



**OWNER:**

LONDON PUBLIC LIBRARY  
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**ARCHITECT OF RECORD:**

MATTER ARCHITECTURAL STUDIO INC.  
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 N5W 3A7

**MEP ENGINEER:**

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 N6B 2K6

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IE DESIGN  
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 N5X 3Y2

**ARCHITECTURAL:**

**LIST OF DRAWINGS:**

- AG101 GENERAL NOTES, ABBREVIATIONS, OBC MATRIX & DETAILS
- AG102 ASSEMBLY TYPES
- AG103 TYP. WALL DETAILS
- AG104 STANDARD TYP. MOUNTING HEIGHTS
- AD200 DEMOLITION & CONSTRUCTION PHASING PLANS
- AD201 DEMOLITION & CONSTRUCTION PHASING PLANS
- AD202 DEMOLITION & CONSTRUCTION PHASING PLANS
- AD203 DEMOLITION ELEVATIONS
- AD220 DEMOLITION REFLECTED CEILING PLANS
- A200 OVERALL FLOOR PLAN
- A201 ENLARGED FLOOR PLAN - NORTH
- A202 ENLARGED FLOOR PLAN - SOUTH
- A220 OVERALL REFLECTED CEILING PLAN
- A221 ENLARGED REFLECTED CEILING PLAN - NORTH
- A222 ENLARGED REFLECTED CEILING PLAN - SOUTH
- A230 CEILING DETAILS
- A300 EXTERIOR ELEVATIONS
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- A400 BUILDING SECTIONS
- A500 WALL SECTIONS
- A520 WALL SECTION DETAILS
- A600 WASHROOM PLANS AND DETAILS
- A800 INTERIOR ELEVATIONS
- A900 ROOM & DOOR SCHEDULES
- I-200 ENLARGED INTERIOR FINISH PLAN - NORTH
- I-201 ENLARGED INTERIOR FINISH PLAN - SOUTH
- I-202 INTERIOR FINISH DETAILS
- I-203 INTERIOR FINISH DETAILS
- ICC-200 MILLWORK KEY PLAN - NORTH
- ICC-201 MILLWORK KEY PLAN - SOUTH
- ICC-202 MILLWORK PLANS & ELEVATIONS
- ICC-203 MILLWORK PLANS, ELEVATIONS & SECTION DETAILS

**MECHANICAL | PLUMBING | ELECTRICAL:**

**LIST OF DRAWINGS:**

- E001 GENERAL ELECTRICAL NOTES
- E002 GENERAL ELECTRICAL NOTES II
- ELECTRICAL LIFE SAFETY AND LIGHTING LAYOUT - FLOOR PLAN
- E101 ELECTRICAL LAYOUT - POWER
- M001 GENERAL MECHANICAL NOTES
- M002 GENERAL MECHANICAL NOTES II AND SCHEDULES
- M100 EXISTING HVAC SYSTEM
- M101 HVAC SYSTEM RETROFIT PLAN
- M102 HVAC SYSTEM - WORK COMPLETED
- M103 MECHANICAL PLUMBING RENOVATION
- M300 TYPICAL MECHANICAL DETAILS

**STRUCTURAL:**

**LIST OF DRAWINGS:**

- S-0.0 COVER SHEET
- S-0.2 SPECIFICATIONS I
- S-1.0 EXISTING/NEW FLOOR PLAN ELEVATIONS I
- S-2.0 ELEVATIONS II
- S-2.1 LOADING AND SCHEDULE
- S-5.0 TYPICAL DETAILS I
- S-6.0 TYPICAL DETAILS II
- S-6.1 TYPICAL DETAILS III
- S-6.2 TYPICAL DETAILS IV
- S-6.3 TYPICAL DETAILS IV

VOLUME 3 OF 3

# SHERWOOD LIBRARY RENOVATION

1225 Wonderland Rd N, London, ON N6G 2V9

**ISSUED FOR TENDER**  
 2024.09.18

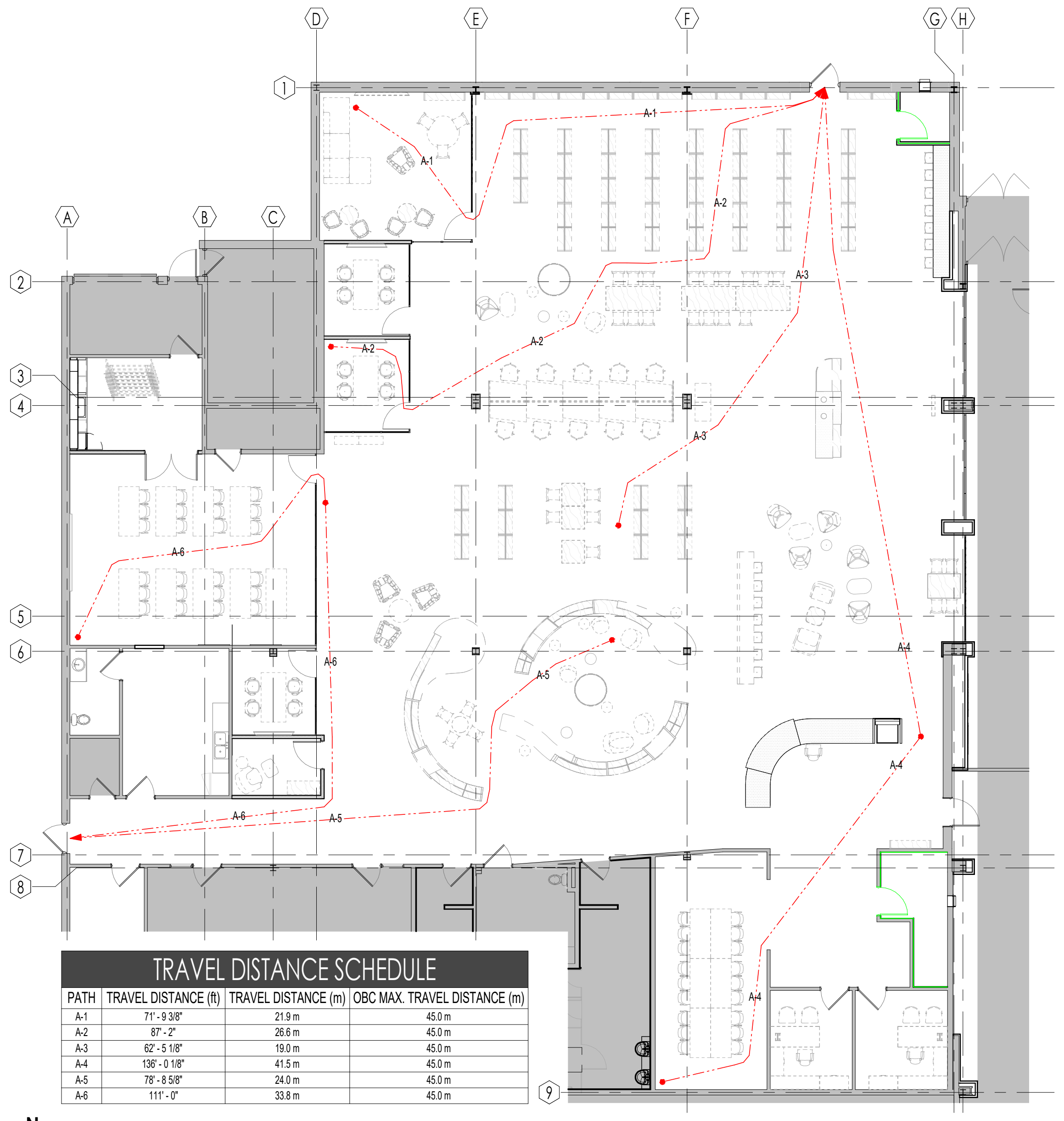
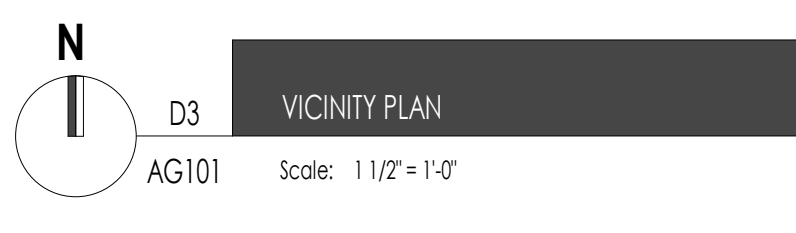
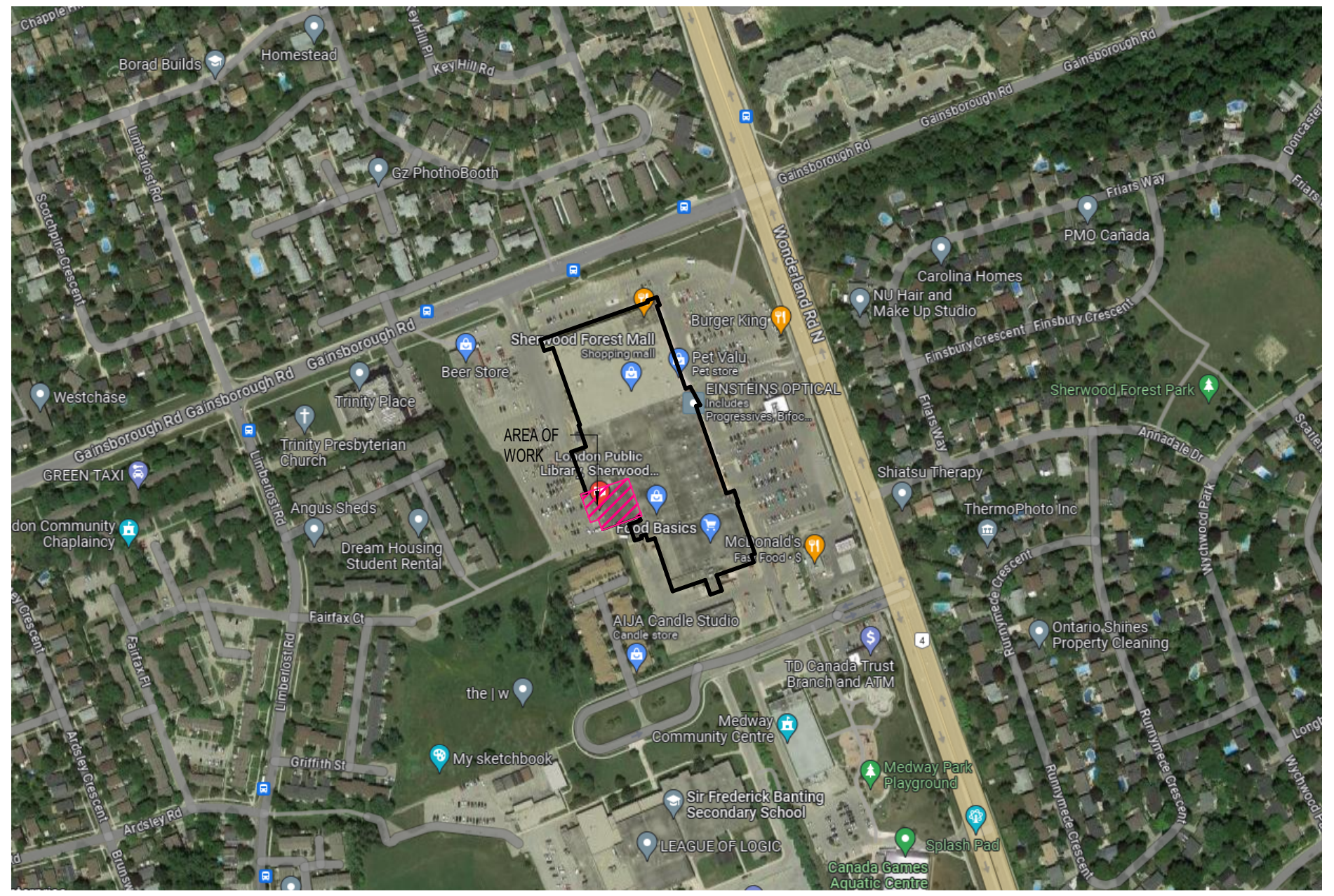
**Project Number:** 23-006

Firm Name: MATTER ARCHITECTURAL STUDIO INC. 300-1108 DUNDAS STREET LONDON, ON, N6G 3A7 Certificate of Practice Number: 5472 Name of Project: SHERWOOD LIBRARY RENOVATION Location: 1225 Wonderland Rd N, London, ON N6G 2V9		Ontario Building Code Reference
11.1 Project Type:	<input type="checkbox"/> Addition <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Addition and Renovation <input type="checkbox"/> Change of Use Description: INTERIOR RENOVATIONS TO THE LONDON PUBLIC LIBRARY - SHERWOOD BRANCH	(A) 1.1.2.
11.2 Major Occupancy Classification:	Occupancy Use: ASSEMBLY (AREA OF RENOVATION) Description: REMAINING BUILDING AS EXISTING	3.1.2.1.(1)
11.3 Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Description:	3.2.2.7.
11.4 Building Area (m <sup>2</sup> ):	Description: Existing New Total NO CHANGE NO CHANGE EXISTING NA EXISTING Total: EXISTING NA EXISTING	(A) 1.4.1.2.
11.5 Building Height:	1 Storeys above grade EXISTING (m) above grade 0 Storeys below grade	(A) 1.4.1.2. & 3.2.1.1.
11.6 Number of Streets/Firefighter access:	2 Street(s) NO CHANGE	3.2.2.10. & 3.2.5.
11.7 Building Size:	<input checked="" type="checkbox"/> Small <input type="checkbox"/> Medium <input checked="" type="checkbox"/> Large <input type="checkbox"/> >Large NO CHANGE	1.11.2.1.1.8.-N.
11.8 Existing Building Classification:	Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A Construction Index: 6 Hazard Index: 6 Importance Category: <input type="checkbox"/> Low <input checked="" type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Post-Disaster	11.2.1.1. 11.11.2.1.A 11.2.1.1.B to N 4.2.1.(8) 5.2.2.1.(2)
11.9 Renovation type:	<input checked="" type="checkbox"/> Basic Renovation <input type="checkbox"/> Extensive Renovation	11.3.3.1, 11.3.3.2.
11.10 Occupant Load:	Floor Level/Area: LIBRARY Occupancy Type: N Based On: EXISTING WATER CLOSETS Occupant Load (persons): 205 (REFER TO 11.16)	3.1.1.7.
11.11 Plumbing Fixture Requirements:	Ratio: Floor Level/Area: LIBRARY Occupancy Load: N OBC Reference: EXISTING WATER CLOSETS Fixtures Required: NO CHANGE Fixtures Provided:	3.7.4.
11.12 Barrier-free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	11.3.3.2.(2)
11.13 Reduction in performance level:	Structural: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No By Increase in occupant load: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No By change of major occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Plumbing: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Swage systems: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Extensive of combustible construction: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	11.4.2.1. 11.4.2.2. 11.4.2.3. 11.4.2.4. 11.4.2.5. 11.4.2.6.
11.14 Compensating Corection:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Describe:	11.4.3.1. 11.4.3.2. 11.4.3.3. 11.4.3.4. 11.4.3.5. 11.4.3.6. 11.4.3.7.
11.15 Compliance Alternatives Proposed:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	11.5.1.
11.16 Notes:	EXISTING WATER CLOSETS - 4 MALE AND 4 FEMALE AS PER OBC TABLE 3.7.4.3.A MIN 2 MALE AND MIN 4 FEMALE WATER CLOSETS - 100 PER SEX 1 EMPLOYEE WATER CLOSET - 5 EMPLOYEES TOTAL 205 PERSONS	11.5.1.

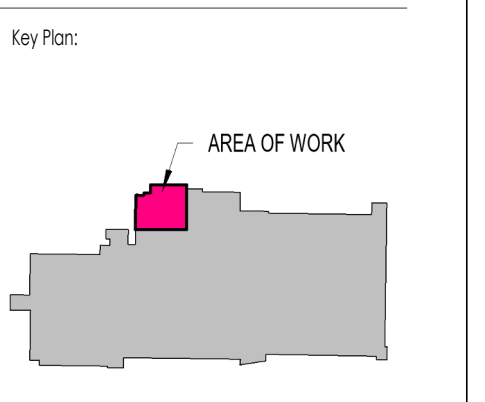
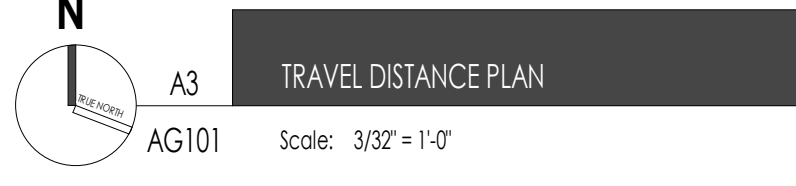
DRAWING ABBREVIATIONS:	
<b>A</b>	AC AIR CONDITIONING ACT ACUSTIC CEILING TILES ADJ ADJUSTABLE ADS ADULT CHANGE STATION A.F.C. ABOVE FINISHED CEILING A.F.F. ABOVE FINISHED FLOOR AHU AIR HANDLING UNIT ALP ALARM PANEL ALT ALTERNATE ALUM ALUMINUM ANOD ANODIZED AP ACCESS PANEL ARCH ARCHITECTURAL ASPH ASPHALT AVB AIR/VAPOUR BARRIER
<b>B</b>	BC BABY CHANGE TABLE BD BOARD BF BARRIER FREE B.F.SS BARRIER FREE SHOWER SEAT BH BENCH BGL BUMPER GUARDRAIL BLDG. BUILDING BLK BLOCK BM BENCH MARK BSMIT BASEMENT BTM BOTTOM
<b>C</b>	CB CATCH BASIN C/C CENTER TO CENTER CFT CERAMIC FLOOR TILE CG CORNER GUARD CH COAT HOOK CIP CAST-IN-PLACE CJ CONTROL JOINT CMU CONCRETE MASONRY UNITS CL CENTER LINE CLG CEILING CLR COLOUR CLT CLOSET CO CLEAN OUT COL COLUMN COMM COMMUNICATION CONC CONCRETE CONN CONNECTION CONST CONSTRUCTION CONT. CONTINUOUS COORD. CO-ORDINATE CP CONTROL PANEL CPT CARPET CR CARD READER CSK COUNTERSUNK CT CURTAIN TRACK CWT CERAMIC WALL TILE
<b>D</b>	DET DETAIL DF DRINKING/BOTTLE FOUNTAIN DIA DIAMETER DIM DIMENSION DIV DIVISION DMPR DAMPER DN DOWN DP DISTRIBUTION PANEL DS DOWNSPOUT DWG DRAWING
<b>E</b>	EA EACH ELEC ELECTRICAL ELEC/R ELECTRICAL RACEWAY ELEV ELEVATOR EMER EMERGENCY EMER/LT EMERGENCY LIGHT ENCL ENCLOSURE EP ELECTRICAL PANEL EPB EMERGENCY PUSH BUTTON EQ EQUAL EQUIP EQUIPMENT ETC ETCETERA EW EACH WAY EXH EXHAUST EXIST EXISTING EXP EXPANSION EXP JT EXPANSION JOINT EXS EXIT SIGN EXT EXTERIOR EWC EPOXY WALL COATING
<b>F</b>	FA FIRE ALARM FC FULL HEIGHT CABINET FD FLOOR DRAIN FDN FOUNDATION FE FIRE EXTINGUISHER FEC FIRE EXTINGUISHER CABINET FH FIRE HYDRANT FHC FIRE HOSE CABINET FIN FINISH OR FINISHED FL FLOOR FLUOR FLUORESCENT FRR FIRE RESISTANCE RATING FIXTR FIXTURE
<b>G</b>	GA GAUGE GALV GALVANIZED GB GRAB BAR GEMS GE MEDICAL SYSTEM GL GLASS GR GRADE GR/L GUARD RAIL GSU GLAZED STRUCTURAL UNIT GYP GYPSUM WALL BOARD
<b>H</b>	HB HOSE BIB HBRD HEADBOARD HC HANDICAPPED HD HAND DRYER HH HANDHELD SHOWER SYSTEM HM HOLLOW METAL HORZ HORIZONTAL HP HIGH POINT HR HOUR HRL HAND RAIL HSS HOLLOW STRUCTURAL STEEL HT HEIGHT HTR HEATER HWS HAND WASH SINK
<b>I</b>	IC INCLUDED IN CONTRACT ID INSIDE DIMENSION INSUL INSULATION OR INSULATED INT INTERIOR IRGB IMPACT RESISTANT GYPSUM BOARD
<b>J</b>	JC JANITOR CLOSET JT JOINT JST JOIST
<b>L</b>	L LARGE LK LOCK LAM LAMINATE(D) LAV LAVATORY LW LIGHT WEIGHT LT WT
<b>M</b>	MAS MASONRY MATL MATERIAL MAX MAXIMUM MB MONITOR BRACKET MDF MEDIUM DENSITY FIBREBOARD MECH MECHANICAL MED MEDIUM MER MEDICAL EQUIPMENT RAIL MEZZ MEZZANINE MH MANHOLE MIN MINIMUM MISC MISCELLANEOUS MOP MASONRY OPENING
<b>N</b>	NA NOT APPLICABLE NC NON CORROSIVE N.I.C. NOT IN CONTRACT N.O. NUMBER NOM NOMINAL NP NORMAL POWER NTS NOT TO SCALE
<b>O</b>	O OPEN O.C. ON CENTER OD OUTSIDE DIMENSION OGL OBSCURE GLASS OH OVERHEAD OPP OPPOSITE OWSJ OPEN WEB STEEL JOIST O2 OXYGEN
<b>P</b>	PA PUBLIC ADDRESS PB PUSH BUTTON PC PRE CAST CONCRETE PDP POWER DISTRIBUTION PANEL PF PRE FINISHED PLAM PLASTIC LAMINATE PLYWD PLYWOOD PNP PIN PAD PO POWER OUTLET PP PUSH PAD PPE PERSONAL PROTECTIVE EQUIPMENT PR PAIR PRELIM PRELIMINARY PRS PRIVACY SCREEN PS PULL STATION PT PRESSURE TREATED PTD PAPER TOWEL DISPENSER PTN PARTITION PVC POLYVINYL CHLORIDE
<b>Q</b>	QT QUARRY TILE
<b>R</b>	RAD RADIUS RB RUBBER BASE RD ROOF DRAIN RECP RECEPTACLE REINF REINFORCED REVD REQUIRED REV REVISED OR REVISION RM ROOM RO ROUGH OPENING ROLLER ROLLER SHADE RSH RECESSED SOAP HOLDER RSF RESILIENT SHEET FLOORING RWL RAIN WATER LEADER
<b>S</b>	S SMALL SAN SANITARY SCHEDULE SCHEDULE SC SHARPS CONTAINER SD SOAP DISPENSER SECT SECTION SFR SYSTEM FURNITURE RAIL SGT SAFETY GLASS-TEMPERED SH SHEET SHF SHELF SIM SIMILAR SL SLOPE SMR SAFETY MIRROR SND SANITARY NAPKIN DISPENSER S.O.I.C. SUPPLIED BY OWNER INSTALLED BY CONTRACTOR
<b>S.O.I.O.</b>	SUPPLIED BY OWNER INSTALLED BY OWNER
<b>SP</b>	SPANDREL PANEL SPEC(S) SPECIFICATIONS SPK SPEAKER SQ SQUARE SS STAINLESS STEEL SSSHF STAINLESS STEEL SHELF STD STANDARD STL STEEL STM STORM STRUCT STRUCTURAL SUSP SUSPENSION SV SHEET VINYL SW SWITCH SWBD SWITCH BOARD
<b>T</b>	TB TACKBOARD TAG TONGUE AND GROOVE TEL TELEPHONE TEMP TEMPORARY THERM THERMOSTAT THK THICK THRSLD THRESHOLD TME TO MATCH EXISTING TRANS TRANSITION TOP TOP OF TPD TOILET PAPER DISPENSER TVB TELEVISION BRACKET TYP TYPICAL
<b>U</b>	U UNDER GROUND UH UNIT HEATER UNO UNLESS NOTED OTHERWISE UR URINAL URPRS URINAL PRIVACY SCREEN UIS UNDERSIDE UT UTILITY
<b>V</b>	VAC VACUUM VB VIEW BOX VCT VINYL COMPOSITE TILE VENT VENTILATED, VENTILATOR OR VENTILATION VERT VERTICAL VEST VESTIBULE VOL VOLUME VP VISION PANEL VS VENT STACK
<b>W</b>	W WALL MOUNTED CABINET WB WHITE BOARD WC WATER CLOSET WIF WITH WIO WITHOUT WPP WALL PROTECTION PANEL WR WASHROOM WW WOOD WAINSCOT WWM WELDED WIRE MESH
<b>Z</b>	Z ZONE VALVE ZV ZONE VALVE
<b>Ø</b>	DIAMETER

DRAWING LEGEND	
	DETAIL NUMBER PAGE NUMBER REFERENCE IN PROJECT
	TONED AREA DENOTES EXISTING BUILDING TO REMAIN. TONE INDICATED FOR INFORMATION & CLARIFICATION PURPOSES ONLY.
	SOLID LINES DENOTE NEW CONSTRUCTION
	EXISTING 0 HOUR FIRE RESISTANCE RATING
	EXISTING 1 HOUR FIRE RESISTANCE RATING
	NEW 0 HOUR FIRE RESISTANCE RATING
	NEW 1 HOUR FIRE RESISTANCE RATING
	NEW 2 HOUR FIRE RESISTANCE RATING
	ROOM NAME & NUMBER
	WALL TYPE INDICATOR
	NEW WINDOW TAG
	MILLWORK
	EXISTING DOOR & NUMBER, SEE DOOR SCHEDULE
	NEW DOOR & NUMBER, SEE DOOR SCHEDULE
	NEW 45 MIN RATED DOOR & NUMBER, SEE DOOR SCHEDULE
	NEW 90 MIN RATED DOOR & NUMBER, SEE DOOR SCHEDULE
	FURNITURE / EQUIPMENT NOT IN CONTRACT (N.I.C.)

THIS PAGE RELIES ON THE USAGE OF COLOUR.  
BLACK AND WHITE COPIES ARE INCOMPLETE.



