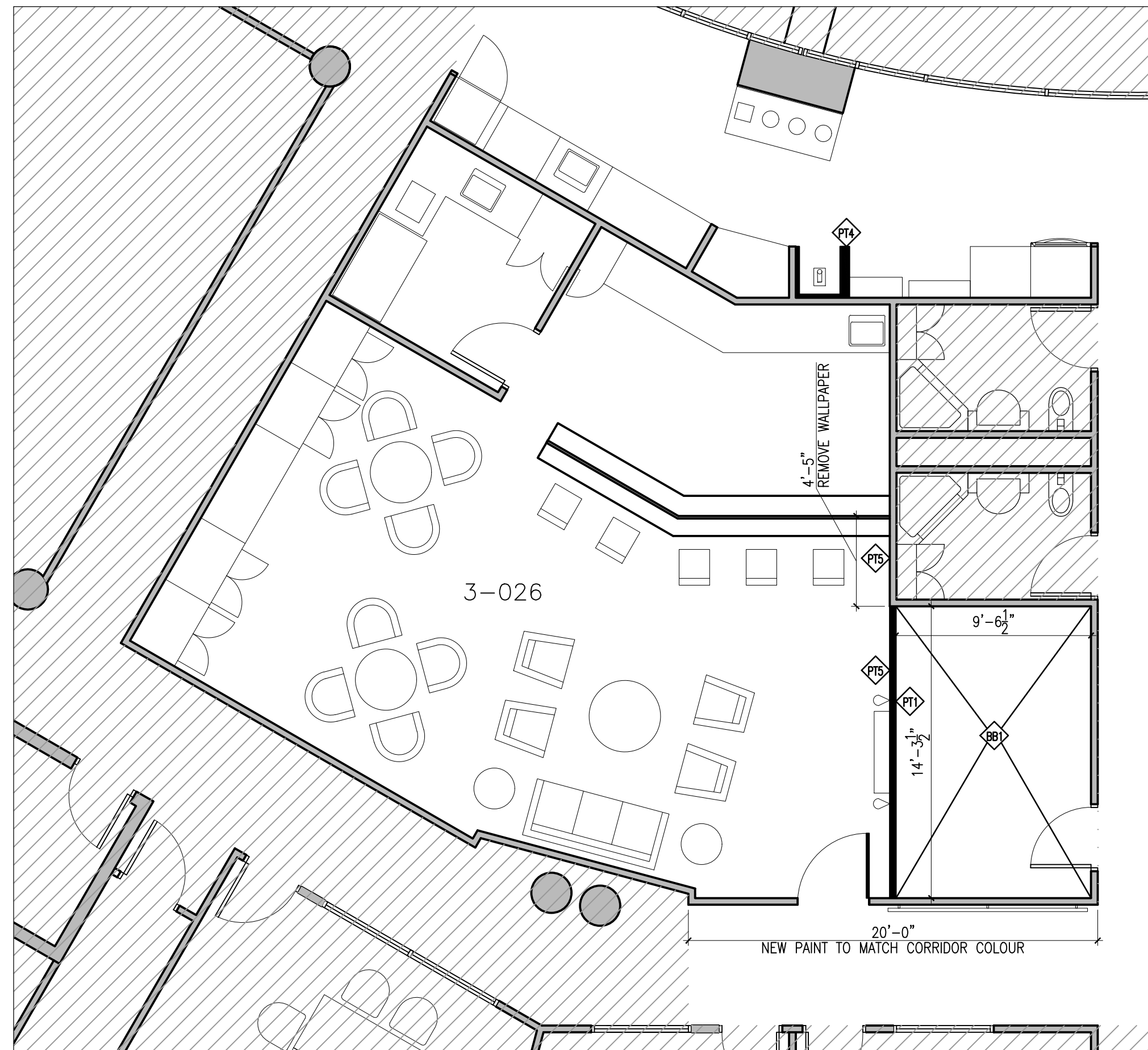
AMIS N B
 Project
 GHQ PROV COMMANDER RENOVATION

Location
 777 MEMORIAL AVE,
 ORILLIA, ONTARIO
 Project No. 1105199 Site No. N06689 Building No. B25370

