

1 BUILDING KEY PLAN - FOURTH FLOOR
SCALE 1/32" = 1'-0"

DEMOLITION NOTES

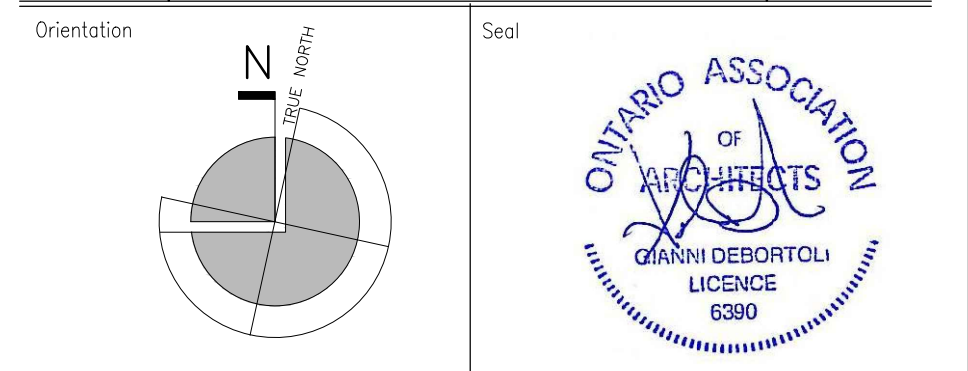
- x1 EXISTING WALLS/DOORS/FRAMES TO BE DEMOLISHED & DISPOSED. PATCH/REPAIR/PAINT ALL AFFECTED SURFACES BY DEMO TO MATCH EXISTING SURFACES. PREP FOR NEW FINISHES AS PER FINISHES PLAN.
- x2 ALL EXISTING FURNITURE/FILING CABINETS/STORAGE ETC. DEEMED NON-ESSENTIAL, TO BE REMOVED / STORED BY GC AS PER OWNER DIRECTION.
- x3 EXISTING POWER POLE TO BE RELOCATED.
- x4 EXISTING BOARDROOM FURNITURE TO BE RELOCATED TO EAST-SIDE OF BOARDROOM TO PREP FOR DEMOLITION.
- x5 EXISTING DISASSEMBLED DESKS TO BE DISPOSED OF.
- x6 EXISTING SEATING TO BE RELOCATED.
- x7 EXISTING BOARDROOM FURNITURE TO BE REMOVED.
- x8 EXISTING SYSTEM FURNITURE WICKETS TO BE REMOVED (TOTAL OF 4). SYSTEM FURNITURE PARTITION WALL PANELS TO BE SALVAGED FOR REINSTALLATION (24 LF). PATCH & REPAIR ALL SURFACES AFFECTED BY DEMO & PREP WALL/FLOOR TO ACCEPT NEW WALL/FLOOR FINISHES.
- x9 EXISTING CARPET TO BE REMOVED.

EXISTING T-BAR CEILING THROUGHOUT THE SCOPE OF WORK TO REMAIN.
MODIFY EXISTING T-BAR CEILING TO SUIT NEW PARTITION WORK.
SALVAGE ALL CEILING TILES AFFECTED BY SCOPE OF WORK FOR RE-INSTALL. GC TO INCLUDE FOR REPLACEMENT CEILING TILES QUANTITY TBD.

NOT IN SCOPE

2 EXISTING/DEMOLITION PLAN - FOURTH FLOOR
SCALE 3/16" = 1'-0"

03	ISSUED FOR PERMIT/TENDER	2024-09-12
02	ISSUED FOR 99% DESIGN REVIEW	2024-08-12
01	ISSUED FOR 33% DESIGN REVIEW	2024-07-11
No	Revisions	Date



The Contractor shall check and verify all dimensions and report all errors and omissions to the IO-Owner's/MBS Designee (as applicable) for his/her written direction before proceeding with the Work.

A	A Detail No
B	B Sheet No where detailed



AMIS N B
Project
SERVICE ONTARIO FIT-UP

Location
47 SHEPPARD AVE. E.
NORTH YORK, ONTARIO
IO Project No. 1094550 Site No. B20289

Client
MINISTRY OF ATTORNEY GENERAL

Drawing Title
EXISTING -- DEMOLITION
FOURTH FLOOR PLAN

Scale AS SHOWN	Date 2024-09-12
Drawn by CS	Substantial Performance Date
Designed by CS/GD	Drawing No A1
Approved by GD	of 10

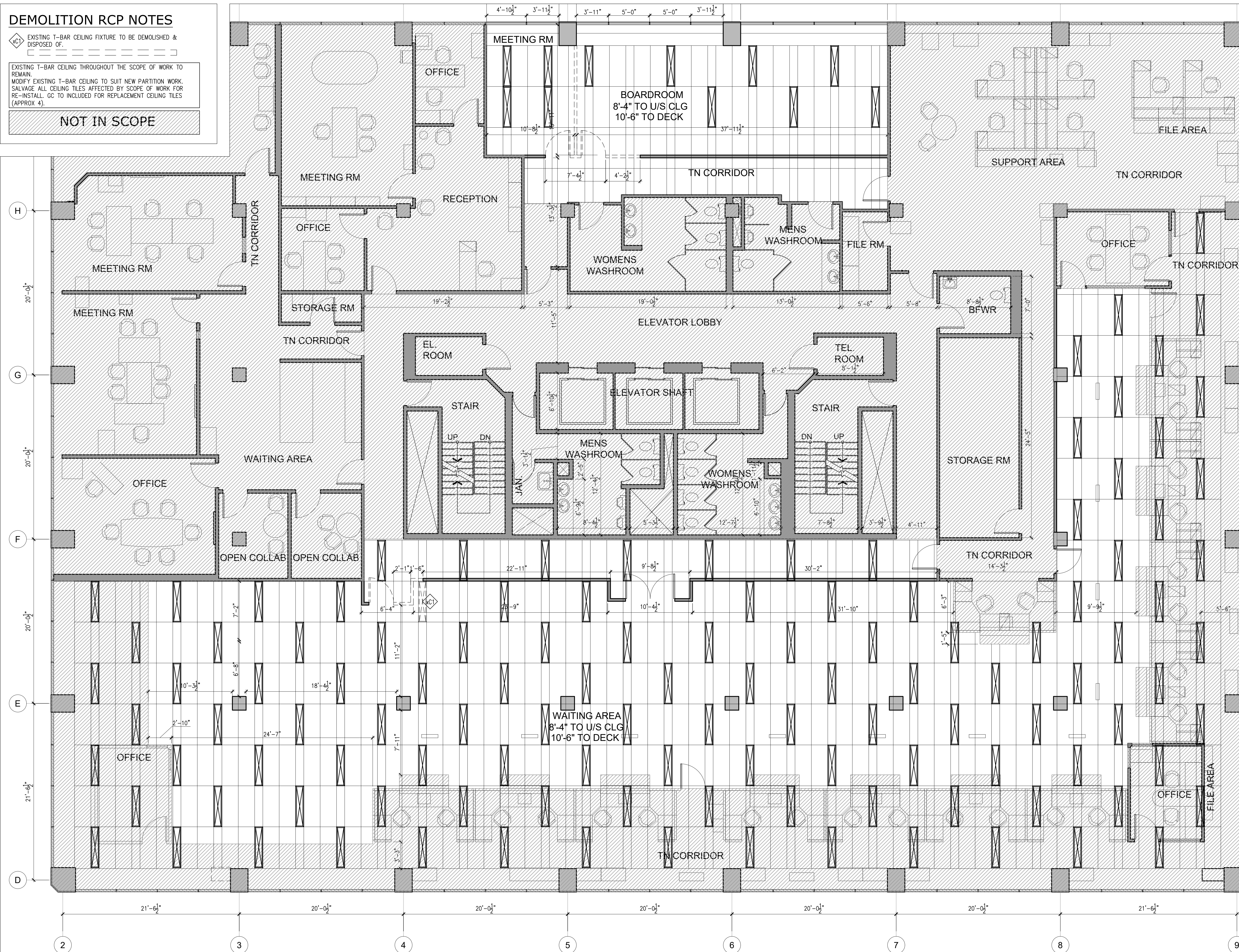
CADD File NAME PERMIT/TENDER

DEMOLITION RCP NOTES

EXISTING T-BAR CEILING FIXTURE TO BE DEMOLISHED & DISPOSED OF.

EXISTING T-BAR CEILING THROUGHOUT THE SCOPE OF WORK TO REMAIN.
 MODIFY EXISTING T-BAR CEILING TO SUIT NEW PARTITION WORK.
 SALVAGE ALL CEILING TILES AFFECTED BY SCOPE OF WORK FOR RE-INSTALL GC TO INCLUDED FOR REPLACEMENT CEILING TILES (APPROX 4).

NOT IN SCOPE



1 A2 EXISTING/DEMOLITION RCP - FOURTH FLOOR
 SCALE: 3/16" = 1'-0"

03	ISSUED FOR PERMIT/TENDER	2024-09-12
02	ISSUED FOR 99% DESIGN REVIEW	2024-08-12
01	ISSUED FOR 33% DESIGN REVIEW	2024-07-11
No	Revisions	Date

Orientation

Seal

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B	B Sheet No where detailed



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Project
 SERVICE ONTARIO FIT-UP

Location
 47 SHEPPARD AVE. E.
 NORTH YORK, ONTARIO

IO Project No
 1094550

Site No
 B20289

Client
 MINISTRY OF ATTORNEY GENERAL

Drawing Title
 EXISTING - DEMOLITION
 REFLECTED CEILING PLAN

Scale AS SHOWN	Date 2024-09-12
Drawn by CS	Substantial Performance Date
Designed by CS/GD	Drawing No A2
Approved by GD	of 10

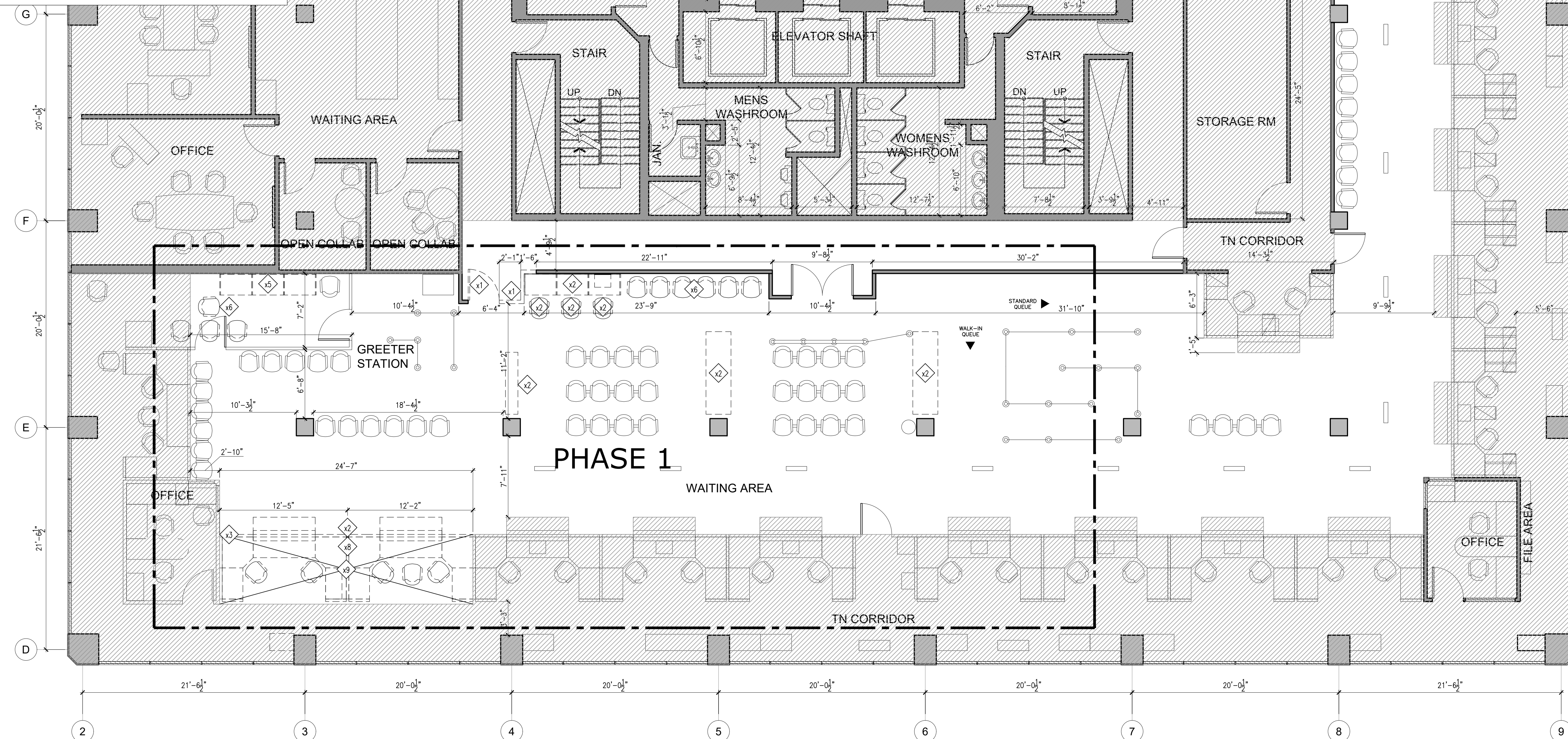
CADD File NAME PERMIT/TENDER

DEMOLITION NOTES

- x1 EXISTING WALLS/DOORS/FRAMES TO BE DEMOLISHED & DISPOSED. PATCH/REPAIR/PAINT ALL AFFECTED SURFACES BY DEMO TO MATCH EXISTING SURFACES. PREP FOR NEW FINISHES AS PER FINISHES PLAN.
- x2 ALL EXISTING FURNITURE/FILING CABINETS/STORAGE ETC. DEEMED NON-ESSENTIAL, TO BE REMOVED / STORED BY GC AS PER OWNER DIRECTION.
- x3 EXISTING POWER POLE TO BE RELOCATED.
- x4 EXISTING BOARDROOM FURNITURE TO BE RELOCATED TO EAST-SIDE OF BOARDROOM TO PREP FOR DEMOLITION.
- x5 EXISTING DISASSEMBLED DESKS TO BE DISPOSED OF.
- x6 EXISTING SEATING TO BE RELOCATED.
- x7 EXISTING BOARDROOM FURNITURE TO BE REMOVED.
- x8 EXISTING SYSTEM FURNITURE WICKETS TO BE REMOVED (TOTAL OF 4). SYSTEM FURNITURE PARTITION WALL PANELS TO BE SALVAGED FOR REINSTALLATION (24 LF). PATCH & REPAIR ALL SURFACES AFFECTED BY DEMO & PREP WALL/FLOOR TO ACCEPT NEW WALL/FLOOR FINISHES.
- x9 EXISTING CARPET TO BE REMOVED.