TRAVEL DISTANCE SCHEDULE			
PATH	TRAVEL DISTANCE (ft)	TRAVEL DISTANCE (m)	OBC MAX. TRAVEL DISTANCE (m)
A-1	71'-9 3/8"	21.9 m	45.0 m
A-2	87'-2"	26.6 m	45.0 m
A-3	62'-5 1/8"	19.0 m	45.0 m
A-4	136'-0 1/8"	41.5 m	45.0 m
A-5	78'-8 5/8"	24.0 m	45.0 m
A-6	111'-0"	33.8 m	45.0 m



4 2024.05.18 IFT SW, HR, BP  
 1 2024.05.22 PERMIT HR, SW  
 NO. DATE ISSUED FOR: BY:

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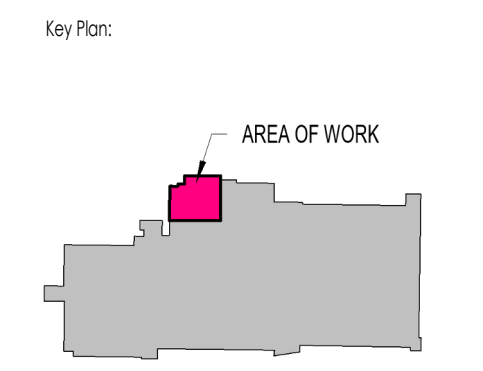
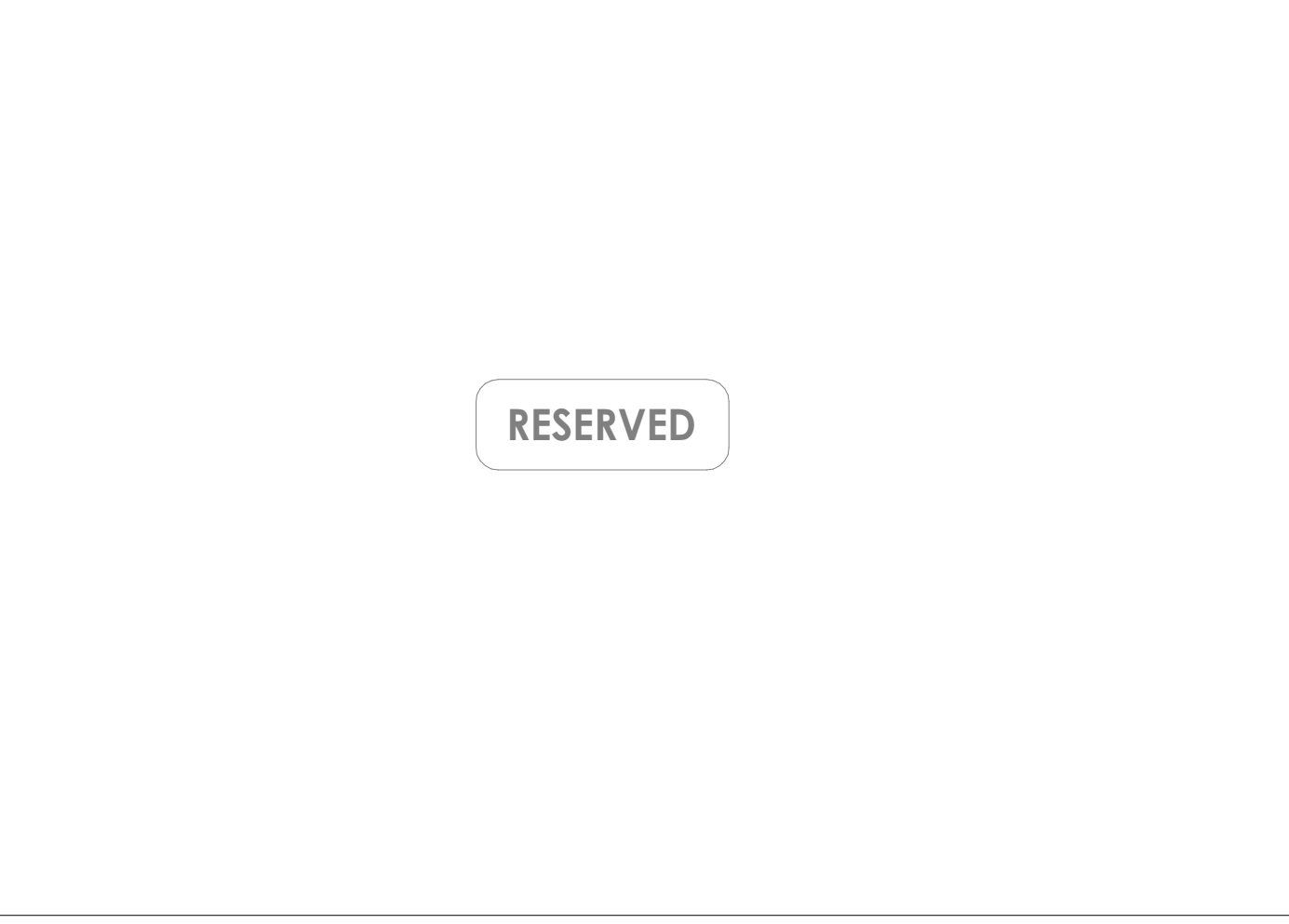
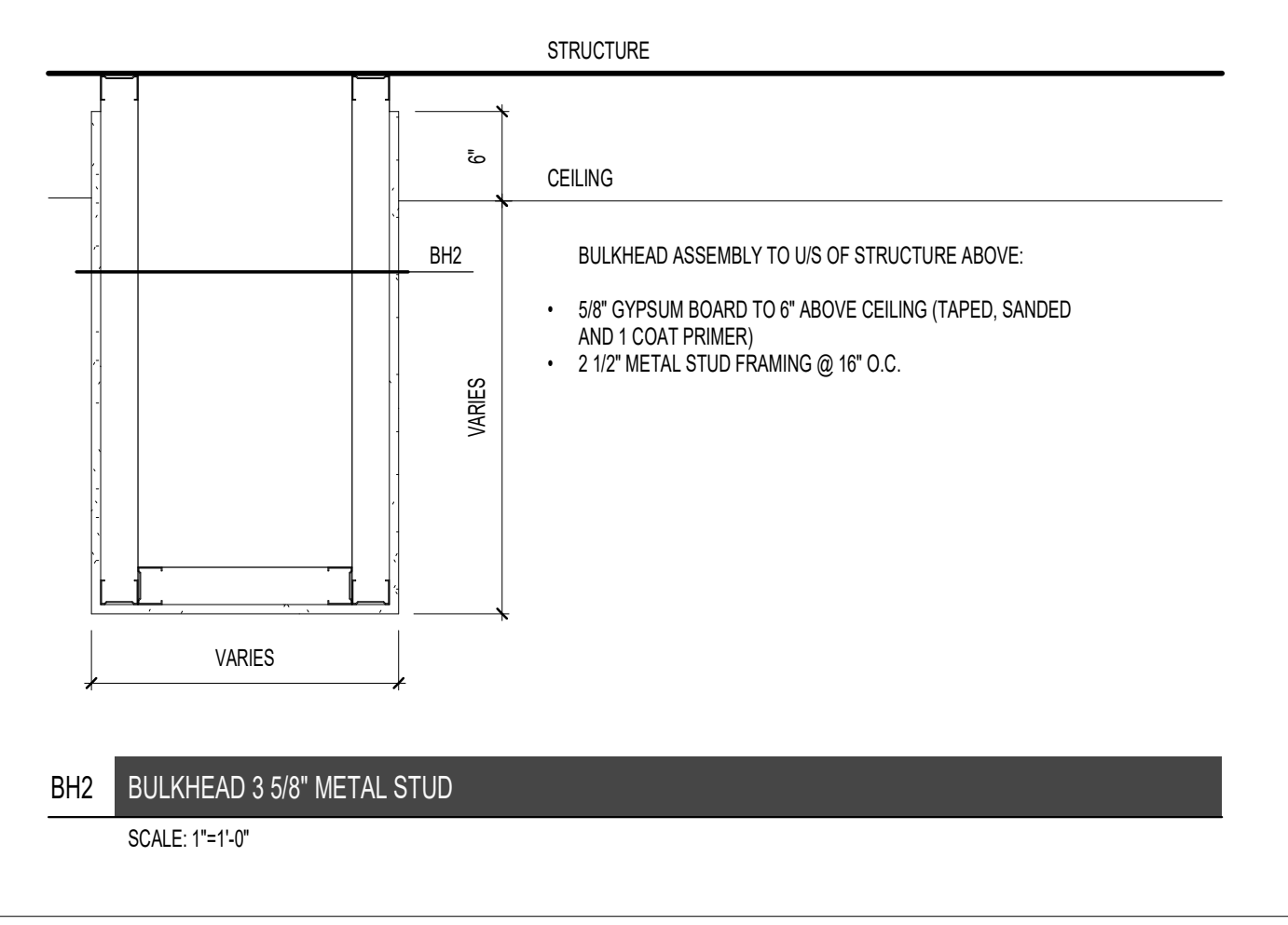
