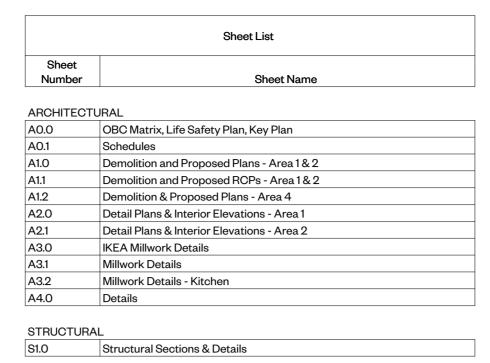
FIRM	NAME:		LOCATION:							
WOR	(SHOP ARCHITEC	TURE	4222 Kingston F							
	sa Mendes St		Scarborough, O	N M1E 2M6						
	to, ON M6P 0A8 6.901.8055 fax 410	6.849.0383								
		0.0 .0.000								
	OF PROJECT:		Project Area:	546 m2 (interion 423 m2 (exterion 423 m2)	•	0000000	DENIGE			
TSSS	Family Residence F	Renovations		420 mz (extern	or upgraues)	OBC REFE				
ITEM		ONTARIO'S	S 2012 BUILDING CODE DAT	A MATRIX PARTS	3&9	References are to Divis for Division A or [
1	PROJECT DESCI				✓ PART 11	☑ PART3	□ PART 9			
					11.1 TO 11.4	1.1.2. [A]	1.1.2 [A] &			
			CHANGE OF USE	ALTERATION			9.10.1.3			
2	MAJOR OCCUPA	NCY(S):	GROUP C (RESIDENTIAL)			3.1.2.1(1)	9.10.2			
	SUBSIDIARY OCC	CUPANCY(S):	GROUP D (OFFICE) + GRO	JP A2 (FAMILY RE	SOURCE CENTRE)					
3	BUILDING AREA (M2)	EXISTING: 1,160m2 Ni		TOTAL no change	1.4.1.2.[A]	1.4.1.2.[A]			
4	BUILDING AREA (M²) EXISTING: 1,160m2 NEW: 0 TOTAL no change GROSS AREA EXISTING: 2,810m2 NEW: 0 TOTAL no change					1.4.1.2.[A]	1.4.1.2.[A]			
5	NUMBER OF STO	REYS	ABOVE GRADE 3		OW GRADE 1	1.4.1.2 [A] & 3.2.1.1.	1.4.1.2 [A]&9.10.4			
6	NUMBER OF STR		7 (BO 1 E GI I) (BE		UNCHANGED)	3.2.2.10 & 3.2.5	9.10.20			
7	BUILDING CLASS	-	3.2.2.44 GROUP C, UP TO 4	•	,	3.2.2.2083	9.10.2.			
•			CONSTRUCTION							
8	SPRINKLER SYST	EM (PROPOSE	ED) ENTIRE BUILDI	NG SELEC	OTED COMPARTMENTS	3.2.2.2083	9.10.8.2.			
	G		□ BASEMENT		U OF ROOF RATING	3.2.1.5				
			□ SELECTED FLO	OOR AREAS		3.2.2.17				
			✓ NOT REQUIRED)		INDEX	INDEX			
9	STANDPIPE REQU	JIRED		✓ YES □ N	10	3.2.9	N/A			
10	FIRE ALARM REQ	UIRED		✓ YES □ N		3.2.4	9.10.18			
11	WATER/SERVICE	SUPPLY IS A	10	3.2.5.7	N/A					
12	HIGH BUILDING			□ YES ☑ N		3.2.6	N/A			
13	CONSTRUCTION		IS COMBUSTIBLE PERMITTED	☑ NON-COM		3.2.2.2083	9.10.6			
	ACTUAL CONSTI	RUCTION	□ COMBUSTIBLE	✓ NON-COM	,					
14	MEZZANINE(S) A	REA M²	NA			3.2.1.1.(3)-(8)	9.10.4.1			
15	OCCUPANT LOAI		□ M.SQ./PERSON	✓ DESIGN C	DE BLUL DING	3.1.17	9.9.1.3			
	OCCUPANCY C LOAD no change PERSONS									
16	BARRIER-FREE D	DESIGN	✓ YES □ N			3.8	9.5.2			
17	HAZARDOUS SU	BSTANCES	□ YES ☑ N	0		3.3.1.2. & 3.3.1.19	9.10.1.3(4)			
18	REQUIRED FIRE		ONTAL ASSEMBLIES FRR (HOURS)		TED DESIGN NO. ESCRIPTION (SG-2)	3.2.2.2083 & 3.2.1.4	9.10.8 9.10.9			
	RESISTANCE RATING	FLOORS 1	IHR (NO CHANGE)							
	(FRR)	ROOF 1	IHR (NO CHANGE)			NO CHANGE				
		MEZZANIN	IE N/A		NA					
		FRR OF	SUPPORTING MEMBERS		TED DESIGN NO. ESCRIPTION (SG-2)	NO CHANGE				
		FLOORS	no change HOURS							
		ROOF	no change HOURS							
		MEZZANIN	E NA HOURS							
19	SPATIAL SEPARA	ATION - CONS	TRUCTION OF EXTERIOR W.	ALLS N	IA .	3.2.3	9.10.14			
20	OTHER-DESCRIE	BE NA								
	2 <u>2</u> 22007112	" "								



Sheet						
Number	Number Sheet Name					
MECHANIC	AL					
M-0.1	Mechanical Details					
M-1.0	Level 1 Floor Plans - Mechanical Overview					
M-1.1	Level 1 Floor Plan - Mechanical Demoltion					
M-1.2	Level 1 New Plumbing					
M-1.3	Level 1 Existing Reflected Ceiling Plan - Mechanical Demolition					
M-1.4	Level 1 New Reflected Ceiling Plan - HVAC					
ELECTRICA	NL					
E0.1	Electrical Legend & Schedules					
E1.0	Electrical Overview					
E1.1	Electrical - Demolition Lighting, Power & Systems					

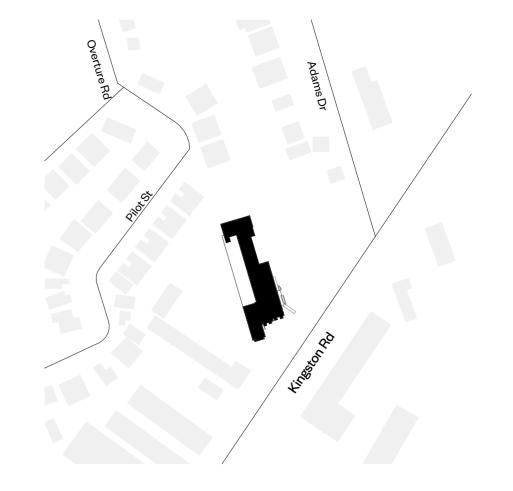
Electrical - Construction Power & Systems

Electrical - Construction Lighting

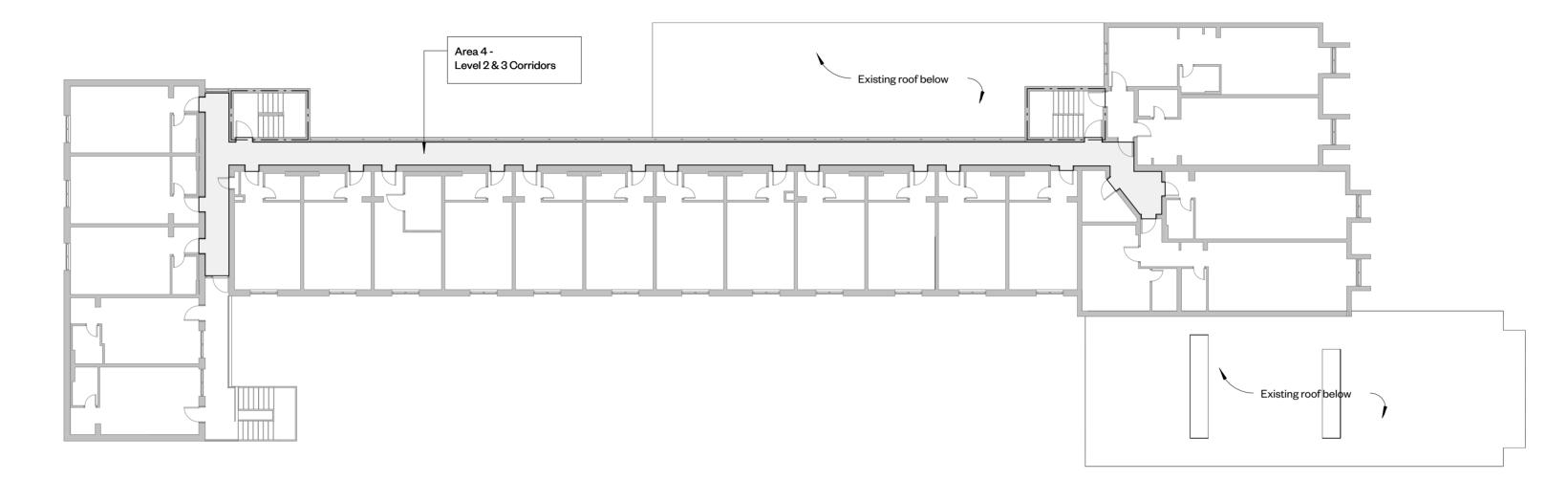
Sheet List

Sheet							
Number	Sheet Name						
LANDSCAP	E						
□TPP-1	Tree Preservation Plan						
□TPP-2	Tree Preservation Details and Notes						
LP-1	Landscape Plan						
LP-1.1 Planting Plan							
LP-2	Landscape Details & Notes						
LP-3	Landscape Details						
LP-4	Landscape Details						
LP-5	Landscape Details						
LP-6 Landscape Details							
LP-7	Landscape Details						

Sheet List



1 Context Plan N.T.S.



General Notes

1. Site visit is required by General Contractor to verify site conditions. Contact Architect for clarification if required.

2. Make good all surfaces/areas/finishes damaged during demolition.

3. All dimensions are to face of partition unless noted otherwise. Angles are 90 degrees unless noted otherwise.

4. Contractor to chalk partition layout on floor for Architect's review prior to construction.

5. Contractor to provide adequate blocking for all millwork, signage, grab bars, equipment, etc mounted to walls/ceilings.

6. Patch, repair and make good all existing partitions, bulkheads, and ceilings within area of work. Prepare existing surfaces as required to receive new finishes.

7. The General Contractor shall be responsible for all mechanical, electrical and plumbing work. The General Contractor shall be responsible for all chases, openings (including scanning/x-ray where required) and patching as required by mechanical, electrical, plumbing and IT cabling trades. Review requirements with these trades.

8. The General Contractor shall be responsible for keeping areas clean (e. access to exit corridors, etc). Remove garbage and clean daily and as required. At the completion of the job, the General Contractor shall remove all protective materials and arrange for a professional cleaning service to clean/wipe down all surfaces, including walls, windows/glazing, sills, blinds and fixtures/fittings.

9. General Contractor is to co-ordinate and co-operate with trades retained directly by Owner as applicable (eg. furniture installers, IT sub-trades etc.)

10. General Contractor shall be responsible for co-ordinating the work between the vendors identifed in item 9 and the Owner's IT network team through cash allowance. IT network team will install all cabling and data requirements identifed in the electrical drawings.

11. The General Contractor shall comply with all applicable Building and Fire Codes.

12. All temporary shoring/support is the responsibility of the Contractor.

13. All partitions shall be patched and repaired as required to accommodate installation of new mechanical/electrical services and installation of wood blocking to support new wall/ceiling mounted equipment – refer to mechanical/electrical drawings for extent/locations.

14. The Architectural drawings should be read in conjunction with Structural, Mechanical, Electrical and Landscape documents. Any discrepancies are to be reported to the Architect prior to execution of related work.

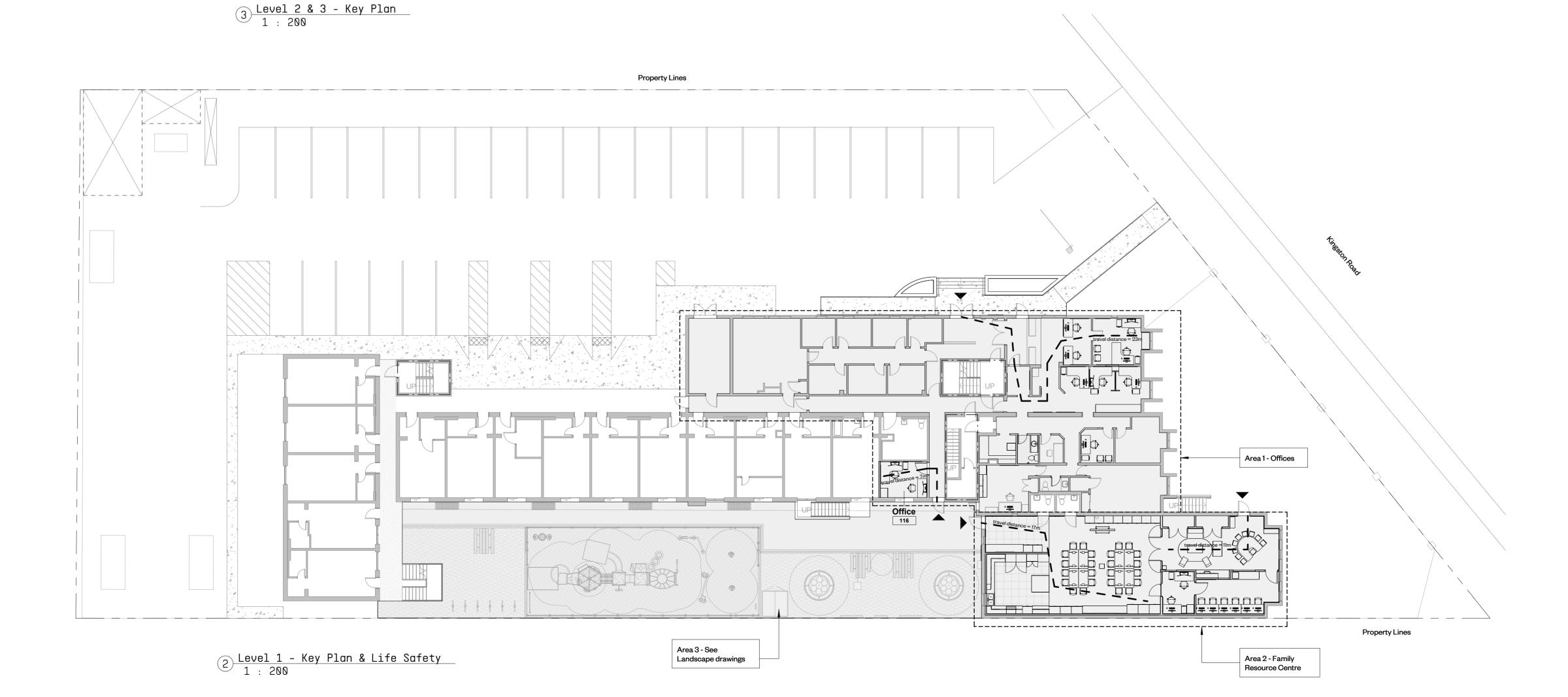
15. Refer to building specific Designated Substances Report and Scope of Work prior to commencing demolition. Follow Report recommendations if materials are encountered which are suspected to contain designated substances.

16. Refer to Structural documents for all Structural components. No Structural design information shall be inferred from the Architectural documents.

17. Refer to Mechanical documents for all Mechanical components. No Mechanical design information shall be inferred from the Architectural documents.

18. Refer to Electrical documents for all Electrical components. No Electrical design information shall be inferred from the Architectural documents.

19. Refer to Landscape documents for all Landscape components. No Landscape design information shall be inferred from the Architectural documents.



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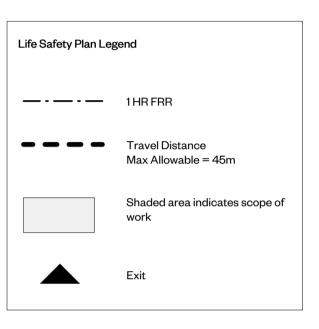
 Rev
 Description
 Date

 1
 30% DD
 24.05.24

 2
 60% DD
 24.06.13

 3
 90% DD
 24.07.25

 4
 Permit/Tender
 24.09.03





WORKSHOP

Workshop Architecture Inc. 6 Sousa Mendes Street Toronto Ontario M6P 0A8

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416.901.8055

info@workshopto.ca

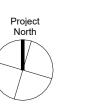
Renovations

TSSS Family Residence

4222 Kingston Road

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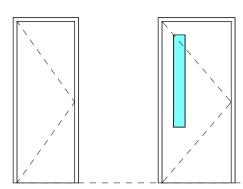
OBC Matrix, Life Safety Plan, Key

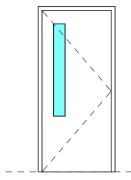


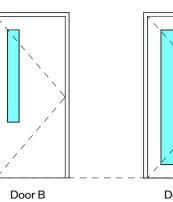
drawing number

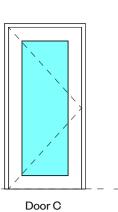
DOOR SCHEDULE

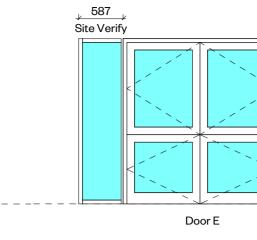
Door A

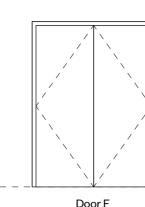




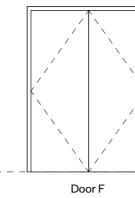








Site Verify



NOTE: All glazing to be tempered NOTE: All HM frames to be 50mm profile NOTE: Glazing film GF at 1219mm AFF NOTE: Provide rollershades at all glazed lites

	Door Schedule										
Room	Door No.	Type Mark	Height	Width	Door Mat'l	Finish	Frame Material	Frame Fin.	Fire Rating	Power Operator	Comments
WC 106	D106	Α	2032	711	НМ	PT	НМ	PT			Acoustically insulated door
WC 113	D113	Α	2032	711	НМ	PT	НМ	PT			Acoustically insulated door
Office 116	D116	В	2032	965	НМ	PT	НМ	PT			Provide rollershade at glazed lite.
Computer 152	D152	С	2137	965	WD	PT	НМ	PT			Provide rollershade at glazed lite.
Office 153	D153	D	2137	965	WD	PT	НМ	PT			Provide rollershade at glazed lite.
Office 153	D153b	С	2137	965	WD	PT	НМ	PT			Provide rollershade at glazed lite.
Toddler Playroom 154	D154	E	2134	1930	WD	PT	НМ	PT			Double dutch door. Provide rollershade at glazed lite.
Storage 155	D155a	F	2134	1524	WD	PT	WD	PT			
Storage 155	D155b	F	2134	1524	WD	PT	WD	PT			
Mud Room 157	ED156	В	2032	991	EXIST	PT	EXIST	EXIST	1HR	Yes	Paint existing door and provide new hardware

BULLETIN BOARD SCHEDULE

Bulletin Board

48"W x 36"H

Quantity

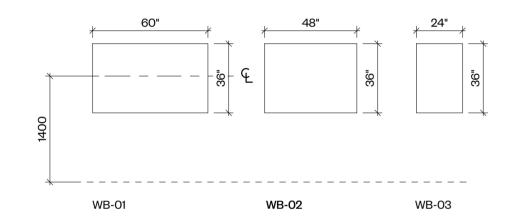
BB-01

Item Tag

BB-01

Door D

MAGNETIC WHITEBOARD SCHEDULE

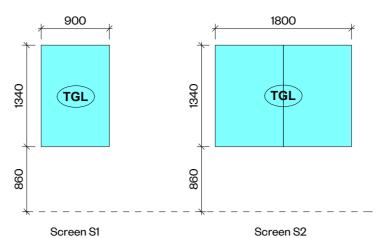


	Magnetic WhiteBoard							
Item Tag	Size	Quantity						
WB-01	60"W x 36"H	15						
WB-02	48"W x 36"H	4						
11/5 00	0.4554	_						

Item Tag	Size	Quantity
WB-01	60"W x 36"H	15
WB-02	48"W x 36"H	4
WB-03	24"W x 36"H	1

Room No.								
Room No. Room Name Wall Finish Floor Finish Base Finish Finish Office Area PT RES RB ACT	WA - Room Finish Schedule							
	Room No.	Room Name	Wall Finish	Floor Finish	Base Finish		Comments	
	101	Office Area	PT	RES	RB	ACT		
Office	101a	IT Closet	PT	RES	RB	ACT		
104	102	Intake Rm	PT	RES	RB	ACT		
105	103	Office	PT	RES	RB	ACT		
106	104	Corridor	PT	RES	RB	ACT		
107	105	Print	PT	RES	RB	ACT		
No	106	W/C	PT/CER	POR	CER	GWB	CER to 1200mm AFF.	
Office	107	Office	PT	RES	RB	ACT		
110	108	Office	PT	RES	RB	ACT		
III Office PT RES RB ACT IIIa Oloset PT RES RB GWB II2 Office PT RES RB ACT II2a IT Closet PT RES RB GWB II2b Oloset PT RES RB GWB II16 Office PT RES RB GWB II7 Ooridor EXIST RES RB ACT II7 Ooridor EXIST RES RB EXIST I20 Vestibule EXIST EXIST EXIST ACT I21 Ooridor EXIST RES RB EXIST I22 Office EXIST RES RB EXIST I23 Office EXIST RES RB EXIST I24 Office EXIST RES RB EXIST I25 Office EXIST RES	109	Office	PT	RES	RB	ACT		
ITIIa Closet PT RES RB GWB 112 Office PT RES RB ACT 112a IT Closet PT RES RB GWB 112b Closet PT RES RB GWB 112b Closet PT RES RB GWB 116 Office PT RES RB GWB 117 Corridor EXIST RES RB ACT 120 Vestibule EXIST EXIST RES RB EXIST 121 Corridor EXIST RES RB EXIST 122 Office EXIST RES RB EXIST 123 Office EXIST RES RB EXIST 124 Office EXIST RES RB EXIST 125 Office EXIST RES RB EXIST 126 Office EXIST <td>110</td> <td>Corridor</td> <td>PT</td> <td>RES</td> <td>RB</td> <td>ACT</td> <td></td>	110	Corridor	PT	RES	RB	ACT		
112	111	Office	PT	RES	RB	ACT		
112a	111a	Closet	PT	RES	RB	GWB		
112b	112	Office	PT	RES	RB	ACT		
116	112a	IT Closet	PT	RES	RB	GWB		
117	112b	Closet	PT	RES	RB	GWB		
120 Vestibule EXIST EXIST EXIST EXIST ACT 121 Corridor EXIST RES RB EXIST 122 Office EXIST RES RB EXIST 123 Office EXIST RES RB EXIST 124 Office EXIST RES RB EXIST 125 Office EXIST RES RB EXIST 126 Office EXIST RES RB EXIST 127 Office EXIST RES RB EXIST 128 Office EXIST RES RB EXIST 129 Meeting EXIST RES RB EXIST 130 Storage EXIST RES RB EXIST 131 Corridor EXIST RES RB EXIST 150 Common Area EXIST/PIFRP RES RB EXIST 151 Kitchen PT/CER POR CER GWB CER to interior elevations for extent of FRP. 152 Computer EXIST/PIFRP RES RB ACT 154 Toddler Playroom EXIST/PT RES RB EXIST 155 Storage EXIST RES RB EXIST 156 Mud Room EXIST/PT/FRP RES RB GWB Refer to interior elevations for extent of FRP.	116	Office	PT	RES	RB	ACT		
121	117	Corridor	EXIST	RES	RB	EXIST		
122	120	Vestibule	EXIST	EXIST	EXIST	ACT		
123	121	Corridor	EXIST	RES	RB	EXIST		
124 Office EXIST RES RB EXIST 125 Office EXIST RES RB EXIST 126 Office EXIST RES RB EXIST 127 Office EXIST RES RB EXIST 128 Office EXIST RES RB EXIST 129 Meeting EXIST RES RB EXIST 130 Storage EXIST RES RB EXIST 131 Corridor EXIST RES RB EXIST 150 Common Area EXIST/PT/FRP RES RB EXIST 151 Kitchen PT/CER POR CER GWB CER to interior elevations for extent of FRP. 152 Computer EXIST/PT/FRP RES RB ACT Refer to interior elevations for extent of FRP. 153 Office PT RES RB ACT RES RB ACT Refer to interior elevations for extent of FRP. 154 Toddler Playroom EXIST/PT/FRP RES RB ACT Refer to interior elevations for extent of FRP. 155a Storage EXIST/PT RES RB GWB 156b Storage EXIST/PT RES RB GWB 156 Mud Room EXIST/PT/FRP/PLAM POR RB GWB Refer to interior elevations for extent of FRP and writeable PLAM.	122	Office	EXIST	RES	RB	EXIST		
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Meeting	127	Office	EXIST	RES	RB	EXIST		
Storage EXIST RES RB EXIST 131 Corridor EXIST RES RB EXIST 150 Common Area EXIST/PT/FRP RES RB EXP/GWB Refer to interior elevations for extent of FRP. 151 Kitchen PT/CER POR CER GWB CER to 1400mm AFF. 152 Computer EXIST/PT/FRP RES RB ACT Refer to interior elevations for extent of FRP. 153 Office PT RES RB ACT 154 Toddler Playroom EXIST/PT/FRP RES RB EXP/GWB Refer to interior elevations for extent of FRP. 155a Storage EXIST/PT RES RB GWB 156b Storage EXIST/PT RES RB GWB 156 Mud Room EXIST/PT/FRP/PLAM POR RB GWB Refer to interior elevations for extent of FRP and writeable PLAM.	128	Office	EXIST	RES	RB	EXIST		
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Kitchen		Common Area	EXIST/PT/FRP	RES	RB	EXP/GWB	Refer to interior elevations for extent of FRP.	
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154 Toddler Playroom EXIST/PT/FRP RES RB EXP/GWB Refer to interior elevations for extent of FRP. 155a Storage EXIST/PT RES RB GWB 155b Storage EXIST/PT RES RB GWB 156 Mud Room EXIST/PT/FRP/PLAM POR RB GWB Refer to interior elevations for extent of FRP and writeable PLAM.								
155a Storage EXIST/PT RES RB GWB 155b Storage EXIST/PT RES RB GWB 156 Mud Room EXIST/PT/FRP/PLAM POR RB GWB Refer to interior elevations for extent of FRP and writeable PLAM.						+	Refer to interior elevations for extent of FRP.	
155b Storage EXIST/PT RES RB GWB 156 Mud Room EXIST/PT/FRP/PLAM POR RB GWB Refer to interior elevations for extent of FRP and writeable PLAM.								
156 Mud Room EXIST/PT/FRP/PLAM POR RB GWB Refer to interior elevations for extent of FRP and writeable PLAM.								
			 				Refer to interior elevations for extent of FRP and writeable PLAM.	
	200,300	Corridor	EXIST	PC		EXIST	Clean existing textured masonry walls at Level 2 & 3 suite corridors.	

INTERIOR SCREEN SCHEDULE



NOTE: All screen glazing to be TGL NOTE: Provide rollershades at all screens

ASSEMBLY SCHEDULE

NOTES:

1. USE WATER RESISTANT DRYWALL IN ALL WET AREAS - REFER TO SPECIFICATION 09 25 00

2. PROVIDE CONTINUOUS PLYWOOD BLOCKING

BEHIND ALL MILLWORK CABINETS, SUSPENDED ITEMS, TELEVISIONS ETC.

ABOVE UNLESS NOTED OTHERWISE. 4. PROVIDE FIRE RESISTANCE RATINGS AS

3. ALL INTERNAL PARTITIONS EXTEND TO U/S DECK

INDICATED ON DRAWINGS

5. PROVIDE ABUSE RESISTANT DRYWALL TO 1220mm AFF IN ALL AREAS

INTERIOR PARTITIONS

PW1 1 LAYER 16mm TYPE X GYPSUM WALLBOARD 92mm STEEL STUDS ACOUSTICAL FIRE BATT INSULATION 1 LAYER 16mm TYPE X GYPSUM WALLBOARD

TO U/S OF SLAB (SEE STRUCTURAL FOR FASTENING DETAIL)



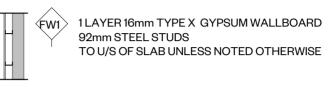
PW2 1LAYER 16mm TYPE X GYPSUM WALLBOARD EXISTING FRAMING ACOUSTICAL FIRE BATT INSULATION TO FILL FRAMING CAVITY 1 LAYER 16mm TYPE X GYPSUM WALLBOARD TO U/S OF SLAB



1 LAYER 16mm TYPE X GYPSUM WALLBOARD 150mm STEEL STUDS ACOUSTICAL FIRE BATT INSULATION 1 LAYER 16mm TYPE X GYPSUM WALLBOARD

TO U/S OF SLAB (SEE STRUCTURAL FOR FASTENING DETAIL)

FURRED PARTITIONS



FW2 1 LAYER 8mm FIBERGLASS REINFORCED PANEL 1 LAYER 13mm CEMENT BOARD SUBSTRATE 3mm THINSET MORTAR ON EXISTING MASONRY WALL

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Description

24.06.13 2 60% DD 24.07.25 3 90% DD 4 Permit/Tender 24.09.03

Materials Legend

ACT	Acoustic Ceiling Tile
ALUM	Aluminum
CER	Ceramic Tile
EXIST	Existing
EXP	Exposed (Painted)
FRP	Fiberglass Reinforced Panel
GF	Glazing Surface Film
GWB	Gypsum Wallboard (Painted)
PC	Polished Concrete
PLAM	Plastic Laminate (Markerboar
POR	Porcelain Tile
PT	Paint Finish
QTZ	Quartz
RB	Rubber Base
RES	Resilient Sheet Flooring
RS	Roller Shade
SO	Solid Polymer Fabrications
TGL	Tempered Glass
WD	Solid Wood



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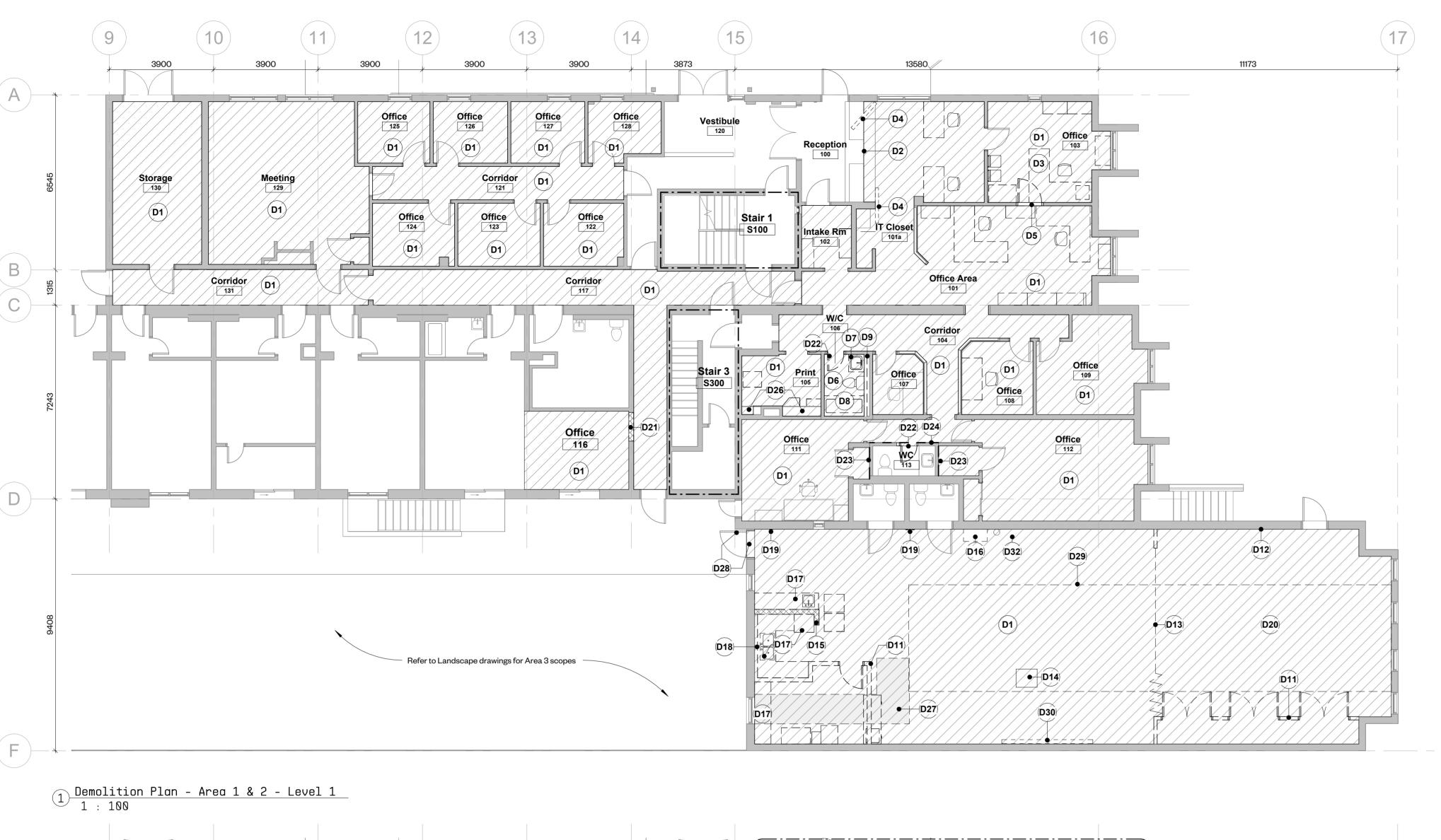
TSSS Family Residence Renovations

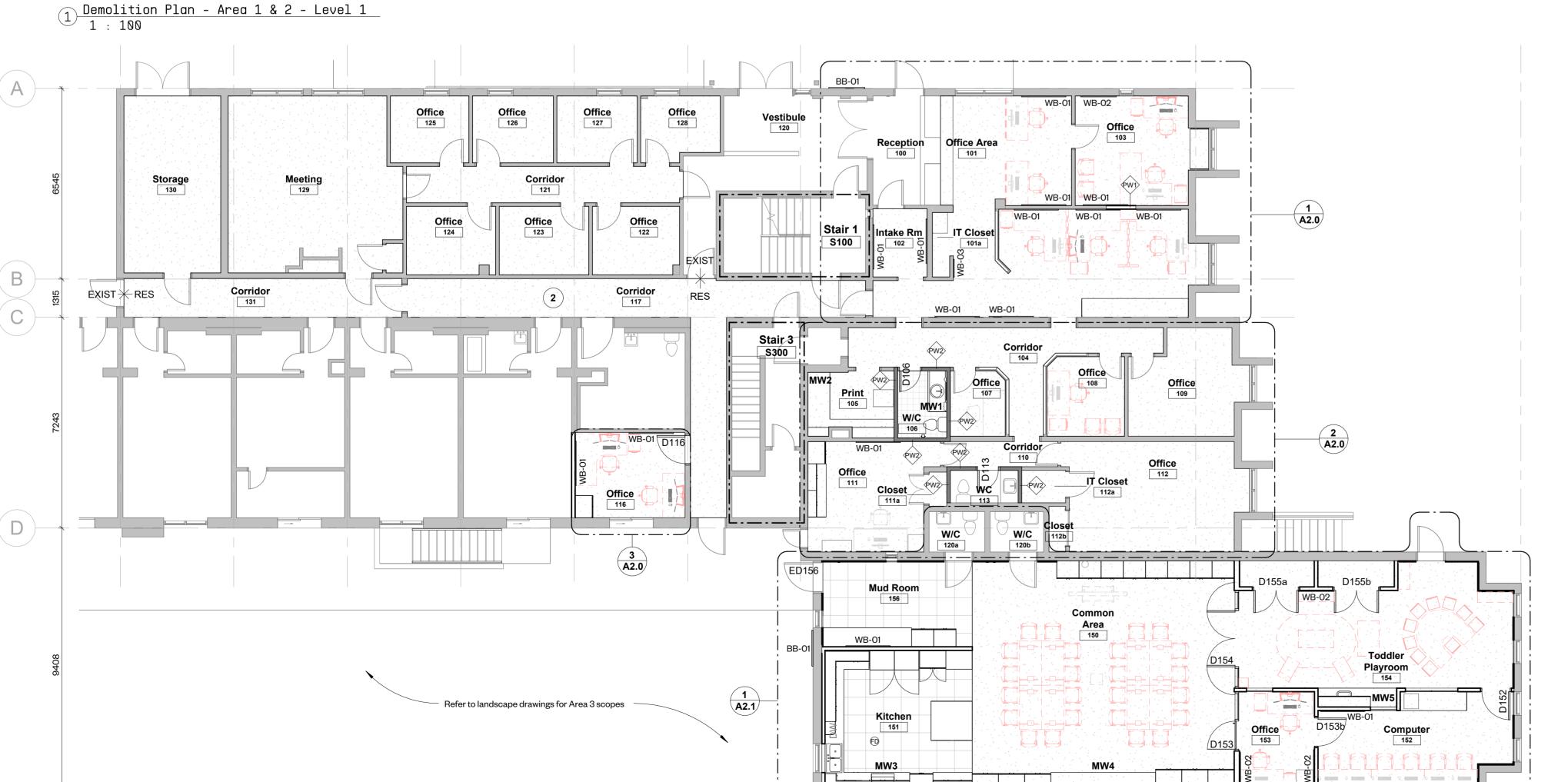
4222 Kingston Road

PROJECT CODE:	SCALE:
2402	As indicated
DATE:	STATUS:
September 2024	Permit/Tender

Schedules

drawing number





Description Hatch indicates approx. extent of existing vinyl sheet flooring and wood baseboard to be demolished. Prepare substrate to receive new finishes. Extent of floor demolition ends at the leg of the accessible reception counter. Protect counter during demolition. Remove existing furniture and protect during demolition. Coordinate with owner to relocate/reinstate. All security equipment to be removed and reinstated to space after floor and ceiling Demolish existing door. Infill wall to suit. Hatch indicates approx. extent of existing tile flooring to be demolished. Prepare substrate to receive new finish. Demolish existing millwork and sink. Make good adjacent surfaces. Demolish existing plumbing fixtures. Make good adjacent surfaces and prepare to D9 Demolish existing furring wall, wall tiles and wall mounted lighting fixtures. Make good adjacent surfaces. Demolish existing partition walls, doors, and frames. Make good adjacent surfaces. D12 Demolish existing perimeter half-height wall protection. Prepare surface to receive new wall panelling. D13 Demolish existing curtain partition. Make good adjacent surfaces. D14 Existing crawl space floor hatch to remain. Prepare to receive new floor finish. D15 Demolish existing non-loadbearing masonry wall. Make good adjacent surfaces.

Demolition Notes

Demolish existing pipe overhead kitchen - see mechanical. Remove and reinstate push buttons in new wall panelling. D20 Diagonal hatch denotes extent of existing carpet flooring to be removed. Prepare substrate to receive new finish. D21 New opening and lintel in existing masonry wall - see structural for temporary shoring

D16 Existing wall mounted IT setup to be relocated. Protect during demolition. Demolish existing millwork and sinks. Make good adjacent surfaces.

requirements. Prepare to receive new door. D22 Demolish door and enlarge door opening. Prepare to receive new acoustic door. D23 Demolish GWB on closet face of wall. Prepare to infill framing cavity with new acoustic

insulation and GWB. D24 Demolish GWB on corridor face of wall. Prepare to infill framing cavity with new acoustic insulation and GWB.