EXISTING T-BAR CEILING THROUGHOUT THE SCOPE OF WORK TO REMAIN. MODIFY EXISTING T-BAR CEILING TO SUIT NEW PARTITION WORK. SALVAGE ALL CEILING TILES AFFECTED BY SCOPE OF WORK FOR RE-INSTALL. GC TO INCLUDE FOR REPLACEMENT CEILING TILES QUANTITY TBD.

NOT IN SCOPE



1 EXISTING/DEMOLITION PLAN - FOURTH FLOOR | PHASING PLAN
 A3 SCALE: 3/16" = 1'-0"

03	ISSUED FOR PERMIT/TENDER	2024-09-12
02	ISSUED FOR 99% DESIGN REVIEW	2024-08-12
01	ISSUED FOR 33% DESIGN REVIEW	2024-07-11
No	Revisions	Date

Orientation: Seal:

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A	A Detail No
B	B Sheet No where detailed

AMIS N B
 Project: SERVICE ONTARIO FIT-UP

Location: 47 SHEPPARD AVE. E., NORTH YORK, ONTARIO
 IO Project No: 1094550 Site No: B20289

Client: MINISTRY OF ATTORNEY GENERAL

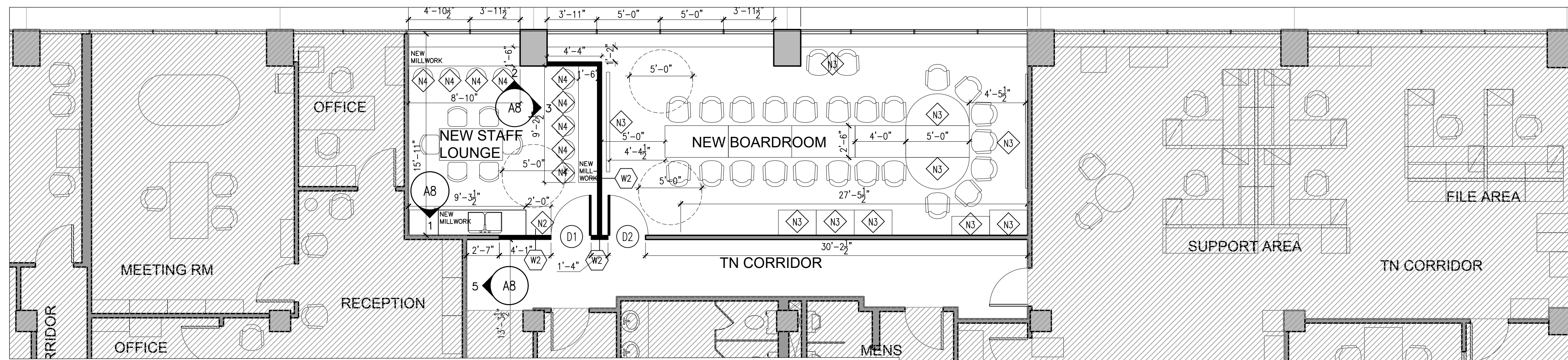
Drawing Title: EXISTING - DEMOLITION PHASING PLAN

Scale: AS SHOWN	Date: 2024-09-12
Drawn by: CS	Substantial Performance Date:
Designed by: CS/GD	Drawing No: A3
Approved by: GD	of 10

CONSTRUCTION SCHEDULE/NOTES

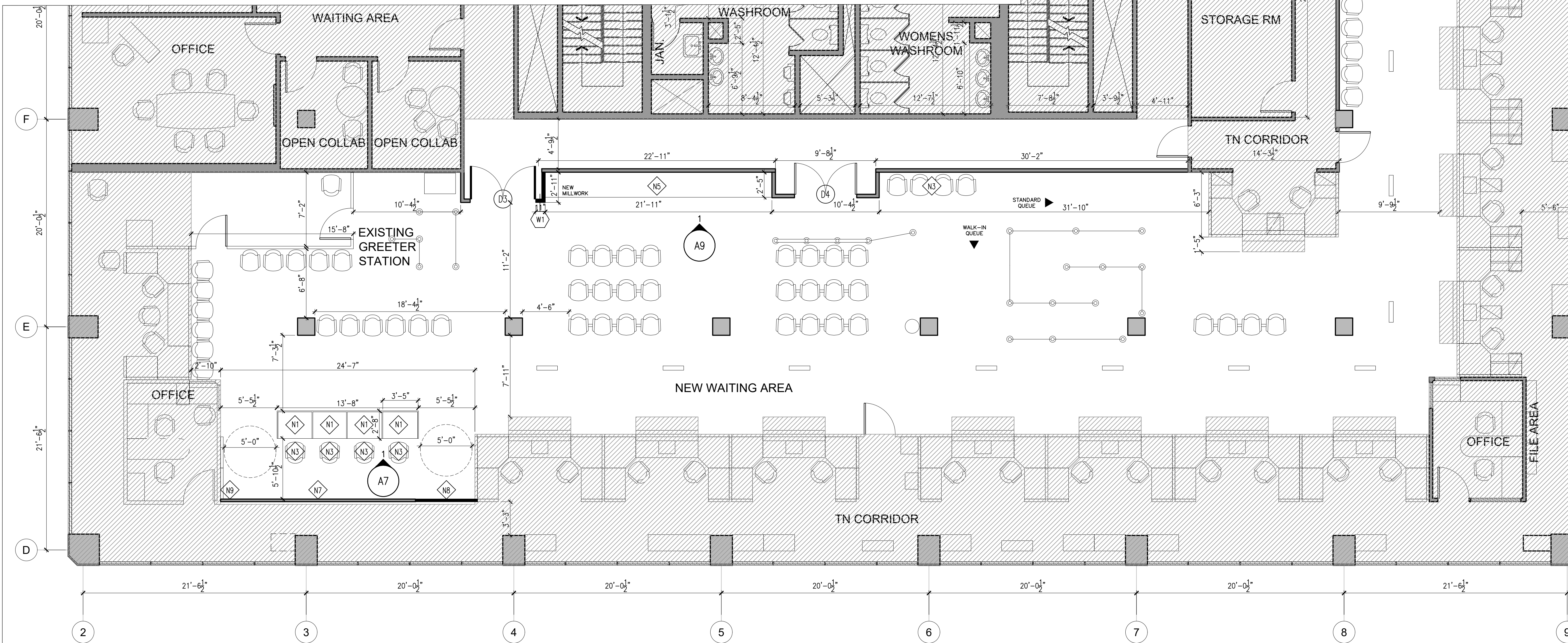
- INCLUDE FOR ALL BLOCKING REQUIRED FOR MILLWORK, ELECTRICAL, SECURITY, QMATIC & MECHANICAL WORK.
- COORDINATE & PREP ALL DOORS WITH THE ELECTRICAL REQUIREMENTS NOTED ON THE ELECTRICAL DRAWINGS.
- W1** NEW ACOUSTIC PARTITION WALL (TO U/S CEILING)
 - 1 LAYER OF 5/8" GYPSUM BOARD
 - 3 5/8" METAL STUDS SPACED @ 16" o.c.
 - 3" SOUND BATT INSULATION
 - 1 LAYER OF 5/8" GYPSUM BOARD
- W2** NEW ACOUSTIC PARTITION WALL (TO U/S DECK)
 - 1 LAYER OF 5/8" GYPSUM BOARD
 - 3 5/8" METAL STUDS SPACED @ 16" o.c.
 - 3" SOUND BATT INSULATION
 - 1 LAYER OF 5/8" GYPSUM BOARD
- N1** NEW SYSTEM FURNITURE SELF-SERVE STATIONS BY [GLOBAL] TO BE INSTALLED (TOTAL OF 4) AND FASTENED TO FLOOR.
- N2** NEW MILLWORK KITCHENETTE TO BE INSTALLED.
- N3** EXISTING FURNITURE TO BE RELOCATED FOLLOWING CONSTRUCTION.
- N4** NEW BAR-HEIGHT STAFF ROOM CHAIRS.
- N5** NEW MILLWORK SERVICE COUNTER TO BE INSTALLED.
- N6** NEW MILLWORK BAR TABLE TO BE INSTALLED.
- N7** EXISTING SYSTEM FURNITURE PARTITION WALL PANELS TO BE REINSTALLED.
- N8** NEW SYSTEM FURNITURE PARTITION WALL PANELS BY [TEKNON] TO BE INSTALLED. (TOTAL 6 LINEAR FEET)
- N9** EXISTING POWER POLE TO BE RELOCATED.

-PATCH/REPAIR/PAINT ALL WALLS/FLOORS/CEILINGS AFFECTED BY ALL ARCHITECTURAL & MECHANICAL & ELECTRICAL WORK.
 -INCLUDE FOR PATCHING/PAINTING (TAPED/SANDED/PAINT) FOR ALL EXISTING WALL/CEILING PENETRATIONS.
 -GC TO ENSURE STORAGE OF EXISTING FURNITURE IS KEPT FREE OF DUST WHEREVER POSSIBLE.
 -ALL CONSTRUCTION DUST TO BE KEPT TO A MINIMUM. GC TO COVER VENTS IF NECESSARY.

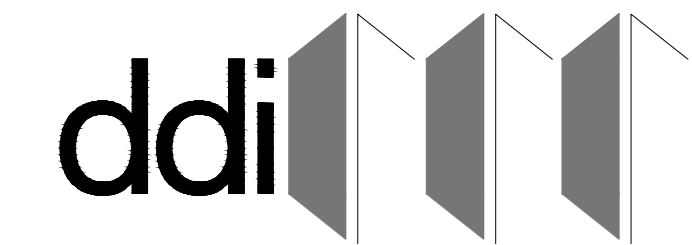


DOOR & HARDWARE SCHEDULE 2024-07-26

DOORS	FRAME	HARDWARE	COMMENTS
D1 A	965 2134 45 HM PT	45 HM PT	• INDICATES NEW (COMMERCIAL MEDIUM DUTY HARDWARE). -[RECOMMENDED MANUFACTURER]. -ALL DOORS TO BE UNDERCUT 1/2" UNLESS OTHERWISE NOTED. -ALL HARDWARE TO BE FIRE RATED TO MATCH DOOR FIRE RATING (WHERE APPLICABLE)
D2 A	965 2134 45 HM PT	45 HM PT	
D3 B	965 x 2 2134 45 HM PT	45 HM PT	
D4 EX	915 x 2 2134 45 EX EX	45 EX EX	
AL	Aluminum	PT	Painted (shop painted / semi-gloss)
AN	Anodized	CLF	Chain Link fence
BF	Bi-Fold	PH	Pivot Hinge
BI	Bifold	PLAM	Plastic Laminate
EX	Existing	SS	Stainless Steel
GL	Glass	FG	Fixed Glazing
HM	Hollow Metal (20 ga.)	PI	Pivot Hinge
HWC	Hollow Wood Core	PLAM	Plastic Laminate
LAM	Laminated	GA	Galvanized
PC	PC 350		
PKT	Pocket		
ST	Steel		
STN	Stained		
SW	Solid Wood Core		

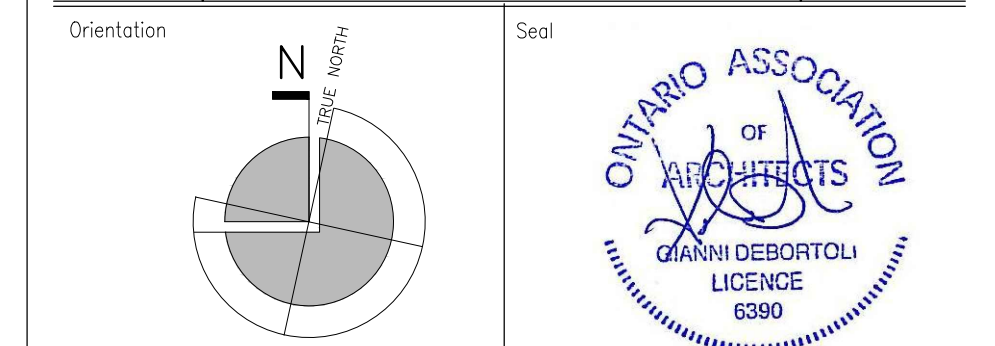


1 PROPOSED PLAN - FOURTH FLOOR
 A4 SCALE: 3/16" = 1'-0"



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No	Revisions	Date
03	ISSUED FOR PERMIT/TENDER	2024-09-12
02	ISSUED FOR 99% DESIGN REVIEW	2024-08-12
01	ISSUED FOR 33% DESIGN REVIEW	2024-07-11



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- A** Detail No
- B** Sheet No where detailed



AMIS N B

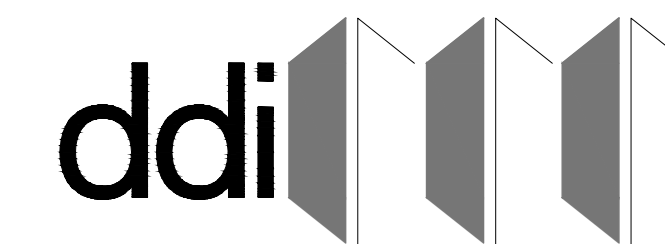
Project: SERVICE ONTARIO FIT-UP

Location: 47 SHEPPARD AVE. E. NORTH YORK, ONTARIO
 IO Project No: 1094550 Site No: B20289

Client: MINISTRY OF ATTORNEY GENERAL

Drawing Title: PROPOSED FOURTH FLOOR PLAN

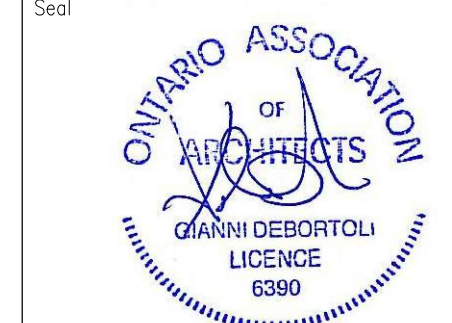
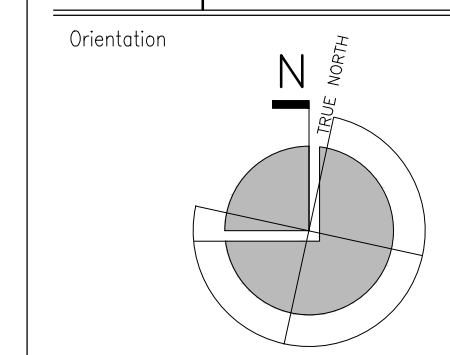
Scale: AS SHOWN	Date: 2024-09-12
Drawn by: CS	Substantial Performance Date:
Designed by: CS/GD	Drawing No: A4
Approved by: GD	of 10



