
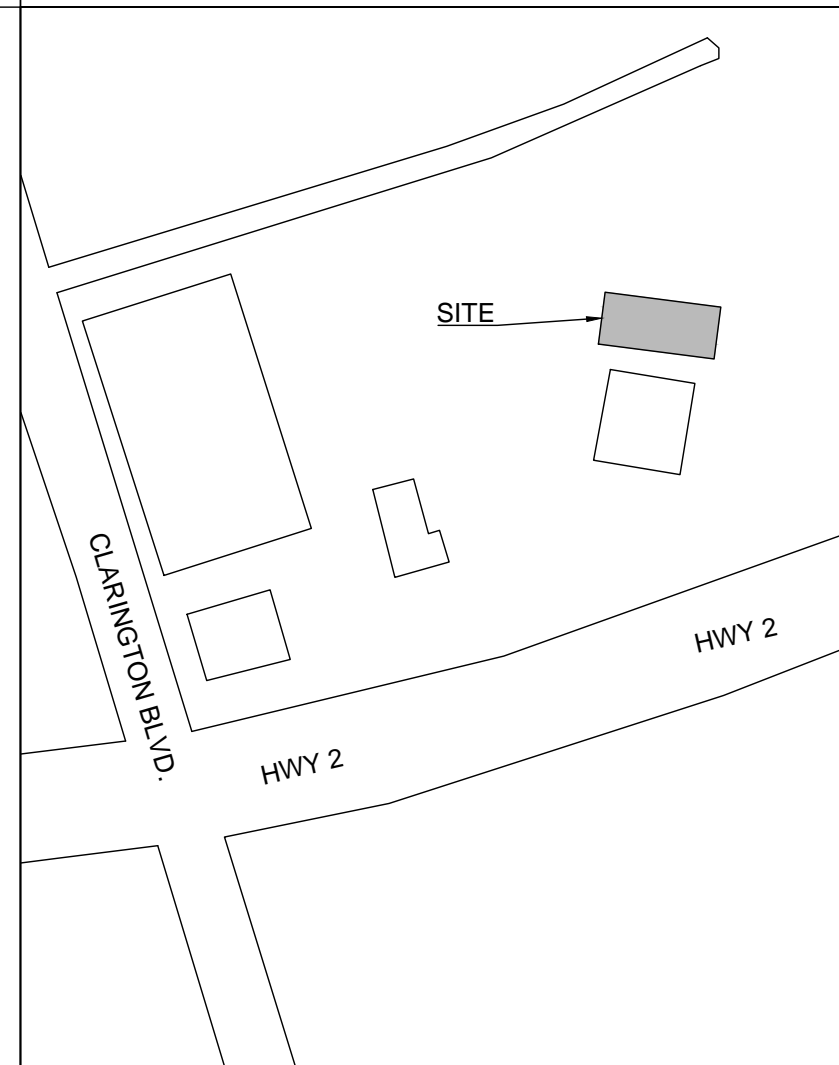


Clarington


RENOVATION OF CLARINGTON FIRE & EMERGENCY SERVICES STATION 1

DRAWING LIST		SITE KEY PLAN 
<p>ARCHITECTURAL - WARD99 ARCHITECTS INC.</p> <p>A0.0 PROJECT TITLE, DRAWING LIST, PROJECT KEY PLAN AND PROJECT INFORMATION</p> <p>A0.1 O.B.C. MATRIX, CONSTRUCTION LEGEND AND NOTES</p> <p>A1.1 SITE MOBILIZATION PLAN AND NOTES</p> <p>A2.0 KEY PLAN AND PHASING PLAN, NOTES AND LEGEND</p> <p>A2.1 GROUND FLOOR DEMOLITION PLAN, NOTES AND LEGEND</p> <p>A2.2 GROUND FLOOR DEMOLITION REFLECTED CEILING PLAN, NOTES AND LEGEND</p> <p>A2.3 PROPOSED GROUND FLOOR PLAN AND NOTES</p> <p>A2.4 PROPOSED GROUND FLOOR REFLECTED CEILING PLAN, NOTES AND LEGEND</p> <p>A3.1 BUILDING ELEVATIONS AND DETAILS</p> <p>A4.1 BUILDING SECTIONS AND DETAILS</p> <p>A5.1 DETAILS</p> <p>A5.2 DETAILS</p> <p>A5.3 PLAN DETAILS</p> <p>A6.1 WASHROOM FLOOR PLAN DETAILS, INTERIOR ELEVATIONS, DETAILS, NOTES AND LEGEND</p> <p>A6.2 PLAN DETAILS AND INTERIOR ELEVATIONS</p> <p>A6.3 INTERIOR ELEVATIONS</p> <p>A6.4 INTERIOR ELEVATIONS</p> <p>A6.5 INTERIOR ELEVATIONS</p> <p>A7.1 MILLWORK DETAILS</p> <p>A7.2 MILLWORK DETAILS</p> <p>A7.3 MILLWORK DETAILS</p> <p>A7.4 DETAILS</p> <p>A8.1 DOOR SCHEDULE, DOOR, FRAME AND SCREEN ELEVATIONS AND DETAILS</p> <p>A8.2 DETAILS</p> <p>A9.1 ROOM FINISHES PLAN, LEGEND AND NOTES AND INTERIOR ELEVATIONS</p> <p>A9.2 ROOM FINISHES SCHEDULE AND NOTES</p>	<p>MECHANICAL - MCW Consultants Ltd.</p> <p>M-00 MECHANICAL DRAWING LIST, LEGEND AND GENERAL NOTES</p> <p>M-01 MECHANICAL KEY PLAN AND PHASING PLAN</p> <p>M-02 GROUND FLOOR HVAC PLAN</p> <p>M-03 GROUND FLOOR PLUMBING AND FIRE PROTECTION PLAN</p> <p>M-04 GROUND FLOOR HVAC DEMOLITION PLAN</p> <p>M-05 GROUND FLOOR PLUMBING & FIRE PROTECTION DEMOLITION PLAN</p> <p>M-06 EQUIPMENT SCHEDULE</p> <p>M-07 MECHANICAL DETAILS</p> <p>ELECTRICAL - MCW Consultants Ltd.</p> <p>E0-01 ELECTRICAL LEGEND, NOTES AND DRAWING LIST</p> <p>E0-02 ELECTRICAL KEY PLAN AND PHASING PLAN</p> <p>E1-01 GROUND FLOOR LIGHTING PLAN</p> <p>E1-02 GROUND FLOOR POWER AND COMMUNICATIONS PLAN</p> <p>E2-01 PANEL SCHEDULES AND DETAILS</p> <p>E3-01 GROUND FLOOR LIGHTING DEMOLITION PLAN</p> <p>E3-02 GROUND FLOOR POWER AND COMMUNICATIONS DEMOLITION PLAN</p> <p>STRUCTURAL - VX Engineering Inc.</p> <p>S-1 EXISTING FOUNDATION PLAN</p> <p>S-2 EXISTING ROOF FRAMING PLAN</p> <p>S-3 FOUNDATION AND ROOF FRAMING DETAILS</p> <p>S-4 FENCE FRAMING DETAILS</p> <p>S-5 TYPICAL DETAILS AND GENERAL NOTES</p>	<p>SITE KEY PLAN</p>  <p>CLOSEST INTERSECTION: HWY2 AND CLARINGTON BLVD.</p> <p>PROJECT INFORMATION</p> <p>PROJECT TITLE: Renovation to Clarington Fire & Emergency Services Station 1</p> <p>PROJECT ADDRESS: 2430 Highway 2, Bowmanville, ON L1C 6C8</p> <p>OWNER: The Corporation of Municipality of Clarington</p> <p>OWNER'S CONTACT INFORMATION: 2430 Highway 2, Bowmanville, ON L1C 6C8</p> <p>CONSULTANT: ward99 architects inc.</p> <p>CONSULTANT'S CONTACT INFORMATION: 7611 PINE VALLEY DR. UNIT 11 WOODBRIDGE, ON L4L0A2 TEL: 416-613-5880 EMAIL: INFO@WARD99ARCHITECTS.COM</p>

NOTE: THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL SITE DIMENSIONS AND FOR NOTIFYING THE ARCHITECT OF ANY SITE CONDITIONS AND SITE MEASUREMENTS THAT ARE NOT CONSISTENT WITH THE DRAWINGS.

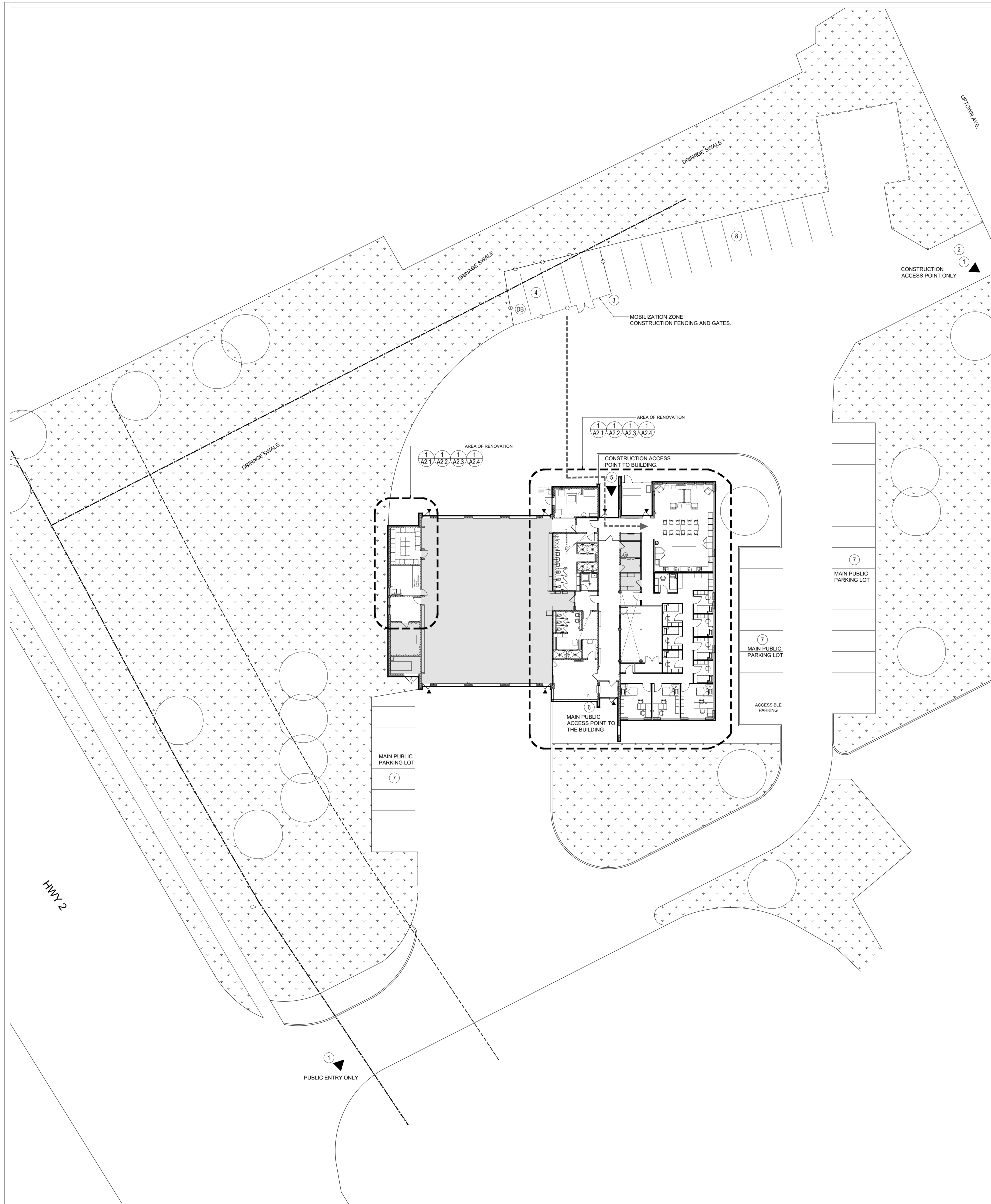
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PROJECT INFORMATION
PROJECT TITLE, DRAWING LIST, PROJECT KEY PLAN AND PROJECT INFORMATION
drawing scale: N/A
ward99 project number: 24008 - DURHAM FIRE STATION

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GENERAL CONSTRUCTION NOTES

1. THE EXISTING BUILDING WILL BE OPEN TO FIRE CREW AND THE PUBLIC DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO COORDINATE THE WORK AND CONSTRUCTION ACCESS PATH TO ACCOMMODATE EXISTING BUILDING OPERATIONS AND OCCUPANCY WITHOUT DISTURBING BUILDING FUNCTIONS AND OCCUPANCY. CONTRACTOR TO COORDINATE LOCATION OF MOBILIZATION ZONE AND ACCESS TO THE FACILITY WITH FIRE & EMERGENCY STATION 1. THE AREA OF CONSTRUCTION ON THE GROUND FLOOR OF THE EXISTING BUILDING IS TO BE SEPARATED FROM THE REMAINDER OF THE FLOOR WITH A TEMPORARY DUST PROOF MEMBRANE, LABELED AS "P" ON DRAWING A2.0.
2. THE GENERAL CONTRACTOR IS TO KEEP ALL MUNICIPAL AREAS, INCLUDING THE EXISTING SIDEWALKS AND DRIVEWAYS FREE FROM DEBRIS AND OBSTRUCTIONS AT ALL TIMES TO ENSURE THAT PUBLIC ACCESS IS CONSISTENTLY MAINTAINED.
3. COMPLETE ALL DEMOLITION WORK AND NEW WORK WITHIN THE DESCRIBED SCOPE OF WORK AREAS OF THE BUILDING, AND OUTLINED AREAS ENCLOSED BY TEMPORARY DUST SCREENS AND AS INDICATED ON THE DRAWINGS AND IN THE SPECIFICATIONS.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR RELOCATING AND ADJUSTING THE TEMPORARY INTERIOR DUST SCREENS AS REQUIRED, TO COMPLETE THE DEMOLITION WORK, WHILE ALWAYS MAINTAINING THE SAFETY AND PROTECTION OF THE BUILDING FROM THE CONSTRUCTION WORK AND PUBLIC ACCESS.
5. NO ON-SITE PARKING OF CONTRACTOR VEHICLES IS ALLOWED WITHIN THE BUILDING PEDESTRIAN ZONES.
6. THE GENERAL CONTRACTOR WILL NOT HAVE USE OF THE EXISTING PUBLIC WASHROOMS IN THE BUILDING DURING CONSTRUCTION. THE GENERAL CONTRACTOR IS TO PROVIDE TEMPORARY PORTABLE TOILETS FOR USE BY CONSTRUCTION WORKERS. LOCATION ON SITE IS TO BE CONFIRMED WITH THE OWNER.
7. PROVIDE TEMPORARY DUST SCREENS WITH SEALED EDGES AT ALL AIR RETURNS IN THE CONSTRUCTION AREA AND AT ALL DOORS AND OPENING TO CONSTRUCTION AREAS TO PREVENT THE SPREAD OF CONSTRUCTION DUST AND ODOURS.
8. MAKE ALL NECESSARY REPAIRS TO THE BUILDING AND THE SITE WHERE AREAS ARE DAMAGED. REINSTATE ALL DAMAGED ITEMS DURING CONSTRUCTION AND RESTORE TO AS NEW CONDITION.

SITE MOBILIZATION, ACCESS AND CONSTRUCTION LEGEND

- 00 CONSTRUCTION NOTE
- ▲ ACCESS AND EXIT POINTS OF THE BUILDING
- ▲ PATH TO AREA OF WORK
- THE GENERAL CONTRACTOR IS TO CLEAN AND CLEAR THE PATH OF WORK (EXTERIOR AND INTERIOR) OF ANY OBSTRUCTION EVERYDAY AFTER WORK IS FINISHED. AFTER COMPLETION OF CONSTRUCTION, PATCH, REPAIR AND MAKE GOOD ALL EXISTING SURFACES (EXTERIOR WALKS, DRIVEWAYS, CURBS AND LANDSCAPING AND INTERIOR CEILING, WALL AND FLOOR FINISHES), DOORS, LIGHT FIXTURES AND OTHER ITEMS DAMAGED DURING CONSTRUCTION.
- TEMPORARY CONSTRUCTION GARBAGE BIN: TEMPORARY CONSTRUCTION DISPOSAL BIN IS TO BE LOCATED WITHIN THE MOBILIZATION AREA AT ALL TIMES. REPAIR AND MAKE GOOD ANY AND ALL EXISTING SURFACES DAMAGED DUE TO THE DELIVERY, PLACEMENT AND REMOVAL OF THE DISPOSAL BIN.
- DB
- 1 SITE ENTRY DRIVE:
 - DURING CONSTRUCTION, THE EXISTING PUBLIC ENTRY DRIVE IS FOR ACCESS BY STAFF AND THE GENERAL CONTRACTOR DURING CONSTRUCTION. THE GENERAL CONTRACTOR IS TO KEEP THIS ACCESS DRIVE FREE FROM DEBRIS AND AT ALL TIMES. ANY DAMAGE TO THIS DRIVE OR TO THE SITE DUE TO THE OCCUPATION AND USE BY THE GENERAL CONTRACTOR AND SUBCONTRACTORS IS TO BE REPAIRED AND MADE GOOD BEFORE CONSTRUCTION IS COMPLETED.
- 2 SITE ENTRY DRIVE:
 - THIS EXISTING ENTRY POINT IS THE ONLY CONSTRUCTION ACCESS POINT TO BE USED BY THE GENERAL CONTRACTOR DURING CONSTRUCTION TO GAIN ACCESS TO THE CONSTRUCTION MOBILIZATION ZONE. THIS IS THE ACCESS DRIVE TO BE USED BY CONSTRUCTION VEHICLES ONLY AND WHEN DELIVERING AND REMOVING DISPOSAL BINS. NOTE: THIS ENTRY DRIVE WILL ALSO BE USED BY THE PUBLIC AND FIRE & EMERGENCY SERVICE STATION 1 STAFF DURING CONSTRUCTION.
- 3 CONSTRUCTION FENCING AND GATES:
 - TEMPORARY CONSTRUCTION FENCING IS TO BE ERECTED BY THE GENERAL CONTRACTOR TO ENCLOSE THE CONSTRUCTION MOBILIZATION AREA AND TO KEEP IT SEPARATE FROM THE SITE AND TO PREVENT PUBLIC ACCESS TO THIS AREA. CONSTRUCTION FENCING IS TO REMAIN ON SITE FOR THE DURATION OF THE CONSTRUCTION. THE GENERAL CONTRACTOR IS TO KEEP THIS AREA ORGANIZED AND FREE FROM DEBRIS AT ALL TIMES. ANY DAMAGE TO THIS SITE AREA DUE TO ITS OCCUPATION AND USE BY THE GENERAL CONTRACTOR AND SUBCONTRACTORS IS TO BE REPAIRED AND MADE GOOD BEFORE CONSTRUCTION IS COMPLETED. PROVIDE THE FOLLOWING TEMPORARY CONSTRUCTION FENCING:
 - STURDY, HEAVY-DUTY GALVANIZED CHAIN LINK PANELS AND GATES WITH A MINIMUM HEIGHT OF 6'-0" AND SECURED WITH STURDY STEEL GROUND STANDS AND U-CLAMPS.
 - CHAIN LINK PANELS MANUFACTURED BY FAST FENCE INC. OR EQUIVALENT MANUFACTURER THAT CAN PROVIDE THE SAME PRODUCT AS INDICATED.
- 4 TEMPORARY CONSTRUCTION MOBILIZATION AREA:
 - THIS AREA IS A CONSTRUCTION ZONE FOR USE BY THE GENERAL CONTRACTOR ONLY AS A CONSTRUCTION MOBILIZATION ZONE, AND STORAGE FOR LONG-TERM DISPOSAL BINS. THIS AREA IS TO BE ENCLOSED WITH PERIMETER CONSTRUCTION FENCING (SEE NOTE 3). PROVIDE CONSTRUCTION GATES AT THE CONSTRUCTION ENTRY DRIVE AS REQUIRED TO ACCESS THE MOBILIZATION AREA.
- 5 CONSTRUCTION ACCESS POINT TO THE BUILDING:
 - THIS EXISTING SINGLE SWING ENTRY DOOR IS TO BE USED AS THE MAIN CONSTRUCTION ENTRY POINTS TO THE FIRE & EMERGENCY SERVICE STATION 1 BUILDING BY THE GENERAL CONTRACTOR DURING CONSTRUCTION. ANY HEAVY OR LARGE CONSTRUCTION DELIVERIES INTENDED FOR INSTALLATION IN THE BUILDING CAN ENTER THE BUILDING THROUGH THIS CONSTRUCTION ACCESS POINT TO BE CONFIRMED WITH THE FIRE & EMERGENCY STATION 1 PRIOR TO CONSTRUCTION MAIN PUBLIC ACCESS POINT.
- 6 MAIN PUBLIC ACCESS POINT TO THE BUILDING:
 - THIS IS THE MAIN PUBLIC ENTRY POINT TO FIRE & EMERGENCY STATION 1. THIS ACCESS POINT IS FOR USE BY FIRE & EMERGENCY STATION 1 PUBLIC AND FIRE CREW ONLY. THE GENERAL CONTRACTOR SHALL NOT USE OR ACCESS THIS ENTRY POINT AS A MEANS OF ACCESS TO THE BUILDING OR AS A MEANS OF ACCESS TO THE CONSTRUCTION ZONES.
- 7 MAIN PUBLIC PARKING LOT:
 - PARKING OF CONSTRUCTION VEHICLES IS NOT PERMITTED IN THE MAIN PUBLIC PARKING LOT. THE GENERAL CONTRACTOR MUST KEEP THIS AREA FREE FROM DEBRIS AT ALL TIMES. ANY DAMAGE TO THIS AREA DUE TO ITS OCCUPATION AND USE BY THE GENERAL CONTRACTOR AND SUBCONTRACTORS IS TO BE REPAIRED AND MADE GOOD BEFORE CONSTRUCTION IS COMPLETED. THE MAIN PUBLIC PARKING LOT WILL ALSO BE UTILIZED BY STAFF THROUGHOUT CONSTRUCTION.
- 8 CONTRACTOR PARKING LOT:
 - THE EXISTING PUBLIC PARKING LOT CAN BE UTILIZED BY THE GENERAL CONTRACTOR FOR THE ENTIRE DURATION OF CONSTRUCTION FOR PARKING OF REGULAR VEHICLES ONLY.

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project
 RENOVATION TO CLARINGTON FIRE & EMERGENCY SERVICES STATION 1
 The Corporation of the Municipality of Clarington
 2430 Durham Regional Hwy 2, Bowmanville, ON L1C 6C8

drawing
 SITE PLAN AND MOBILIZATION NOTES
 drawing scale

AS NOTED
 ward99 project number
 24008 - DURHAM FIRE STATION

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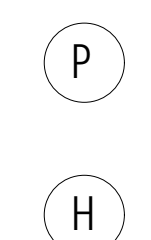
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A1.1

1 SITE ACCESS, MOBILIZATION PLAN
 A1.1 1:250

GENERAL DEMOLITION NOTES

- THE DEMOLITION DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS. PATCH, REPAIR, MAKE GOOD AND FLUSH ALL WALL, FLOOR AND CEILING SURFACES WHERE EXISTING ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL ITEMS ARE INDICATED TO BE DEMOLISHED AND/OR REMOVED.
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO SITE MEASURE AND TO VERIFY ALL SITE DIMENSIONS. VERIFY ALL SITE CONDITIONS AFFECTING NEW CONSTRUCTION AND MAKE ALLOWANCE FOR ALL REQUIRED INSTALLATIONS.
- PRIOR TO NEW CONSTRUCTION AND INSTALLATION, CONTRACTOR TO REMOVE AND RELOCATE ALL ACTIVE EXISTING ELECTRICAL DEVICES MOUNTED ON WALLS THAT MAY BE COVERED OVER OR BE AFFECTED BY NEW CONSTRUCTION. PROVIDE NEW GYPSUM BOARD FURRING WALL PARTITION TO ENCLOSE EXISTING PIPES AND CONDUITS ETC. THAT ARE ATTACHED TO WALLS AS REQUIRED. CAP AT MAINS IN CONCEALED SPACES ALL UNUSED SERVICES AS REQUIRED. PATCH, REPAIR AND MAKE GOOD ALL SURFACES IN PREPARATION OF NEW FINISHES.
- WHERE FLOORING AND WALL BASE FINISHES ARE REMOVED, REMOVE ALL EXISTING ADHESIVES, MASTICS AND/OR TILE GROUT FROM THE EXISTING CONCRETE SLAB AND EXISTING WALLS TO REMAIN, AS REQUIRED TO ALLOW FOR THE ADHERENCE OF NEW FLOORING, WALL AND BASE ADHESIVES AND/OR TILE GROUT IN PREPARATION FOR THE INSTALLATION OF NEW WALL.
- WHERE EXISTING WALL MOUNTED FRAMED LOCKERS, EQUIPMENT, AND ALL OTHER ARCHITECTURAL, MECHANICAL OR ELECTRICAL ELEMENTS AND ACCESSORIES ARE REMOVED FROM EXISTING FLOORS, WALLS AND CEILINGS INDICATED TO REMAIN, PATCH, REPAIR AND MAKE GOOD EXISTING WALLS, OPENINGS AND DAMAGED AREAS TO MATCH EXISTING ADJACENT SURFACES.
- UNINSTALL AND REMOVE EXISTING ELECTRICAL FIXTURES AND CEILING ASSEMBLIES PARTIALLY OR IN THEIR ENTIRETY AS REQUIRED TO COMPLETE DEMOLITION WORK AND NEW WORK. REINSTATE ALL EXISTING CEILING ASSEMBLIES NOTED TO REMAIN, ONCE DEMOLITION WORK AND NEW WORK IS COMPLETED.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND OFF-SITE DISPOSAL OF ALL ITEMS INDICATED TO BE "DEMOLISHED" AND/OR "REMOVED", UNLESS NOTED OTHERWISE. THIS INCLUDES DEMOLISHED INTERIOR PARTITION WALLS, FLOORING ASSEMBLIES AND MECHANICAL AND ELECTRICAL EQUIPMENT AND DEVICES. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE EXISTING SITE CONDITIONS.
- PROTECT ALL EXISTING CEILINGS, PARTITION WALLS, FLOOR SURFACES AND ASSEMBLIES THAT ARE TO REMAIN. REPAIR, MAKE GOOD AND CLEAN ANY AND ALL EXISTING CEILINGS, PARTITION WALLS, AND FLOOR SURFACES THAT ARE DAMAGED DURING THE DEMOLITION WORK AND NEW CONSTRUCTION WORK, INCLUDING ALL WORK RELATED TO THE INSTALLATION OF NEW STRUCTURAL ELEMENTS, MECHANICAL AND ELECTRICAL SERVICES. PREPARE ALL EXISTING CEILING, WALL AND FLOOR SURFACES FOR THE INSTALLATION OF NEW WALL AND FLOOR FINISHES AS INDICATED ON THE DRAWINGS.
- WHERE EXISTING WALL ASSEMBLIES ARE TO BE DEMOLISHED AND REMOVED, REPAIR AND MAKE GOOD ALL EXISTING AND REMAINING ADJACENT WALLS, CEILINGS AND FLOOR SURFACES THAT ARE INDICATED TO REMAIN, INCLUDING EXISTING FLOOR SURFACES BELOW ALL DEMOLISHED WALLS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND OFF-SITE DISPOSAL OF ALL DEMOLISHED CEILINGS AND BULKHEADS, AND ALL DEMOLISHED CEILING MOUNTED FIXTURES, DEVICES AND EQUIPMENT. WHERE EXISTING CEILINGS ARE INDICATED TO BE DEMOLISHED, REMOVE THE EXISTING CEILING ASSEMBLIES IN THEIR ENTIRETY, INCLUDING ALL EXISTING CEILING FINISHES, ACCESSORIES AND FRAMING, UNLESS NOTED OTHERWISE. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL REMOVAL AND RELOCATION WORK.
- REPAIR, MAKE FLUSH AND MAKE GOOD EXISTING CEILING FINISHES, ACCESSORIES AND FRAMING ASSEMBLIES ABOVE AND ADJACENT TO ALL NEW WALLS AND DEMOLISHED WALLS AND ASSEMBLIES.
- UNINSTALL AND TEMPORARILY REMOVE EXISTING ELECTRICAL AND MECHANICAL FIXTURES AND DEVICES AND CEILING ASSEMBLIES PARTIALLY OR IN THEIR ENTIRETY AS REQUIRED TO COMPLETE DEMOLITION WORK AND NEW WORK. STORE EXISTING ASSEMBLIES DURING CONSTRUCTION AND REINSTATE ALL EXISTING CEILING ASSEMBLIES ONCE DEMOLITION WORK AND NEW WORK IS COMPLETED.
- X-RAY AND SCANNING OF THE EXISTING CONCRETE FLOOR SLABS ARE REQUIRED TO COMPLETE THE WORK AND ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- WHERE WORK IS REQUIRED TO BE COMPLETED IN THE CEILING PLENUM OF THE GROUND FLOOR LEVEL, INCLUDING IN ALL CORRIDORS, OUTSIDE THE ROOMS REQUIRED TO BE RENOVATED, UNINSTALL THE EXISTING SUSPENDED CEILING ASSEMBLIES, MECHANICAL DEVICES, LIGHT FIXTURES AND ELECTRICAL DEVICES AS REQUIRED TO COMPLETE THE WORK. STORE, PROTECT ALL UNINSTALLED COMPONENTS UNTIL WORK IS READY FOR REINSTALLATION. REINSTATE ALL CEILING ASSEMBLIES AND UNINSTALLED COMPONENTS NOTED TO REMAIN, ONCE WORK IS COMPLETE. CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL MECHANICAL AND ELECTRICAL COMPONENTS AS REQUIRED.
- PROVIDE TEMPORARY DUST SCREENS WITH SEALED EDGES AT ALL AIR RETURNS AND AT ALL DOORS IN THE CONSTRUCTION AREA TO PREVENT THE SPREAD OF CONSTRUCTION DUST AND ODORS. REMOVE AFTER COMPLETION OF CONSTRUCTION.

CONSTRUCTION LEGEND AND NOTES

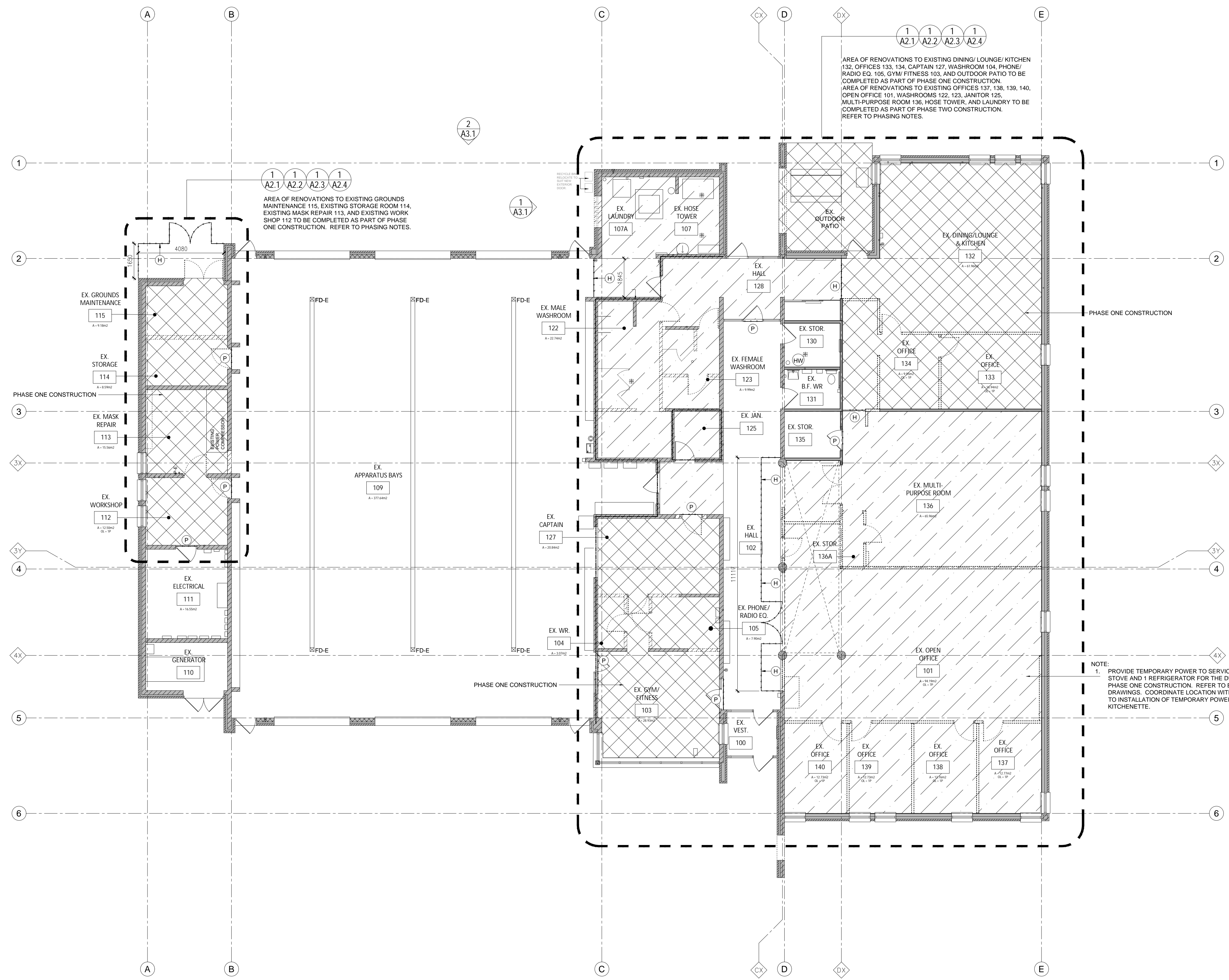
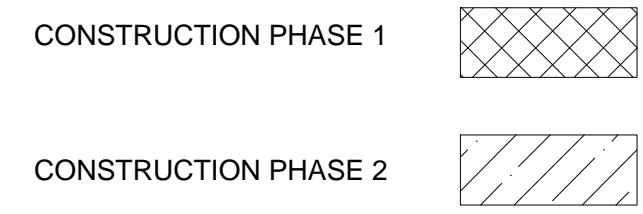


PROVIDE A DUST PROOF PLASTIC MEMBRANE TO CLOSE OFF THE EXISTING DOOR AND WALL OPENINGS. SEAL ALL GAPS TO PREVENT THE PENETRATION OF DUST AND ODORS. REFER TO KEY PLAN A2.0 FOR LOCATIONS OF ALL ENTRY DOOR INTO ROOMS.

TEMPORARY INTERIOR HOARDING PARTITION AND DUST SCREEN REFER TO KEY PLAN DRAWING 2.0 FOR LOCATIONS:
 - 2 LAYERS OF TYPE "X" 16mm GYPSUM BOARD, UNFINISHED.
 - 152mm STEEL STUD FRAMING AT 600 O.C.
 - BATT INSULATION FULL THICKNESS OF STUDS
 - 13mm PLYWOOD PANELS ON CONSTRUCTION SIDE.

EXTEND OF PARTITION:
 INSTALL THE PARTITION WITHIN EXISTING INTERIOR WALL OPENING WHERE DOORS AND ASSEMBLIES ARE NOTED AS TO BE REMOVED. PARTITION IS TO BE TIGHT TO WALL OPENING AT EXISTING OPENINGS. INSTALL PARTITION (EXTEND TO UNDERSIDE OF EXISTING ROOF DECK) AND PROVIDE ACCESS DOORS AS REQUIRED. NOTE: PARTITION TO BE CONSTRUCTED TIGHT TO EXISTING STRUCTURE, MECHANICAL DUCT WORK, PIPING AND ACCESSORIES AND ELECTRICAL FIXTURES AND ACCESSORIES. SEAL ALL GAPS TO PREVENT THE PENETRATION OF DUST AND ODORS. RELOCATE AND RECONFIGURE THE PROVIDED ADDITIONAL HOARDING AS REQUIRED TO ACCOMMODATE THE PROGRESS OF CONSTRUCTION. WHEN THE HOARDING IS REMOVED UPON COMPLETION OF THE WORK, PATCH, REPAIR AND MAKE GOOD ALL EXISTING AND/OR NEW CEILING, WALL AND FLOOR FINISHES. PROVIDE HOLLOW METAL DOOR AND FRAME IN THE CONSTRUCTION HOARDING AS REQUIRED FOR ACCESS.

PHASING NOTES



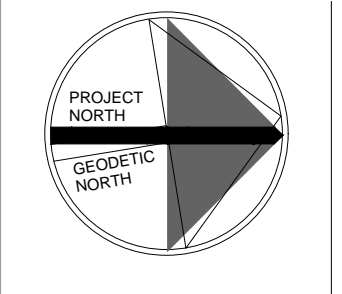
AREA OF RENOVATIONS TO EXISTING DINING LOUNGE/ KITCHEN 132 OFFICES 133, 134 CAPTAIN 127, WASHROOM 101, PHONE/RADIO EQ. 106, GYM/FITNESS 103, AND OUTDOOR PATIO TO BE COMPLETED AS PART OF PHASE ONE CONSTRUCTION.
 AREA OF RENOVATIONS TO EXISTING OFFICES 137, 138, 140, OPEN OFFICE 101, WASHROOMS 122, 123, JANITOR 125, MULTIPURPOSE ROOM 136, HOSE TOWER, AND LAUNDRY TO BE COMPLETED AS PART OF PHASE TWO CONSTRUCTION. REFER TO PHASING NOTES.

AREA OF RENOVATIONS TO EXISTING GROUNDS MAINTENANCE 115, EXISTING STORAGE ROOM 114, EXISTING MASK REPAIR 113, AND EXISTING WORKSHOP 112 TO BE COMPLETED AS PART OF PHASE ONE CONSTRUCTION. REFER TO PHASING NOTES.

NOTE:
 1. PROVIDE TEMPORARY POWER TO SERVICE 1 ELECTRIC STOVE AND 1 REFRIGERATOR FOR THE DURATION OF PHASE ONE CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS. COORDINATE LOCATION WITH OWNER PRIOR TO INSTALLATION OF TEMPORARY POWER AT EXISTING KITCHENETTE.

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project
 RENOVATION TO CLARINGTON FIRE & EMERGENCY SERVICES STATION 1
 The Corporation of the Municipality of Clarington

2430 Durham Regional Hwy 2, Bowmanville, ON L1C 6C8

drawing
 KEY PLAN, PHASING PLAN, NOTES AND LEGEND

drawing scale
 AS NOTED

ward99 project number
 24008 - DURHAM FIRE STATION

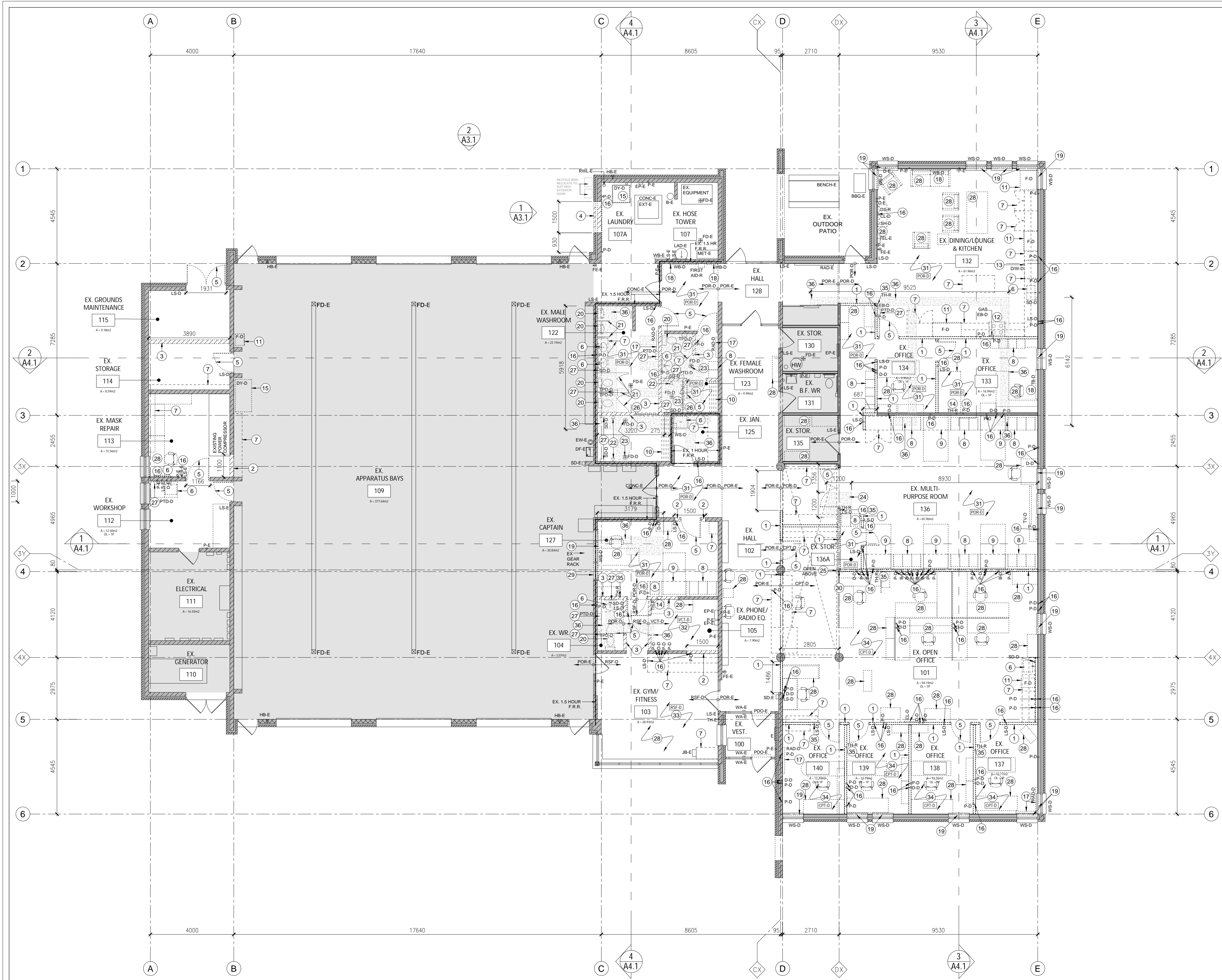
ward99 architects drawing no.



A2.0

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1 GROUND FLOOR KEY PLAN AND PHASING PLAN
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GROUND FLOOR PLAN DEMOLITION NOTES

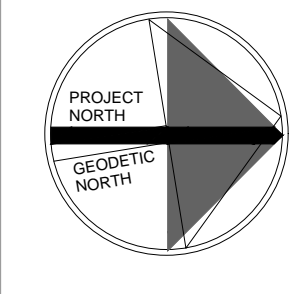
- DEMOLITION FLOOR PLAN NOTE. REFER TO EXISTING GROUND FLOOR PLAN DEMOLITION DRAWING ON 1/A2.1.
- REMOVE AND DISPOSE OF EXISTING GYPSUM BOARD ON STEEL STUD FRAMING PARTITION WALL IN ITS ENTIRETY TO THE EXTENT AS INDICATED ON THE DEMOLITION FLOOR PLAN DRAWING A2.1. PATCH, REPAIR, MAKE SMOOTH AND FLUSH EXISTING CONCRETE SLAB ON GRADE FLOOR ASSEMBLY, PRE-CAST CONCRETE SLAB ROOF DECK, AND UNDERSIDE OF FIRECODE GYPSUM BOARD CEILING IN PREPARATION OF NEW FLOOR FINISH AND WALL ASSEMBLY CONSTRUCTION.
- SAW CUT AND REMOVE PORTION OF EXISTING CONCRETE MASONRY PARTITION WALL TO 1500mm WIDE (UNLESS NOTED OTHERWISE) AS INDICATED ON THE DEMOLITION FLOOR PLAN DRAWING A2.1 FOR A HEIGHT OF 2600mm ABOVE FINISHED FLOOR IN PREPARATION FOR NEW DOOR OPENING. PATCH, REPAIR, MAKE GOOD AND FLUSH EXISTING CONCRETE SLAB ON GRADE FLOOR TOPPING, AND ALLOW FOR TOOTH-IN AT JAMB LOCATIONS. ENSURE ALL SURFACES ARE ACCEPTABLE FOR THE INSTALLATION OF NEW DOOR.
- REMOVE AND DISPOSE OF EXISTING CONCRETE MASONRY UNIT PARTITION WALL TO THE EXTENT INDICATED ON THE DEMOLITION FLOOR PLAN DRAWING A2.1. PATCH, REPAIR, MAKE SMOOTH AND FLUSH EXISTING CONCRETE SLAB ON GRADE FLOOR TOPPING AND EXISTING CONCRETE MASONRY PARTITION WALL ENSURE ALL SURFACES ARE ACCEPTABLE FOR THE INSTALLATION OF NEW FLOOR FINISHES AND NEW WALL ASSEMBLY CONSTRUCTION.
- SAW CUT, REMOVE, AND DISPOSE PORTION OF EXISTING EXTERIOR CAVITY WALL ASSEMBLY FROM ABOVE FINISHED FLOOR TO A HEIGHT OF 2600mm ABOVE FINISHED FLOOR FOR A WIDTH OF 1500mm IN ITS ENTIRETY FOR THE INSTALLATION OF NEW DOOR OPENING AND NEW LINTEL. COORDINATE WITH DOOR MANUFACTURER PRIOR TO FABRICATION. EXISTING BRICK VENEER IS TO BE SALVAGED. PATCH, REPAIR, MAKE GOOD AND FLUSH EXISTING CAVITY WALL ASSEMBLY AND TOP OF CONCRETE FOUNDATION WALL. ENSURE ALL SURFACES ARE ACCEPTABLE FOR THE INSTALLATION OF NEW DOOR. TOOTH IN SALVAGED EXISTING BRICK VENEER AT PERIMETER OF NEW DOOR OPENING. TOOTH IN NEW CONCRETE MASONRY BLOCK AT JAMB LOCATIONS. REFER TO STRUCTURAL DRAWINGS.
- REMOVE AND DISPOSE OF EXISTING HOLLOW METAL DOOR FRAME, HOLLOW METAL WOOD DOOR AND ASSOCIATED HARDWARE IN ITS ENTIRETY. PATCH, REPAIR, MAKE GOOD AND FLUSH EXISTING CONCRETE SLAB ON GRADE FLOOR TOPPING AND ENSURE SURFACE IS ACCEPTABLE FOR THE INSTALLATION OF NEW FLOOR FINISHES AND WALL CONSTRUCTION.
- REMOVE AND DISPOSE OF EXISTING SINK, FAUCET AND ASSOCIATED PLUMBING. CUT BACK AND REMOVE ANY UNUSED PLUMBING LINES. CAP AT MAINS IN CONCEALED SPACES. REFER TO MECHANICAL DRAWINGS.
- REMOVE AND DISPOSE OF EXISTING MILLWORK UNITS, ASSOCIATED FRAMING, AND HARDWARE IN ITS ENTIRETY. PATCH, REPAIR, MAKE SMOOTH, AND FLUSH EXISTING CONCRETE SLAB ON GRADE FLOOR TOPPING IN PREPARATION OF NEW FLOOR FINISHES AND WALL CONSTRUCTION. WHERE EXISTING WALLS ARE TO REMAIN, PATCH, REPAIR, MAKE GOOD, AND FLUSH EXISTING WALL SURFACE IN PREPARATION OF NEW WALL FINISHES AND NEW WALL ASSEMBLY.
- REMOVE AND DISPOSE OF EXISTING LOCKERS AND ASSOCIATED BASE IN THEIR ENTIRETY. PATCH, REPAIR, MAKE SMOOTH, AND FLUSH EXISTING CONCRETE SLAB ON GRADE FLOOR TOPPING IN PREPARATION OF NEW FLOOR FINISHES AND WALL CONSTRUCTION. WHERE EXISTING WALLS ARE TO REMAIN, PATCH, REPAIR, MAKE GOOD, AND FLUSH EXISTING WALL SURFACE IN PREPARATION OF NEW WALL FINISHES AND NEW WALL ASSEMBLY CONSTRUCTION.
- REMOVE AND DISPOSE OF EXISTING BUILT-IN MURPHY BED MILLWORK UNIT, ASSOCIATED FRAMING, SHELVING UNITS, AND MATTRESSES IN THEIR ENTIRETY. WHERE EXISTING WALLS ARE TO REMAIN, PATCH, REPAIR, MAKE GOOD, AND FLUSH EXISTING WALL GYPSUM BOARD WALL SURFACE IN PREPARATION OF NEW FINISHES AND WALL ASSEMBLY CONSTRUCTION.
- REMOVE AND DISPOSE OF EXISTING WOOD BENCH AND ASSOCIATED FRAMING IN THEIR ENTIRETY. PATCH, REPAIR, MAKE GOOD, AND FLUSH EXISTING CONCRETE MASONRY PARTITION WALL SURFACE IN PREPARATION OF NEW WALL ASSEMBLY AND WALL FINISHES.
- REMOVE AND DISPOSE OF EXISTING FRIDGE (F-D).
- DISCONNECT, REMOVE AND DISPOSE OF EXISTING GAS STOVE. CUT BACK AND REMOVE ANY UNUSED GAS LINES. CAP AT MAINS IN CONCEALED SPACES. REFER TO MECHANICAL DRAWINGS.
- DISCONNECT, REMOVE AND DISPOSE OF EXISTING DISH WASHER (DW-D). CUT BACK AND REMOVE ANY UNUSED PLUMBING LINES. CAP AT MAINS IN CONCEALED SPACES. REFER TO MECHANICAL DRAWINGS.
- DISCONNECT, REMOVE AND TEMPORARILY PROTECT AND STORE EXISTING THERMOSTAT (TH-R) FOR REINSTALLATION IN NEW LOCATIONS. CUT BACK AND REMOVE ANY UNUSED PIPING LINES, WIRING, AND CONDUITS. CAP AT MAINS IN CONCEALED SPACES. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.
- DISCONNECT, REMOVE AND DISPOSE OF EXISTING DRYER MACHINE (DY-D). CUT BACK AND REMOVE ANY UNUSED PIPING LINES AND EXHAUST. CAP AT MAINS IN CONCEALED SPACES. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.
- REMOVE AND DISPOSE OF EXISTING ELECTRICAL DEVICES: POWER RECEPTACLE OUTLET (P-D), DATA (D-D), LIGHT SWITCHES (LS-D), BLANK PLATES (B-D), TELEPHONE JACK OUTLET (TEL-D), CLOCK(CL-D), EMERGENCY BUTTON (EB-D), AND ASSOCIATED WIRING AND CONDUIT. CUT BACK AND REMOVE ANY UNUSED WIRE AND CONDUITS. CAP AT MAINS IN CONCEALED SPACES. REFER TO ELECTRICAL FOR EXACT FIXTURE AND SCOPE OF WORK. WHERE WALLS ARE TO REMAIN, PROVIDE A NEW BLANK PLATE.
- DISCONNECT, REMOVE AND DISPOSE OF EXISTING BASE-BOARD HEATER (RAD-D) IN ITS ENTIRETY. CUT BACK AND REMOVE ANY UNUSED WIRING AND CONDUITS. CAP AT MAINS IN CONCEALED SPACES. REFER TO ELECTRICAL DRAWINGS.
- REMOVE AND DISPOSE OF EXISTING TACKBOARD (TB-D) / WHITE BOARD(WB-D) IN ITS ENTIRETY. WHERE GYPSUM BOARD PARTITION WALLS ARE TO REMAIN, PATCH REPAIR, MAKE GOOD, AND FLUSH EXISTING WALL SURFACE IN PREPARATION FOR NEW FINISHES AND NEW WALL ASSEMBLY CONSTRUCTION.
- REMOVE AND DISPOSE OF EXISTING WINDOW SHADE (WS-D). PATCH, REPAIR, MAKE GOOD, AND FLUSH EXISTING GYPSUM BOARD / CONCRETE MASONRY PARTITION WALL IN PREPARATION OF NEW FINISHES.
- REMOVE AND DISPOSE OF EXISTING WATER CLOSETS, URINALS AND ASSOCIATED PLUMBING. CUT BACK AND REMOVE ANY UNUSED PLUMBING LINES. CAP AT MAINS IN CONCEALED SPACES. REFER TO MECHANICAL DRAWINGS.
- REMOVE AND DISPOSE OF EXISTING WASHROOM PARTITION IN THEIR ENTIRETY. WHERE WALLS ARE TO REMAIN, PATCH, REPAIR, MAKE GOOD AND SMOOTH EXISTING CONCRETE BLOCK WALLS. ENSURE EXISTING SURFACES ARE ACCEPTABLE FOR THE INSTALLATION OF NEW FINISHES AND WALL ASSEMBLY CONSTRUCTION.
- REMOVE AND DISPOSE OF EXISTING SHOWER CONTROL VALVES, SHOWER HEAD AND ASSOCIATED PLUMBING. CUT BACK AND REMOVE ANY UNUSED PLUMBING LINES. CAP AT MAINS IN CONCEALED SPACES. REFER TO MECHANICAL DRAWINGS.
- DECOMMISSION, REMOVE AND DISPOSE OF EXISTING FLOOR MOUNTED DRAIN (FD-D) AND ASSOCIATED PLUMBING LINES IN ITS ENTIRETY. CUT BACK AND REMOVE UNUSED PLUMBING LINES. CAP AT MAINS IN CONCEALED SPACES. REFER TO MECHANICAL DRAWINGS.
- SAW CUT AND REMOVE PORTION OF EXISTING CONCRETE SLAB ON GRADE FOR A MINIMUM SIZE OF 1200mm BY 1200mm AS INDICATED ON THE DEMOLITION FLOOR PLAN A2.1 TO ALLOW FOR THE INSTALLATION OF NEW STEEL COLUMN, CONCRETE PIER AND BASE. REFER TO STRUCTURAL DRAWINGS. SITE VERIFY ANY STRUCTURAL MEMBERS, MECHANICAL AND ELECTRICAL UNDERGROUND SERVICES PRIOR TO CUTTING. PROVIDE SCANNING AND X-RAY OF FLOOR SLABS AS REQUIRED TO COMPLETE THE WORK. PATCH, REPAIR, MAKE GOOD AND FLUSH EXISTING CONCRETE SLAB ON GRADE. MAKE FLUSH NEW CONCRETE TOPPING WITH EXISTING ADJACENT CONCRETE FLOOR. ENSURE ALL SURFACES ARE CLEAN AND FREE OF DEBRIS PRIOR TO INSTALLATION OF NEW CONCRETE INFILL.
- SAW CUT AND REMOVE PORTION OF EXISTING CONCRETE SLAB ON GRADE FOR A MINIMUM OF 300mm BY 300mm TO ALLOW FOR THE DEMOLITION OF EXISTING STEEL HSS COLUMN. SITE VERIFY AND PROVIDE SCANNING AND X-RAY OF FLOOR SLABS AS REQUIRED PRIOR TO CUTTING AND COMPLETING THE WORK. PATCH, REPAIR, MAKE GOOD AND FLUSH EXISTING CONCRETE SLAB ON GRADE. MAKE FLUSH NEW CONCRETE TOPPING WITH EXISTING ADJACENT CONCRETE FLOOR. ENSURE ALL SURFACES ARE CLEAN AND FREE OF DEBRIS PRIOR TO INSTALLATION OF NEW CONCRETE INFILL.
- REMOVE AND DISPOSE OF EXISTING METAL SHELF WITH HANGING ROD, METAL CURTAIN ROD IN THEIR ENTIRETY. WHERE CONCRETE MASONRY WALLS ARE TO REMAIN, PATCH, REPAIR, MAKE GOOD, AND FLUSH EXISTING CONCRETE MASONRY WALL IN PREPARATION OF NEW WALL FINISHES.
- REMOVE AND DISPOSE OF EXISTING ACCESSORIES AND FITMENTS IN THEIR ENTIRETY: PAPER TOWEL DISPENSER (PTD-D), MIRROR, SOAP DISPENSER (SD-D), AND TOILET TISSUE DISPENSER (TPD-D). WHERE WALLS ARE TO REMAIN, REMOVE ANY ADHESIVES AND MASTICS. PATCH, REPAIR, MAKE GOOD AND SMOOTH EXISTING CONCRETE MASONRY WALLS IN PREPARATION FOR NEW WALL FINISHES.
- REMOVE EXISTING FURNITURE AND TURN OVER TO OWNER. OWNER TO CONFIRM WITH GENERAL CONTRACTOR IF ANY FURNITURE IS TO BE DISPOSED OFF SITE.
- REMOVE AND DISPOSE OF EXISTING FIRE-RATED HOLLOW METAL WINDOW FRAME AND ASSOCIATED FIRE-RATED GLAZING IN ITS ENTIRETY. PATCH, REPAIR, MAKE GOOD, AND FLUSH EXISTING FIRE-RATED CONCRETE MASONRY PARTITION WALL IN PREPARATION OF NEW CONCRETE MASONRY INFILL. GENERAL CONTRACTOR IS RESPONSIBLE TO COMPLETE THE NEW INFILL WORK IMMEDIATELY AFTER REMOVAL OF THE EXISTING FIRE-RATED WINDOW FRAME TO ENSURE A CONTINUOUS CONCEALED FIRE SEPARATION IS MAINTAINED.
- REMOVE EXISTING STEEL HSS COLUMN AND ASSOCIATED BASE PLATES. EXISTING CONCRETE PIER AND BASE ARE TO REMAIN. PATCH, REPAIR, MAKE SMOOTH, AND FLUSH EXISTING CONCRETE PIER IN PREPARATION OF NEW CONCRETE SLAB INFILL. REFER TO DEMOLITION NOTE #25. REFER TO STRUCTURAL DRAWINGS.
- REMOVE AND DISPOSE OF EXISTING PORCELAIN FLOOR TILE FINISH (POR-D), INCLUDING PORCELAIN TILE WALL BASE, GROUT, AND ADHESIVES IN ITS ENTIRETY. PATCH, REPAIR, MAKE SMOOTH AND FLUSH EXISTING CONCRETE FLOOR SLAB TOPPING IN PREPARATION OF THE INSTALLATION OF NEW FLOOR FINISHES AND WALL ASSEMBLY CONSTRUCTION. GENERAL CONTRACTOR IS RESPONSIBLE FOR LEVELING THE EXISTING CONCRETE SLAB TOPPING TO ENSURE A FLAT AND SMOOTH SURFACE.
- REMOVE AND DISPOSE OF EXISTING VINYL COMPOSITE TILES (VCT-D), RUBBER WALL BASE, MASTICS, AND ADHESIVES IN ITS ENTIRETY. PATCH, REPAIR, MAKE SMOOTH AND FLUSH EXISTING CONCRETE FLOOR SLAB TOPPING IN PREPARATION OF THE INSTALLATION OF NEW FLOOR FINISHES AND WALL ASSEMBLY CONSTRUCTION.

NOTE: THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL SITE DIMENSIONS AND FOR NOTIFYING THE ARCHITECT OF ANY SITE CONDITIONS AND SITE MEASUREMENTS THAT ARE NOT CONSISTENT WITH THE DRAWINGS.

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PROJECT
 RENOVATION TO CLARINGTON FIRE & EMERGENCY SERVICES STATION 1
 The Corporation of the Municipality of Clarington

2430 Durham Regional Hwy 2, Bowmanville, ON L1C 6C8

drawing
 GROUND FLOOR DEMOLITION PLAN, NOTES AND LEGEND
 drawing scale

AS NOTED
 ward99 project number
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A2.1

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A2.1
GROUND FLOOR DEMOLITION PLAN
 1:100

GENERAL NOTES

- REFER TO DRAWING A0.1 FOR FIRE SEPARATION LEGEND FOR EXISTING FIRE-RATINGS FOR CONCRETE MASONRY PARTITION WALLS.
- REFER TO DRAWING A2.1 FOR GENERAL FLOOR PLAN DEMOLITION LEGEND.
- REFER TO DRAWING A2.0 FOR GENERAL DEMOLITION NOTES.

GROUND FLOOR PLAN DEMOLITION LEGEND

- (36) SAW CUT AND REMOVE PORTION OF EXISTING CONCRETE SLAB ON GRADE, INCLUDING THICKENED SLAB UNDER PARTITION WALLS FOR THE EXTENT INDICATED AS REQUIRED FOR THE INSTALLATION OF NEW FLOOR DRAINS, CLEANOUTS, AND PLUMBING LINE SERVICES. REFER TO STRUCTURAL AND MECHANICAL DRAWINGS FOR SCOPE OF WORK. SITE VERIFY ANY STRUCTURAL MEMBERS, MECHANICAL AND ELECTRICAL UNDERGROUND SERVICES PRIOR TO CUTTING. PROVIDE SCANNING AND X-RAY OF FLOOR SLABS AS REQUIRED TO COMPLETE THE WORK. PATCH, REPAIR, MAKE GOOD AND FLUSH EXISTING CONCRETE FLOOR SLAB. MAKE FLUSH NEW CONCRETE TOPPING WITH EXISTING ADJACENT CONCRETE FLOOR. ENSURE ALL SURFACES ARE CLEAN AND MAKE GOOD AND ACCEPTABLE FOR THE INSTALLATION OF NEW CONCRETE SLAB ON GRADE INFILL. PROVIDE NEW CONCRETE FLOOR ASSEMBLY TYPE 'F1'. REFER TO DRAWING A0.1 FOR F1 CONSTRUCTION ASSEMBLY AND MAKE GOOD AND FLUSH TO EXISTING CONCRETE SLAB-ON-GRADE.
- EXISTING CONCRETE BLOCK WALL TO REMAIN.
 EXISTING CONCRETE BLOCK WALL TO BE DEMOLISHED. REFER TO DEMOLITION NOTES 2, 3, AND 4.
 EXISTING 92mm STUD WALL WITH 16mm GYPSUM BOARD TO REMAIN.
 EXISTING 92mm STUD WALL WITH 16mm GYPSUM BOARD TO BE DEMOLISHED. REFER TO DEMOLITION NOTE #1.

GROUND FLOOR PLAN DEMOLITION NOTES CONTINUED

- REMOVE AND DISPOSE OF EXISTING RESILIENT FLOORING (RSF-D), RUBBER WALL BASE, MASTICS, AND ADHESIVES IN ITS ENTIRETY. PATCH, REPAIR, MAKE SMOOTH AND FLUSH EXISTING CONCRETE FLOOR SLAB TOPPING IN PREPARATION OF THE INSTALLATION OF NEW FLOOR FINISHES AND WALL ASSEMBLY CONSTRUCTION.
- REMOVE AND DISPOSE OF EXISTING CARPET TILE (CPT-D) FLOOR FINISH AND RUBBER WALL BASE IN ITS ENTIRETY. REMOVE ANY MASTICS, ADHESIVES, AND UNDERLAY. ENSURE CONCRETE SLAB ON GRADE FLOOR TOPPING IS ACCEPTABLE FOR THE INSTALLATION OF NEW FLOOR FINISHES AND WALL ASSEMBLY CONSTRUCTION.
- DISCONNECT AND REMOVE EXISTING THERMOSTAT (TH-R) AND STORE IN A SAFE AND DRY LOCATION FOR REINSTALLATION. CUT BACK AND REMOVE ANY UNUSED PIPING LINES, WIRING, AND CONDUITS. CAP AT MAINS IN CONCEALED SPACES. REFER TO MECHANICAL DRAWINGS FOR NEW LOCATION AND SCOPE OF WORK.