D25 Power wash all textured masonry walls once carpet is removed. D26 Demolish existing lower cabinets. Upper cabinets to remain - protect during demolition.

D27 Grey hatch indicates approximate extent of slab to be demolished for trenching. Contractor to determine full extent as required to accomodate below slab services.

D28 Remove existing door and hardware - salvage for reuse. Demolish tiled finish at threshold and relevel existing concrete to accept new door threshold.

D29 Dotted line shows approximate extent of crawl space - contractor to csite verify extents. D30 Remove existing TV and reinstate in new furred wall.

D31 Contractor to investigate existing leaks and address waterproofing/structural repairs of existing slab through cash allowance. Extent of area identified by grey tone.

D32 Existing roof drain to remain, protect during demolition.

Demolition Legend

Existing CMU partition to

Existing wall partition

be demolished

demolished

be removed

demolished

system to be demolished

Approximate extent of flooring to

Approximate extent of ceiling to be

Existing door leaf and frame to be

New glazed double doors with ability to open 180 degrees and stack against face of

New computer workstations, owner supplied contractor installed. Coordinate with

Dashed line indicates extent of existing textured masonry wall to be power washed.

Grey hatch indicates approximate extent of trenching for new sanitary connections. See

AV equipment by cash allowance shown in grey dashed - contractor to supply and install.

Relocate existing IT cabinet inside Ikea high cabinet - add openings for existing cabling as

Owner's IT network team - see electrical for power & data requirements. IKEA component furniture - refer to interior elevations and A3.0 for details.

Existing roof drain to remain - adjust Ikea high cabinet to accommodate.

New handwash sink in counter - see mechanical.

structural and mechanical.

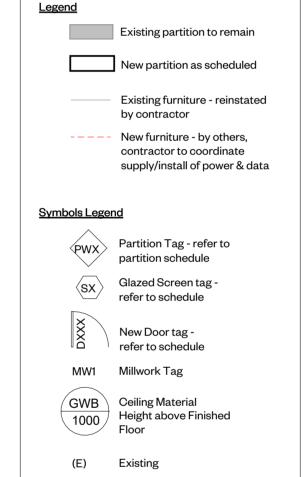
New lintel to support new door opening - see strucutral. Dashed line shows approximate extent of crawl space.

Existing door with new continous hinge and door threshold.

New recessed electrical panel - see electrical.

New exterior bulletin board mounted on exterior wall.

Existing element to be



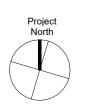
N.I.C. Not in Contract

		Summing.
	General Notes	
te	Description	
	New furniture shown red dashed (N.I.C.), contractor to coordinate locations and provide power and data - see electrical.	WORKSHOP
	Dotted hatch denotes extent of new resilient flooring and base.	MUKV
	All existing furniture and equipment shown in grey to be reinstated in space after new finishes have been completed.	WOTHING!
	New infill wall.	Workshop Architecture Inc.
	Existing wall/ceiling mounted security monitors and monitor cart to be reinstated after new finishes have been completed.	6 Sousa Mendes Street Toronto Ontario M6P 0A8
	New resilient flooring to terminate at reception desk knee space.	416.901.8055
	Existing printer to be reinstated in space after new finishes have been completed.	info@workshopto.ca
	New paint finish along corridor wall.	workshopto.ca
	New sink, toilet and tile floor finish - see mechanical.	

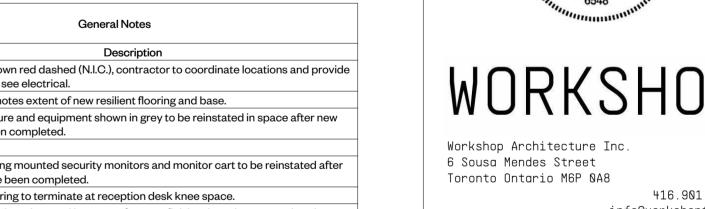
Diagonal hatch denotes extent of new polished concrete flooring at Level 2 and 3 suite Renovations New commercial kitchen with 1 sink, fridge, freezer, dishwasher, induction cooktop, wall oven and under counter microwave - see electrical and mechanical.

4222 Kingston Road

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TSSS Family Residence

DAVID BARTON COLUSSI LICENCE

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Description

24.05.24

24.06.13

24.07.25

24.09.03

1 30% DD

2 60% DD

3 90% DD

4 Permit/Tender

Demolition and Proposed Plans -Area1&2

2 Proposed Plan - Area 1 & 2 - Level 1 1 : 100



Note Description

CD1 Demolish existing ACT, framing and lighting fixtures throughout. Existing security cameras and devices to be removed and reinstated in new ceilin - see electrical.

CD2 Demolish existing GWB, framing and lighting fixtures throughout. Existing security cameras and devices to be removed and reinstated in new ceiling - see electrical.

CD3 Demolish existing surface mounted lighting fixtures on exposed ceiling throughout. Existing security cameras and devices to be removed and reinstated in new ceiling.

CD4 Demolish existing GWB bulkheads and replace vertical diffusers with ceiling mounted - see mechanical.

CD5 Existing skylight to remain - protect during demoliton.

CD6 Existing roof drain to remain - see mechanical.

CD7 Demolish vent piping. New piping to reuse existing roof penetration - see mechanical.

CD8 Contractor to investigate existing leaks and address waterproofing/structural repairs of existing slab through cash allowance. Extent of area identified by grey tone.

CD9 Existing main duct to remain and enclosed in new GWB bulkhead. Modifications to suit new

CD10 New opening through existing exterior masonry wall for exhaust vent - see mechanical.

Materials Legend Acoustic Ceiling Tile ALUM Aluminum CER Ceramic Tile EXIST EXP FRP GF Existing Exposed (Painted) Fiberglass Reinforced Panel Glazing Surface Film GWB Gypsum Wallboard (Painted) PC Polished Concrete PLAM Plastic Laminate (Markerboard) POR Porcelain Tile PT Paint Finish QTZ Quartz RB Rubber Base RES Resilient Sheet Flooring RS Roller Shade SO Solid Polymer Fabrications TGL Tempered Glass WD Solid Wood

	Ceiling Notes
Note	Description
C1	New ACT ceiling and lighting - see electrical and mechanical for full extent of ceiling mounted fixtures.
C2	New GWB ceiling and pot lighting - see electrical and mechanical for full extent of ceiling mounted fixtures.
C3	New GWB bulkhead to house ductwork and cove light - see electrical and mechanical.
C4	Pendant light centered over island - see electrical.
C5	New rollershades at all existing windows (typ).
C6	GWB downstand to frame into at existing skylight and new GWB ceiling - see detail.
C7	Range hood exhaust air vent through new furred wall and existing exterior masonry wall - see mechanical.
C8	Exhaust vent concealed in ceiling space - see mechanical.
C9	Extend new DHW & DCW lines overhead in ceiling space - see mechanical. Conceal riser in new furred wall/millwork. Exact routing to be confirmed on site.
C10	Exhaust vent concealed in ceiling space. Use existing roof penetration - see mechanical.
C11	Pendant lights suspended from exposed ceiling. Exact locations to be determined by contractor on site - see electrical.
C12	Pendant light suspended from GWB ceiling - see electrical.

RCP LEGEND

OF potlight - see electrical

electrical

Transfer grille

– – Cove Light

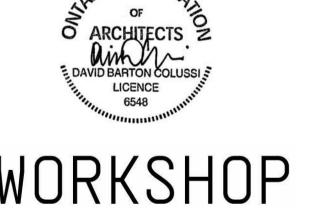
(E) Existing

Supply air diffuser

Fluorescent lighting fixture see

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1	30% DD	24.05.24
2	60% DD	24.06.13
3	90% DD	24.07.25
4	Permit/Tender	24.09.03



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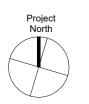
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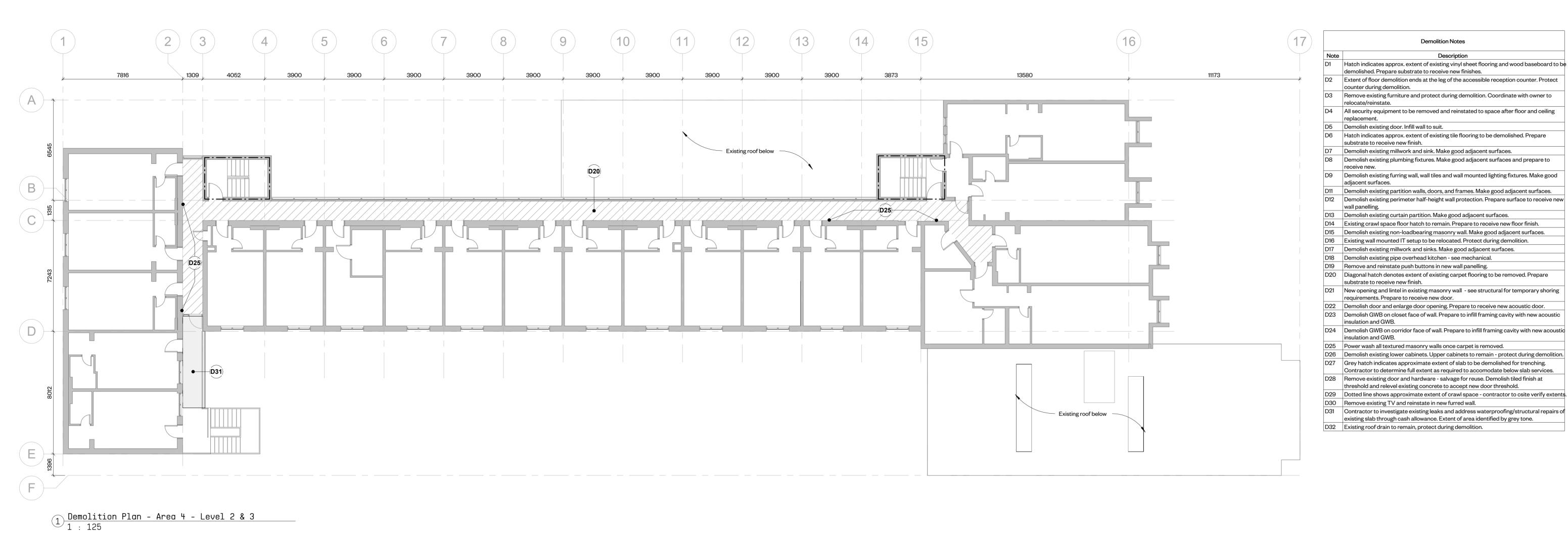
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Demolition and Proposed RCPs - Area 1 & 2



drawing number A1.1

workshopto.ca



D24 Demolish GWB on corridor face of wall. Prepare to infill framing cavity with new acoustic insulation and GWB. D25 Power wash all textured masonry walls once carpet is removed. D26 Demolish existing lower cabinets. Upper cabinets to remain - protect during demolition. D27 Grey hatch indicates approximate extent of slab to be demolished for trenching. Contractor to determine full extent as required to accomodate below slab services. D28 Remove existing door and hardware - salvage for reuse. Demolish tiled finish at threshold and relevel existing concrete to accept new door threshold. Materials Legend D29 Dotted line shows approximate extent of crawl space - contractor to csite verify extents. ACT D30 Remove existing TV and reinstate in new furred wall. ALUM D31 Contractor to investigate existing leaks and address waterproofing/structural repairs of CER existing slab through cash allowance. Extent of area identified by grey tone. **EXIST** D32 Existing roof drain to remain, protect during demolition. EXP

Demolition Notes

demolished. Prepare substrate to receive new finishes.

Demolish existing millwork and sink. Make good adjacent surfaces.

counter during demolition.

substrate to receive new finish.

substrate to receive new finish.

insulation and GWB.

requirements. Prepare to receive new door.

relocate/reinstate.

replacement.

wall panelling.

Description Hatch indicates approx. extent of existing vinyl sheet flooring and wood baseboard to be

Extent of floor demolition ends at the leg of the accessible reception counter. Protect

11173 Stair 1 S100 S200 Corridor • (R3) Existing roof below • R2

Proposed Plan - Area 4 - Level 2 & 3 1 : 125

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Description

Acoustic Ceiling Tile

Exposed (Painted)

Polished Concrete

Resilient Sheet Flooring Roller Shade

Tempered Glass

Solid Polymer Fabrications

Porcelain Tile

Paint Finish

Rubber Base

Solid Wood

Fiberglass Reinforced Panel Glazing Surface Film

Gypsum Wallboard (Painted)

Plastic Laminate (Markerboard)

Aluminum

Existing

Ceramic Tile

24.05.24

24.06.13

24.07.25

24.09.03

1 30% DD

2 60% DD

3 90% DD

FRP

GWB

PC

PLAM

POR

PT

QTZ

RES

SO

TGL

WD

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New recessed electrical panel - see electrical.

structural and mechanical.

power and data - see electrical.

new finishes have been completed.

New paint finish along corridor wall.

finished wall.

New sink, toilet and tile floor finish - see mechanical.

New handwash sink in counter - see mechanical.

AV equipment by cash allowance shown in grey dashed - contractor to supply and install.

Existing door with new continous hinge and door threshold.

New lintel to support new door opening - see strucutral.

Dashed line shows approximate extent of crawl space.

Existing roof drain to remain - adjust Ikea high cabinet to accommodate.

Relocate existing IT cabinet inside lkea high cabinet - add openings for existing cabling as

General Notes

Dotted hatch denotes extent of new resilient flooring and base.

New resilient flooring to terminate at reception desk knee space.

oven and under counter microwave - see electrical and mechanical.

Owner's IT network team - see electrical for power & data requirements. IKEA component furniture - refer to interior elevations and A3.0 for details.

Description New furniture shown red dashed (N.I.C.), contractor to coordinate locations and provide

All existing furniture and equipment shown in grey to be reinstated in space after new

Existing wall/ceiling mounted security monitors and monitor cart to be reinstated after

Existing printer to be reinstated in space after new finishes have been completed.

New glazed double doors with ability to open 180 degrees and stack against face of

Diagonal hatch denotes extent of new polished concrete flooring at Level 2 and 3 suite

New commercial kitchen with 1 sink, fridge, freezer, dishwasher, induction cooktop, wall

New computer workstations, owner supplied contractor installed. Coordinate with

Dashed line indicates extent of existing textured masonry wall to be power washed.

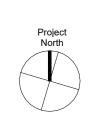
Grey hatch indicates approximate extent of trenching for new sanitary connections. See

New exterior bulletin board mounted on exterior wall.

R3 Existing roof penetration to remain - see mechanical.

	Roof Notes					
Note	Description					
R1	Existing rooftop unit to remain - see mechanical.					
R2	New roof penetration for exhaust vent - see mechanical.					

Demolition & Proposed Plans - Area

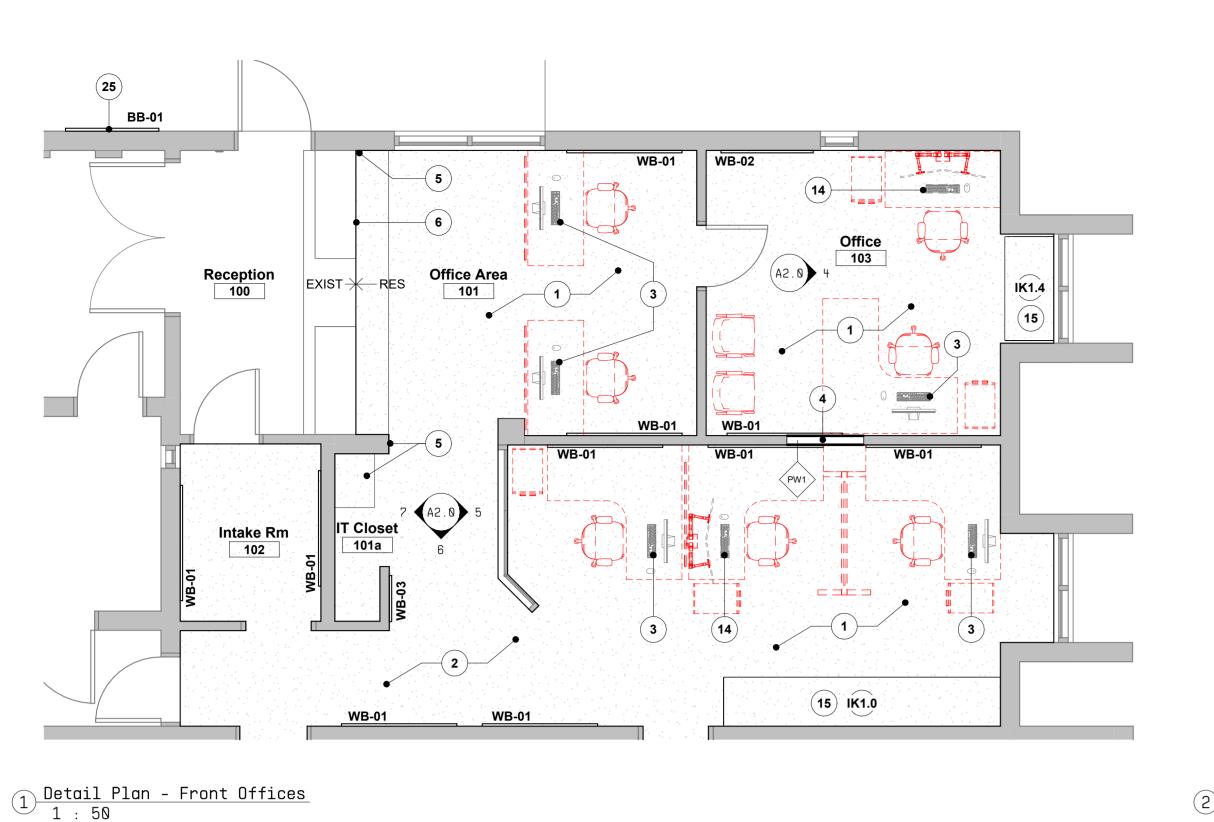


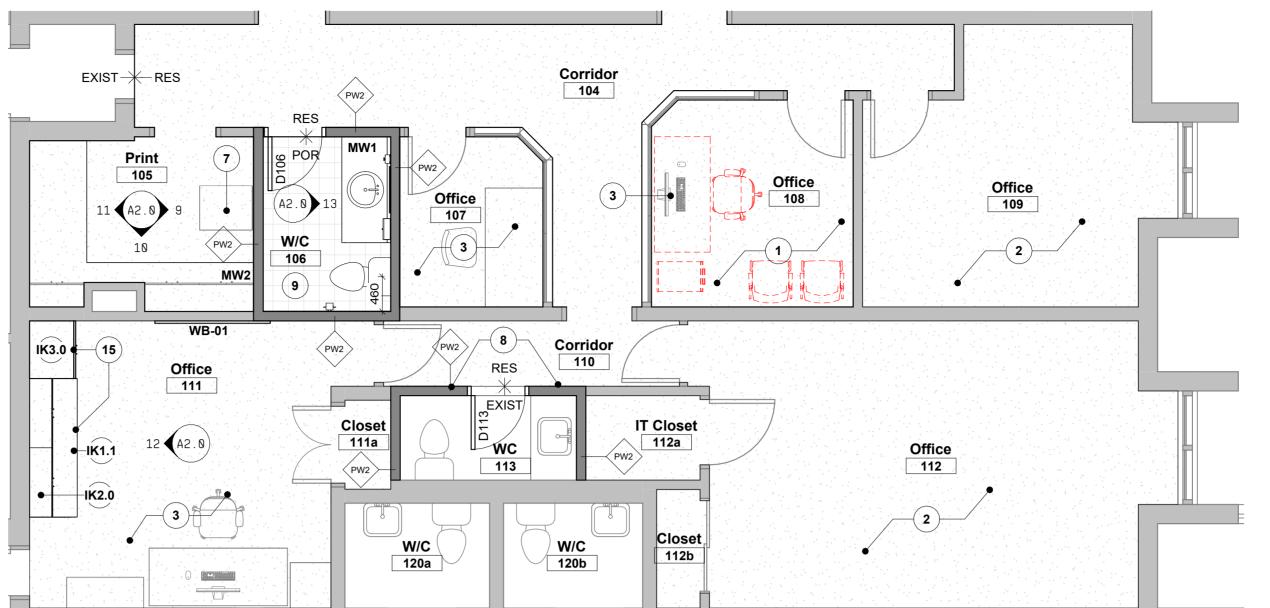
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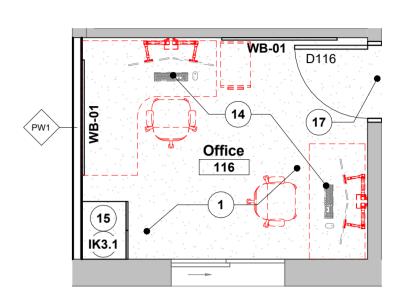
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DATE:

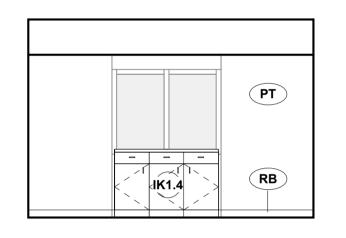


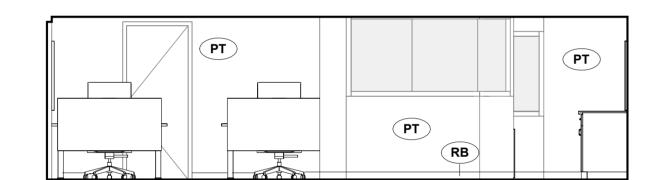


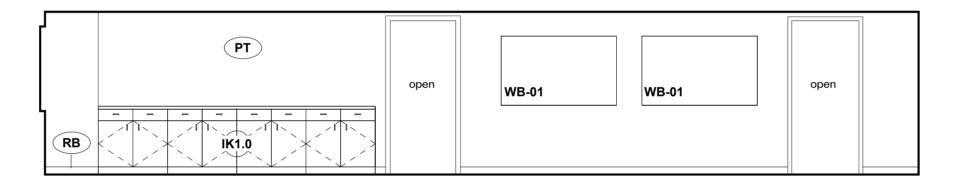
Materials Legend ACT Acoustic Ceiling Tile ALUM Aluminum CER Ceramic Tile **EXIST** Existing EXP Exposed (Painted) FRP Fiberglass Reinforced Panel Glazing Surface Film **GWB** Gypsum Wallboard (Painted) PC Polished Concrete PLAM POR PT Plastic Laminate (Markerboard) Porcelain Tile Paint Finish QTZ RB Rubber Base RES Resilient Sheet Flooring RS Roller Shade SO Solid Polymer Fabrications TGL WD Tempered Glass Solid Wood

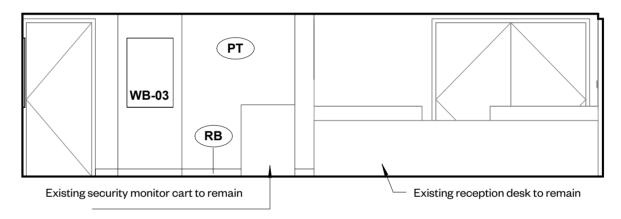


2 Detail Plan - Back Offices 1 : 50 3 Detail Plan - Office 116 1 : 50

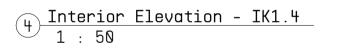


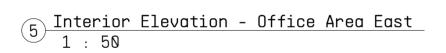




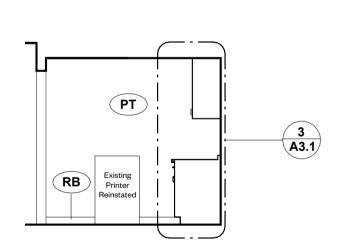


7 Interior Elevation - Office Area West 1 : 50

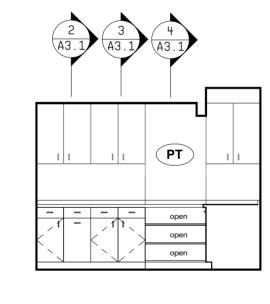




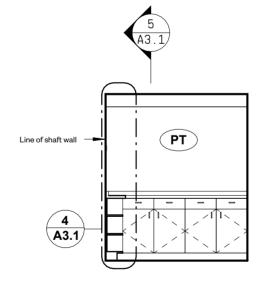
6 Interior Elevation - IK1.0 1 : 50



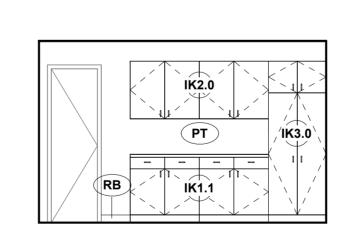
9 <u>Interior Elevation - MW2 East</u> 1 : 50



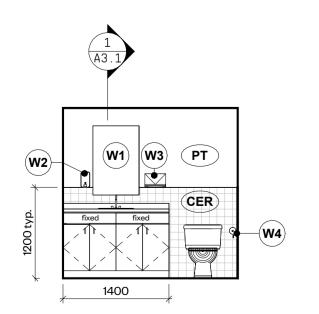
10 Interior Elevation - MW2 South 1 : 50



11 Interior Elevation - MW2 West 1 : 50

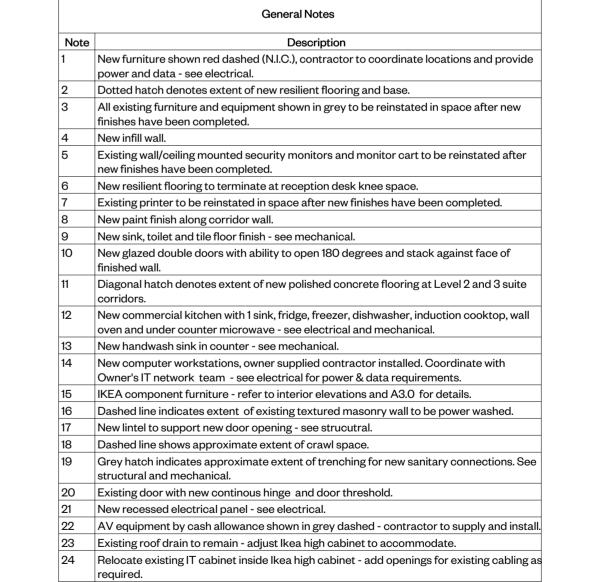


12 Interior Elevation - IK1.1, IK2.0, IK3.0
1 : 50

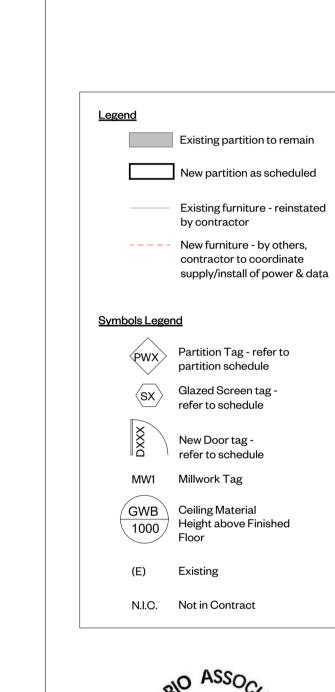


	Washroom Accessories			
Note Description				
W1	600mm x 900mm mirror			
W2 Soap dispenser				
W3 Paper towel dispenser				
W4	N4 Toilet paper dispenser			

13 Interior Elevation - MW1 1 : 50



25 New exterior bulletin board mounted on exterior wall.



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Description

2 60% DD

3 90% DD

4 Permit/Tender

24.05.24 24.06.13

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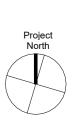
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Detail Plans & Interior Elevations -

Area 1



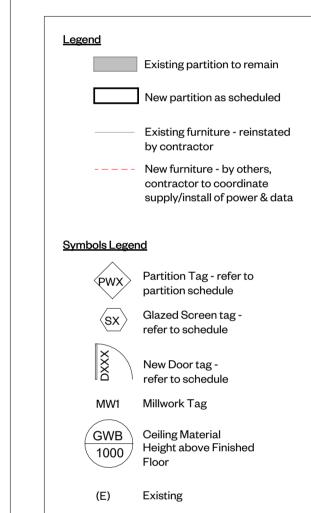
drawing number



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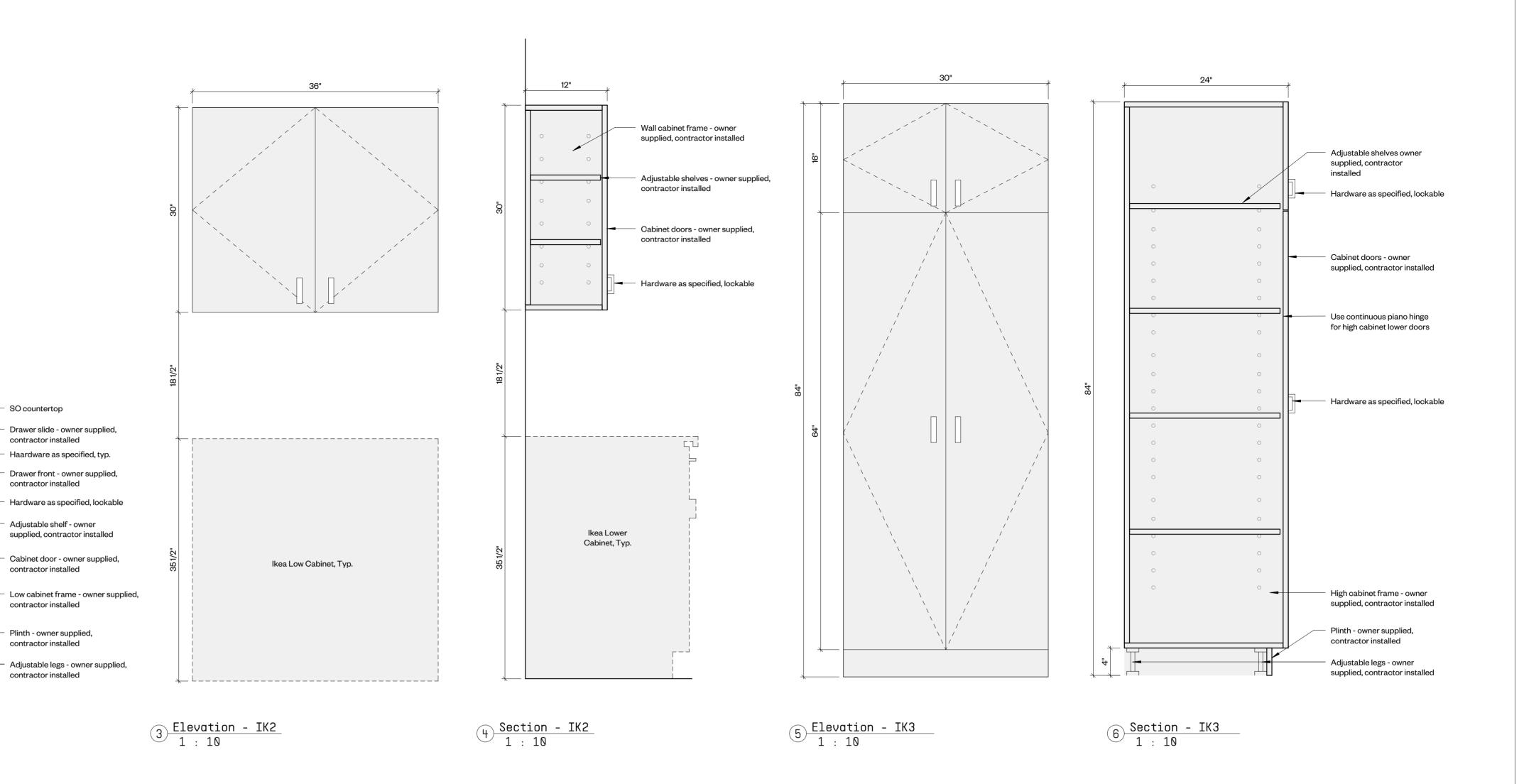
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September 2024	Permit/Tender

Detail Plans & Interior Elevations -Area 2





4	refer to component schedule	1		
Elevation – Ik 1 : 10	<u><1</u>		2 <u>Section - IK1</u> 1 : 10	_

		Ikea Millwork Type Count
Millwork Number	Туре	Quantity
IK1	Low cabinet	16
IK2	Wall cabinet	2
IK3	High cabinet	12

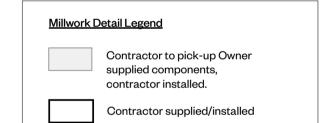
Millwork - Owner Inventory Components														
Component	Room	Base Cabinet (Ikea)	Base Cabinet Qty.	Base Cabinet Finish	Cabinet Door Face (Ikea)	Cabinet Door Face Count	Adjustable Shelves	Adjustable Shelves Qty.	Drawer Face (Ikea)	Drawer Face Count	Drawer Slide (Ikea)	Drawer Slide Count	Door/Drawer Finish	Plinth (Ikea)
K1.0	Office Area 101	AKURUM 36" Base Cabinet 34382310	4	White	ABSTRAKT 18"W x 24"H Face 30069955	2EA	RATIONELL 36"W x 24"D Shelf 4578610	1EA	ABSTRAKT N 50069978	2EA	RATIONELL 18" 20107081	2EA	High-gloss white	Legs: AKURUM 30076319 Face: PERF N Plinth 70038504
(1.1	Office 111	AKURUM 36" Base Cabinet 34382310	2	White	ABSTRAKT 18"W x 24"H Face 30069955	2EA	RATIONELL 36"W x 24"D Shelf 4578610	1EA	ABSTRAKT N 50069978	2EA	RATIONELL 18" 20107081	2EA	High-gloss white	Legs: AKURUM 30076319 Face: PERF N Plinth 70038504
1.2	Mud Room 156	AKURUM 30" Base 54382210	4	White	ABSTRAKT 15"W x 24" Face 60069949	2EA	RATIONELL 30"W x 24"D Shelf 24578510	1EA	ABSTRAKT N 50069978	2EA	RATIONELL 15" 40107080	2EA	High-gloss white	Legs: AKURUM 30076319 Face: PERF N Plinth 70038504
(1.3	Computer 152	AKURUM 30" Base 54382210	3	White	ABSTRAKT 15"W x 24" Face 60069949	2EA	RATIONELL 30"W x 24"D Shelf 24578510	1EA	ABSTRAKT N 50069978	2EA	RATIONELL 15" 40107080	2EA	High-gloss white	Legs: AKURUM 30076319 Face: PERF N Plinth 70038504
1.4	Office 103	AKURUM 18" Base Cabinet 80224548	3	Black-brown	RAMSJO 18"W x 24"H Face 70153278	1EA	-	-	RAMSJO 153314	1EA	RATIONELL 18" 20107081	1EA	Black-brown	Legs: AKURUM 30076319 Face: PERF N Plinth 70038504
2.0	Office 111	AKURUM 36"W x 30"H Wall Cabinet 64383110	2	White	ABSTRAKT 18"W x 30"H Face 10069956	2EA	RATIONELL 36"W x 12"D Shelf 44579410	2EA	-	-	-	-	High-gloss white	-
(3.0	Office 111	AKURUM 30"W x 80"H High Cabinet 24496010	1	White	ABSTRAKT 15"W x 64"H Face 69952 and ABSTRAKT 15"W x 15"H Face 69947	2EA	RATIONELL 30"W x 24"D Shelf 24578510	4EA	-	-	-	-	High-gloss white	Legs: AKURUM 30076319 Face: PERF N Plinth 70038504
3.1	Office 116	AKURUM 30"W x 80"H High Cabinet 24496010	1	White	ABSTRAKT 15"W x 64"H Face 69952 and ABSTRAKT 15"W x 15"H Face 69947	2EA	RATIONELL 30"W x 24"D Shelf 24578510	4EA	-	-	-	-	High-gloss white	Legs: AKURUM 30076319 Face: PERF N Plinth 70038504
3.2	Mud Room 156	AKURUM 30"W x 80"H High Cabinet 24496010	2	White	ABSTRAKT 15"W x 64"H Face 69952 and ABSTRAKT 15"W x 15"H Face 69947	2EA	RATIONELL 30"W x 24"D Shelf 24578510	4EA	-	-	-	-	High-gloss white	Legs: AKURUM 30076319 Face: PERF N Plinth 70038504
3.3	Common Area 150	AKURUM 30"W x 80"H High Cabinet 24496010	8	White	ABSTRAKT 15"W x 64"H Face 69952 and ABSTRAKT 15"W x 15"H Face 69947	2EA	RATIONELL 30"W x 24"D Shelf 24578510	4EA	-	-	-	-	High-gloss white	Legs: AKURUM 30076319 Face: PERF N Plinth 70038504

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Re	v Description	Date
2	60% DD	24.06.13

60% DD	24.06.13
90% DD	24.07.2
Permit/Tender	24.09.03
	90% DD

Materials Legend ACT Acoustic Ceiling Tile ALUM Aluminum CER Ceramic Tile **EXIST** Existing EXP Exposed (Painted) FRP Fiberglass Reinforced Panel GF Glazing Surface Film GWB PC PLAM Gypsum Wallboard (Painted) Polished Concrete Plastic Laminate (Markerboard) POR PT QTZ RB RES RS Porcelain Tile Paint Finish Quartz Rubber Base Resilient Sheet Flooring Roller Shade SO TGL Solid Polymer Fabrications Tempered Glass WD Solid Wood



Ikea Millwork Hardware Legend

#2291180, nickel finish

3M (Peel & Stick)

as noted)

degrees

50072170

Adjustable shelf pins/ferrules: Richelieu

Bumpers (2 each per door): Richelieu

Cam lock for all upper and lower Ikea cabinet doors: National NCL-L-C8060-4GKA413A (keyed alike except

Concealed hinges: Blum Blumotion 110

Continuous hinges: Richelieu Stainless Steel Piano Hinges Product #:

Steel Roller Glides at 150mm drawers: Accuride #2037 Full Extension

Soft close mechanism at all drawers:

Richelieu BP97309910

Cabinet/Drawer Pulls: Richelieu Catalogue 205 #BP205108140, chrome



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416.901.8055 info@workshopto.ca workshopto.ca

