

<b>FIRM NAME:</b> WORKSHOP ARCHITECTURE 6 Sousa Mendes St Toronto, ON M6P 0A8 tel. 416.901.8055 fax 416.849.0383		<b>LOCATION:</b> 4222 Kingston Rd. Scarborough, ON M1E 2M6	
<b>NAME OF PROJECT:</b> TSSS Family Residence Renovations		<b>Project Area:</b> 546 m <sup>2</sup> (interior renovation) 423 m <sup>2</sup> (exterior upgrades)	
<b>ITEM</b>		<b>ONTARIO'S 2012 BUILDING CODE DATA MATRIX PARTS 3 &amp; 9</b>	
<b>1 PROJECT DESCRIPTION:</b>		<input type="checkbox"/> NEW <input checked="" type="checkbox"/> PART 11 <input type="checkbox"/> PART 3 <input type="checkbox"/> PART 9 <input type="checkbox"/> ADDITION 11.1 TO 11.4 11.2 [A] 11.2 [A] & 9.10.1.3 <input type="checkbox"/> CHANGE OF USE <input type="checkbox"/> ALTERATION	
<b>2 MAJOR OCCUPANCY(S):</b> GROUP C (RESIDENTIAL) <b>SUBSIDIARY OCCUPANCY(S):</b> GROUP D (OFFICE) + GROUP A2 (FAMILY RESOURCE CENTRE)		3.1.2(1) 9.10.2	
<b>3 BUILDING AREA (M<sup>2</sup>):</b> EXISTING: 1,160m <sup>2</sup> NEW: 0 TOTAL: no change		14.1.2 [A] 14.1.2 [A]	
<b>4 GROSS AREA:</b> EXISTING: 2,810m <sup>2</sup> NEW: 0 TOTAL: no change		14.1.2 [A] 14.1.2 [A]	
<b>5 NUMBER OF STOREYS:</b> ABOVE GRADE: 3 BELOW GRADE: 1		14.1.2 [A] & 3.2.11. 14.1.2 [A] & 9.10.4	
<b>6 NUMBER OF STREETS / FIRE FIGHTER ACCESS:</b> 1 (EXISTING UNCHANGED)		3.2.2.10 & 3.2.5 9.10.20	
<b>7 BUILDING CLASSIFICATION:</b> 3.2.2.44 GROUP C, UP TO 4 STOREYS, NON COMBUSTIBLE CONSTRUCTION		3.2.2.20 - 83 9.10.2	
<b>8 SPRINKLER SYSTEM (PROPOSED):</b>		<input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> SELECTED FLOOR AREAS <input checked="" type="checkbox"/> NOT REQUIRED	
<b>9 STANDPIPE REQUIRED:</b> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		3.2.9 N/A	
<b>10 FIRE ALARM REQUIRED:</b> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		3.2.4 9.10.18	
<b>11 WATER/SERVICE/SUPPLY IS ADEQUATE:</b> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		3.2.5.7 N/A	
<b>12 HIGH BUILDING:</b> <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.6 N/A	
<b>13 CONSTRUCTION RESTRICTIONS ACTUAL CONSTRUCTION:</b>		<input type="checkbox"/> COMBUSTIBLE PERMITTED <input checked="" type="checkbox"/> NON-COMBUSTIBLE REQUIRED <input type="checkbox"/> BOTH <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH	
<b>14 MEZZANINE(S) AREA M<sup>2</sup>:</b> NA		3.2.11(3)-(8) 9.10.4.1	
<b>15 OCCUPANT LOAD BASED ON:</b>		<input type="checkbox"/> MSQ/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING OCCUPANCY C LOAD: no change PERSONS	
<b>16 BARRIER-FREE DESIGN:</b> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)		3.8 9.5.2	
<b>17 HAZARDOUS SUBSTANCES:</b> <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.3.12 & 3.3.119 9.10.13(4)	
<b>18 REQUIRED FIRE RESISTANCE RATING (FRR):</b>		3.2.2.20-83 & 3.2.14 9.10.8 9.10.9	
<b>FIRE RESISTANCE RATING (FRR):</b>		LISTED DESIGN NO. OR DESCRIPTION (SG-2)	
<b>HORIZONTAL ASSEMBLIES:</b> FLOORS: 1HR (NO CHANGE) ROOF: 1HR (NO CHANGE) MEZZANINE: N/A		NO CHANGE	
<b>FRR OF SUPPORTING MEMBERS:</b> FLOORS: no change HOURS ROOF: no change HOURS MEZZANINE: NA HOURS		LISTED DESIGN NO. OR DESCRIPTION (SG-2) NO CHANGE	
<b>19 SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS:</b> NA		3.2.3 9.10.14	
<b>20 OTHER-DESCRIBE:</b> NA			

Sheet Number	Sheet Name
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ARCHITECTURAL	
A0.0	OBC Matrix, Life Safety Plan, Key Plan
A0.1	Schedules
A1.0	Demolition and Proposed Plans - Area 1 & 2
A1.1	Demolition and Proposed RCPs - Area 1 & 2
A1.2	Demolition & Proposed Plans - Area 4
A2.0	Detail Plans & Interior Elevations - Area 1
A2.1	Detail Plans & Interior Elevations - Area 2
A3.0	IKEA Millwork Details
A3.1	Millwork Details
A3.2	Millwork Details - Kitchen
A4.0	Details

STRUCTURAL	
S1.0	Structural Sections & Details

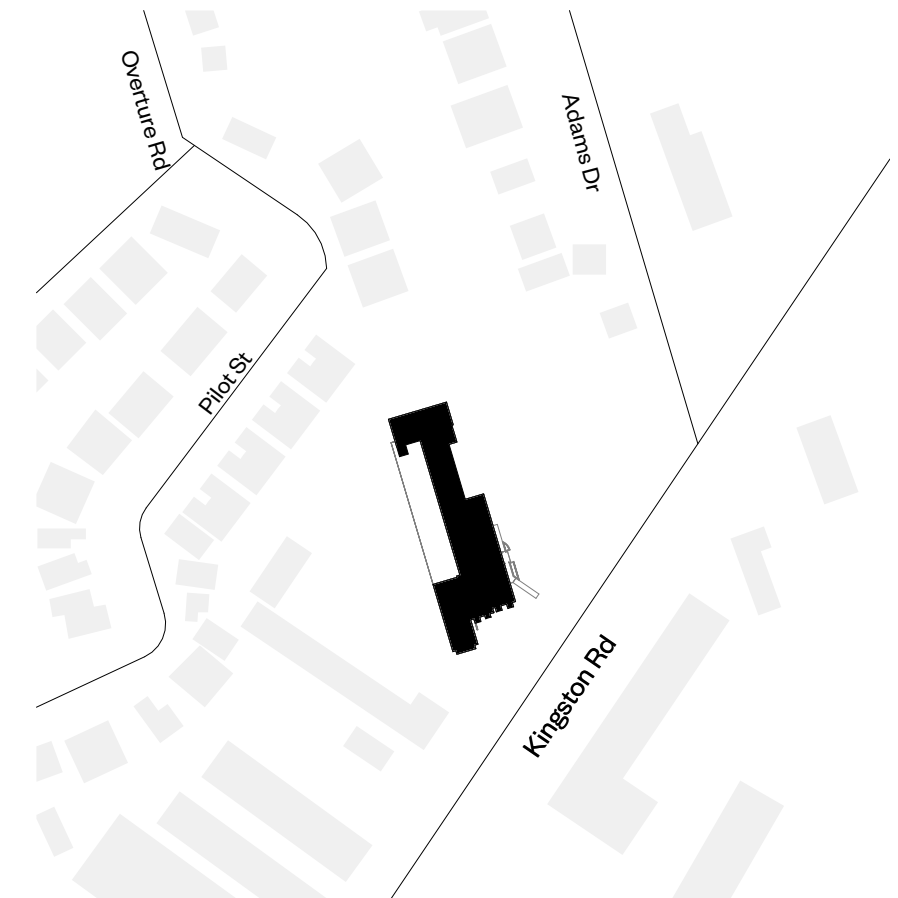
Sheet Number	Sheet Name
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MECHANICAL	
M-0.1	Mechanical Details
M-1.0	Level 1 Floor Plans - Mechanical Overview
M-1.1	Level 1 Floor Plan - Mechanical Demolition
M-1.2	Level 1 New Plumbing
M-1.3	Level 1 Existing/Reflected Ceiling Plan - Mechanical Demolition
M-1.4	Level 1 New Reflected Ceiling Plan - HVAC

ELECTRICAL	
E0.1	Electrical Legend & Schedules
E1.0	Electrical Overview
E1.1	Electrical - Demolition Lighting, Power & Systems
E1.2	Electrical - Construction Power & Systems
E1.3	Electrical - Construction Lighting

Sheet Number	Sheet Name
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LANDSCAPE	
LP-1	Tree Preservation Plan
LP-2	Tree Preservation Details and Notes
LP-1	Landscape Plan
LP-1.1	Planting Plan
LP-2	Landscape Details & Notes
LP-3	Landscape Details
LP-4	Landscape Details
LP-5	Landscape Details
LP-6	Landscape Details
LP-7	Landscape Details

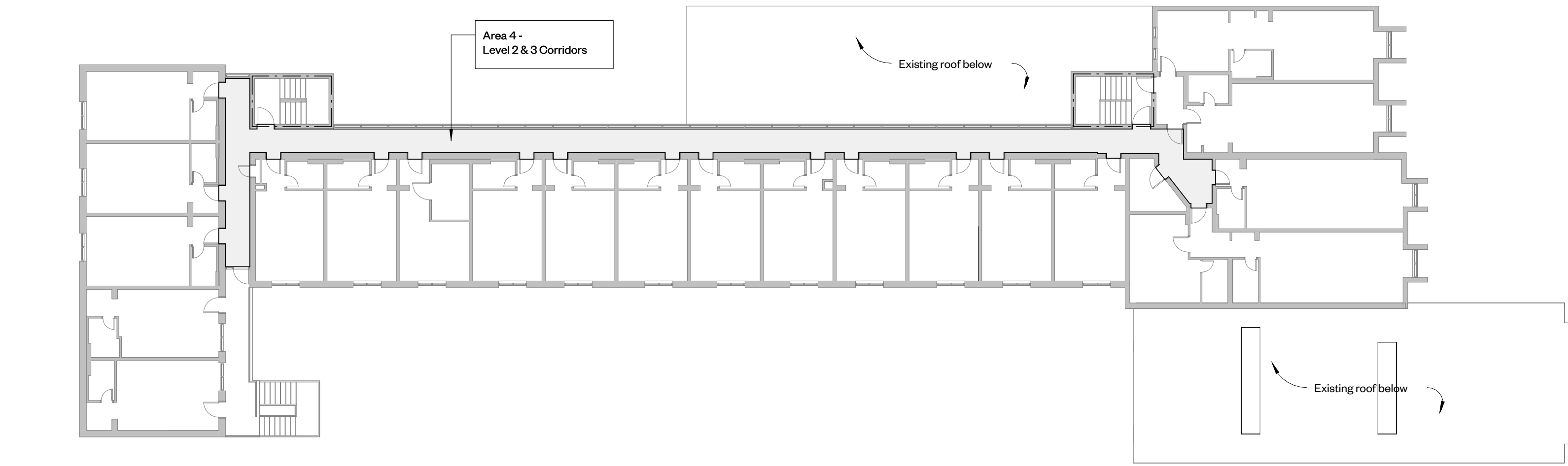


1 Context Plan  
N.T.S.

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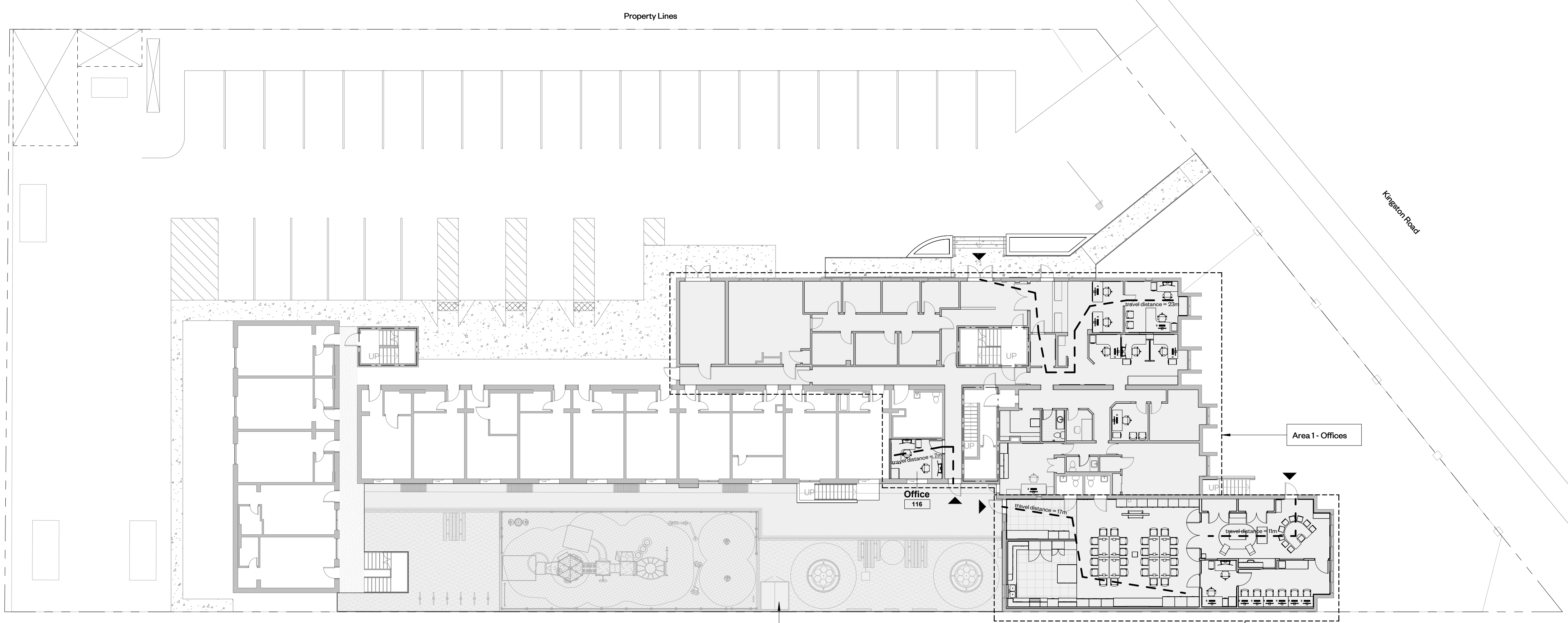
Rev	Description	Date
1	30% DD	24.05.24
2	60% DD	24.06.13
3	90% DD	24.07.25
4	Permit/Tender	24.09.03

Life Safety Plan Legend	
	1HR FRR
	Travel Distance Max Allowable = 45m
	Shaded area indicates scope of work
	Exit



3 Level 2 & 3 - Key Plan  
1 : 200

- General Notes .**
- Site visit is required by General Contractor to verify site conditions. Contact Architect for clarification if required.
  - Make good all surfaces/areas/finishes damaged during demolition.
  - All dimensions are to face of partition unless noted otherwise. Angles are 90 degrees unless noted otherwise.
  - Contractor to chalk partition layout on floor for Architect's review prior to construction.
  - Contractor to provide adequate blocking for all millwork, signage, grab bars, equipment, etc mounted to walls/ceilings.
  - Patch, repair and make good all existing partitions, bulkheads, and ceilings within area of work. Prepare existing surfaces as required to receive new finishes.
  - The General Contractor shall be responsible for all mechanical, electrical and plumbing work. The General Contractor shall be responsible for all chases, openings (including scanning/x-ray where required) and patching as required by mechanical, electrical, plumbing and IT cabling trades. Review requirements with these trades.
  - The General Contractor shall be responsible for keeping areas clean (e. access to exit corridors, etc). Remove garbage and clean daily and as required. At the completion of the job, the General Contractor shall remove all protective materials and arrange for a professional cleaning service to clean/wipe down all surfaces, including walls, windows/glazing, sills, blinds and fixtures/fittings.
  - General Contractor is to co-ordinate and co-operate with trades retained directly by Owner as applicable (eg, furniture installers, IT sub-trades etc.)
  - General Contractor shall be responsible for co-ordinating the work between the vendors identified in item 9 and the Owner's IT network team through cash allowance. IT network team will install all cabling and data requirements identified in the electrical drawings.
  - The General Contractor shall comply with all applicable Building and Fire Codes.
  - All temporary shoring/support is the responsibility of the Contractor.
  - All partitions shall be patched and repaired as required to accommodate installation of new mechanical/electrical services and installation of wood blocking to support new wall/ceiling mounted equipment - refer to mechanical/electrical drawings for extent/locations.
  - The Architectural drawings should be read in conjunction with Structural, Mechanical, Electrical and Landscape documents. Any discrepancies are to be reported to the Architect prior to execution of related work.
  - Refer to building specific Designated Substances Report and Scope of Work prior to commencing demolition. Follow Report recommendations if materials are encountered which are suspected to contain designated substances.
  - Refer to Structural documents for all Structural components. No Structural design information shall be inferred from the Architectural documents.
  - Refer to Mechanical documents for all Mechanical components. No Mechanical design information shall be inferred from the Architectural documents.
  - Refer to Electrical documents for all Electrical components. No Electrical design information shall be inferred from the Architectural documents.
  - Refer to Landscape documents for all Landscape components. No Landscape design information shall be inferred from the Architectural documents.



2 Level 1 - Key Plan & Life Safety  
1 : 200

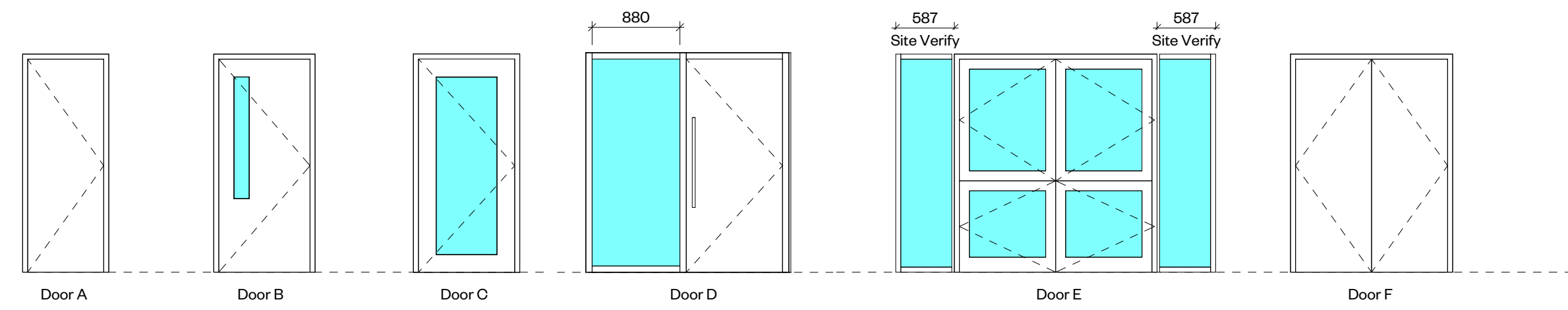


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TSSS Family Residence  
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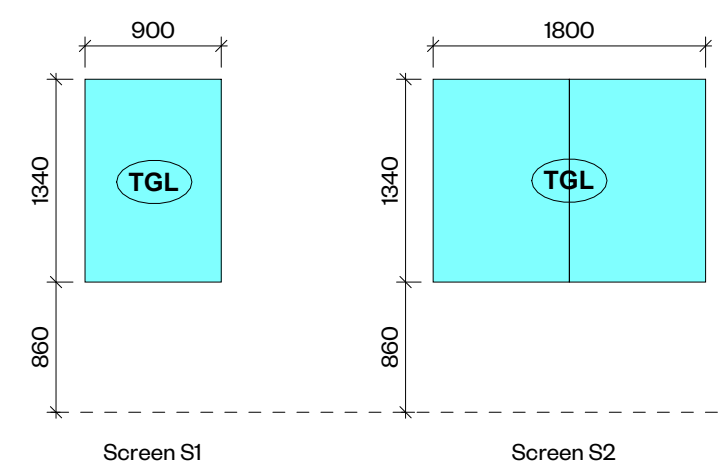
PROJECT CODE:	SCALE:
2402	As indicated
DATE:	STATUS:
September 2024	Permit/Tender

**DOORSCHEDULE**



NOTE: All glazing to be tempered  
 NOTE: All HM frames to be 60mm profile  
 NOTE: Glazing film GF at 1219mm AFF  
 NOTE: Provide rollershades at all glazed lites

**INTERIOR SCREENSCHEDULE**



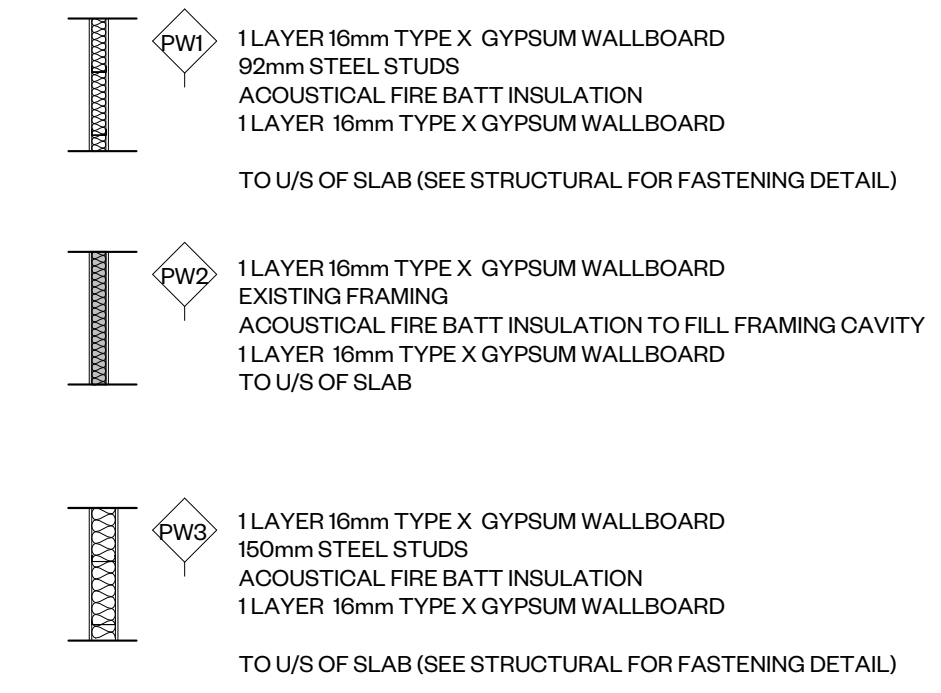
NOTE: All screen glazing to be TGL  
 NOTE: Provide rollershades at all screens

**ASSEMBLYSCHEDULE**

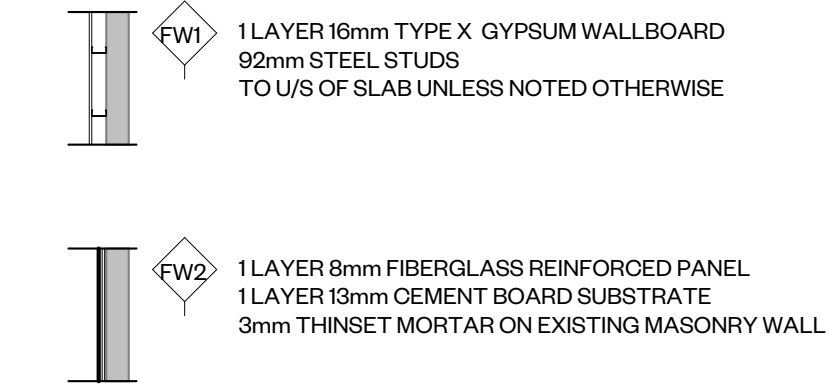
NOTES:

- USE WATER RESISTANT DRYWALL IN ALL WET AREAS - REFER TO SPECIFICATION 09 25 00
- PROVIDE CONTINUOUS PLYWOOD BLOCKING BEHIND ALL MILLWORK CABINETS, SUSPENDED ITEMS, TELEVISIONS ETC.
- ALL INTERNAL PARTITIONS EXTEND TO U/S DECK ABOVE UNLESS NOTED OTHERWISE.
- PROVIDE FIRE RESISTANCE RATINGS AS INDICATED ON DRAWINGS
- PROVIDE ABUSE RESISTANT DRYWALL TO 1220mm AFF IN ALL AREAS

**INTERIOR PARTITIONS**



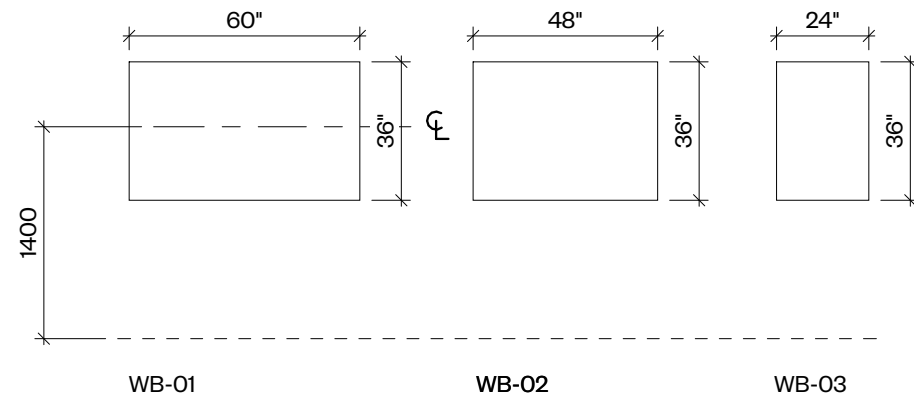
**FURRED PARTITIONS**



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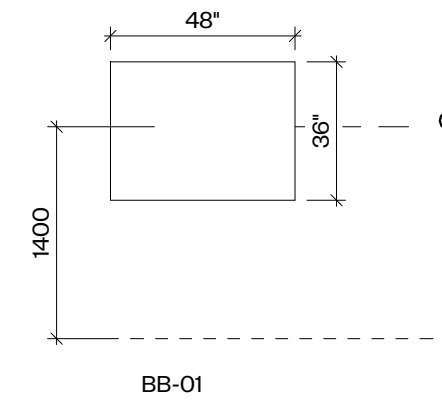
Door Schedule											
Room	Door No.	Type Mark	Height	Width	Door Mat	Finish	Frame Material	Frame Fin.	Fire Rating	Power Operator	Comments
WC 106	D106	A	2032	711	HM	PT	HM	PT			Acoustically insulated door
WC 113	D113	A	2032	711	HM	PT	HM	PT			Acoustically insulated door
Office 116	D116	B	2032	965	HM	PT	HM	PT			Provide rollershade at glazed lite.
Computer 152	D152	C	2137	965	WD	PT	HM	PT			Provide rollershade at glazed lite.
Office 153	D153	D	2137	965	WD	PT	HM	PT			Provide rollershade at glazed lite.
Office 153	D153b	C	2137	965	WD	PT	HM	PT			Provide rollershade at glazed lite.
Toddler Playroom 154	D154	E	2134	1930	WD	PT	HM	PT			Double dutch door. Provide rollershade at glazed lite.
Storage 155	D155a	F	2134	1524	WD	PT	WD	PT			
Storage 155	D155b	F	2134	1524	WD	PT	WD	PT			
Mud Room 157	ED156	B	2032	991	EXIST	PT	EXIST	EXIST	1HR	Yes	Paint existing door and provide new hardware

**MAGNETIC WHITEBOARD SCHEDULE**



Magnetic WhiteBoard		
Item Tag	Size	Quantity
WB-01	60"W x 36"H	15
WB-02	48"W x 36"H	4
WB-03	24"W x 36"H	1

**BULLETIN BOARD SCHEDULE**



Bulletin Board		
Item Tag	Size	Quantity
BB-01	48"W x 36"H	2

WA - Room Finish Schedule						
Room No.	Room Name	Wall Finish	Floor Finish	Base Finish	Ceiling Finish	Comments
101	Office Area	PT	RES	RB	ACT	
101a	IT Closet	PT	RES	RB	ACT	
102	Intake Rm	PT	RES	RB	ACT	
103	Office	PT	RES	RB	ACT	
104	Corridor	PT	RES	RB	ACT	
105	Print	PT	RES	RB	ACT	
106	W/C	PT/CER	POR	CER	GWB	CER to 1200mm AFF.
107	Office	PT	RES	RB	ACT	
108	Office	PT	RES	RB	ACT	
109	Office	PT	RES	RB	ACT	
110	Corridor	PT	RES	RB	ACT	
111	Office	PT	RES	RB	ACT	
111a	Closest	PT	RES	RB	GWB	
112	Office	PT	RES	RB	ACT	
112a	IT Closet	PT	RES	RB	GWB	
112b	Closest	PT	RES	RB	GWB	
116	Office	PT	RES	RB	ACT	
117	Corridor	EXIST	RES	RB	EXIST	
120	Vestibule	EXIST	EXIST	EXIST	ACT	
121	Corridor	EXIST	RES	RB	EXIST	
122	Office	EXIST	RES	RB	EXIST	
123	Office	EXIST	RES	RB	EXIST	
124	Office	EXIST	RES	RB	EXIST	
125	Office	EXIST	RES	RB	EXIST	
126	Office	EXIST	RES	RB	EXIST	
127	Office	EXIST	RES	RB	EXIST	
128	Office	EXIST	RES	RB	EXIST	
129	Meeting	EXIST	RES	RB	EXIST	
130	Storage	EXIST	RES	RB	EXIST	
131	Corridor	EXIST	RES	RB	EXIST	
150	Common Area	EXIST/PT/FRP	RES	RB	EXP/GWB	Refer to interior elevations for extent of FRP.
151	Kitchen	PT/CER	POR	CER	GWB	CER to 1400mm AFF.
152	Computer	EXIST/PT/FRP	RES	RB	ACT	Refer to interior elevations for extent of FRP.
153	Office	PT	RES	RB	ACT	
154	Toddler Playroom	EXIST/PT/FRP	RES	RB	EXP/GWB	Refer to interior elevations for extent of FRP.
155a	Storage	EXIST/PT	RES	RB	GWB	
155b	Storage	EXIST/PT	RES	RB	GWB	
156	Mud Room	EXIST/PT/FRP/PLAM	POR	RB	GWB	Refer to interior elevations for extent of FRP and writeable PLAM.
200,300	Corridor	EXIST	PC	--	EXIST	Clean existing textured masonry walls at Level 2 & 3 suite corridors.

Rev	Description	Date
2	60" DD	24.06.13
3	90" DD	24.07.25
4	Permit/Tender	24.09.03

**Materials Legend**

ACT	Acoustic Ceiling Tile
ALUM	Aluminum
CER	Ceramic Tile
EXIST	Existing
EXP	Exposed (Painted)
FRP	Fiberglass Reinforced Panel
GF	Glazing Surface Film
GWB	Gypsum Wallboard (Painted)
PC	Polished Concrete
PLAM	Plastic Laminate (Markerboard)
POR	Porcelain Tile
PT	Paint Finish
QTZ	Quartz
RB	Rubber Base
RES	Resilient Sheet Flooring
RS	Roller Shade
SO	Solid Polymer Fabrications
TGL	Tempered Glass
WD	Solid Wood



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**TSSS Family Residence Renovations**

4222 Kingston Road

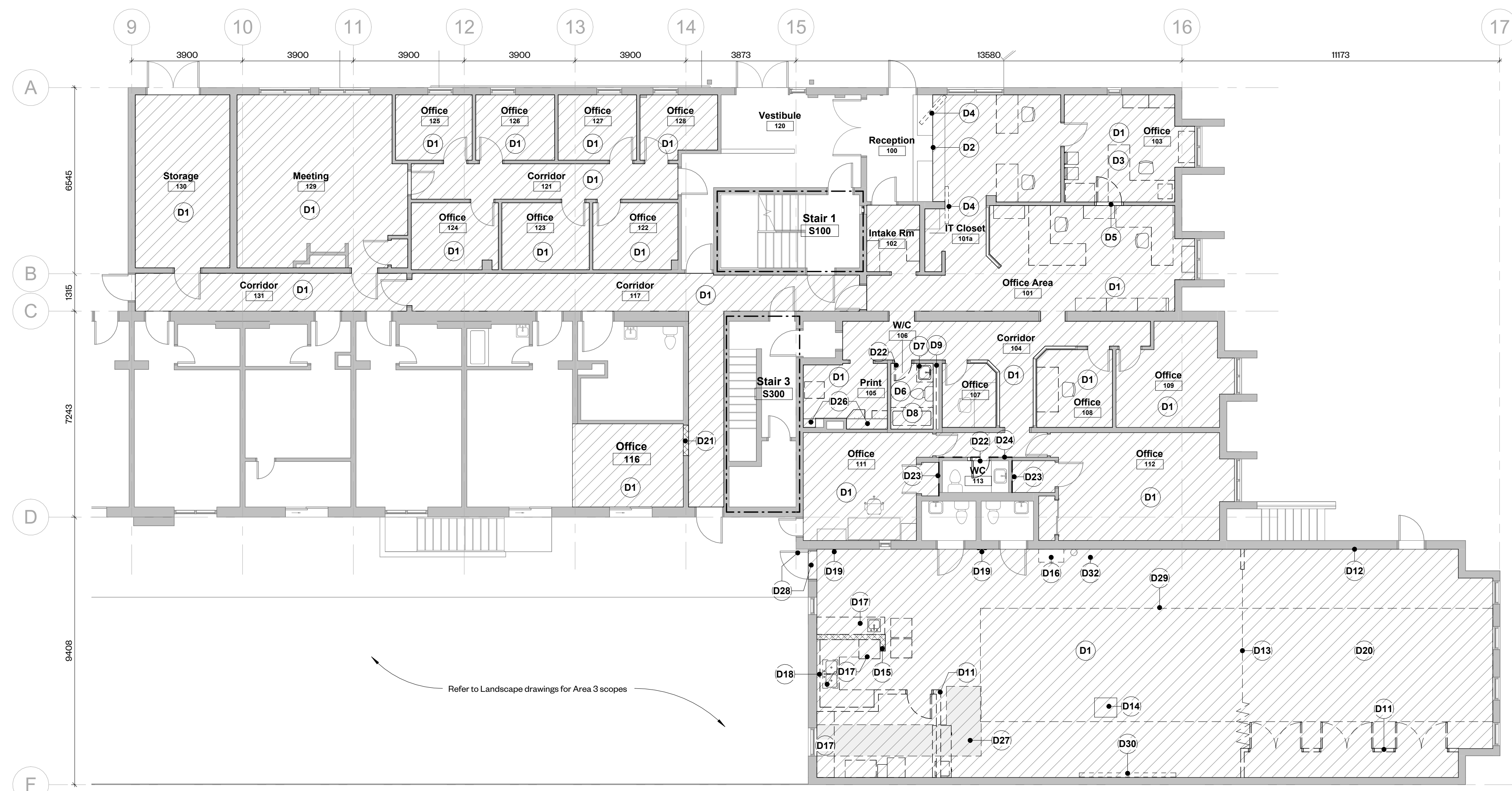
PROJECT CODE:	SCALE:
2402	As indicated
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**Schedules**

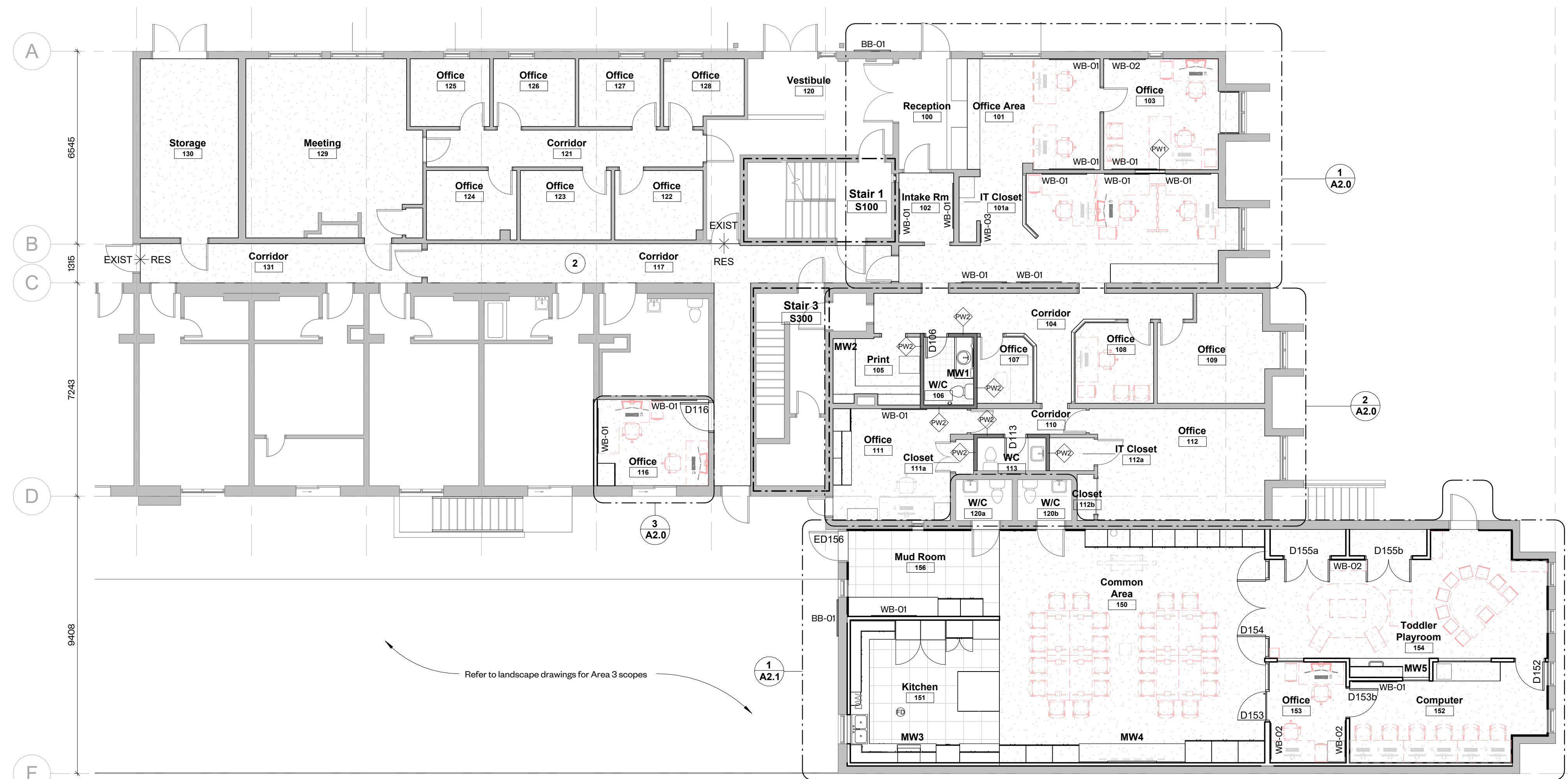
drawing number

**A0.1**





1 Demolition Plan - Area 1 & 2 - Level 1  
1 : 100



2 Proposed Plan - Area 1 & 2 - Level 1  
1 : 100

Demolition Notes	
Note	Description
D1	Hatch indicates approx. extent of existing vinyl sheet flooring and wood baseboard to be demolished. Prepare substrate to receive new finishes.
D2	Extent of floor demolition ends at the leg of the accessible reception counter. Protect counter during demolition.
D3	Remove existing furniture and protect during demolition. Coordinate with owner to relocate/reinstall.
D4	All security equipment to be removed and reinstated to space after floor and ceiling replacement.
D5	Demolish existing door. Infill wall to suit.
D6	Hatch indicates approx. extent of existing tile flooring to be demolished. Prepare substrate to receive new finish.
D7	Demolish existing millwork and sink. Make good adjacent surfaces.
D8	Demolish existing plumbing fixtures. Make good adjacent surfaces and prepare to receive new.
D9	Demolish existing furring wall, wall tiles and wall mounted lighting fixtures. Make good adjacent surfaces.
D10	Demolish existing partition walls, doors, and frames. Make good adjacent surfaces.
D11	Demolish existing perimeter half-height wall protection. Prepare surface to receive new wall panelling.
D12	Demolish existing curtain partition. Make good adjacent surfaces.
D13	Existing crawl space floor hatch to remain. Prepare to receive new floor finish.
D14	Demolish existing non-loadbearing masonry wall. Make good adjacent surfaces.
D15	Existing wall mounted IT setup to be relocated. Protect during demolition.
D16	Demolish existing millwork and sinks. Make good adjacent surfaces.
D17	Demolish existing pipe overhead kitchen - see mechanical.
D18	Remove and reinstall push buttons in new wall panelling.
D19	Diagonal hatch denotes extent of existing carpet flooring to be removed. Prepare substrate to receive new finish.
D20	New opening and lintel in existing masonry wall - see structural for temporary shoring requirements. Prepare to receive new door.
D21	Demolish door and enlarge door opening. Prepare to receive new acoustic door.
D22	Demolish GWB on closet face of wall. Prepare to infill framing cavity with new acoustic insulation and GWB.
D23	Demolish GWB on corridor face of wall. Prepare to infill framing cavity with new acoustic insulation and GWB.
D24	Power wash all textured masonry walls once carpet is removed.
D25	Demolish existing lower cabinets. Upper cabinets to remain - protect during demolition.
D26	Grey hatch indicates approximate extent of slabs to be demolished for trenching. Contractor to determine full extent as required to accommodate below slab services.
D27	Remove existing door and hardware - salvage for reuse. Demolish tiled finish at threshold and relevel existing concrete to accept new door threshold.
D28	Dotted line shows approximate extent of crawl space - contractor to site verify extents.
D29	Remove existing TV and reinstall in new furred wall.
D30	Contractor to investigate existing leaks and address waterproofing/structural repairs of existing slab through cash allowance. Extent of area identified by grey tone.
D31	Existing roof drain to remain, protect during demolition.

**Demolition Legend**

- Existing CMU partition to be demolished
- Existing wall partition system to be demolished
- Existing element to be demolished
- Approximate extent of flooring to be removed
- Approximate extent of ceiling to be removed
- Existing door leaf and frame to be demolished

**Legend**

- Existing partition to remain
- New partition as scheduled
- Existing furniture - reinstated by contractor
- New furniture - by others, contractor to coordinate supply/install of power & data

**Symbols Legend**

- Partition Tag - refer to partition schedule
- Glazed Screen tag - refer to schedule
- New Door tag - refer to schedule
- Millwork Tag
- Ceiling Material Height above Finished Floor
- Existing
- N.I.C. Not in Contract

General Notes	
Note	Description
1	New furniture shown red dashed (N.I.C.), contractor to coordinate locations and provide power and data - see electrical.
2	Dotted hatch denotes extent of new resilient flooring and base.
3	All existing furniture and equipment shown in grey to be reinstated in space after new finishes have been completed.
4	New infill wall.
5	Existing wall/ceiling mounted security monitors and monitor cart to be reinstated after new finishes have been completed.
6	New resilient flooring to terminate at reception desk knees space.
7	Existing printer to be reinstated in space after new finishes have been completed.
8	New paint finish along corridor wall.
9	New sink, toilet and tile floor finish - see mechanical.
10	New glazed double doors with ability to open 180 degrees and stack against face of finished wall.
11	Diagonal hatch denotes extent of new polished concrete flooring at Level 2 and 3 suite corridors.
12	New commercial kitchen with 1 sink, fridge, freezer, dishwasher, induction cooktop, wall oven and under counter microwave - see electrical and mechanical.
13	New handwash sink in counter - see mechanical.
14	New computer workstations, owner supplied contractor installed. Coordinate with Owner's IT network team - see electrical for power & data requirements.
15	IKEA component furniture - refer to interior elevations and A3.0 for details.
16	Dashed line indicates extent of existing textured masonry wall to be power washed.
17	New lintel to support new door opening - see structural.
18	Dashed line shows approximate extent of crawl space.
19	Grey hatch indicates approximate extent of trenching for new sanitary connections. See structural and mechanical.
20	Existing door with new continuous hinges and door threshold.
21	New recessed electrical panel - see electrical.
22	AV equipment by cash allowance shown in grey dashed - contractor to supply and install.
23	Existing roof drain to remain - adjust Ikea high cabinet to accommodate.
24	Relocate existing IT cabinet inside Ikea high cabinet - add openings for existing cabling as required.
25	New exterior bulletin board mounted on exterior wall.

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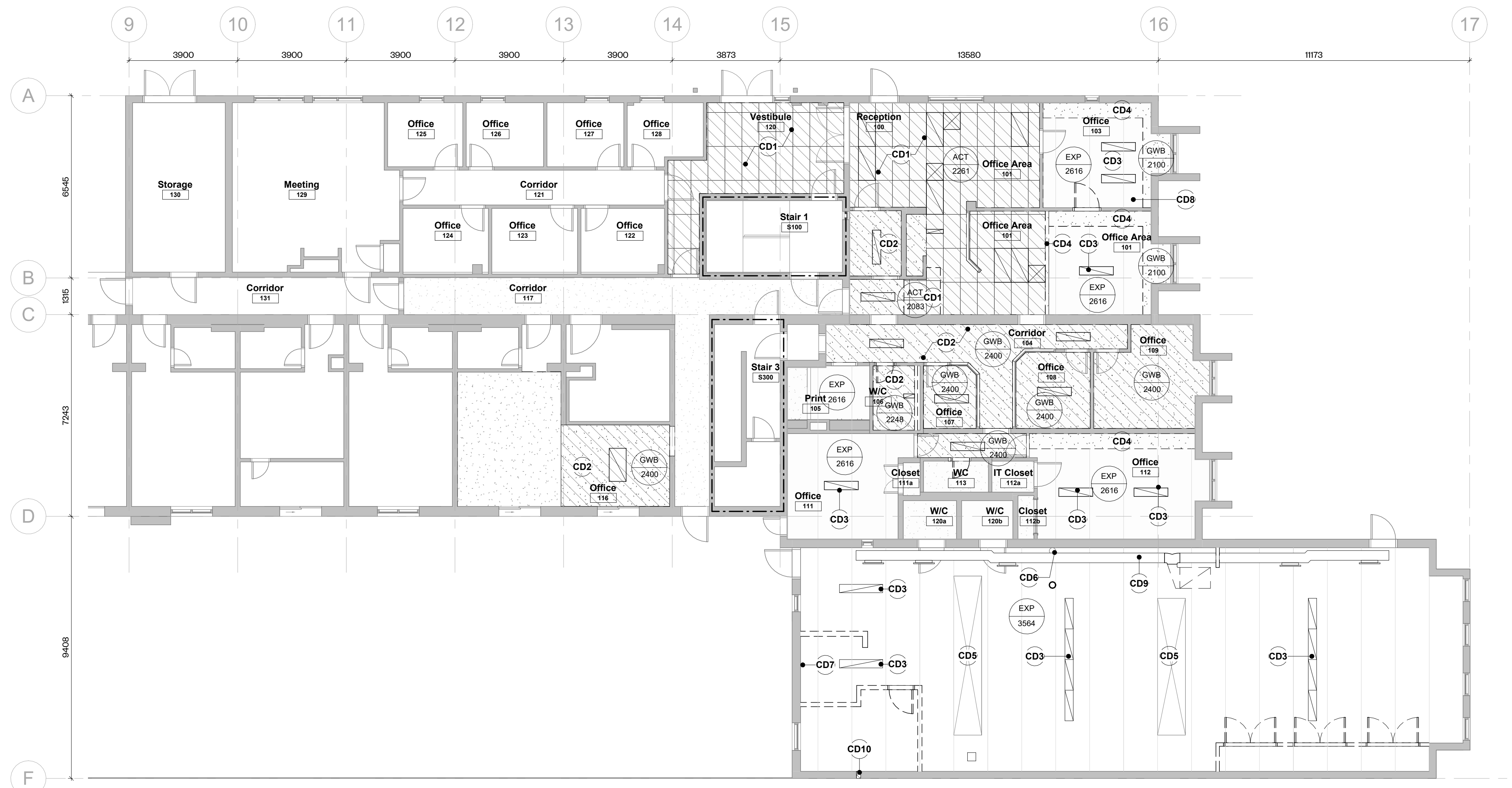
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Demolition and Proposed Plans - Area 1 & 2

Project North drawing number **A1.0**





Ceiling Demolition Notes	
Note	Description
CD1	Demolish existing ACT, framing and lighting fixtures throughout. Existing security cameras and devices to be removed and reinstated in new ceiling - see electrical.
CD2	Demolish existing GWB, framing and lighting fixtures throughout. Existing security cameras and devices to be removed and reinstated in new ceiling - see electrical.
CD3	Demolish existing surface mounted lighting fixtures on exposed ceiling throughout. Existing security cameras and devices to be removed and reinstated in new ceiling.
CD4	Demolish existing GWB bulkheads and replace vertical diffusers with ceiling mounted - see mechanical.
CD5	Existing skylight to remain - protect during demolition.
CD6	Existing roof drain to remain - see mechanical.
CD7	Demolish vent piping. New piping to reuse existing roof penetration - see mechanical.
CD8	Contractor to investigate existing leaks and address waterproofing/structural repairs of existing slab through cash allowance. Extent of area identified by gray tone.
CD9	Existing main duct to remain and enclosed in new GWB bulkhead. Modifications to suit new layout - see mechanical.
CD10	New opening through existing exterior masonry wall for exhaust vent - see mechanical.