1 GROUND FLOOR DEMOLITION RCP
A2.2 1:100

REFLECTED CEILING PLAN DEMOLITION NOTES

- ① → DEMOLITION REFLECTED CEILING PLAN NOTE. REFER TO EXISTING REFLECTED CEILING PLAN DEMOLITION DRAWING ON 1/A2.2.
- 1. REMOVE AND DISPOSE OF EXISTING GYPSUM BOARD ON STEEL STUD FRAMING PARTITION WALL ABOVE OPENING IN ITS ENTIRETY TO THE EXTENT AS INDICATED ON THE DEMOLITION REFLECTED CEILING PLAN DRAWING A2.2. PATCH, REPAIR, MAKE SMOOTH AND FLUSH EXISTING PRE-CAST CONCRETE SLAB ROOF DECK AND UNDERSIDE OF FIRECODE GYPSUM BOARD CEILING IN PREPARATION OF NEW WALL ASSEMBLY CONSTRUCTION.
- 2. SAW CUT AND REMOVE PORTION OF EXISTING CONCRETE MASONRY PARTITION WALL TO 1500mm WIDE (UNLESS NOTED OTHERWISE) AS INDICATED ON THE DEMOLITION FLOOR PLAN DRAWING A2.1. FOR A HEIGHT OF 2600mm ABOVE FINISHED FLOOR IN PREPARATION FOR NEW DOOR OPENING. PATCH, REPAIR, MAKE GOOD AND FLUSH EXISTING CONCRETE SLAB ON GRADE FLOOR TOPPING, AND ALLOW FOR TOOTH-IN AT JAMB LOCATIONS. ENSURE ALL SURFACES ARE ACCEPTABLE FOR THE INSTALLATION OF NEW DOOR.
- 3. REMOVE AND DISPOSE OF EXISTING CONCRETE MASONRY UNIT PARTITION WALL ABOVE OPENING TO THE EXTENT INDICATED ON THE DEMOLITION REFLECTED CEILING PLAN DRAWING A2.2. PATCH, REPAIR, MAKE SMOOTH AND FLUSH EXISTING CONCRETE SLAB ROOF DECK ABOVE ENSURE ALL SURFACES ARE ACCEPTABLE FOR THE INSTALLATION OF NEW WALL ASSEMBLY CONSTRUCTION.
- 4. SAW CUT, REMOVE, AND DISPOSE PORTION OF EXISTING EXTERIOR CAVITY WALL ASSEMBLY FROM ABOVE FINISHED FLOOR TO A HEIGHT OF 2600mm ABOVE FINISHED FLOOR FOR A WIDTH OF 1500mm IN ITS ENTIRE FOR THE INSTALLATION OF NEW DOOR OPENING AND NEW LINTEL. COORDINATE WITH DOOR MANUFACTURER PRIOR TO FABRICATION. EXISTING BRICK VENEER IS TO BE SALVAGED. PATCH, REPAIR, MAKE GOOD AND FLUSH EXISTING CAVITY WALL ASSEMBLY AND CONCRETE SLAB ON GRADE FLOOR TOPPING. ENSURE ALL SURFACES ARE ACCEPTABLE FOR THE INSTALLATION OF NEW DOOR. TOOTH IS SALVAGED EXISTING BRICK VENEER AT PERIMETER OF NEW DOOR OPENING. TOOTH IN NEW CONCRETE MASONRY BLOCK AT JAMB LOCATIONS. REFER TO STRUCTURAL DRAWINGS FOR NEW LINTEL.
- 5. REMOVE EXISTING DIGITAL SCREEN (TV-R) AND TURN OVER TO OWNER.
- 6. REMOVE AND DISPOSE PORTION OF EXISTING GYPSUM BOARD BULKHEAD AND ASSOCIATED FRAMING FROM US OF BULKHEAD TO 665mm ABOVE TO ALLOW FOR INSTALLATION OF NEW STEEL BEAM. PATCH, REPAIR, MAKE GOOD, AND FLUSH EXISTING GYPSUM BOARD IN PREPARATION OF NEW BULKHEAD CONSTRUCTION.
- 7. SAW CUT, REMOVE AND DISPOSE PORTION OF EXISTING CAVITY WALL ASSEMBLY FROM 2600mm ABOVE FINISHED FLOOR TO 2700mm ABOVE FINISHED FLOOR FOR A WIDTH OF 100mm WIDE TO ALLOW FOR THE INSTALLATION OF NEW EXHAUST AIR LOUVER WALL BOX. REFER TO MECHANICAL DRAWINGS. SITE VERIFY EXISTING CONDITIONS PRIOR TO CUTTING THROUGH EXISTING CAVITY WALL. EXISTING BRICK MASONRY VENEER IS TO BE SALVAGED TO PROVIDE NEW TOOTH-IN PERIMETER AT NEW OPENING.
- 8. REMOVE AND DISPOSE PORTION OF EXISTING CAVITY WALL ASSEMBLY FROM 2600mm ABOVE FINISHED FLOOR TO 2800mm ABOVE FINISHED FLOOR FOR A WIDTH OF 200mm WIDE TO ALLOW FOR THE INSTALLATION OF NEW EXHAUST AIR LOUVER WALL BOX. REFER TO MECHANICAL DRAWINGS. SITE VERIFY EXISTING CONDITIONS PRIOR TO CUTTING THROUGH EXISTING CAVITY WALL. EXISTING BRICK MASONRY VENEER IS TO BE SALVAGED TO PROVIDE NEW TOOTH-IN PERIMETER AT NEW OPENING.

GROUND FLOOR REFLECTED CEILING PLAN DEMOLITION LEGEND

- # → REFER TO DEMOLITION REFLECTED CEILING PLAN NOTES.
- R-E R-D R-R → R-E = EXISTING RECESSED LIGHT FIXTURE TO REMAIN. R-D = UNINSTALL, REMOVE AND DISPOSE OF RECESSED LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS. R-R = EXISTING RECESSED LIGHT FIXTURE TO BE REINSTALLED. REFER TO ELECTRICAL DRAWINGS.
- R-E R-D → R-E = EXISTING RECESSED POT LIGHT FIXTURE TO REMAIN. REFER TO ELECTRICAL DRAWINGS. R-D = UNINSTALL, REMOVE AND DISPOSE OF RECESSED POT LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- S-M-E S-M-D → S-M-E = EXISTING SURFACE MOUNTED LIGHT FIXTURE TO REMAIN. REFER TO ELECTRICAL DRAWINGS. S-M-D = UNINSTALL, REMOVE AND DISPOSE OF SURFACE MOUNTED LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- S-E → S-E = SUSPENDED LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- EXISTING SUSPENDED ACOUSTIC CEILING TILE AND ASSOCIATED FRAMING ASSEMBLY TO REMAIN. SIZE: 610mm X 610mm +/- AND 1220mm X 610mm +/-.
 INSTALL NEW SUSPENDED ACOUSTIC CEILING TILE FINISH, WHERE EXISTING ELECTRICAL AND MECHANICAL FIXTURES AND FITMENTS ARE INDICATED TO BE REMOVED. UNINSTALL AND TEMPORARILY STORE AND PROTECT EXISTING SUSPENDED CEILING ASSEMBLY AS REQUIRED OR IN ITS ENTIRETY, TO COMPLETE DEMOLITION WORK AND NEW WORK. REINSTALL EXISTING CEILING ASSEMBLY ONCE WORK IS COMPLETE.
- DEMOLISH, REMOVE AND DISPOSE OF EXISTING SUSPENDED ACOUSTIC CEILING TILES AND ASSOCIATED FRAMING ASSEMBLY IN THEIR ENTIRETY.
 DEMOLISH AND/OR RELOCATE EXISTING ELECTRICAL AND MECHANICAL FIXTURES AND FITMENTS FROM EXISTING CEILING ASSEMBLY. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR DEMOLITION AND RELOCATION OF EXISTING FIXTURES AND DEVICES AND PROVISION FOR NEW FIXTURES AND DEVICES. PROVIDE NEW ACOUSTIC CEILING ASSEMBLIES AS INDICATED ON PROPOSED REFLECTED CEILING PLAN LAYOUTS.
- EXISTING GYPSUM BOARD CEILING
- REMOVE AND DISPOSE OF EXISTING GYPSUM BOARD CEILING AND ASSOCIATED FRAMING ASSEMBLY IN THEIR ENTIRETY.
- ACT-E CH-0000 ACT-D CH-0000 → ACT-E = EXISTING SUSPENDED ACOUSTIC CEILING TILE ASSEMBLY TO REMAIN. ACT-D = REMOVE AND DISPOSE OF EXISTING SUSPENDED ACOUSTIC CEILING TILE AND T-BAR ASSEMBLY IN ITS ENTIRETY.
 CH = CEILING HEIGHT FROM FINISHED FLOOR TO US OF ACOUSTIC CEILING ASSEMBLY FINISH.
- G-B-D CH-0000 G-B-D CH-0000 → G-B-D = EXISTING GYPSUM BOARD FINISHED CEILING TO REMAIN.
 G-B-D = REMOVE AND DISPOSE OF EXISTING GYPSUM BOARD FINISHED CEILING AND ASSOCIATED FRAMING IN ITS ENTIRETY.
 CH = HEIGHT FROM FINISHED FLOOR TO UNDERSIDE OF GYPSUM BOARD CEILING ASSEMBLY FINISH.
- MVS-E CH-0000 → MVS-E = EXISTING PRE-FINISHED METAL VENTED SOFFIT TO REMAIN.
 CH = CEILING HEIGHT FROM FINISHED FLOOR TO US OF METAL VENTED SOFFIT FINISH.
- STL-E CH-0000 → STL-E = EXISTING PRE-FINISHED GALVANIZED STEEL LINER TO REMAIN.
 CH = CEILING HEIGHT FROM FINISHED FLOOR TO US OF PRE-FINISHED GALVANIZED STEEL UNDER FINISH.
- EXISTING CONCRETE MASONRY HEADER ABOVE EXISTING WALL OPENING.
- REMOVE AND DISPOSE OF EXISTING CONCRETE MASONRY HEADER ABOVE EXISTING WALL OPENING. REFER TO DEMOLITION NOTE #3.
- EXISTING INTERIOR STEEL STUD, GYPSUM BOARD FINISHED WALL HEADER ABOVE EXISTING WALL OPENING.
- REMOVE AND DISPOSE OF EXISTING INTERIOR STEEL STUD, GYPSUM BOARD FINISHED WALL HEADER ABOVE EXISTING WALL OPENING. REFER TO DEMOLITION NOTE #1.
- EXISTING SUPPLY AIR DIFFUSER GRILLE TO REMAIN.
 D = UNINSTALL, REMOVE AND DISPOSE OF EXISTING SUPPLY AIR DIFFUSER GRILLE IN ITS ENTIRETY. REFER TO MECHANICAL DRAWINGS.
- EXISTING RETURN AIR DIFFUSER GRILLE TO REMAIN.
 D = UNINSTALL, REMOVE AND DISPOSE OF EXISTING RETURN AIR DIFFUSER GRILLE IN ITS ENTIRETY. REFER TO MECHANICAL DRAWINGS.
- EXISTING WALL MOUNTED RETURN AIR DIFFUSER GRILLE TO REMAIN.
 WM-E WM-D → WM-E = EXISTING WALL MOUNTED RETURN AIR DIFFUSER GRILLE TO REMAIN IN ITS ENTIRETY. REFER TO MECHANICAL DRAWINGS.
 WM-D = REMOVE AND DISPOSE OF EXISTING WALL MOUNTED RETURN AIR DIFFUSER GRILLE. REFER TO MECHANICAL DRAWINGS.
- AP-E AP-D → AP-E = EXISTING ACCESS PANEL TO REMAIN.
 AP-D = REMOVE AND DISPOSE OF EXISTING ACCESS PANEL. REFER TO MECHANICAL DRAWING.
- SD-E SD-D → SD-E = EXISTING SMOKE ALARM TO REMAIN. SD-D = REMOVE AND DISPOSE OF EXISTING SMOKE ALARM. REFER TO ELECTRICAL DRAWINGS.
- HD-E HD-D → HD-E = EXISTING HEAT DETECTOR TO REMAIN. HD-D = REMOVE AND DISPOSE OF EXISTING HEAT DETECTOR. REFER TO ELECTRICAL DRAWINGS.
- FB-E FB-R → FB-E = EXISTING FIRE ALARM BELL TO REMAIN. FB-R = REMOVE AND RELOCATE EXISTING FIRE ALARM BELL. REFER TO ELECTRICAL DRAWINGS.
- EXIT EXIT-D → EXIT = EXISTING RUNNING MAN EXIT SIGN TO REMAIN. EXIT-D = REMOVE AND DISPOSE OF EXISTING EXIT SIGN. REFER TO ELECTRICAL DRAWINGS.
- EM EM-D → EM = EXISTING EMERGENCY LIGHT TO REMAIN. EM-D = REMOVE AND DISPOSE OF EXISTING EMERGENCY LIGHT. REFER TO ELECTRICAL DRAWINGS.
- PA-E PA-D → PA-E = EXISTING PUBLIC ANNOUNCEMENT SPEAKER TO REMAIN. PA-D = REMOVE AND DISPOSE OF EXISTING PUBLIC ANNOUNCEMENT SPEAKER. REFER TO ELECTRICAL DRAWINGS.
- CL-E CL-D → CL = EXISTING WALL MOUNTED CLOCK TO REMAIN. CL-D = REMOVE AND DISPOSE OF EXISTING WALL MOUNTED CLOCK. REFER TO ELECTRICAL DRAWINGS.
- WIFI WIFI-D → WIFI = EXISTING WIRELESS ACCESS DEVICE TO REMAIN. WIFI-D = REMOVE AND DISPOSE OF EXISTING WIRELESS ACCESS DEVICE. REFER TO ELECTRICAL DRAWINGS.
- CA-E → CA-E = EXISTING SECURITY CAMERA TO REMAIN.
- WB-E → WB-E = EXISTING WALL BOX TO REMAIN. REFER TO MECHANICAL DRAWINGS.
- FD-E → FD-E = EXISTING FIRE DAMPER. REFER TO MECHANICAL DRAWINGS.

NOTE: THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL SITE DIMENSIONS AND FOR NOTIFYING THE ARCHITECT OF ANY SITE CONDITIONS AND SITE MEASUREMENTS THAT ARE NOT CONSISTENT WITH THE DRAWINGS.

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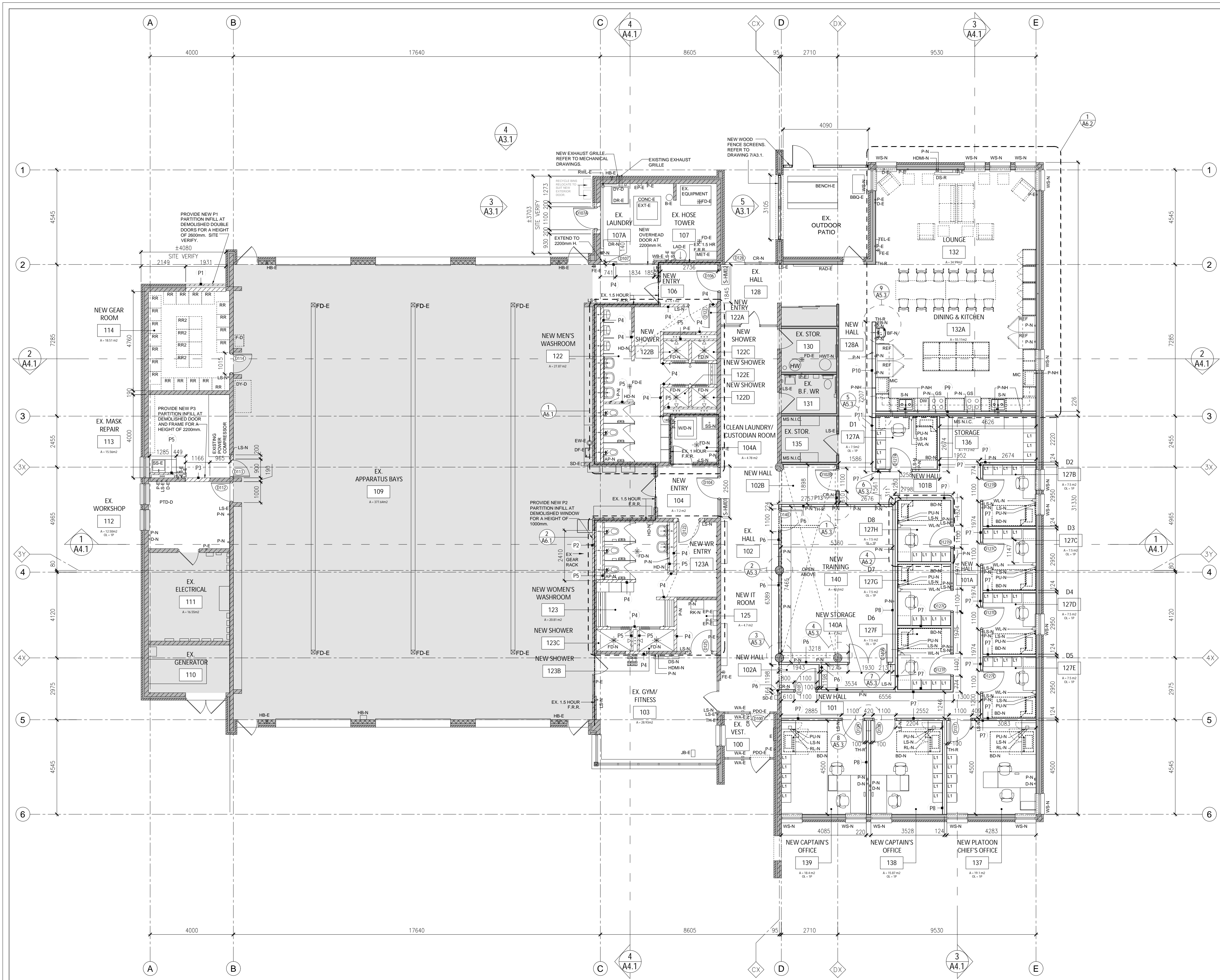
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project
 RENOVATION TO CLARINGTON FIRE & EMERGENCY SERVICES STATION 1
 The Corporation of the Municipality of Clarington

2430 Durham Regional Hwy 2, Bowmanville, ON L1C 6C8

drawing
 GROUND FLOOR DEMOLITION REFLECTED CEILING PLAN,
 NOTES AND LEGEND
 drawing scale

AS NOTED
 ward99 project number
 24008 - DURHAM FIRE STATION
 ward99 architects
 drawing no.



- ### GENERAL FLOOR PLAN NOTES
- PROPOSED DRAWINGS ON A2.3 SHALL BE READ IN CONJUNCTION WITH ALL DEMOLITION DRAWINGS AND ALL OTHER ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION, DETAILS, NOTES AND DIMENSIONS.
 - REFER TO DRAWING A0.1 FOR DRAWING TAGS LEGEND AND NOTES.
 - REFER TO DRAWING A0.1 FOR CONSTRUCTION ASSEMBLY TYPES LEGEND AND NOTES.
 - REFER TO DRAWING A9.1 AND A9.2 FOR FLOOR FINISHES PLANS, ROOM FINISH SCHEDULE, LEGENDS AND NOTES.
 - REFER TO ELECTRICAL DRAWINGS FOR THE FOLLOWING:
 - LS-N = NEW LIGHT SWITCH
 - LS-E = EXISTING LIGHT SWITCH
 - B-N = EMPTY BACK BOX. REFER TO ELECTRICAL DRAWINGS.
 - D-N = NEW DATA RECEPTACLE. ROUGH-IN BY ELECTRICAL. WIRING, CONNECTION AND DEVICE IS CARRIED IN THE PROJECT CASH ALLOWANCE.
 - P-N = NEW POWER RECEPTACLE
 - P-E = EXISTING POWER RECEPTACLE
 - HDM-N = NEW HDMI AT DIGITAL SCREEN LOCATIONS. INSTALL AT HIGH LEVEL TO BE CONCEALED BEHIND DIGITAL SCREEN.
 - CR-N = NEW HIGH POWER RECEPTACLE
 - CR-E = EXISTING HIGH POWER RECEPTACLE
 - PUN-N = NEW POWER RECEPTACLE WITH USB TYPE OUTLET.
 - WL-N = NEW WALL MOUNTED READING LIGHT.
 - RL-N = NEW RECESSED READING LIGHT.
 - DSR-R = RELOCATED EXISTING DIGITAL TV DISPLAY AND WALL BRACKET ABOVE.
 - DS-N = DIGITAL TV DISPLAY AND WALL BRACKET ABOVE. SUPPLIED BY OWNER AND INSTALLED BY THE CONTRACTOR.
 - DS-R = RELOCATE EXISTING DIGITAL TV DISPLAY AND WALL BRACKET AND REINSTALL IN NEW LOCATION.
 - HD-N = HAND DRYER
 - JB-E = EXISTING JUNCTION BOX
 - EP-E = EXISTING ELECTRICAL PANEL
 - EB-R = EMERGENCY BUTTON RELOCATED.
 - WA-E = EXISTING PUSH PLATE ACTUATOR
 - PDO-E = EXISTING POWER DOOR OPERATOR
 - CR-N = NEW CARD READER. ROUGH-IN PROVIDED BY ELECTRICAL. WIRING, CONNECTION AND DEVICE SUPPLY IS CARRIED IN THE PROJECT CASH ALLOWANCE.
 - TEL-E = EXISTING WALL MOUNTED TELEPHONE.
 - REFER TO MECHANICAL DRAWINGS FOR THE FOLLOWING:
 - FD-N = FLOOR DRAIN
 - CO = CLEANOUT (AT FLOOR OR WALL)
 - RWL = EXISTING RAIN WATER LEADER
 - FE = WALL MOUNTED FIRE EXTINGUISHER
 - FEE = EXISTING WALL MOUNTED FIRE EXTINGUISHER
 - RAD-N = NEW CONTINUOUS RADIATOR
 - S-N = SINK
 - SS-E = EXISTING STAINLESS STEEL SINK UNIT RELOCATED AND REINSTALLED.
 - SS-N = NEW CUSTODIAN SLOP SINK
 - AP-N = ACCESS PANEL
 - THE = EXISTING THERMOSTAT TO REMAIN
 - THR = EXISTING THERMOSTAT RELOCATED TO A NEW POSITION
 - BFFN = NEW WALL MOUNTED BARRIER FREE DRINKING FOUNTAIN/BOTTLE FILLER STATION
 - HWT = EXISTING HOT WATER TANK
 - HWT-N = NEW HOT WATER TANK
 - NOTE THE FOLLOWING FITMENTS, APPLIANCES AND EQUIPMENT SUPPLIED AND INSTALLED IN THE CONTRACT:
 - BD-N = NEW BED MATTRESS SUPPLIED AND INSTALLED THROUGH THE PROJECT CASH ALLOWANCE.
 - L1 = LOCKER. REFER TO SPECIFICATIONS FOR TYPE AND TYPICAL PLAN AND BASE DETAIL 8/AS.1
 - WS-N = WINDOW BLINDS. PROVIDE DUAL SHADE AND BLACK-OUT BLIND AT EXISTING WINDOWS IN DORM ROOMS, CAPTAIN'S OFFICES AND PLATOON CHIEF'S OFFICE (REFER TO TYPICAL DETAIL 2/AS.2). PROVIDE SINGLE SHADE BLIND AT ALL OTHER EXISTING WINDOWS (REFER TO TYPICAL DETAIL 1/AS.2).
 - RA = RANGE HOOD. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS
 - RR = METAL SHELVING MOBILE READY RACK. REFER TO SPECIFICATIONS.
 - RR2 = DOUBLE-SHED METAL SHELVING MOBILE READY RACK. REFER TO SPECIFICATIONS.
 - THE FOLLOWING NEW EQUIPMENT AND APPLIANCES ARE NOT IN CONTRACT (NIC) AND WILL BE SUPPLIED AND INSTALLED BY THE OWNER AS FOLLOWS:
 - REF = REFRIGERATOR
 - GS = GAS STOVE
 - DW = DISHWASHER
 - WM = WASHING MACHINE
 - DR-N = DRYER
 - WD-N = STACKABLE WASHING MACHINE AND DRYER UNIT
 - MIC = MICROWAVE
 - RK-N = WALL MOUNTED IT RACK SUPPLIED AND INSTALLED BY THE OWNER
 - MS = METAL SHELVING SUPPLIED AND INSTALLED BY OWNER
 - GENERAL CONTRACTOR IS TO COORDINATE WITH THE OWNER REGARDING THE SIZES OF ALL EQUIPMENT AND APPLIANCES.
 - THE FOLLOWING ARE EXISTING EQUIPMENT AND APPLIANCES THAT ARE TO REMAIN:
 - DR-E = EXISTING DRYER
 - EXT-E = EXISTING EXTRACTOR.

GENERAL NOTES

- REFER TO DRAWING A0.1 FOR FIRE SEPARATION LEGEND FOR NEW FIRE-RATINGS FOR CONCRETE MASONRY PARTITION WALLS.
- REFER TO DRAWING A0.1 FOR GENERAL FLOOR PLAN TAGS AND PARTITION CONSTRUCTION ASSEMBLIES, NOTES AND LEGENDS.

1 GROUND FLOOR PROPOSED PLAN
A2.3 1:100

NOTE: THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL SITE DIMENSIONS AND SITE MEASUREMENTS THAT ARE NOT CONSISTENT WITH THE DRAWINGS.

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drawing
GROUND FLOOR PROPOSED PLAN AND NOTES
drawing scale

AS NOTED
ward99 project number
24008 - DURHAM FIRE STATION

ward99
architects

Wa
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A2.3

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GENERAL REFLECTED CEILING PLAN (RCP) LEGEND

	R-E = EXISTING RECESSED LIGHT FIXTURE TO REMAIN.
	R-R = RELOCATED RECESSED LIGHT FIXTURE.
	R-N = NEW RECESSED LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
	OR-E = EXISTING RECESSED POT LIGHT FIXTURE TO REMAIN.
	OR-N = NEW RECESSED POT LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
	SME-E = EXISTING SURFACE MOUNTED LIGHT FIXTURE TO REMAIN.
	SM-N = NEW SURFACE MOUNTED LIGHT FIXTURE.
	S-E = SUSPENDED LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
	WM-E = NEW WALL MOUNTED LIGHT FIXTURE.
	WM-N = EXISTING WALL MOUNTED LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
	EXISTING SUSPENDED ACOUSTIC CEILING TILE AND ASSOCIATED FRAMING ASSEMBLY TO REMAIN. SIZE: 610mm X 610mm +/-.
	INSTALL NEW CEILING TILE FINISH. WHERE EXISTING ELECTRICAL AND MECHANICAL FIXTURES AND FITMENTS ARE INDICATED AS TO BE REMOVED. REMOVE EXISTING SUSPENDED CEILING ASSEMBLY AS REQUIRED TO COMPLETE DEMOLITION AND NEW WORK. REINSTALL CEILING ASSEMBLY ONCE WORK IS COMPLETE.
	EXISTING GYPSUM BOARD FINISHED CEILING ASSEMBLY TO REMAIN.
	NEW SUSPENDED ACOUSTIC CEILING TILE AND ASSOCIATED FRAMING ASSEMBLY. SIZE: 610mm X 610mm +/-.
	REFER TO CEILING ASSEMBLY TYPE 'C1' ON DRAWING A0.1.
	REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR LAYOUT AND QUANTITY OF ELECTRICAL AND MECHANICAL FIXTURES, DEVICES AND FITMENTS.
	NEW GYPSUM BOARD FINISHED SUSPENDED CEILING WITH ASSOCIATED STEEL FRAMING ASSEMBLY. REFER TO CEILING ASSEMBLY TYPE 'C2' ON DRAWING A0.1.
	NEW CEMENT BOARD FINISHED SUSPENDED CEILING WITH ASSOCIATED STEEL FRAMING ASSEMBLY. PROVIDE AT SHOWER CEILING ONLY AND PROVIDE CERAMIC MOSAIC TILE AT CEILING. REFER TO CEILING ASSEMBLY TYPE 'C3' ON DRAWING A0.1.
	ACT-E = EXISTING SUSPENDED ACOUSTIC CEILING TILE AND T-BAR GRID SYSTEM TO BE REMAIN.
	ACT-N = NEW SUSPENDED ACOUSTIC CEILING TILE AND T-BAR GRID SYSTEM ASSEMBLY.
	CH = HEIGHT FROM FINISHED FLOOR TO UNDERSIDE OF EXISTING FINISHED CEILING.
	EX GBD = EXISTING GYPSUM BOARD FINISHED CEILING AND/OR BULKHEAD AND ASSOCIATED FRAMING TO REMAIN.
	GBD-E = NEW GYPSUM BOARD FINISHED CEILING AND/OR BULKHEAD AND ASSOCIATED FRAMING.
	GBD-N = NEW GYPSUM BOARD FINISHED CEILING AND/OR BULKHEAD AND ASSOCIATED FRAMING.
	CH = HEIGHT FROM FINISHED FLOOR TO UNDERSIDE OF EXISTING FINISHED CEILING.
	MVE-E = EXISTING PRE-FINISHED METAL VENTED SOFFIT TO REMAIN.
	MVE-N = NEW PRE-FINISHED METAL VENTED SOFFIT TO REMAIN.
	STL-E = EXISTING PRE-FINISHED GALVANIZED STEEL LINER TO REMAIN.
	STL-N = NEW PRE-FINISHED GALVANIZED STEEL LINER TO REMAIN.
	CEM-N = NEW CEMENT BOARD FINISHED CEILING AND/OR BULKHEAD AND ASSOCIATED FRAMING.
	CH = HEIGHT FROM FINISHED FLOOR TO UNDERSIDE OF EXISTING FINISHED CEILING.
	EXISTING CONCRETE MASONRY HEADER ABOVE EXISTING WALL OPENING.
	EXISTING INTERIOR STEEL STUD, GYPSUM BOARD FINISHED WALL HEADER ABOVE EXISTING WALL OPENING.
	GYPSUM BOARD FINISHED HEADER ABOVE WALL OPENING.
	GYPSUM BOARD (GB) FINISHED HEADER WALL TYPE 'PB'.
	REFER TO DRAWING A0.1 FOR GYPSUM BOARD FINISHED WALL TYPES.
	CEILING TYPE REFER TO DRAWING A0.1 FOR CEILING ASSEMBLY TYPES.
	CONCRETE MASONRY (MS) FINISHED HEADER WALL TYPE 'PB'.
	REFER TO DRAWING A0.1 FOR MASONRY WALL TYPES.
	EXISTING EXIT SIGN.
	NEW EXIT SIGN. REFER TO ELECTRICAL DRAWINGS.
	NEW SMOKE ALARM WITH STROBE LIGHT. REFER TO ELECTRICAL DRAWINGS.
	NEW PUBLIC ANNOUNCEMENT SPEAKER. REFER TO ELECTRICAL DRAWINGS.
	EML-N = NEW WALL MOUNTED EMERGENCY LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
	OS-N = NEW CEILING MOUNTED OCCUPANCY SENSOR. REFER TO ELECTRICAL DRAWINGS.
	FD-E = EXISTING FIRE DAMPER.
	FD-N = NEW FIRE DAMPER.
	REFER TO MECHANICAL DRAWINGS AND DETAIL 6/A5.2.
	NEW CEILING MOUNTED PROJECTOR. REFER TO ELECTRICAL DRAWINGS.
	CA-E = EXISTING SECURITY CAMERA TO REMAIN.
	WB-E = EXISTING WALL BOX TO REMAIN. REFER TO MECHANICAL DRAWINGS.
	WB-N = NEW EXTERIOR WALL BOX AND GRILLE. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS. REFER TO SECTION DETAIL 4/A5.2 FOR WALL BOX AT EXISTING LAUNDRY 107A. REFER TO SECTION DETAIL 4/A5.2 AT DINING & KITCHEN 152A.
	E = EXISTING RETURN AIR DIFFUSER GRILLE TO REMAIN.
	N = NEW RETURN AIR DIFFUSER GRILLE.
	REFER TO MECHANICAL DRAWINGS.
	EXISTING WALL MOUNTED RETURN AIR DIFFUSER GRILLE TO REMAIN. REFER TO MECHANICAL DRAWINGS.
	E = EXISTING SUPPLY AIR DIFFUSER GRILLE TO REMAIN.
	N = EXISTING SUPPLY AIR DIFFUSER GRILLE TO BE RELOCATED.
	REFER TO MECHANICAL DRAWINGS.
	E = EXISTING EXHAUST FAN.
	N = NEW EXHAUST FAN.
	REFER TO MECHANICAL DRAWINGS.
	GRILLE-N = NEW SUPPLY AIR OUTLET WALL LINEAR GRILLE. REFER TO MECHANICAL DRAWINGS.

1
A2.4 PROPOSED GROUND FLOOR REFLECTED CEILING PLAN
1:100

GENERAL REFLECTED CEILING PLAN (RCP) NOTES

- REFER TO DRAWING A0.1 FOR CONSTRUCTION ASSEMBLIES.
- REFER TO ALL OTHER ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR COORDINATION AND ADDITIONAL NOTES AND INFORMATION.
- PROVIDE PAINT FINISH TO ALL EXPOSED EXISTING AND NEW STRUCTURAL ASSEMBLIES, MECHANICAL AND ELECTRICAL PIPES AND CONDUITS AND ASSOCIATED MECHANICAL AND ELECTRICAL COMPONENTS (NEW AND EXISTING).
- ALL CEILING MOUNTED COMPONENTS AND EQUIPMENT IN THE PROPOSED RENOVATION AREAS ARE TO BE MOUNTED IN THE CENTRE OF ACOUSTIC CEILING TILES.

NOTE: THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL SITE DIMENSIONS AND FOR NOTIFYING THE ARCHITECT OF ANY SITE CONDITIONS AND SITE MEASUREMENTS THAT ARE NOT CONSISTENT WITH THE DRAWINGS.

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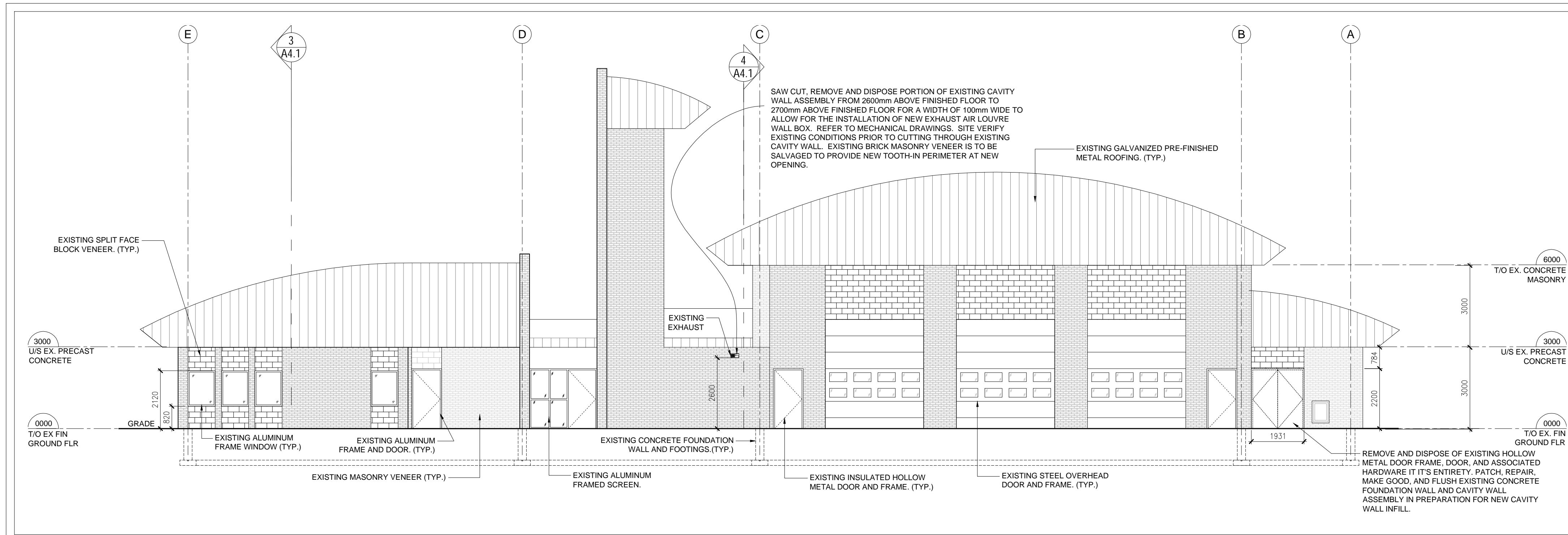
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ward99 architects drawing no.

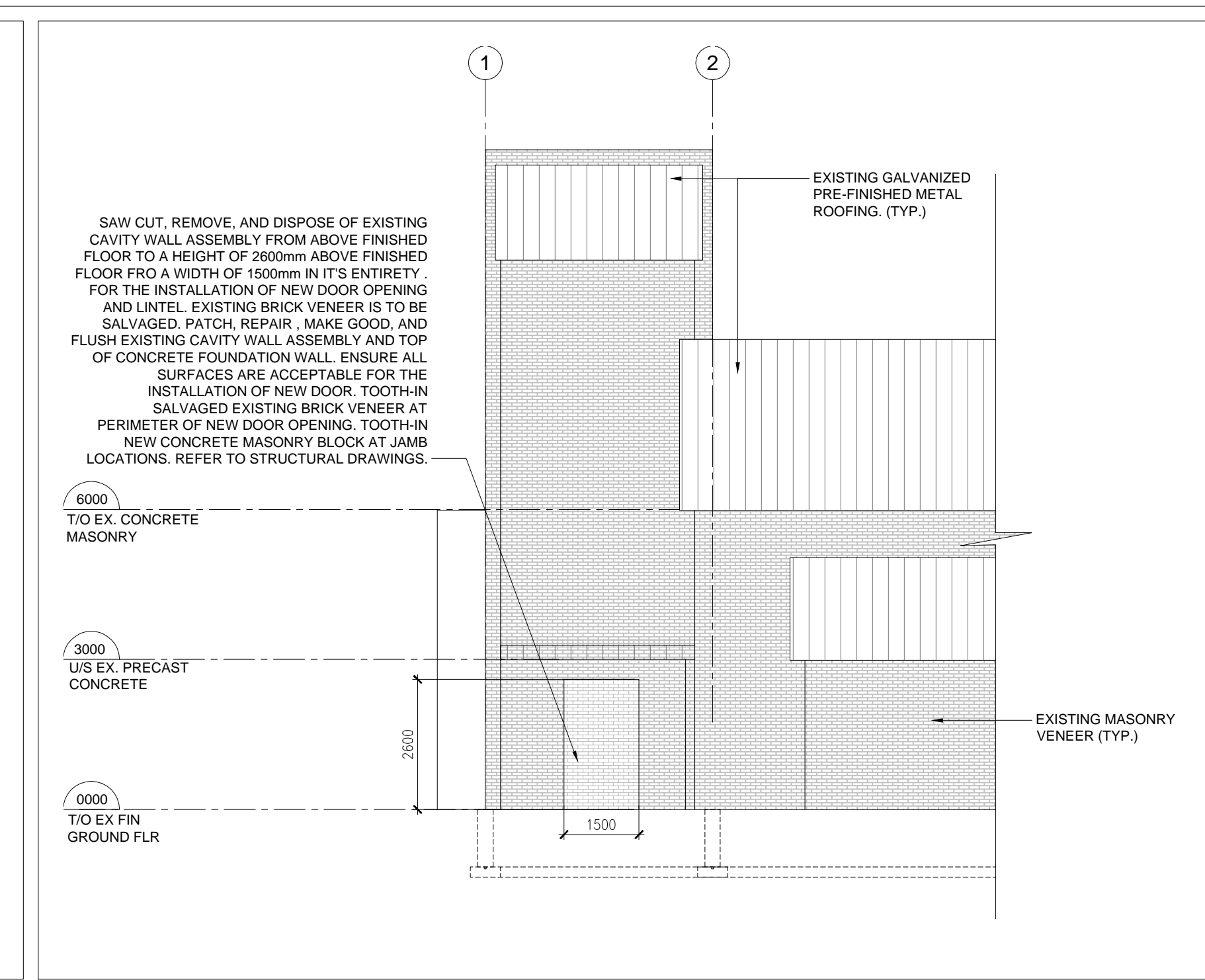
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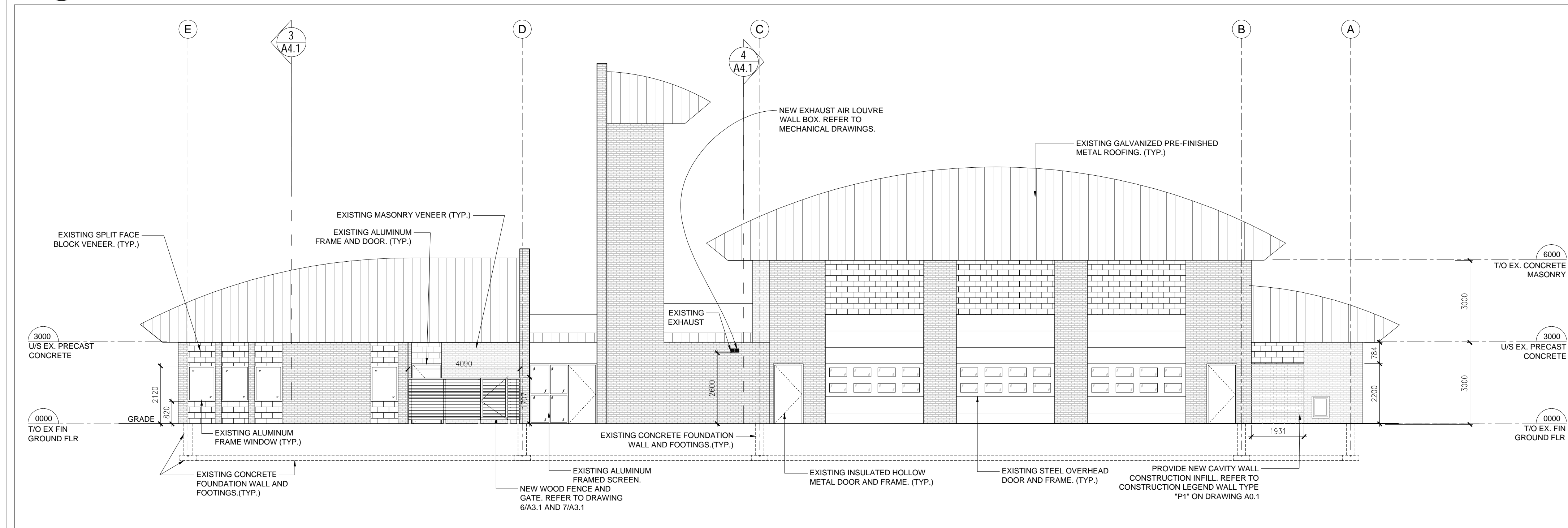
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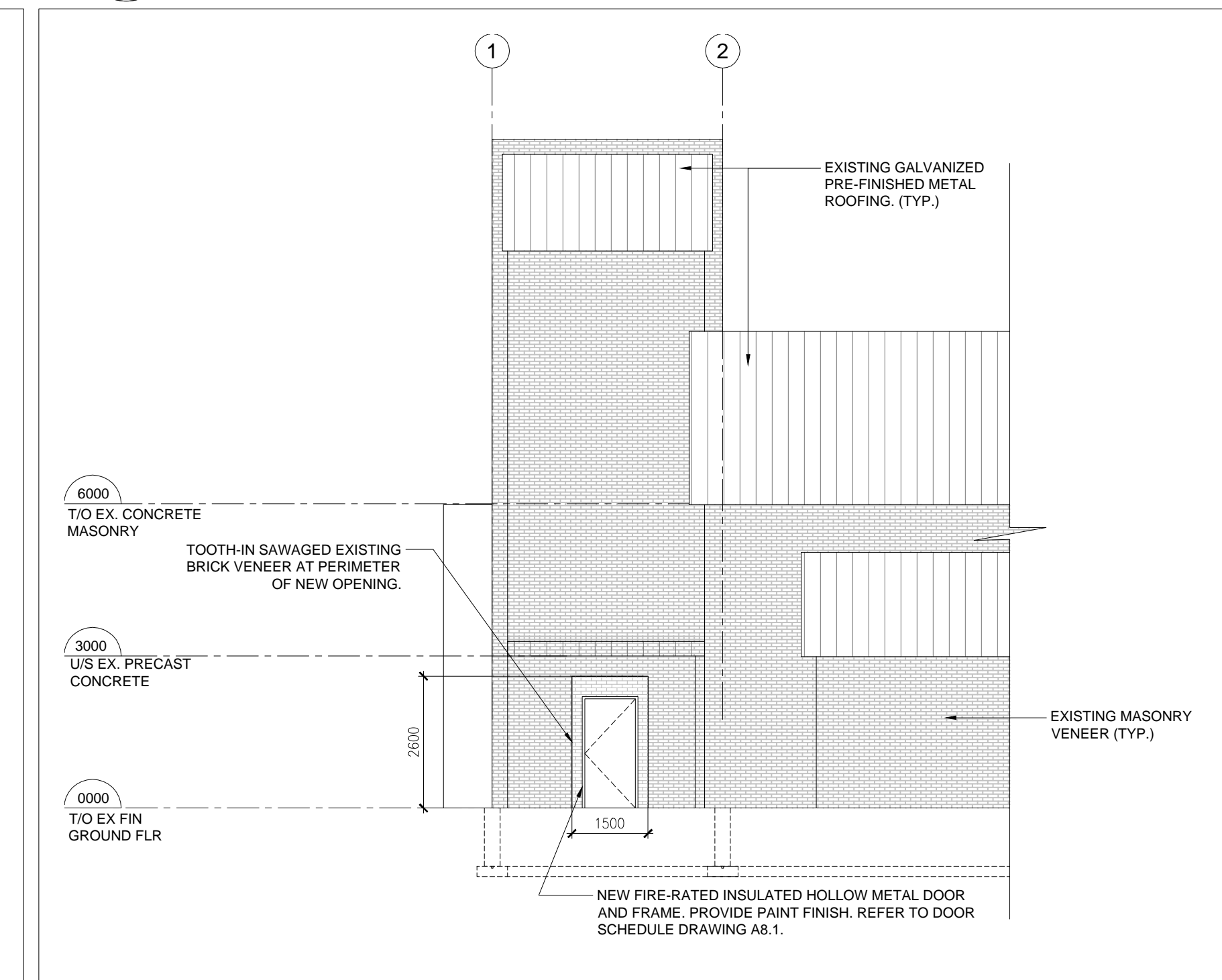
2 BUILDING ELEVATION - WEST - DEMOLITION
A3.1 1:100



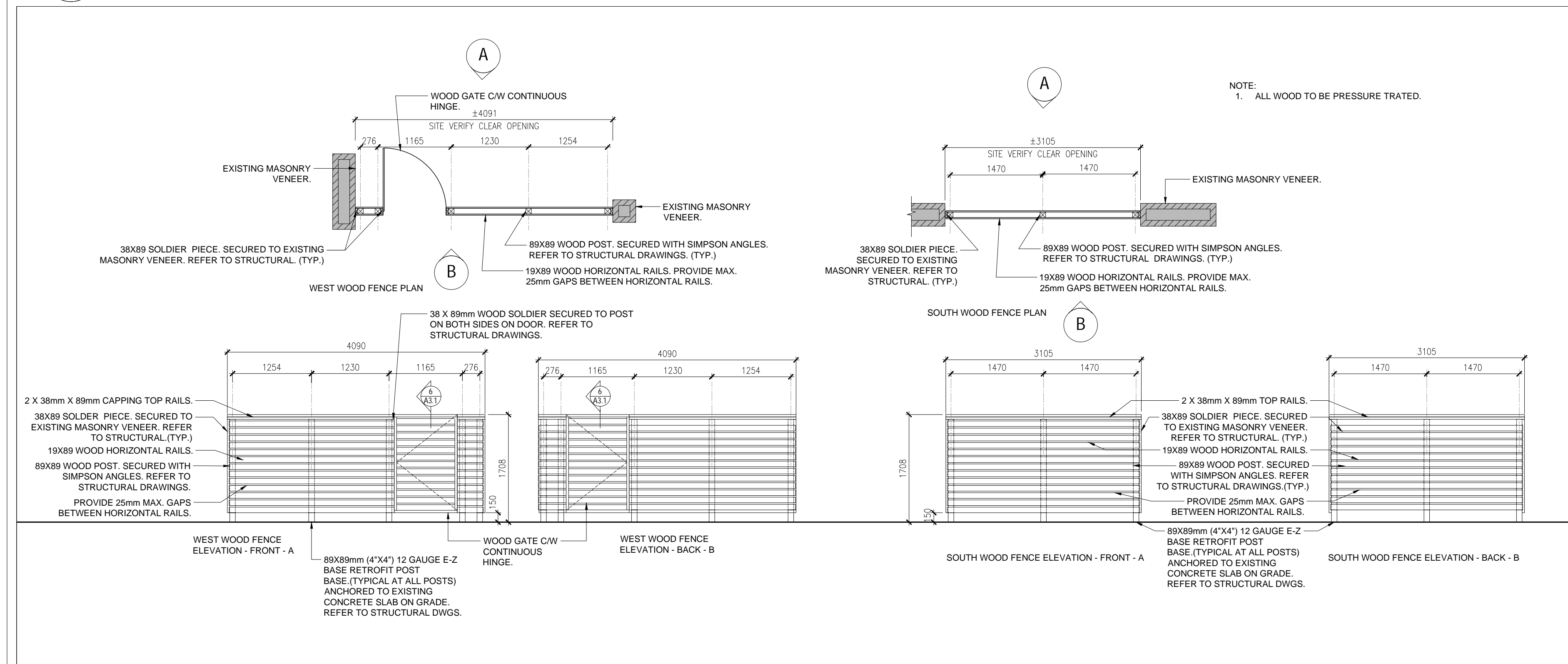
1 PARTIAL BUILDING ELEVATION - SOUTH - DEMOLITION
A3.1 1:100



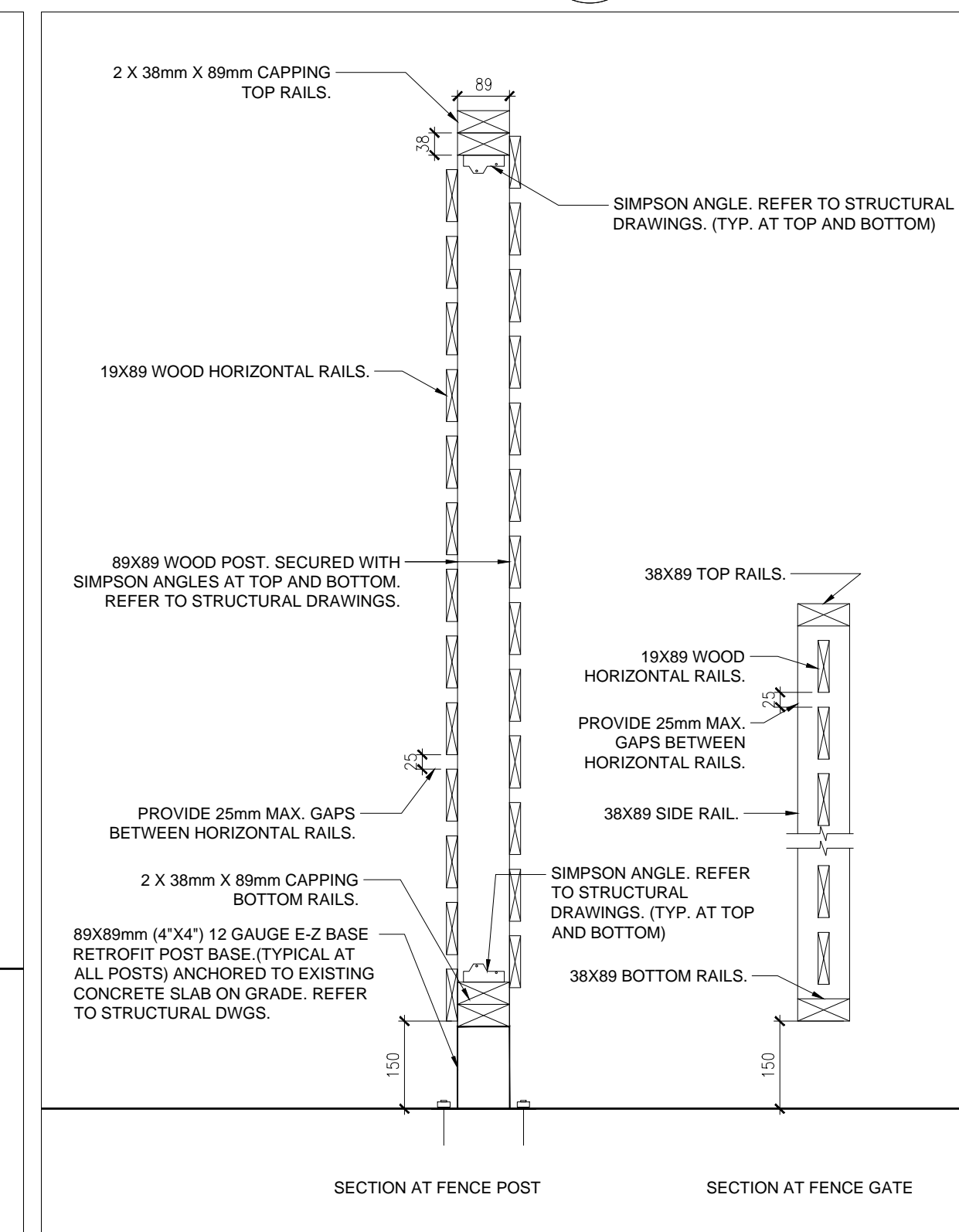
4 PROPOSED BUILDING ELEVATION - WEST
A3.1 1:100



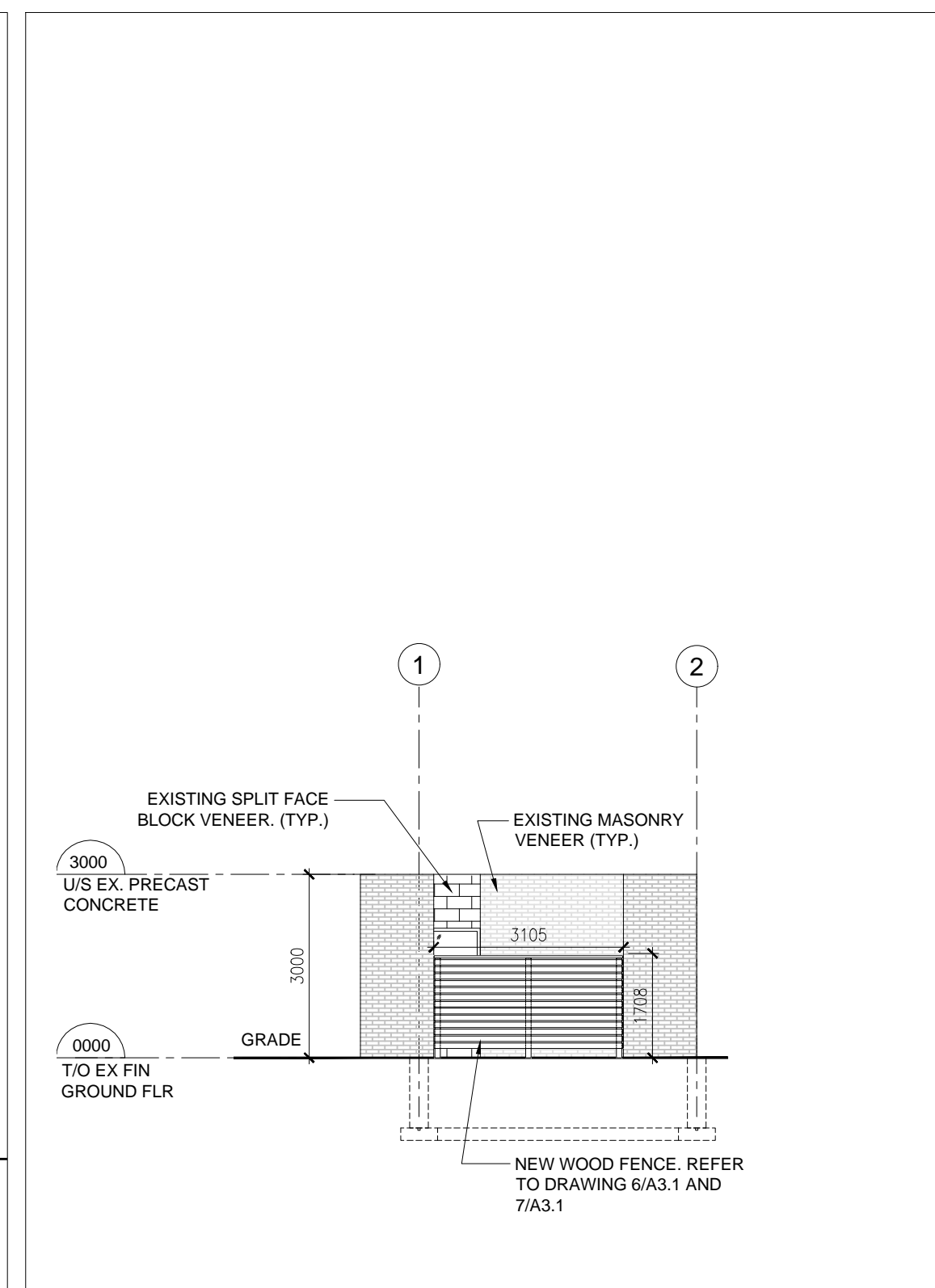
3 PROPOSED PARTIAL ELEVATION - SOUTH
A3.1 1:100



7 WOOD FENCE PLAN AND ELEVATION
A3.1 1:50



6 SECTION DETAIL AT WOOD FENCE POST
A3.1 1:10



5 PROPOSED PARTIAL ELEVATION - SOUTH
A3.1 1:100

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drawing
BUILDING ELEVATIONS AND DETAILS

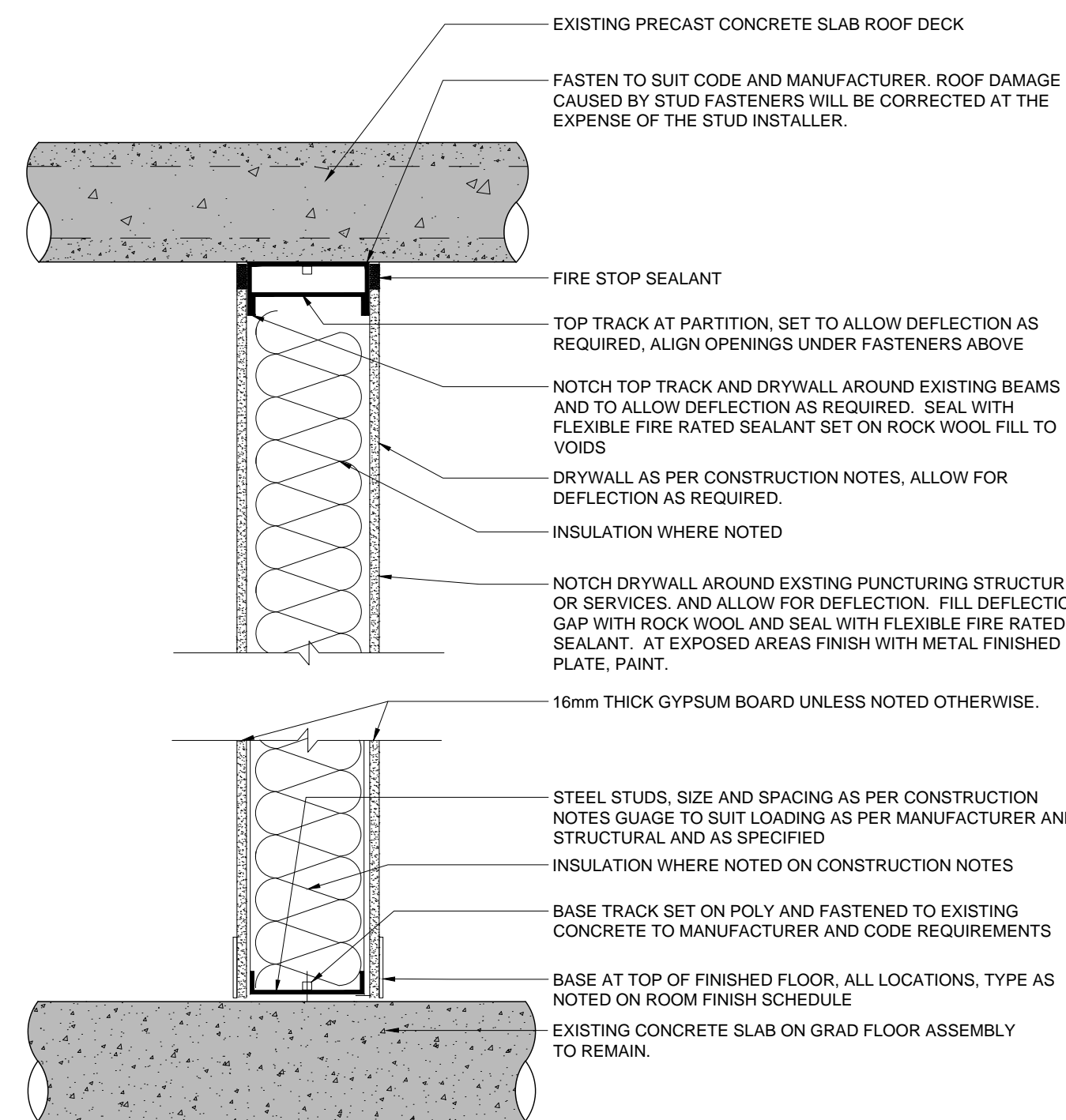
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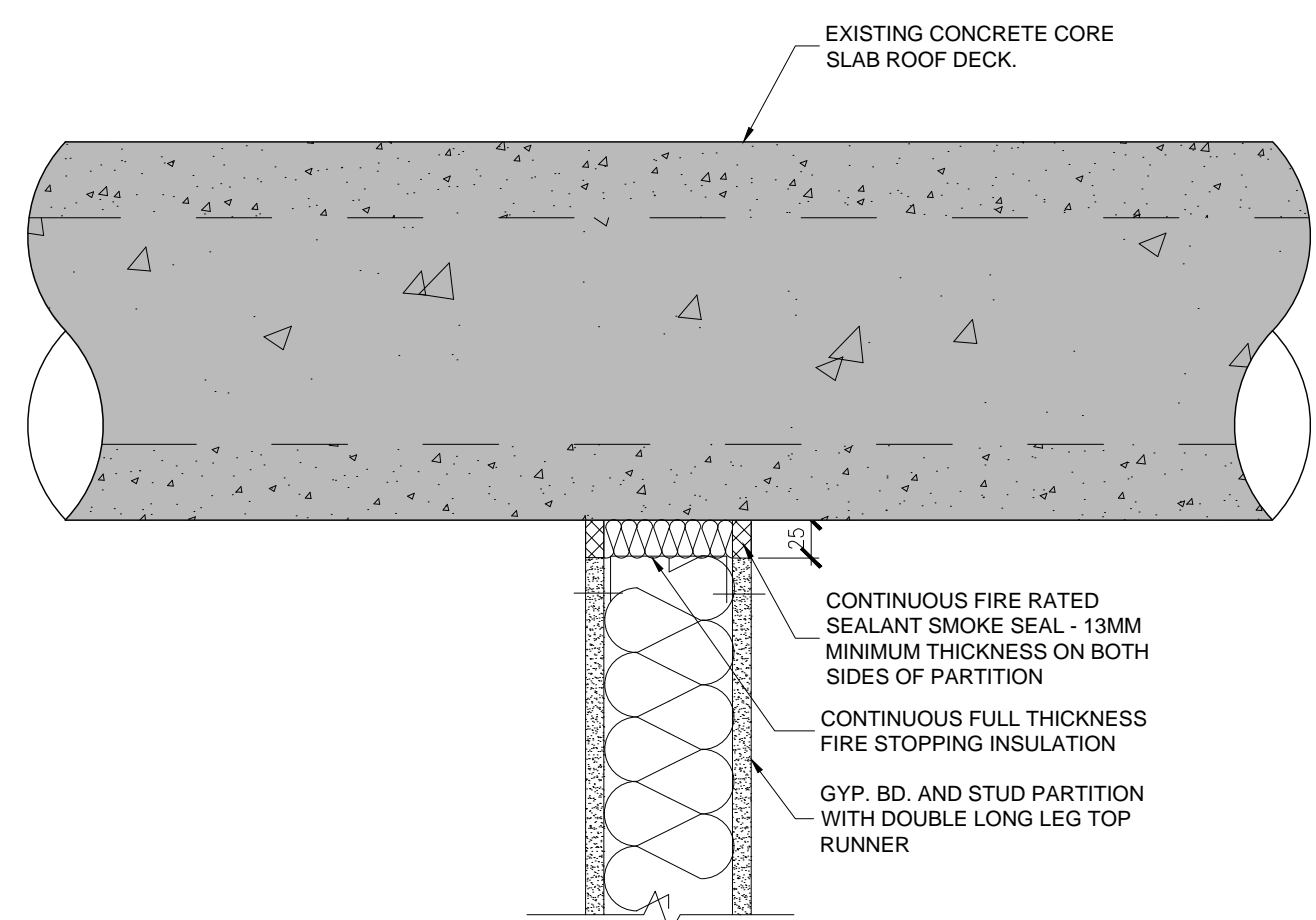
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A3.1