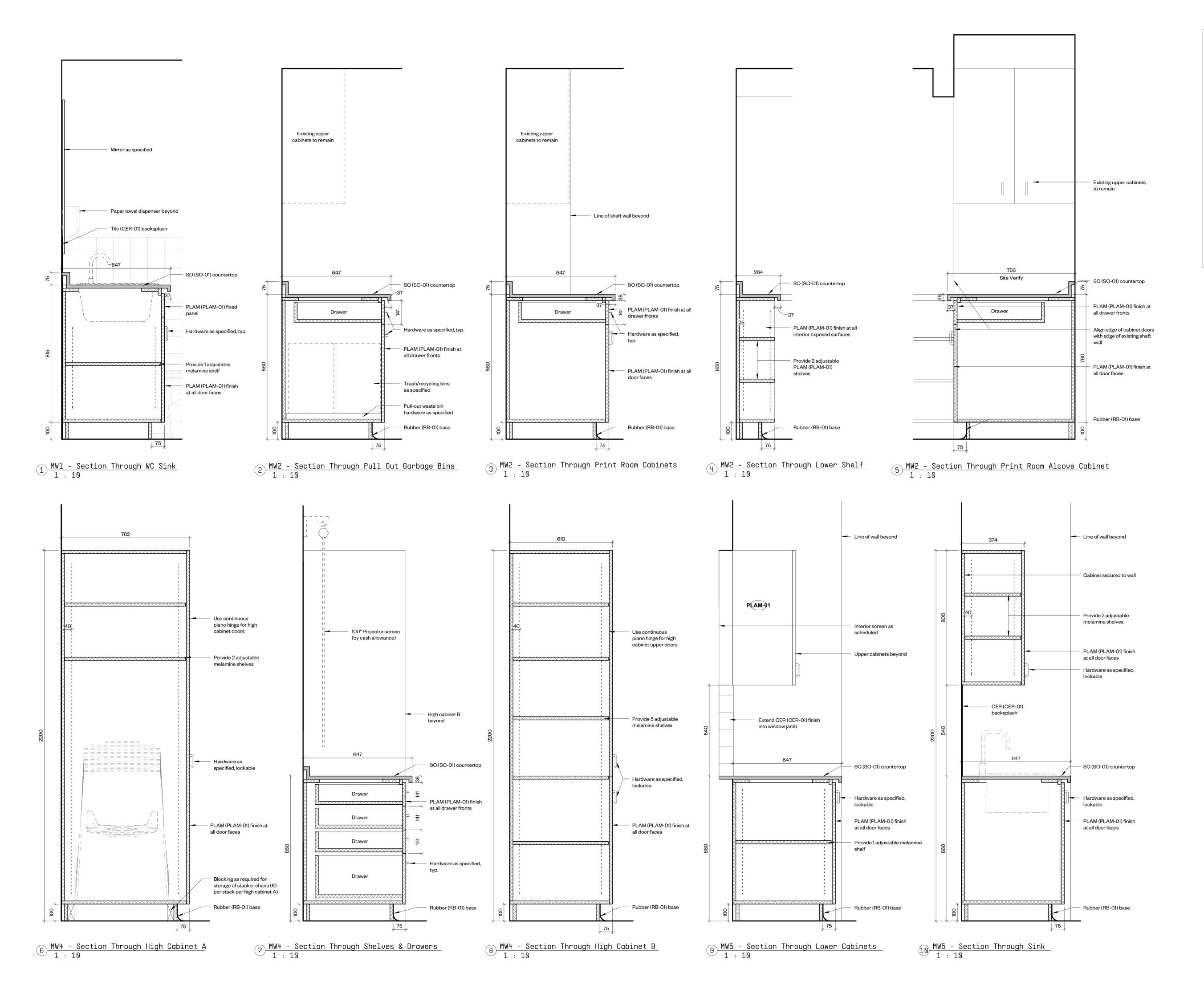
TSSS Family Residence Renovations

4222 Kingston Road

SCALE:
As indicate
STATUS:
Permit/Tende

IKEA Millwork Details

drawing number



Millwork Hardware Legend

3M (Peel & Stick)

Adjustable shelf pins/ferrules: Richelieu #2291180, nickel finish

Bumpers (2 each per door): Richelieu

Cabinet/Drawer Pulls: Richelieu Catalogue 205 #BP205108140, chrome

Cam lock for all upper and lower cabinet doors: National NCL-L-C8060-4GKA413A (keyed alike except

Concealed hinges: Blum Blumotion 110

Continuous hinges: Richelieu Stainless Steel Piano Hinges Product #:

Steel Roller Glides at 150mm drawers:

Accuride #2037 Full Extension Soft close mechanism at all drawers:

Richelieu BP97309910 Pull-out waste bins/frame: Richelieu

Blind corner organizer: Richelieu # 5PSP15SCCR

#WEBKIT1216908

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Description

24.06.13 24.07.25 3 90% DD 4 Permit/Tender 24.09.03

Materials Legend Acoustic Ceiling Tile ALUM Aluminum CER Ceramic Tile **EXIST** EXP Exposed (Painted) FRP Fiberglass Reinforced Panel GF Glazing Surface Film **GWB** Gypsum Wallboard (Painted) Polished Concrete PLAM Plastic Laminate (Markerboard) POR Porcelain Tile Paint Finish QTZ Rubber Base Resilient Sheet Flooring RES Roller Shade Solid Polymer Fabrications Tempered Glass WD Solid Wood



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info@workshopto.ca

TSSS Family Residence Renovations

4222 Kingston Road

PROJECT CODE SCALE: 2402 As indicated DATE: STATUS: Permit/Tender September 2024

Millwork Details

416.901.8055

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24.06.13 24.07.25 3 90% DD

24.09.03

4 Permit/Tender

WD

Materials Legend Acoustic Ceiling Tile ALUM CER Ceramic Tile **EXIST** EXP Exposed (Painted) FRP Fiberglass Reinforced Panel Glazing Surface Film GWB Gypsum Wallboard (Painted) Polished Concrete PLAM Plastic Laminate (Markerboard) POR Porcelain Tile Paint Finish QTZ Quartz Rubber Base RES Resilient Sheet Flooring Solid Polymer Fabrications Tempered Glass

Solid Wood



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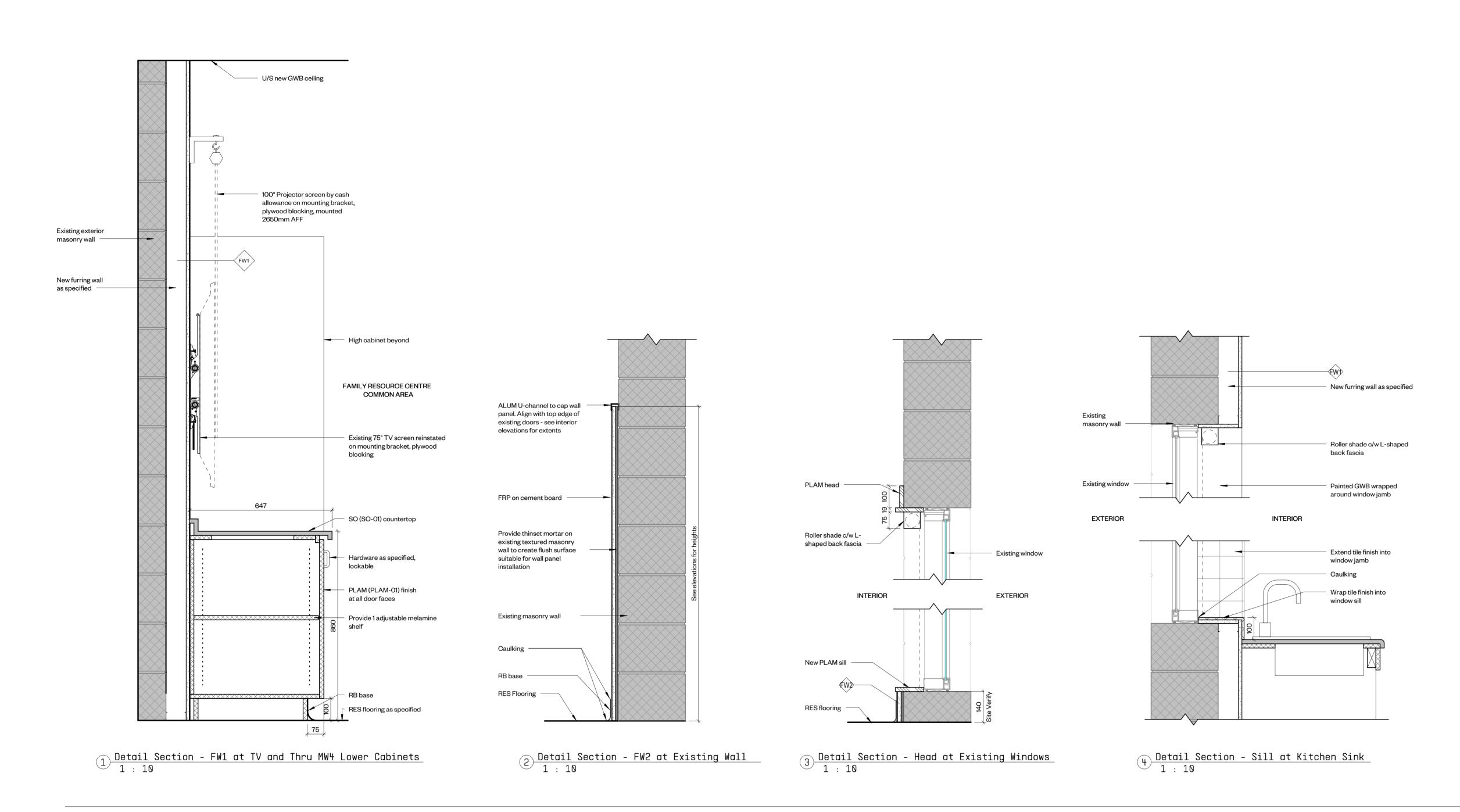
4222 Kingston Road

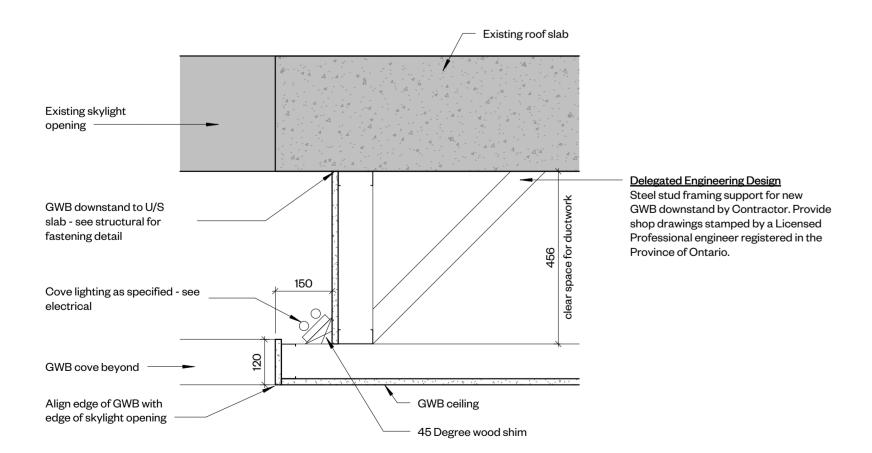
Renovations

PROJECT CODE: SCALE:

2402 As indicated DATE: STATUS: Permit/Tender September 2024

Millwork Details - Kitchen





5 Detail Section - Cove Light at Existing Skylight 1 : 10

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24.06.13 2 60% DD 24.07.25 3 90% DD

24.09.03 4 Permit/Tender



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TSSS Family Residence Renovations

4222 Kingston Road

PROJECT CODE:	SCALE:
2402	1:10
DATE:	STATUS:
September 2024	Permit/Tender

Details

drawing number

DESIGN CRITERIA AND ASSUMPTIONS

DESIGN CODE
 STRUCTURAL SYSTEMS AND ELEMENTS DESCRIBED ON THESE DRAWINGS HAVE BEEN DESIGNED IN
 ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012, WHICH IS BASED ON THE NATIONAL BUILDING CODE
 2010 WITH UPDATES BASED ON THE NATIONAL BUILDING CODE 2015.

GENERAL CONSTRUCTION REQUIREMENTS

- 1. CONTRACTOR IS RESPONSIBLE FOR JOBSITE SAFETY, DESIGN, AND CONSTRUCTION OF ALL TEMPORARY STRUCTURES, FORMWORK, SCAFFOLDING, AND SHORING AS NECESSARY TO COMPLETE THE WORK. CONSTRUCTION SAFETY TO BE IN ACCORDANCE WITH THE CANADA OCCUPATIONAL SAFETY AND HEALTH REGULATIONS UNDER THE CANADA LABOUR CODE, PART 2, AND THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS R.S.O. 1990.
- NOTWITHSTANDING THE PERIODIC FIELD REVIEW BY KONSOLIDATED STRUCTURAL. IT REMAINS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSTRUCT THE WORK IN CONFORMITY WITH THE CONTRACT DOCUMENTS. KONSOLIDATED STRUCTURAL IS NOT RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR OR ANY OTHER PARTIES PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY PARTY TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR REMAINS RESPONSIBLE FOR QUALITY CONTROL OF THE WORK.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL SITE CONDITIONS AND SITE DIMENSIONS AND REPORT ALL AND ANY DISCREPANCIES OR UNSATISFACTORY CONDITIONS WHICH MAY ADVERSELY AFFECT THE PROPER COMPLETION OF THE PROJECT BEFORE PROCEEDING WITH THE STRUCTURAL WORK, SUCH CONDITIONS MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT AND THE ENGINEER
- CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND APPLICABLE MATERIAL CODES FOR THE SPECIFIC CONSTRUCTION MATERIALS USED ON THE PROJECT AS FOLLOWS (BUT NOT LIMITED TO THESE):

4.1. MASONRY

CAN/CSA A371-14 MASONRY CONSTRUCTION FOR BUILDINGS

- 5. UNLESS NOTED OTHERWISE, ALL CODES AND STANDARDS REFERENCED APPLY TO THE MOST RECENT VERSION IN USE AT THE TIME OF ISSUE FOR BUILDING PERMIT.
- COORDINATE ALL DIMENSIONS ON STRUCTURAL DRAWINGS WITH ALL OTHER CONTRACT DRAWINGS AND REPORT ALL AND ANY DISCREPANCIES TO THE STRUCTURAL ENGINEER. DIMENSIONS, ELEVATIONS, AND LOCATIONS OF STRUCTURAL MEMBERS AND SYSTEMS, AS SHOWN ON THESE DRAWINGS, GOVERN THE CONSTRUCTION OF STRUCTURAL WORK UNLESS OTHERWISE REPORTED TO THE STRUCTURAL ENGINEER AND THE ARCHITECT OR OTHER AFFECTED DISCIPLINE.
- REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND LANDSCAPE DRAWINGS FOR FLOOR/ROOF ELEVATIONS, CURBS, UPSTANDS, DRAINAGE SLOPES, RECESSES, OPENINGS THROUGH STRUCTURAL MEMBERS, AND LOCATIONS OF EQUIPMENT AFFECTING STRUCTURAL ELEMENTS.
- 8. REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS AND SPECIFICATIONS FOR WATERPROOFING, DRAINAGE, AND EXTERIOR CLADDING REQUIREMENTS.
- 9. SUBMIT SHOP DRAWINGS FOR CONSULTANT REVIEW AND PRIOR TO FABRICATION/CONSTRUCTION FOR STRUCTURAL ELEMENTS WHICH ARE DESIGNED BY FABRICATORS, ERECTORS, AND STRUCTURAL SUBTRADES FOR WORK INDICATED ON THE STRUCTURAL DRAWINGS. CONSULTANTS' REVIEW OF SHOP DRAWINGS DOES NOT RELIEVE THE SUBMITTING PARTY OF THEIR RESPONSIBILITIES FOR DESIGN, ACCURACY, ERRORS OR OMISSIONS
- PERTAINING TO CONTENT OF SHOP DRAWINGS.

 10. DO NOT CUT OR DRILL OPENINGS THROUGH STRUCTURAL COMPONENTS WITHOUT WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER

CONSTRUCTION REVIEW BY KONSOLIDATED STRUCTURAL

- 1. PERIODIC SITE REVIEWS BY A DESIGNATED REPRESENTATIVE OF KONSOLIDATED STRUCTURAL WILL BE CONDUCTED TO DETERMINE, ON A RATIONAL SAMPLING BASIS, WHETHER THE WORK IS IN GENERAL CONFORMITY WITH THE STRUCTURAL DRAWINGS AND SPECIFICATIONS.
- THESE PERIODIC VISITS TO THE PROJECT SITE DO NOT MAKE KONSOLIDATED STRUCTURAL GUARANTORS OF THE CONTRACTOR'S WORK, NOR SHALL THEY BE INTERPRETED AS FORMING THE CONTRACTOR'S QUALITY CONTROL MANAGEMENT OF THE WORK.
- 3. QUALITY CONTROL, CONSTRUCTION SAFETY, AND CONSTRUCTION PROCEDURES TO ACHIEVE THE COMPLETED STRUCTURE REMAIN THE CONTRACTOR'S RESPONSIBILITY.
- 4. KONSOLIDATED STRUCTURAL WILL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR OR OTHER PARTIES CONSTRUCTING THE STRUCTURAL COMPONENTS OR FOR THE FAILURE OF ANY PARTIES PERFORMING THE STRUCTURAL WORK TO CONSTRUCT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

GENERAL REQUIREMENTS FOR CONCRETE

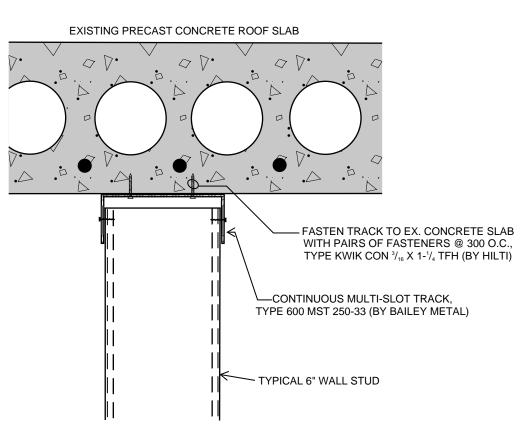
- 1. SPECIFYING AND DESIGN OF ALL CONCRETE MIXES TO BE IN ACCORDANCE WITH CSA A23.1, CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION.
- 2. CURING OF CONCRETE ELEMENTS TO BE IN ACCORDANCE WITH CSA A23.1.
- THE CONCRETE SUPPLIER TO BE CERTIFIED BY THE READY MIX CONCRETE ASSOCIATION OF ONTARIO.
 PORTLAND CEMENT FOR USE IN CONCRETE MIXES TO BE TYPE GU UNLESS OTHERWISE INDICATED. CONCRETE
- DENSITY TO HAVE A UNIT WEIGHT OF 23.0 ± 0.5 kN PER CU. METRE UNLESS NOTED OTHERWISE.

 5. CONCRETE PROPERTIES FOR THE PERFORMANCE-BASED ALTERNATIVE FOR SPECIFYING CONCRETE (REFER TO TABLE 5.05 CSA A 23.4) TO BE AS FOLLOWS:

TABLE 5 OF CSA A23.1) TO BE AS FOLLOWS: 5.1. ALL CONCRETE

28-DAY COMPRESSIVE STRENGTH= 25 MPa EXPOSURE CLASS N

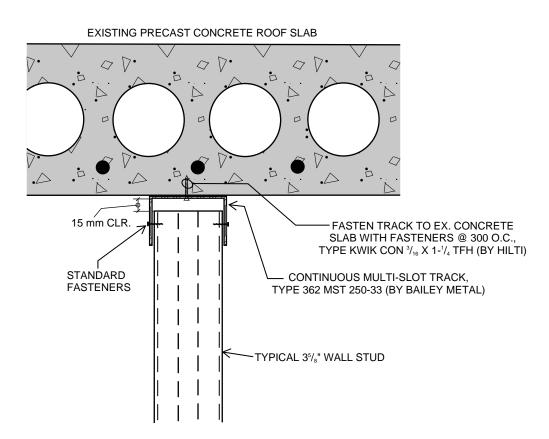
- 6. CALCIUM CHLORIDE IS NOT PERMITTED AS AN ADDITIVE IN ANY MIX WITHOUT THE WRITTEN APPROVAL OF THE
- 7. COLD AND HOT/DRY WEATHER PLACEMENT, FINISHING, AND CURING OF CONCRETE TO BE IN ACCORDANCE WITH CSA A23.1.



AS DETAIL 3/S1.0 EXCEPT AS NOTED

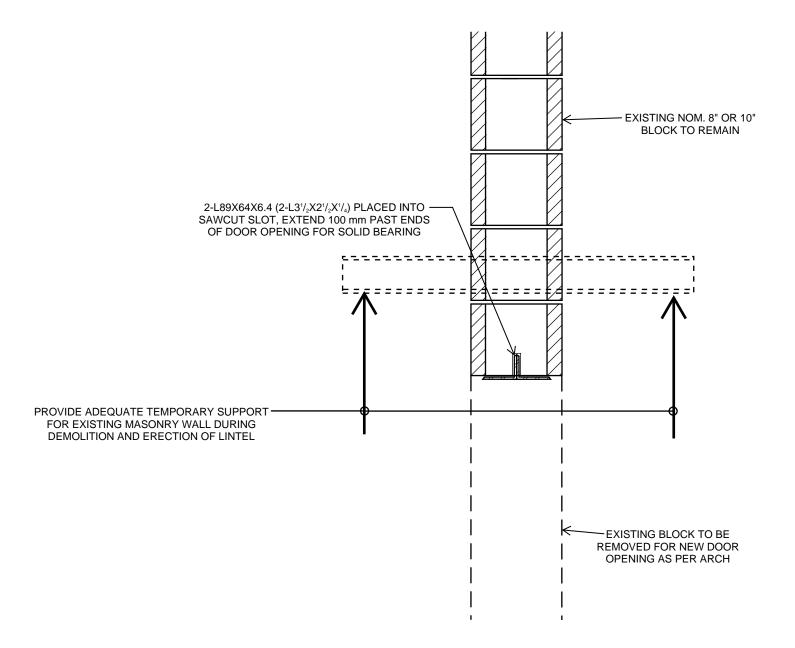
REFER TO ARCH. DRAWINGS FOR LOCATION OF NEW WALLS

3A TYPICAL WALL HEAD FASTENING TO EX. ROOF (6" STUDS)
S1.0 SCALE 1:5



3 TYPICAL WALL HEAD FASTENING TO EX. ROOF (3⁵/₈" STUDS)
SCALE 1:5

REFER TO ARCH. DRAWINGS FOR LOCATION OF NEW WALLS



SCALE 1:10

REINFORCE WITH

WWF 152X152 MW9.1 X MW9.1

INFILL SLAB ON GRADE
(THICKNESS TO MATCH EXIST.)

EXISTING SLAB ON GRADE

EXISTING SLAB ON GRADE

(THICKNESS TO MATCH EXIST.)

REFER TO MECH DRAWINGS

LINTEL BEAM DETAILS OVER DOOR D116

REFER TO ARCH. DRAWINGS FOR LOCATION AND SIZE OF OPENING

1 TYP. SLAB ON GRADE INFILL TO ACCOMMODATE MECHANICAL SERVICES
S1.0 SCALE 1:10

REFER TO MECHANICAL & ARCH. DRAWINGS FOR LOCATIONS AND EXTENT

 01
 24.07.25
 Issued for 90% DD

 02
 24.09.03
 Issued for Permit & Tender

REVISION LOG

NO. DATE DESCRIPTION / NOTES

All dimensions are provided in millimeters unless noted otherwise.

Do not scale drawings.

Contractor shall confirm all dimensions with site conditions prior to commencing work and report any discrepancies to the consultants.

Construction and any temporary works used are to conform with all applicable codes and standards mandated by authorities having jurisdiction

Konsolidated Structural bears no responsibility for the interpretation of these documents by the contractor. Upon written application, the engineer shall provide written or graphical clarification as supplementary information regarding

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the intent of the contract documents.



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PROJECT

TSSS FAMILY RESIDENCE RENOVATIONS

PROJECT ADDRESS

4222 Kingston Road Scarborough ON

DRAWING TITLE

STRUCTURAL SECTIONS & DETAILS

PROJECT NO.

WORKS-24-018

DATE

23/07/2024

SCALE

AS NOTED

DESIGNED BY

PWK

PWK

PWK

DRAWING NO.

S1.0

PLUMBING FIXTURES

TOILET - FLOOR MOUNTED WITH FLOOR OUTLET ∸ AMERICAN STANDARD 211AA174.020 TOILET - CHAMPION® PRO™, TANK TYPE TOILET, FLOOR MOUNTED WITH FLOOR OUTLET, HIGH EFFICIENCY HET 4.8 LPF (1.28 GPF), WHITE FINISH VITREOUS CHINA, EVERCLEAN® ANTIMICROBIAL SURFACE, ELONGATED BOWL, RIGHT HEIGHT® RIM AT 419 MM (16-1/2"), MINIMUM 305 MM (12") ROUGH-IN FROM WALL TO THE CENTER OF WASTE DUTLET, SIPHON JET FLUSH ACTION, MANUAL, POLISHED CHROME LEFT-HAND TRIP LEVER (7381232-200.0020A), TANK WITH AQUAGUARD

COLOUR-MATCHED BOLT CAPS, 483 MM (19") WIDE, 768 MM (30-1/4") FROM FINISHED WALL, 784 MM (30-7/8") HIGH

LINER, WITH TANK COVER LOCKING DEVICE, GRAVITY-ASSISTED FLUSH, CHAMPION® FLUSHING SYSTEM, 102 MM (4") PISTON-ACTION ACCELERATOR IN FLUSH VALVE, METAL SHANK FILL VALVE, TANK COUPLING COMPONENTS, 229 X 203 MM (9" X 8") WATER SURFACE AREA, FULLY-GLAZED 60 MM (2-3/8") TRAPWAY, POWERWASH™ RIM SCRUBS BOWL WITH PRESSURIZED WATER EVERY FLUSH, INCLUDES EZ-INSTALL TOOLS, TRADE EXCLUSIVE TANK, TOILET SEAT NOT INCLUDED,

COMPLIANCES: ASME A112.19.2 COMPLIANT, CSA B45.1 COMPLIANT, EPA WATERSENSE® COMPLIANT. CENTOCO 820STSFE-001 SEAT - FAST-N-LOCK, FOR ELONGATED BOWL, OPEN FRONT, HEAVY-DUTY, FOR COMMERCIAL APPLICATIONS, POLYPROPYLENE, TOILET SEAT, WITH SEAT COVER, PLASTIC COMMERCIAL CHECK HINGES, AND STAINLESS STEEL HINGE PIN, SPECIFIED IN WHITE FINISH, FAST-N-LOCK MOUNTING SYSTEM TAKES THE GUESS WORK OUT WHEN TIGHTENING THE HARDWARE. THE SPECIALLY DESIGNED FASTENERS IN CLICK' WHEN THE APPROPRIATE TORQUE IS REACHED. THE BOLT AND NUT MATERIAL SHALL BE STAINLESS STEEL, DIMENSIONS: 25 MM (1") HIGH, 470 MM (18-1/2") LONG, 362 MM (14-1/4") WIDE MCGUIRE LFBV172 SUPPLY - LEAD FREE, WITH CHROME-PLATED FINISH, CONVERTIBLE QUARTER-TURN SUPPLY, TOILET, TWO 13 MM

(1/2") COPPER SWEAT X 10 MM (3/8") DUTER Ø BRASS BALL VALVE CONNECTION, 2 DEEP BELL FLANGE, CONVERTIBLE LOOSE KEY HANDLE, EXTENSION IS 127 MM (5") LENGTH, 304 MM (12") COPPER FLEXIBLE RISERS.

COUNTERTOP LAVATORY. AMERICAN STANDARD 9495001.020 BASIN - CADET UNIVERSAL ACCESS, DROP-IN LAVATORY, VITREDUS CHINA, WHITE FINISH, SINGLE HOLE CENTERSET, TWO (2) REAR OVERFLOW HOLES, WITH FAUCET LEDGE, OVERALL DIMENSIONS: 533 MM (21") LONG, 445 MM (17-1/2") WIDE, 165 MM (6-1/2") HIGH, BOWL DIMENSIONS: 441 MM (17-3/8") LONG, 279 MM (11") WIDE, 133 MM

(5-1/4") DEEP LAWLER TMM-1070-87500 MIXING VALVE - THE POINT OF USE MECHANICAL MIXING VALVE WITH THERMOSTATIC LIMIT STOP, MECHANICAL MIXING VALVE, LEAD FREE BRASS BODY CONSTRUCTION, THE TEMPERATURE ADJUSTING DIAL IS LOCATED ON THE COLD INLET. TURNING THE DIAL CLOCKWISE WILL LOWER THE DUTLET TEMPERATURE, TURNING THE DIAL COUNTER-CLOCKWISE WILL RAISE THE VALVE CANNOT BE ADJUSTED ABOVE ITS SHUT-OFF TEMPERATURE OF 120F, 1.8 LPM (0.5 GPM) TEMPERED FLOWRATE @ 5 PSI PRESSURE DROP, COMPRESSION FITTING, 84 MM (3-5/16") HIGH, ASSE 1070 APPROVED ASSE LEAD FREE CERTIFIED FOR ASSE 1070 APPLICATIONS, 3/8" MNPT (9.5 MM) INLET, 3/8" MNPT (9.5 MM) DUTLET, IINTEGRAL RUBBER DUCK-BILL BACKFLOW CHECKS, HIGH TEMPERATURE LIMIT STOP, 125 PSI MAX SUPPLY PRESSURE, AUTOMATICALLY SHUTS DOWN FLOW OF WATER WHEN TEMPERATURE REACHES 120 °F, 5 PSI MINIMUM OPERATING PRESSURE, 140 °F MAX, 118 °F ±3 °F, PROTECTS AGAINST SCALDING AND CHILLING, 8 LPM (2.1 GPM) FLOWRATE @ 45 PSI MCGUIRE 155A FIXTURE DRAIN - STRAIGHT DRAIN, CAST BRASS, CHROME-PLATED FINISH, OPEN GRID PO PLUG, 7/32" (5.5 MM) 0

HOLES SIZE, 17 GAUGE 32 MM (1-1/4") Ø TAILPIECE DIAMETER, 17 GAUGE 152 MM (6") LONG, BRASS LOCKNUT, HEAVY RUBBER BASIN WASHER FIBER FRICTION WASHER, ASME A112.18.2 CSA B125.2, CSA COMPLIANT MCGUIRE LFH165LKN3 SUPPLY - LEAD FREE, SHALL BE CONSTRUCTED FROM CAST BRASS VALVE, WITH CHROME-PLATED FINISH, LAVATORY SUPPLY, 10 MM (3/8") I.P.S. INLET, 10 MM (3/8") O.D OUTLET, CONVERTIBLE LOOSE KEY HANDLE, N3 - 76 MM (3")

MCGUIRE 8872C P-TRAP - HEAVY CAST BRASS, ADJUSTABLE P-TRAP, 292 MM (11-1/2") DISTANCE, WITH CLEANDUT PLUG, STEEL SHALLOW FLANGE, NEOPRENE GASKET, SLIPNUTS, 17 GAUGE SEAMLESS TUBULAR WALL BEND, ASME A112.18.2 CSA B125.2, CSA

COUNTER MOUNTED, DROP-IN, COMMERCIAL SINKS FRANKE COMMERCIAL - SINGLE OR DOUBLE COMPARTMENT SINK AS LISTED BELOW, SINGLE HOLE CENTERSET, COMMERCIAL SINKS, , CONSTRUCTED FROM 18 GAUGE TYPE 304 STAINLESS STEEL, POLISHED TO #4 SATIN FINISH, FACTORY INSTALLED EZ TORQUE™ FASTENERS, FACTORY APPLIED RIM SEAL, CENTER BACK WASTE LOCATION, 38 MM (1-1/2") (DN38) BRASS TAILPIECE, 89 MM (3-1/2") CRUMB CUP STRAINER, WASTE FITTING INCLUDED, UNDERCOATED TO REDUCE CONDENSATION AND

LAWLER TMM-1070-87500 MIXING VALVE - THE PDINT OF USE MECHANICAL MIXING VALVE WITH THERMOSTATIC LIMIT STOP, MECHANICAL MIXING VALVE, LEAD FREE BRASS BODY CONSTRUCTION, THE TEMPERATURE ADJUSTING DIAL IS LOCATED ON THE COLD INLET. TURNING THE DIAL CLOCKWISE WILL LOWER THE DUTLET TEMPERATURE, TURNING THE DIAL COUNTER-CLOCKWISE WILL RAISE THE VALVE CANNOT BE ADJUSTED ABOVE ITS SHUT-OFF TEMPERATURE OF 120F, 1.8 LPM (0.5 GPM) TEMPERED FLOWRATE @ 5 PSI PRESSURE DROP, COMPRESSION FITTING, 84 MM (3-5/16") HIGH, ASSE 1070 APPROVED ASSE LEAD FREE CERTIFIED FOR ASSE 1070 APPLICATIONS, 3/8" MNPT (9.5 MM) INLET, 3/8" MNPT (9.5 MM) DUTLET, IINTEGRAL RUBBER DUCK-BILL BACKFLOW CHECKS, HIGH TEMPERATURE LIMIT STOP, 125 PSI MAX SUPPLY PRESSURE, AUTOMATICALLY SHUTS DOWN FLOW OF WATER WHEN TEMPERATURE REACHES 120 °F, 5 PSI MINIMUM OPERATING PRESSURE, 140 °F MAX, 118 °F ±3 °F, PROTECTS AGAINST SCALDING AND CHILLING, 8 LPM (2.1 GPM) FLOWRATE @ 45 PSI MCGUIRE LFCK165LK SUPPLY - ICV DEFENDER, LEAD FREE, WITH CHROME-PLATED FINISH, INTEGRAL CHECK SUPPLY KIT, FAUCET, PIPE TO COMPRESSION CONNECTION, 3/8" I.P.S X 3/8" D.D CONNECTION, SHALLOW WALL FLANGE, LOOSE KEY HANDLE, FULL TURN BRASS STEM, 305 MM (12") CHROME-PLATED RISERS, PURPLE EPDM PEROXIDE CURED WASHERS, CODES AND COMPLIANCES: NSF/ANSI

MCGUIRE 8912CB P-TRAP - HEAVY CAST BRASS, ADJUSTABLE P-TRAP, 292 MM (11-1/2") LENGTH, WITH CLEANDUT PLUG, STEEL BOX FLANGE, NEOPRENE GASKET, SEAMLESS TUBULAR BRASS BEND, SLIPNUTS.

 $oxdim \mathsf{PROVIDE}$ ALL REQUIRED MATERIALS AND LABOUR TO INSTALL DISHWASHER PROVIDED BY OWNER.

RESUNANCE, CODES AND COMPLIANCES: ASME A112.19.3 COMPLIANT, CSA B45.4 COMPLIANT.

FLOOR DRAIN - FOR FINISHED AREA APPLICATION - MEDIUM DUTY (MD)WATTS FD-100-C-A-6-7 FLOOR DRAIN - EPOXY COATED CAST IRON, FLOOR DRAIN, ADJUSTABLE ROUND 6 MM (1/4") THICK TOP, ANCHOR FLANGE, TRAP PRIMER TAPPING, REVERSIBLE MEMBRANE LAMP, COLLAR WITH PRIMARY AND SECONDARY WEEPHOLES, 52 CM (8 SQ. IN.) FREE AREA (FOR 127 MM (5″) DIAMETER STRAINER), 58 CM° (9 SQ. IN.) FREE AREA (FOR 152 MM (6") DIAMETER STRAINER), 77 CM° (12 SQ. IN.) FREE AREA (FOR 178 MM (7") DIAMETER STRAINER), 116 CM° (18 SQ. IN.) FREE AREA (FOR 203 MM (8") DIAMETER STRAINER), VANDAL-PROOF, TRAP PRIMER TAPPING, CERTIFICATION AND COMPLIANCES INCLUDE: ASME A112.21.1M COMPLIANT.

Project Name: Project No.:

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2SSW - TWO SPEED SINGLE WINDING VFD - VARIABLE FREQUENCY DRIVE

INT - INTEGRAL SUPPLIED WITH UNIT

TYPE 4 FOR USE WHERE THE ENCLOSURE MAY BE SUBJECT TO DIRECT

• TYPE 4 FOR USE WHERE THE ENCLOSURE MAY BE SUBJECT TO DIRECT STREAMS OF WATER

• TYPE 5 FOR USE INDOORS WHERE THE ATMOSPHERE MAY CONTAIN SETTLING NON-HAZARDOUS DUST, LINT, FIBRES, OR FLYINGS

TYPE 5 FOR USE INDOORS WHERE THE ATMOSPHERE MAY CONTAIN SETTLING NON-HAZARDOUS DUST, LINT, FIBRES,OR FLYINGS

ltem	Code	Location(s)	Manufacturer	Model	Notes
Sink	L-1	WC	American Standard	9495001.02	
Faucet	S-1	Kitchenette and WC	Delta	560LF-PP-LPU	Chrome finish
Toilet	WC-1	WC	American Standard	211AA174.020	Floor mounted
Floor Drain	FD-1	Kitchen	Watts	FD-100-C-A-6-7	
Double Compartment Sink	KS-1	Kitchen	Franke Commerical	LBD6408P-1-1	
Single Compartment Sink	KS-2	Kitchenette	Franke Commerical	LBS4008P-1-1	
Kitchen Faucet	S-2	Kitchen	Etre	D35404300.100	Polished chrome finish

GRILLES AND DIFFUSERS

SCDA - ADJUSTABLE PATTERN SQUARE CONE DIFFUSER (24''X24'')
FURNISH AND INSTALL PRICE MODEL SCDA STEEL CEILING DIFFUSERS OF SIZES AND MOUNTING TYPES DESIGNATED BY THE PLANS AND AIR DISTRIBUTION SCHEDULE, DIFFUSERS SHALL CONSIST OF A PRECISION FORMED BACK CONE OF ONE-PIECE CONSTRUCTION THAT INCORPORATES A ROUND INLET COLLAR OF SUFFICIENT LENGTH FOR CONNECTING RIGID OR FLEXIBLE DUCT AND DUTER FRAME WHICH IS RECESSED FROM THE CEILING PLANE TO ALLOW FOR FIELD ADJUSTMENT OF THE AIR FLOW DISCHARGE FROM FULLY HORIZONTAL TO FULLY VERTICAL. THE DIFFUSER SHALL INTEGRATE WITH ALL DUCT SIZES SHOWN ON THE PLANS WITHOUT AFFECTING THE FACE SIZE AND APPEARANCE OF THE UNIT AN INNER CONE ASSEMBLY SHALL CONSIST OF 3 CONES WHICH ASSURE OPTIMAL VAV AIR DIFFUSION PERFORMANCE. THE INNER CONE ASSEMBLY SHALL BE COMPLETELY REMOVABLE FROM THE DIFFUSER FACE TO ALLOW FOR FULL ACCESS TO ANY DAMPERS OR OTHER DUCT WORK COMPONENTS LOCATED NEAR THE DIFFUSER NECK, NON-PROTRUSIVE AIR FLOW DIRECTIONAL TABS SHALL BE PROVIDED ON THE BACK OF THE INNER CONES WHICH MAY BE POSITIONED FOR EITHER HORIZONTAL OR VERTICAL DISCHARGE, FINISH SHALL BE B12 WHITE POWDER COAT. PAINT FINISH SHALL PASS 500 HOURS OF SALT SPRAY EXPOSURE WITH NO MEASURABLE CREEP IN ACCORDANCE WITH ASTM D1654 AND 1000 HOURS WITH NO RUSTING OR BLISTERING AS PER ASTM D610 AND ASTM

SCDA2 - SAME AS SCDA BUT 12" X12"

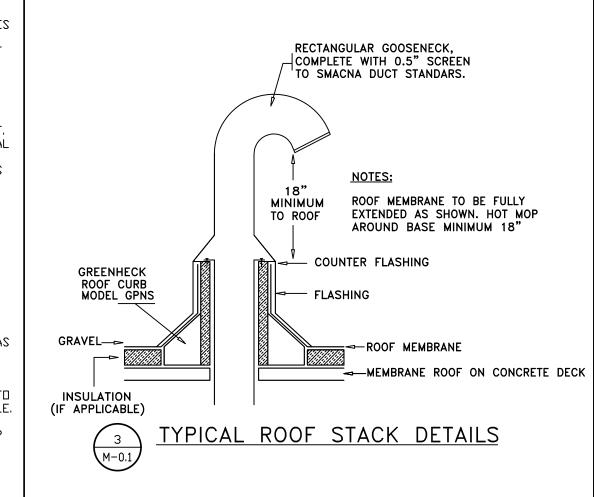
FURNISH AND INSTALL PRICE MODEL 610 OR 620 ALUMINUM SUPPLY GRILLES AS INDICATED OF THE SIZES AND MOUNTING TYPES SHOWN ON THE PLANS. 610 GRILLES SHALL BE SINGLE DEFLECTION. 620 GRILLES SHALL BE DOUBLE DEFLECTION TYPE WITH TWO SETS OF FULLY ADJUSTABLE DEFLECTION BLADES SPACED 19 MM ON CENTER. THE FRONT SET OF BLADES SHALL RUN PARALLEL TO THE LONG DIMENSION OF THE GRILLE, AS INDICATED IN THE OUTLET SCHEDULE. THE GRILLE SHALL BE FINISHED IN B12 WHITE POWDER COAT. PAINT FINISH SHALL PASS 500 HOURS OF SALT SPRAY EXPOSURE WITH NO MEASURABLE CREEP IN ACCORDANCE WITH ASTM D1654 AND 1000 HOURS WITH NO RUSTING OR BLISTERING AS PER ASTM D610 AND ASTM D714

80 - RETURN GRILLE EGGCRATE FACE FURNISH AND INSTALL PRICE MODEL 80 RETURN GRILLES OF THE SIZES AND MOUNTING TYPES INDICATED ON THE PLANS AND OUTLET SCHEDULE. GRILLES SHALL BE OF ALUMINUM CONSTRUCTION. CONSISTING OF ALUMINUM 13 X 13 X 13 GRID (EGGCRATE CORE) AND AN EXTRUDED ALUMINUM BORDER, THE GRILLE SHALL BE FINISHED IN B12 WHITE POWDER COAT. PAINT FINISH SHALL PASS 500 HDURS OF SALT SPRAY EXPOSURE WITH NO MEASURABLE CREEP IN ACCORDANCE WITH ASTM D1654 AND 1000 HOURS WITH NO RUSTING OR BLISTERING AS PER ASTM D610 AND ASTM D714. PROVIDE ONE 24''X12'' RETURN GRILLE FOR EACH ROOM IN THE OFFICE.