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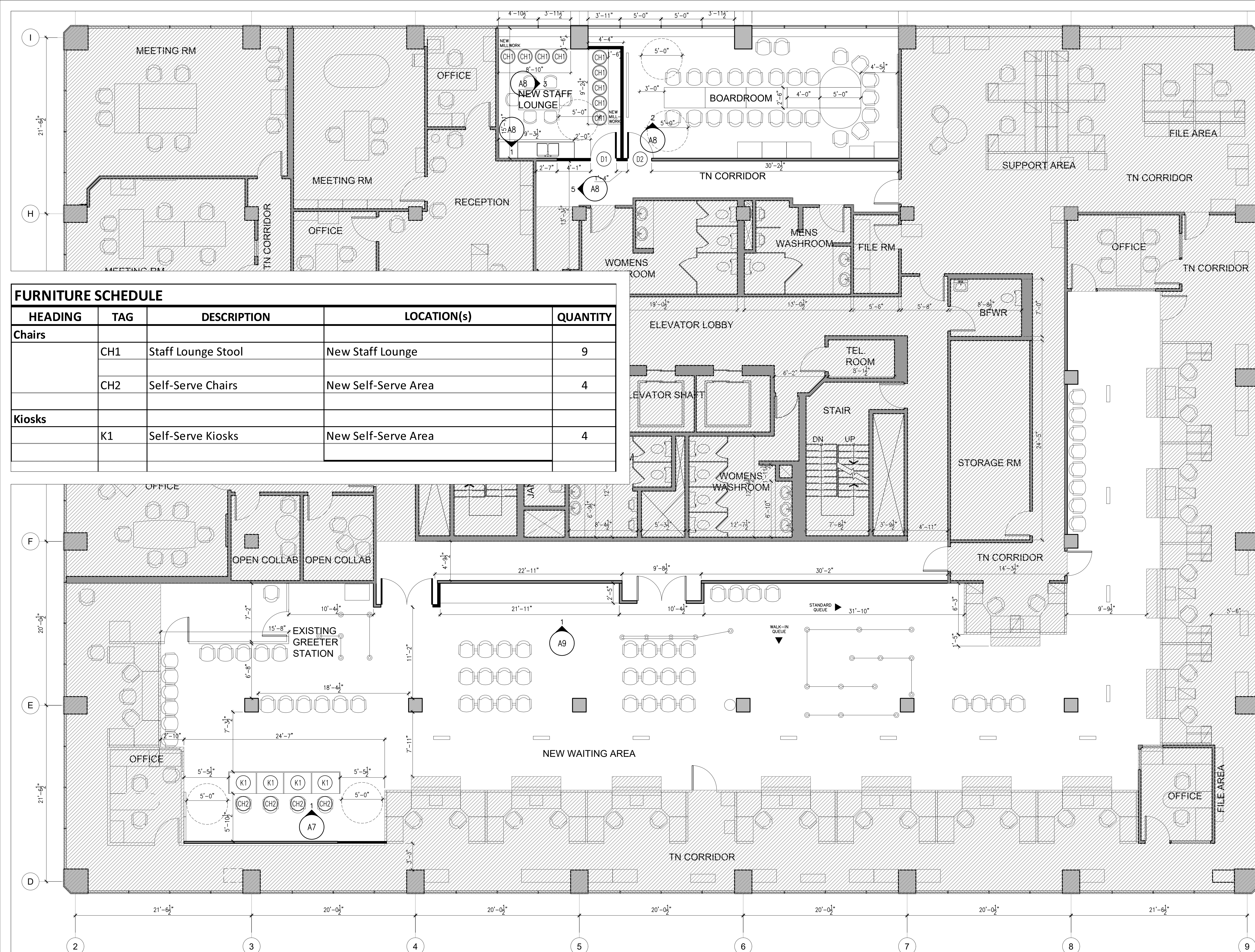
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- B Sheet No where detailed



HEADING	TAG	DESCRIPTION	LOCATION(S)	QUANTITY
Chairs	CH1	Staff Lounge Stool	New Staff Lounge	9
	CH2	Self-Serve Chairs	New Self-Serve Area	4
Kiosks	K1	Self-Serve Kiosks	New Self-Serve Area	4

1 PROPOSED FURNITURE PLAN - FOURTH FLOOR
A5 SCALE: 3/16" = 1'-0"



AMIS N B
Project SERVICE ONTARIO FIT-UP

Location 47 SHEPPARD AVE. E.
NORTH YORK, ONTARIO
IO Project No 1094550 Site No B20289

Client MINISTRY OF ATTORNEY GENERAL

Drawing Title PROPOSED FOURTH FLOOR FURNITURE PLAN

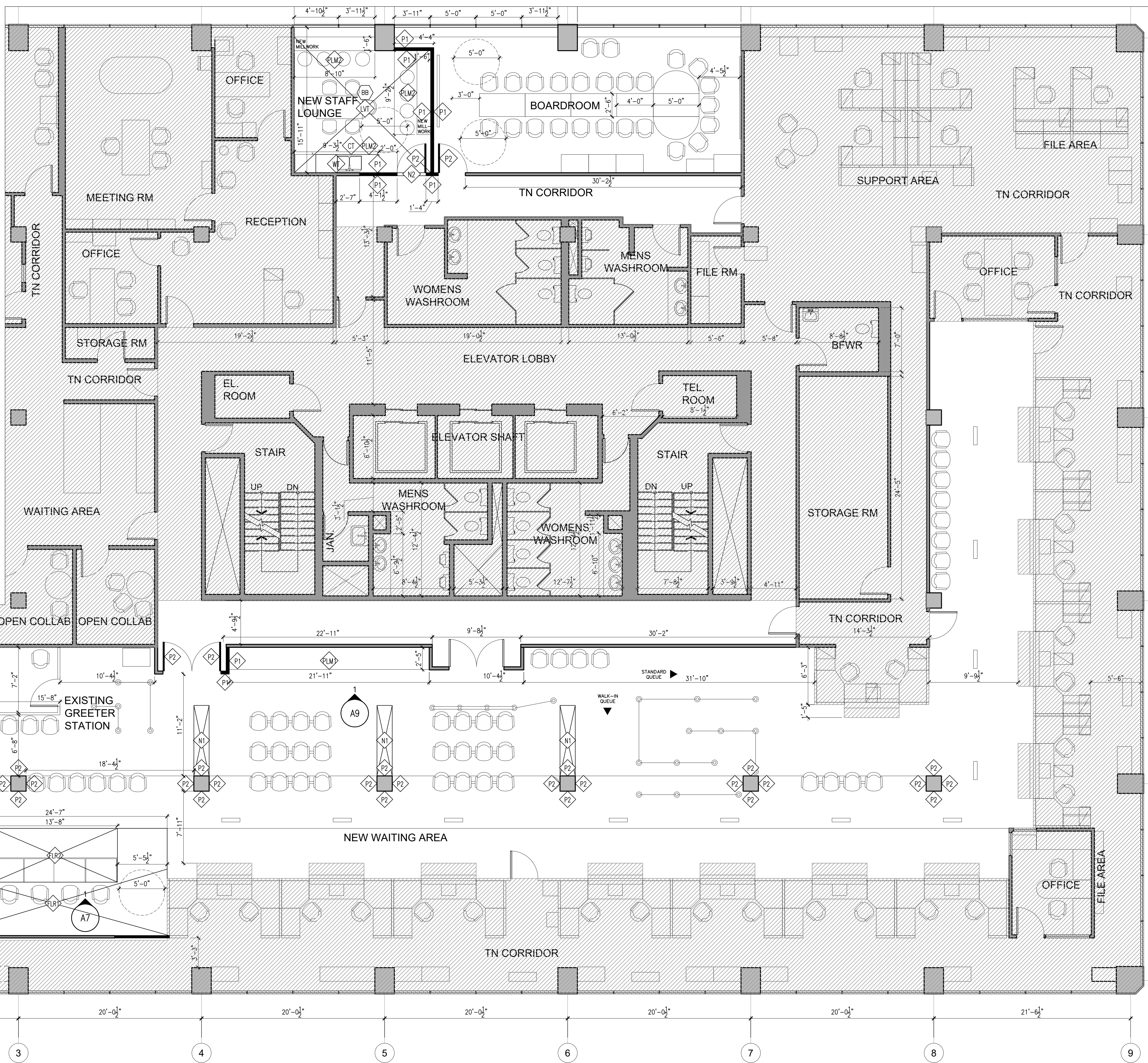
Scale AS SHOWN	Date 2024-09-12
Drawn by CS	Substantial Performance Date
Designed by CS/GD	Drawing No A5
Approved by GD	of 10

CADD File NAME PERMIT/TENDER

FINISHES SCHEDULE

PAINT ALL WALLS, DOORS, BULKHEADS, ACCESS HATCHES, WINDOW SILLS WHERE DAMAGE/DEMOLITION HAS OCCURED & WHERE PROPOSED WALLS ARE INSTALLED TO MATCH EXISTING ADJACENT FINISHES. 1 COAT PRIME, 2 FINISH COATS. WALLS/BULKHEADS TO BE EGGSHELL. DOORS/FRAMES TO BE SEMI-GLOSS. GC TO INCLUDE FOR NEW FLOORING TO MATCH EXISTING ADJACENT FLOOR FINISH WHEREVER REMOVAL/DAMAGE OCCURS THROUGHOUT SCOPE OF WORK.

- P1** PAINT [SHERWIN WILLIAMS] TO MATCH EXISTING WALL COLOUR.
- P2** PAINT [SHERWIN WILLIAMS] TO MATCH EXISTING DOOR COLOUR/ACCENT WALL COLOUR.
- P3** PAINT (ACCENT COLOUR) [SHERWIN WILLIAMS] NATURE GREEN SW 6451. TO MATCH KIOSK PRIVACY SCREEN COLOUR.
- LVT** LUXURY VINYL TILE [INTERFACE] A00207 WASHED WHEAT
- FLM1** PLASTIC LAMINATE [FORMICA] BLUE FELT 9320 MATTE
- FLM2** PLASTIC LAMINATE [FORMICA] WHEAT STRAND 6212
- CT** CONTINUOUS COUNTERTOP [LX HAUSYS] HI-MACS G1949 POPULUS
- BB** MATERIAL: RUBBER BASEBOARD
MANUFACTURER: [JOHNSONITE]
TYPE: TO MATCH EXISTING
- WT** WALL TILE [COT] FOGL0312POL GLASS POLAR WHITE 7.5 CM X 30 CM
- FLR1** VINYL SHEET FLOORING (BLUE) MATCH EXISTING ADJACENT FLOOR FINISH
- FLR2** VINYL SHEET FLOORING (GREY) MATCH EXISTING ADJACENT FLOOR FINISH
- B** SINK BASIN [FRANKE CS] PESCARA DOUBLE BOWL UNDERMOUNT SINK
- FCT** KITCHEN SINK FAUCET [AMERICAN STANDARD] HANDS-FREE PULL-DOWN 4931-380 BEALE
- DRH** CABINET DOOR HANDLE [RICHELIEU] BRUSHED NICKEL 8728-128195
- SDP** SOAP DISPENSER [TORK] STAINLESS STEEL W/ INTUITION SENSOR 466100
- PTD** PAPER TOWEL DISPENSER [AMERICAN SPECIALTIES] PETITE MULTI C-FOLD SURFACE MOUNT 0215
- N1** PATCH & REPAIR FLOORING WHERE FORMS FILLING COUNTERS HAVE BEEN REMOVED.
- N2** INSTALL RUBBER TRANSITION STRIP AT BASE OF DOOR..



1 PROPOSED FINISHES PLAN - FOURTH FLOOR
SCALE: 3/16" = 1'-0"

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03	ISSUED FOR PERMIT/TENDER	2024-09-12
02	ISSUED FOR 99% DESIGN REVIEW	2024-08-12
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Orientation

Seal

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A	A Detail No
B	B Sheet No where detailed