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Rev	Description	Date
1	30% DD	24.05.24
2	60% DD	24.06.13
3	90% DD	24.07.25
4	Permit/Tender	24.09.03

1 Demolition RCP - Area 1 & 2 - Level 1  
1 : 100



Materials Legend	
ACT	Acoustic Ceiling Tile
ALUM	Aluminum
CER	Ceramic Tile
EXIST	Existing
EXP	Exposed (Painted)
FRP	Fiberglass Reinforced Panel
GF	Glassing Surface Film
GWB	Gypsum Wallboard (Painted)
PC	Polished Concrete
PLAM	Plastic Laminate (Markerboard)
PCR	Porcelain Tile
PT	Paint Finish
QTZ	Quartz
RB	Rubber Base
RES	Resilient Sheet Flooring
RS	Roller Shade
SO	Solid Polymer Fabrications
TGL	Tempered Glass
WD	Solid Wood

ROP LEGEND	
○	OF potlight - see electrical
□	Fluorescent lighting fixture see electrical
▧	Transfer grille
⊗	Supply air diffuser
- - -	Cove Light
(E)	Existing

Ceiling Notes	
Note	Description
C1	New ACT ceiling and lighting - see electrical and mechanical for full extent of ceiling mounted fixtures.
C2	New GWB ceiling and pot lighting - see electrical and mechanical for full extent of ceiling mounted fixtures.
C3	New GWB bulkhead to house ductwork and cove light - see electrical and mechanical.
C4	Pendant light centered over island - see electrical.
C5	New rollershades at all existing windows (typ).
C6	GWB downstand to frame into at existing skylight and new GWB ceiling - see detail.
C7	Range hood exhaust air vent through new furred wall and existing exterior masonry wall - see mechanical.
C8	Exhaust vent concealed in ceiling space - see mechanical.
C9	Extend new DHW & DCW lines overhead in ceiling space - see mechanical. Conceal riser in new furred wall/milwork. Exact routing to be confirmed on site.
C10	Exhaust vent concealed in ceiling space. Use existing roof penetration - see mechanical.
C11	Pendant lights suspended from exposed ceiling. Exact locations to be determined by contractor on site - see electrical.
C12	Pendant light suspended from GWB ceiling - see electrical.

Note: Provide 6 no. 300x300 ceiling access panels - locations to be confirmed on site.

2 Proposed RCP - Area 1 & 2 - Level 1  
1 : 100



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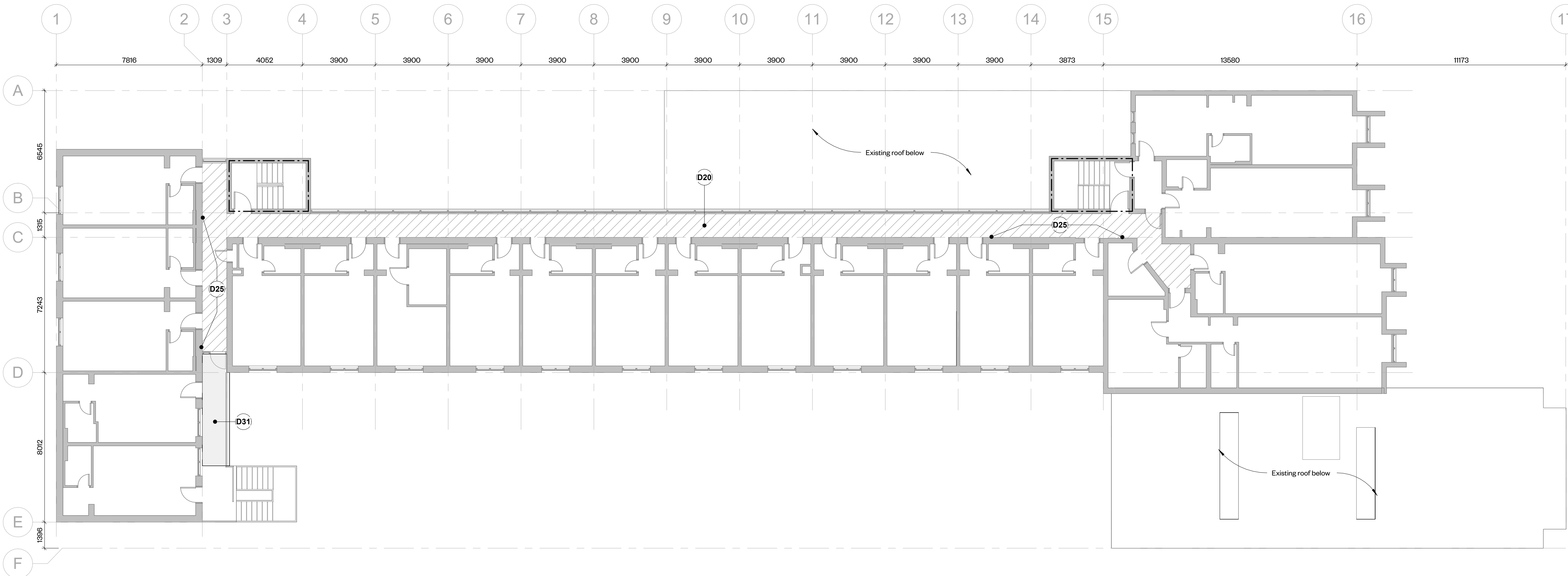
TSSS Family Residence Renovations  
4222 Kingston Road

PROJECT CODE:	SCALE:
2402	As indicated
DATE:	STATUS:
September 2024	Permit/Tender

## Demolition and Proposed RCPs - Area 1 & 2







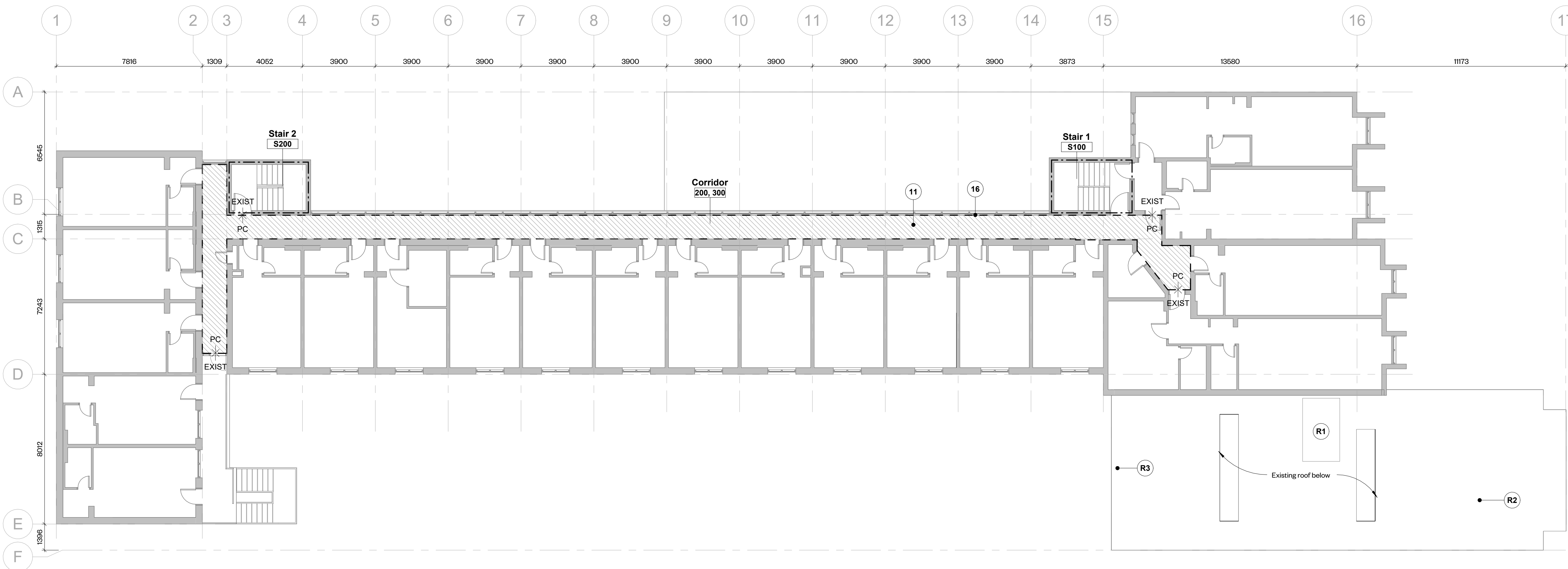
1 Demolition Plan - Area 4 - Level 2 & 3  
1 : 125

Demolition Notes	
Note	Description
D1	Hatch indicates approx. extent of existing vinyl sheet flooring and wood baseboard to be demolished. Prepare substrate to receive new finishes.
D2	Extent of floor demolition ends at the leg of the accessible reception counter. Protect counter during demolition.
D3	Remove existing furniture and protect during demolition. Coordinate with owner to relocate/reinstall.
D4	All security equipment to be removed and reinstated to space after floor and ceiling replacement.
D5	Demolish existing door. Infill wall to suit.
D6	Hatch indicates approx. extent of existing tile flooring to be demolished. Prepare substrate to receive new finish.
D7	Demolish existing millwork and sink. Make good adjacent surfaces.
D8	Demolish existing plumbing fixtures. Make good adjacent surfaces and prepare to receive new.
D9	Demolish existing furring wall, wall tiles and wall mounted lighting fixtures. Make good adjacent surfaces.
D11	Demolish existing partition walls, doors, and frames. Make good adjacent surfaces.
D12	Demolish existing perimeter half-height wall protection. Prepare surface to receive new wall panelling.
D13	Demolish existing curtain partition. Make good adjacent surfaces.
D14	Existing crawl space floor hatch to remain. Prepare to receive new floor finish.
D15	Demolish existing non-loadbearing masonry wall. Make good adjacent surfaces.
D16	Existing wall mounted IT setup to be relocated. Protect during demolition.
D17	Demolish existing millwork and sinks. Make good adjacent surfaces.
D18	Demolish existing pipe overhead kitchen - see mechanical.
D19	Remove and reinstate push buttons in new wall panelling.
D20	Diagonal hatch denotes extent of existing carpet flooring to be removed. Prepare substrate to receive new finish.
D21	New opening and lintel in existing masonry wall - see structural for temporary shoring requirements. Prepare to receive new door.
D22	Demolish door and enlarge door opening. Prepare to receive new acoustic door.
D23	Demolish GWB on closet face of wall. Prepare to infill framing cavity with new acoustic insulation and GWB.
D24	Demolish GWB on corridor face of wall. Prepare to infill framing cavity with new acoustic insulation and GWB.
D25	Power wash all textured masonry walls once carpet is removed.
D26	Demolish existing lower cabinets. Upper cabinets to remain - protect during demolition.
D27	Grey hatch indicates approximate extent of slabs to be demolished for trenching. Contractor to determine full extent as required to accommodate below slab services.
D28	Remove existing door and hardware - salvage for reuse. Demolish tiled finish at threshold and relevel existing concrete to accept new door threshold.
D29	Dotted line shows approximate extent of crawl space - contractor to onsite verify extents.
D30	Remove existing TV and reinstate in new furred wall.
D31	Contractor to investigate existing leaks and address waterproofing/structural repairs of existing slab through cash allowance. Extent of area identified by grey tone.
D32	Existing roof drain to remain, protect during demolition.

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EXIST	Existing
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FRP	Fiberglass Reinforced Panel
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PLAM	Plastic Laminate (Markerboard)
POR	Porcelain Tile
PT	Paint Finish
QTZ	Quartz
RB	Rubber Base
RES	Resilient Sheet Flooring
RS	Roller Shade
SO	Solid Polymer Fabrications
TGL	Tempered Glass
WD	Solid Wood



2 Proposed Plan - Area 4 - Level 2 & 3  
1 : 125

General Notes	
Note	Description
1	New furniture shown red dashed (N.I.C.), contractor to coordinate locations and provide power and data - see electrical.
2	Dotted hatch denotes extent of new resilient flooring and base.
3	All existing furniture and equipment shown in grey to be reinstated in space after new finishes have been completed.
4	New infill wall.
5	Existing wall/ceiling mounted security monitors and monitor cart to be reinstated after new finishes have been completed.
6	New resilient flooring to terminate at reception desk knee space.
7	Existing printer to be reinstated in space after new finishes have been completed.
8	New paint finish along corridor wall.
9	New sink, toilet and tile floor finish - see mechanical.
10	New glazed double doors with ability to open 180 degrees and stack against face of finished wall.
11	Diagonal hatch denotes extent of new polished concrete flooring at Level 2 and 3 suite corridors.
12	New commercial kitchen with 1 sink, fridge, freezer, dishwasher, induction cooktop, wall oven and under counter microwave - see electrical and mechanical.
13	New handwash sink in counter - see mechanical.
14	New computer workstations, owner supplied contractor installed. Coordinate with Owner's IT network team - see electrical for power & data requirements.
15	IKEA component furniture - refer to interior elevations and A3.0 for details.
16	Dashed line indicates extent of existing textured masonry wall to be power washed.
17	New lintel to support new door opening - see structural.
18	Dashed line shows approximate extent of crawl space.
19	Grey hatch indicates approximate extent of trenching for new sanitary connections. See structural and mechanical.
20	Existing door with new continuous hinge and door threshold.
21	New recessed electrical panel - see electrical.
22	AV equipment by cash allowance shown in grey dashed - contractor to supply and install.
23	Existing roof drain to remain - adjust Ikea high cabinet to accommodate.
24	Relocate existing IT cabinet inside Ikea high cabinet - add openings for existing cabling as required.
25	New exterior bulletin board mounted on exterior wall.

Roof Notes	
Note	Description
R1	Existing rooftop unit to remain - see mechanical.
R2	New roof penetration for exhaust vent - see mechanical.
R3	Existing roof penetration to remain - see mechanical.



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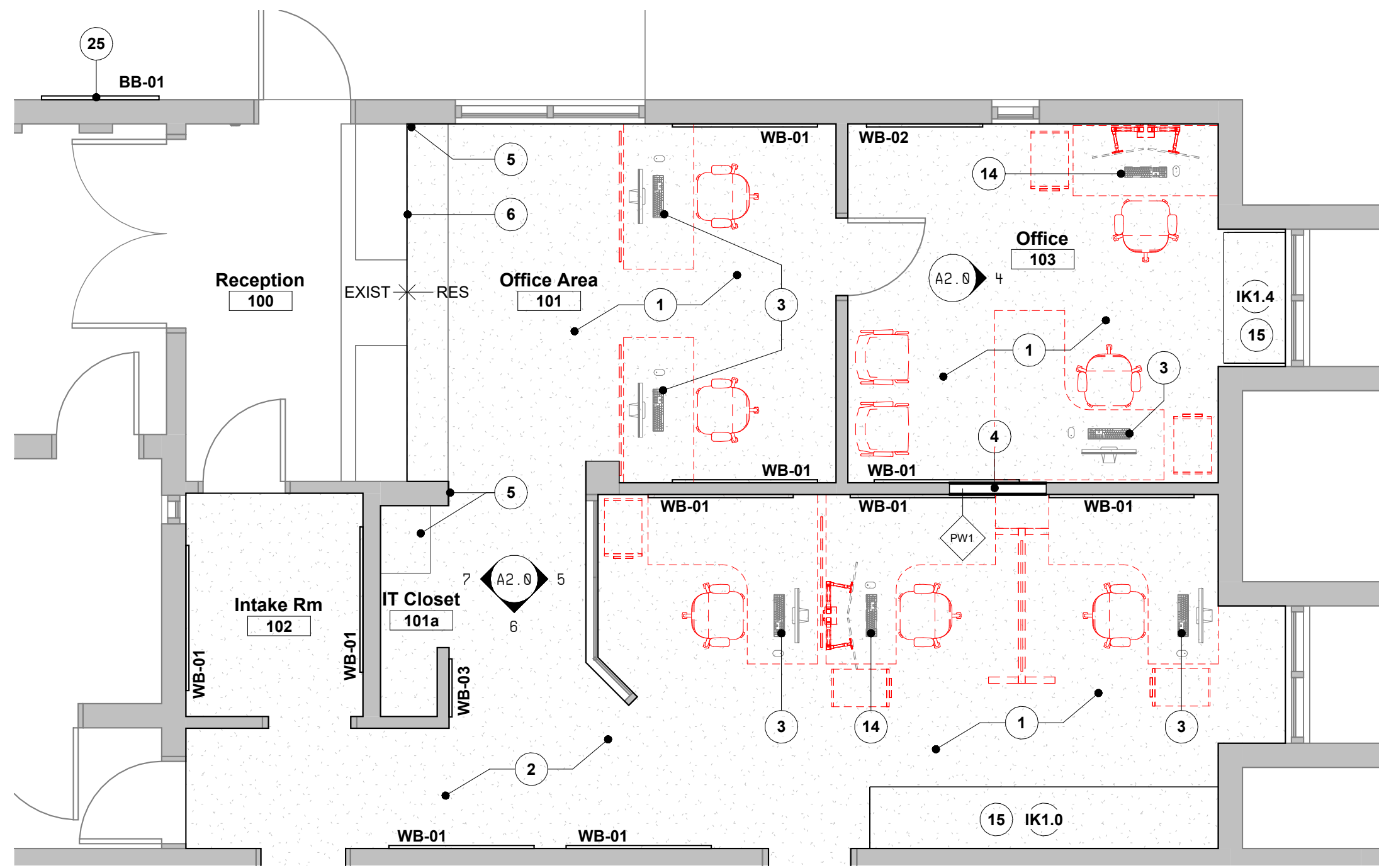
PROJECT CODE:	SCALE:
2402	As indicated
DATE:	STATUS:
September 2024	Permit/Tender

Demolition & Proposed Plans - Area 4

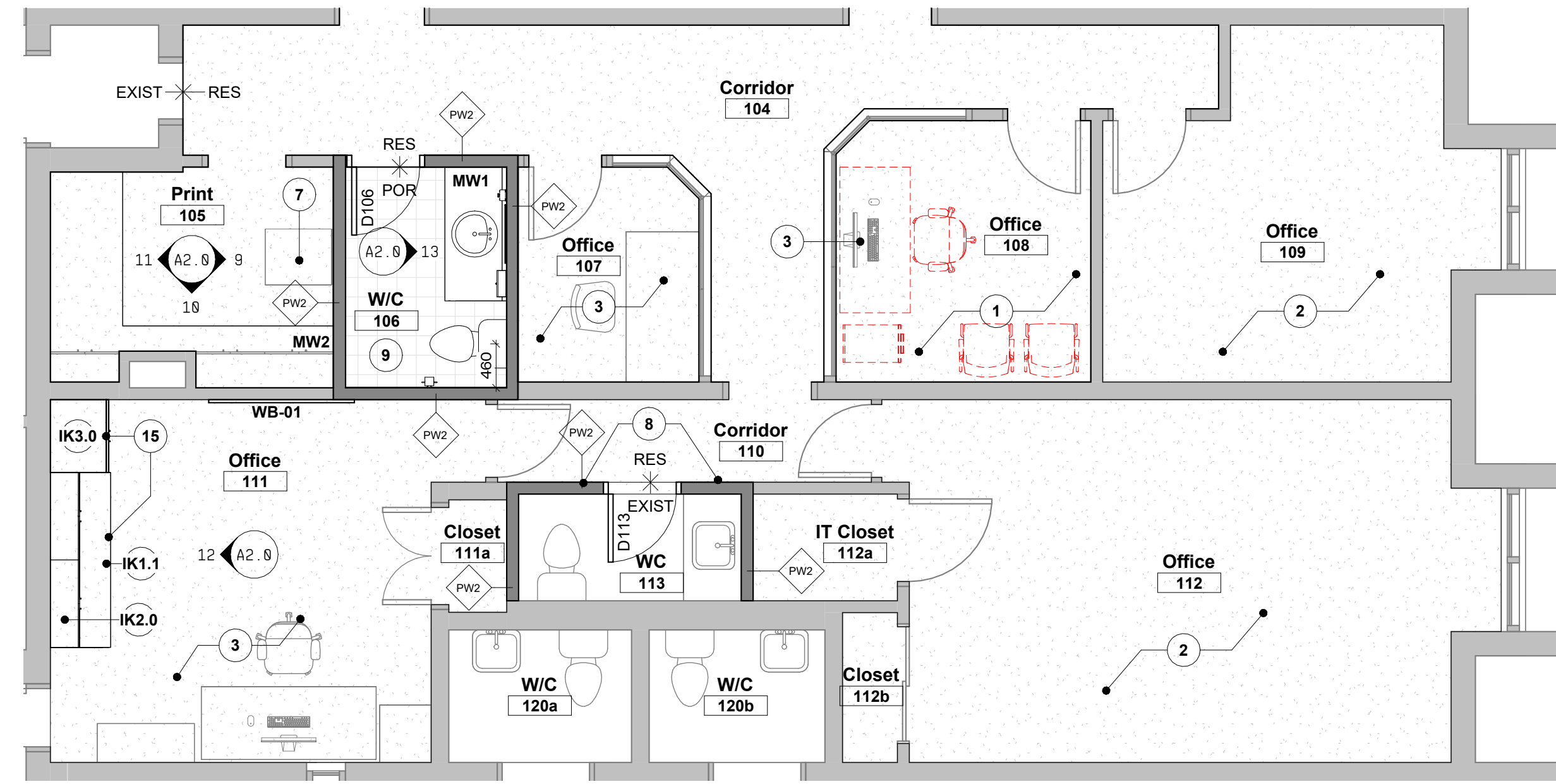
Project North

drawing number

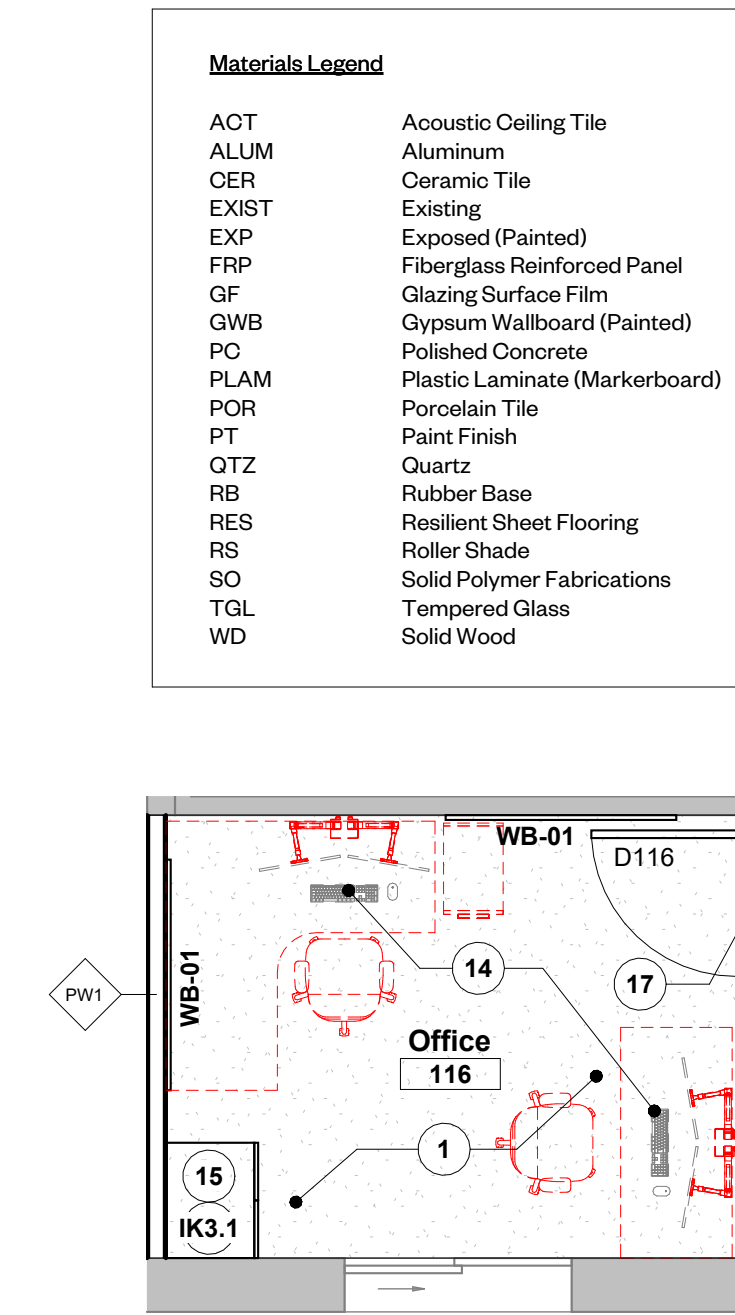
**A1.2**



① Detail Plan - Front Offices  
1 : 50



② Detail Plan - Back Offices  
1 : 50



③ Detail Plan - Office 116  
1 : 50

**Materials Legend**

ACT	Acoustic Ceiling Tile
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EXIST	Existing
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TGL	Tempered Glass
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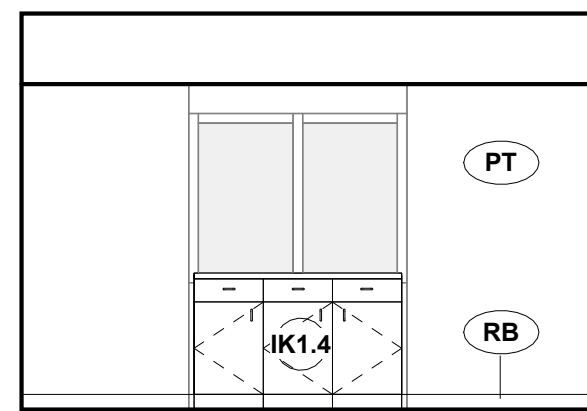
Rev	Description	Date
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**Legend**

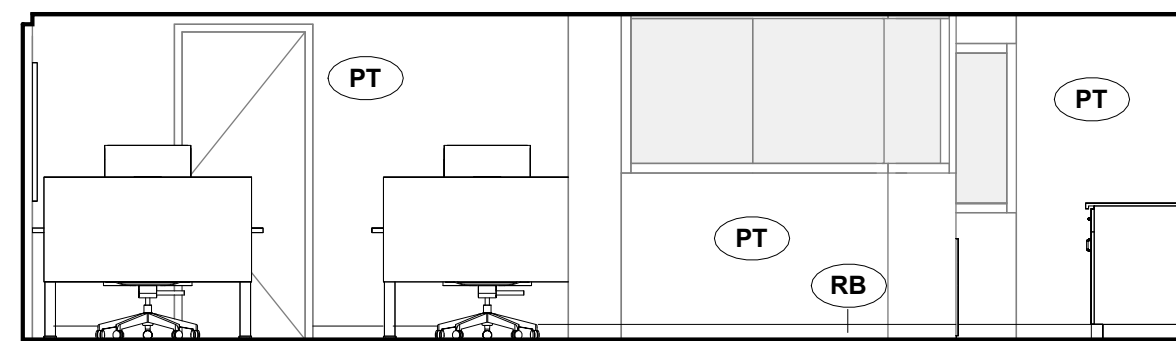
- Existing partition to remain
- New partition as scheduled
- Existing furniture - reinstated by contractor
- New furniture - by others, contractor to coordinate supply/install of power & data

**Symbols Legend**

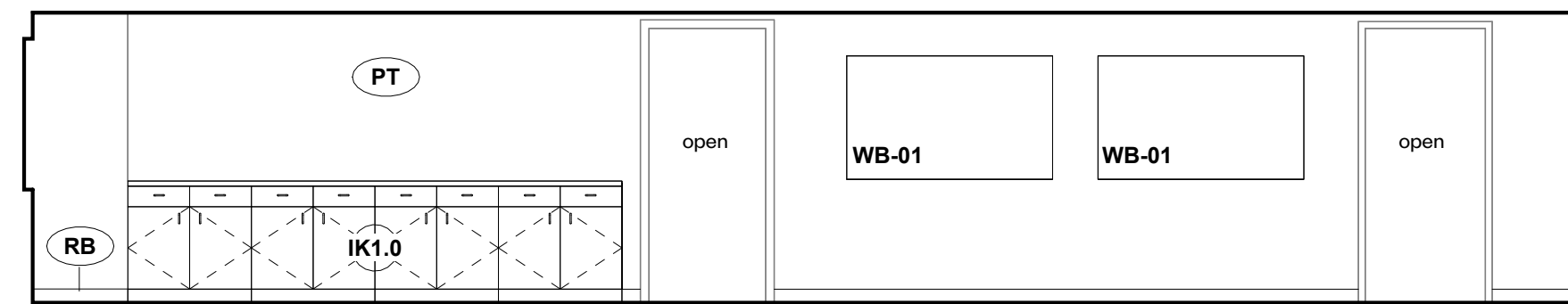
- PWX Partition Tag - refer to partition schedule
- SX Glazed Screen tag - refer to schedule
- DXXX New Door tag - refer to schedule
- MW1 Millwork Tag
- GWB 1000 Ceiling Material Height above Finished Floor
- (E) Existing
- N.I.C. Not in Contract



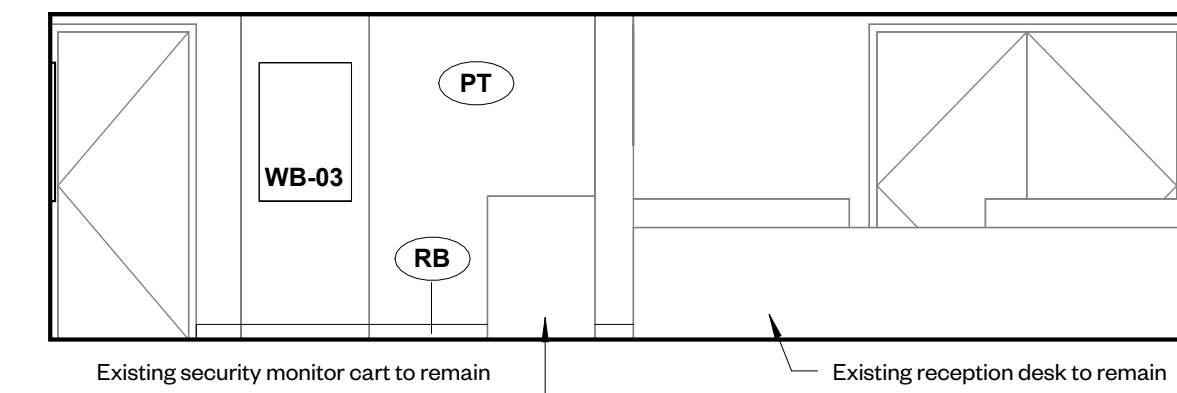
④ Interior Elevation - IK1.4  
1 : 50



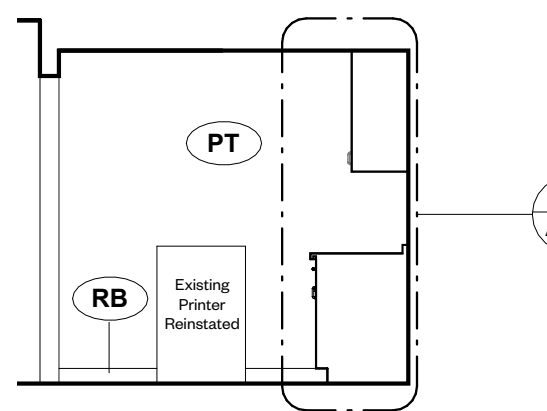
⑤ Interior Elevation - Office Area East  
1 : 50



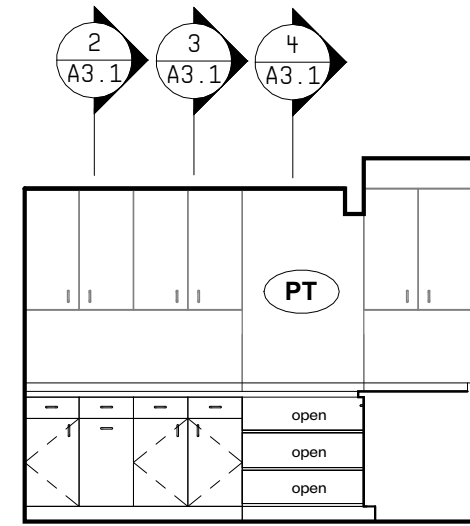
⑥ Interior Elevation - IK1.0  
1 : 50



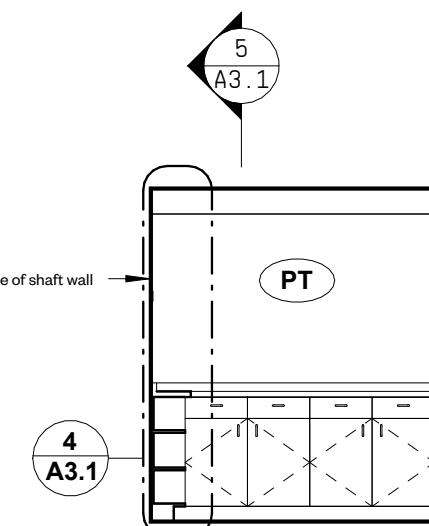
⑦ Interior Elevation - Office Area West  
1 : 50



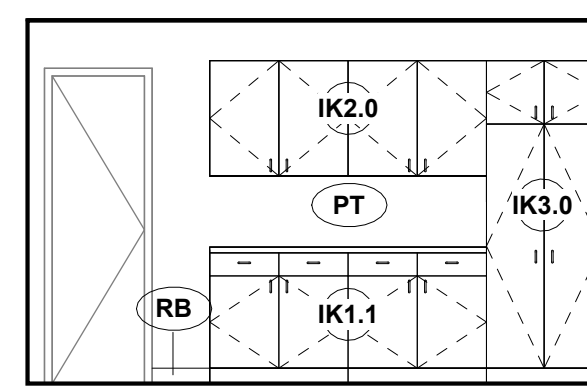
⑨ Interior Elevation - MW2 East  
1 : 50



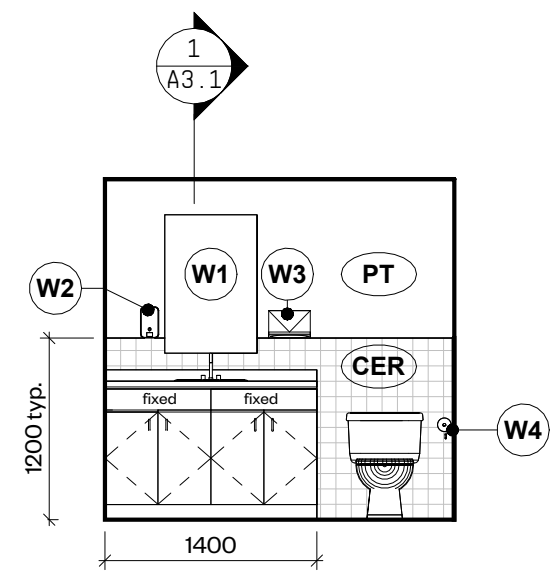
⑩ Interior Elevation - MW2 South  
1 : 50



⑪ Interior Elevation - MW2 West  
1 : 50



⑫ Interior Elevation - IK1.1, IK2.0, IK3.0  
1 : 50



⑬ Interior Elevation - MW1  
1 : 50

**Washroom Accessories**

Note	Description
W1	800mm x 900mm mirror
W2	Soap dispenser
W3	Paper towel dispenser
W4	Toilet paper dispenser

**General Notes**

Note	Description
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15	IKEA component furniture - refer to interior elevations and A3.0 for details.
16	Dashed line indicates extent of existing textured masonry wall to be power washed.
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18	Dashed line shows approximate extent of crawl space.
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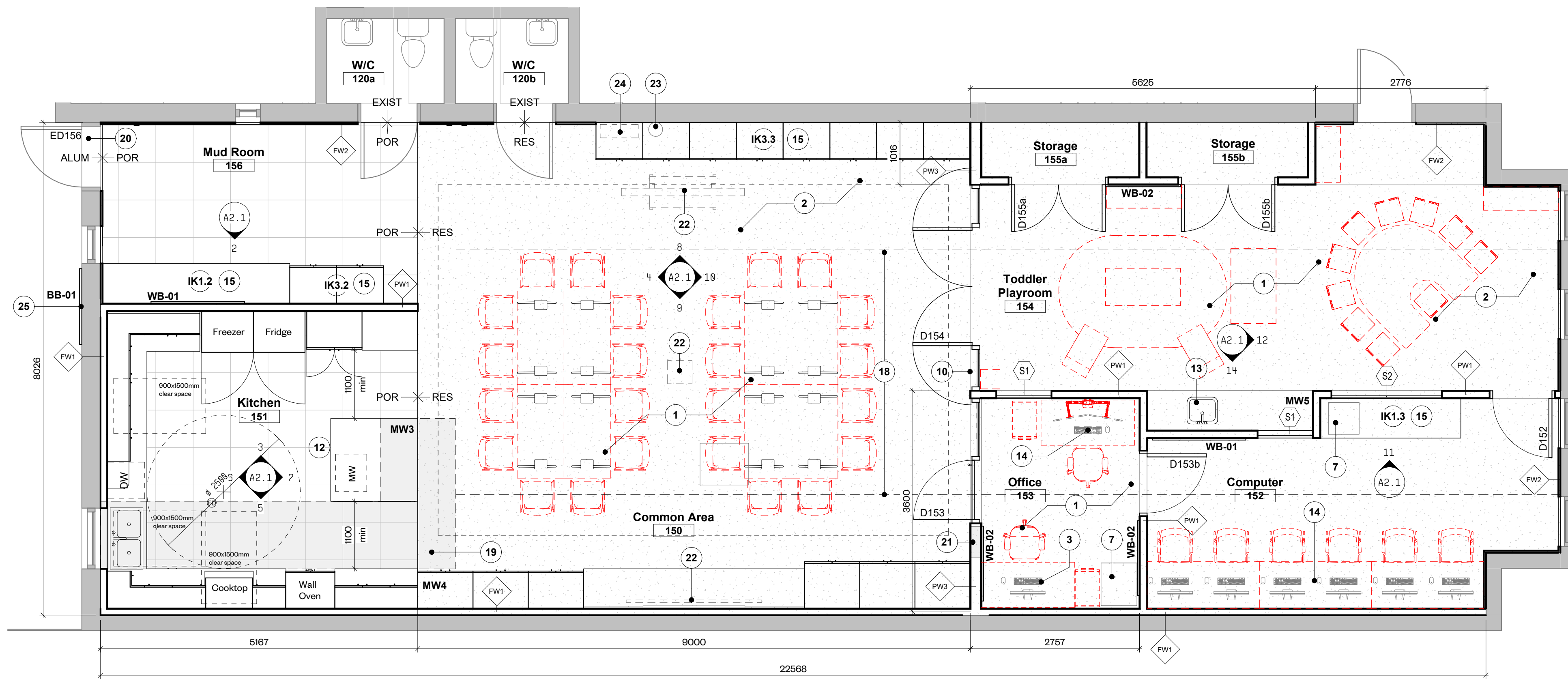
**ONTARIO ASSOCIATION OF ARCHITECTS**  
*David Barton Collussi*  
 LICENCE 6548

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TSSS Family Residence Renovations  
 #222 Kingston Road  
 PROJECT CODE: 2402 SCALE: As indicated  
 DATE: September 2024 STATUS: Permit/Tender

Detail Plans & Interior Elevations - Area 1  
 Project North  
 Drawing Number: A2.0





**Materials Legend**

ACT	Acoustic Ceiling Tile
ALUM	Aluminum
CER	Ceramic Tile
EXIST	Existing
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FRP	Fiberglass Reinforced Panel
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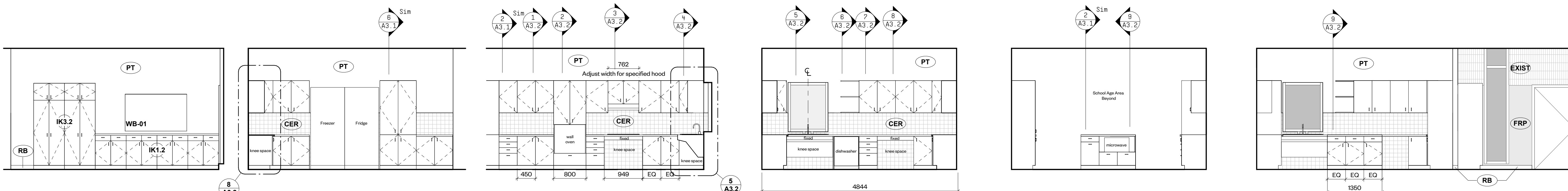
**General Notes**

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Rev	Description	Date
2	60% DD	24.06.13
3	90% DD	24.07.25
4	Permit/Tender	24.09.03

1 Detail Plan - Family Resource Centre  
1 : 50



2 Interior Elevation - IK1.2, IK3.2  
1 : 50

3 Interior Elevation - MW3 North  
1 : 50

5 Interior Elevation - MW3 South  
1 : 50

6 Interior Elevation - MW3 West  
1 : 50

7 Interior Elevation - MW3 East  
1 : 50

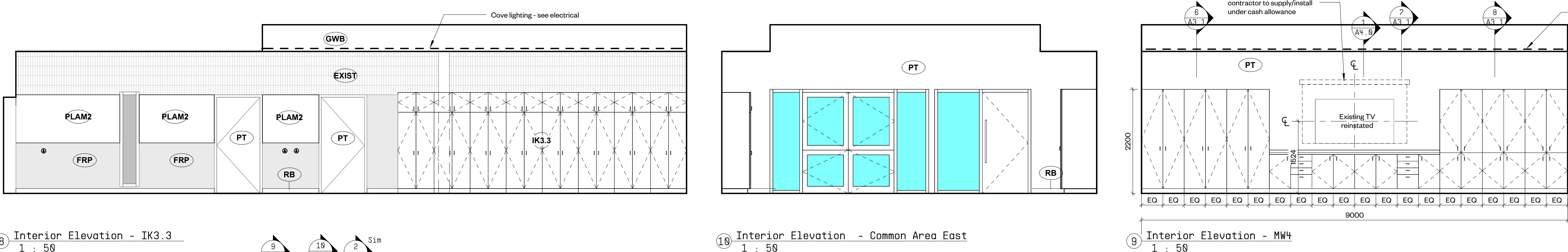
4 Interior Elevation - MW3 Island  
1 : 50

**Legend**

- Existing partition to remain
- New partition as scheduled
- Existing furniture - reinstated by contractor
- New furniture - by others, contractor to coordinate supply/install of power & data

**Symbols Legend**

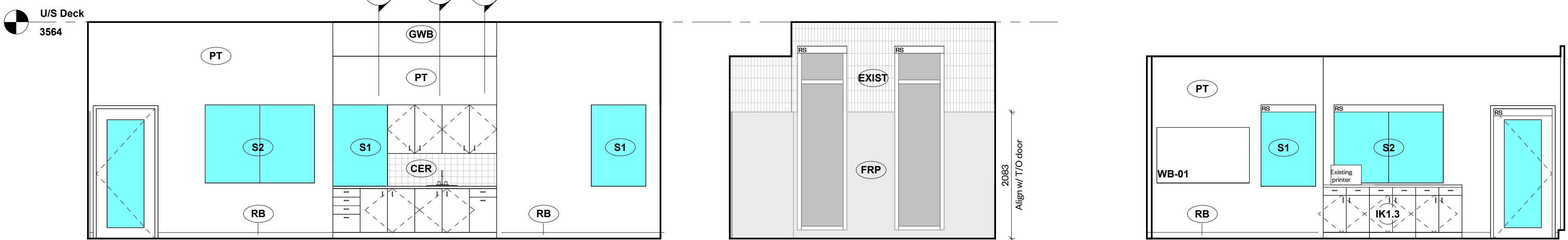
- PWX Partition Tag - refer to partition schedule
- SX Glazed Screen tag - refer to schedule
- DXX New Door tag - refer to schedule
- MWI Millwork Tag
- GWB Ceiling Material Height above Finished Floor
- 1000
- (E) Existing
- N.I.C. Not in Contract



8 Interior Elevation - IK3.3  
1 : 50

10 Interior Elevation - Common Area East  
1 : 50

9 Interior Elevation - MW4  
1 : 50



14 Interior Elevation - MW5  
1 : 50

12 Interior Elevation - Playroom East  
1 : 50

11 Interior Elevation - IK1.3  
1 : 50

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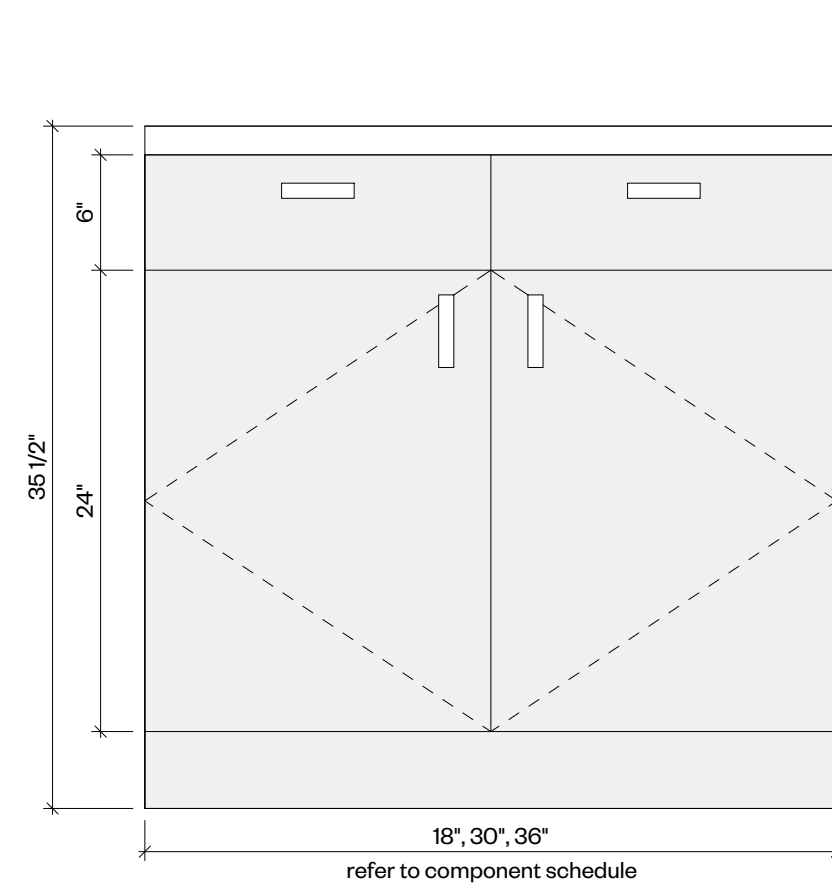
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SCALE: As indicated

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STATUS: Permit/Tender

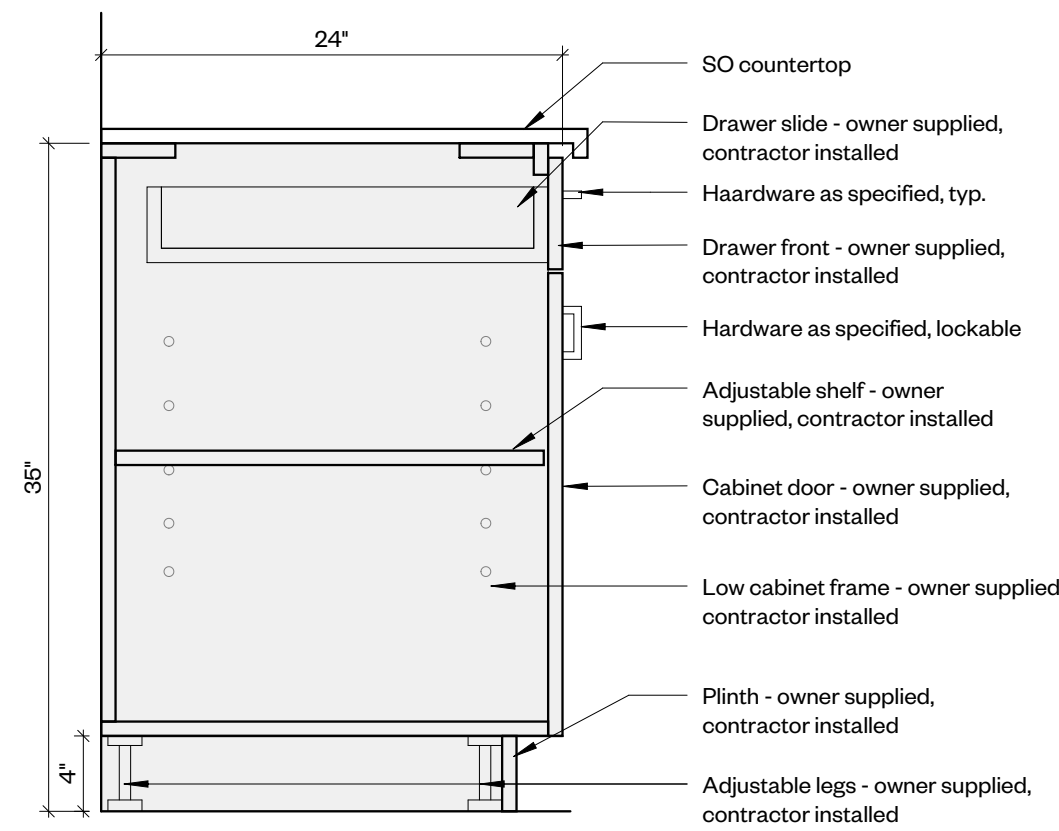
Detail Plans & Interior Elevations - Area 2