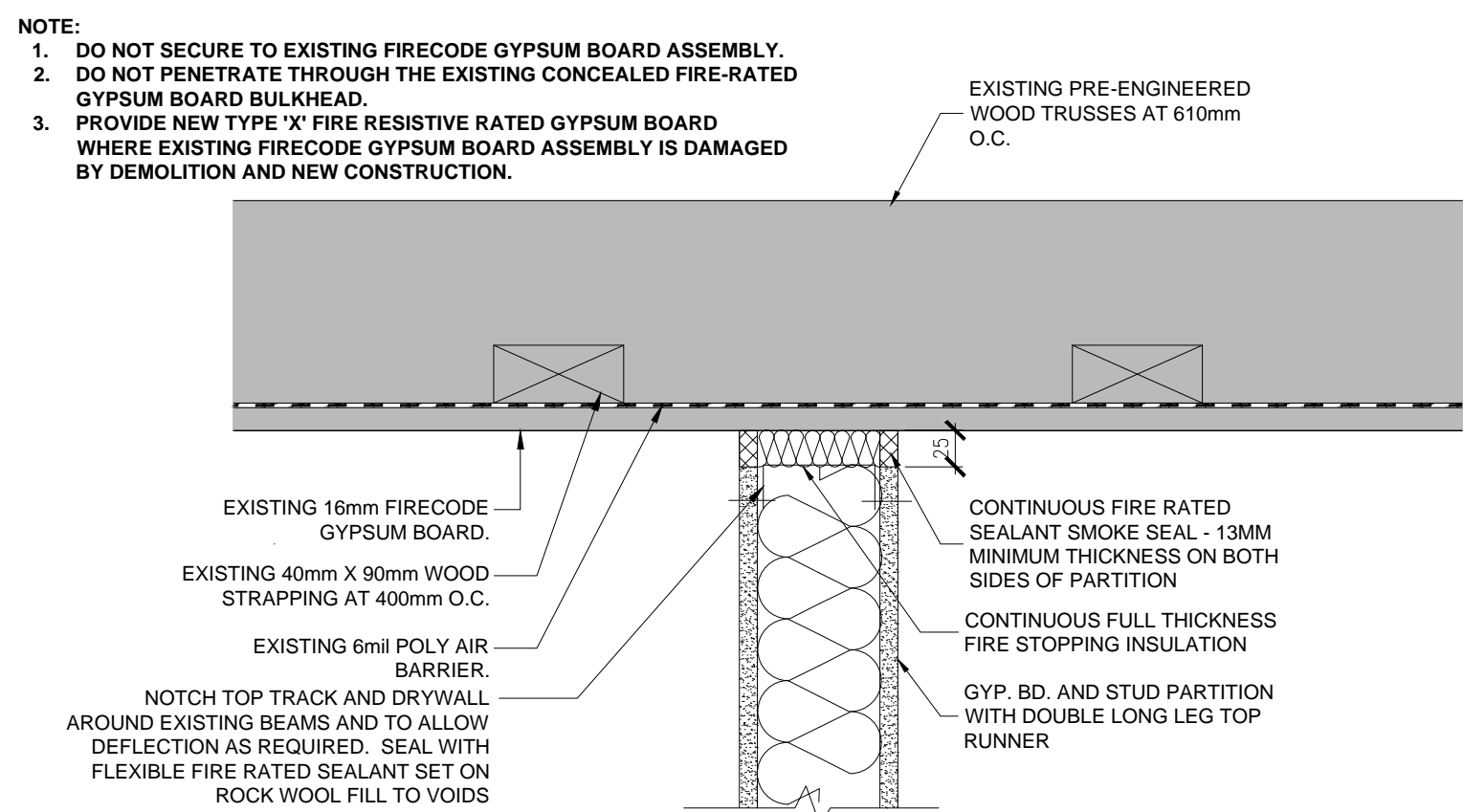
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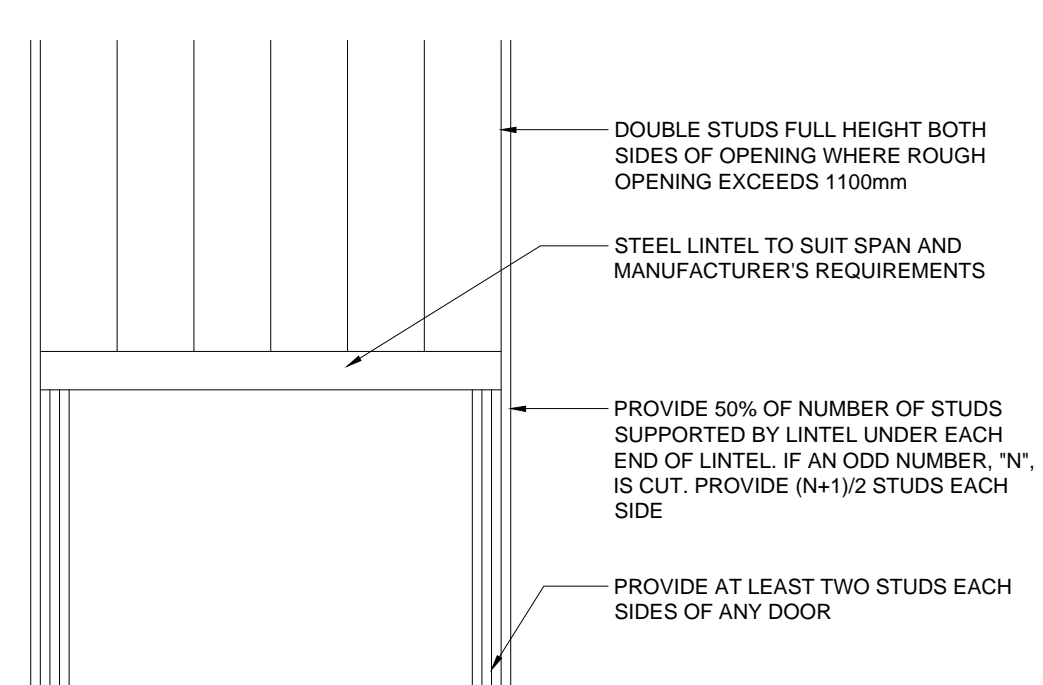
5 GYPSUM BOARD PARTITION WALL DETAIL AT TOP AND BOTTOM AT BASE
A4.1 1:10



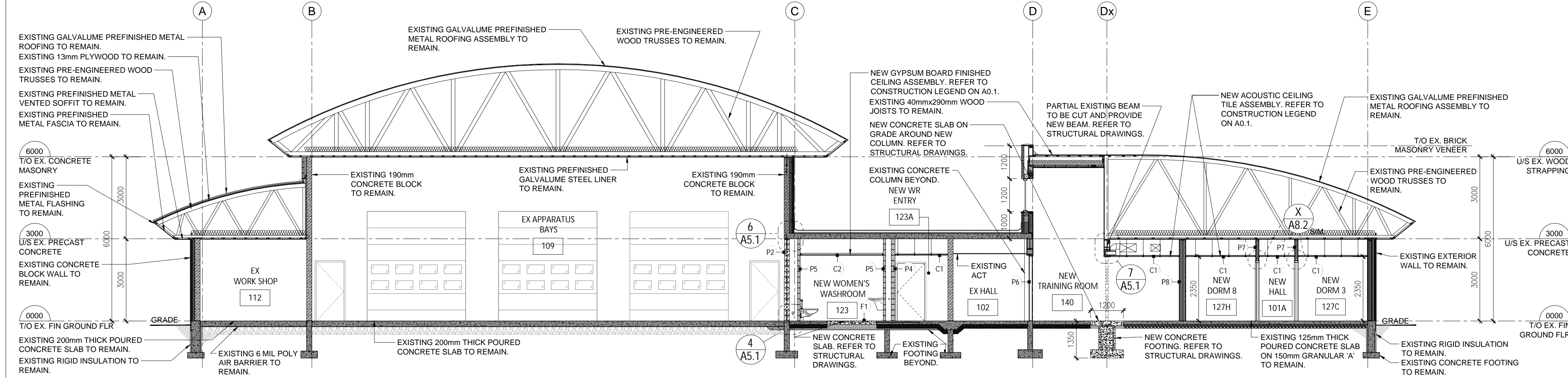
6 FIRE STOPPING AND SMOKE SEAL DETAIL AT GYPSUM BOARD PARTITION & EXISTING CONCRETE CORE SLAB ROOF DECK
A4.1 1:5



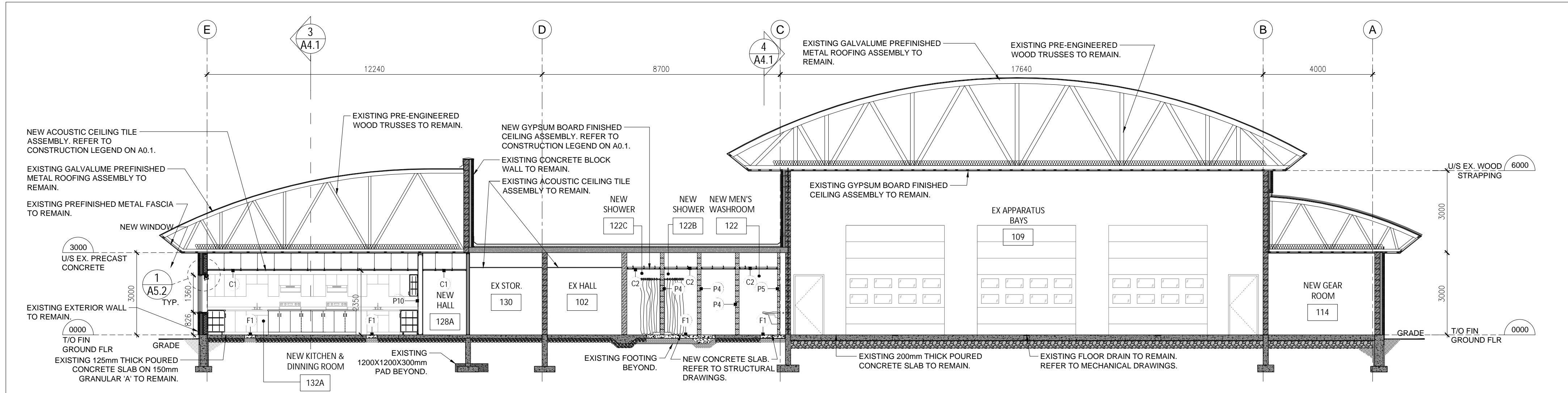
7 FIRE STOPPING AND SMOKE SEAL DETAIL AT GYPSUM BOARD PARTITION & EXISTING FIRECODE GYPSUM BOARD
A4.1 1:5



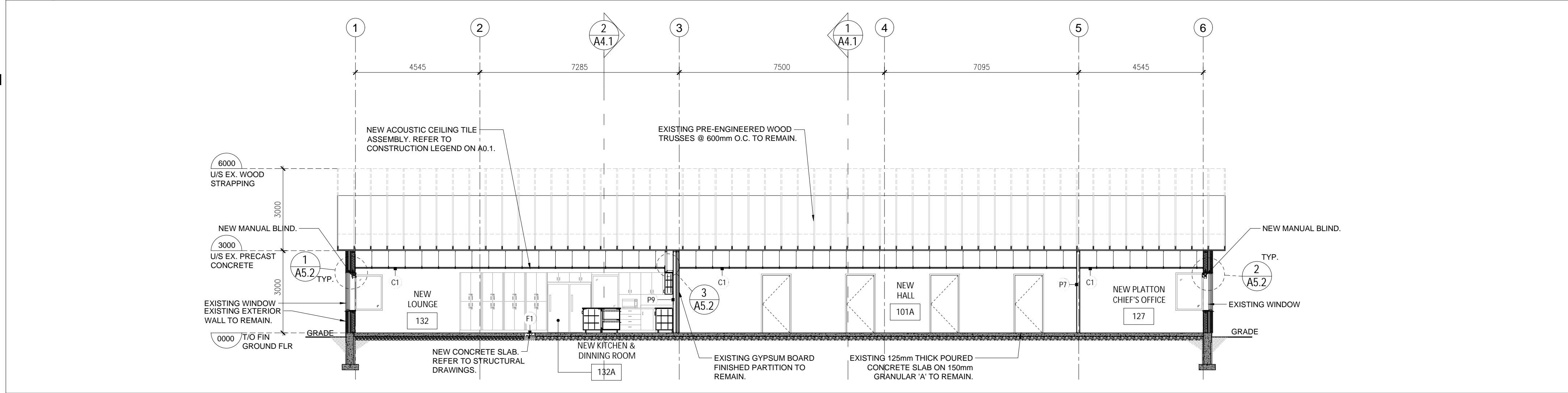
8 TYPICAL OPENING AT METAL STUD
A4.1 1:10



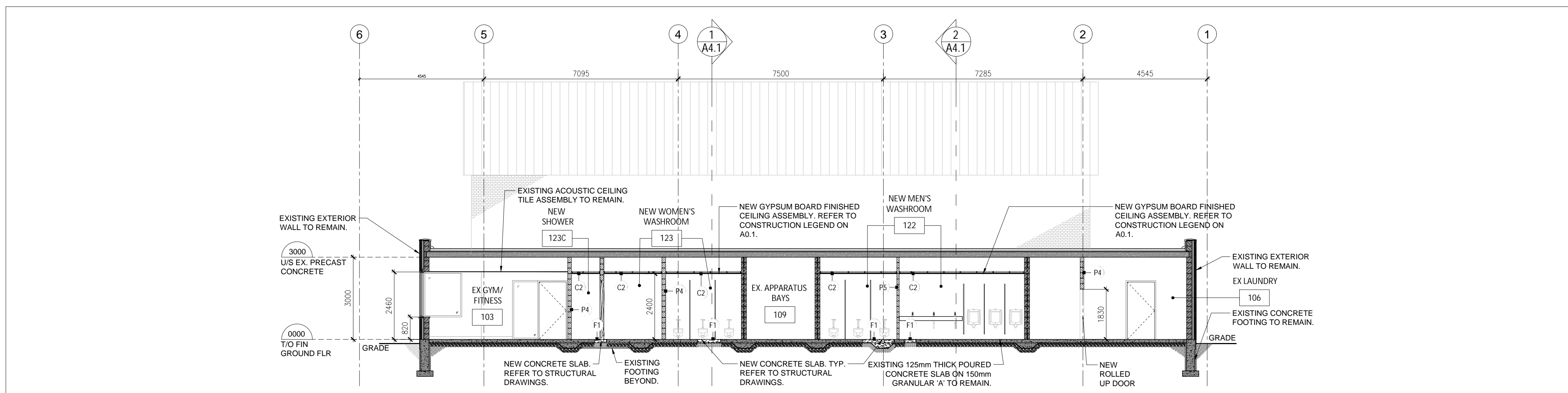
1 BUILDING SECTION
A4.1 1:100



2 BUILDING SECTION
A4.1 1:100



3 BUILDING SECTION
A4.1 1:100



4 BUILDING SECTION
A4.1 1:100

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BUILDING SECTIONS AND DETAILS
drawing scale

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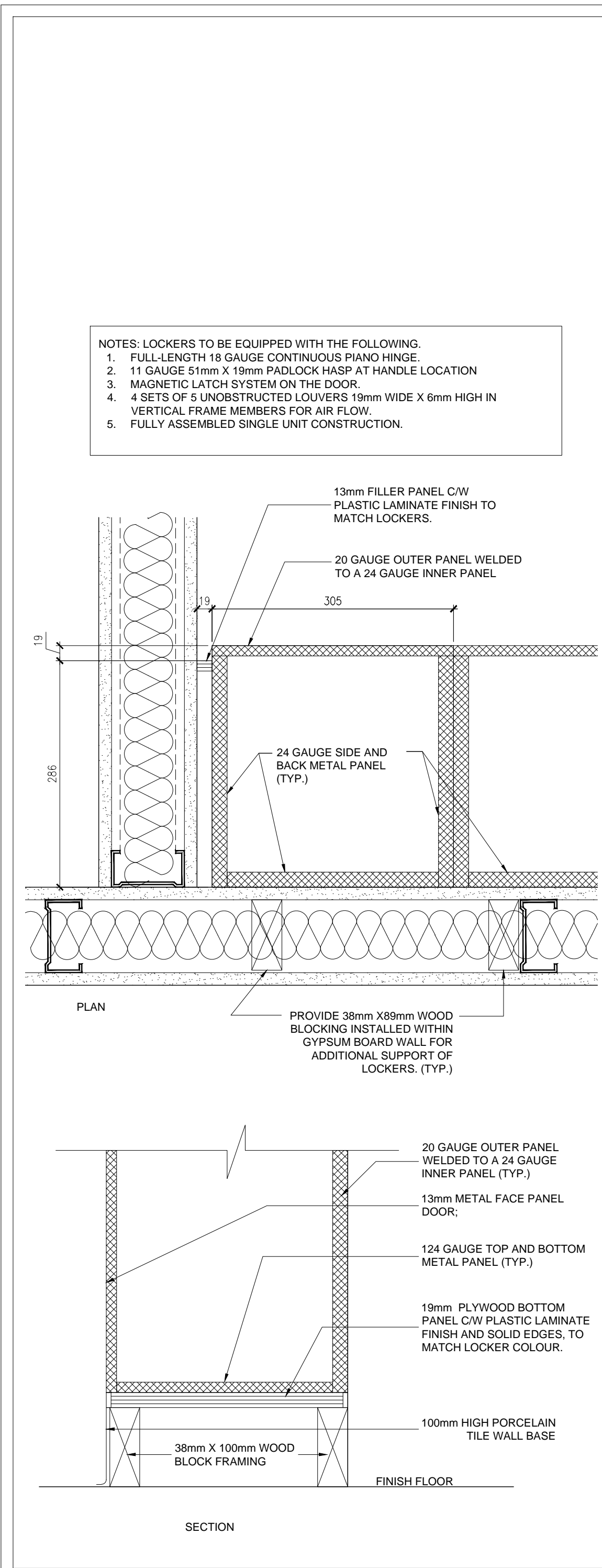
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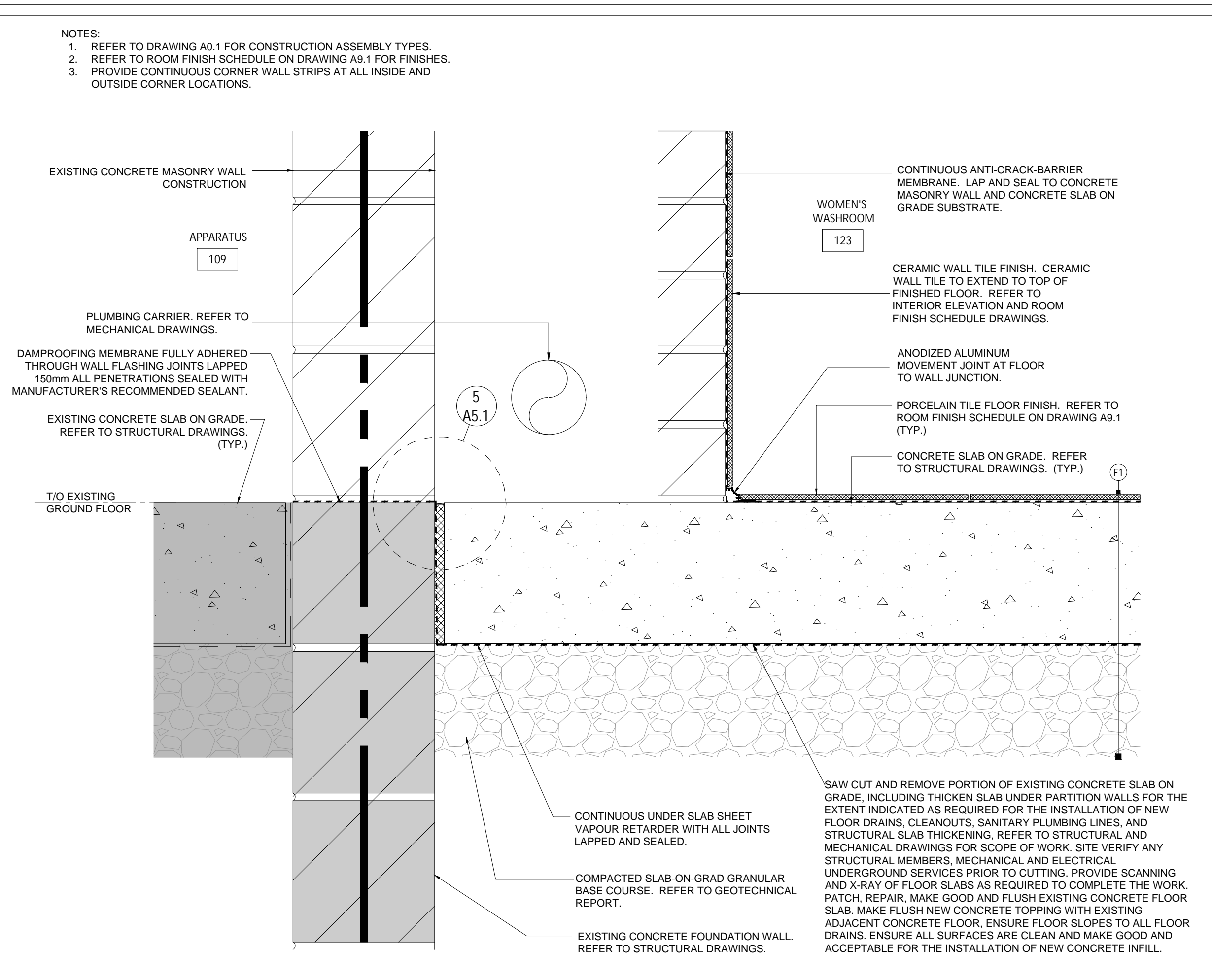
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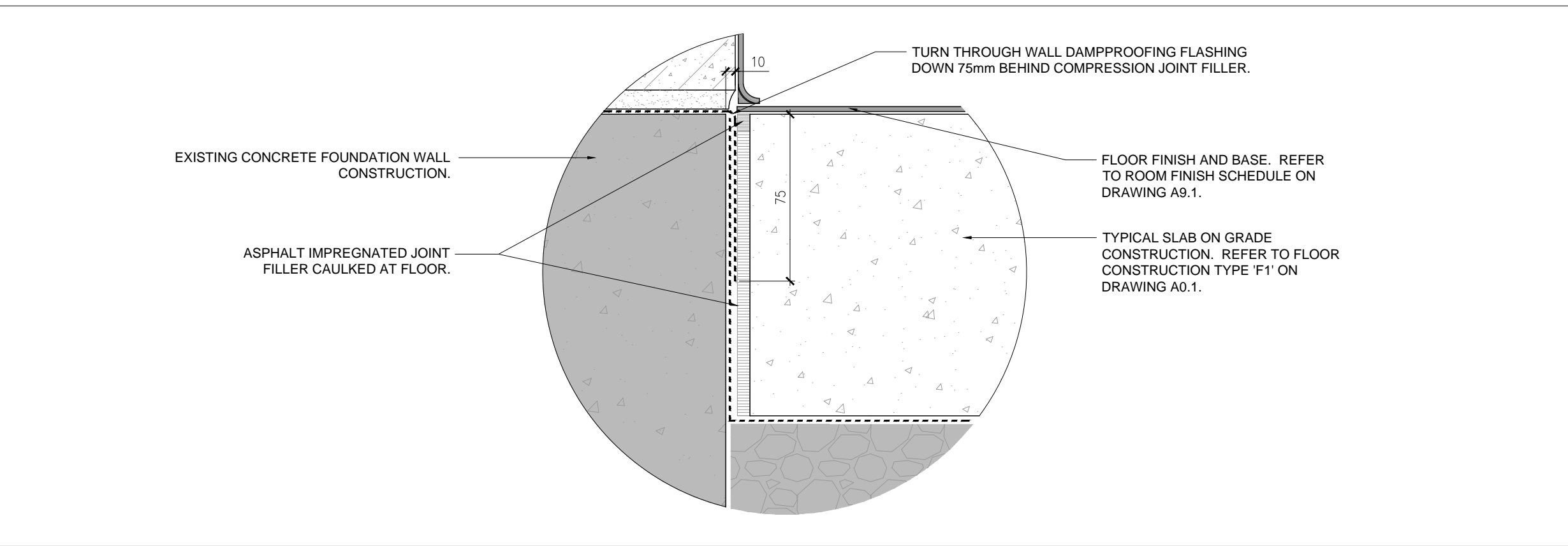
A4.1



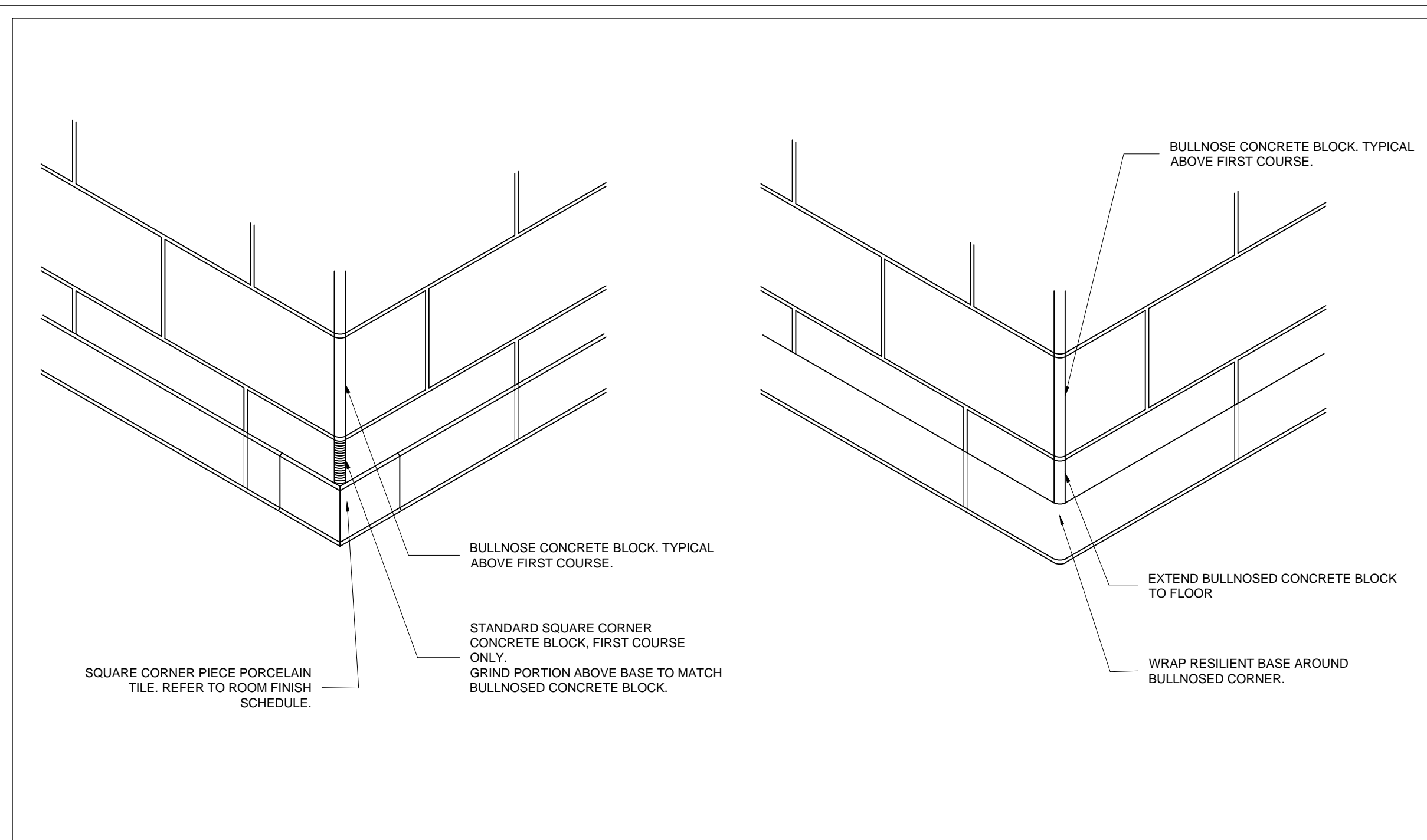
8 LOCKER BASE DETAIL
A5.1 1:5



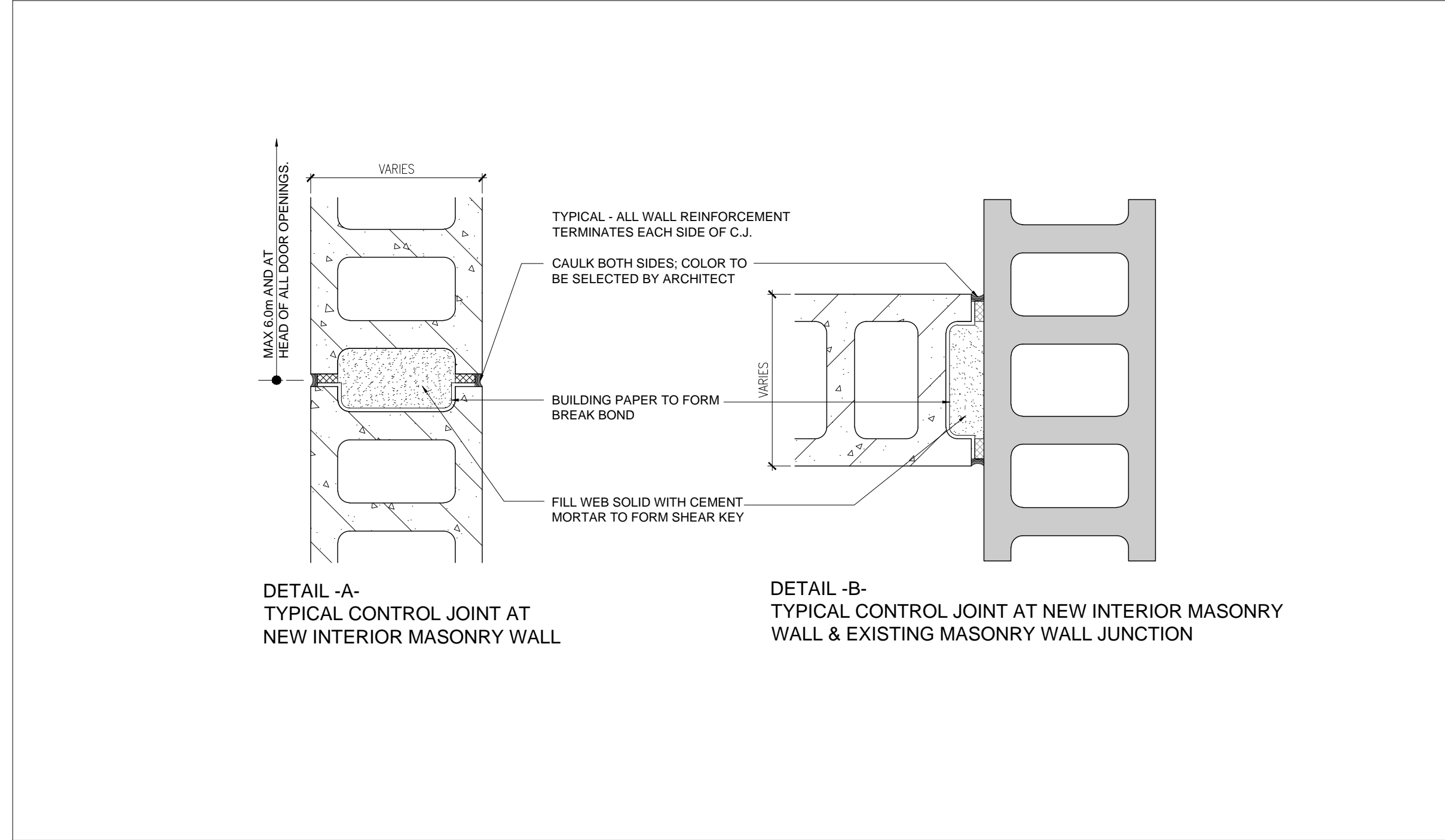
4 TYPICAL DETAIL AT TOP OF INTERIOR FOUNDATION WALL - NEW WOMEN'S WASHROOM 123
A5.1 1:10



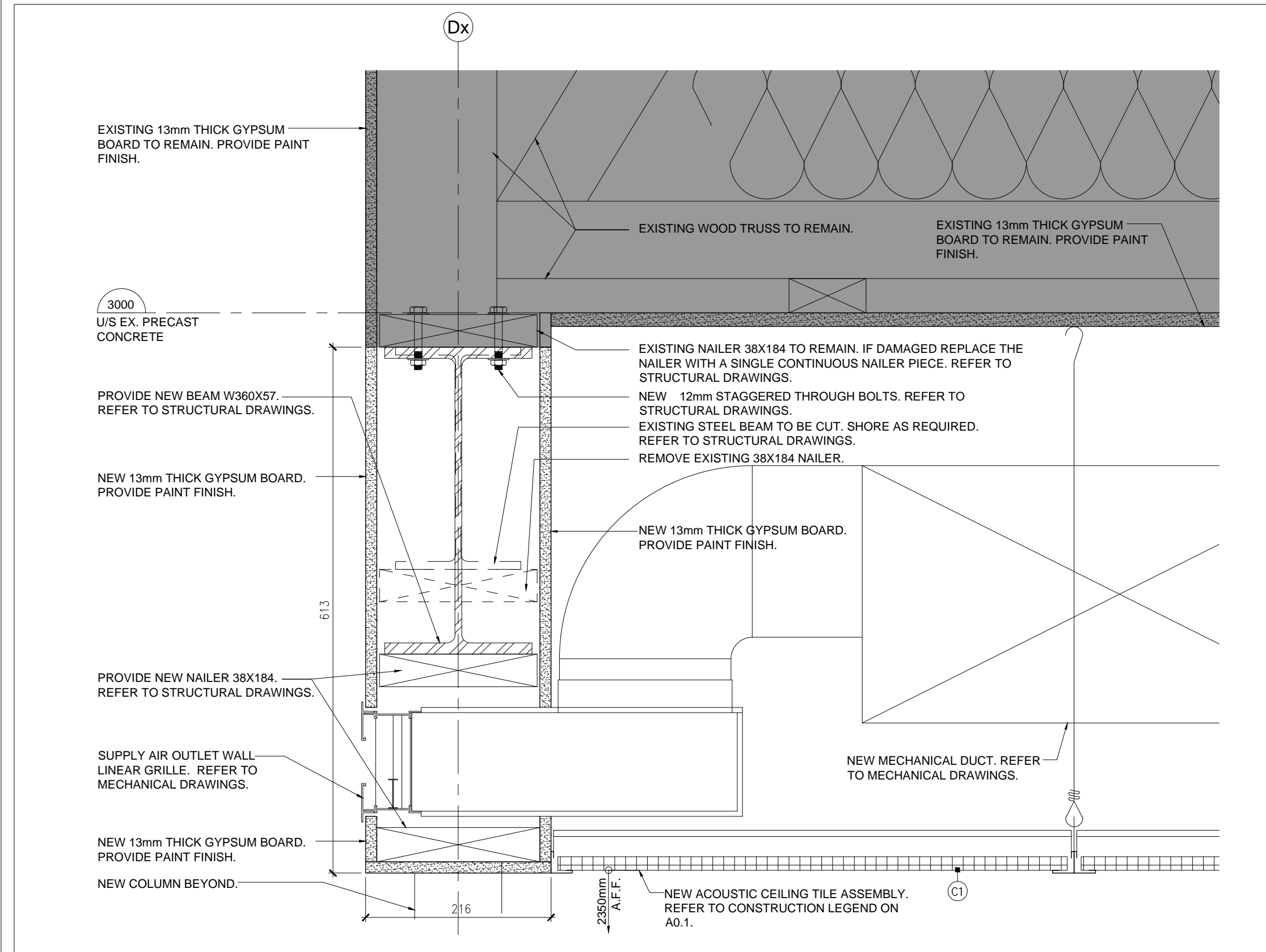
5 TYPICAL DETAIL AT TOP OF EXISTING INTERIOR FOUNDATION WALL
A5.1 1:5



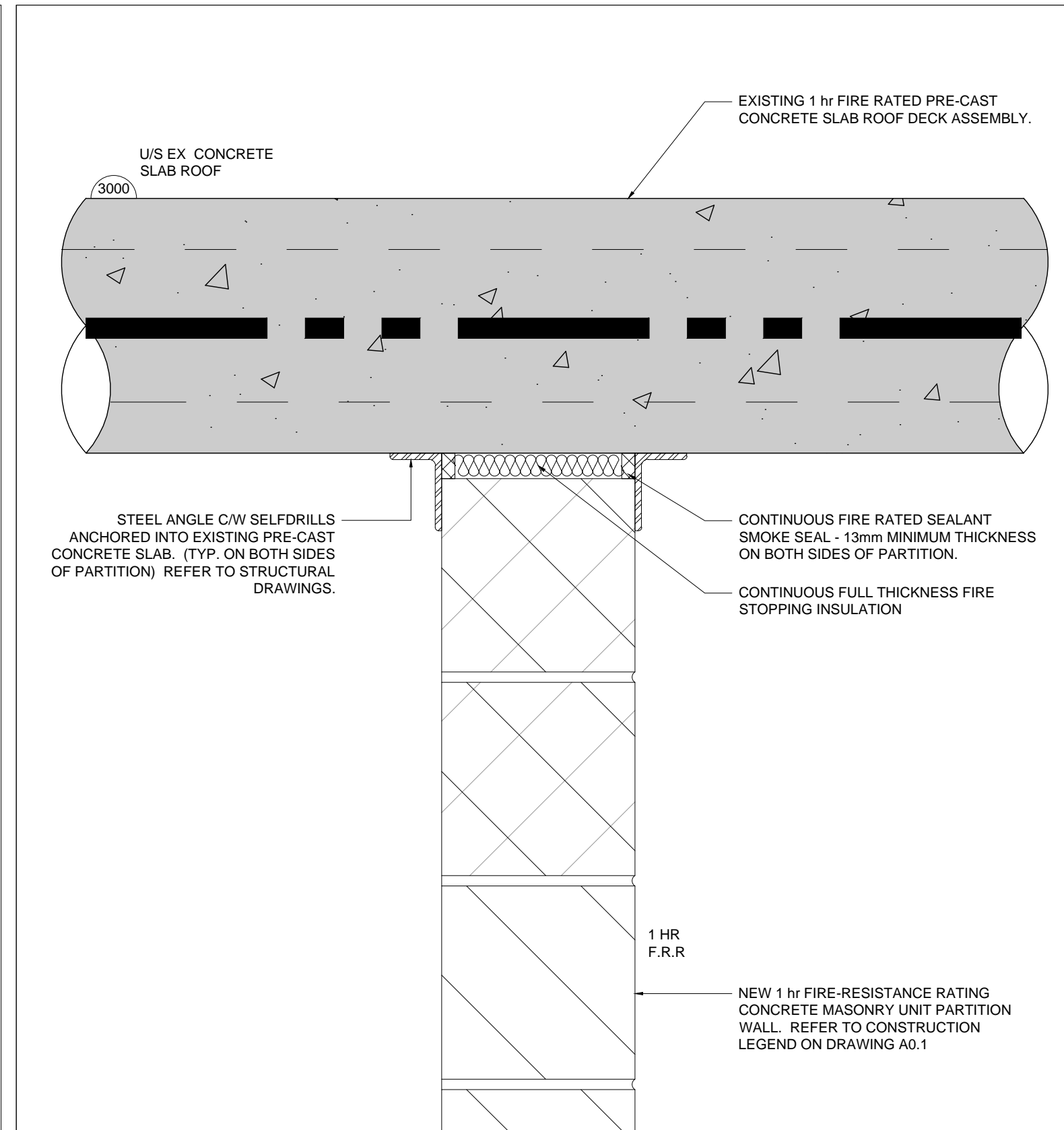
1 BULLNOSE CORNER BASE DETAIL AT MASONRY PARTITION
A5.1 1:20



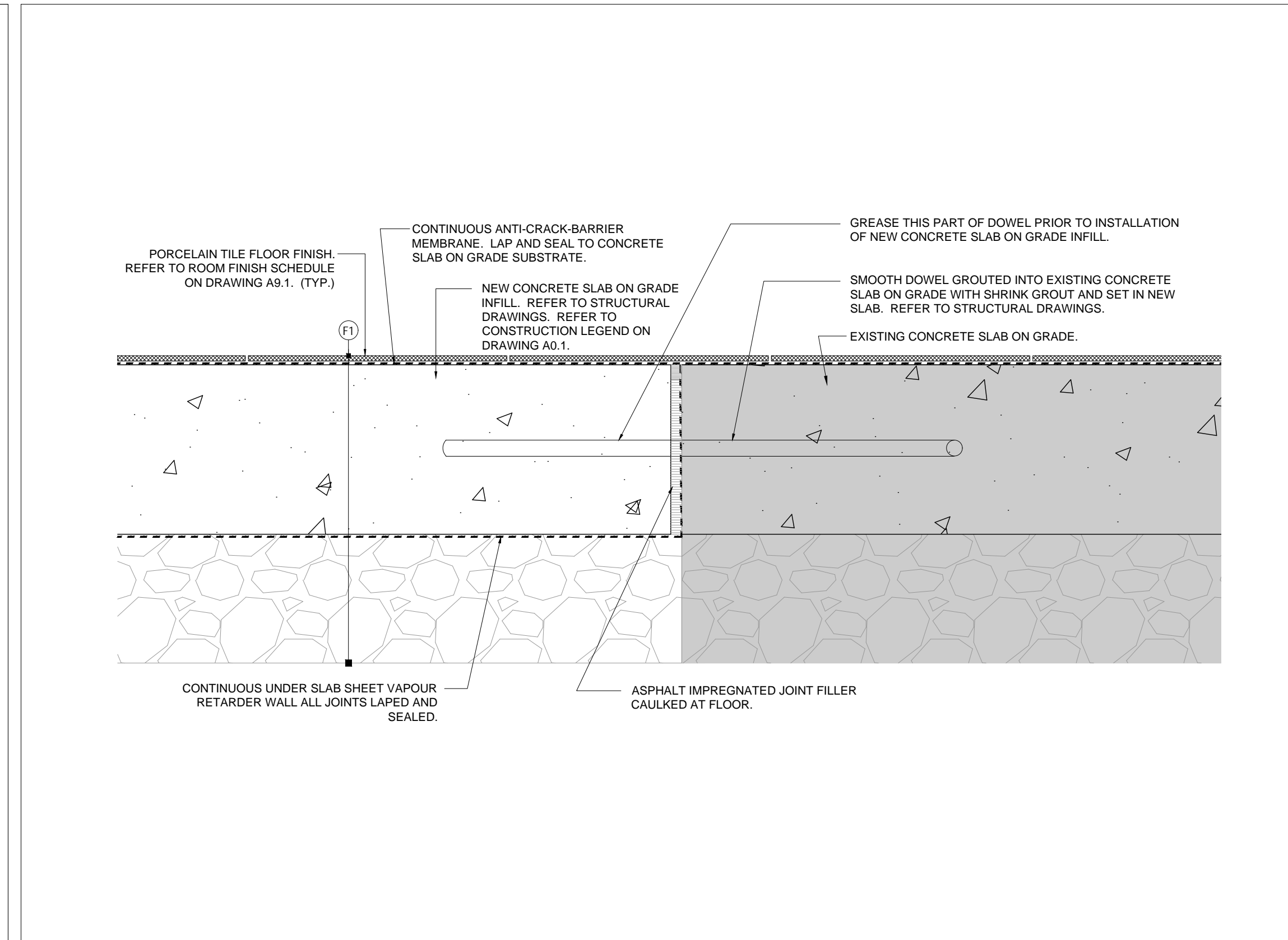
2 TYPICAL CONTROL JOINT DETAIL
A5.1 1:5



7 DETAIL AT NEW BEAM AND COLUMN ALONG GRID LINE Dx
A5.1 1:5



6 FIRE STOPPING AND SMOKE SEAL DETAIL AT PRE-CAST CONCRETE SLAB
A5.1 1:5



3 NEW CONCRETE SLAB ON GRADE DETAIL
A5.1 1:5

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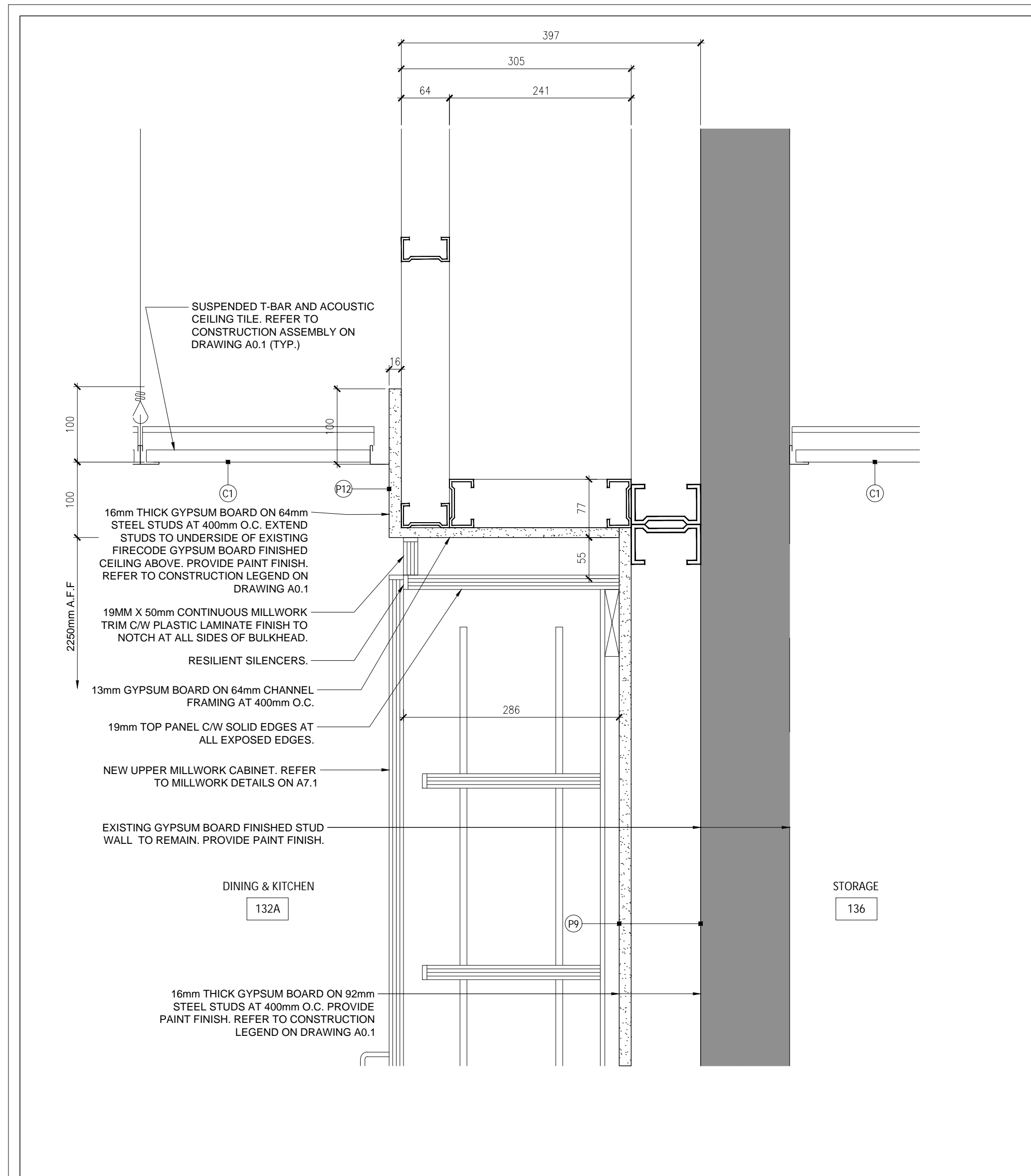
drawing
DETAILS
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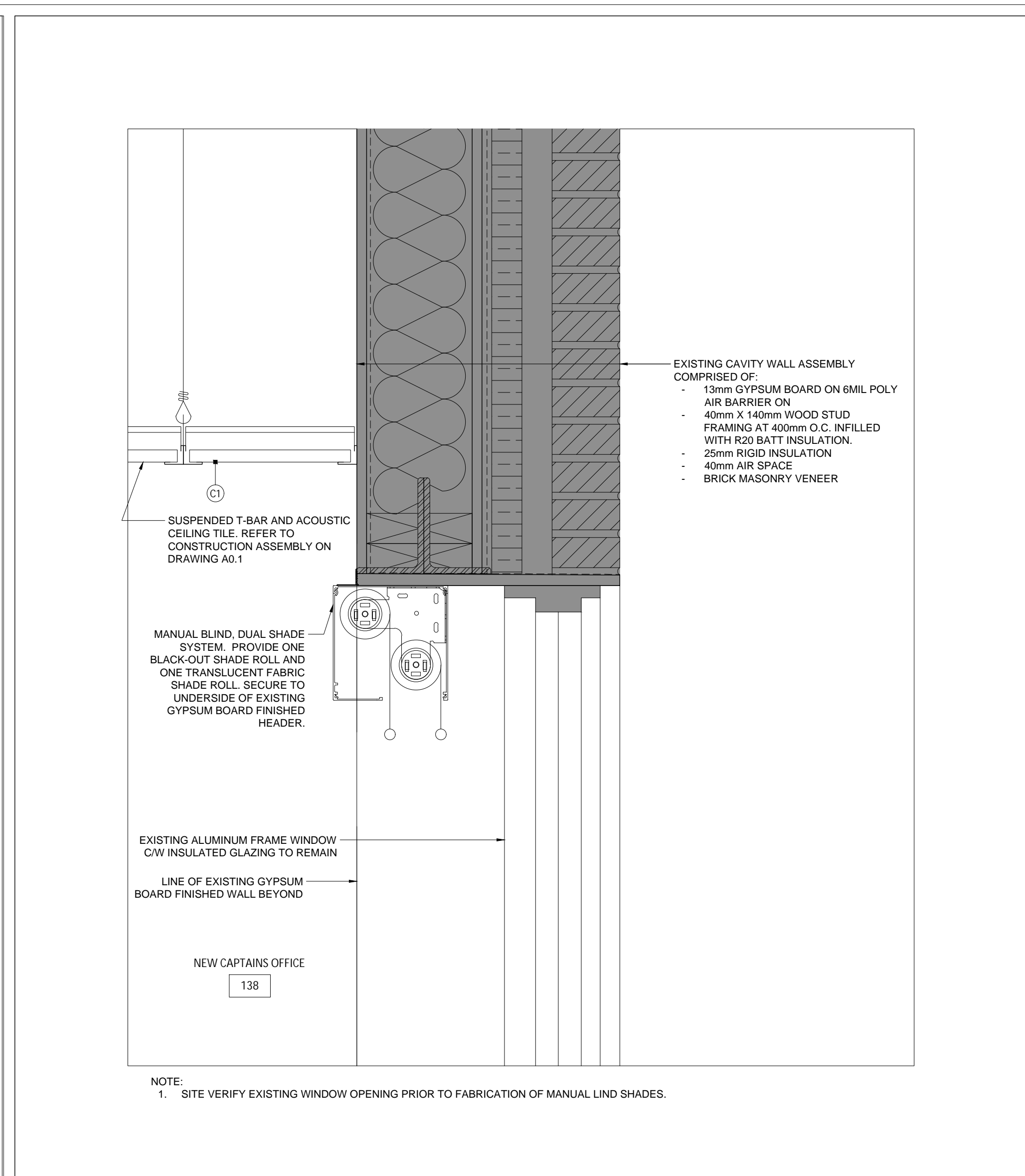
Wa RD 99

A5.1

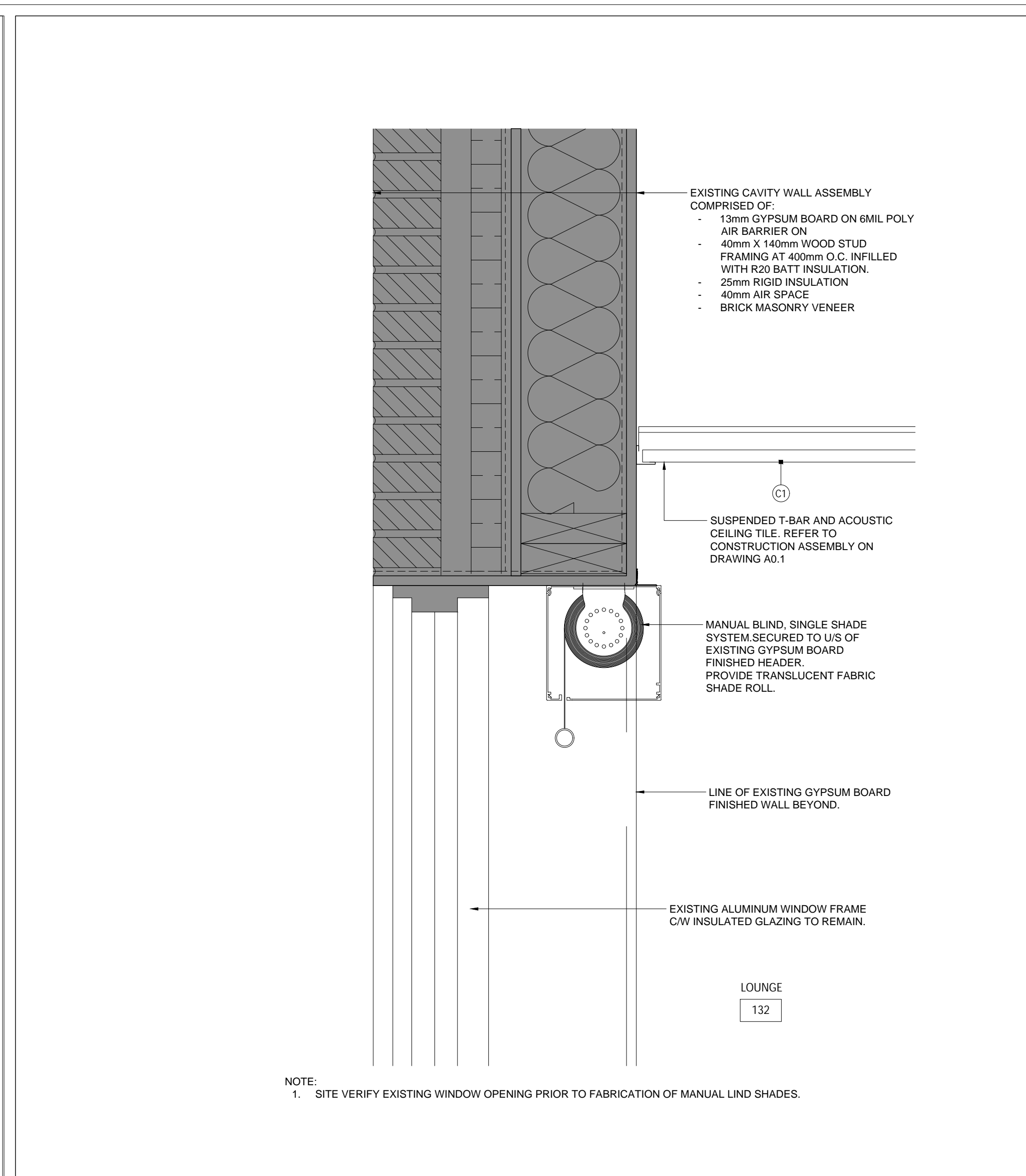
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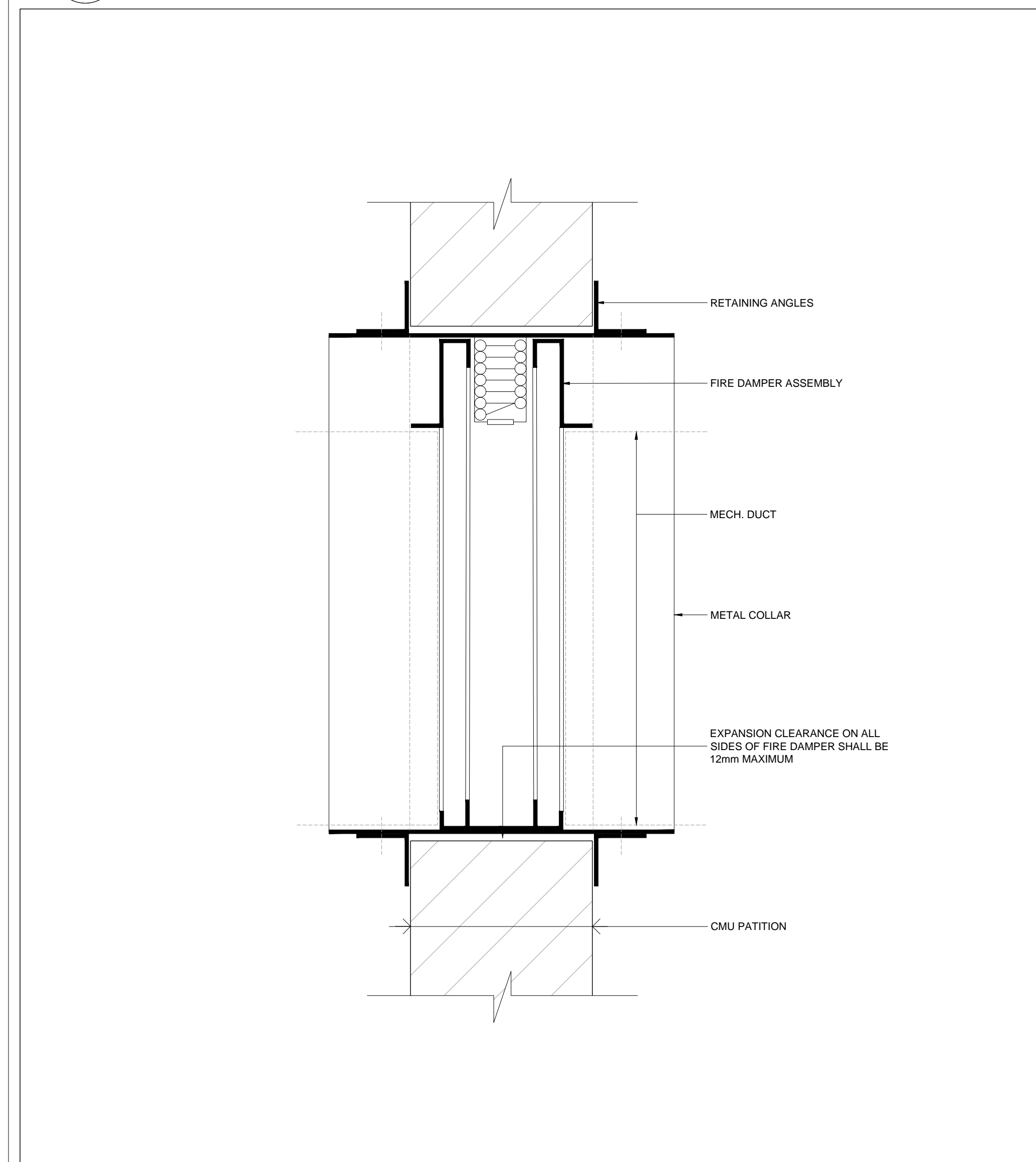
3 BULKHEAD DETAIL AT DINNING & KITCHEN 113A
A5.2 1:5



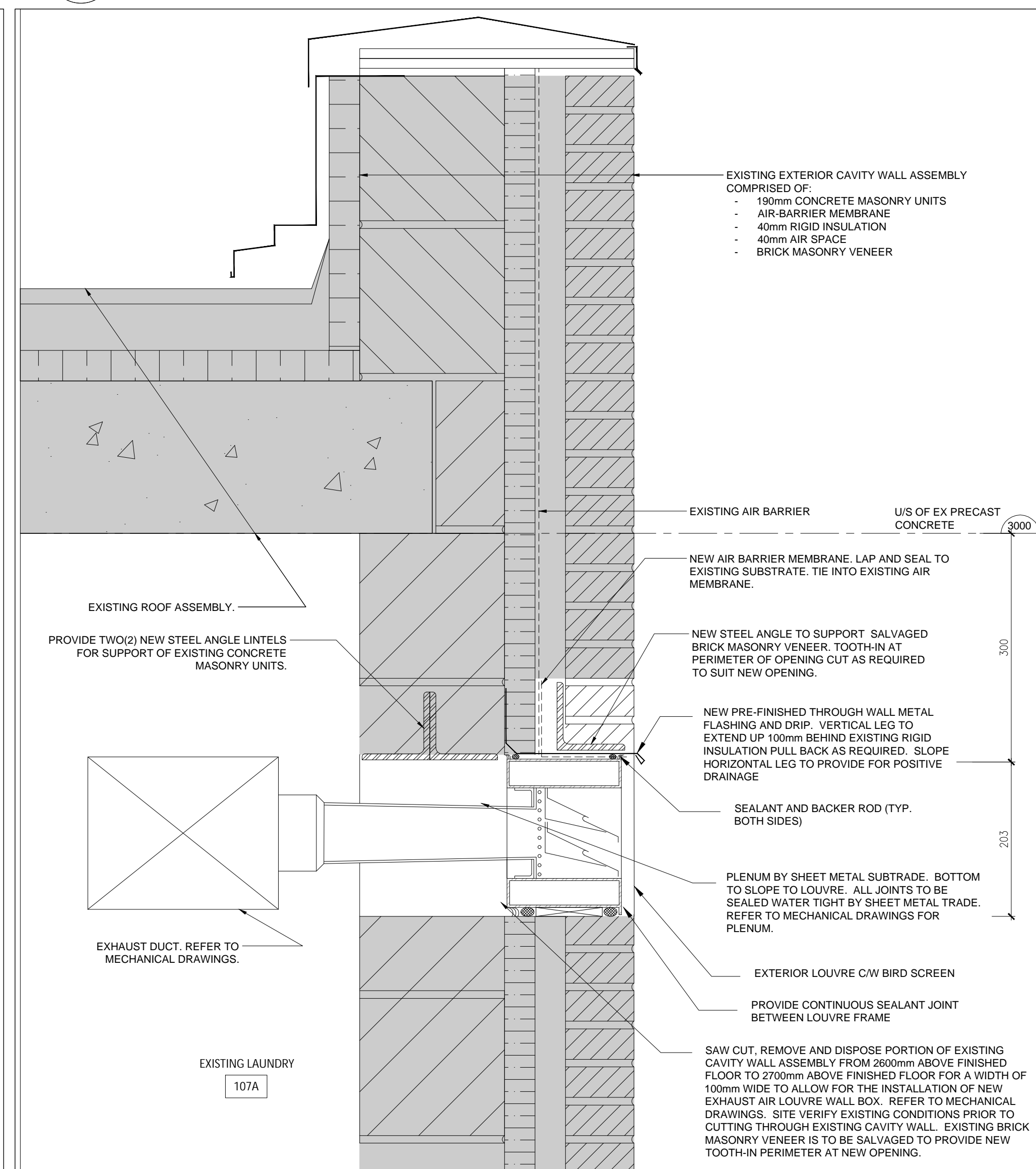
2 SECTION DETAIL AT MANUAL BLIND - DUAL SHADE
A5.2 1:5



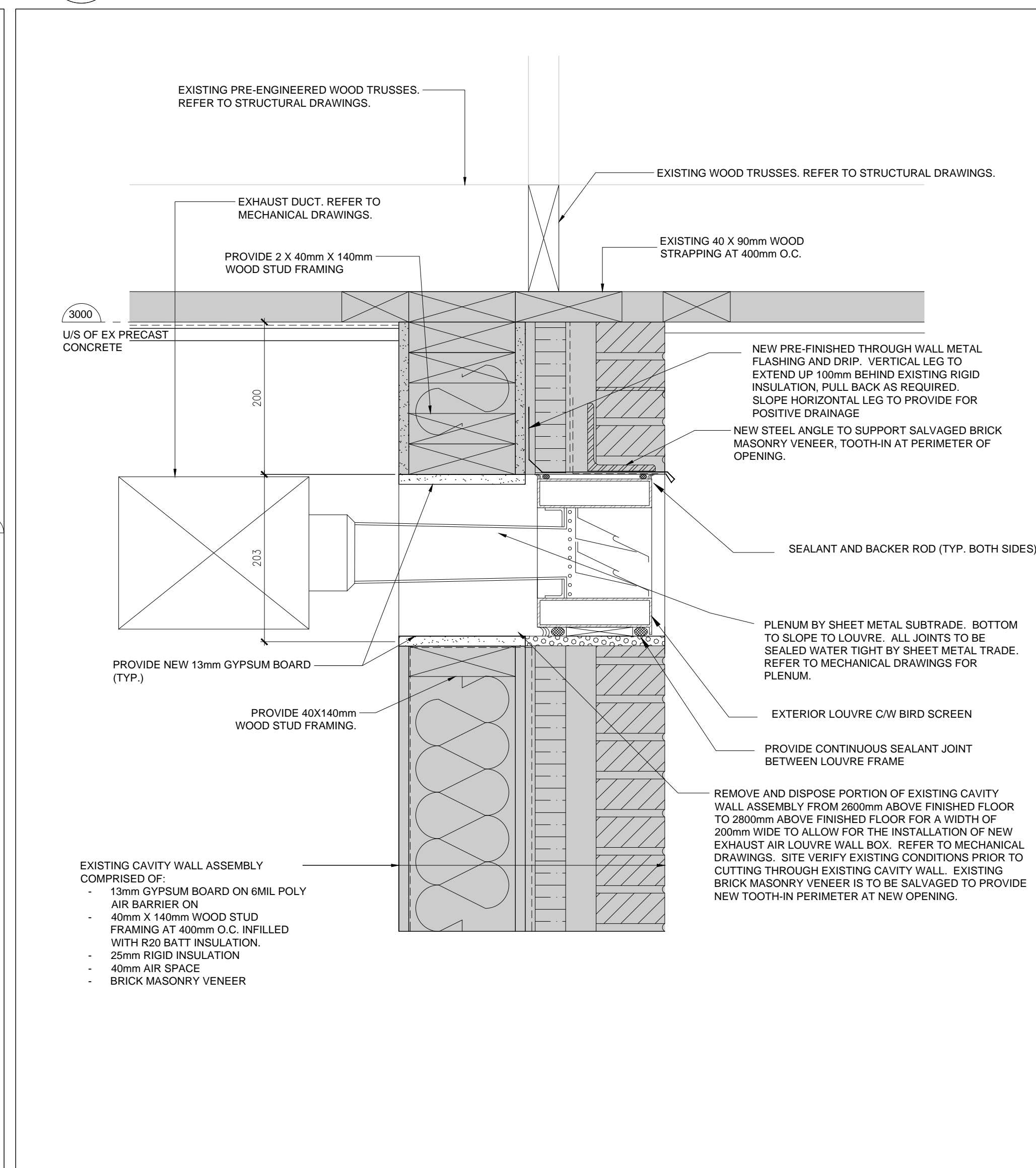
1 SECTION DETAIL AT MANUAL BLIND - SINGLE SHADE
A5.2 1:5



6 FIRE DAMPER DETAIL AT CONCRETE MASONRY WALL
A5.2 1:5



5 DETAIL AT MECHANICAL LOUVRE AT EXISTING LAUNDRY 107A
A5.2 1:5



4 DETAIL AT MECHANICAL LOUVRE AT DINING & KITCHEN 132A
A5.2 1:5

NOTE: THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL SITE DIMENSIONS AND FOR NOTIFYING THE ARCHITECT OF ANY SITE CONDITIONS AND SITE MEASUREMENTS THAT ARE NOT CONSISTENT WITH THE DRAWINGS.