Ontario
Infrastructure Ontario

AMIS N B

Project
SERVICE ONTARIO FIT-UP

Location
47 SHEPPARD AVE. E.
NORTH YORK, ONTARIO

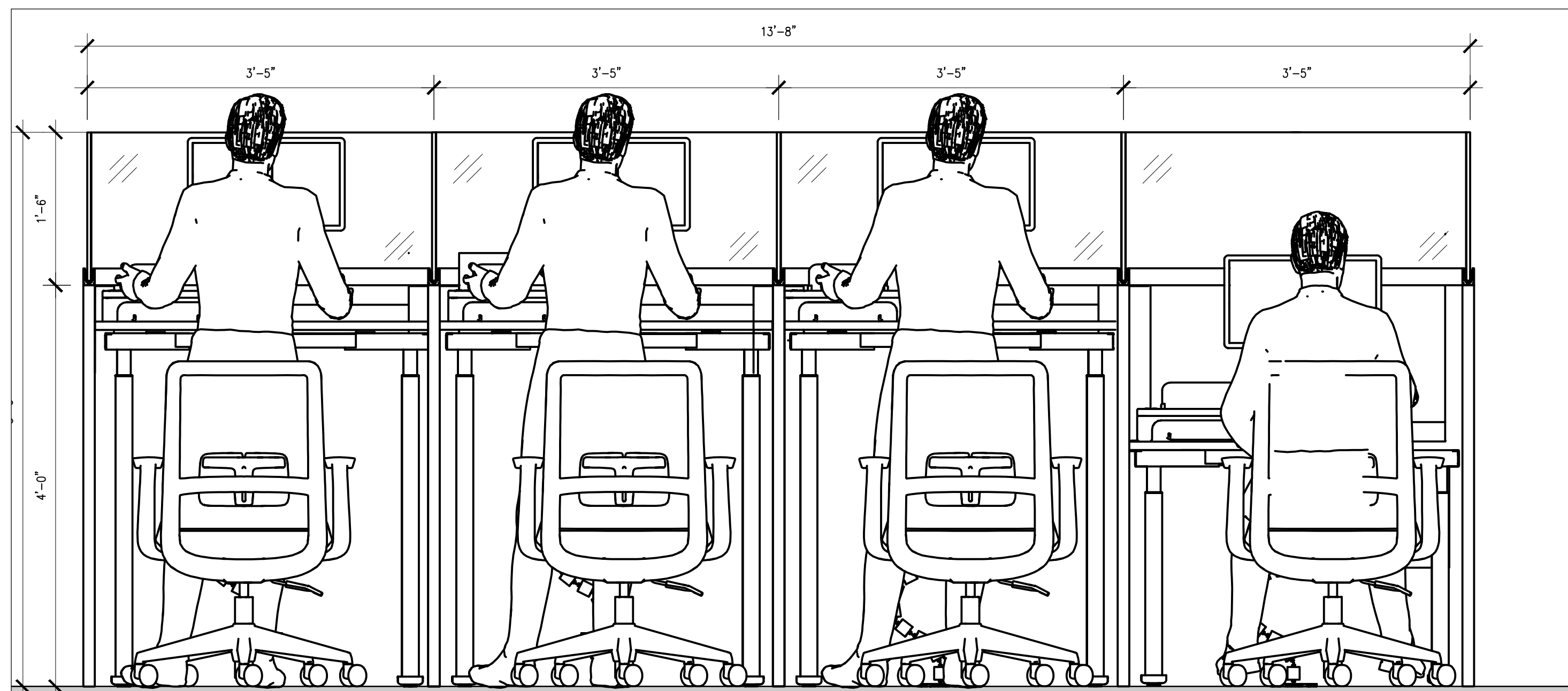
IO Project No. 1094550 Site No. B20289

Client
MINISTRY OF ATTORNEY GENERAL

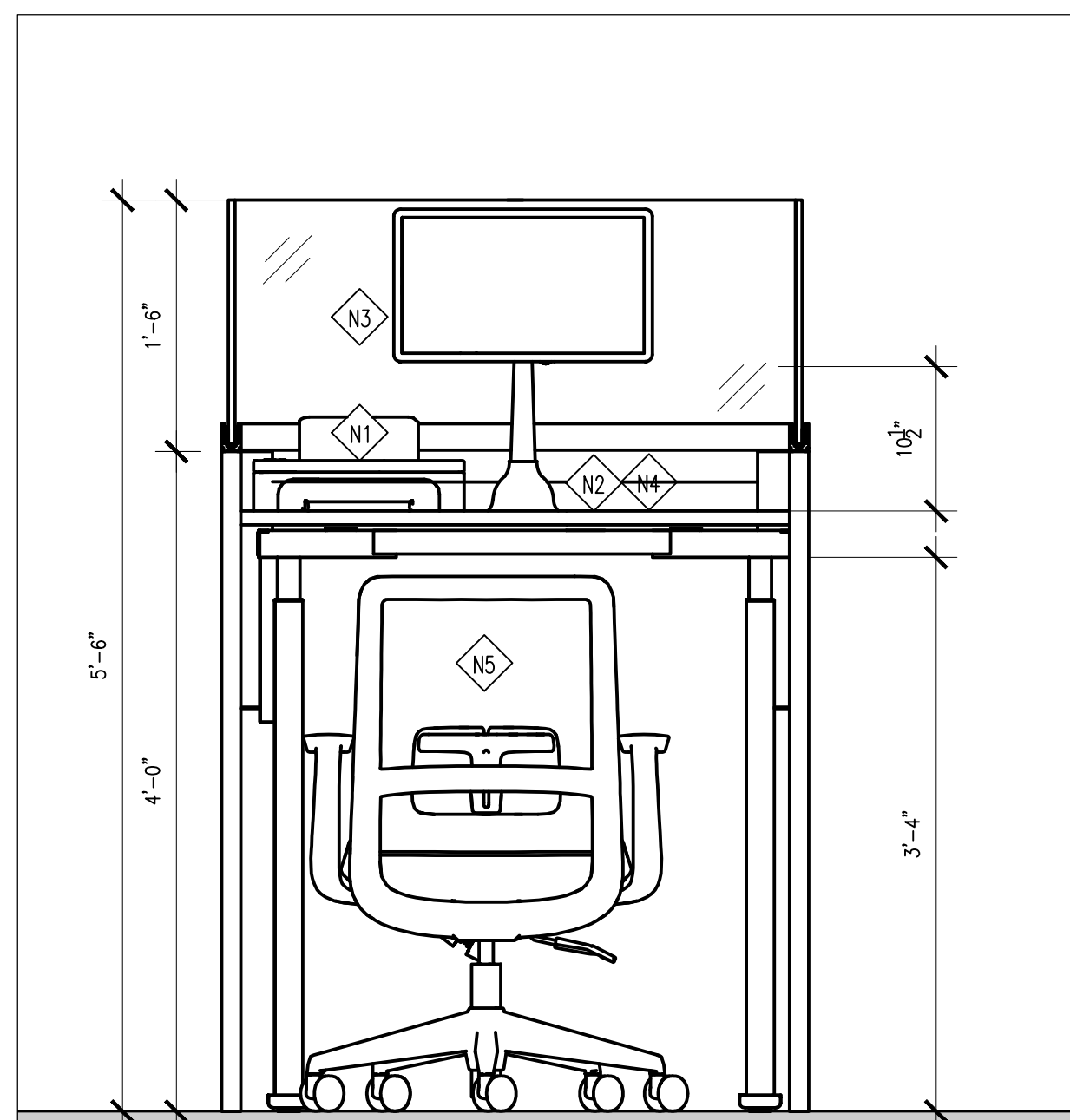
Drawing Title
PROPOSED FOURTH FLOOR FINISHES PLAN

Scale AS SHOWN	Date 2024-09-12
Drawn by CS	Substantial Performance Date
Designed by CS/GD	Drawing No. A6
Approved by GD	of 10

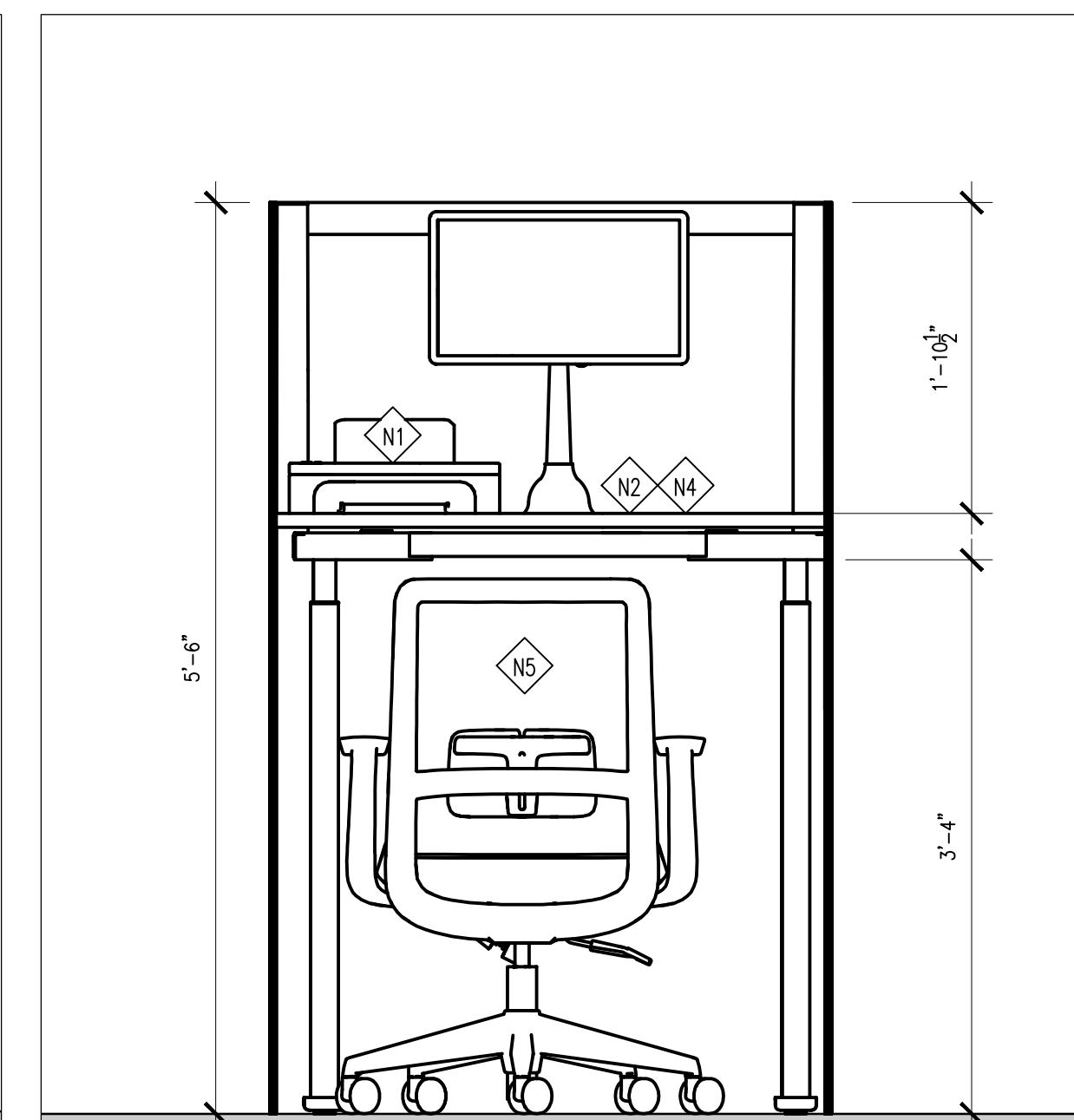
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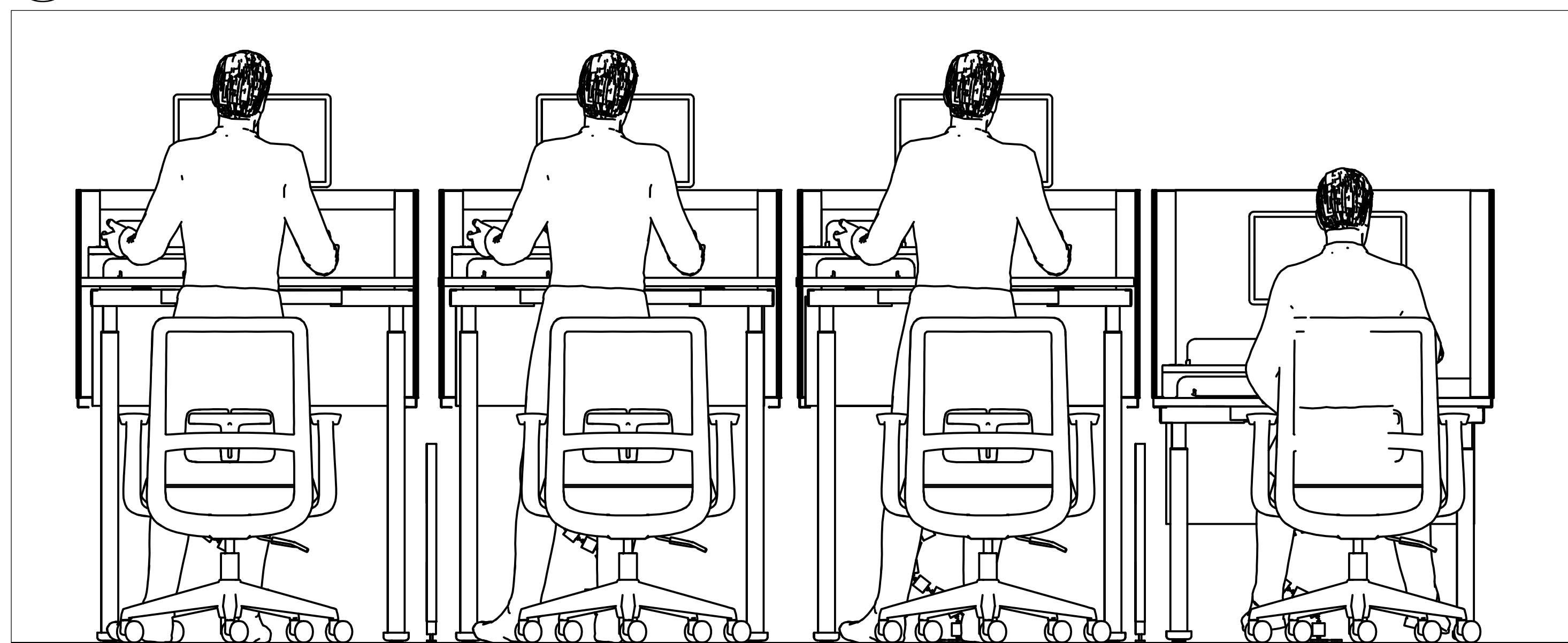
1 PROPOSED TYPICAL SELF-SERVE STATION LAYOUT ELEVATION OPTION "A"
A7 SCALE 1" = 1'-0"