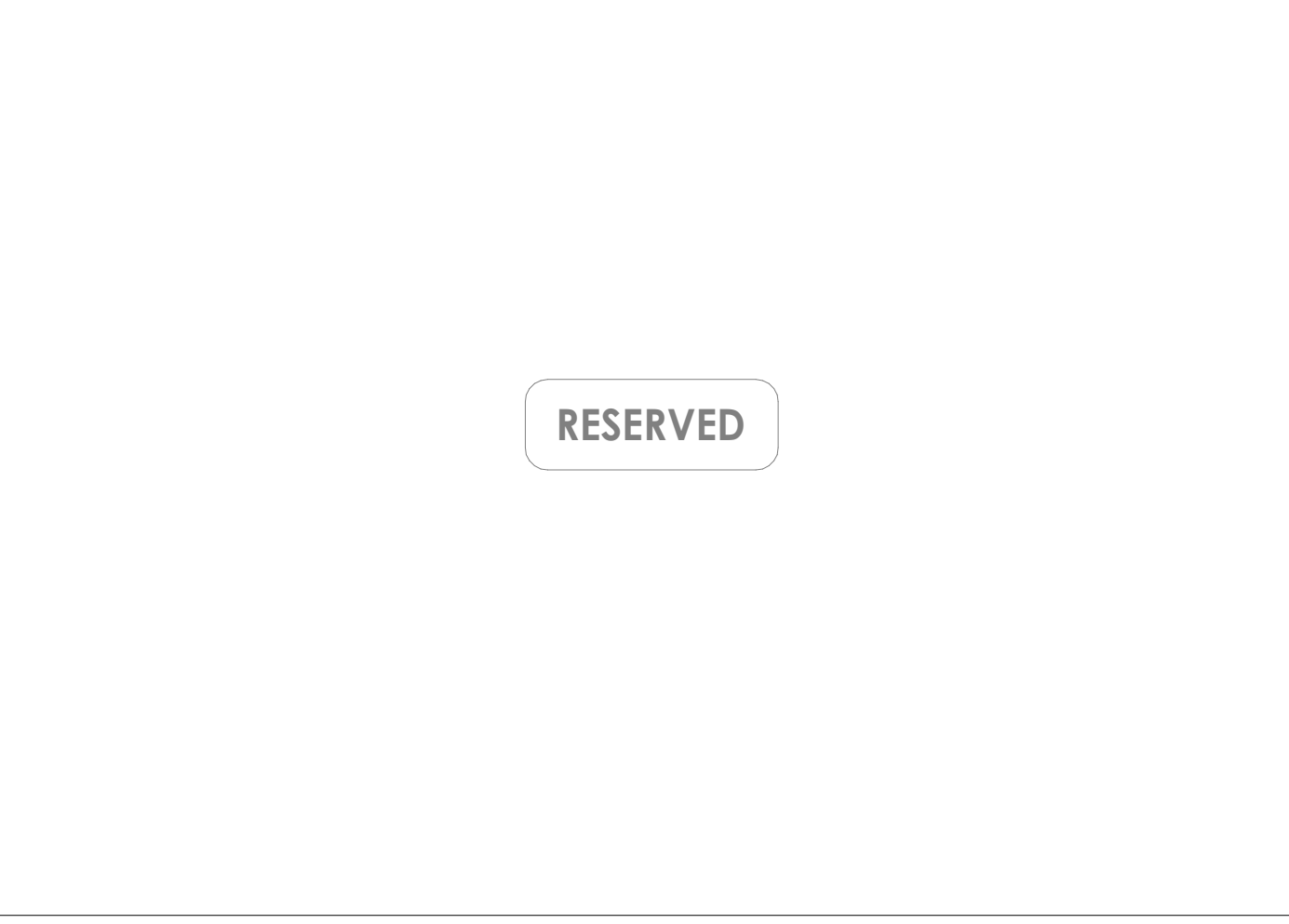
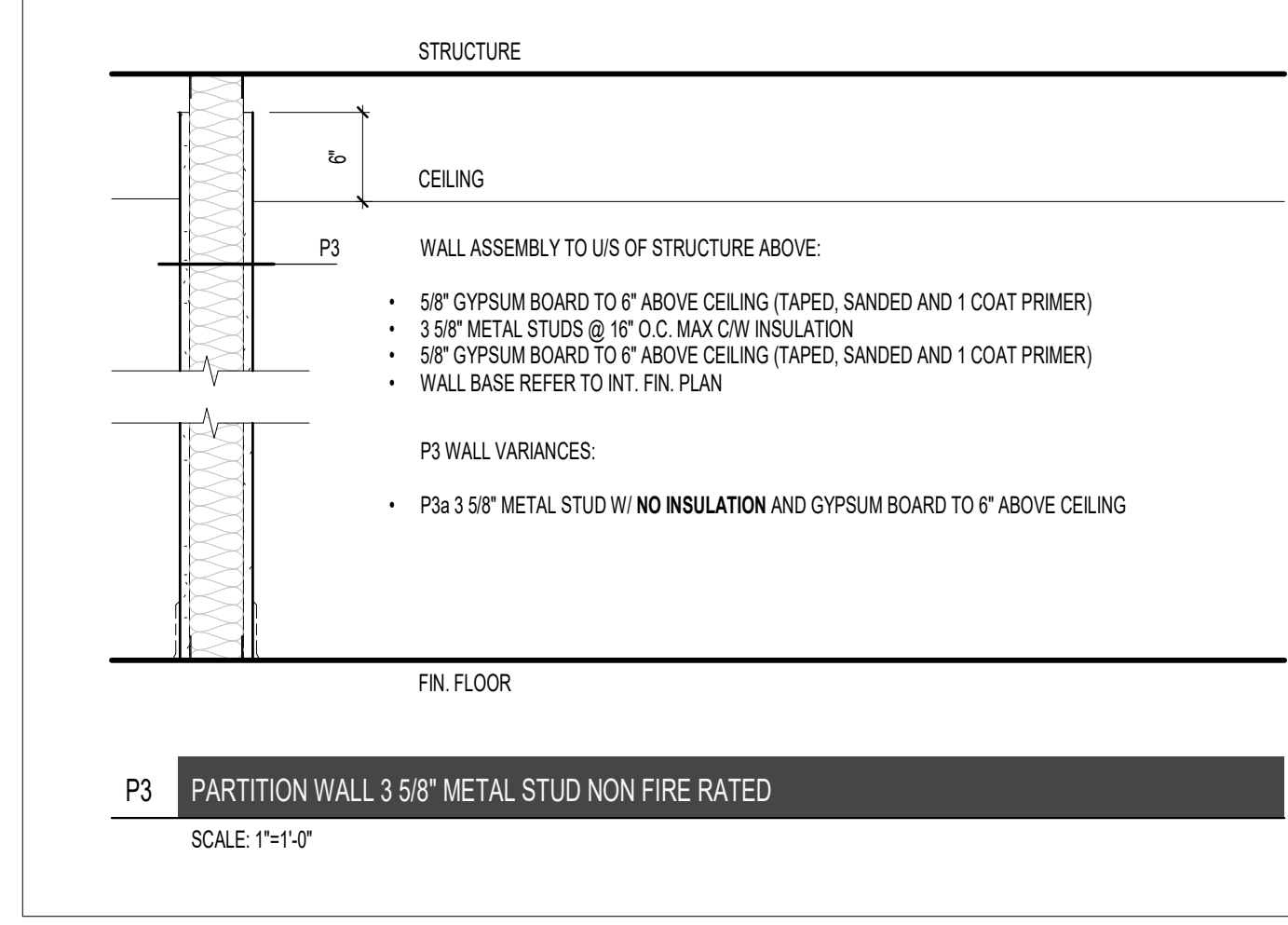
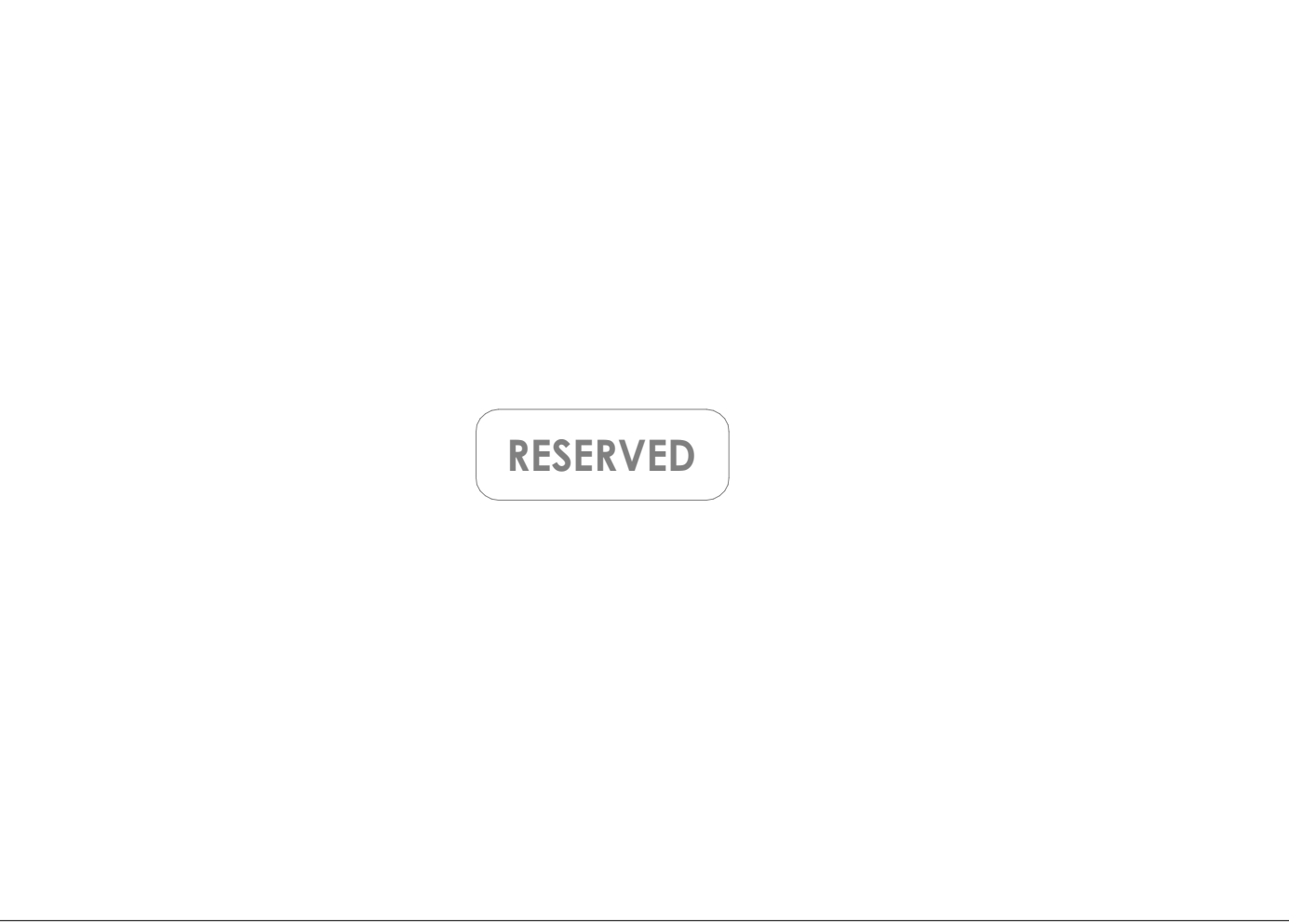
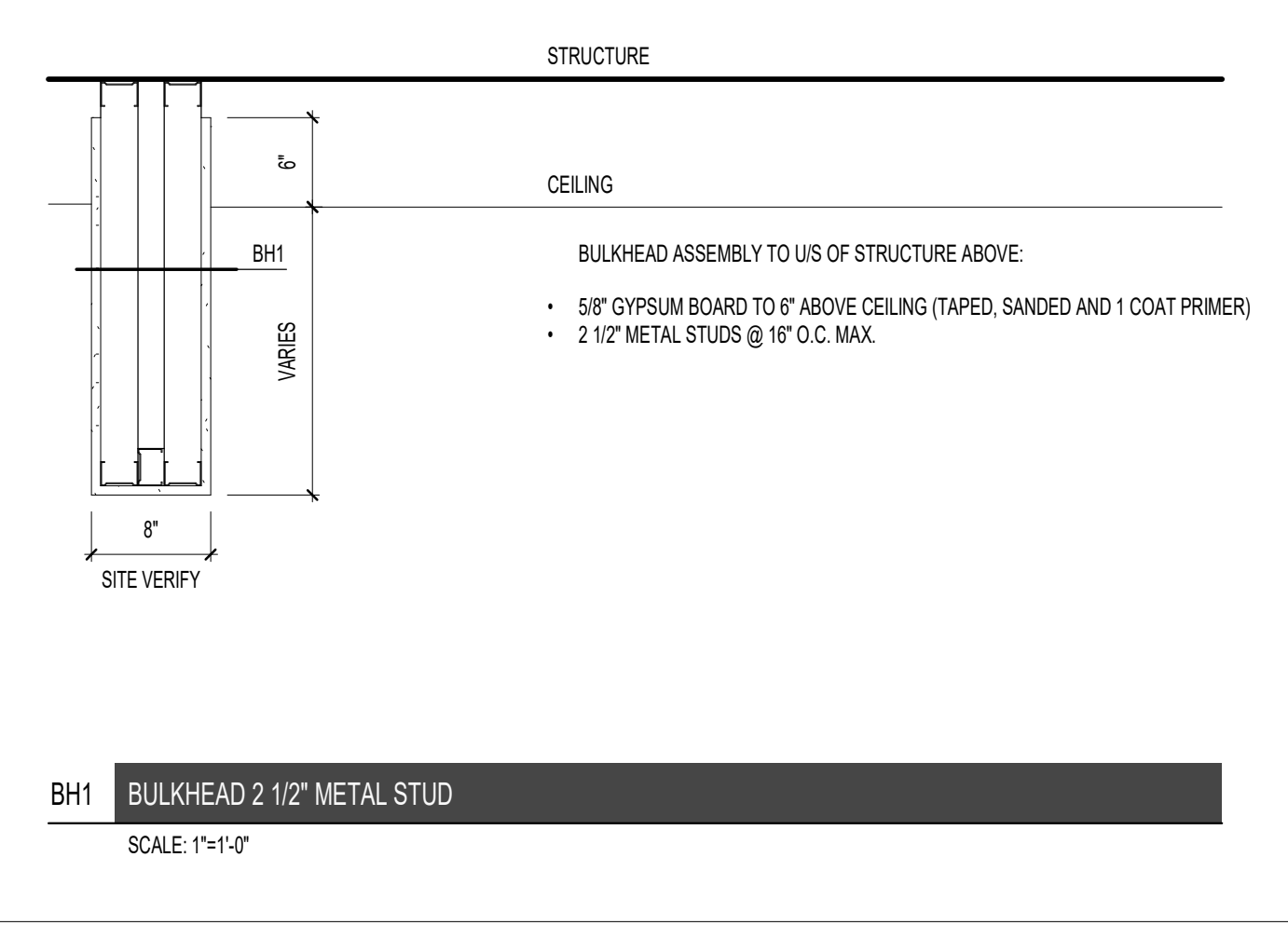
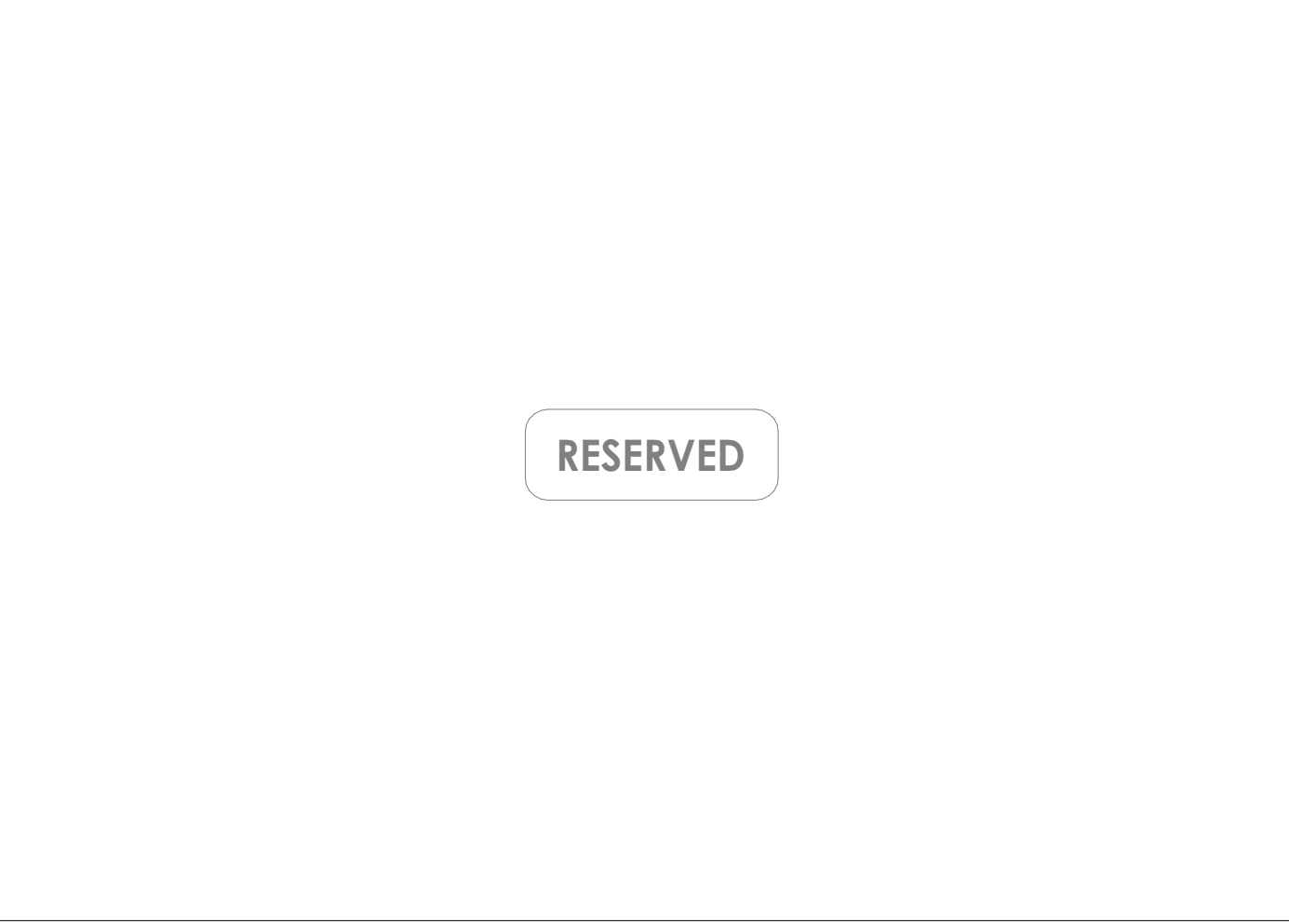
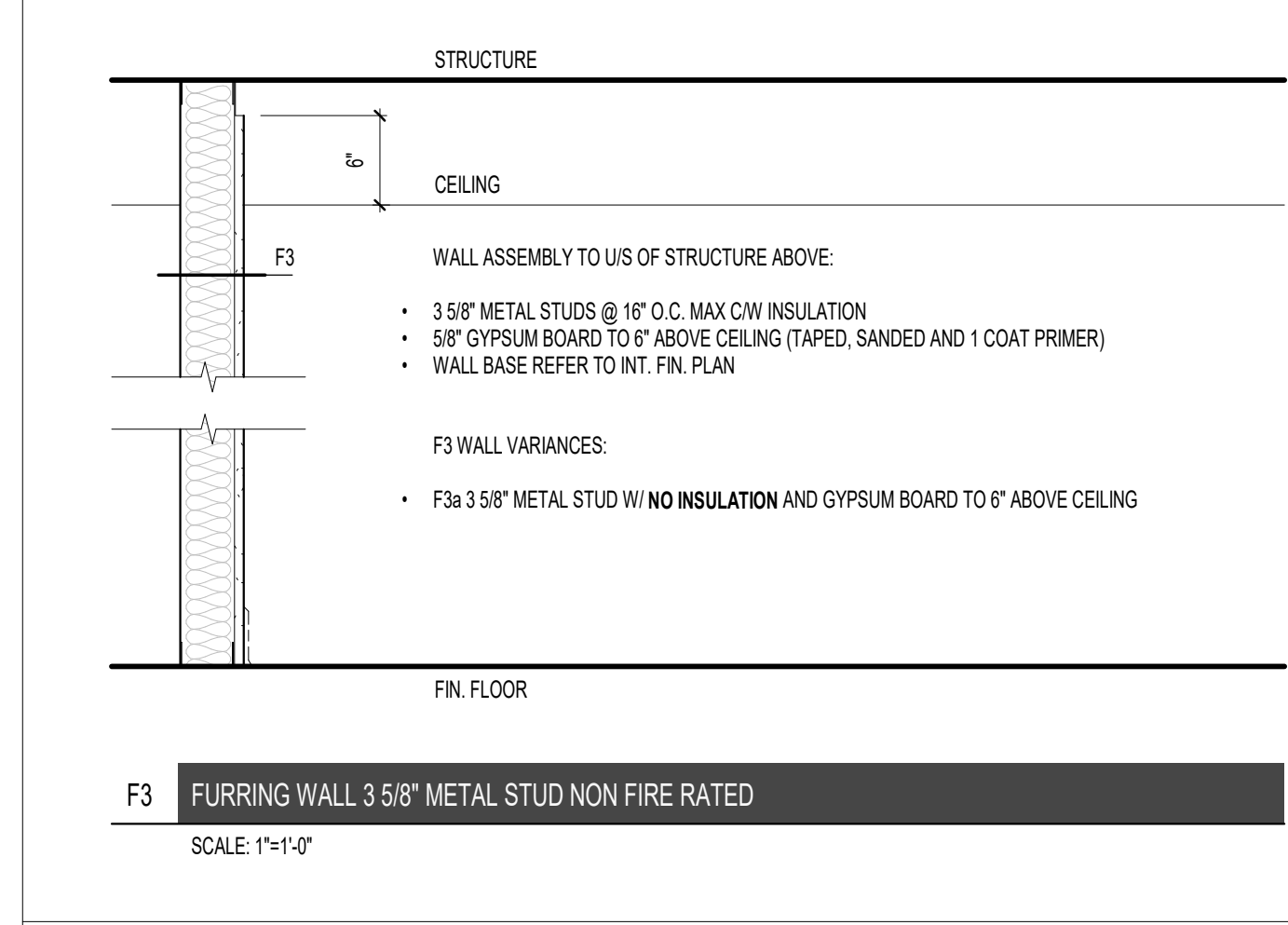
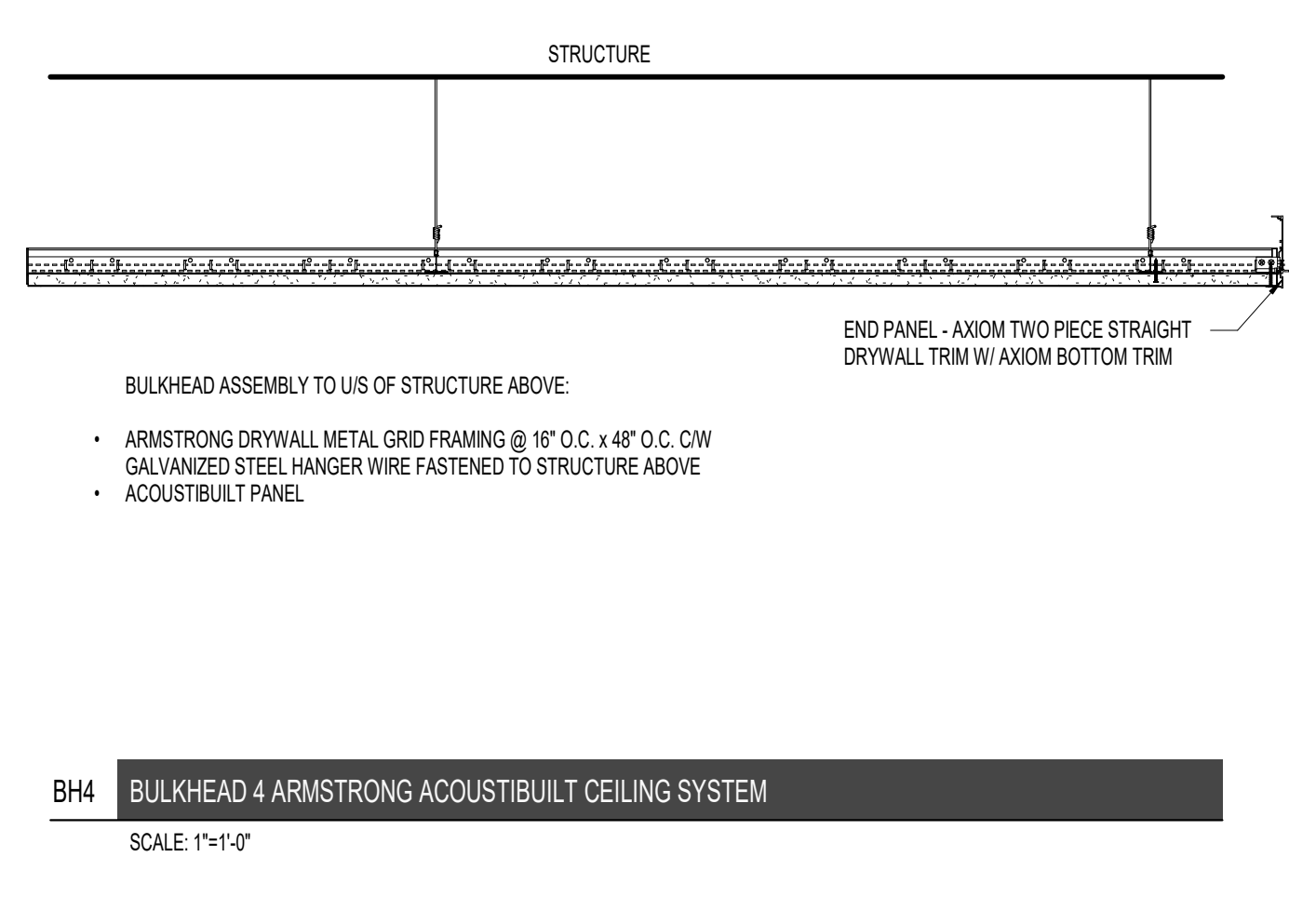
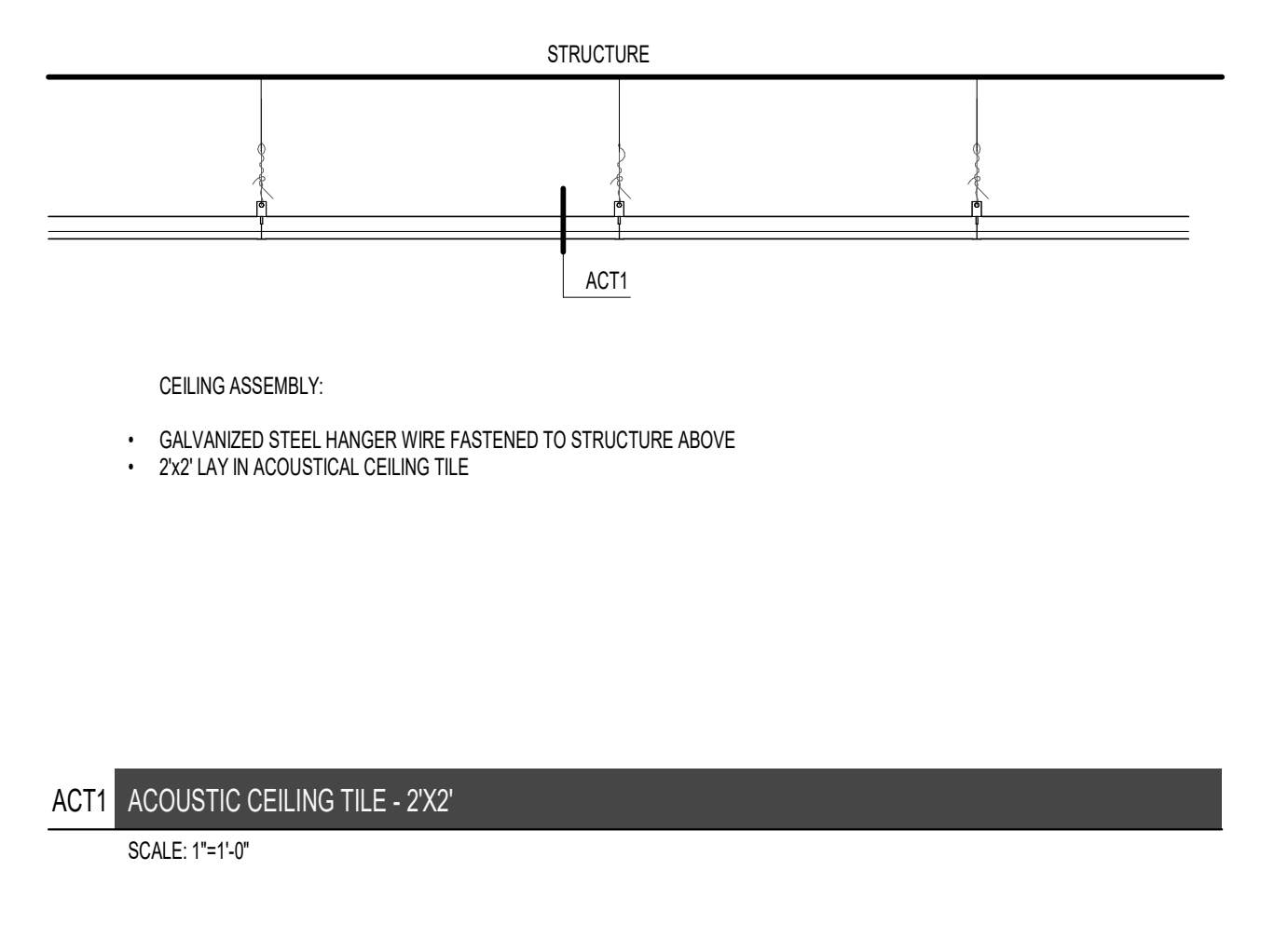
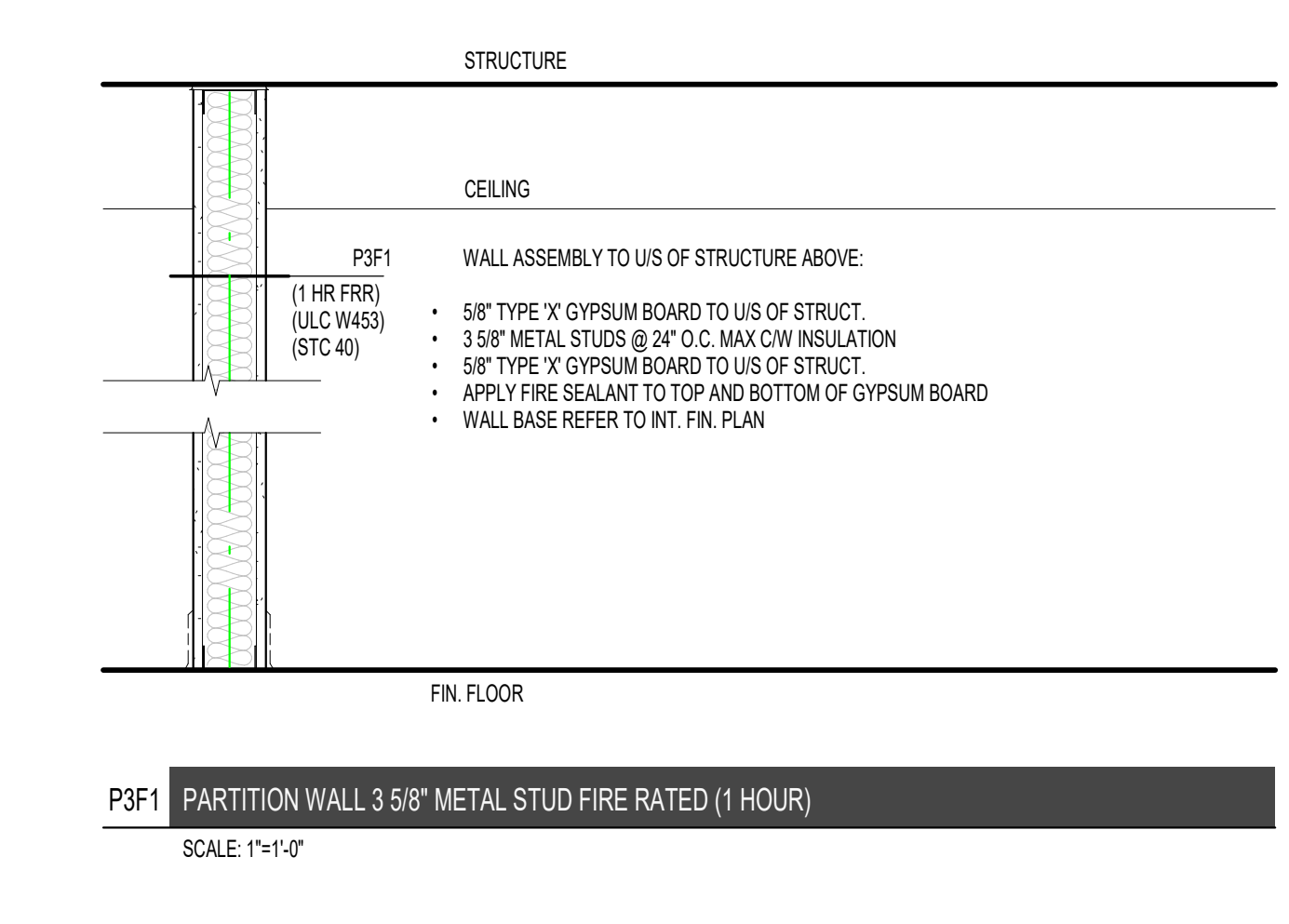
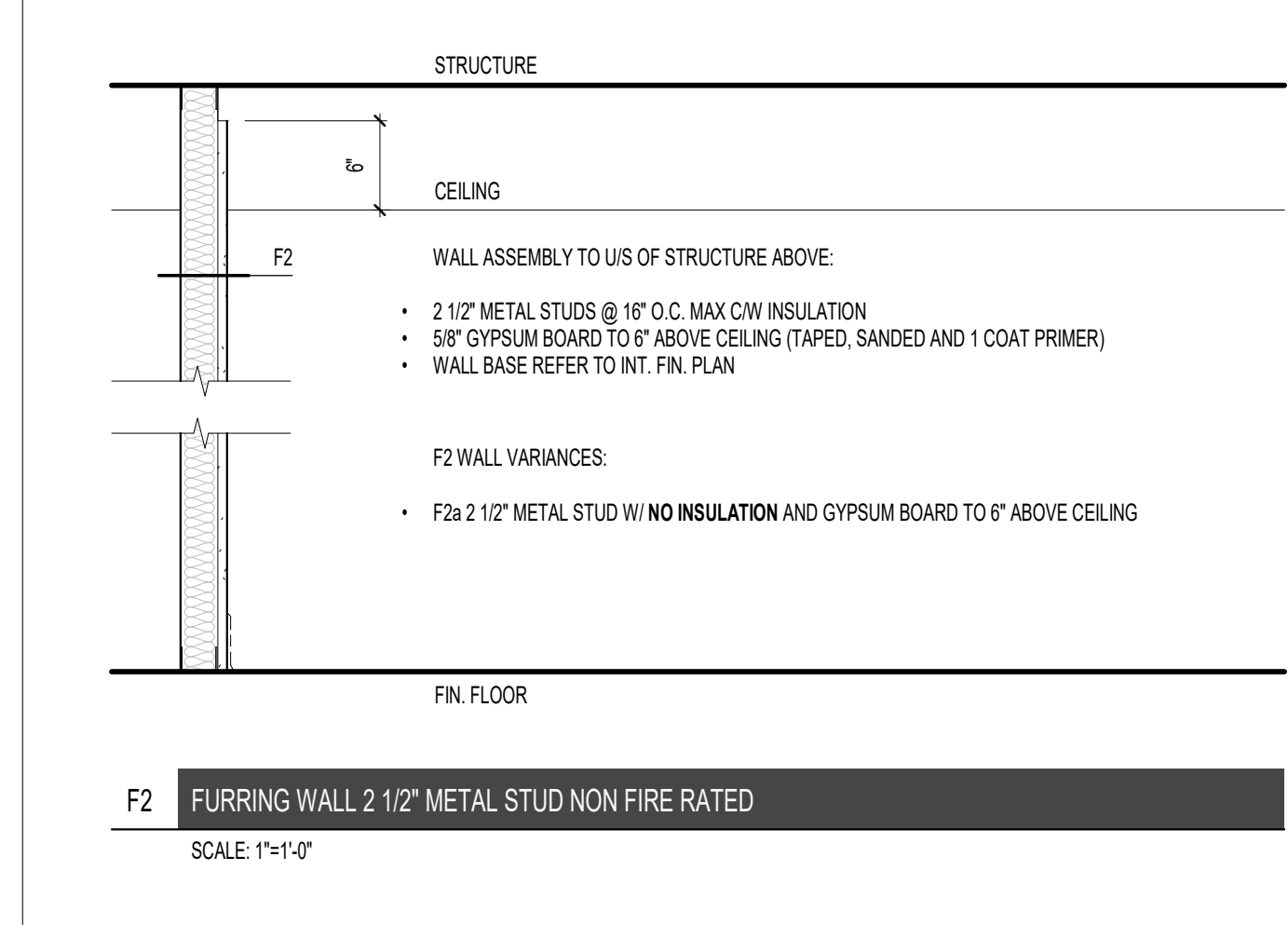
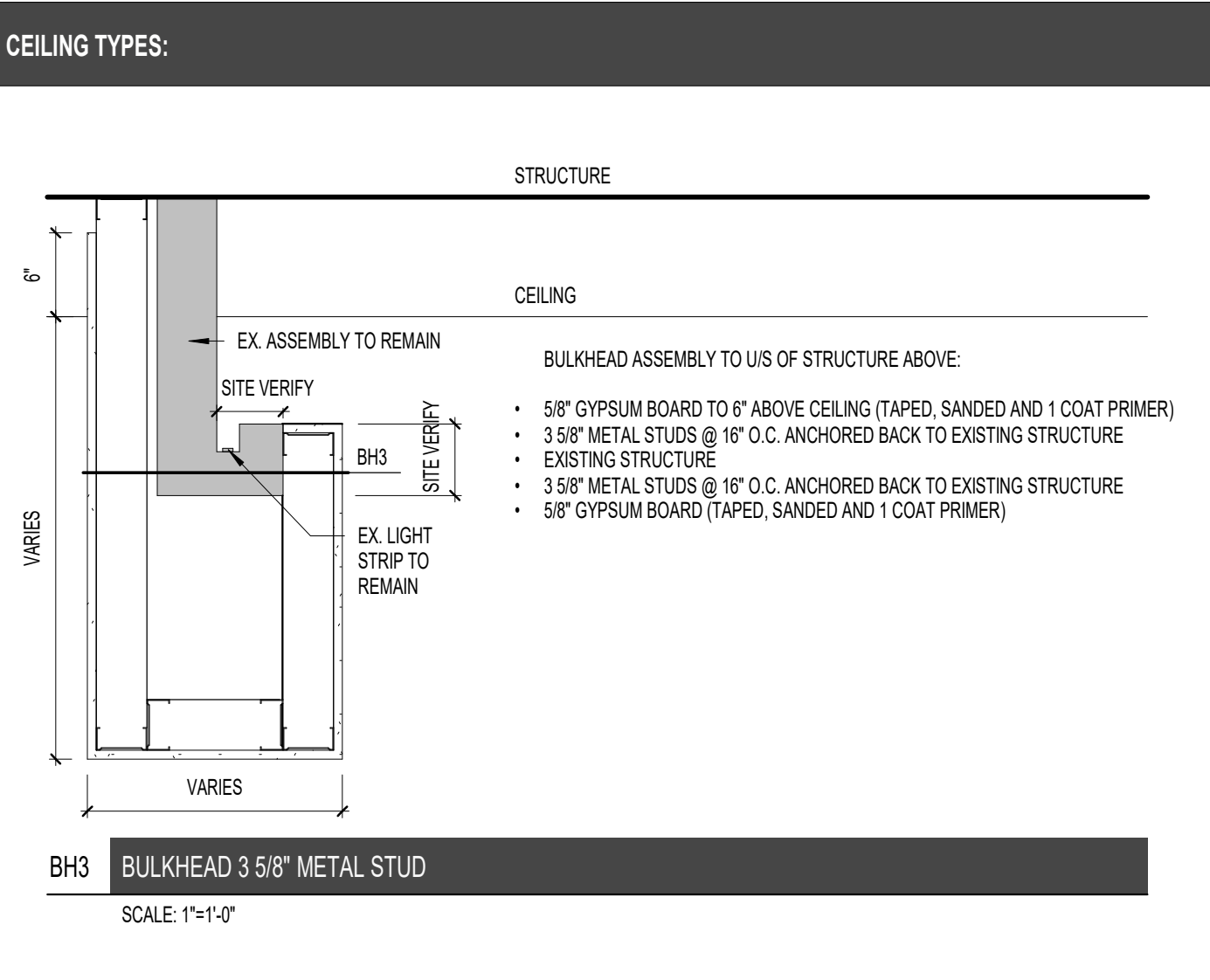
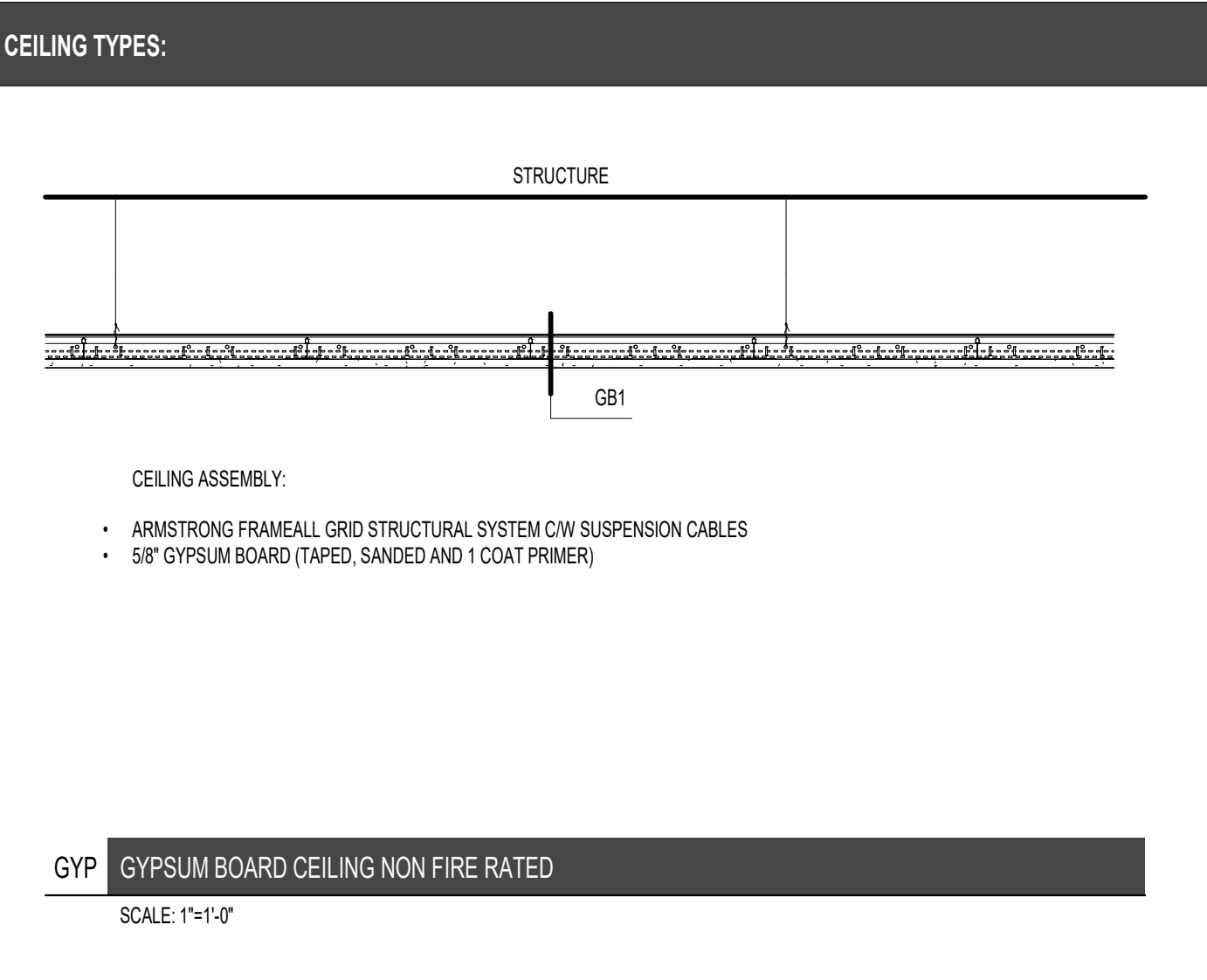
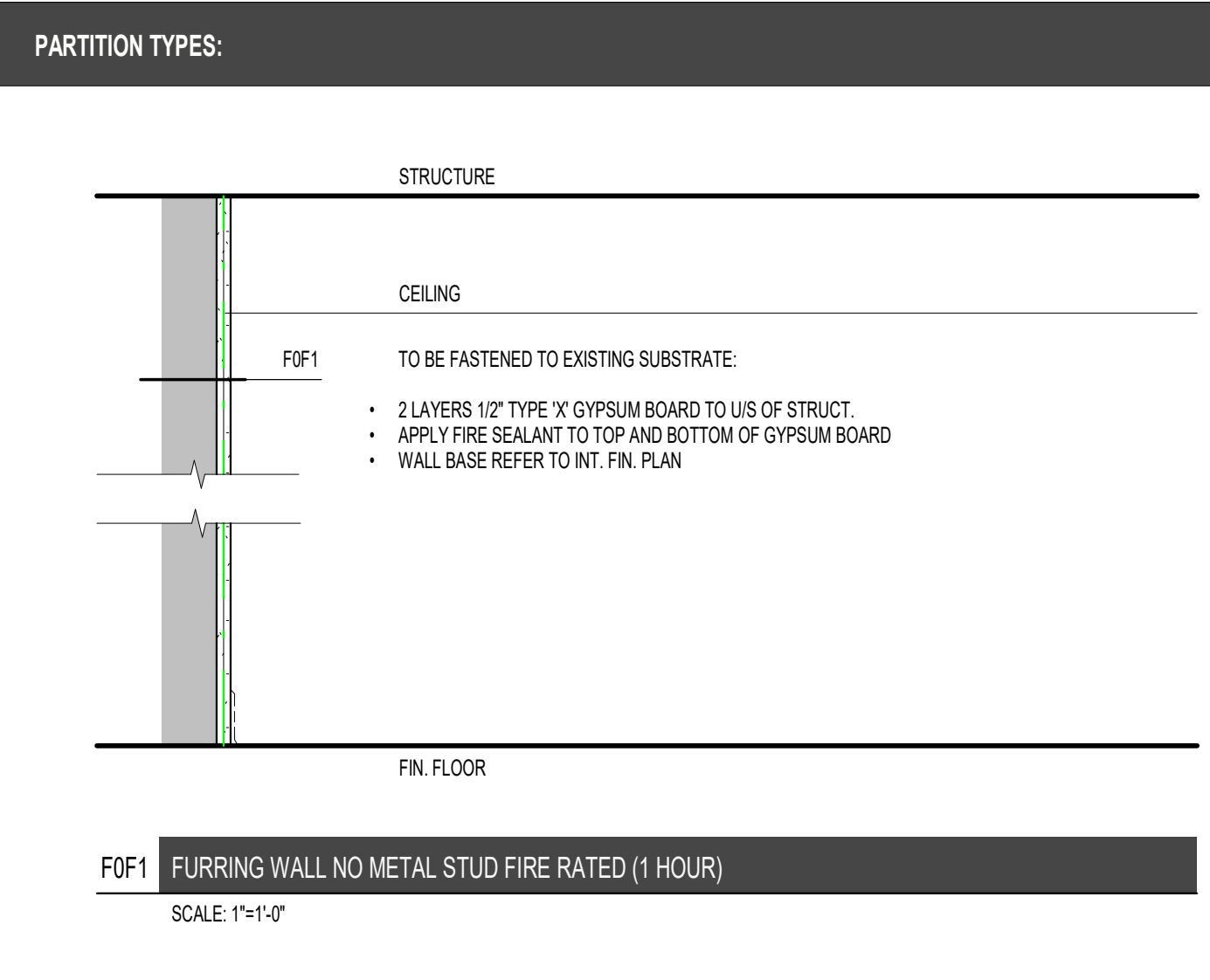
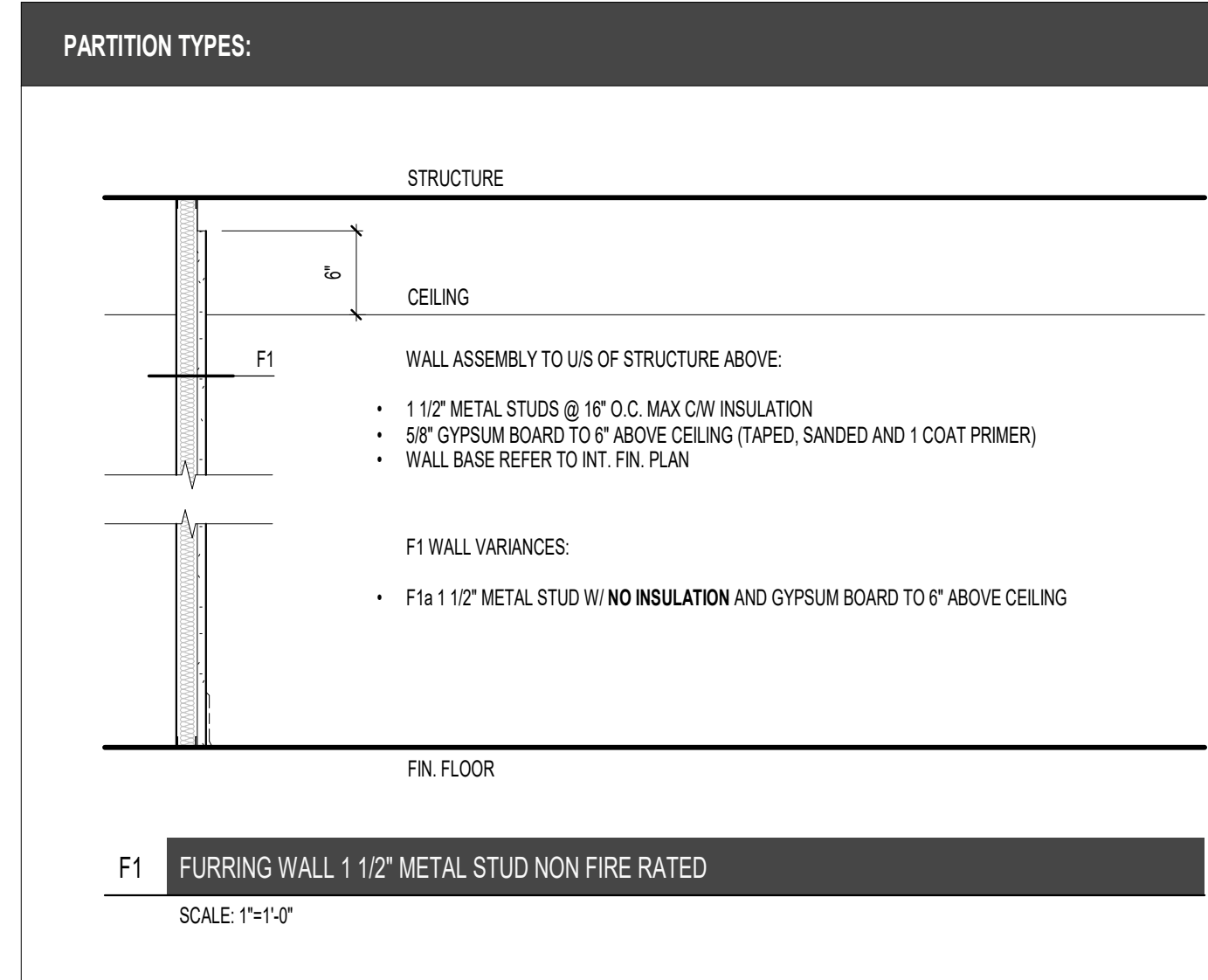