no.	revision	date
1.	Issued for Permit and Costing	2024.06.27
2.	Issued for Tender	2024.08.13

no.	issue	date
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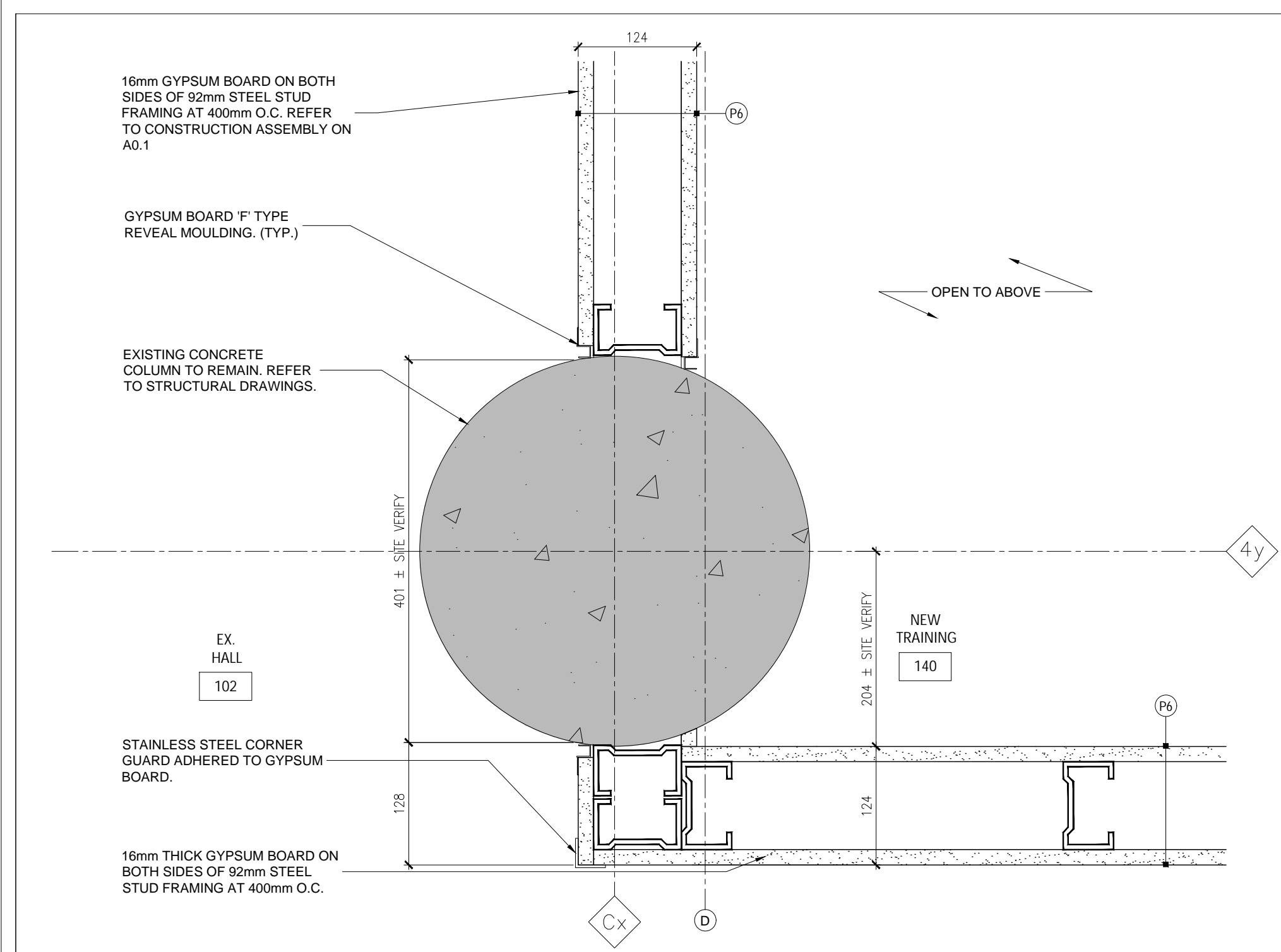
project
RENOVATION TO CLARINGTON FIRE & EMERGENCY SERVICES STATION 1
The Corporation of the Municipality of Clairmont

2430 Durham Regional Hwy 2, Bowmanville, ON L1C 6C8
drawing
DETAILS
drawing scale
AS NOTED
ward99 project number
24008 - DURHAM FIRE STATION

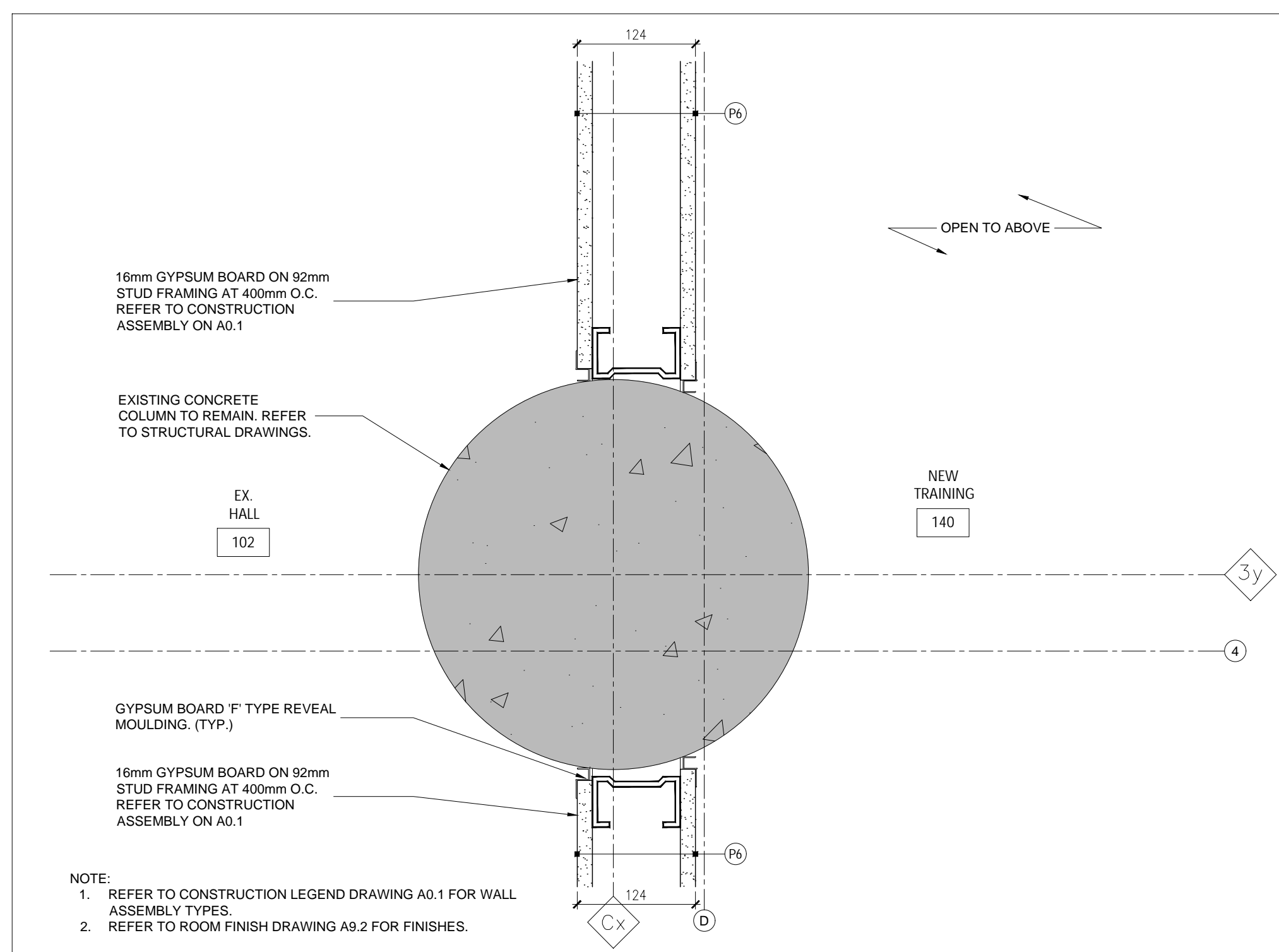
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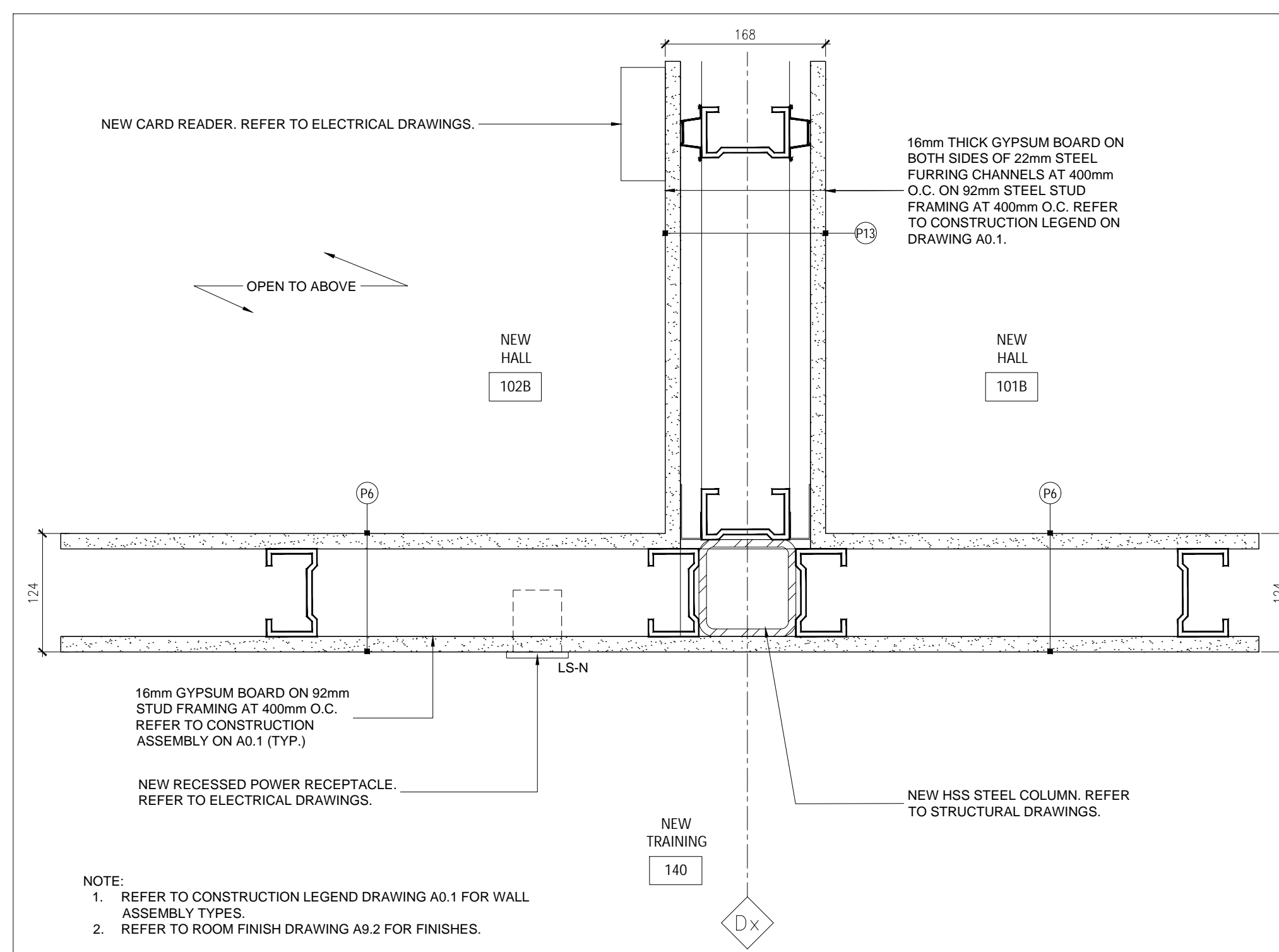
A5.2



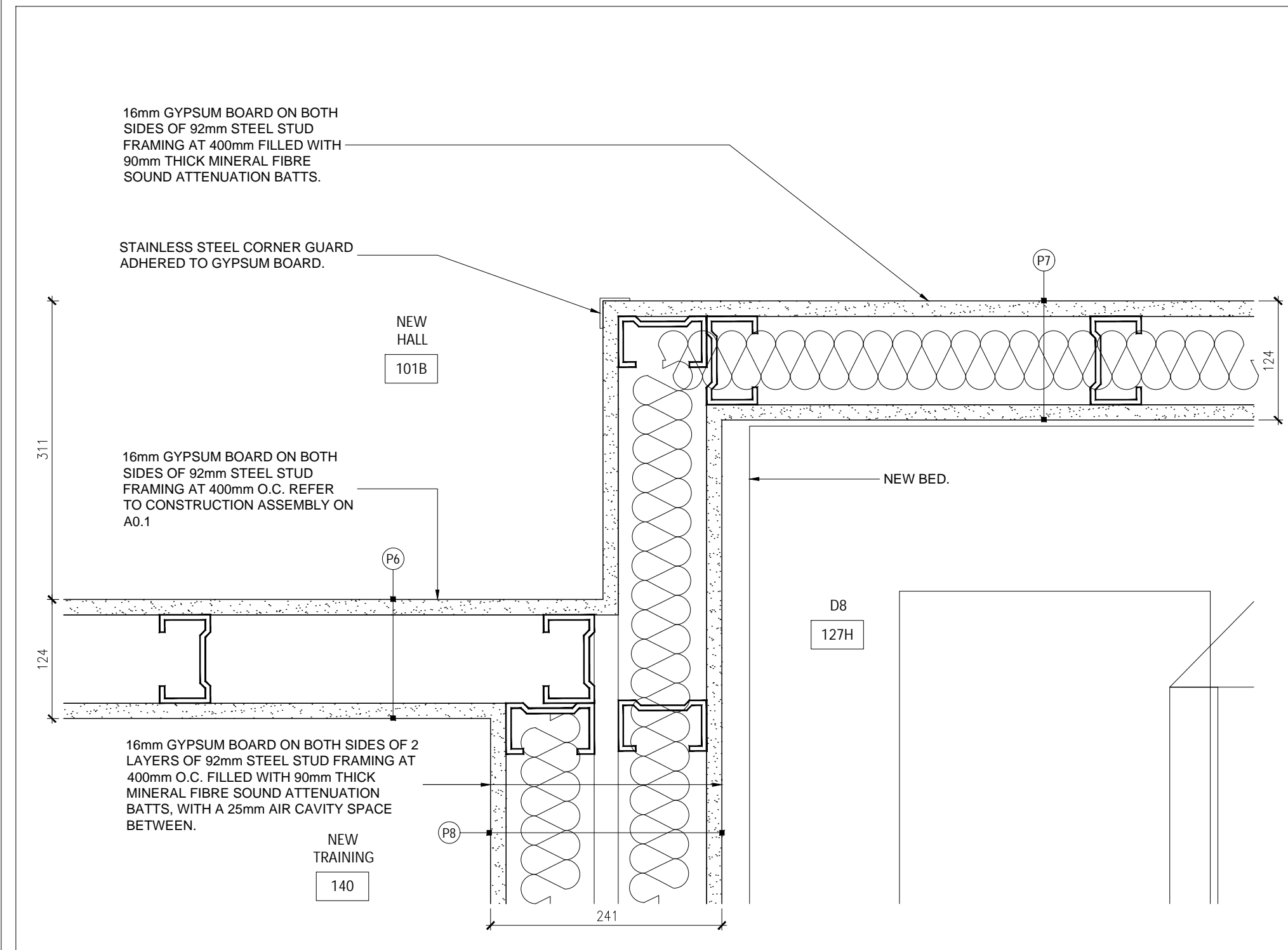
3 PLAN DETAIL AT EXISTING CONCRETE COLUMN - GRIDLINE Cx AND 4y
A5.3 1:5



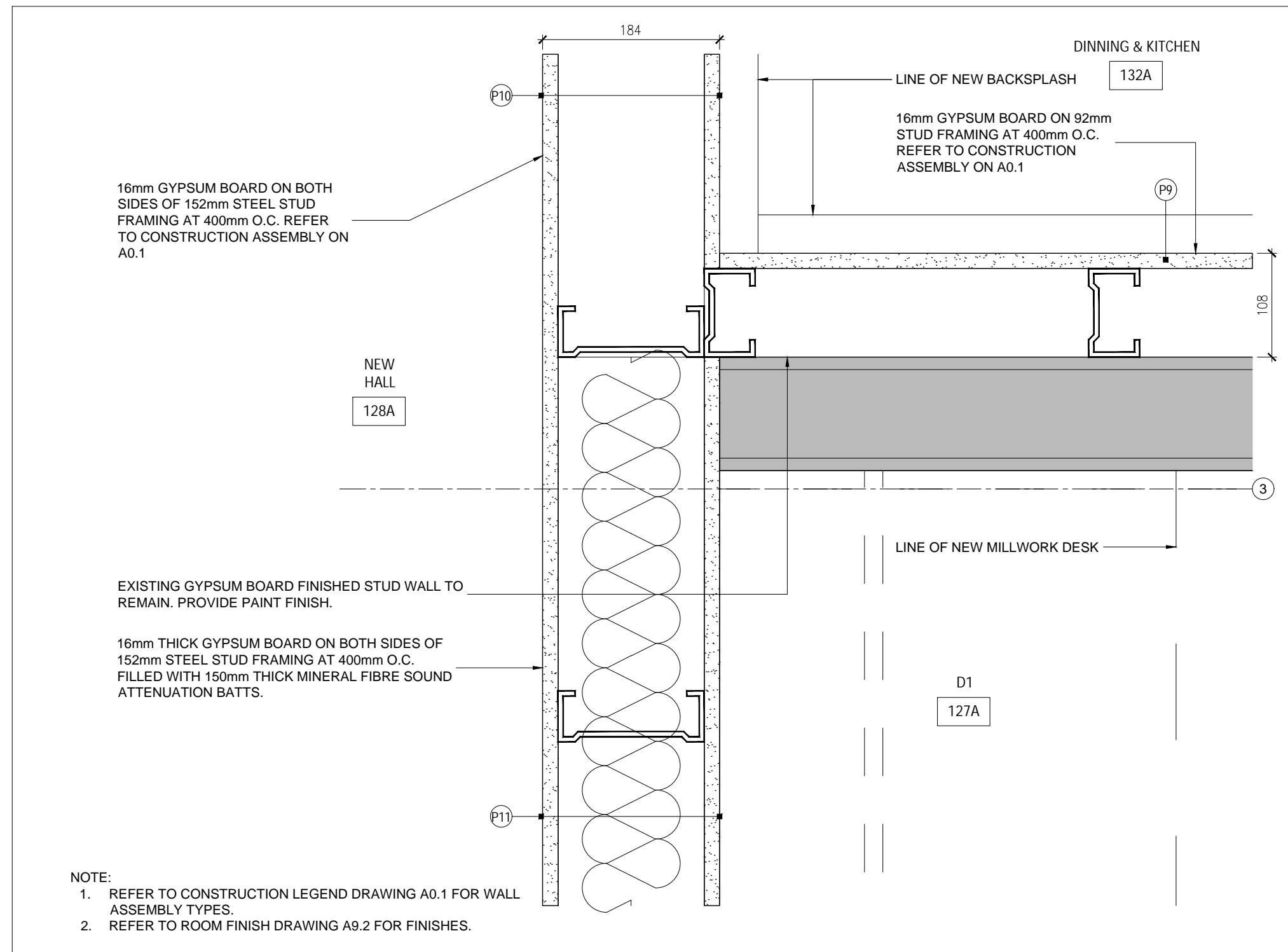
2 PLAN DETAIL AT EXISTING CONCRETE COLUMN - GRIDLINE Cx AND 3y
A5.3 1:5



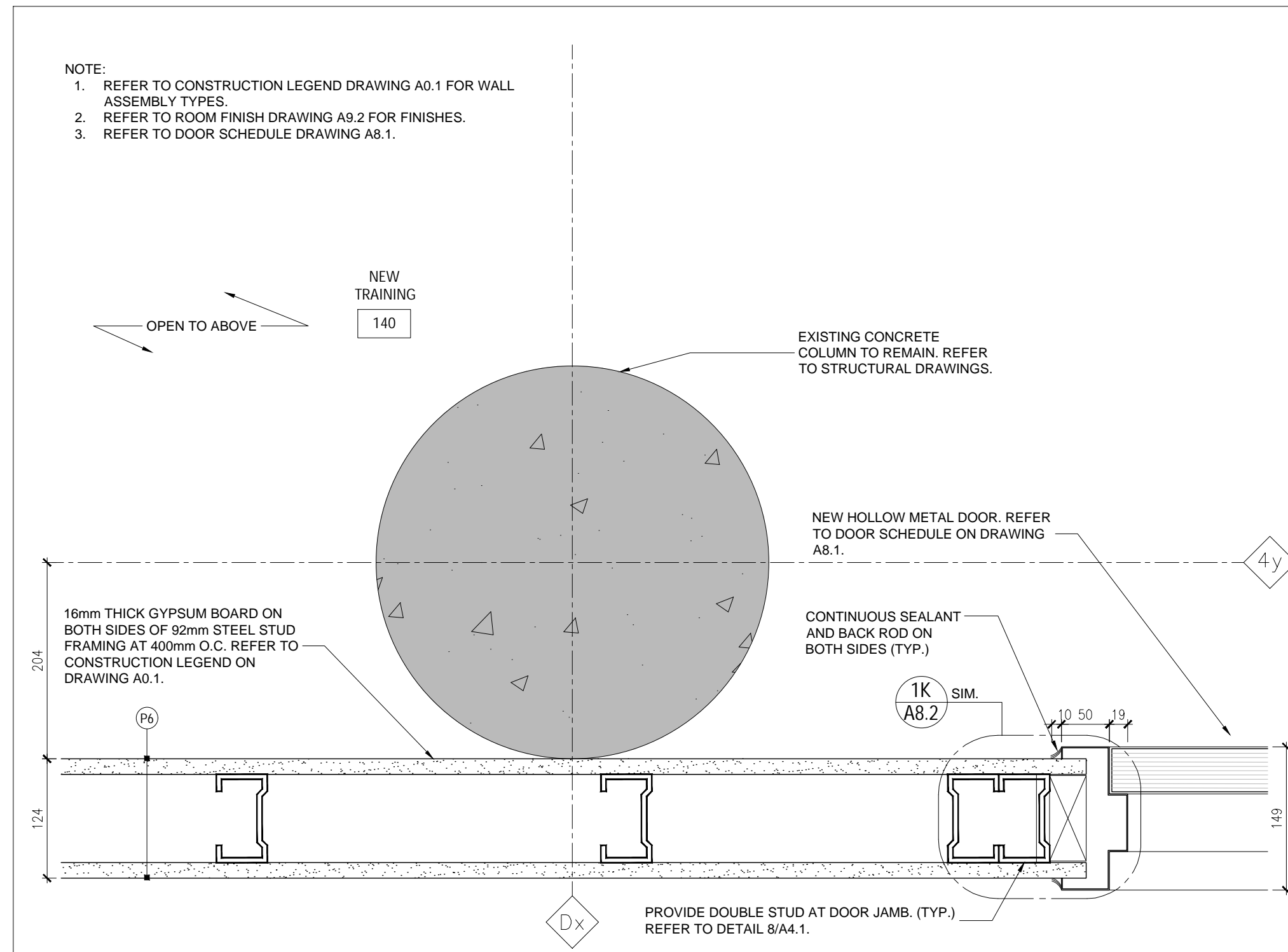
1 PLAN DETAIL AT NEW HSS COLUMN - GRIDLINE Dx
A5.3 1:5



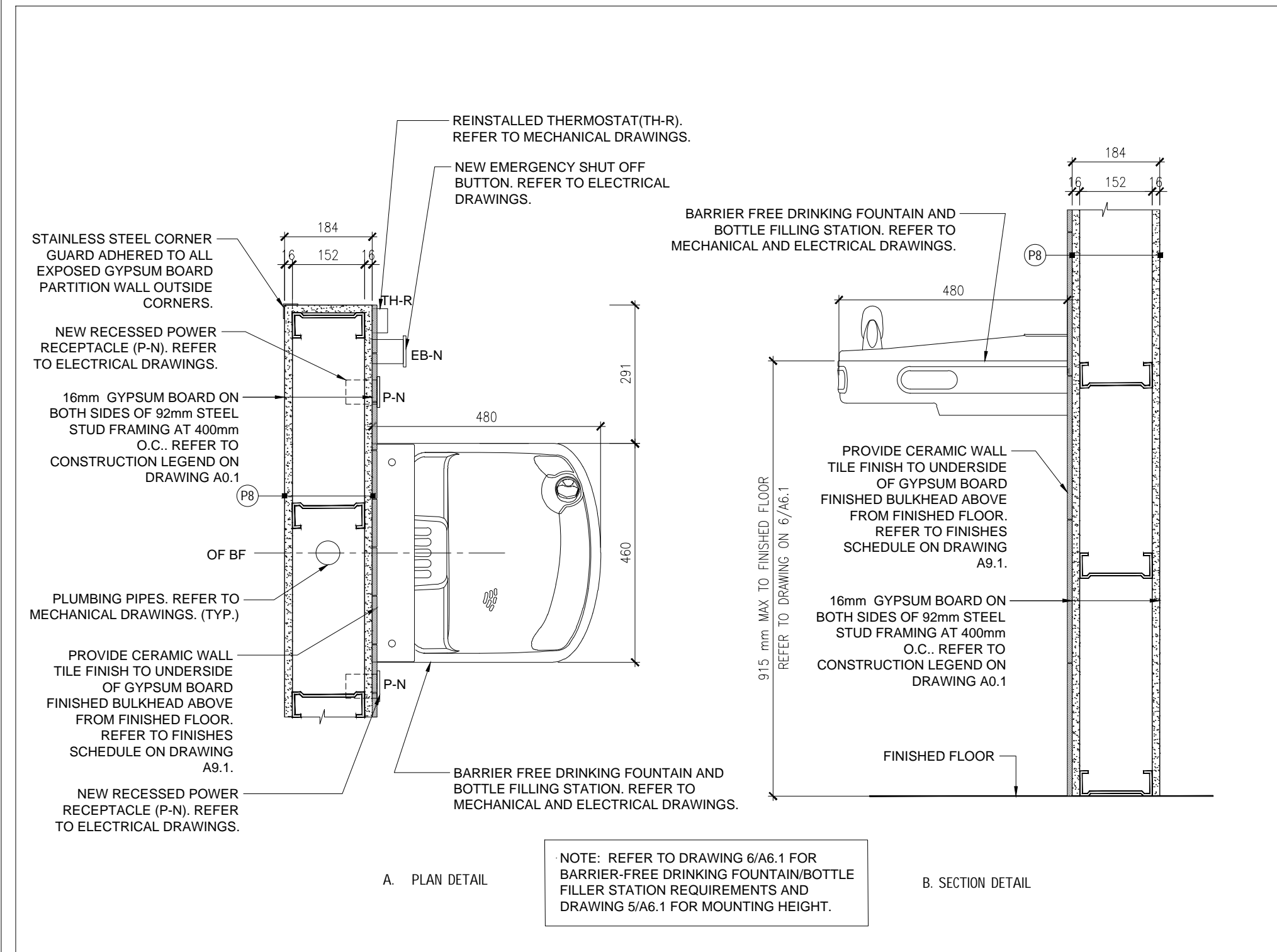
6 PLAN DETAIL AT DORM ROOM D8 (127H)
A5.3 1:5



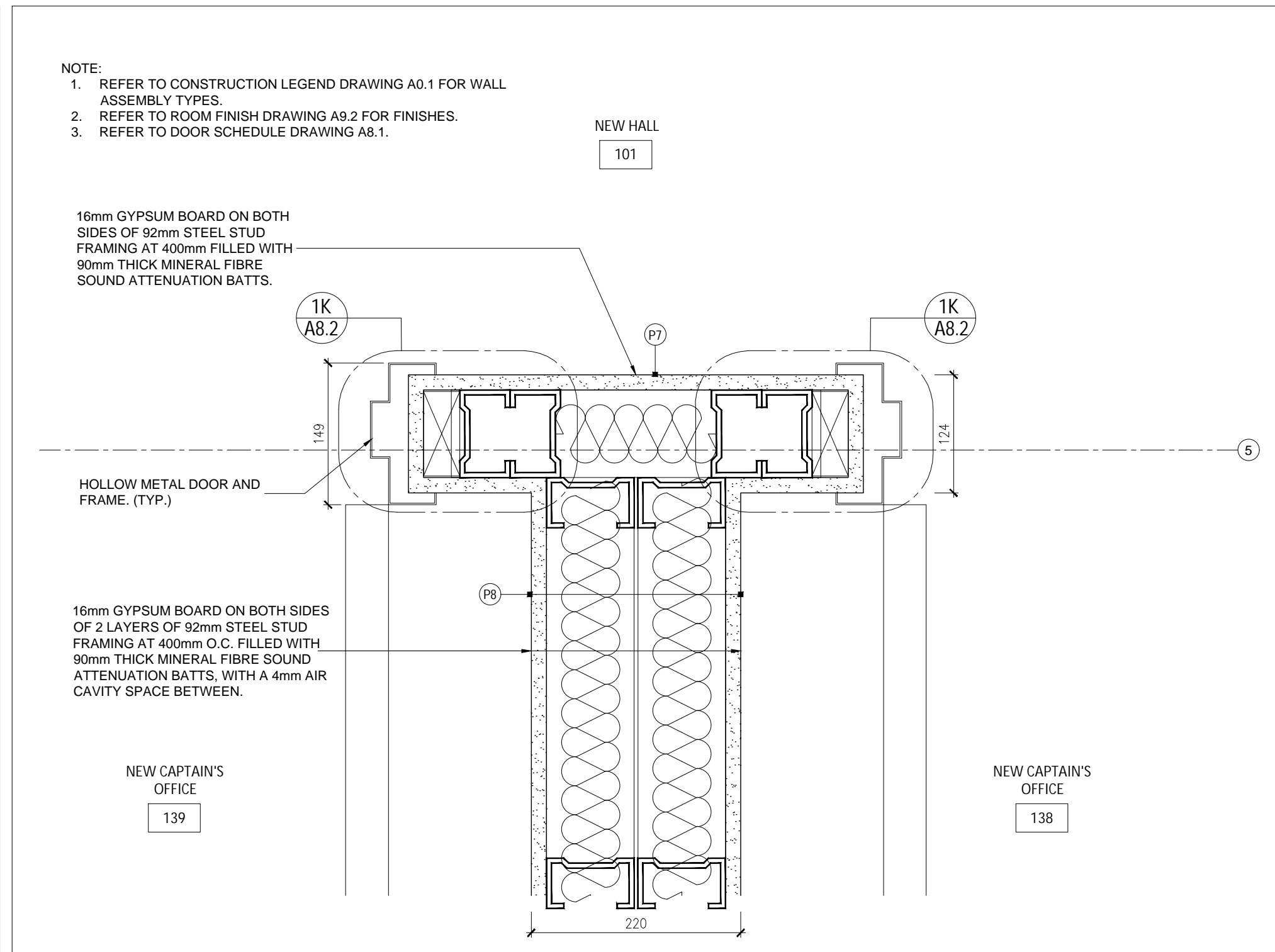
5 PLAN DETAIL AT DORM ROOM D1 (127A) - GRIDLINE 3
A5.3 1:5



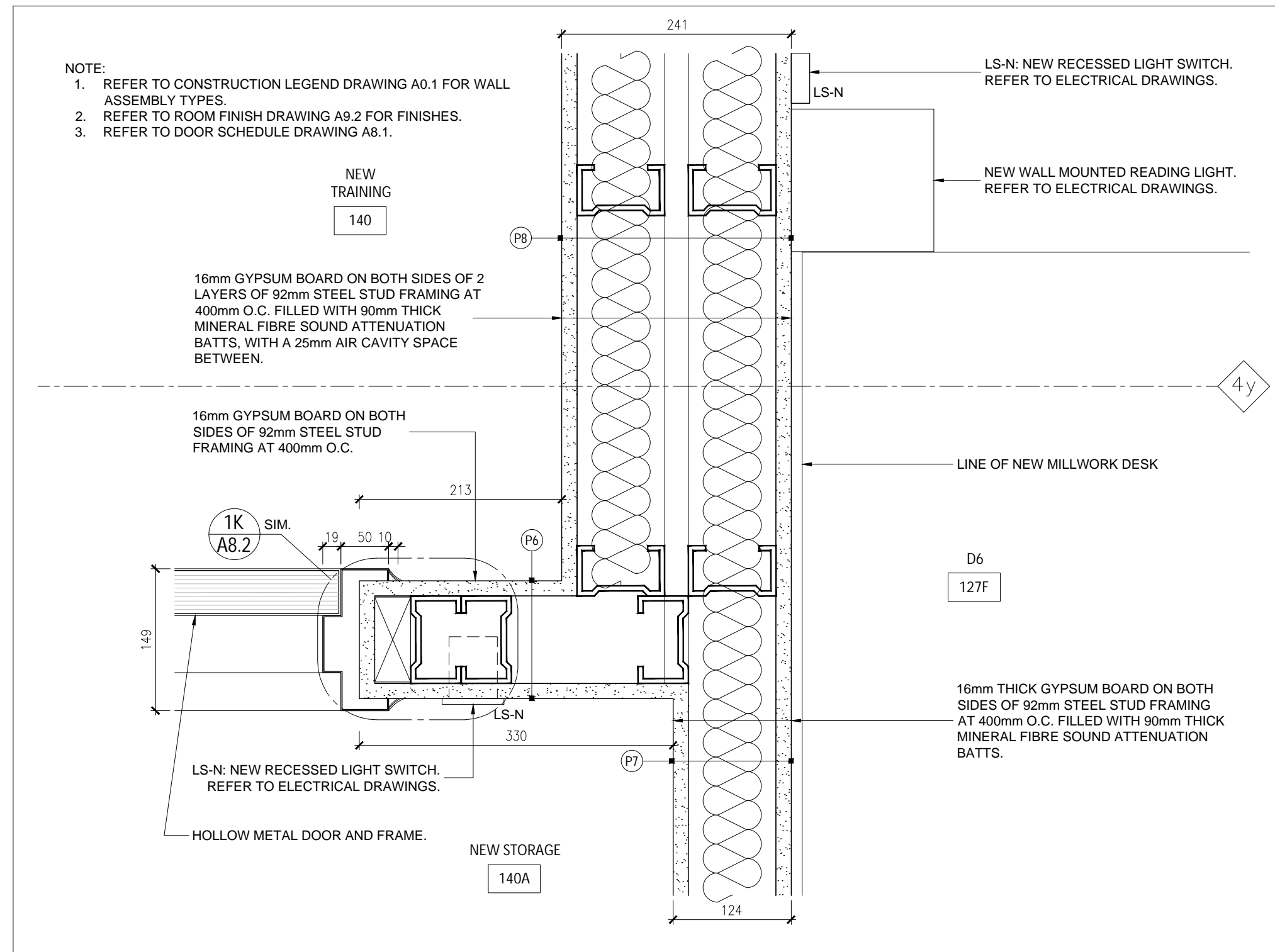
4 PLAN DETAIL AT EXISTING CONCRETE COLUMN - GRIDLINE Dx AND 4y
A5.3 1:5



9 PLAN AND SECTION DETAIL AT BARRIER-FREE DRINKING FOUNTAIN
A5.3 1:10



8 PLAN DETAIL AT CAPTAINS OFFICE 138 AND 139 - GRIDLINE 5
A5.3 1:5



7 PLAN DETAIL AT DORM ROOM D6 (127F)
A5.3 1:5

NOTE: THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL SITE DIMENSIONS AND SITE MEASUREMENTS THAT ARE NOT CONSISTENT WITH THE DRAWINGS.

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PROJECT
RENOVATION TO CLARINGTON FIRE & EMERGENCY SERVICES STATION 1
The Corporation of the Municipality of Clarington

2430 Durham Regional Hwy 2, Bowmanville, ON L1C 6C8

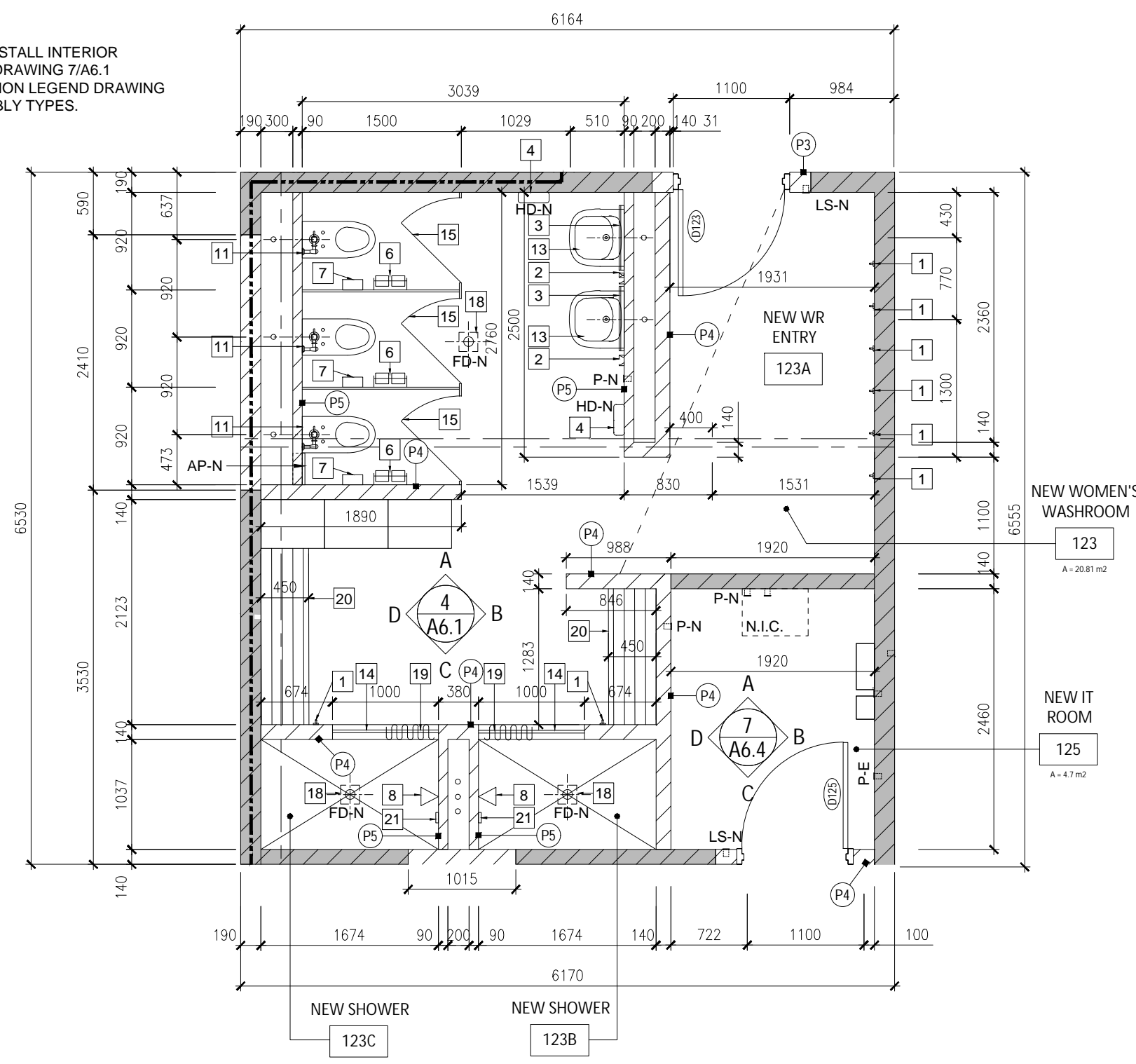
drawing
drawing scale
AS NOTED
ward99 project number
24008 - DURHAM FIRE STATION

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drawing no.

Wa RD 99
A5.3

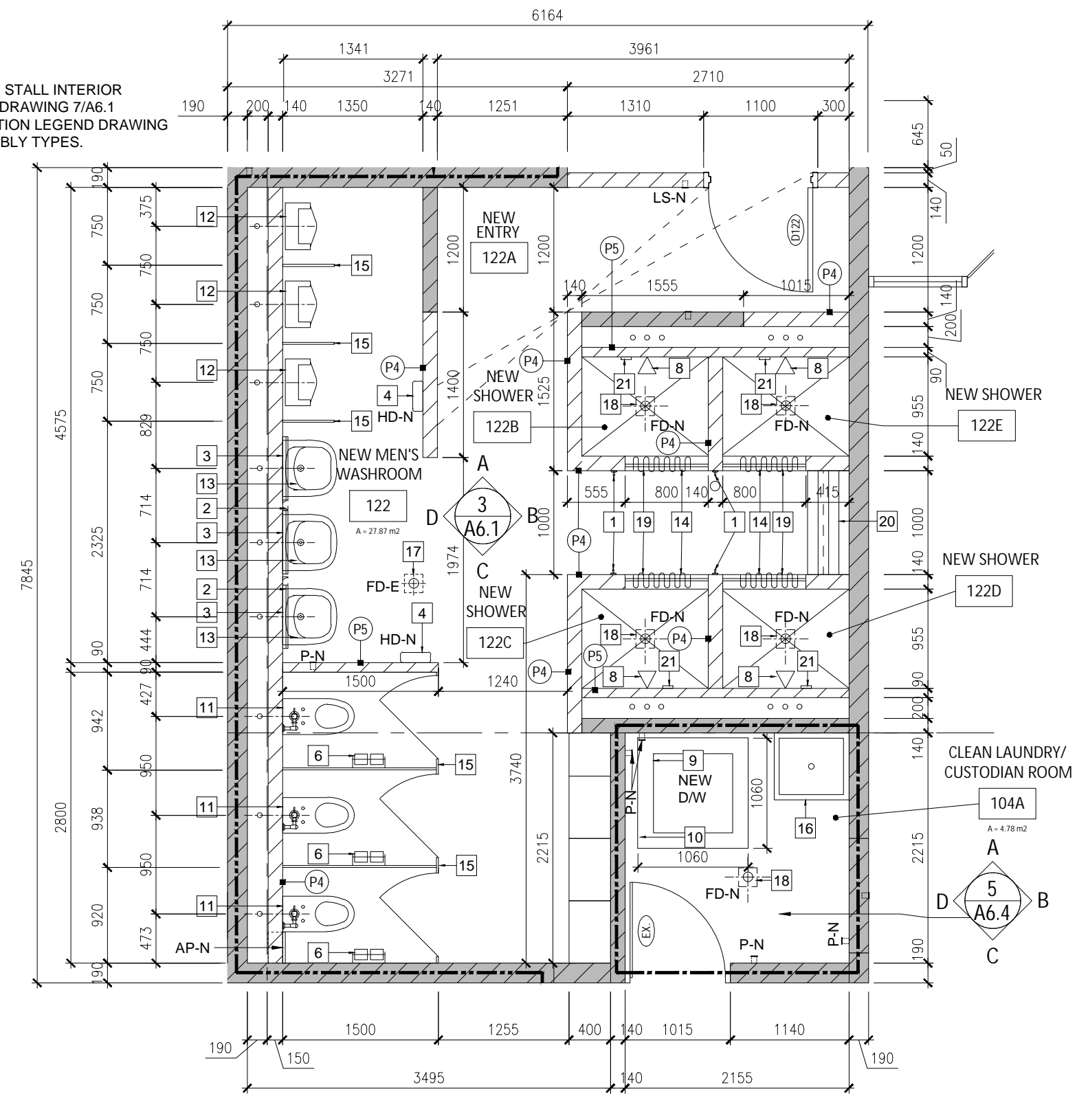
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- NOTE:
1. FOR TYPICAL SHOWER STALL INTERIOR ELEVATION REFER TO DRAWING 7/A6.1
2. REFER TO CONSTRUCTION LEGEND DRAWING A0.1 FOR WALL ASSEMBLY TYPES



2 WOMEN'S WASHROOM PLAN DETAIL
A6.1 1:50

- NOTE:
1. FOR TYPICAL SHOWER STALL INTERIOR ELEVATION REFER TO DRAWING 7/A6.1
2. REFER TO CONSTRUCTION LEGEND DRAWING A0.1 FOR WALL ASSEMBLY TYPES



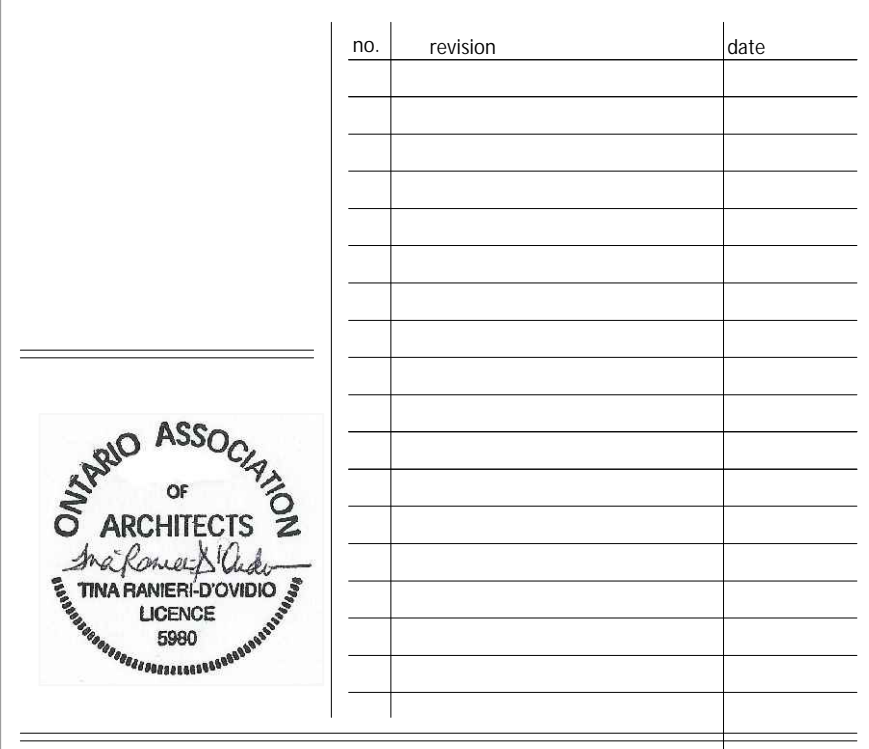
1 MEN'S WASHROOM PLAN DETAIL
A6.1 1:50

- ### WASHROOM ACCESSORY LEGEND
- 1 SURFACE-MOUNTED UTILITY HOOK - INSTALL AT HEIGHT OF 1200mm MEASURED FROM TOP OF HOOK TO TOP OF FINISHED FLOOR.
 - 2 WALL MOUNTED AUTOMATIC SANITARY/SOAP DISPENSER. MOUNTED AT 1100mm ABOVE FINISHED FLOOR TO U/S OF SOAP DISPENSER. SUPPLIED BY OWNER, INSTALLED BY GENERAL CONTRACTOR.
 - 3 MIRROR (610mm W x 910mm H) - INSTALL AT 1000mm FROM UNDERSIDE OF MIRROR TO TOP OF FINISHED FLOOR.
 - 4 SURFACE-MOUNTED AUTOMATIC HAND DRYER - INSTALL AT 950mm MIN. TO 1200mm MAX. ABOVE FINISHED FLOOR TO THE OPERATING CONTROLS OF HAND DRYER.
 - 6 SURFACE-MOUNTED DOUBLE-ROLL TISSUE DISPENSER. TISSUE DISPENSER TO BE IN LINE WITH FRONT EDGE OR MAXIMUM 300mm FROM FRONT EDGE OF WATER CLOSET SEAT; WITH BOTTOM EDGE AT 600mm ABOVE FINISHED FLOOR.
 - 7 SURFACE MOUNTED SANITARY NAPKIN DISPOSAL. INSTALL 610mm ABOVE FINISHED FLOOR TO TOP OF BIN.
 - 8 SHOWER HEAD TO BE ADJUSTABLE BETWEEN 765mm MIN. AND 1500mm MAX. ABOVE FINISHED FLOOR. REFER TO MECHANICAL DRAWINGS.
 - 9 STACKED WASHER/DRYER SUPPLIED AND INSTALLED BY OWNER. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR CONNECTIONS.
 - 10 PROVIDE A 100mm HIGH CONCRETE SLAB BASE AT 1060mm X 1060mm IN SIZE TO SUPPORT THE NEW WASHER/DRYER MACHINE.
 - 11 WALL MOUNTED WATER CLOSET WITH AUTOMATIC FLUSH METER - INSTALL AT REGULAR HEIGHT AS INDICATED ON MECHANICAL. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS.
 - 12 URINAL WITH AUTOMATIC FLUSH METER. INSTALL AT REGULAR HEIGHT AT AS INDICATED ON MECHANICAL. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.
 - 13 WALL MOUNTED LAVATORY WITH BATTERY OPERATED SENSOR FAUCET. INSTALL AT A HEIGHT OF 915mm ABOVE FINISHED FLOOR. REFER TO MECHANICAL DRAWINGS.
 - 14 NEW 100mm HIGH SHOWER CURB. REFER TO TYPICAL SHOWER CURB DETAIL 8/A6.1.
 - 15 FLOOR MOUNTED OVERHEAD BRACED WASHROOM PARTITION AND SCREENS. URINAL PARTITION IS TO BE WALL BRACED.
 - 16 FLOOR MOUNTED MOP SINK. REFER TO MECHANICAL DRAWINGS.
 - 17 FD-E = EXISTING FLOOR DRAIN TO REMAIN. REMOVE AND DISPOSE OF EXISTING COVER PLATE AND REPLACE WITH NEW. REFER TO MECHANICAL DRAWINGS.
 - 18 FD-N = NEW FLOOR DRAIN. REFER TO MECHANICAL DRAWINGS.
 - 19 STAINLESS STEEL HEAVY DUTY SHOWER CURTAIN ROD AND MATTE WHITE VINYL SHOWER CURTAIN.
 - 20 WOOD BENCH. REFER TO DETAIL 8/A7.4.
 - 21 SHOWER HEAD CONTROLS. INSTALLED AT A HEIGHT OF 1000mm ABOVE FINISHED FLOOR. REFER TO MECHANICAL DRAWINGS.

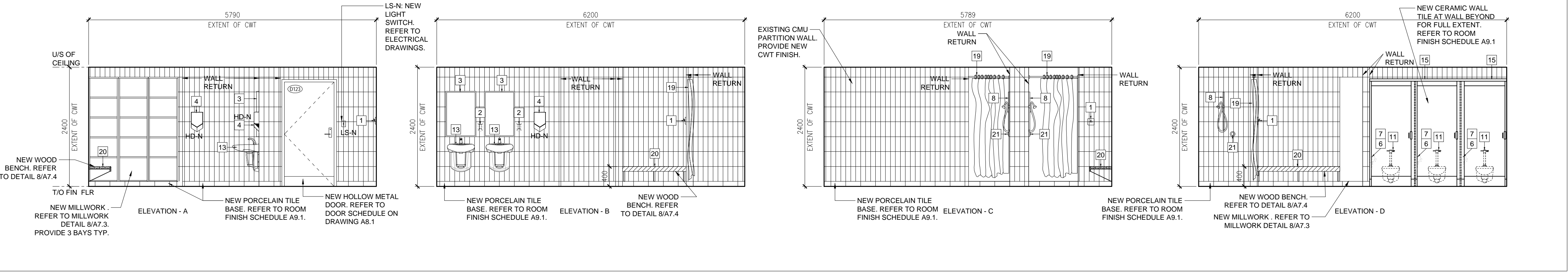
- ### GENERAL WASHROOM NOTES
1. REFER TO DRAWING A0.1 FOR GENERAL ROOM TAG AND LEGENDS.
 2. REFER TO 5/A6.1 FOR WASHROOM ACCESSORY HEIGHTS.
 3. AP-N = NEW ACCESS PANEL FOR CLEANOUT. REFER TO MECHANICAL DRAWINGS.
 4. PROVIDE PREFABRICATED ANODIZED ALUMINUM MOVEMENT JOINTS AS PER MANUFACTURERS RECOMMENDATIONS.
 5. PROVIDE CONTINUOUS TRIM. SATIN ANODIZED ALUMINUM PROFILE CORNER WALL STRIPS AT ALL INSIDE AND OUTSIDE CORNER LOCATIONS FOR FULL HEIGHT OF WALL (FLOOR TO CEILING).
 6. PROVIDE CONTINUOUS ANTI-CRACK BARRIER MEMBRANE SYSTEM.
 7. REFER TO DRAWING 6/A6.1 FOR BARRIER-FREE DRINKING FOUNTAIN/BOTTLE FILLER STATION REQUIREMENTS.

NOTE: THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL SITE CONDITIONS AND SITE MEASUREMENTS THAT ARE NOT CONSISTENT WITH THE DRAWINGS.

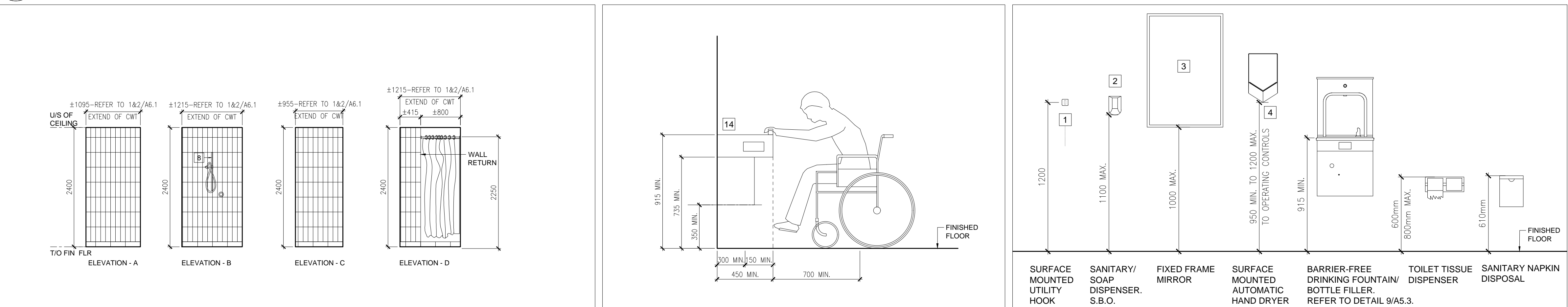
no.	revision	date



3 INTERIOR ELEVATION AT NEW MEN'S WASHROOM 122
A6.1 1:50



4 INTERIOR ELEVATION AT NEW WOMEN'S WASHROOM 123
A6.1 1:50



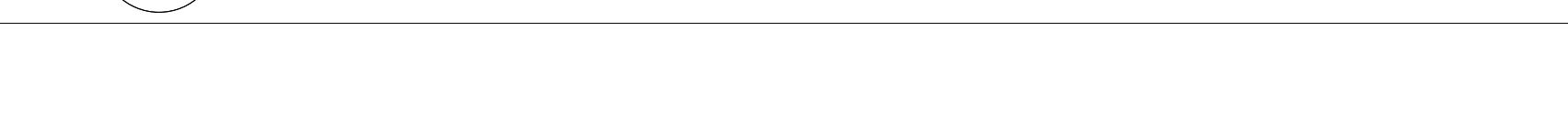
7 TYPICAL SHOWER STALL
A6.1 1:50



6 BARRIER-FREE BOTTLE FILLER REQUIREMENTS
A6.1 1:20



5 WASHROOM ACCESSORY LEGEND
A6.1 1:20



8 TYPICAL SHOWER CURB DETAIL
A6.1 1:5



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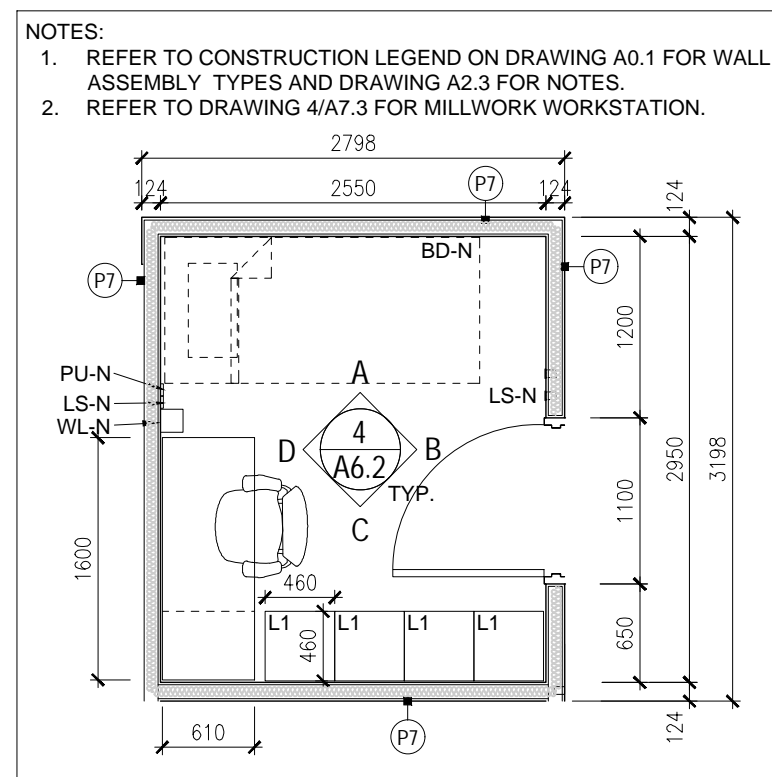
project
RENOVATION TO CLAIRINGTON FIRE & EMERGENCY SERVICES STATION 1
The Corporation of the Municipality of Clairington
2430 Durham Regional Hwy 2, Bowmanville, ON L1C 6C8

drawing
WASHROOM FLOOR PLAN DETAILS, INTERIOR ELEVATIONS,
DETAILS, NOTES AND LEGEND.
drawing scale

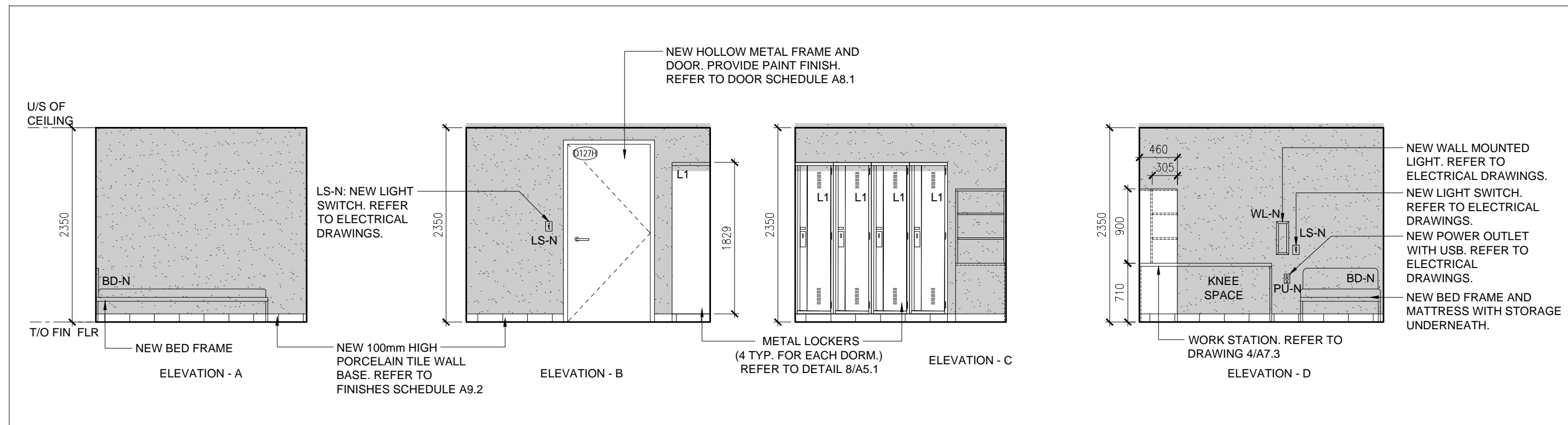
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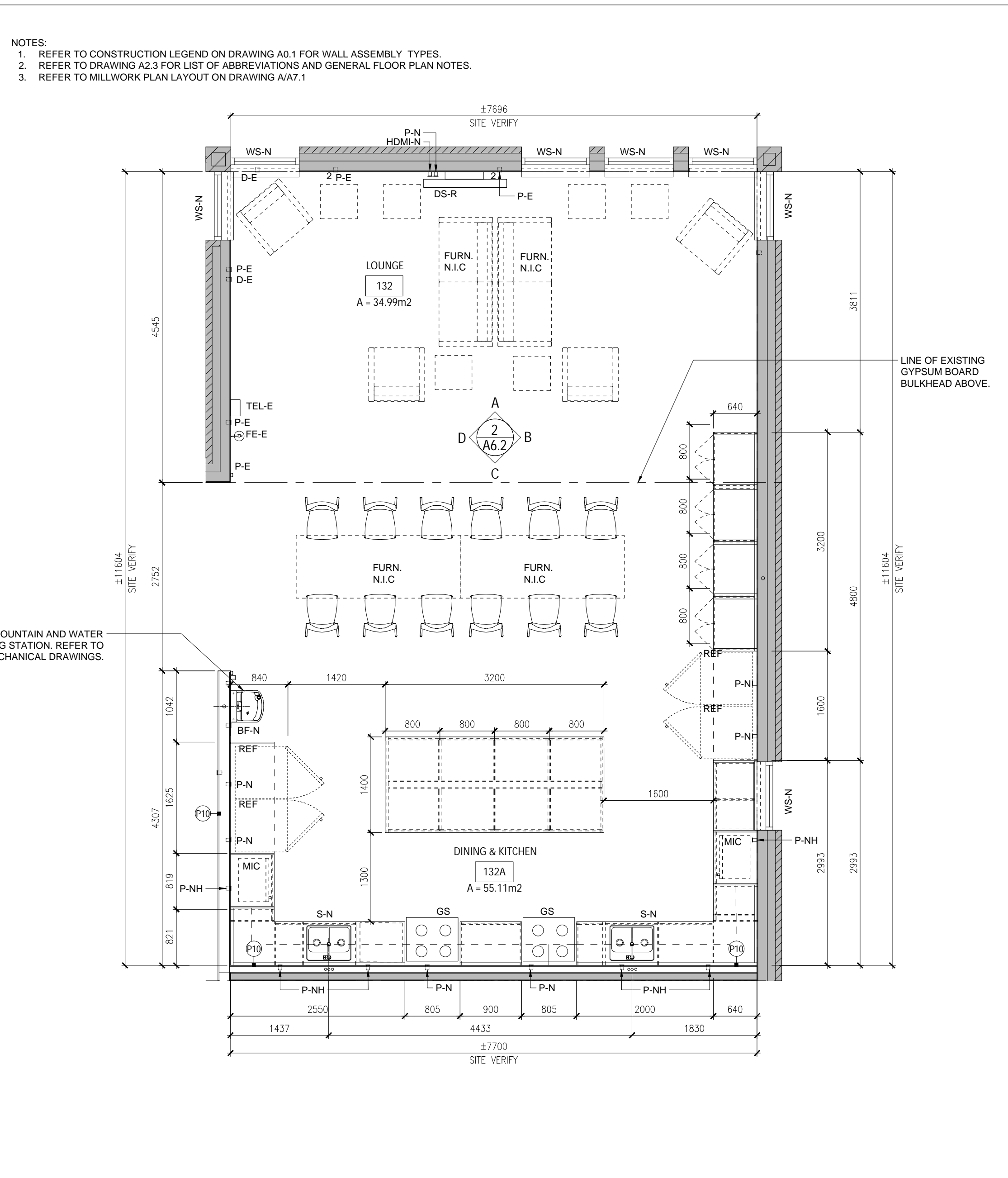
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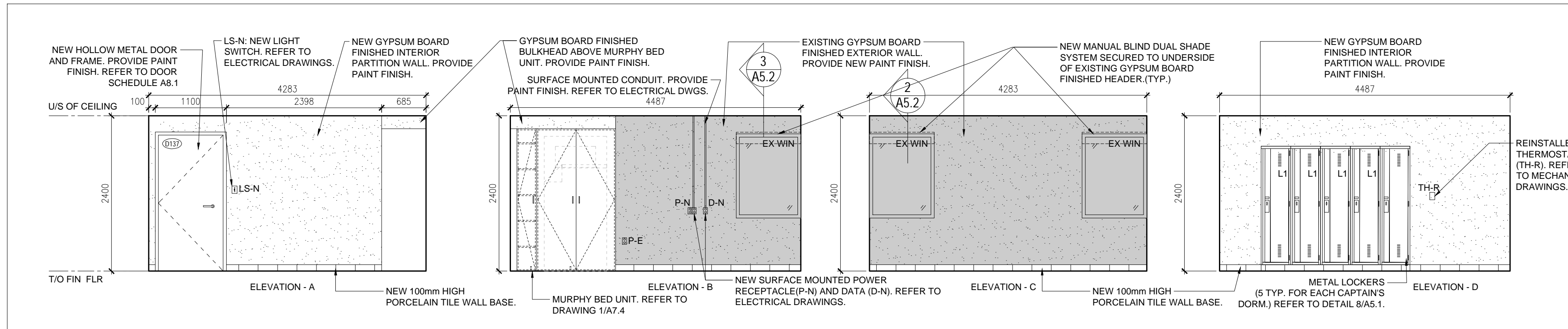
4 DORM PLAN DETAIL
A6.2 1:50