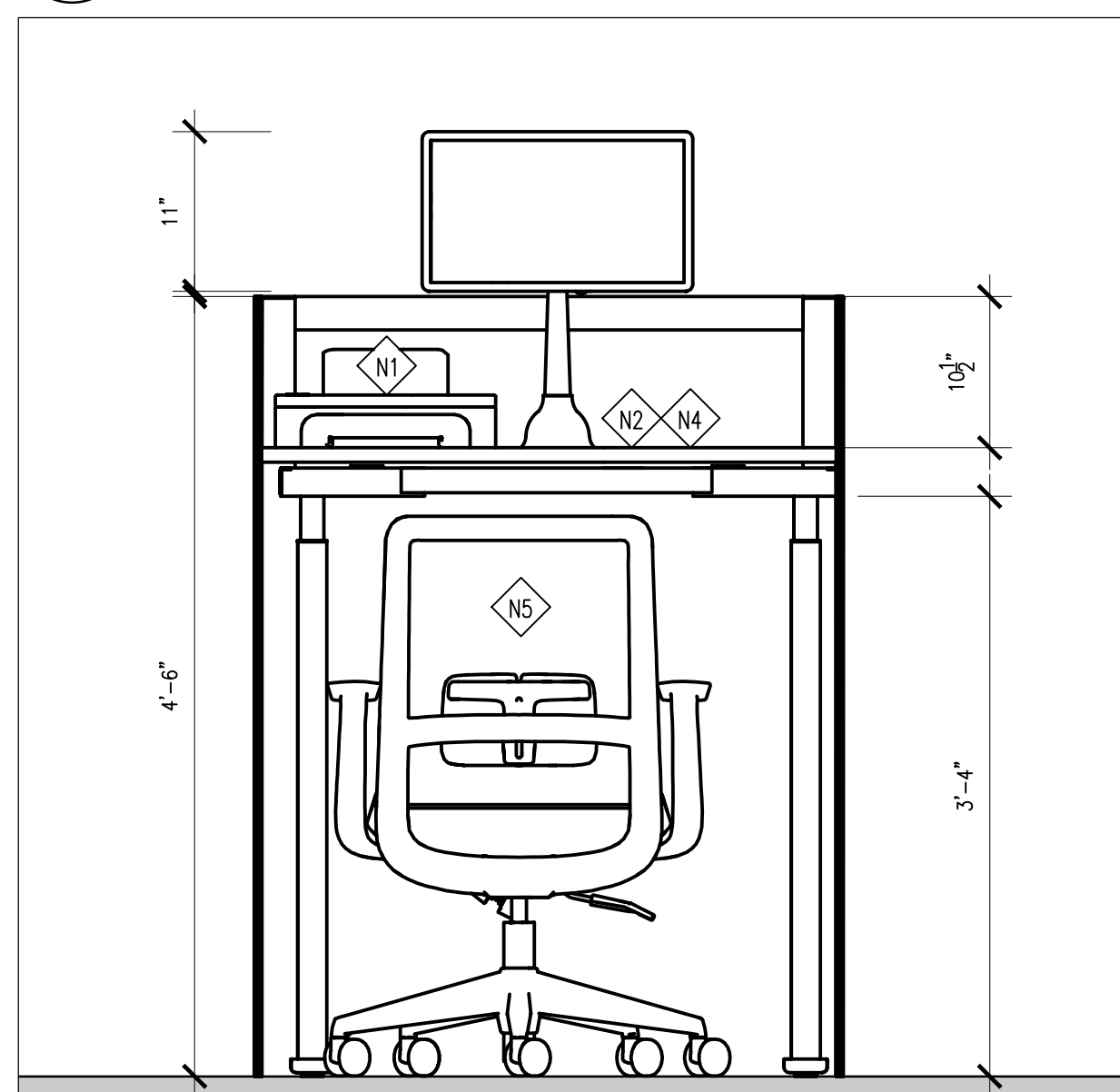
3 PROPOSED TYP. SELF-SERVE ELEV. OPTION "A"
A7 SCALE 1" = 1'-0"



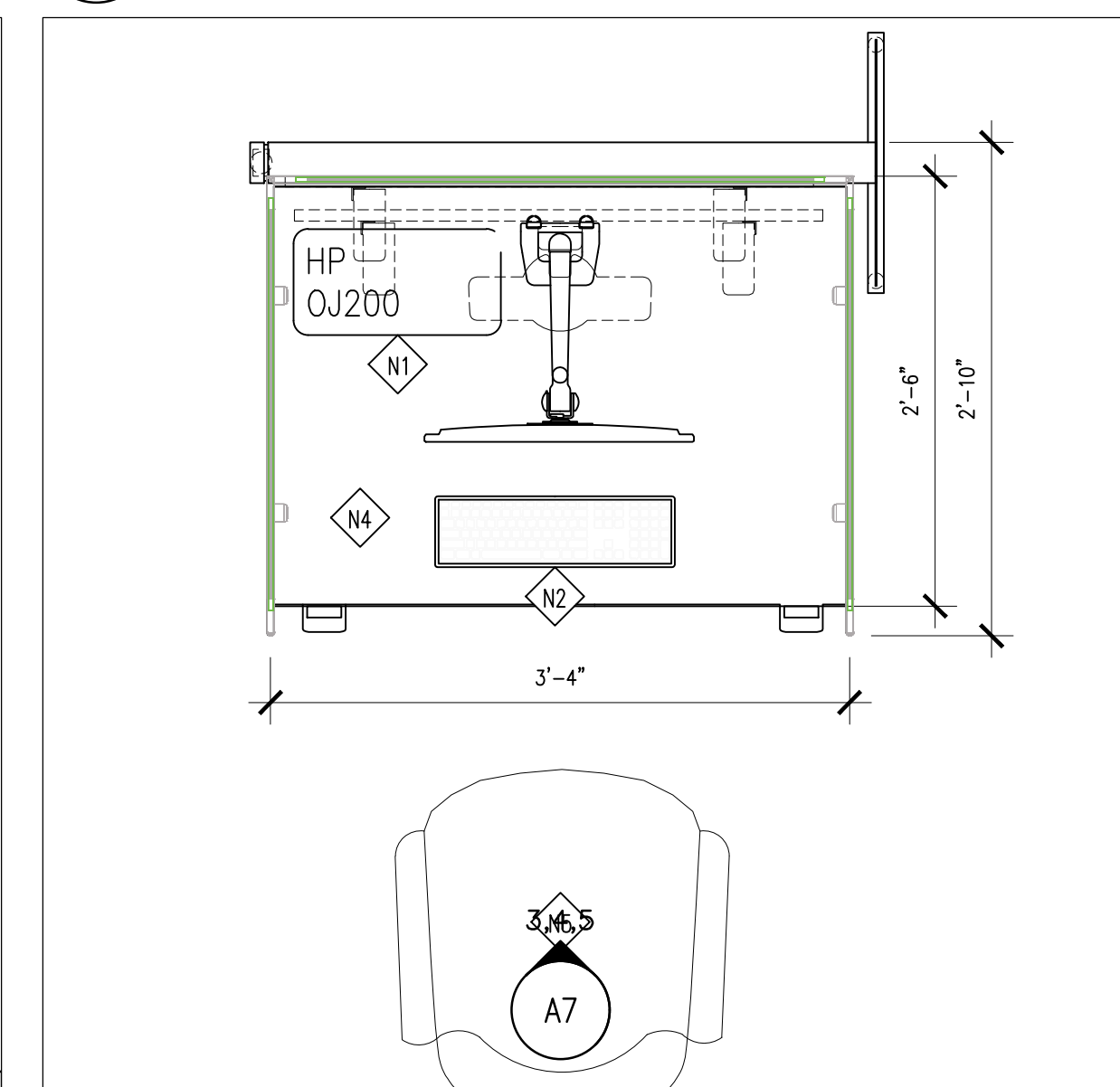
4 PROPOSED TYP. SELF-SERVE ELEV. OPTION "B"
A7 SCALE 1" = 1'-0"



2 PROPOSED TYPICAL SELF-SERVE STATION LAYOUT ELEVATION OPTION "C"
A7 SCALE 1" = 1'-0"



5 PROPOSED TYP. SELF-SERVE ELEV. OPTION "C"
A7 SCALE 1" = 1'-0"



6 PROPOSED TYPICAL SELF-SERVE PLAN
A7 SCALE 1" = 1'-0"

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B	Sheet No where detailed

- N1 ENSURE PRINTER IS FASTENED TO T/O SIT-STAND DESK
- N2 ENSURE KEYBOARD IS FASTENED TO T/O SIT-STAND DESK.
- N3 FROSTED TEMPERED GLASS PRIVACY SCREEN.
- N4 POWERED SIT-STAND TOP (INDEPENDENT OF PANELS).
- N5 WEIGHTED CHAIR (NO CASTERS).

AMIS N B

Project
SERVICE ONTARIO FIT-UP

Location
47 SHEPPARD AVE. E.
NORTH YORK, ONTARIO
IO Project No 230567 Site No B20289

Client
MINISTRY OF ATTORNEY GENERAL

Drawing Title
PROPOSED KIOSK PLANS & ELEVATIONS

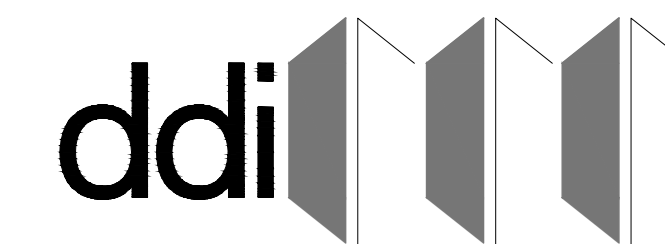
Scale AS SHOWN	Date 2024-09-12
Drawn by CS	Substantial Performance Date
Designed by CS/GD	Drawing No A7
Approved by GD	of 10



7 PROPOSED TYPICAL SELF-SERVE STATION OPTION "A" ISOMETRIC 1
A7 SCALE: NTS



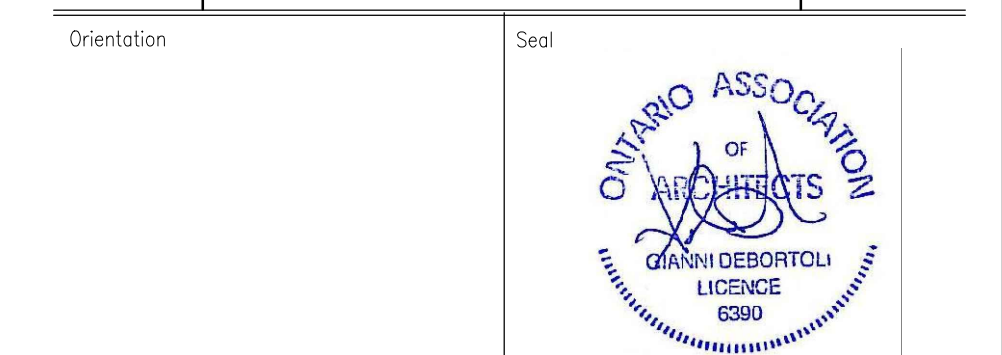
8 PROPOSED TYPICAL SELF-SERVE STATION OPTION "A" ISOMETRIC 2
A7 SCALE: NTS



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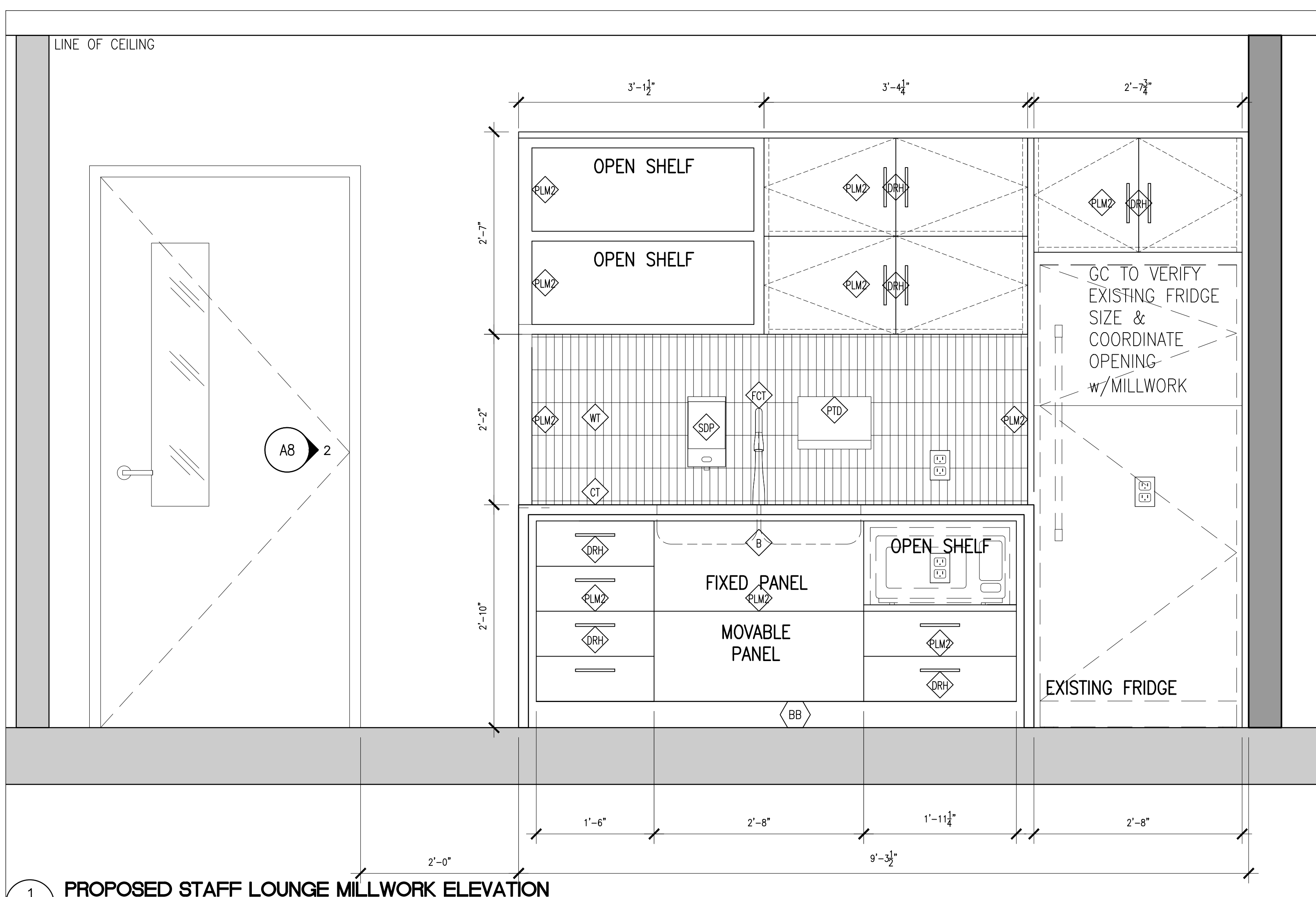
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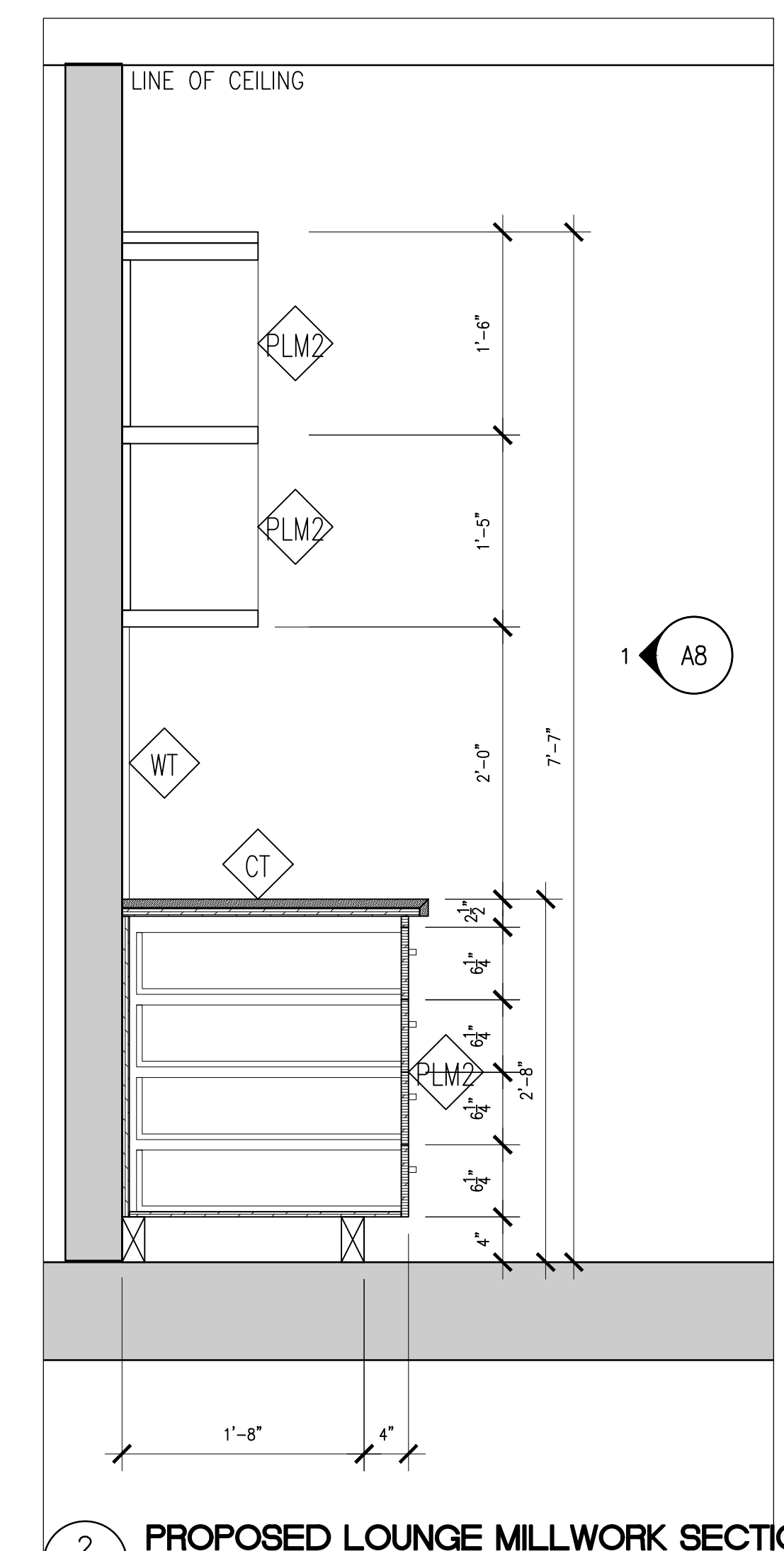