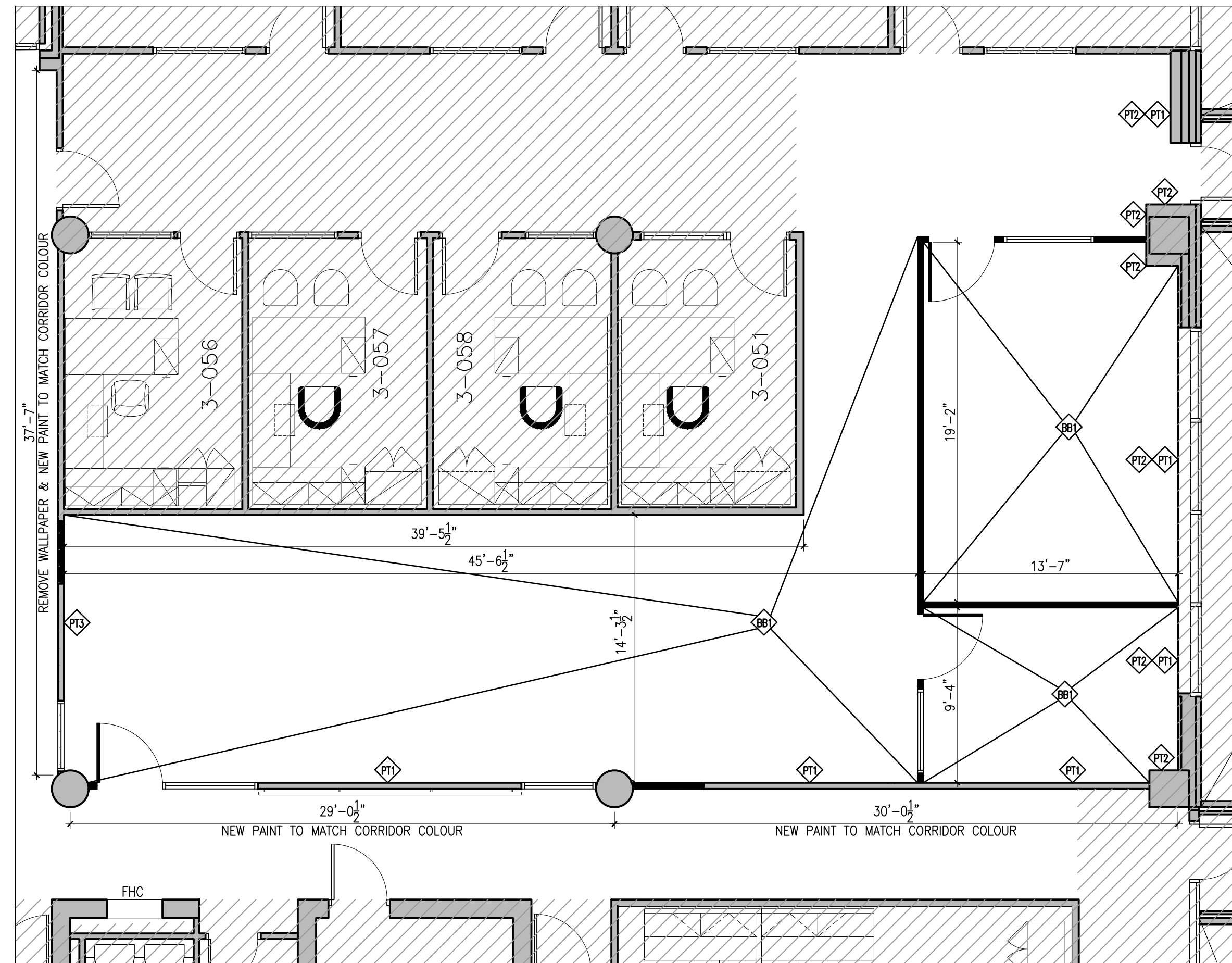
Client
 ONTARIO PROVINCIAL POLICE

Drawing Title
 PROPOSED FLOOR PLANS/ ELEVATIONS
 & DOOR SCHEDULE

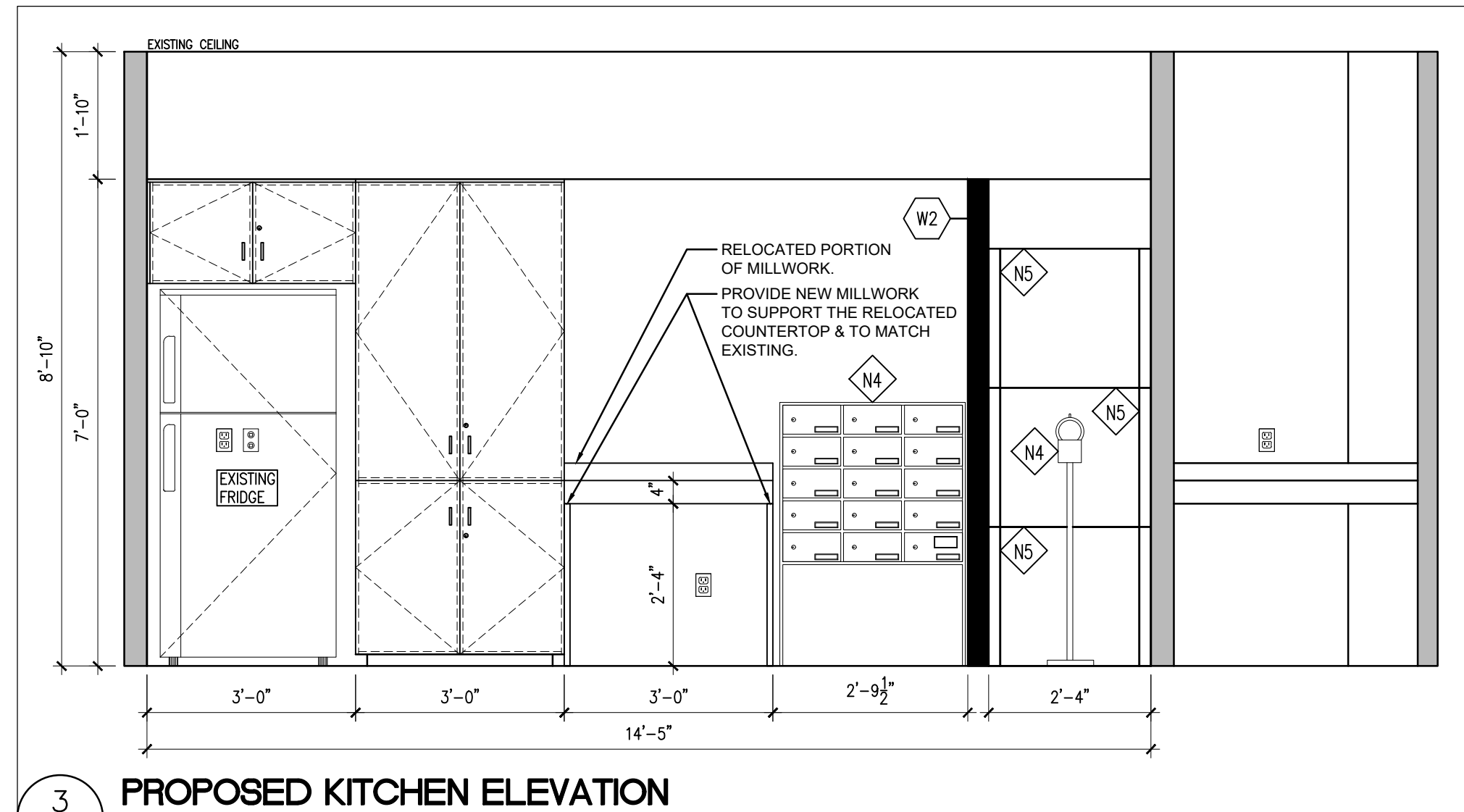
Scale AS SHOWN	Date 2024-08-21
Drawn by AAK	Substantial Performance Date
Designed by AAK/GD	Drawing No A2
Approved by GD	of 4