<u>80D - EXHAUST REGISTER</u> FURNISH AND INSTALL PRICE MODEL 80D EXHAUST REGISTERS OF THE SIZES AND MOUNTING TYPES INDICATED ON THE PLANS FOR ALL WASHROOMS. REGISTERS SHALL BE OF ALUMINUM CONSTRUCTION, CONSISTING OF ALUMINUM 13 X 13 X 13 GRID (EGGCRATE CORE) AND AN EXTRUDED ALUMINUM BORDER. THE INTEGRAL VOLUME CONTROL DAMPER SHALL BE OF THE OPPOSED BLADE TYPE AND SHALL BE CONSTRUCTED OF HEAVY GAUGE COLD ROLLED STEEL. THE DAMPER SHALL BE OPERABLE FROM THE REGISTER FACE. THE DAMPER SHALL BE COATED STEEL. THE GRILLE SHALL BE FINISHED IN B12 WHITE POWDER COAT. PAINT FINISH SHALL PASS 500 HOURS OF SALT SPRAY EXPOSURE WITH NO MEASURABLE CREEP IN ACCORDANCE WITH ASTM D1654 AND 1000 HOURS WITH NO RUSTING OR BLISTERING AS PER ASTM D610 AND ASTM D714.

635 - RETURN GRILLE FURNISH AND INSTALL PRICE MODEL 635 ALUMINUM EXHAUST GRILLES OF THE SIZES AND MOUNTING TYPES INDICATED ON THE PLANS AND OUTLET SCHEDULE GRILLES SHALL BE 45 DEGREE DEFLECTION FIXED LOUVER TYPE WITH BLADES SPACED 13 ON CENTER. THE BLADES SHALL RUN PARALLEL TO THE LONG DIMENSION OF THE GRILLE. THE GRILLE SHALL BE FINISHED IN B12 WHITE POWDER COAT. PAINT FINISH SHALL PASS 500 HOURS OF SALT SPRAY EXPOSURE WITH NO MEASURABLE CREEP IN ACCORDANCE WITH ASTM D1654 AND 1000 HOURS WITH NO RUSTING OR BLISTERING AS PER ASTM D610 AND ASTM D714.

97-up



LIST OF DRAWINGS

M-O. 1 - MECHANICAL DETAILS

M-1.0 - LEVEL 1 FLOOR PLANS - MECHANICAL OVERVIEW M-1.1 - LEVEL 1 FLOOR PLAN - MECHANICAL DEMOLITION M-1.2 - LEVEL 1 PLAN - NEW PLUMBING

M-1.3 - LEVEL 1 EXISTING REFLECTED CEILING PLAN - MECHANICAL DEMOLITION M-1.4 - LEVEL 1 NEW REFLECTED CEILING PLAN - NEW HVAC

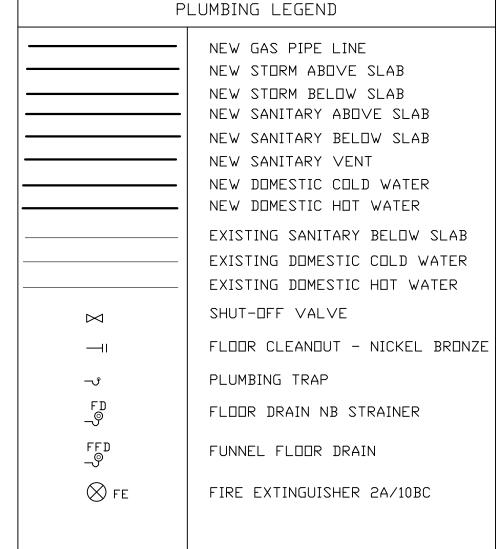
SHEET METAL STANDARDS DUCT GUAGE AND ENFORCING FOR 2" W. G. (+/-) GAUGE OF METAL 4' 2.5' 2' REINFORCING DIMENSIONS JOINT JOINT JOINT JOINT CONSTRUCTION 0-12 26 26 26 HEMMED "S" & DRIVE 26 TDF 13-24" 26 26 26 NONE TDF NONE 25-30" TDF 31-36" NONE TDF NONE 37-42" 24 NONE 24 43-48" 20 1 1/2 WIDE X 1 1/2 24 no TDF CNT-JNT HIGH 18GA V-Cnt. ref Cnt. ref TYPE STIFFENER 1 1/2 WIDE X 1 1/2 22 no 22 no TDF CNT-JNT HIGH 18GA V-55-60" Cnt. ref | Cnt. ref TYPE STIFFENER 1 1/2 WIDE X 1 1/2 22 no TDF CNT-JNT HIGH 18GA V-Cnt. ref Cnt. ref TYPE STIFFENER 1 1/2 WIDE X 1 1/2 20 no 20 no TDF CNT-JNT HIGH 18GA V-85-96" Cnt. ref Cnt. ref TYPE STIFFENER 1 1/2 WIDE X 1 1/2

18 no

TDF CNT-JNT

MC - MECHANICAL CONTRACTOR

MAN - MANUFACTURER



SYMBOL

DIFFUSERS AND GRILLES

DESCRIPTION

TRANSFER DUCT

or VOLUME DAMPER

DOOR GRILLE

EXISTING DUCTWORK

NEW DUCTWORK

SUFFIX GUIDE

'E' - EXISTING ITEM TO REMAIN

'ER' - ITEM TO BE RELOCATED

THERMOSTAT WITH GUARD

FIRE DAMPER AND ACCESS DOOR

EXISTING RIGID DUCT - DOUBLE LINE

EXISTING RIGID DUCT - SINGLE LINE

EXISTING RIGID DUCT T□ BE REM□VED

EXISTING RIGID DUCT TO BE REMOVED

EXISTING FLEXIBLE DUCT TO BE REMOVED

1" EXTERNAL THERMALLY INSULATED DUCT

1" EXTERNAL THERMALLY INSULATED DUCT

1" INTERNAL ACOUSTICALLY LINED DUCT

(INCREASE DUCT SIZE SHOWN TO SUIT)

FLEXIBLE DUCT C/W 1" EXTERNAL

EXISTING FLEXIBLE DUCT

RIGID DUCT - DOUBLE LINE

RIGID DUCT - SINGLE LINE

THERMAL INSULATION

'X' - REMOVE EXISTING ITEM INDICATED AND MAKE GOOD

'R' - RELOCATED ITEM SHOW IN NEW LOCATION; RECONNECT.

FLEXIBLE DUCT

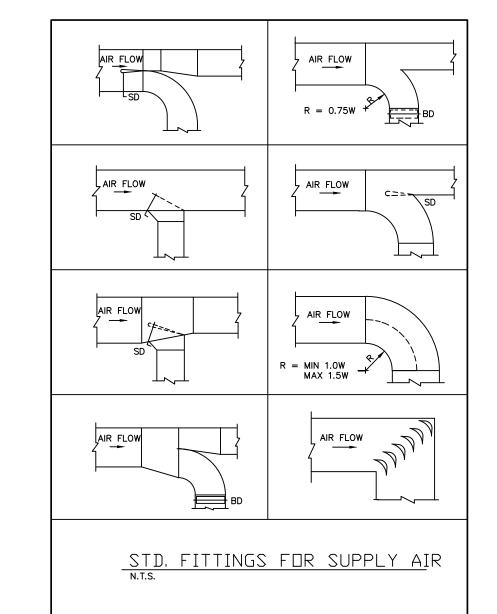
'N' - NEW ITEM AS INDICATED OR SPECIFIED

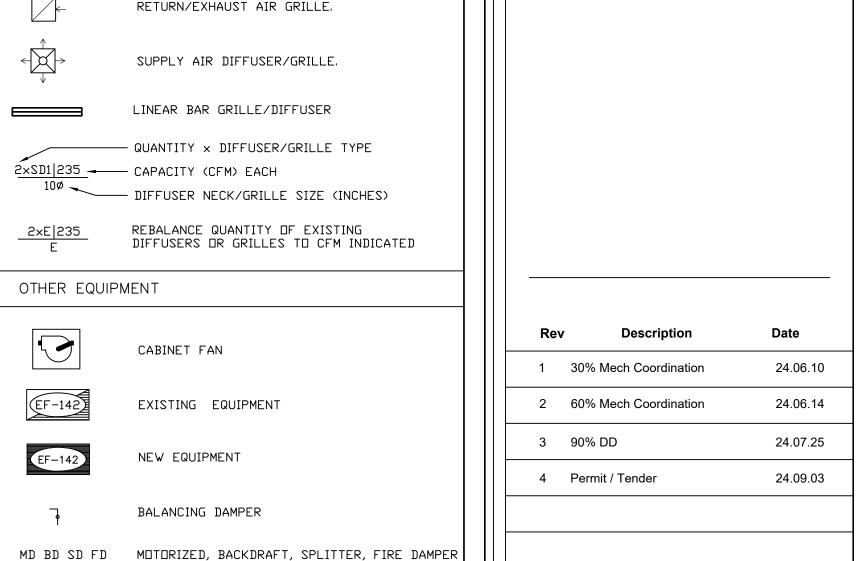
REMOTE SENSOR C/W 3 HR OVERIDE FOR EITHER HEATING OR COOLING DURUNG OFF HOURS

REGISTER

1. PLUMBING SHALL BE INSTALLED AND SIZED TO PLUMBING CODES 2. SAW CUT EXISTING FLOOR SLAB AS REQUIRED TO ACCOMODATE NEW SERVICES, X-RAY BEF□RE CUTTING.

3, PROVIDE CLEANOUTS EVERY ACCUMULATIVE CHANGE IN DIRECTION ☐F 130° AND MAX EVERY 50′- 0″ ☐.C.







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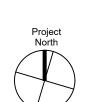
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MECHANICAL DETAILS



															FAN SCHE	DULE									
							CAPACITY	ESP	МП	TOR			ELEC	CTRICAL			STARTER			CONTROLS		DISCONN	ECT AT MOTI	OR MOUNTING	G REMARKS
REF N□.	DESCRIPTI⊡N	AREA SERVED	EQUIPMENT LOCATION	MANUFACTURER	MODEL NUMBER	OPERATING WEIGHT LBS	CFM	inH20	HP	WATTS	VOLTS	ø	FLA	MCA	PANEL NUMBER	CCT#	SUPPLIED INSTALLE BY BY	D TYPE	MANUAL	AUTO INTERLOCK BY	FIRE ALARM SHUTDOWN	BY	INSTALLED BY	CSA TYPE	
BR□AN	UNDER CABINET FAN	KITCHEN 151	KITCHEN 151	BR□AN	BC233022C						120	1							YES		ND			NZ MZ	LOCAL SWITCH
RVNi REVI	TYPES: X-FULL VOLTAGE NO X-REDUCE VOLTAGE RSING SUPPLIED WITH EQU	N RE√ERSING N□N	TO DROPS OF F	PES: E INDOORS IN ORDINA E INDOORS WHERE TI ALLING LIQUID DUE	HE ENCLOSURE TO CONDENSATI	MAY BE SUBJECT	TRA	ALL EXHAUS NSFORMERS, GRAM OR SCH	THERMOS	PROVIDE	AS PART DF C., AS REQUI	THIS (CONTRACT ND AS SH	ALL R	EQUIRED RELAYS, THE CONTROL SC	CHEMATIC	• EC - ELI	LDING AUTE	INTRACTOR	• CP - UNIT ME	JUNTED ON N DED FROM ST	NEOPRENE PA	ADS ON CON	ING BRACKETS TO S CRETE PAD LATION/MOUNTING S	UPPORT WEIGHT OF UNIT. PRINGS

18 no

Cnt. ref Cnt. ref

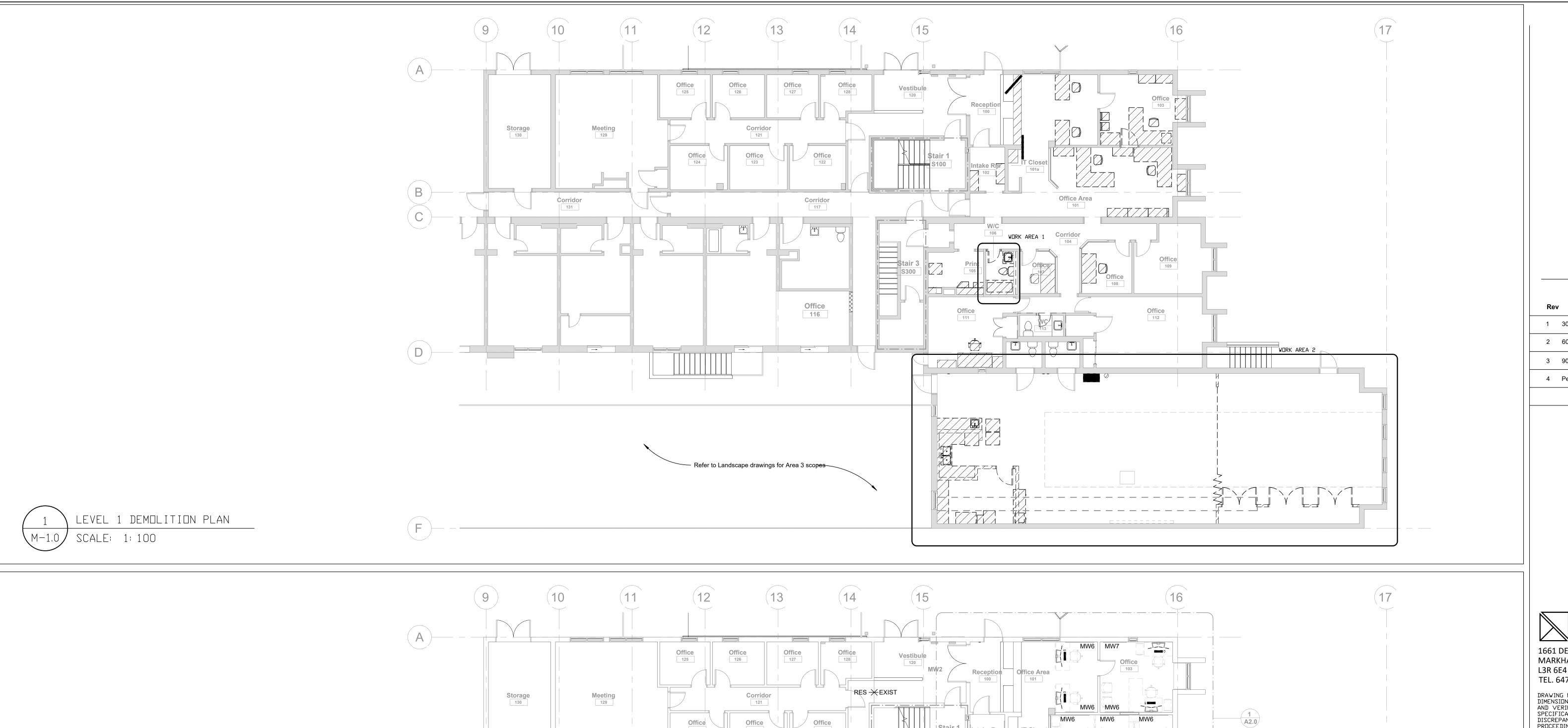
											ELECTRIC	AL	STARTER		CONTROLS		DISCONNECT		
REF N□,	DESCRIPTION	PIPE SERVED	PIPE LOCATION	MANUFACTURER	MDDEL NUMBER	PDWER WATTS/FT	LENGTH FEET	CONTROLLER SI		VOLTS Ø	KW MCA MOI	PANEL NUMBER	ED INSTALLED TYPE	FIRE ALARM SHUT DOWN	MANUAL AUTO	INTERLOCK BY	SUPPLIED INSTALLED BY BY	CSA TYPE	REMARKS
ITR-1	DRAINAGE PIPING	SINK 1 ROOM 154	CRAWL SPACE	RAYCHEM SELF REG	5XLE2-CR	5	55	C910-485	RTD-200	208 1	0.36 3.3							4	CONCEALED INSULATED PIPING. CONTROLLER

PROVIDE PIPE STRAPPING

TRANSFORMERS, THERMOSTATS, ETC., AS REQUIRED AND AS SHOWN ON THE CONTROL SCHEMATIC DIAGRAM OR SCHEDULE.

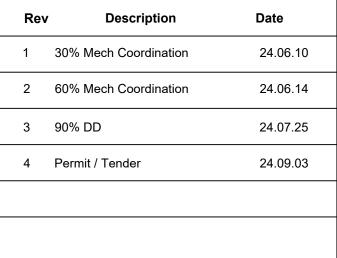
HIGH 16GA V-

TYPE STIFFENER



Corridor

EXIST X RES







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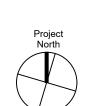
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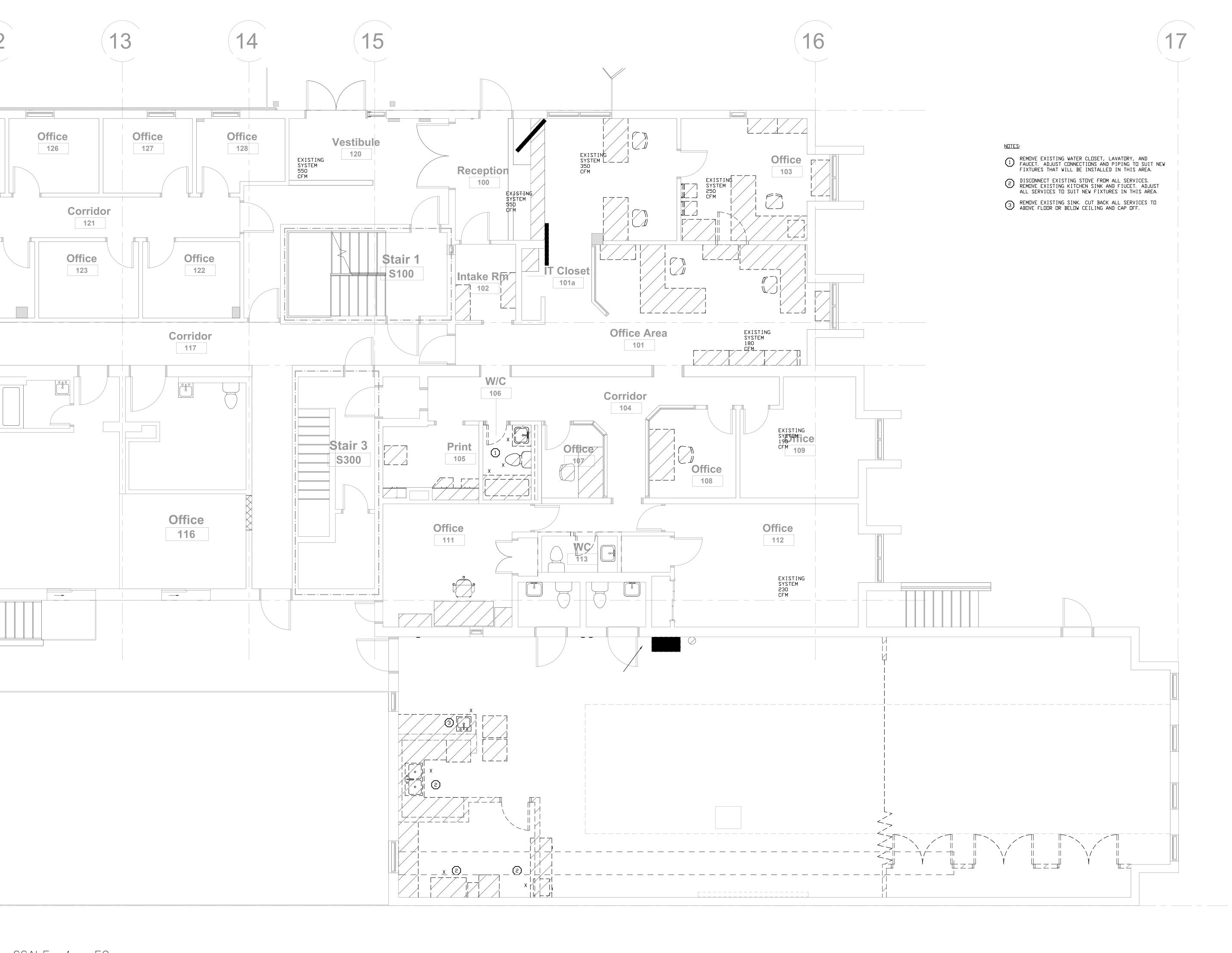
LEVEL 1 FLOOR PLANS MECHANICAL OVERVIEWS

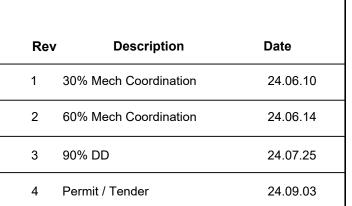


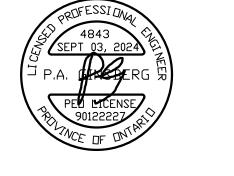
LEVEL 1 CONSTRUCTION PLAN

SCALE: 1: 100

Stair 3 A2.0 Office -WORK AREA 2 A2.0 Mud Room Common Area M Refer to landscape drawings for Area 3 scopes A2.1 Kitchen Office -Computer







D e C A R I A E N G I N E E R I N G

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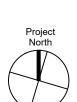
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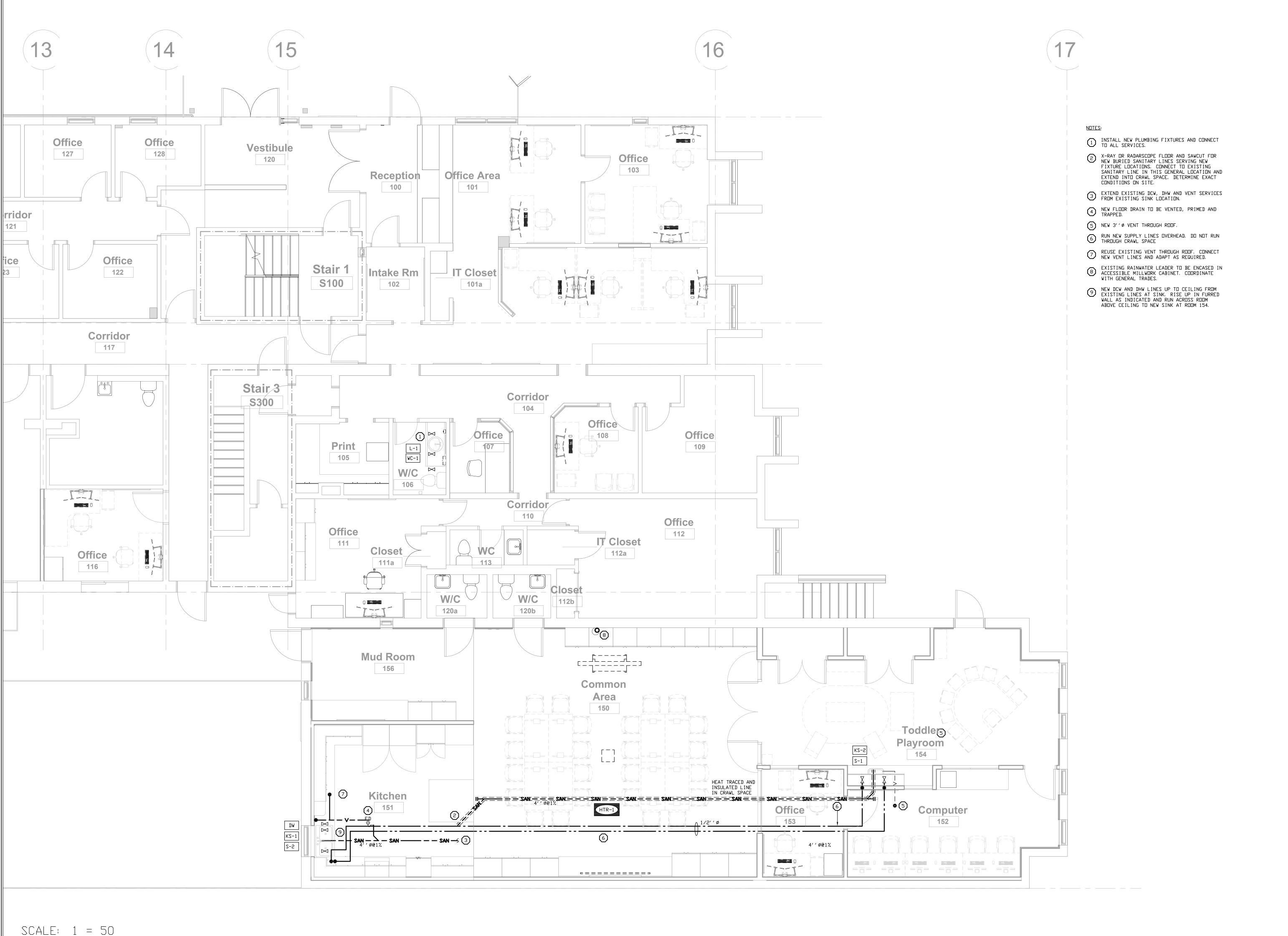
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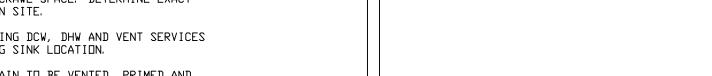
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LEVEL 1 FLOOR PLAN MECHANICAL DEMOLITION



drawing number igwedge -1 , igwedge 1





Rev	Description	Date
1	30% Mech Coordination	24.06.10
2	60% Mech Coordination	24.06.14
3	90% DD	24.07.25
4	Permit / Tender	24 09 03



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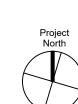
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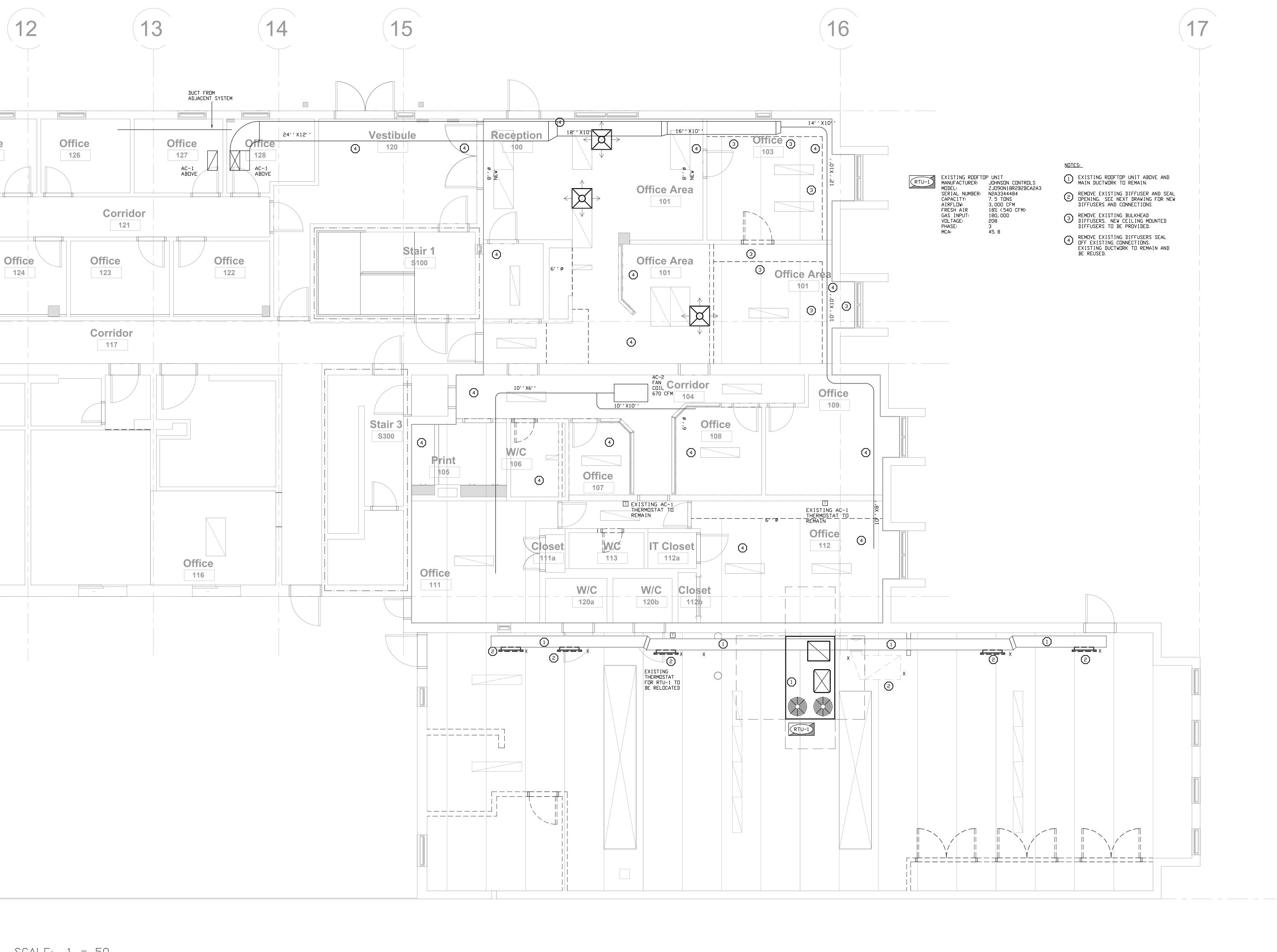
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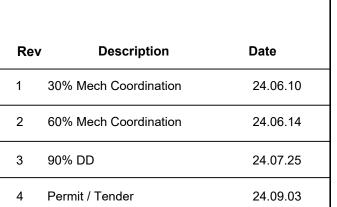
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LEVEL 1 PLAN NEW PLUMBING









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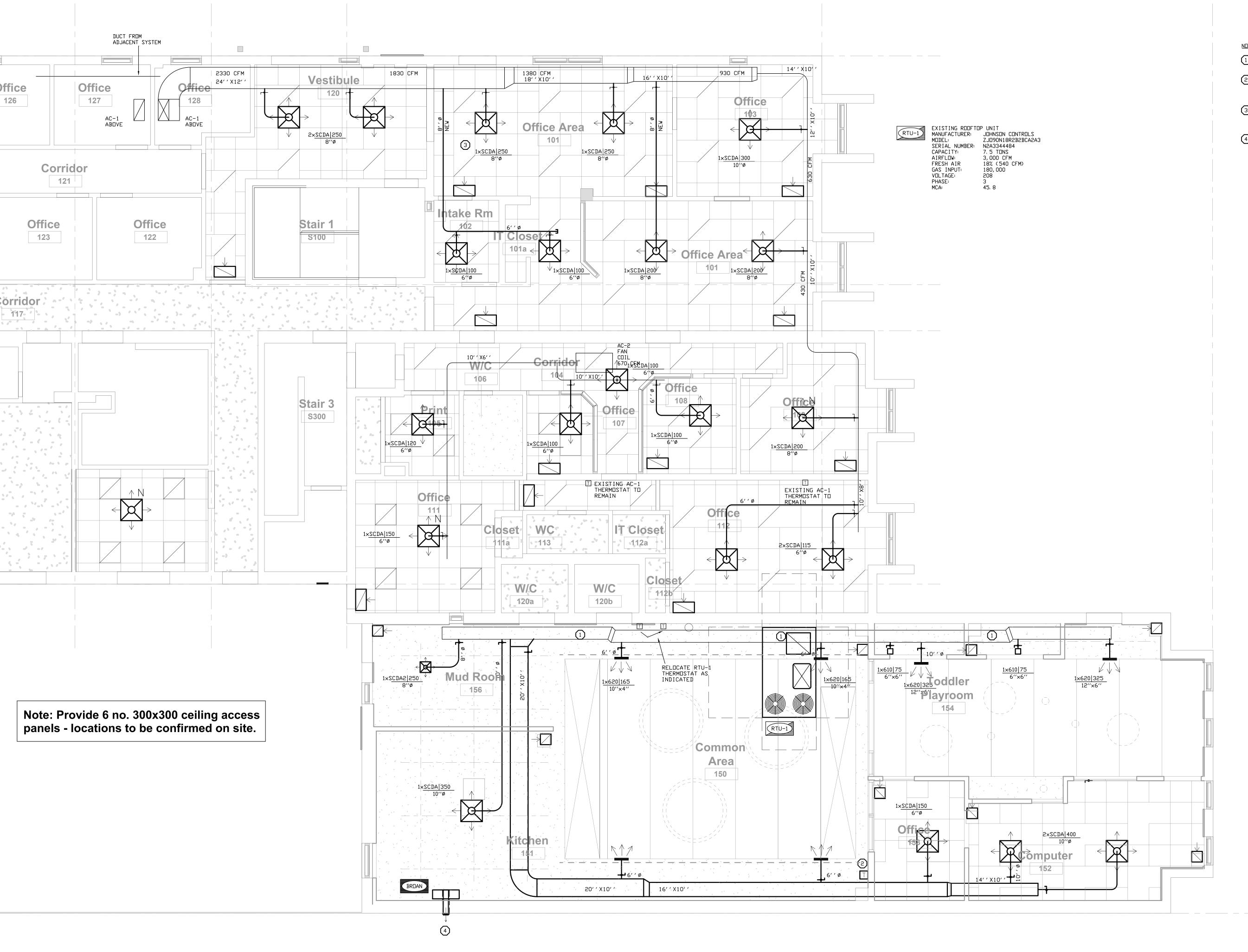
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LEVEL 1 EXISTING REFLECTED CEILING PLAN MECHANICAL DEMOLITION





- 1) EXISTING ROOFTOP UNIT AND DUCTWORK TO REMAIN.
- PROVIDE NEW PROGRAMMABLE THERMOSTAT WITH TAMPERPROOF PLASTIC LOCKING COVER. CONNECT TO EXISTING ROOFTOP UNIT. CABLE TO BE FT-6 PLENUM RATED.
- PROVIDE NEW DIFFUSER AND CONNECTION TO EXISTING DUCTWORK WITH BALANCING DAMPER, VERIFY EXISTING CONDITIONS ON
- INSULATED 6'' RIGID EXHAUST DUCT THROUGH WALL TO REVERSOMATIC SWB-8 WALL B□X.

1 30% Mech Coordination 24.06.14 2 60% Mech Coordination 24.07.25 3 90% DD 4 Permit / Tender 24.09.03



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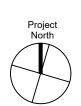
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> LEVEL 1 NEW REFLECTED CEILING PLAN - HVAC



ELECTRICAL LEGEND

LIGHTING

CEILING MOUNTED FLUORESCENT LUMINAIRE, LETTER DENOTES TYPE (CONNECTED TO PANEL 'A' CIRCUIT #6, CONTROLLED BY SWITCH #1 NOTE: IF SWITCH LOCATIONS NOT SHOWN ON DRAWINGS SWITCHES TO BE INSTALLED AS DIRECTED ON SITE.)

FLUORESCENT LUMINAIRES, UNSWITCHED, CONNECTED TO EMERGENCY LIGHTING CIRCUIT.

RECESSED DOWNLIGHT

LIGHTING CONTROLS

- WALL SWITCH, WHITE FINISH (UNLESS NOTED OTHERWISE) VOLTAGE: 120V/347V (AS INDICATED ON PLAN)
- WALL SWITCH OCCUPANCY SENSOR, LINE VOLTAGE, DUAL TECHNOLOGY SENSING, WHITE FINISH (UNLESS NOTED OTHERWISE) VOLTAGE: 120V OR 347V LEGRAND WATTSTOPPER #DSW-301-W OR #DSW-301-347-W
- WALL SWITCH OCCUPANCY SENSOR, LINE VOLTAGE, DUAL TECHNOLOGY SENSING, DUAL RELAY, WHITE FINISH (UNLESS NOTED OTHERWISE) VOLTAGE: 120V LEGRAND WATTSTOPPER #DSW-302-W
- WALL SWITCH OCCUPANCY SENSOR, DIGITAL LOW VOLTAGE, DUAL TECHNOLOGY SENSING, WHITE FINISH (UNLESS NOTED OTHERWISE)

LEGRAND WATTSTOPPER #LMDW-100

- WALL SWITCH, DIGITAL LOW VOLTAGE, WHITE FINISH (UNLESS NOTED OTHERWISE) VOLTAGE: 24V LEGRAND WATTSTOPPER #LMSW-101
- CEILING MOUNTED OCCUPANCY SENSOR, DIGITAL LOW VOLTAGE, DUAL TECHNOLOGY SENSING, WHITE FINISH VOLTAGE: 24V
- LEGRAND WATTSTOPPER #LMDC-100 DIMMING WALL SWITCH, DIGITAL LOW VOLTAGE, WHITE FINISH (UNLESS NOTED OTHERWISE)

LEGRAND WATTSTOPPER #LMDM-101

LEGRAND WATTSTOPPER #LMIO-102

- WALL SWITCH, 5-BUTTON SCENE SWITCH DIMMER, DIGITAL LOW VOLTAGE, WHITE FINISH (UNLESS NOTED OTHERWISE) VOLTAGE: 24V LEGRAND WATTSTOPPER #LMSW-105
- DIGITAL ROOM CONTROLLER, ON/OFF/0-10V DIMMING CONTROL, 20A VOLTAGE: 120 OR 347V INPUT AS REQUIRED / 24V OUTPUT LEGRAND WATTSTOPPER #LMRC-211
- PARTITION SENSOR VOLTAGE: 347V INPUT / 24V OUTPUT LEGRAND WATTSTOPPER

VOLTAGE: 24V

PARTITION DRY CONTACT INTERFACE (SUPPORT DRY CONTACTS FOR UP TO 4 WALLS) VOLTAGE: 347V INPUT / 24V OUTPUT

POWER & SYSTEMS

- 120V SINGLE PHASE OUTLET 208V SINGLE PHASE OUTLET
- 208V THREE PHASE OUTLET 347V SINGLE PHASE OUTLET
- 600V SINGLE PHASE OUTLET
- 600V THREE PHASE OUTLET
- UN-FUSED DISCONNECT SWITCH
- **FUSED DISCONNECT SWITCH**
- ELECTRICAL PANEL
- 15 AMP, 120 VOLT, SINGLE PHASE, 'U' GROUND DUPLEX RECEPTACLE 20 AMP, 120 VOLT, SINGLE PHASE, 'T-SLOT', 'U' GROUND DUPLEX RECEPTACLE
- CSA CONFIGURATION 5-20R 15 AMP, 120 VOLT, SINGLE PHASE, 'U' GROUND DUPLEX RECEPTACLE WITH
- 15 AMP, 120 VOLT, SINGLE PHASE, 'U' GROUND QUADPLEX RECEPTACLE
- 15 AMP, 120 VOLT, SINGLE PHASE, 'U' GROUND DUPLEX RECEPTACLE IN LOW PROFILE FLOOR BOX (WELLMARK #FM SERIES)
- 15 AMP, 120 VOLT, SINGLE PHASE, 'U' GROUND DUPLEX RECEPTACLE IN FLUSH MOUNT POKE-THRU FLOOR BOX. WIREMOLD #RC7 SERIES
- 20 AMP, 120 VOLT, SINGLE PHASE, 'U' GROUND DOUBLE DUPLEX RECEPTACLE, GROUND FAULT CURRENT INTERRUPT TYPE. 'OC' INDICATES MOUNTED 'OVER COUNTER'.
- 15 AMP, 208 VOLT, SINGLE PHASE, 'T-SLOT', 'U' GROUND RECEPTACLE CSA CONFIGURATION 6-15R
- 20 AMP, 208 VOLT, SINGLE PHASE, 'T-SLOT', 'U' GROUND RECEPTACLE
- 20 AMP, 120 VOLT, SINGLE PHASE, TWIST-LOCK RECEPTACLE
- CSA CONFIGURATION L5-20R
- 20 AMP, 208 VOLT, SINGLE PHASE, TWIST-LOCK RECEPTACLE CSA CONFIGURATION L6-20R
- 30 AMP, 208 VOLT, THREE PHASE RECEPTACLE CSA CONFIGURATION 14-30R

PULLSTRING.