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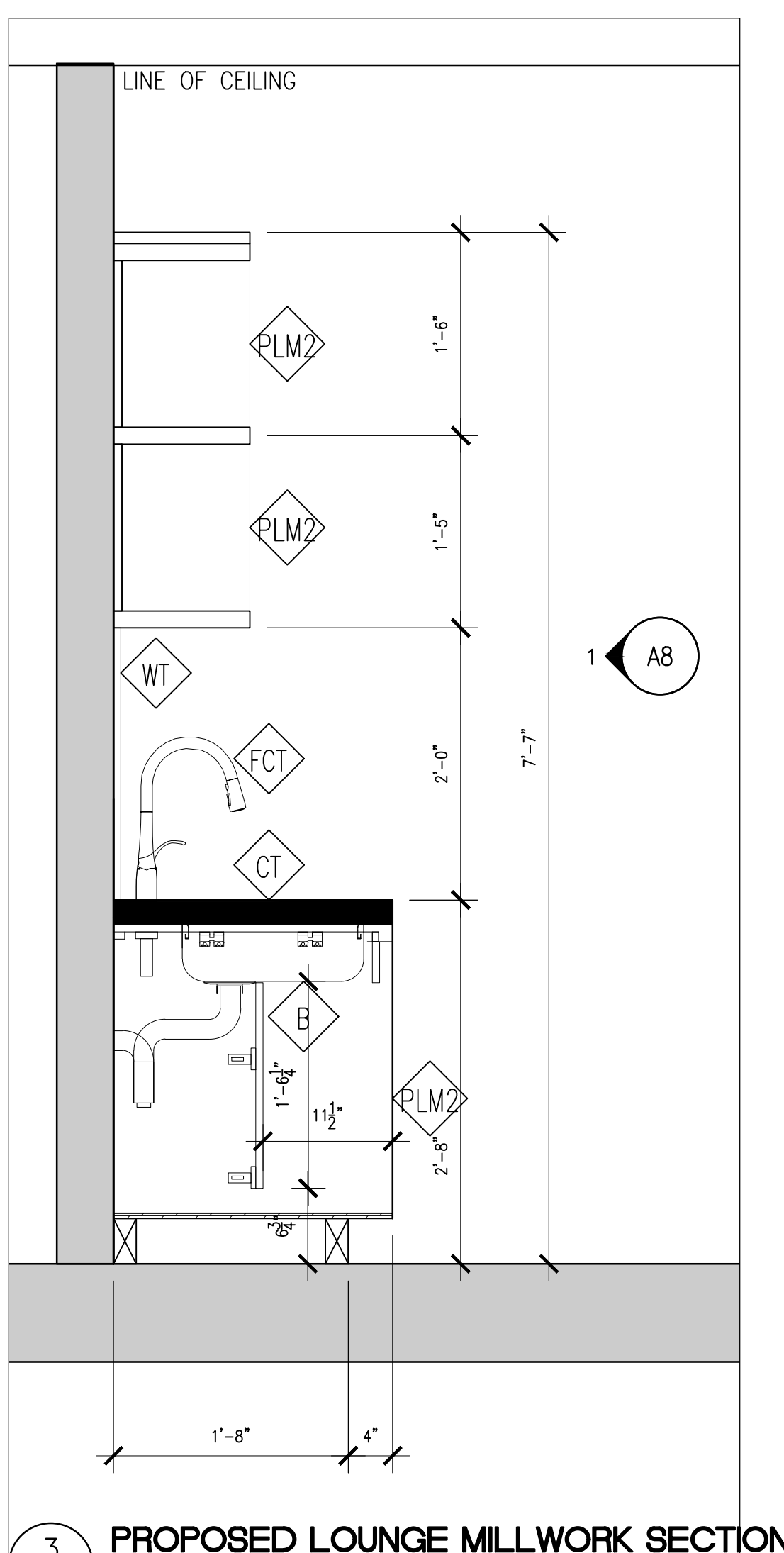
- A Detail No
- B Sheet No where detailed



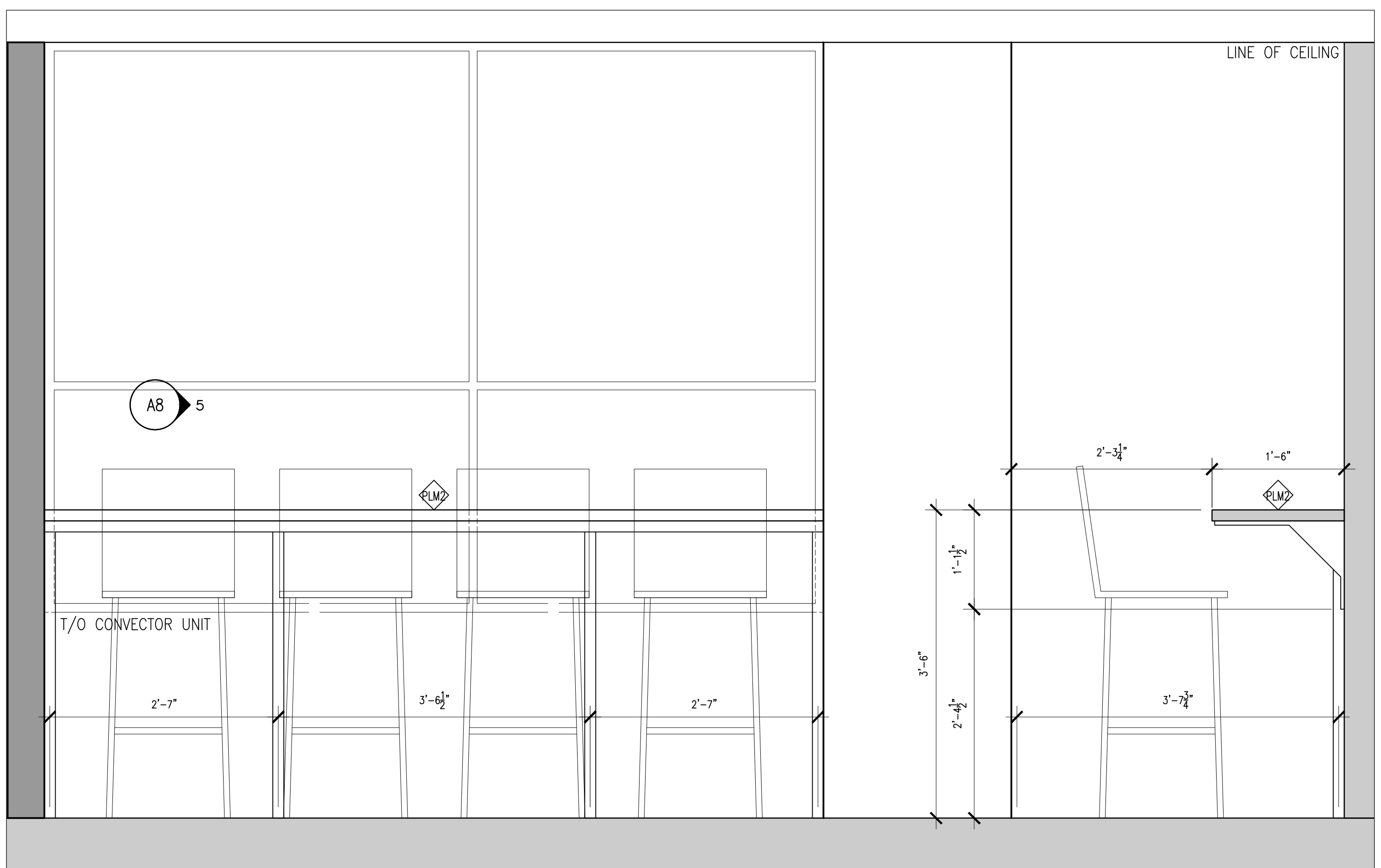
1 PROPOSED STAFF LOUNGE MILLWORK ELEVATION
SCALE 1/8" = 1'-0"



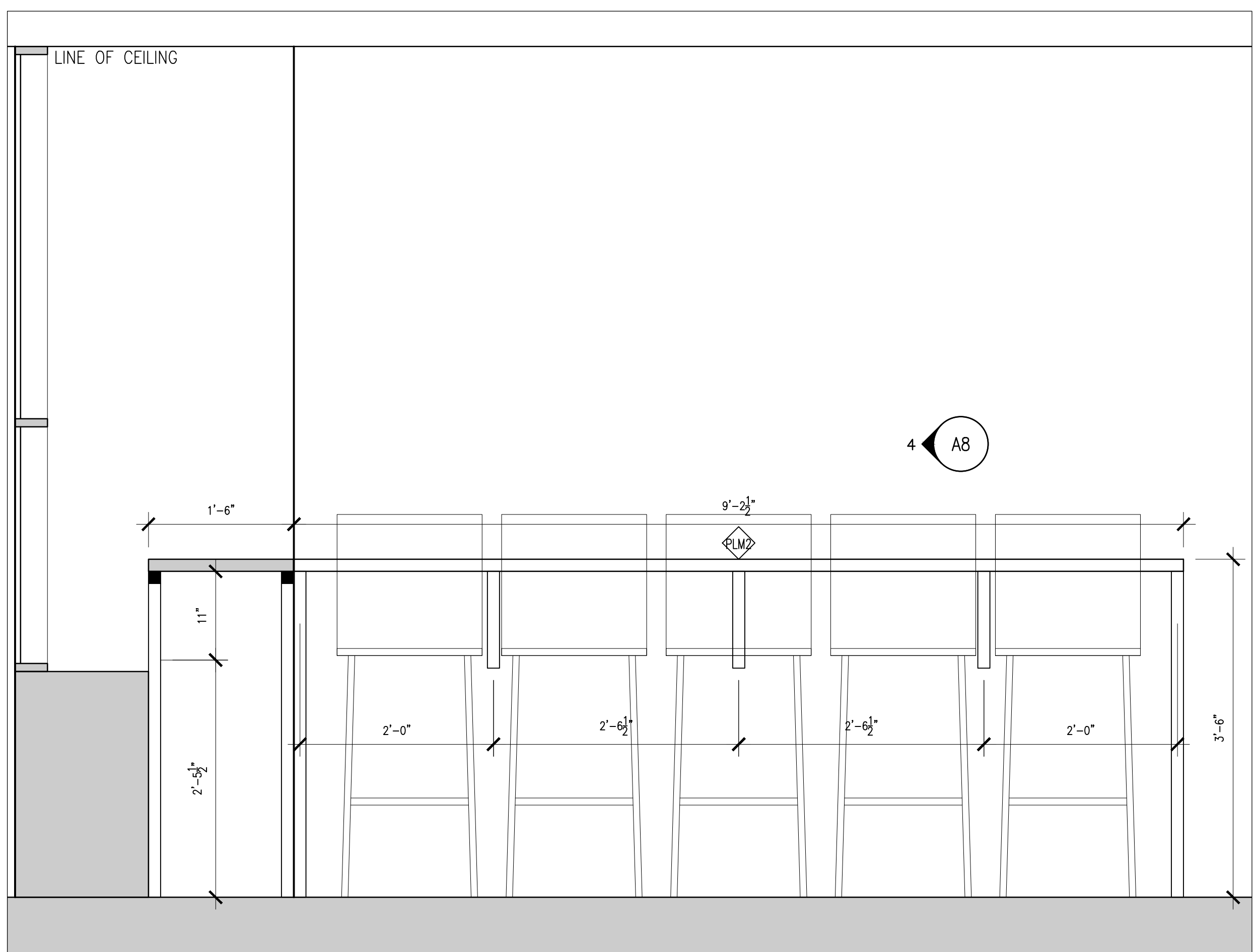
2 PROPOSED LOUNGE MILLWORK SECTION
SCALE 1/8" = 1'-0"



3 PROPOSED LOUNGE MILLWORK SECTION
SCALE 1/8" = 1'-0"



4 PROPOSED STAFF LOUNGE MILLWORK BAR ELEVATION
SCALE 1/8" = 1'-0"



5 PROPOSED STAFF LOUNGE MILLWORK BAR ELEVATION
SCALE 1/8" = 1'-0"



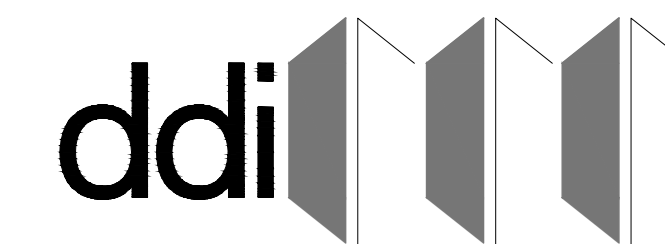
AMIS N B
Project SERVICE ONTARIO FIT-UP

Location 47 SHEPPARD AVE. E.
NORTH YORK, ONTARIO
IO Project No 230567 Site No B20289

Client MINISTRY OF ATTORNEY GENERAL

Drawing Title PROPOSED FOURTH FLOOR ELEVATIONS

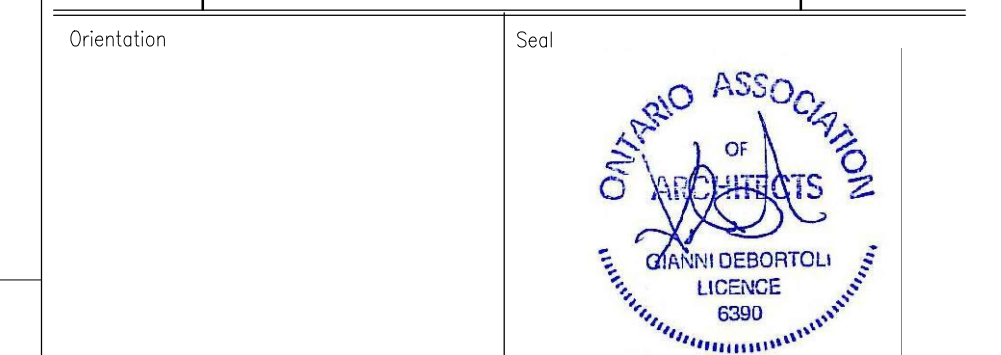
Scale AS SHOWN	Date 2024-09-12
Drawn by CS	Substantial Performance Date
Designed by CS/GD	Drawing No A8
Approved by GD	of 10



debortoli design inc.