1 PROPOSED ROOM 3-026 FINISH FLOOR PLAN
SCALE: 3/16" = 1'-0"



2 PROPOSED ROOM 3-049 / 3-059 / 3-060 FINISH FLOOR PLAN
SCALE: 3/16" = 1'-0"



3 PROPOSED KITCHEN ELEVATION
SCALE: 1/2" = 1'-0"

CONSTRUCTION NOTES

- W1 NEW VINYL BOARD DEMOUNTABLE PARTITION: (TO u/s OF CEILING)
 - (WINDSONG WALLS PATTERN) BY [ENVIROWALL]
 - 1 LAYER OF 1/2" VINYL DEMOUNTABLE BOARD
 - 2 1/2" METAL STUDS SPACED @ 16" o.c.
 - c/w 2 1/2" [CERTAINTED 'NOISE REDUCER'] SOUND BATT INSULATION
 - 1 LAYER OF 1/2" VINYL DEMOUNTABLE BOARD
 - NOTE: ALL TRIMS TO BE ANNOZIZED ALUMINUM BY [ENVIROWALL].
- W2 NEW PARTITION WALL: (TO u/s OF CEILING)
 - 1 LAYER OF 1/2" GYPSUM BOARD
 - 3 5/8" METAL STUDS SPACED @ 16" o.c.
 - 1 LAYER OF 1/2" GYPSUM BOARD
- WN1 NEW WINDOW REFER TO 4/A2 FOR SIZE.
 - PATCH/REPAIR EXISTING CARPET (GC. TO ORDER 10 MORE BOXES TO MATCH EXISTING CARPET).
 - NOTE: PROVIDE ALL TRIMS, BATTENS, COVERS & COMPONENTS FOR THE DEMOUNTABLE PARTITION.
- N1
- N2 PROVIDE BLOCKING FOR SUPPORT OF WALL MOUNTED TV.
- N3 EXISTING MILLWORK TO BE RE-INSTALLED.
- N4 EXISTING BULLET TRAP & GUN LOCKER TO BE RE-INSTALLED.
- N5 NEW BALLISTIC PANELS:
 - (DURA-PANEL™ EXP BALLISTIC RUBBER) BY [RANGE SYSTEMS] FULL WALL HEIGHT
 - PROVIDE BLOCKING FOR SUPPORT OF BALLISTIC PANELS ON ALL 3 SIDES.
- N6 NEW RUBBER BASEBOARD TO MATCH EXISTING CORRIDOR BASEBOARD.
- N7 RELOCATED FURNITURE BY OPP.
- N8 RELOCATED WALL MOUNTED SHELF & LIGHTS.
- N9 RELOCATED WINDOW & FRAME.

- PATCH/REPAIR/PAINT ALL WALLS/FLOORS/CEILINGS AFFECTED BY ALL ARCHITECTURAL/ MECHANICAL & ELECTRICAL WORK.
 - INCLUDE FOR PATCHING/PAINTING (TAPED/SANDED/PAINT) FOR ALL EXISTING WALL/CEILING PENETRATIONS.