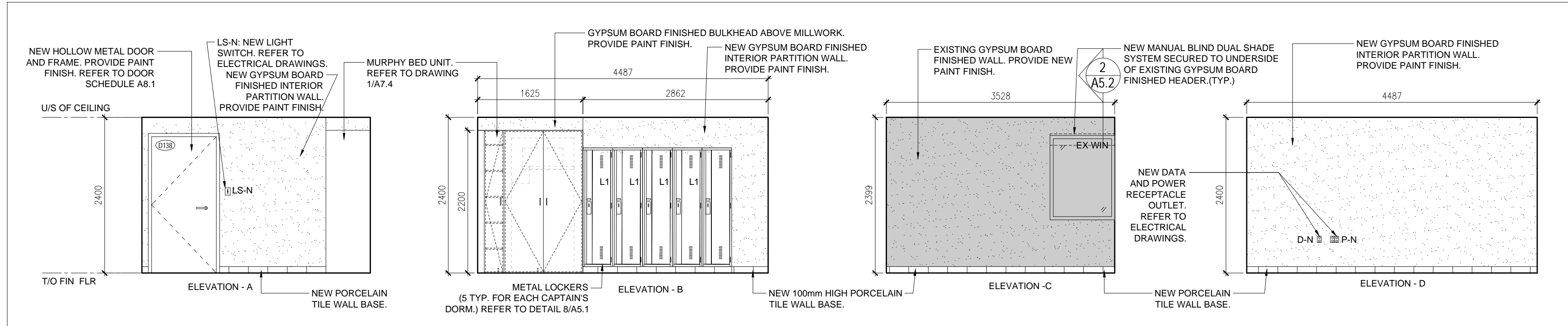
3 INTERIOR ELEVATION AT DORM TYP.
A6.2 1:50



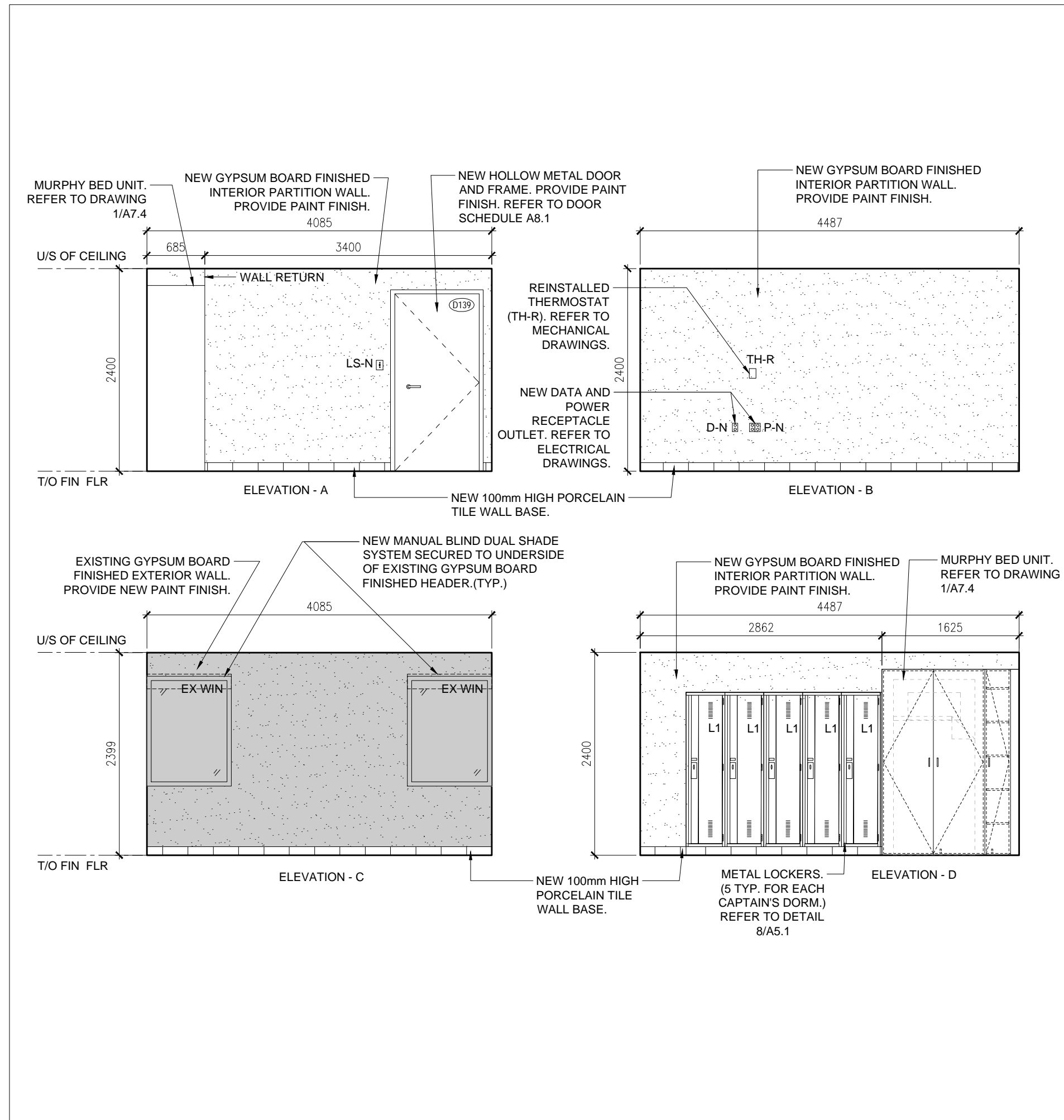
1 NEW KITCHEN AND LOUNGE PLAN DETAIL
A6.2 1:50



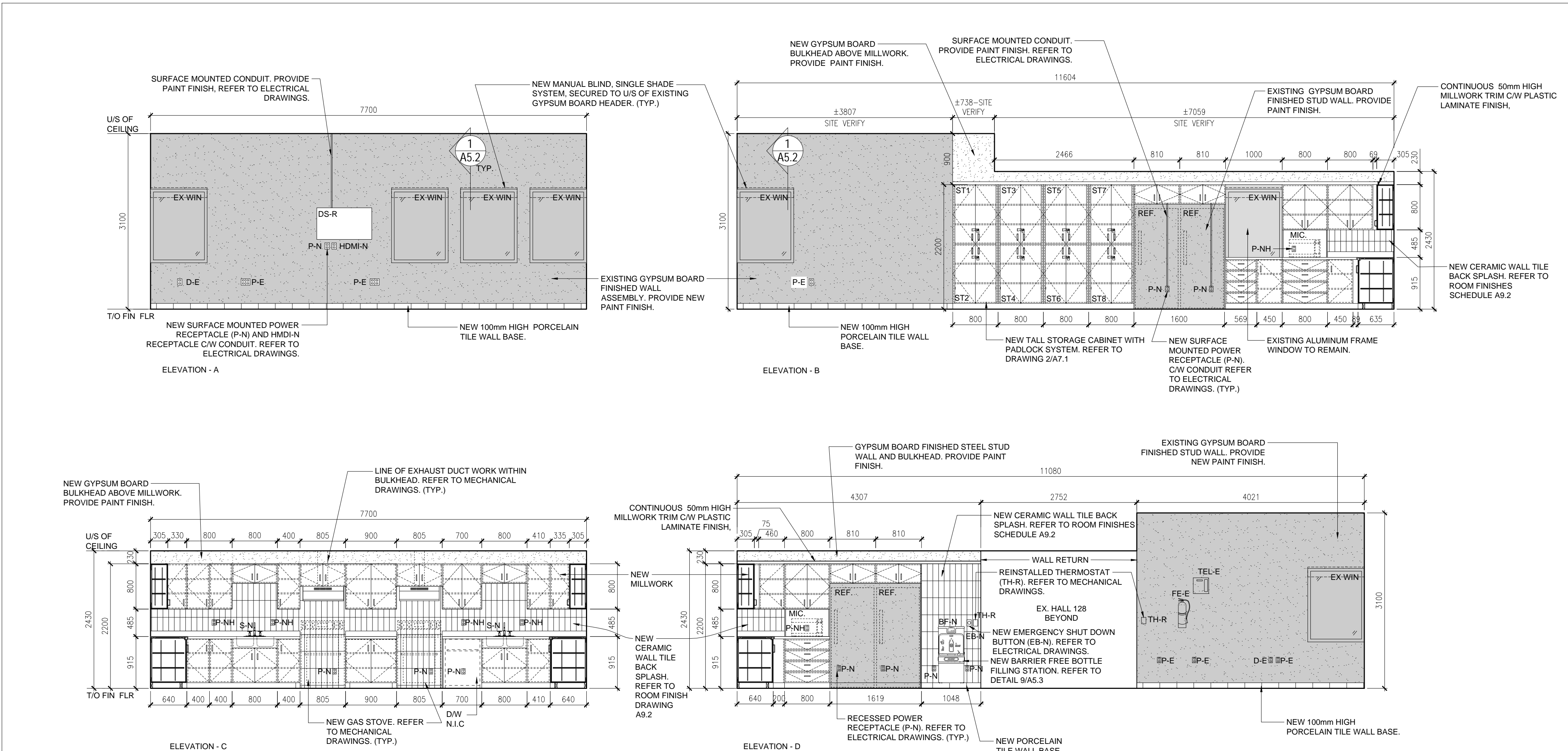
5 INTERIOR ELEVATION AT PLATOON CHIEF'S OFFICE 137
A6.2 1:50



6 INTERIOR ELEVATION AT CAPTAIN'S OFFICE 138
A6.2 1:50



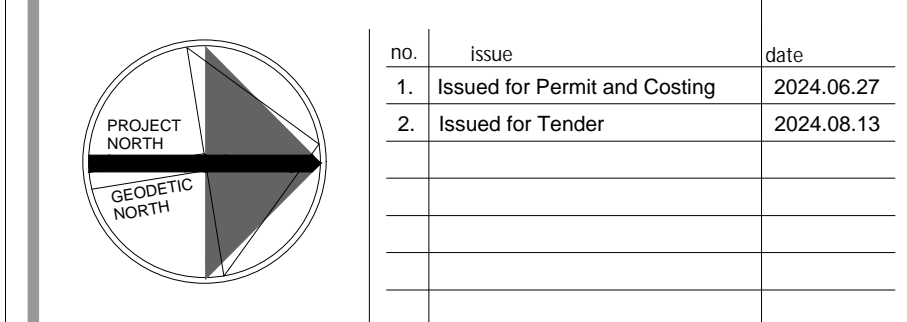
7 INTERIOR ELEVATION AT CAPTAIN'S OFFICE 139
A6.2 1:50



2 INTERIOR ELEVATION AT NEW KITCHEN AND LOUNGE
A6.2 1:50

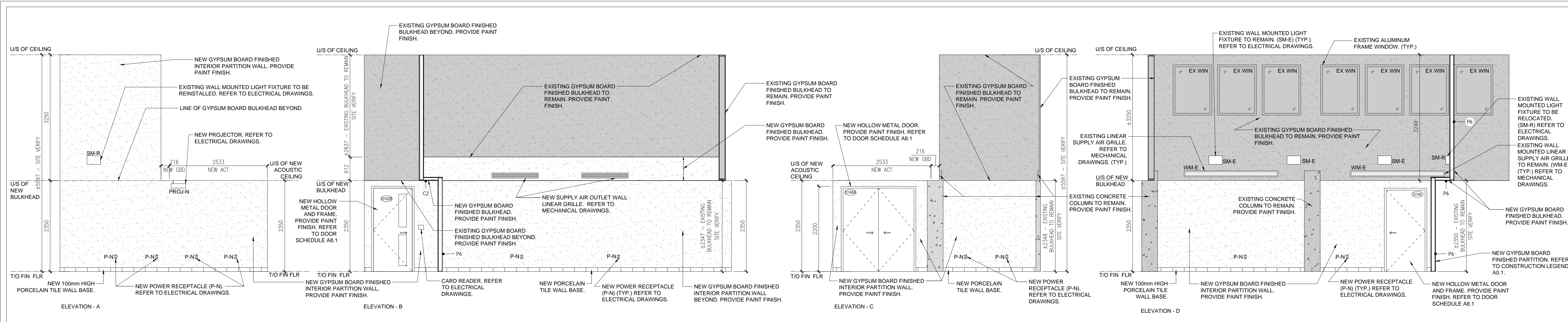
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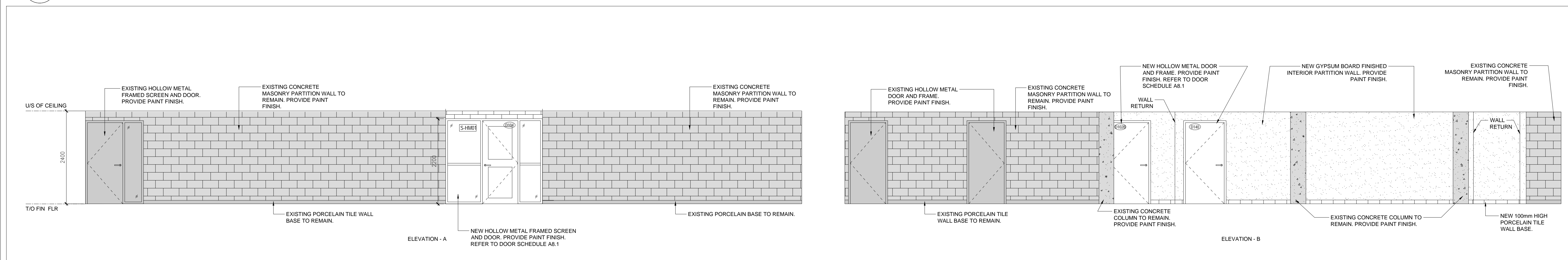


PROJECT
RENOVATION TO CLARINGTON FIRE & EMERGENCY SERVICES STATION 1
The Corporation of the Municipality of Clarington
2430 Durham Regional Hwy 2, Bowmanville, ON L1C 6C8
drawing
PLAN DETAILS AND INTERIOR ELEVATIONS
drawing scale
AS NOTED
ward99 project number
24008 - DURHAM FIRE STATION

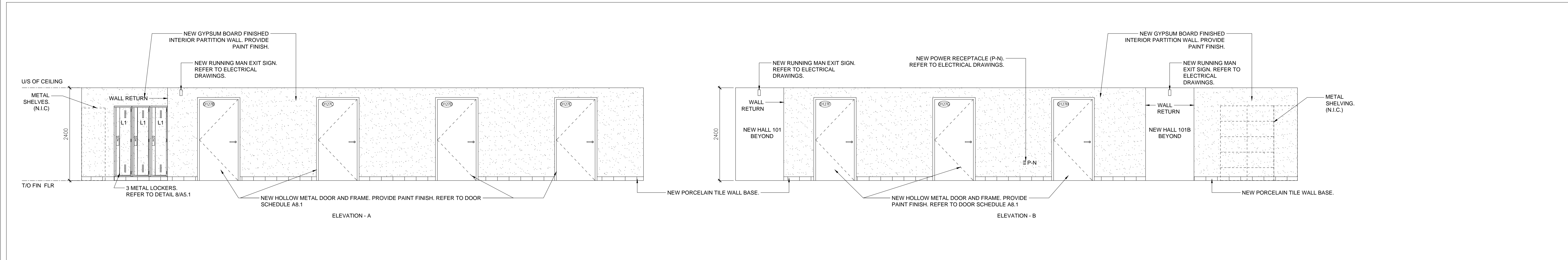
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drawing no.
Wa RD
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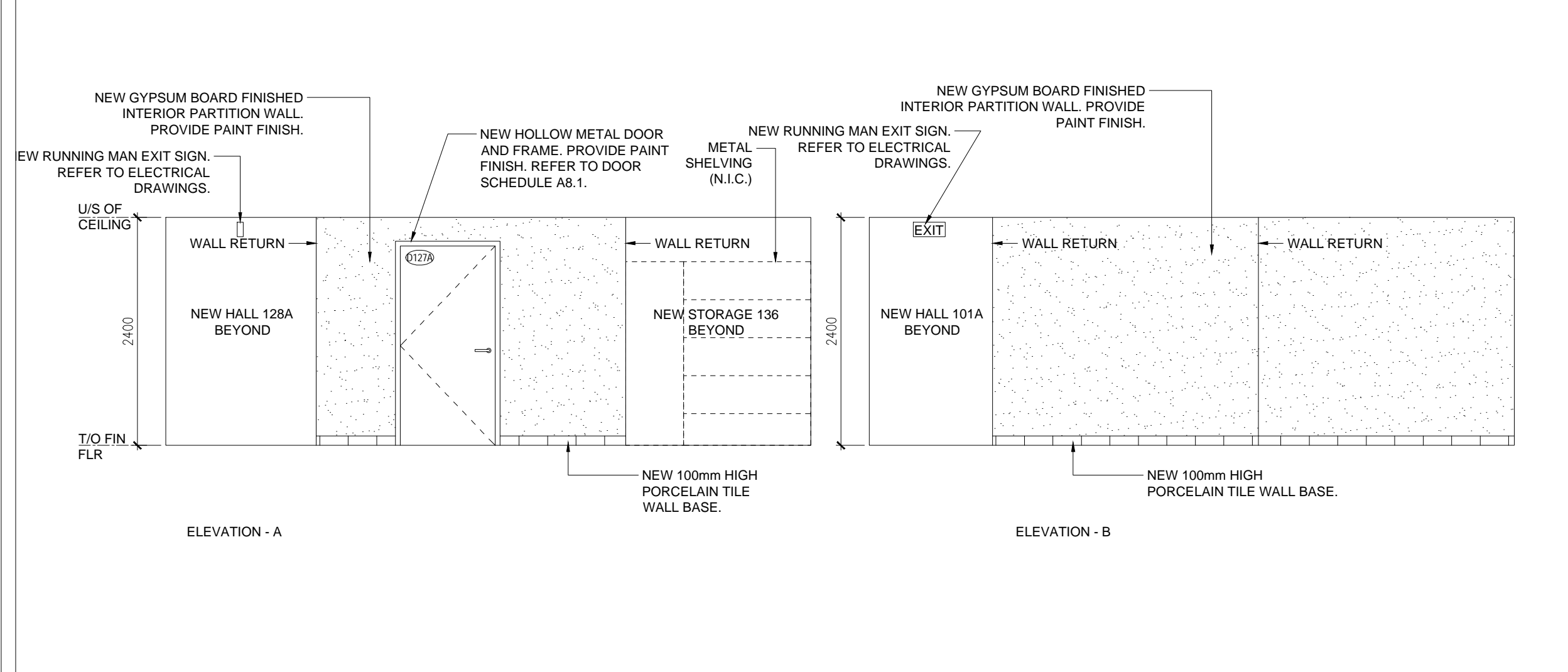
1 INTERIOR ELEVATION AT NEW TRAINING ROOM 140
A6.3 1:50



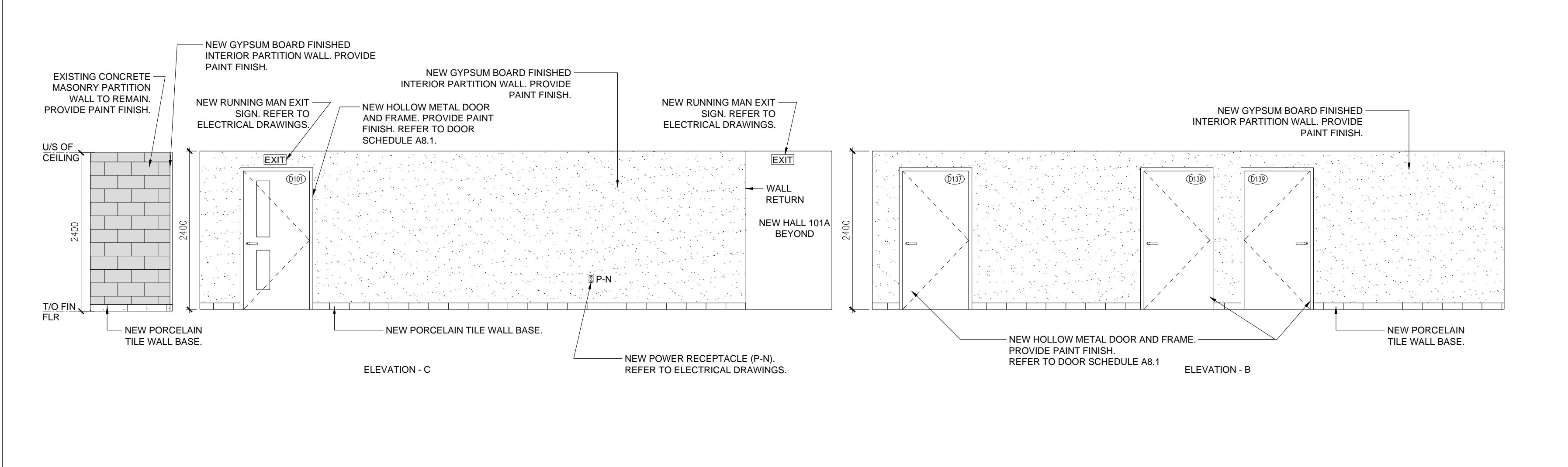
2 INTERIOR ELEVATION AT EX HALL 102
A6.3 1:50



3 INTERIOR ELEVATION AT NEW HALL 101A
A6.3 1:50



5 INTERIOR ELEVATION AT NEW HALL 101B
A6.3 1:50



4 INTERIOR ELEVATION AT NEW HALL 101
A6.3 1:50

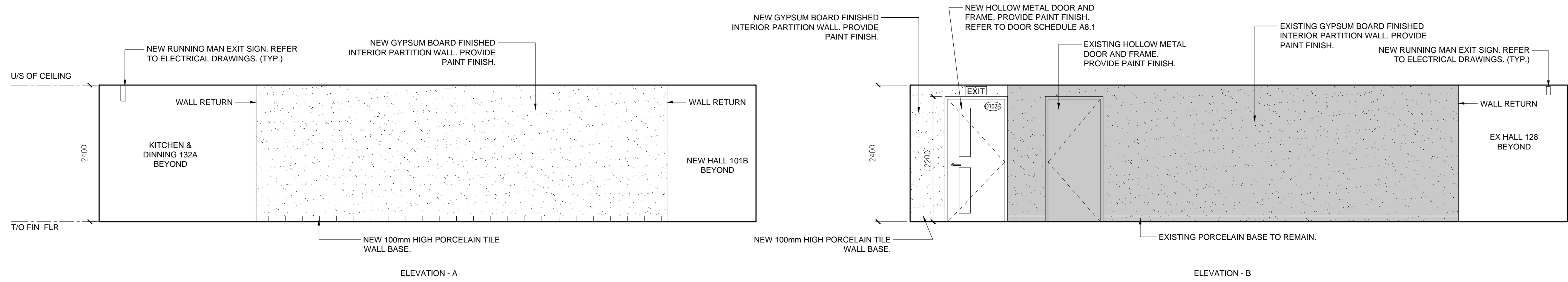
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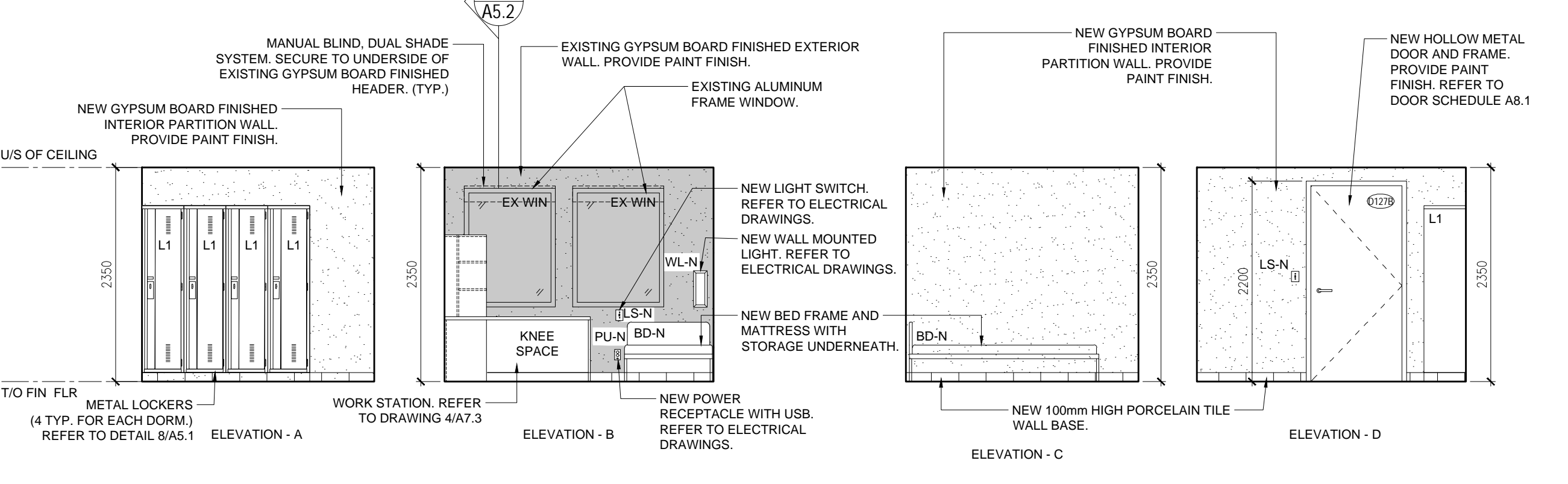
project
RENOVATION TO CLARINGTON FIRE & EMERGENCY SERVICES STATION 1
The Corporation of the Municipality of Clarington
2430 Durham Regional Hwy 2, Bowmanville, ON L1C 6C8
drawing
INTERIOR ELEVATIONS
drawing scale
AS NOTED
ward99 project number
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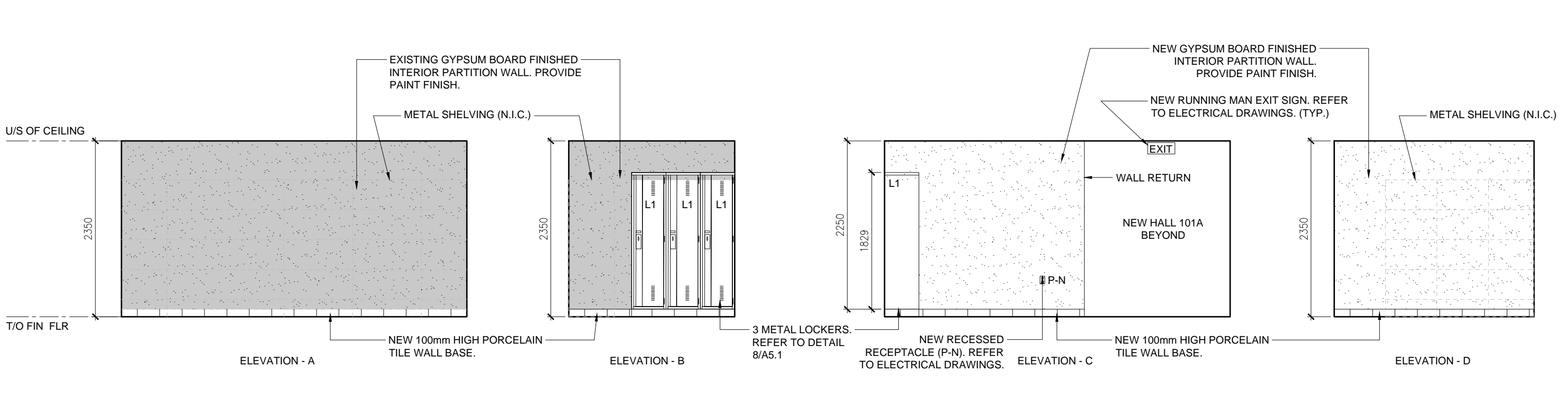
1 INTERIOR ELEVATION AT NEW HALL 128A

A6.4 1:50



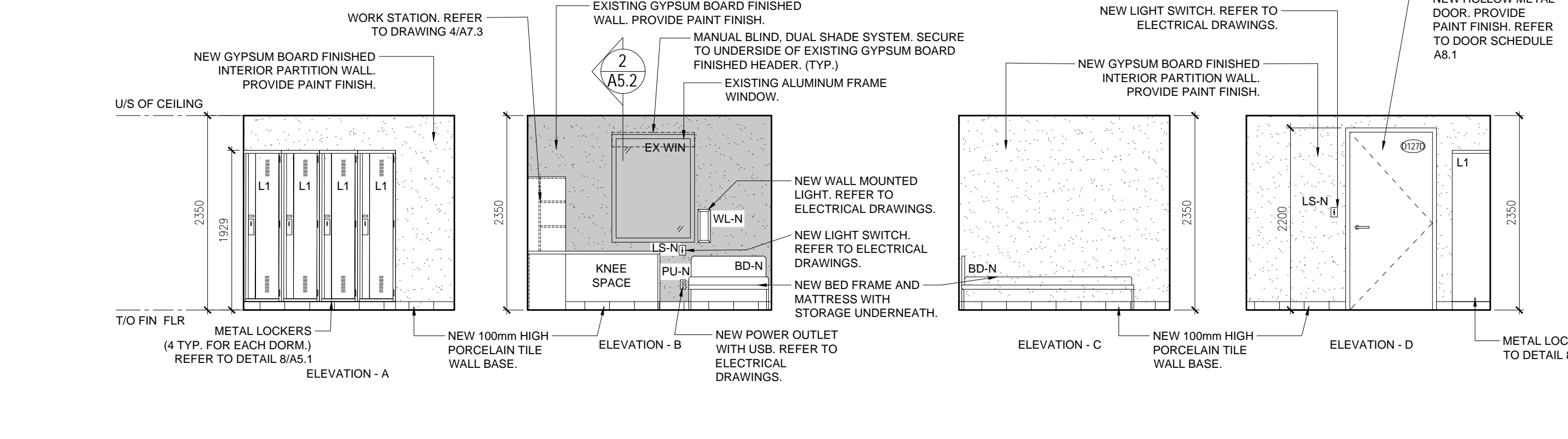
3 INTERIOR ELEVATION AT D4 127B

A6.4 1:50



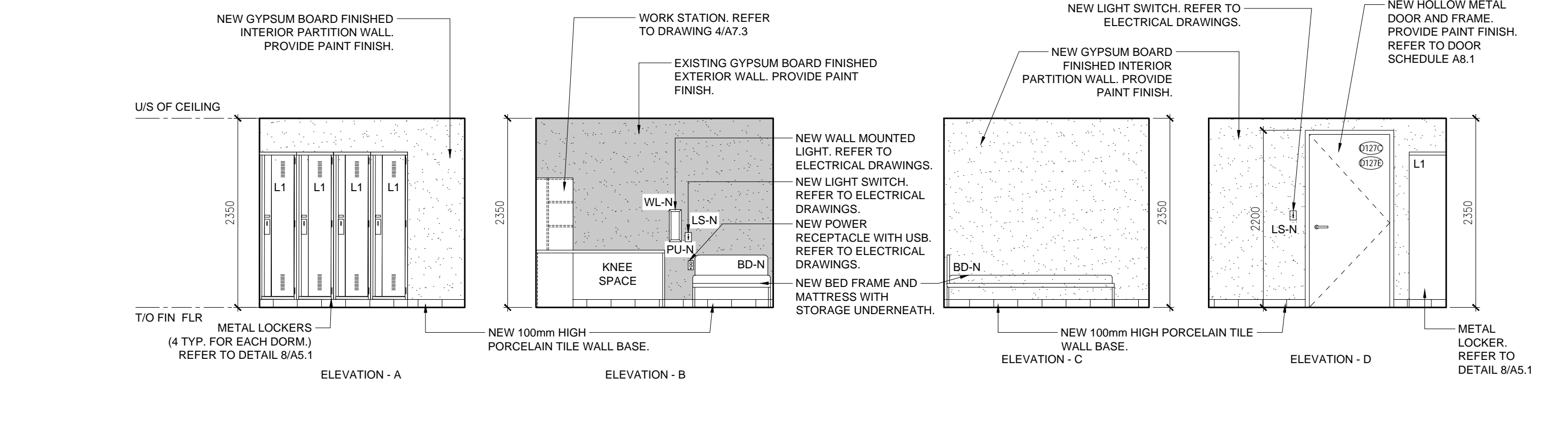
2 INTERIOR ELEVATION AT STORAGE 136

A6.4 1:50



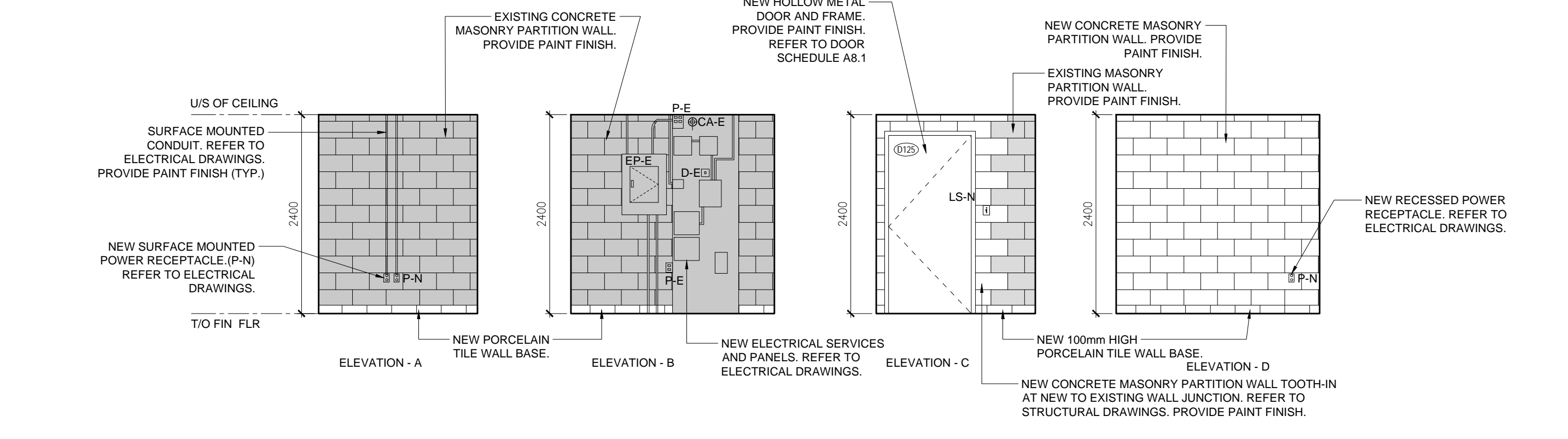
5 INTERIOR ELEVATION AT D4 127D

A6.4 1:50



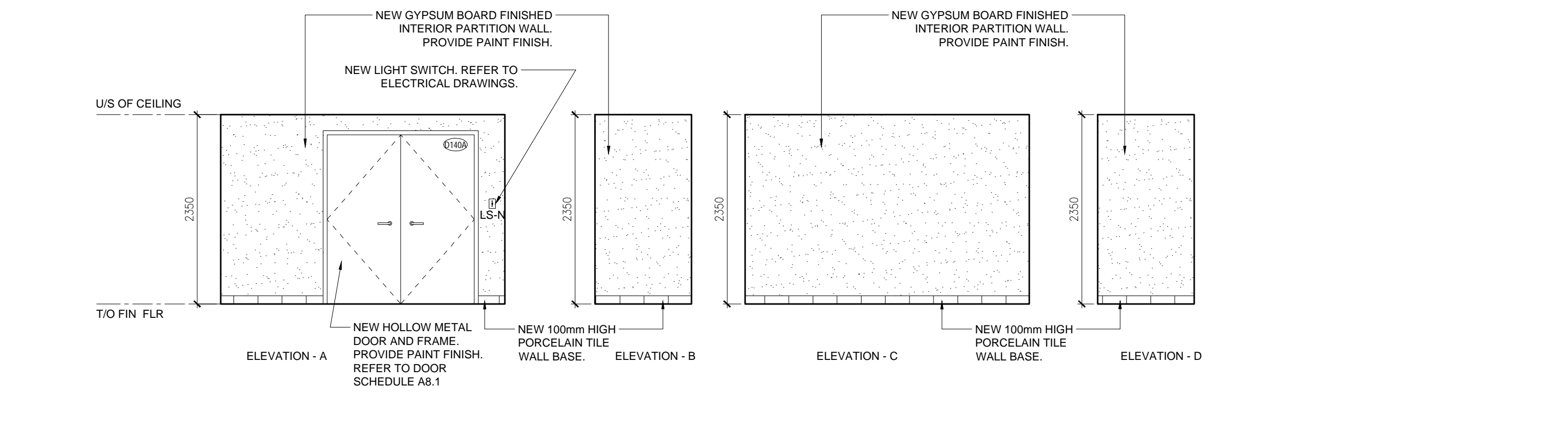
4 INTERIOR ELEVATION AT D3 127C/D5 127E

A6.4 1:50



7 INTERIOR ELEVATION AT IT 125

A6.4 1:50



6 INTERIOR ELEVATION AT STORAGE 140A

A6.4 1:50

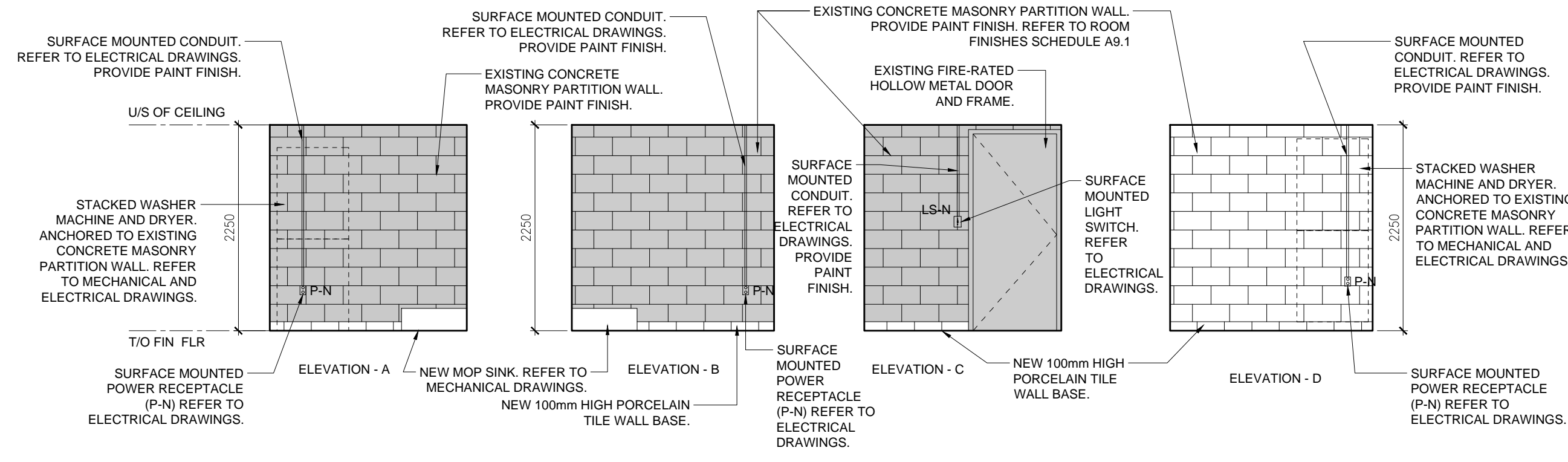
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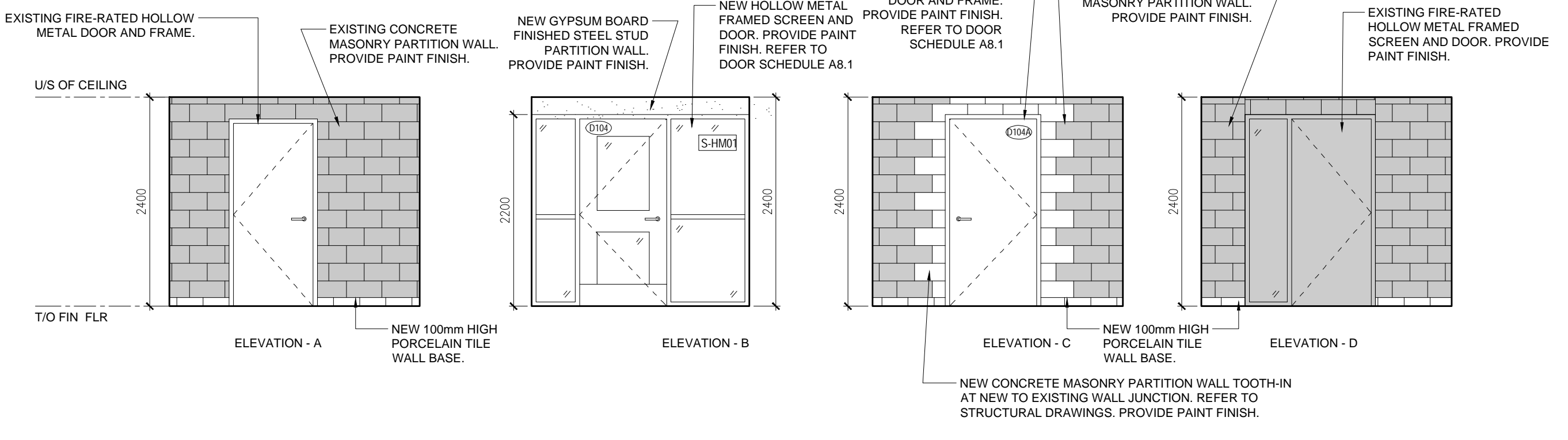
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project
 RENOVATION TO CLARINGTON FIRE & EMERGENCY SERVICES STATION 1
 The Corporation of the Municipality of Clarington
 2430 Durham Regional Hwy 2, Bowmanville, ON L1C 6C8
 drawing
 INTERIOR ELEVATIONS
 drawing scale
 AS NOTED
 ward99 project number
 24008 - DURHAM FIRE STATION

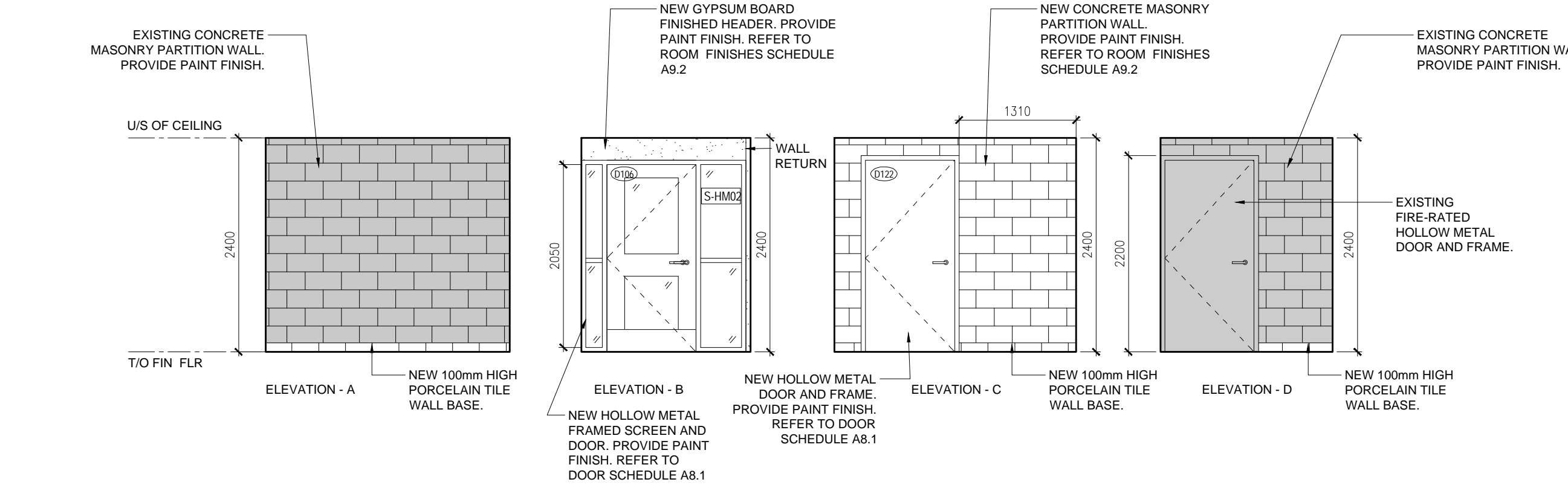
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 drawing no.
Wa RD 99
A6.4
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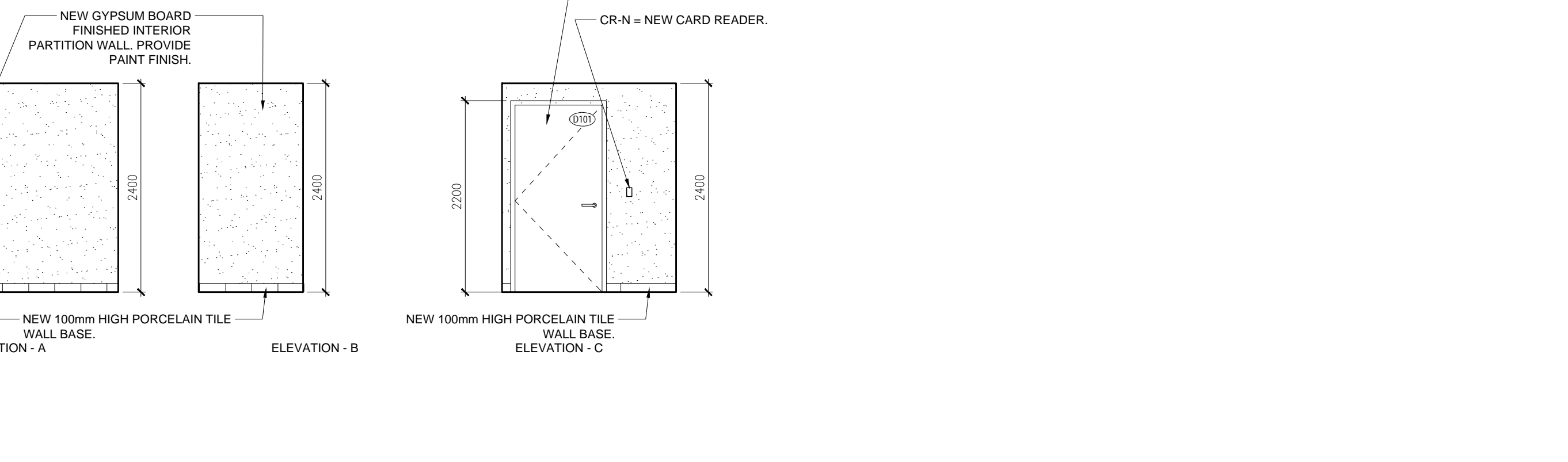
2 INTERIOR ELEVATION AT CLEAN LAUNDRY/CUSTODIAN ROOM 104A
A6.5 1:50



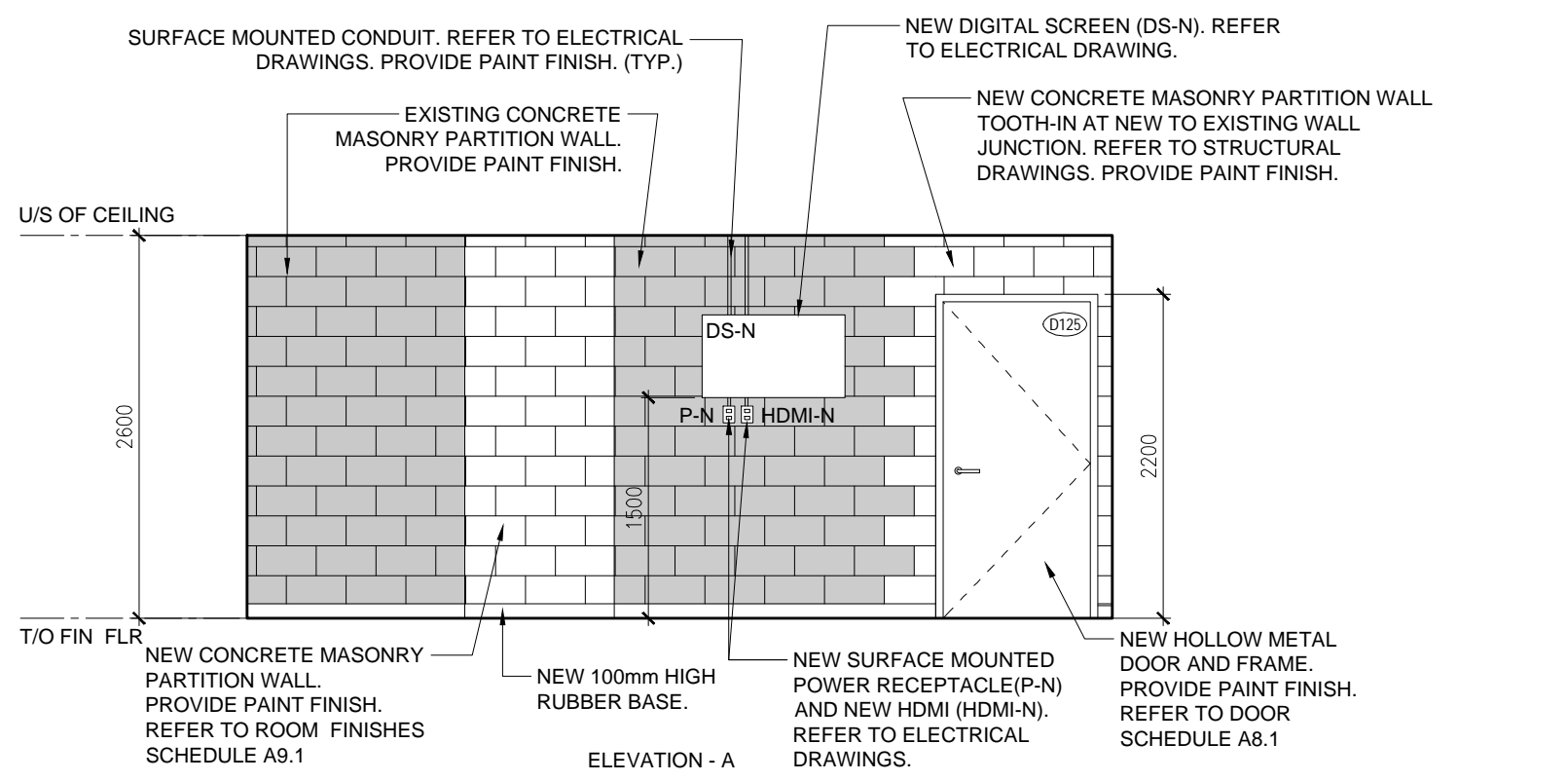
1 INTERIOR ELEVATION AT NEW ENTRY 104
A6.5 1:50



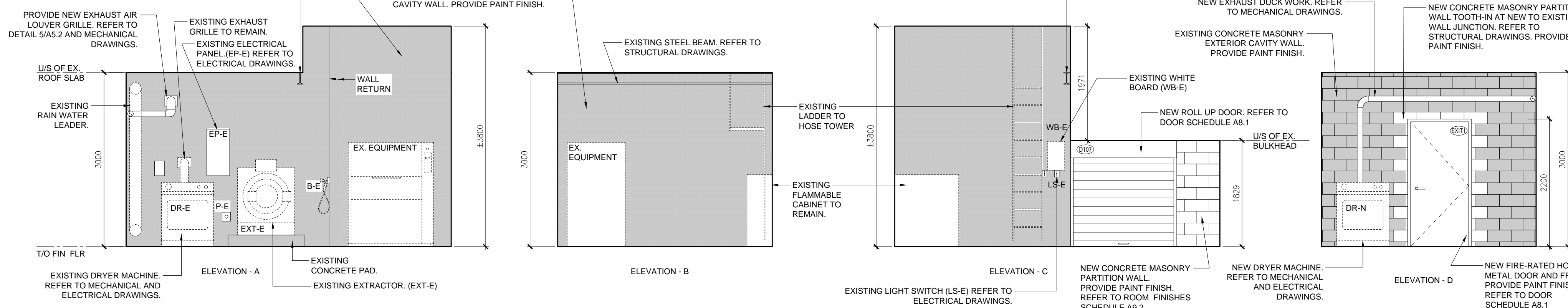
4 INTERIOR ELEVATION AT NEW ENTRY 106
A6.5 1:50



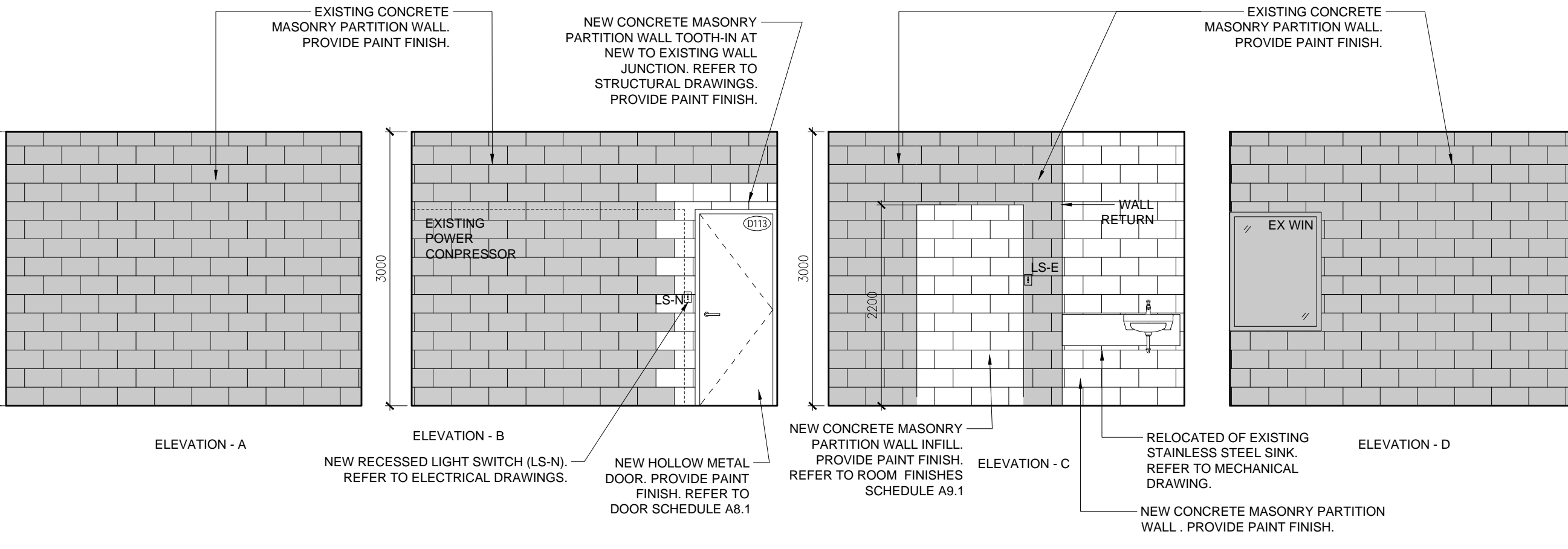
3 INTERIOR ELEVATION AT NEW HALL 102A
A6.5 1:50



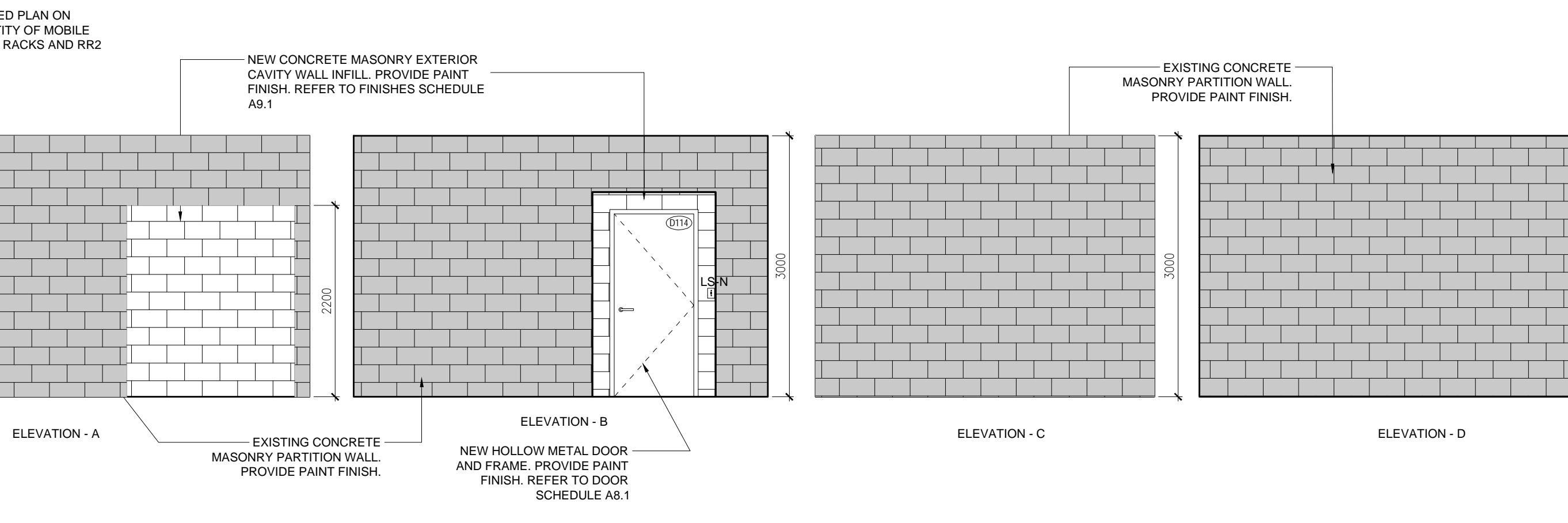
6 INTERIOR ELEVATION AT EX GYM/FITNESS 103
A6.5 1:50



5 INTERIOR ELEVATION AT EX LAUNDRY AND EX HOSE TOWER 107
A6.5 1:50



8 INTERIOR ELEVATION AT EX. MASK REPAIR 113
A6.5 1:50



7 INTERIOR ELEVATION AT NEW GEAR ROOM 114
A6.5 1:50

NOTE: THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL SITE CONDITIONS AND SITE MEASUREMENTS THAT ARE NOT CONSISTENT WITH THE DRAWINGS.

no.	revision	date

no.	issue	date
1.	Issued for Permit and Costing	2024.06.27
2.	Issued for Tender	2024.08.13

PROJECT NORTH

PROJECT
RENOVATION TO CLARINGTON FIRE & EMERGENCY SERVICES STATION 1
The Corporation of the Municipality of Clarington
2430 Durham Regional Hwy 2, Bowmanville, ON L1C 6C8

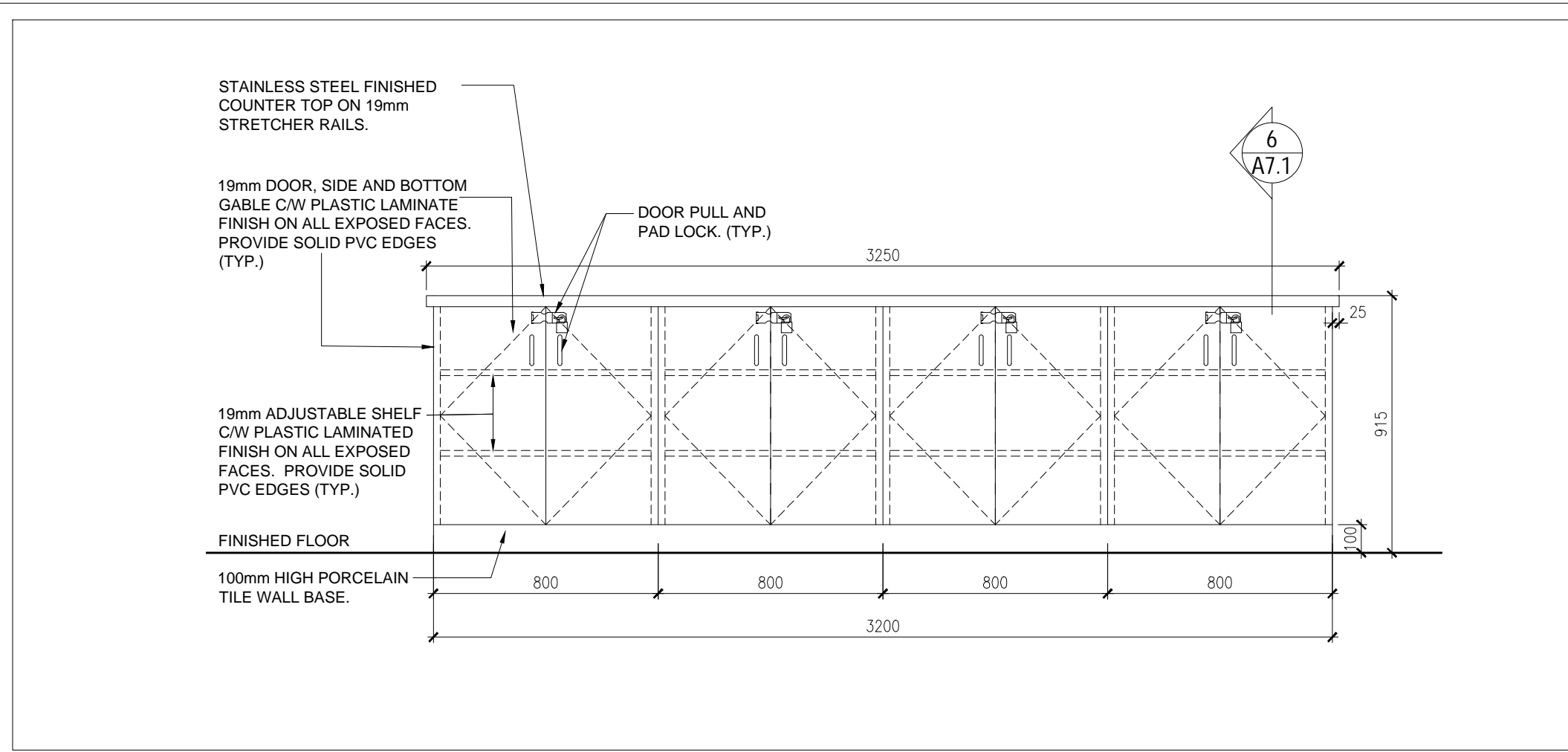
DRAWING
INTERIOR ELEVATIONS
drawing scale
AS NOTED
ward99 project number
24008 - DURHAM FIRE STATION

ward99 architects
drawing no.