Project North

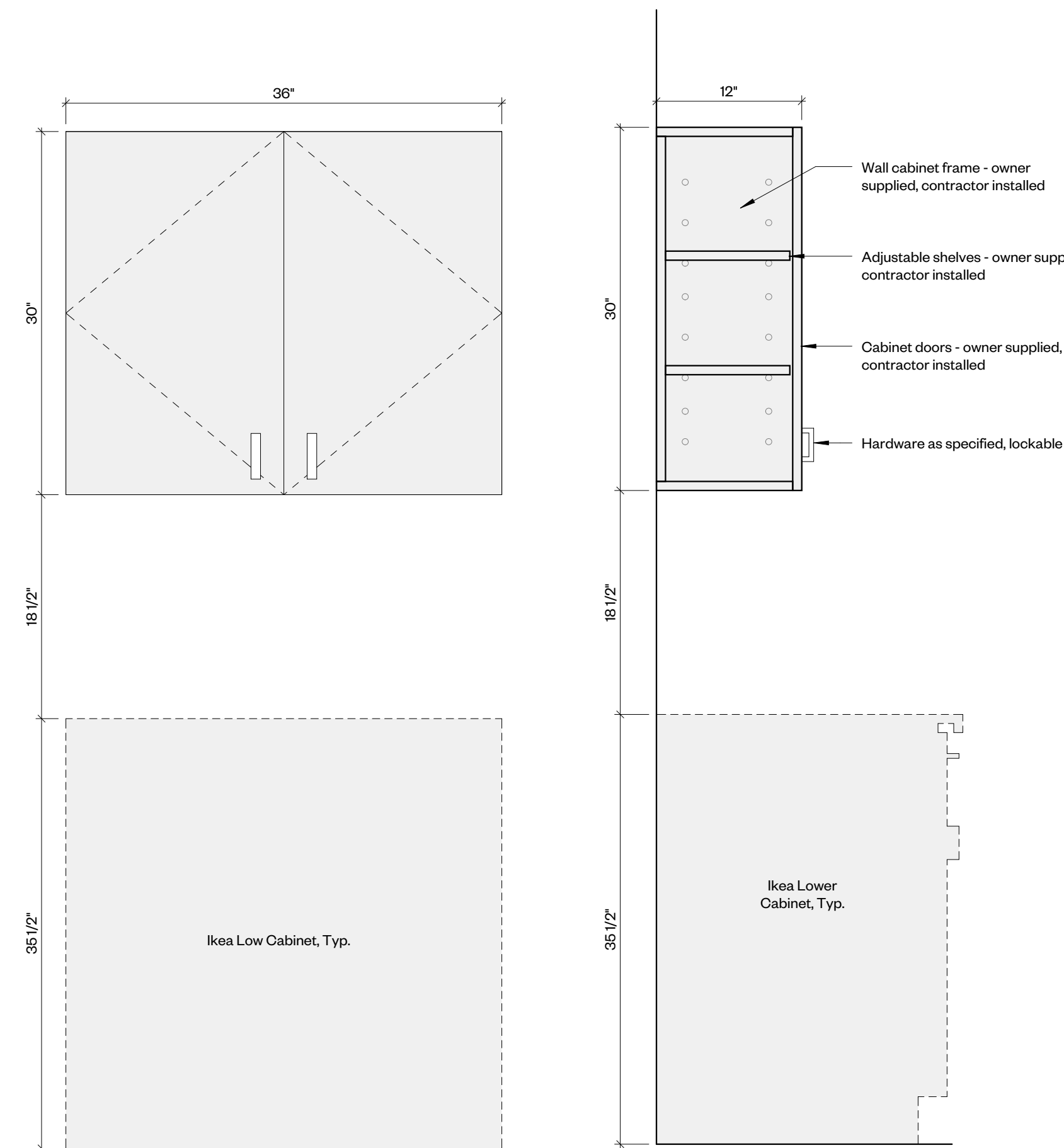
drawing number  
**A2.1**



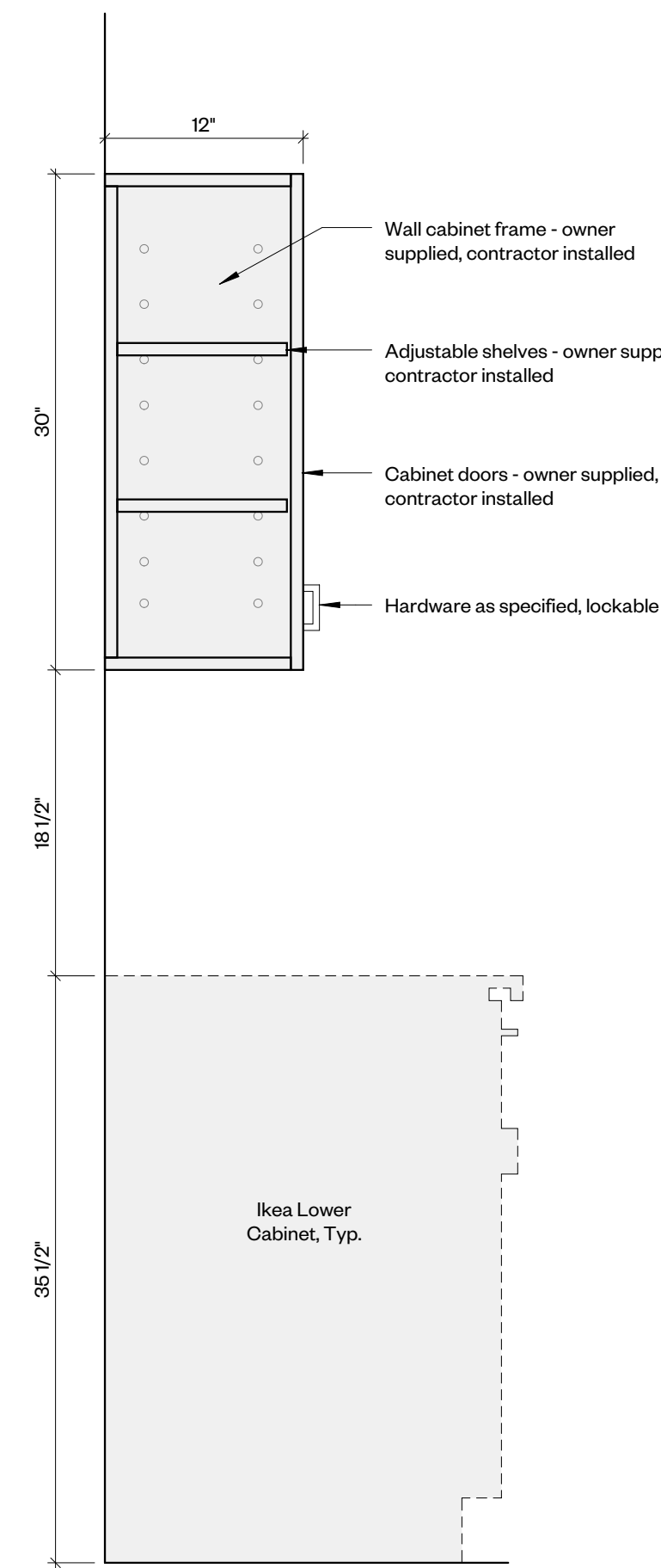
① Elevation - IK1  
1 : 10



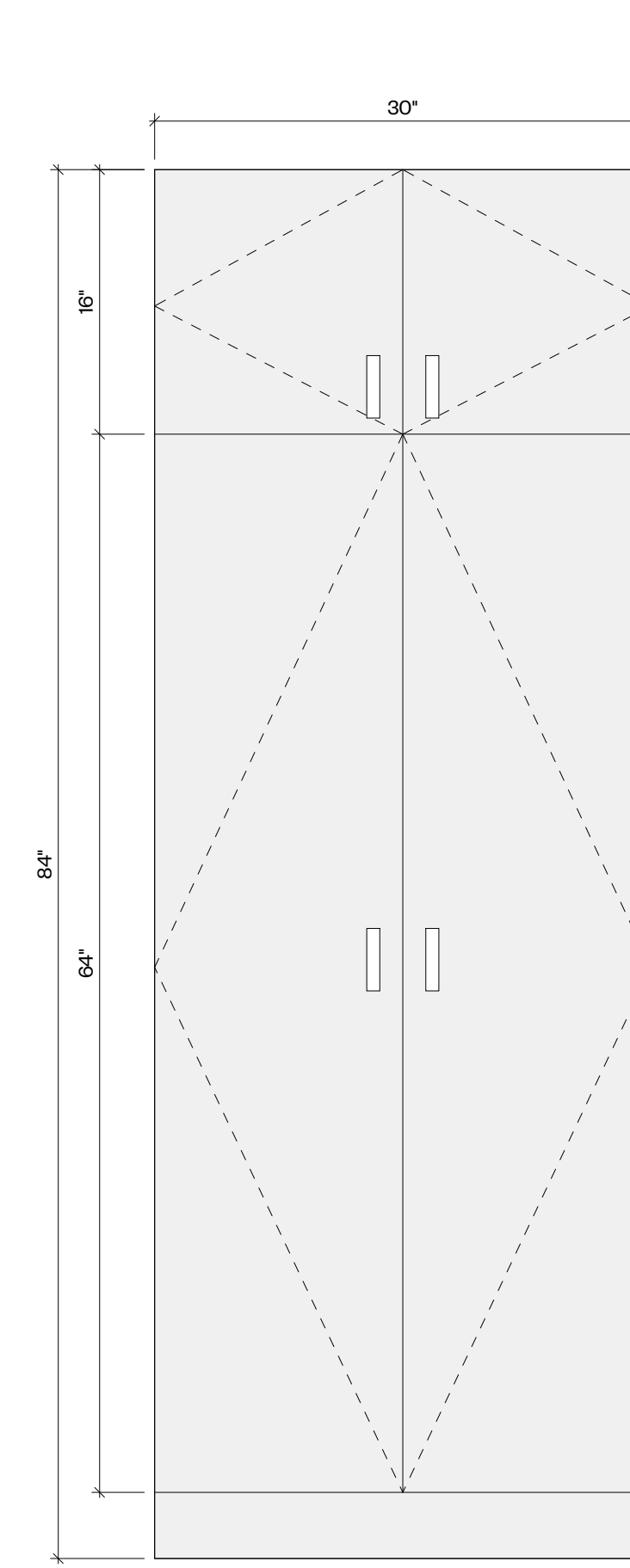
② Section - IK1  
1 : 10



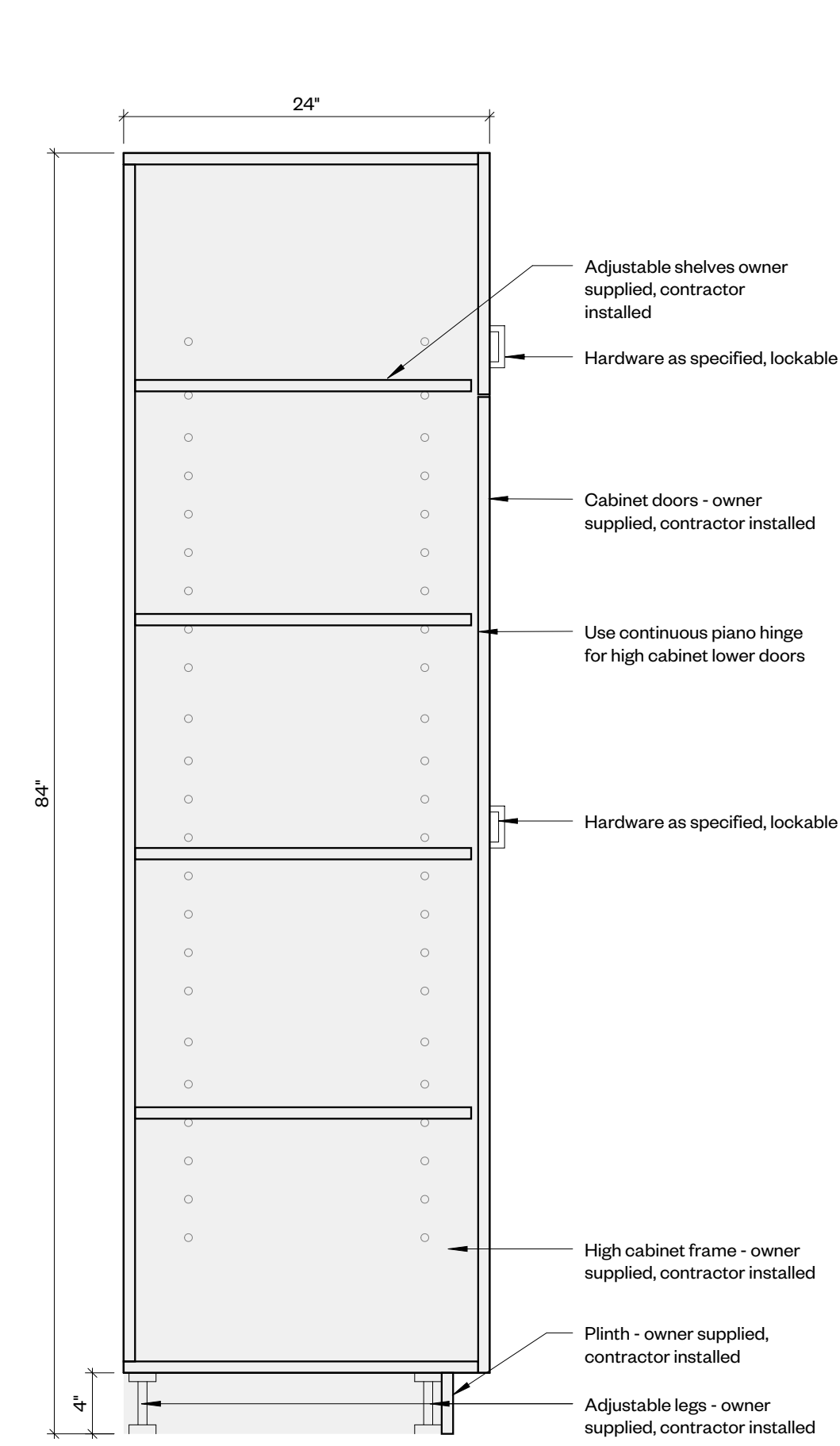
③ Elevation - IK2  
1 : 10



④ Section - IK2  
1 : 10



⑤ Elevation - IK3  
1 : 10



⑥ Section - IK3  
1 : 10

Ikea Millwork Type Count		
Millwork Number	Type	Quantity
IK1	Low cabinet	16
IK2	Wall cabinet	2
IK3	High cabinet	12

Millwork - Owner Inventory Components														
Component	Room	Base Cabinet (Ikea)	Base Cabinet Qty.	Base Cabinet Finish	Cabinet Door Face (Ikea)	Cabinet Door Face Count	Adjustable Shelves	Adjustable Shelves Qty.	Drawer Face (Ikea)	Drawer Face Count	Drawer Slide (Ikea)	Drawer Slide Count	Door/Drawer Finish	Plinth (Ikea)
IK1.0	Office Area 101	AKURUM 36" Base Cabinet 34382310	4	White	ABSTRAKT 18"W x 24"H Face 30069955	2EA	RATIONELL 36"W x 24"D Shelf 4578610	1EA	ABSTRAKT N 60069978	2EA	RATIONELL 18" 20107081	2EA	High-gloss white	Legs: AKURUM 30076319 Face: PERF N Plinth 70038504
IK1.1	Office 111	AKURUM 36" Base Cabinet 34382310	2	White	ABSTRAKT 18"W x 24"H Face 30069955	2EA	RATIONELL 36"W x 24"D Shelf 4578610	1EA	ABSTRAKT N 60069978	2EA	RATIONELL 18" 20107081	2EA	High-gloss white	Legs: AKURUM 30076319 Face: PERF N Plinth 70038504
IK1.2	Mud Room 156	AKURUM 30" Base 54382210	4	White	ABSTRAKT 15"W x 24" Face 60069949	2EA	RATIONELL 30"W x 24"D Shelf 24578510	1EA	ABSTRAKT N 60069978	2EA	RATIONELL 15" 40107080	2EA	High-gloss white	Legs: AKURUM 30076319 Face: PERF N Plinth 70038504
IK1.3	Computer 152	AKURUM 30" Base 54382210	3	White	ABSTRAKT 15"W x 24" Face 60069949	2EA	RATIONELL 30"W x 24"D Shelf 24578510	1EA	ABSTRAKT N 60069978	2EA	RATIONELL 15" 40107080	2EA	High-gloss white	Legs: AKURUM 30076319 Face: PERF N Plinth 70038504
IK1.4	Office 103	AKURUM 18" Base Cabinet 80224548	3	Black-brown	RAMSJO 18"W x 24"H Face 70163278	1EA	-	-	RAMSJO 163314	1EA	RATIONELL 18" 20107081	1EA	Black-brown	Legs: AKURUM 30076319 Face: PERF N Plinth 70038504
IK2.0	Office 111	AKURUM 36"W x 30"H Wall Cabinet 54383110	2	White	ABSTRAKT 18"W x 30"H Face 10069956	2EA	RATIONELL 36"W x 12"D Shelf 44579410	2EA	-	-	-	-	High-gloss white	-
IK3.0	Office 111	AKURUM 30"W x 80"H High Cabinet 24496010	1	White	ABSTRAKT 15"W x 64"H Face 69952 and ABSTRAKT 15"W x 15"H Face 69947	2EA	RATIONELL 30"W x 24"D Shelf 24578510	4EA	-	-	-	-	High-gloss white	Legs: AKURUM 30076319 Face: PERF N Plinth 70038504
IK3.1	Office 116	AKURUM 30"W x 80"H High Cabinet 24496010	1	White	ABSTRAKT 15"W x 64"H Face 69952 and ABSTRAKT 15"W x 15"H Face 69947	2EA	RATIONELL 30"W x 24"D Shelf 24578510	4EA	-	-	-	-	High-gloss white	Legs: AKURUM 30076319 Face: PERF N Plinth 70038504
IK3.2	Mud Room 156	AKURUM 30"W x 80"H High Cabinet 24496010	2	White	ABSTRAKT 15"W x 64"H Face 69952 and ABSTRAKT 15"W x 15"H Face 69947	2EA	RATIONELL 30"W x 24"D Shelf 24578510	4EA	-	-	-	-	High-gloss white	Legs: AKURUM 30076319 Face: PERF N Plinth 70038504
IK3.3	Common Area 150	AKURUM 30"W x 80"H High Cabinet 24496010	8	White	ABSTRAKT 15"W x 64"H Face 69952 and ABSTRAKT 15"W x 15"H Face 69947	2EA	RATIONELL 30"W x 24"D Shelf 24578510	4EA	-	-	-	-	High-gloss white	Legs: AKURUM 30076319 Face: PERF N Plinth 70038504

**Ikea Millwork Hardware Legend**

Adjustable shelf pins/ferrules: Richelieu #2291180, nickel finish

Bumpers (2 each per door): Richelieu 3M (Peel & Stick)

Cabinet/Drawer Pulls: Richelieu Catalogue 205 #BP205108140, chrome

Cam lock for all upper and lower Ikea cabinet doors: National NCL-L-C8060-4GKA413A (keyed alike except as noted)

Concealed hinges: Blum Blumotion 110 degrees

Continuous hinges: Richelieu Stainless Steel Piano Hinges Product #: 50072170

Steel Roller Glides at 150mm drawers: Accuride #2037 Full Extension

Soft close mechanism at all drawers: Richelieu BP97309910

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3	90% DD	24.07.25
4	Permit/Tender	24.09.03

Materials Legend	
ACT	Acoustic Ceiling Tile
ALUM	Aluminum
CER	Ceramic Tile
EXIST	Existing
EXP	Exposed (Painted)
FRP	Fiberglass Reinforced Panel
GF	Glazing Surface Film
GWB	Gypsum Wallboard (Painted)
PC	Polished Concrete
PLAM	Plastic Laminate (Markerboard)
POR	Porcelain Tile
PT	Paint Finish
QTZ	Quartz
RB	Rubber Base
RES	Resilient Sheet Flooring
RS	Roller Shade
SO	Solid Polymer Fabrications
TGL	Tempered Glass
WD	Solid Wood

Millwork Detail Legend	
	Contractor to pick-up Owner supplied components, contractor installed.
	Contractor supplied/installed



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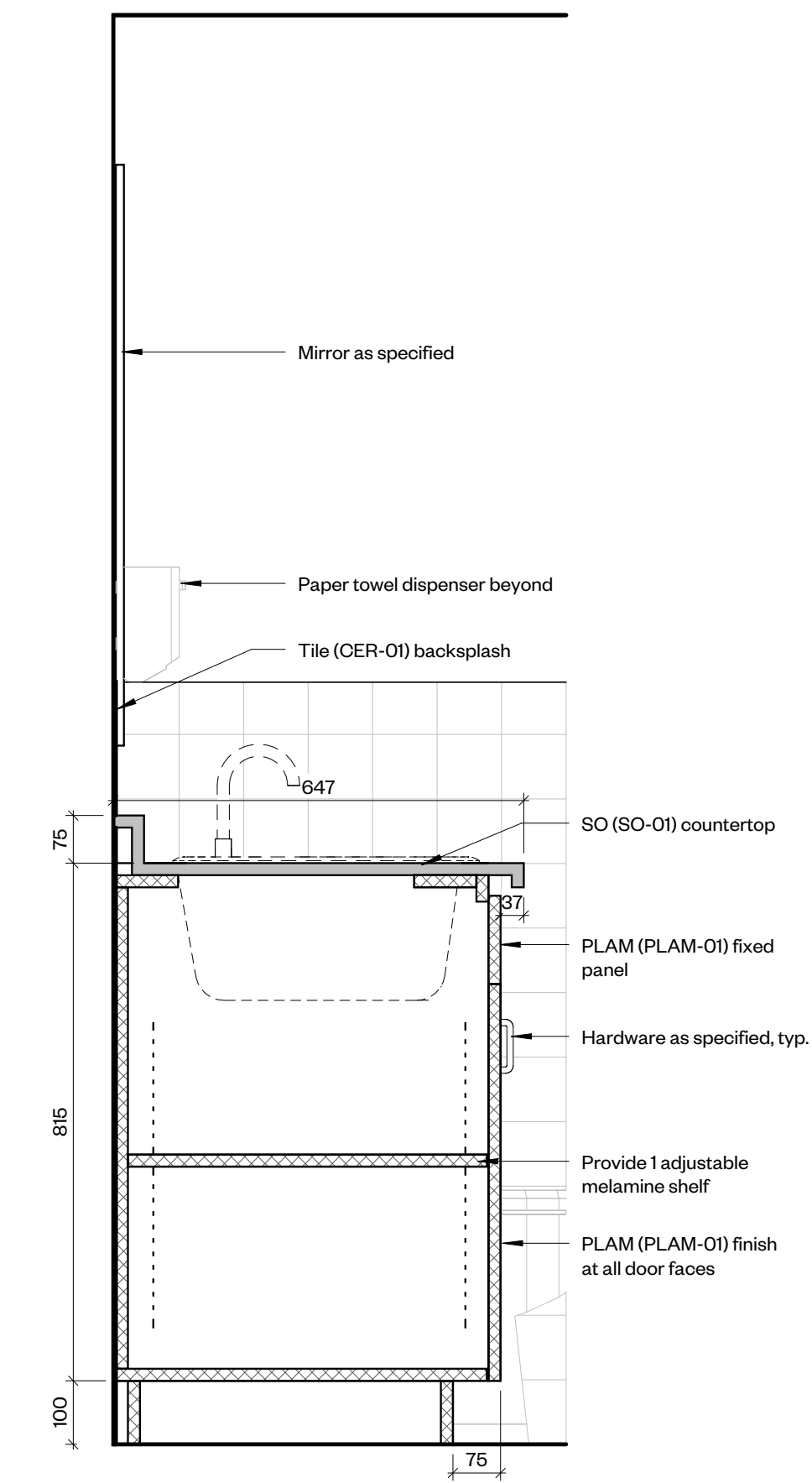
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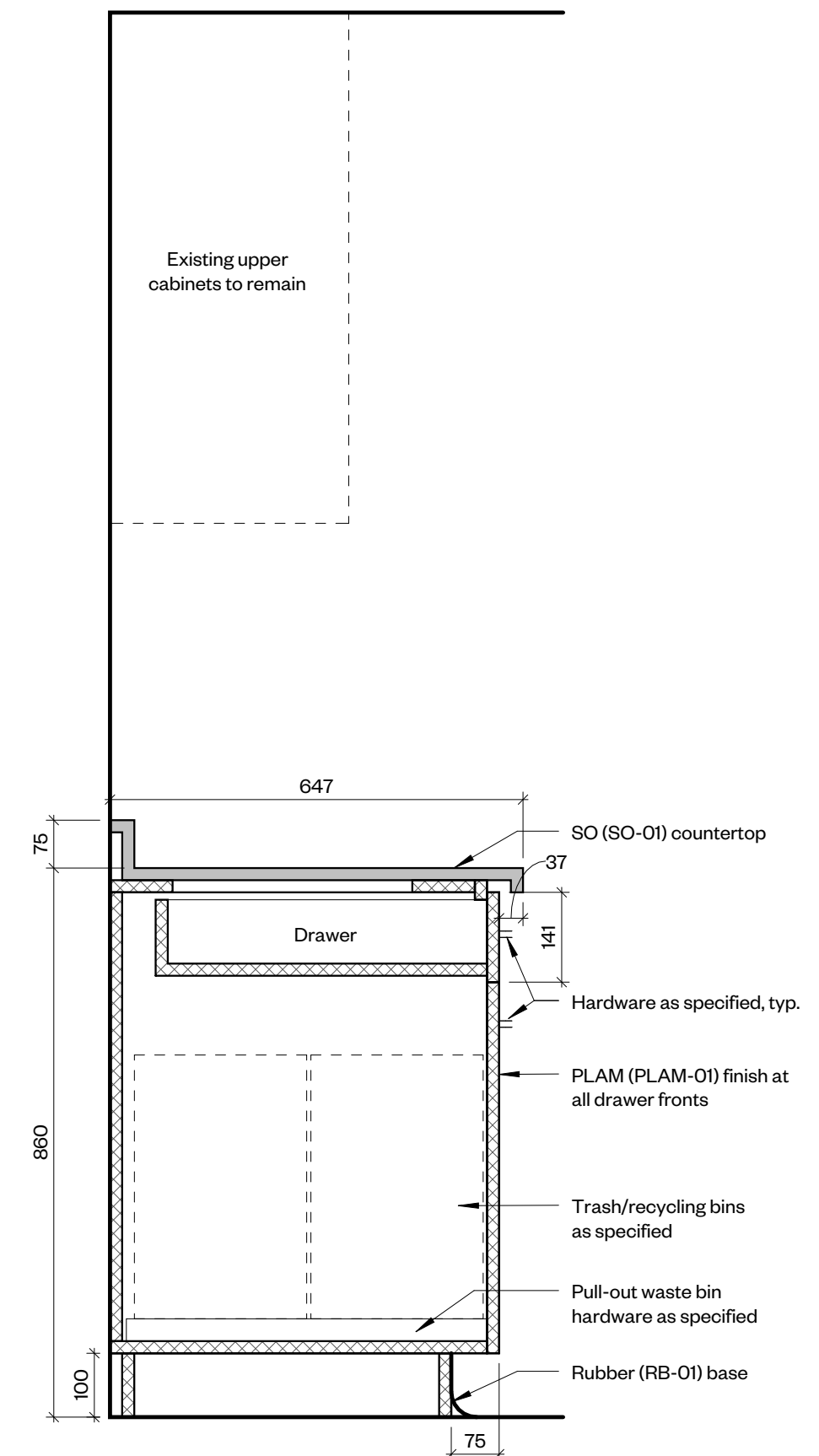
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2402	As indicated
DATE:	STATUS:
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IKEA Millwork Details

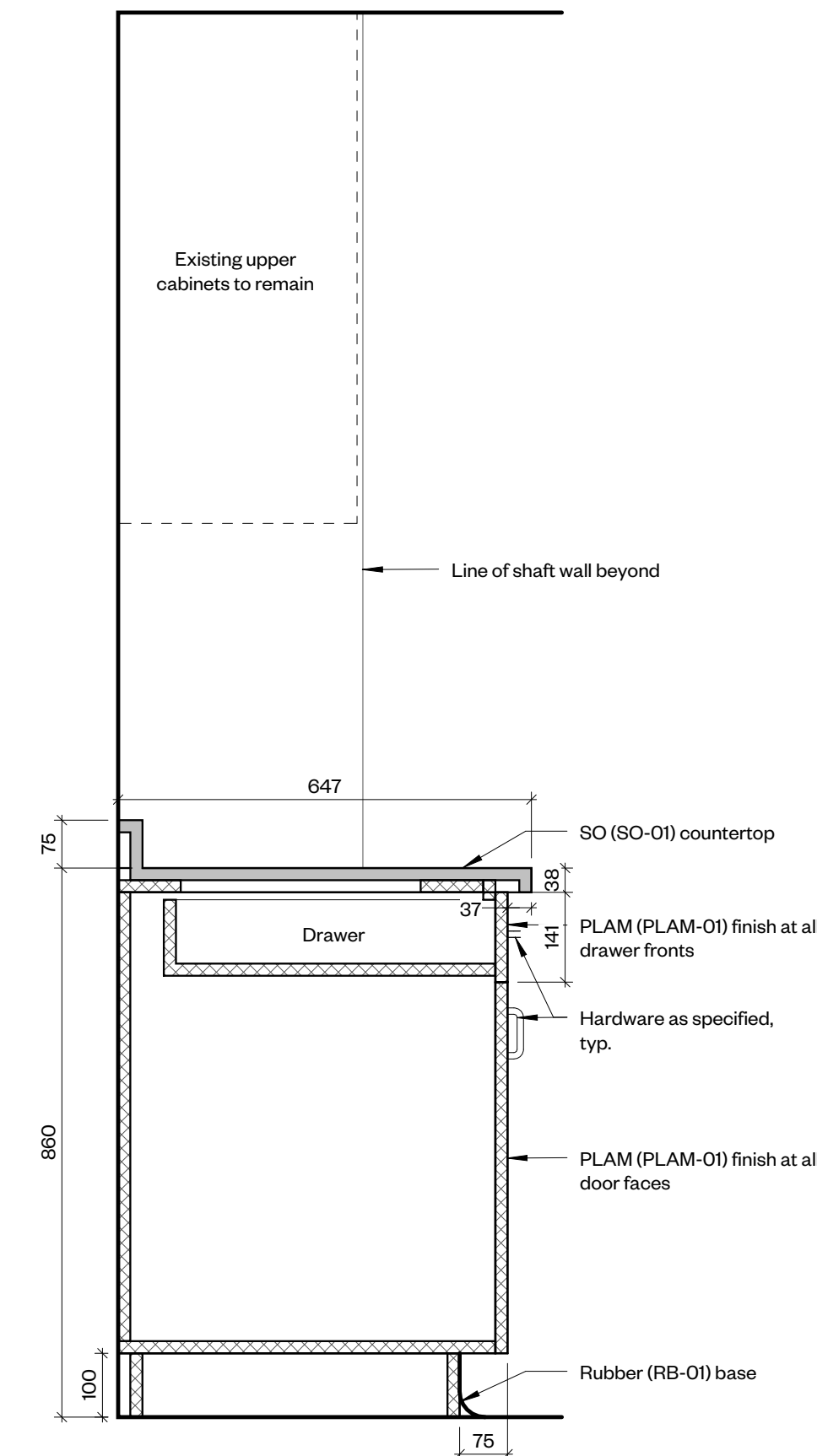




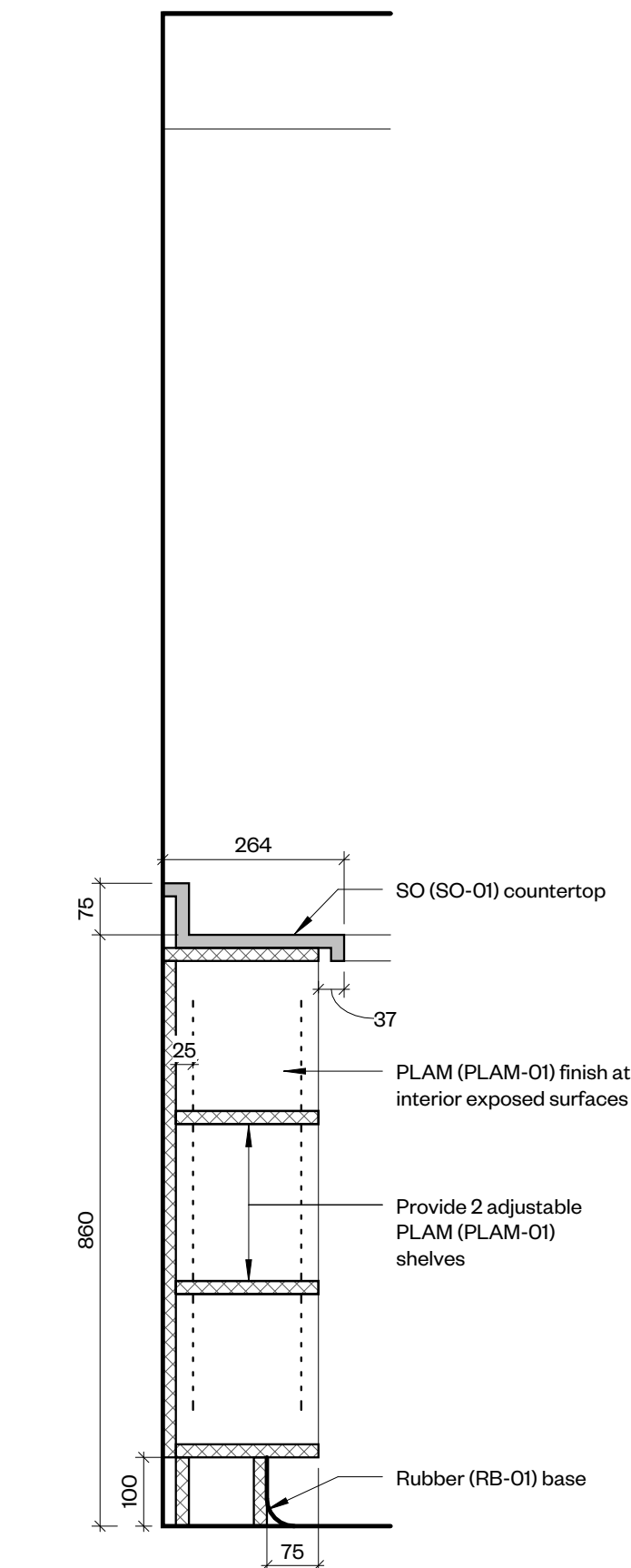
1 MW1 - Section Through WC Sink  
1 : 10



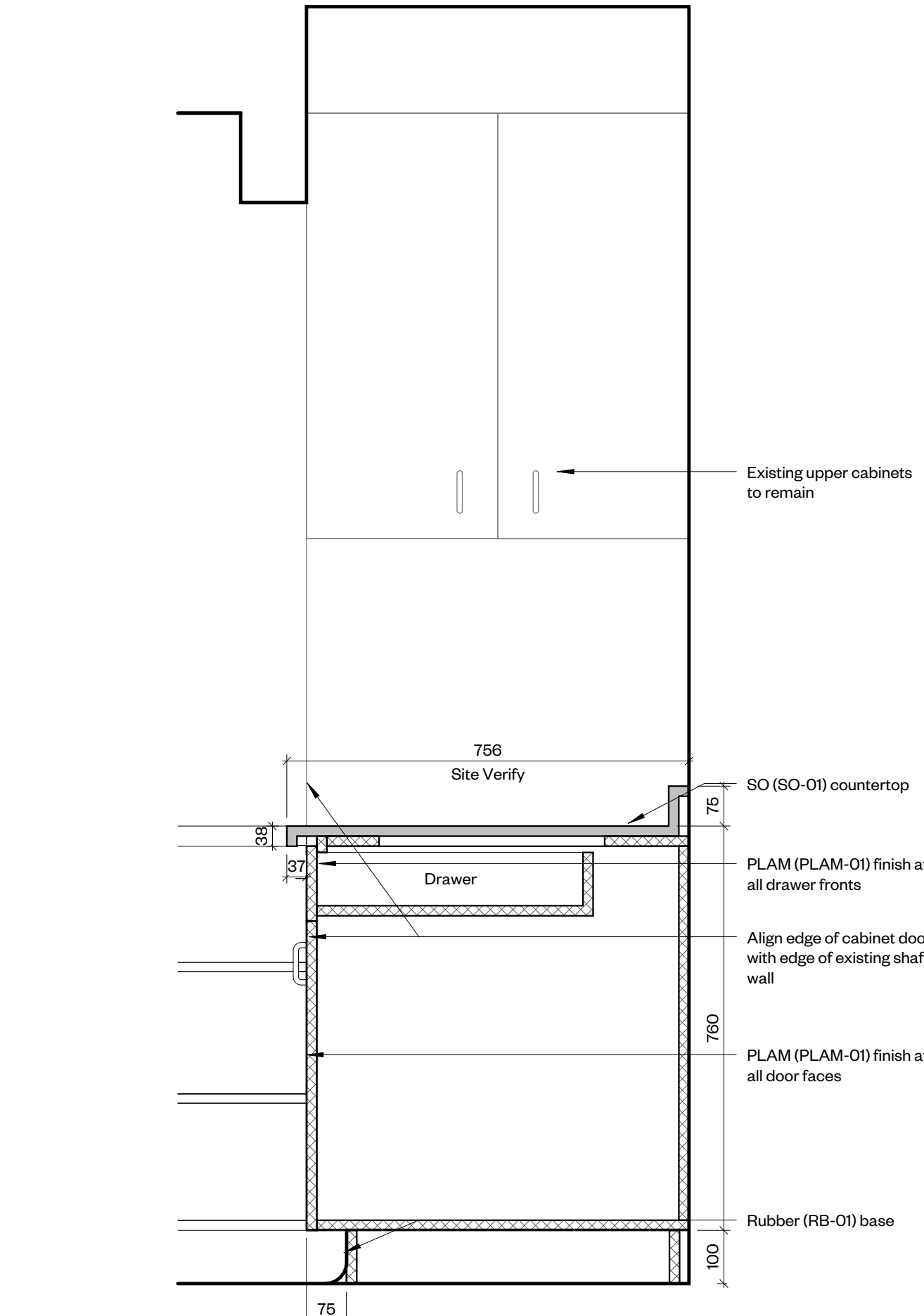
2 MW2 - Section Through Pull Out Garbage Bins  
1 : 10



3 MW2 - Section Through Print Room Cabinets  
1 : 10



4 MW2 - Section Through Lower Shelf  
1 : 10



5 MW2 - Section Through Print Room Alcove Cabinet  
1 : 10

**Millwork Hardware Legend**

Adjustable shelf pins/ferrules: Richelieu #2291180, nickel finish

Bumpers (2 each per door): Richelieu 3M (Peel & Stick)

Cabinet/Drawer Pulls: Richelieu Catalogue 205 #BP205108140, chrome

Cam lock for all upper and lower cabinet doors: National NCL-L-C8060-4GKA413A (keyed alike except as noted)

Concealed hinges: Blum Blumotion 110 degrees

Continuous hinges: Richelieu Stainless Steel Plano Hinges Product #: 50072170

Steel Roller Glides at 150mm drawers: Accuride #2037 Full Extension

Soft close mechanism at all drawers: Richelieu BP97309910

Pull-out waste bins/frame: Richelieu #WEBKIT1216908

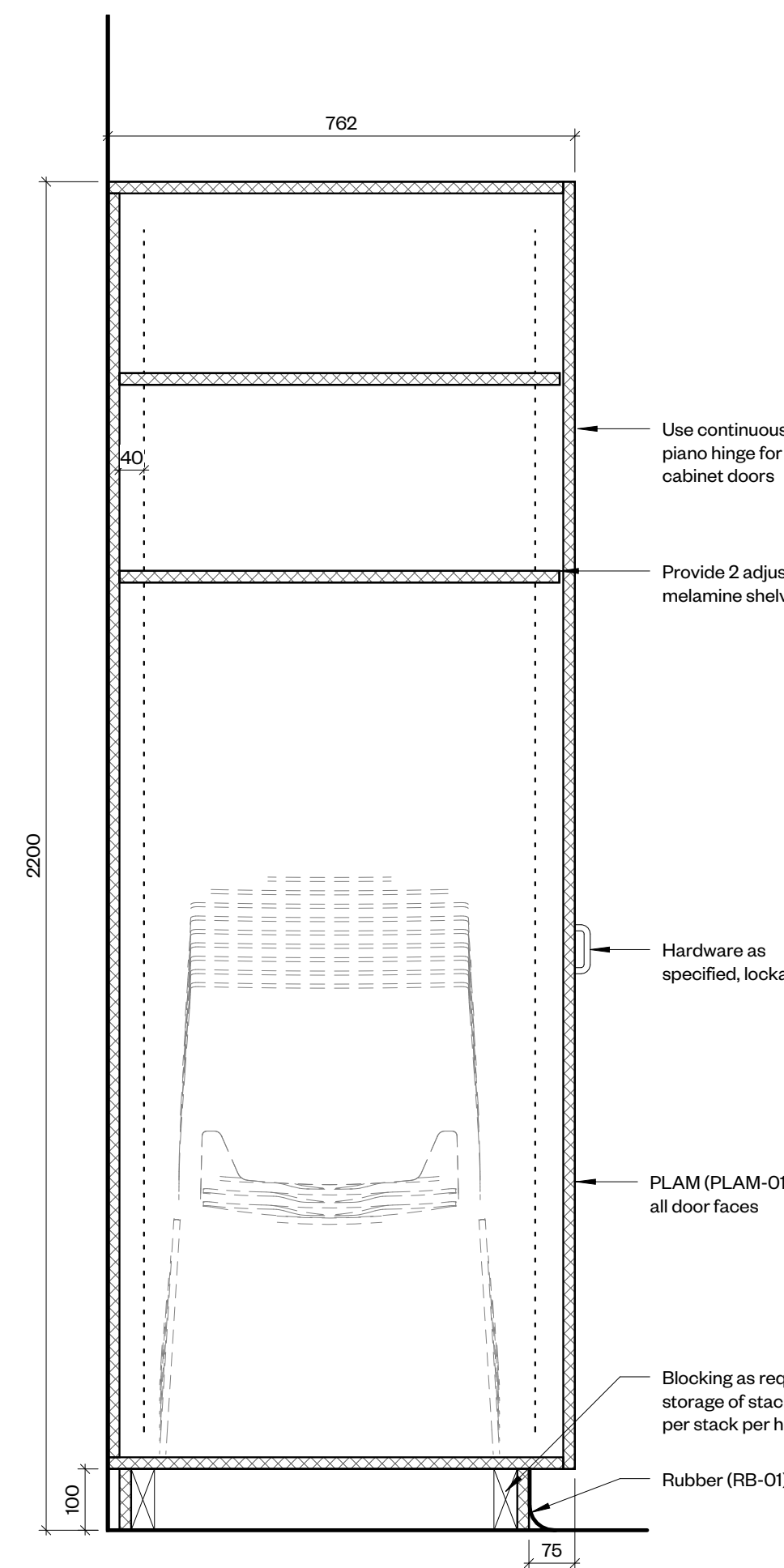
Blind corner organizer: Richelieu #5PSP15SCCR

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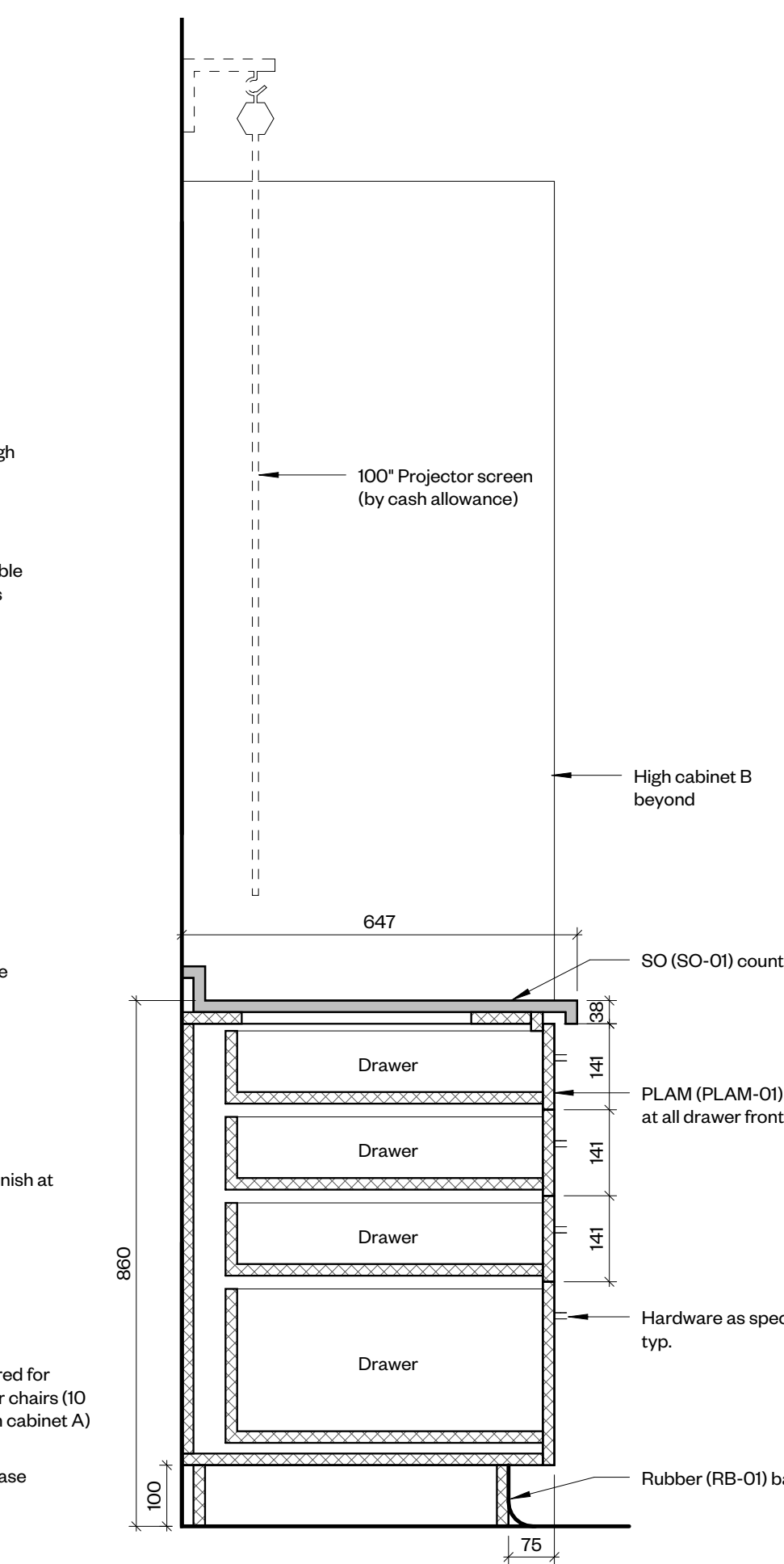
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**Materials Legend**