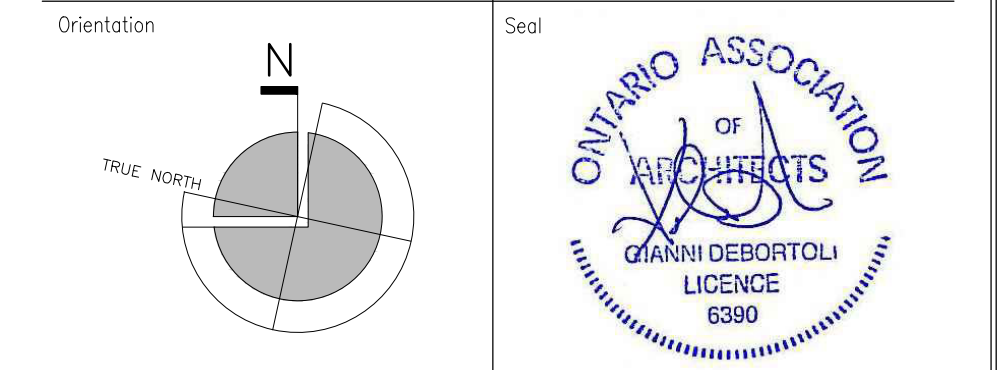
FINISH SCHEDULE

PAINT ALL WALLS, DOORS, CEILING. 1 COAT PRIME, 2 FINISH COATS. WALLS/CEILING TO BE EGGSHELL. DOORS/FRAMES TO BE SEMI-GLOSS.

- PT1 NEW WALL PAINT BY [BENJAMIN MOORE].
COLOUR: BUNNY GRAY 2124-50.
FINISH: SCUFF-X® -EGGSHELL K485.
- PT2 NEW WALL PAINT FOR ACCENT WALL/ BULKHEADS & COLUMNS BY [BENJAMIN MOORE].
COLOUR: STORM AF-700.
FINISH: SCUFF-X® -EGGSHELL K485.
- PT3 NEW WALL PAINT FOR FEATURE WALL BY [BENJAMIN MOORE].
COLOUR: SYMPHONY BLUE 2060-10.
FINISH: SCUFF-X® -EGGSHELL K485.
- PT4 NEW WALL PAINT BY [BENJAMIN MOORE].
COLOUR: GENTLEMAN'S GRAY 2062-20.
FINISH: SCUFF-X® -EGGSHELL K485.
- PT5 NEW WALL PAINT COLOUR: TBD.
- FC1 NEW "AFTERMATH II #23509" CARPET FLOOR BY [TARKETT COMMERCIAL].
COLOUR: FLANNEL #03026 (GC. TO ORDER 10 MORE BOXES & TO BE INSTALLED IN A RANDOM PATTERN).
- BB1 NEW WALL BASE TO MATCH EXISTING.



No	Revisions	Date
04	ISSUED FOR PERMIT/ TENDER	2024-08-21
03	ISSUED FOR 99% DESIGN REVIEW	2024-07-10
02	ISSUED FOR 66% DESIGN REVIEW	2024-05-06
01	ISSUED FOR 33% DESIGN REVIEW	2024-04-16



The Contractor shall check and verify all dimensions and report all errors and omissions to the IO-Owner's/MBS Designee (as applicable) for his/her written direction before proceeding with the Work.

A	A Detail No
B	B Sheet No where detailed



AMIS N B

Project: GHQ PROV COMMANDER RENOVATION

Location: 777 MEMORIAL AVE, ORILLIA, ONTARIO
 O. Project No: 1105199 Site No: N06689 Building No: B25370

Client: ONTARIO PROVINCIAL POLICE

Drawing Title: PROPOSED FINISHES FLOOR PLANS & PROPOSED ELEVATION

Scale: AS SHOWN	Date: 2024-08-21
Drawn by: AAK	Substantial Performance Date:
Designed by: AAK/GD	Drawing No: A3 of 4
Approved by: GD	CAD File Name: PERMIT/TENDER

GENERAL NOTES

1 ALL NOTES HEREIN REFERRING TO "CONTRACTOR" ARE TO MEAN THE GENERAL CONTRACTOR & SUB-CONTRACTORS.
ALL NOTES HEREIN REFERRING TO "CONSULTANT" ARE TO MEAN THE ARCHITECT AND SUB-CONSULTANTS.

2 PLEASE REFER TO PROJECT MANUAL FOR GENERAL CONDITIONS, SUPPLEMENTARY CONDITIONS & SPECIFICATIONS FOR FURTHER INFORMATION ABOUT METHODS & MATERIALS.

3 DRAWINGS ARE NOT TO BE SCALED.
CONTRACTOR TO REFERENCE DIMENSIONS GIVEN ON DRAWINGS.

4 ALL THE WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE, THE OCCUPATIONAL HEALTH & SAFETY ACT & REGULATIONS FOR CONSTRUCTION PROJECTS, CONSTRUCTION SAFETY ACT, REGULATIONS OF THE ONTARIO DEPARTMENT OF LABOUR & THE CANADIAN CONSTRUCTION SAFETY CODE, INCLUDING ALL CURRENT REVISIONS & WITH GOOD CONSTRUCTION PRACTICE.

5 THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY ALL DIMENSIONS & SITE CONDITIONS, COMPARE WITH THOSE INDICATED ON THE DRAWINGS & ADVISE THE CONSULTANT OF ANY DISCREPANCY. COMMENCEMENT OF WORK SHALL BE DEEMED AS ACCEPTANCE OF SITE CONDITIONS BY THE CONTRACTOR.

6 DISCREPANCIES IDENTIFIED AFTER COMMENCEMENT OF THE WORK SHALL BE RECTIFIED AT THE EXPENSE OF THE CONTRACTOR & TO THE SATISFACTION OF THE CONSULTANT AND/OR OWNER.

7 CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, FINISHES, EQUIPMENT & PROPERTIES ADJACENT TO THE AREAS OF WORK.