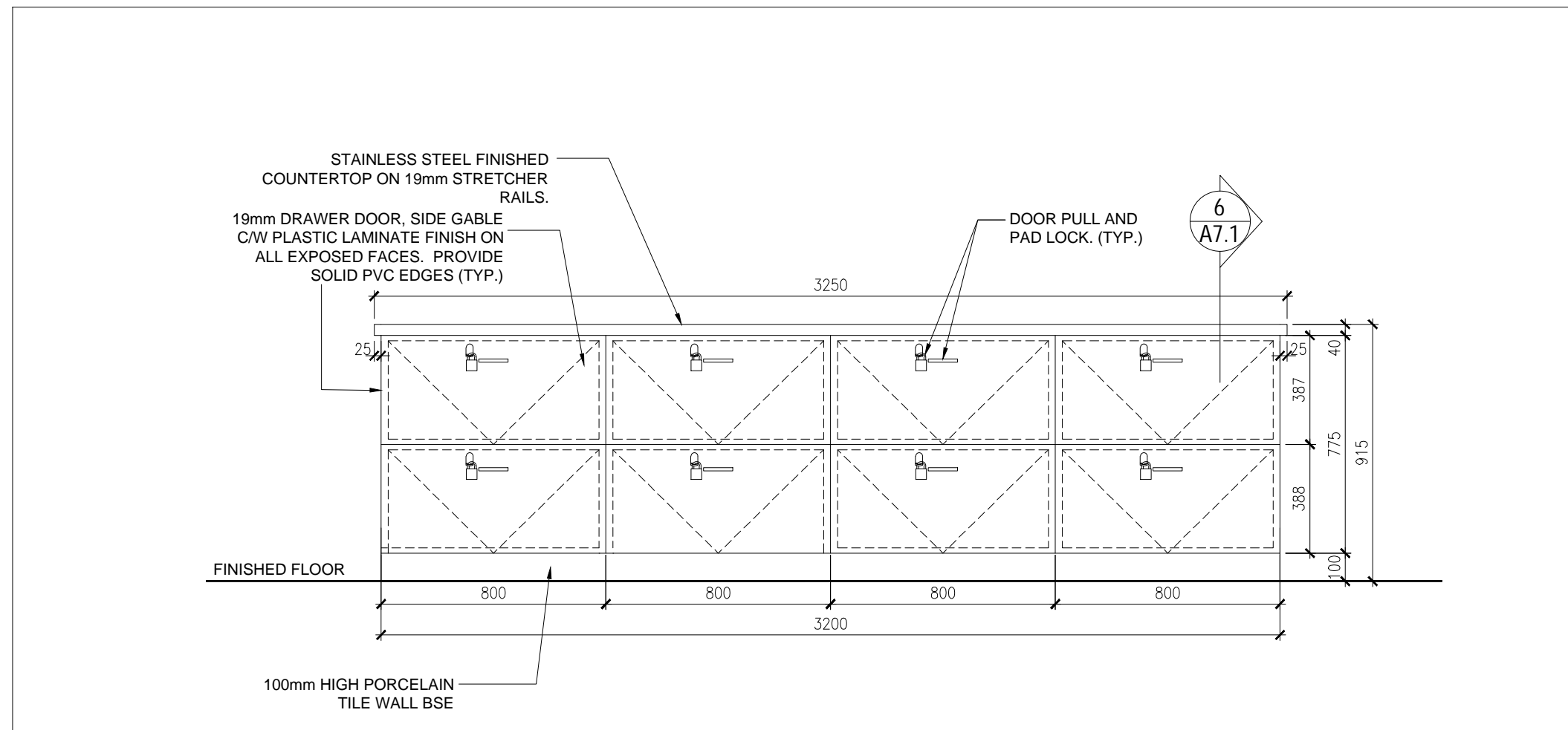
Wa RD 99

A6.5

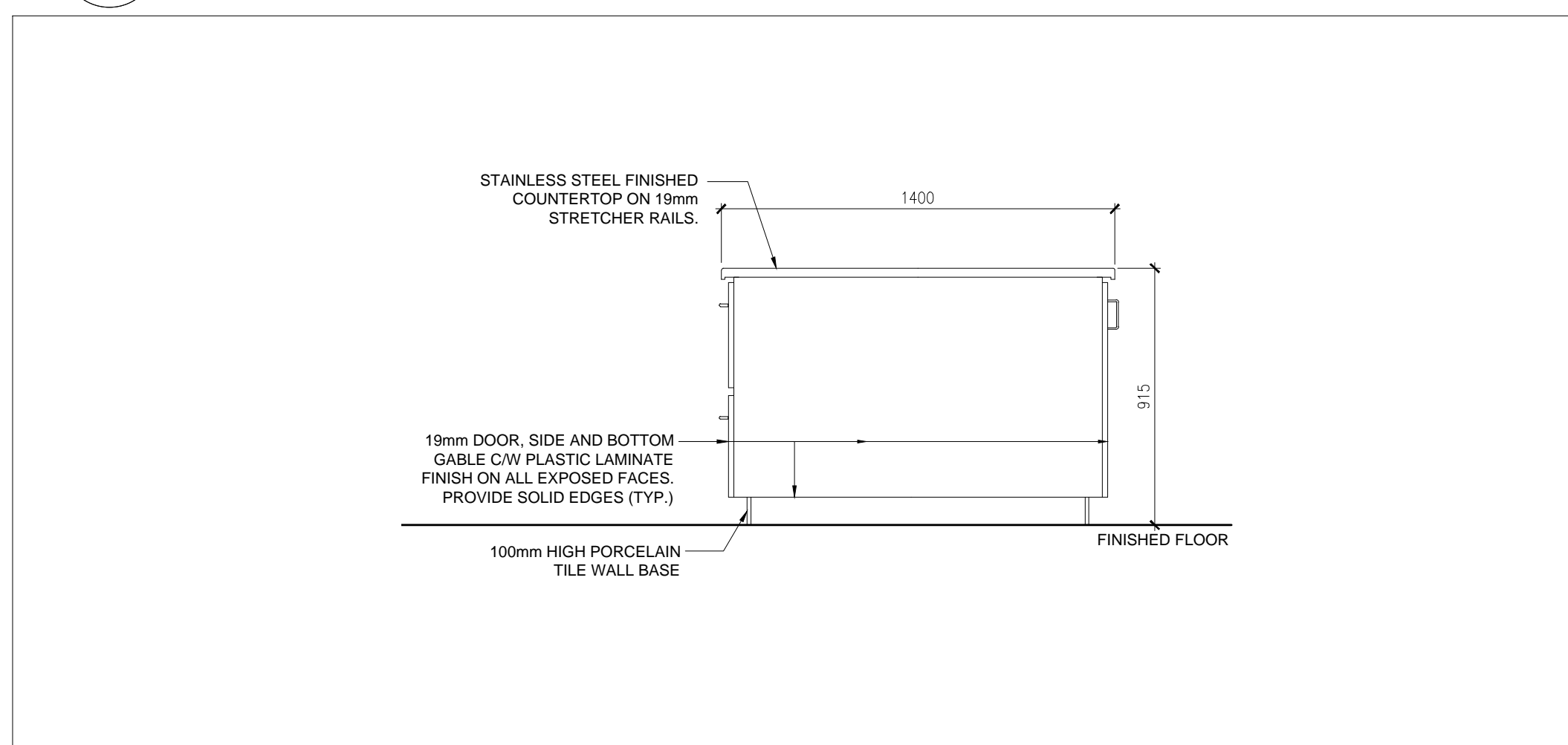
7611 Pine Valley Dr. Unit 11
Woodbridge, ON L4L 0A2
416 613 5880 www.ward99architects.com



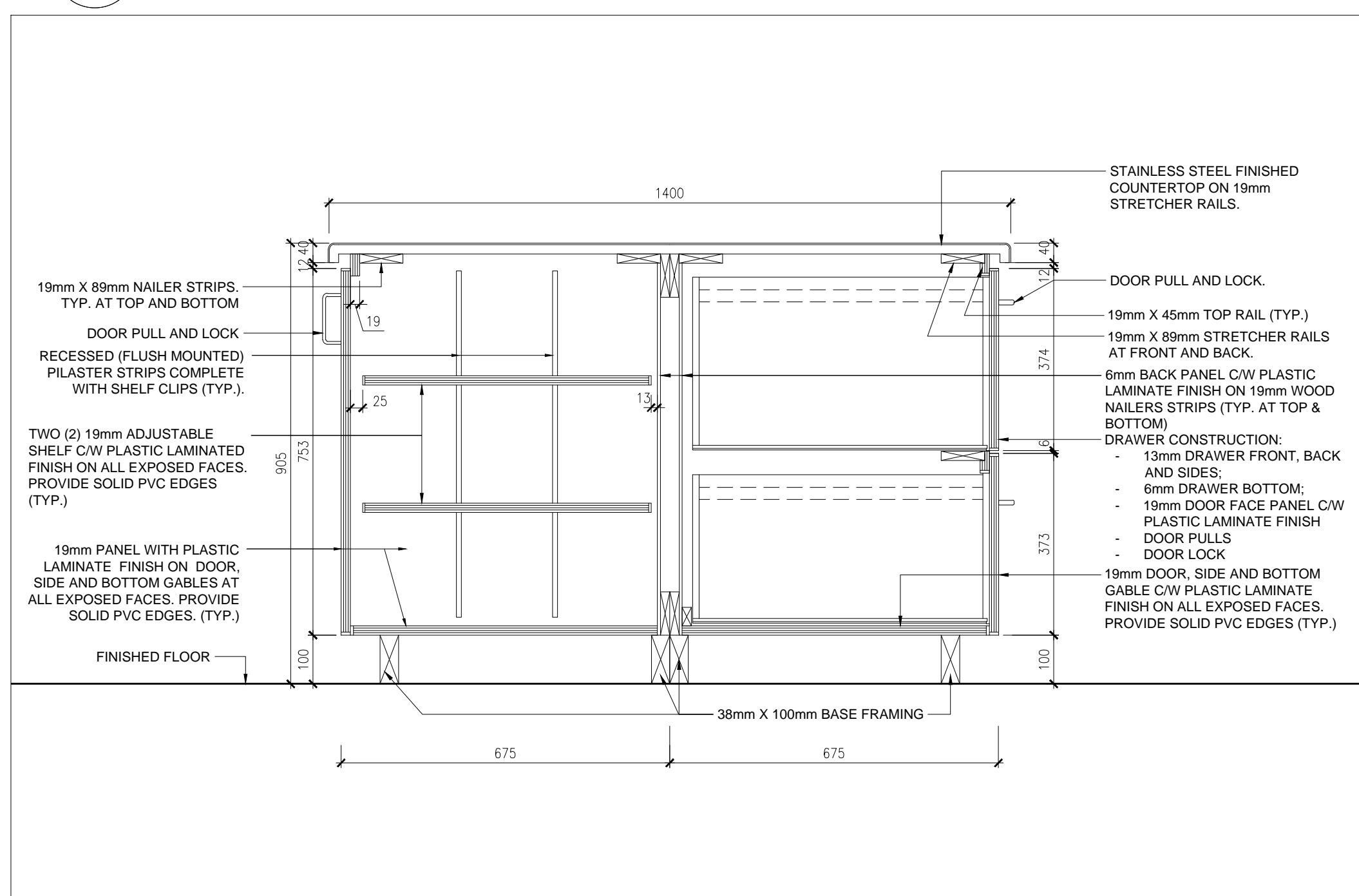
3 ISLAND WITH STORAGE ELEVATION AT KITCHEN AND DINNING
A7.1 1:20



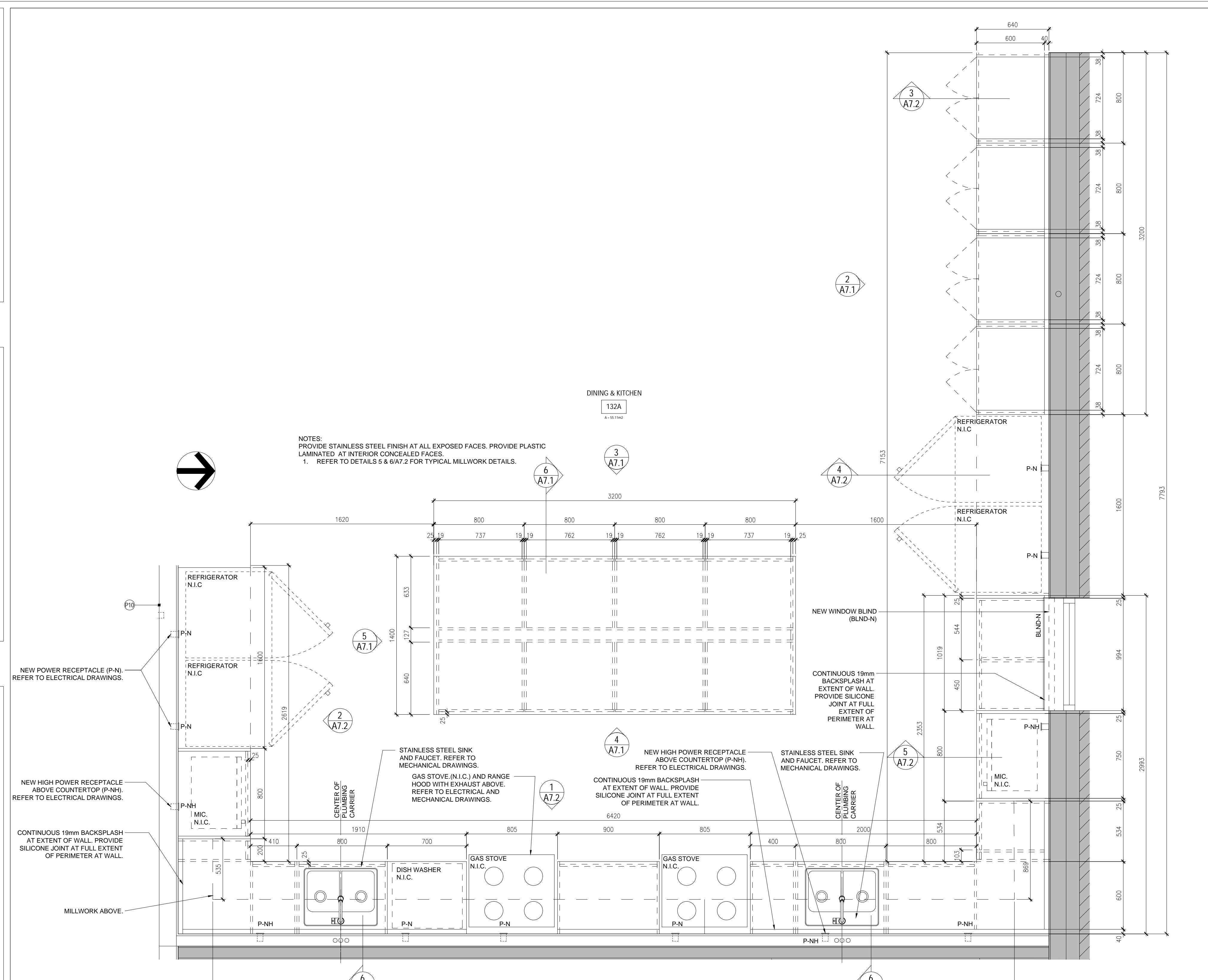
4 ISLAND WITH STORAGE ELEVATION AT KITCHEN AND DINNING
A7.1 1:20



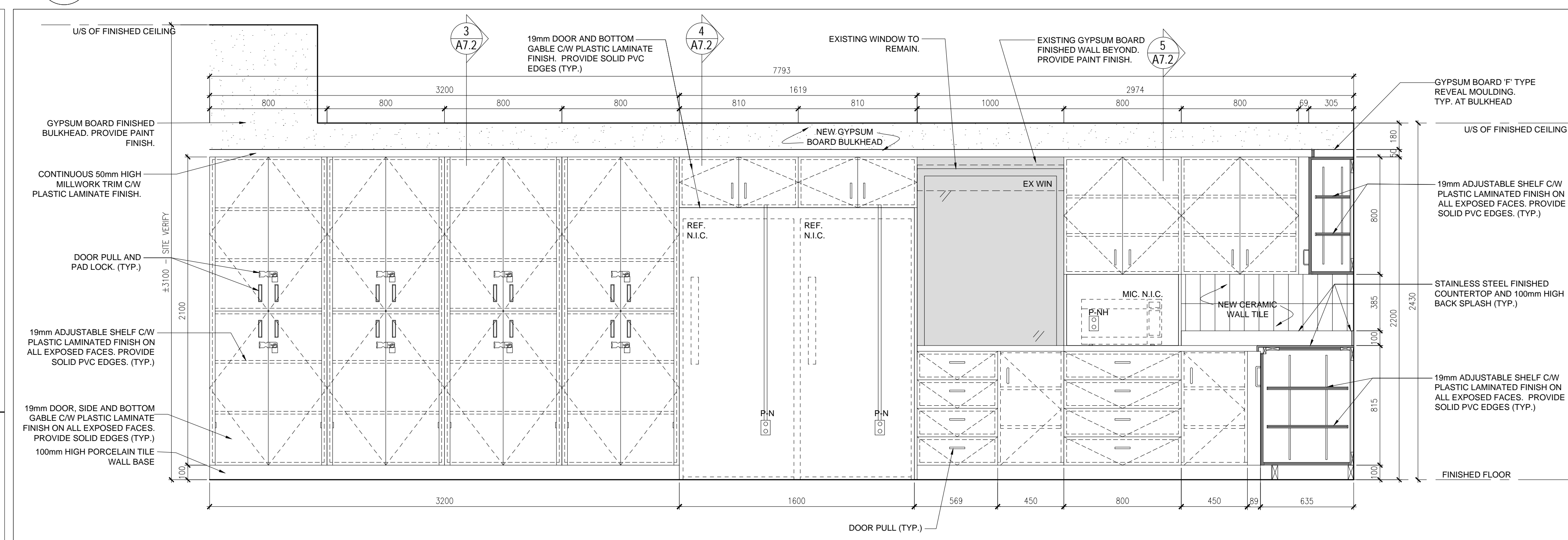
5 ISLAND WITH STORAGE MILLWORK ELEVATION AT KITCHEN AND DINNING
A7.1 1:20



6 ISLAND WITH STORAGE MILLWORK SECTION AT KITCHEN AND DINNING
A7.1 1:10



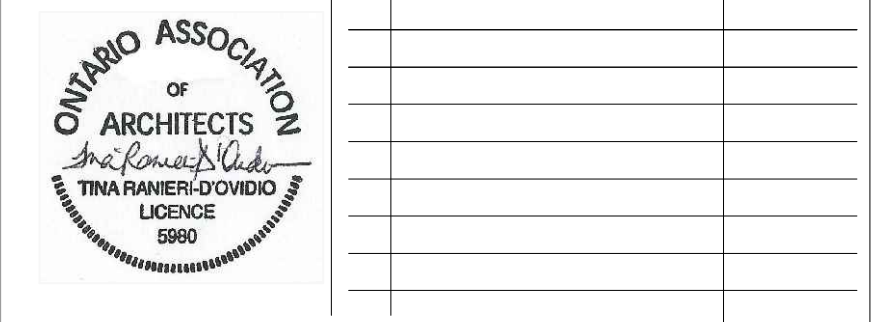
1 MILLWORK PLAN AT KITCHEN & DINNING
A7.1 1:20



2 MILLWORK ELEVATION AT KITCHEN & DINNING
A7.1 1:20

NOTE: THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL SITE DIMENSIONS AND FOR NOTIFYING THE ARCHITECT OF ANY SITE CONDITIONS AND SITE MEASUREMENTS THAT ARE NOT CONSISTENT WITH THE DRAWINGS.

no.	revision	date

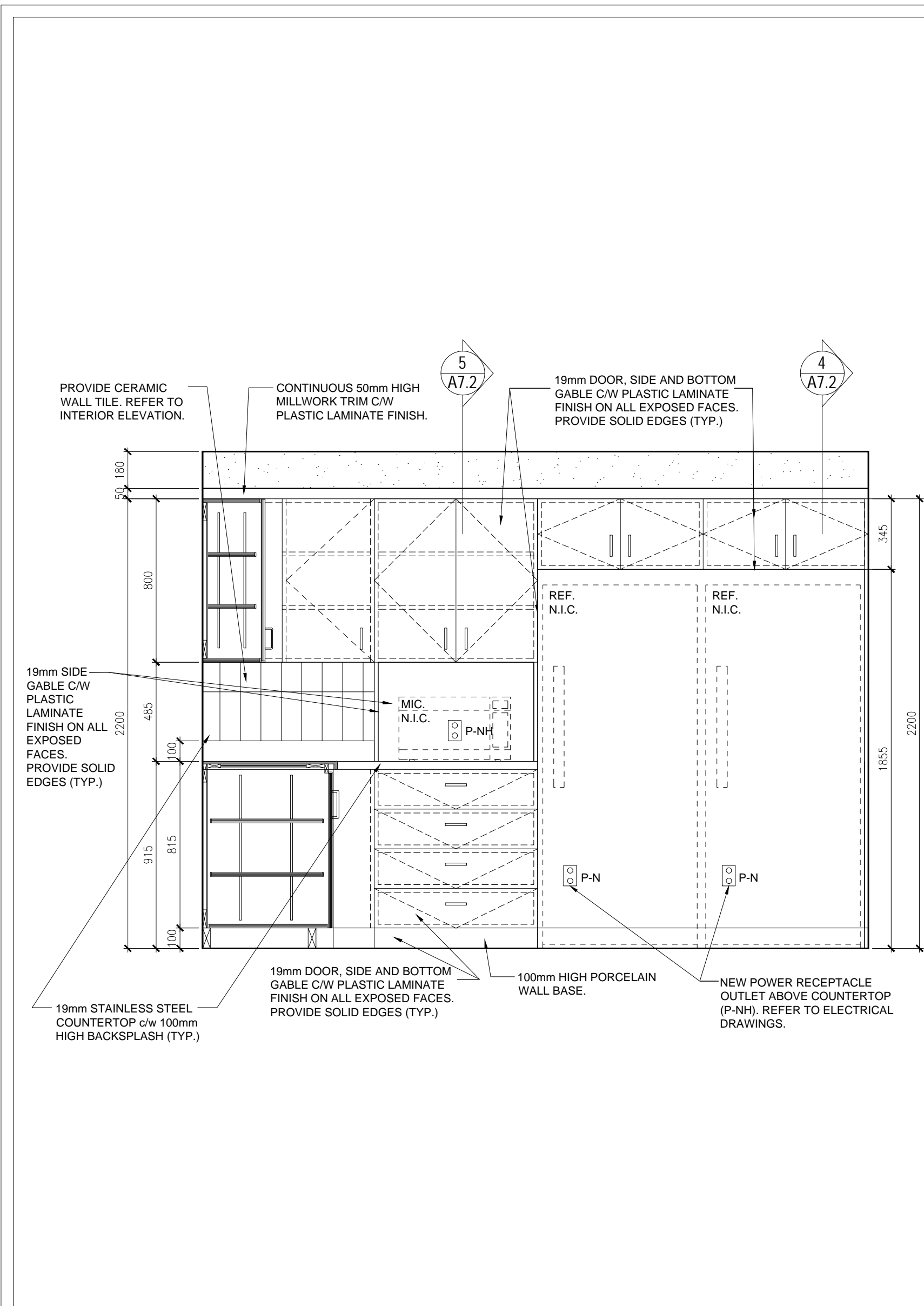


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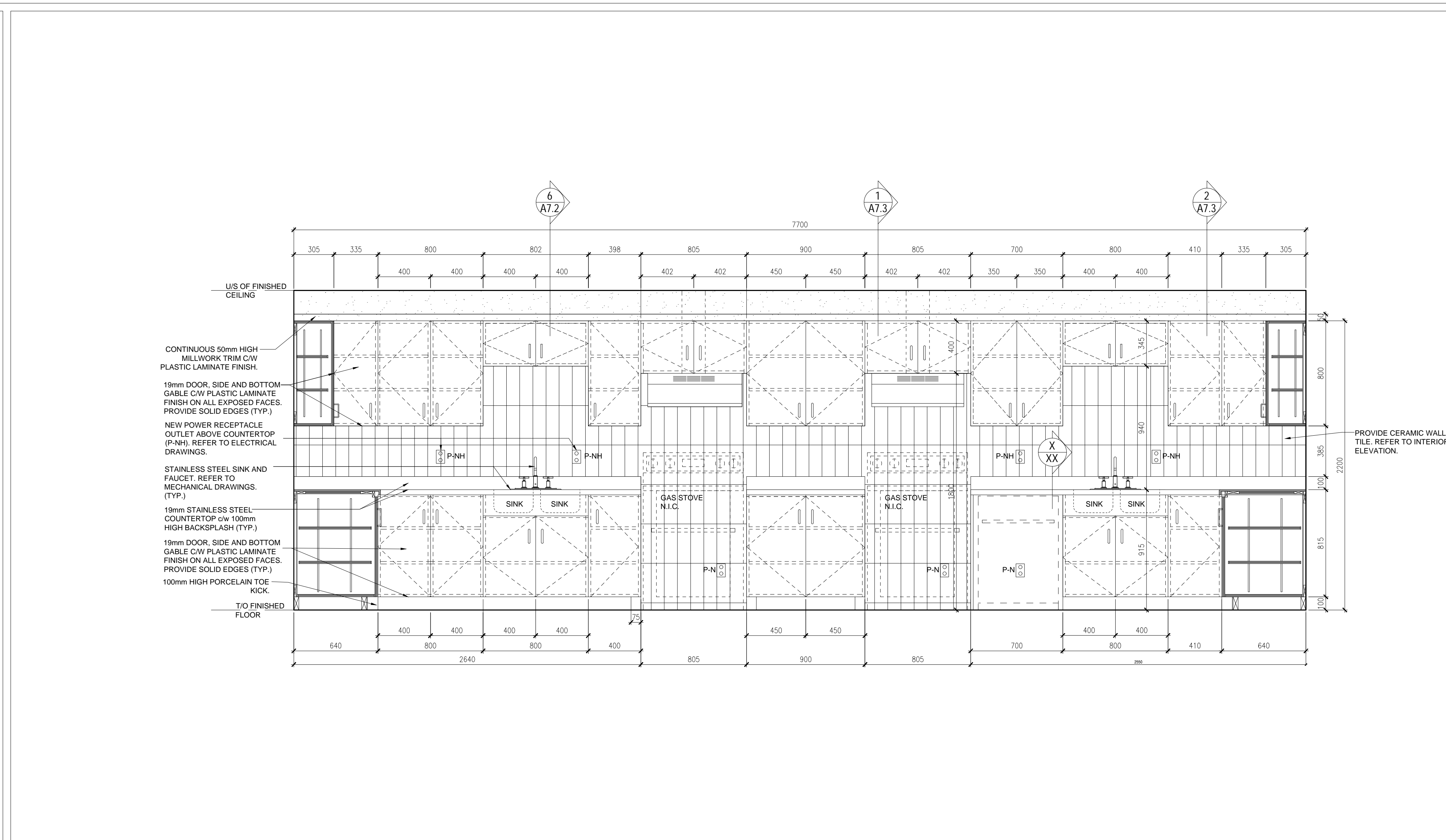
PROJECT: RENOVATION TO CLARINGTON FIRE & EMERGENCY SERVICES STATION 1
The Corporation of the Municipality of Clarington
2430 Durham Regional Hwy 2, Bowmanville, ON L1C 6C8

MILLWORK DETAILS
drawing scale: AS NOTED
ward99 project number: 24008 - DURHAM FIRE STATION

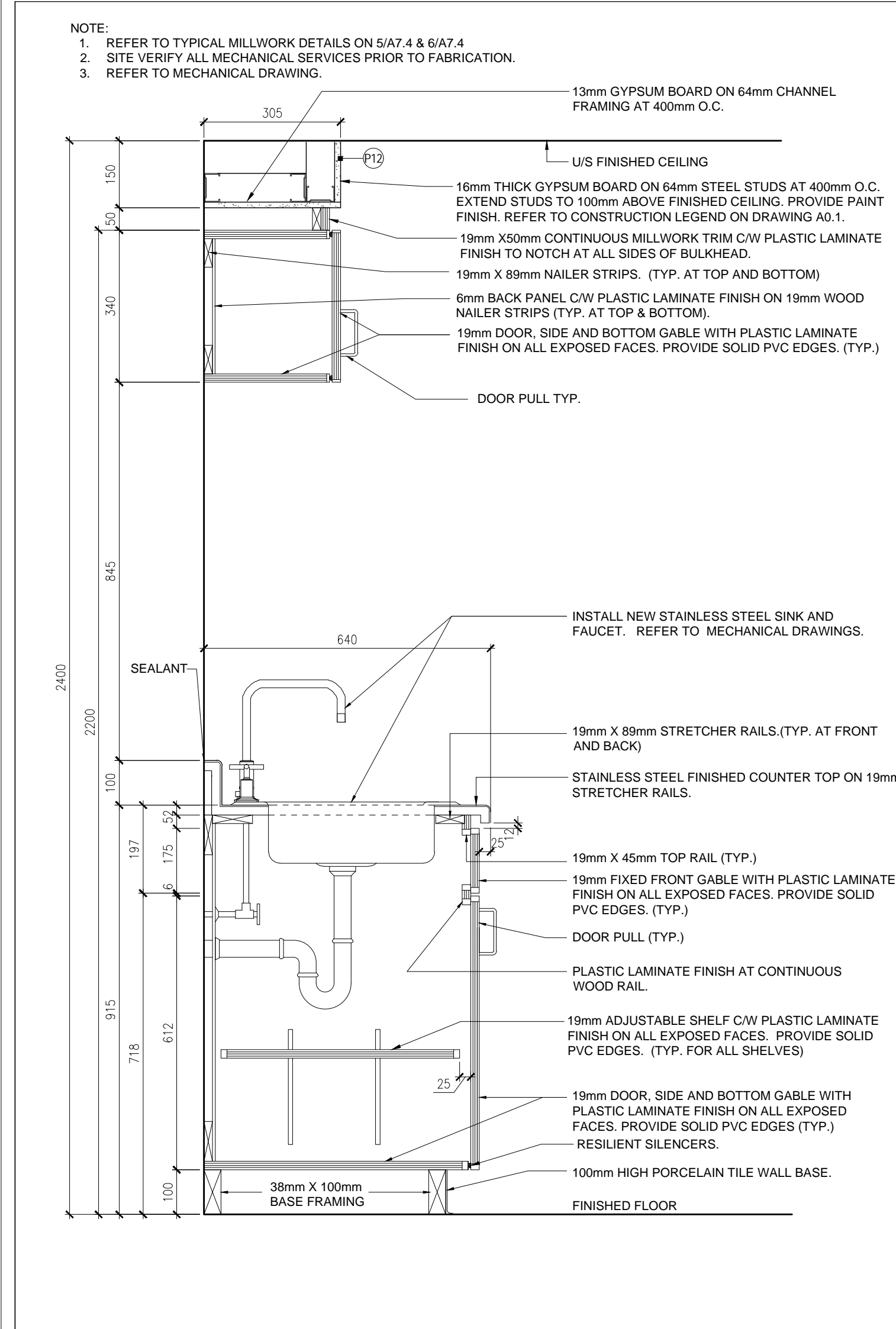
ward99 architects drawing no.
A7.1
 7613 Pine Valley Dr. Unit 11
 Woodbridge, ON L4L 0A2
 416 613 5880 www.ward99architects.com



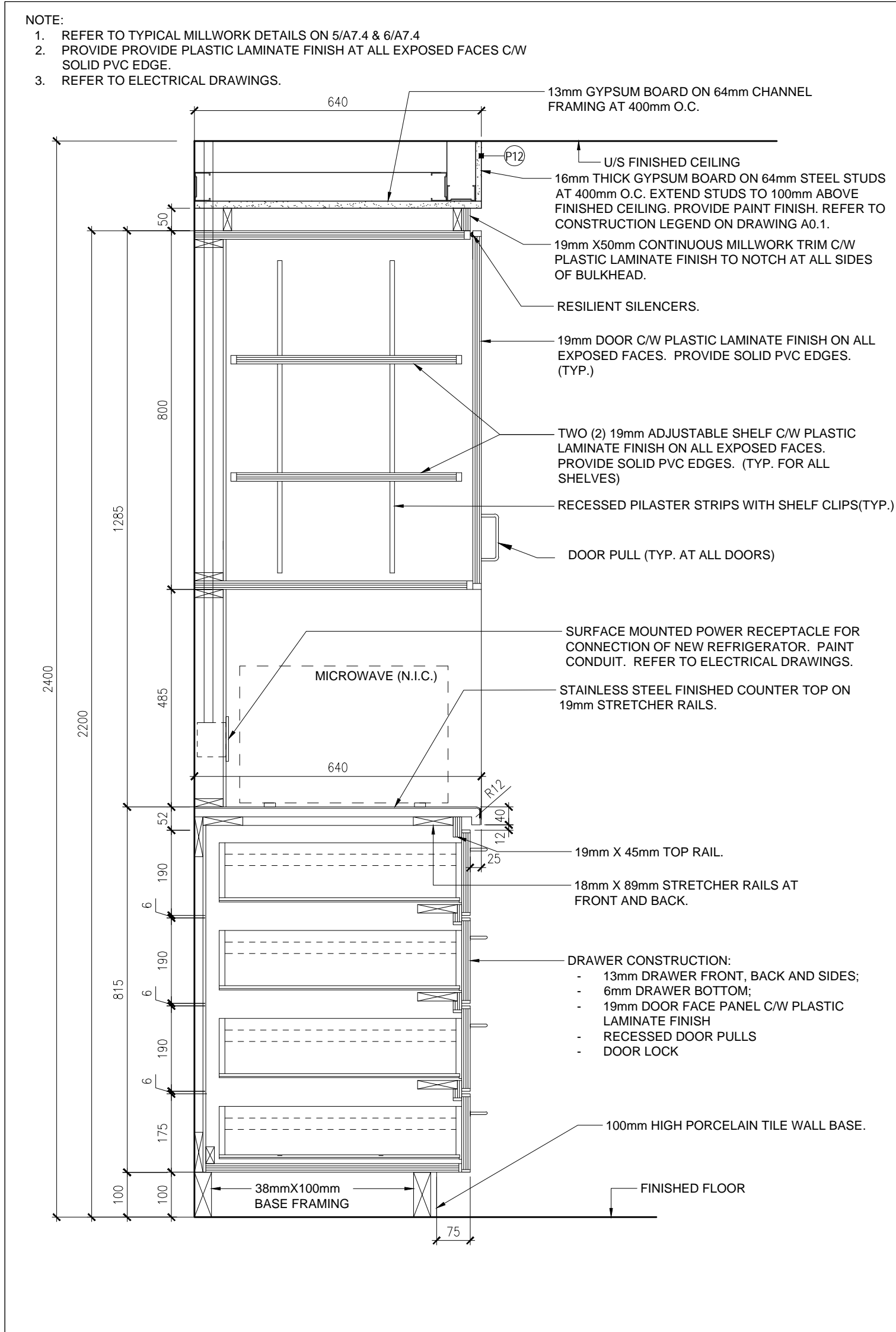
2 MILLWORK AT KITCHEN
A7.2 1:20



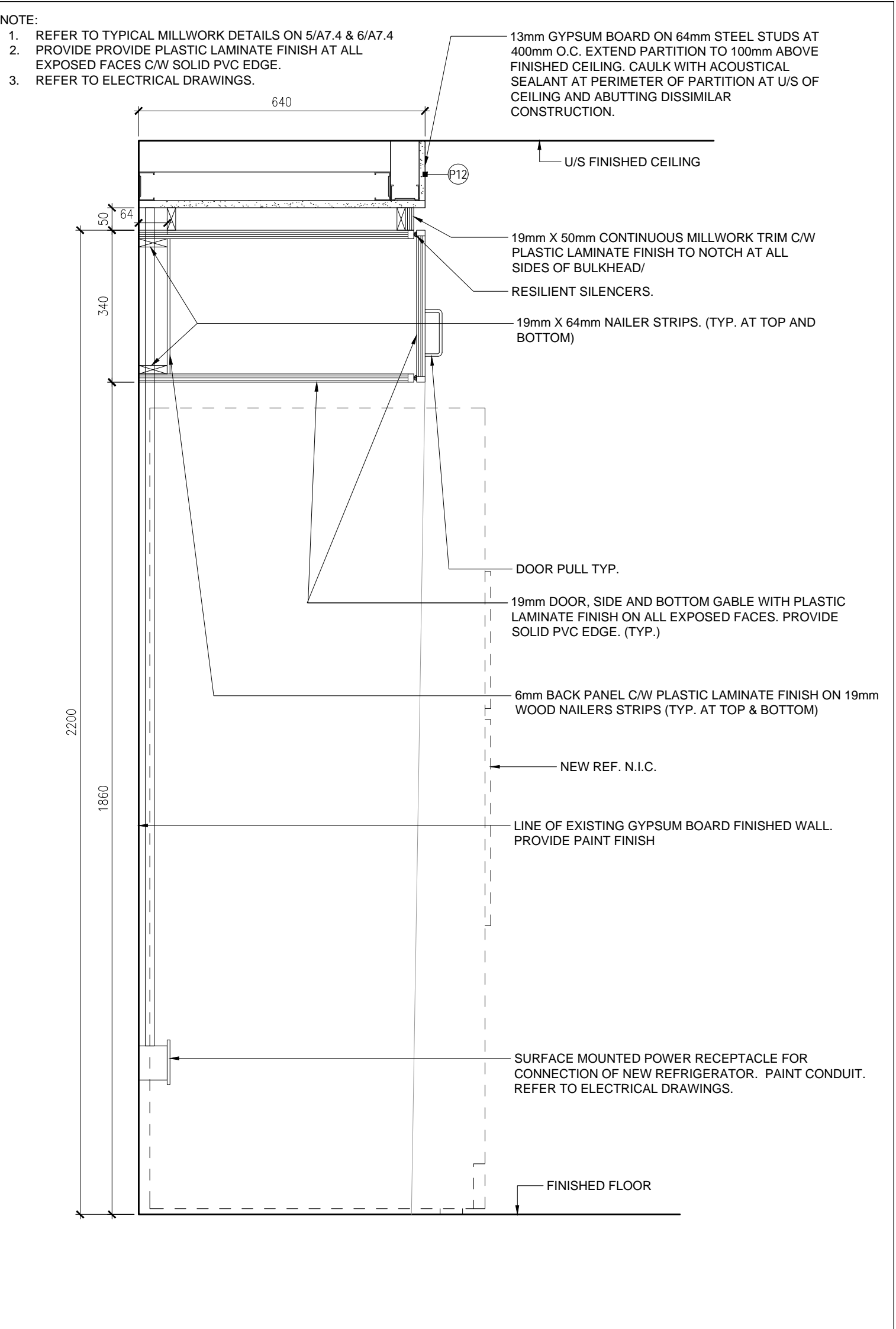
1 MILLWORK AT KITCHEN
A7.3 1:20



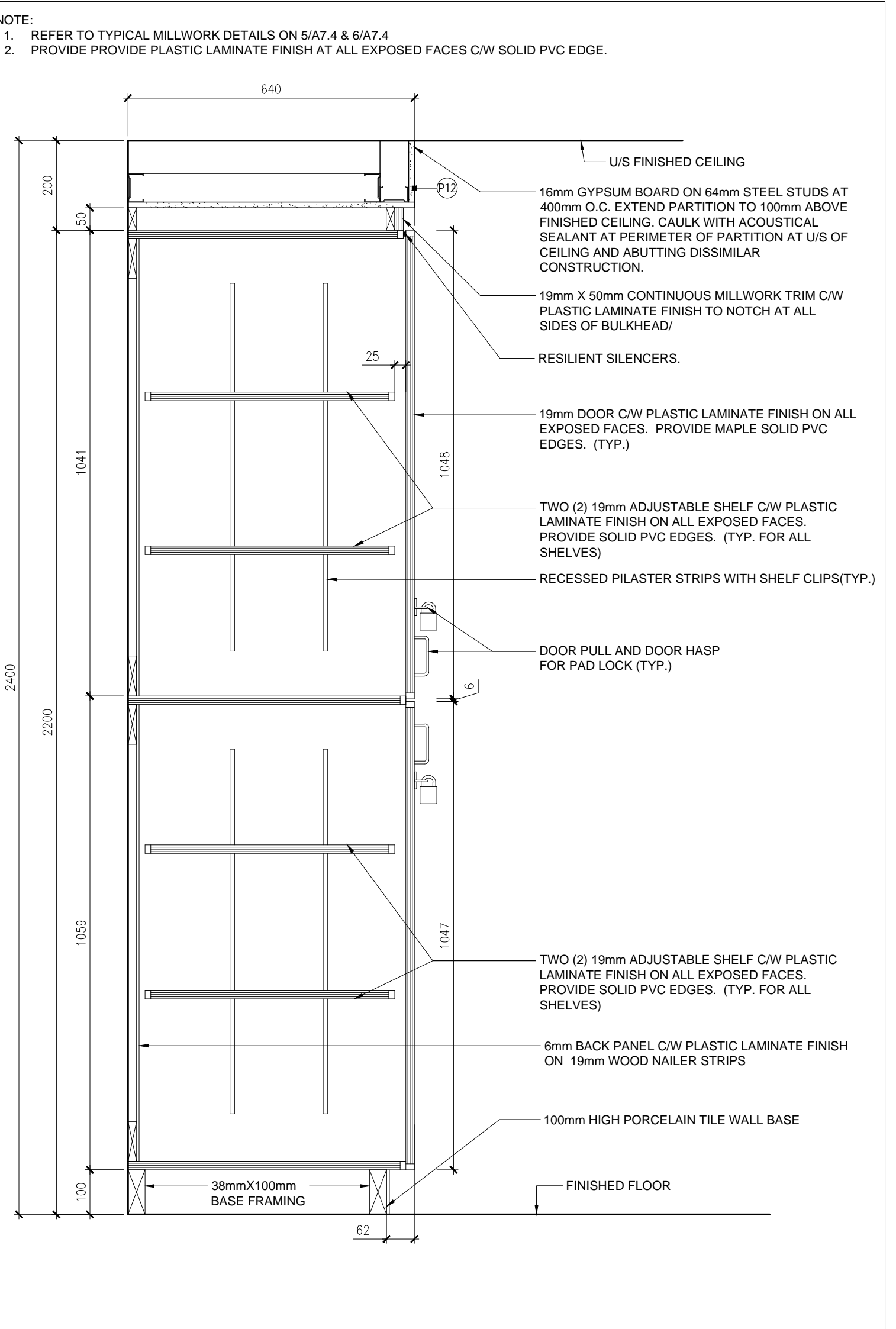
6 MILLWORK SECTION AT KITCHEN
A7.2 1:10



5 MILLWORK SECTION AT KITCHEN
A7.2 1:10



4 MILLWORK SECTION AT KITCHEN
A7.2 1:10



3 MILLWORK SECTION AT KITCHEN
A7.2 1:10

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project
RENOVATION TO CLARINGTON FIRE & EMERGENCY SERVICES STATION 1
The Corporation of the Municipality of Clarington

2430 Durham Regional Hwy 2, Bowmanville, ON L1C 6C8

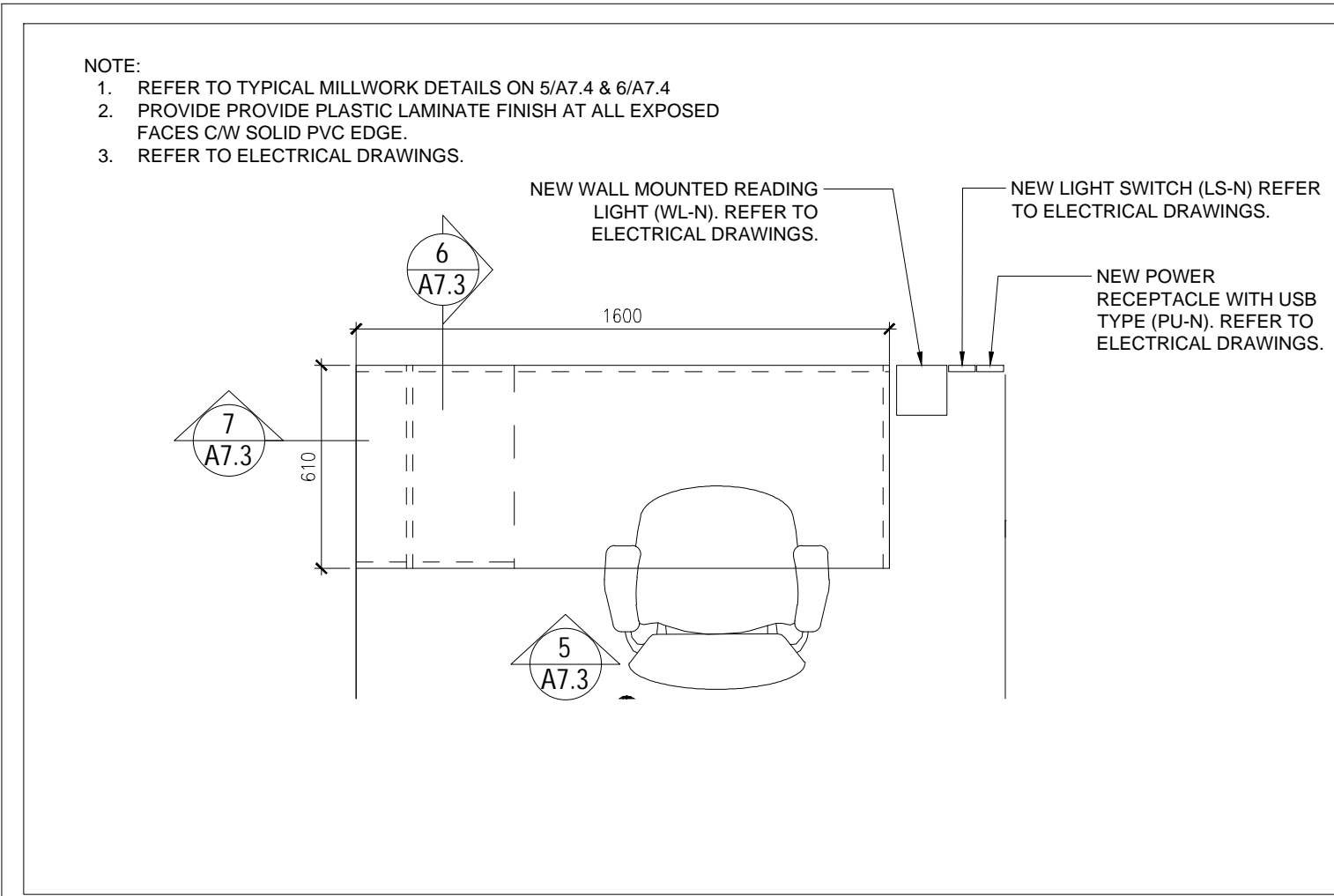
drawing
MILLWORK DETAILS
drawing scale

AS NOTED
ward99 project number
24008 - DURHAM FIRE STATION

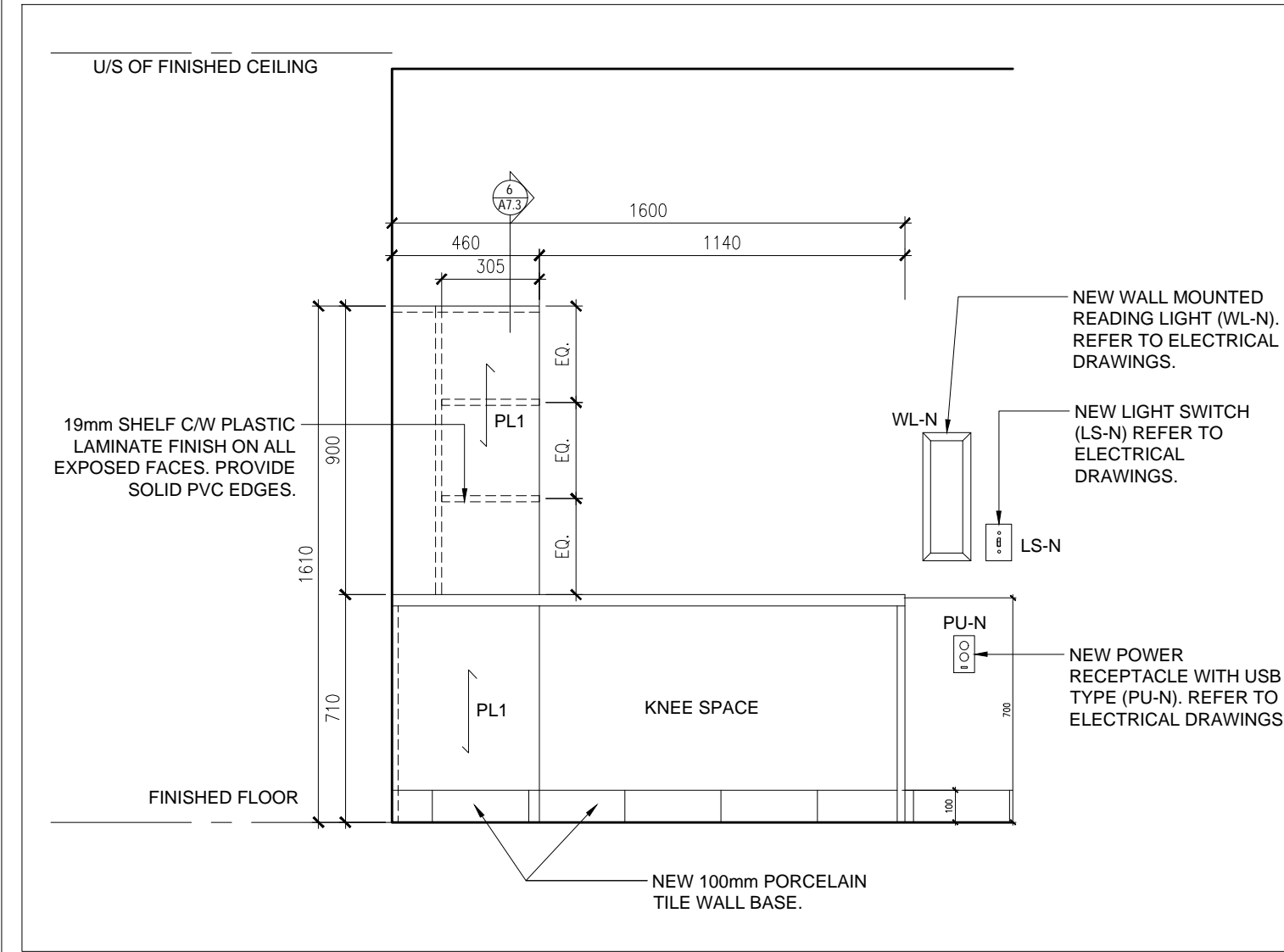
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Wa RD 99
A7.2

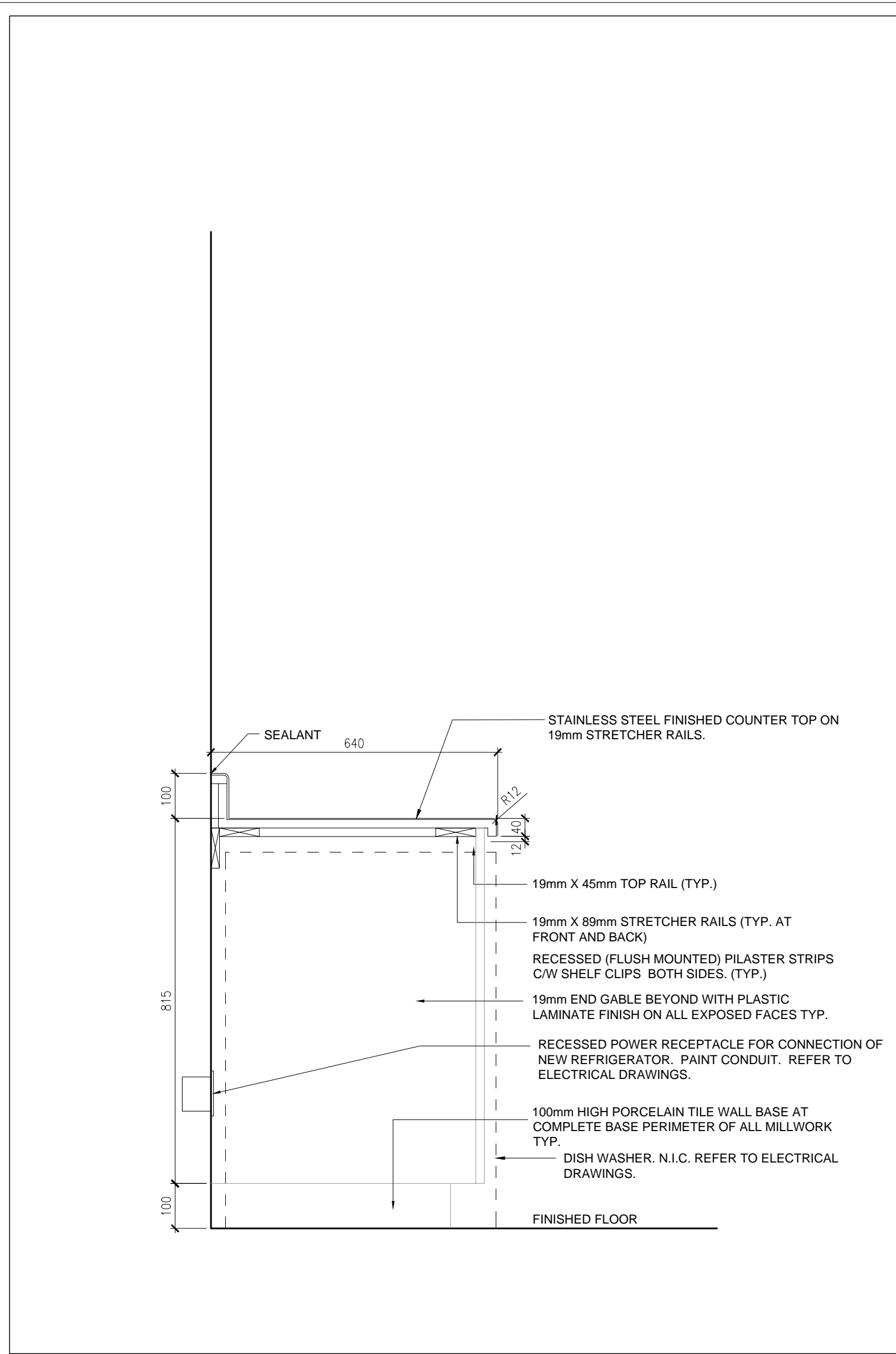
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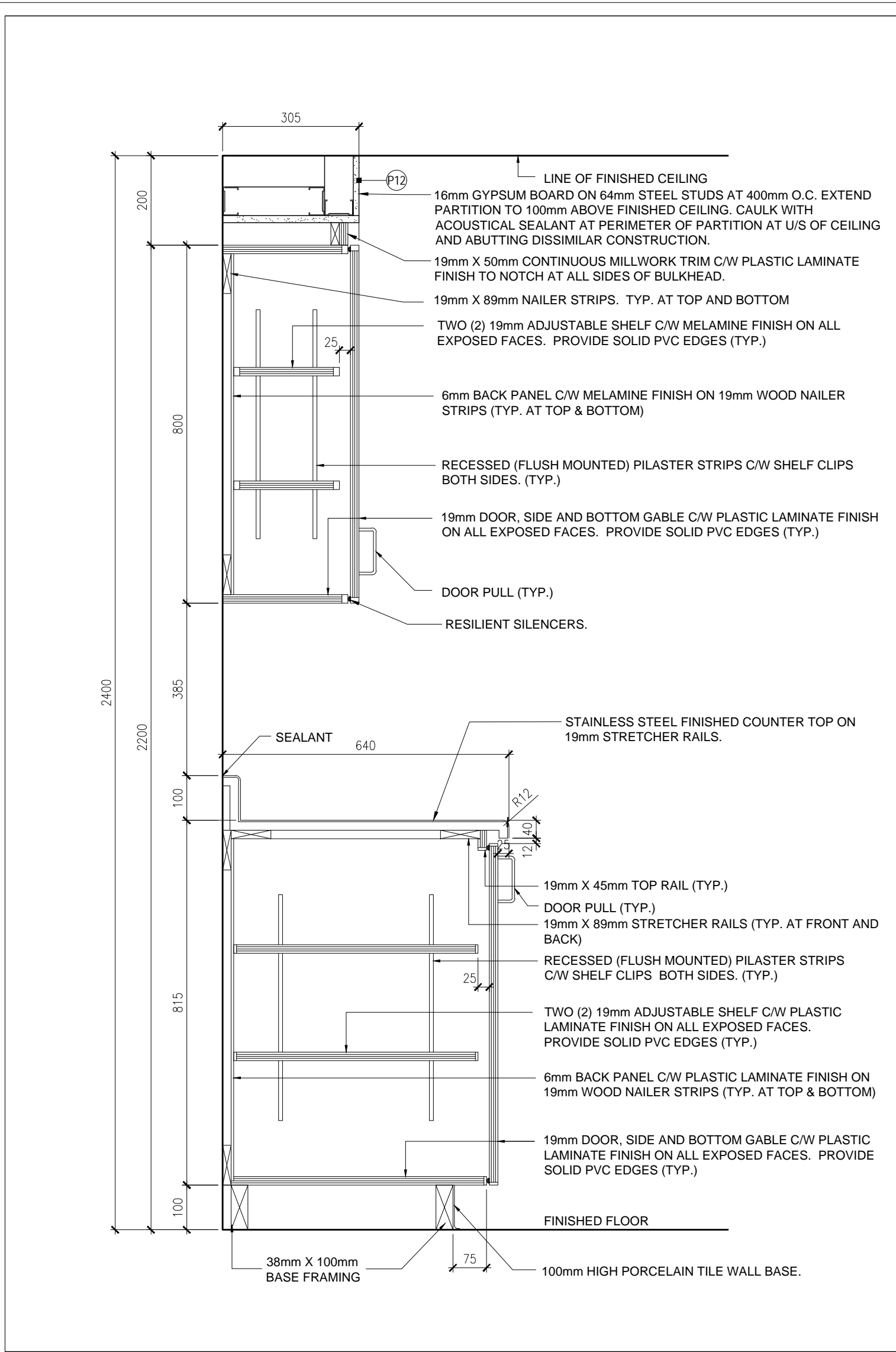
4 TYPICAL MILLWORK PLAN AT DORM
 A7.3 1:20



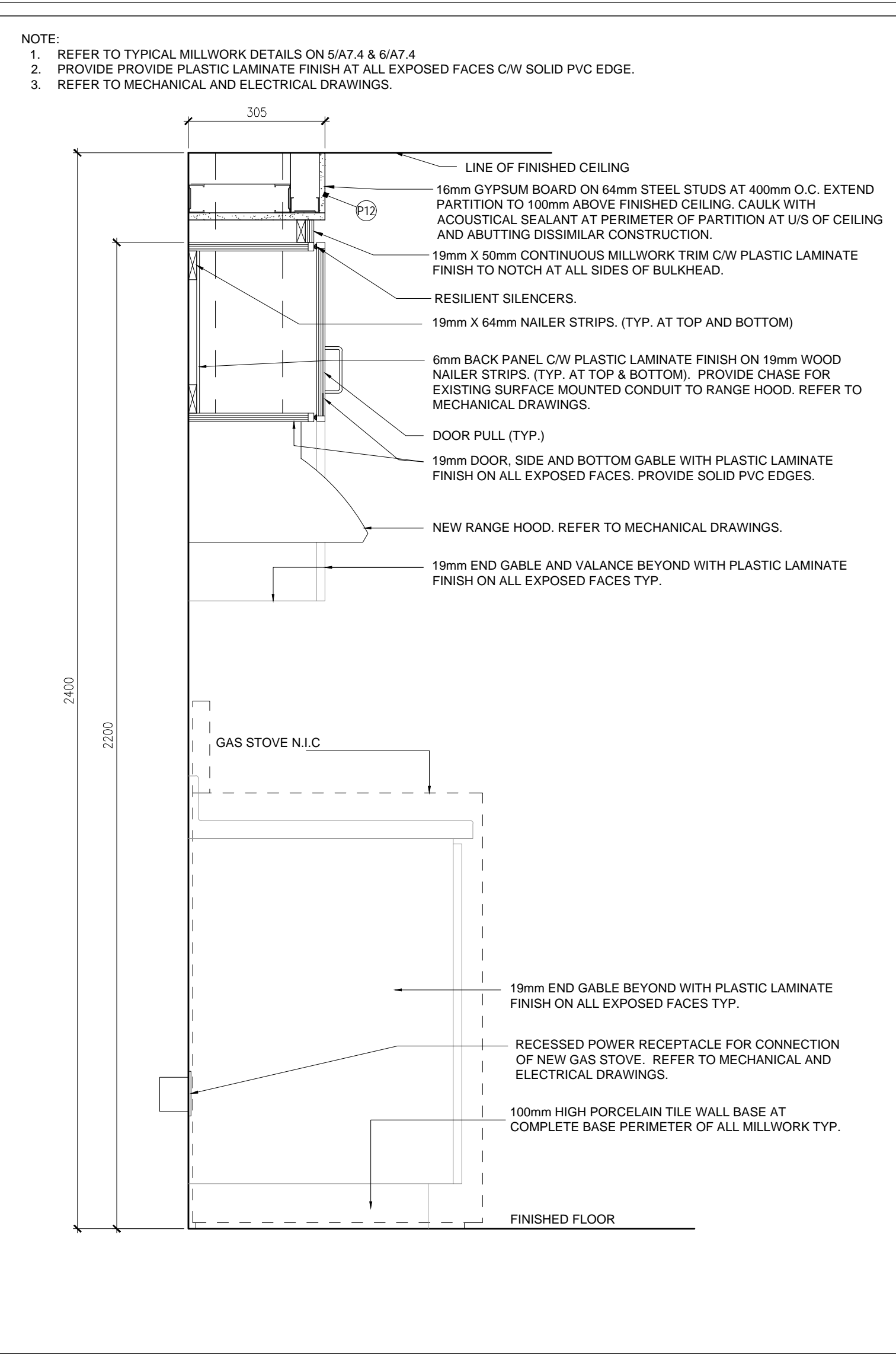
5 TYPICAL MILLWORK ELEVATION AT DORM
 A7.3 1:20



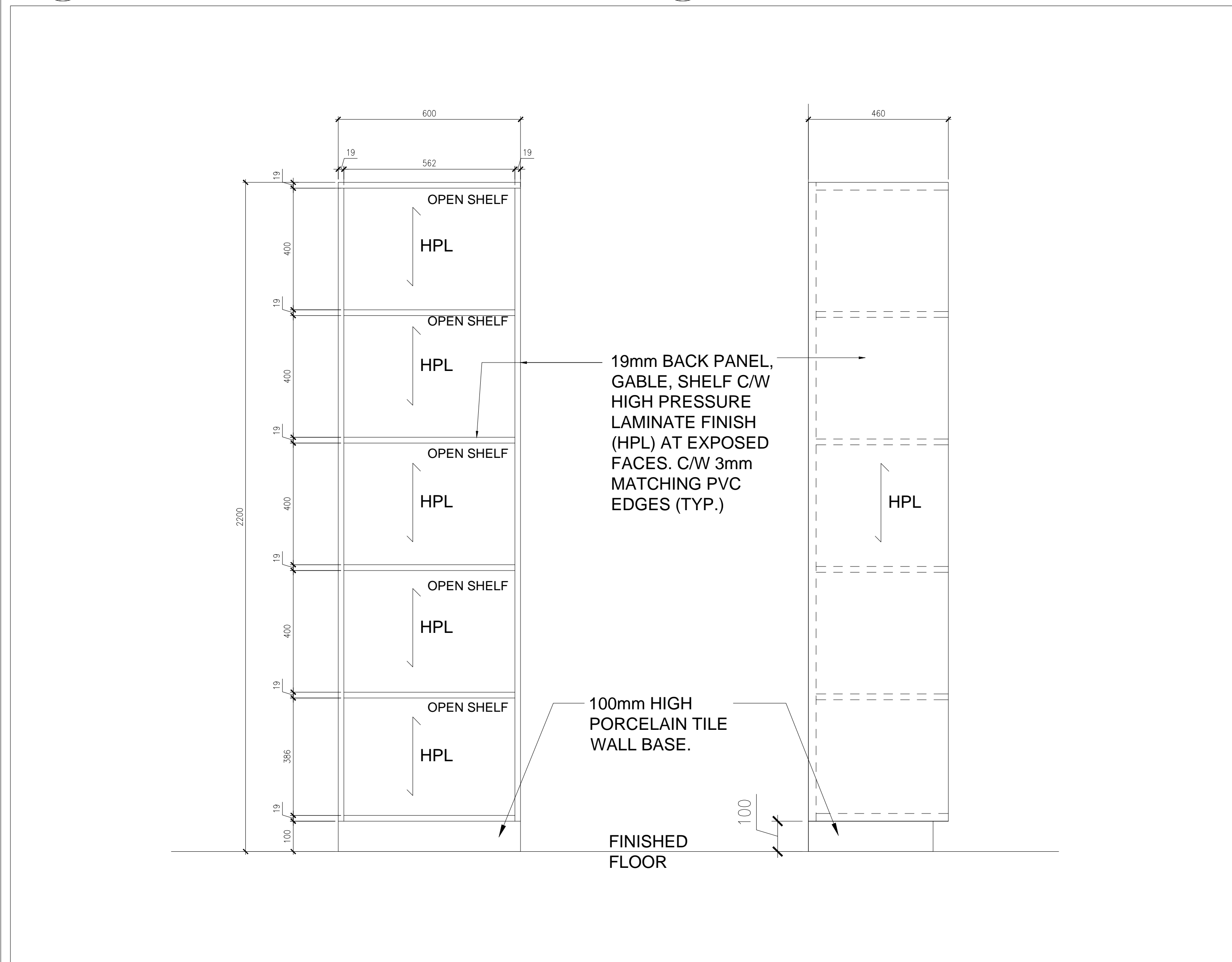
3 MILLWORK SECTION AT KITCHEN
 A7.3 1:10



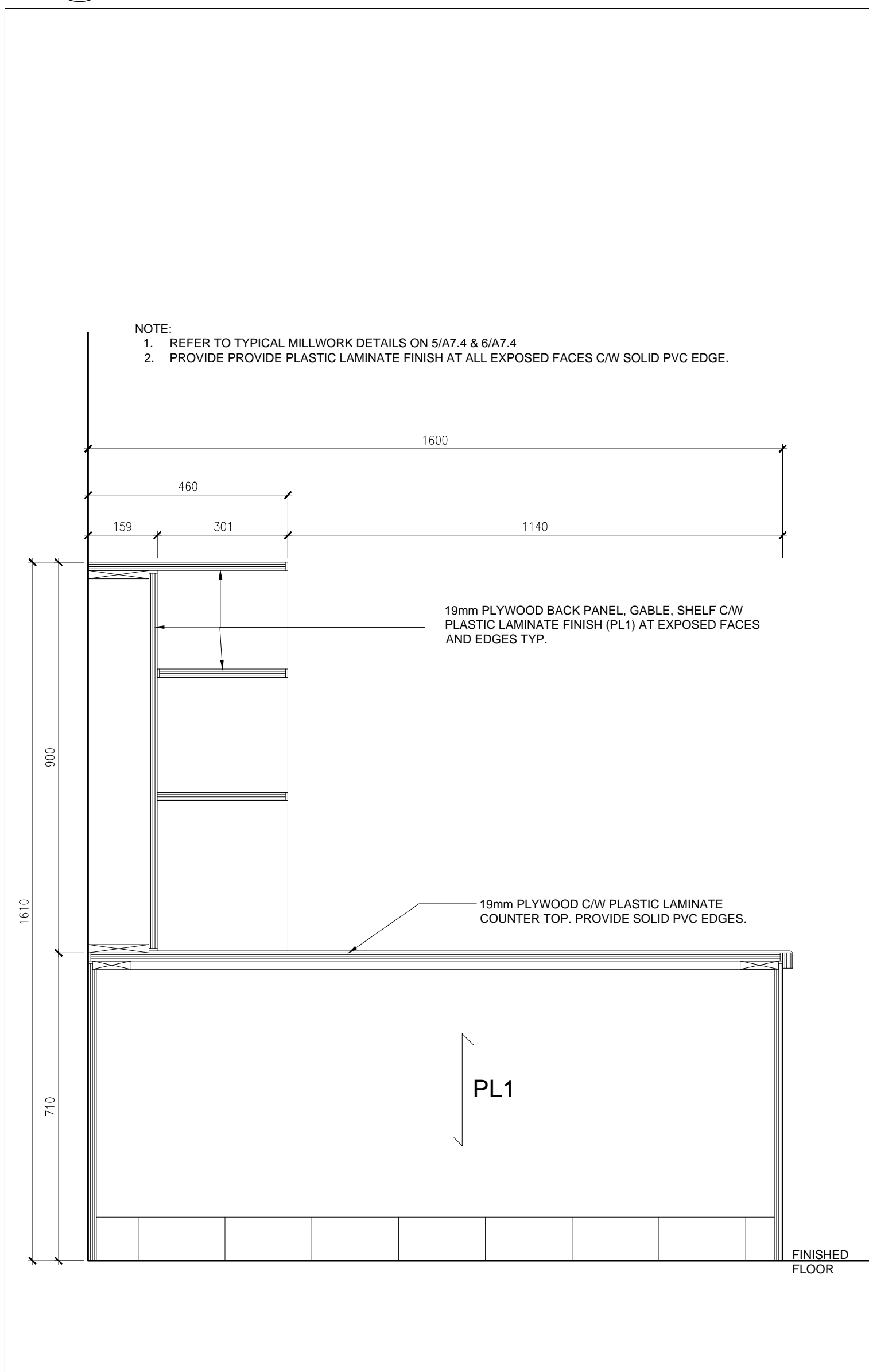
2 MILLWORK SECTION AT KITCHEN
 A7.3 1:10