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Project Title:  
 SHERWOOD LIBRARY RENOVATION

1225 Wonderland Rd N, London, ON N6G 2V9  
 Sheet Name:  
 GENERAL NOTES, ABBREVIATIONS,  
 OBC MATRIX & DETAILS

Scale: As indicated  
 Project No: 23-006  
 Sheet No: AG101



NO. DATE: 4 2024 05 18 IFT  
1 2024 05 22 PERMIT

ISSUED FOR: SW, HR, BP  
BY: HR, SW

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE ARCHITECT'S DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT AND MUST BE KEPT IN THE ARCHITECT'S OFFICE. NO REPRODUCTION OR TRANSMISSION OF ANY KIND IS PERMITTED WITHOUT THE ARCHITECT'S WRITTEN PERMISSION. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

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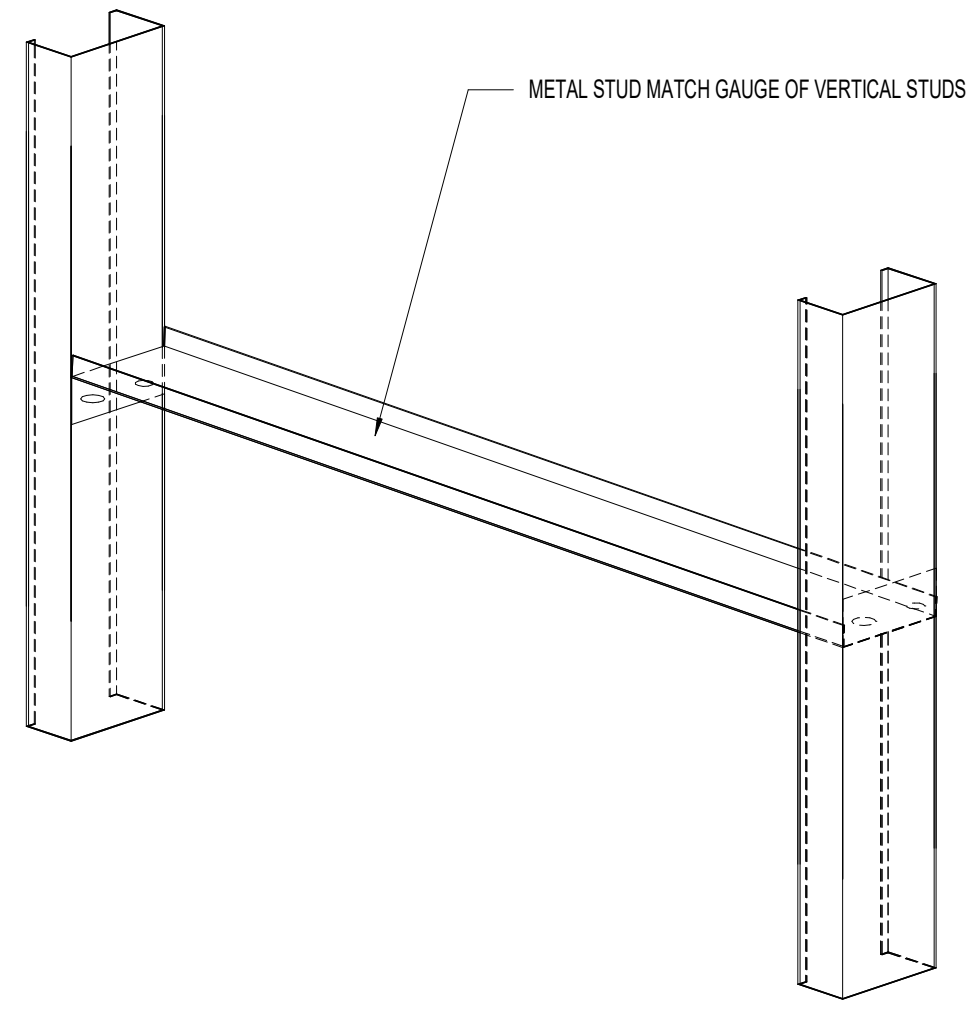
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1225 Wonderland Rd N, London, ON N6G 2Y9

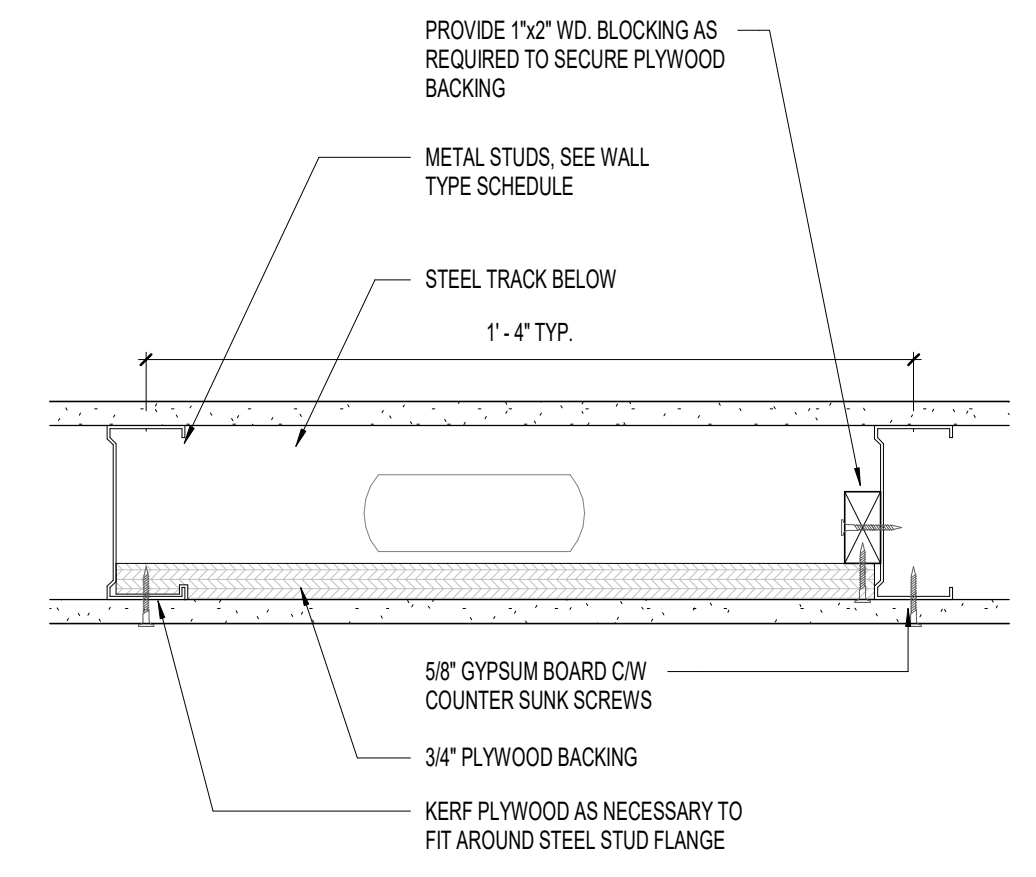
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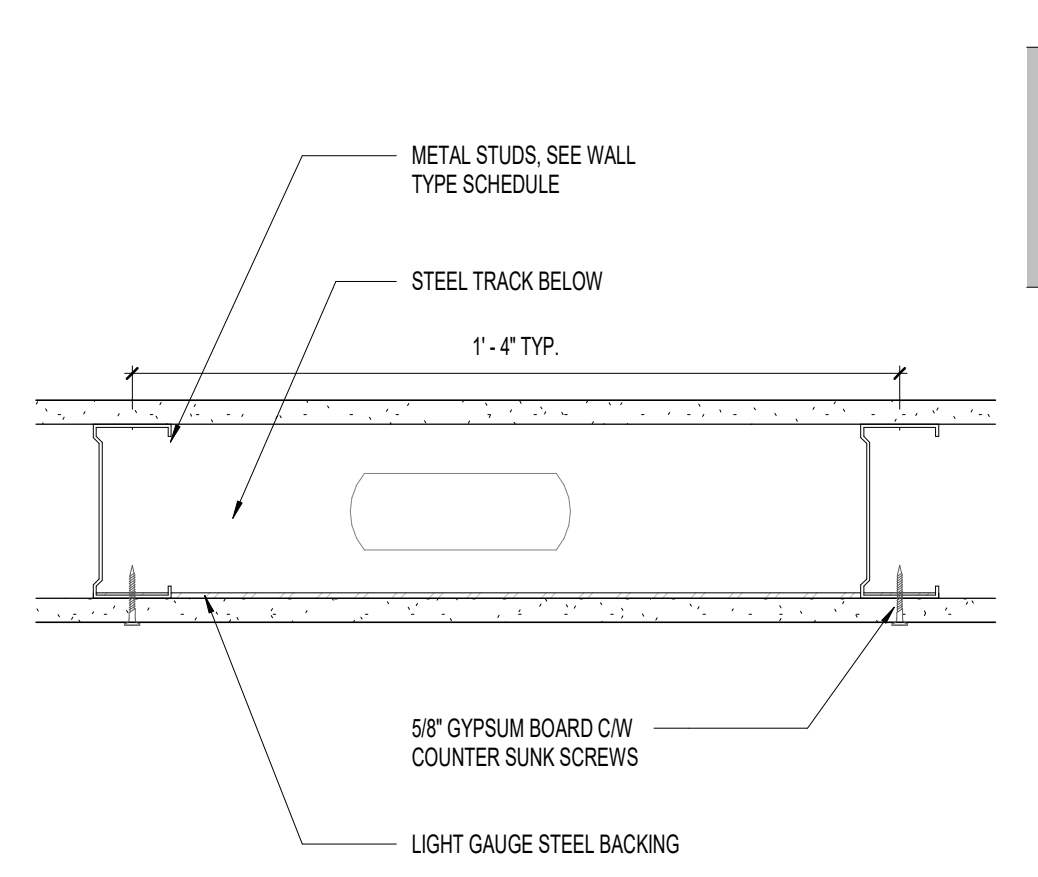
Project No: 23-006  
Sheet No: AG102



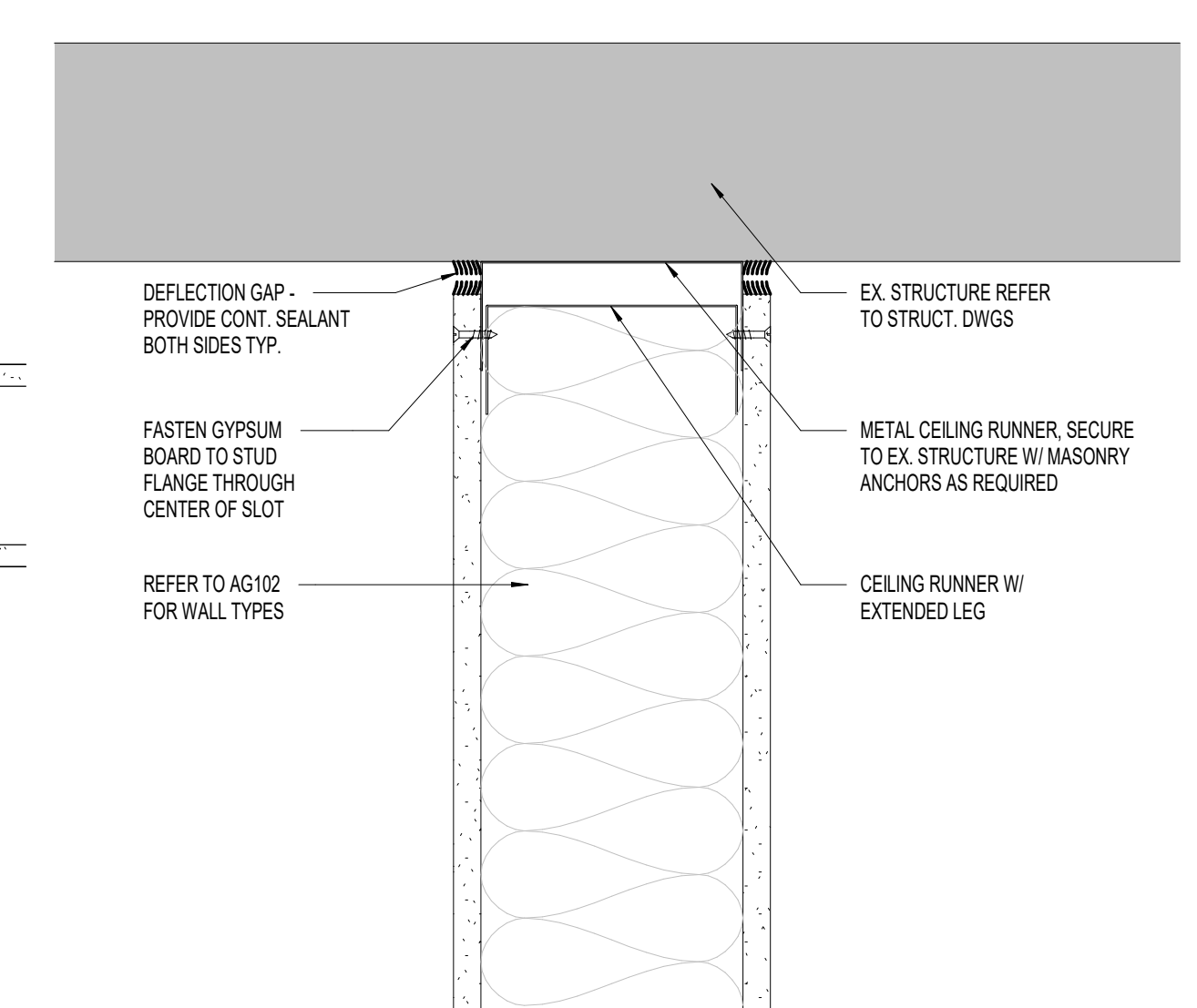
D1 ISOMETRIC FIREBLOCKING DETAIL  
AG103 Scale: 3" = 1'-0"



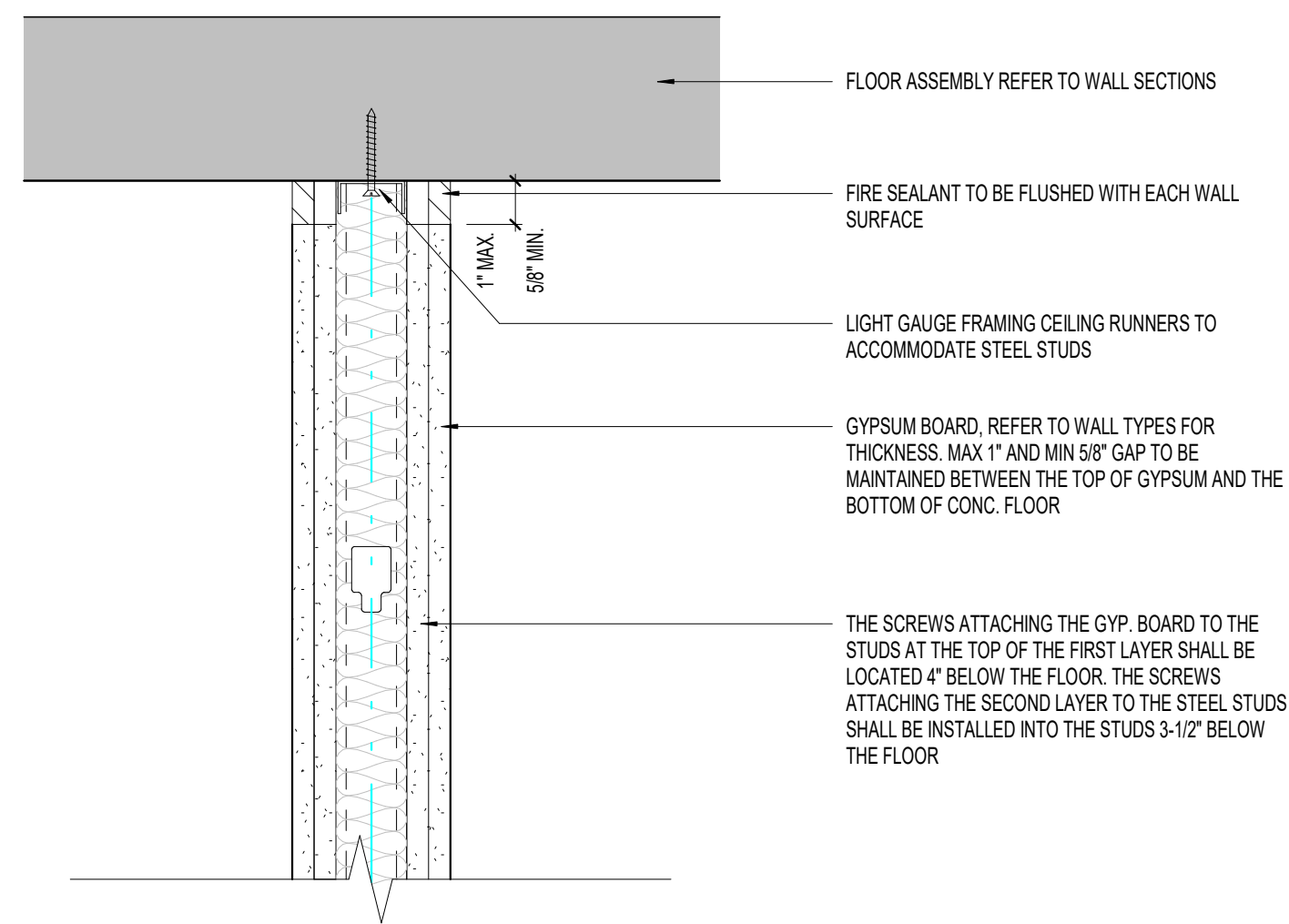
D2 TYP. PLYWOOD BACKING DETAIL  
AG103 Scale: 3" = 1'-0"



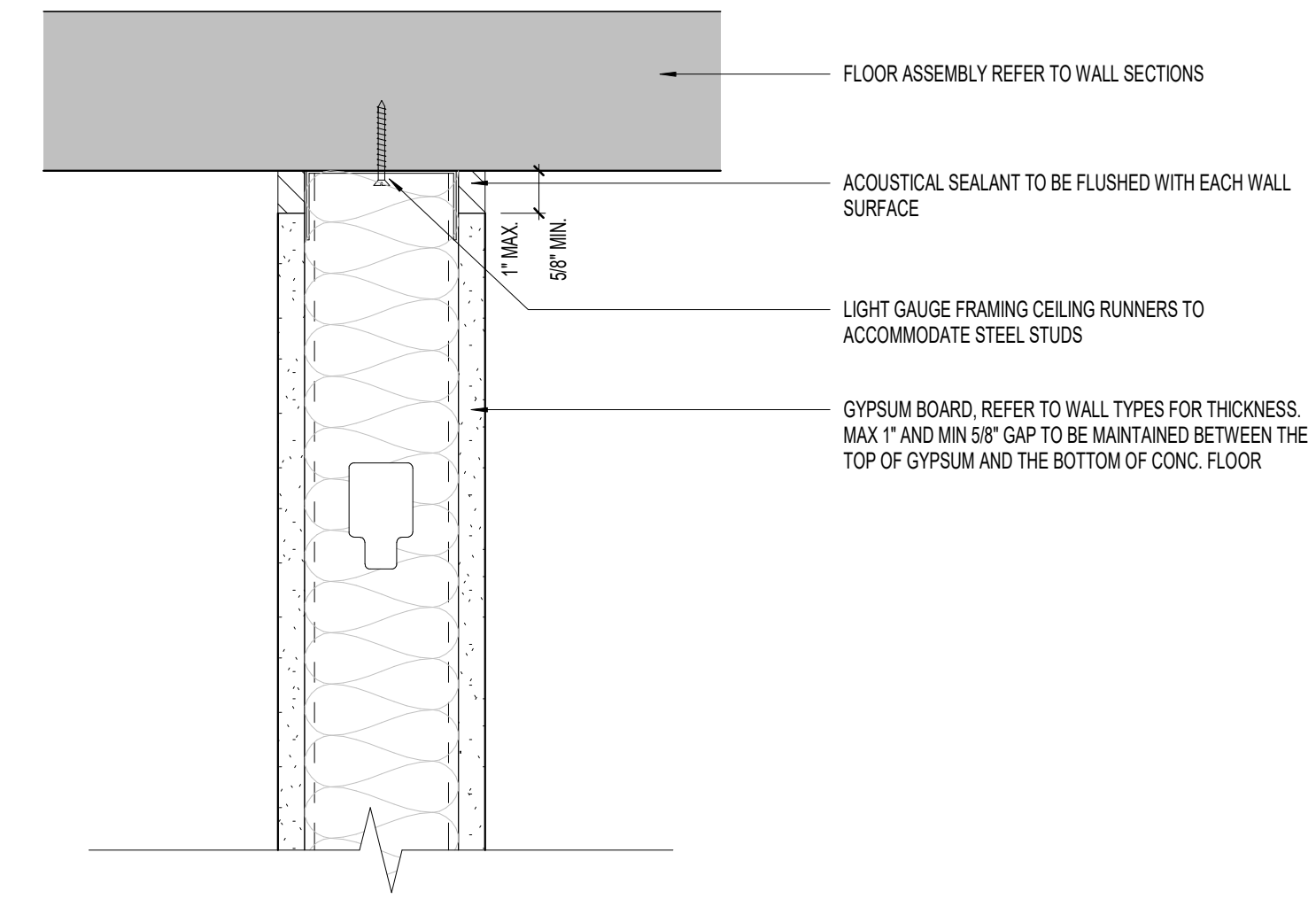
D3 TYP. METAL BACKING DETAIL  
AG103 Scale: 3" = 1'-0"



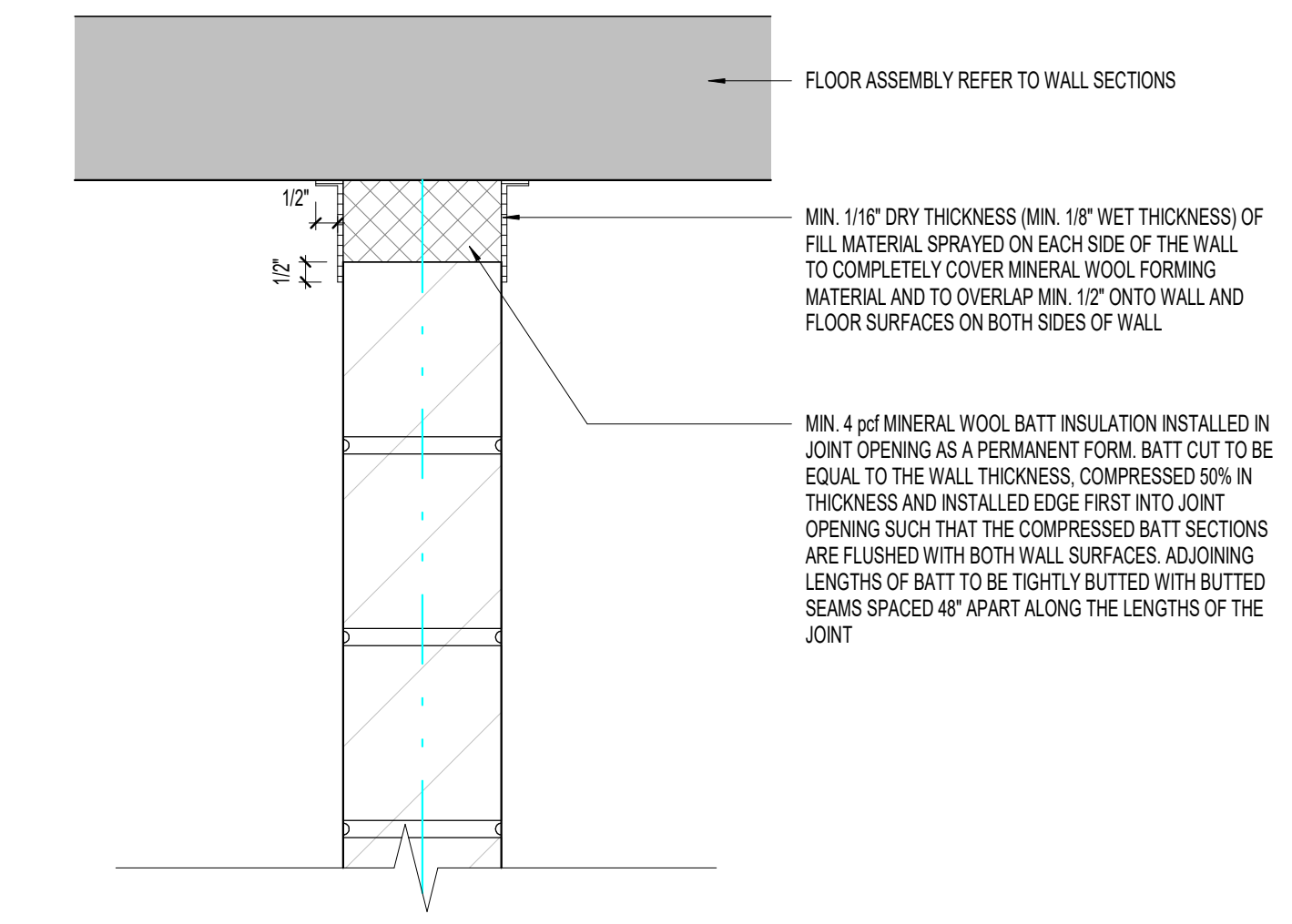
D4 TYP. METAL STUD DEFLECTION DETAIL  
AG103 Scale: 3" = 1'-0"



A1 TYP. TOP AND BOTTOM FIRESTOP DETAIL FOR A RATED STUD WALL  
AG103 Scale: 3" = 1'-0"



A2 TYP. TOP AND BOTTOM SOUND PROOFING DETAIL FOR A STUD WALL  
AG103 Scale: 3" = 1'-0"

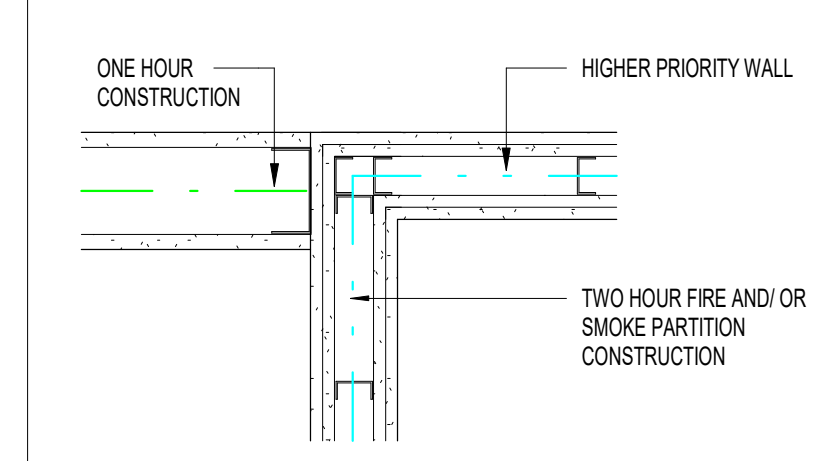
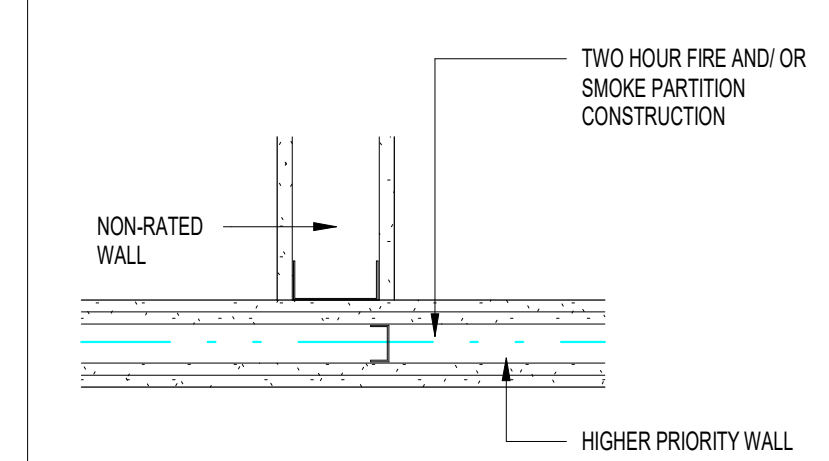
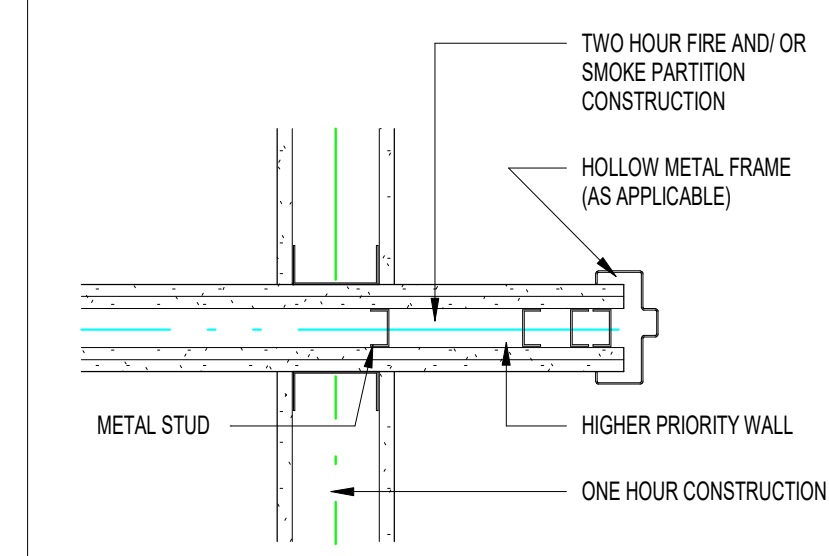
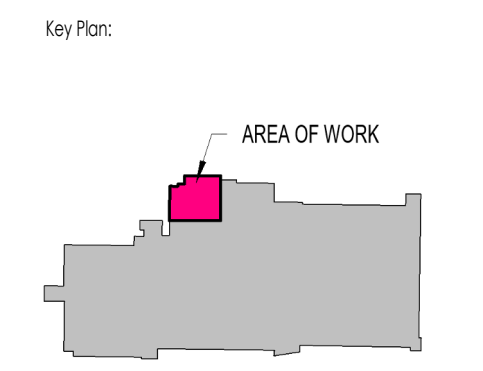