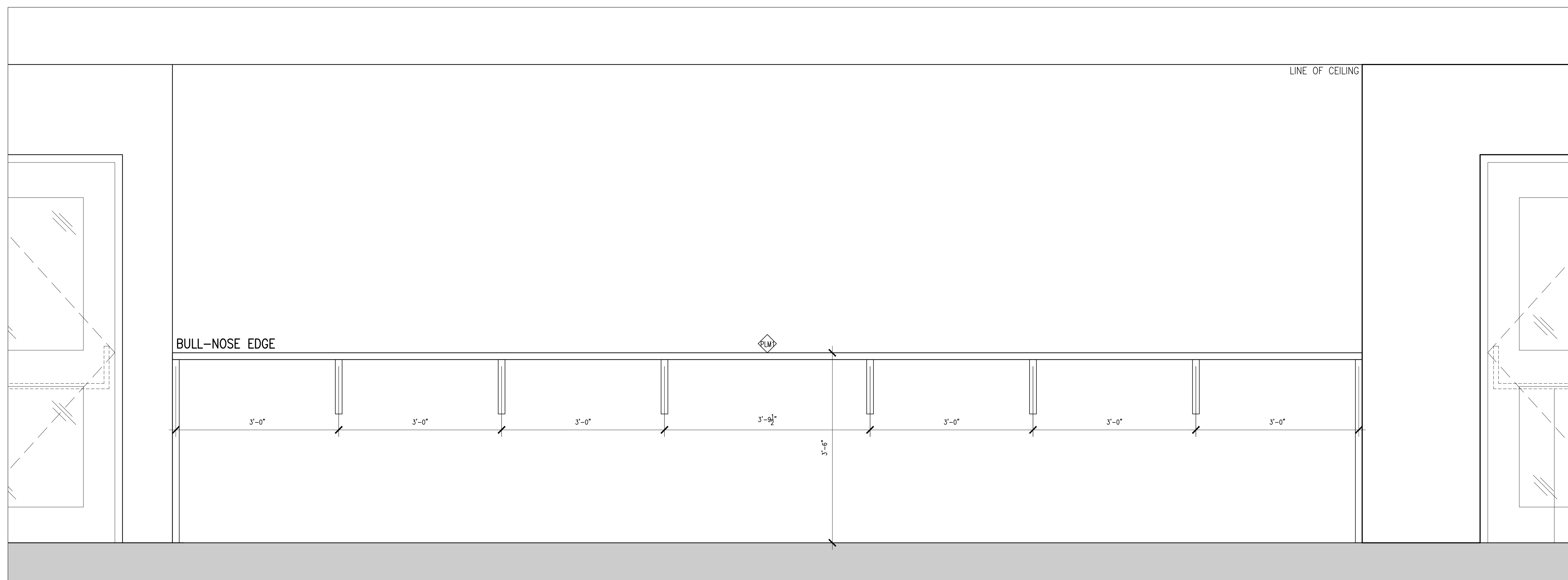
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vaughan ontario L4H0X2 canada
v 416 457 7126
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No	Revisions	Date
03	ISSUED FOR PERMIT/TENDER	2024-09-12
02	ISSUED FOR 99% DESIGN REVIEW	2024-08-12
01	ISSUED FOR 33% DESIGN REVIEW	2024-07-11



The Contractor shall check and verify all dimensions and report all errors and omissions to the IO-Owner's/MBS Designee (as applicable) for his/her written direction before proceeding with the Work.

A	Detail No
B	Sheet No where detailed



1 PROPOSED FORMS FILLING COUNTER MILLWORK ELEVATION
A9 SCALE: 1" = 1'-0"

FINISHES SCHEDULE

PAINT ALL WALLS, DOORS, BULKHEADS, ACCESS HATCHES, WINDOW SILLS WHERE DAMAGE/DEMOLITION HAS OCCURED & WHERE PROPOSED WALLS ARE INSTALLED TO MATCH EXISTING ADJACENT FINISHES. 1 COAT PRIME, 2 FINISH COATS. WALLS/BULKHEADS TO BE EGGSHELL. DOORS/FRAMES TO BE SEMI-GLOSS. GC TO INCLUDE FOR NEW FLOORING TO MATCH EXISTING ADJACENT FLOOR FINISH WHEREVER REMOVAL/DAMAGE OCCURS THROUGHOUT SCOPE OF WORK.

- P1 PAINT [SHERWIN WILLIAMS] TO MATCH EXISTING WALL COLOUR.
- P2 PAINT [SHERWIN WILLIAMS] TO MATCH EXISTING DOOR COLOUR/ACCENT WALL COLOUR.
- P3 PAINT (ACCENT COLOUR) [SHERWIN WILLIAMS] NURTURE GREEN SW 6451. TO MATCH KIOSK PRIVACY SCREEN COLOUR.
- LVT LUXURY VINYL TILE [INTERFACE] A00207 WASHED WHEAT
- PLM1 PLASTIC LAMINATE [FORMICA] BLUE FELT 9320 MATTE
- PLM2 PLASTIC LAMINATE [FORMICA] WHEAT STRAND 6212
- CT CONTINUOUS COUNTERTOP [LX HAUSYS] HI-MACS GT949 POPULUS
- BB MATERIAL: RUBBER BASEBOARD
MANUFACTURER: [JOHNSONITE]
TYPE: TO MATCH EXISTING
- WT WALL TILE [CIOT] F0GL0312POL GLASS POLAR WHITE 7.5 CM X 30 CM
- FLR1 VINYL SHEET FLOORING (BLUE) MATCH EXISTING ADJACENT FLOOR FINISH
- FLR2 VINYL SHEET FLOORING (GREY) MATCH EXISTING ADJACENT FLOOR FINISH
- B SINK BASIN [FRANKE CS] PESCARA DOUBLE BOWL UNDERMOUNT SINK

- FCT KITCHEN SINK FAUCET [AMERICAN STANDARD] HANDS-FREE PULL-DOWN 4931-380 BEALE
- DRH CABINET DOOR HANDLE [RICHELIEU] BRUSHED NICKEL 8728-128195
- SDP SOAP DISPENSER [TORR] STAINLESS STEEL W/ INTUITION SENSOR 466100
- PTD PAPER TOWEL DISPENSER [AMERICAN SPECIALTIES] PETITE MULTI C-FOLD SURFACE MOUNT 0215
- N1 PATCH & REPAIR FLOORING WHERE FORMS FILLING COUNTERS HAVE BEEN REMOVED.
- N2 INSTALL RUBBER TRANSITION STRIP AT BASE OF DOOR..



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Drawn by CS	Substantial Performance Date
Designed by CS/GD	Drawing No A9 of 10
Approved by GD	CADD File NAME PERMIT/TENDER

GENERAL NOTES

- ALL NOTES HEREIN REFERRING TO 'CONTRACTOR' ARE TO MEAN THE GENERAL CONTRACTOR & SUB-CONTRACTORS.
ALL NOTES HEREIN REFERRING TO 'CONSULTANT' ARE TO MEAN THE ARCHITECT AND SUB-CONSULTANTS.
- PLEASE REFER TO PROJECT MANUAL FOR GENERAL CONDITIONS, SUPPLEMENTARY CONDITIONS & SPECIFICATIONS FOR FURTHER INFORMATION ABOUT METHODS & MATERIALS.
- DRAWINGS ARE NOT TO BE SCALED.
CONTRACTOR TO REFERENCE DIMENSIONS GIVEN ON DRAWINGS.
- ALL THE WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE, THE OCCUPATIONAL HEALTH & SAFETY ACT & REGULATIONS FOR CONSTRUCTION PROJECTS, CONSTRUCTION SAFETY ACT, REGULATIONS OF THE ONTARIO DEPARTMENT OF LABOUR & THE CANADIAN CONSTRUCTION SAFETY CODE, INCLUDING ALL CURRENT REVISIONS & WITH GOOD CONSTRUCTION PRACTICE.
- THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY ALL DIMENSIONS & SITE CONDITIONS, COMPARE WITH THOSE INDICATED ON THE DRAWINGS & ADVISE THE CONSULTANT OF ANY DISCREPANCY. COMMENCEMENT OF WORK SHALL BE DEEMED AS ACCEPTANCE OF SITE CONDITIONS BY THE CONTRACTOR.
- DISCREPANCIES IDENTIFIED AFTER COMMENCEMENT OF THE WORK SHALL BE RECTIFIED AT THE EXPENSE OF THE CONTRACTOR & TO THE SATISFACTION OF THE CONSULTANT AND/OR OWNER.
- CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, FINISHES, EQUIPMENT & PROPERTIES ADJACENT TO THE AREAS OF WORK.
- ALL DISTURBED AREAS, DAMAGED PROPERTIES AND/OR STRUCTURES SHALL BE RESTORED TO ORIGINAL CONDITION AT THE EXPENSE OF THE CONTRACTOR & TO THE SATISFACTION OF THE CONSULTANT AND/OR OWNER.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL/REINSTALL OF ANY ITEMS THAT IMPEDE IN THE DEMOLITION, INSTALLATION AND/OR CONSTRUCTION AS PART OF THE SCOPE OF WORK.
- ALL SERVICES ARE TO BE ACCURATELY LOCATED PRIOR TO CONSTRUCTION & ADEQUATE PROTECTION PROVIDED AT ALL TIMES. ANY INTERFERENCE TO EXISTING SERVICES OR UTILITIES WITH THE PROPOSED CONSTRUCTION OPERATIONS IS TO BE REPORTED TO THE CONSULTANT PRIOR TO THE CONTINUATION OF CONSTRUCTION.
- ALL DEMOLITION WORK, SAWING, GRINDING, OR SANDING WHICH MAY CAUSE DUST, EXCESSIVE NOISE LEVELS AND/OR INTERFERE WITH NORMAL BUSINESS OPERATIONS SHALL BE UNDERTAKEN AT THE SPECIFIED TIMES OUTLINED IN THE CONTRACT DOCUMENTS.
REFER TO CONTRACT SPECIFICATIONS, GENERAL CONDITIONS & REQUIREMENTS FOR ADDITIONAL WORK PROVISIONS.
- CONTRACTOR SHALL NOT CUT ADDITIONAL HOLES, OTHER THAN THOSE SHOWN ON DRAWINGS THROUGH WALLS, BEAMS, AND/OR OTHER ELEMENTS WITHOUT THE PRIOR APPROVAL OF THE CONSULTANT.
- ALL MATERIALS INDICATED ON THE DRAWINGS ARE NEW UNLESS NOTED OTHERWISE.
- NO ALTERNATE EQUIPMENT, MATERIALS, OR METHODS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT. CONTRACTOR SHALL SUBMIT A FORMAL REQUEST FOR SUBSTITUTION TO THE CONSULTANT FOR THEIR CONSIDERATION.
- THE CONSTRUCTION SCOPE OF WORK SHOWN ON THESE DRAWINGS HAS BEEN DESIGNED IN ACCORDANCE WITH ALL REQUIRED CURRENT BUILDING CODES & REGULATIONS IN THE MUNICIPALITY IN WHICH THE CONSTRUCTION IS TO OCCUR.
- CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORTS WHERE REQUIRED.
- CONTRACTOR TO MAINTAIN ALL FIRE RESISTANCE RATINGS THROUGHOUT BUILDING, USING THE CORRECT CURRENT U.L.C. RATED SEALANTS & FIRESTOPS TO MAINTAIN THE BUILDING'S ORIGINAL FIRE RESISTANCE RATING. THIS ALSO APPLIES TO NEW FIRE RATED ASSEMBLIES CONSTRUCTED AS PART OF THE SCOPE OF WORK.
- CONTRACTOR TO FOLLOW ALL MANUFACTURER'S INSTRUCTIONS & SPECIFICATIONS FOR MATERIALS USED TO CARRY OUT THE WORK.
- ALL REPAIR WORK REQUIRED BY THE CONTRACTOR DUE TO THE WORK PERFORMED SHALL BE TO MATCH THE ORIGINAL CONDITION, ADJACENT MATERIALS/FINISH OR BETTER.
- REFER TO MECHANICAL, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO THIS SCOPE OF WORK.
- THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD PROPER & SAFE MEANS OF EGRESS SHALL BE PROVIDED FROM ALL ZONES OF THE BUILDING AT ALL TIMES TO THE APPROVAL OF THE