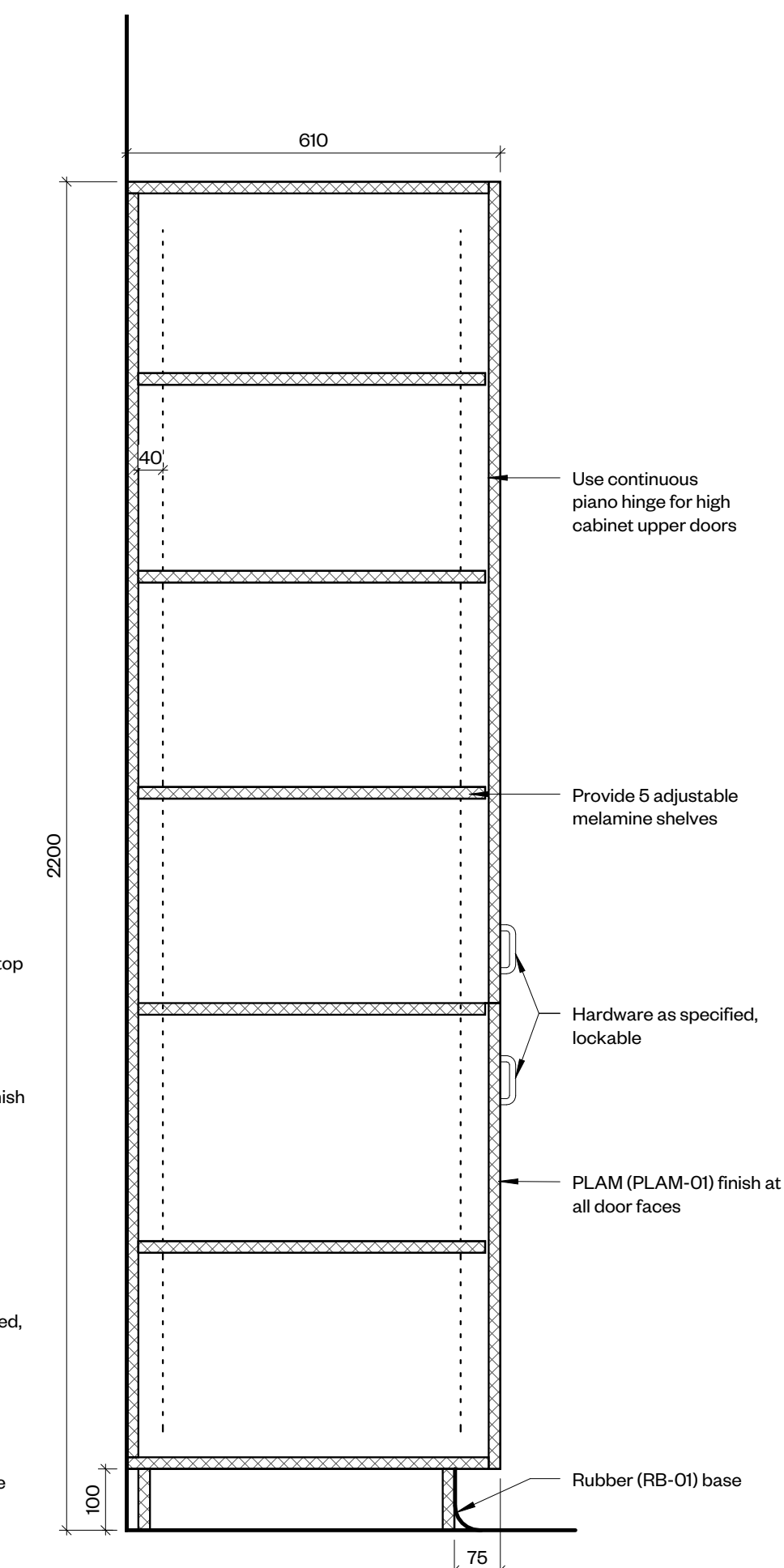
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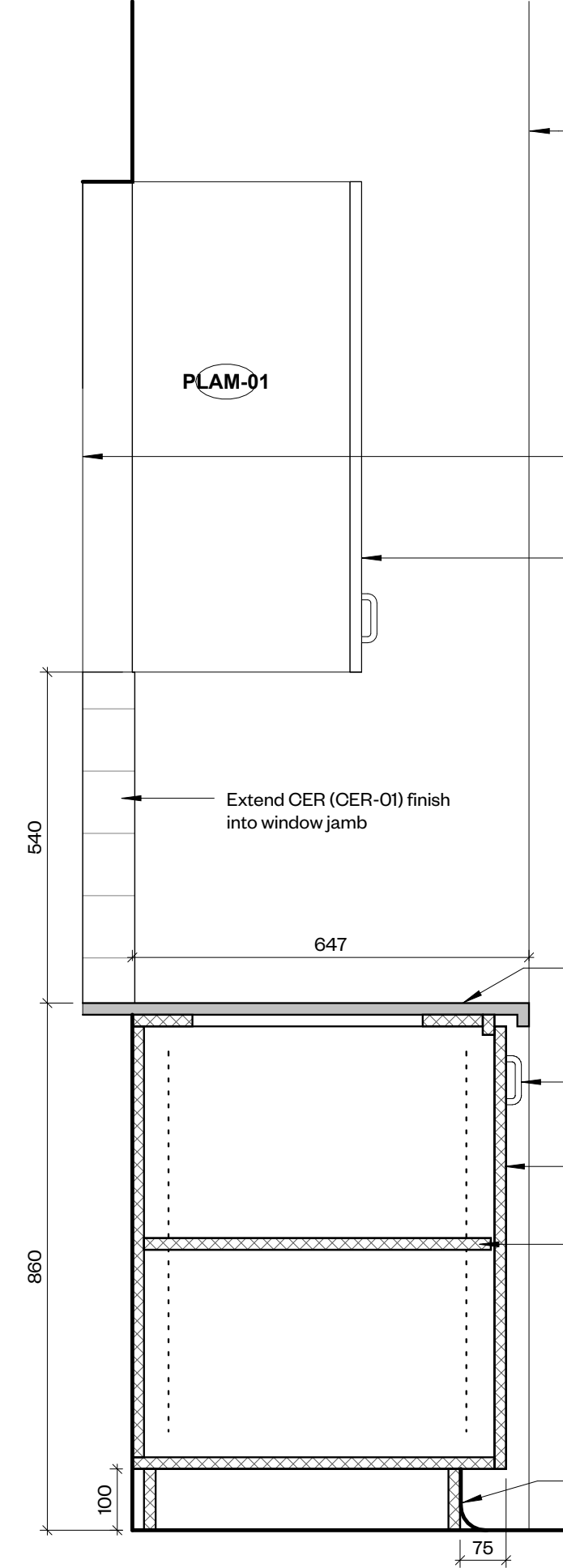
6 MW4 - Section Through High Cabinet A  
1 : 10



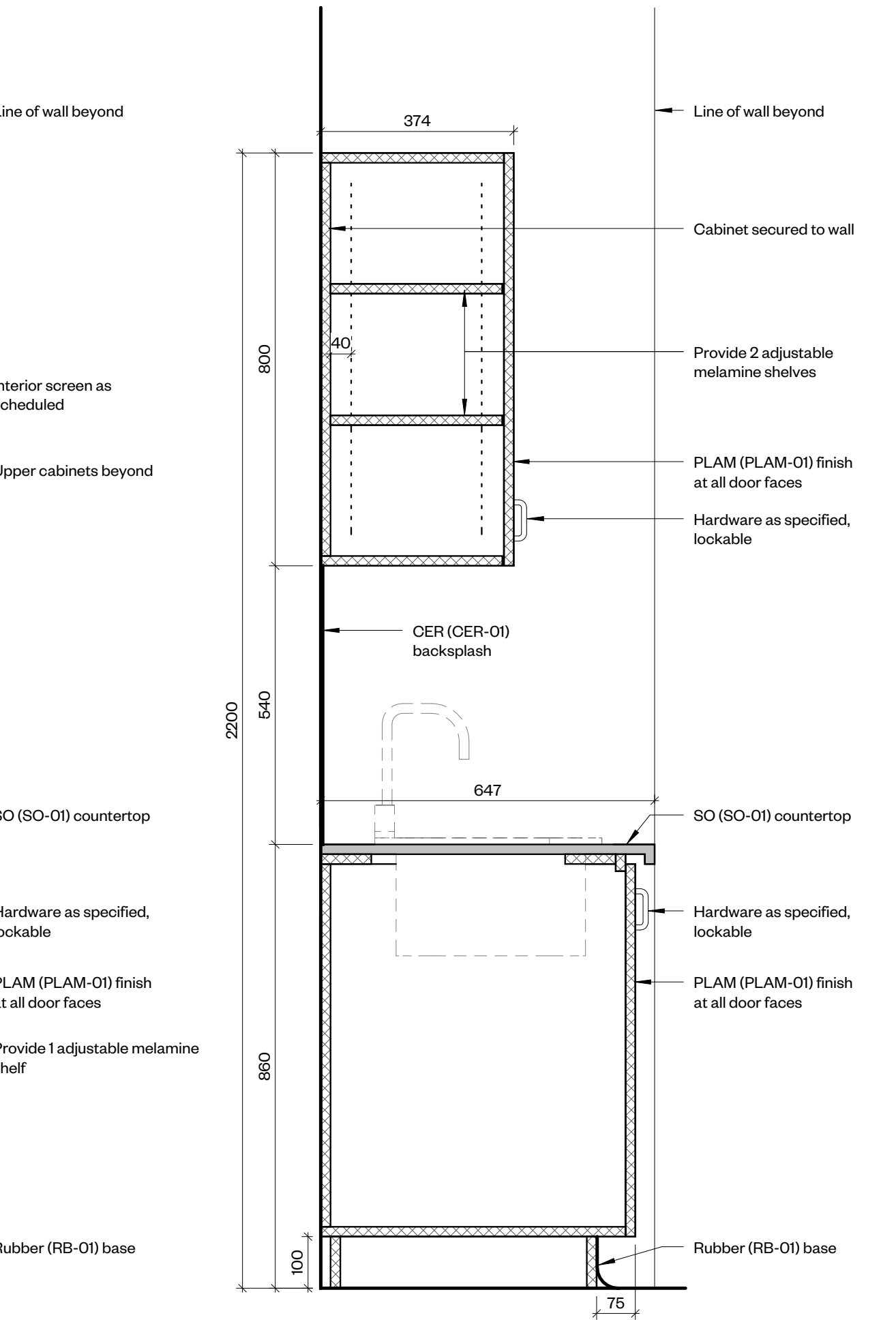
7 MW4 - Section Through Shelves & Drawers  
1 : 10



8 MW4 - Section Through High Cabinet B  
1 : 10



9 MW5 - Section Through Lower Cabinets  
1 : 10



10 MW5 - Section Through Sink  
1 : 10



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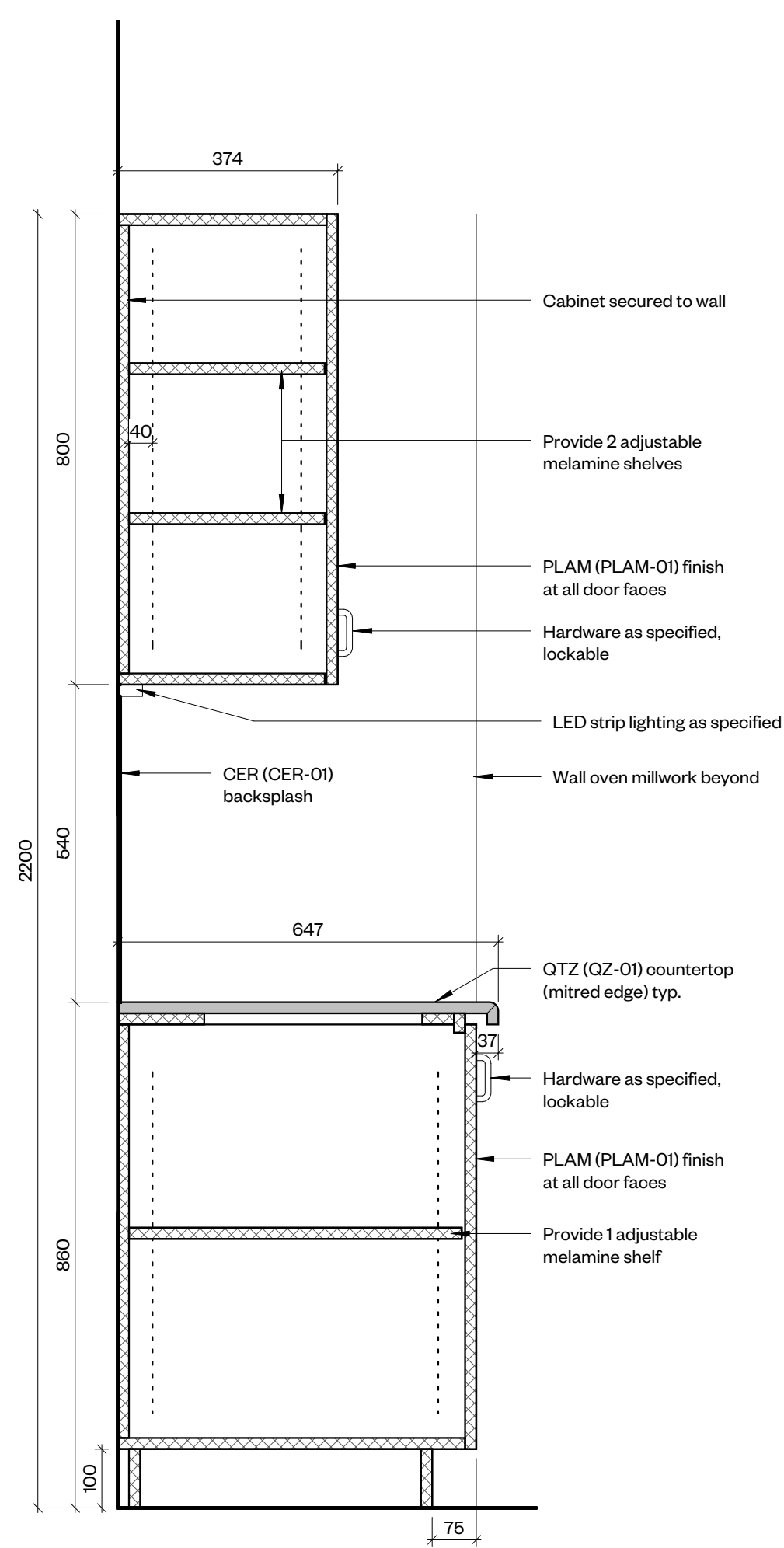
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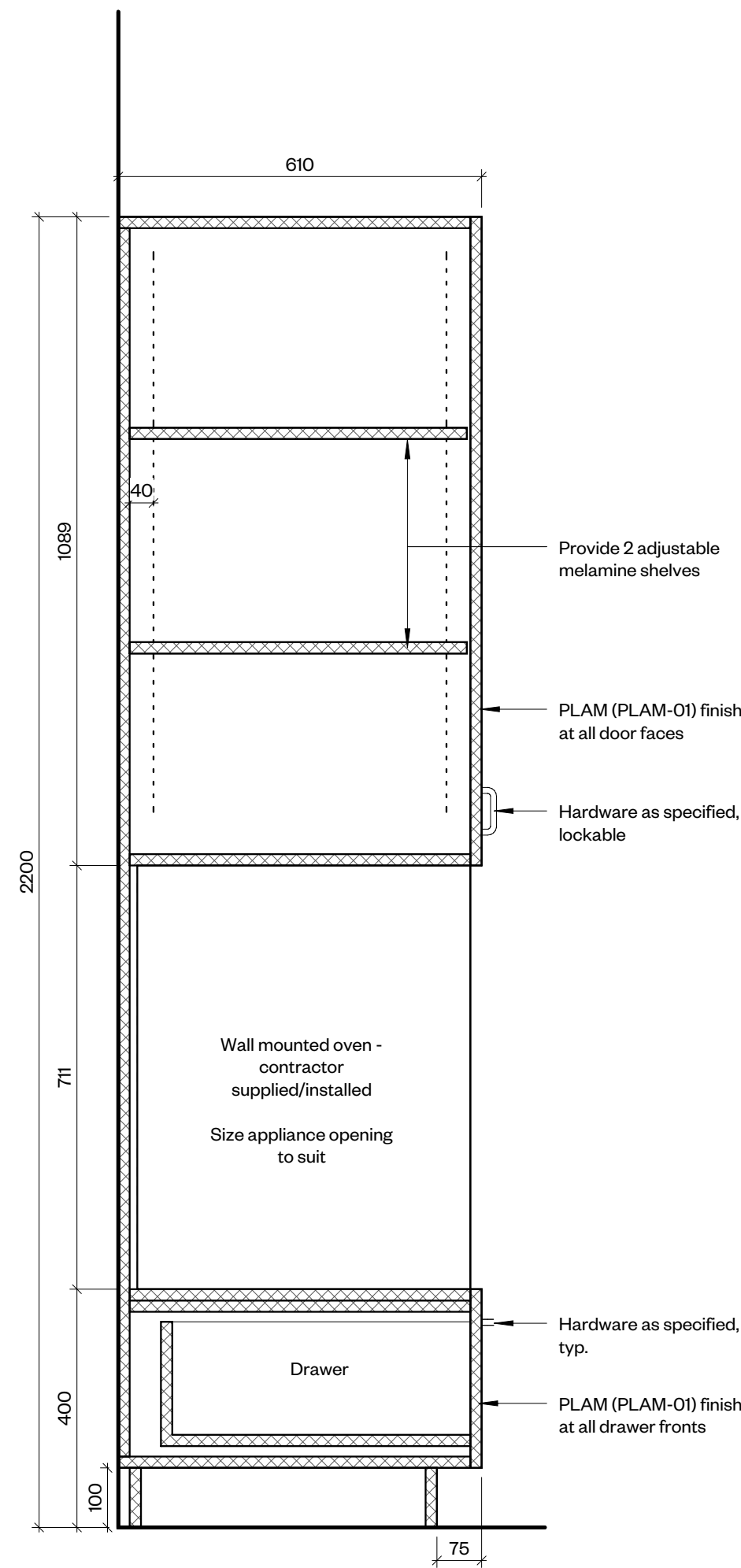
Millwork Details

drawing number

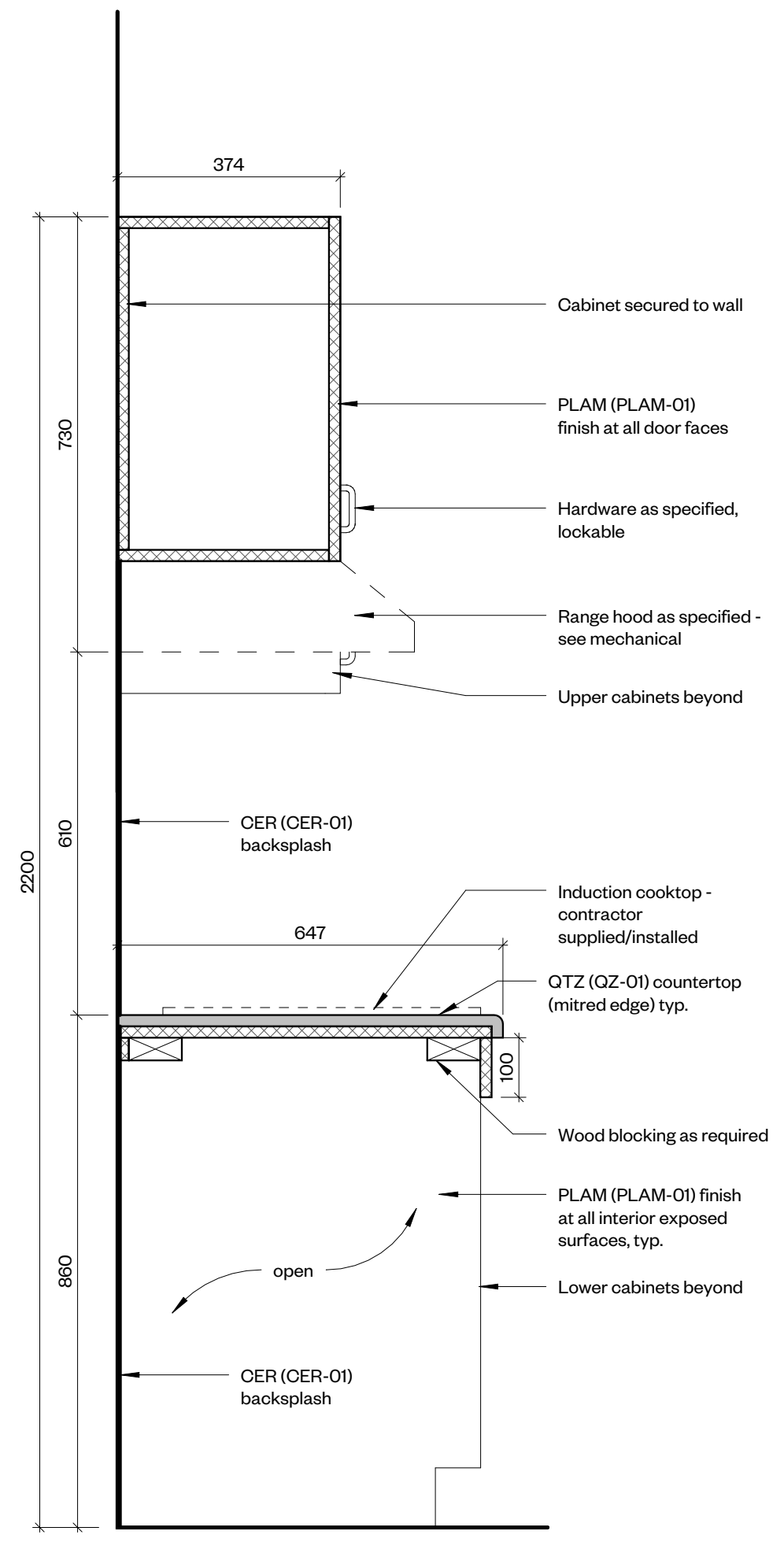
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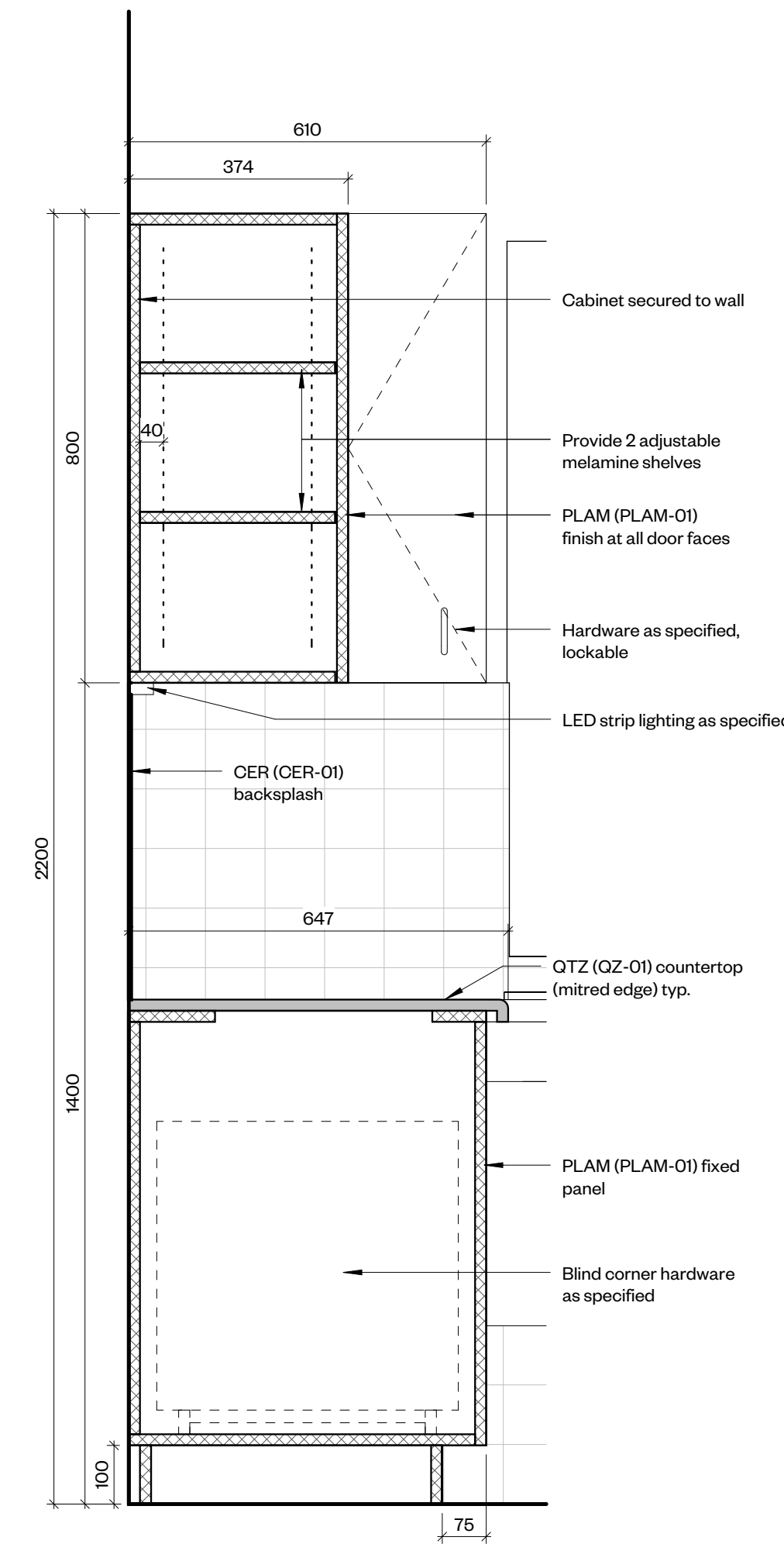
1 MW3 - Section Through Kitchen Cabinets, Typ.  
1 : 10



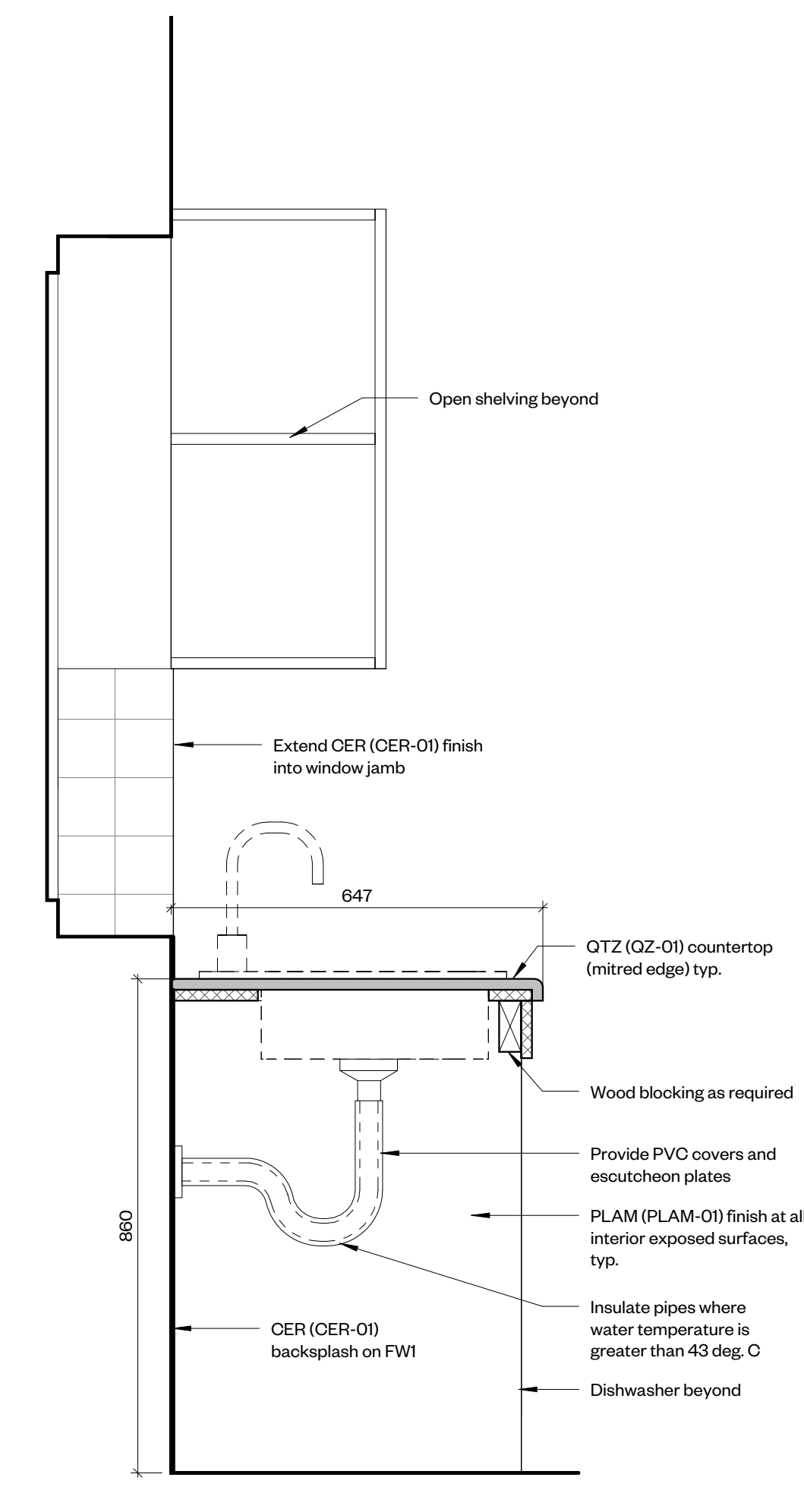
2 MW3 - Section Through Wall Oven  
1 : 10



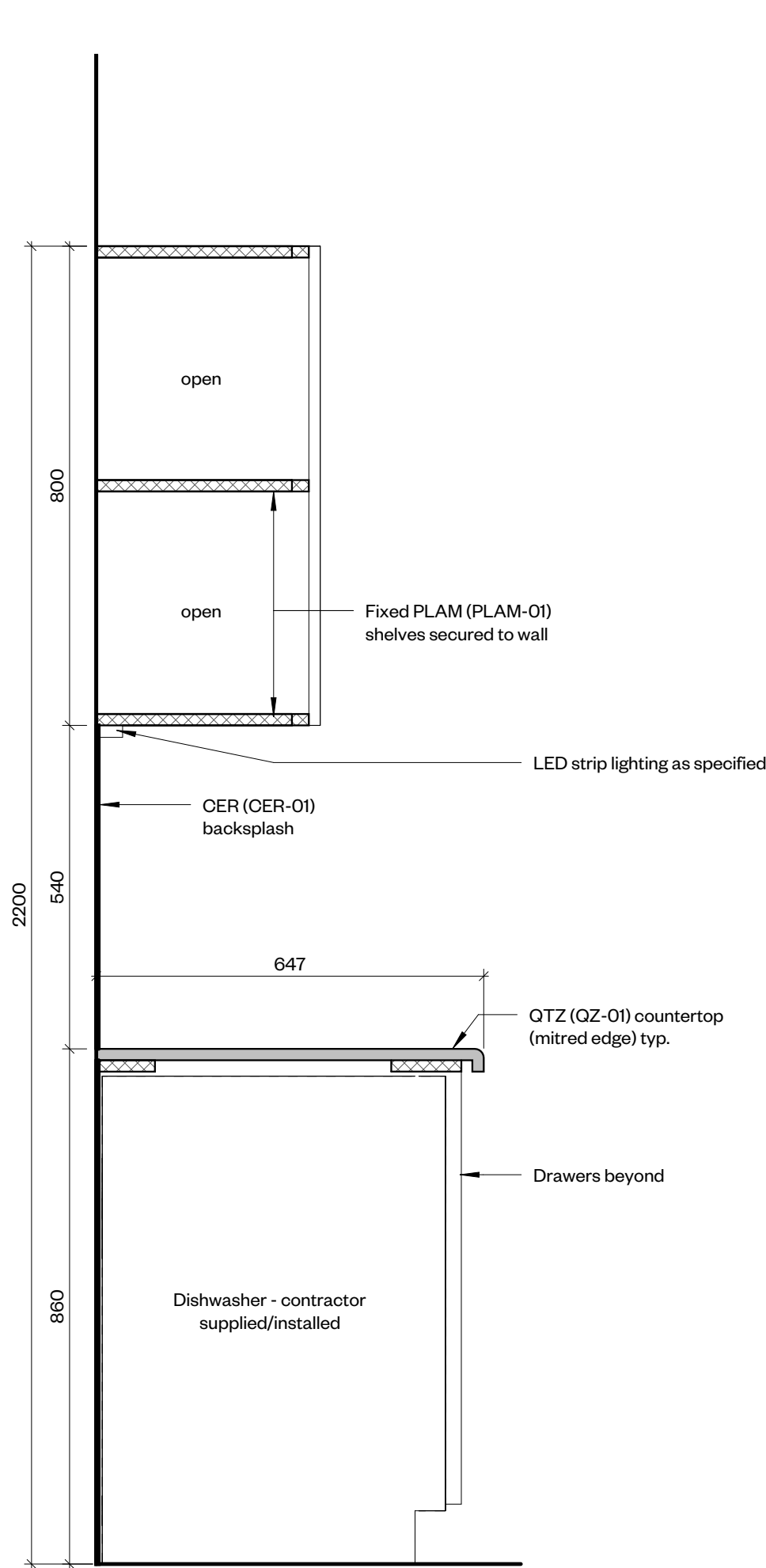
3 MW3 - Section Through Cooktop/Hood  
1 : 10



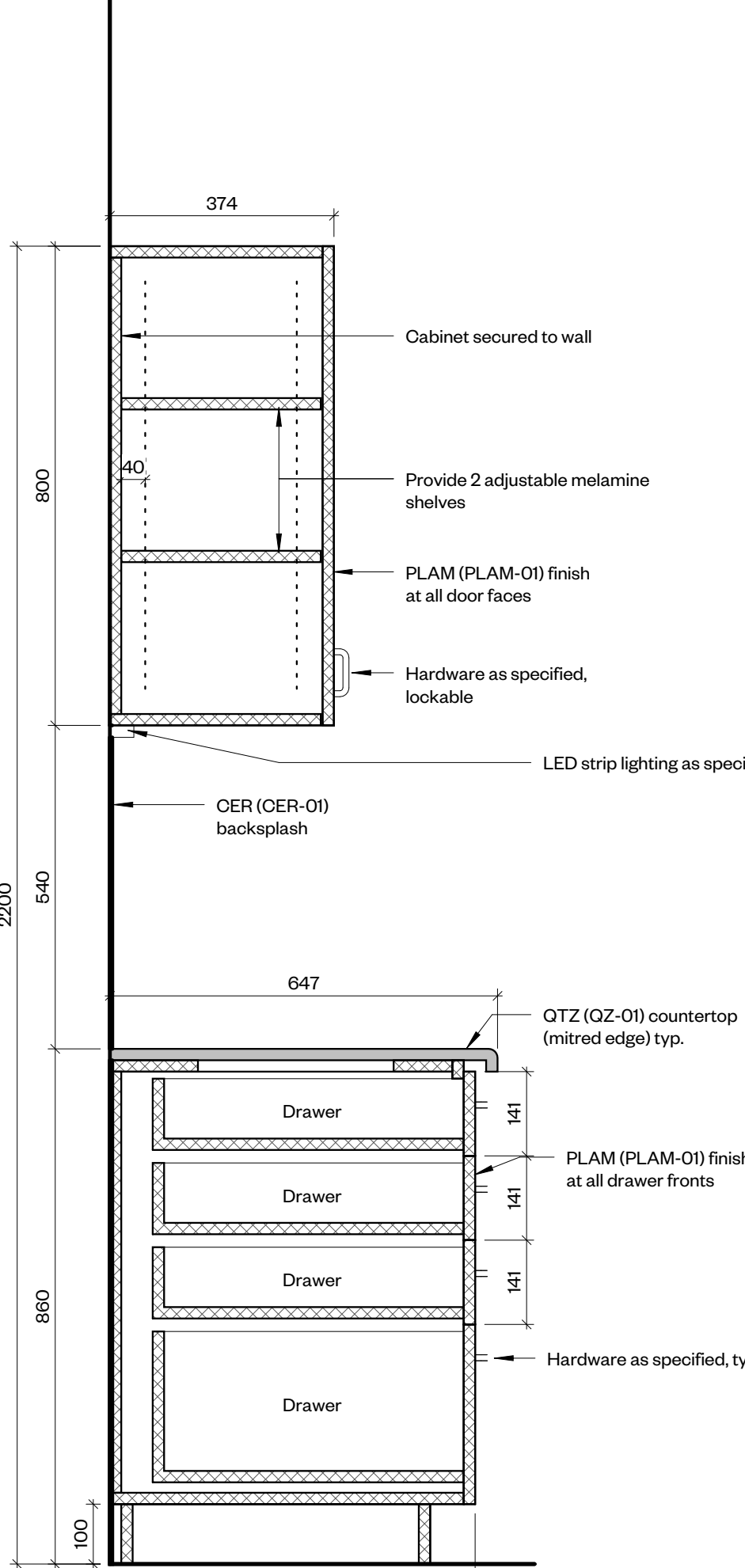
4 MW3 - Section Through Blind Corner Cabinet & Corner Wall Cabinet  
1 : 10



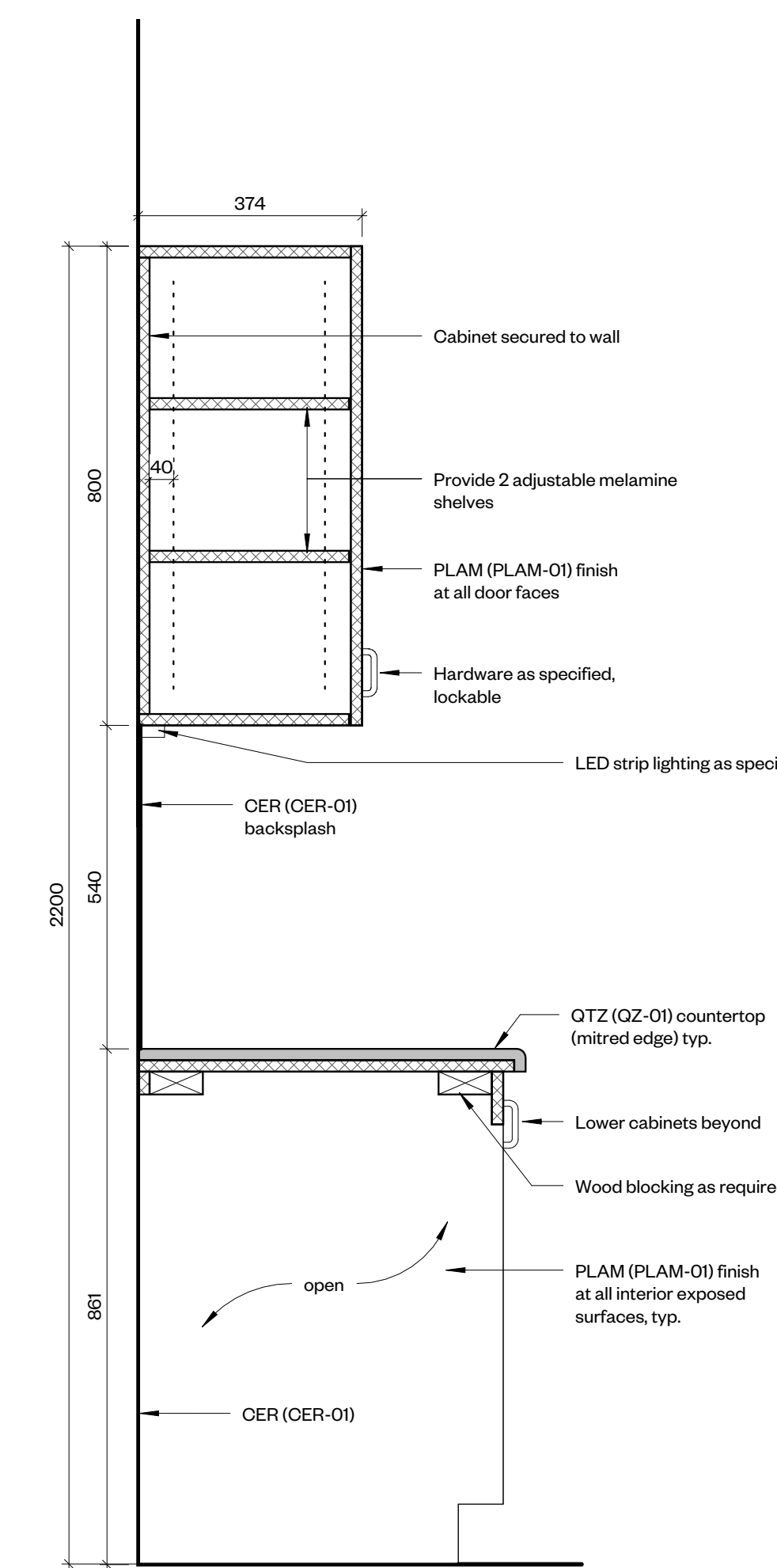
5 MW3 - Section Through Accessible Sink  
1 : 10



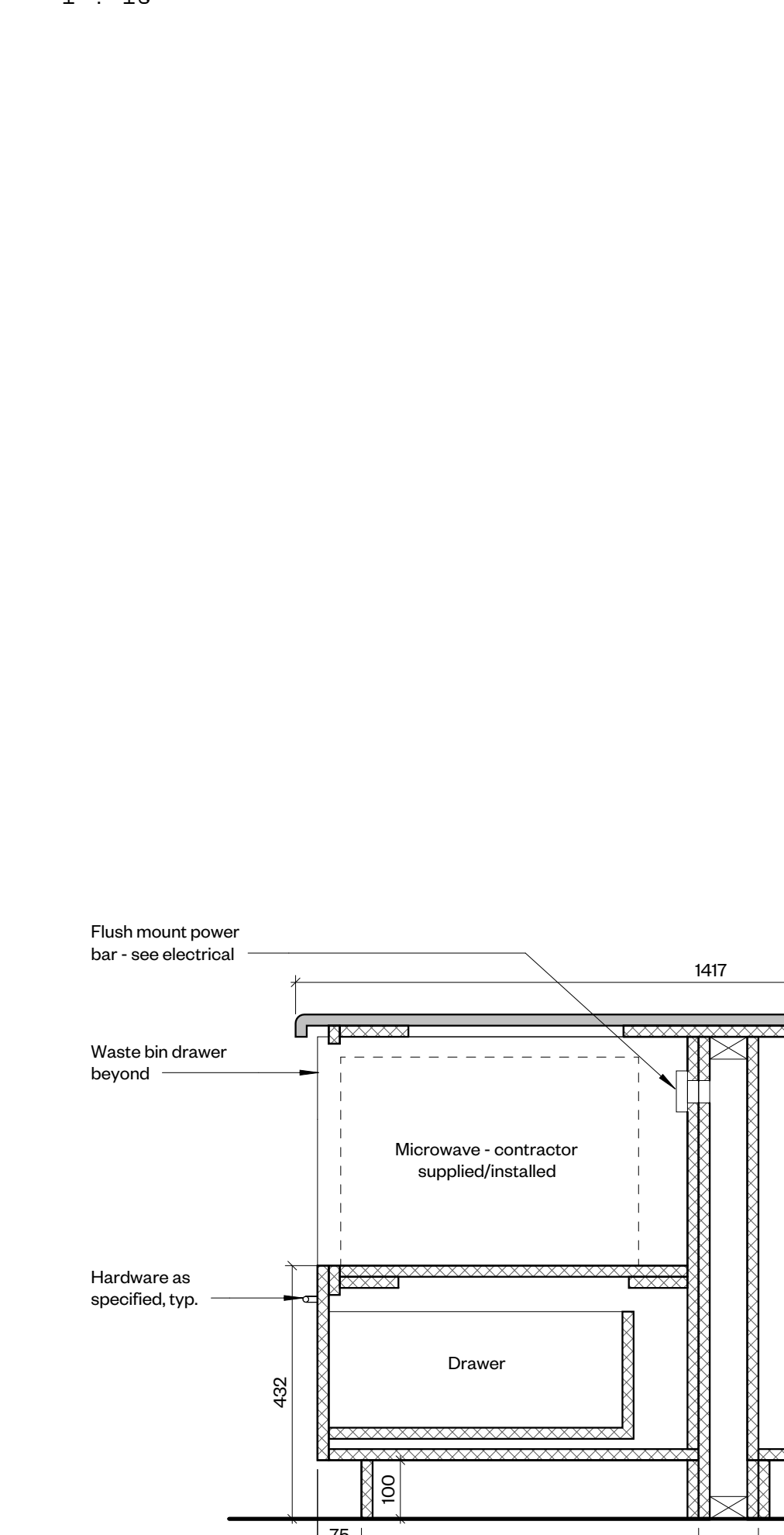
6 MW3 - Section Through Dishwasher  
1 : 10



7 MW3 - Section Through Drawers  
1 : 10



8 MW3 - Section Through Accessible Counter  
1 : 10



9 MW3 - Section Through Kitchen Island  
1 : 10

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PT	Paint Finish
QTZ	Quartz
RB	Rubber Base
RES	Resilient Sheet Flooring
RS	Roller Shade
SO	Solid Polymer Fabrications
TGL	Tempered Glass
WO	Solid Wood

**Millwork Hardware Legend**

Adjustable shelf pins/ferrules: Richelieu #2291180, nickel finish  
 Bumpers (2 each per door): Richelieu 3M (Peel & Stick)  
 Cabinet/Drawer Pulls: Richelieu Catalogue 205 #BP205108140, chrome  
 Cam lock for all upper and lower cabinet doors: National NCL-L-C8080-4GKA413A (keyed alike except as noted)  
 Concealed hinges: Blum Blumotion 110 degrees  
 Continuous hinges: Richelieu Stainless Steel Piano Hinges Product #: 50072170  
 Steel Roller Glides at 150mm drawers: Accuride #2037 Full Extension  
 Soft close mechanism at all drawers: Richelieu BP97309910  
 Pull-out waste bins/frame: Richelieu #WEBKIT1216908  
 Blind corner organizer: Richelieu #5PSP1SSCCR



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**TSSS Family Residence Renovations**

4222 Kingston Road

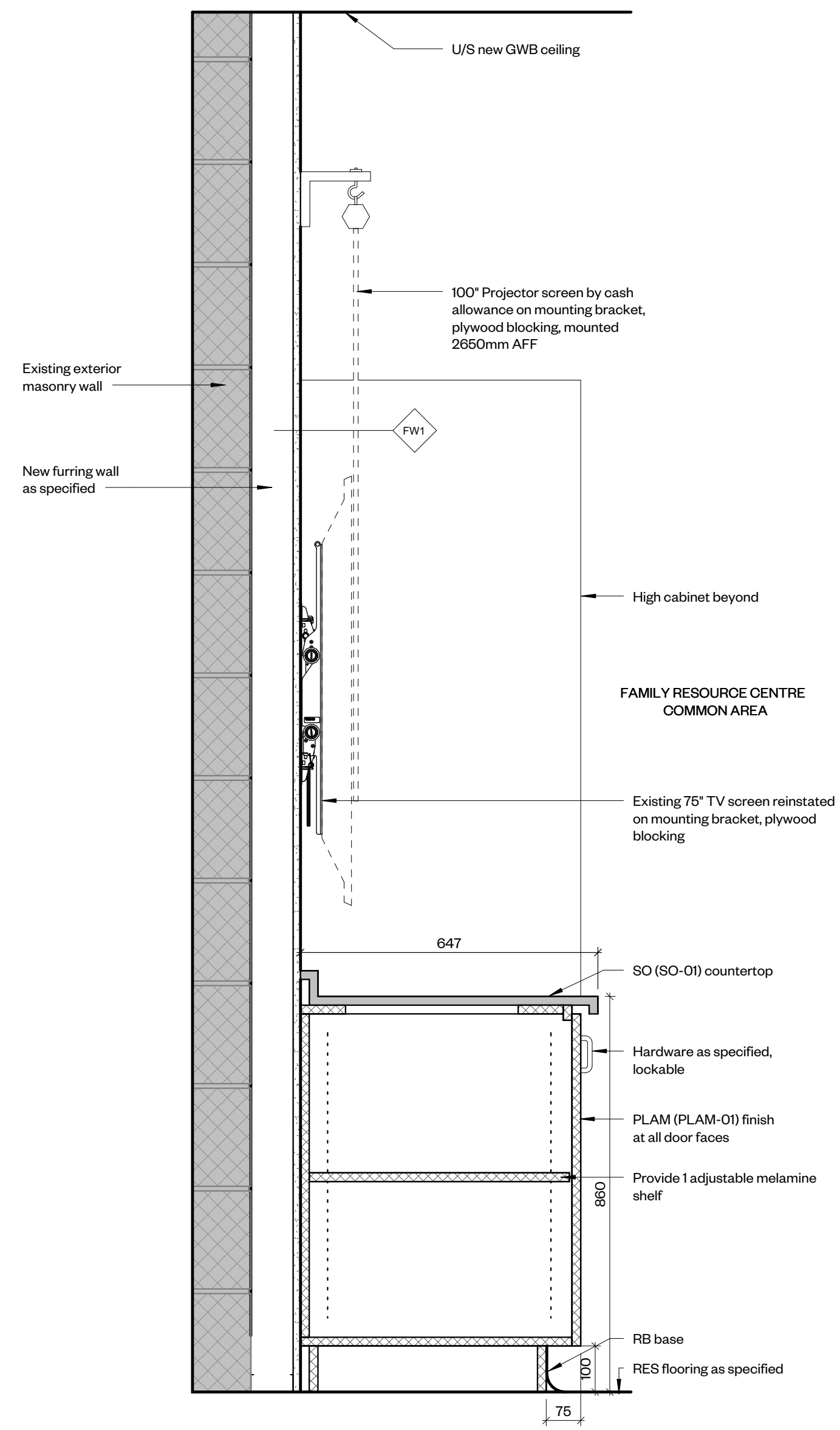
PROJECT CODE:	SCALE:
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**Millwork Details - Kitchen**