- ROUGH-IN OUTLET FOR TELEPHONE CIRCUIT. PROVIDE EMPTY WALLBOX WITH CONDUIT UP INTO CEILING SPACE c/w PULLSTRING.
- ROUGH-IN OUTLET FOR DATA CIRCUIT. PROVIDE EMPTY WALLBOX WITH CONDUIT UP INTO CEILING SPACE c/w PULLSTRING.
- ROUGH-IN OUTLET FOR FURNITURE MOUNTED TELEPHONE CIRCUIT
- ROUGH-IN FOR FURNITURE MOUNTED DATA CIRCUIT
- ROUGH-IN OUTLET FOR FLOOR MOUNTED TELEPHONE CIRCUIT IN LOW PROFILE FLOOR BOX (WELLMARK #FM SERIES). PROVIDE EMPTY BOX WITH CONDUIT UP INTO CEILING SPACE c/w PULLSTRING
- ROUGH-IN OUTLET FOR FLOOR MOUNTED DATA CIRCUIT IN LOW PROFILE FLOOR BOX (WELLMARK #FM SERIES). PROVIDE EMPTY BOX WITH CONDUIT UP INTO CEILING SPACE c/w PULLSTRING.
- ROUGH-IN OUTLET FOR AV CABLES. PROVIDE EMPTY BOX WITH 1-1/2"Ø CONDUIT UP
- INTO CEILING SPACE (UNLESS NOTED OTHERWISE) c/w PULLSTRING. ROUGH-IN OUTLET FOR AV CABLES IN FLUSH MOUNTED FLOOR POKE-THRU. PROVIDE 1-1/2"Ø CONDUIT IN CEILING SPACE OF FLOOR BELOW TO NEARBY WALL

AND UP INTO CEILING SPACE OF CURRENT FLOOR (UNLESS NOTED OTHERWISE) c/w

WIRELESS ACCESS POINT, SUPPLIED AND INSTALLED BY OTHERS. SHOWN FOR REFERENCE ONLY.

- TELECOM GROUND BUS (TGB). BARE COPPER GROUND BUS WITH INSULATED STANDOFFS. 1/4" THICK x 2" WIDE x 12" LENGTH. PROVIDE ONE RUN OF #6 GROUND CONDUCTOR IN 3/4"Ø CONDUIT TO GROUND BUS IN BUILDING MAIN POWER PANEL. BOND AT BOTH ENDS OF CONDUIT. PROVIDE THREE WRAPS OF 1" GREEN ELECTRICAL TAPE PLACED 3" ABOVE THE CONNECTION. ERICO #EBGA14212EE (OR APPROVED EQUAL)
- POWER & DATA/COMMS RACEWAY, GALVANIZED STEEL CONSTRUCTION C/W INTERNAL BARRIER FOR POWER & DATA/COMMS TO REMAIN SEPARATE. PROVIDE ALL NECESSARY HARDWARE TO COMPLETE RUN AS SHOWN ON PLAN. LEGRAND 'WIREMOLD' #G4000 SERIES

FIRE ALARM LEGEND

TGB

- FIRE ALARM MANUAL PULL STATION TO MATCH BASE BUILDING STANDARD.
- FIRE ALARM BELL TO MATCH BASE BUILDING STANDARD.
- CONVENTIONAL HEAT DETECTOR TO MATCH BASE BUILDING STANDARD.
- SMOKE DETECTOR TO MATCH BASE BUILDING STANDARD.
 - DUCT SMOKE DETECTOR (ESTIMATED)
- KITCHEN CANOPY CONNECTIONS FOR RESTAURANT FIRE SUPPRESSION, PROVIDE CONNECTION POINT IN RESTAURANT BACK TO FIRE ALARM PANEL.
 - MUSIC SYSTEM CONNECTIONS FOR AUDIO SYSTEM SHUT-DOWN IN CASE OF FIRE, PROVIDE CONNECTION POINT BACK TO FIRE ALARM PANEL.

SUFFIX

SUFFIX 'E' EXISTING ITEM INDICATED TO REMAIN.

SUFFIX 'EC' EXISTING ITEM INDICATED TO REMAIN. RE-WIRE TO ACCOMMODATE CIRCUITS/SWITCHING SHOWN. DISCONNECT EXISTING ITEM INDICATED & MAKE SAFE

RELOCATE/REUSE ITEM AS INDICATED. SUFFIX 'ER'

SUFFIX 'RC' RELOCATED ITEM INDICATED. PROVIDE NEW WIRING/SWITCHING AS SHOWN. SUFFIX 'X' DISCONNECT & DISPOSE OF ITEM. REMOVE ALL ASSOCIATED

WIRING & CONDUIT BACK TO SOURCE AND MAKE SAFE. SUFFIX 'R' DISCONNECT & REINSTALL EXISTING ITEM TO ACCOMMODATE

NEW CONSTRUCTION

DRYWALL INSTALLATION.

JUNO LIGHTING #WF4

EUREKA #MIKA 4230-8

VOLTAGE: 120V

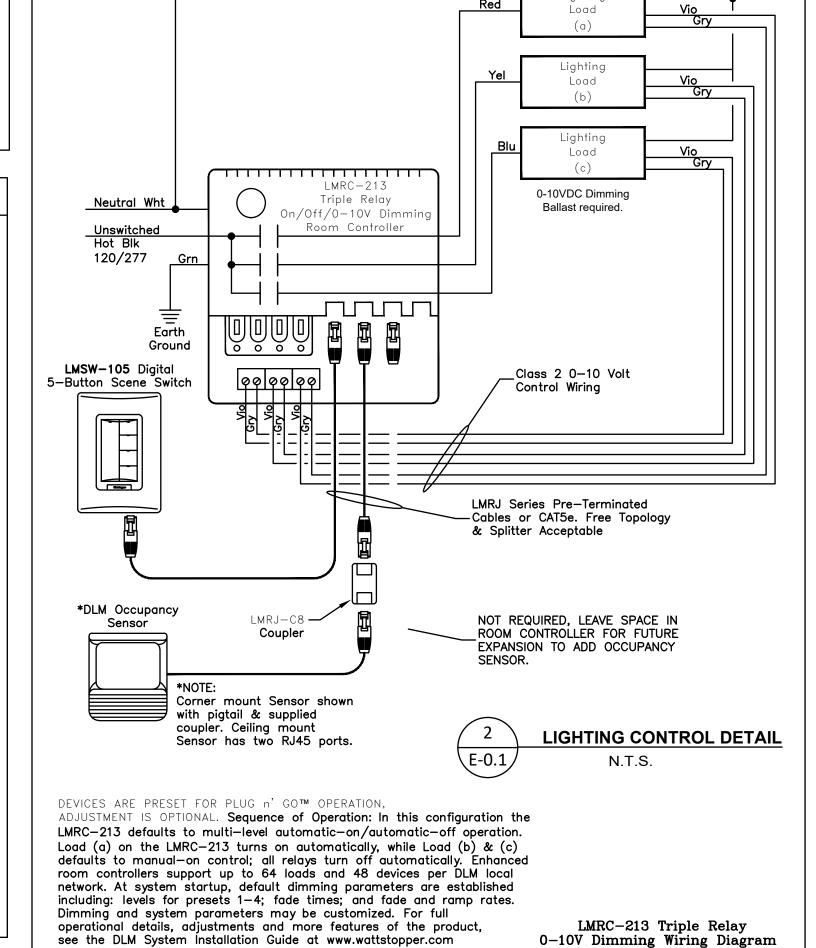
SUFFIX 'N' NEW ITEM TO EXISTING BUILDING STANDARD

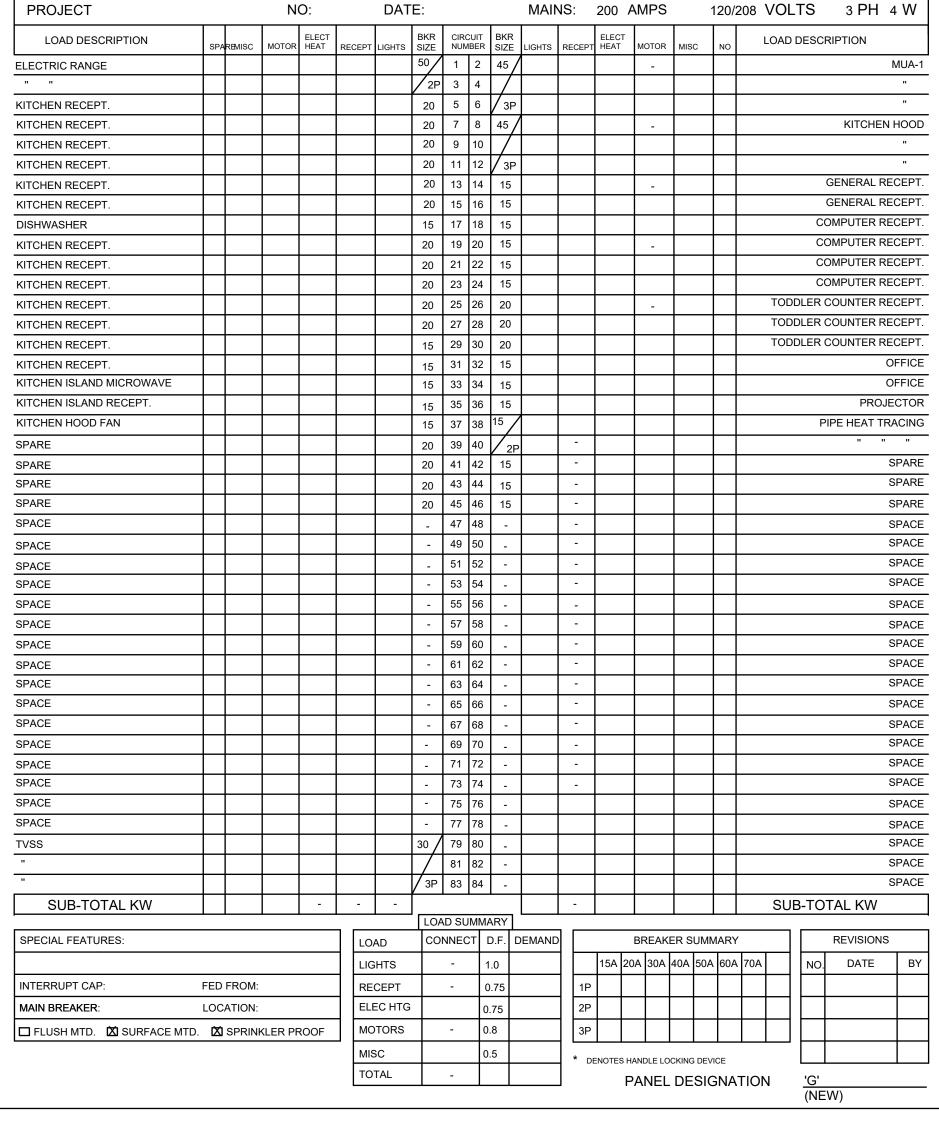
LUMINAIRE SCHEDULE

- 2'x2' RECESSED MOUNTED LED BACK-LIT PANEL C/W FIELD SELECTABLE LED, 20/30/40W, 2200/3300/4400 LUMENS, 3500/4000/5000K, 0-10V DIMMING DRIVER & SUITABLE FOR T-BAR INSTALLATION. VOLTAGE: 120V
- ILP 'VPAN SELECT' #VPAN24-22L/33L/44L-U-CCTS 4" RECESSED DOWNLIGHT C/W LED, 3500K, 0-10V DIMMING DRIVER & SUITABLE FOR
- SPHERE PENDANT C/W LED, _W, LUMENS, K, 0-10V DIMMING DRIVER, COLOUR TO BE VERIFIED & SUITABLE FOR DRYWALL INSTALLATION. VOLTAGE: 120V
- ROUND PENDANT C/W LED. W. LUMENS, K. 0-10V DIMMING DRIVER, COLOUR TO BE VERIFIED & SUITABLE FOR DRYWALL INSTALLATION. VOLTAGE: 120V EUREKA #AREA 4815D-36
- ROUND PENDANT C/W LED, W, LUMENS, K, 0-10V DIMMING DRIVER, COLOUR TO BE VERIFIED & SUITABLE FOR DRYWALL INSTALLATION. VOLTAGE: 120V EUREKA #ATOLL 4850DI-72
- UNDER CABINET / COVE LIGHTING C/W FIELD CUTABLE LED TAPE, W, LUMENS, K, 0-10V DIMMING DRIVER LARGE ENOUGH TO HANDLE LENGTH REQUIRED, EXTRUDED MOUNTING TRACK AND LENS. VOLTAGE: 120V WAC LIGHTING #INVISILED LITE 24V
- ROUND PENDANT CLUSTER C/W LED, _W, _LUMENS, _K, 0-10V DIMMING DRIVER, COLOUR TO BE VERIFIED & SUITABLE FOR DRYWALL INSTALLATION. VOLTAGE: 120V ZANEEN #FIJI 3 LIGHT CLUSTER SUSPENSION
- COVE LIGHTING C/W FIELD CUTABLE LED TAPE, _W, _LUMENS, _K, 0-10V DIMMING DRIVER LARGE ENOUGH TO HANDLE LENGTH REQUIRED, EXTRUDED MOUNTING TRACK AND LENS. VOLTAGE: 120V

COLOR KINETCS #eW COVE MX POWERCORE

NEW PANEL 200A GROUND FLOOR 120/208V FAMILY CENTRE 3Ø 4W OFFICE #130 84CCT — 4#3/0-2"C MAIN ELECTRICA ROOM IN BASEMENT 1. ALL EQUIPMENT SHALL BE SPRINKLER PROOF INCLUDING BUT NOT LIMITED TO MAIN SWITCHBOARDS, ELECTRICAL PANELS, TRANSFORMERS, FIRE ALARM AND CONTROL PANELS. 2. ALL EQUIPMENT SHALL BE ARC FLASH COMPLIANT INCLUDING EXISTING 600A, 120/208V, 3Ø, 4W BUT NOT LIMITED TO MAIN SWITCHBOARD AND PANELS. SPLITTER PROVIDE ARC FAULT (FLASH) STUDY. 3. PROVIDE SHORT CIRCUIT PROTECTIVE DEVICE SELECTIVE COORDINATION STUDY AND ON SITE VERIFICATION AND LEGEND: 4. NO CONDUITS SHALL BE RUN IN THE SLAB OR UNDER THE — EXISTING EQUIPMENT TO BE REMOVED ——— EXISTING EQUIPMENT TO REMAIN 5. ALL TENANT BREAKERS SHALL BE SUITABLE FOR 35KAIC. NEW EQUIPMENT 6. THE SPACING FOR THE SINGLE CONDUCTOR CABLES SHALL NOT BE LESS THAN 100% OF THE CABLE DIAMETER. 7. ALL SINGLE CONDUCTOR CABLES IN PARALLEL SHALL BE INSTALLED AS DETAILS IN RULE 12-180 AND BULLETIN 12-7-14. SINGLE LINE DIAGRAM 8. ALL BREAKERS FEEDING MOTORS SHALL BE 'MOTOR CIRCUIT BREAKER' TYPES.





PANEL SCHEDULE

EMERGENCY &	EXIT LIGHTING LEGEND
EM1	EMERGENCY BATTERY UNIT, STEEL CABINET, WHITE FINISH, LONG-LIFE MAINTENANCE FREE LEAD ACID BATTERY, AUTO-TEST FEATURE, TWO 5-WATT LED MR16 HEADS, 144-WATT CAPACITY. VOLTAGE: 120V AC / 12 VOLT DC LUMACELL #RG12S-144-2LD9-AT
▼ EXIT →	EXIT SIGN COMBINATION UNIT, PICTOGRAM, EXTRUDED ALUMINUM, L.E.D. ILLUMINATION, SINGLE/DOUBLE FACE, DIRECTION AS REQUIRED, LONG-LIFE MAINTENANCE FREE NICKEL-CADMIUM BATTERY, 60-WATT CAPACITY, AUTO-TEST FEATURE, TWO 6-WATT LED MR16 HEADS, CSA 22.2 NO. 141-10 COMPLIANT. (PROVIDE SEPARATE PRICE TO INCLUDE FOR NEXUS COMPATIBLE UNITS AND COMPLETE NEXUS SYSTEM) VOLTAGE: 120V AC / 12V DC LUMACELL #LAC1(OR 2)-W-1250-2LD10-AT
√ ¹	SINGLE REMOTE EMERGENCY HEAD C/W 6-WATT MR-16 L.E.D. LAMP, WHITE FINISH. PROVIDE SURFACE MOUNT AS REQUIRED. VOLTAGE: 12V DC LUMACELL #MQMP2-LD10
47	DOUBLE REMOTE EMERGENCY HEADS C/W 6-WATT MR-16 L.E.D. LAMP, WHITE FINISH. PROVIDE SURFACE MOUNT AS REQUIRED. VOLTAGE: 12V DC LUMACELL #MQM2-LD10

COMMUNICATION	S CONDUIT							
(4-PAIR CATEGORY 6 (TYPICAL CABLE O.D. 0.24"))								
SIZE OF CONDUIT INSIDE DIA. CABLES (MAX.)								
3/4"	0.824"	-						
1"	1.049"	6						
1 1/4"	1.380"	10						
1 1/2"	1.610"	15						
2"	2.067"	20						
2 1/2"	2.469"	30						
3"	3.068"	40						
4"	4.026"	-						
RUN ALL CONDUIT C/W PULL STRING UP WALL & STUB NTO CEILING SPACE. REFER TO SHERIDAN SPECIFICATION FOR EXACT SIZING.								

															F4	AN SCHE	DULE												
DEC DESCRIPTION		ADEA					CAPACITY	PACITY ESP MOTOR ELECTRICAL STARTER CONTROLS						DISCONNECT AT MOTOR			MOUNTING	REMARKS											
REF NO.	DESCRIPTION	AREA SER∨ED	EQUIPMENT LOCATION	MANUFACTURER	MODEL NUMBER	OPERATING WEIGHT LBS					VOLTS	ø	FLA	MCA	MOP	PANEL NUMBER	CCT#	SUPPLIED I	INSTALLED BY	TYPE MAI	NUAL	AUTO	INTERLOCK BY	FIRE ALARM SHUTDOWN	SUPPLIED BY	INSTALLED C BY 1	SA YPE		
							CFM	inH20	HP	WATTS														GHO 128 WIV					
BROAN	UNDER CABINET FAN	KITCHEN 151	KITCHEN 151	BR□AN	BC233022C						120	1																SM	LOCAL SWITCH

 FVNR-FULL VOLTAGE NON REVERSING RVNR-REDUCE VOLTAGE NON REVERSING SWE-SUPPLIED WITH EQUIPMENT

2SSW - TWO SPEED SINGLE WINDING

VFD - VARIABLE FREQUENCY DRIVE

DESCRIPTION

DRAINAGE PIPING

REF

INT - INTEGRAL SUPPLIED WITH UNIT

TYPE 1 FOR USE INDOORS IN ORDINARY LOCATIONS TYPE 2 FOR USE INDOORS WHERE THE ENCLOSURE MAY BE SUBJECT TO DROPS OF FALLING LIQUID DUE TO CONDENSATION OR OTHER TYPE 3R OR 'WP' FOR USE OUTDOORS

TYPE 5 FOR USE INDOORS WHERE THE ATMOSPHERE MAY CONTAIN SETTLING NON-HAZARDOUS DUST, LINT, FIBRES,OR FLYINGS

STREAMS OF WATER

TYPE 4 FOR USE WHERE THE ENCLOSURE MAY BE SUBJECT TO DIRECT

FOR ALL EXHAUST FANS: PROVIDE AS PART OF THIS CONTRACT ALL REQUIRED RELAYS, TRANSFORMERS, THERMOSTATS, ETC., AS REQUIRED AND AS SHOWN ON THE CONTROL SCHEMATIC DIAGRAM OR SCHEDULE.

ABBREVIATIONS: BAS - BUILDING AUTOMATION CONTRACTOR - ELECTRICAL CONTRACTOR

MAN - MANUFACTURER

• WM - UNIT WALL MOUNTED PROVIDE WALL MOUNTING BRACKETS TO SUPPORT WEIGHT OF UNIT.

RC - MOUNT ON ROOF CURB MC - MECHANICAL CONTRACTOR

• CP - UNIT MOUNTED ON NEOPRENE PADS ON CONCRETE PAD
• SM - SUSPENDED FROM STRUCTURE PROVIDE ISOLATION/MOUNTING SPRINGS

	PIPE HEAT TRACING SCHEDULE																			
									ELECT	RICAL		S	STARTER	C	ONTROL	_S		DISCONNECT		
PIPE LOCATION	MANUFACTURER	MODEL NUMBER	POWER WATTS/FT	LENGTH FEET	CONTROLLER SEN		VOLTS	ø KW	MCA	MOP N	PANEL UMBER CCT#	SUPPLIED BY	INSTALLED BY	TYPE FIRE ALARM SHUT DOWN	MANUAL	AUTO	INTERLOCK BY	SUPPLIED INSTALLED BY BY	CSA TYPE	REMARKS
CRAWL SPACE	RAYCHEM SELF REG	5XLE2-CR	5	55	C910-485	RTD-200	208	1 0.3	6 3.3										4	CONCEALED INSULATED PIPING, CONTROLLER

NOTES: • ALL PIPING TO BE INSULATED WITH 25 MM INSULATION • PROVIDE ABOVE INSULATION SEAL KIT

• PROVIDE LABEL INDICATING PIPE IS HEAT TRACED.

PIPE SERVED

SINK 1 ROOM 154

CSA DISCONNEGTTYPE 1 FOR USE INDOORS IN ORDINARY LOCATIONS • TYPE 2 FOR USE INDOORS WHERE THE ENCLOSURE MAY BE SUBJECT TO DROPS OF FALLING LIQUID DUE TO CONDENSATION OR OTHER CAUSES TYPE 3R OR 'WP' FOR USE OUTDOORS • TYPE 4 FOR USE WHERE THE ENCLOSURE MAY BE SUBJECT TO DIRECT STREAMS OF WATER PROVIDE PIPE STRAPPING

• TYPE 5 FOR USE INDOORS WHERE THE ATMOSPHERE MAY CONTAIN SETTLING NON-HAZARDOUS DUST, LINT, FIBRES, OR FLYINGS

• PROVIDE AS PART OF THIS CONTRACT ALL REQUIRED RELAYS, TRANSFORMERS, THERMOSTATS, ETC., AS REQUIRED AND AS SHOWN ON THE CONTROL SCHEMATIC DIAGRAM OR SCHEDULE.

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24.09.03

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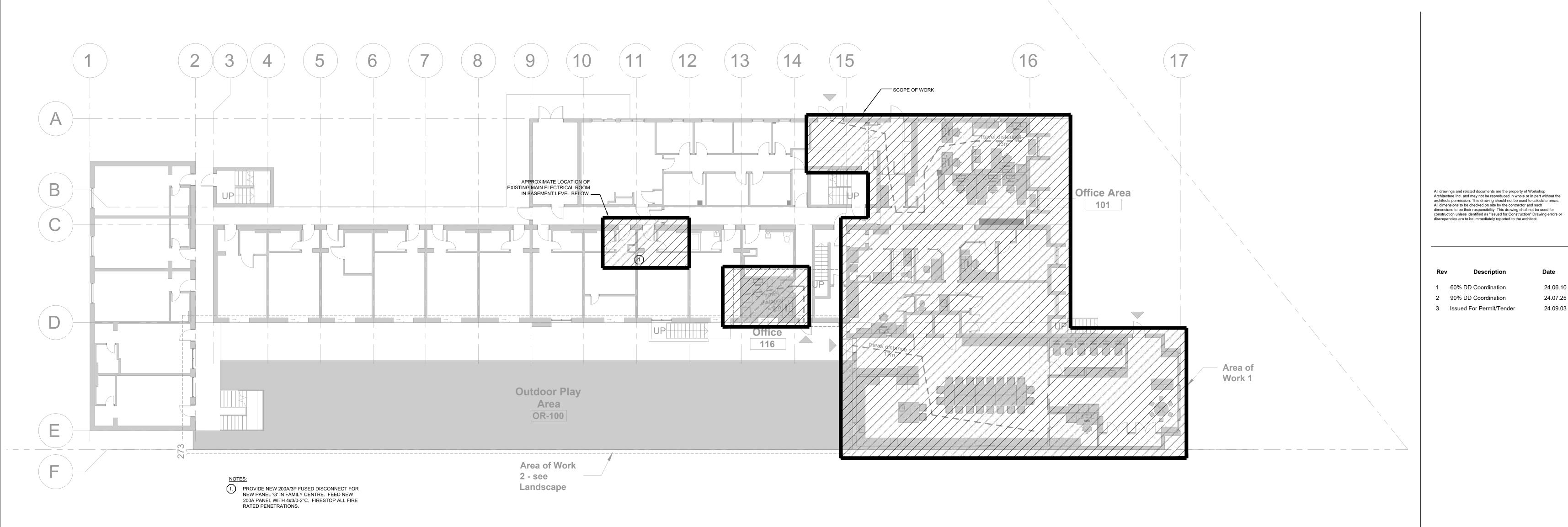
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> **ELECTRICAL LEGEND & SCHEDULES**

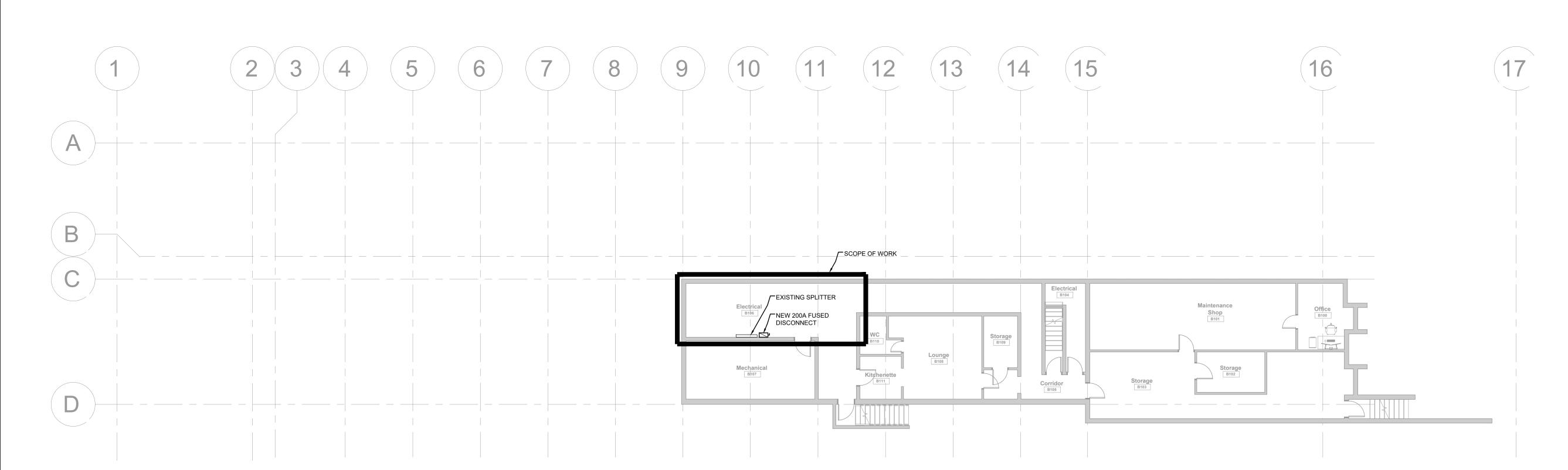






1 GROUND FLOOR OVERVIEW - SCOPE OF WORK

E-1.0 5 10 15 Scale In Feet 3/32" - 1' - 0"



2 BASEMENT OVERVIEW - SCOPE OF WORK

E-1.0 5 0 5 10 15 Scale In Feet 3/32" - 1' - 0"

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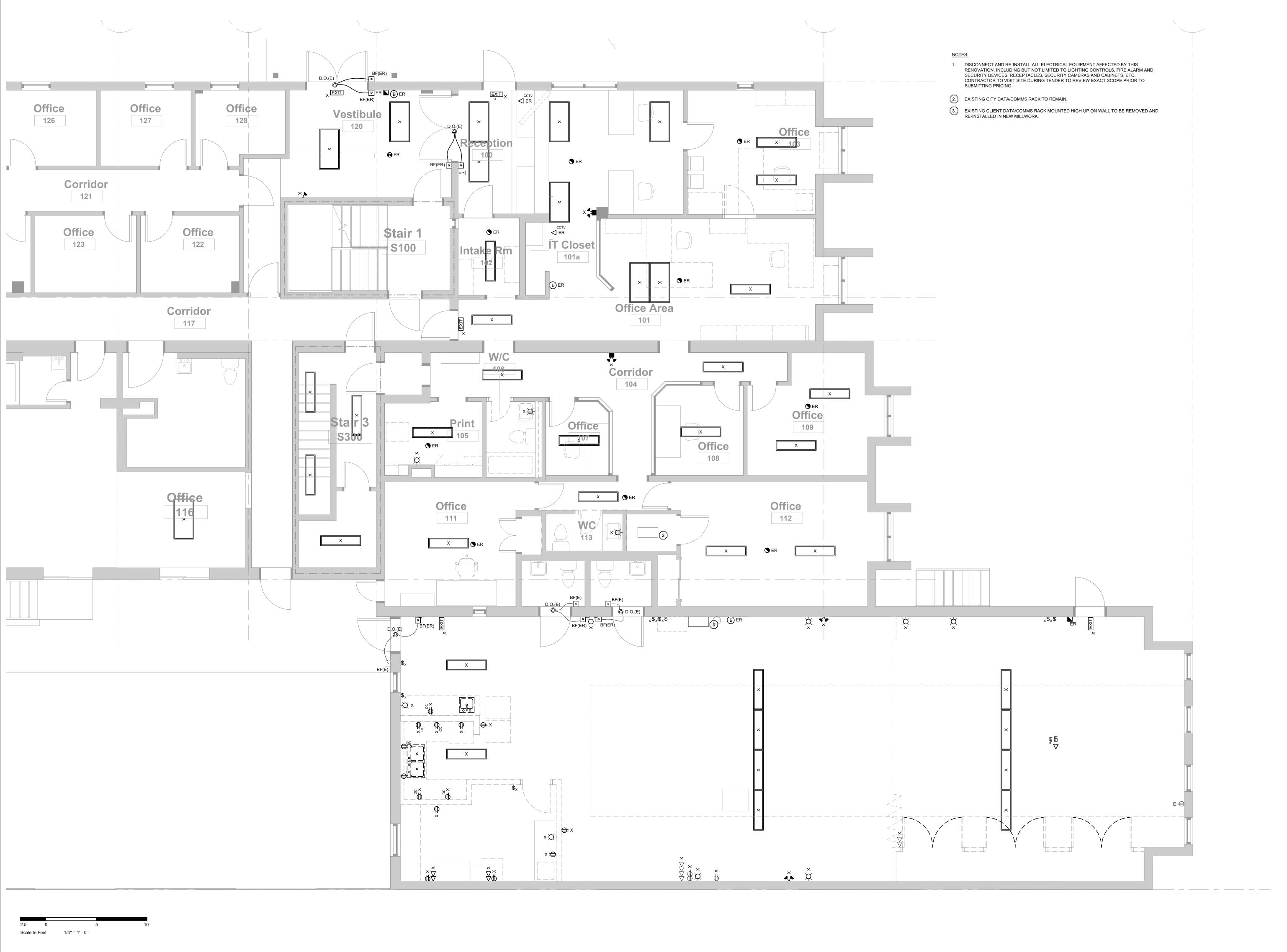
> > **ELECTRICAL OVERVIEW**



E-1.0

24.06.10

24.07.25 24.09.03



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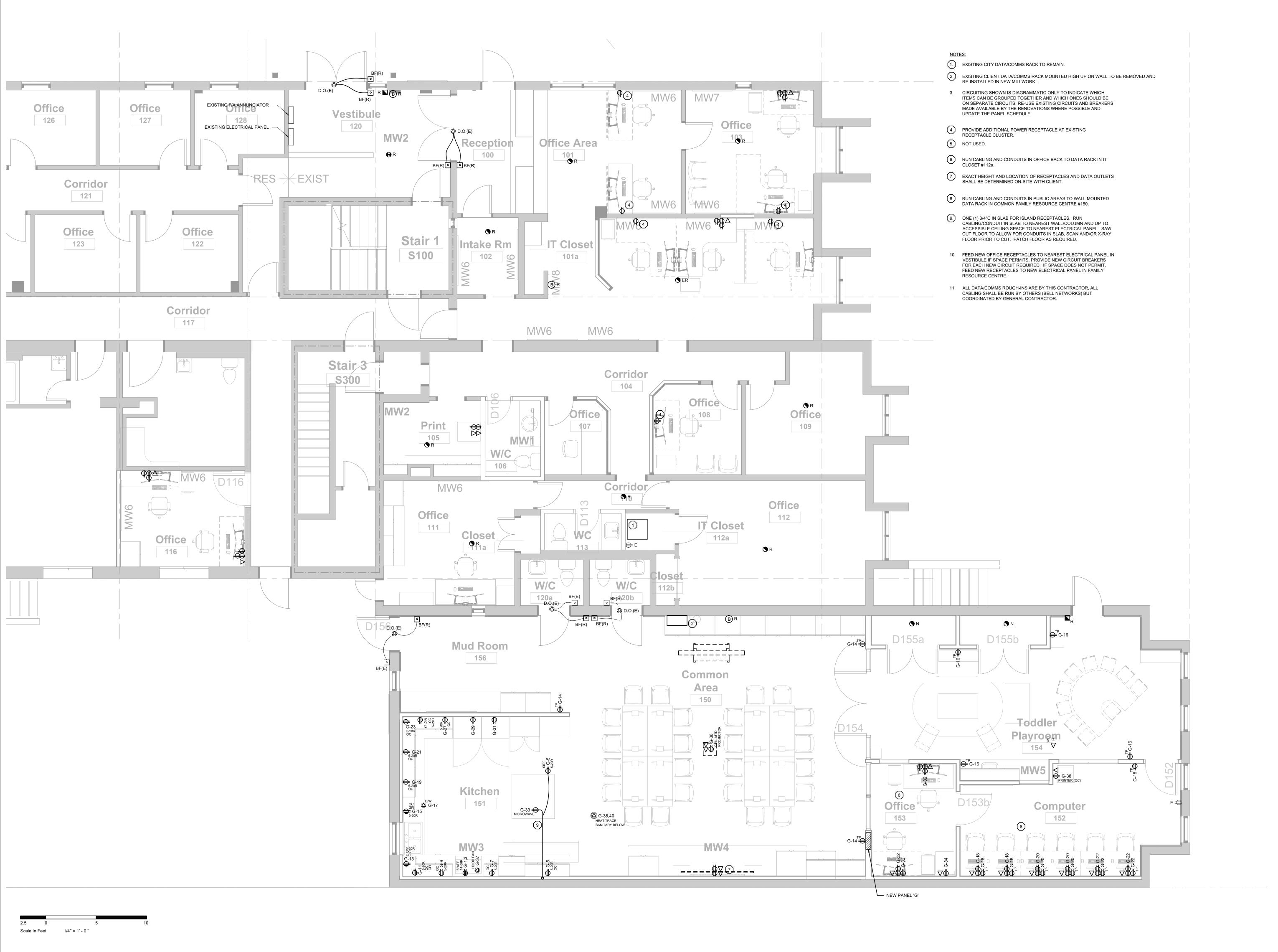
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ELECTRICAL - DEMOLITION LIGHTING, POWER & SYSTEMS



E-1.1



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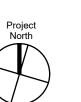
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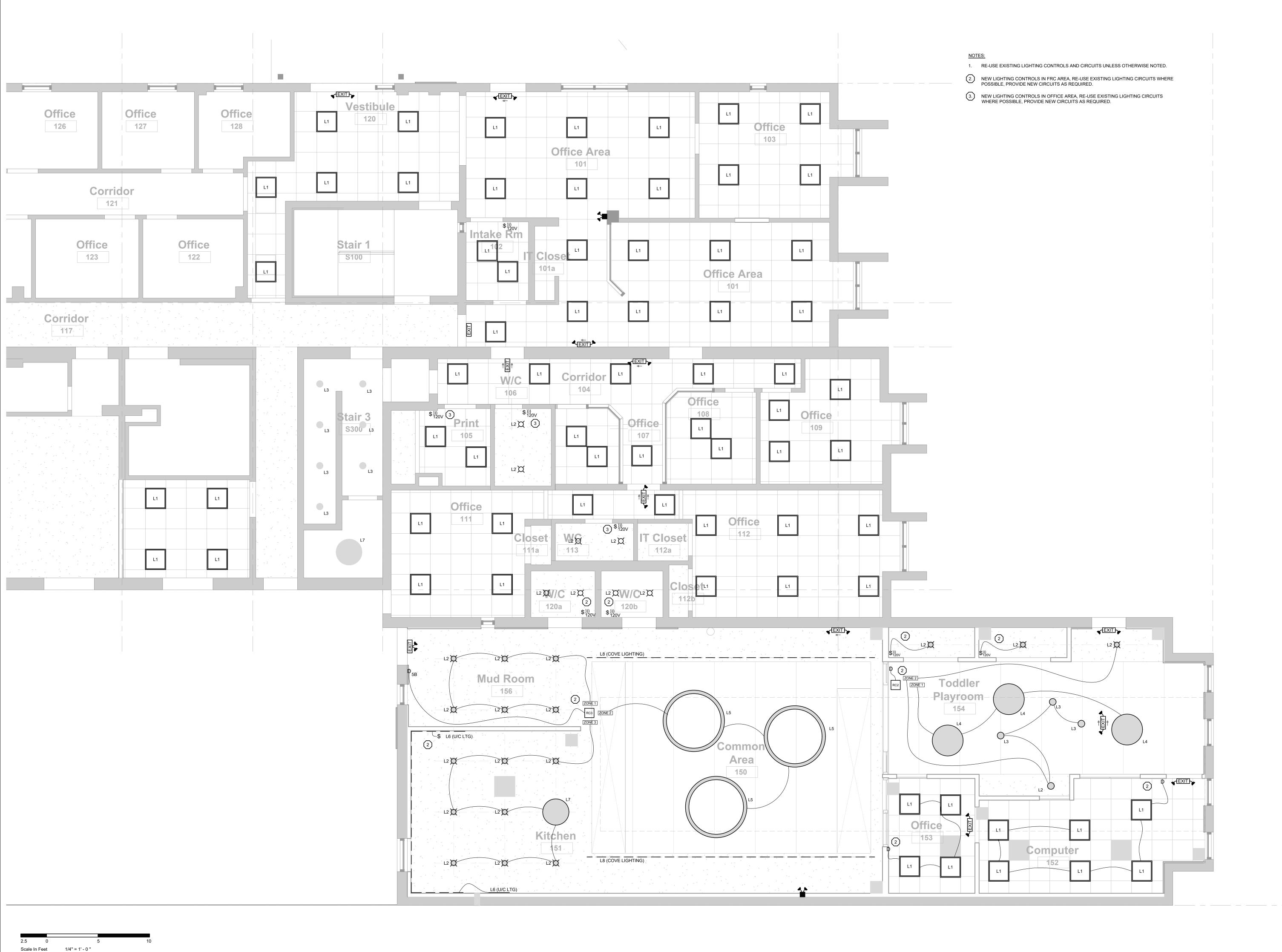
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ELECTRICAL - CONSTRUCTION POWER & SYSTEMS