8 ALL DISTURBED AREAS, DAMAGED PROPERTIES AND/OR STRUCTURES SHALL BE RESTORED TO ORIGINAL CONDITION AT THE EXPENSE OF THE CONTRACTOR & TO THE SATISFACTION OF THE CONSULTANT AND/OR OWNER.

9 CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL/REINSTALL OF ANY ITEMS THAT IMPEDE IN THE DEMOLITION, INSTALLATION AND/OR CONSTRUCTION AS PART OF THE SCOPE OF WORK.

10 ALL SERVICES ARE TO BE ACCURATELY LOCATED PRIOR TO CONSTRUCTION & ADEQUATE PROTECTION PROVIDED AT ALL TIMES. ANY INTERFERENCE TO EXISTING SERVICES OR UTILITIES WITH THE PROPOSED CONSTRUCTION OPERATIONS IS TO BE REPORTED TO THE CONSULTANT PRIOR TO THE CONTINUATION OF CONSTRUCTION.

11 ALL DEMOLITION WORK, SAWING, GRINDING, OR SANDING WHICH MAY CAUSE DUST, EXCESSIVE NOISE LEVELS AND/OR INTERFERE WITH NORMAL BUSINESS OPERATIONS SHALL BE UNDERTAKEN AT THE SPECIFIED TIMES OUTLINED IN THE CONTRACT DOCUMENTS. REFER TO CONTRACT SPECIFICATIONS, GENERAL CONDITIONS & REQUIREMENTS FOR ADDITIONAL WORK PROVISIONS.

12 CONTRACTOR SHALL NOT CUT ADDITIONAL HOLES, OTHER THAN THOSE SHOWN ON DRAWINGS THROUGH WALLS, BEAMS, AND/OR OTHER ELEMENTS WITHOUT THE PRIOR APPROVAL OF THE CONSULTANT.

13 ALL MATERIALS INDICATED ON THE DRAWINGS ARE NEW UNLESS NOTED OTHERWISE.

14 NO ALTERNATE EQUIPMENT, MATERIALS, OR METHODS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT. CONTRACTOR SHALL SUBMIT A FORMAL REQUEST FOR SUBSTITUTION TO THE CONSULTANT FOR THEIR CONSIDERATION.

15 THE CONSTRUCTION SCOPE OF WORK SHOWN ON THESE DRAWINGS HAS BEEN DESIGNED IN ACCORDANCE WITH ALL REQUIRED CURRENT BUILDING CODES & REGULATIONS IN THE MUNICIPALITY IN WHICH THE CONSTRUCTION IS TO OCCUR.

16 CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORTS WHERE REQUIRED.

17 CONTRACTOR TO MAINTAIN ALL FIRE RESISTANCE RATINGS THROUGHOUT BUILDING, USING THE CORRECT CURRENT U.L.C. RATED SEALANTS & FIRESTOPS TO MAINTAIN THE BUILDING'S ORIGINAL FIRE RESISTANCE RATING. THIS ALSO APPLIES TO NEW FIRE RATED ASSEMBLIES CONSTRUCTED AS PART OF THE SCOPE OF WORK.

18 CONTRACTOR TO FOLLOW ALL MANUFACTURER'S INSTRUCTIONS & SPECIFICATIONS FOR MATERIALS USED TO CARRY OUT THE WORK.

19 ALL REPAIR WORK REQUIRED BY THE CONTRACTOR DUE TO THE WORK PERFORMED SHALL BE TO MATCH THE ORIGINAL CONDITION, ADJACENT MATERIALS/FINISH OR BETTER.

20 REFER TO MECHANICAL, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO THIS SCOPE OF WORK.

21 THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD PROPER & SAFE MEANS OF EGRESS SHALL BE PROVIDED FROM ALL ZONES OF THE BUILDING AT ALL TIMES TO THE APPROVAL OF THE

AUTHORITIES HAVING JURISDICTION.

22 ALL MATERIALS & DEBRIS TO BE DISPOSED OF SHALL BE REMOVED FROM THE SITE DAILY & DISPOSED OF LEGALLY IN ABIDANCE TO ALL APPLICABLE FEDERAL, PROVINCIAL & LOCAL CODES & REGULATIONS.

23 ELEMENTS OF THE BASE BUILDING, SUCH AS (BUT NOT LIMITED TO) CEILING COMPONENTS, LIGHT FIXTURES, SPEAKERS, ETC. REMAIN THE PROPERTY OF & SHALL BE TURNED OVER TO THE LANDLORD/OWNER & STORED WHERE DIRECTED BY THE LANDLORD/OWNER UNLESS SCHEDULED FOR REUSE AND/OR SHOWN TO BE REMOVED & RELOCATED UNDER THIS CONTRACT.

24 CONTRACTOR TO PREPARE FLOOR TO ACCEPT NEW FLOOR FINISHES WHERE INDICATED (OR AS PER FINISH SCHEDULE) IN STRICT ACCORDANCE WITH THE NEW FLOOR FINISH MANUFACTURER'S SPECIFICATIONS. SAND-BLASTING OR SELF-LEVELING PRODUCTS ARE TO BE INCLUDED IF REQUIRED.