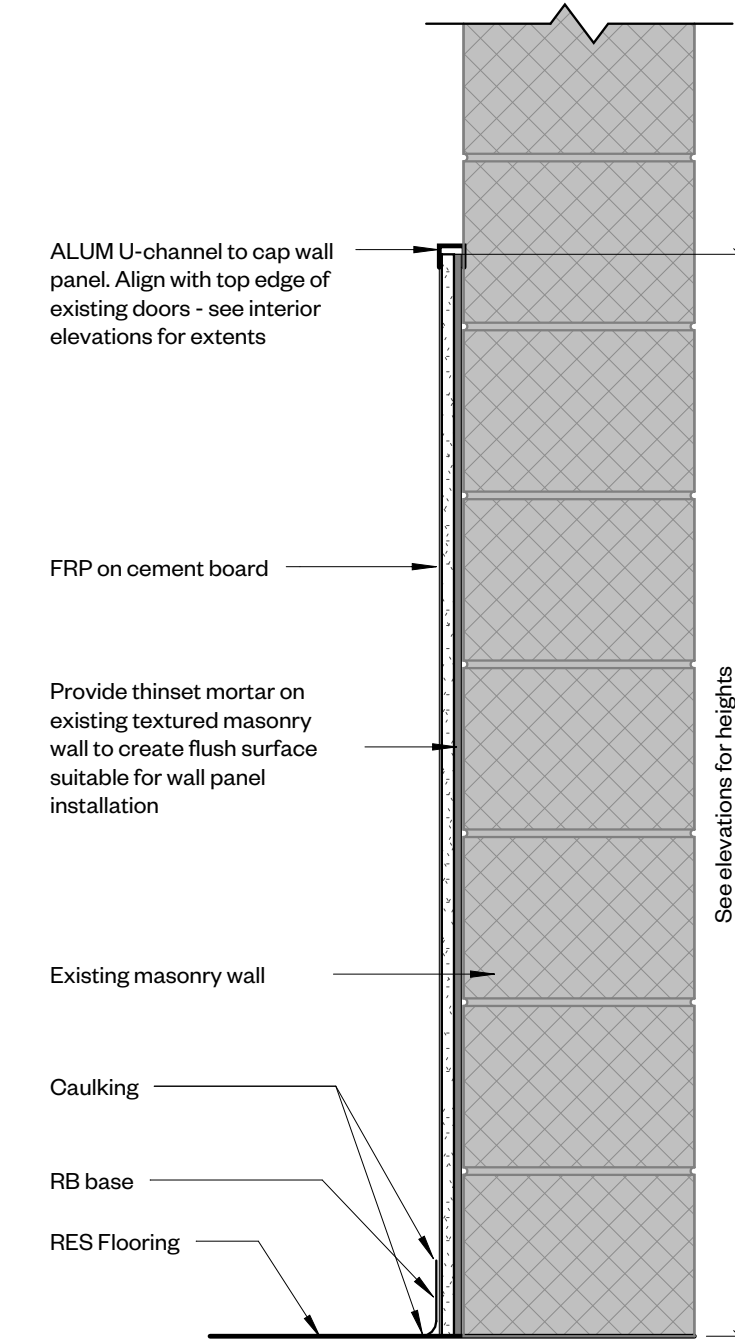
drawing number

A3.2

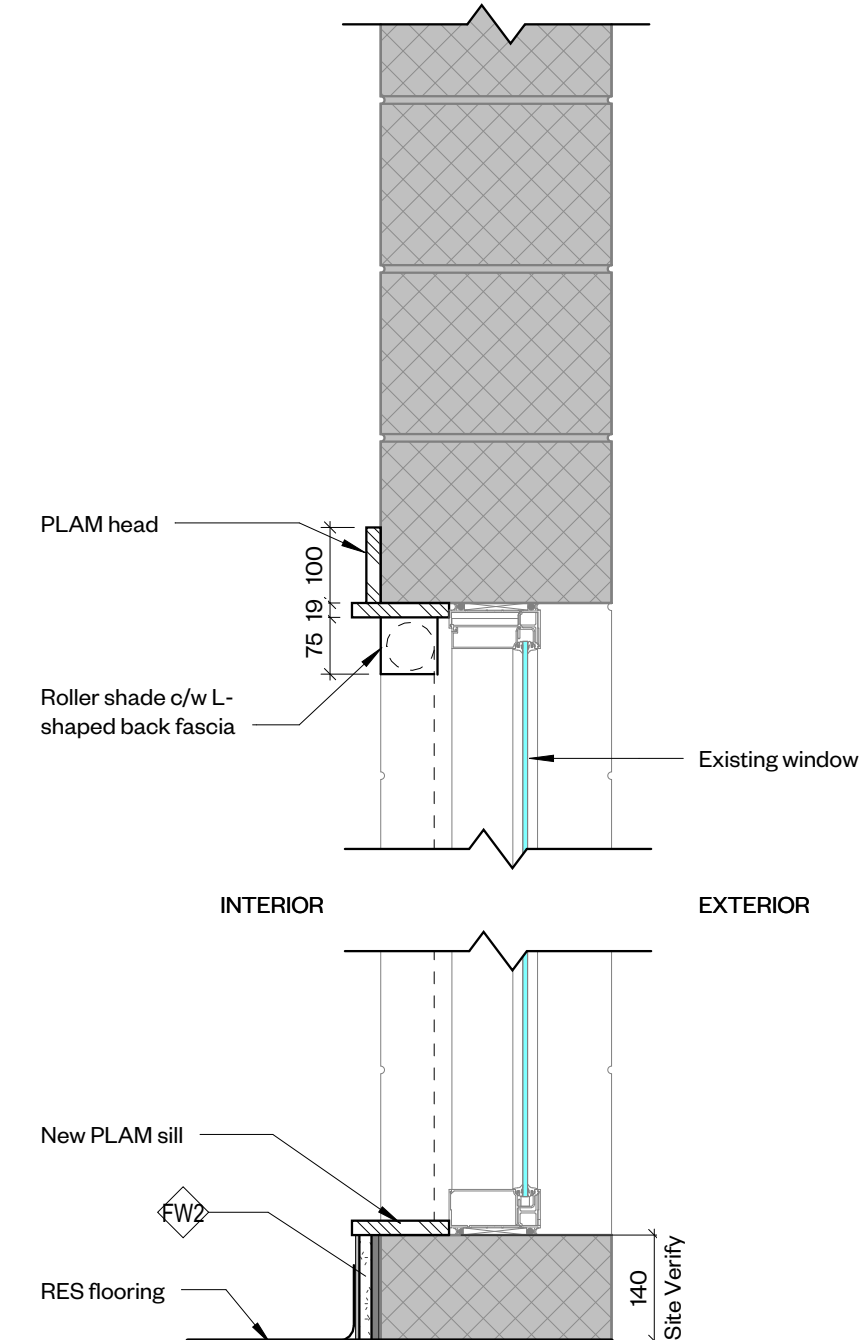




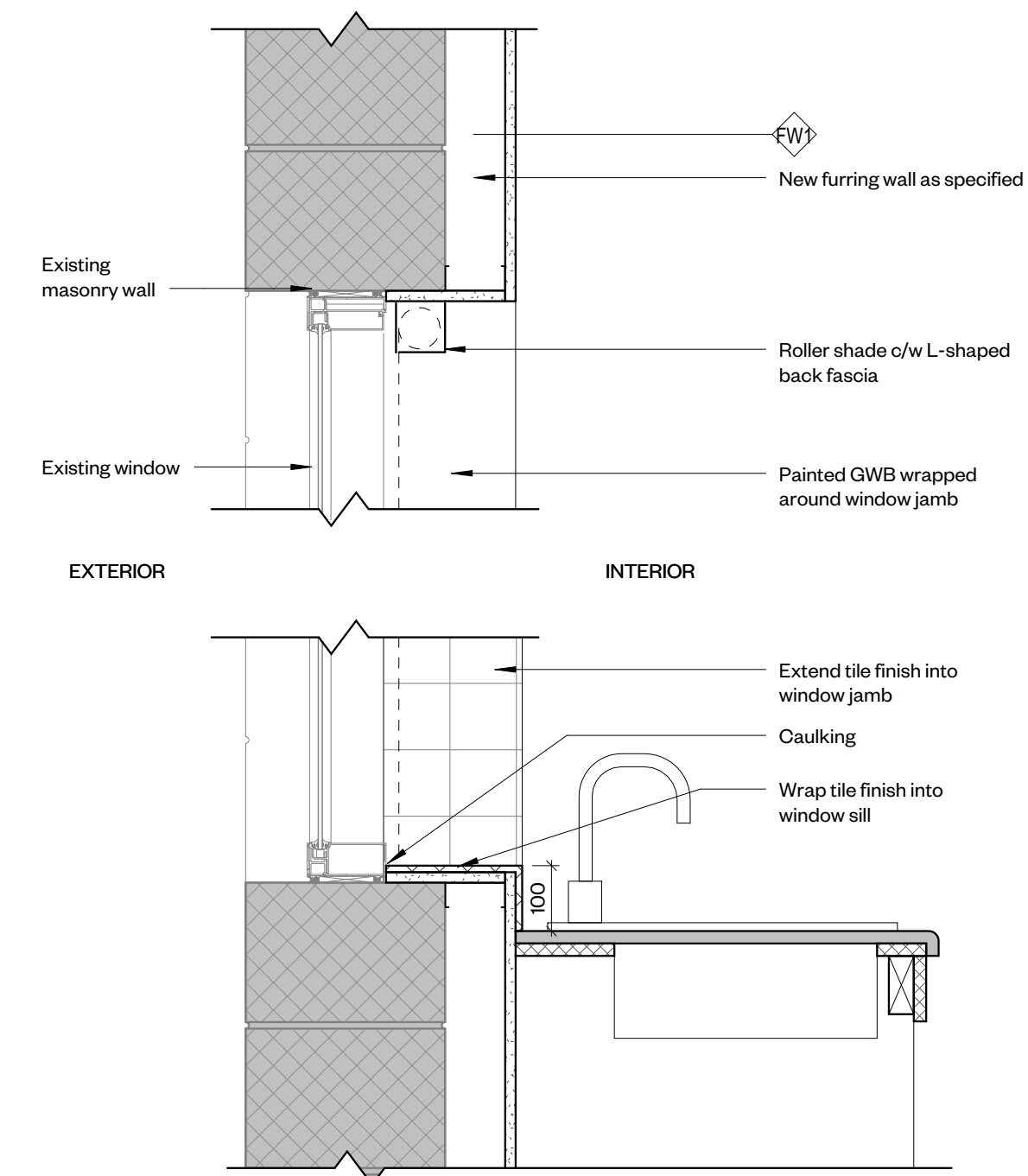
① Detail Section - FW1 at TV and Thru MW4 Lower Cabinets  
1 : 10



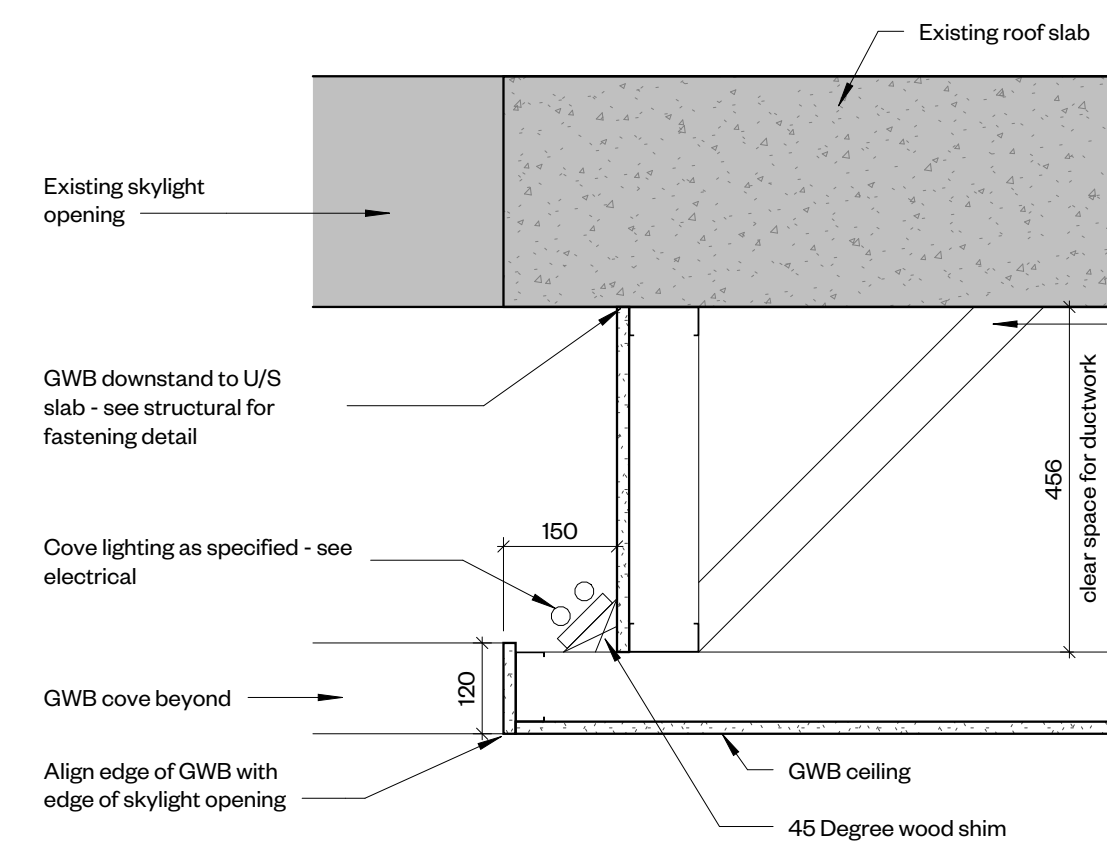
② Detail Section - FW2 at Existing Wall  
1 : 10



③ Detail Section - Head at Existing Windows  
1 : 10



④ Detail Section - Sill at Kitchen Sink  
1 : 10



⑤ Detail Section - Cove Light at Existing Skylight  
1 : 10

**Delegated Engineering Design**  
Steel stud framing support for new GWB downstand by Contractor. Provide shop drawings stamped by a Licensed Professional engineer registered in the Province of Ontario.

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2402	1:10
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Details

drawing number

A4.0





PLUMBING FIXTURES

**WC-1** TOILET - FLOOR MOUNTED WITH FLOOR OUTLET  
 AMERICAN STANDARD 211AA174.020 TOILET - CHAMPION® PRO™, TANK TYPE TOILET, FLOOR MOUNTED WITH FLOOR OUTLET, HIGH EFFICIENCY HET 4.8 LPM (1.28 GPM), WHITE FINISH VITREOUS CHINA, EVERGLADE ANTIMICROBIAL SURFACE, ELONGATED BOWL, RIGHT HEIGHT RIM AT 419 MM (16-1/2"), MINIMUM 305 MM (12") ROUGH-IN FROM WALL TO THE CENTER OF WASTE OUTLET, SIPHON JET FLUSH ACTION, MANUAL, POLISHED CHROME LEFT-HAND TRIP LEVER (7381232-200.0020A), TANK WITH AQUAGUARD LINER, WITH TANK COVER LOCKING DEVICE, GRAVITY-ASSISTED FLUSH, CHAMPION® FLUSHING SYSTEM, 102 MM (4") PISTON-ACTION ACCELERATOR™ FLUSH VALVE, METAL SHANK FILL VALVE, TANK COUPLING COMPONENTS, 229 X 203 MM (9" X 8") WATER SURFACE AREA, FULLY-GLAZED 60 MM (2-3/8") TRAPWAY, POWERSHIM™ RIM SCRUBS BOWL WITH PRESSURIZED WATER EVERY FLUSH, INCLUDES EZ-INSTALL TOOLS, TRADE EXCLUSIVE TANK, TOILET SEAT NOT INCLUDED, COLOUR-MATCHED BOLT CAPS, 483 MM (19") WIDE, 768 MM (30-1/4") FROM FINISHED WALL, 784 MM (30-7/8") HIGH COMPLIANCE: ASME A112.19.2 COMPLIANT, CSA B45.1 COMPLIANT, EPA WATERSENSE® COMPLIANT, CENDDCO B205T5F-001 SEAT - FAST-N-LOCK, FOR ELONGATED BOWL, OPEN FRONT, HEAVY-DUTY, FOR COMMERCIAL APPLICATIONS, POLYPROPYLENE, TOILET SEAT, WITH SEAT COVER, PLASTIC COMMERCIAL CHECK HINGES, AND STAINLESS STEEL HINGE PIN, SPECIFIED IN WHITE FINISH, FAST-N-LOCK MOUNTING SYSTEM TAKES THE GUESS WORK OUT WHEN TIGHTENING THE HARDWARE. THE SPECIALLY DESIGNED FASTENERS IN "CLICK" WHEN THE APPROPRIATE TORQUE IS REACHED. THE BOLT AND NUT MATERIAL SHALL BE STAINLESS STEEL, DIMENSIONS: 25 MM (1") HIGH, 470 MM (18-1/2") LONG, 362 MM (14-1/4") WIDE  
 MCGUIRE LFB172 SUPPLY - LEAD FREE, WITH CHROME-PLATED FINISH, CONVERTIBLE QUARTER-TURN SUPPLY, TOILET, TWD 13 MM (1/2") COPPER SWEAT X 10 MM (3/8") OUTER Ø BRASS BALL VALVE CONNECTION, 2 DEEP BELL FLANGE, CONVERTIBLE LOOSE KEY HANDLE, EXTENSION IS 127 MM (5") LENGTH, 304 MM (12") COPPER FLEXIBLE RISERS.

**L-1** COUNTERTOP LAVATORY.  
 AMERICAN STANDARD 9495001.020 BASIN - CABET UNIVERSAL ACCESS, DROP-IN LAVATORY, VITREOUS CHINA, WHITE FINISH, SINGLE HOLE CENTERSET, TWD (2) REAR OVERFLOW HOLES, WITH FAUCET LEDGE, OVERALL DIMENSIONS: 533 MM (21") LONG, 445 MM (17-1/2") WIDE, 165 MM (6-1/2") HIGH, BOWL DIMENSIONS: 441 MM (17-3/8") LONG, 279 MM (11") WIDE, 133 MM (5-1/4") DEEP  
 LAWLOR TMM-1070-87500 MIXING VALVE - THE POINT OF USE MECHANICAL MIXING VALVE WITH THERMOSTATIC LIMIT STOP, MECHANICAL MIXING VALVE, LEAD FREE BRASS BODY CONSTRUCTION, THE TEMPERATURE ADJUSTING DIAL IS LOCATED ON THE COLD INLET, TURNING THE DIAL CLOCKWISE WILL LOWER THE OUTLET TEMPERATURE, TURNING THE DIAL COUNTER-CLOCKWISE WILL RAISE IT. THE VALVE CANNOT BE ADJUSTED ABOVE ITS SHUT-OFF TEMPERATURE OF 120F, 1.8 LPM (0.5 GPM) TEMPERED FLOWRATE @ 5 PSI PRESSURE DROP, COMPRESSION FITTING, 84 MM (3-5/16") HIGH, ASSE 1070 APPROVED ASSE LEAD FREE CERTIFIED FOR ASSE 1070 APPLICATIONS, 3/8" MNPT (9.5 MM) INLET, 3/8" MNPT (9.5 MM) OUTLET, INTEGRAL RUBBER DUCK-BILL BACKFLOW CHECKS, HIGH TEMPERATURE LIMIT STOP, 125 PSI MAX SUPPLY PRESSURE, AUTOMATICALLY SHUTS DOWN FLOW OF WATER WHEN TEMPERATURE REACHES 120 °F, 5 PSI MINIMUM OPERATING PRESSURE, 140 °F MAX, 118 °F ± 43 °F, PROTECTS AGAINST SCALDING AND CHILLING, 8 LPM (2.1 GPM) FLOWRATE @ 45 PSI  
 MCGUIRE 155A FUTURE DRAIN - STRAIGHT DRAIN, CAST BRASS, CHROME-PLATED FINISH, OPEN GRID PD PLUG, 7/32" (5.5 MM) Ø HOLES SIZE, 17 GAUGE 32 MM (1-1/4") Ø TAILPIECE DIAMETER, 17 GAUGE 152 MM (6") LONG, BRASS LOCKNUT, HEAVY RUBBER BASIN WASHER FIBER FRICTION WASHER, ASME A112.18.2 CSA B125.2, CSA COMPLIANT  
 MCGUIRE LFH16SLK3 SUPPLY - LEAD FREE, SHALL BE CONSTRUCTED FROM CAST BRASS VALVE, WITH CHROME-PLATED FINISH, LAVATORY SUPPLY, 10 MM (3/8") I.P.S. INLET, 10 MM (3/8") O.D. OUTLET, CONVERTIBLE LOOSE KEY HANDLE, N3 - 76 MM (3") LONG RIGID HORIZONTAL NIPPLES.  
 MCGUIRE 8972C P-TRAP - HEAVY CAST BRASS, ADJUSTABLE P-TRAP, 292 MM (11-1/2") DISTANCE, WITH CLEANDUT PLUG, STEEL SHALLOW FLANGE, NEOPRENE GASKET, SLIPNUTS, 17 GAUGE SEAMLESS TUBULAR WALL BEND, ASME A112.18.2 CSA B125.2, CSA COMPLIANT.

**KS-1** COUNTER MOUNTED, DROP-IN, COMMERCIAL SINKS  
**KS-2** FRANKE COMMERCIAL - SINGLE OR DOUBLE COMPARTMENT SINK AS LISTED BELOW, SINGLE HOLE CENTERSET, COMMERCIAL SINKS, CONSTRUCTED FROM 18 GAUGE TYPE 304 STAINLESS STEEL, POLISHED TO #4 SATIN FINISH, FACTORY INSTALLED EZ TORQUE™ FASTENERS, FACTORY APPLIED RIM SEAL, CENTER BACK WASTE LOCATION, 38 MM (1-1/2") (DN38) BRASS TAILPIECE, 89 MM (3-1/2") CRUMB CUP STRAINER, WASTE FITTING INCLUDED, UNDERCATED TO REDUCE CONDENSATION AND RESONANCE, CODES AND COMPLIANCES: ASME A112.19.3 COMPLIANT, CSA B45.4 COMPLIANT, FAUCET - AS LISTED BELOW.  
 LAWLOR TMM-1070-87500 MIXING VALVE - THE POINT OF USE MECHANICAL MIXING VALVE WITH THERMOSTATIC LIMIT STOP, MECHANICAL MIXING VALVE, LEAD FREE BRASS BODY CONSTRUCTION, THE TEMPERATURE ADJUSTING DIAL IS LOCATED ON THE COLD INLET, TURNING THE DIAL CLOCKWISE WILL LOWER THE OUTLET TEMPERATURE, TURNING THE DIAL COUNTER-CLOCKWISE WILL RAISE IT. THE VALVE CANNOT BE ADJUSTED ABOVE ITS SHUT-OFF TEMPERATURE OF 120F, 1.8 LPM (0.5 GPM) TEMPERED FLOWRATE @ 5 PSI PRESSURE DROP, COMPRESSION FITTING, 84 MM (3-5/16") HIGH, ASSE 1070 APPROVED ASSE LEAD FREE CERTIFIED FOR ASSE 1070 APPLICATIONS, 3/8" MNPT (9.5 MM) INLET, 3/8" MNPT (9.5 MM) OUTLET, INTEGRAL RUBBER DUCK-BILL BACKFLOW CHECKS, HIGH TEMPERATURE LIMIT STOP, 125 PSI MAX SUPPLY PRESSURE, AUTOMATICALLY SHUTS DOWN FLOW OF WATER WHEN TEMPERATURE REACHES 120 °F, 5 PSI MINIMUM OPERATING PRESSURE, 140 °F MAX, 118 °F ± 43 °F, PROTECTS AGAINST SCALDING AND CHILLING, 8 LPM (2.1 GPM) FLOWRATE @ 45 PSI  
 MCGUIRE LFK16SLK SUPPLY - ICV DEFENDER, LEAD FREE, WITH CHROME-PLATED FINISH, INTEGRAL CHECK SUPPLY KIT, FAUCET, PIPE TO COMPRESSION CONNECTION, 3/8" I.P.S. X 3/8" O.D. CONNECTION, SHALLOW WALL FLANGE, LOOSE KEY HANDLE, FULL TURN BRASS STEM, 305 MM (12") CHROME-PLATED RISERS, PURPLE EPDM PEROXIDE CURED WASHERS, CODES AND COMPLIANCES: NSF/ANSI 61 & 372, UPC  
 MCGUIRE 8912CB P-TRAP - HEAVY CAST BRASS, ADJUSTABLE P-TRAP, 292 MM (11-1/2") LENGTH, WITH CLEANDUT PLUG, STEEL BOX FLANGE, NEOPRENE GASKET, SEAMLESS TUBULAR BRASS BEND, SLIPNUTS.

**DW** DISHWASHER  
 PROVIDE ALL REQUIRED MATERIALS AND LABOUR TO INSTALL DISHWASHER PROVIDED BY OWNER.

**FD** FLOOR DRAIN - FOR FINISHED AREA APPLICATION - MEDIUM DUTY (MD) WATTS FD-100-C-A-6-7 FLOOR DRAIN - EPOXY COATED CAST IRON, FLOOR DRAIN, ADJUSTABLE ROUND 6 MM (1/4") THICK TOP, ANCHOR FLANGE, TRAP PRIMER TAPPING, REVERSIBLE MEMBRANE CLAMP, COLLAR WITH PRIMARY AND SECONDARY WEEDHOLES, 52 CM (8 SQ. IN.) FREE AREA (FOR 127 MM (5") DIAMETER STRAINER), 58 CM (9 SQ. IN.) FREE AREA (FOR 152 MM (6") DIAMETER STRAINER), 77 CM (12 SQ. IN.) FREE AREA (FOR 178 MM (7") DIAMETER STRAINER), 116 CM (18 SQ. IN.) FREE AREA (FOR 203 MM (8") DIAMETER STRAINER), VANDAL-PROOF, TRAP PRIMER TAPPING, CERTIFICATION AND COMPLIANCE INCLUDE: ASME A112.21.1M COMPLIANT.

Project Name: 4222 Kingston Road  
 Project No.: 2402

Item	Code	Location(s)	Manufacturer	Model	Notes
Sink	L-1	WC	American Standard	9495001.02	
Faucet	S-1	Kitchenette and WC	Delta	560LF-PP-LPU	Chrome finish
Toilet	WC-1	WC	American Standard	211AA174.020	Floor mounted
Floor Drain	FD-1	Kitchen	Watts	FD-100-C-A-6-7	
Double Compartment Sink	KS-1	Kitchen	Franke Commercial	LB6408P-1-1	
Single Compartment Sink	KS-2	Kitchenette	Franke Commercial	LB5408P-1-1	
Kitchen Faucet	S-2	Kitchen	Eltre	D35404300.100	Polished chrome finish

GRILLES AND DIFFUSERS

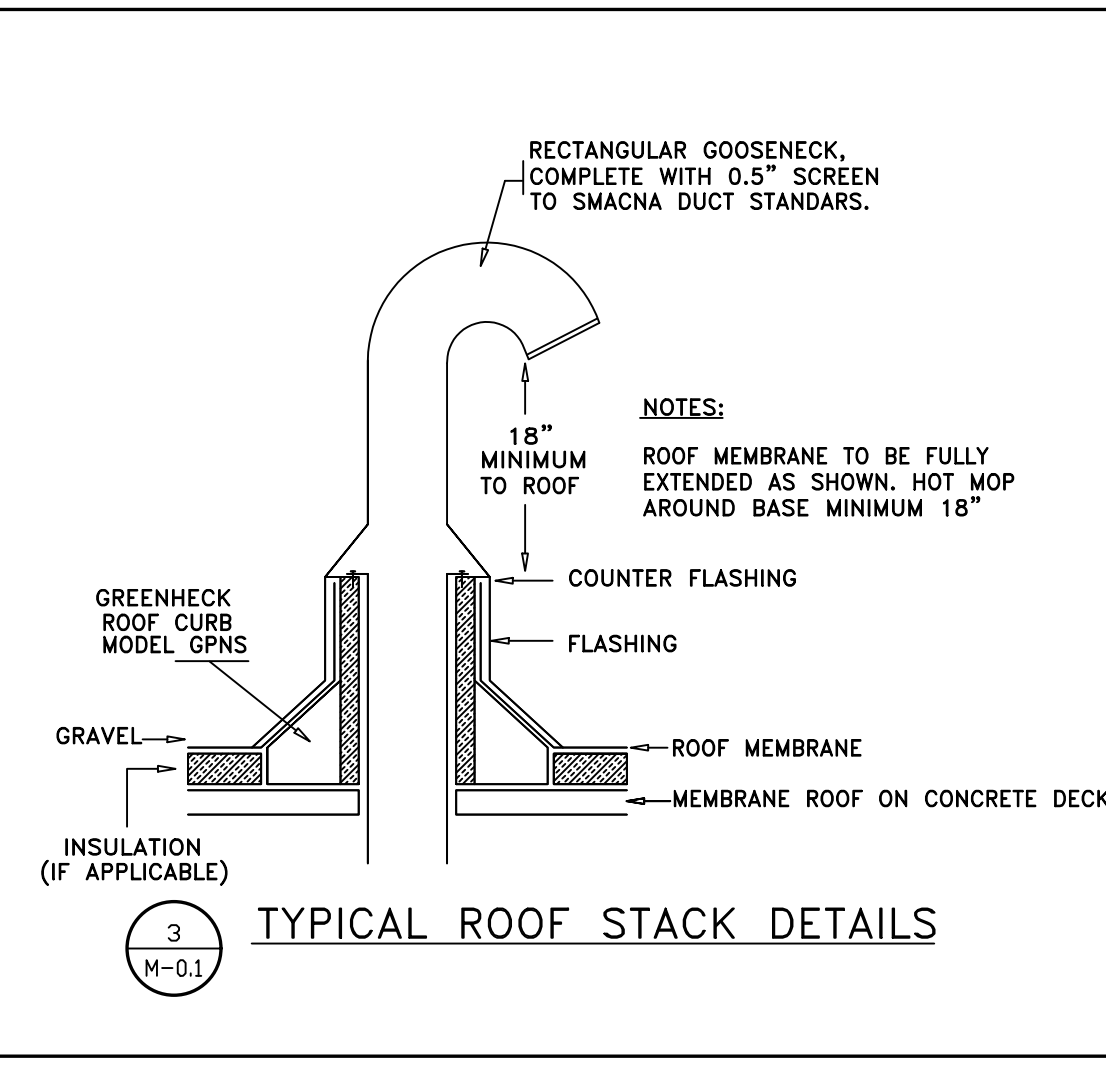
SCDA - ADJUSTABLE PATTERN SQUARE CONE DIFFUSER (24" X 24")  
 FURNISH AND INSTALL PRICE MODEL SCDA STEEL GRILLE CEILING DIFFUSERS OF SIZES AND MOUNTING TYPES DESIGNATED BY THE PLANS AND AIR DISTRIBUTION SCHEDULE. DIFFUSERS SHALL CONSIST OF A PRECISION FORMED BACK CONE OF ONE-PIECE CONSTRUCTION THAT INCORPORATES A ROUND INLET COLLAR OF SUFFICIENT LENGTH FOR CONNECTING RIGID OR FLEXIBLE DUCT AND OUTER FRAME WHICH IS RECESSED FROM THE CEILING PLANE TO ALLOW FOR FIELD ADJUSTMENT OF THE AIR FLOW DISCHARGE FROM FULLY HORIZONTAL TO FULLY VERTICAL. THE DIFFUSER SHALL INTEGRATE WITH ALL DUCT SIZES SHOWN ON THE PLANS WITHOUT AFFECTING THE FACE SIZE AND APPEARANCE OF THE UNIT. AN INNER CONE ASSEMBLY SHALL CONSIST OF 3 CONES WHICH ASSURE OPTIMAL VAV AIR DIFFUSION PERFORMANCE. THE INNER CONE ASSEMBLY SHALL BE COMPLETELY REMOVABLE FROM THE DIFFUSER FACE TO ALLOW FOR FULL ACCESS TO ANY DAMPERS OR OTHER DUCT WORK COMPONENTS LOCATED NEAR THE DIFFUSER NECK. NON-PROTRUSIVE AIR FLOW DIRECTIONAL TABS SHALL BE PROVIDED ON THE BACK OF THE INNER CONES WHICH MAY BE POSITIONED FOR EITHER HORIZONTAL OR VERTICAL DISCHARGE. FINISH SHALL BE B12 WHITE POWDER COAT. PAINT FINISH SHALL PASS 500 HOURS OF SALT SPRAY EXPOSURE WITH NO MEASURABLE CREEP IN ACCORDANCE WITH ASTM D1654 AND 1000 HOURS WITH NO RUSTING OR BLISTERING AS PER ASTM D610 AND ASTM D714.

SCDA2 - SAME AS SCDA BUT 12" X 12"  
 610 AND 620 - SUPPLY GRILLES  
 FURNISH AND INSTALL PRICE MODEL 610 OR 620 ALUMINUM SUPPLY GRILLES AS INDICATED OF THE SIZES AND MOUNTING TYPES SHOWN ON THE PLANS. 610 GRILLES SHALL BE SINGLE DEFLECTION. 620 GRILLES SHALL BE DOUBLE DEFLECTION TYPE WITH TWO SETS OF FULLY ADJUSTABLE DEFLECTION BLADES SPACED 19 MM (3/4") ON CENTER. THE FRONT SET OF BLADES SHALL RUN PARALLEL TO THE LONG DIMENSION OF THE GRILLE. AS INDICATED IN THE OUTLET SCHEDULE. THE GRILLE SHALL BE FINISHED IN B12 WHITE POWDER COAT. PAINT FINISH SHALL PASS 500 HOURS OF SALT SPRAY EXPOSURE WITH NO MEASURABLE CREEP IN ACCORDANCE WITH ASTM D1654 AND 1000 HOURS WITH NO RUSTING OR BLISTERING AS PER ASTM D610 AND ASTM D714.

80 - RETURN GRILLE EGGRATE FACE  
 FURNISH AND INSTALL PRICE MODEL 80 RETURN GRILLES OF THE SIZES AND MOUNTING TYPES INDICATED ON THE PLANS AND OUTLET SCHEDULE. GRILLES SHALL BE OF ALUMINUM CONSTRUCTION, CONSISTING OF ALUMINUM 13 X 13 X 13 GRID (EGGRATE CORE) AND AN EXTRUDED ALUMINUM BORDER. THE GRILLE SHALL BE FINISHED IN B12 WHITE POWDER COAT. PAINT FINISH SHALL PASS 500 HOURS OF SALT SPRAY EXPOSURE WITH NO MEASURABLE CREEP IN ACCORDANCE WITH ASTM D1654 AND 1000 HOURS WITH NO RUSTING OR BLISTERING AS PER ASTM D610 AND ASTM D714.

80D - EXHAUST REGISTER  
 FURNISH AND INSTALL PRICE MODEL 80D EXHAUST REGISTERS OF THE SIZES AND MOUNTING TYPES INDICATED ON THE PLANS FOR ALL WASHROOMS. REGISTERS SHALL BE OF ALUMINUM CONSTRUCTION, CONSISTING OF ALUMINUM 13 X 13 X 13 GRID (EGGRATE CORE) AND AN EXTRUDED ALUMINUM BORDER. THE INTEGRAL VOLUME CONTROL DAMPER SHALL BE OF THE OPPOSED BLADE TYPE AND SHALL BE CONSTRUCTED OF HEAVY GAUGE COLD ROLLED STEEL. THE DAMPER SHALL BE OPERABLE FROM THE REGISTER FACE. THE DAMPER SHALL BE COATED STEEL. THE GRILLE SHALL BE FINISHED IN B12 WHITE POWDER COAT. PAINT FINISH SHALL PASS 500 HOURS OF SALT SPRAY EXPOSURE WITH NO MEASURABLE CREEP IN ACCORDANCE WITH ASTM D1654 AND 1000 HOURS WITH NO RUSTING OR BLISTERING AS PER ASTM D610 AND ASTM D714.

635 - RETURN GRILLE  
 FURNISH AND INSTALL PRICE MODEL 635 ALUMINUM EXHAUST GRILLES OF THE SIZES AND MOUNTING TYPES INDICATED ON THE PLANS AND OUTLET SCHEDULE. GRILLES SHALL BE 45 DEGREE DEFLECTION FIXED LOUVER TYPE WITH BLADES SPACED 13 ON CENTER. THE BLADES SHALL RUN PARALLEL TO THE LONG DIMENSION OF THE GRILLE. THE GRILLE SHALL BE FINISHED IN B12 WHITE POWDER COAT. PAINT FINISH SHALL PASS 500 HOURS OF SALT SPRAY EXPOSURE WITH NO MEASURABLE CREEP IN ACCORDANCE WITH ASTM D1654 AND 1000 HOURS WITH NO RUSTING OR BLISTERING AS PER ASTM D610 AND ASTM D714.



**TYPICAL ROOF STACK DETAILS**

NOTES:  
 1. PLUMBING SHALL BE INSTALLED AND SIZED TO PLUMBING CODES.  
 2. SAW CUT EXISTING FLOOR SLAB AS REQUIRED TO ACCOMMODATE NEW SERVICES. X-RAY BEFORE CUTTING.  
 3. PROVIDE CLEANDUTS EVERY ACCUMULATIVE CHANGE IN DIRECTION OF 130° AND MAX EVERY 50°- 0° D.C.

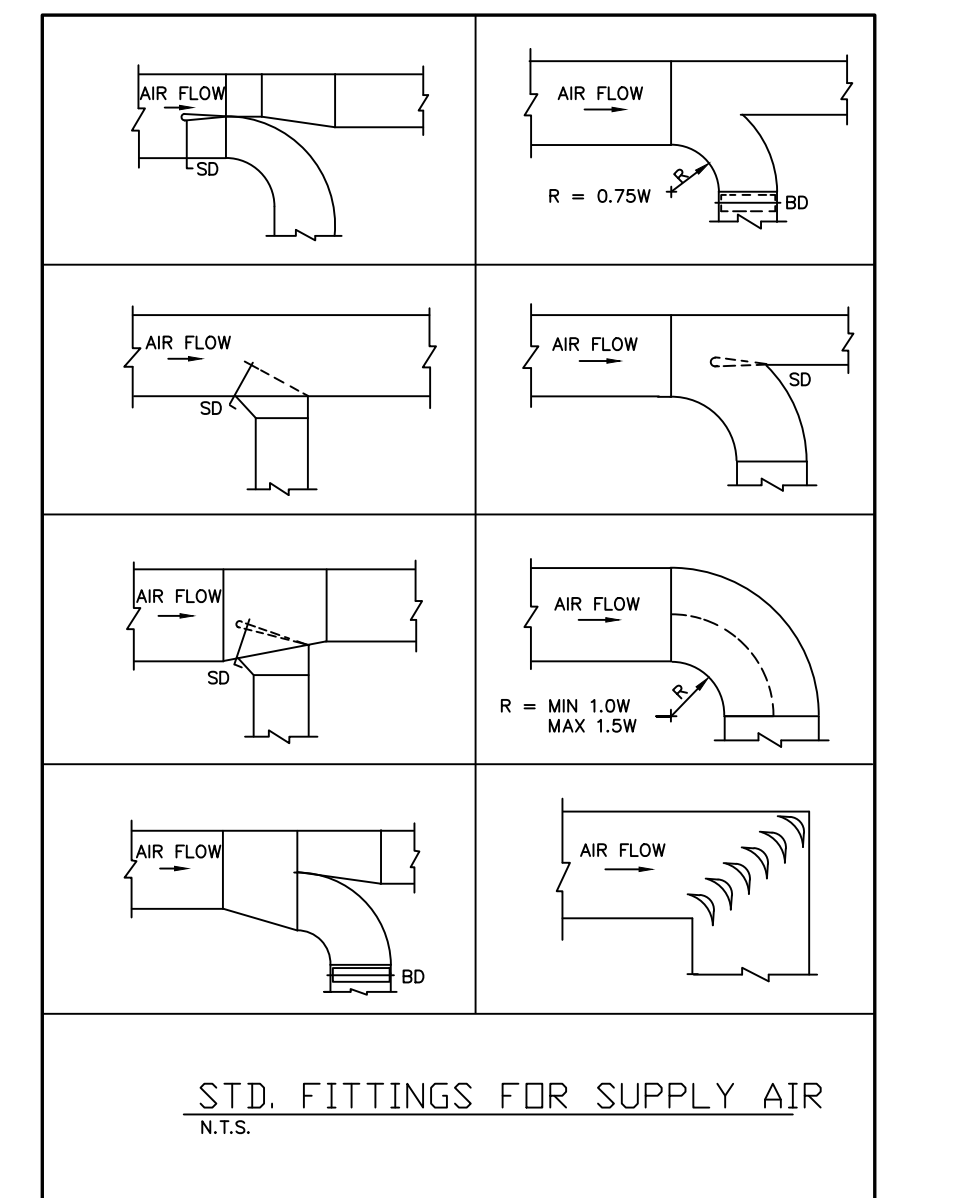
**LIST OF DRAWINGS**

M-0.1 - MECHANICAL DETAILS

M-1.0 - LEVEL 1 FLOOR PLANS - MECHANICAL OVERVIEW  
 M-1.1 - LEVEL 1 FLOOR PLAN - MECHANICAL DEMOLITION  
 M-1.2 - LEVEL 1 PLAN - NEW PLUMBING  
 M-1.3 - LEVEL 1 EXISTING REFLECTED CEILING PLAN - MECHANICAL DEMOLITION  
 M-1.4 - LEVEL 1 NEW REFLECTED CEILING PLAN - NEW HVAC

**PLUMBING LEGEND**

	NEW GAS PIPE LINE
	NEW STORM ABOVE SLAB
	NEW STORM BELOW SLAB
	NEW SANITARY ABOVE SLAB
	NEW SANITARY BELOW SLAB
	NEW SANITARY VENT
	NEW DOMESTIC COLD WATER
	NEW DOMESTIC HOT WATER
	EXISTING SANITARY BELOW SLAB
	EXISTING DOMESTIC COLD WATER
	EXISTING DOMESTIC HOT WATER
	SHUT-OFF VALVE
	FLOOR CLEANOUT - NICKEL BRONZE
	PLUMBING TRAP
	FLOOR DRAIN NB STRAINER
	FUNNEL FLOOR DRAIN
	FIRE EXTINGUISHER 2A/10BC



**SHEET METAL STANDARDS**  
 DUCT GAUGE AND ENFORCING FOR 2" W. G. (+/-)

DUCT DIMENSIONS	GAUGE OF METAL				JOINT CONSTRUCTION	REINFORCING
	5"	4"	2.5"	2"		
0-12	26	26	26	26	HEMMED "S" & DRIVE	NONE
13-24"	26	26	26	26	TDF	NONE
25-30"	24	24	26	26	TDF	NONE
31-36"	22	24	26	26	TDF	NONE
37-42"	20	24	24	24	TDF	NONE
43-48"	20	22	24	24	TDF	NONE
49-54"	22	22	24 no Cnt. ref	24 no Cnt. ref	TDF CNT-JNT	1 1/2" WIDE X 1 1/2" HIGH 18GA V-TYPE STIFFENER
55-60"	22	22	22 no Cnt. ref	22 no Cnt. ref	TDF CNT-JNT	1 1/2" WIDE X 1 1/2" HIGH 18GA V-TYPE STIFFENER
61-84"	22	22	22 no Cnt. ref	22 no Cnt. ref	TDF CNT-JNT	1 1/2" WIDE X 1 1/2" HIGH 18GA V-TYPE STIFFENER
85-96"	20	20	20 no Cnt. ref	20 no Cnt. ref	TDF CNT-JNT	1 1/2" WIDE X 1 1/2" HIGH 18GA V-TYPE STIFFENER
97-up	18	18	18 no Cnt. ref	18 no Cnt. ref	TDF CNT-JNT	1 1/2" WIDE X 1 1/2" HIGH 16GA V-TYPE STIFFENER

**LEGEND**

SYMBOL	DESCRIPTION
<b>DIFFUSERS AND GRILLES</b>	
	REGISTER
	TRANSFER DUCT
	RETURN/EXHAUST AIR GRILLE
	SUPPLY AIR DIFFUSER/GRILLE
	LINEAR BAR GRILLE/DIFFUSER
	QUANTITY X DIFFUSER/GRILLE TYPE
	CAPACITY (CFM) EACH
	DIFFUSER NECK/GRILLE SIZE (INCHES)
	REBALANCE QUANTITY OF EXISTING DIFFUSERS OR GRILLES TO CFM INDICATED
<b>OTHER EQUIPMENT</b>	
	CABINET FAN
	EXISTING EQUIPMENT
	NEW EQUIPMENT
	BALANCING DAMPER
	MOTORIZED, BACKDRAFT, SPLITTER, FIRE DAMPER OR VOLUME DAMPER
	THERMOSTAT WITH GUARD
	REMOTE SENSOR C/W 3 HR OVERRIDE FOR EITHER HEATING OR COOLING DURING OFF HOURS
	DOOR GRILLE
	FIRE DAMPER AND ACCESS DOOR
<b>EXISTING DUCTWORK</b>	
	EXISTING RIGID DUCT - DOUBLE LINE
	EXISTING RIGID DUCT - SINGLE LINE
	EXISTING FLEXIBLE DUCT
	EXISTING RIGID DUCT TO BE REMOVED
	EXISTING FLEXIBLE DUCT TO BE REMOVED
<b>NEW DUCTWORK</b>	
	RIGID DUCT - DOUBLE LINE
	RIGID DUCT - SINGLE LINE
	1" EXTERNAL THERMALLY INSULATED DUCT
	1" INTERNAL ACOUSTICALLY LINED DUCT (INCREASE DUCT SIZE SHOWN TO SUIT)
	FLEXIBLE DUCT C/W 1" EXTERNAL THERMAL INSULATION
	FLEXIBLE DUCT
<b>SUFFIX GUIDE</b>	
'X'	REMOVE EXISTING ITEM INDICATED AND MAKE GOOD
'E'	EXISTING ITEM TO REMAIN
'N'	NEW ITEM AS INDICATED OR SPECIFIED
'R'	ITEM TO BE RELOCATED
'R'	RELOCATED ITEM SHOW IN NEW LOCATION; RECONNECT.