A4 TYP. TOP AND BOTTOM FIRESTOP DETAIL FOR A BLOCK WALL  
AG103 Scale: 3" = 1'-0"

**PRIORITY LEGEND:**

TWO HOUR FIRE AND/OR SMOKE WALL	- PRIORITY 1 (HIGHEST)
TWO HOUR FIRE WALL	- PRIORITY 2
TWO HOUR SHAFTWALL	- PRIORITY 2
ONE HOUR FIRE AND/OR SMOKE WALL	- PRIORITY 3
ONE HOUR FIREWALL	- PRIORITY 4
NON-RATED WALL	- PRIORITY 5 (LOWEST)

NOTE: ALL PARTITION TYPES INDICATED, MAY-NOT BE USED. REFER TO PLANS FOR MORE INFORMATION



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1 2024.05.22 PERMIT HRL, SW  
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**PARTITION LEGEND:**

WALL TYPE (P-PARTITION, F-FURRING, S-SHAFT)
STUD SIZE
#AB#
# OF HOURS FOR THE FIRE RATED WALL ASSEMBLY (BURN TIME)
ADDITIONAL WALL ASSEMBLY INFORMATION (EX. FIRE RATING)

- GENERAL NOTES:**
- SEE FLOORPLAN FOR THE EXTENT OF EACH WALL TYPE. SOME WALL TYPES MAY NOT BE USED IN PROJECTS.
  - WALL TYPES ARE TITLED TO GENERALLY DESCRIBE AN ASSEMBLY'S FIRE RESISTIVE CAPABILITY. IN SOME CASES, ARCHITECT MAY HAVE EMPLOYED A GIVEN WALL TYPE FOR ITS SOUND CONTROL OR OTHER PROPERTIES THUS IT IS POSSIBLE THAT WALL TYPE CHOSEN MAY PROVIDE GREATER FR CAPABILITY THAN ACTUALLY REQUIRED BY BUILDING CODE. UTILIZE WALL TYPES INDICATED BY FLOORPLAN CALLOUTS.
  - CONTACT ARCHITECT WHERE WALL LACKS A WALL TYPE CALLOUT
  - 'METAL STUDS' INDICATE ON THIS SHEET FOR INTERIOR PARTITIONS. REFER TO THOSE SPECIFIED IN SECTION 09 22 16 NON STRUCTURAL METAL FRAMING. REFER TO SPECIFICATIONS FOR ADDITIONAL CRITERIA SUCH AS STUD SPACING, MINIMUM GAUGE OF METAL AND PERMISSIBLE DEFLECTION LIMITS.
  - 'STC' REFERS TO SOUND TRANSMISSION CLASS; A RATING SYSTEM THAT DESCRIBES THE ABILITY OF AN ASSEMBLY TO REDUCE THE TRANSMISSION OF SOUND. CONFIGURE SOUND-RATED WALL ASSEMBLIES ACCORDING TO THE MINIMUM REQUIREMENTS STIPULATED IN THE STC TEST LISTED.
  - 'SAB' REFERS TO SOUND ATTENUATION BATTS SPECIFIED IN SECTION 09 29 00. WHERE SAB ARE INDICATED, THEY SHALL EXTEND CONTINUOUSLY FROM FLOOR TO STRUCTURE
  - WALLS ARE INDICATED WITH CONVENTIONAL GYPSUM WALLBOARD. UPGRADE TO PREMIUM TYPES OF WALLBOARD (i.e. WATER RESISTANT, TILE BACKER ETC.) BASED ON THEIR LOCATION AND ACCORDING TO REQUIREMENTS OF SECTION 09 29 00
  - HEAD OF THE WALL FIRESTOPPING AND SEALING OF THE THRU WALL PENETRATION. REFER TO SECTION 07 84 0000 FIRESTOPPING
  - ACOUSTICAL SEALANT SPECIFIED IN SECTION 09 29 00.



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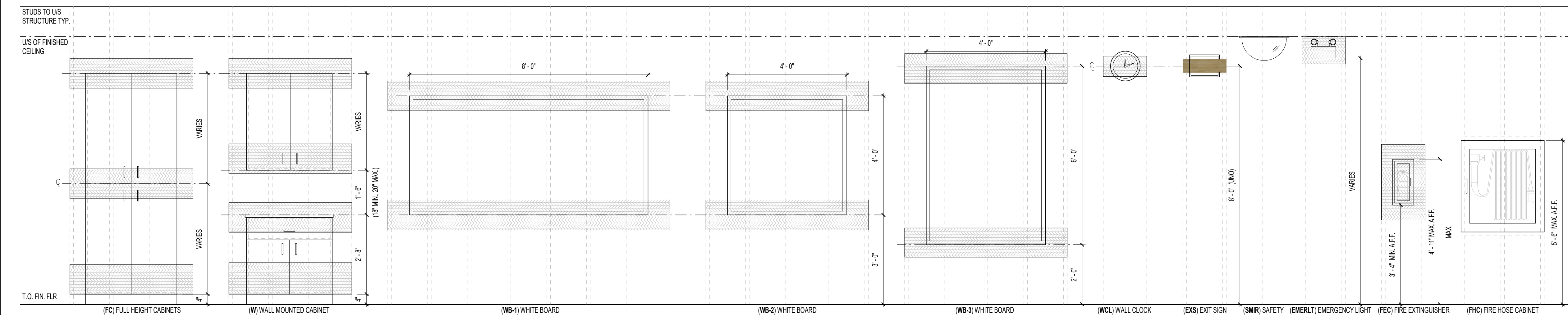
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Sheet Name:  
TYP. WALL DETAILS

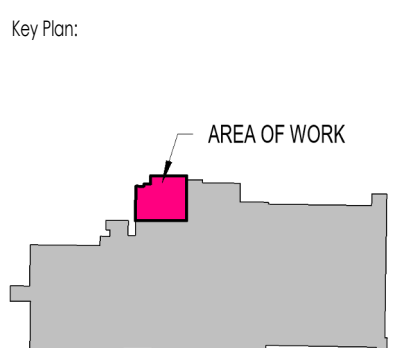
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23-006  
Sheet No:  
AG103

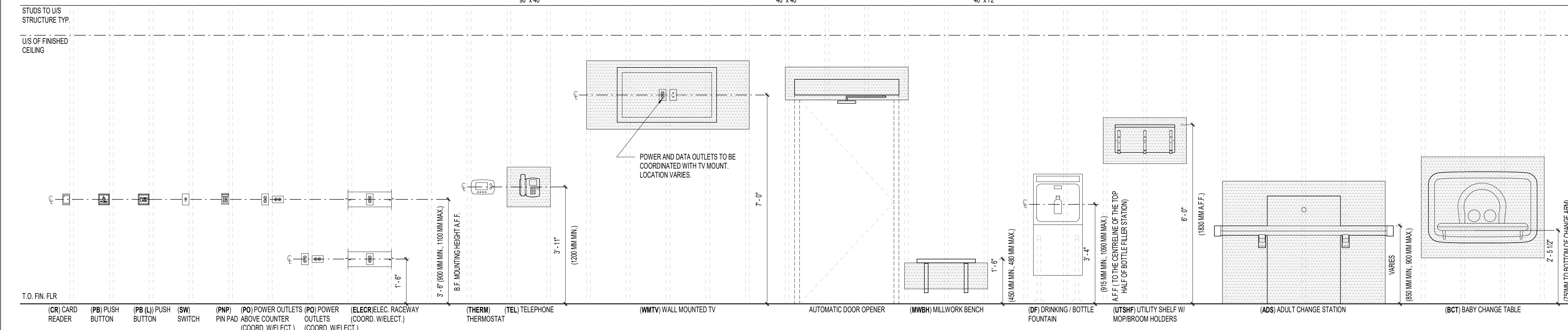


NOTE:  
SECURE ALL WALL MOUNTED ITEMS TO PLYWOOD OR SHEET METAL BACKING/BLOCKING TYP. ALL LOCATIONS. FASTENING OF WALL MOUNTED ITEMS THROUGH GYPSUM BOARD ONLY WILL NOT BE PERMITTED.

SHADED AREA INDICATES APPROXIMATE LOCATION OF 3/4" PLYWOOD BACKING FASTENED TO WALL STUDS AND FLUSH WITH FRONT FACE OF STUD WALL. COORDINATE LOCATION AND SIZE OF BACKING WITH WALL MOUNTED FIXTURES.



**IN THE EVENT OF AN EMERGENCY PUSH EMERGENCY BUTTON AND AUDIBLE AND VISUAL SIGNAL WILL ACTIVATE**



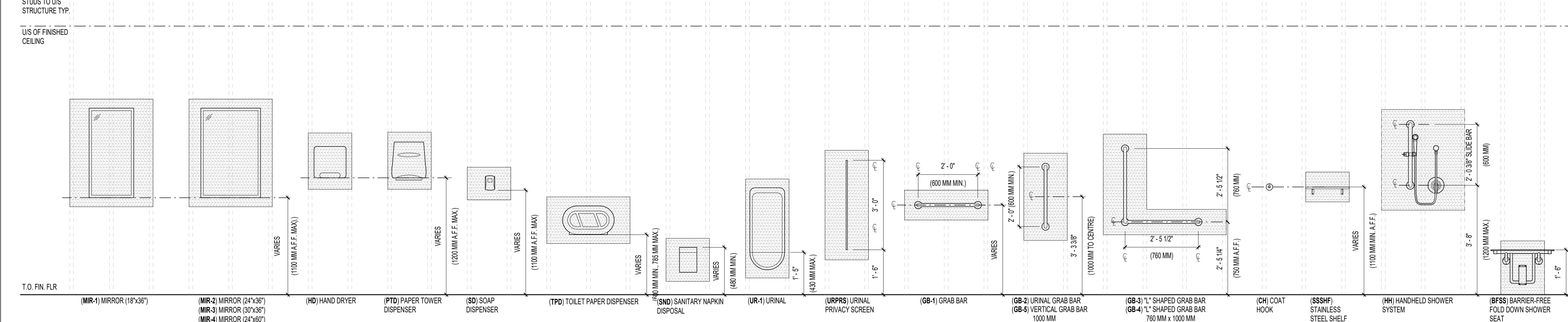
EMERGENCY SIGN 3.8.3.12 (2)(b)  
(2) A UNIVERSAL WASHROOM SHALL HAVE:  
(b) AN EMERGENCY SIGN THAT CONTAINS THE WORDS IN THE EVENT OF AN EMERGENCY EMERGENCY BUTTON AND AUDIBLE AND VISUAL SIGNAL WILL ACTIVATE IN LETTERS AT LEAST 25 MM HIGH WITH A 5 MM STROKE AND THAT IS POSTED ABOVE THE EMERGENCY BUTTON.

4 2024 05 18 IFT  
1 2024 05 22 PERMIT

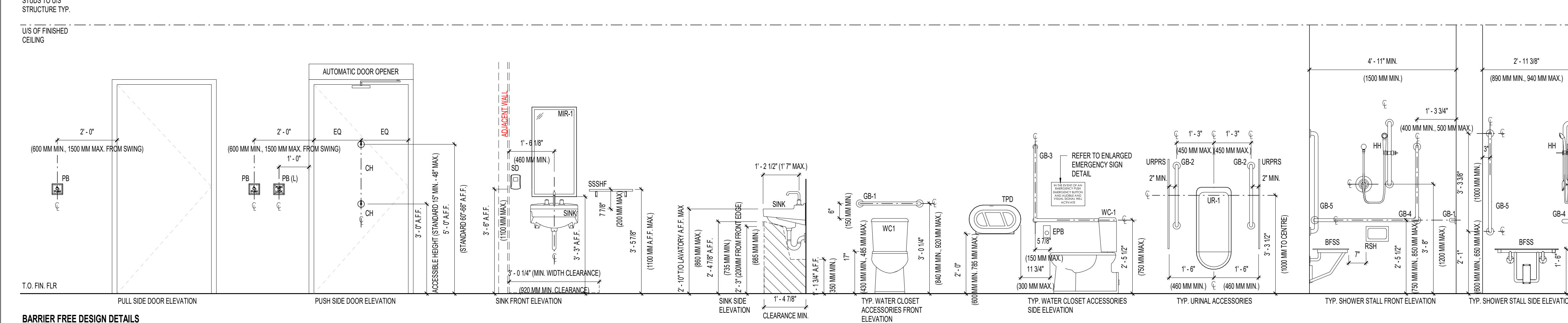
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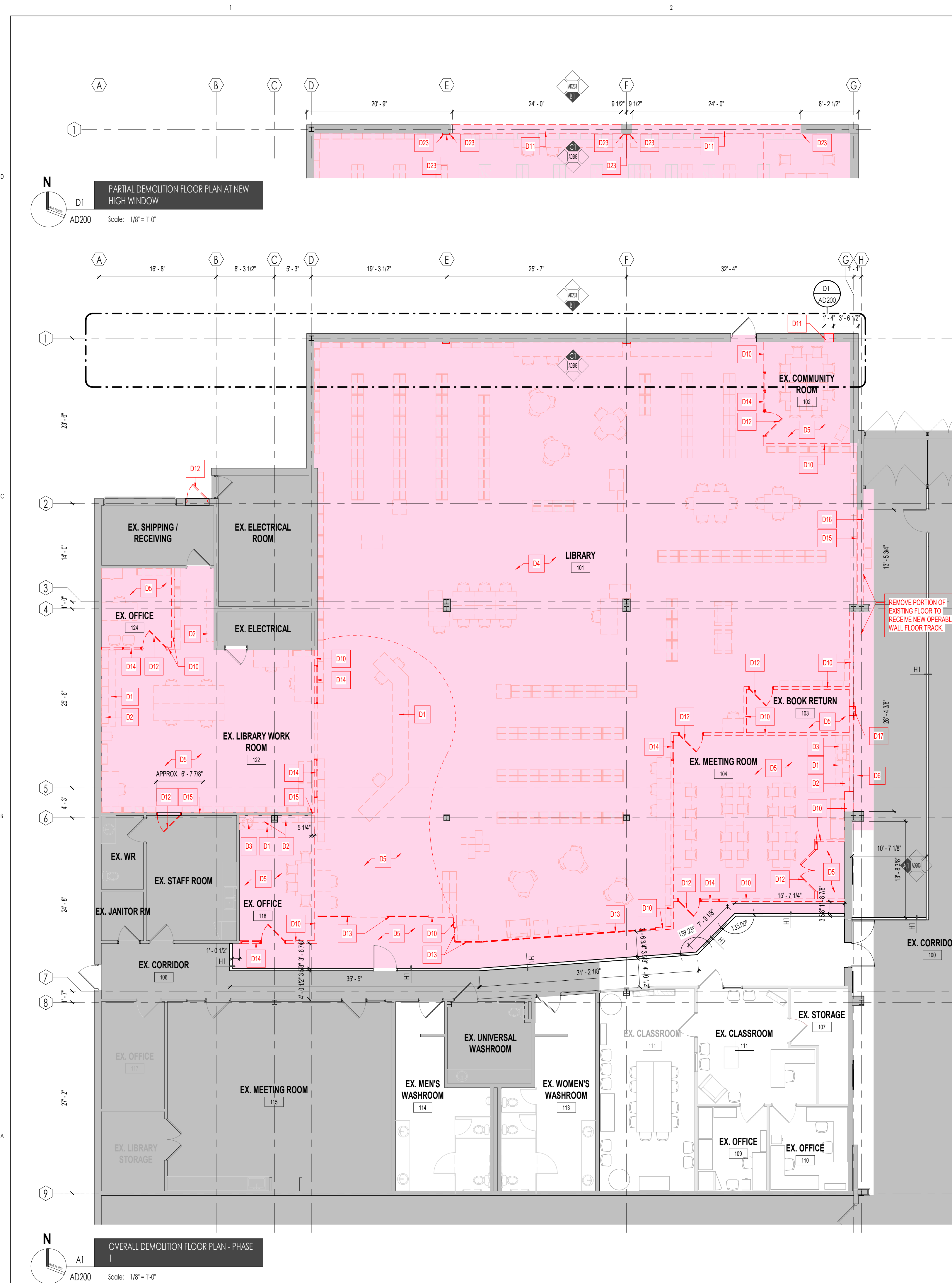
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Sheet Name:  
STANDARD TYP. MOUNTING HEIGHTS

Scale:  
1/2" = 1'-0"

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23-006

Sheet No:  
AG104



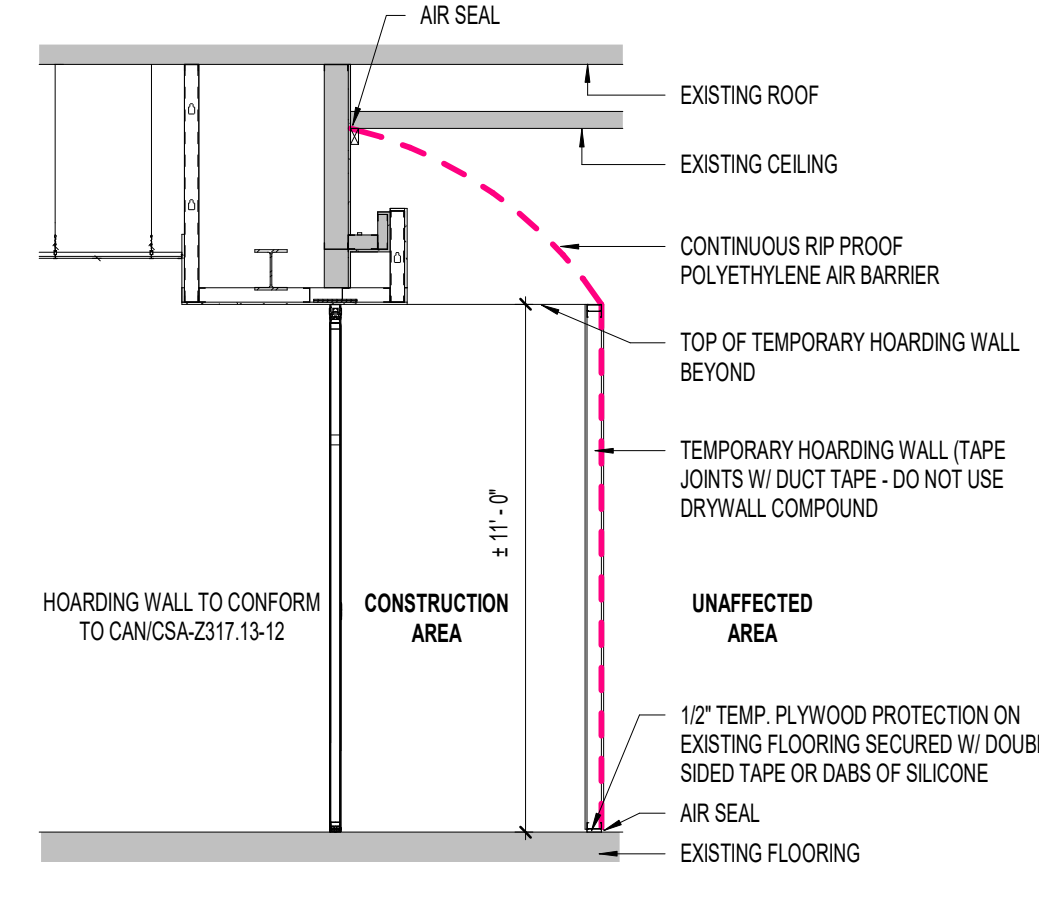
**PARTIAL DEMOLITION FLOOR PLAN AT NEW HIGH WINDOW**

AD200 Scale: 1/8" = 1'-0"

**OVERALL DEMOLITION FLOOR PLAN - PHASE 1**

AD200 Scale: 1/8" = 1'-0"

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**TYP. WALL CORRIDOR HOARDING**

AD200 Scale: 1/4" = 1'-0"

**DEMOLITION KEYED NOTES:**

- NOTES AS INDICATED BY SYMBOL
- ITEMS FOR DEMOLITION**
- D1 REMOVE AND DISPOSE OF EXISTING MILLWORK BASE CABINET INCLUDING COUNTER TOP. MAKE GOOD EXISTING WALLS AND FLOORS TO RECEIVE NEW FINISHES.
  - D2 REMOVE AND DISPOSE OF EXISTING MILLWORK WALL MOUNTED CABINET. MAKE GOOD EXISTING WALLS AND CEILING TO RECEIVE NEW FINISHES.
  - D3 REMOVE AND DISPOSE OF EXISTING SINK INCLUDING TAPS, DRAINS AND WATER LINES. REFER TO MECHANICAL DEMOLITION DRAWINGS FOR ADDITIONAL NOTES.
  - D4 REMOVE AND DISPOSE OF EXISTING CARPET FLOOR FINISH INCLUDING WALL BASE, ADHESIVES AND RESIDUE FROM EXISTING SUB-FLOOR, TRANSITIONS AND THRESHOLD BARS.
  - D5 REMOVE AND DISPOSE OF EXISTING VINYL COMPOSITE TILE FLOOR FINISH INCLUDING WALL BASE, ADHESIVES AND RESIDUE FROM EXISTING SUB-FLOOR, TRANSITIONS AND THRESHOLD BARS.
  - D6 REMOVE PORTION OF EXISTING CERAMIC TILE FLOOR FINISH INCLUDING WALL BASE, GROUT AND MORTAR BED. CHIP AWAY MORTAR BED FLUSH WITH EXISTING SLAB SURFACE.
  - D7 REMOVE AND DISPOSE OF EXISTING ACOUSTIC TILE PANELS CW METAL SUSPENSION SYSTEM, INCLUDING HANGERS, FIXTURES, GRILLES, DIFFUSERS, CONDUITS, WIRING ETC. REFER ALSO TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
  - D8 REMOVE AND DISPOSE OF EXISTING GYPSUM BOARD CEILING CW METAL FRAMING SYSTEM, INCLUDING HANGERS, FIXTURES, GRILLES, DIFFUSERS, CONDUITS, WIRING ETC. REFER ALSO TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
  - D9 REMOVE PORTION OF EXISTING GYPSUM BOARD CEILING CW METAL FRAMING SYSTEM, INCLUDING HANGERS, FIXTURES, GRILLES, DIFFUSERS, CONDUITS, WIRING ETC. (UNLESS OTHERWISE NOTED), REFER ALSO TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
  - D10 REMOVE AND DISPOSE OF EXISTING GYPSUM BOARD AND METAL STUD PARTITION COMPLETELY AND FULL HEIGHT. REFER TO MECHANICAL AND ELECTRICAL DEMOLITION DRAWINGS FOR ADDITIONAL NOTES.
  - D11 SAW-CUT AND REMOVE PORTION OF EXISTING CONCRETE BLOCK WALL FOR NEW OPENING. MAKE GOOD OPENING AS REQUIRED TO SUITE NEW WORK. NOTE: NOT ALL LOCATIONS MAY BE INDICATED ON ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL COORDINATE WITH STRUCTURAL, MECHANICAL & ELECTRICAL DIVISIONS.
  - D12 REMOVE AND DISPOSE OF EXISTING HOLLOW METAL DOOR, HOLLOW METAL DOOR FRAME AND ASSOCIATED HARDWARE. MAKE GOOD EXISTING WALLS AND FLOOR TO REMAIN. PREPARE OPENING AS PER NEW WORK.
  - D13 REMOVE AND DISPOSE OF EXISTING ALUMINUM AND GLASS DOOR, ALUMINUM FRAME AND ASSOCIATED HARDWARE. MAKE GOOD EXISTING WALLS AND FLOOR TO REMAIN. PREPARE OPENING AS PER NEW WORK.
  - D14 REMOVE AND DISPOSE OF EXISTING HOLLOW METAL SCREEN AND ASSOCIATED HARDWARE. MAKE GOOD EXISTING WALLS AND FLOOR TO REMAIN. PREPARE OPENING AS PER NEW WORK.
  - D15 SAW-CUT AND REMOVE PORTION OF EXISTING GYPSUM BOARD AND METAL STUD PARTITION FOR NEW OPENING. MAKE GOOD OPENING AS REQUIRED TO SUITE NEW WORK. NOTE: NOT ALL LOCATIONS MAY BE INDICATED ON ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL COORDINATE WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DIVISIONS.
  - D16 SAW-CUT AND REMOVE PORTION OF EXISTING MASONRY WALL FOR NEW OPENING. MAKE GOOD OPENING AS REQUIRED TO SUITE NEW WORK. NOTE: NOT ALL LOCATIONS MAY BE INDICATED ON ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL COORDINATE WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DIVISIONS.
  - D17 REMOVE WALL MOUNTED ITEMS AS NOTED AND RETURN TO OWNER.
  - D18 REMOVE AND DISPOSE OF EXISTING ALUMINUM AND GLASS DOOR AND ASSOCIATED HARDWARE ONLY. FRAME TO REMAIN. MAKE GOOD EXISTING WALLS AND FLOOR TO REMAIN. PREPARE OPENING AS PER NEW WORK.
  - D19 SAW-CUT AND REMOVE PORTION OF EXISTING FLOOR SLAB FOR NEW MILLWORK POWER AND DATA CONDUITS. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS. SAW-CUT TO BE NO DEEPER THAN 6" MAX. CONTRACTOR TO SCAN EXISTING FLOOR SLAB TO CONFIRM UNDER SLAB ITEMS PRIOR TO SAW CUTTING. PATCH AND REPAIR IN NEW CONCRETE. MAKE GOOD ALL TRADES.
  - D20 REMOVE & SALVAGE EXISTING WASHROOM PARTITIONS AND ACCESSORIES TO BE RE-INSTALLED, INCLUDING BUT NOT LIMITED TO TOILET PAPER DISPENSERS, SANITARY NAPKIN DISPENSERS, GARBAGE RECEPTACLES, GRAB BARS, COAT HOOKS, ETC. MAKE GOOD ALL TRADES.
  - D21 REMOVE AND DISPOSE OF EXISTING COUNTERTOP, BACKSLASH AND SINK INCLUDING TAPS, DRAINS AND WATER LINES. REFER ALSO TO MECHANICAL DEMOLITION DRAWINGS FOR ADDITIONAL NOTES. PROVIDE NEW GYPSUM BOARD AND PAINT FINISH AS REQUIRED. MAKE GOOD ALL TRADES.
  - D22 REMOVE AND SALVAGE EXISTING PLUMBING FIXTURES TO BE RE-INSTALLED. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL NOTES.
  - D23 REMOVE AND DISPOSE OF EXISTING GYPSUM BOARD AND METAL STUD FRAMING FOR INSTALLATION OF NEW HSS. REFER TO STRUCT. DWGS. PROVIDE NEW STUD FRAMING AS REQUIRED. MAKE GOOD ALL TRADES.