- AUTHORITIES HAVING JURISDICTION.
- ALL MATERIALS & DEBRIS TO BE DISPOSED OF SHALL BE REMOVED FROM THE SITE DAILY & DISPOSED OF LEGALLY IN ABIDANCE TO ALL APPLICABLE FEDERAL, PROVINCIAL & LOCAL CODES & REGULATIONS.
 - ELEMENTS OF THE BASE BUILDING, SUCH AS (BUT NOT LIMITED TO) CEILING COMPONENTS, LIGHT FIXTURES, SPEAKERS, ETC. REMAIN THE PROPERTY OF & SHALL BE TURNED OVER TO THE LANDLORD/OWNER & STORED WHERE DIRECTED BY THE LANDLORD/OWNER UNLESS SCHEDULED FOR REUSE AND/OR SHOWN TO BE REMOVED & RELOCATED UNDER THIS CONTRACT.
 - CONTRACTOR TO PREPARE FLOOR TO ACCEPT NEW FLOOR FINISHES WHERE INDICATED (OR AS PER FINISH SCHEDULE) IN STRICT ACCORDANCE WITH THE NEW FLOOR FINISH MANUFACTURER'S SPECIFICATIONS. SAND BLASTING OR SELF LEVELING PRODUCTS ARE TO BE INCLUDED IF REQUIRED.
 - CONTRACTOR TO ENSURE EXISTING OR NEW FLOOR SURFACE (TO RECEIVE NEW FLOORING FINISH) IS LEVEL & FREE OF DIMPLES, BUMPS, DUST, SOLVENT, PAINT, WAX, OIL, GREASE, RESIDUAL ADHESIVE, ADHESIVE REMOVERS, SEALERS, COATINGS, FINISHES, DIRT, FILM-FORMING CURING COMPOUNDS, SILICATE PENETRATING CURING COMPOUNDS, HARDENING OR PARTING COMPOUNDS, ALKALINE SALTS, EXCESSIVE CARBONATION OR LAITANCE, MOLD, MILDEW, & OTHER FOREIGN MATERIALS. IMPERFECTIONS IN THE FLOOR WHICH WILL INHIBIT A SMOOTH, LEVEL FINISH ARE TO BE REMOVED BY THE CONTRACTOR BY WHATEVER MEANS NECESSARY INCLUDING SAND BLASTING.
 - CONCRETE FLOORS (EXISTING OR NEW) TO RECEIVE NEW FLOORING SHALL BE FREE OF DUST, SOLVENT, PAINT, WAX, OIL, GREASE, RESIDUAL ADHESIVE, ADHESIVE REMOVERS, SEALERS, COATINGS, FINISHES, DIRT, FILM-FORMING CURING COMPOUNDS, SILICATE PENETRATING CURING COMPOUNDS, HARDENING OR PARTING COMPOUNDS, ALKALINE SALTS, EXCESSIVE CARBONATION OR LAITANCE, MOLD, MILDEW, & OTHER FOREIGN MATERIALS WHICH MAY AFFECT THE RATE OF MOISTURE DISSIPATION FROM THE CONCRETE OR THE ADHESION OF THE NEW FLOORING TO THE CONCRETE FLOOR (EXISTING OR NEW).
 - CONTRACTOR TO PROTECT EXISTING AREAS TO PREVENT DUST, DEBRIS & OTHER REFUSE FROM ENTERING OTHER AREAS DURING DEMOLITION.
PROVIDE DUST BARRIER AROUND ALL AREAS UNDER CONSTRUCTION.
 - CONTRACTOR TO CONTACT CONSULTANT TO REVIEW SITE DURING DEMOLITION TO VERIFY EXISTING CONDITIONS.
CONTRACTOR TO PROVIDE MINIMUM 24 HOURS NOTICE FOR INSPECTION.
 - CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE BUILDING INSPECTOR TO REVIEW THE WORK IN PROGRESS.
 - WHERE NEW WORK CONNECTS WITH EXISTING & WHERE EXISTING WORK IS ALTERED, ALL NECESSARY CUTTING & FITTING REQUIRED TO MAKE SATISFACTORY CONNECTIONS WITH THE EXISTING WORK SHALL BE PERFORMED BY THE CONTRACTOR SO AS TO LEAVE THE ENTIRE WORK IN A FINISHED CONDITION.
 - SEAL & FIRESTOP ALL WALL, FLOOR, CEILING & ROOF PENETRATIONS THROUGH FIRE RATED ASSEMBLIES WITH THE APPROPRIATE U.L.C. OR BUILDING CODE APPROVED MATERIALS TO MAINTAIN THE APPROPRIATE FIRE RESISTANCE RATING.
 - DRAWINGS ARE IN PART SCHEMATIC & ARE INTENDED TO CONVEY THE SCOPE OF WORK & TO INDICATE THE GENERAL & APPROXIMATE LOCATION & ARRANGEMENT OF THE WORK.
CONTRACTOR TO OBTAIN ACCURATE INFORMATION ABOUT LOCATION ARRANGEMENT & SIZES BY COORDINATING DRAWINGS WITH THE SITE CONDITIONS.
 - PLANS OF EXISTING CONDITIONS ARE PROVIDED FOR INFORMATION ONLY & MUST BE VERIFIED BY THE CONTRACTOR.
 - CONTRACTOR SHALL SUBMIT FOR APPROVAL, PROPOSED METHOD OF ACCESS TO SITE & BUILDING, STORAGE OF MATERIALS & LOCATION OF GARBAGE BINS, PORTABLE TOILETS, & SITE TRAILERS BEFORE STARTING SCOPE OF WORK.
 - CONTRACTOR TO MAINTAIN A LIST OF ALL HAZARDOUS MATERIALS PROPOSED FOR USE ON SITE OR WORKPLACE.
 - SMOKING ON SITE IS NOT PERMITTED EXCEPT IN AREAS DESIGNATED BY THE OWNER.
 - NOTE THAT THE PREMISES MAY OR MAY NOT BE OCCUPIED DURING CONSTRUCTION, THEREFORE IT IS ESSENTIAL THAT UNIMPEDED ACCESS TO THE EXISTING BUILDING BE MAINTAINED AT ALL TIMES.
 - CONTRACTOR SHALL PROVIDE & MAINTAIN SANITARY PORTABLE TOILETS FOR THE DURATION OF CONSTRUCTION FOR THE USE OF THE CONSTRUCTION PERSONNEL (UNLESS OTHERWISE PROVIDED BY THE OWNER).
 - CONTRACTOR SHALL ARRANGE WITH THE OWNER FOR USE OF EXISTING ELECTRICAL SERVICE, TO THE EXTENT THAT THERE IS SUFFICIENT CAPACITY, TO AVOID OVERLOADING OF CIRCUITS.
WHERE CAPACITY IS INSUFFICIENT, CONTRACTOR IS TO PROVIDE TEMPORARY ELECTRICAL SERVICE.

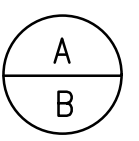
- CLEANING OF THE INTERIOR & EXTERIOR CONSTRUCTION AREAS SHALL INCLUDE BUT NOT BE LIMITED TO:
-THE REMOVAL OF RUBBISH AND/OR OTHER UNSIGHTLY MATERIAL OR DEBRIS.
-THE REMOVAL OF DUST AND/OR OTHER DEBRIS BY BRUSHING, SWEEPING AND/OR OTHER SUITABLE METHODS.
- FINAL CLEANING OF ALL AREAS AFFECTED BY THE CONSTRUCTION SHALL INCLUDE BUT NOT BE LIMITED TO VACUUMING, WASHING & POLISHING OF FLOORS, CLEANING OF GLASS SURFACES & OTHER MEASURES DEEMED ACCEPTABLE BY THE OWNER.
- A LIST OF ALL CONTRACTOR & SUB-CONTRACTOR PERSONNEL ON SITE MUST BE FORWARDED TO THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR TO KEEP A COPY OF ALL LITERATURE, DELIVERY WAYBILLS, & WARRANTIES FOR ALL NEW PRODUCTS USED AS PART OF THE SCOPE OF WORK.
- CONTRACTOR MUST POST BUILDING PERMIT SIGN (IF APPLICABLE) IN AN UNOBSTRUCTED LOCATION & MUST HAVE THE PERMIT DRAWINGS (STAMPED BY THE AUTHORITIES HAVING JURISDICTION) PRESENT ON SITE AT ALL TIMES.
- CONTRACTOR TO KEEP AN ACCURATE ACCOUNT OF SITE CHANGES NOTED IN RED INK ON THE SITE CONSTRUCTION DRAWINGS TO FORM THE BASIS FOR THE "AS-BUILT" DRAWING TO LATER BE SUBMITTED TO THE DESIGNER FOR "RECORD DRAWING" ISSUANCE.
- WHEN ONE WALL FINISH IS INDICATED WITHIN AN ENCLOSED AREA, THIS FINISH MUST BE APPLIED TO ALL WALLS, INCLUDING VERTICAL BULKHEADS, PERIMETER WALLS & COLUMNS, UNLESS OTHERWISE NOTED.
- ALL FINISHES TO BE PURCHASED BY CONTRACTOR. PROVIDE ALL LABOUR, MATERIALS, PRODUCTS, EQUIPMENT & SERVICES REQUIRED TO INSTALL THE FINISHES AS INDICATED ON THE DRAWINGS & FINISH SCHEDULE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- IN THE EVENT OF UNAVAILABILITY OF A SPECIFIED PRODUCT SUBJECT TO WRITTEN PERMISSION OBTAINED FROM CONSULTANT. CONTRACTOR ENSURES THAT SUBSTITUTIONS CAN BE BOTH PHYSICALLY AND DIMENSIONALLY INCORPORATED IN THE WORK WITH NO LOSS OF INTENDED FUNCTION OR CONSTRUCTION TIME AND AT NO ADDITIONAL COST TO THE OWNER.
- ALL EXPOSED METALWORK IS TO BE EITHER GALVANIZED OR STAINLESS STEEL OR DURABLE NON-FERROUS UNLESS SPECIFIED OTHERWISE.
- THE EXPOSED ENDS OF CUT GALVANIZED MATERIALS ARE TO BE PROPERLY TREATED TO PREVENT OXIDATION, DETERIORATION OR STAINING.
- ALL PARTITIONS ARE TO BE CHALKED ON SITE & APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT WHEN MARKINGS ARE READY FOR INSPECTION. CONTRACTOR TO PROVIDE A MINIMUM OF 24 HOURS NOTICE FOR INSPECTION.
- WALLS ENDING AT EXTERIOR GLAZING ARE TO BE SEALED OFF IN AN APPROPRIATE MANNER AT NEAREST MULLION OR COLUMN UNLESS OTHERWISE SPECIFIED ON THE DRAWING.
- SUBMIT SHOP DRAWINGS SHOWING CONSTRUCTION/ASSEMBLY DETAILS FOR ALL CUSTOM DOORS, FRAMES, MILLWORK & CABINET WORK ITEMS TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION & ORDERING OF MATERIALS. CONTRACTOR TO REVIEW SHOP DRAWINGS & STAMP AS REVIEWED PRIOR TO SUBMITTING TO ARCHITECT.
- CONTRACTOR TO ENSURE SUFFICIENT BLOCKING IS PROVIDED IN ALL AREAS FOR SUPPORT OF WALL OR CEILING MOUNTED EQUIPMENT OR MATERIAL (MOLDINGS, MILLWORK, COAT HOOKS, SECURITY EQUIPMENT, WALL MOUNTED OUTLETS, SPECIAL EQUIPMENT, ETC)
- THE CONTRACTOR SHALL SUBMIT THE FOLLOWING FOR REVIEW & APPROVAL PRIOR TO THE COMMENCEMENT OF WORK:
-CERTIFICATES OF INSURANCE
-BONDS
-DETAILED BAR GRAPH FORMAT WORK SCHEDULE
-SAMPLES OF ALL SPECIFIED MATERIALS
-SHOP DRAWINGS & PRODUCT DATA
-COLOUR SAMPLES
-STATUTORY DECLARATION
-WORKPLACE SAFETY & INSURANCE BOARD CLEARANCE CERTIFICATE
- GENERAL CONTRACTOR TO ENSURE THAT ALL SUB-CONTRACTORS REVIEW THE COMPLETE TENDER PACKAGE TO CAPTURE ALL ELEMENTS IN THE SCOPE OF WORK AS THEY PERTAIN TO THEIR DISCIPLINES FOR PRICING. GENERAL CONTRACTOR SHALL ENSURE THAT ALL SUB-CONTRACTORS HAVE THE LATEST COPY OF THE ARCHITECTURAL DRAWINGS TO GOVERN THEIR DIMENSIONS & DETAILS DURING THE WORK. REPORT ANY DISCREPANCIES BETWEEN VARIOUS CONSULTANTS' DRAWINGS IMMEDIATELY TO THE CONSULTANT. DO NOT PROCEED WITH THE WORK OF ANY TRADE UNTIL THE DISCREPANCIES HAVE BEEN RESOLVED.

Name of Practice: DEBORTOLI DESIGN INC. 8 Selvapiano Crescent Vaughan, Ontario L4H 0X2 Certificate of Practice Number: 5121 Name of Project: Service Ontario Fit-Up Location: 47 SHEPPARD AVENUE EAST, 4 TH FLOOR TORONTO, ONTARIO M2N 0H2																																																												
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No	Revisions	Date
03	ISSUED FOR PERMIT/TENDER	2024-09-12
02	ISSUED FOR 99% DESIGN REVIEW	2024-08-12
01	ISSUED FOR 33% DESIGN REVIEW	2024-07-11

The Contractor shall check and verify all dimensions and report all errors and omissions to the IO-Owner's/MBS Designee (as applicable) for his/her written direction before proceeding with the Work.


 A Detail No
 B Sheet No where detailed



Project
SERVICE ONTARIO FIT-UP

Location
47 SHEPPARD AVE. E.
NORTH YORK, ONTARIO

IO Project No 1094550 Site No B20289 Building No B20289

Client
MINISTRY OF ATTORNEY GENERAL

Drawing Title
GENERAL NOTES & OBC DATA MATRIX

Scale AS SHOWN	Date 2024-09-12
Drawn by CS	Substantial Performance Date
Designed by CS/GD	Drawing No A10 of 10
Approved by GD	CADD File NAME PERMIT/TENDER

CONCRETE CORING
INCLUDE FOR ALL CONCRETE CUTTING / CORING TO PERFORM THE SCOPE OF WORK INCLUDING SCANNING / X-RAYING PRIOR TO ALL CUTTING / CORING. ALL FINAL CONCRETE PATCH WORK TO BE SMOOTH & LEVEL TO MATCH THE EXISTING FINISH UNLESS OTHERWISE NOTED.