Rev	Description	Date
1	30% Mech Coordination	24.06.10
2	60% Mech Coordination	24.06.14
3	90% DD	24.07.25
4	Permit / Tender	24.09.03

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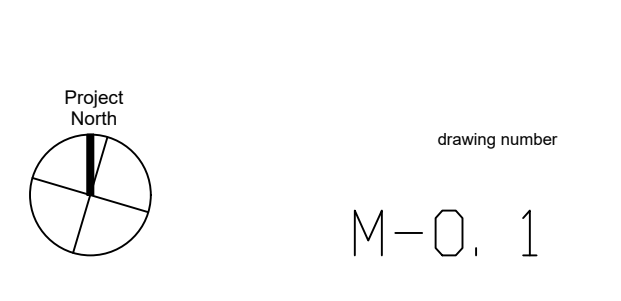
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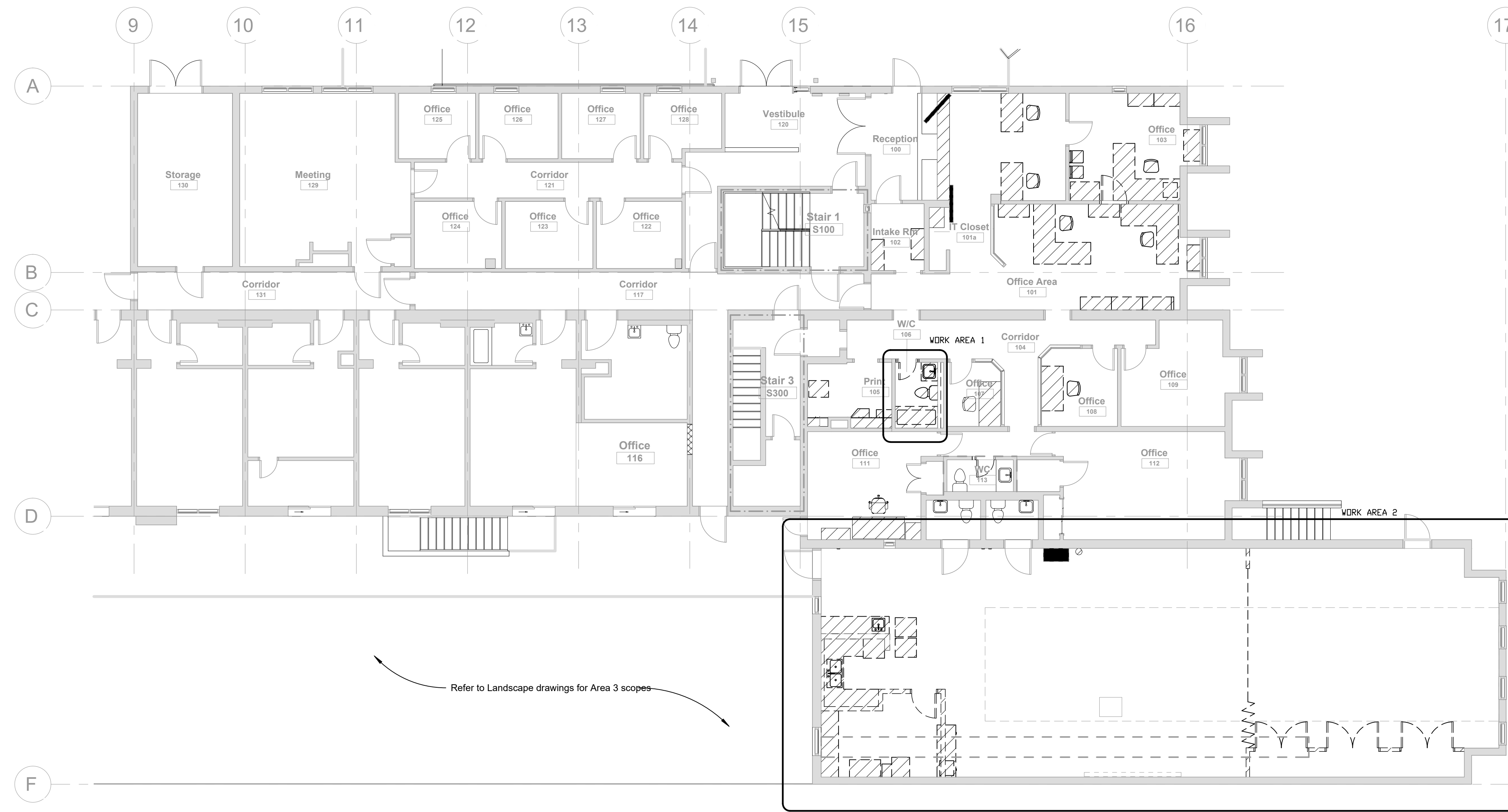
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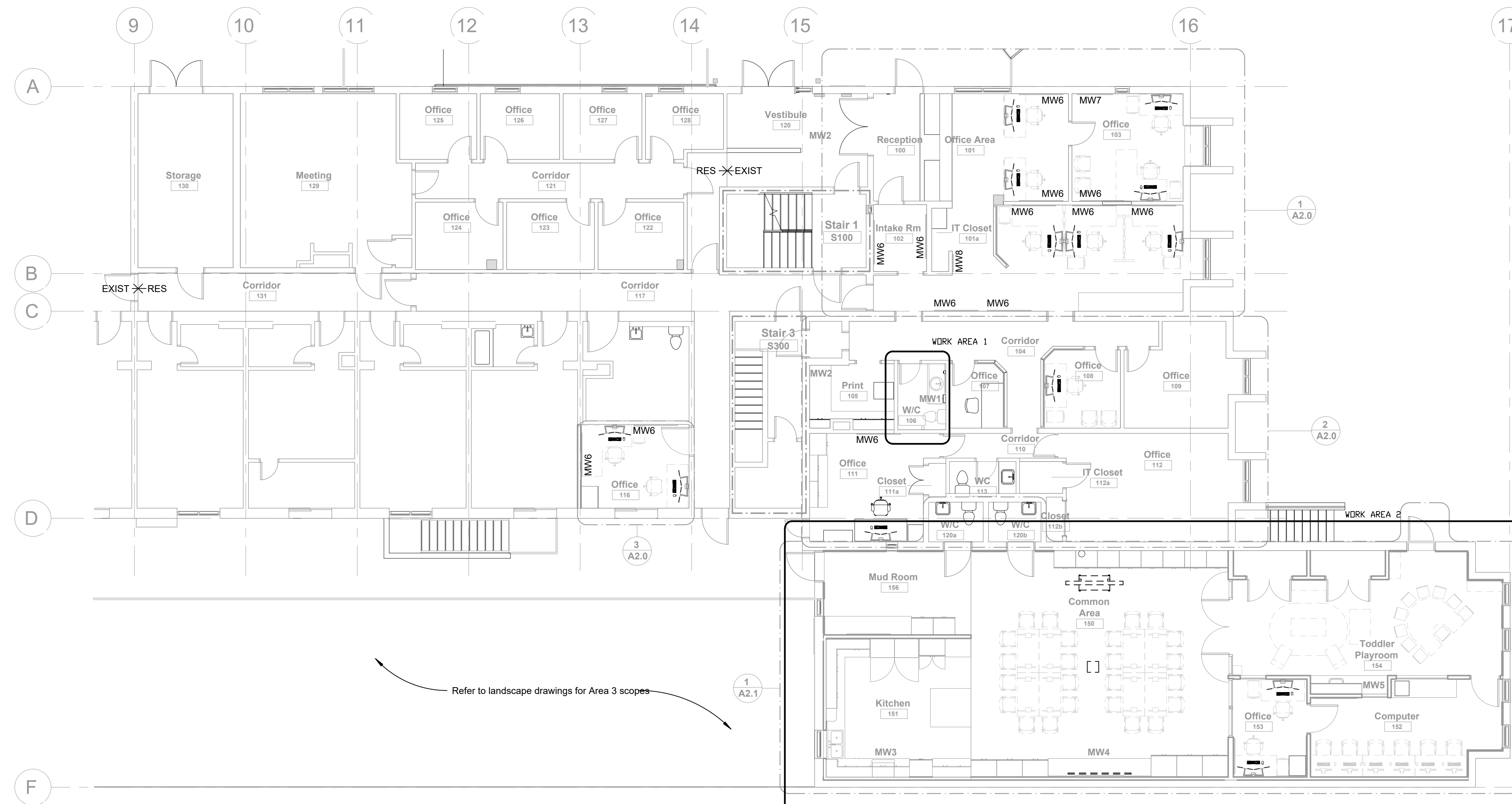
**MECHANICAL DETAILS**





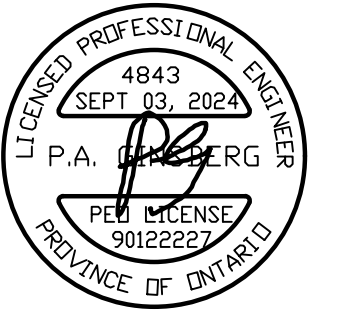


1 LEVEL 1 DEMOLITION PLAN  
M-1.0 SCALE: 1:100



2 LEVEL 1 CONSTRUCTION PLAN  
M-1.0 SCALE: 1:100

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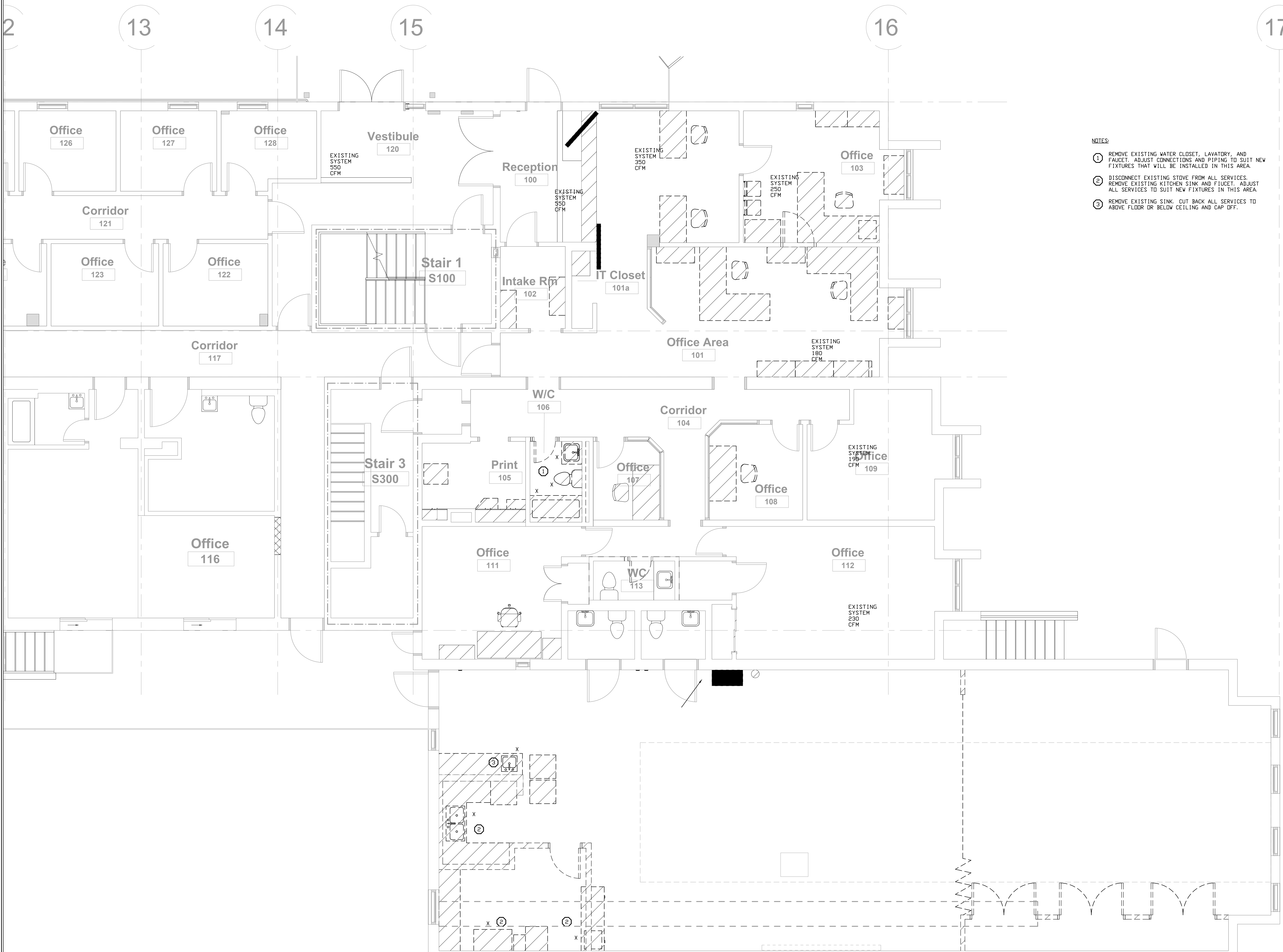
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4843	As indicated
DATE:	STATUS:
SEPTEMBER 03, 2024	PERMIT / TENDER

LEVEL 1 FLOOR PLANS  
MECHANICAL OVERVIEWS

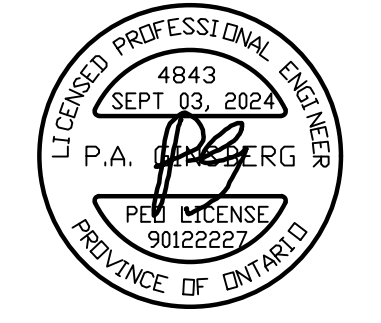






- NOTES:
- ① REMOVE EXISTING WATER CLOSET, LAVATORY, AND FAUCET. ADJUST CONNECTIONS AND PIPING TO SUIT NEW FIXTURES THAT WILL BE INSTALLED IN THIS AREA.
  - ② DISCONNECT EXISTING STOVE FROM ALL SERVICES. REMOVE EXISTING KITCHEN SINK AND FAUCET. ADJUST ALL SERVICES TO SUIT NEW FIXTURES IN THIS AREA.
  - ③ REMOVE EXISTING SINK. CUT BACK ALL SERVICES TO ABOVE FLOOR OR BELOW CEILING AND CAP OFF.

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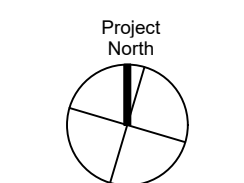
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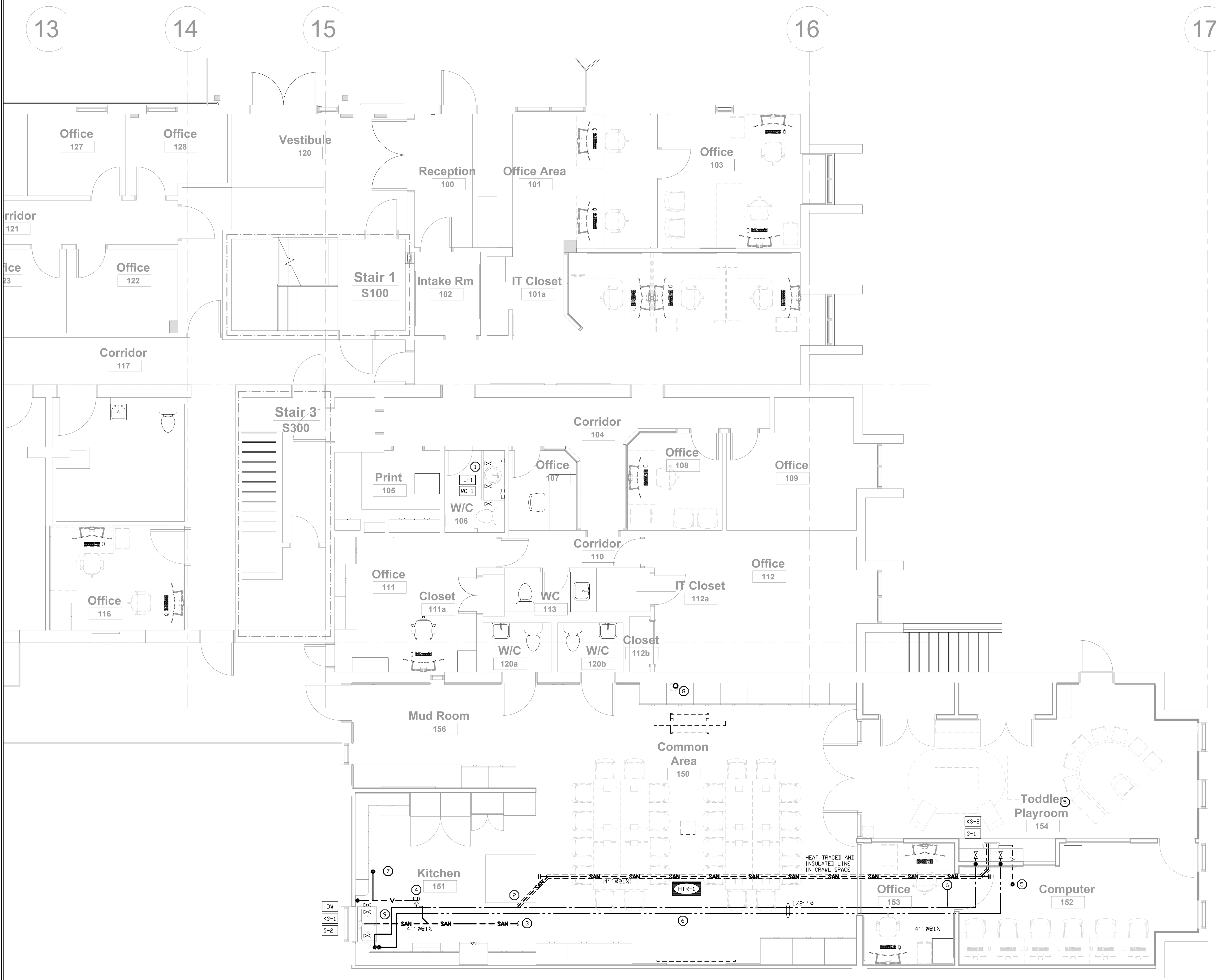
PROJECT CODE: 4843 SCALE: As indicated  
 DATE: SEPTEMBER 03, 2024 STATUS: PERMIT / TENDER

LEVEL 1 FLOOR PLAN  
 MECHANICAL DEMOLITION



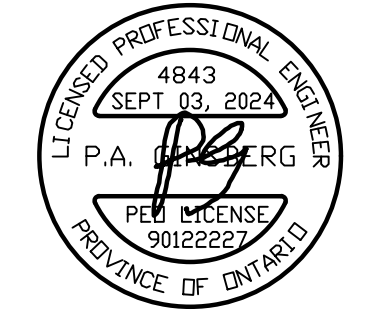
drawing number  
 M-1, 1  
 OF 5

SCALE: 1 = 50



- NOTES:
- ① INSTALL NEW PLUMBING FIXTURES AND CONNECT TO ALL SERVICES.
  - ② X-RAY OR RADARSCOPE FLOOR AND SAWCUT FOR NEW BURIED SANITARY LINES SERVING NEW FIXTURE LOCATIONS. CONNECT TO EXISTING SANITARY LINE IN THIS GENERAL LOCATION AND EXTEND INTO CRAWL SPACE. DETERMINE EXACT CONDITIONS ON SITE.
  - ③ EXTEND EXISTING DCW, DHW AND VENT SERVICES FROM EXISTING SINK LOCATION.
  - ④ NEW FLOOR DRAIN TO BE VENTED, PRIMED AND TRAPPED.
  - ⑤ NEW 3" Ø VENT THROUGH ROOF.
  - ⑥ RUN NEW SUPPLY LINES OVERHEAD. DO NOT RUN THROUGH CRAWL SPACE.
  - ⑦ REUSE EXISTING VENT THROUGH ROOF. CONNECT NEW VENT LINES AND ADAPT AS REQUIRED.
  - ⑧ EXISTING RAINWATER LEADER TO BE ENCASED IN ACCESSIBLE MILLWORK CABINET. COORDINATE WITH GENERAL TRADES.
  - ⑨ NEW DCW AND DHW LINES UP TO CEILING FROM EXISTING LINES AT SINK. RISE UP IN FURRED WALL AS INDICATED AND RUN ACROSS ROOM ABOVE CEILING TO NEW SINK AT ROOM 154.

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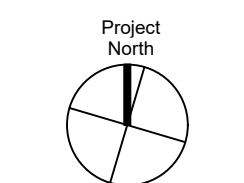
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LEVEL 1 PLAN  
 NEW PLUMBING

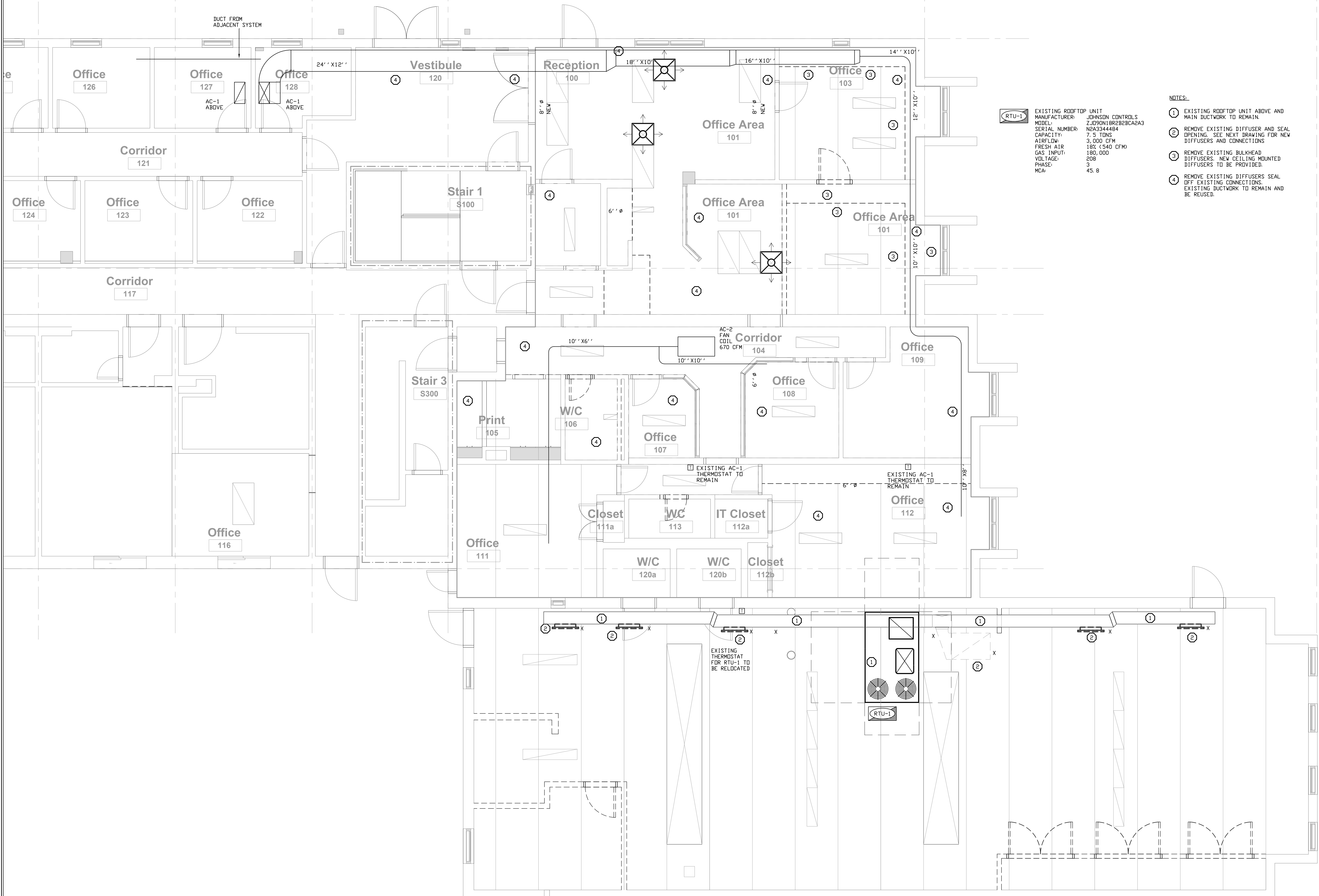


Project North drawing number

M-1.2



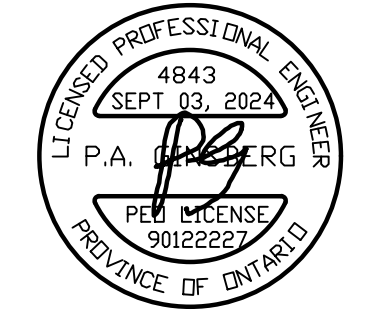
12 13 14 15 16 17



RTU-1  
 EXISTING ROOFTOP UNIT  
 MANUFACTURER: JOHNSON CONTROLS  
 MODEL: ZJ090N18R2B2BCA2A3  
 SERIAL NUMBER: N2A3344484  
 CAPACITY: 7.5 TONS  
 AIRFLOW: 3,000 CFM  
 FRESH AIR: 18% (540 CFM)  
 GAS INPUT: 180,000  
 VOLTAGE: 208  
 PHASE: 3  
 MCA: 45.8

- NOTES:
- EXISTING ROOFTOP UNIT ABOVE AND MAIN DUCTWORK TO REMAIN.
  - REMOVE EXISTING DIFFUSER AND SEAL OPENING. SEE NEXT DRAWING FOR NEW DIFFUSERS AND CONNECTIONS
  - REMOVE EXISTING BULKHEAD DIFFUSERS. NEW CEILING MOUNTED DIFFUSERS TO BE PROVIDED.
  - REMOVE EXISTING DIFFUSERS SEAL OFF EXISTING CONNECTIONS. EXISTING DUCTWORK TO REMAIN AND BE REUSED.

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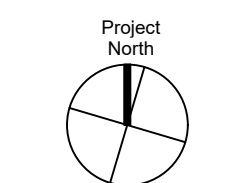
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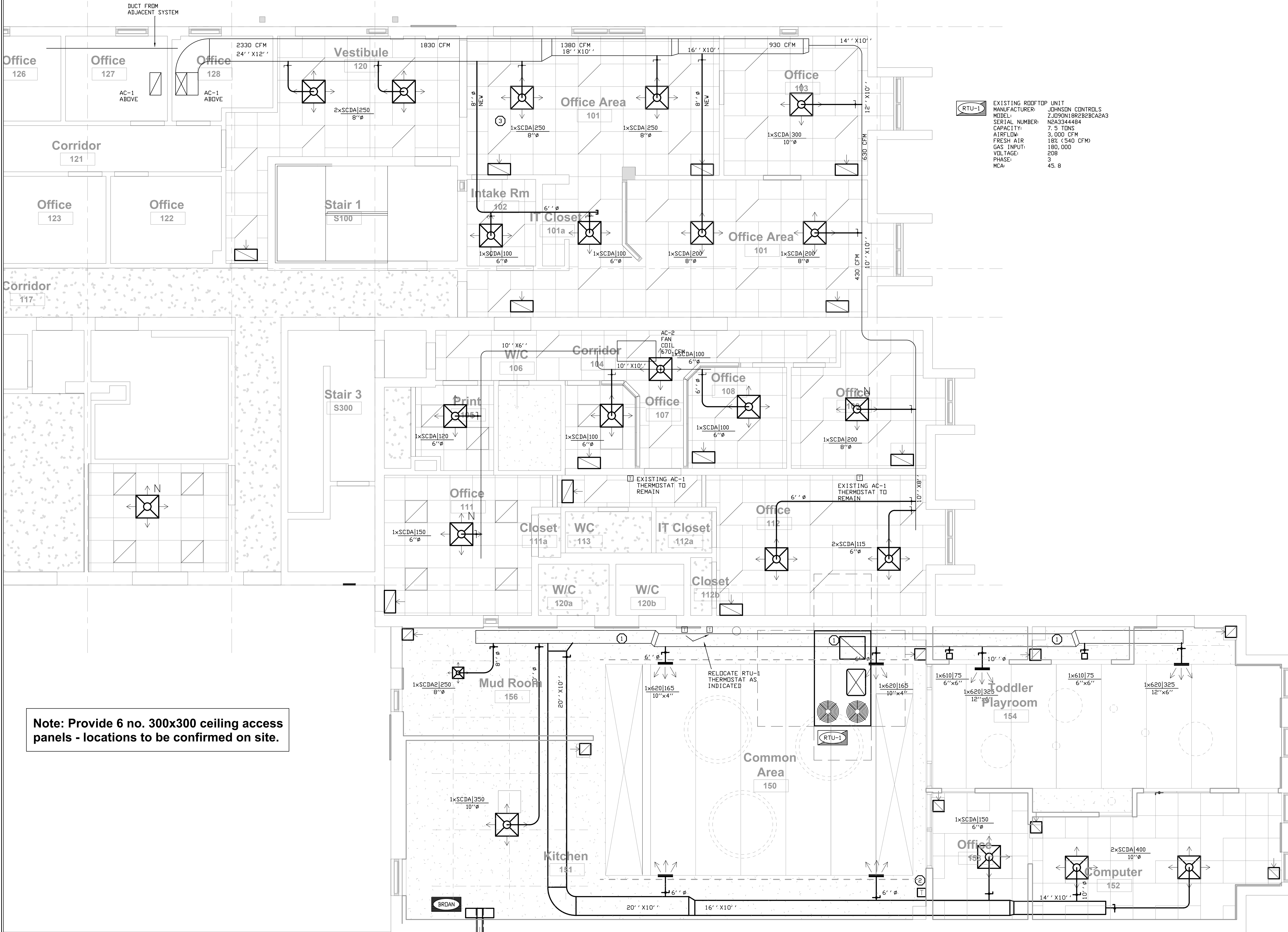
PROJECT CODE:	SCALE:
4843	As indicated
DATE:	STATUS:
SEPTEMBER 03, 2024	PERMIT / TENDER

LEVEL 1 EXISTING REFLECTED CEILING PLAN MECHANICAL DEMOLITION



Project North  
 drawing number  
 M-1.3

SCALE: 1 = 50



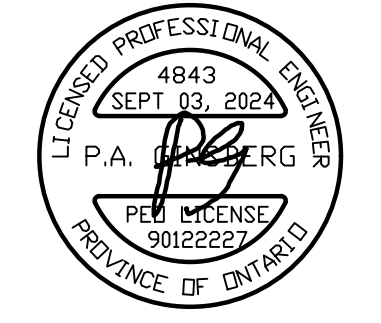
EXISTING ROOFTOP UNIT  
 MANUFACTURER: JOHNSON CONTROLS  
 MODEL: ZJ090N18R2B2B2A23  
 SERIAL NUMBER: N2A3344484  
 CAPACITY: 7.5 TONS  
 AIRFLOW: 3,000 CFM  
 FRESH AIR: 18% (540 CFM)  
 GAS INPUT: 180,000  
 VOLTAGE: 208  
 PHASE: 3  
 MCA: 45.8

- NOTES:
- EXISTING ROOFTOP UNIT AND DUCTWORK TO REMAIN.
  - PROVIDE NEW PROGRAMMABLE THERMOSTAT WITH TAMPERPROOF PLASTIC LOCKING COVER. CONNECT TO EXISTING ROOFTOP UNIT. CABLE TO BE FT-6 PLENUM RATED.
  - PROVIDE NEW DIFFUSER AND CONNECTION TO EXISTING DUCTWORK WITH BALANCING DAMPER. VERIFY EXISTING CONDITIONS ON SITE.
  - INSULATED 6" RIGID EXHAUST DUCT THROUGH WALL TO REVERSOMATIC SVB-8 WALL BOX.

Note: Provide 6 no. 300x300 ceiling access panels - locations to be confirmed on site.

SCALE: 1 = 50

Rev	Description	Date
1	30% Mech Coordination	24.06.10
2	60% Mech Coordination	24.06.14
3	90% DD	24.07.25
4	Permit / Tender	24.09.03



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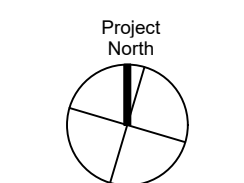
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PROJECT CODE: 4843  
 DATE: SEPTEMBER 03, 2024  
 SCALE: As indicated  
 STATUS: PERMIT / TENDER

LEVEL 1 NEW REFLECTED CEILING PLAN - HVAC



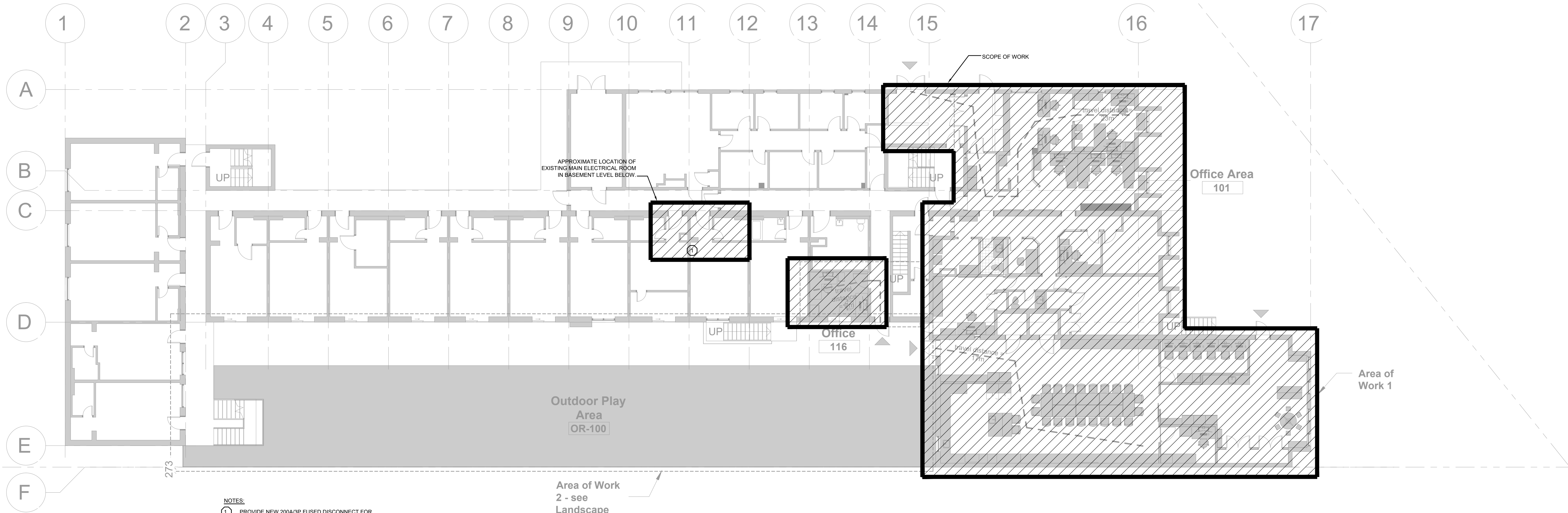
Project North drawing number

M-1, 4

OF 5

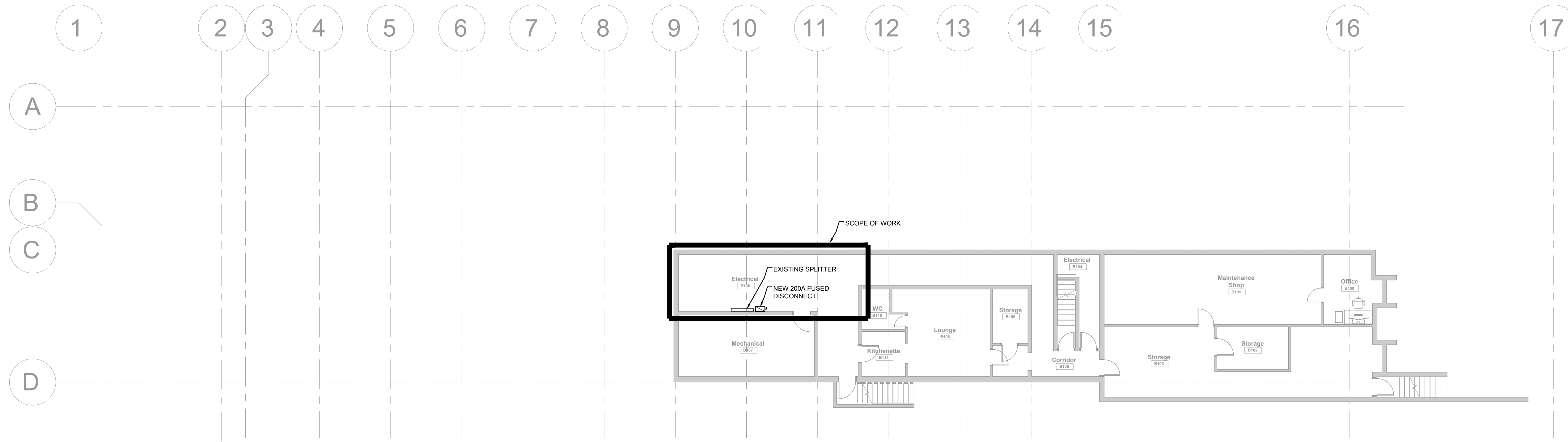






**NOTES:**  
 1. PROVIDE NEW 200A/3P FUSED DISCONNECT FOR NEW PANEL 'G' IN FAMILY CENTRE. FEED NEW 200A PANEL WITH 4830-2" C. FIRESTOP ALL FIRE RATED PENETRATIONS.

**1 GROUND FLOOR OVERVIEW - SCOPE OF WORK**  
 E-1.0  
 Scale in Feet 3/32" = 1' - 0"



**2 BASEMENT OVERVIEW - SCOPE OF WORK**  
 E-1.0  
 Scale in Feet 3/32" = 1' - 0"

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Rev	Description	Date
1	60% DD Coordination	24.06.10
2	90% DD Coordination	24.07.25
3	Issued For Permit/Tender	24.09.03

STAMP:



**DeCARIA ENGINEERING**

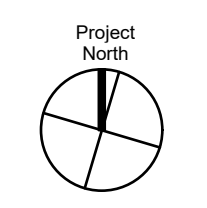
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**TSSS FAMILY RESIDENCE RENOVATIONS**  
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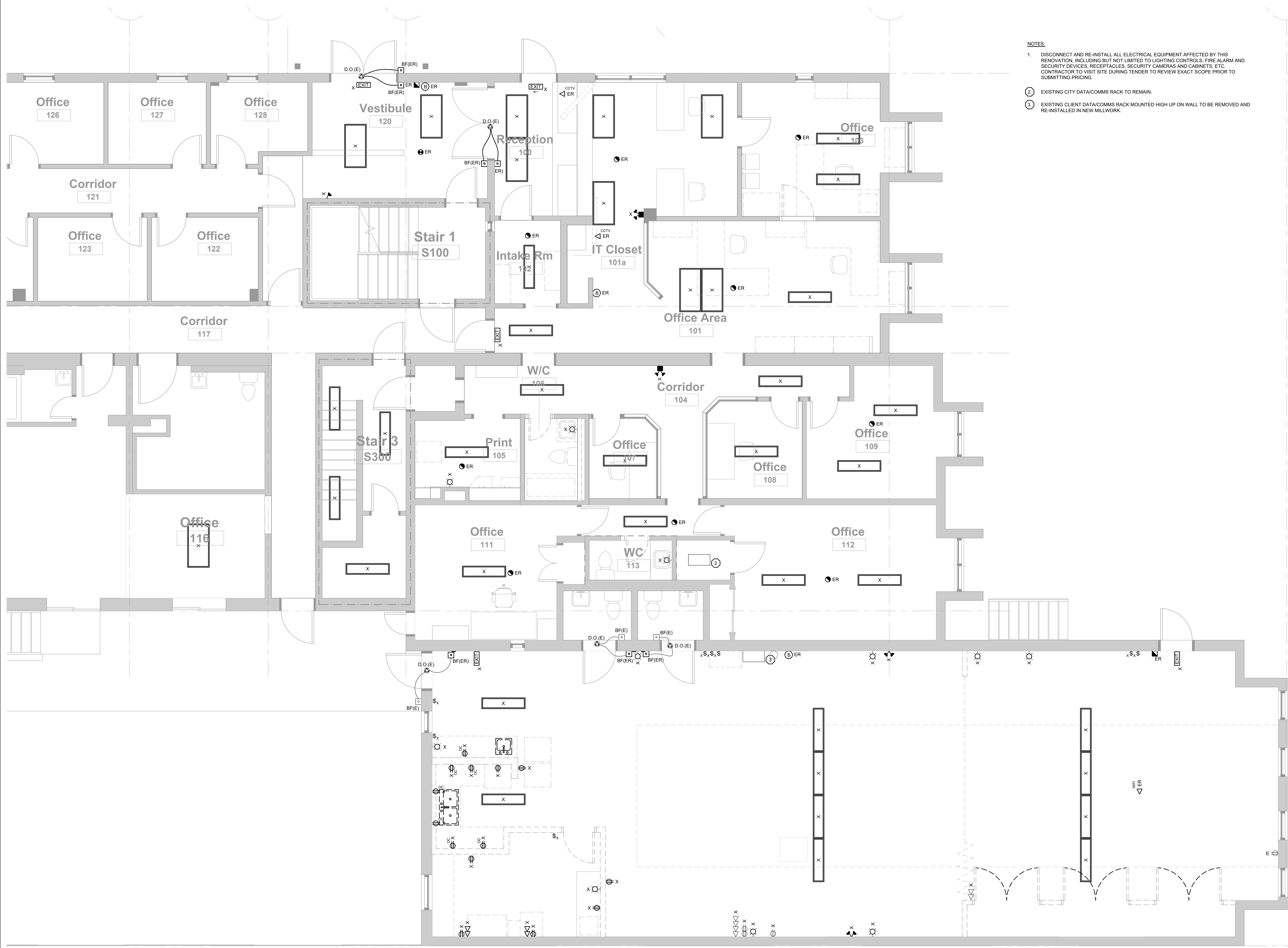
PROJECT CODE:	SCALE
4843	As indicated
DATE:	STATUS
See Revision	See Revision

**ELECTRICAL OVERVIEW**



Project North  
 drawing number  
**E-1.0**





- NOTES:**
1. DISCONNECT AND RE-INSTALL ALL ELECTRICAL EQUIPMENT AFFECTED BY THIS RENOVATION, INCLUDING BUT NOT LIMITED TO LIGHTING CONTROLS, FIRE ALARM AND SECURITY DEVICES, RECEPTACLES, SECURITY CAMERAS AND CABINETS, ETC. CONTRACTOR TO VISIT SITE DURING TENDER TO REVIEW EXACT SCOPE PRIOR TO SUBMITTING PRICING.
  2. EXISTING CITY DATA/COMMS RACK TO REMAIN.
  3. EXISTING CLIENT DATA/COMMS RACK MOUNTED HIGH UP ON WALL TO BE REMOVED AND RE-INSTALLED IN NEW MILLWORK.

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Rev	Description	Date
1	60% DD Coordination	24.06.10
2	90% DD Coordination	24.07.25
3	Issued For Permit/Tender	24.09.03

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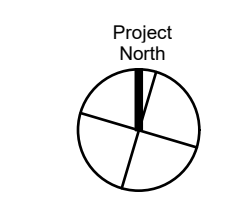
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**TSSS FAMILY RESIDENCE RENOVATIONS**

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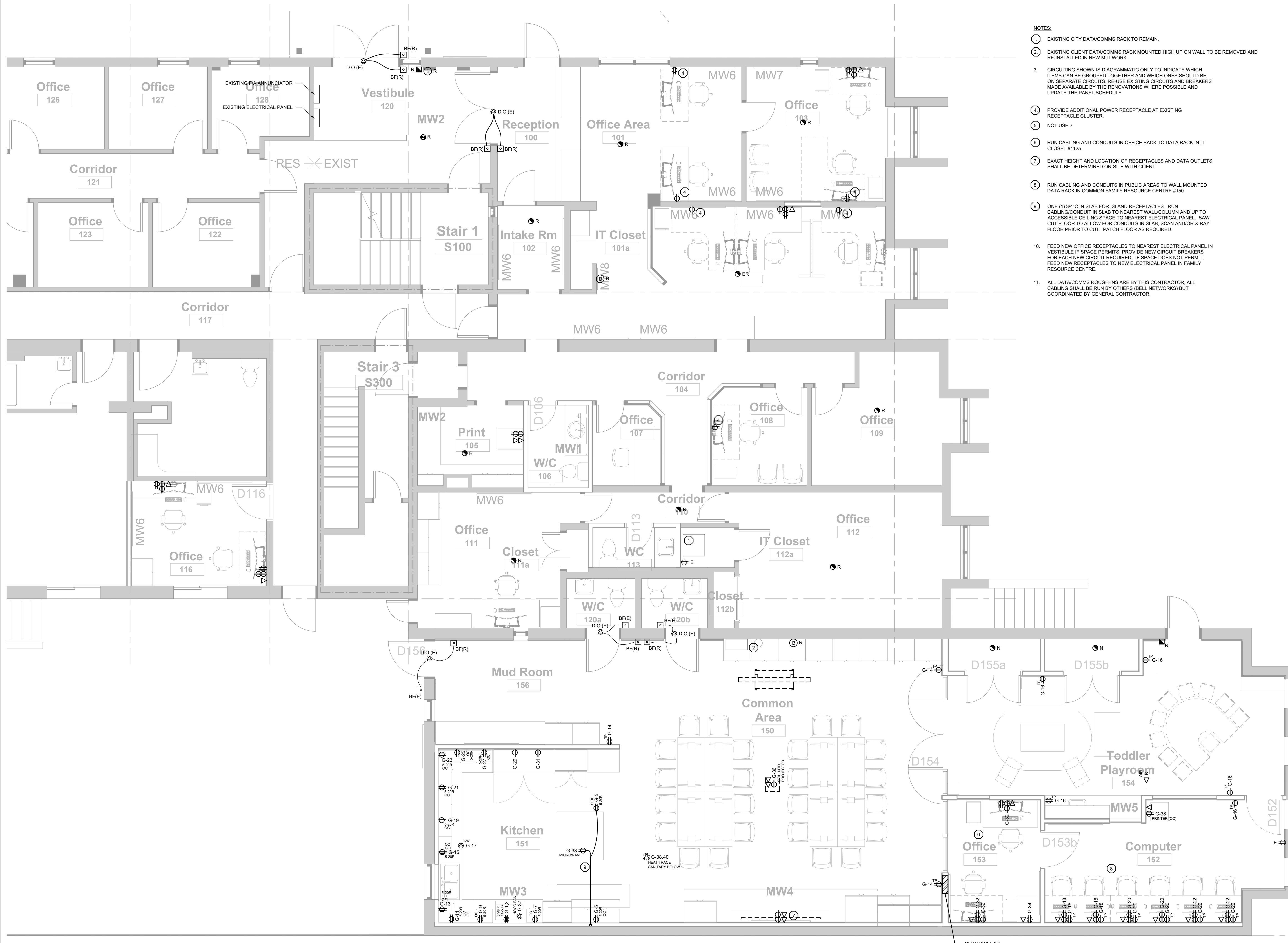
PROJECT CODE:	SCALE
4843	As indicated
DATE:	STATUS
See Revision	See Revision

**ELECTRICAL - DEMOLITION LIGHTING, POWER & SYSTEMS**



Project North  
 drawing number  
**E-1.1**

Scale In Feet 1/4" = 1' - 0"



- NOTES:**
1. EXISTING CITY DATA/COMMS RACK TO REMAIN.
  2. EXISTING CLIENT DATA/COMMS RACK MOUNTED HIGH UP ON WALL TO BE REMOVED AND RE-INSTALLED IN NEW MILLWORK.
  3. CIRCUITING SHOWN IS DIAGRAMMATIC ONLY TO INDICATE WHICH ITEMS CAN BE GROUPED TOGETHER AND WHICH ONES SHOULD BE ON SEPARATE CIRCUITS. RE-USE EXISTING CIRCUITS AND BREAKERS MADE AVAILABLE BY THE RENOVATIONS WHERE POSSIBLE AND UPDATE THE PANEL SCHEDULE.
  4. PROVIDE ADDITIONAL POWER RECEPTACLE AT EXISTING RECEPTACLE CLUSTER.
  5. NOT USED.
  6. RUN CABLING AND CONDUITS IN OFFICE BACK TO DATA RACK IN IT CLOSET #112a.
  7. EXACT HEIGHT AND LOCATION OF RECEPTACLES AND DATA OUTLETS SHALL BE DETERMINED ON-SITE WITH CLIENT.
  8. RUN CABLING AND CONDUITS IN PUBLIC AREAS TO WALL MOUNTED DATA RACK IN COMMON FAMILY RESOURCE CENTRE #150.
  9. ONE (1) 3/4" IN SLAB FOR ISLAND RECEPTACLES. RUN CABLING/CONDUIT IN SLAB TO NEAREST WALL/COLUMN AND UP TO ACCESSIBLE CEILING SPACE TO NEAREST ELECTRICAL PANEL. SAW CUT FLOOR TO ALLOW FOR CONDUITS IN SLAB, SCAN AND/OR X-RAY FLOOR PRIOR TO CUT. PATCH FLOOR AS REQUIRED.
  10. FEED NEW OFFICE RECEPTACLES TO NEAREST ELECTRICAL PANEL IN VESTIBULE IF SPACE PERMITS, PROVIDE NEW CIRCUIT BREAKERS FOR EACH NEW CIRCUIT REQUIRED. IF SPACE DOES NOT PERMIT, FEED NEW RECEPTACLES TO NEW ELECTRICAL PANEL IN FAMILY RESOURCE CENTRE.
  11. ALL DATA/COMMS ROUGH-INS ARE BY THIS CONTRACTOR, ALL CABLING SHALL BE RUN BY OTHERS (BELL NETWORKS) BUT COORDINATED BY GENERAL CONTRACTOR.

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Rev	Description	Date
1	60% DD Coordination	24.06.10
2	90% DD Coordination	24.07.25
3	Issued For Permit/Tender	24.09.03

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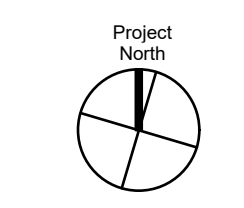
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**TSSS FAMILY RESIDENCE RENOVATIONS**

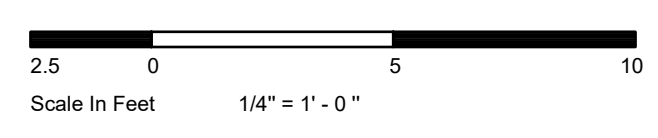
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PROJECT CODE: 4843  
 DATE: See Revision  
 SCALE: As indicated  
 STATUS: See Revision

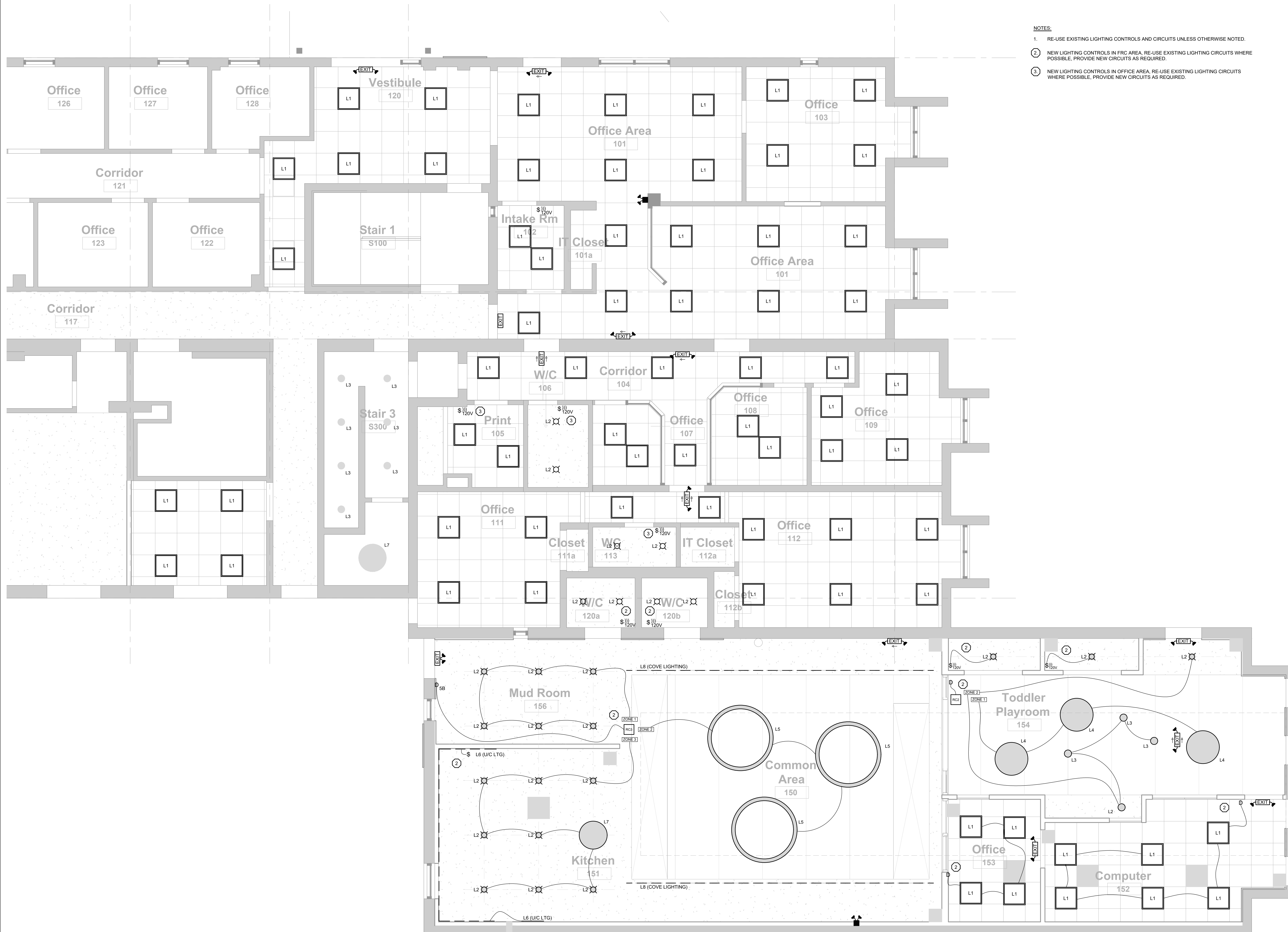
**ELECTRICAL - CONSTRUCTION POWER & SYSTEMS**



drawing number  
**E-1.2**







- NOTES:**
1. RE-USE EXISTING LIGHTING CONTROLS AND CIRCUITS UNLESS OTHERWISE NOTED.
  2. NEW LIGHTING CONTROLS IN FRC AREA, RE-USE EXISTING LIGHTING CIRCUITS WHERE POSSIBLE, PROVIDE NEW CIRCUITS AS REQUIRED.
  3. NEW LIGHTING CONTROLS IN OFFICE AREA, RE-USE EXISTING LIGHTING CIRCUITS WHERE POSSIBLE, PROVIDE NEW CIRCUITS AS REQUIRED.