25 CONTRACTOR TO ENSURE EXISTING OR NEW FLOOR SURFACE (TO RECEIVE NEW FLOORING FINISH) IS LEVEL & FREE OF DIMPLES, BUMPS, DUST, SOLVENT, PAINT, WAX, OIL, GREASE, RESIDUAL ADHESIVE, ADHESIVE REMOVERS, SEALERS, COATINGS, FINISHES, DIRT, FILM-FORMING CURING COMPOUNDS, SILICATE PENETRATING CURING COMPOUNDS, ALKALINE SALTS, EXCESSIVE CARBONATION OR LAITANCE, MOLD, MILDEW, & OTHER FOREIGN MATERIALS. IMPERFECTIONS IN THE FLOOR WHICH WILL INHIBIT A SMOOTH, LEVEL FINISH ARE TO BE REMOVED BY THE CONTRACTOR BY WHATEVER MEANS NECESSARY INCLUDING SAND-BLASTING.

26 CONCRETE FLOORS (EXISTING OR NEW) TO RECEIVE NEW FLOORING SHALL BE FREE OF DUST, SOLVENT, PAINT, WAX, OIL, GREASE, RESIDUAL ADHESIVE, ADHESIVE REMOVERS, SEALERS, COATINGS, FINISHES, DIRT, FILM-FORMING CURING COMPOUNDS, SILICATE PENETRATING CURING COMPOUNDS, HARDENING OR PARTING COMPOUNDS, ALKALINE SALTS, EXCESSIVE CARBONATION OR LAITANCE, MOLD, MILDEW, & OTHER FOREIGN MATERIALS WHICH MAY AFFECT THE RATE OF MOISTURE DISSIPATION FROM THE CONCRETE OR THE ADHESION OF THE NEW FLOORING TO THE CONCRETE FLOOR (EXISTING OR NEW).

27 CONTRACTOR TO PROTECT EXISTING AREAS TO PREVENT DUST, DEBRIS & OTHER REFUSE FROM ENTERING OTHER AREAS DURING DEMOLITION. PROVIDE DUST BARRIER AROUND ALL AREAS UNDER CONSTRUCTION.

28 CONTRACTOR TO CONTACT CONSULTANT TO REVIEW SITE DURING DEMOLITION TO VERIFY EXISTING CONDITIONS. CONTRACTOR TO PROVIDE MINIMUM 24 HOURS NOTICE FOR INSPECTION.

29 CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE BUILDING INSPECTOR TO REVIEW THE WORK IN PROGRESS.

30 WHERE NEW WORK CONNECTS WITH EXISTING & WHERE EXISTING WORK IS ALTERED, ALL NECESSARY CUTTING & FITTING REQUIRED TO MAKE SATISFACTORY CONNECTIONS WITH THE EXISTING WORK SHALL BE PERFORMED BY THE CONTRACTOR SO AS TO LEAVE THE ENTIRE WORK IN A FINISHED CONDITION.

31 SEAL & FIRESTOP ALL WALL, FLOOR, CEILING & ROOF PENETRATIONS THROUGH FIRE RATED ASSEMBLIES WITH THE APPROPRIATE U.L.C. OR BUILDING CODE APPROVED MATERIALS TO MAINTAIN THE APPROPRIATE FIRE RESISTANCE RATING.

32 DRAWINGS ARE IN PART SCHEMATIC & ARE INTENDED TO CONVEY THE SCOPE OF WORK & TO INDICATE THE GENERAL & APPROXIMATE LOCATION & ARRANGEMENT OF THE WORK. CONTRACTOR TO OBTAIN ACCURATE INFORMATION ABOUT LOCATION ARRANGEMENT & SIZES BY COORDINATING DRAWINGS WITH THE SITE CONDITIONS.

33 PLANS OF EXISTING CONDITIONS ARE PROVIDED FOR INFORMATION ONLY & MUST BE VERIFIED BY THE CONTRACTOR.

34 CONTRACTOR SHALL SUBMIT FOR APPROVAL, PROPOSED METHOD OF ACCESS TO SITE & BUILDING, STORAGE OF MATERIALS & LOCATION OF GARBAGE BINS, PORTABLE TOILETS, & SITE TRAILERS BEFORE STARTING SCOPE OF WORK.

35 CONTRACTOR TO MAINTAIN A LIST OF ALL HAZARDOUS MATERIALS PROPOSED FOR USE ON SITE OR WORKPLACE.

36 SMOKING ON SITE IS NOT PERMITTED EXCEPT IN AREAS DESIGNATED BY THE OWNER.

37 NOTE THAT THE PREMISES MAY OR MAY NOT BE OCCUPIED DURING CONSTRUCTION, THEREFORE IT IS ESSENTIAL THAT UNIMPEDED ACCESS TO THE EXISTING BUILDING BE MAINTAINED AT ALL TIMES.

38 CONTRACTOR SHALL PROVIDE & MAINTAIN SANITARY PORTABLE TOILETS FOR THE DURATION OF CONSTRUCTION FOR THE USE OF THE CONSTRUCTION PERSONNEL (UNLESS OTHERWISE PROVIDED BY THE OWNER).

39 CONTRACTOR SHALL ARRANGE WITH THE OWNER FOR USE OF EXISTING ELECTRICAL SERVICE, TO THE EXTENT THAT THERE IS SUFFICIENT CAPACITY, TO AVOID OVERLOADING OF CIRCUITS. WHERE CAPACITY IS INSUFFICIENT, CONTRACTOR IS TO PROVIDE TEMPORARY ELECTRICAL SERVICE.