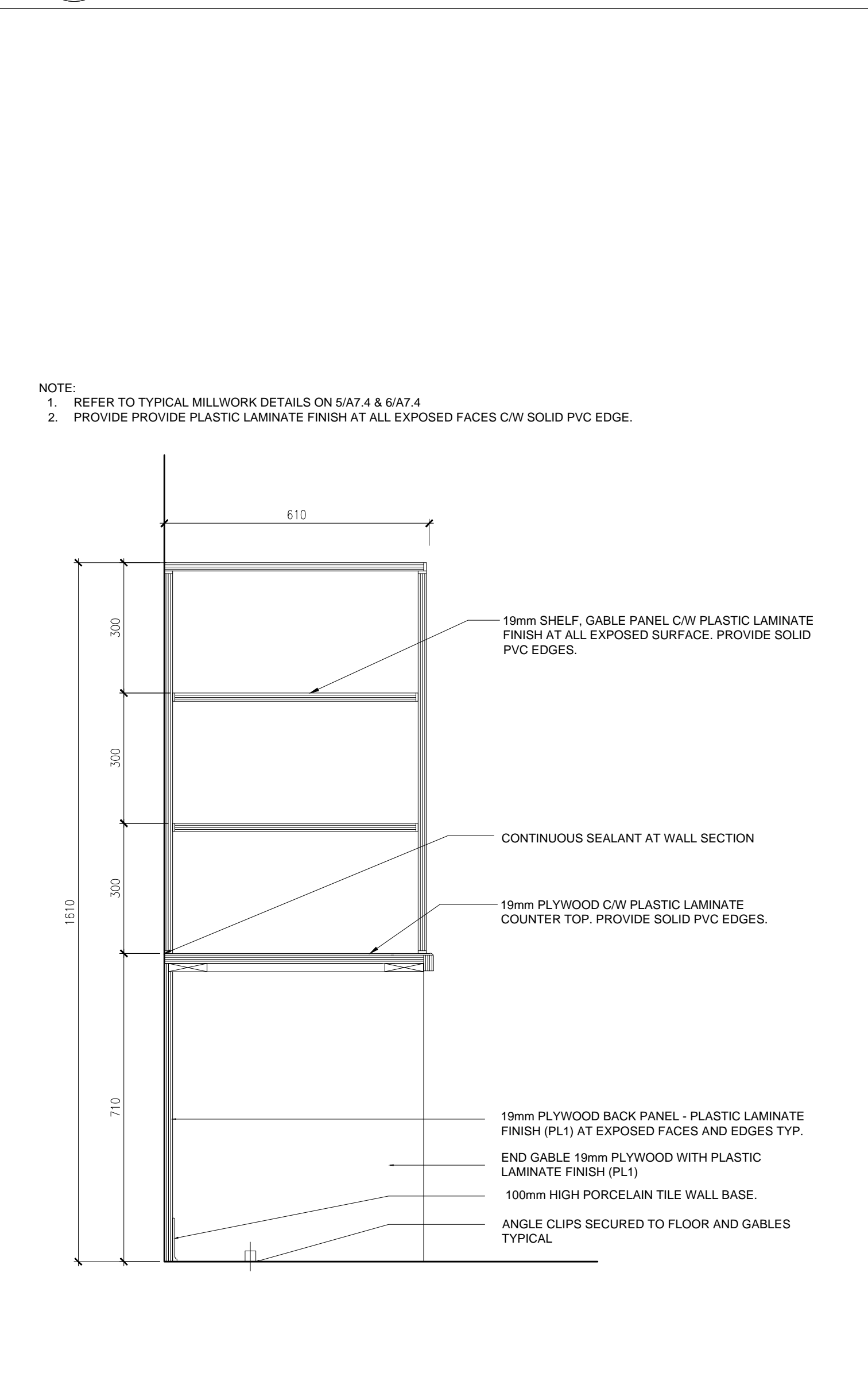
1 MILLWORK SECTION AT KITCHEN
 A7.3 1:10



8 TYPICAL MILLWORK AT WASHROOM
 A7.3 1:10



7 TYPICAL MILLWORK SECTION AT DORM
 A7.3 1:10



6 TYPICAL MILLWORK SECTION AT DORM
 A7.3 1:10

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project
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 The Corporation of the Municipality of Clairmont

2430 Durham Regional Hwy 2, Bowmanville, ON L1C 6C8

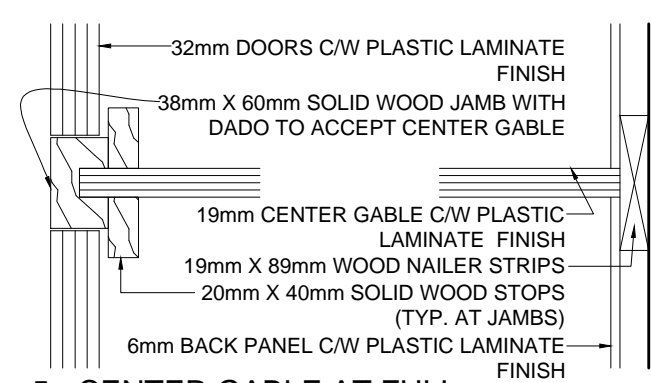
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 MILLWORK DETAILS
 drawing scale
 AS NOTED
 ward99 project number
 24008 - DURHAM FIRE STATION

ward99 architects
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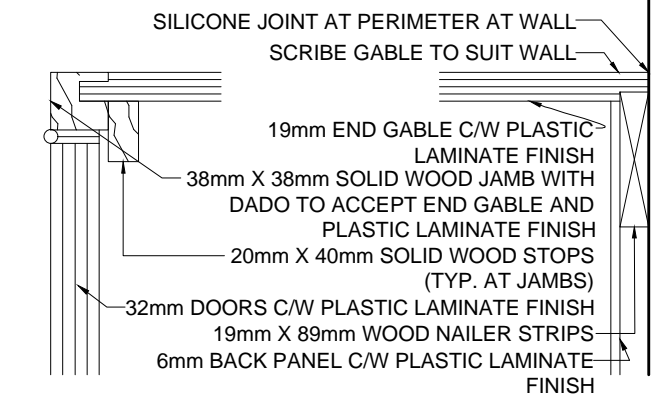
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A7.3

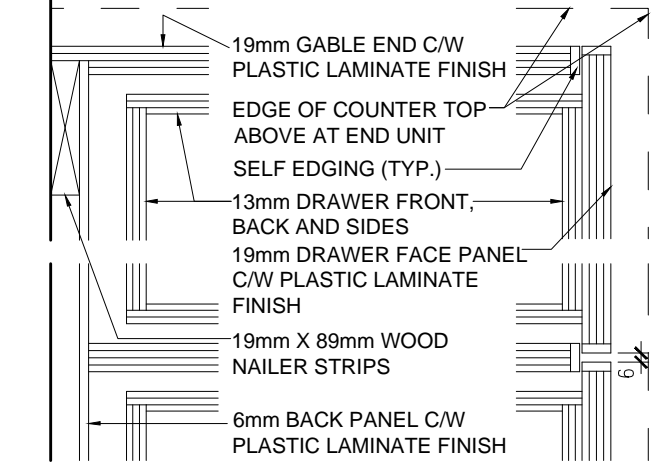
7611 Pine Valley Dr, Unit 11
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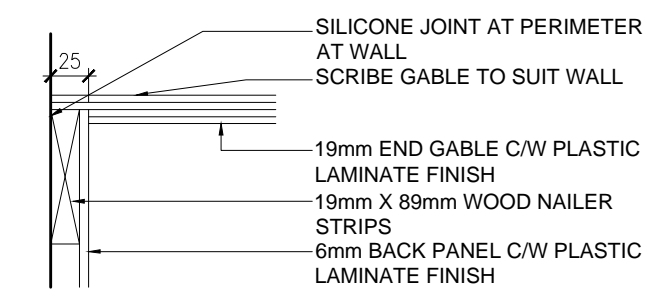
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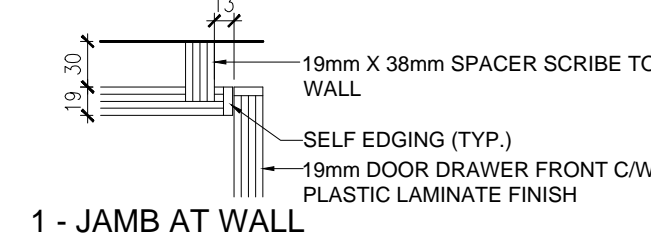
4 - END GABLE AT FULL HEIGHT CLOSET



3 - PLAN AT DRAWER

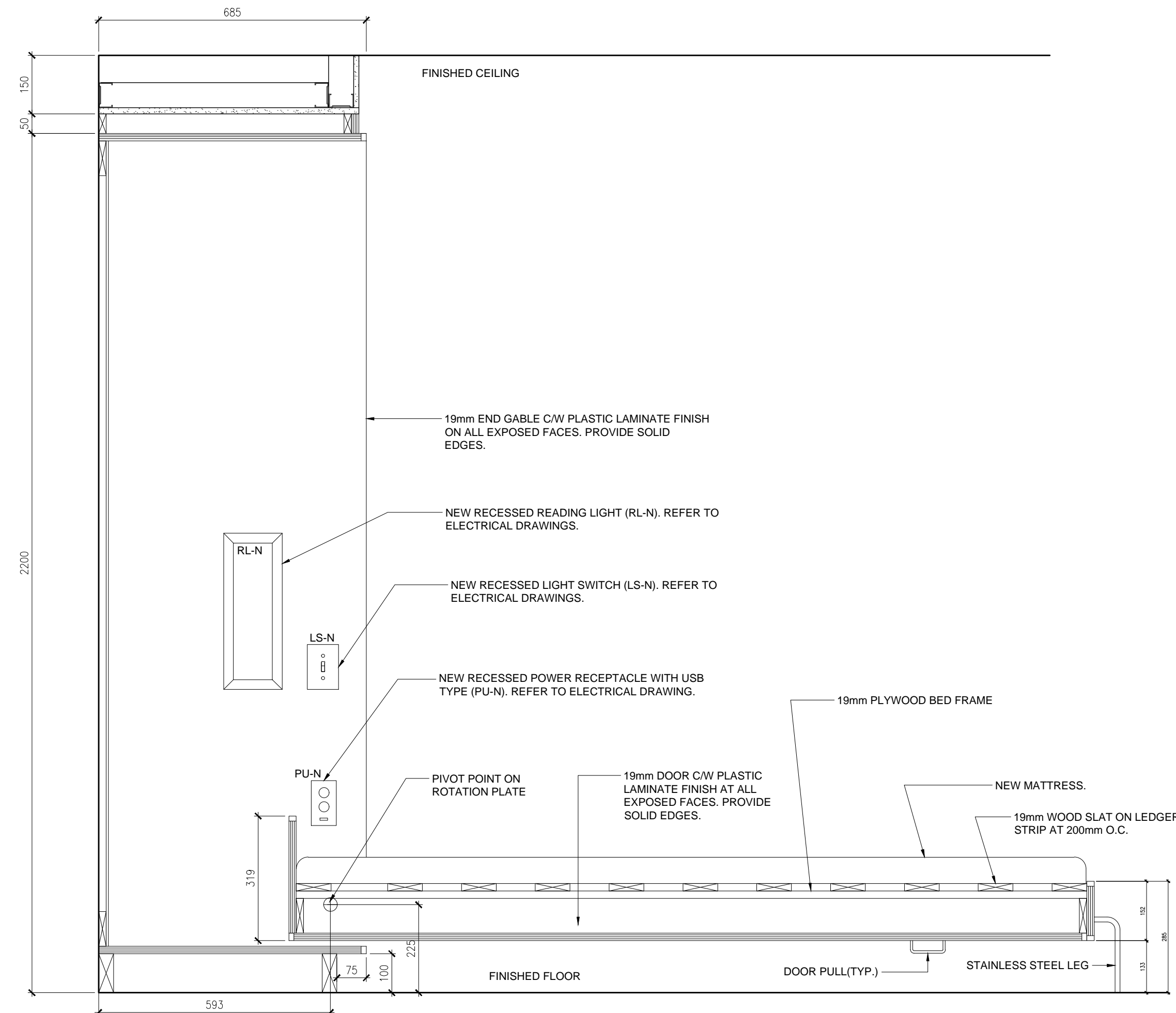


2 - GABLE AT WALL

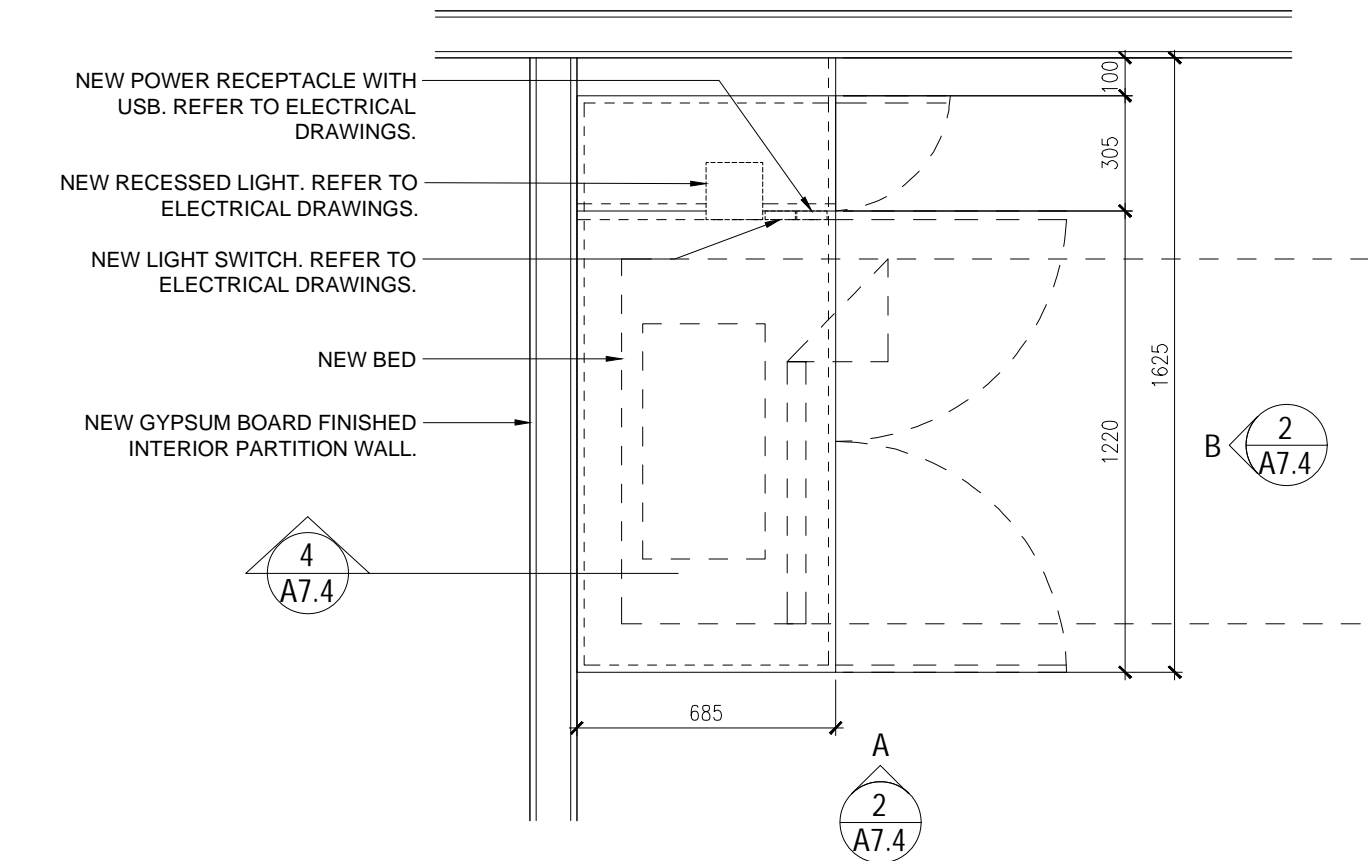


1 - JAMB AT WALL

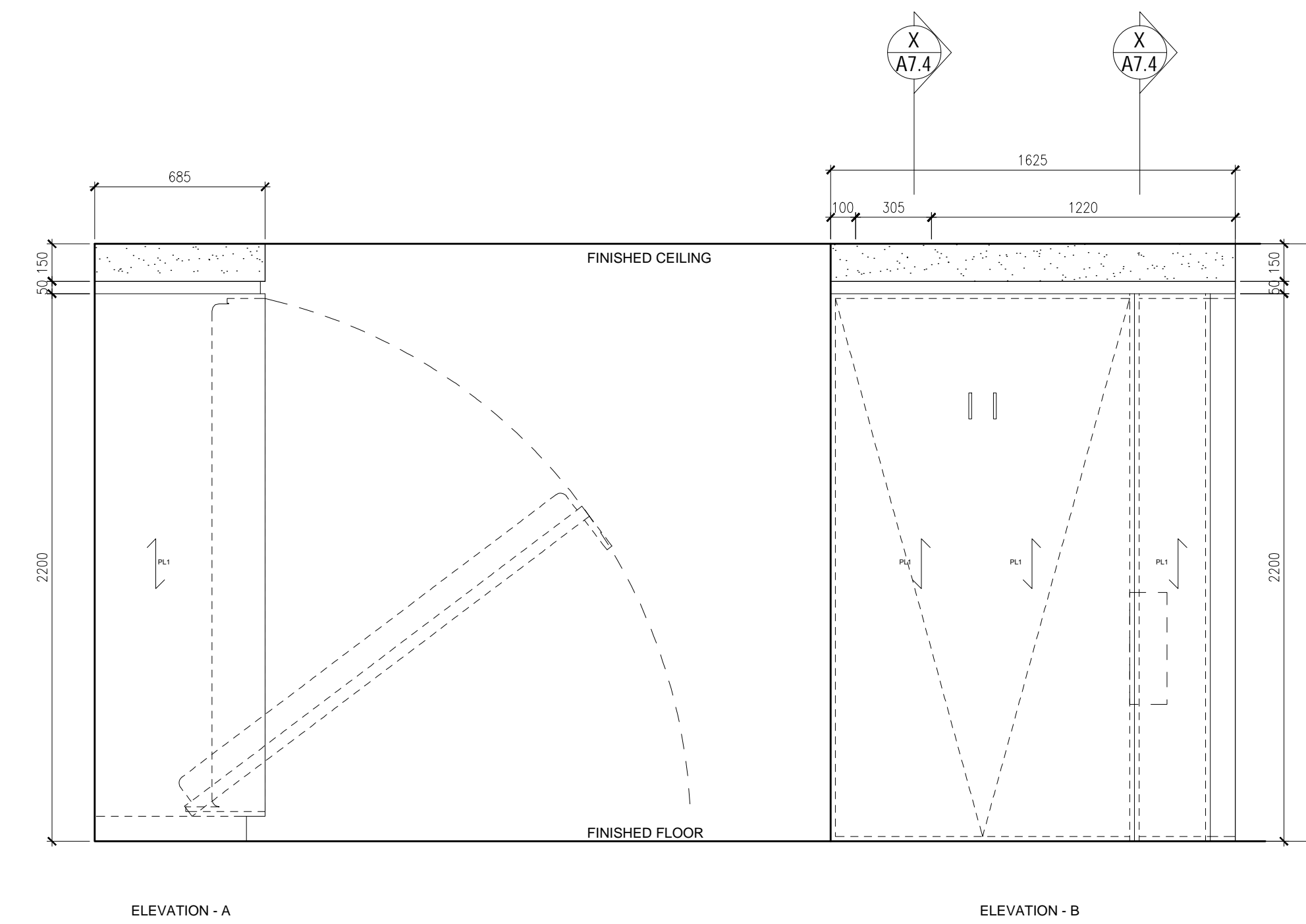
5 TYPICAL MILLWORK PLAN DETAIL
A7.4 1:5



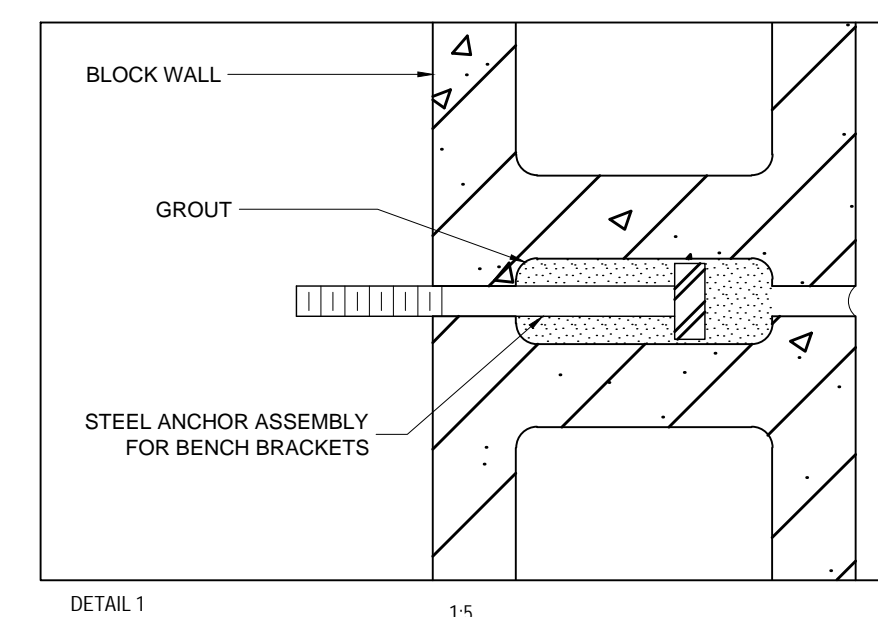
4 MILLWORK SECTION
A7.4 1:10



1 TYPICAL MILLWORK PLAN AT OFFICE
A7.4 1:20

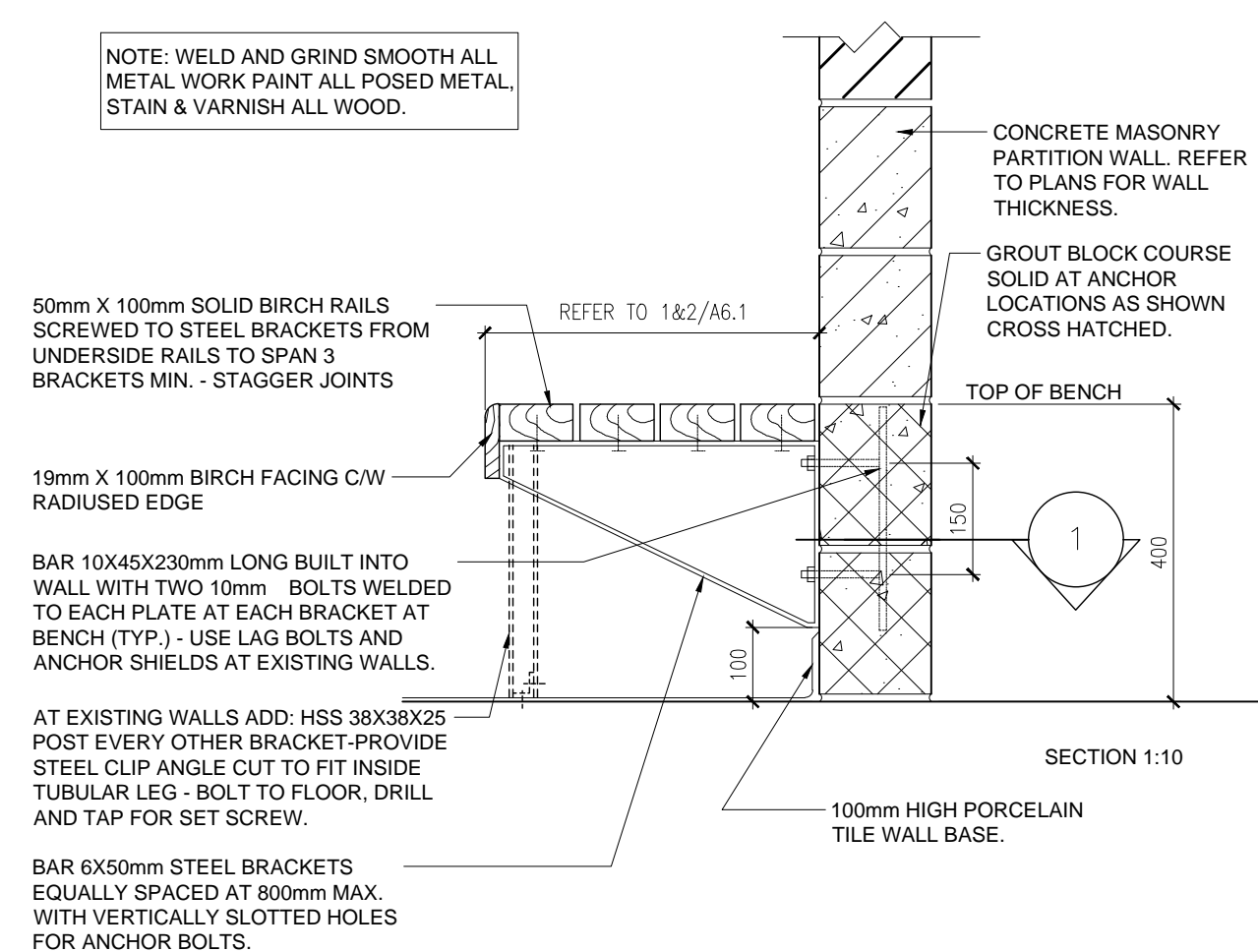


2 TYPICAL MILLWORK ELEVATION AT OFFICE
A7.4 1:20

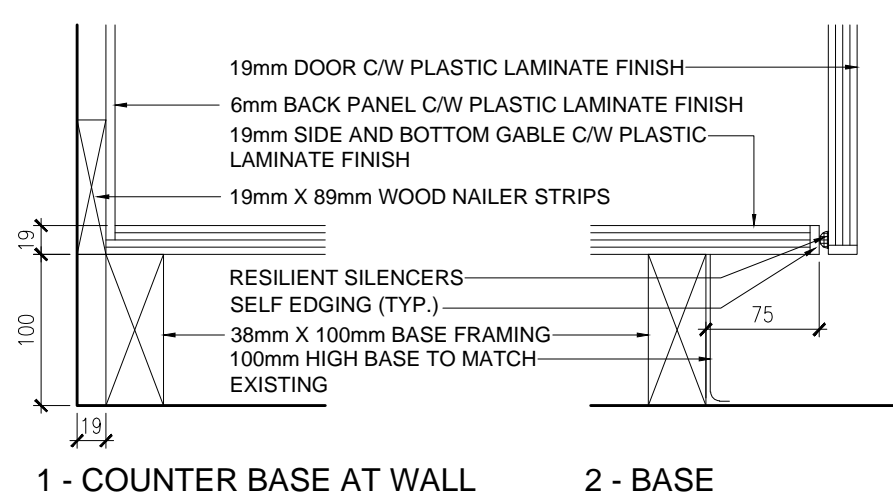


DETAIL 1

NOTE: WELD AND GRIND SMOOTH ALL METAL WORK. PAINT ALL POSSED METAL, STAIN & VARNISH ALL WOOD.

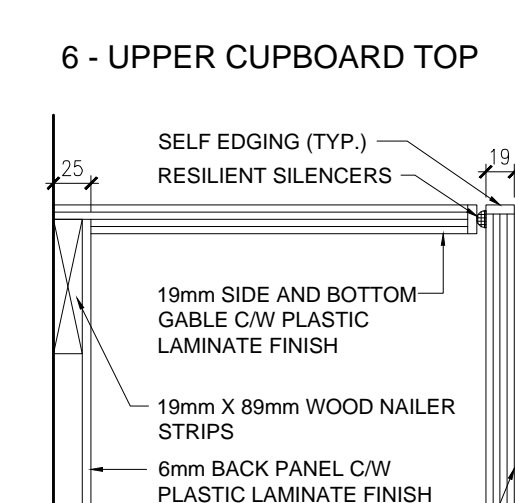


8 TYPICAL WOOD BENCH DETAIL AT WASHROOM
A7.4 1:10

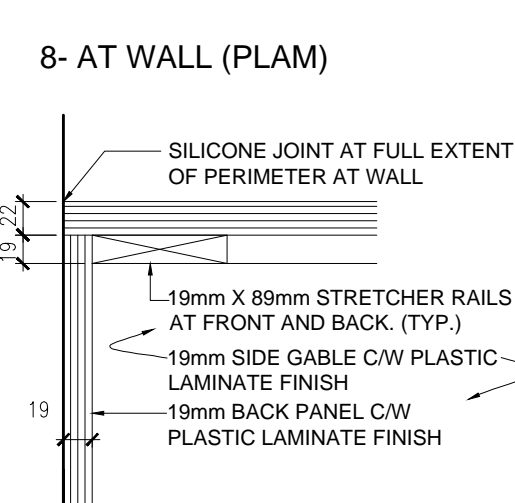


1 - COUNTER BASE AT WALL

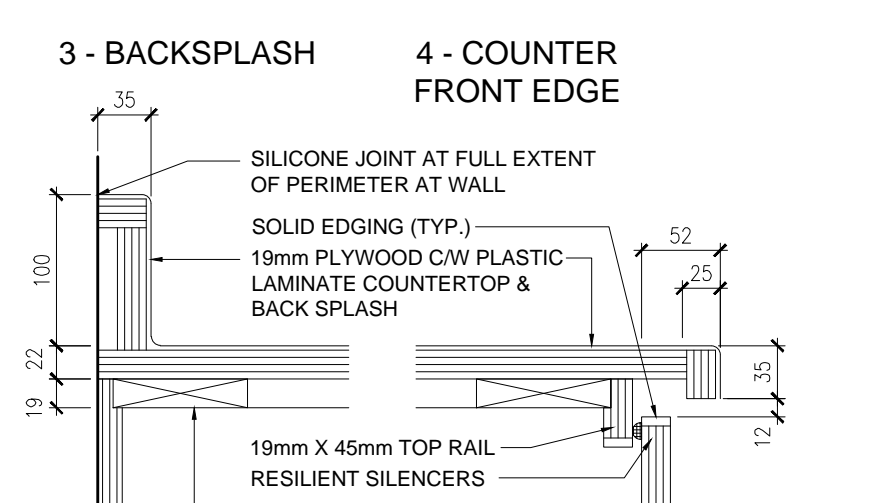
2 - BASE



6 - UPPER CUPBOARD TOP

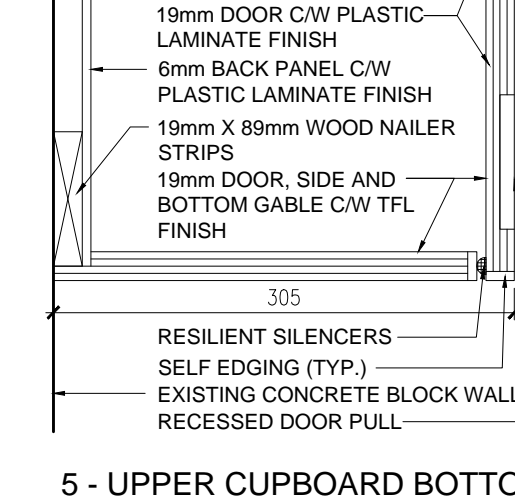


8 - AT WALL (PLAM)

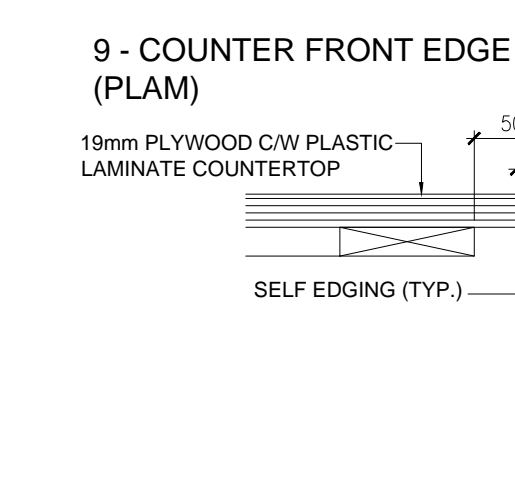


3 - BACKSPLASH

4 - COUNTER FRONT EDGE

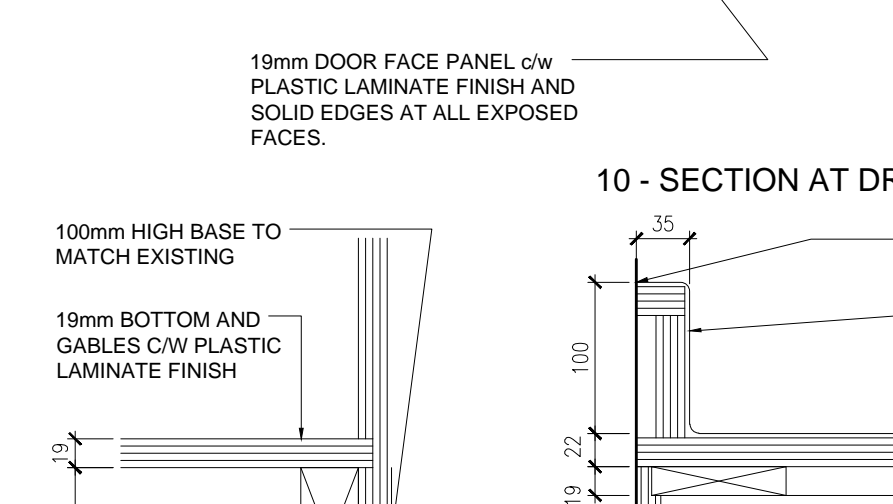


5 - UPPER CUPBOARD BOTTOM



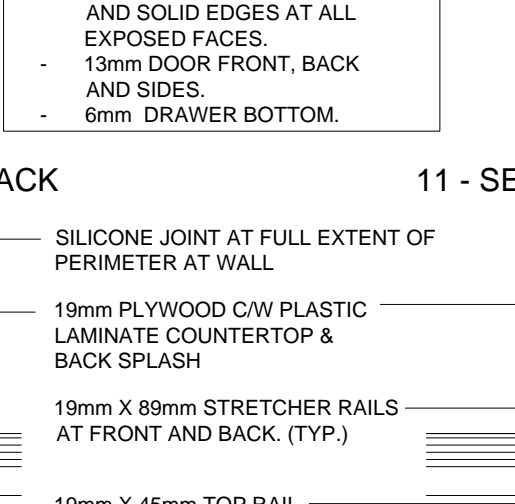
9 - COUNTER FRONT EDGE (PLAM)

DRAWER CONSTRUCTION:
- 19mm DOOR FACE PANEL c/w PLASTIC LAMINATE FINISH AND SOLID EDGES AT ALL EXPOSED FACES.
- 13mm DOOR FRONT, BACK AND SIDES.
- 6mm DRAWER BOTTOM.



7 - END GABLE BASE

10 - SECTION AT DRAWER BACK



11 - SECTION AT DRAWER FRONT

6 TYPICAL MILLWORK DETAIL
A7.4 1:5

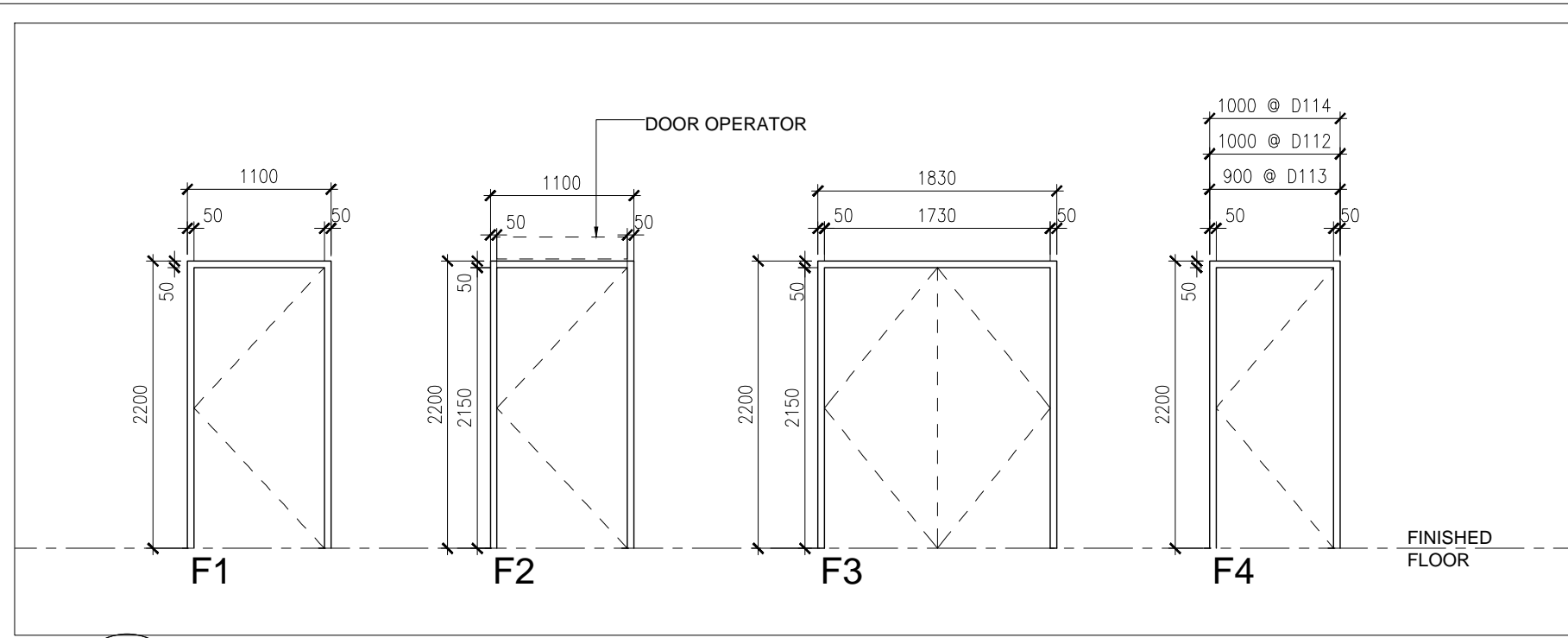
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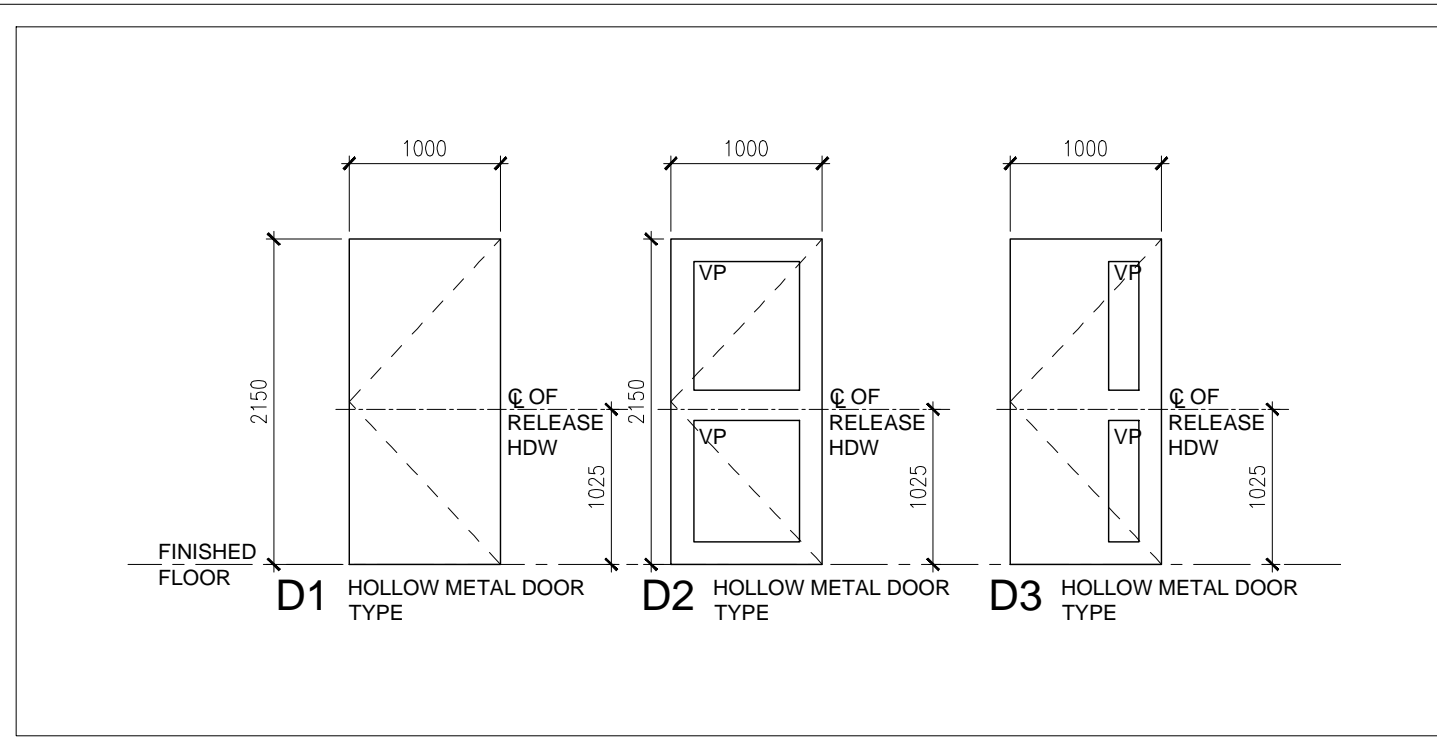
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project
RENOVATION TO CLARINGTON FIRE & EMERGENCY SERVICES STATION 1
The Corporation of the Municipality of Clarington
2430 Durham Regional Hwy 2, Bowmanville, ON L1C 6C8
drawing
DETAILS
drawing scale
AS NOTED
ward99 project number
24008 - DURHAM FIRE STATION

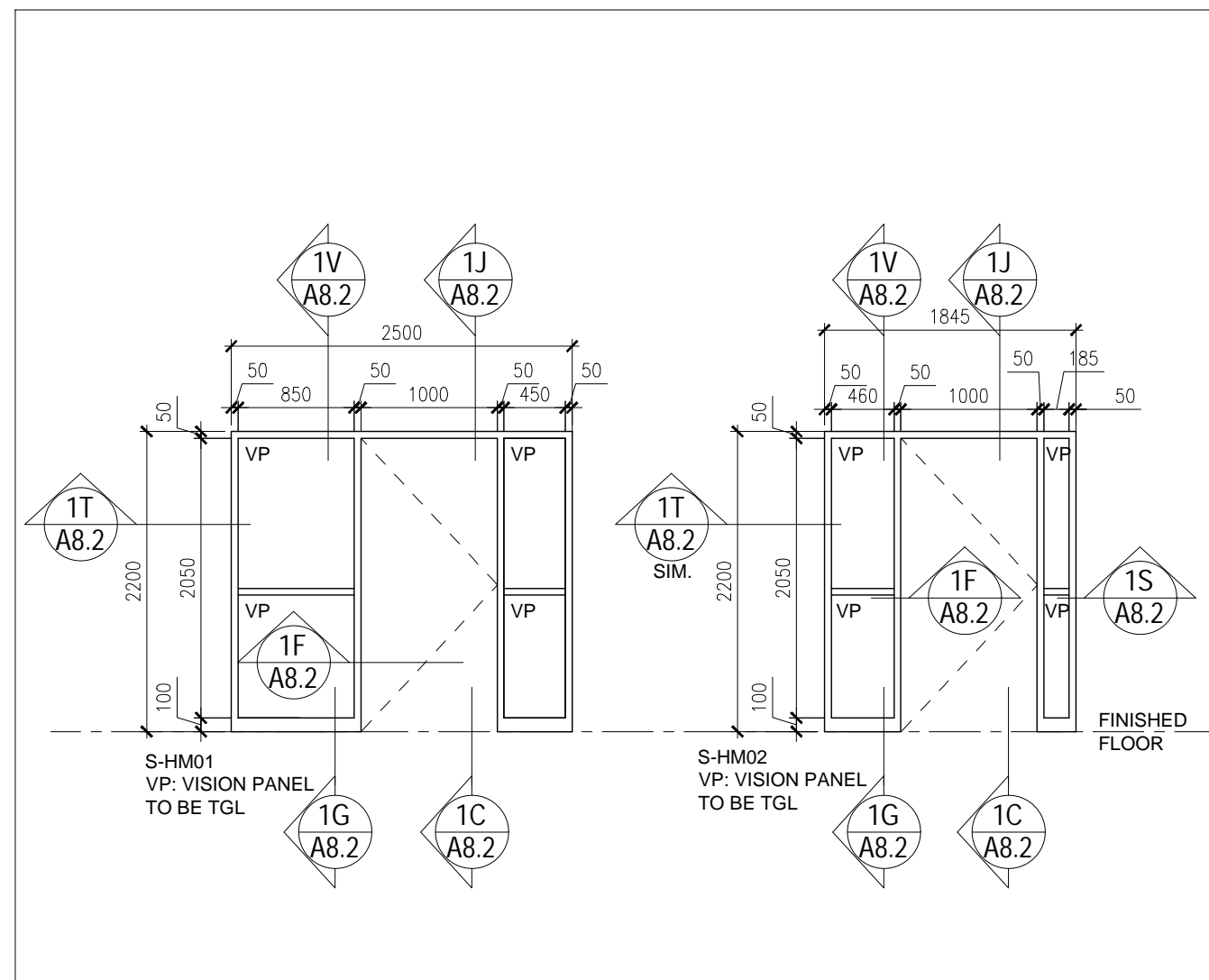
ward99 architects
drawing no.
Wa RD 99
A7.4
7611 Pine Valley Dr, Unit 11
Woodbridge, ON L4L 0A2
416 613 5880 www.ward99architects.com



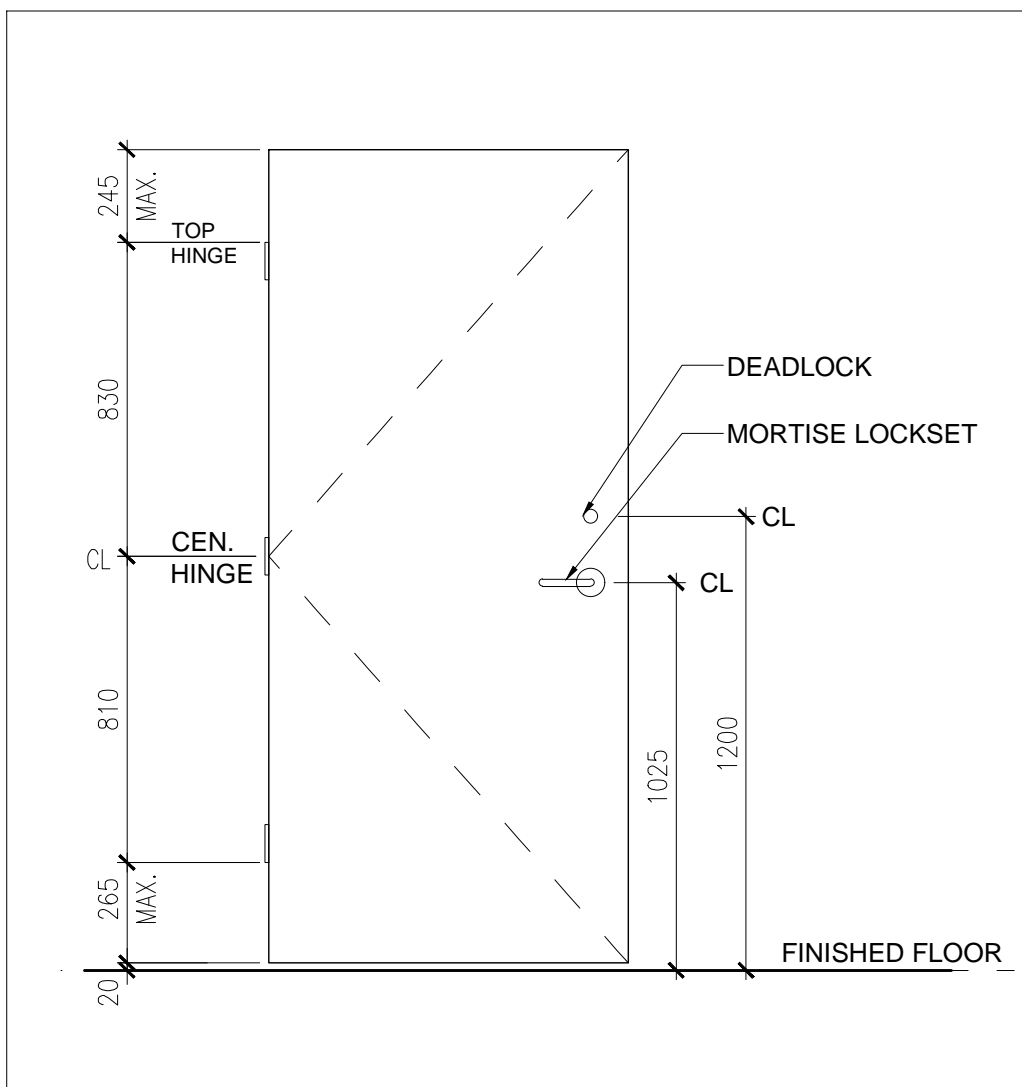
2 DOOR FRAME TYPE ELEVATION
A8.1 1:50



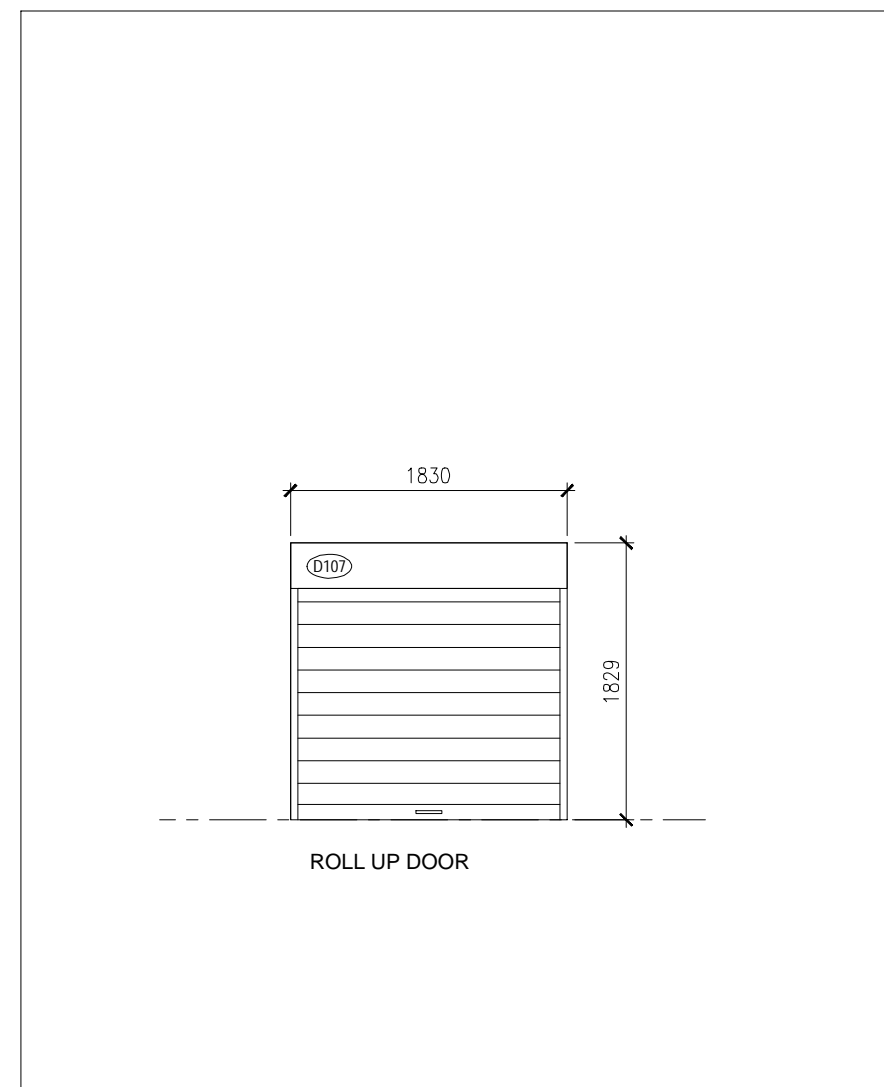
3 DOOR TYPE ELEVATION
A8.1 1:50



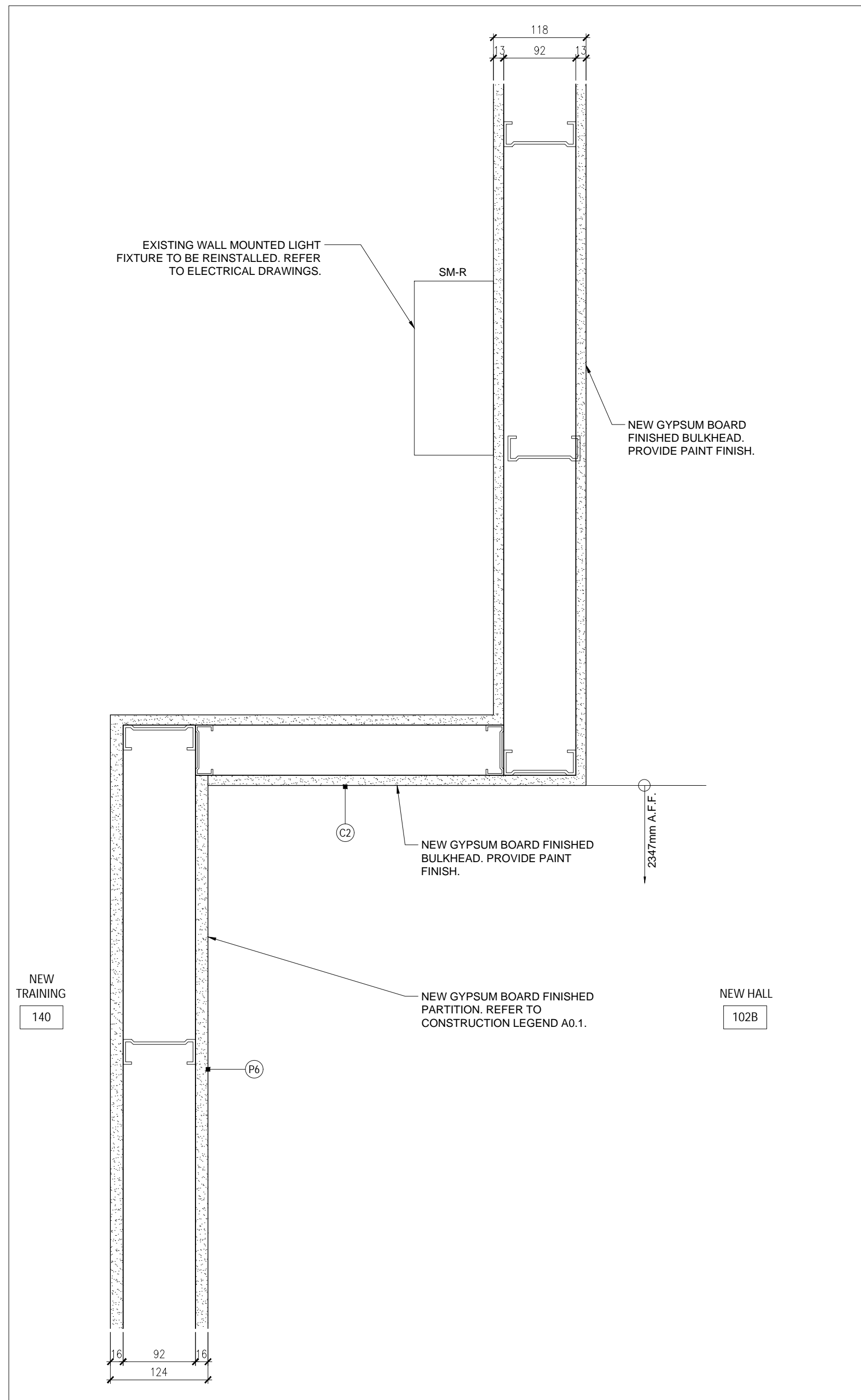
4 SCREEN TYPE ELEVATION
A8.1 1:50



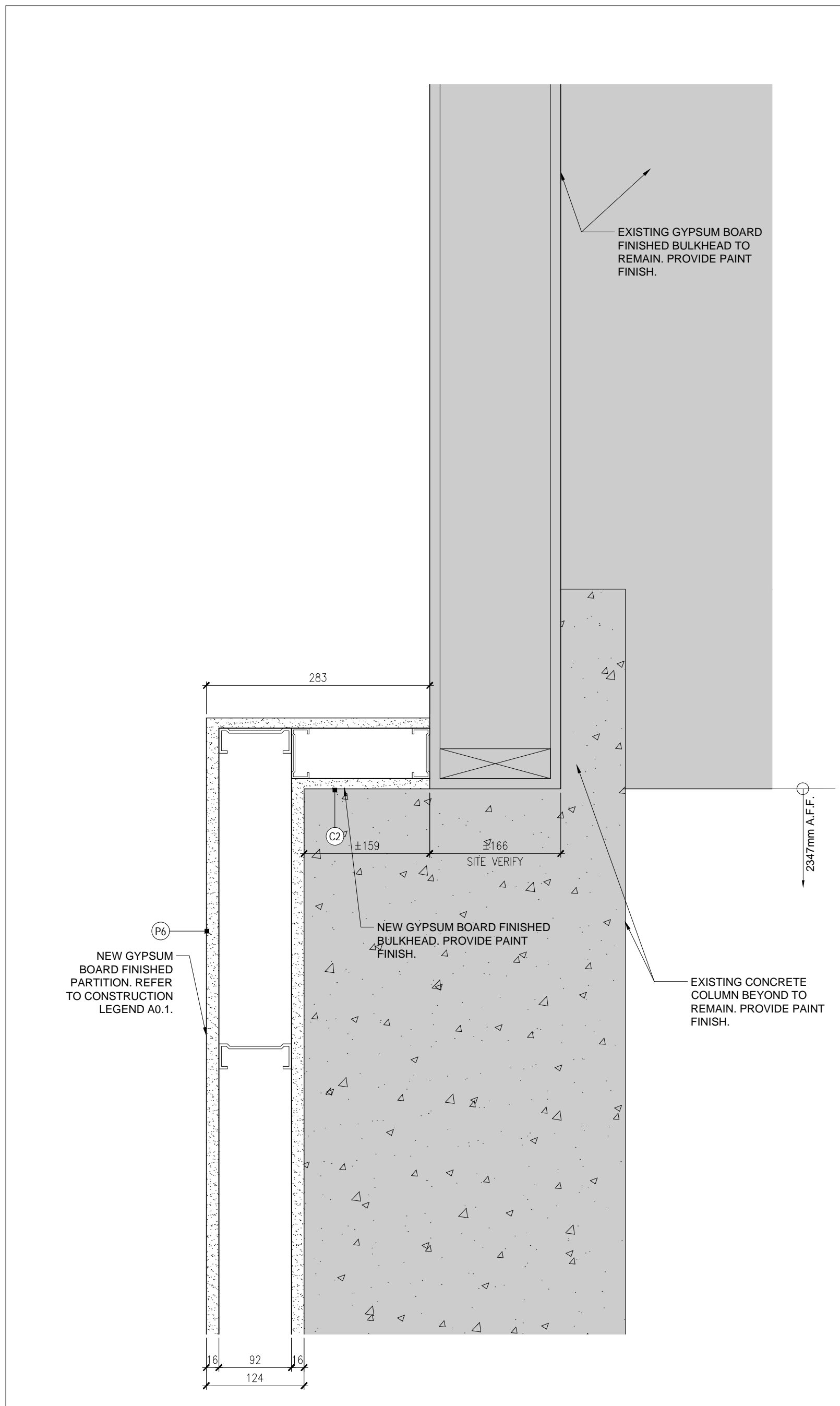
5 DOOR HARDWARE
A8.1 1:20



6 ROLL UP DOOR ELEVATION
A8.1 1:50



7 RCP DETAIL AT NEW TRAINING ROOM 140
A8.1 1:5



8 RCP DETAIL AT NEW TRAINING ROOM 140
A8.1 1:5

DOOR AND HARDWARE SCHEDULE												DOOR, DOOR FRAME & SCREEN NOTES	DOOR HARDWARE REQUIREMENTS & NOTES		
DOOR No.	ROOM NAME	FIRE RATING	DOOR				DOOR FRAME AND SCREEN								
			WIDTH	HEIGHT	THICK	MATERIAL	FINISH	TYPE	VISION PANEL	MATERIAL	FINISH	TYPE	VISION PANEL		
D101	NEW HALL	-	1000mm	2150mm	45mm	HOLLOW METAL	PNT	D3	TGL	HOLLOW METAL	PNT	F1	-	REFER TO HOLLOW METAL DOOR FRAME DETAILS C, J, K ON DRAWING 1/A8.2	1-1/2 HINGE (PAIRS), LOCKSET, MASTER KEY, CYLINDER, KICK PLATE, OVERHEAD STOP, ELECTRIC STRIKE AND CONNECTION TO CARD READER. REFER TO ELECTRICAL DRAWINGS.
D102B	NEW HALL	-	1000mm	2150mm	45mm	HOLLOW METAL	PNT	D3	TGL	HOLLOW METAL	PNT	F1	-	REFER TO HOLLOW METAL DOOR FRAME DETAILS C, L, M ON DRAWING 1/A8.2	1-1/2 HINGE (PAIRS), LOCKSET, MASTER KEY, CYLINDER, KICK PLATE, OVERHEAD STOP, ELECTRIC STRIKE AND CONNECTION TO CARD READER. REFER TO ELECTRICAL DRAWINGS.
D104	NEW ENTRY	-	1000mm	2150mm	45mm	HOLLOW METAL	PNT	D2	TGL	HOLLOW METAL	PNT	S-HM01	TGL	REFER TO SCREEN ELEVATION TYPE S-HM01 ON DRAWING 4/A8.1 FOR HOLLOW METAL FRAMED SCREEN DETAILS.	1-1/2 HINGE (PAIRS), LOCKSET, MASTER KEY, CYLINDER, KICK PLATE, OVERHEAD STOP
D106	NEW ENTRY	-	1000mm	2150mm	45mm	HOLLOW METAL	PNT	D2	TGL	HOLLOW METAL	PNT	S-HM02	TGL	REFER TO SCREEN ELEVATION TYPE S-HM02 ON DRAWING 4/A8.1 FOR HOLLOW METAL FRAMED SCREEN DETAILS.	1-1/2 HINGE (PAIRS), LOCKSET, MASTER KEY, CYLINDER, KICK PLATE, OVERHEAD STOP
D107	EX. LAUNDRY AND HOSE TOWER	-	1730mm	1830mm	45mm	HOLLOW METAL	PNT	6/A8.1	-	PRE-FINISHED STEEL	PNT	-	-	REFER TO DRAWING 6/A8.1 FOR MANUAL ROLL-UP DOOR ELEVATION TYPE AND SPECIFICATIONS FOR DOOR TYPE.	AS PER MANUFACTURERS RECOMMENDATIONS.
D112	EX. WORKSHOP	-	900mm	2150mm	45mm	HOLLOW METAL	PNT	D1	-	HOLLOW METAL	PNT	F4	-	REFER TO HOLLOW METAL FRAME DETAILS S, R, C ON DRAWING 1/A8.2.	1-1/2 HINGE (PAIRS), LOCKSET, MASTER KEY, CYLINDER, KICK PLATE, OVERHEAD STOP
D113	EX. MASK REPAIR	-	800mm	2150mm	45mm	HOLLOW METAL	PNT	D1	-	HOLLOW METAL	PNT	F4	-	REFER TO HOLLOW METAL DOOR DETAILS B, C, R, S ON DRAWING 1/A8.2.	1-1/2 HINGE (PAIRS), LOCKSET, MASTER KEY, CYLINDER, KICK PLATE, OVERHEAD STOP
D114	NEW GEAR ROOM	-	915mm	2150mm	45mm	HOLLOW METAL	PNT	D1	-	HOLLOW METAL	PNT	F4	-	REFER TO HOLLOW METAL DOOR FRAME DETAILS S, A, C ON DRAWING 1/A8.2.	1-1/2 HINGE (PAIRS), LEVER PASSAGE SET, KICK PLATE, OVERHEAD STOP
D122	NEW MEN'S WASHROOM	-	1000mm	2150mm	45mm	HOLLOW METAL	PNT	D1	-	HOLLOW METAL	PNT	F1	-	REFER TO HOLLOW METAL DOOR DETAILS H, I, C ON DRAWINGS 1/A8.2.	1-1/2 HINGE (PAIRS), PUSH PLATE, PULL HANDLE AND PLATE, KICK PLATE, OVERHEAD STOP
D123	NEW WOMEN'S WASHROOM	-	1000mm	2150mm	45mm	HOLLOW METAL	PNT	D1	-	HOLLOW METAL	PNT	F1	-	REFER TO HOLLOW METAL DOOR DETAILS A, B, C ON DRAWING 1/A8.2.	1-1/2 HINGE (PAIRS), PUSH PLATE, PULL HANDLE AND PLATE, KICK PLATE, OVERHEAD STOP
D125	NEW IT ROOM	-	1000mm	2150mm	45mm	HOLLOW METAL	PNT	D1	-	HOLLOW METAL	PNT	F1	-	REFER TO HOLLOW METAL DOOR DETAILS C, E, H ON DRAWING 1/A8.2.	1-1/2 HINGE (PAIRS), LOCKSET, MASTER KEY, CYLINDER, KICK PLATE, OVERHEAD STOP
D127A	D1	-	1000mm	2150mm	45mm	HOLLOW METAL	PNT	D1	-	HOLLOW METAL	PNT	F1	-	REFER TO HOLLOW METAL DOOR DETAILS C, J, K ON DRAWING 1/A8.2.	1-1/2 HINGE (PAIRS), LEVER PASSAGE SET, KICK PLATE, OVERHEAD STOP
D127B	D2	-	1000mm	2150mm	45mm	HOLLOW METAL	PNT	D1	-	HOLLOW METAL	PNT	F1	-	REFER TO HOLLOW METAL DOOR FRAME DETAILS C, J, K ON DRAWING 1/A8.2.	1-1/2 HINGE (PAIRS), LEVER PASSAGE SET, KICK PLATE, OVERHEAD STOP
D127C	D3	-	1000mm	2150mm	45mm	HOLLOW METAL	PNT	D1	-	HOLLOW METAL	PNT	F1	-	REFER TO HOLLOW METAL DOOR FRAME DETAILS C, J, K ON DRAWING 1/A8.2.	1-1/2 HINGE (PAIRS), LEVER PASSAGE SET, KICK PLATE, OVERHEAD STOP
D127D	D4	-	1000mm	2150mm	45mm	HOLLOW METAL	PNT	D1	-	HOLLOW METAL	PNT	F1	-	REFER TO HOLLOW METAL DOOR FRAME DETAILS C, J, K ON DRAWING 1/A8.2.	1-1/2 HINGE (PAIRS), LEVER PASSAGE SET, KICK PLATE, OVERHEAD STOP
D127E	D5	-	1000mm	2150mm	45mm	HOLLOW METAL	PNT	D1	-	HOLLOW METAL	PNT	F1	-	REFER TO HOLLOW METAL DOOR FRAME DETAILS C, J, K ON DRAWING 1/A8.2.	1-1/2 HINGE (PAIRS), LEVER PASSAGE SET, KICK PLATE, OVERHEAD STOP
D127F	D6	-	1000mm	2150mm	45mm	HOLLOW METAL	PNT	D1	-	HOLLOW METAL	PNT	F1	-	REFER TO HOLLOW METAL DOOR FRAME DETAILS C, J, K ON DRAWING 1/A8.2.	1-1/2 HINGE (PAIRS), LEVER PASSAGE SET, KICK PLATE, OVERHEAD STOP
D127G	D7	-	1000mm	2150mm	45mm	HOLLOW METAL	PNT	D1	-	HOLLOW METAL	PNT	F1	-	REFER TO HOLLOW METAL DOOR FRAME DETAILS C, J, K ON DRAWING 1/A8.2.	1-1/2 HINGE (PAIRS), LEVER PASSAGE SET, KICK PLATE, OVERHEAD STOP
D127H	D8	-	1000mm	2150mm	45mm	HOLLOW METAL	PNT	D1	-	HOLLOW METAL	PNT	F1	-	REFER TO HOLLOW METAL DOOR FRAME DETAILS C, J, K ON DRAWING 1/A8.2.	1-1/2 HINGE (PAIRS), LEVER PASSAGE SET, KICK PLATE, OVERHEAD STOP
D137	NEW PLATOON CHIEF'S OFFICE	-	1000mm	2150mm	45mm	HOLLOW METAL	PNT	D1	-	HOLLOW METAL	PNT	F1	-	REFER TO HOLLOW METAL DOOR FRAME DETAILS C, J, K ON DRAWING 1/A8.2.	1-1/2 HINGE (PAIRS), LOCKSET, MASTER KEY, CYLINDER, KICK PLATE, FLOOR STOP
D138	NEW CAPTAIN'S OFFICE	-	1000mm	2150mm	45mm	HOLLOW METAL	PNT	D1	-	HOLLOW METAL	PNT	F1	-	REFER TO HOLLOW METAL DOOR FRAME DETAILS C, J, K ON DRAWING 1/A8.2.	1-1/2 HINGE (PAIRS), LOCKSET, MASTER KEY, CYLINDER, KICK PLATE, FLOOR STOP
D139	NEW CAPTAIN'S OFFICE	-	1000mm	2150mm	45mm	HOLLOW METAL	PNT	D1	-	HOLLOW METAL	PNT	F1	-	REFER TO HOLLOW METAL DOOR FRAME DETAILS C, J, K ON DRAWING 1/A8.2.	1-1/2 HINGE (PAIRS), LOCKSET, MASTER KEY, CYLINDER, KICK PLATE, FLOOR STOP
D140	NEW TRAINING	-	1000mm	2150mm	45mm	HOLLOW METAL	PNT	D1	-	HOLLOW METAL	PNT	F1	-	REFER TO HOLLOW METAL DOOR FRAME DETAILS C, J, K ON DRAWING 1/A8.2. NOTE WALL TYPE TO BE PG.	1-1/2 HINGE (PAIRS), LOCKSET, MASTER KEY, CYLINDER, PULL PLATES, KICK PLATE, OVERHEAD STOP
D140A	NEW STORAGE	-	1830mm	2150mm	45mm	HOLLOW METAL	PNT	2 @ D1	-	HOLLOW METAL	PNT	F3	-	REFER TO HOLLOW METAL DOOR FRAME DETAILS C, J, K ON DRAWING 1/A8.2. NOTE THAT WALL TYPE IS TO BE PG.	PER DOOR: 1-1/2 HINGE (PAIRS), LOCKSET, MASTER KEY, CYLINDER, KICK PLATE, 180 DEGREE OPENING
D107A	EX. LAUNDRY AND HOSE TOWER	45 min	1000mm	2150mm	45mm	INSULATED HOLLOW METAL	PNT	D1	-	INSULATED HOLLOW METAL	PNT	F1	-	REFER TO INSULATED HOLLOW METAL DOOR FRAME DETAILS N, O, P ON DRAWING 1/A8.2.	1-1/2 HINGE (PAIRS), LOCKSET, MASTER KEY, CYLINDER, KICK PLATE, OVERHEAD STOP, CLOSER, PERIMETER WEATHER STRIPPING, THRESHOLD.
D128	EX. HALL	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	EXISTING HOLLOW METAL DOOR AND FRAME TO REMAIN.	PROVIDE NEW CARD READER ON EXISTING DOOR. REFER TO ELECTRICAL DRAWINGS.