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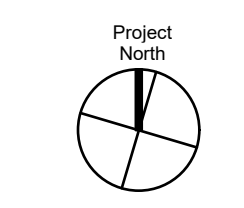
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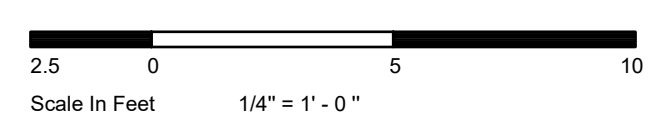
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PROJECT CODE:	SCALE
4843	As indicated
DATE:	STATUS
See Revision	See Revision

**ELECTRICAL - CONSTRUCTION LIGHTING**



Project North  
 drawing number  
**E-1.3**





Tree No.	Tree Species	DBH (mm) 1.2	Crown Diameter (m)	Minimum Tree Protection Zone Radius (m) 3	Biological Health (High, Med, Low)	Structural Condition (High, Med, Low)	City of Toronto Tree Category 4	Overall Condition (Excellent, Good, Fair, Poor, Dead)	Ownership (Private, Municipal, University, etc.)	Final Recommendation	Observational/Tree Preservation Notes
1	Pinus nigra Austrian Pine	42	8	3	M	M/L	F	P	P	P	
2	Acer negundo Manitoba Maple	46 [15,30]	18	3	M	L	F	S	P	P	Against fence
3	Fraxinus pennsylvanica Green Ash	30	6	2.4	M/L	M	F	O	P	P	Bark cracks
4	Fraxinus pennsylvanica Green Ash	14 [10,10]	3	1.8	L	M/L	P	S	R	R	RCD Bark cracks, vine choked, leaning against fence
5	Betula papyrifera Paper Birch	39	8	2.4	M	M/L	F	O	P	P	
6	Morus nigra Black Mulberry	28 [19,14,10,10]	8	1.8	M	M/L	F	S	P	R	RD Growing into fence
7	Morus nigra Black Mulberry	27 [19,19]	6	1.8	M/L	M/L	F	S	P	P	Prune branches growing into fence
8	Morus nigra Black Mulberry	18 [15,12]	7	1.8	M/L	M/L	F	O	P	P	Lean, twisted trunks
9	Acer negundo Manitoba Maple	19	7	1.8	M/L	L	P	S	R	R	RCD High lean; growing into fence
10	Pinus nigra Austrian Pine	45	8	3	M/L	M	F	O	P	P	
11	Pinus nigra Austrian Pine	41	7	3	M	M/L	F	O	P	P	Codominant stems, included bark
12	Pinus nigra Austrian Pine	28	6	1.8	M/L	M/L	P	O	P	P	Lean, moderate deadwood
13	Acer negundo Manitoba Maple	26	14	1.8	L	L	P	S	R	R	RCD Severe lean, trunk would sever, base of trunk growing into fence
14	Acer negundo Manitoba Maple	40	10	2.4	L	L	P	S	R	R	RCD High deadwood, lean, base of trunk growing into fence
15	Acer negundo Manitoba Maple	23 [21,10]	6	1.8	M/L	L	P	S	R	R	RCD Trunk wounds, leaning against fence
16	Acer negundo Manitoba Maple	12	6	1.8	M/L	L	F	O	P	R	RD Leaning into fence
17	Pinus nigra Austrian Pine	27	4	1.8	M/L	M/L	F	O	P	P	Low lean, low deadwood
18	Acer saccharinum Silver Maple	106 [88,56]	20	6	M/L	M/L	F	O	P	P	P Past pruning, moderate deadwood
19	Populus grandidentata Bigtooth Aspen	106	20	6	M/L	M	F	O	P	P	P Moderate deadwood
20	Ulmus pumila Siberian Elm	33	8	2.4	M	M	G	O	P	P	P Low deadwood
21	Ulmus pumila Siberian Elm	46	10	3	M	M	F	O	P	P	P Damage at base
22	Ulmus pumila Siberian Elm	40 [30,26]	14	2.4	M/L	M/L	F	O	P	P	P
23	Ulmus pumila Siberian Elm	68 [42,41,34]	14	4.2	M/L	M/L	F	O	P	P	P Moderate deadwood, lean
24	Ulmus pumila Siberian Elm	14	3	1.8	L	M/L	VP	O	P	P	P Tree is in very poor condition; tree owner responsible for management
25	Ulmus pumila Siberian Elm	31	8	2.4	M/L	L	P	O	P	P	P Lean, low deadwood
26	Pinus nigra Austrian Pine	38	8	2.4	M/H	M	G	P	P	P	P
27	Pinus nigra Austrian Pine	45	8	3	M	M/L	F	P	P	P	P Multiple leaders
28	Pinus nigra Austrian Pine	38	8	2.4	M	M	G	P	P	P	P Small trunk wounds
29	Pinus nigra Austrian Pine	44	10	3	M/L	M	F	P	P	P	P Low deadwood
30	Juglans nigra Black Walnut	51	10	3.6	L	M	P	S	P	P	P Trunk wounds, moderate deadwood
31	Pinus nigra Austrian Pine	39	8	2.4	M	M	G	P	P	P	P
32	Pinus nigra Austrian Pine	34	10	2.4	M	M/L	G	P	P	P	P Codominant stems
33	Ulmus pumila Siberian Elm	31	8	2.4	M	M/L	F	P	P	P	P
34	Acer saccharinum Silver Maple	81 [65,42,39,36]	26	5.4	M	M/L	G	O	P	P	P No leader

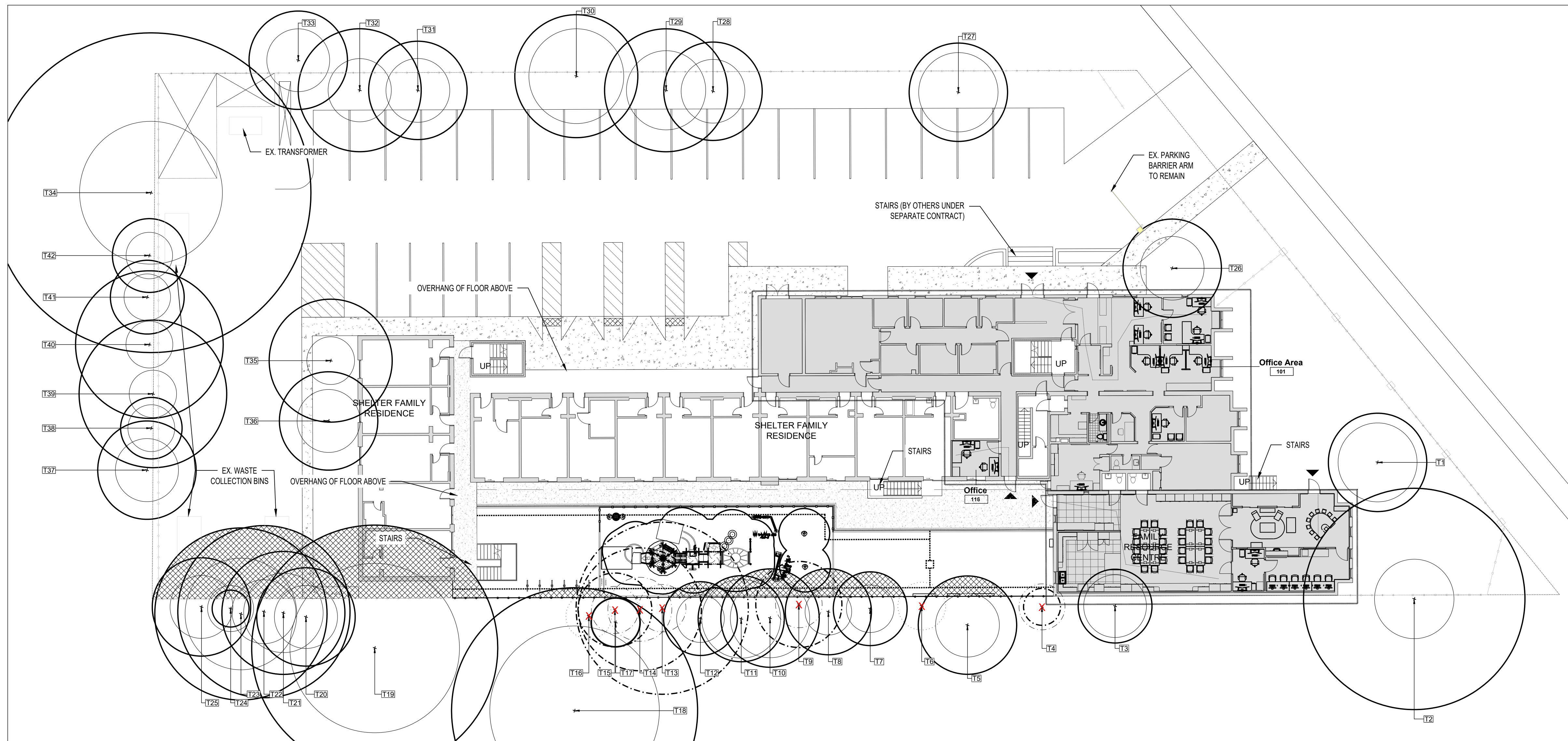
Tree No.	Tree Species	DBH (mm) 1.2	Crown Diameter (m)	Minimum Tree Protection Zone Radius (m) 3	Biological Health (High, Med, Low)	Structural Condition (High, Med, Low)	City of Toronto Tree Category 4	Overall Condition (Excellent, Good, Fair, Poor, Dead)	Ownership (Private, Municipal, University, etc.)	Final Recommendation	Observational/Tree Preservation Notes
35	Pinus nigra Austrian Pine	28	10	1.8	M	M	G	P	P	P	
36	Pinus nigra Austrian Pine	32	8	2.4	M/L	M/L	F	P	P	P	Slight lean
37	Ulmus pumila Siberian Elm	33	8	2.4	M	M	G	O	P	P	
38	Acer negundo Manitoba Maple	21	5	1.8	L	L	P	O	P	P	Leaning over site, high deadwood
39	Acer negundo Manitoba Maple	25	12	1.8	M	M/L	F	O	P	P	
40	Acer negundo Manitoba Maple	21	12	1.8	M	M/L	F	O	P	P	
41	Acer negundo Manitoba Maple	18	6	1.8	M/L	M/L	F	O	P	P	Lean
42	Acer negundo Manitoba Maple	18	6	1.8	M/L	M/L	P	O	P	P	P Past pruning
<b>Ownership</b>											
Private (On-Site) Trees										10	
Private (Off-Site) Trees										23	
Municipal Trees										6	
Shared Trees										9	
<b>Subtotal</b>										<b>42</b>	
<b>Recommendation Based on Condition</b>											
Preserve Tree Based on Health & Structure										37	
Remove Tree Based on Health & Structure										5	
<b>Subtotal</b>										<b>42</b>	
<b>Recommendation Based on Development</b>											
Preserve/Transplant Tree Based on Development Impacts										35	
Remove Tree Based on Development Impacts										7	
<b>Subtotal</b>										<b>42</b>	
<b>Final Recommendation</b>											
Final Recommendation: Preserve (P)										35	
Final Recommendation: Remove due to Condition (RC)										0	
Final Recommendation: Remove due to Development (RD)										2	
Final Recommendation: Remove due to Condition and Development (RCD)										5	
<b>Total</b>										<b>42</b>	

- Notes**
- DBH (Diameter at Breast Height): Measurement of tree stem diameter at 1.4 metres above ground.
  - [XX, Y, Y ] Denotes DBH's of Each Stem of Tree with Multiple Stems
  - Minimum Tree Protection Zone distance measured from the center of the tree stem (MTPZ radius plus 1/2 DBH) from Tree Protection Policy and Specifications for Construction Near Trees (City of Toronto, June 2013).
  - Tree Categories per City of Toronto by laws concerning trees
    - Category 1 - Trees with diameters 30cm or more, on private property on subject site
    - Category 2 - Trees with diameters 30cm or more, on private property within 6m of subject site
    - Category 3 - Trees of all diameters on City owned parkland within 6m of subject site
    - Category 4 - Trees of all diameters on lands designated under Ravine & Natural Feature protection
    - Category 5 - Trees of all diameters situated within the City road allowance adjacent subject site
- N/A - Trees not regulated under any City by-laws

**SITE SPECIFIC PRE-CONSTRUCTION ROOT EXPLORATION NOTES**

- Demolition, excavation, and construction work within the dripline of Trees #5, 7, 8, 10, 11, 12, and 17-25 where tree roots have the potential to be impacted is to be performed under the observation of an ISA Certified Arborist retained by the Contractor
- The ISA Certified Arborist will observe, document, and respond to Contractor requests for information related to trees, tree roots, and root pruning while the General Contractor and their subcontractor(s) use dry-vac excavation technology within the dripline of Tree #'s listed above. The ISA Certified Arborist will prepare a report documenting above and below grade conditions related to trees, recommended best management practices and next steps based on project requirements including site specific permit conditions, reports, drawings, specifications, and City of Toronto Tree Protection Policy and Specifications for Construction Near Trees (July 2016).
- If, during the hand or air-spade excavation procedure, the ISA Certified Arborist observes the potential for impacts to the roots of Tree #'s listed above that are such that root pruning will be detrimental to the health and structure of the tree, they will contact a City of Toronto Urban Forestry Staff Member for further review and recommendation. All demolition and excavation work is to stop and exposed tree roots are to be covered by General Contractor and their subcontractor(s) within 30 minutes with untreated burlap or alternative material acceptable to ISA Certified Arborist, and wet with potable water, free of impurities that may harm trees/tree roots. Maintain moisture until such time that the recommendation to proceed is received in writing.

- LEGEND:**
- EXISTING TREE  
ID NUMBER / OUTER CIRCLE DENOTES APPROXIMATE CROWN RESERVE + 1 METER. INNER CIRCLE DENOTES MINIMUM TREE PROTECTION ZONE (MTPZ)
  - PRESERVE TREE  
TREE HAS MODERATE TO HIGH BIOLOGICAL HEALTH AND/OR STRUCTURAL CONDITION AND CAN BE INCORPORATED INTO THE PROPOSED DEVELOPMENT
  - REMOVE TREE  
TREE IS IN CONFLICT WITH PROPOSED DEVELOPMENT
  - REMOVE TREE  
TREE HAS LOW BIOLOGICAL HEALTH AND/OR STRUCTURAL CONDITION
  - REMOVE TREE  
TREE HAS LOW BIOLOGICAL HEALTH AND/OR STRUCTURAL CONDITION AND IS IN CONFLICT WITH PROPOSED DEVELOPMENT
  - TREE PROTECTION FENCE
  - ROOT SENSITIVE EXCAVATION  
REFER TO NOTES ON THIS DRAWING



**INFORMATION SOURCES**

1	Site Plan and Architectural Plans prepared by WORKSHOP Architects dated June 28, 2024.		
2	Tree locations collected by an About & Associates Inc. ISA Certified Arborist on March 14, 2024.		
3	ISSUED FOR PERMIT/TENDER	MGN	03 SEP-24
2	ISSUED FOR 90% DESIGN REVIEW	MGN	25 JUL-24
1	ISSUED FOR 60% DESIGN REVIEW	MGN	11 JUN-24
0	ISSUED FOR INTERNAL REVIEW	MGN	22 APR-24
No.	Description	By	Date

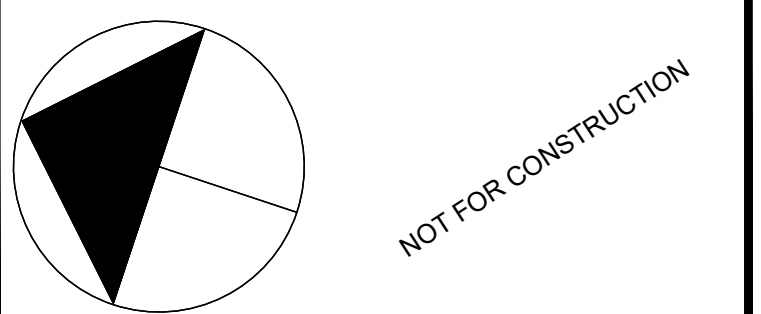
REVISIONS: All previous issues of this drawing are superseded

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 Consulting Arborists • Ecologists • Landscape Architects  
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**TREE PRESERVATION PLAN**

Project:  
**TSSS FAMILY RESIDENCE RENOVATIONS**  
 4222 KINGSTON ROAD, TORONTO  
 WORKSHOP

Date: MARCH 2024 Designer: NB  
 Project: AA24-035A Drawn: NB  
 Scale: 1:200 Checked: MGN



Drawing No: **TPP-1**













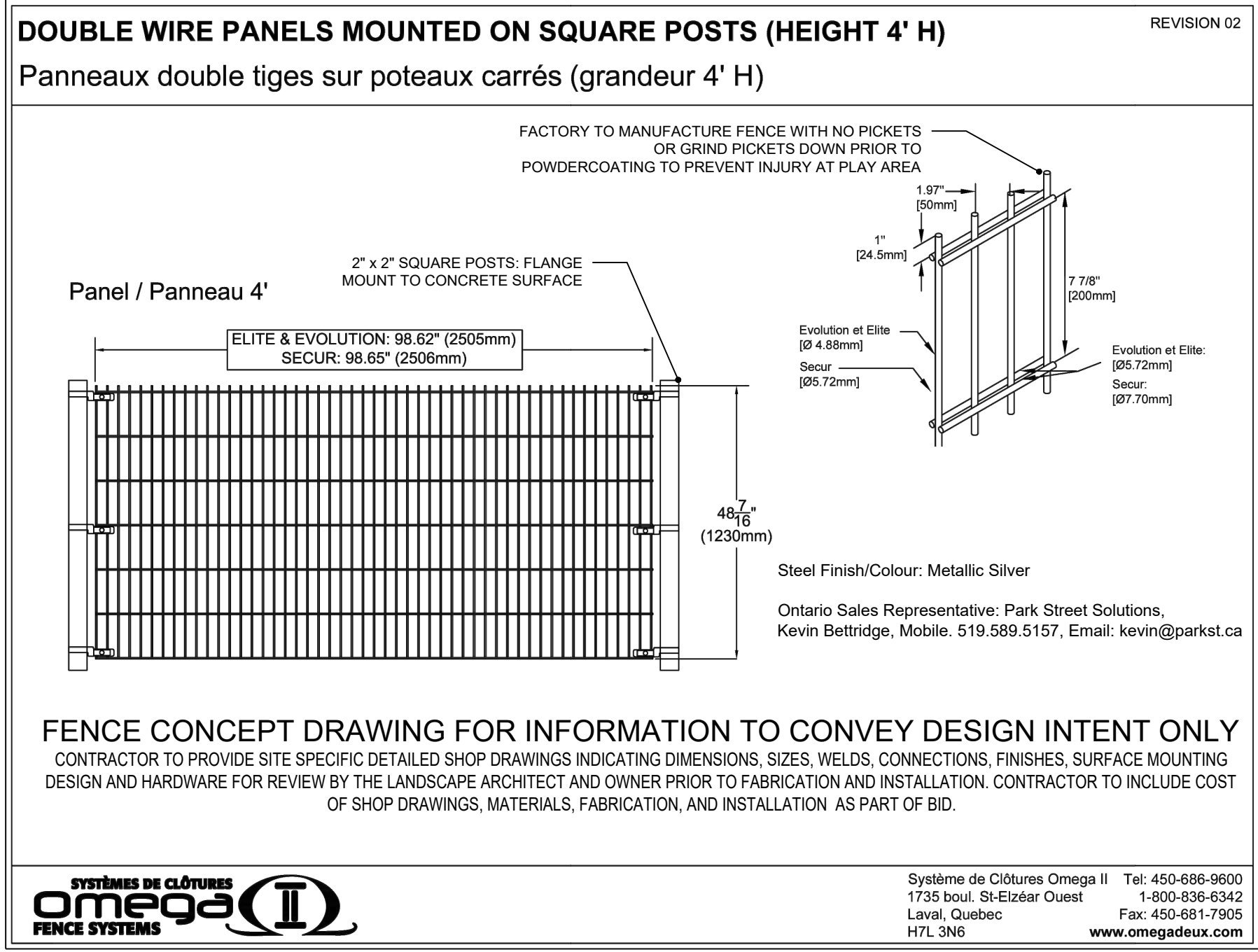






- Plant Characteristics, Rootballs, Rootball Standards including minimum rootball diameters specified on these plans are to be in accordance with the Canadian Nursery Landscape Association Canadian Standards for Nursery Stock, current edition.
- Planting shall only be performed when weather and soil conditions are suitable for planting the materials specified in accordance with locally accepted practice. Install plant materials during the planting time as described below unless otherwise approved in writing by Landscape Architect. In the event that the Contractor request planting outside the dates of the planting season, approval of the request does not change the requirements of the warranty.
  - April 1 - June 30 and September 1 - October 31
- Transportation of plants should be restricted to closed vans or trucks covered with mesh tarpaulin or, similar material, to protect the leaves or needles from windburn or desiccation. This may be supplemented by spraying the foliage with an antidesiccant prior to shipping.
- Plant material shall at no time be dropped or handled roughly.
- Protect plant material from frost, excessive heat, wind and sun following delivery.
- Immediately store and protect plant material, which will not be installed within 1 hour after arrival at site in storage location, approved by the Landscape Architect.
- Protect stored plant material from frost, wind and sun and as follows: For pots and containers, maintain moisture level in containers.
- For balled and burlapped and wire basket root balls, place to protect branches from damage. Maintain moisture level in root zones.
- Topsoil or plantings shall not be placed or installed when in a frozen condition, under adverse field conditions such as high wind, frozen soil or soil covered with snow, ice, or standing water.
- The Landscape Architect and Municipal Staff has the right to reject any and all plant material that does not conform to the requirements of this specification at any time regardless of any previous approval.
- When a plant has been rejected, immediately remove it from the area of the Work and replace it with a plant of the required species, size and quality at the earliest planting period consistent with these specifications. Replacement plant material shall meet all the requirements of this specification. Rejected plants shall be replaced at no cost to the Owner.
- Acceptance shall not be given for the planting Work until all plants rejected during the course of the Work are replaced.
- Any plant that has the following characteristics shall be cause for rejection:
  - Only nursery grown plants will be accepted.
  - Any plant that has a canopy with 25% or more dead or removed limbs.
  - Evidence of damage to plant material, which diminishes the aesthetic character/form, biological integrity, or structural integrity of the plant or group of plants.
  - Evidence of improper digging; inadequate protection following digging; carelessness while in transit; evidence of desiccation or wind-related damage; cold damage; improper handling or storage; root zones that have dried to the point of leaf wilt; cracked, loose, damaged or distorted root balls.
- Plants with undersized root balls or containers, kinked or girdling roots, matted roots on the top, and edges of the container, excessive surface adventitious roots, root balls and containers with no structural roots in the top 75mm of the soil.
  - Plants balled with synthetic, treated or non-biodegradable fabrics.
  - Any tree that is of a species that characteristically has a dominant central leader, and if the leader is dead or removed, the tree will not have a form consistent with the species.
  - Any tree that has open wounds (not completely healed over) that penetrates the cambium into the wood on trunks or major limbs the removal of which would result in the loss of 25% or more of the structure and form of the tree
- Topsoil shall be loose, friable, fertile loamy material that is free from subsoil, weeds, roots, vegetation and other deleterious material greater than 25mm diameter in the greatest dimension. The topsoil shall also be certified by an OMAFRA Accredited Soil Testing Laboratory in Ontario to meet the following requirements:
  - City of Toronto Type 2 Planting Bed Mix Construction Specifications for Growing Medium TS 5.10.05.06 September 2021.
  - Shall not have contaminants that adversely affect plant growth.
  - The cost to amend existing on-site topsoil to be reused shall be paid for by the Owner.
  - The cost to amend imported topsoil supplied by the Contractor to meet Agronomist written recommendations shall be paid for by the Contractor.
- Water shall not have contaminants or impurities that would adversely affect the germination and growth of vegetation. Proposed plants which come over or under any utility shall be relocated by the Contractor for review by the Landscape Architect, to the satisfaction of the utility provider.
- Mulch shall be shredded hardwood or softwood as specified in the planting details. Free from roots, leaves, twigs, debris, stones, fungus, crabgrass rhizomes, or any material detrimental to plant growth. Material shall be mulching grade, uniform in size and foreign matter. Mulch that has become saturated with water and presents an anaerobic odor shall be rejected.
- Anti-Desiccant (if used) shall be emulsion type, film-forming agent similar to Dowax by Dow Chemical Company, or Will-Purf by Nursery Specialty Products, Inc., Croton Falls, New York, designed to permit transpiration but retard excessive loss of moisture from plants. Deliver in manufacturer's fully identified containers and use in accordance with manufacturer's instructions. Submit manufacturer's product data for approval.
- Contractor to examine the surface grades and soil conditions for any circumstances that might be detrimental to plant growth, such as deposits of construction-related waste or soil contamination, storage of material or equipment, soil compaction or poor drainage. Contractor to examine the grading, verify all elevations, and notify the Landscape Architect in writing of any unsatisfactory conditions.
- Contractor to inspect each plant after delivery and prior to installation for damage of other characteristics that may cause rejection of the plant.
- Excavate pits, beds, and trenches with vertical sides and with bottom of excavation slightly raised at center to provide proper drainage. When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions, or obstructions, notify the Consultant before planting. Dispose of subsoil removed from planting excavations. Do not mix with planting soil or use as backfill. Plants to be planted in prepared planting soil may utilize the soil removed from the planting hole as backfill around the root ball.
- Set edge of the root ball at the elevation of the proposed finish. Consult the grading plan and utilize a builder's level or transit to determine the grade at the tree grade. For trees on sloped surfaces, set the edge of the root ball at the average grade around the tree. Set the plant plumb and in the location indicated on the plan. The root flare and tree graft, if applicable, shall be visible at the top of the root ball, above the grade. Do not place soil on top of the root ball and remove soil pushed above root flare by mechanical potting/balled & burlapping process during transplantation by the nursery.
- When set, brace root ball by tamping backfilled soil around the lower portion of the root ball. Place additional backfill around base and sides of ball in 150mm lifts. Work each lift to settle backfill and eliminate voids and air pockets. When excavation is approximately two-thirds full, water thoroughly before placing remainder of backfill. Ropes or strings on top of ball shall be cut and removed. Burlap or cloth wrapping shall be cut and removed from the top of the root ball. The top horizontal ring of support wire baskets shall be cut in four places and the top half of the wire basket folded down into the soil.
- Where staking is required, caliper trees shall be supported by wooden stakes driven outside the ball in line with the direction of the prevailing wind. Tree tie type and installation method to be per planting detail. Stakes shall be 50mm x 50mm hardwood stakes free of knots and of lengths appropriate to the size plant required for to adequately support the plant.
- Tree Guard type and installation per planting detail.
- Maintain all trees and shrubs in a plumb position throughout the warranty period. Straighten all trees including those not staked. Plants to be straightened shall be excavated and the root ball moved to a plumb position, and then re-backfilled. Do not straighten plants by pulling the trunk with guys.
- Do not apply any fertilizer to plantings during the first year after transplanting, unless soil tests determine that fertilizer or other chemical additives are required. If required, fertilizers shall be applied according to the manufacturer's instructions and standard horticultural practices.
- Pruning shall be done with clean, sharp, rust-free tools. Cuts shall be made flush, leaving no stubs as per ANSI A 300 - current edition. No tree paint or sealants shall be used.
- Dead wood, suckers, and broken and badly bruised branches shall be removed. Do not prune plant material that has been severely damaged due to transit or handling until viewed by the Landscape Architect.
- Pruning of broken or dead branches shall be done after planting. Form-corrective pruning may occur when tree has hardened until bud-break in the spring. If corrective pruning dates fall outside the construction schedule, it shall remain a punch list (warranty) item. The Contractor shall be responsible for completing this off-season punch list (warranty) item.
- Mulch top of root balls and planting beds, covering the entire planting bed area. Leaving a mulch free zone at stem/trunk as indicated in planting details.
- Water each plant on the day of installation to saturate the soil around the roots and wash the soil into the root zone. After the soil has drained, reset any settled plants or grades around the plant, adding soil if required.

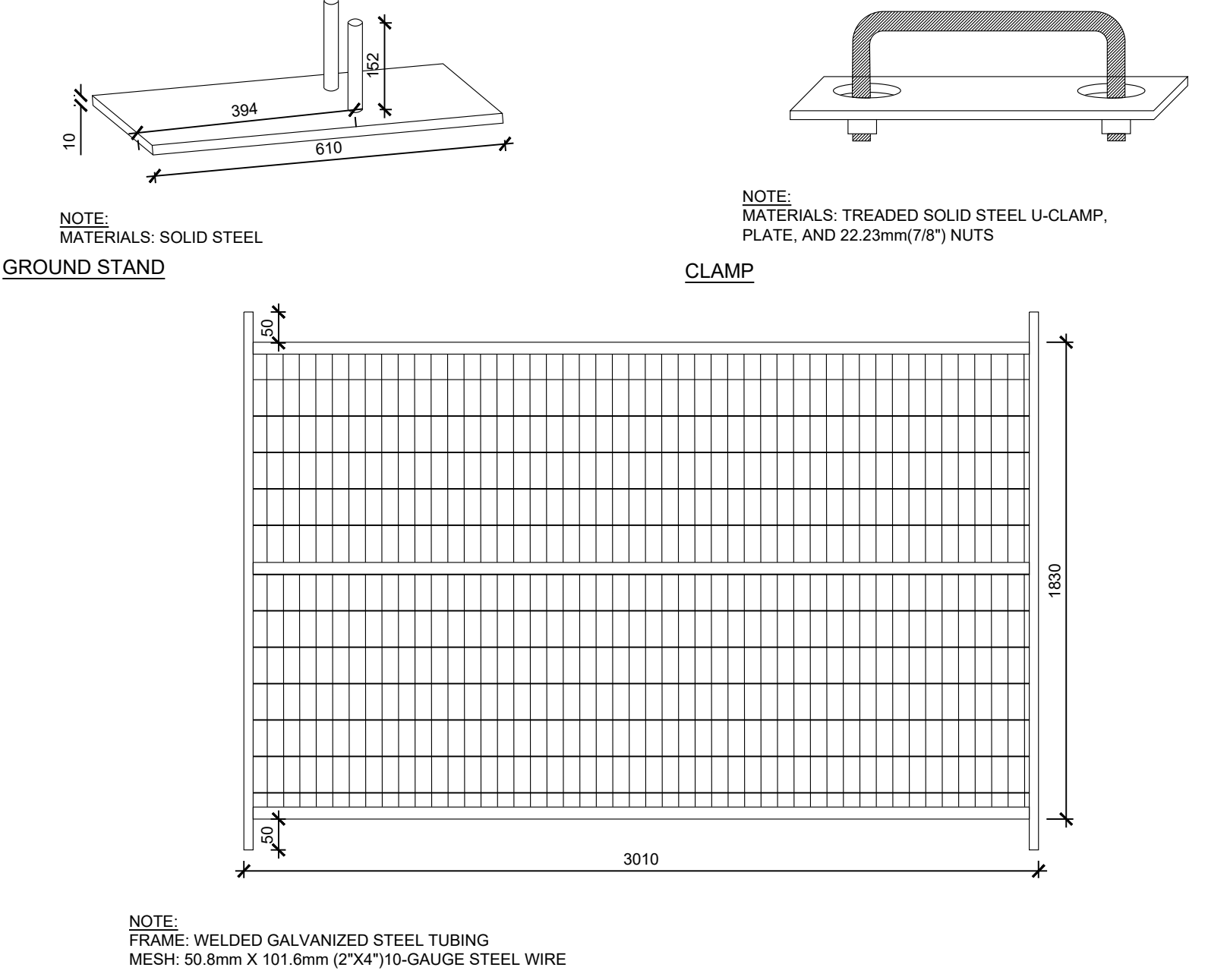
1 TREE, SHRUB, AND PERENNIAL INSTALLATION NOTES  
LP-2



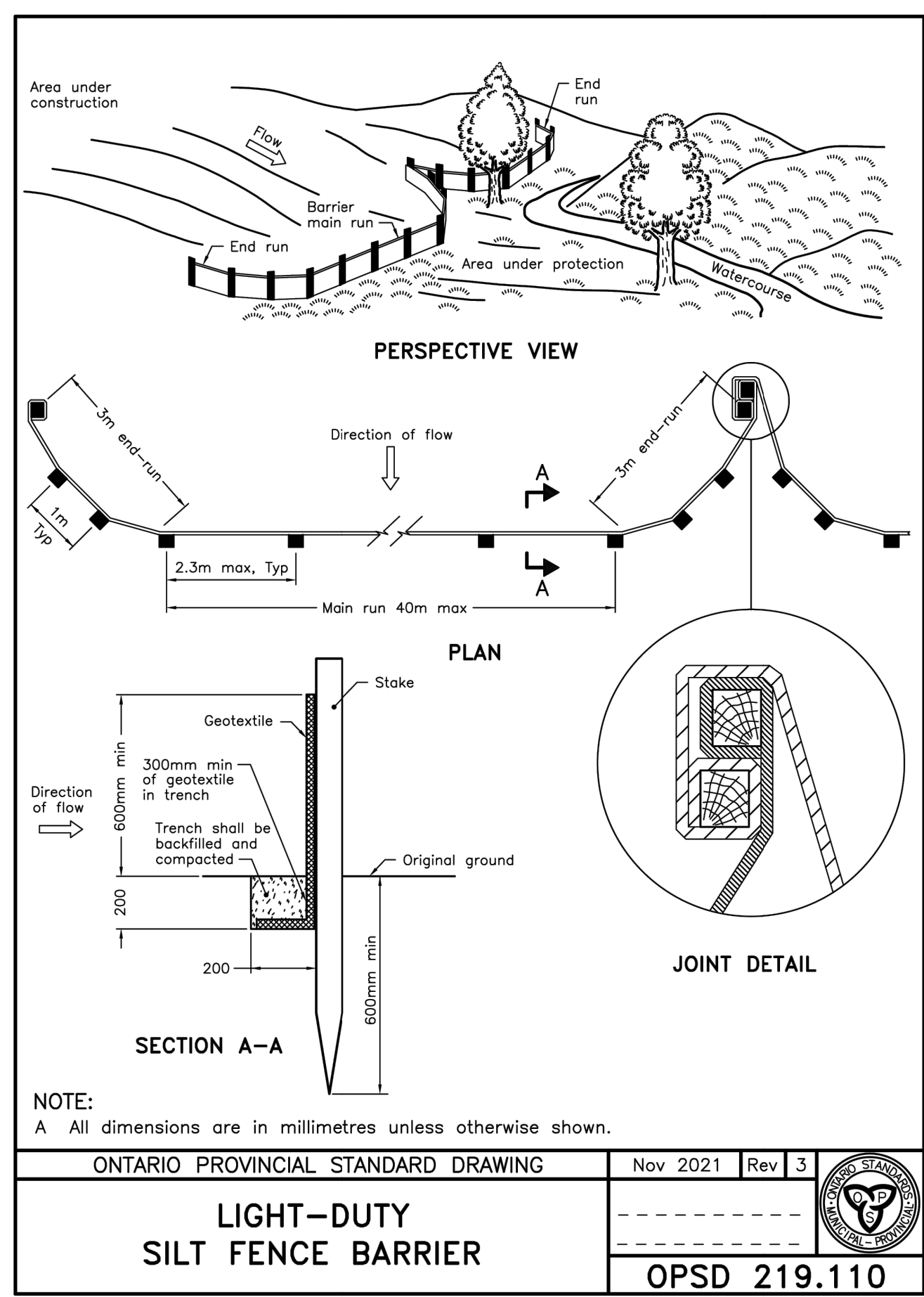
2 OMEGA ELITE DOUBLE WIRE FENCE  
LP-2 N.T.S.

ALL TEMPORARY CONSTRUCTION FENCE PANELS TO BE FASTENED TOGETHER WITH CLAMPS, CLIPS, OR OTHER FASTENERS SUPPLIED BY THE SUPPLIER TO PREVENT REMOVAL OF PANELS BY GENERAL PUBLIC. INSTALL FASTENERS WITH NUTS FACING TOWARD SECURE CONSTRUCTION AREA TO PREVENT REMOVAL BY GENERAL PUBLIC. USE OF ONLY REMOVABLE "U" SHAPED INSERTS INTO TOP OF POSTS WILL NOT BE ACCEPTED.

ALL GATES ARE TO BE CLOSED AND SECURELY LOCKED WHEN CONSTRUCTION CREW MEMBERS ARE NOT PRESENT ON SITE.

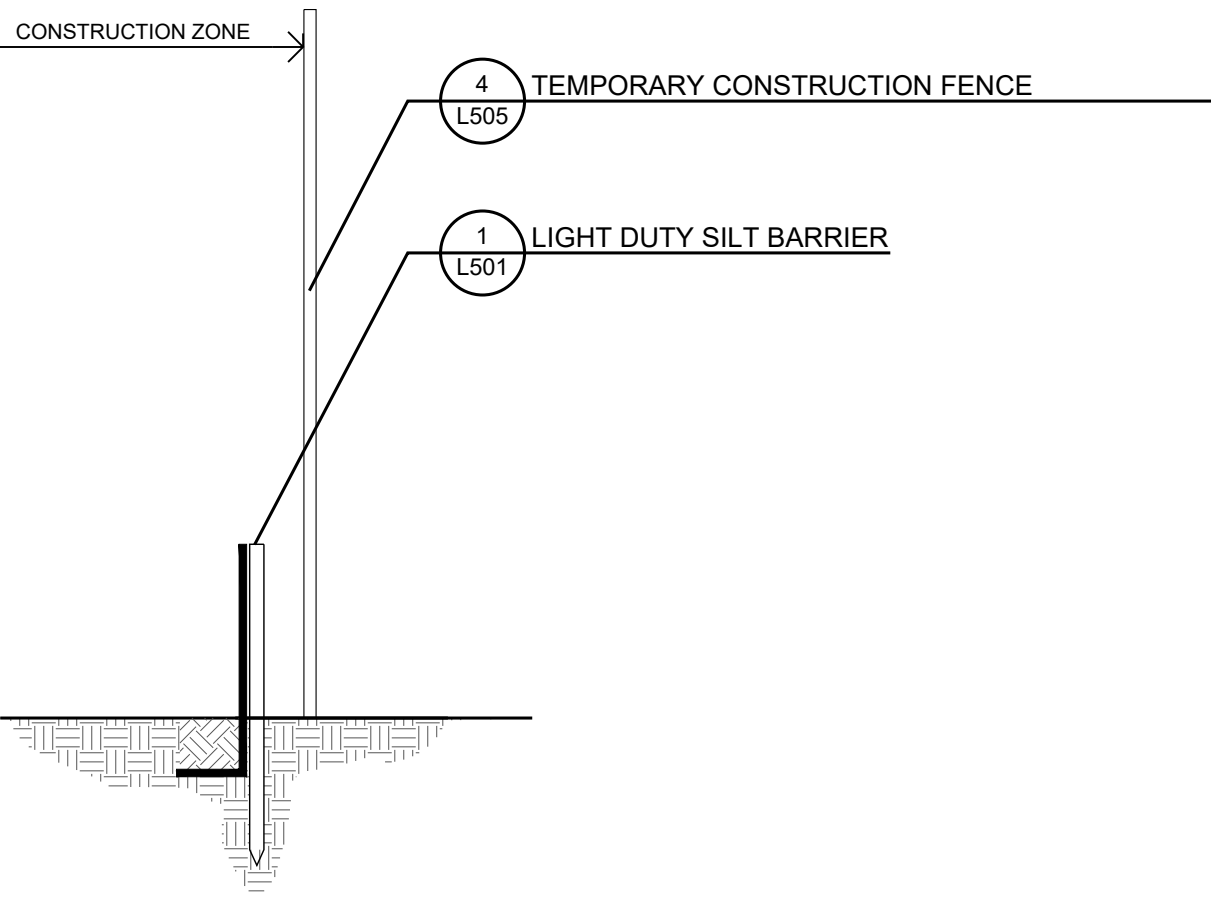


4 TEMPORARY CONSTRUCTION FENCE  
LP-2 N.T.S.



3 LIGHT DUTY SILTY BARRIER  
LP-2 N.T.S.

MAINTAIN FENCE AND SILTY BARRIER THROUGHOUT CONSTRUCTION. DO NOT REMOVE UNTIL MUNICIPALITY APPROVES REMOVAL THROUGH WRITTEN CONFIRMATION BY LANDSCAPE ARCHITECT.



5 SILTY FENCE AND TEMPORARY CONSTRUCTION FENCE  
LP-2 N.T.S.

No.	Description	By	Date
3	ISSUED FOR PERMIT/TENDER	MGN	03 SEP-24
2	ISSUED FOR 90% DESIGN REVIEW	MGN	25 JUL-24
1	ISSUED FOR 60% DESIGN REVIEW	MGN	11 JUN-24
0	ISSUED FOR INTERNAL REVIEW	MGN	22 APR-24

REVISIONS: All previous issues of this drawing are superseded

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LANDSCAPE DETAILS AND NOTES

Project:  
**TSSS FAMILY RESIDENCE RENOVATIONS**  
4222 KINGSTON ROAD, TORONTO WORKSHOP

Date: MARCH 2024 Designer: NB  
Project: AA24-035A Drawn: NB  
Scale: NA Checked: MGN

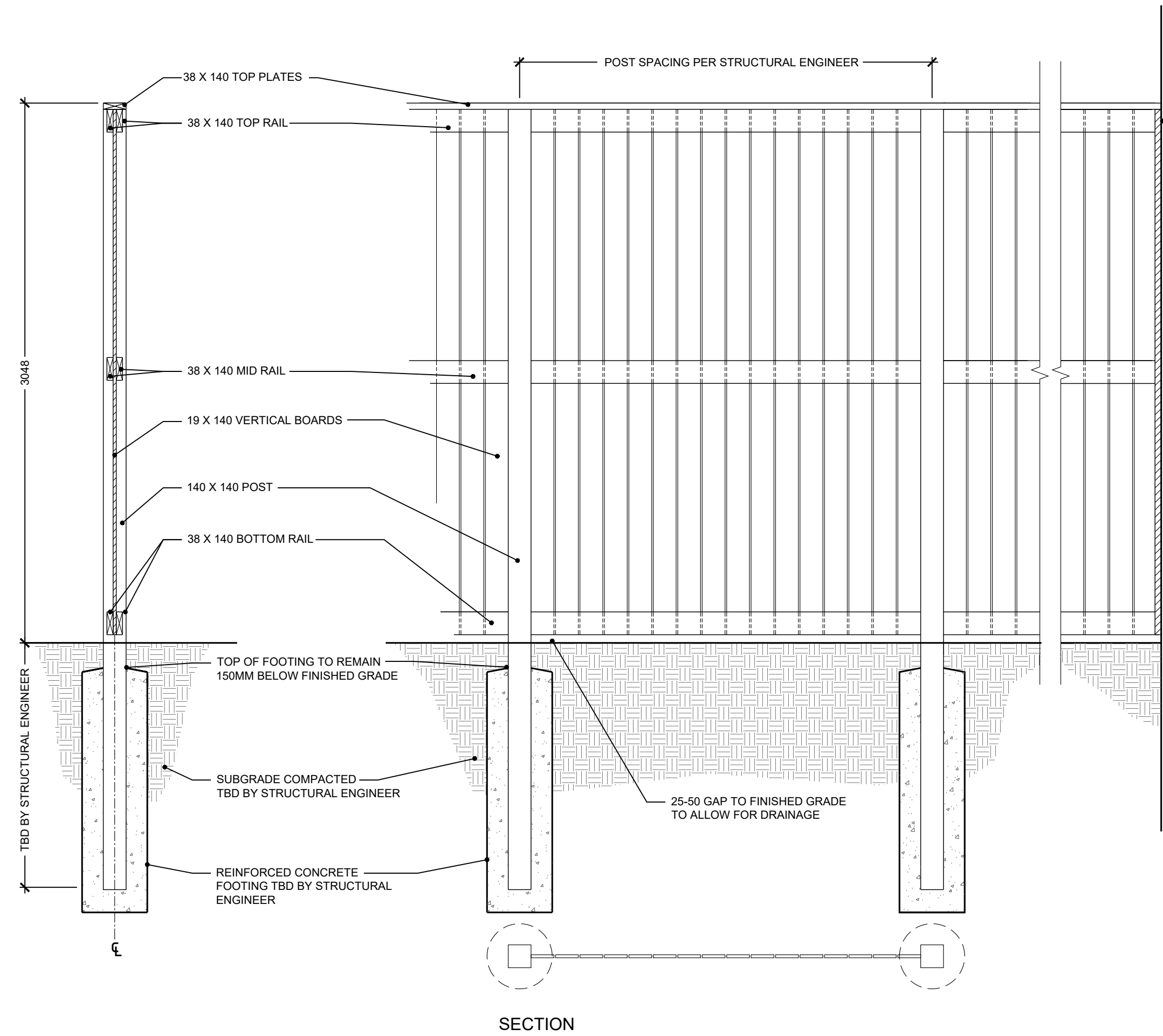
Drawing No: **LP-2**

NOT FOR CONSTRUCTION



**FENCE CONCEPT DRAWING FOR INFORMATION TO CONVEY DESIGN INTENT ONLY**

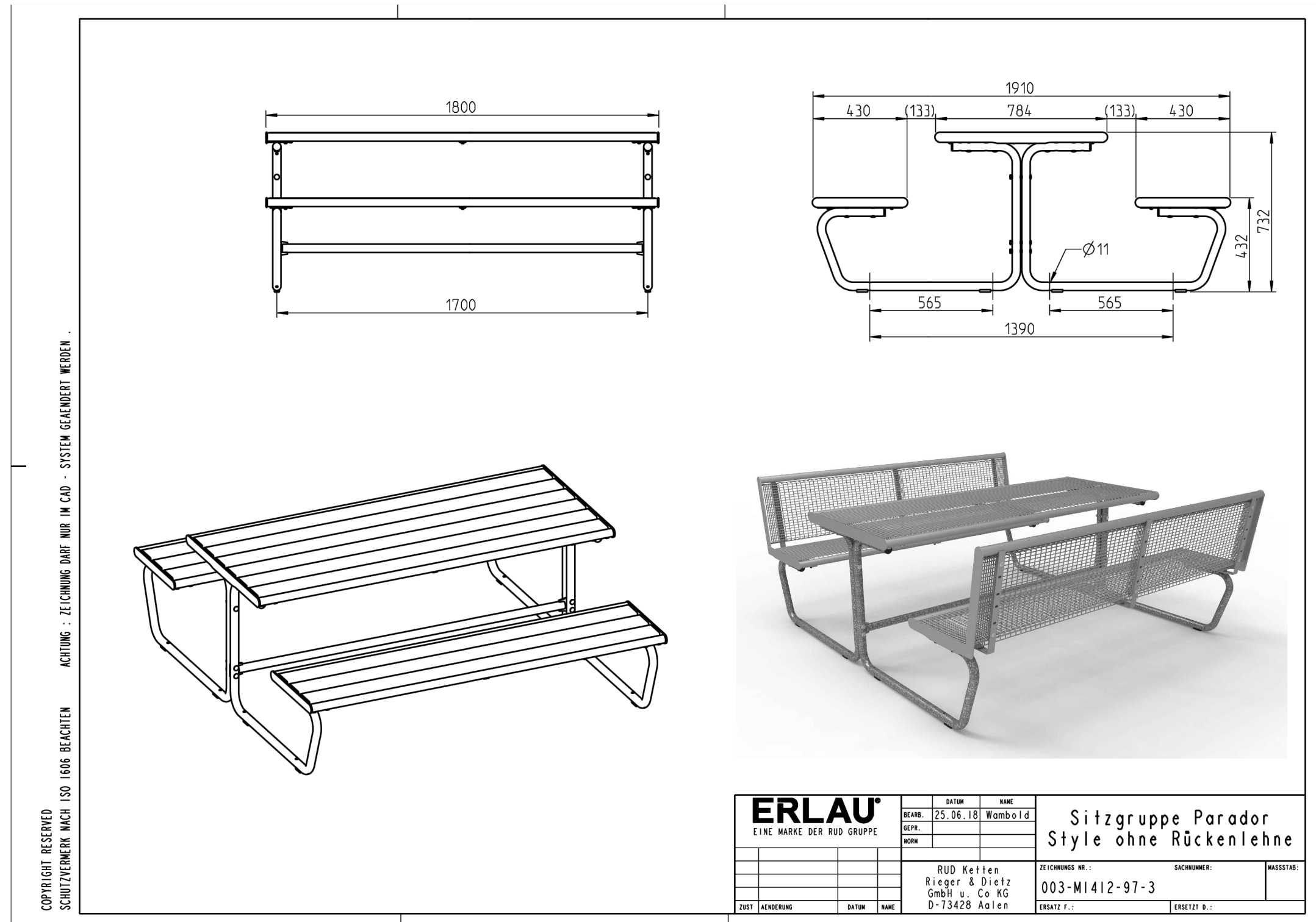
CONTRACTOR TO PROVIDE SITE SPECIFIC DETAILED SHOP DRAWINGS CERTIFIED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE PROVINCE OF ONTARIO INDICATING ANY REQUIRED MODIFICATIONS TO THIS GENERAL FENCE DETAIL SUCH AS BUT NOT LIMITED TO: CONCRETE FOOTING DESIGN/SPECIFICATIONS, WOOD MEMBER SPECIFICATIONS, RAIL BRACKET/HANGER SPECIFICATION (IF REQUIRED), ADDITIONAL MIDDLE RAIL(S) (IF REQUIRED), AND DETAILED FASTENER SPECIFICATIONS, POST SPACING, TO MEET THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, AND SUBGRADE REQUIREMENTS FOR REVIEW BY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO FABRICATION AND INSTALLATION. CONTRACTOR TO INCLUDE COST OF SHOP DRAWINGS, MATERIALS, FABRICATION, INSTALLATION AS WELL AS INSPECTION AND CERTIFICATION BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE PROVINCE OF ONTARIO AS PART OF BID.