40 CLEANING OF THE INTERIOR & EXTERIOR CONSTRUCTION AREAS SHALL INCLUDE BUT NOT BE LIMITED TO:
-THE REMOVAL OF RUBBISH AND/OR OTHER UNSIGHTLY MATERIAL OR DEBRIS.
-THE REMOVAL OF DUST AND/OR OTHER DEBRIS BY BRUSHING, SWEEPING AND/OR OTHER SUITABLE METHODS.

41 FINAL CLEANING OF ALL AREAS AFFECTED BY THE CONSTRUCTION SHALL INCLUDE BUT NOT BE LIMITED TO VACUUMING, WASHING & POLISHING OF FLOORS, CLEANING OF GLASS SURFACES & OTHER MEASURES DEEMED ACCEPTABLE BY THE OWNER.

42 A LIST OF ALL CONTRACTOR & SUB-CONTRACTOR PERSONNEL ON SITE MUST BE FORWARDED TO THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.

43 CONTRACTOR TO KEEP A COPY OF ALL LITERATURE, DELIVERY WAYBILLS, & WARRANTIES FOR ALL NEW PRODUCTS USED AS PART OF THE SCOPE OF WORK.

44 CONTRACTOR MUST POST BUILDING PERMIT SIGN (IF APPLICABLE) IN AN UNOBSTRUCTED LOCATION & MUST HAVE THE PERMIT DRAWINGS (STAMPED BY THE AUTHORITIES HAVING JURISDICTION) PRESENT ON SITE AT ALL TIMES.

45 CONTRACTOR TO KEEP AN ACCURATE ACCOUNT OF SITE CHANGES NOTED IN RED INK ON THE SITE CONSTRUCTION DRAWINGS TO FORM THE BASIS FOR THE "AS-BUILT" DRAWING TO LATER BE SUBMITTED TO THE DESIGNER FOR "RECORD DRAWING" ISSUANCE.

46 WHEN ONE WALL FINISH IS INDICATED WITHIN AN ENCLOSED AREA, THIS FINISH MUST BE APPLIED TO ALL WALLS, INCLUDING VERTICAL BULKHEADS, PERIMETER WALLS & COLUMNS, UNLESS OTHERWISE NOTED.

47 ALL FINISHES TO BE PURCHASED BY CONTRACTOR. PROVIDE ALL LABOUR, MATERIALS, PRODUCTS, EQUIPMENT & SERVICES REQUIRED TO INSTALL THE FINISHES AS INDICATED ON THE DRAWINGS & FINISH SCHEDULE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

48 IN THE EVENT OF UNAVAILABILITY OF A SPECIFIED PRODUCT SUBJECT TO WRITTEN PERMISSION OBTAINED FROM CONSULTANT, CONTRACTOR ENSURES THAT SUBSTITUTIONS CAN BE BOTH PHYSICALLY AND DIMENSIONALLY INCORPORATED IN THE WORK WITH NO LOSS OF INTENDED FUNCTION OR CONSTRUCTION TIME AND AT NO ADDITIONAL COST TO THE OWNER.

49 ALL EXPOSED METALWORK IS TO BE EITHER GALVANIZED OR STAINLESS STEEL OR DURABLE NON-FERROUS UNLESS SPECIFIED OTHERWISE.

50 THE EXPOSED ENDS OF CUT GALVANIZED MATERIALS ARE TO BE PROPERLY TREATED TO PREVENT OXIDATION, DETERIORATION OR STAINING.

51 ALL PARTITIONS ARE TO BE CHALKED ON SITE & APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT WHEN MARKINGS ARE READY FOR INSPECTION. CONTRACTOR TO PROVIDE A MINIMUM OF 24 HOURS NOTICE FOR INSPECTION.


52 WALLS ENDING AT EXTERIOR GLAZING ARE TO BE SEALED OFF IN AN APPROPRIATE MANNER AT NEAREST MULLION OR COLUMN UNLESS OTHERWISE SPECIFIED ON THE DRAWING.

53 SUBMIT SHOP DRAWINGS SHOWING CONSTRUCTION/ASSEMBLY DETAILS FOR ALL CUSTOM DOORS, FRAMES, MILLWORK & CABINET WORK ITEMS TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION & ORDERING OF MATERIALS. CONTRACTOR TO REVIEW SHOP DRAWINGS & STAMP AS REVIEWED PRIOR TO SUBMITTING TO ARCHITECT.