GENERAL DOOR HARDWARE SCHEDULE NOTES

- REFER TO DRAWING 3/A8.1 FOR HOLLOW METAL DOOR ELEVATION TYPES.
- REFER TO DRAWING 2/A8.1 FOR HOLLOW METAL FRAME ELEVATION TYPES.
- REFER TO DRAWING 4/A8.1 FOR INTERIOR HOLLOW METAL FRAME SCREEN ELEVATION TYPES.
- REFER TO DRAWING 6/A8.1 FOR ROLLED UP DOOR ELEVATION.
- SUPPLY AND INSTALL PAD LOCK SETS FOR ALL MILLWORK UNITS AS INDICATED ON THE FLOOR PLANS AND INTERIOR ELEVATIONS. MILLWORK UNITS ARE LOCATED DINING AND KITCHEN 132A. REFER TO MILLWORK DETAILS ON DRAWINGS A7.1 THROUGH A7.4 AND INTERIOR ELEVATION DRAWINGS A6.1 THROUGH TO A6.5.
- REFER TO DOOR HARDWARE SCHEDULE IN PROJECT MANUAL. SUPPLY AND INSTALLATION OF DOOR HARDWARE IS CARRIED IN THE PROJECT CASH ALLOWANCE.
- REFER TO DETAIL 5/A8.1 FOR DOOR HARDWARE LOCATION. NOTE THE FOLLOWING:
 - AT 1025mm FROM TOP OF FINISHED FLOOR TO CENTER OF LOCKSET/LATCH SET.
 - AT 100mm FROM DOOR SIDE EDGE TO CENTER OF DEADLOCK.
 DOOR HINGES TO BE INSTALLED AS FOLLOWS:
 - TOP HINGE: 125mm MAXIMUM FROM TOP OF HINGE TO TOP EDGE OF DOOR.
 - CENTER HINGE: CENTERED BETWEEN TOP AND BOTTOM DOOR HINGE.
 - BOTTOM HINGE: 265mm MAXIMUM FROM BOTTOM OF HINGE TO BOTTOM DOOR EDGE.
- PAINT ALL NEW AND EXISTING HOLLOW METAL DOORS AND FRAMES WITHIN THE PROJECT SCOPE OF WORK. CLEAN, PRIME, AND PROVIDE PAINT FINISH TO EXISTING HOLLOW METAL DOORS AND DOOR FRAMES ON BOTH SIDES.
- LIST OF ABBREVIATIONS:
 - TGL = 6mm THICK CLEAR TEMPERED GLASS
 - HM = HOLLOW METAL DOOR AND FRAME
 - PNT = PAINT FINISH
- SITE VERIFY ALL EXISTING CONDITIONS PRIOR TO FABRICATION AND INSTALLATION OF NEW HOLLOW METAL DOOR FRAMES.

1 DOOR SCHEDULE
A8.1 NTS.

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project
RENOVATION TO CLARINGTON FIRE & EMERGENCY SERVICES STATION 1
The Corporation of the Municipality of Clairmont
2430 Durham Regional Hwy 2, Bowmanville, ON L1C 6C8

drawing
DOOR SCHEDULE, DOOR, FRAME AND SCREEN ELEVATIONS
AND DETAILS
drawing scale

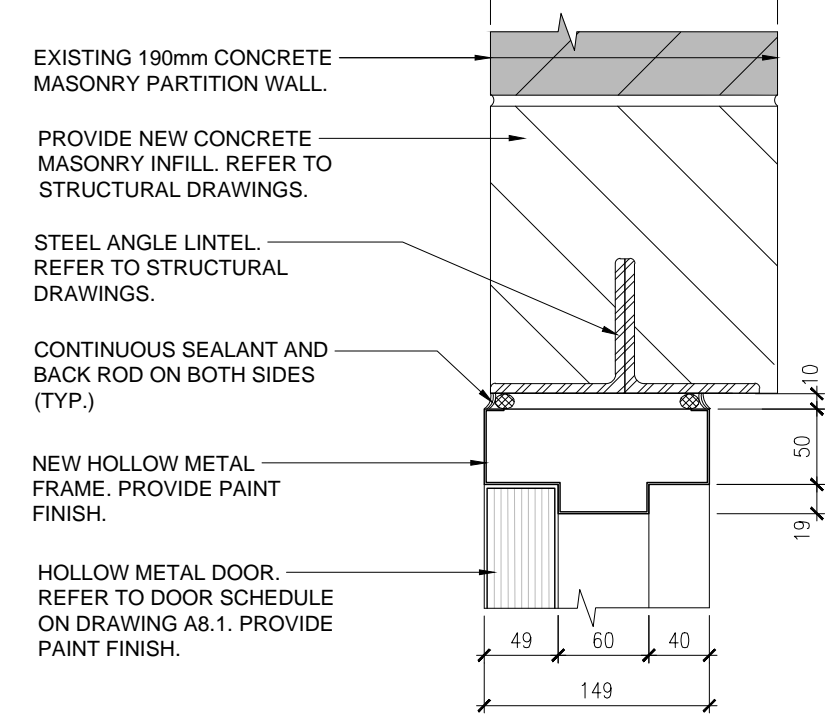
AS NOTED
ward99 project number
24008 - DURHAM FIRE STATION

ward99 architects
drawing no.

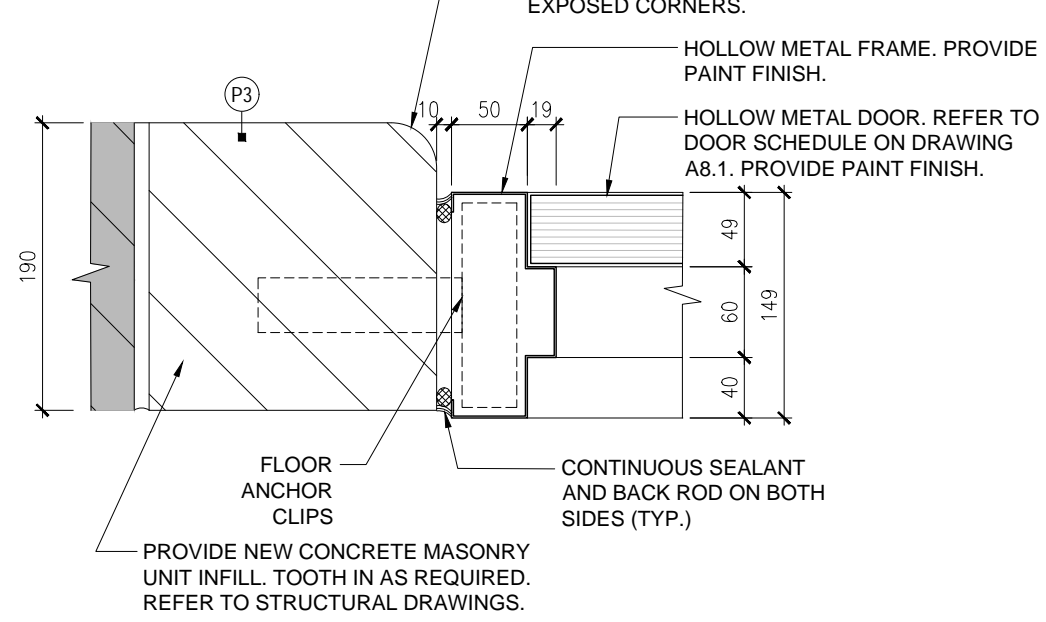
Wa RD 99
A8.1

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Woodbridge, ON L4L 0A2
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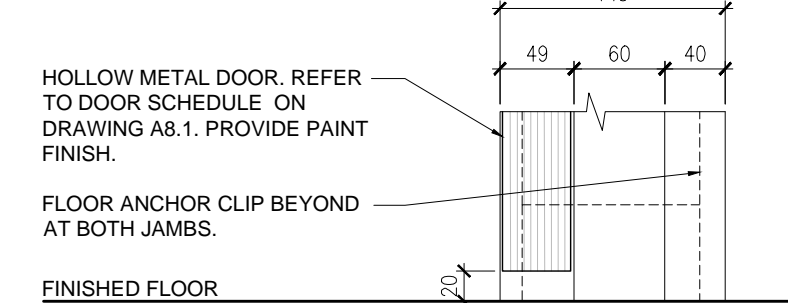
A. DOOR HEAD



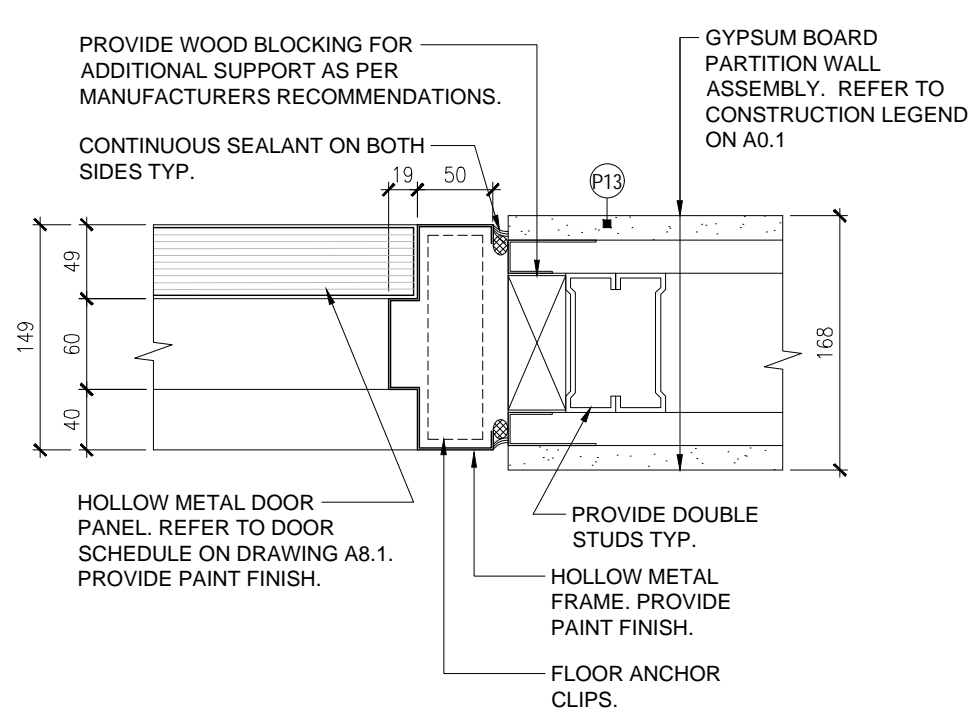
B. DOOR JAMB



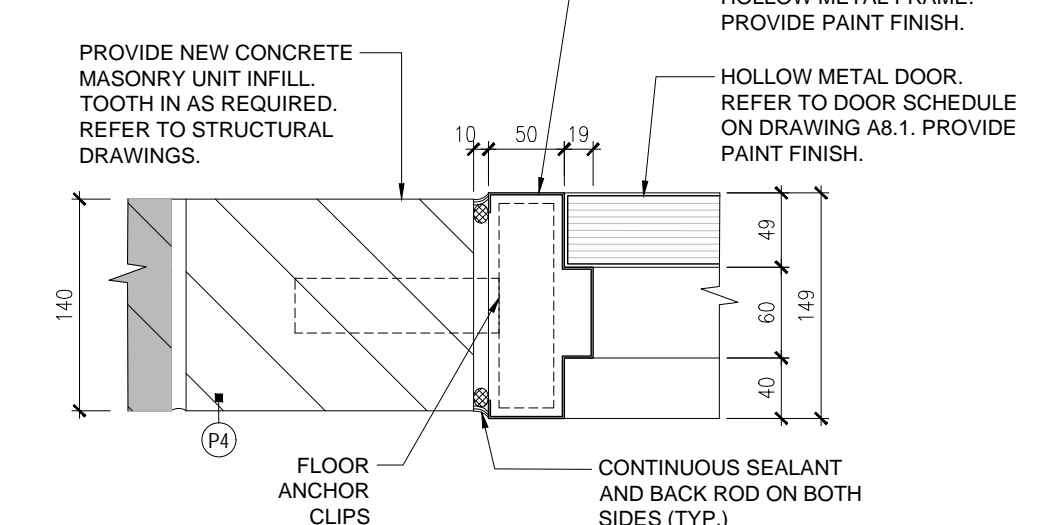
C. DOOR SILL



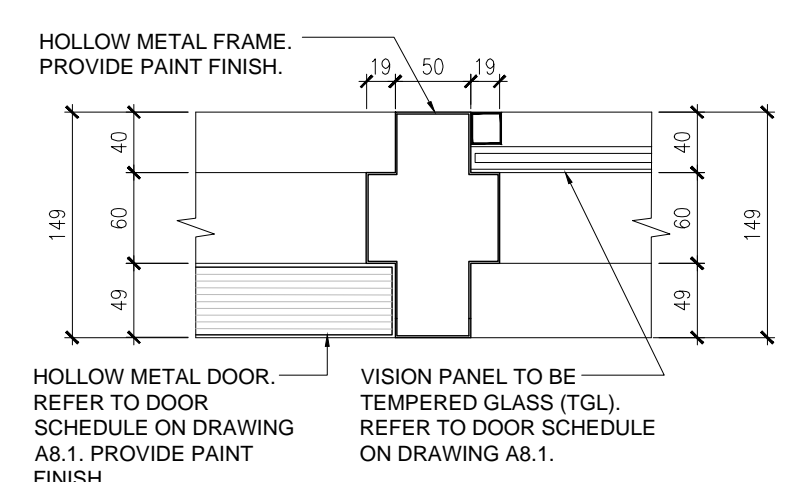
D. DOOR JAMB



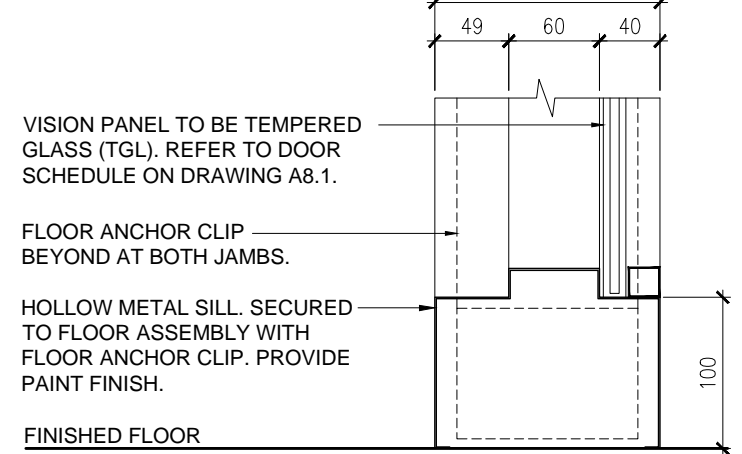
E. DOOR JAMB



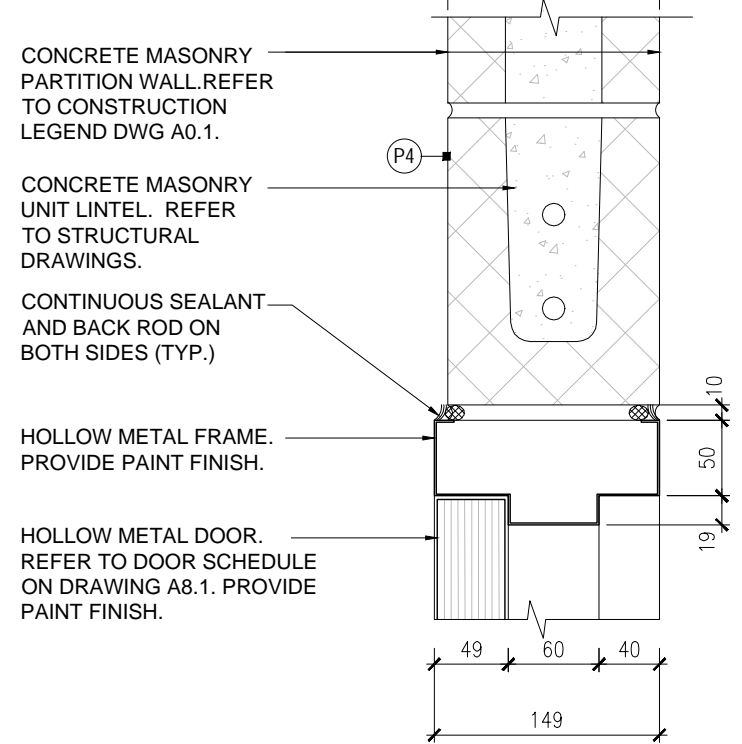
F. DOOR TO SCREEN INTERMEDIATE MULLION



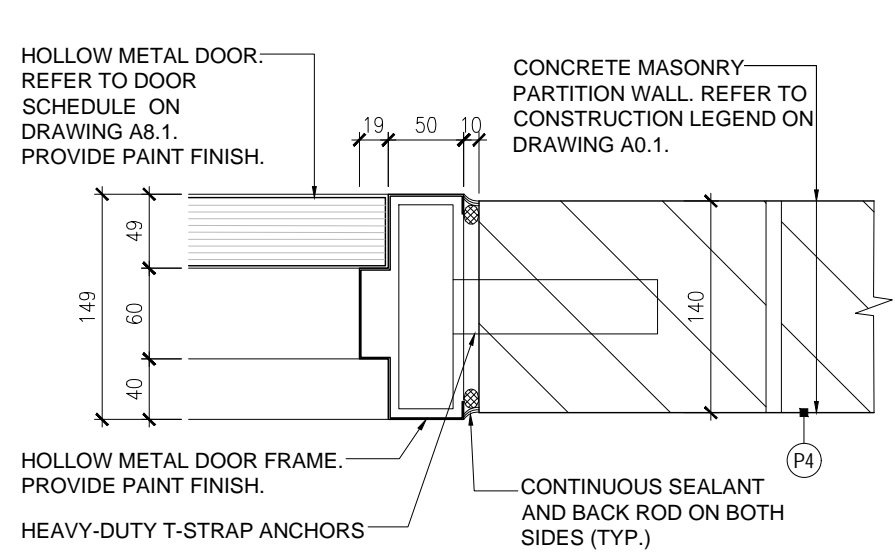
G. SCREEN SILL



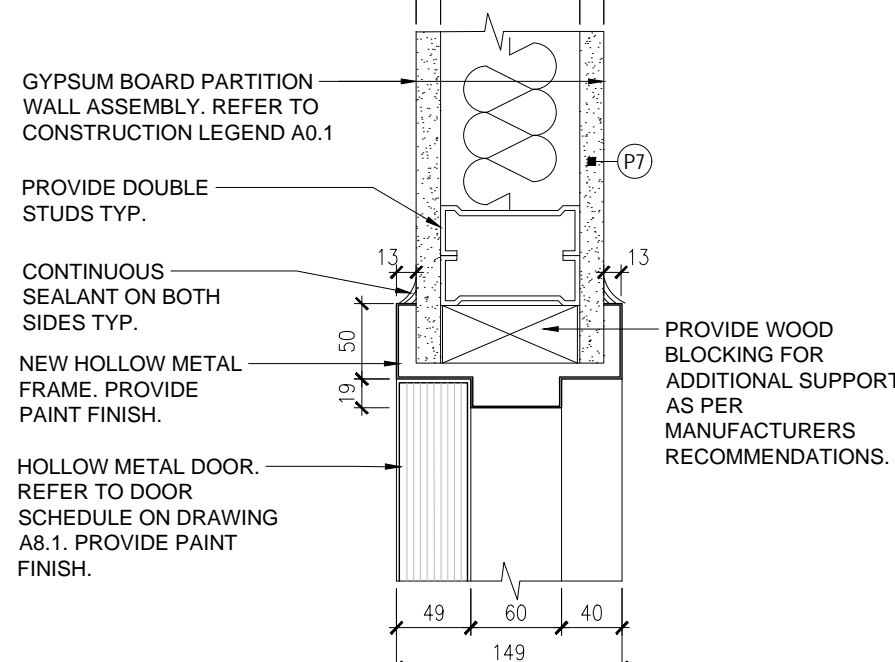
H. DOOR HEAD



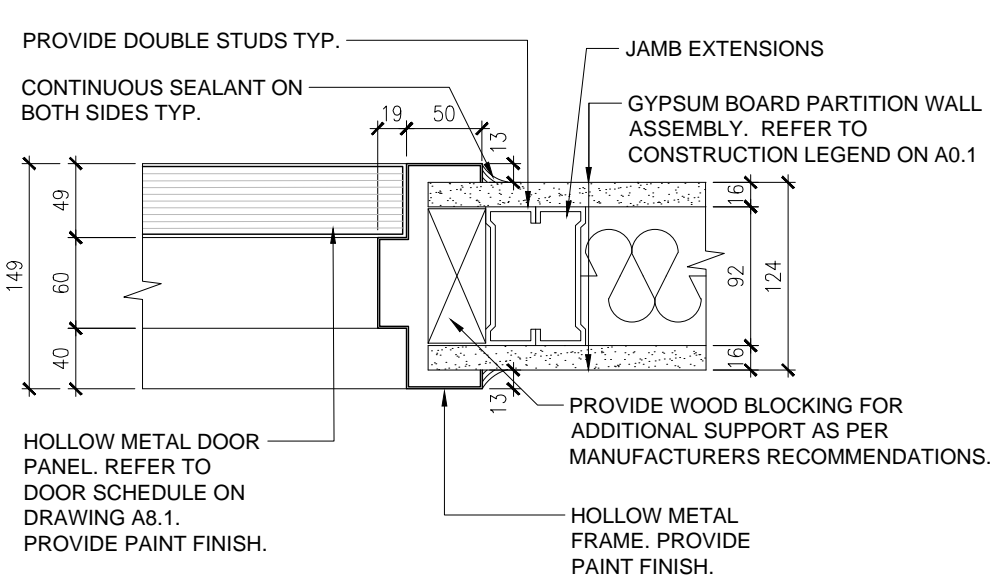
I. DOOR JAMB



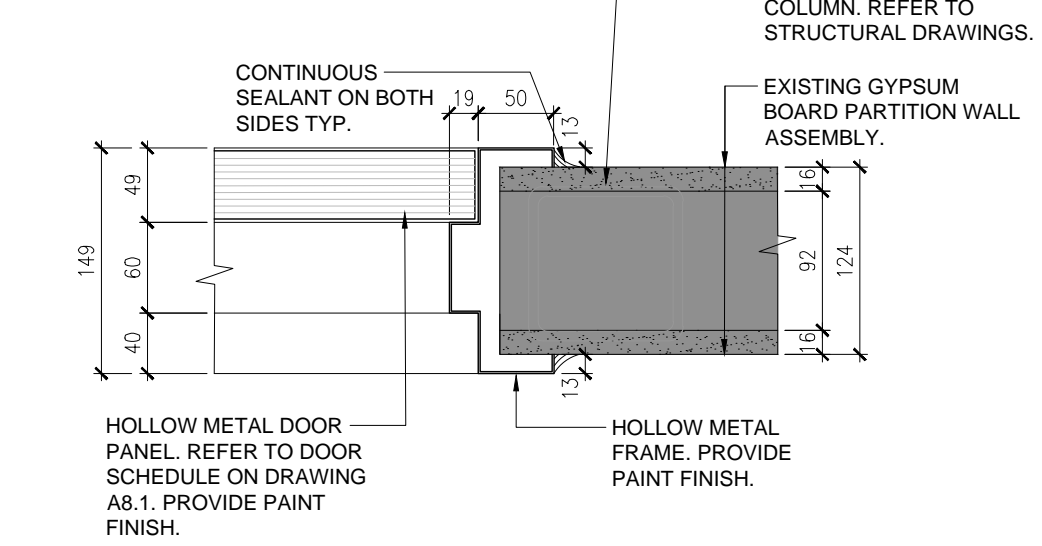
J. DOOR HEAD



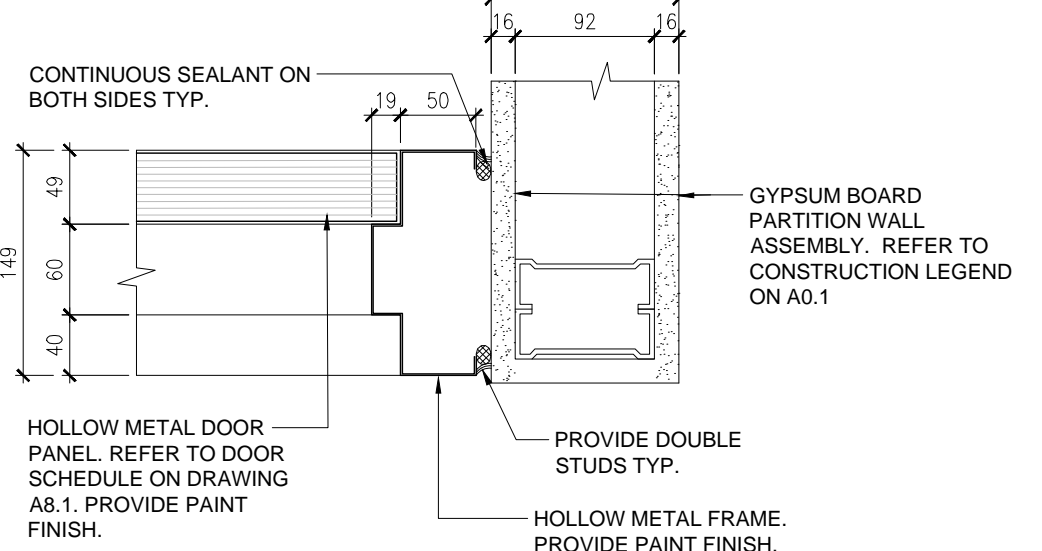
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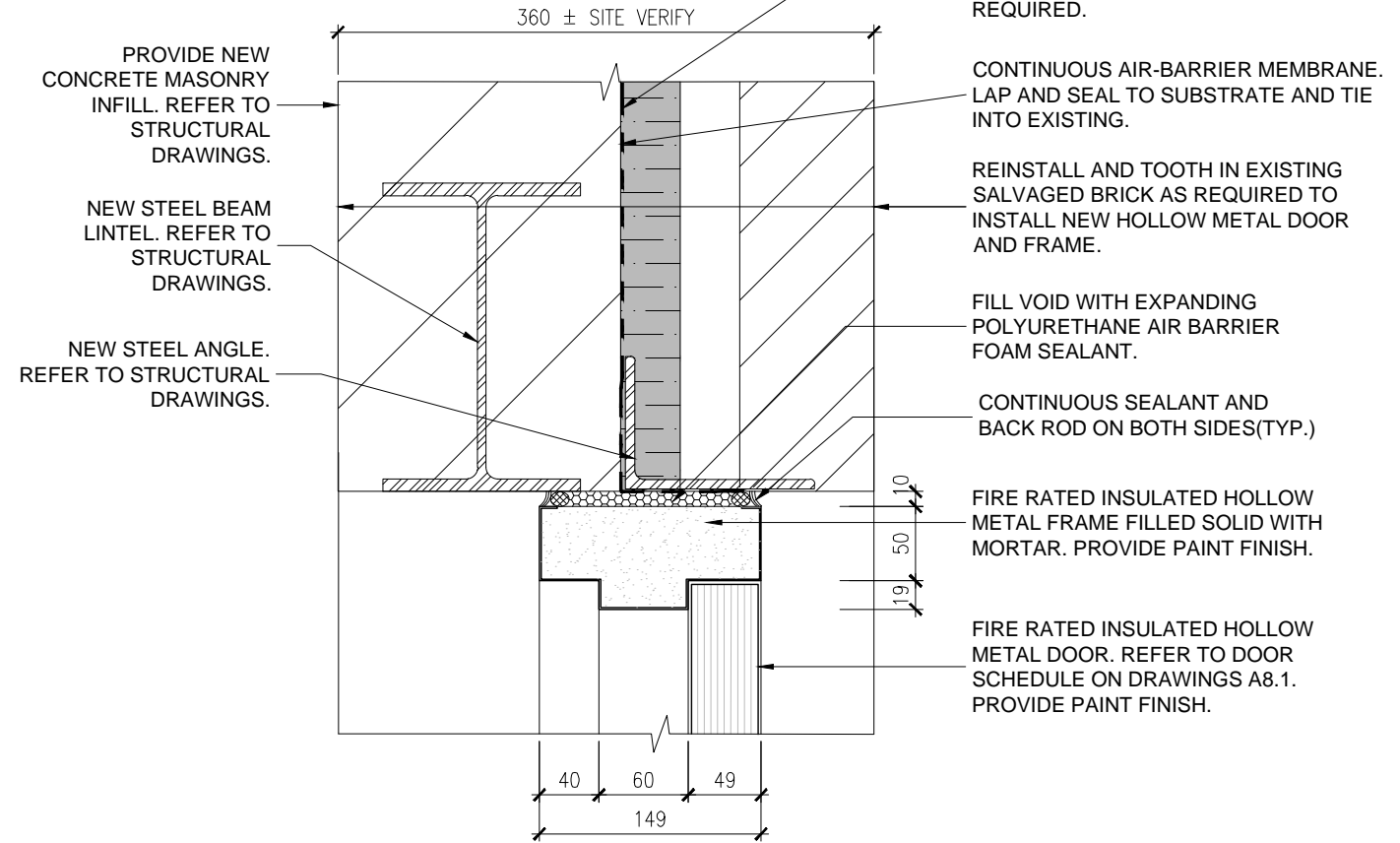
L. DOOR JAMB



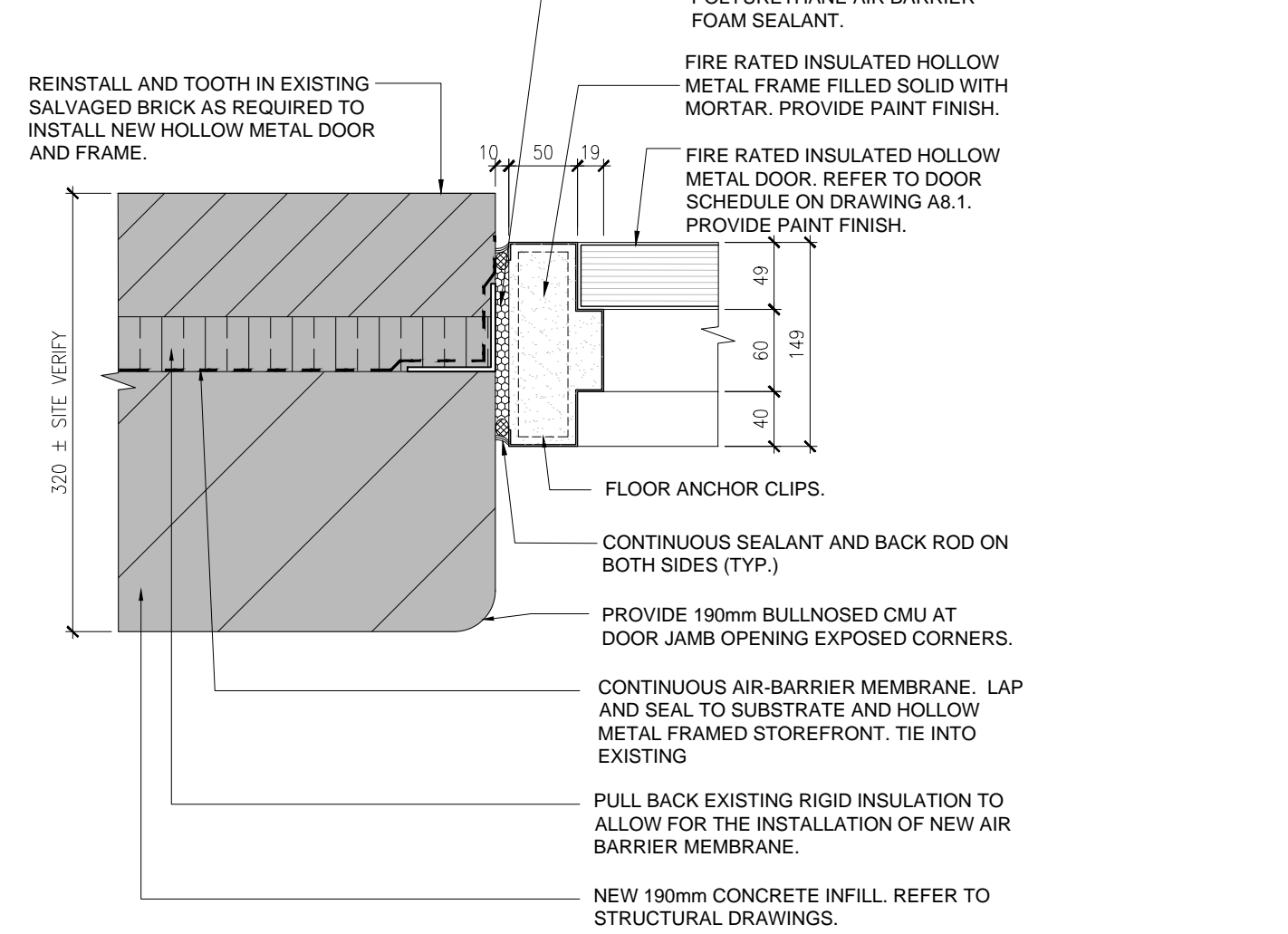
M. DOOR JAMB



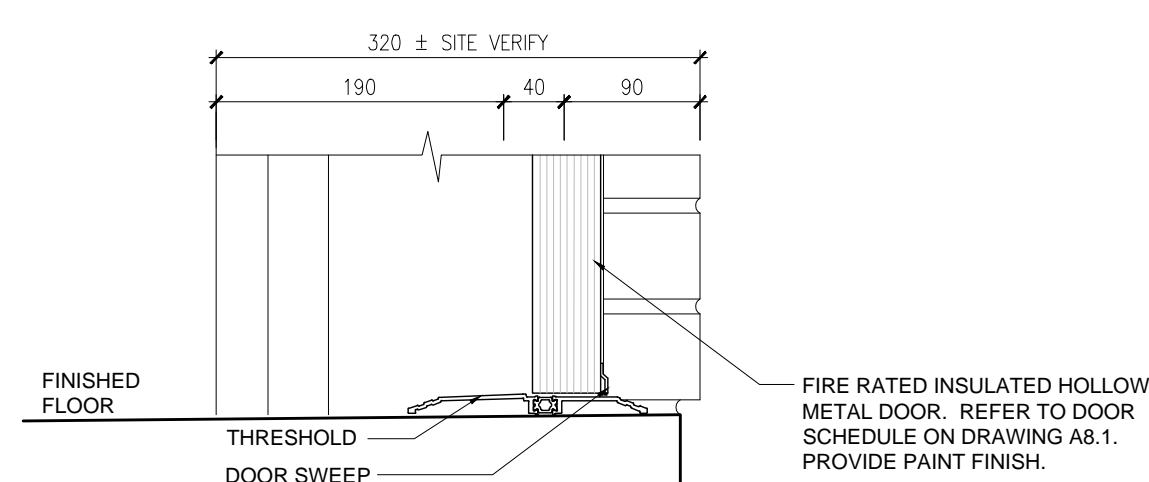
N. FIRE RATED DOOR HEAD



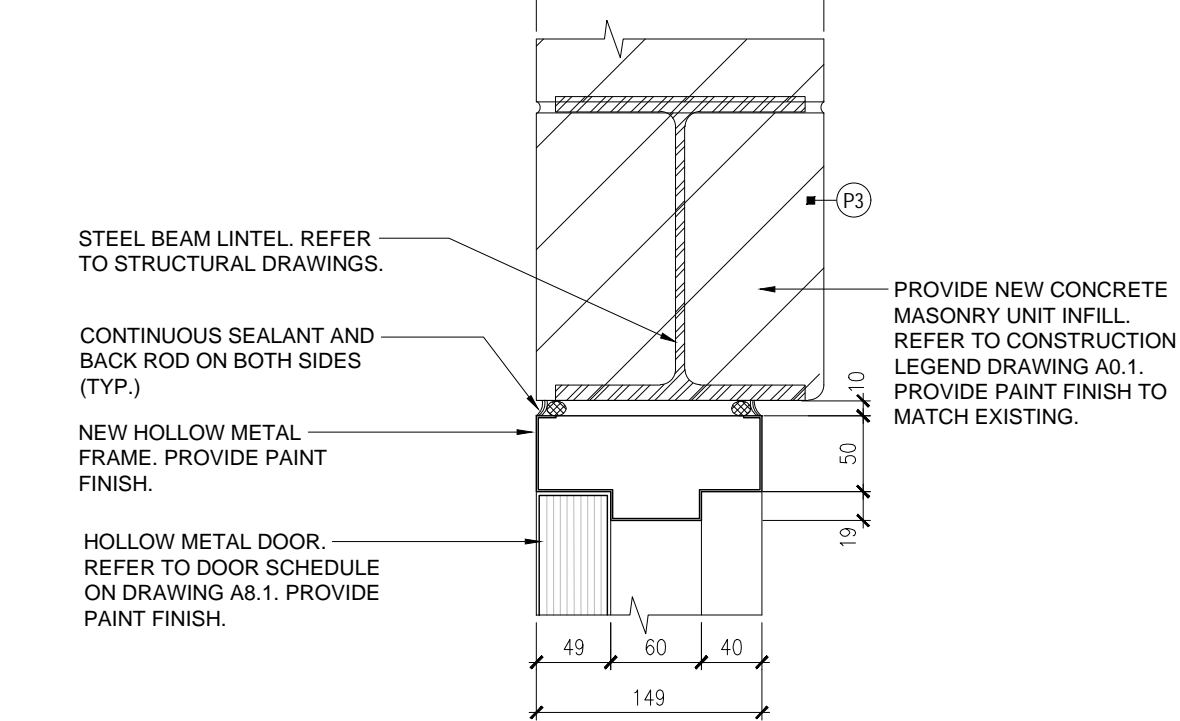
O. FIRE RATED DOOR JAMB



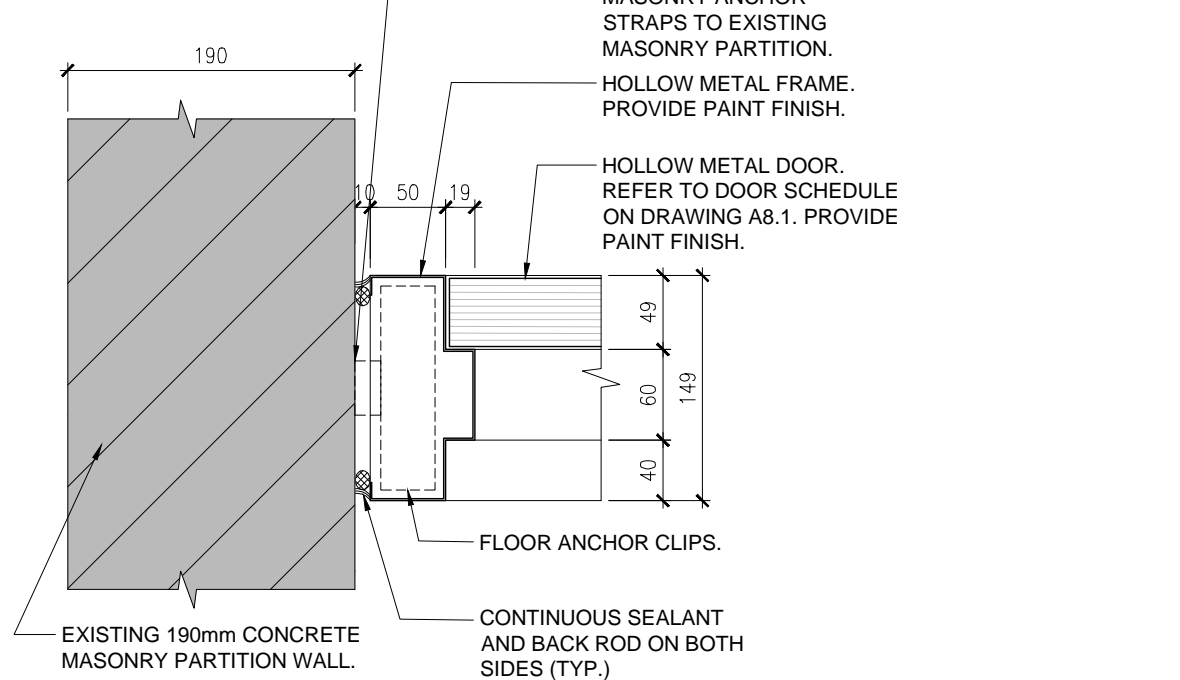
P. DOOR SILL



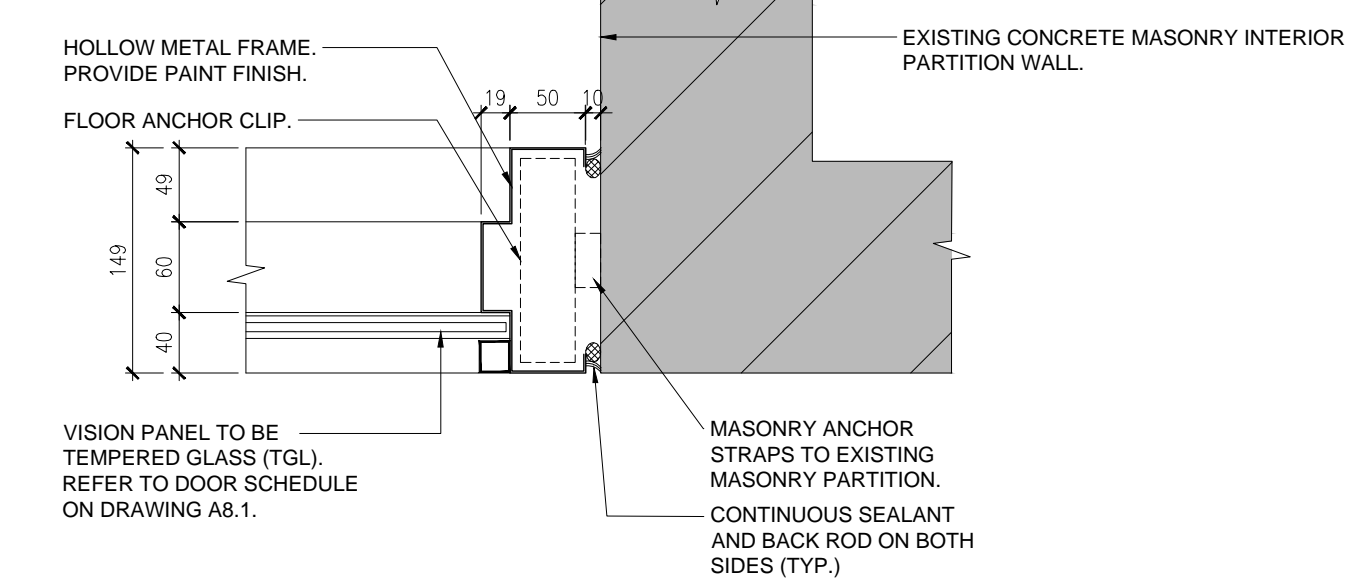
R. DOOR HEAD



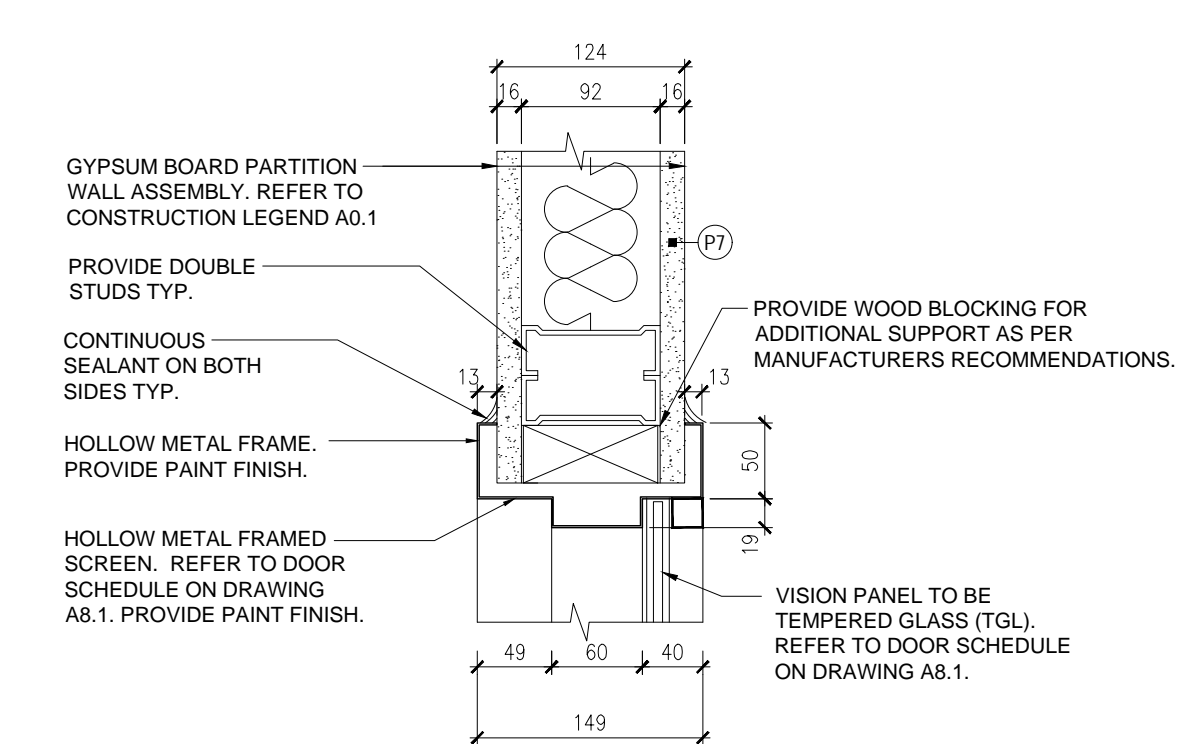
S. DOOR JAMB



T. SCREEN JAMB



V. SCREEN HEAD



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project RENOVATION TO CLARINGTON FIRE & EMERGENCY SERVICES STATION 1 The Corporation of the Municipality of Clarington

2430 Durham Regional Hwy 2, Bowmanville, ON L1C 6C8

drawing drawing scale

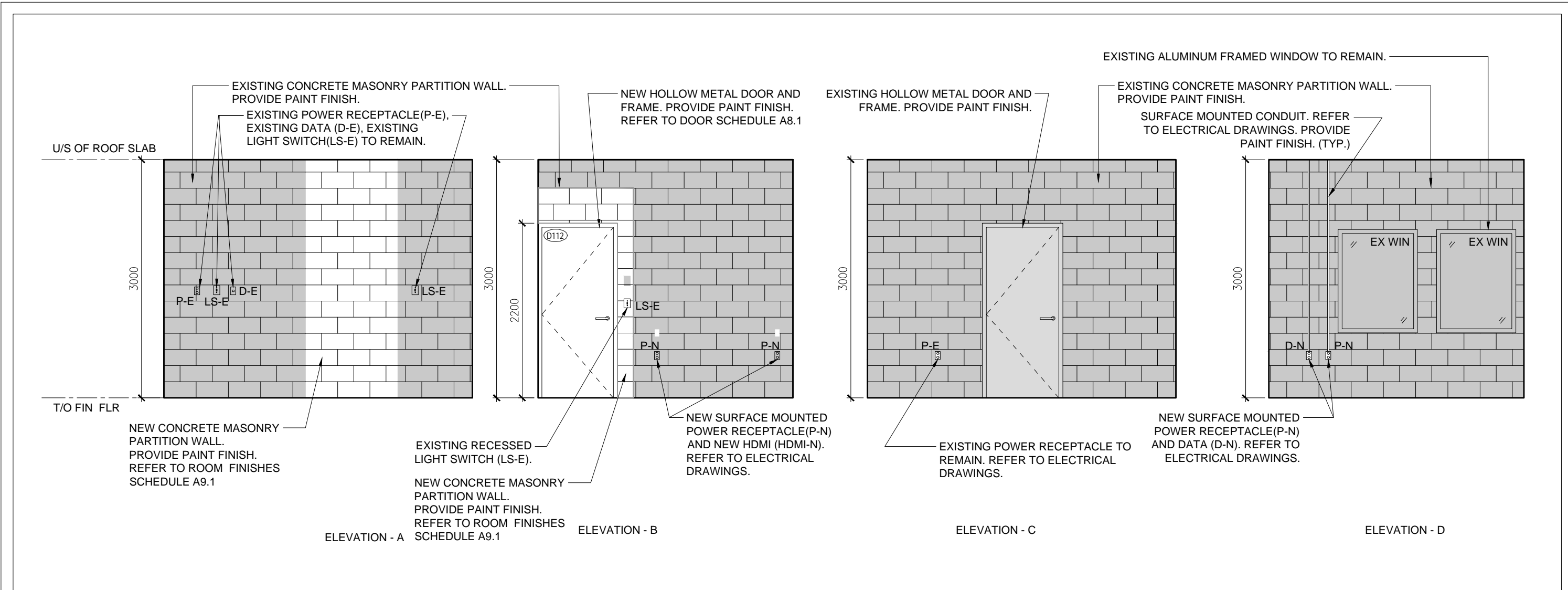
AS NOTED ward99 project number

24008 - DURHAM FIRE STATION

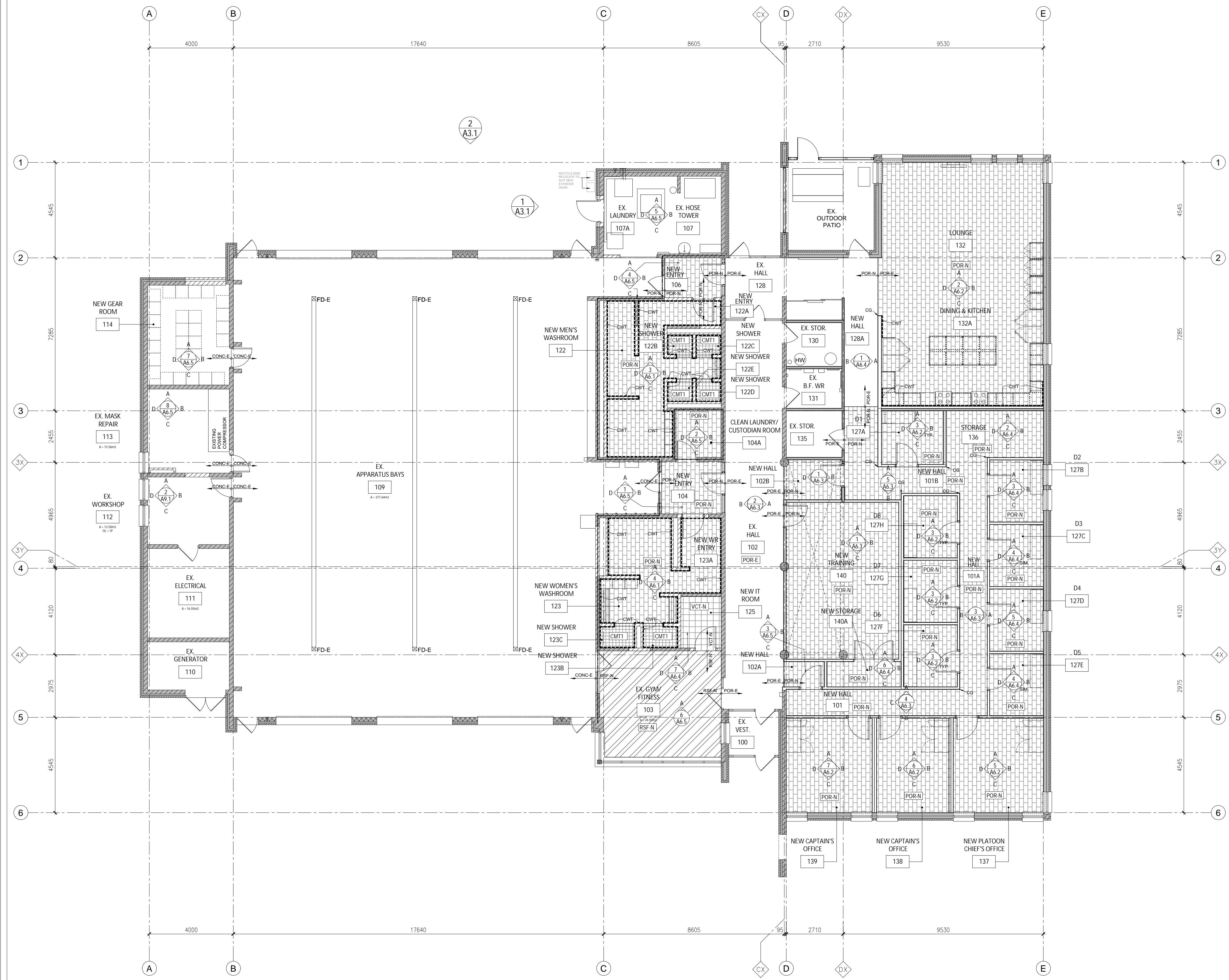
ward99 architects drawing no.

Wa RD 99 **A8.2**

7611 Pine Valley Dr, Unit 11 Woodbridge, ON L4L0A2 416 613 5880 www.ward99architects.com



2
A9.1 INTERIOR ELEVATION AT EX WORKSHOP 112
1:50



1
A9.1 ROOM FINISHES LAYOUT
1:100

LIST OF ACRONYMS

POR-E = EXISTING PORCELAIN FLOOR TILE TO REMAIN.
 POR-N = NEW PORCELAIN FLOOR TILE AND 100mm HIGH MATCHING PORCELAIN BASE.
 CMT1 = NEW CERAMIC MOSAIC FLOOR TILE AT SHOWER FLOOR. PROVIDE POR-N AT 3 SIDES OF SHOWER CURB TYP.
 CMT2 = NEW CERAMIC MOSAIC TILE AT SHOWER CEILING.
 VCT-E = EXISTING VINYL COMPOSITE FLOOR TILE.
 VCT-N = NEW VINYL COMPOSITE FLOOR TILE.
 RSF-N = NEW RESILIENT RUBBER FLOORING.
 RB OR RB 100 = NEW RUBBER BASE.
 POR = NEW PORCELAIN BASE.
 EX PNT = EXISTING PAINT FINISH.
 PNT = NEW PAINT FINISH.
 EX ACT = EXISTING ACOUSTIC CEILING TILE AND T-BAR GRID SYSTEM.
 ACT = NEW ACOUSTIC CEILING TILE AND T-BAR GRID SYSTEM.
 CONC-N = NEW CONCRETE FLOOR SLAB INFILL. REFER TO STRUCTURAL DRAWINGS.
 EX CONC OR CONC-E = EXISTING CONCRETE FLOOR SLAB TO REMAIN.
 CWT = NEW CERAMIC WALL TILE.
 GB = NEW GYPSUM BOARD FINISHED STEEL STUD PARTITION WALL.
 GDB = NEW GYPSUM BOARD FINISHED CEILING AND/OR BULKHEAD.
 CEM = NEW CEMENT BOARD FINISHED CEILING AT SHOWERS.
 CWT = CERAMIC WALL TILE.
 CG = CORNER GUARD.

FLOOR FINISHES LEGEND

VCT-N - VINYL COMPOSITE FLOORING
 SIZE: 305mm X 305mm
 COLOUR: REFER TO SPECIFICATIONS.

POR-N - PORCELAIN FLOOR TILE
 SIZE: 305mm X 610mm
 COLOUR: REFER TO SPECIFICATIONS.
 INSTALLATION: STAGGERED AT 1/3

CMT1 - CERAMIC MOSAIC FLOOR TILE AT SHOWERS
 SIZE: 305mm X 305mm MOSAIC SHEETS.
 COLOUR: REFER TO SPECIFICATIONS.

RSF-N - RESILIENT RUBBER FLOORING
 SIZE: REFER TO SPECIFICATIONS.
 COLOUR: REFER TO SPECIFICATIONS.

CERAMIC WALL TILE INDICATION

CWT - LINE TYPE INDICATES LOCATION OF CERAMIC WALL TILE (CWT)
 REFER TO SPECIFICATIONS FOR SIZE.

NOTE: REFER TO INTERIOR ELEVATIONS DRAWINGS A6.1-A6.2 FOR CERAMIC WALL TILE (CWT) LOCATIONS.

GENERAL FINISHES NOTES

REFER TO DRAWING A0.1 FOR TYPICAL FLOOR PLAN LEGEND AND NOTES.

- PAINT ALL EXPOSED NEW AND EXISTING MECHANICAL DUCTWORK. PAINT ALL EXPOSED NEW AND EXISTING PIPING AND ACCESS PANELS AND ELECTRICAL PIPING, EQUIPMENT AND ACCESS PANELS. COORDINATE LOCATION AND PATH OF ALL EXPOSED PIPING AND THE LOCATION OF ALL ACCESS PANELS WITH THE CONSULTANT.
- MAKE CONTROL JOINTS AT 5.5m MAXIMUM IN EACH DIRECTION OR A LENGTH TO WIDTH RATIO OF 2.5:1. MAKE JOINT WIDTH SAME AS TILE JOINTS. FILL CONTROL JOINTS WITH SEALANT IN ACCORDANCE WITH SPECIFICATIONS.
- PROVIDE PRE-FINISHED METAL TRANSITION STRIPS BETWEEN DISSIMILAR FLOORING FINISHES. REFER TO SPECIFICATIONS FOR TYPE.
- PAINT ALL EXPOSED NEW AND EXISTING ELECTRICAL CONDUITS AND PIPING.
- SUPPLY AND INSTALL NEW FLOOR FINISHES BELOW NEW FURNITURE, MILLWORK AND DISPLAYS. TYP.
- DO NOT PAINT EXISTING CONCRETE WALLS, BEAMS OR COLUMNS.

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 The Corporation of the Municipality of Clarington

2430 Durham Regional Hwy 2, Bowmanville, ON L1C 6C8

drawing
 ROOM FINISHES PLAN, LEGEND, NOTES AND
 INTERIOR ELEVATIONS
 drawing scale

AS NOTED
 ward99 project number
 24008 - DURHAM FIRE STATION

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A9.1