E-1.2



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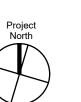
SCALE

As indicated

STATUS

See Revision

ELECTRICAL - CONSTRUCTION LIGHTING





Tree No.	Tree Species	DBH (cm) 1, 2	Crown Diameter (m)	Minimum Tree Protection Zone Radius (m) 3	Biological Health (HigH, Mod., Low)	Structural Condition (High, Mod., Low)	City of Toronto Tree Category 4	Overall Condition (Excellent, Good, Fair, Poor, Dead)	Ownership: Private, Offsite, Municipal, Shared	Rec. Action - Condition	Rec. Action - Development	Final Recommendation	Observations/ Tree Preservation Notes
1	Pinus nigra Austrian Pine	42	8	3	м	M(L)		F	Р	Р	Р	Р	
2	Acer negundo Manitoba Maple	46 [35,30]	18	3	М	L		F	S	P	P	P	Against fence
3	Fraxinus pennsylvanica Green Ash	30	6	2.4	M(L)	М		F	0	Р	P	Р	Bark cracks
4	Fraxinus pennsylvanica Green Ash	14 [10,10]	3	1.8	L	M(L)		P	S	R	R	RCD	Bark cracks, vine choked, leaning against fence
5	Betula papyrifera Paper Birch	39	8	2.4	М	M(L)		F	О	Р	P	Р	
6	Morus nigra Black Mulberry	28 [19,14,10,10]	8	1.8	М	M(L)		F	S	Р	R	RD	Growing into fence
7	Morus nigra Black Mulberry	27 [19,19]	6	1.8	M(L)	M(L)		F	S	Р	Р	Р	Prune branches growing into fence
8	Morus nigra Black Mulberry	19 [15,12]	7	1.8	M(L)	M(L)		F	0	Р	Р	Р	Lean, twisted trunks
9	Acer negundo Manitoba Maple	19	7	1.8	M(L)	L		P	S	R	R	RCD	High lean; growing into fence
10	Pinus nigra Austrian Pine	45	8	3	M(L)	М		F	0	Р	P	Р	
11	Pinus nigra Austrian Pine	41	7	3	М	M(L)		F	0	Р	P	P	Codominant stems, included bark
12	Pinus nigra Austrian Pine	28	6	1.8	M(L)	M(L)		Р	0	Р	Р	Р	Lean, moderate deadwood
13	Acer negundo Manitoba Maple	26	14	1.8	L	L		Р	S	R	R	RCD	Severe lean, trunk wound severe, base of trunk growing into fen
14	Acer negundo Manitoba Maple	40	10	2.4	L	L		Р	S	R	R	RCD	High deadwood, lean, base of trunk growing into fence
15	Acer negundo Manitoba Maple	23 [21,10]	6	1.8	M(L)	L		P	S	R	R	RCD	Trunk wounds, leaning against fence
16	Acer negundo Manitoba Maple	12	6	1.8	M(L)	L		F	0	Р	R	RD	Leaning into fence
17	Pinus nigra Austrian Pine	27	4	1.8	M(L)	M(L)		F	0	Р	Р	P	Low lean, low deadwood
18	Acer saccharinum Silver Maple	106 [88,59]	20	6	M(L)	M(L)		F	О	Р	P	Р	Past pruning, moderate deadwood
19	Populus grandidentata Bigtooth Aspen	106	20	6	M(L)	М		F	0	Р	Р	Р	Moderate deadwood
20	Ulmus pumila Siberian Elm	33	8	2.4	М	М		G	0	Р	P	Р	Low deadwood
21	Ulmus pumila Siberian Elm	46	10	3	М	М		F	0	Р	P	Р	Damage at base
22	Ulmus pumila Siberian Elm	40 [30,26]	14	2.4	M(L)	M(L)		F	О	Р	Р	Р	
23	Ulmus pumila Siberian Elm	68 [42,41,34]	14	4.2	M(L)	M(L)		F	0	Р	Р	Р	Moderate deadwood, lean
24	Ulmus pumila Siberian Elm	14	3	1.8	L	M(L)		VP	0	Р	Р	Р	Tree is in very poor condition; tree owner responsible for management
25	Ulmus pumila Siberian Elm	31	8	2.4	M(L)	L		Р	0	Р	Р	Р	Lean, low deadwood
26	Pinus nigra Austrian Pine	38	8	2.4	M(H)	М		G	Р	Р	Р	Р	
27	Pinus nigra Austrian Pine	45	8	3	М	M(L)		F	Р	Р	Р	Р	Multiple leaders
28	Pinus nigra Austrian Pine	38	8	2.4	М	М		G	Р	Р	Р	Р	Small trunk wounds
29	Pinus nigra Austrian Pine	44	10	3	M(L)	М		F	Р	Р	Р	Р	Low deadwood
30	Juglans nigra Black Walnut	51	10	3.6	L	М		Р	S	Р	Р	Р	Trunk wounds, moderate deadwood
31	Pinus nigra Austrian Pine	39	8	2.4	М	М		G	Р	Р	Р	Р	
32	Pinus nigra Austrian Pine	34	10	2.4	М	M(L)		G	Р	Р	Р	Р	Codominant stems
33	Ulmus pumila Siberian Elm	31	8	2.4	М	M(L)		F	Р	Р	Р	Р	
34	Acer saccharinum Silver Maple	81 [45,42,39,36]	26	5.4	М	M(L)		G	0	Р	Р	Р	No leader

Tree No.	Tree Species	DBH (cm) 1, 2	Crown Diameter (m)	Minimum Tree Protection Zone Radius (m) 3	Biological Health (HigH, Mod., Low)	Structural Condition (High, Mod., Low)	City of Toronto Tree Category 4	Overall Condition (Excellent, Good, Fair, Poor, Dead)	Ownership: Private, Offsite, Municipal, Shared	Rec. Action - Condition	Rec. Action - Development	Final Recommendation	Observations/ Tree Preservation Notes
35	Pinus nigra Austrian Pine	28	10	1.8	М	М		G	Р	Р	Р	Р	
36	Pinus nigra Austrian Pine	32	8	2.4	M(L)	M(L)		F	Р	Р	Р	Р	Slight lean
37	Ulmus pumila Siberian Elm	33	8	2.4	М	М		G	0	Р	Р	Р	
38	Acer negundo Manitoba Maple	21	5	1.8	L	L		P	О	P	Р	Р	Leaning over site, high deadwood
39	Acer negundo Manitoba Maple	25	12	1.8	М	M(L)		F	0	Р	Р	Р	
40	Acer negundo Manitoba Maple	21	12	1.8	М	M(L)		F	0	Р	Р	Р	
41	Acer negundo Manitoba Maple	18	6	1.8	M(L)	M(L)		F	0	Р	Р	Р	Lean
42	Acer negundo Manitoba Maple	18	6	1.8	M(L)	M(L)		P	О	Р	Р	Р	Past pruning
									10 23 0 9				
Recomm	endation Based on Condition			Tree Based Tree Based						37 5			
Recomm	endation Based on Development	Preserve/Tra	ınsplant Tre	e Based on l	Developme	Subtotal nt Impacts				42	35		
		F	Remove Tre	e Based on	Developme	nt Impacts Subtotal					7 42		
Final Red	commendation							42					
		al Recomme on: Remove								35 0			
		Final Recomr										2	
	Final Red	commendation: Remo	ove due to C	Condition and	l Developm							5	
						Total	1					42	

SITE SPECIFIC PRE-CONSTRUCTION ROOT EXPLORATION NOTES

- 1. Demolition, excavation, and construction work within the dripline of Trees #5, 7, 8, 10, 11, 12, and 17-25 where tree roots have the potential to be impacted is to be performed under the observation of an ISA Certifed Arborist retained by the Contractor
- to trees, tree roots, and root pruning while the General Contractor and their subcontractor(s) use dry-vac excavation technology within the dripline of Tree #'s listed above. The ISA Certified Arborist will prepare a report documenting above and below grade conditions related to trees, recommended best management practices and next steps based on project requirements including site specific permit conditions, reports, drawings, specifications, and City of Toronto Tree Protection Policy and Specifications for Construction Near Trees (July 2016).
- and structure of the tree, they will contact a the City of Toronto Urban Forestry Staff Member for further covered by General Contractor and their subcontractors(s) within 30 minutes with untreated burlap or in writing.

- 2. The ISA Certified Arborist will observe, document, and respond to Contractor requests for information related
- 3. If, during the hand or air-spade excavation procedure, the ISA Certified Arborist observes the potential for impacts to the roots of Tree #'s listed above that are such that root pruning will be detrimental to the health review and recommendation. All demolition and excavation work is to stop and exposed tree roots are to be alternative material acceptable to ISA Certified Arborist, and wet with potable water, free of impurities that may harm trees/tree roots. Maintain moisture until such time that the recommendation to proceed is received



LEGEND:

EXISTING TREE ID NUMBER / OUTER CIRCLE DENOTES APPROXIMATE CROWN RESERVE + 1 METER. INNER CIRCLE DENOTES MINIMUM TREE



PROTECTION ZONE (MTPZ) TREE HAS MODERATE TO HIGH BIOLOGICAL



REMOVE TREE TREE IS IN CONFLICT WITH PROPOSED DEVELOPMENT



REMOVE TREE TREE HAS LOW BIOLOGICAL HEALTH AND/OR STRUCTURAL CONDITION



REMOVE TREE TREE HAS LOW BIOLOGICAL HEALTH AND/OR STRUCTURAL CONDITION AND IS IN CONFLICT WITH PROPOSED DEVELOPMENT

TREE PROTECTION FENCE



ROOT SENSITIVE EXCAVATION REFER TO NOTES ON THIS DRAWING ROOT SENSITIVE EXCAVATION





Site Plan and Architectural Plans prepared by WORKSHOP Architects dated June 28, 2024. Tree locations collected by an Aboud & Associates Inc. ISA Certified Arborist on March 14, 2024.

3	ISSUED FOR PERMIT/TENDER	MGN	03 SEP-24
2	ISSUED FOR 90% DESIGN REVIEW	MGN	25 JUL-24
1	ISSUED FOR 60% DESIGN REVIEW	MGN	11 JUN-24
0	ISSUED FOR INTERNAL REVIEW	MGN	22 APR-24
No.	Description	Ву	Date

REVISIONS:

All previous issues of this drawing are superced

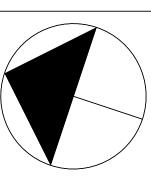


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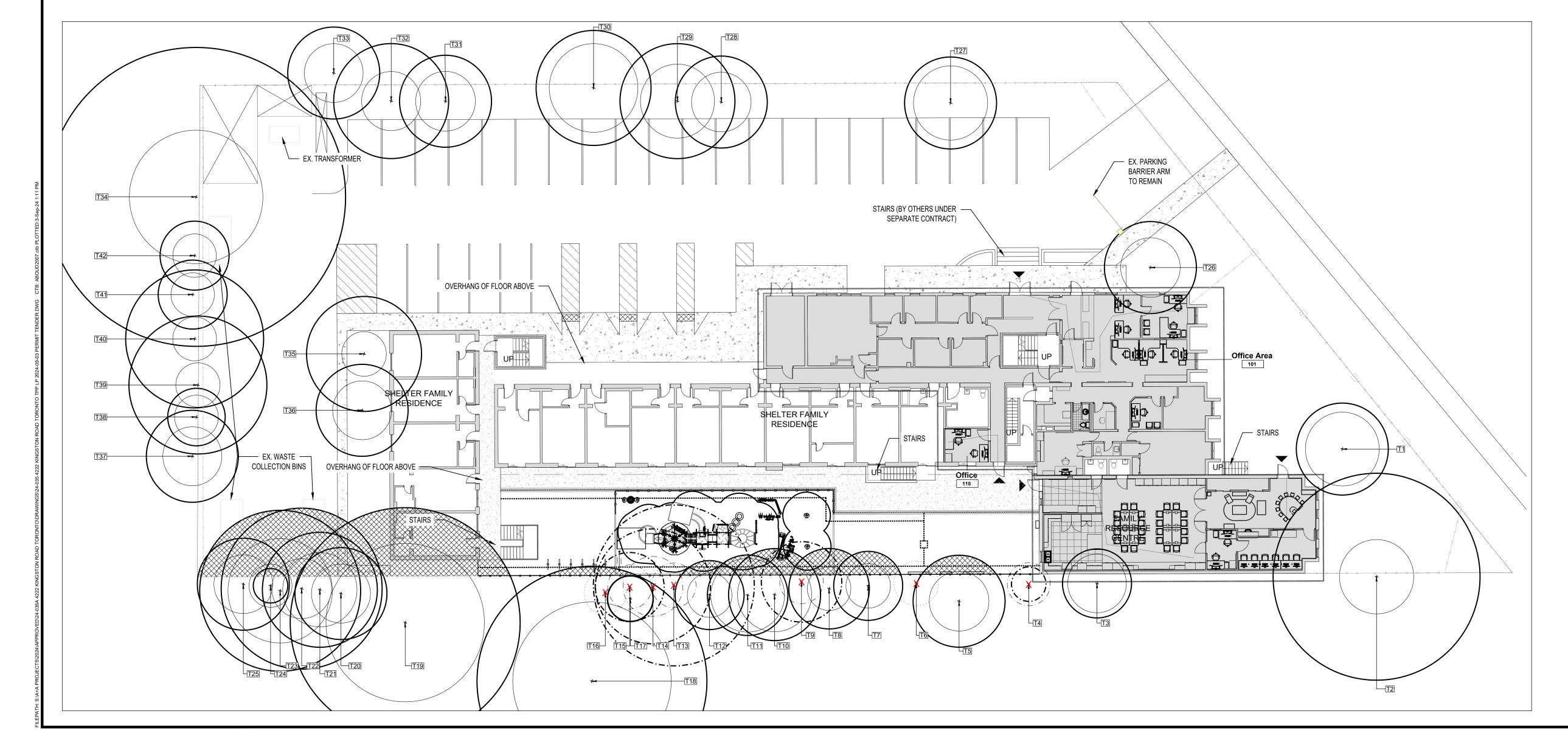
TREE PRESERVATION PLAN

TSSS FAMILY RESIDENCE RENOVATIONS 4222 KINGSTON ROAD, TORONTO

Date: MARCH 2024	Designer: NB
Project: AA24-035A	Drawn: NB
Scale: 1:200	Checked: MGN



TPP-1



1. DBH (Diameter at Breast Height): Measurement of tree stem diameter at 1.4 metres above ground.

Category 1 - Trees with diameters 30cm or more, on private property on subject site Category 2 - Trees with diameters 30cm or more, on private property within 6m of subject site Category 3 - Trees of all diameters on City owned parkland within 6m of subject site

Category 4 - Trees of all diameters on lands designated under Ravine & Natural Feature protection Category 5 - Trees of all diameters situated within the City road allowance adjacent subject site

3. Minimum Tree Protection Zone distance measured from the center of the tree stem (MTPZ radius plus 1/2 DBH) from Tree Protection Policy and Specifications for Construction

2. [XX, YY,] Denotes DBH's of Each Stem of Tree with Multiple Stems

4. Tree Categories per City of Toronto by-laws concerning trees

N/A - Trees not regulated under any City by-laws

Near Trees (City of Toronto, June 2013).

GENERAL TREE NOTES

- 1. All arboricultural work performed on trees such as pruning of branches and roots shall be conducted by an ISA Certified Arborist.
- 2. Prune and mitigate limbs and roots damaged by construction work in accordance with ANSI A300 (Part 1) - 2008 Pruning and the Best Management Practices companion publication (revised
- 3. Tree Protection Fence to be erected prior to the commencement of any construction or grading,
- and maintained throughout the duration of the work. 4. Tree Protection Zone is delimited by Tree Protection Fence shown on the drawings. 5. No construction or activities including the following to occur within Tree Protection Zone:
- equipment parking or access, storage of supplies, topsoil or fill, and refueling. 6. Tree removals (if required) will be undertaken in compliance with the Migratory Birds Convention Act. Efforts will be made to remove vegetation outside the General Nesting period (April 1 - Aug 31) for regions C1 and C2 of Ontario. In the event vegetation must be removed within the General Nesting Period, a qualified avian biologist is to review the site prior to removal to ensure
- compliance with the Migratory Birds Convention Act. 7. Any soils and vegetation within tree protection zone damaged by the Contractor shall be restored to the satisfaction of the Municipality by the Contractor at no additional cost to the Owner.

CONSTRUCTION WITHIN MINIMUM TREE PROTECTION ZONE

1. An ISA Certified Arborist must be present on site during construction activities within MTPZ to confirm and/or modify mitigation measures for trees to be preserved. 2. Use trenchless methods (e.g. horizontal directional drilling) to install underground services (e.g.

sanitary sewers and water lines) within Minimum Tree Protection Zones. EXISTING UNDERGROUND SERVICES WITHIN TREE PROTECTION ZONES

- 1. Existing sanitary/storm sewers and watermains to be discontinued within tree protection zones
- will be filled (as needed) and abandoned. 2. Excavation and access for construction/removal of abandoned underground services will be conducted outside of tree protection zones.

FINISH GRADING WITHIN TREE PROTECTION ZONES

Where finish grading of cuts and fills, and including swales occurs within tree protection zones, the following steps are required.

- 1. Excavate by hand or Air-spade technology to a maximum depth of 100mm.
- 2. Roots encountered are to be assessed by the Project Arborist to determine the extent of roots to be pruned. Based on findings, other treatments may be required (e.g. crown reduction, tree removal), and which may require approval from the City.
- 3. Based on root findings, local, minor adjustments to grading within the tree protection zone may be required based on field consultation between the Project Arborist and Project Engineer. 4. No access by heavy equipment into tree protection zone is permitted. Fine grading to be carried out using light equipment and/or by hand.

- 5. Add topsoil to meet grade requirements to a maximum of 150mm.
- 6. No topsoil to be added onto trunk base or above-ground section of trunk base flare. 7. Maintain positive drainage away from trunk base.
- 8. Based on local conditions (e.g. surface drainage), local, minor adjustments to grading within the tree protection zone may be required based on field consultation between the Project Arborist and

TREES OWNED BY OTHERS

- 1. Trees owned by others require permission (i.e. written consent) from the land owner(s) prior to activities that may damage or destroy trees. Trees owned by others are Offsite Trees and Shared
- a. Offsite Trees Trees on property adjacent to the subject property; b. Shared (Boundary) Trees - Trees whose trunk including the basal trunk flare growing on the boundary between the subject property and adjoining property (from Ontario Forestry Act).

The Provincial Forestry Act, R.S.O. 1990 (Section 10):

10. (2) Every tree whose trunk is growing on the boundary between adjoining lands is the common property of the owners of the adjoining lands. 1990, c. 18 Sched. I, s. 21. (3) Every person who injures or destroys a tree growing on the boundary between adjoining lands without the consent of the land owners is guilty of an offence under this Act. 1998, c. 18, Sched. I, s. 21.

ROOT SENSITIVE EXCAVATION

A preliminary excavation at the limit of work is recommended to determine the potential magnitude of the impacts posed by the planned work. For excavation in turf or permeable surfaces, the final excavation limit should be marked in the field and arborist supervised excavation shall be performed using air-spade, dry-vac truck, hydro-vac truck or hand tools. For excavation of existing impermeable surfaces, the impermeable top layer may be broken up by machine to allow access to the permeable base layers. The permeable base layers may need to be excavated further to expose existing roots, in which case this excavation shall be performed using air-spade, dry-vac truck, hydro-vac truck or hand tools. All root sensitive excavation must be performed under the supervision of a qualified arborist. All roots exposed must be documented by the supervising arborist. Every effort should be made to preserve as many exposed roots as possible. Roots approved for pruning should be cleanly cut with a sharp, non-vibrating tool such as a handsaw, secateurs, chainsaw at face of trench such that no further disturbance of the roots are to be expected once mechanical excavation begins. All root pruning is to be performed by the arborist only, as per guidelines below.

- 1. When root sensitive excavation is performed in regards to the installation of a deep site feature such as a foundation, roots of less than 5cm diameter can be cut sharply, if necessary, unless an abundance of smaller roots are involved. If roots of 5cm diameter or greater or an abundance of smaller roots are exposed in the excavation areas inside or just outside the Tree Protection Zone (TPZ) of bylaw trees they should be preserved.
- 2. When root sensitive excavation is performed in regards to the installation of site features such as post holes, all roots exposed of under 5cm diameter may be cleanly cut at face of hole such that no further disturbance of the roots are to be expected once mechanical excavation begins for the lower portion of the holes (below hand dug area). If roots of 5cm diameter or greater are uncovered they should be preserved, the post holes filled in with viable soil and the hole moved at least 0.5 metre away to avoid significant roots.
- 3. When root sensitive excavation is performed in regards to the installation of site features such as driveways, walkways, curbs, etc. roots of less than 5cm diameter can be cut sharply, if necessary, unless an abundance of smaller roots are involved. If roots of 5cm diameter or greater or an abundance of smaller roots are exposed in the excavation areas inside or just outside the TPZ of bylaw trees they should be preserved
- 4. When root sensitive excavation is performed in regards to the installation of utilities such as water lines or sewers, every effort should be made to preserve as many exposed roots as possible by installing the utilities underneath the roots without root pruning. If roots of 5cm diameter or greater are uncovered they should be preserved.

GENERAL TREE PRESERVATION

All additional tree protection or preservation requirements, above and beyond the installation of tree protection barriers, must be undertaken or implemented as detailed in the Urban Forestry approved arborist report and/or the approved tree protection plan and to the satisfaction of Urban Forestry

- If the minimum tree protection zone (TPZ) must be reduced to facilitate construction access, the tree protection barriers must be maintained at a lesser distance and the exposed portion of TPZ must be protected using a horizontal root protection method approved by Urban Forestry
- Any roots or branches indicated on this plan which require pruning, as approved by Urban Forestry, must be pruned by an arborist. All pruning of tree roots and branches must be in accordance with good arboricultural practice. Roots that have received approval from Urban Forestry to be pruned must first be exposed using pneumatic (air) excavation, by hand digging or by a using low pressure hydraulic (water) excavation. The water pressure for hydraulic excavation must be low enough that root bark is not damaged or removed. This will allow a proper pruning cut and minimize tearing of the roots. The arborist retained
- days prior to conducting any specified work • The applicant/owner shall protect all by-law regulated trees in the area of consideration that have not been approved for removal throughout development works to the

satisfaction of Urban Forestry

to carry out crown or root pruning must contact Urban Forestry no less than three working

- Convictions of offences respecting the regulations in the Street Tree By-law and Private Tree By-law are subject to fines. A person convicted of an offence under these by-laws is liable to a minimum fine of \$500 and a maximum fine of \$100,000 per tree, and /or a Special Fine of \$100,000. The landowner may be ordered by the City to stop the
- contravening activity or ordered to undertake work to correct the contravention Prior to site disturbance the owner must confirm that no migratory birds are making use of the site for nesting. The owner must ensure that the works are in conformance with the Migratory Bird Convention Act and that no migratory bird nests will be impacted by the proposed work.

CITY OF TORONTO TREE PRESERVATION - GENERAL NOTES Excerpt from City of Toronto Parks, Forestry & Recreation - Urban Forestry - Tree Protection Policy and Specifications for Construction Near Trees - July 2016

• It is the applicants' responsibility to discuss potential impacts to trees located near or wholly on adjacent properties or on shared boundary lines with their neighbours. Should such trees be injured to the point of instability or death the applicant may be held responsible through civil action. The applicant would also be required to replace such trees to the satisfaction of Urban Forestry

• Tree protection barriers shall be installed to standards as detailed in this document and to the satisfaction of Urban Forestry

 Tree protection barriers must be installed using plywood clad hoarding (minimum 19mm or 3/4" thick) or an equivalent approved by Urban Forestry Where required, signs as specified in Section 4, Tree Protection Signage must be

attached to all sides of the barrier Prior to the commencement of any site activity such as site alteration, demolition or construction, the tree protection measures specified on this plan must be installed to the

satisfaction of Urban Forestry Once all tree/site protection measures have been installed, Urban Forestry staff must be contacted to arrange for an inspection of the site and approval of the tree/site protection requirements. Photographs that clearly show the installed tree/site protection shall be

provided for Urban Forestry review Where changes to the location of the approved TPZ or sediment control or where temporary access to the TPZ is proposed, Urban Forestry must be contacted to obtain approval prior to alteration

 Tree protection barriers must remain in place and in good condition during demolition, construction and/or site disturbance, including landscaping, and must not be altered, moved or removed until authorized by Urban Forestry

 No construction activities including grade changes, surface treatments or excavation of any kind are permitted within the area identified on the Tree Protection Plan or Site Plan as a minimum tree protection zone (TPZ). No root cutting is permitted. No storage of materials or fill is permitted within the TPZ. No movement or storage of vehicles or equipment is permitted within the TPZ. The area(s) identified as a TPZ must be protected and remain undisturbed at all times

ISSUED FOR PERMIT/TENDER

2 ISSUED FOR 90% DESIGN REVIEW

ISSUED FOR 60% DESIGN REVIEW

0 ISSUED FOR INTERNAL REVIEW

No. Description

REVISIONS:

MGN | 03 SEP-24

MGN 25 JUL-24

MGN 11 JUN-24

MGN 22 APR-24

Ву

All previous issues of this drawing are superce

Consulting Arborists • Ecologists • Landscape Architects

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TREE PRESERVATION DETAILS AND

Designer: NB

Checked: MGN

Drawn: NB

TSSS FAMILY RESIDENCE

RENOVATIONS

Date: MARCH 2024

Project: AA24-035A

WORKSHOP

4222 KINGSTON ROAD, TORONTO

TPP-2

Interpretation of the control Parks, Forestry & Recreation

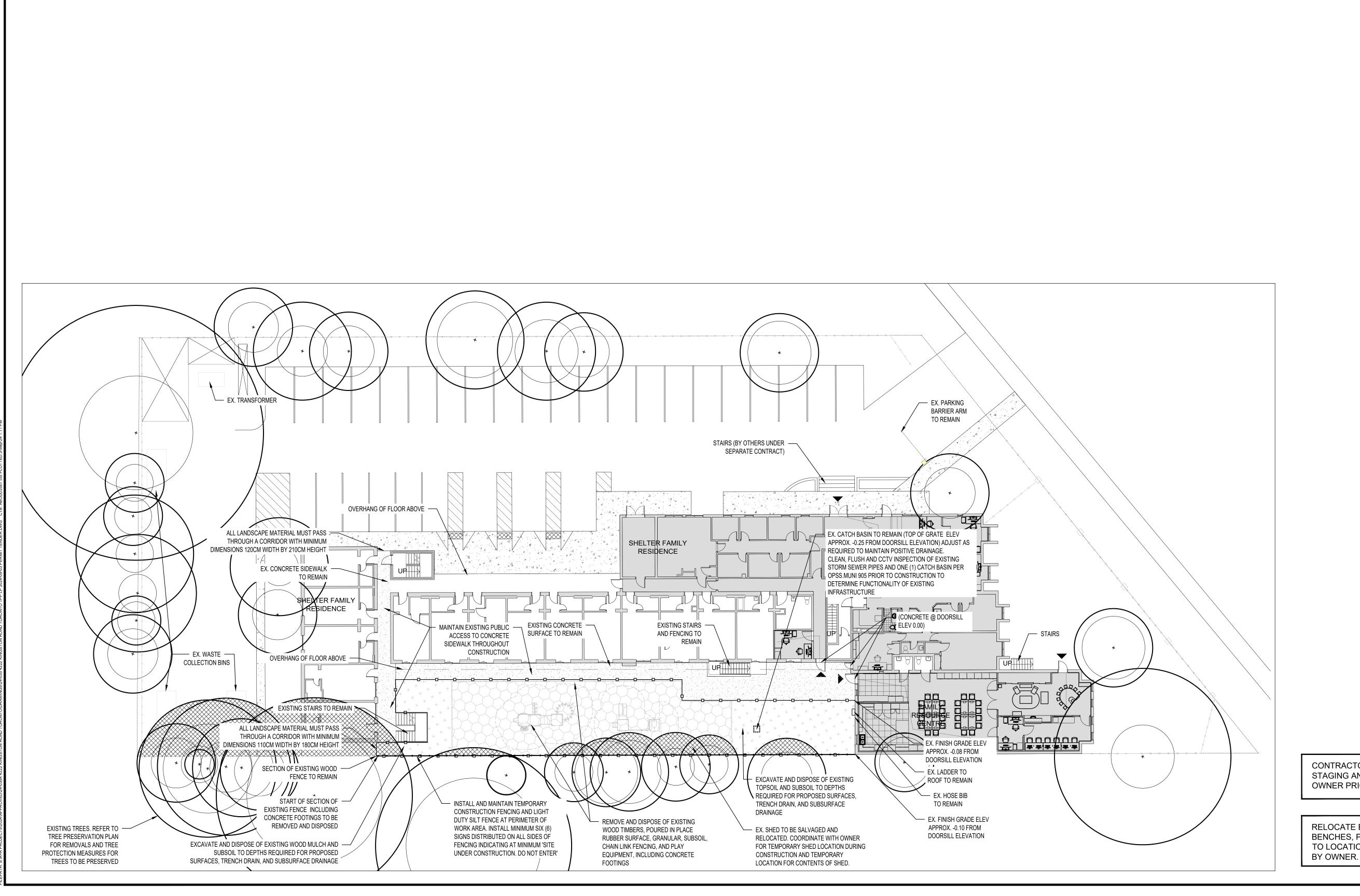
Tree Protection Zone (TPZ)

All construction related activities, including grade alteration, excavation, soil compaction, any materials or equipment storage, disposal of liquid and vehicular traffic are NOT permitted within this TPZ.

This tree protection barrier must remain in good condition and must not be removed or altered without authorization of City of Toronto, Urban Forestry.

Concerns or inquiries regarding this TPZ can be directed to: 311 or 311@toronto.ca

A sign that is similar to the illustration above may be required to be mounted on all sides of a tree protection barrier for trees protected by the Street Tree By-law and the Private Tree By-law. The sign should be a minimum of 40cm x 60cm and made of white corrugated plastic board or equivalent material. The sign may also be acquired from Urban Forestry Tree Protection and Plan Review (TPPR) district service counters.



PROPOSED EXCAVATION OF EXISTING SOFTSCAPE MATERIAL

PROPOSED EXCAVATION OF EXISTING SAFETY SURFACE

EXISTING TREE

LEGEND:

ROOT SENSITIVE EXCAVATION
UNDER ISA CERTIFIED ARBORIST OBSERVATION
PRIOR TO EARTHWORKS AND GRADING

TEMPORARY 1.8M TALL MODULAR
CONSTRUCTION FENCE AND
TEMPORARY SEDIMENT CONTROL
FENCE

SITE SPECIFIC NOTES

1. All landscape material must pass through a corridor with minimum dimensions 120cm width by 210cm

3	ISSUED FOR PERMIT/TENDER	MGN	03 SEP-24
2	ISSUED FOR 90% DESIGN REVIEW	MGN	25 JUL-24
1	ISSUED FOR 60% DESIGN REVIEW	MGN	11 JUN-24
0	ISSUED FOR INTERNAL REVIEW	MGN	22 APR-24
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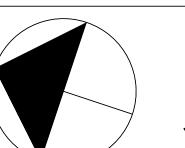


LANDSCAPE REMOVALS PLAN

TSSS FAMILY RESIDENCE RENOVATIONS 4222 KINGSTON ROAD, TORONTO

WORKSHOP

Date: MARCH 2024	Designer: NB
Project: AA24-035A	Drawn: NB
Scale: 1:200	Checked: MGN



NOTFORCONSTRUCTION

LP-0

CONTRACTOR TO COORDINATE STAGING AND STORAGE AREAS WITH OWNER PRIOR TO MOBILIZATION

RELOCATE EXISTING PICNIC TABLES, BENCHES, PLANTERS, AND BIKE RACKS TO LOCATIONS ON SITE AS DIRECTED BY OWNER. 1. Base information sources:

- 1.1. Site Plan and Architectural Plans prepared by WORKSHOP Architects dated June 5, 2024.
- 1.2. Tree inventory and preservation plan prepared by Aboud & Associates Inc. dated June, 2024.
- 2. All dimensions are in metric unless otherwise noted.
- 3. Do not scale drawings. Dimensions are to be verified on site by Contractor prior to commencement of the work. 4. These plans shall be read in conjunction with all details, notes, reports, written specifications, general conditions, any supplemental conditions and
- agreement which form the contract documents. 5. These drawings shall not be used for construction purposes unless noted as "Issued for Construction" and signed by the Landscape Architect or
- Professional Engineer. 6. Contractor shall review all drawings and verify actual field conditions to determine the total scope of work and all required coordination prior to submission of bids and commencement of the work. Report any discrepancies to the Landscape Architect, for action to the satisfaction of the
- Owner. 7. Contractor shall locate all underground, at grade and overhead utilities prior to commencement of the work. All utilities not necessarily shown on
- these drawings. Aboud & Associates assumes no responsibility for the accuracy of any utilities shown in these drawings. 8. Contractor shall perform all work in accordance with the most current Ontario Building Code, Occupational Health and Safety Act and it's
- regulations, as well as local municipal codes, regulations, and By-laws. 9. Contractor shall identify the location of all internal/external construction access routes, parking and storage of materials in conformance with
- project erosion and sediment control plans for acceptance by the Owner. Construction, maintenance and removal/restoration of access, parking and storage facilities shall be included in the Contractor's bid price. 10. Contractor shall submit shop drawings where indicated in these drawings. Shop drawings shall be certified by a Professional Engineer licensed to
- practice in Ontario and reviewed by the contractor for dimensional correlation with the drawings and field conditions. Fabrication of elements on shop drawings shall not proceed until drawings have been reviewed and approved by a Professional Engineer and have been accepted for general design conformance by the Landscape Architect in writing. The cost of preparing shop drawings, as well as the services of a Professional Engineer, shall be included in the Contractor's bid price.
- 11. Contractor proposed substitution of materials and products shall be submitted in writing for review by Landscape Architect and acceptance by Owner and Municipality.
- 12. Material quantities on drawings shall take precedent over those in lists and schedules.

GENERAL LANDSCAPE NOTES

- 13. Where traffic control is necessary, Contractor shall use the guideline of the Construction Safety Association of Ontario, municipal by-laws, the Highway Traffic Act and the Ontario Traffic Manual (Book 7). The cost of preparing, obtaining approvals and implementing traffic control plans shall
- be included in the Contractor's bid price, unless otherwise noted. 14. Contractor shall erect temporary barriers, as required, to secure the work area. Contractor shall maintain temporary barriers in good repair and
- remove at the end of the work. 15. Contractor shall provide layout and grade staking, for general review by Landscape Architect and acceptance by Owner.
- 16. Contractor is responsible for protecting and/or reinstating site elements indicated in these drawings.
- 17. Contractor is responsible for restoration of adjacent surfaces and existing site elements damaged by the Contractor in the performance of the work, including but not limited to roads, driveways, utilities, buildings, curbs, sidewalks, retaining walls, fencing, turf, flowers and woody vegetation. Restoration work shall be performed by the Contractor at no cost to the Owner and be completed in conformance with applicable Provincial, Municipal or Agency standards and requirements, to the satisfaction of the Owner/Agency of the damaged element.
- 18. Where new paving or earthwork meets existing, smoothly blend line and grade of existing with new. 19. Contractor or Owner to request in writing [email] Project Landscape Architect general review services at substantial performance of landscape
- work between May 1st and October 31st. Requests for review after October 31st will be carried out after May 1st the following spring.
- 20. All work and materials are to be warranteed by the Contractor for twenty-four (24) months from date of initial acceptance of all items by Municipal Staff and Project Landscape Architect.
- 20.1. The Contractor shall be retained by the Owner to perform maintenance, as described in these drawings for all the installed trees, shrubs, perennials, turf, and seeding during the warranty period.
- 20.2. The Owner shall provide maintenance themselves or retain a separate Contractor to perform the maintenance as described in these drawings for all installed trees, shrubs, perennials, turf and seeding during the warranty period.
- 21. Unless identified in warranty maintenance requirements, after substantial performance, it is the Owner's responsibility to inspect and maintain all safety devices, signs, guards, fences, handrails, surfaces, structures, and stormwater drainage system so they may function for their intended use and without harm for all users of the site.