54 CONTRACTOR TO ENSURE SUFFICIENT BLOCKING IS PROVIDED IN ALL AREAS FOR SUPPORT OF WALL OR CEILING MOUNTED EQUIPMENT OR MATERIAL (MOLDINGS, MILLWORK, COAT HOOKS, SECURITY EQUIPMENT, WALL MOUNTED OUTLETS, SPECIAL EQUIPMENT, ETC)

55 THE CONTRACTOR SHALL SUBMIT THE FOLLOWING FOR REVIEW & APPROVAL PRIOR TO THE COMMENCEMENT OF WORK:
-CERTIFICATES OF INSURANCE
-BONDS
-DETAILED BAR GRAPH FORMAT WORK SCHEDULE
-SAMPLES OF ALL SPECIFIED MATERIALS
-SHOP DRAWINGS & PRODUCT DATA
-COLOUR SAMPLES
-STATUTORY DECLARATION
-WORKPLACE SAFETY & INSURANCE BOARD CLEARANCE CERTIFICATE

56 GENERAL CONTRACTOR TO ENSURE THAT ALL SUB-CONTRACTORS REVIEW THE COMPLETE TENDER PACKAGE TO CAPTURE ALL ELEMENTS IN THE SCOPE OF WORK AS THEY PERTAIN TO THEIR DISCIPLINES FOR PRICING. GENERAL CONTRACTOR SHALL ENSURE THAT ALL SUB-CONTRACTORS HAVE THE LATEST COPY OF THE ARCHITECTURAL DRAWINGS TO GOVERN THEIR DIMENSIONS & DETAILS DURING THE WORK. REPORT ANY DISCREPANCIES BETWEEN VARIOUS CONSULTANTS' DRAWINGS IMMEDIATELY TO THE CONSULTANT. DO NOT PROCEED WITH THE WORK OF ANY TRADE UNTIL THE DISCREPANCIES HAVE BEEN RESOLVED.


Name of Practitioner: DEBORTOLI DESIGN INC. 8 Selvapiano Crescent Vaughan, Ontario L4H 0X2			
Certificate of Practice Number: 5121			
Name of Project: GHQ PROV COMMANDER RENOVATION			
Location: 777 MEMORIAL AVE ORILLIA, ONTARIO, L3V 6H1			
Item	Ontario Building Code Data Matrix Parts 3 or 9	Building Code Reference References are to Division B unless noted [A] for Division A or [C] for Division C.	
1	Project Description: INTERIOR RENOVATION TO OFFICE AREA = 197.10 sq. m.	<input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Change of Use <input checked="" type="checkbox"/> Alteration	<input checked="" type="checkbox"/> Part 11 11.1 to 11.4 <input checked="" type="checkbox"/> Part 3 1.1.2. [A] <input type="checkbox"/> Part 9 1.1.2. [A] & 9.10.1.3
2	Major Occupancy(s) GROUP D		3.1.2.1.(1) 9.10.2.
3	Building Area (m ²) Existing 8,502.63 , New 0 , Total 8,502.63		1.4.1.2. [A] 1.4.1.2. [A]
4	Gross Area 50,379 , New 0 , Total 50,379		1.4.1.2. [A] 1.4.1.2. [A]
5	Number of Storeys Above grade 2 , Below grade 1		1.4.1.2. [A] & 3.2.1.1. 1.4.1.2.[A] & 9.10.4
6	Occupant Load Based on: <input type="checkbox"/> m ² /person, <input checked="" type="checkbox"/> design of building = 10		3.1.1.7.1.(1)(c)(i) 9.9.1.3.
NO CHANGE IN OCCUPANCY			
EXISTING SPRINKLERED BUILDING			
Ontario Building Code Data Matrix, Part 11 – Renovation of Existing Building		Building Code Reference	
11.1	Existing Building classification: Describe Existing Use: Group D - Business & Personal Services Construction Index: _____ Hazard Index: _____ Importance Category : _____ <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy)		11.2.1 T 11.2.1.1A T 11.2.1.1B to N 4.2.1.(3) & 5.2.2.1.(2)
11.2	Alteration to Existing Building is: Basic Renovation <input checked="" type="checkbox"/> Extensive Renovation <input type="checkbox"/>		11.3.3.1 11.3.3.2
11.3	Reduction in Performance Level: Structural: By Increase in occupant load: By change of major occupancy: Plumbing: Sewage-system:	<input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5 11.4.2.6
11.4	Compensating Construction: Structural: Increase in occupant load: Changes of major occupancy: Plumbing: Sewage system:	<input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) <input type="checkbox"/> Yes (explain) <input type="checkbox"/> Yes (explain) <input type="checkbox"/> Yes (explain)	11.4.3 11.4.3.2 11.4.3.4 11.4.3.5 11.4.3.6
11.5	Compliance Alternatives Proposed: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (give number(s))		11.5.1
11.6	Alternative Measures Proposed: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (give number(s))		11.5.2



04	ISSUED FOR PERMIT/ TENDER	2024-08-21
03	ISSUED FOR 99% DESIGN REVIEW	2024-07-10
02	ISSUED FOR 66% DESIGN REVIEW	2024-05-06
01	ISSUED FOR 33% DESIGN REVIEW	2024-04-16

No Revisions Date

Orientation Seal



The Contractor shall check and verify all dimensions and report all errors and omissions to the IO-Owner's/MBS Designee (as applicable) for his/her written direction before proceeding with the Work.

A Detail No
B Sheet No where detailed



AMIS N B

Project
GHQ PROV COMMANDER RENOVATION

Location
777 MEMORIAL AVE,
ORILLIA, ONTARIO

O. Project No. Site No. Building No.
1105199 N06689 B25370

Client
ONTARIO PROVINCIAL POLICE

Drawing Title
GENERAL NOTES & OBC DATA MATRIX

Scale AS SHOWN	Date 2024-08-21
Drawn by AAK	Substantial Performance Date
Designed by AAK/GD	Drawing No A4 of 4
Approved by GD	CADD File NAME PERMIT/TENDER