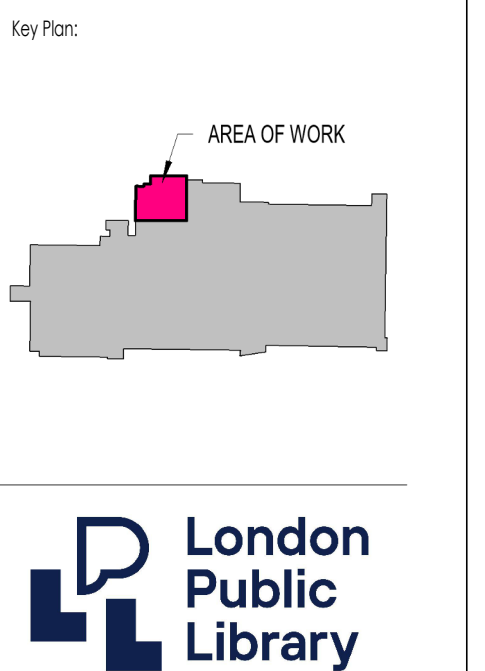
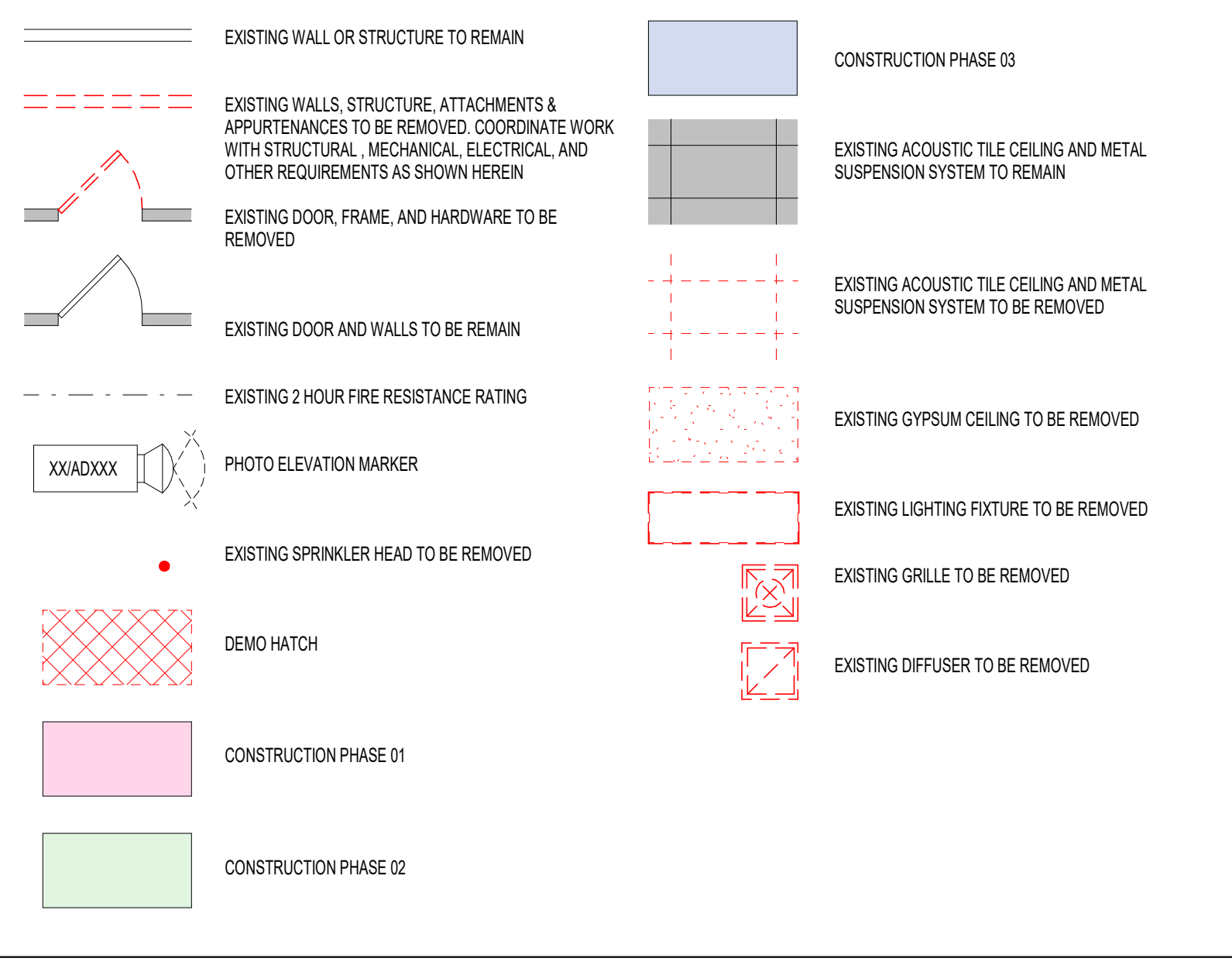
**DEMOLITION GENERAL NOTES:**

1. DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY COMPONENTS OF THE CONTRACT DOCUMENTS. REVIEW ALL DRAWINGS AND SPECIFICATIONS FOR THE COMPLETE SCOPE OF WORK. NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION IF INCONSISTENCIES, CONTRADICTIONS OR OMISSIONS ARE DISCOVERED.
2. EXISTING PLAN CONFIGURATION AND BUILDING INFORMATION HAS BEEN PROVIDED BY THE OWNER AND BELIEVED TO REFLECT CURRENT CONDITIONS. CONTRACTOR TO CONFIRM ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT IF INCONSISTENCIES, CONTRADICTIONS OR OMISSIONS ARE DISCOVERED.
3. DO NOT SCALE DRAWINGS. IF DIMENSIONAL INFORMATION IS REQUIRED & NOT FOUND, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION.
4. CONTRACTOR TO COORDINATE EXTENT OF DEMOLITION WORK REQUIRED WITH WORK SHOWN ON PROPOSED FLOOR PLANS.
5. PROTECT ALL EXISTING WORK TO REMAIN AND REPAIR DAMAGED AREAS TO MATCH EXISTING ADJACENT SURFACES UNLESS NOTED OTHERWISE.
6. CONTRACTOR TO COORDINATE DEMOLITION ACTIVITIES WITH OWNER SO AS TO MAINTAIN FULL FUNCTIONALITY OF ADJACENT OWNER OCCUPIED SPACES.
7. CONTRACTOR TO MAINTAIN MEANS OF EGRESS PATHWAYS AT ALL TIMES. COORDINATE ALTERNATE PROVISIONS AND OBTAIN APPROVAL FROM OWNER AND AUTHORITY HAVING JURISDICTION IF EXISTING MEANS OF EGRESS MUST BE COMPROMISED.
8. HALF-TONED ITEMS INDICATE EXISTING CONSTRUCTION TO BE PROTECTED AND REMAIN.
9. BOLD DASHED ITEMS ARE THOSE WHICH ARE TO BE REMOVED.
10. WHERE EXISTING FINISHES ARE TO BE REMOVED, PATCH AND PREPARE SUBSTRATE TO RECEIVE NEW FINISHES IN ACCORDANCE WITH NEW FINISH MATERIAL MANUFACTURER'S RECOMMENDATIONS.
11. UTILITIES THAT REMAIN, WITHIN EXISTING WALLS TO BE DEMOLISHED, ARE TO BE REROUTED AS REQUIRED TO FACILITATE THE NEW PLAN CONFIGURATION.
12. LABEL & PACKAGE ALL COMPONENTS OF SALVAGED ITEMS TO BE DELIVERED TO OWNER. COORDINATE LABEL AND PACKAGE REQUIREMENTS AND STORAGE LOCATION WITH OWNER.
13. CONTRACTOR TO PROVIDE FIRE, SMOKE, DIRT, DUST AND NOISE CONTAINMENT BARRIERS BETWEEN THE WORK AREA AND THE ADJACENT OWNER OCCUPIED SPACES.
14. CONTRACTOR TO COORDINATE ALL UTILITY SYSTEM SHUTDOWN ACTIVITIES IN ADVANCE WITH THE OWNER AND MAINTAIN FULL FUNCTIONALITY OF ADJACENT OWNER OCCUPIED SPACES.
15. CONTRACTOR TO REMOVE ALL DEMOLITION DEBRIS AND CONSTRUCTION DEBRIS ON A DAILY BASIS. COORDINATE MEANS, METHODS AND ROUTES AND INFECTION CONTROL PROTOCOLS WITH THE OWNER.
16. WHERE SELECTIVE DEMOLITION IS REQUIRED ADJACENT TO EXISTING SURFACES TO REMAIN, PATCH AND REPAIR TO MATCH EXISTING SURFACES UNLESS NOTED OTHERWISE.
17. ALL UTILITY SYSTEMS & OTHER COMPONENTS THAT ARE SCHEDULED FOR DISCONNECTION SHALL BE REMOVED IN THEIR ENTIRETY. DISCONNECT, CAP AND ABANDON IN PLACE IS NOT ACCEPTABLE - UNLESS SPECIFICALLY NOTED OTHERWISE.
18. ALL EXISTING FURNITURE, PHYSICAL STORAGE, AND WALL MOUNTED ITEMS, SIGNS, WHITEBOARDS, TACK BOARDS, WASHROOM ACCESSORIES AND OTHER WALL MOUNTED CHATELAIN, INCLUDING EXISTING WINDOW COVERINGS, SHALL BE REMOVED AND RETURNED TO THE OWNER.
19. PROVIDE TEMP. CONSTRUCTION ACCESS DOOR CW CONSTRUCTION CORED LOCKSET, SEAL, AND CONSTRUCTION CYLINDERS.

**HOARDING PARTITION TYPE:**

- H1 1/2" GYPSUM BOARD TAPED ONLY
  - 3" SIP METAL STUDS FULL HEIGHT CW 3" ACOUSTIC BATT INSULATION
  - 6 MIL POLY BARRIER LAPPED & SEALED TO CONFINE DUST TO CONSTRUCTION AREA
  - 1/2" GYPSUM BOARD TAPED ONLY
  - PROVIDE FELT GASKETS AND CAULK AROUND PERIMETER OF PARTITION
- NOTE:  
DO NOT TAPE JOINTS ON FINISHED SURFACES TO BE MADE GOOD, INSTALL OVER PLYWOOD PROTECTION RUNNER TAPE TO FLOOR, DO NOT SCREW TO FINISHED MATERIALS TO BE MADE GOOD.

**DEMOLITION LEGEND:**



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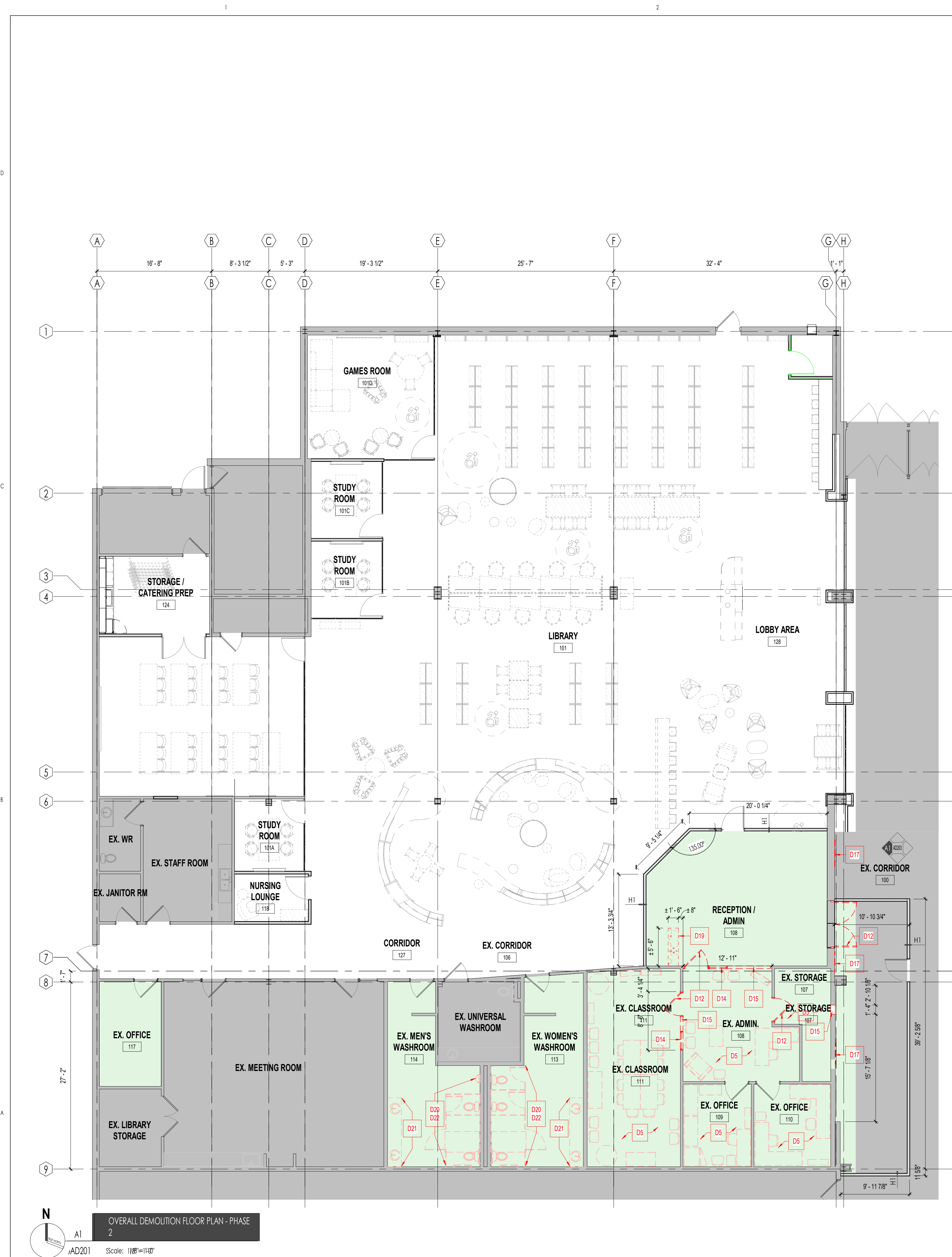


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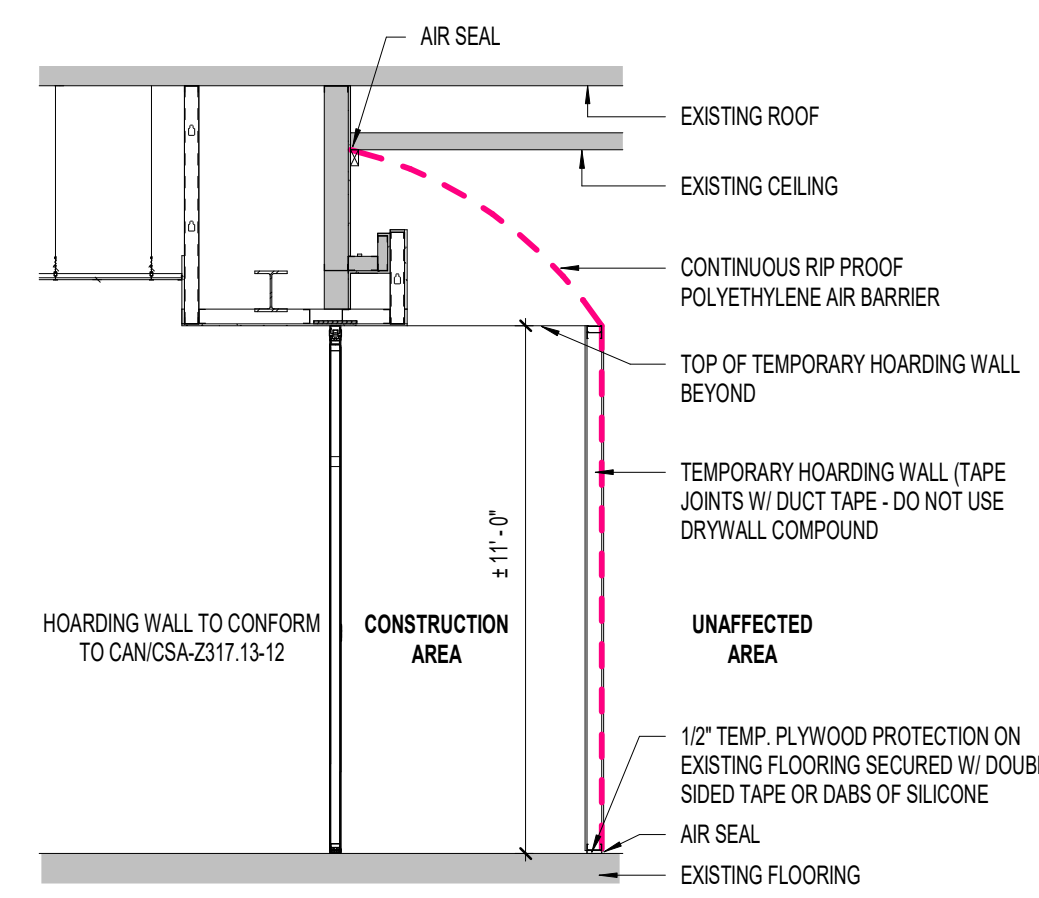
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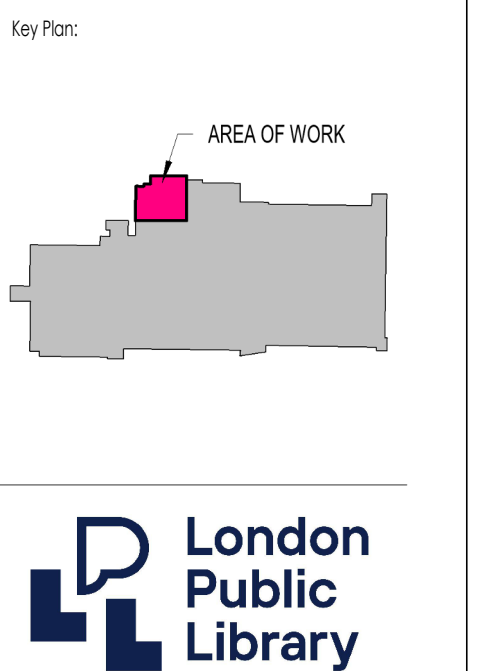


2 TYP. WALL CORRIDOR HOARDING.

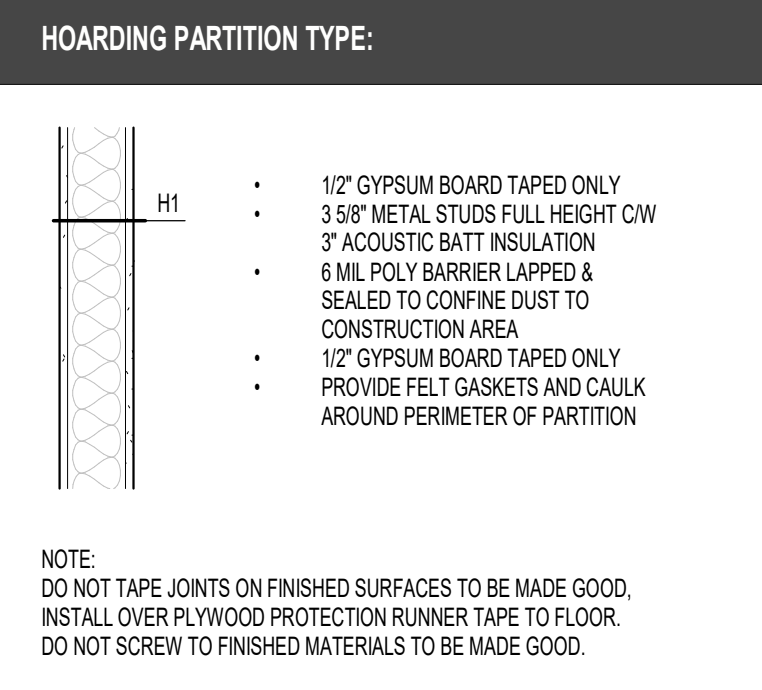
AD201 Scale: 1/4\"/>

- DEMOLITION KEYED NOTES:**
- NOTES AS INDICATED BY SYMBOL
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  - D3 REMOVE AND DISPOSE OF EXISTING SINK INCLUDING TAPS, DRAINS AND WATER LINES. REFER TO MECHANICAL DEMOLITION DRAWINGS FOR ADDITIONAL NOTES.
  - D4 REMOVE AND DISPOSE OF EXISTING CARPET FLOOR FINISH INCLUDING WALL BASE, ADHESIVES AND RESIDUE FROM EXISTING SUB-FLOOR, TRANSITIONS AND THRESHOLD BARS.
  - D5 REMOVE AND DISPOSE OF EXISTING VINYL COMPOSITE TILE FLOOR FINISH INCLUDING WALL BASE, ADHESIVES AND RESIDUE FROM EXISTING SUB-FLOOR, TRANSITIONS AND THRESHOLD BARS.
  - D6 REMOVE PORTION OF EXISTING CERAMIC TILE FLOOR FINISH INCLUDING WALL BASE, GROUT AND MORTAR BED. CHIP AWAY MORTAR BED FLUSH WITH EXISTING SLAB SURFACE.
  - D7 REMOVE AND DISPOSE OF EXISTING ACOUSTIC TILE PANELS CW METAL SUSPENSION SYSTEM INCLUDING HANGERS, FIXTURES, GRILLES, DIFFUSERS, CONDUITS, WIRING ETC. REFER ALSO TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
  - D8 REMOVE AND DISPOSE OF EXISTING GYPSUM BOARD CEILING CW METAL FRAMING SYSTEM INCLUDING HANGERS, FIXTURES, GRILLES, DIFFUSERS, CONDUITS, WIRING ETC. REFER ALSO TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
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  - D10 REMOVE AND DISPOSE OF EXISTING GYPSUM BOARD AND METAL STUD PARTITION COMPLETELY AND FULL HEIGHT. REFER TO MECHANICAL AND ELECTRICAL DEMOLITION DRAWINGS FOR ADDITIONAL NOTES.
  - D11 SAW-CUT AND REMOVE PORTION OF EXISTING CONCRETE BLOCK WALL FOR NEW OPENING. MAKE GOOD OPENING AS REQUIRED TO SUITE NEW WORK. NOTE: NOT ALL LOCATIONS MAY BE INDICATED ON ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL COORDINATE WITH STRUCTURAL, MECHANICAL & ELECTRICAL DIVISIONS.
  - D12 REMOVE AND DISPOSE OF EXISTING HOLLOW METAL DOOR, HOLLOW METAL DOOR FRAME AND ASSOCIATED HARDWARE. MAKE GOOD EXISTING WALLS AND FLOOR TO REMAIN. PREPARE OPENING AS PER NEW WORK.
  - D13 REMOVE AND DISPOSE OF EXISTING ALUMINUM AND GLASS DOOR, ALUMINUM FRAME AND ASSOCIATED HARDWARE. MAKE GOOD EXISTING WALLS AND FLOOR TO REMAIN. PREPARE OPENING AS PER NEW WORK.
  - D14 REMOVE AND DISPOSE OF EXISTING HOLLOW METAL SCREEN AND ASSOCIATED HARDWARE. MAKE GOOD EXISTING WALLS AND FLOOR TO REMAIN. PREPARE OPENING AS PER NEW WORK.
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  - D16 SAW-CUT AND REMOVE PORTION OF EXISTING MASONRY WALL FOR NEW OPENING. MAKE GOOD OPENING AS REQUIRED TO SUITE NEW WORK. NOTE: NOT ALL LOCATIONS MAY BE INDICATED ON ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL COORDINATE WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DIVISIONS.
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  - D18 REMOVE AND DISPOSE OF EXISTING ALUMINUM AND GLASS DOOR AND ASSOCIATED HARDWARE ONLY. FRAME TO REMAIN. MAKE GOOD EXISTING WALLS AND FLOOR TO REMAIN. PREPARE OPENING AS PER NEW WORK.
  - D19 SAW-CUT AND REMOVE PORTION OF EXISTING FLOOR SLAB FOR NEW MILLWORK POWER AND DATA CONDUITS. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS. SAW-CUT TO BE NO DEEPER THAN 4\"/>

- DEMOLITION GENERAL NOTES:**
1. DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY COMPONENTS OF THE CONTRACT DOCUMENTS. REVIEW ALL DRAWINGS AND SPECIFICATIONS FOR THE COMPLETE SCOPE OF WORK. NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION IF INCONSISTENCIES, CONTRADICTIONS OR OMISSIONS ARE DISCOVERED.
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  4. CONTRACTOR TO COORDINATE EXTENT OF DEMOLITION WORK REQUIRED WITH WORK SHOWN ON PROPOSED FLOOR PLANS.
  5. PROTECT ALL EXISTING WORK TO REMAIN AND REPAIR DAMAGED AREAS TO MATCH EXISTING ADJACENT SURFACES UNLESS NOTED OTHERWISE.
  6. CONTRACTOR TO COORDINATE DEMOLITION ACTIVITIES WITH OWNER SO AS TO MAINTAIN FULL FUNCTIONALITY OF ADJACENT OWNER OCCUPIED SPACES.
  7. CONTRACTOR TO MAINTAIN MEANS OF EGRESS PATHWAYS AT ALL TIMES. COORDINATE ALTERNATE PROVISIONS AND OBTAIN APPROVAL FROM OWNER AND AUTHORITY HAVING JURISDICTION IF EXISTING MEANS OF EGRESS MUST BE COMPROMISED.
  8. HALF-TONED ITEMS INDICATE EXISTING CONSTRUCTION TO BE PROTECTED AND REMAIN.
  9. BOLD DASHED ITEMS ARE THOSE WHICH ARE TO BE REMOVED.
  10. WHERE EXISTING FINISHES ARE TO BE REMOVED, PATCH AND PREPARE SUBSTRATE TO RECEIVE NEW FINISHES IN ACCORDANCE WITH NEW FINISH MATERIAL MANUFACTURER'S RECOMMENDATIONS.
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  15. CONTRACTOR TO REMOVE ALL DEMOLITION DEBRIS AND CONSTRUCTION DEBRIS ON A DAILY BASIS. COORDINATE MEANS, METHODS AND ROUTES AND INFECTION CONTROL PROTOCOLS WITH THE OWNER.
  16. WHERE SELECTIVE DEMOLITION IS REQUIRED ADJACENT TO EXISTING SURFACES TO REMAIN, PATCH AND REPAIR TO MATCH EXISTING SURFACES UNLESS NOTED OTHERWISE.
  17. ALL UTILITY SYSTEMS & OTHER COMPONENTS THAT ARE SCHEDULED FOR DISCONNECTION SHALL BE REMOVED IN THEIR ENTIRETY. DISCONNECT, CAP AND ABANDON IN PLACE IS NOT ACCEPTABLE - UNLESS SPECIFICALLY NOTED OTHERWISE.
  18. ALL EXISTING FURNITURE, PHYSICAL STORAGE, AND WALL MOUNTED ITEMS, SIGNS, WHITEBOARDS, TACK BOARDS, WASHROOM ACCESSORIES AND OTHER WALL MOUNTED CHATELAIN, INCLUDING EXISTING WINDOW COVERINGS, SHALL BE REMOVED AND RETURNED TO THE OWNER.
  19. PROVIDE TEMP. CONSTRUCTION ACCESS DOOR CW CONSTRUCTION CORED LOCKSET, SEAL, AND CONSTRUCTION COLUMNS.