- 1. Perform following maintenance operations from time of planting trees, shrubs, and perennials to end of warranty period two (2) years following substantial performance of the work. Watering to extend an additional two (2) years after end of warranty for a total of four (4) years in compliance with the City of Toronto Green Standard Version 4.0.
- 1.1. Water to maintain soil moisture conditions for optimum establishment, growth and health of plant material without causing erosion. In a typical loam soil, optimum soil moisture in planting beds at root depth is 65% of field capacity. Guidelines during a typical growing season are as follows:
- 1.1.1. Deep root water newly planted plants once per week for the first three weeks, such that the water penetrates to
- Deep root or surface water trees and shrubs a minimum of every ten (10) days between May 15 and September
- Deep root or surface water trees and shrubs a minimum of every twenty-one (21) days between September 15 and freeze up.
- Water evergreen plants thoroughly in late fall prior to freeze-up to saturate soil around root system. 1.2. Soil moisture to be monitored throughout the growing season:
- Watering schedule to be increased when plant materials are reaching the permanent wilting point. Watering schedule to be reduced when a sufficient volume of rainfall has penetrated the soil fully as required.
- 1.3. Replace or respread damaged, missing or disturbed mulch. If required to control insects, fungus and disease, use appropriate control methods in accordance with Federal,
- Provincial and Municipal regulations. Obtain product approval from Consultant prior to application. 1.5. Control outbreaks of perennial weeds as directed by Consultant, and annual weeds by mechanical or chemical
- means utilizing acceptable integrated pest management practices to meet acceptance/success targets 1.5.1. If chemical means are used, comply with all municipal, provincial, and federal legislation and regulations. 1.6. Remove dead or broken branches from plant material using clean sharp horticultural tools using current
- arboricultural practices.
- 1.7. Keep trunk protection and guy wires in proper repair and adjustment.
- 1.8. Provide adequate protection from winter, wind and rodent damage.
- 1.9. Remove and replace dead plants and plants not in healthy growing condition. Make replacements in same manner as specified for original plantings, unless otherwise directed by Consultant.
- 1.10. Remove trunk protection, tree supports and level watering saucers at end of warranty period, unless otherwise directed by Consultant.
- 2. After establishment period is complete and sod is accepted, the Owner shall retain the installing Landscape Contractor, a third-party Landscape Maintenance Contrator, or perform the following maintenance work to end of warranty period two (2) years following substantial performance of the work:
- 2.1. Maintenance Level 3 "Moderate" in accordance with the Canadian Landscape Standard. The main objective is a generally neat, moderately groomed appearance, with some tolerance for the effects of "wear and tear," moderate
- 2.2. Mow turf to a height of 75-100mm (3"-4"), Mowing should be performed as necessary to avoid the removal of any more than one third of the grass blade length at any one time.
- 2.3. Supplemental watering shall be carried out when required and with sufficient quantities of water to prevent turf and
- If required to control insects, fungus and disease, use appropriate control methods in accordance with Federal,
- Provincial and Municipal regulations. Obtain product approval from Consultant prior to application. 2.5. Control outbreaks of perennial weeds and annual weeds by mechanical or chemical means utilizing acceptable
- integrated pest management practices to meet acceptance/success targets.
- 2.6. If chemical means are used, comply with all municipal, provincial, and federal legislation and regulations. 3. Submit monthly written reports in during the growing season (April - September) to Consultant identifying:
- 3.4. Maintenance work carried out.
- 3.5. Watering method, quantity of water used, water source. 3.6. General development and condition of plant material.
- 3.7. Preventative or corrective measures required which are outside Contractor's responsibility.

GENERAL LANDSCAPE MAINTENANCE NOTES

 EX. TRANSFORME EX. PARKING BARRIER ARM TO REMAIN STAIRS (BY OTHERS UNDER -SEPARATE CONTRACT) OVERHANG OF FLOOR ABOVE ALL LANDSCAPE MATERIAL MUST PASS THROUGH A CORRIDOR WITH MINIMUM SHELTER FAMILY DIMENSIONS 120CM WIDTH BY 210CM HEIGHT RESIDENCE EX. CONCRETE SIDEWALK EX. CATCH BASIN TO REMAIN (TOP OF TO REMAIN GRATE ELEV APPROX. -0.25 FROM DOORSILL ELEVATION) ADJUST AS TREQUIRED TO MAINTAIN POSITIVE FER FAMILY SIDENCE G (CONCRETE @ DOORSILL 3 4 PI(LP-3 LP-3 QT - STAIRS - EX. WASTE SUBSURFACE DRAINAGE _ OVERHANG OF FLOOR ABOVE **COLLECTION BINS** PURE PAVE SURFACE TO EXTEND UNDER STAIRS STAIRS 🔪 ALL LANDSCAPE MATERIAL MUST PASS -THROUGH A CORRIDOR WITH MINIMUM EX. FINISH GRADE ELEV DIMENSIONS 110CM WIDTH BY 180CM HEIGHT APPROX. -0.08 FROM DOORSILL ELEVATION INSTALL TERMINAL POST OF PROPOSED LANDSCAPE PLAN EX. LADDER TO RELOCATED SHED. PURE WOOD FENCE SO THAT GAPS GREATER **ENLARGEMENT LP-1.1** ROOF TO REMAIN PAVE SURFACE TO EXTEND HAN 15MM DO NOT EXISTING AT EXISTING UNDER SHED WOOD FENCE TERMINAL POST - EX. HOSE BIB POURED-IN-PLACE RUBBERIZED PLAY SURFACE TO REMAIN EX. FINISH GRADE ELEV APPROX. -0.10 FROM DOORSILL ELEVATION

ALL PURE PAVE AND POURED IN PLACE RUBBER SURFACES ARE TO BE FLUSH WITH EXISTING CONCRETE SURFACES TO REMAIN AND PROPOSED TRENCH DRAIN ASSEMBLY, INCLUDING CONCRETE SURROUND. CONTRACTOR TO **CONFIRM EXISTING GRADES ON SITE** AND SLOPE PURE PAVE AND POURED IN PLACE RUBBER SURFACES TO THE TRENCH DRAIN OR EXISTING CATCH BASIN AT NO GREATER THAN 2% IN ANY DIRECTION

LEGEND: PROPOSED DECIDUOUS SHRUBS IN CONTINUOUSLY MULCHED BEDS PROPOSED ORNAMENTAL GRASSES IN CONTINUOUSLY MULCHED BEDS PROPOSED PERENNIALS IN CONTINUOUSLY MULCHED BEDS PROPOSED CONCRETE SURFACE SEE DETAIL 3 - LP5 PROPOSED PURE PAVE SURFACING SEE DETAIL 4 - LP5 PROPERTY BOUNDARY PROPOSED PRIVACY FENCE PROPOSED DECORATIVE FENCE EXISTING FENCE - BOARD **EXISTING FENCE - DECORATIVE** PLANT KEY SPE

SITE SPECIFIC NOTES 1. All landscape material must pass through a corridor with minimum dimensions 120cm width by 210cm

ISSUED FOR PERMIT/TENDER MGN | 03 SEP-24 2 ISSUED FOR 90% DESIGN REVIEW MGN 25 JUL-24 ISSUED FOR 60% DESIGN REVIEW | MGN | 11 JUN-24 0 ISSUED FOR INTERNAL REVIEW MGN 22 APR-24 Ву No. Description REVISIONS:

All previous issues of this drawing are superce

Consulting Arborists • Ecologists • Landscape Architects

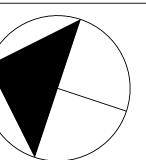
3-5 Edinburgh Road South . Guelph . Ontario . N1H 5N8 . 519.822.6839 . aboudtng.co

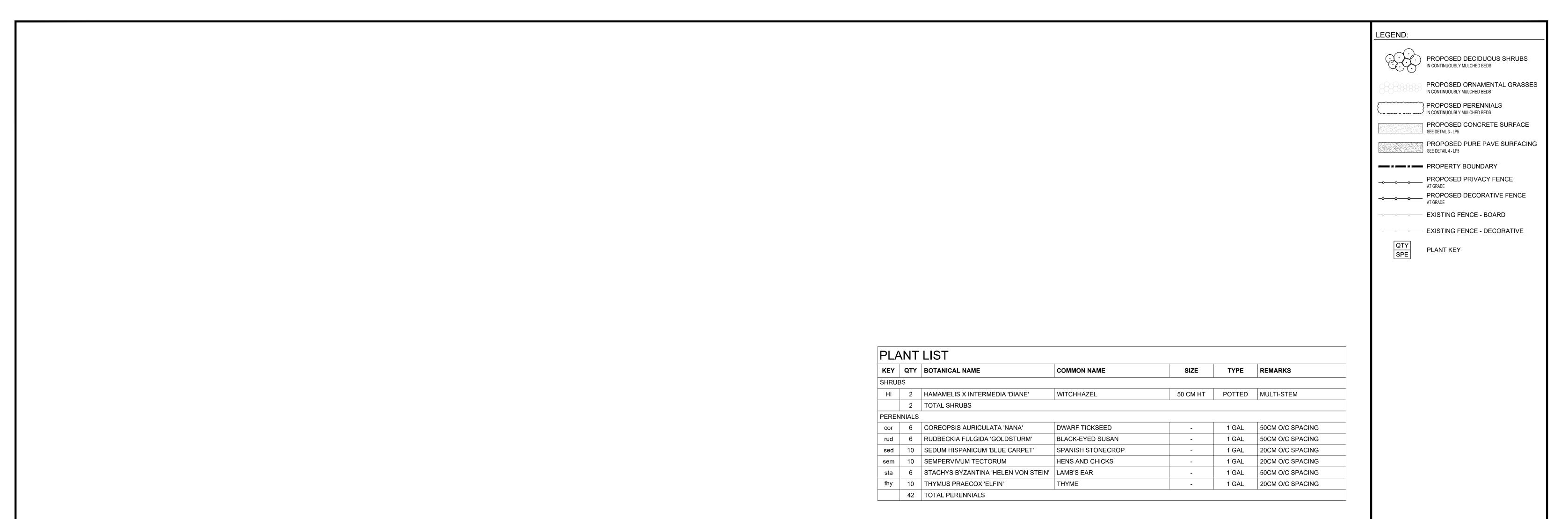
LANDSCAPE PLAN

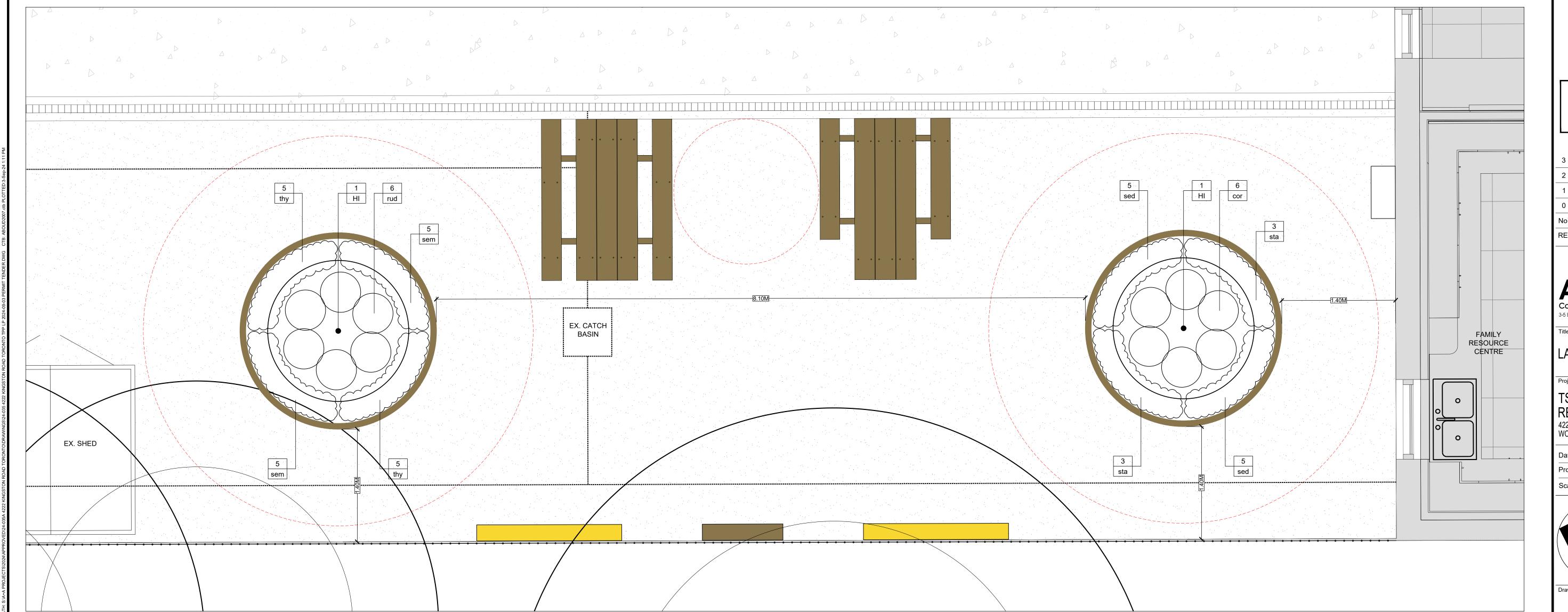
TSSS FAMILY RESIDENCE **RENOVATIONS**

4222 KINGSTON ROAD, TORONTO WORKSHOP

Date: MARCH 2024 Designer: NB Project: AA24-035A Drawn: NB Scale: 1:200 Checked: MGN







SITE SPECIFIC NOTES All landscape material must pass through a corridor with minimum dimensions 120cm width by 210cm

3	ISSUED FOR PERMIT/TENDER	MGN	03 SEP-24
2	ISSUED FOR 90% DESIGN REVIEW	MGN	25 JUL-24
1	ISSUED FOR 60% DESIGN REVIEW	MGN	11 JUN-24
0	ISSUED FOR INTERNAL REVIEW	MGN	22 APR-24
No.	Description	Ву	Date

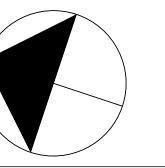
REVISIONS: All previous issues of this drawing are superced



LANDSCAPE PLAN ENLARGEMENT

TSSS FAMILY RESIDENCE RENOVATIONS
4222 KINGSTON ROAD, TORONTO WORKSHOP

Designer: NB Date: MARCH 2024 Project: AA24-035A Drawn: NB Checked: MGN



in accordance with the Canadian Nursery Landscape Association Canadian Standards for Nursery Stock, current edition.

2. Planting shall only be performed when weather and soil conditions are suitable for planting the materials specified in accordance with locally accepted practice. Install plant materials during the planting time as described below unless otherwise approved in writing by Landscape Architect. In the event that the Contractor request planting outside the dates of the planting season, approval of the request does not change the requirements of the warranty.

• April 1 - June 30 and September 1 - October 31

3. Transportation of plants should be restricted to closed vans or trucks covered with mesh tarpaulin or, similar material, to protect the leaves or needles from windburn or desiccation. This may be supplemented by spraying the foliage with an antidesiccant prior to shipping.

4. Plant material shall at no time be dropped or handled roughly.

5. Protect plant material from frost, excessive heat, wind and sun following delivery.

6. Immediately store and protect plant material, which will not be installed within 1 hour after arrival at site in storage location, approved by the Landscape Architect.

7. Protect stored plant material from frost, wind and sun and as follows: For pots and containers, maintain moisture level in containers.

8. For balled and burlapped and wire basket root balls, place to protect branches from damage. Maintain moisture level in root zones.

9. Topsoil or plantings shall not be placed or installed when in a frozen condition, under adverse field conditions such as high wind, frozen soil or soil covered with snow, ice, or standing water.
10. The Landscape Architect and Municipal Staff has the right to reject any and all plant material that does not conform to the

requirements of this specification at any time regardless of any previous approval.

11. When a plant has been rejected, immediately remove it from the area of the Work and replace it with a plant of the required species, size and quality at the earliest planting period consistent with these specifications. Replacement plant material shall

meet all the requirements of this specification. Rejected plants shall be replaced at no cost to the Owner.

12. Acceptance shall not be given for the planting Work until all plants rejected during the course of the Work are replaced.

13. Any plant that has the following characteristics shall be cause for rejection:

13.1. Only nursery grown plants will be accepted.

13.2. Any plant that has a canopy with 25% or more dead or removed limbs.

13.3. Evidence of damage to plant material, which diminishes the aesthetic character/form, biological integrity, or structural integrity of the plant or group of plants .

13.4. Evidence of improper digging; inadequate protection following digging; carelessness while in transit; evidence of desiccation or wind-related damage; cold damage; improper handing or storage; root zones that have dried to the point of leaf wilt; cracked, loose, damaged or distorted root balls.

13.5. Plants with undersized root balls or containers, kinked or girdling roots, matted roots on the top, and edges of the container, excessive surface adventitious roots, root balls and containers with no structural roots in the top 75mm of the soil

13.6. Plants balled with synthetic, treated or non-biodegradable fabrics.

13.7. Any tree that is of a species that characteristically has a dominant central leader, and if the leader is dead or removed, the tree will not have a form consistent with the species.

13.8. Any tree that has open wounds (not completely healed over) that penetrates the cambium into the wood on trunks or major limbs the removal of which would result in the loss of 25% or more of the structure and form of the tree

14. Topsoil shall be loose, friable, fertile loamy material that is free from subsoil, weeds, roots, vegetation and other deleterious material greater than 25mm diameter in the greatest dimension. The topsoil shall also be certified by an OMAFRA Accredited Soil Testing Laboratory in Ontario to meet the following requirements:

14.1. City of Toronto Type 2 Planting Bed Mix Construction Specifications for Growing Medium TS 5.10.05.06 September 2021.

14.2. Shall not have contaminants that adversely affect plant growth.

14.3. The cost to amend existing on-site topsoil to be reused shall be paid for by the Owner.14.4. The cost to amend imported topsoil supplied by the Contractor to meet Agronomist written recommendations shall be paid for by the Contractor.

15. Water shall not have contaminants or impurities that would adversely affect the germination and growth of vegetation. Proposed plants which come over or under any utility shall be relocated by the Contractor for review by the

Landscape Architect, to the satisfaction of the utility provider.
16. Mulch shall be shredded hardwood or softwood as specified in the planting details. Free from roots, leaves, twigs, debris, stones, fungus, crabgrass rhizomes, or any material detrimental to plant growth. Material shall be mulching grade, uniform in

size and foreign matter. Mulch that has become saturated with water and presents an anaerobic odor shall be rejected.

17. Anti-Desiccant (if used) shall be emulsion type, film-forming agent similar to Dowax by Dow Chemical Company, or Wilt-Pruf by Nursery Specialty Products, Inc., Croton Falls, New York, designed to permit transpiration but retard excessive loss of moisture from plants. Deliver in manufacturer's fully identified containers and use in accordance with manufacturer's

instructions. Submit manufacturers product data for approval.
18. Contractor to examine the surface grades and soil conditions for any circumstances that might be detrimental to plant growth, such as deposits of construction-related waste or soil contamination, storage of material or equipment, soil compaction or poor drainage. Contractor to examine the grading, verify all elevations, and notify the Landscape Architect in writing of any unsatisfactory conditions.

19. Contractor to inspect each plant after delivery and prior to installation for damage of other characteristics that may cause

20. Excavate pits, beds, and trenches with vertical sides and with bottom of excavation slightly raised at center to provide proper drainage. When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions, or obstructions, notify the Consultant before planting. Dispose of subsoil removed from planting excavations. Do not mix with planting soil or use as backfill. Plants to be planted in prepared planting soil may utilize the soil removed from the planting hole as backfill around the root ball.

21. Set edge of the root ball at the elevation of the proposed finish. Consult the grading plan and utilize a builder's level or transit to determine the grade at the tree grade. For trees on sloped surfaces, set the edge of the root ball at the average grade around the tree. Set the plant plumb and in the location indicated on the plan. The root flare and tree graft, if applicable, shall be visible at the top of the root ball, above the grade. Do not place soil on top of the root ball and remove soil pushed above root flare by mechanical potting/balled & burlapping process during transplantation by the nursery.

base and sides of ball in 150mm lifts. Work each lift to settle backfill and eliminate voids and air pockets. When excavation is approximately two-thirds full, water thoroughly before placing remainder of backfill. Ropes or strings on top of ball shall be cut and removed. Burlap or cloth wrapping shall be cut and removed from the top of the root ball. The top horizontal ring of support wire baskets shall be cut in four places and the top half of the wire basket folded down into the soil.

22. When set, brace root ball by tamping backfilled soil around the lower portion of the root ball. Place additional backfill around

Where staking is required, caliper trees shall be supported by wooden stakes driven outside the ball in line with the direction of the prevailing wind. Tree tie type and installation method to be per planting detail. Stakes shall be 50mm x 50mm hardwood stakes free of knots and of lengths appropriate to the size plant required for to adequately support the plant.

24. Tree Guard type and installation per planting detail.

24. Tree Guard type and installation per planting detail.
25. Maintain all trees and shrubs in a plumb position throughout the warranty period. Straighten all trees including those not staked. Plants to be straightened shall be excavated and the root ball moved to a plumb position, and then re-backfilled. Do not straighten plants by pulling the trunk with guys.

26. Do not apply any fertilizer to plantings during the first year after transplanting, unless soil tests determine that fertilizer or other chemical additives are required. If required, fertilizers shall be applied according to the manufacturer's instructions and standard horticultural practices.

27. Pruning shall be done with clean, sharp, rust-free tools. Cuts shall be made flush, leaving no stubs as per ANSI A 300 - current edition. No tree paint or sealants shall be used.

28. Dead wood, suckers, and broken and badly bruised branches shall be removed. Do not prune plant material that has been

severely damaged due to transit or handling until viewed by the Landscape Architect.

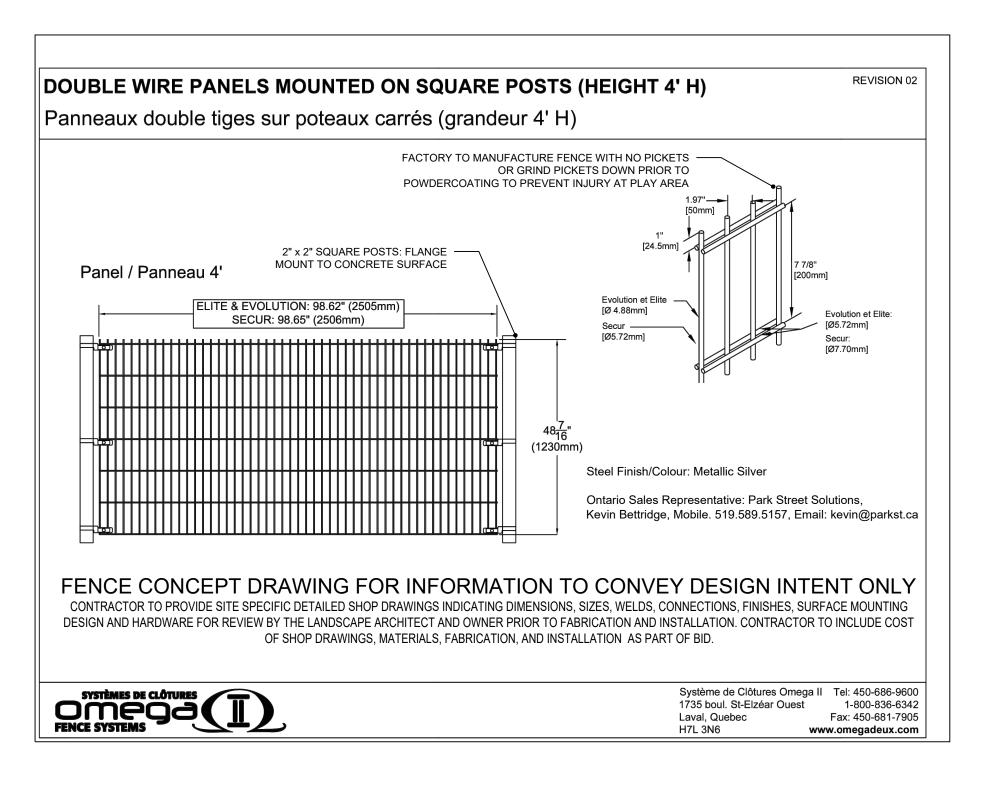
29. Pruning of broken or dead branches shall be done after planting. Form-corrective pruning may occur when tree has hardened until bud-break in the spring. If corrective pruning dates fall outside the construction schedule, it shall remain a

punch list (warranty) item. The Contractor shall be responsible for completing this off-season punch list (warranty) item.

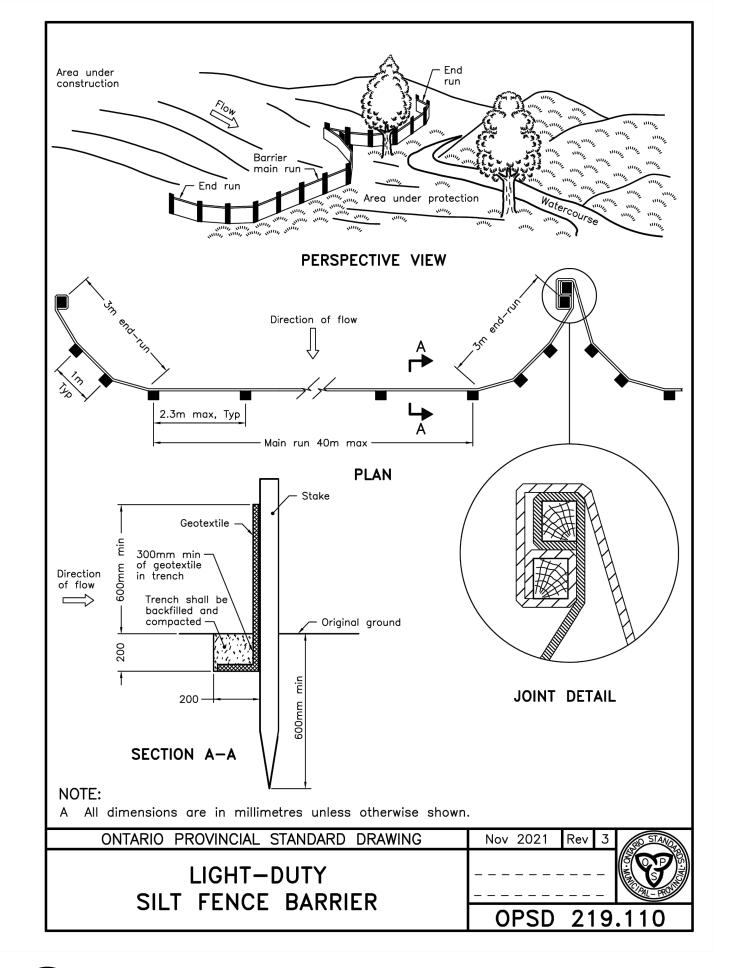
30. Mulch top of root balls and planting beds, covering the entire planting bed area. Leaving a mulch free zone at stem/trunk as indicated in planting details.

31. Water each plant on the day of installation to saturate the soil around the roots and wash the soil into the root zone. After the soil has drained, reset any settled plants or grades around the plant, adding soil if required.





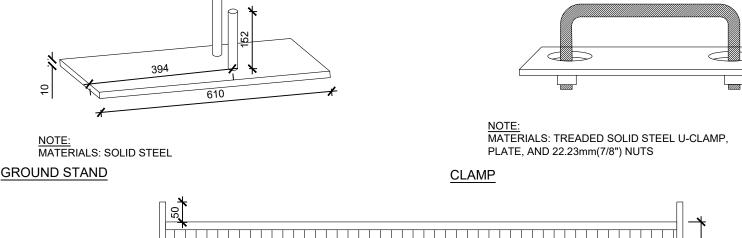
2 OMEGA ELITE DOUBLE WIRE FENCE

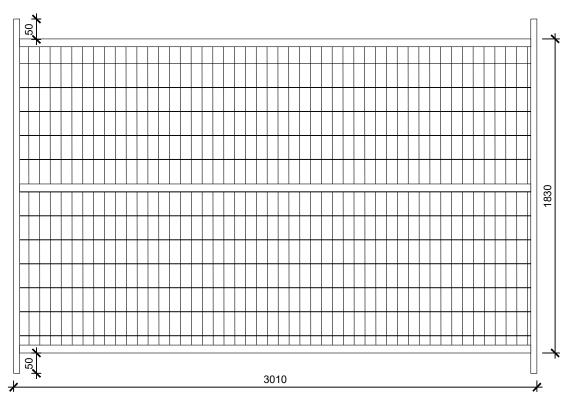


3 LIGHT DUTY SILT BARRIER LP-2 N.T.S.

ALL TEMPORARY CONSTRUCTION FENCE PANELS TO BE FASTENED TOGETHER WITH CLAMPS, CLIPS, OR OTHER FASTENERS SUPPLIED BY THE SUPPLIER TO PREVENT REMOVAL OF PANELS BY GENERAL PUBLIC. INSTALL FASTENERS WITH NUTS FACING TOWARD SECURE CONSTRUCTION AREA TO PREVENT REMOVAL BY GENERAL PUBLIC. USE OF ONLY REMOVABLE 'U' SHAPED INSERTS INTO TOP OF POSTS WILL NOT BE ACCEPTED.

ALL GATES ARE TO BE CLOSED AND SECURELY LOCKED WHEN CONSTRUCTION CREW MEMBERS ARE NOT PRESENT ON SITE.

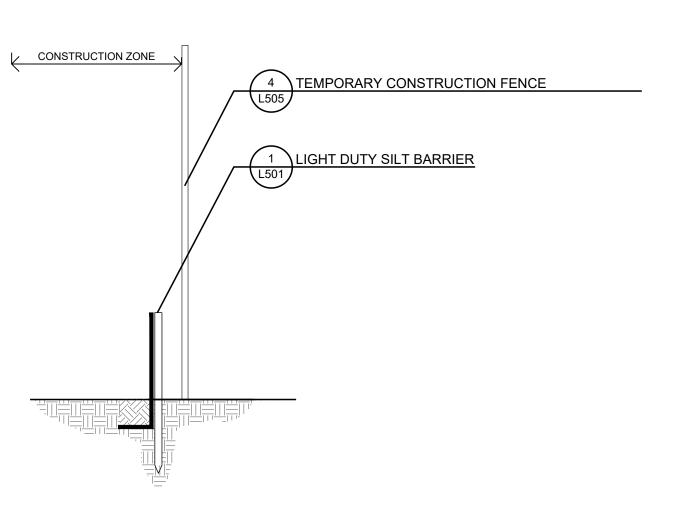




NOTE:
FRAME: WELDED GALVANIZED STEEL TUBING
MESH: 50.8mm X 101.6mm (2"X4")10-GAUGE STEEL WIRE

4 TEMPORARY CONSTRUCTION FENCE

MAINTAIN FENCE AND SILT BARRIER THROUGHOUT CONSTRUCTION.
DO NOT REMOVE UNTIL MUNICIPALITY APPROVES REMOVAL
THROUGH WRITTEN CONFIRMATION BY LANDSCAPE ARCHITECT.



5 SILT FENCE AND TEMPORARY CONSTRUCTION FENCE

3	ISSUED FOR PERMIT/TENDER	MGN	03 SEP-24		
2	ISSUED FOR 90% DESIGN REVIEW	MGN	25 JUL-24		
1	ISSUED FOR 60% DESIGN REVIEW	MGN	11 JUN-24		
0	ISSUED FOR INTERNAL REVIEW	MGN	22 APR-24		
No.	Description	Ву	Date		
REVISIONS: All previous issues of this drawing are superced					

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LANDSCAPE DETAILS AND NOTES

Project:

TSSS FAMILY RESIDENCE RENOVATIONS 4222 KINGSTON ROAD, TORONTO WORKSHOP

Date: MARCH 2024 Designer: NB

Project: AA24-035A Drawn: NB

Scale: NA Checked: MGN

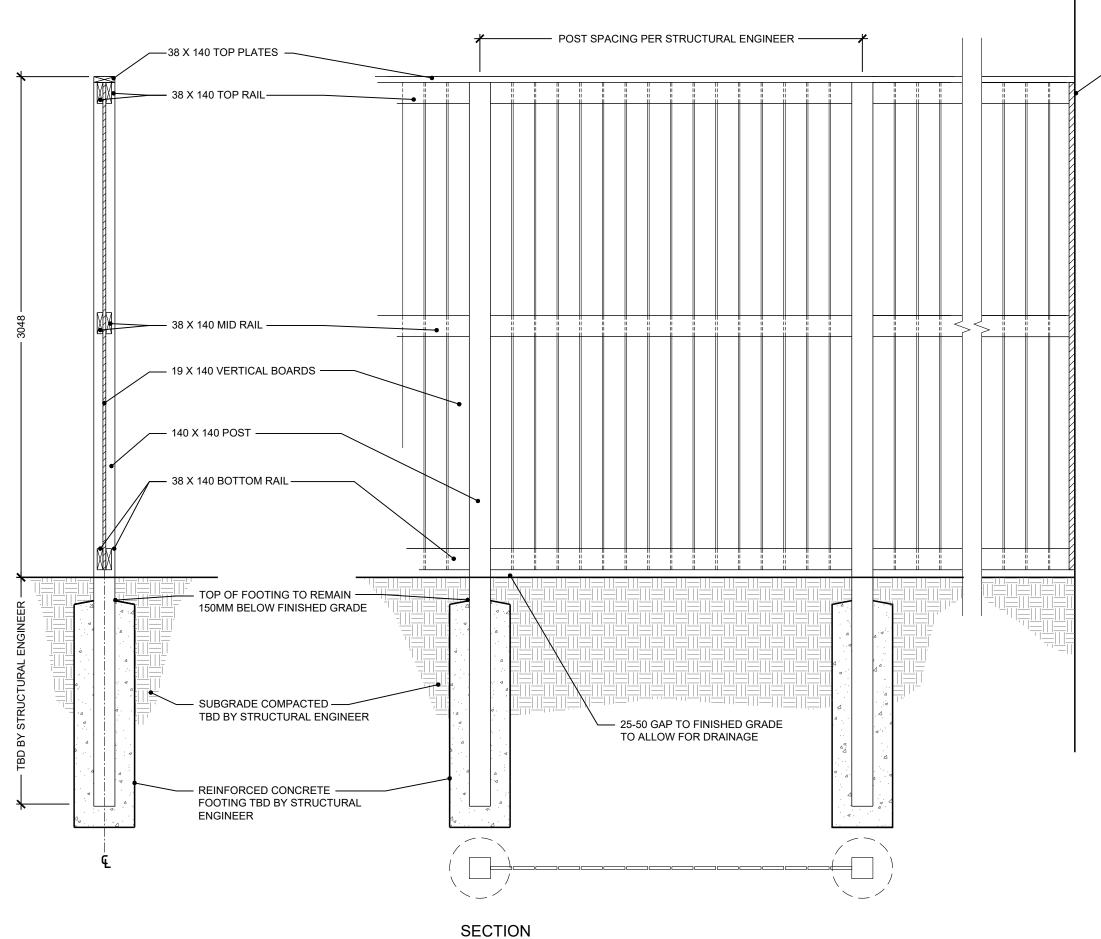


Drawing No

_P-2

FENCE CONCEPT DRAWING FOR INFORMATION TO CONVEY DESIGN INTENT ONLY

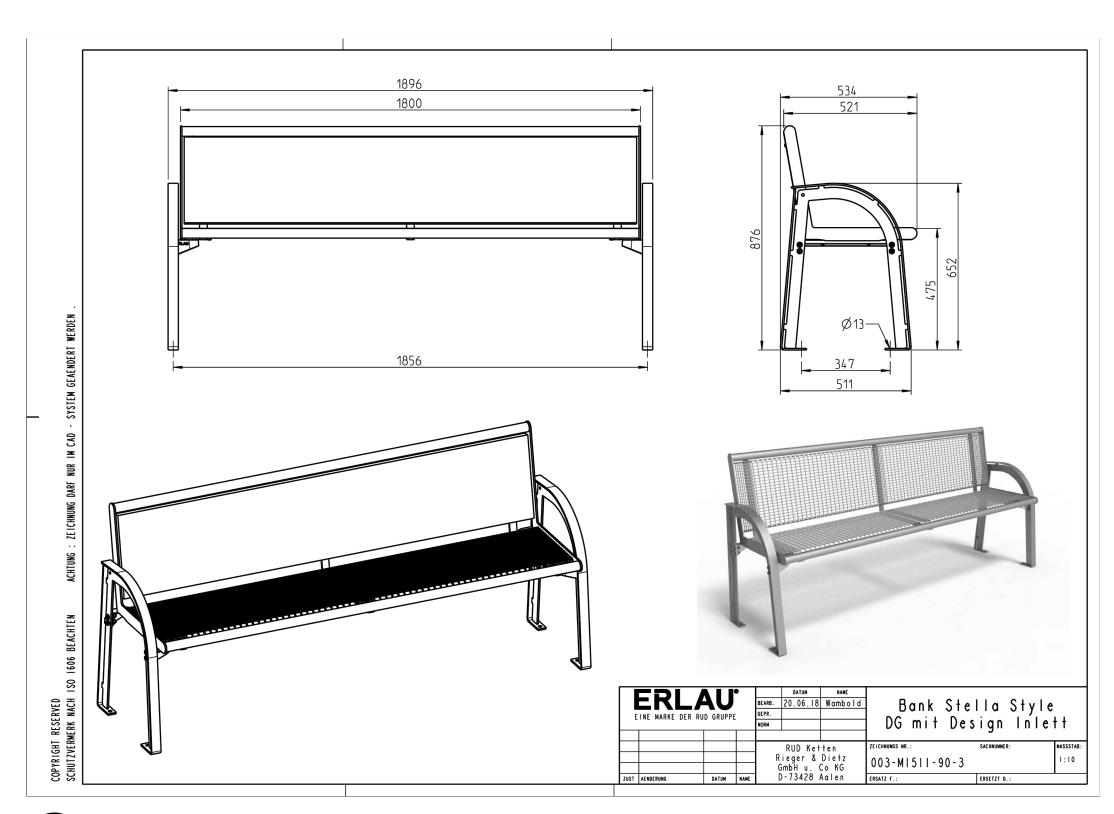
CONTRACTOR TO PROVIDE SITE SPECIFIC DETAILED SHOP DRAWINGS CERTIFIED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE PROVINCE OF ONTARIO INDICATING ANY REQUIRED MODIFICATIONS TO THIS GENERAL FENCE DETAIL SUCH AS BUT NOT LIMITED TO: CONCRETE FOOTING DESIGN/SPECIFICATIONS, WOOD MEMBER SPECIFICATIONS, RAIL BRACKET/HANGER SPECIFICATION [IF REQUIRED], ADDITIONAL MIDDLE RAIL(S) [IF REQUIRED], AND DETAILED FASTENER SPECIFICATIONS, POST SPACING, TO MEET THE REQUIREMENTS OF THE ONTARIO BUILDING CODE. AND SUBGRADE REQUIREMENTS FOR REVIEW BY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO FABRICATION AND INSTALLATION. CONTRACTOR TO INCLUDE COST OF SHOP DRAWINGS, MATERIALS, FABRICATION, INSTALLATION AS WELL AS INSPECTION AND CERTIFICATION BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE PROVINCE OF ONTARIO AS PART OF BID.



— ANCHOR 38 X 140 TO BUILDING IN ACCORDANCE WITH ONTARIO BUILDING CODE BASED ON CROSS SECTION OF EXTERIOR WALL. COUNTERBORE AS REQUIRED SO FASTENERS ARE FLUSH TO ALLOW TIGHT FIT AT VERTICAL BOARD

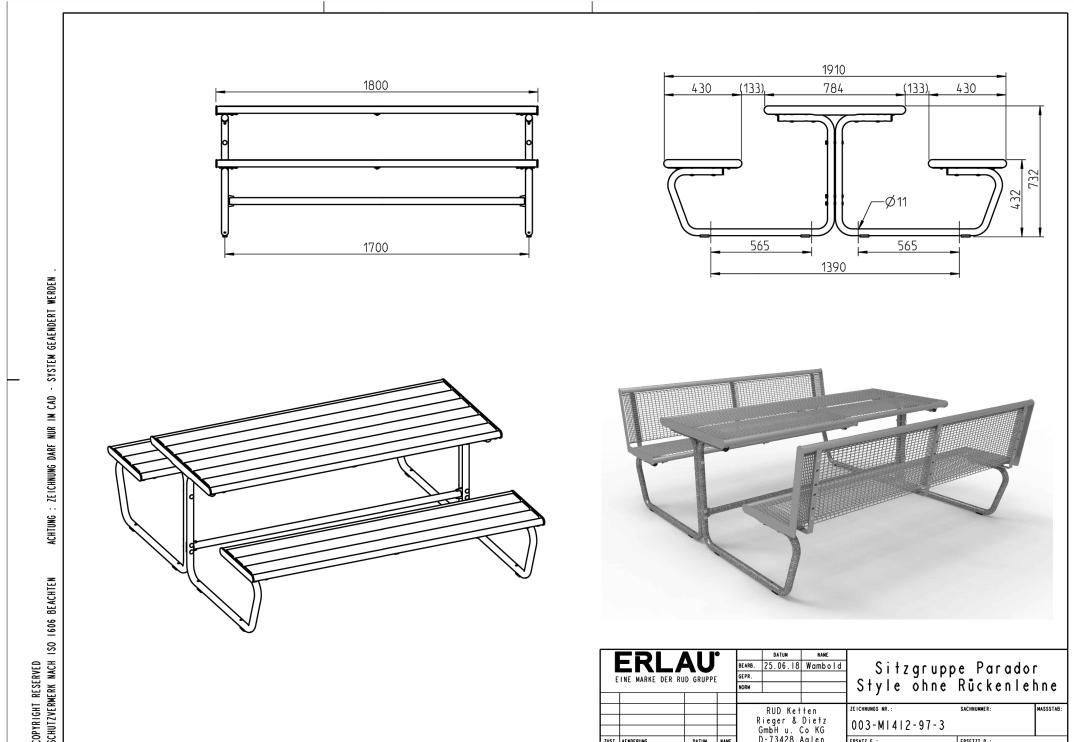
- 1. STEP FENCING PANELS 50mm MIN AND 150mm MAX AT POSTS AS REQUIRED BY GRADE CONDITIONS.
- 2. ALL MATERIALS, COMPONENTS AND WORKMANSHIP TO CONFORM TO OBC AND LOCAL BY-LAWS.