ANCHOR 38 X 140 TO BUILDING IN ACCORDANCE WITH ONTARIO BUILDING CODE BASED ON CROSS SECTION OF EXTERIOR WALL. COUNTERBORE AS REQUIRED SO FASTENERS ARE FLUSH TO ALLOW TIGHT FIT AT VERTICAL BOARD

- NOTES
- STEP FENCING PANELS 50mm MIN AND 150mm MAX AT POSTS AS REQUIRED BY GRADE CONDITIONS.
  - ALL MATERIALS, COMPONENTS AND WORKMANSHIP TO CONFORM TO CBC AND LOCAL BY-LAWS.
  - ALL LUMBER SIZES ARE ACTUAL RATHER THAN NOMINAL.
  - ALL WOOD SHALL BEAR GRADING STAMP OF C.L.S. CERTIFIED AGENCY.
  - WARRANTY: THE FENCE SHALL BE GUARANTEED FOR THREE YEARS AS FOLLOWS: 5MM ON PLUMB OF POSTS AND LEVEL OF VERTICAL BOARDS. GAPS BETWEEN VERTICAL BOARDS SHALL NOT EXCEED 6MM. VERTICAL BOARDS SHALL BE TIGHT AND FREE OF RATTLING.
  - WOOD:
    - ALL WOOD SHALL BE PRESSURE TREATED SELECTED FOR GOOD APPEARANCE AND FREE OF WANE AND BARK POCKETS.
    - ALL TORN GRAIN AND SURFACE STAIN SHALL BE ELIMINATED BY SANDING OR PLANING.
    - MEMBERS WITH HEAVY KNOTS AND/OR SAP STAIN SHALL BE WELL DISTRIBUTED THROUGHOUT THE INSTALLATION.
    - MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 20% AT TIME OF CONSTRUCTION.
  - VERTICAL/HORIZONTAL BOARDS:
    - TO NLGA 204A OR BETTER "SELECT KNOTTY" GRADE
    - POSTS:
      - TO NLGA 131BH1 STRUCTURAL POST AND TIMBER
      - SHALL BE PLUMB WITHIN 5MM ABOVE GRADE
  - FASTENERS:
    - ALL FASTENERS INCLUDING ARDOX NAILS, SCREWS, BOLTS, NUTS, WASHERS AND BRACKETS SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE TO CSA STANDARD G104. SCREWS AND BOLTS SHALL CONFORM TO ASTM A307.
    - COUNTER-SINK ALL LAG SCREWS AND BOLTS AND DRIVE ALL NAIL HEADS BELOW SURFACE OF WOOD.
    - ALL ARDOX NAILS OR SCREWS TO BE EVENLY SPACED AND SET NOT LESS THAN 25MM FROM EDGE OF ANY WOOD MEMBER.
    - UNLESS OTHERWISE INDICATED, NAILING REQUIREMENTS SHALL CONFORM TO ONTARIO BUILDING CODE DIVISION B PART 9 TABLE 9.23.3.4.

1 3.0M WOOD PRIVACY FENCE AT GRADE  
LP-3 N.T.S.



**ERLAU**  
EINE MARKE DER RUD GRUPPE

DATE: 25.05.18  
BY: Alexander Wambold

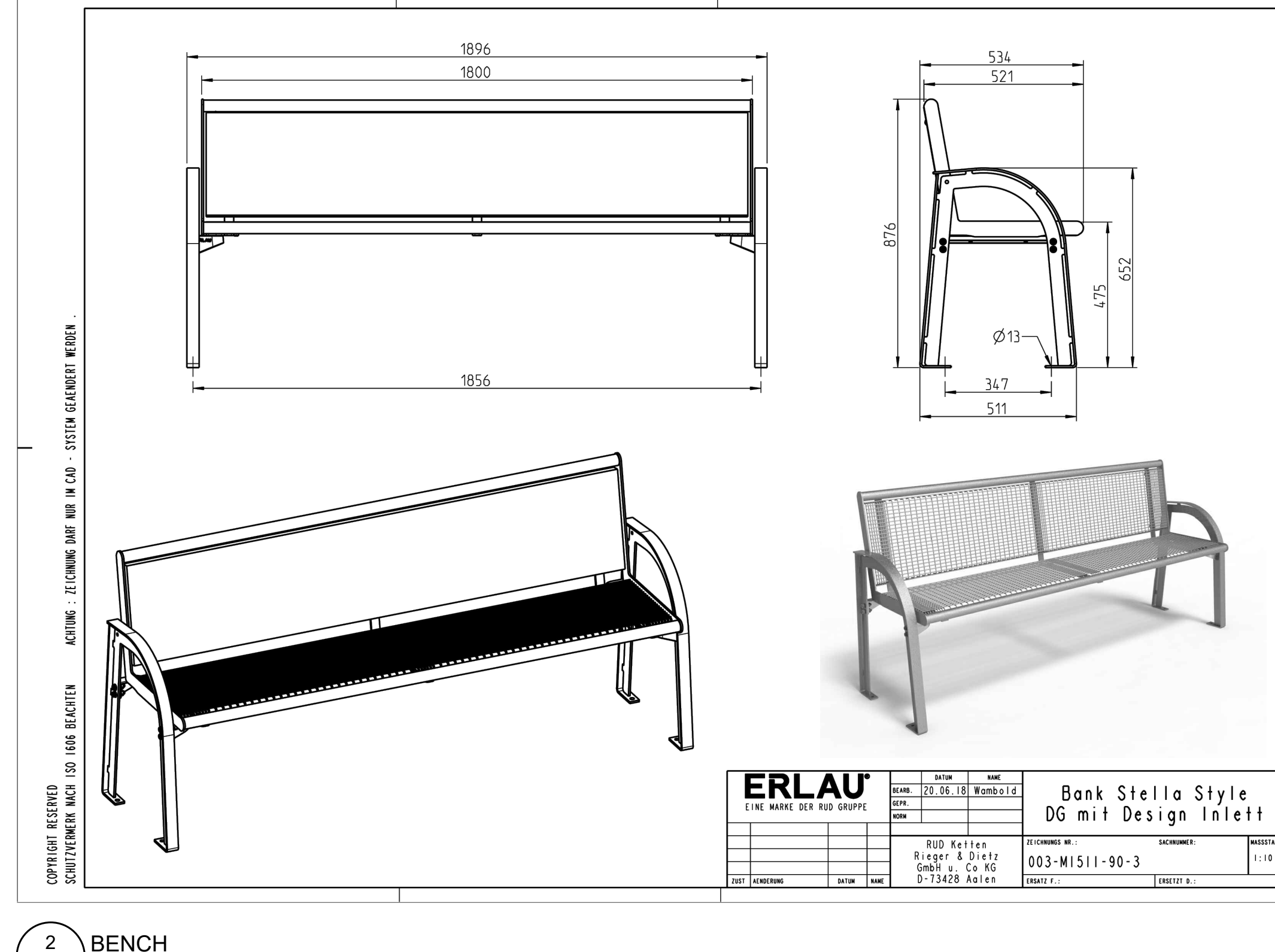
PROJECT: Sitzgruppe Parador  
Style ohne Rückenlehne

RUD Pelzer  
Rieger & Dietz  
GmbH & Co KG  
D-13428 Aalen

PROJECT NO: 003-M1412-97-3

SCALE: 1:10

3 PICNIC SEATING  
LP-3 N.T.S.



**ERLAU**  
EINE MARKE DER RUD GRUPPE

DATE: 25.05.18  
BY: Alexander Wambold

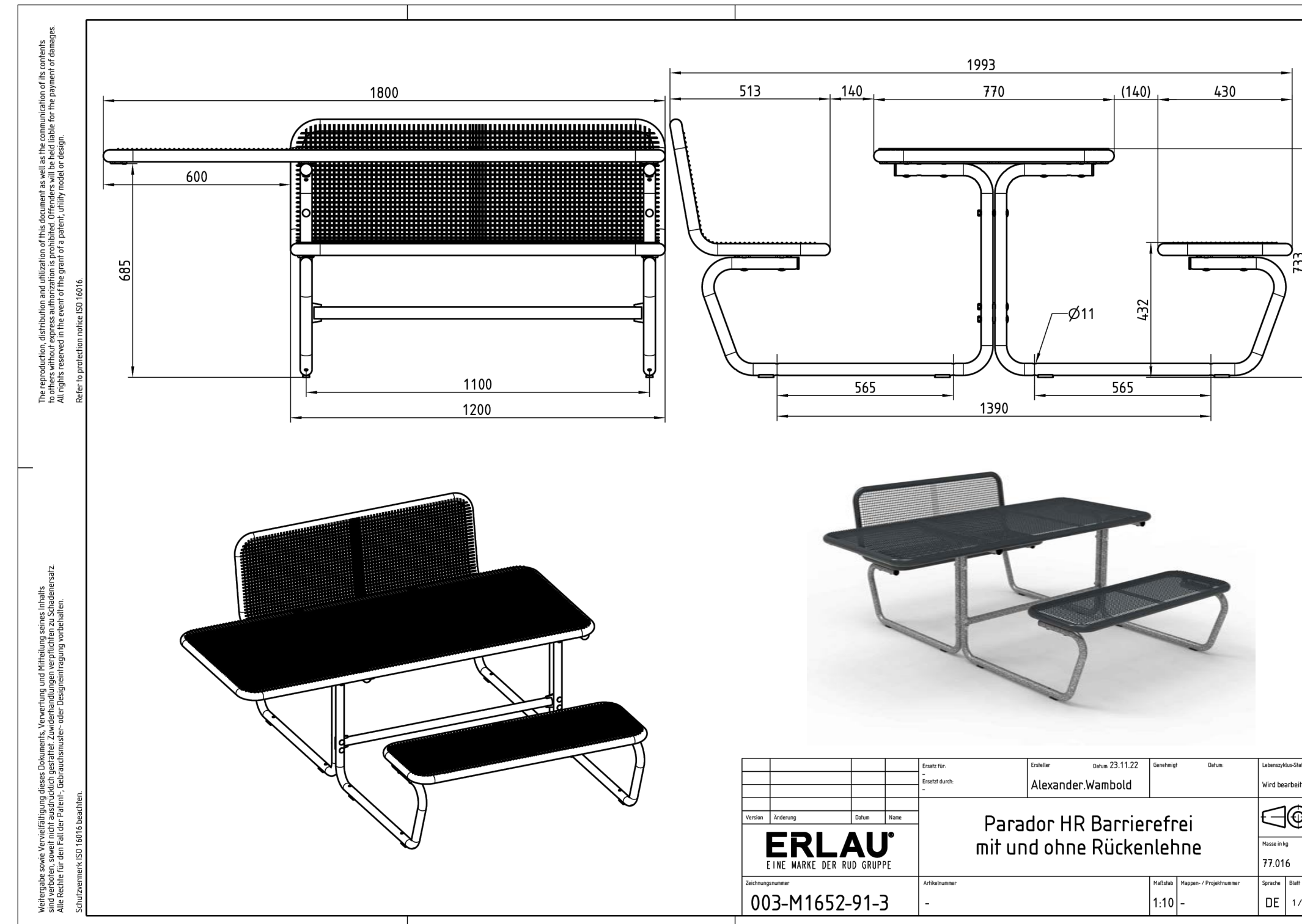
PROJECT: Bank Stella Style  
DG mit Design Inlett

RUD Pelzer  
Rieger & Dietz  
GmbH & Co KG  
D-13428 Aalen

PROJECT NO: 003-M1511-90-3

SCALE: 1:10

2 BENCH  
LP-3 N.T.S.



**ERLAU**  
EINE MARKE DER RUD GRUPPE

DATE: 25.05.18  
BY: Alexander Wambold

PROJECT: Parador HR Barrierefrei  
mit und ohne Rückenlehne

RUD Pelzer  
Rieger & Dietz  
GmbH & Co KG  
D-13428 Aalen

PROJECT NO: 003-M1652-91-3

SCALE: 1:10

4 ACCESSIBLE PICNIC SEATING  
LP-3 N.T.S.

3	ISSUED FOR PERMIT/TENDER	MGN	03 SEP-24
2	ISSUED FOR 90% DESIGN REVIEW	MGN	25 JUL-24
1	ISSUED FOR 60% DESIGN REVIEW	MGN	11 JUN-24
0	ISSUED FOR INTERNAL REVIEW	MGN	22 APR-24

REVISIONS: All previous issues of this drawing are superseded

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**LANDSCAPE DETAILS**

Project:  
**TSSS FAMILY RESIDENCE RENOVATIONS**  
4222 KINGSTON ROAD, TORONTO  
WORKSHOP

Date: MARCH 2024 Designer: NB  
Project: AA24-035A Drawn: NB  
Scale: NA Checked: MGN

Drawing No: **LP-3**

NOT FOR CONSTRUCTION



# STEEL ROUND TANKS

## Features

- Made with Certified G90 galvanized steel throughout
- Black Label tanks are 20GA throughout
- Green Label tanks have 22GA sidewalls and 20GA bottoms
- Bottoms attached to sidewall with a 4-ply lock seam and sealant for maximum leak protection
- .875" steel pipe rolled into the top rim of each tank for strength and rigidity (3'-10" diameters)
- 11' tanks have a 1.5" angle ring on top for added strength
- Widest variety of sizes and gallonages available
- Many sizes available in both a 2' and 1' sheep tank depth to meet most needs



HD0602

**2131**  
 .75" zinc plated plug that comes standard installed in all Hastings stock tanks.  
 (Except for our 11' tank. See 2152 below.)

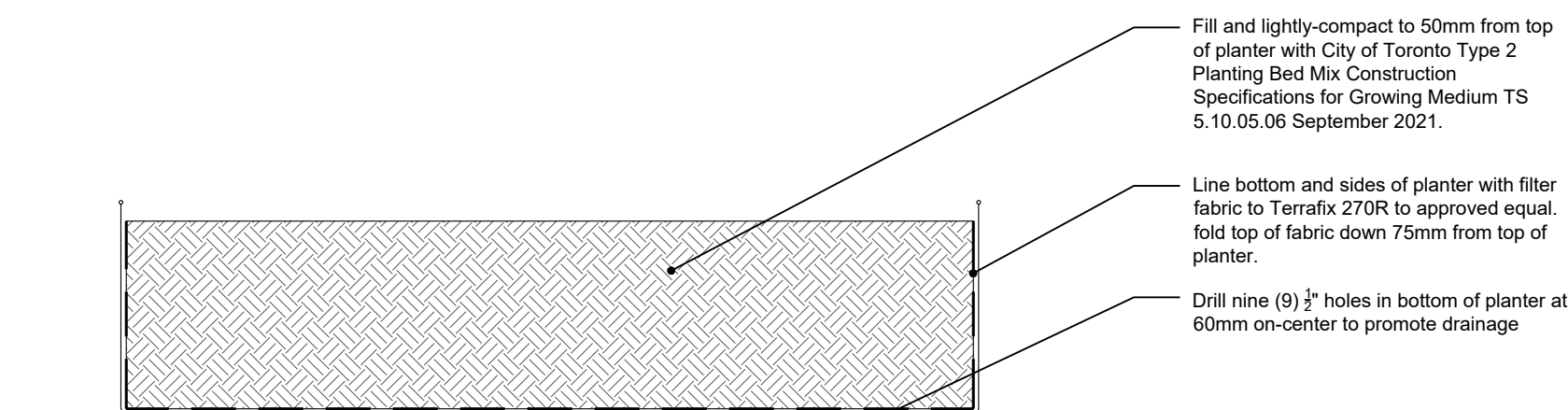
**2152**  
 .75" polyethylene plug and flange unit that comes standard with our 11' stock tank.

**S-200**  
 .75" steel plug and flange unit that can be ordered as an alternative to Model 2152 for 11' stock tanks.

Model Number	Size (Width x Depth)	Tanks in a Nest	Approx. Capacity (gallons)	Approx. Wt. 20GA (lbs.)	Approx. Wt. 22GA (lbs.)
HD0302	3' x 2'	2	101	47	38
HD0402	4' x 2'	3	180	66	55
HD0502	5' x 2'	3	281	89	75
HD0602	6' x 2'	3	404	116	106
HD0702	7' x 2'	3	550	148	134
HD0802	8' x 2'	3	718	171	150
HD0902	9' x 2'	3	909	210	183
HD1002	10' x 2'	3	1122	265	225
HD1102	11' x 2'	3	1358	303	N/A
SHEEP TANKS					
HGS0301	3' x 1'	2	48	N/A	29
HGS0401	4' x 1'	3	86	N/A	47
HGS0501	5' x 1'	3	134	N/A	62
HGS0601	6' x 1'	3	192	N/A	84
HGS0701	7' x 1'	3	N/A	N/A	N/A
HGS0801	8' x 1'	3	342	N/A	122

\* All tank sizes are nominal. Most sizes are nested in small, medium, and large to optimize freight expense.  
 \*\* 22GA model numbers in the 2' depth begin with HG instead of HD

1-888-883-2189 • www.hastingstank.com



1 LP-4 TYPICAL ACCESSIBLE RAISED PLANTER  
 N.T.S.

## MBR-0500-00003 Legacy #MBR500-S



## Sustainability Facts

Unit Size	One (1) MBR-0500-00001 Bike Rack
Carbon footprint (GWP) <i>Measured in kilograms of carbon dioxide equivalent</i>	103 kg CO2-Eq
Total energy use (TPE) <i>Measured in megajoules of energy equivalent</i>	1770 Mj-Eq
Waster use (WDP) <i>Measured in cubic metres of water</i>	0.843 m3 water
Material recyclability	100%
<b>LEED v4.1 Credits</b>	
Type III Environmental Product Declaration	<input checked="" type="checkbox"/>
Material Inventory	<input checked="" type="checkbox"/>
Low VOC finishes	<input checked="" type="checkbox"/>
Free of Red List substances	<input checked="" type="checkbox"/>

\*Full EPD can be referenced for more information: <https://www.epdregistration.com/maglin/>

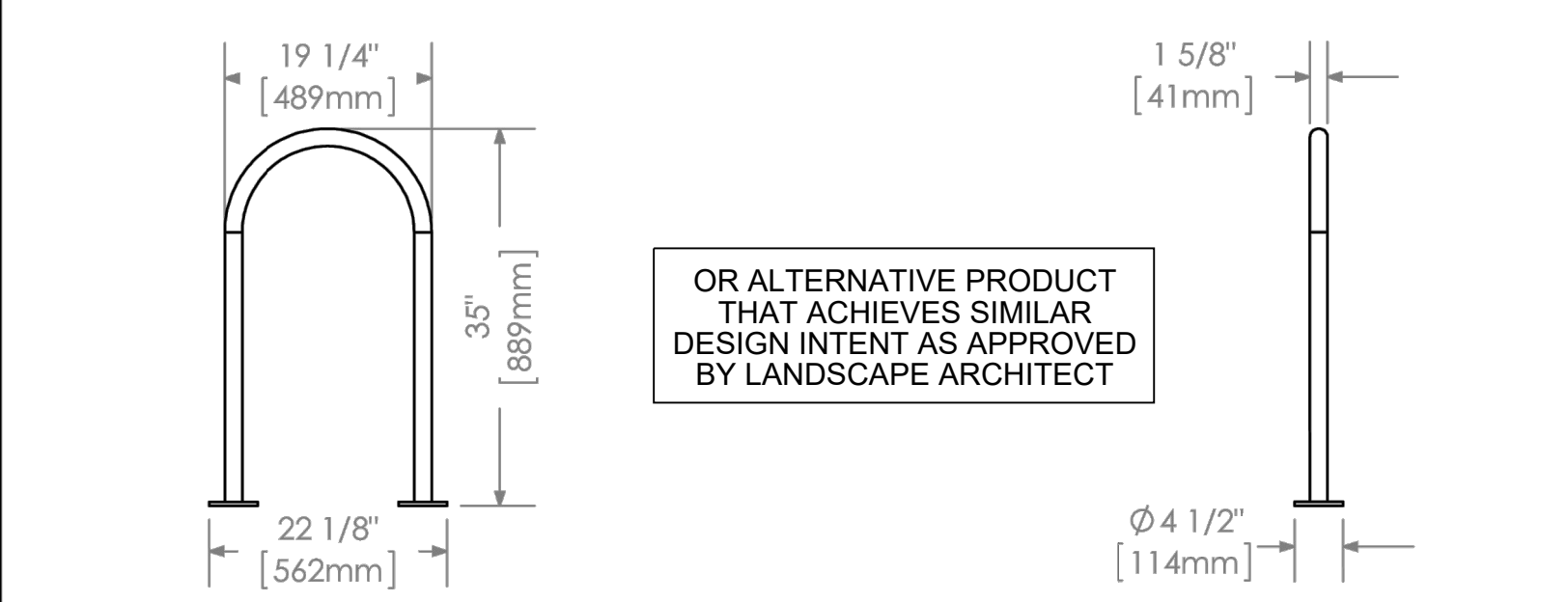
DESCRIPTION: 500 Series - 500 Bike Rack: H.S. Steel Tube, Surface Mount, 2 Bike Configuration

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The bike rack is delivered pre-assembled. It is available with either a surface mount or direct burial installation option.

TO SPECIFY: Select MBR-0500-00003  
 Choose:  
 - Powdercoat Color

HEIGHT: 35" (88.9cm)      LENGTH: 19.25" (48.9cm)      WEIGHT: 13.27 lbs (6.0kg)



**MAGLIN**  
 Site Furniture

T 800 718 5506  
 F 877 260 9393  
[www.maglin.com](http://www.maglin.com)  
[sales@maglin.com](mailto:sales@maglin.com)

- All drawings, specifications, design and details on this page remain the property of Maglin Site Furniture Inc. and may not be used without Maglin authorization.  
 - Details and specifications may vary due to continuing improvements of our products.

2 LP-4 INVERTED 'U' BIKE RACK ON CONCRETE PAD  
 N.T.S.

3	ISSUED FOR PERMIT/TENDER	MGN	03 SEP-24
2	ISSUED FOR 90% DESIGN REVIEW	MGN	25 JUL-24
1	ISSUED FOR 60% DESIGN REVIEW	MGN	11 JUN-24
0	ISSUED FOR INTERNAL REVIEW	MGN	22 APR-24

REVISIONS: All previous issues of this drawing are superseded



Title:

## LANDSCAPE DETAILS

Project:  
**TSSS FAMILY RESIDENCE RENOVATIONS**  
 4222 KINGSTON ROAD, TORONTO WORKSHOP

Date: MARCH 2024      Designer: NB  
 Project: AA24-035A      Drawn: NB  
 Scale: NA      Checked: MGN

NOT FOR CONSTRUCTION

Drawing No: **LP-4**



### COMPONENTS

NATURE'S INSTRUMENTS NI-PG-30X-01 CREATIVE PANEL PACKAGE INCLUDES THE FOLLOWING:

2 @ 89 x 89mm [4"x4"] CEDAR POST	1 @ PRE-ASSEMBLED CEDAR BASE-'L'
1 @ PRE-ASSEMBLED CREATIVE PANEL CHALK MIRROR, ART. OR, ACRYLIC	1 @ 38 x 140mm [2"x6"] CEDAR CAP
	36 @ 64mm [2 1/2"] BROWN DECK SCREWS

### NOTES

- SECURE CREATIVE PANEL TO THE POST THROUGH PRE-DRILLED HOLES USING SUPPLIED SCREWS.
  - ENSURE POSTS ARE FLUSH WITH TOP OF THE PANEL.
- FASTEN BASE-'L' TO THE BOTTOM OF THE PANEL THROUGH PRE-DRILLED HOLES USING SUPPLIED SCREWS.
- FASTEN CAP TO THE TOP OF THE PANEL THROUGH PRE-DRILLED HOLES USING SUPPLIED SCREWS.
  - ENSURE THE CAP IS EVENLY CENTERED ON ALL SIDES.
  - IF THE INSTALLATION OF THE COMPONENT IS AGAINST A WALL OR FENCE OFFSET THE CAP TO BE FLUSH AGAINST THE BACK EDGE OF THE PANEL.
- FOOTING HOLES TO BE NO LESS THAN 203mm [8"] IN DIAMETER.
  - DEPTH OF CONCRETE FOOTING MUST BE NO LESS THAN 914mm [36"], 1220mm [48"] IS RECOMMENDED.
  - BOTTOM OF HOLE TO BE FILLED WITH MIN. 152mm [6"] CLEAR DRAINING GRAVEL.
  - ENSURE THE DEPTH OF FOOTING CONFORM TO LOCAL CODE FROST LINE.
  - SONOTUBES CAN BE USED IF MATERIAL BELOW GRADE IS LOOSE.
  - PLACE THE ASSEMBLED CREATIVE PANEL INTO THE FOOTING HOLES, ENSURE THE BOTTOM OF THE BASE-'L' IS FLUSH WITH THE FINISHED GRADE.
  - ENSURE PANEL IS LEVEL AND PLUMB PRIOR TO CONCRETE.
  - FILL FOOTING HOLES WITH POST-MIX CONCRETE.
  - FOLLOW MANUFACTURER'S SPECIFICATION WHEN MIXING AND CURING CONCRETE.
  - TOP OF CONCRETE TO BE 102mm [4"] BELOW FINISHED GRADE.
  - RESTORE ADJACENT SURFACING TO PRE-CONSTRUCTION CONDITIONS UNLESS OTHERWISE SPECIFIED.
  - ENSURE RESTORED SURFACE IS LEVEL WITH THE PANEL.

FOOTINGS SECTION

ISO VIEW

<p><b>INSTALL</b> CREATIVE PANELS - POST MOUNTED</p> <p>PRODUCT NUMBER: NI-PG-30X-01</p> <p>SCALE (METRIC): 1:25</p> <p>10-BL FINISH ON STANDARD LETTER PAPER</p> <p>COPYRIGHT © 2024 NATURE'S INSTRUMENTS. DO NOT SCALE DRAWINGS. NOT FOR COMMERCIAL USE OR REPRINT WITHOUT EXPRESSED WRITTEN PERMISSION FROM NATURE'S INSTRUMENTS.</p>	<table border="0"> <tr> <th>REVIEW</th> <th>PAGE</th> </tr> <tr> <td>YYYY-MM-DD</td> <td>1</td> </tr> <tr> <td>BY</td> <td>OF</td> </tr> <tr> <td>XX</td> <td>2</td> </tr> <tr> <td>XX</td> <td>2</td> </tr> <tr> <td>XX</td> <td>2</td> </tr> </table> <p>1-877-733-7455</p>	REVIEW	PAGE	YYYY-MM-DD	1	BY	OF	XX	2	XX	2	XX	2
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FRONT ELEVATION

EXAMPLE PLAN OF PANEL IN FRONT OF FENCE

<p><b>INSTALL</b> CREATIVE PANELS - POST MOUNTED</p> <p>PRODUCT NUMBER: NI-PG-30X-01</p> <p>SCALE (METRIC): 1:25</p> <p>10-BL FINISH ON STANDARD LETTER PAPER</p> <p>COPYRIGHT © 2024 NATURE'S INSTRUMENTS. DO NOT SCALE DRAWINGS. NOT FOR COMMERCIAL USE OR REPRINT WITHOUT EXPRESSED WRITTEN PERMISSION FROM NATURE'S INSTRUMENTS.</p>	<table border="0"> <tr> <th>REVIEW</th> <th>PAGE</th> </tr> <tr> <td>YYYY-MM-DD</td> <td>2</td> </tr> <tr> <td>BY</td> <td>OF</td> </tr> <tr> <td>XX</td> <td>2</td> </tr> <tr> <td>XX</td> <td>2</td> </tr> <tr> <td>XX</td> <td>2</td> </tr> </table> <p>1-877-733-7455</p>	REVIEW	PAGE	YYYY-MM-DD	2	BY	OF	XX	2	XX	2	XX	2
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### COMPONENTS

NATURE'S INSTRUMENTS NI-PG-403-03 HANGING AMADINDA FRAME - POST MOUNTED PACKAGE INCLUDES:

1 @ HANGING AMADINDA (SPRUCE OR CEDAR) PRE-MOUNTED IN FRAME
1 @ AMADINDA FRAME

NOTE: AMADINDA MUST BE ORDERED SEPARATELY. SEE NATURE'S INSTRUMENTS NI-PG-403-02 CEDAR HANGING AMADINDA.

REQUIRED MATERIALS NOT INCLUDED:

- ALL BASE MATERIALS
- ALL FOOTING MATERIALS

### NOTES

- INTENDED USE: AMADINDA IS TO BE USED WITH FEET PLANTED FIRMLY ON THE GROUND.
- HANGING AMADINDA MAY BE SPRUCE OR CEDAR.
- PLACE AMADINDA AS PER LAYOUT PLAN, OR CLIENT REQUEST.
- FRAME TO REST ON FINISHED GRADE WITH POST SUSPENDED IN FOOTING.
  - FOOTING HOLES TO EXTEND BELOW THE FROST LINE FOR YOUR REGION.
  - PLACE THE POSTS INTO PRE-DUG HOLES.
  - ENSURE BOTTOM OF BASE-'T' IS FLUSH WITH FINISHED GRADE OF SURROUNDING SURFACES.
  - LEVEL THE PANEL LEFT TO RIGHT.
  - FILL HOLES WITH POST-MIX CONCRETE AS PER CONCRETE MANUFACTURER'S INSTRUCTIONS.
  - FOOTING TO BE NON-VISIBLE. TOP OF CONCRETE TO REMAIN AT LEAST 102mm [4"] BELOW FINISHED SURFACE.
  - FINISHED ADJACENT SURFACE MUST BE LEVEL.
  - FRAME MUST BE PLUMB FRONT TO BACK AND LEFT TO RIGHT.
  - AMADINDA MAY BE PLAYED FROM BOTH THE FRONT AND THE BACK.
  - BOTTOM OF FRAME TO BE EVEN WITH FINISHED SURFACE.
  - RESTORE ADJACENT SURFACING TO PRE-CONSTRUCTION CONDITION UNLESS OTHERWISE SPECIFIED.

- ISO VIEW -

<p><b>INSTALL</b> HANGING AMADINDA FRAME [POST MOUNTED]</p> <p>PRODUCT NUMBER: NI-PG-403-03</p> <p>SCALE (METRIC): 1:25</p> <p>10-BL FINISH ON STANDARD LETTER PAPER</p> <p>COPYRIGHT © 2024 NATURE'S INSTRUMENTS. DO NOT SCALE DRAWINGS. NOT FOR COMMERCIAL USE OR REPRINT WITHOUT EXPRESSED WRITTEN PERMISSION FROM NATURE'S INSTRUMENTS.</p>	<table border="0"> <tr> <th>REVIEW</th> <th>PAGE</th> </tr> <tr> <td>YYYY-MM-DD</td> <td>1</td> </tr> <tr> <td>BY</td> <td>OF</td> </tr> <tr> <td>XX</td> <td>2</td> </tr> <tr> <td>XX</td> <td>2</td> </tr> <tr> <td>XX</td> <td>2</td> </tr> </table> <p>1-877-733-7455</p>	REVIEW	PAGE	YYYY-MM-DD	1	BY	OF	XX	2	XX	2	XX	2
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- SIDE SECTION -

- FRONT ELEVATION -

<p><b>INSTALL</b> HANGING AMADINDA FRAME [POST MOUNTED]</p> <p>PRODUCT NUMBER: NI-PG-403-03</p> <p>SCALE (METRIC): 1:25</p> <p>10-BL FINISH ON STANDARD LETTER PAPER</p> <p>COPYRIGHT © 2024 NATURE'S INSTRUMENTS. DO NOT SCALE DRAWINGS. NOT FOR COMMERCIAL USE OR REPRINT WITHOUT EXPRESSED WRITTEN PERMISSION FROM NATURE'S INSTRUMENTS.</p>	<table border="0"> <tr> <th>REVIEW</th> <th>PAGE</th> </tr> <tr> <td>YYYY-MM-DD</td> <td>2</td> </tr> <tr> <td>BY</td> <td>OF</td> </tr> <tr> <td>XX</td> <td>2</td> </tr> <tr> <td>XX</td> <td>2</td> </tr> <tr> <td>XX</td> <td>2</td> </tr> </table> <p>1-877-733-7455</p>	REVIEW	PAGE	YYYY-MM-DD	2	BY	OF	XX	2	XX	2	XX	2
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**1 WALL ART**  
LP-5 N.T.S.

**2 HANGING AMADINDA**  
LP-5 N.T.S.

### CONCRETE SURFACE - PEDESTRIAN

CONTRACTOR TO PROVIDE SHOP DRAWINGS CERTIFIED BY A PROFESSIONAL ENGINEER INDICATING DIMENSIONS, SIZES, FINISHES AND STORM WATER REQUIREMENTS FOR REVIEW BY THE ARCHITECT, LANDSCAPE ARCHITECT, CIVIL ENGINEER AND CLIENT PRIOR TO FABRICATION AND INSTALLATION. CONTRACTOR TO INCLUDE COST OF SHOP DRAWINGS, MATERIALS, FABRICATION AND INSTALLATION AS PART OF BID.

CONCRETE ADJACENT TO ALL FORMWORK SHALL BE FINISHED WITH A TOOL THAT PRODUCES A 5 MM ROUNDED EDGE AND A SMOOTH, HORIZONTAL SURFACE WITH A MAXIMUM WIDTH OF 50 MM. ALL TOOLING SHALL BE UNIFORM AND STRAIGHT AND SHALL BE DEPRESSED NO MORE THAN 1 MM BELOW THE ADJACENT SURFACE. ANY RIDGES ALONG THE TOOLED MARKS SHALL BE REMOVED.

SLOPE AS DESCRIBED ON GRADING PLAN. MINIMUM 1% AND MAXIMUM 4% LONGITUDINAL OR 2% CROSS SLOPE

125 MM DEPTH CAST IN PLACE CONCRETE

- 32 MPa MINIMUM COMPRESSIVE STRENGTH @ 28 DAYS
- CLASS C-2 EXPOSURE
- MAXIMUM NOMINAL SIZE OF COARSE AGGREGATE 19MM
- 5-8% AIR ENTRAINMENT
- MAXIMUM WATER TO CEMENTING MATERIALS RATIO 0.45
- BROOM FINISH PATTERN PERPENDICULAR TO CIRCULATION FLOW
- COLOUR: NATURAL GREY

150 X 150, #10 GAUGE WELDED STEEL WIRE FABRIC TO CSA-G30.5

200mm DEPTH GRANULAR BASE COMPACTED TO 98% SPMD

- GRANULAR 'A' TO OPSS MUNI 1010

SUBGRADE UNIFORMLY COMPACTED TO 98% SPMD

- PROOFROLL IN THE PRESENCE OF A GEOTECHNICAL ENGINEER FOR EXAMINATION/APPROVAL PRIOR TO CONSTRUCTING SUBBASE
- UNSATURABLE SUBGRADE (SPONGY, SOFT, ORGANIC MATERIALS) AREAS SHALL BE SUB-EXCAVATED AND REPLACED IN LIFTS NO GREATER THAN 200MM IN DEPTH WITH MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER AT THE MOISTURE CONTENT WHICH WILL PERMIT COMPACTION TO 98% SPMD

5MM WIDE x 1/2 DEPTH THICKNESS OF CONCRETE SLAB SAWCUT CONTRACTION JOINT

PRE-MOULDED JOINT BITUMOUS IMPREGNATED FIBREBOARD TO ASTM D 1751 TO FULL DEPTH OF SLAB

CONTRACTION JOINT @ MAX. 2000mm ON-CENTRE UNLESS OTHERWISE DESCRIBED ON LAYOUT

EXPANSION JOINT @ MAX. 6000mm ON-CENTRE. ISOLATE POLES, VALVES AND OTHER UTILITIES OR WHERE CONCRETE SURFACE ABUTS OTHER CONCRETE STRUCTURE/SURFACE TO UNLESS OTHERWISE DESCRIBED ON LAYOUT

**CONCEPT DRAWING FOR INFORMATION TO CONVEY DESIGN INTENT ONLY**

CONTRACTOR TO PROVIDE SHOP DRAWINGS CERTIFIED BY A PROFESSIONAL ENGINEER INDICATING DIMENSIONS, SIZES, FINISHES AND STORM WATER REQUIREMENTS FOR REVIEW BY THE ARCHITECT, LANDSCAPE ARCHITECT, CIVIL ENGINEER AND CLIENT PRIOR TO FABRICATION AND INSTALLATION. CONTRACTOR TO INCLUDE COST OF SHOP DRAWINGS, MATERIALS, FABRICATION AND INSTALLATION AS PART OF BID.

### PURE PAVE SURFACING DETAIL

40mm DEPTH PUREPAVE PERMEABLE SURFACE MATERIAL (BONDED AGGREGATE SURFACING), COLOUR: GREY DOLOMITE GRANITE

SNAP EDGE EDGE RESTRAINT SYSTEM INSTALLED PER MANUFACTURER'S SPECIFICATIONS AT EDGES OF PUREPAVE

ADJACENT SURFACE REFER TO LAYOUT

300mm DEPTH TYPE 2 19mm ANGULAR CLEAR STONE WRAPPED IN FILTER CLOTH COMPACTED TO A DENSE STATE PER OPSS

NON-WOVEN POLYPROPYLENE FILTER FABRIC

COMPACTED SUBGRADE

**3 CONCRETE SURFACE - PEDESTRIAN**  
LP-5 N.T.S.

**4 PURE PAVE SURFACING DETAIL**  
LP-5 N.T.S.

3	ISSUED FOR PERMIT/TENDER	MGN	03 SEP-24
2	ISSUED FOR 90% DESIGN REVIEW	MGN	25 JUL-24
1	ISSUED FOR 60% DESIGN REVIEW	MGN	11 JUN-24
0	ISSUED FOR INTERNAL REVIEW	MGN	22 APR-24

No.	Description	By	Date
All previous issues of this drawing are superseded			

**ABOUD & ASSOCIATES INC.**  
Consulting Arborists • Ecologists • Landscape Architects

3-6 Edinburg Road South • Guelph, Ontario, N1H 5N8 • 519.822.6839 • abouding.com

**LANDSCAPE DETAILS**

Project:  
**TSSS FAMILY RESIDENCE RENOVATIONS**  
4222 KINGSTON ROAD, TORONTO WORKSHOP

Date: MARCH 2024	Designer: NB
Project: AA24-035A	Drawn: NB
Scale: NA	Checked: MGN

NOT FOR CONSTRUCTION



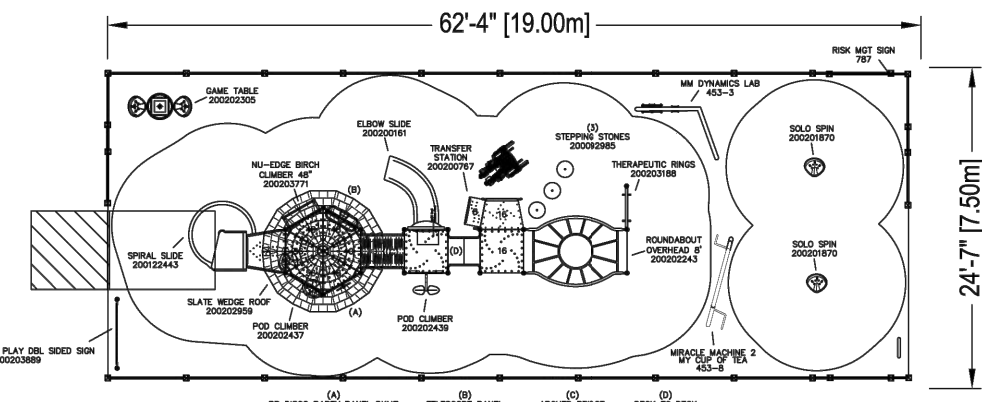




SHELTER FAMILY RESIDENCE (REV B)  
TORONTO, ON

OR ALTERNATIVE PRODUCT  
THAT ACHIEVES SIMILAR  
DESIGN INTENT AS APPROVED  
BY LANDSCAPE ARCHITECT

AREA: 132.07 SQM  
PERCENT: 33.33%  
The information provided is for  
estimation purposes only.  
Play Area Capacity: 80-70  
Critical Fall Height: 2.0488M (10'8")



To protect safe and proper equipment use by children, PlayPower recommends the installation of either a PlayPower safety sign or other appropriate safety signage near each play area's main entry points to inform parents and supervisors of the age appropriateness of the play area and general rules for safe play.

THE PLAY COMPONENTS IDENTIFIED IN THIS PLAN ARE IPEMA CERTIFIED. THE USE AND LAYOUT OF THESE COMPONENTS CONFORM TO THE REQUIREMENTS OF CAN/CSA-Z414-20.

CAN240180A-1A  
GROUND SPACE: N/A  
PROTECTIVE AREA: NOTED

✓ COMPLIES TO CSA  
✓ COMPLIES TO ANNEX H

DESIGNED FOR AGES: 18mo-12 & 5-12  
ADDITIONAL SAFETY LINES FOR ANNUAL INSPECTION: 0  
TYP: 0  
DATE: 07/25/24  
SCALE: 1:100  
GE

NOTES:  
1. No measurement area that additional area adjacent to the playground, including the fence, is to be included in the playground area.  
2. All equipment and play structures shall be installed in accordance with the manufacturer's instructions and the applicable standards.  
3. All equipment and play structures shall be installed on a level surface.  
4. All equipment and play structures shall be installed on a surface that meets the requirements of the applicable standards.  
5. All equipment and play structures shall be installed on a surface that meets the requirements of the applicable standards.  
6. All equipment and play structures shall be installed on a surface that meets the requirements of the applicable standards.  
7. All equipment and play structures shall be installed on a surface that meets the requirements of the applicable standards.  
8. All equipment and play structures shall be installed on a surface that meets the requirements of the applicable standards.

AN ENERGY ABSORBING PROTECTIVE SURFACE IS REQUIRED UNDER & AROUND ALL PLAY SYSTEMS.



CAN240180A - View 1  
Shelter Family Residence (Rev B)  
Toronto, ON



CAN240180A - View 2  
Shelter Family Residence (Rev B)  
Toronto, ON



CAN240180A - View 3  
Shelter Family Residence (Rev B)  
Toronto, ON



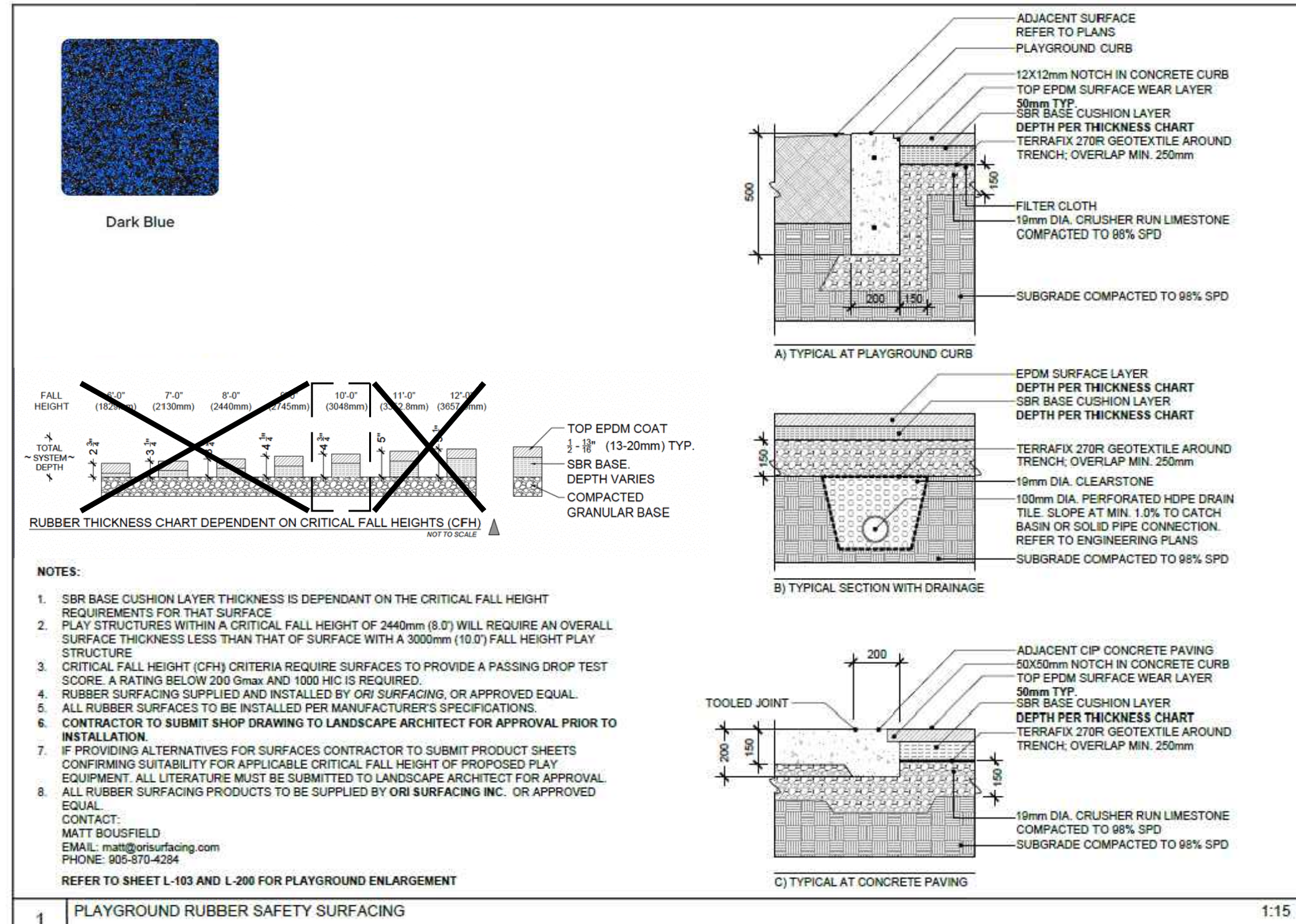
CAN240180A - View 4  
Shelter Family Residence (Rev B)  
Toronto, ON



CAN240180A - View 5  
Shelter Family Residence (Rev B)  
Toronto, ON



1 PLAY EQUIPMENT  
LP-7 N.T.S.



2 POURED-IN-PLACE RUBBERIZED PLAY SURFACE  
LP-7 N.T.S.

3	ISSUED FOR PERMIT/TENDER	MGN	03 SEP-24
2	ISSUED FOR 90% DESIGN REVIEW	MGN	25 JUL-24
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Title:

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**TSSS FAMILY RESIDENCE RENOVATIONS**  
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Date: MARCH 2024 Designer: NB  
Project: AA24-035A Drawn: NB  
Scale: NA Checked: MGN

Drawing No:

**LP-7**

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