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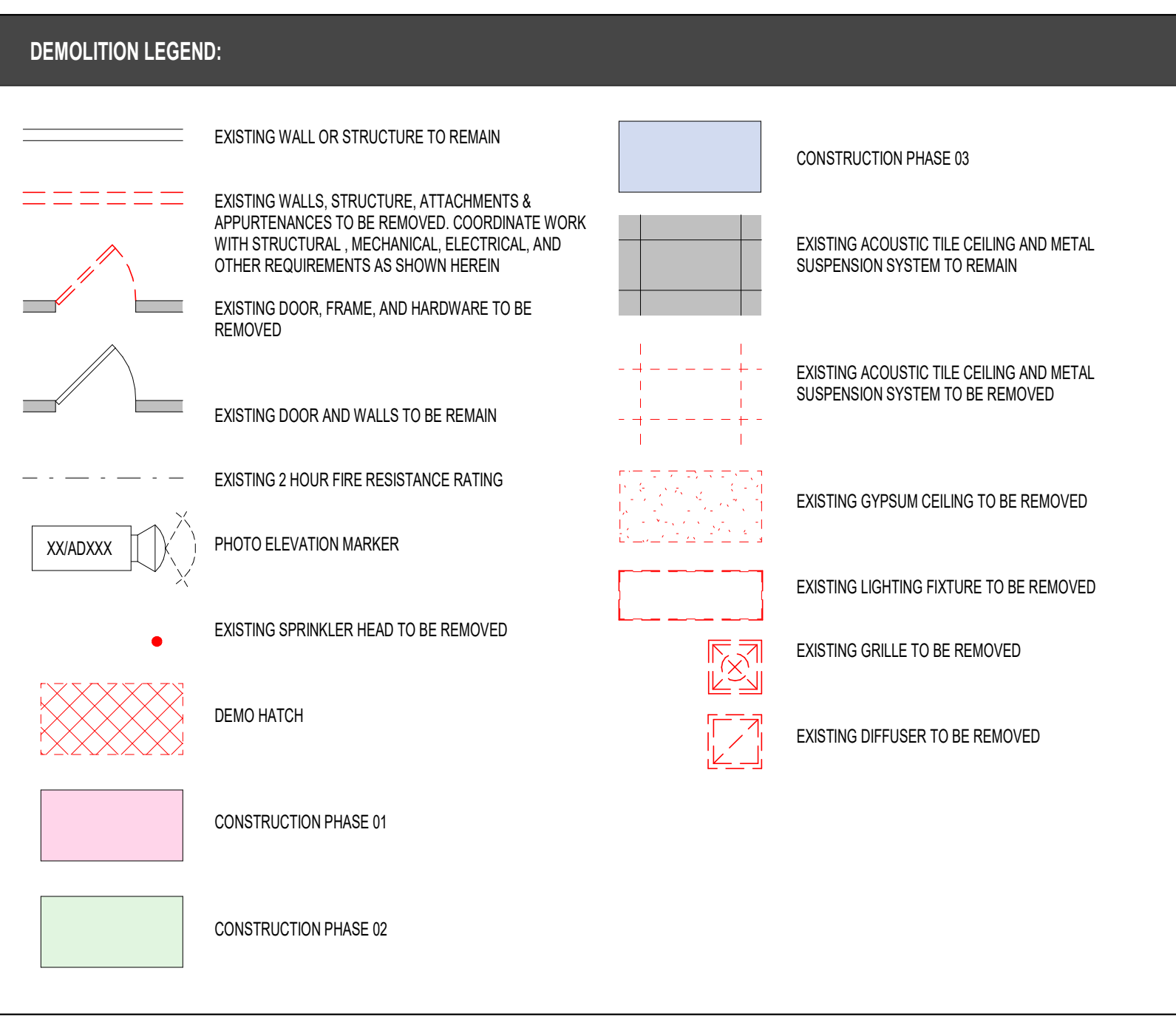
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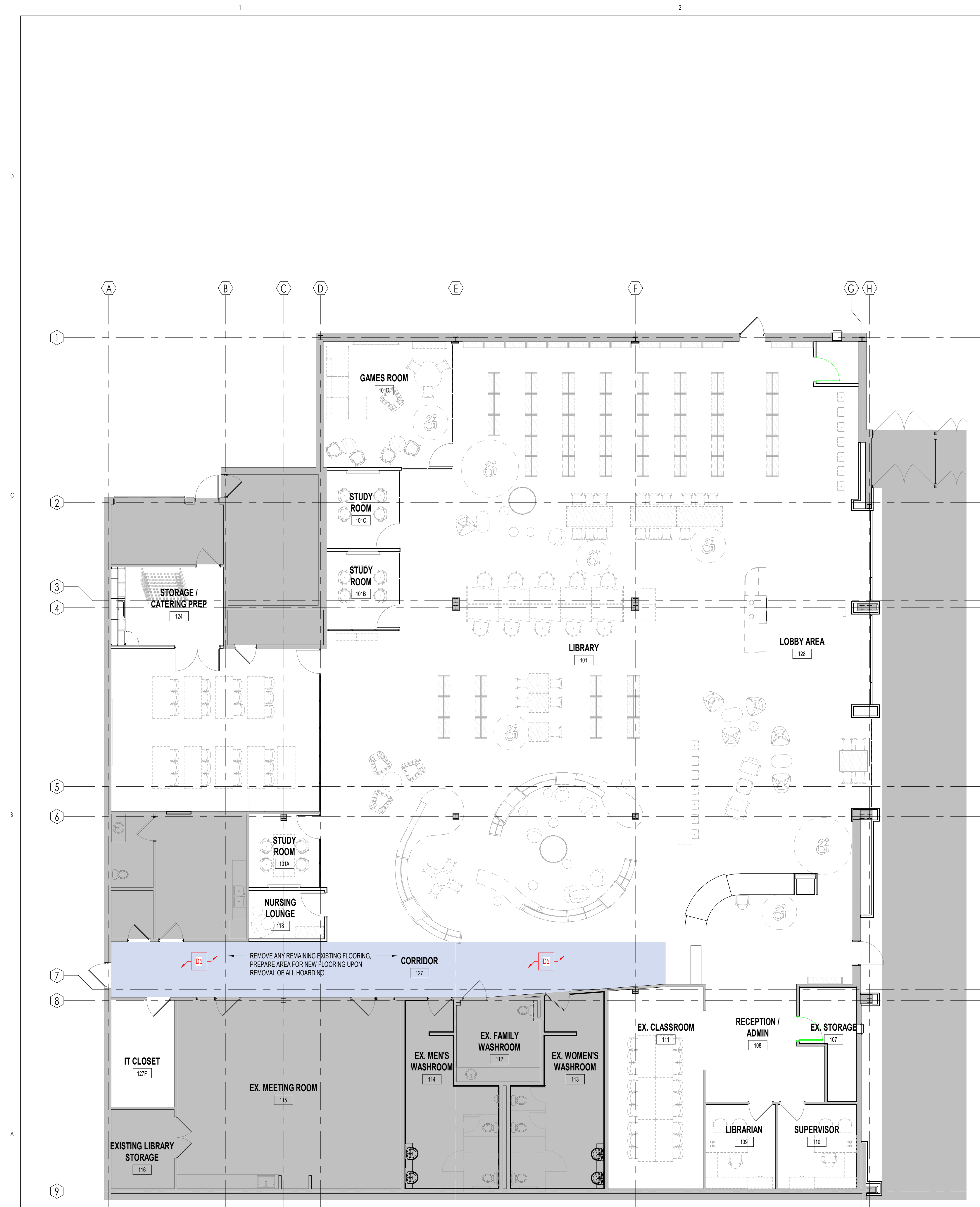
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London, ON N6H 5A7  
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Sheet Name:  
DEMOLITION & CONSTRUCTION PHASING PLANS

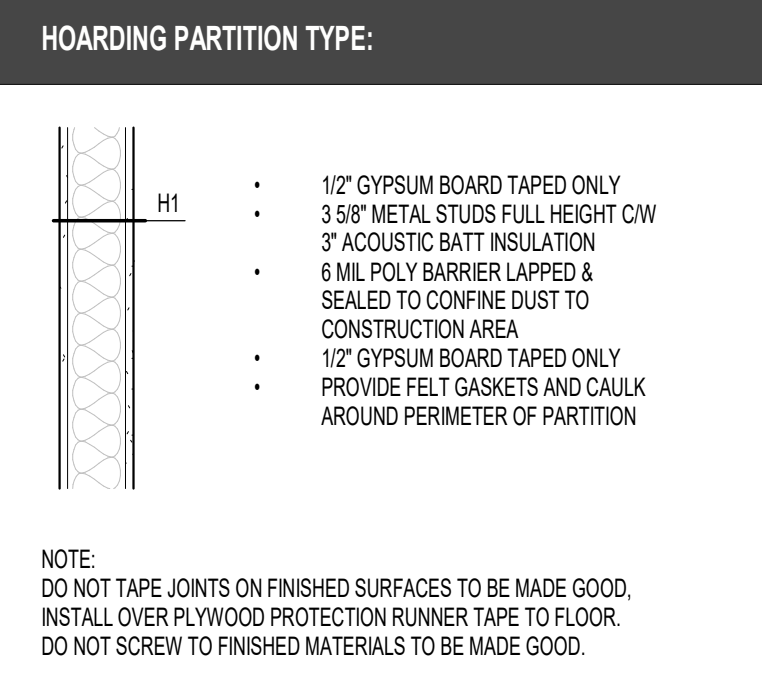
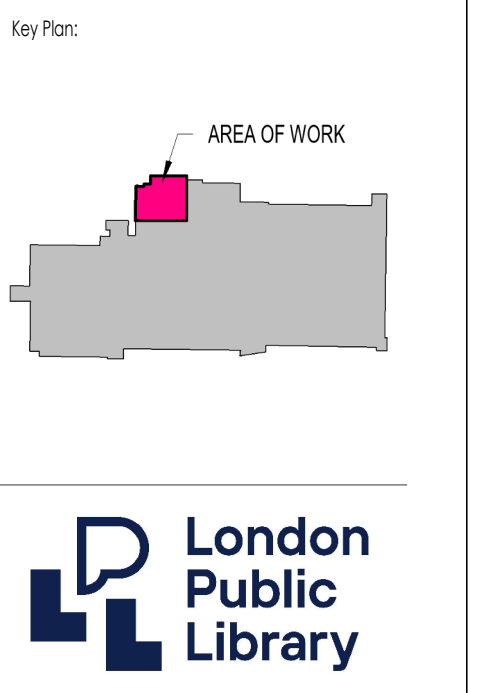
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Sheet No: AD201



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- DEMOLITION KEYED NOTES:**
- NOTES AS INDICATED BY SYMBOL
- ITEMS FOR DEMOLITION**
- D1. REMOVE AND DISPOSE OF EXISTING MILLWORK BASE CABINET INCLUDING COUNTER TOP. MAKE GOOD EXISTING WALLS AND FLOORS TO RECEIVE NEW FINISHES.
  - D2. REMOVE AND DISPOSE OF EXISTING MILLWORK WALL MOUNTED CABINET. MAKE GOOD EXISTING WALLS AND CEILING TO RECEIVE NEW FINISHES.
  - D3. REMOVE AND DISPOSE OF EXISTING SINK INCLUDING TAPS, DRAINS AND WATER LINES. REFER TO MECHANICAL DEMOLITION DRAWINGS FOR ADDITIONAL NOTES.
  - D4. REMOVE AND DISPOSE OF EXISTING CARPET FLOOR FINISH INCLUDING WALL BASE, ADHESIVES AND RESIDUE FROM EXISTING SUB-FLOOR, TRANSITIONS AND THRESHOLD BARS.
  - D5. REMOVE AND DISPOSE OF EXISTING VINYL COMPOSITE TILE FLOOR FINISH INCLUDING WALL BASE ADHESIVES AND RESIDUE FROM EXISTING SUB-FLOOR, TRANSITIONS AND THRESHOLD BARS.
  - D6. REMOVE PORTION OF EXISTING CERAMIC TILE FLOOR FINISH INCLUDING WALL BASE, GROUT AND MORTAR BED. CHIP AWAY MORTAR BED FLUSH WITH EXISTING SLAB SURFACE.
  - D7. REMOVE AND DISPOSE OF EXISTING ACOUSTIC TILE PANELS CW METAL SUSPENSION SYSTEM INCLUDING HANGERS, FIXTURES, GRILLES, DIFFUSERS, CONDUITS, WIRING ETC. REFER ALSO TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
  - D8. REMOVE AND DISPOSE OF EXISTING GYPSUM BOARD CEILING CW METAL FRAMING SYSTEM INCLUDING HANGERS, FIXTURES, GRILLES, DIFFUSERS, CONDUITS, WIRING ETC. REFER ALSO TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
  - D9. REMOVE PORTION OF EXISTING GYPSUM BOARD CEILING CW METAL FRAMING SYSTEM INCLUDING HANGERS, FIXTURES, GRILLES, DIFFUSERS, CONDUITS, WIRING ETC. (UNLESS OTHERWISE NOTED), REFER ALSO TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
  - D10. REMOVE AND DISPOSE OF EXISTING GYPSUM BOARD AND METAL STUD PARTITION COMPLETELY AND FULL HEIGHT. REFER TO MECHANICAL AND ELECTRICAL DEMOLITION DRAWINGS FOR ADDITIONAL NOTES.
  - D11. SAW-CUT AND REMOVE PORTION OF EXISTING CONCRETE BLOCK WALL FOR NEW OPENING. MAKE GOOD OPENING AS REQUIRED TO SUITE NEW WORK. NOTE: NOT ALL LOCATIONS MAY BE INDICATED ON ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL COORDINATE WITH STRUCTURAL, MECHANICAL & ELECTRICAL DIVISIONS.
  - D12. REMOVE AND DISPOSE OF EXISTING HOLLOW METAL DOOR, HOLLOW METAL DOOR FRAME AND ASSOCIATED HARDWARE. MAKE GOOD EXISTING WALLS AND FLOOR TO REMAIN. PREPARE OPENING AS PER NEW WORK.
  - D13. REMOVE AND DISPOSE OF EXISTING ALUMINUM AND GLASS DOOR, ALUMINUM FRAME AND ASSOCIATED HARDWARE. MAKE GOOD EXISTING WALLS AND FLOOR TO REMAIN. PREPARE OPENING AS PER NEW WORK.
  - D14. REMOVE AND DISPOSE OF EXISTING HOLLOW METAL SCREEN AND ASSOCIATED HARDWARE. MAKE GOOD EXISTING WALLS AND FLOOR TO REMAIN. PREPARE OPENING AS PER NEW WORK.
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  - D17. REMOVE WALL MOUNTED ITEMS AS NOTED AND RETURN TO OWNER.
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  - D19. SAW-CUT AND REMOVE PORTION OF EXISTING FLOOR SLAB FOR NEW MILLWORK POWER AND DATA CONDUITS. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS. SAW-CUT TO BE NO DEEPER THAN 4" MAX. CONTRACTOR TO SCAN EXISTING FLOOR SLAB TO CONFIRM UNDER SLAB ITEMS PRIOR TO SAW CUTTING. PATCH AND REPAIR IN NEW CONCRETE. MAKE GOOD ALL TRADES.
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  - D21. REMOVE AND DISPOSE OF EXISTING COUNTERTOP, BACKSLASH AND SINK INCLUDING TAPS, DRAINS AND WATER LINES. REFER ALSO TO MECHANICAL DEMOLITION DRAWINGS FOR ADDITIONAL NOTES. PROVIDE NEW GYPSUM BOARD AND PAINT FINISH AS REQUIRED. MAKE GOOD ALL TRADES.
  - D22. REMOVE AND SALVAGE EXISTING PLUMBING FIXTURES TO BE RE-INSTALLED. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL NOTES.
  - D23. REMOVE AND DISPOSE OF EXISTING GYPSUM BOARD AND METAL STUD FRAMING FOR INSTALLATION OF NEW HSS. REFER TO STRUCT. DWGS. PROVIDE NEW STUD FRAMING AS REQUIRED. MAKE GOOD ALL TRADES.

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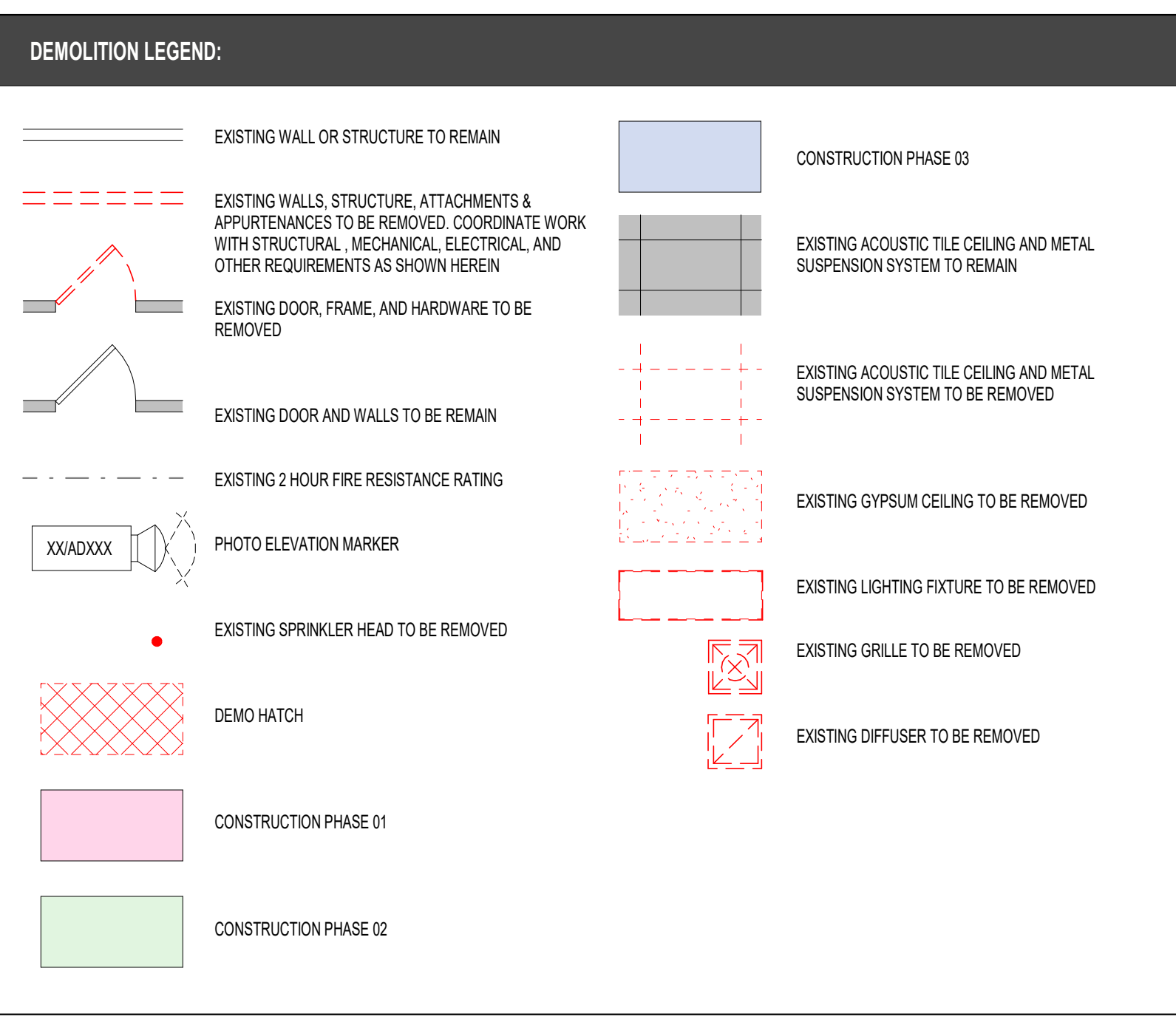
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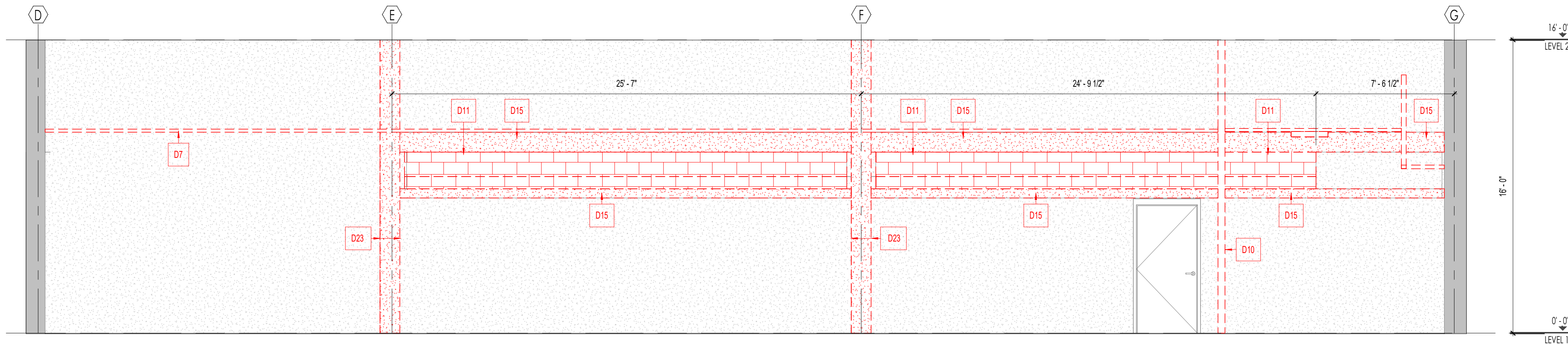
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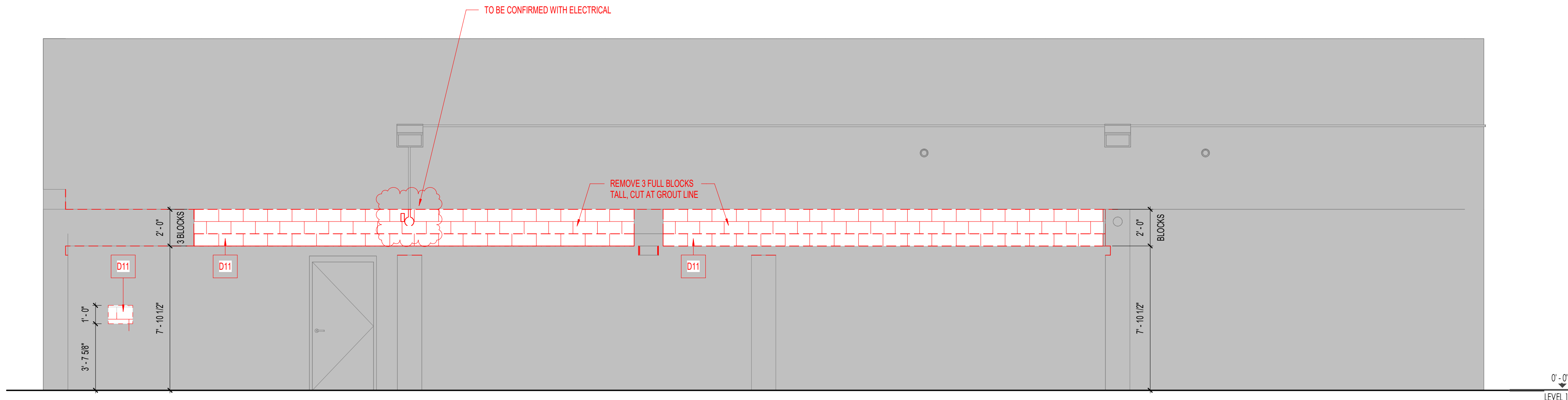


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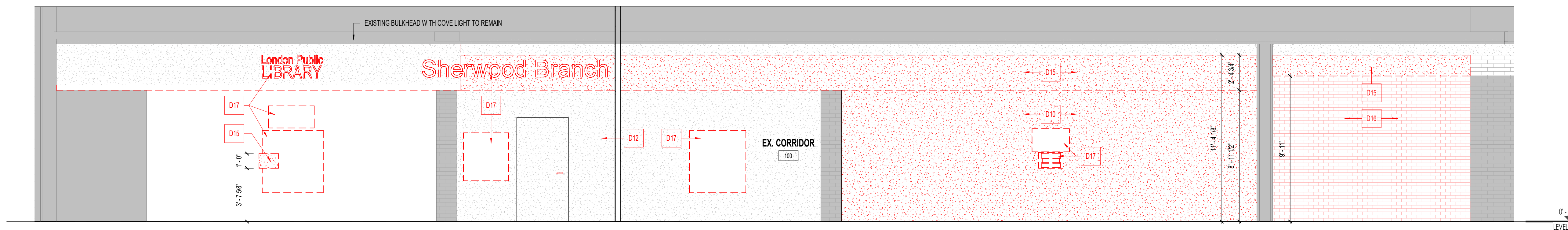
C1 INTERIOR DEMOLITION ELEVATION

AD203 Scale: 1/4" = 1'-0"



B1 EXTERIOR DEMOLITION ELEVATION

AD203 Scale: 1/4" = 1'-0"



A1 INTERIOR DEMOLITION ELEVATION

AD203 Scale: 1/4" = 1'-0"

DEMOLITION KEYED NOTES:

NOTES AS INDICATED BY SYMBOL



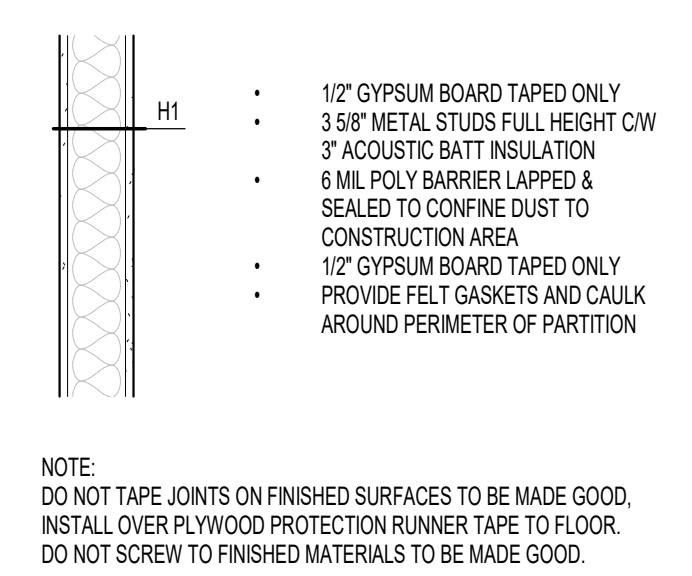
ITEMS FOR DEMOLITION

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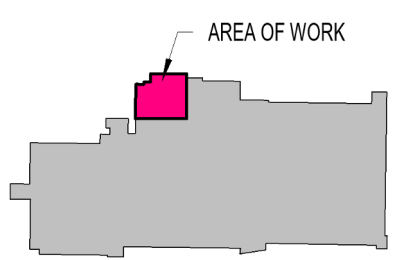
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16. WHERE SELECTIVE DEMOLITION IS REQUIRED ADJACENT TO EXISTING SURFACES TO REMAIN, PATCH AND REPAIR TO MATCH EXISTING SURFACES UNLESS NOTED OTHERWISE.
17. ALL UTILITY SYSTEMS & OTHER COMPONENTS THAT ARE SCHEDULED FOR DISCONNECTION SHALL BE REMOVED IN THEIR ENTIRETY. "DISCONNECT, CAP AND ABANDON IN PLACE" IS NOT ACCEPTABLE - UNLESS SPECIFICALLY NOTED OTHERWISE.
18. ALL EXISTING FURNITURE, PHYSICAL STORAGE, AND WALL MOUNTED ITEMS, SIGNS, WHITEBOARDS, TACK BOARDS, WASHROOM ACCESSORIES AND OTHER WALL MOUNTED CHATELLES, INCLUDING EXISTING WINDOW COVERINGS, SHALL BE REMOVED AND RETURNED TO THE OWNER.
19. PROVIDE TEMP. CONSTRUCTION ACCESS DOOR CW CONSTRUCTION CORED LOCKSET, SEAL, AND CONSTRUCTION CYLINDERS.

HOARDING PARTITION TYPE:



NOTE:  
DO NOT TAPE JOINTS ON FINISHED SURFACES TO BE MADE GOOD, INSTALL OVER PLYWOOD PROTECTION RUNNER TAPE TO FLOOR. DO NOT SCREW TO FINISHED MATERIALS TO BE MADE GOOD.

Key Plan:



4 2024 05 18 IFT SW, HR, BP  
1 2024 05 22 PERMIT HR, SW

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Project Title:  
SHERWOOD LIBRARY RENOVATION

LHSC PROJECT NO.: Owner  
1225 Wonderland Rd N, London, ON N6G 2W9

Sheet Name:  
DEMOLITION ELEVATIONS

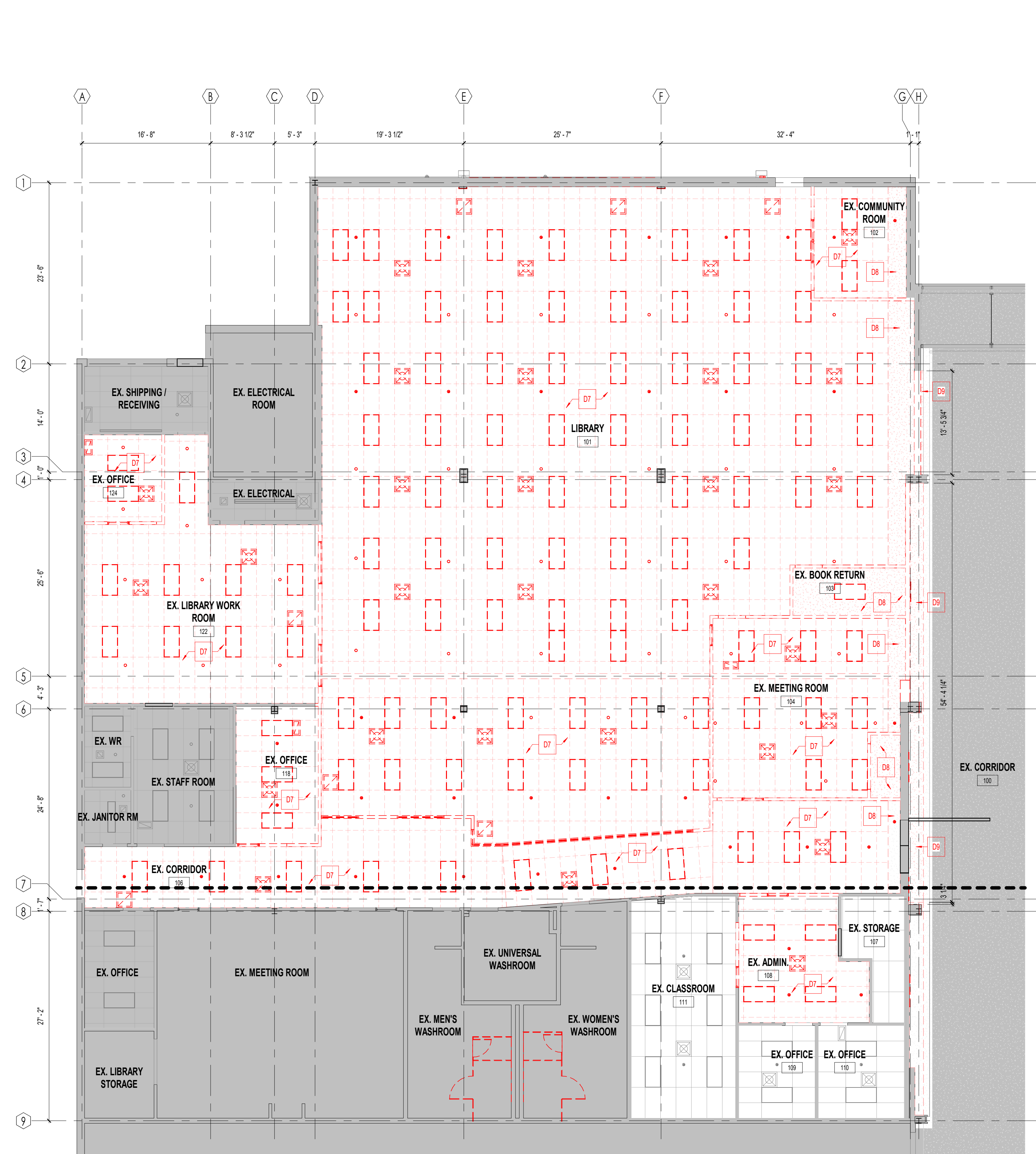
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As indicated 23-006

Sheet No:  
AD203

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GENERAL NOTE:

EX. LIBRARY WORK ROOM 122 APPEARS TO HAVE AN ABANDONED CEILING ABOVE THE CURRENT FINISHED CEILING. IN THIS INSTANCE NOTE D7 WILL PERTAIN TO BOTH THE VISIBLE FINISHED CEILING AND THE ABANDONED CEILING ABOVE THIS.