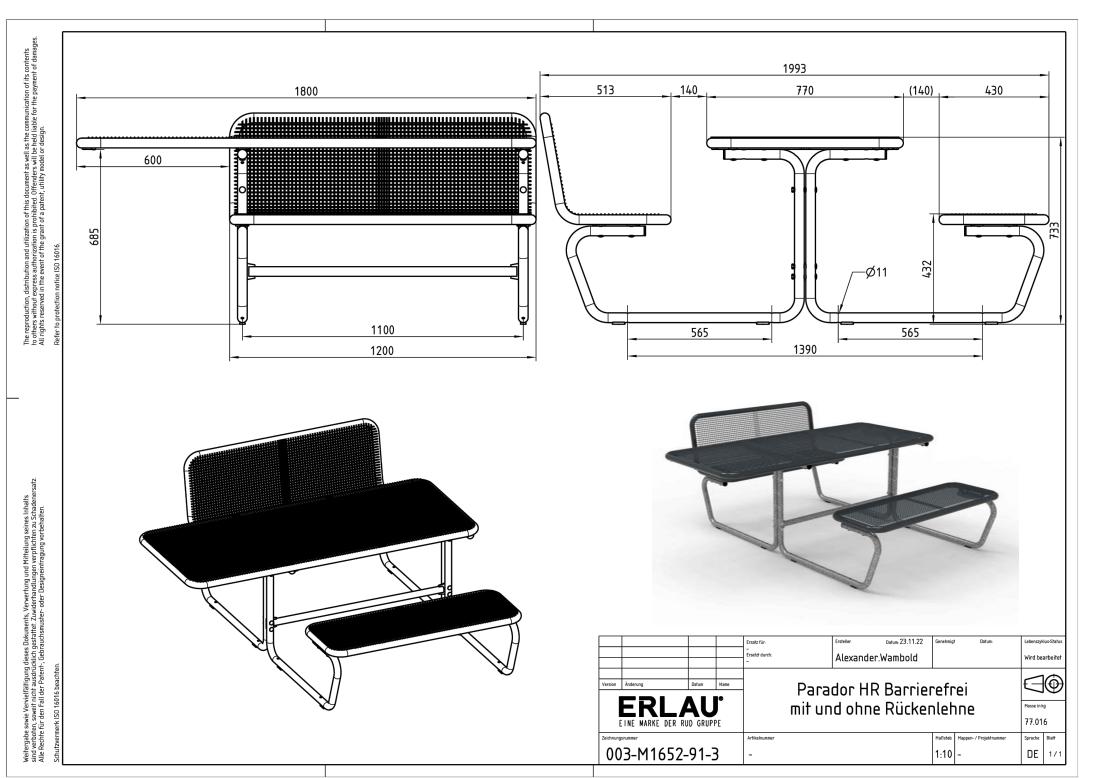
 3. ALL LUMBER SIZES ARE ACTUAL RATHER THAN NOMINAL.
- 4. ALL WOOD SHALL BEAR GRADING STAMP OF C.L.S.
- CERTIFIED AGENCY. WARRANTY: THE FENCE SHALL BE GUARANTEED FOR THREE YEARS AS FOLLOWS: 5MM/M ON PLUMB OF POSTS AND LEVEL OF VERTICAL BOARDS. GAPS BETWEEN VERTICAL
- BOARDS SHALL NOT EXCEED 6MM, VERTICAL BOARDS SHALL BE TIGHT AND FREE OF RATTLING. 6.1. ALL WOOD SHALL BE PRESSURE TREATED SELECTED FOR GOOD APPEARANCE AND FREE OF WANE AND BARK
- POCKETS. 6.2. ALL TORN GRAIN AND SURFACE STAIN SHALL BE
- ELIMINATED BY SANDING OR PLANING
- 6.3. MEMBERS WITH HEAVY KNOTS AND/OR SAP STAIN SHALL BE WELL DISTRIBUTED THROUGHOUT THE INSTALLATION 6.4. MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 20%
- AT TIME OF CONSTRUCTION 6.5. VERTICAL/HORIZONTAL BOARDS:
- 6.5.1. TO NLGA 204A OR BETTER "SELECT KNOTTY" GRADE 6.6. POSTS
- 6.6.1. TO NLGA 131B#1 STRUCTURAL POST AND TIMBER 6.6.2. SHALL BE PLUMB WITHIN 5MM/M ABOVE GRADE
- FASTENERS 7.1. ALL FASTENERS INCLUDING ARDOX NAILS, SCREWS, BOLTS, NUTS, WASHERS AND BRACKETS SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE TO CSA STANDARD G164. SCREWS AND BOLTS SHALL CONFORM
- TO ASTM A307. 7.2. COUNTER-SINK ALL LAG SCREWS AND BOLTS AND DRIVE
- ALL NAIL HEADS BELOW SURFACE OF WOOD. 7.3. ALL ARDOX NAILS OR SCREWS TO BE EVENLY SPACED AND SET NOT LESS THAN 25MM FROM EDGE OF ANY
- WOODED MEMBER. 8.4. UNLESS OTHERWISE INDICATED, NAILING REQUIREMENTS SHALL CONFORM TO ONTARIO BUILDING CODE DIVISION B PART 9 TABLE 9.23.3.4.

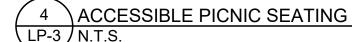


1 3.0M WOOD PRIVACY FENCE AT GRADE

3 PICNIC SEATING







3	ISSUED FOR PERMIT/TENDER	MGN	03 SEP-24		
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1	ISSUED FOR 60% DESIGN REVIEW	MGN	11 JUN-24		
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REV	REVISIONS: All previous issues of this drawing are superceded				

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LANDSCAPE DETAILS

TSSS FAMILY RESIDENCE RENOVATIONS 4222 KINGSTON ROAD, TORONTO WORKSHOP

Date: MARCH 2024 Designer: NB Project: AA24-035A Drawn: NB Checked: MGN



LP-3

STEEL ROUND TANKS

Features

- Made with Certified G90 galvanized steel throughout
- Black Label tanks are 20GA throughout
- Green Label tanks have 22GA sidewalls and 20GA bottoms
- Bottoms attached to sidewall with a 4-ply lock seam and sealant for maximum leak protection
- .875" steel pipe rolled into the top rim of each tank for strength and rigidity (3'-10' diameters)
- 11' tanks have a 1.5" angle ring on top for added strength
- Widest variety of sizes and gallonages available
- Many sizes available in both a 2' and 1' sheep tank depth to meet most needs





.75" zinc plated plug that comes standard installed in all Hastings stock tanks. (Except for our 11' tank. See 2152 below.)



.75" polyethylene plug and flange unit that comes standard with our 11' stock tank.



11' stock tanks.



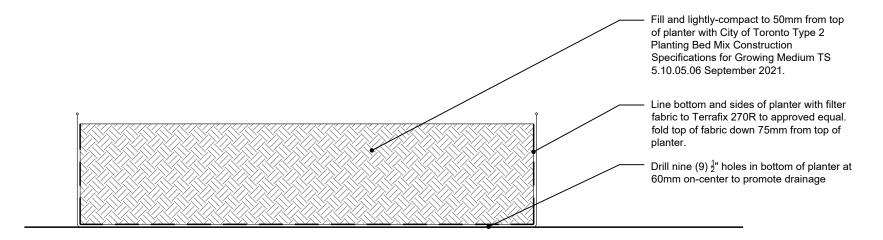


HD0602	

	Model Number	Size (Width x Depth)	Tanks in a Nest	Approx. Capacity (gallons)	Approx. Wt. 20GA (lbs.)	Approx. Wt 22GA (lbs.)		
Round Tanks	HD0302	3' x 2'	2	101	47	38		
	HD0402	4' x 2'	3	180	66	55		
	HD0502	5' x 2'	3	281	89	75		
	HD0602	6' x 2'	3	404	116	106		
	HD0702	7' x 2'	3	550	148	134		
	HD0802	8' x 2'	3	718	171	150		
	HD0902	9' x 2'	3	909	210	183		
	HD1002	10' x 2'	3	1122	265	225		
	HD1102	11' x 2'	3	1358	303	N/A		
ee	SHEEP TANKS							
Steel	HGS0301	3' x 1'	2	48	N/A	29		
	HGS0401	4' x 1'	3	86	N/A	47		
	HGS0501	5' x 1'	3	134	N/A	62		
	HGS0601	6' x 1'	3	192	N/A	84		
	HGS0701	7' x 1'	3		N/A			
	HGS0801	8' v 1'	- Z	3/12	N/A	122		

* All tank sizes are nominal. Most sizes are nested in small, medium, and large to optimize freight expense. ** 22GA model numbers in the 2' depth begin with HG instead of HD

1-888-883-2189 • www.hastingstank.com



1 TYPICAL ACCESSIBLE RAISED PLANTER

500 SERIES

www.maglin.com sales@maglin.com



FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces. INSTALLATION: The bike rack is delivered pre-assembled. It is available with either a surface mount or direct burial installation option.

DESCRIPTION: 500 Series - 500 Bike Rack: H.S. Steel Tube, Surface Mount, 2 Bike Configuration

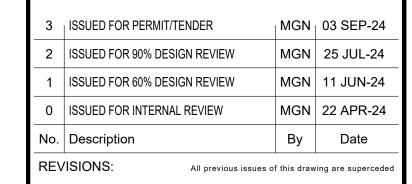
Select MBR-0500-00003 TO SPECIFY: Choose: - Powdercoat Color

WEIGHT: 13.27 lbs (6.0kg) HEIGHT: 35" (88.9cm) LENGTH: 19.25" (48.9cm) 19 1/4" [41mm] 489mm OR ALTERNATIVE PRODUCT
THAT ACHIEVES SIMILAR
DESIGN INTENT AS APPROVED BY LANDSCAPE ARCHITECT Ø41/2" 22 1/8" - [562mm] **MAGLIN** F 877 260 9393

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2 INVERTED 'U' BIKE RACK ON CONCRETE PAD N.T.S.

- Details and specifications may vary due to continuing improvements of our products.



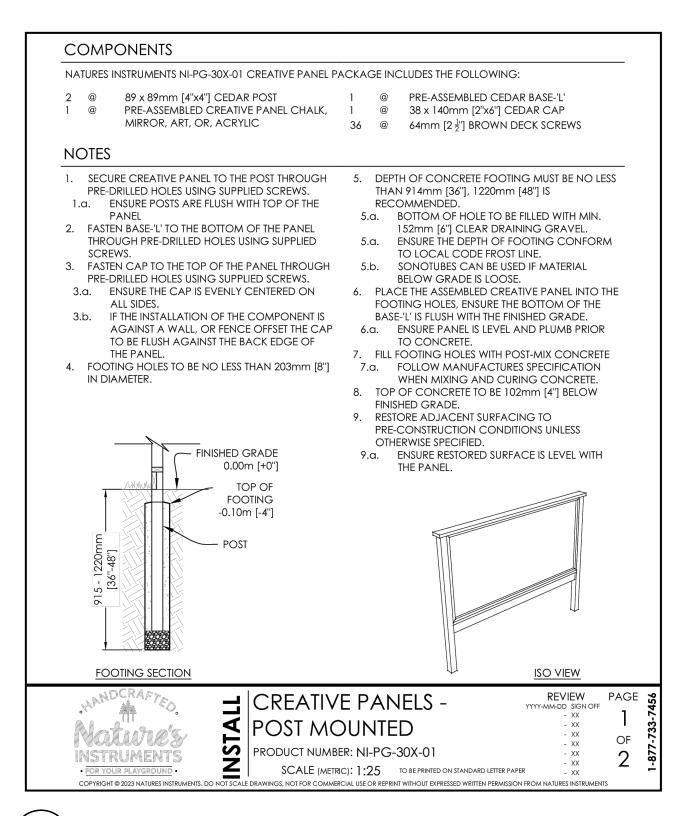
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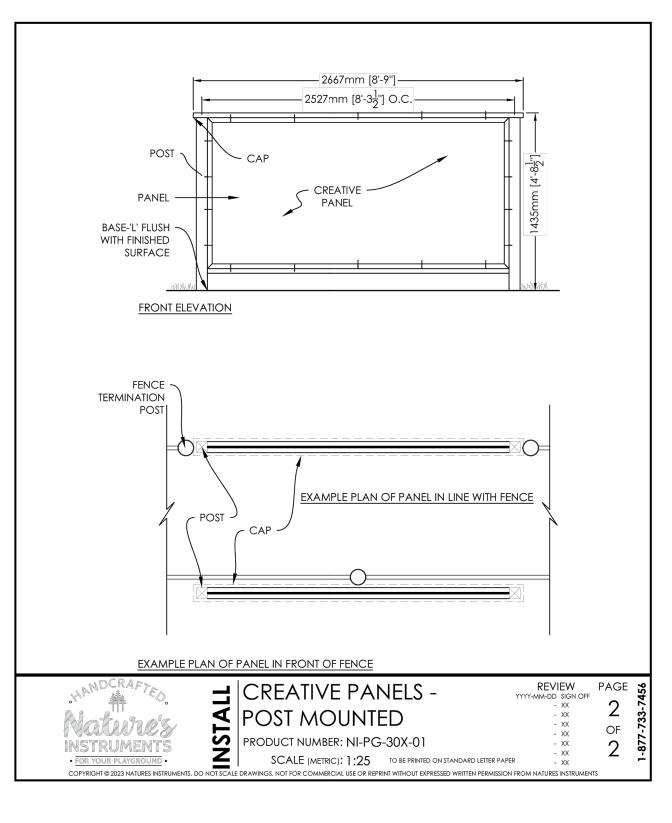
LANDSCAPE DETAILS

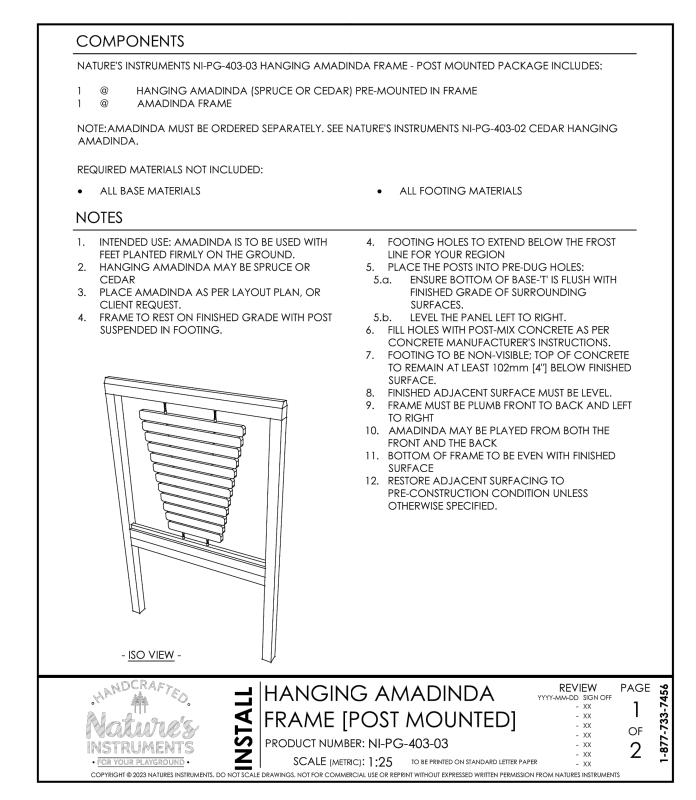
TSSS FAMILY RESIDENCE RENOVATIONS 4222 KINGSTON ROAD, TORONTO WORKSHOP

Date: MARCH 2024 Designer: NB Project: AA24-035A Drawn: NB Checked: MGN

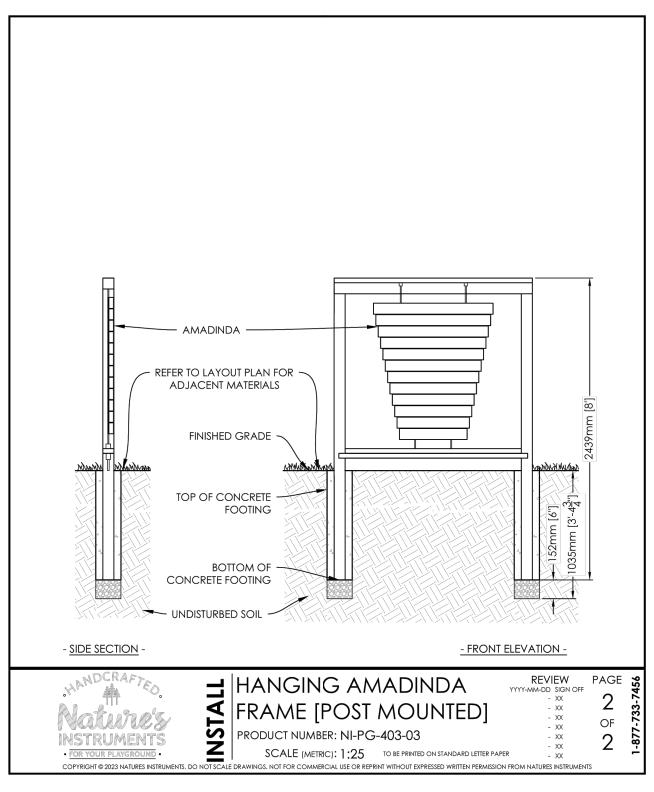








2 \HANGING AMADINDA



1 \WALL ART

1. All dimensions are in millimeters. Do not scale drawing.

3. Landscape architect shall inspect all forms and review.

4. Specified depth of granular base is compacted depth.

sod, concrete to concrete, concrete to step).

Sample shall include expansion, control joints, and finish.

2. Contractor shall provide 1800 x 1800 sample panel of concrete for approval by landscape architect prior to installation of permanent concrete pavement. - CONCRETE ADJACENT TO ALL FORMWORK SHALL BE FINISHED WITH A TOOL THAT PRODUCES A 5 MM ROUNDED EDGE AND A SMOOTH, HORIZONTAL 5. Ensure that there is a smooth transition between different surfaces (concrete to

SURFACE WITH A MAXIMUM WIDTH OF 50 MM. ALL TOOLING SHALL BE UNIFORM AND STRAIGHT AND SHALL BE DEPRESSED NO MORE THAN 1 MM BELOW THE ADJACENT SURFACE. ANY RIDGES ALONG THE TOOLED MARKS SHALL BE REMOVED. - SLOPE AS DESCRIBED ON GRADING PLAN. MINIMUM 1% AND MAXIMUM 4%

LONGITUDINAL OR 2% CROSS SLOPE

125 MM DEPTH CAST IN PLACE CONCRETE - 32 MPa MINIMUM COMPRESSIVE STRENGTH @ 28 DAYS - CLASS C-2 EXPOSURE - MAXIMUM NOMINAL SIZE OF COARSE AGGREGATE 19MM - 5-8% AIR ENTRAINMENT - MAXIMUM WATER TO CEMENTING MATERIALS RATIO 0.45 - BROOM FINISH PATTERN PERPENDICULAR TO CIRCULATION FLOW - COLOUR: NATURAL GREY

- 150 X150, #10 GUAGE WELDED STEEL WIRE FABRIC TO CSA-G30.5 - 200mm DEPTH GRANULAR BASE COMPACTED TO 98% SPMDD - GRANULAR 'A' TO OPSS.MUNI.1010

SUBGRADE UNIFORMLY COMPACTED TO 98% SPMDD - PROOFROLL IN THE PRESENCE OF A GEOTECHNICAL ENGINEER FOR EXAMINATION/APPROVAL PRIOR TO CONSTRUCTING SUBBASE - UNSUITABLE SUBGRADE (SPONGY, SOFT, ORGANIC MATERIALS) AREAS SHALL BE SUB-EXCAVATED AND REPLACED IN LIFTS NO GREATER THAN 200MM IN DEPTH WITH MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER AT THE MOISTURE CONTENT WHICH WILL PERMIT COMPACTION TO 98% SPMDD

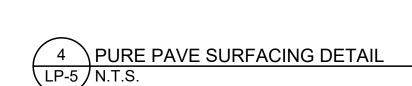
5MM WIDE x 1/4 DEPTH THICKNESS OF CONCRETE SLAB SAWCUT CONTRACTION JOINT CONTRACTION JOINT @ MAX. 2000mm ON-CENTRE UNLESS OTHERWISE

PRE-MOULDED JOINT BITMOUS IMPREGNATED FIBREBOARD TO ASTM D 1751 TO FULL DEPTH OF

EXPANSION JOINT @ MAX. 6000mm ON-CENTRE, ISOLATE POLES, VALVES AND OTHER UTILITIES OR WHERE CONCRETE SURFACE ABUTS OTHER CONCRETE STRUCTURE/SURFACE TO UNLESS OTHERWISE DESCRIBED

3 \CONCRETE SURFACE - PEDESTRIAN LP-5 N.T.S

DESCRIBED ON LAYOUT



CONCEPT DRAWING

FOR INFORMATION

TO CONVEY DESIGN

INTENT ONLY

CONTRACTOR TO PROVIDE SITE

SPECIFIC DETAILED SHOP

DRAWINGS CERTIFIED BY A

PROFESSIONAL ENGINEER

INDICATING DIMENSIONS, SIZES,

FINISHES AND STORM WATER

REQUIREMENTS

FOR REVIEW BY THE

ARCHITECT, LANDSCAPE ARCHITECT, CIVIL ENGINEER AND

CLIENT PRIOR

TO FABRICATION AND

INSTALLATION. CONTRACTOR TO

INCLUDE COST OF SHOP

DRAWINGS, MATERIALS,

FABRICATION AND INSTALLATION

AS PART OF BID.

40mm DEPTH PUREPAVE PERMEABLE SURFACE MATERIAL (BONDED AGGREGATE SURFACING). COLOUR: GREY DOLOMITE SNAP EDGE EDGE RESTRAINT SYSTEM --INSTALLED PER MANUFACTURER'S SPECIFICATIONS AT EDGES OF PUREPAVE ADJACENT SURFACE REFER TO LAYOUT 300mm DEPTH TYPE 2 19mm ANGULAR CLEAR STONE WRAPPED IN FILTER CLOTH COMPACTED TO A DENSE STATE PER OPSS NON-WOVEN POLYPROPYLENE FILTER FABRIC -COMPACTED SUBGRADE

3 ISSUED FOR PERMIT/TENDER | MGN | 03 SEP-24 2 ISSUED FOR 90% DESIGN REVIEW MGN 25 JUL-24 1 ISSUED FOR 60% DESIGN REVIEW MGN 11 JUN-24 0 ISSUED FOR INTERNAL REVIEW MGN 22 APR-24 No. Description Ву

REVISIONS: All previous issues of this drawing are superced

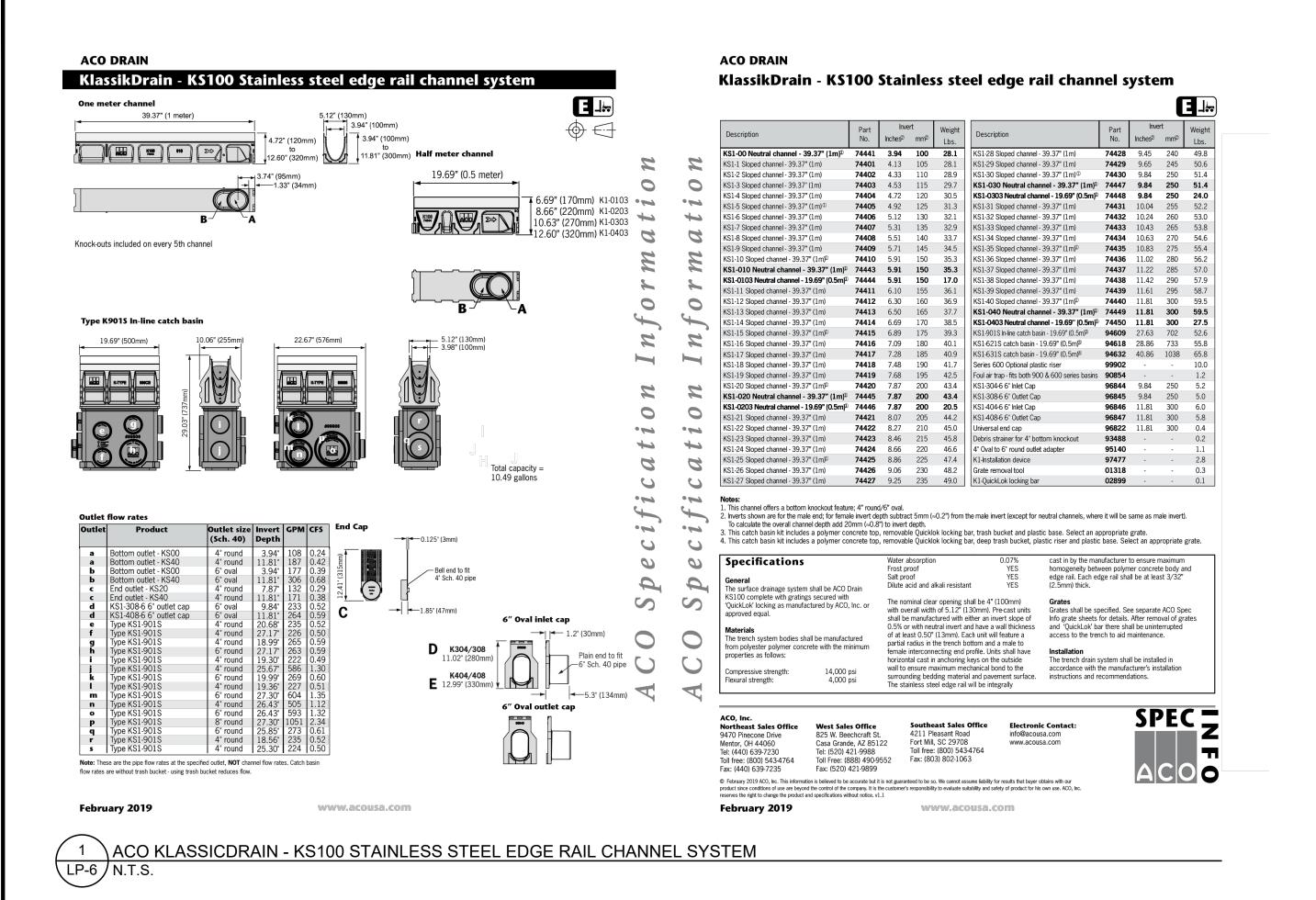
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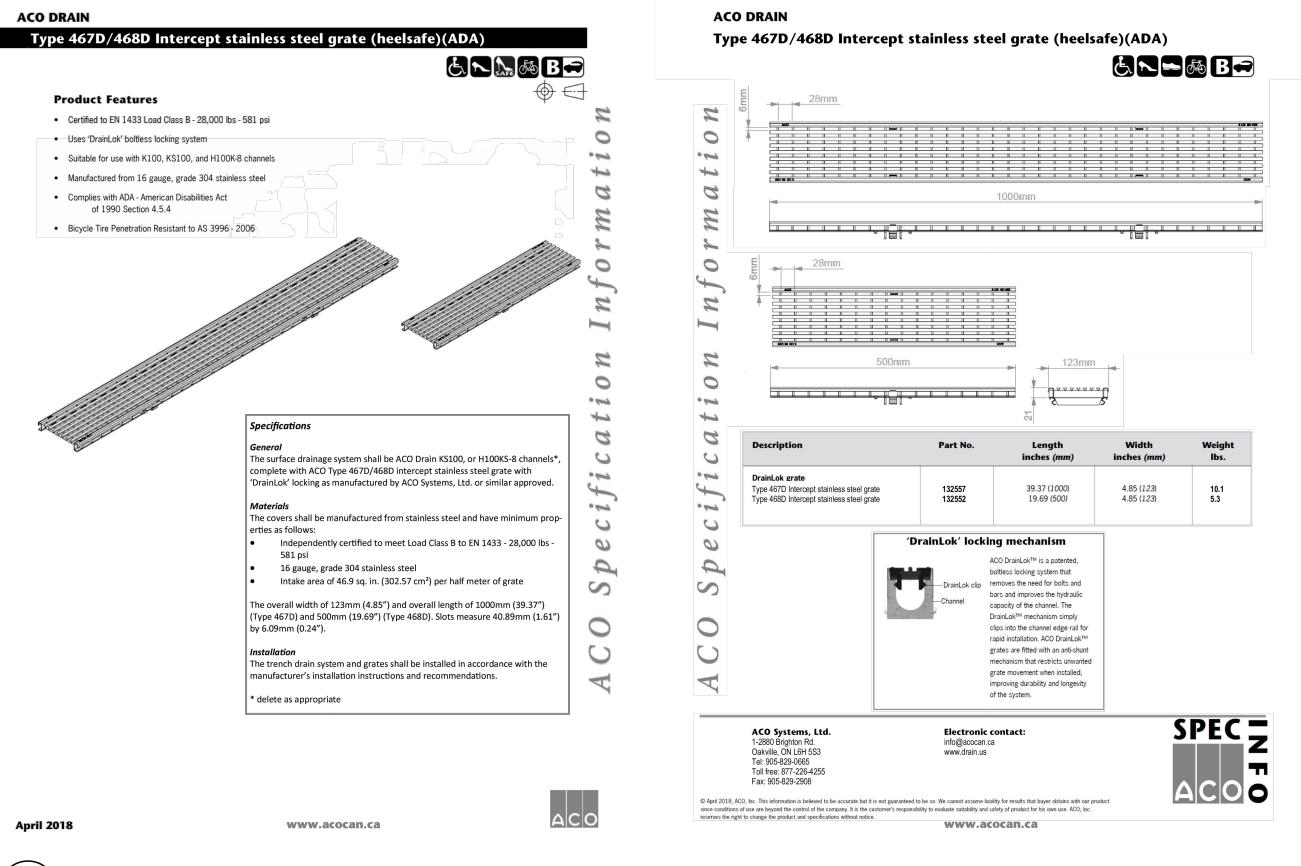
LANDSCAPE DETAILS

TSSS FAMILY RESIDENCE **RENOVATIONS** 4222 KINGSTON ROAD, TORONTO WORKSHOP

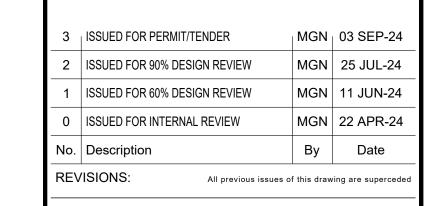
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2 \ACO INTERCEPT STAINLESS STEEL GRATE LP-6 N.T.S.



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LANDSCAPE DETAILS

TSSS FAMILY RESIDENCE

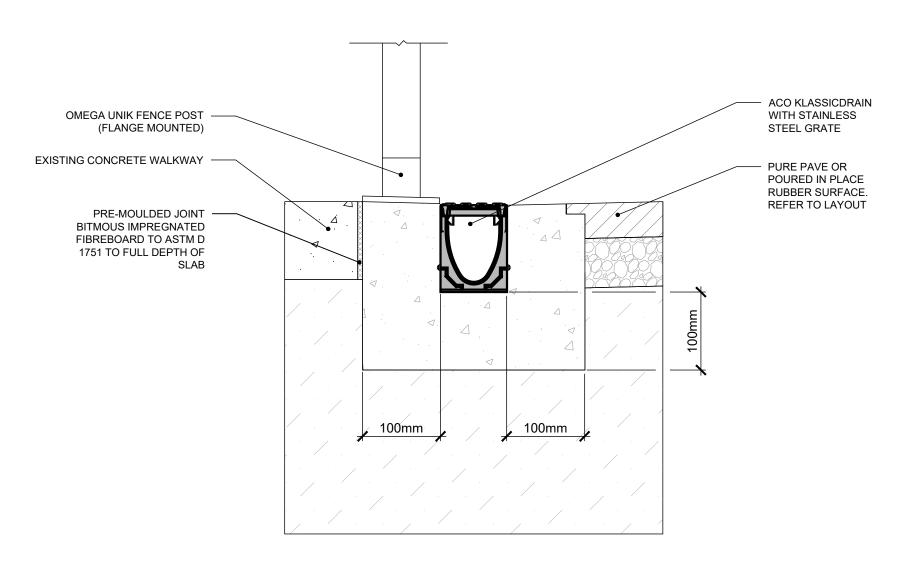
RENOVATIONS 4222 KINGSTON ROAD, TORONTO WORKSHOP

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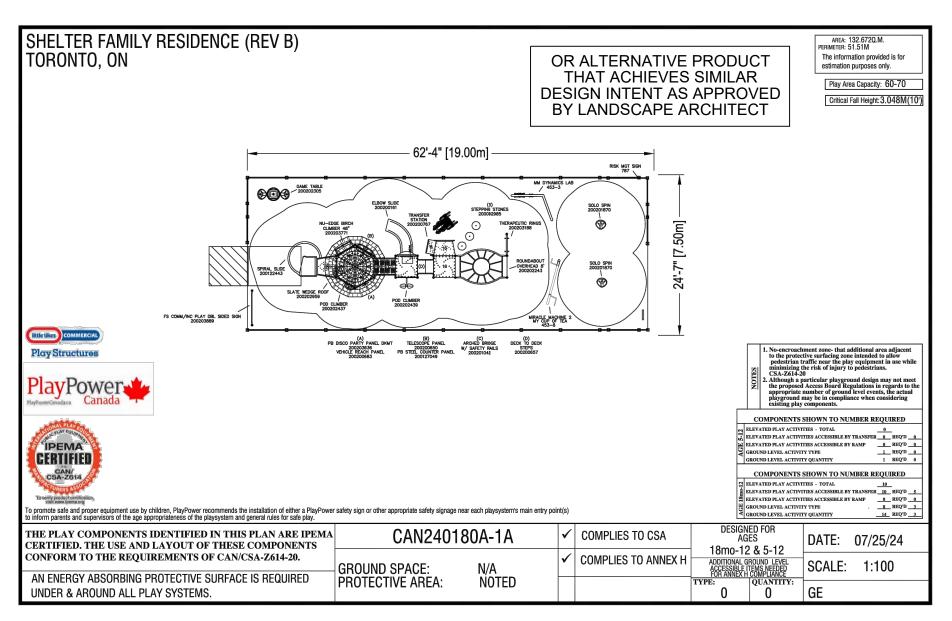


LP-6

SCHEMATIC DESIGN TO CONVEY DESIGN INTENT. DO NOT CONSTRUCT FENCE OR PAVEMENT USING THIS SCHEMATIC. CONTRACTOR TO ISSUE SITE SPECIFIC LAYOUT, SECTIONS, DETAILS, INSTALLATION INSTRUCTIONS, AND PRODUCT DATA



3 SCHEMATIC OF TRENCH DRAIN





Toronto, ON





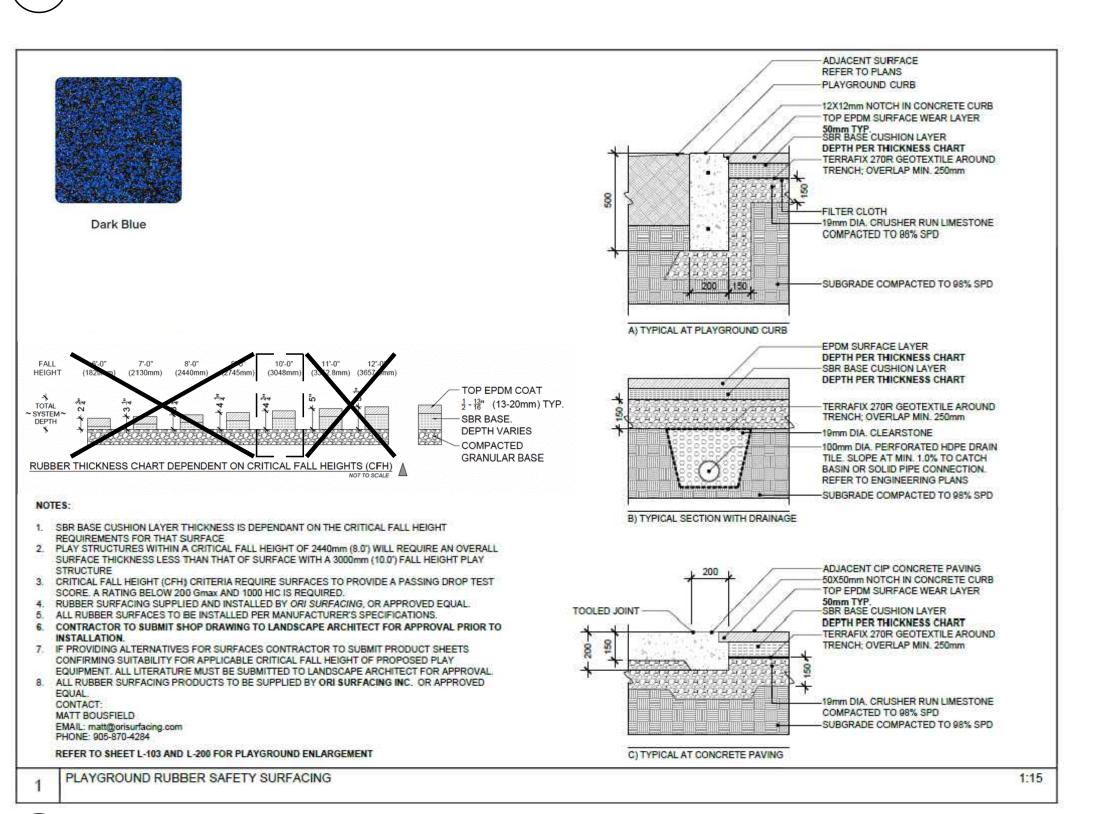


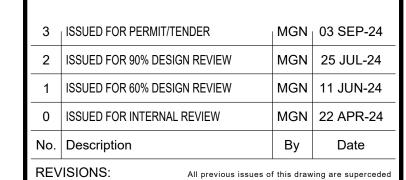




2 POURED-IN-PLACE RUBBERIZED PLAY SURFACE

LP-7 N.T.S.





All previous issues of this drawing are superced



LANDSCAPE DETAILS

TSSS FAMILY RESIDENCE RENOVATIONS 4222 KINGSTON ROAD, TORONTO WORKSHOP

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LP-7