OVERALL DEMOLITION REFLECTED CEILING PLAN  
Scale: 1/8" = 1'-0"

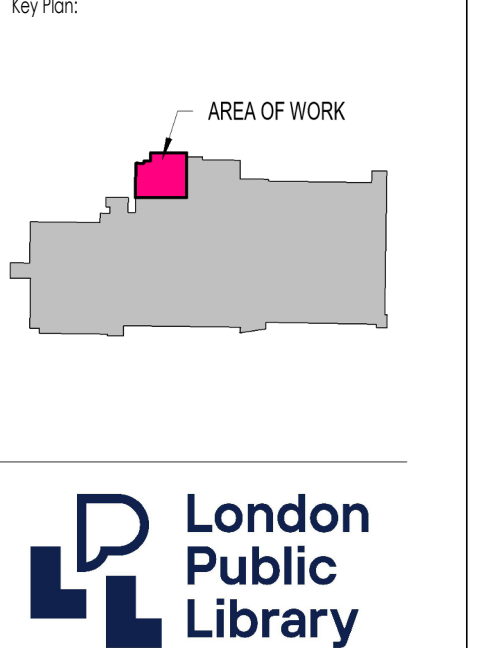
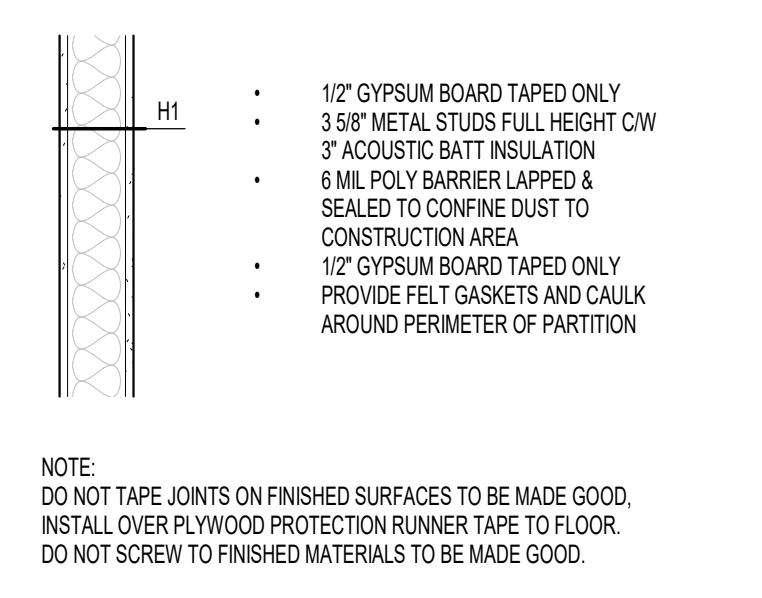
DEMOLITION KEYED NOTES:

- NOTES AS INDICATED BY SYMBOL
- ITEMS FOR DEMOLITION**
- D1 REMOVE AND DISPOSE OF EXISTING MILLWORK BASE CABINET INCLUDING COUNTER TOP. MAKE GOOD EXISTING WALLS AND FLOORS TO RECEIVE NEW FINISHES.
  - D2 REMOVE AND DISPOSE OF EXISTING MILLWORK WALL MOUNTED CABINET. MAKE GOOD EXISTING WALLS AND CEILING TO RECEIVE NEW FINISHES.
  - D3 REMOVE AND DISPOSE OF EXISTING SINK INCLUDING TAPS, DRAINS AND WATER LINES. REFER TO MECHANICAL DEMOLITION DRAWINGS FOR ADDITIONAL NOTES.
  - D4 REMOVE AND DISPOSE OF EXISTING CARPET FLOOR FINISH INCLUDING WALL BASE, ADHESIVES AND RESIDUE FROM EXISTING SUB-FLOOR, TRANSITIONS AND THRESHOLD BARS.
  - D5 REMOVE AND DISPOSE OF EXISTING VINYL COMPOSITE TILE FLOOR FINISH INCLUDING WALL BASE, ADHESIVES AND RESIDUE FROM EXISTING SUB-FLOOR, TRANSITIONS AND THRESHOLD BARS.
  - D6 REMOVE PORTION OF EXISTING CERAMIC TILE FLOOR FINISH INCLUDING WALL BASE, GROUT AND MORTAR BED. CHIP AWAY MORTAR BED FLUSH WITH EXISTING SLAB SURFACE.
  - D7 REMOVE AND DISPOSE OF EXISTING ACOUSTIC TILE PANELS CW METAL SUSPENSION SYSTEM INCLUDING HANGERS, FIXTURES, GRILLES, DIFFUSERS, CONDUITS, WIRING ETC. REFER ALSO TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
  - D8 REMOVE AND DISPOSE OF EXISTING GYPSUM BOARD CEILING CW METAL FRAMING SYSTEM INCLUDING HANGERS, FIXTURES, GRILLES, DIFFUSERS, CONDUITS, WIRING ETC. REFER ALSO TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
  - D9 REMOVE PORTION OF EXISTING GYPSUM BOARD CEILING CW METAL FRAMING SYSTEM INCLUDING HANGERS, FIXTURES, GRILLES, DIFFUSERS, CONDUITS, WIRING ETC. (UNLESS OTHERWISE NOTED), REFER ALSO TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
  - D10 REMOVE AND DISPOSE OF EXISTING GYPSUM BOARD AND METAL STUD PARTITION COMPLETELY AND FULL HEIGHT. REFER TO MECHANICAL AND ELECTRICAL DEMOLITION DRAWINGS FOR ADDITIONAL NOTES.
  - D11 SAW-CUT AND REMOVE PORTION OF EXISTING CONCRETE BLOCK WALL FOR NEW OPENING. MAKE GOOD OPENING AS REQUIRED TO SUITE NEW WORK. NOTE: NOT ALL LOCATIONS MAY BE INDICATED ON ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL COORDINATE WITH STRUCTURAL, MECHANICAL & ELECTRICAL DIVISIONS.
  - D12 REMOVE AND DISPOSE OF EXISTING HOLLOW METAL DOOR, HOLLOW METAL DOOR FRAME AND ASSOCIATED HARDWARE. MAKE GOOD EXISTING WALLS AND FLOOR TO REMAIN. PREPARE OPENING AS PER NEW WORK.
  - D13 REMOVE AND DISPOSE OF EXISTING ALUMINUM AND GLASS DOOR, ALUMINUM FRAME AND ASSOCIATED HARDWARE. MAKE GOOD EXISTING WALLS AND FLOOR TO REMAIN. PREPARE OPENING AS PER NEW WORK.
  - D14 REMOVE AND DISPOSE OF EXISTING HOLLOW METAL SCREEN AND ASSOCIATED HARDWARE. MAKE GOOD EXISTING WALLS AND FLOOR TO REMAIN. PREPARE OPENING AS PER NEW WORK.
  - D15 SAW-CUT AND REMOVE PORTION OF EXISTING GYPSUM BOARD AND METAL STUD PARTITION FOR NEW OPENING. MAKE GOOD OPENING AS REQUIRED TO SUITE NEW WORK. NOTE: NOT ALL LOCATIONS MAY BE INDICATED ON ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL COORDINATE WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DIVISIONS.
  - D16 SAW-CUT AND REMOVE PORTION OF EXISTING MASONRY WALL FOR NEW OPENING. MAKE GOOD OPENING AS REQUIRED TO SUITE NEW WORK. NOTE: NOT ALL LOCATIONS MAY BE INDICATED ON ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL COORDINATE WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DIVISIONS.
  - D17 REMOVE WALL MOUNTED ITEMS AS NOTED AND RETURN TO OWNER.
  - D18 REMOVE AND DISPOSE OF EXISTING ALUMINUM AND GLASS DOOR AND ASSOCIATED HARDWARE ONLY. FRAME TO REMAIN. MAKE GOOD EXISTING WALLS AND FLOOR TO REMAIN. PREPARE OPENING AS PER NEW WORK.
  - D19 SAW-CUT AND REMOVE PORTION OF EXISTING FLOOR SLAB FOR NEW MILLWORK POWER AND DATA CONDUITS. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS. SAW-CUT TO BE NO DEEPER THAN 6" MAX. CONTRACTOR TO SCAN EXISTING FLOOR SLAB TO CONFIRM UNDER SLAB ITEMS PRIOR TO SAW CUTTING. PATCH AND REPAIR IN NEW CONCRETE. MAKE GOOD ALL TRADES.
  - D20 REMOVE & SALVAGE EXISTING WASHROOM PARTITIONS AND ACCESSORIES TO BE RE-INSTALLED. INCLUDING BUT NOT LIMITED TO TOILET PAPER DISPENSERS, SANITARY NAPKIN DISPENSERS, GARBAGE RECEPTACLES, GRAB BARS, COAT HOOKS, ETC. MAKE GOOD ALL TRADES.
  - D21 REMOVE AND DISPOSE OF EXISTING COUNTERTOP, BACKSLASH AND SINK INCLUDING TAPS, DRAINS AND WATER LINES. REFER ALSO TO MECHANICAL DEMOLITION DRAWINGS FOR ADDITIONAL NOTES. PROVIDE NEW GYPSUM BOARD AND PAINT FINISH AS REQUIRED. MAKE GOOD ALL TRADES.
  - D22 REMOVE AND SALVAGE EXISTING PLUMBING FIXTURES TO BE RE-INSTALLED. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL NOTES.
  - D23 REMOVE AND DISPOSE OF EXISTING GYPSUM BOARD AND METAL STUD FRAMING FOR INSTALLATION OF NEW HSS. REFER TO STRUCT. DWGS. PROVIDE NEW STUD FRAMING AS REQUIRED. MAKE GOOD ALL TRADES.

DEMOLITION GENERAL NOTES:

- DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY COMPONENTS OF THE CONTRACT DOCUMENTS. REVIEW ALL DRAWINGS AND SPECIFICATIONS FOR THE COMPLETE SCOPE OF WORK. NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION IF INCONSISTENCIES, CONTRADICTIONS OR OMISSIONS ARE DISCOVERED.
- EXISTING PLAN CONFIGURATION AND BUILDING INFORMATION HAS BEEN PROVIDED BY THE OWNER AND BELIEVED TO REFLECT CURRENT CONDITIONS. CONTRACTOR TO CONFIRM ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT IF INCONSISTENCIES, CONTRADICTIONS OR OMISSIONS ARE DISCOVERED.
- DO NOT SCALE DRAWINGS. IF DIMENSIONAL INFORMATION IS REQUIRED & NOT FOUND, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- CONTRACTOR TO COORDINATE EXTENT OF DEMOLITION WORK REQUIRED WITH WORK SHOWN ON PROPOSED FLOOR PLANS.
- PROTECT ALL EXISTING WORK TO REMAIN AND REPAIR DAMAGED AREAS TO MATCH EXISTING ADJACENT SURFACES UNLESS NOTED OTHERWISE.
- CONTRACTOR TO COORDINATE DEMOLITION ACTIVITIES WITH OWNER SO AS TO MAINTAIN FULL FUNCTIONALITY OF ADJACENT OWNER OCCUPIED SPACES.
- CONTRACTOR TO MAINTAIN MEANS OF EGRESS PATHWAYS AT ALL TIMES. COORDINATE ALTERNATE PROVISIONS AND OBTAIN APPROVAL FROM OWNER AND AUTHORITY HAVING JURISDICTION IF EXISTING MEANS OF EGRESS MUST BE COMPROMISED.
- HALF-TONED ITEMS INDICATE EXISTING CONSTRUCTION TO BE PROTECTED AND REMAIN.
- BOLD DASHED ITEMS ARE THOSE WHICH ARE TO BE REMOVED.
- WHERE EXISTING FINISHES ARE TO BE REMOVED, PATCH AND PREPARE SUBSTRATE TO RECEIVE NEW FINISHES IN ACCORDANCE WITH NEW FINISH MATERIAL MANUFACTURER'S RECOMMENDATIONS.
- UTILITIES THAT REMAIN WITHIN EXISTING WALLS TO BE DEMOLISHED, ARE TO BE REROUTED AS REQUIRED TO FACILITATE THE NEW PLAN CONFIGURATION.
- LABEL & PACKAGE ALL COMPONENTS OF SALVAGED ITEMS TO BE DELIVERED TO OWNER. COORDINATE LABEL AND PACKAGE REQUIREMENTS AND STORAGE LOCATION WITH OWNER.
- CONTRACTOR TO PROVIDE FIRE, SMOKE, DIRT, DUST AND NOISE CONTAINMENT BARRIERS BETWEEN THE WORK AREA AND THE ADJACENT OWNER OCCUPIED SPACES.
- CONTRACTOR TO COORDINATE ALL UTILITY SYSTEM SHUTDOWN ACTIVITIES IN ADVANCE WITH THE OWNER AND MAINTAIN FULL FUNCTIONALITY OF ADJACENT OWNER OCCUPIED SPACES.
- CONTRACTOR TO REMOVE ALL DEMOLITION DEBRIS AND CONSTRUCTION DEBRIS ON A DAILY BASIS. COORDINATE MEANS, METHODS AND ROUTES AND INFECTION CONTROL PROTOCOLS WITH THE OWNER.
- WHERE SELECTIVE DEMOLITION IS REQUIRED ADJACENT TO EXISTING SURFACES TO REMAIN, PATCH AND REPAIR TO MATCH EXISTING SURFACES UNLESS NOTED OTHERWISE.
- ALL UTILITY SYSTEMS & OTHER COMPONENTS THAT ARE SCHEDULED FOR DISCONNECTION SHALL BE REMOVED IN THEIR ENTIRETY. DISCONNECT, CAP AND ABANDON IN PLACE IS NOT ACCEPTABLE - UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL EXISTING FURNITURE, PHYSICAL STORAGE, AND WALL MOUNTED ITEMS, SIGNS, WHITEBOARDS, TACK BOARDS, WASHROOM ACCESSORIES AND OTHER WALL MOUNTED CHATELAIN, INCLUDING EXISTING WINDOW COVERINGS, SHALL BE REMOVED AND RETURNED TO THE OWNER.
- PROVIDE TEMP. CONSTRUCTION ACCESS DOOR CW CONSTRUCTION CORED LOCKSET, SEAL, AND CONSTRUCTION CYLINDERS.

HOARDING PARTITION TYPE:



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4 2024 05 18 IFT SW, HR, BP  
1 2024 05 22 PERMIT HR, SW

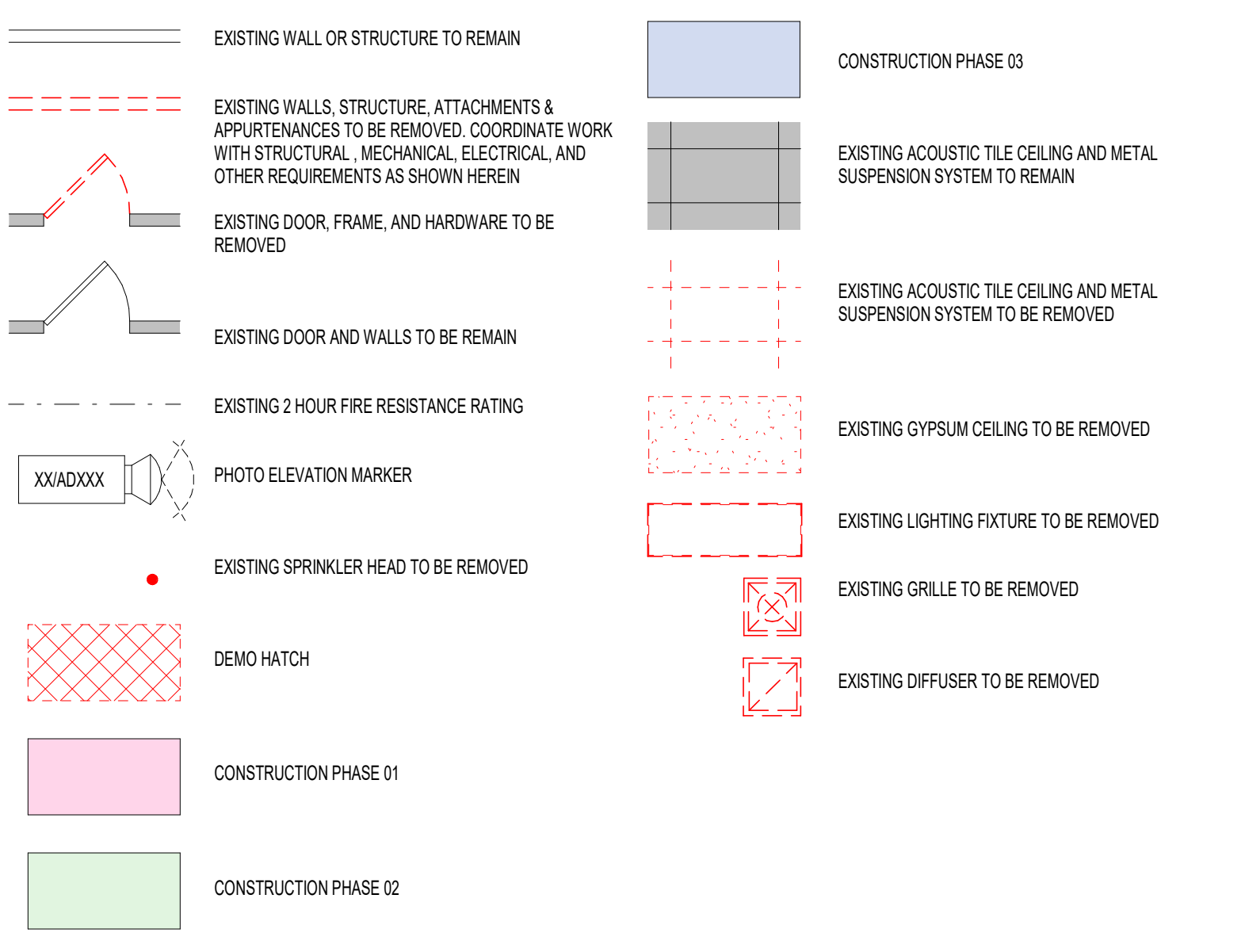
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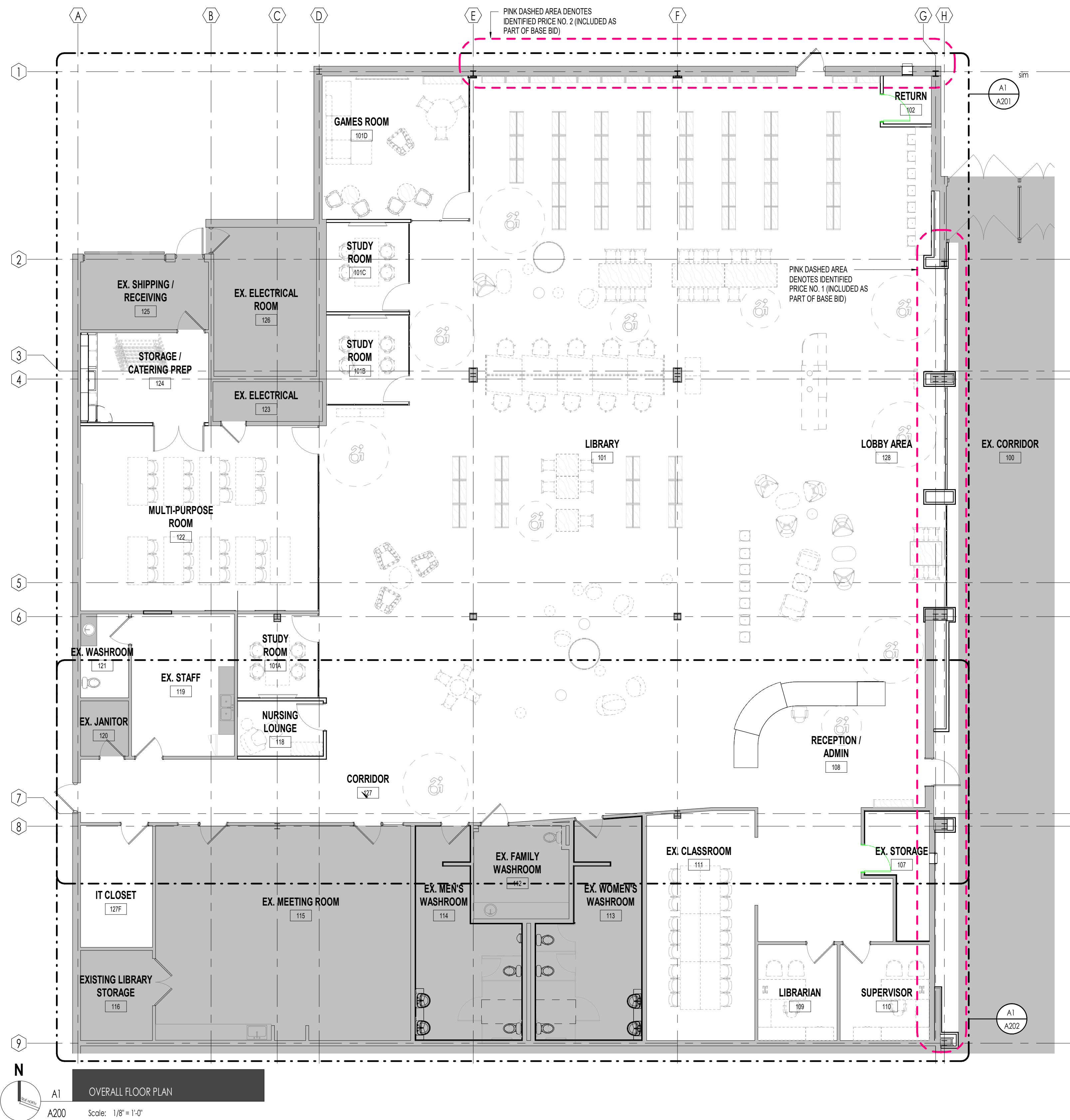
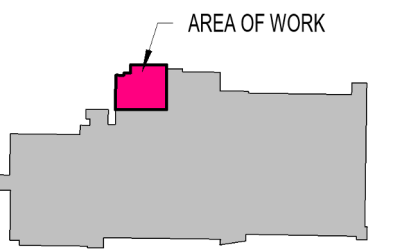
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Project Title:  
SHERWOOD LIBRARY RENOVATION

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Sheet Name:  
DEMOLITION REFLECTED CEILING PLANS

Scale: As indicated  
Project No: 23-006  
Sheet No: AD220



PINK DASHED AREA DENOTES IDENTIFIED PRICE NO. 2 (INCLUDED AS PART OF BASE BID)

PINK DASHED AREA DENOTES IDENTIFIED PRICE NO. 1 (INCLUDED AS PART OF BASE BID)

- 4 2024-09-18 IFT SW, HR, BP
- 3 2024-08-15 CLIENT REVIEW BP
- 2 2024-08-25 LANDSCAPE WORK SW, HR, SW
- 1 2024-05-22 PERMIT HR, SW

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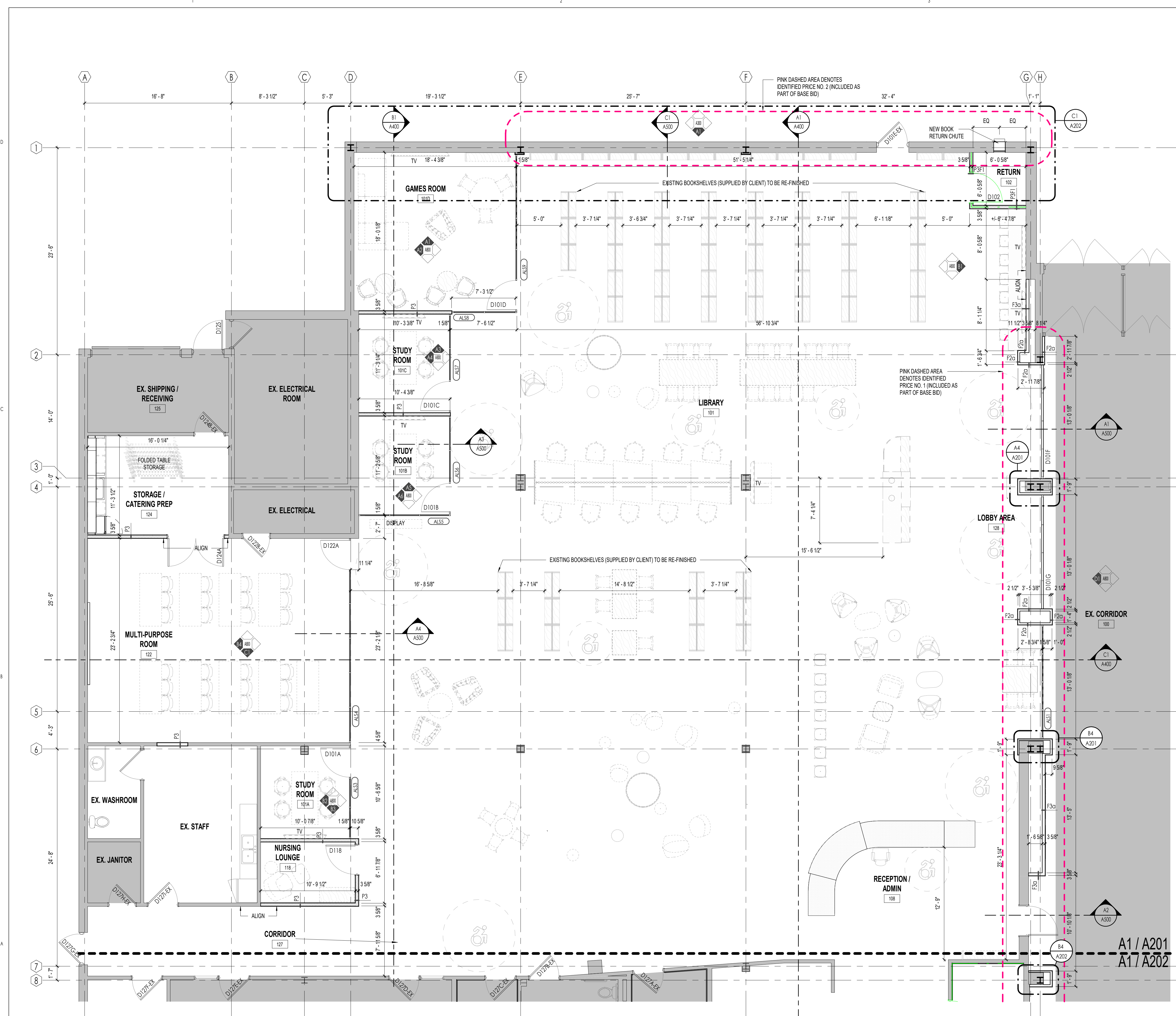
Project Title: SHERWOOD LIBRARY RENOVATION

LHSC PROJECT NO.: Owner 1225 Wonderland Rd N, London, ON N6G 2W9

Sheet Name: OVERALL FLOOR PLAN

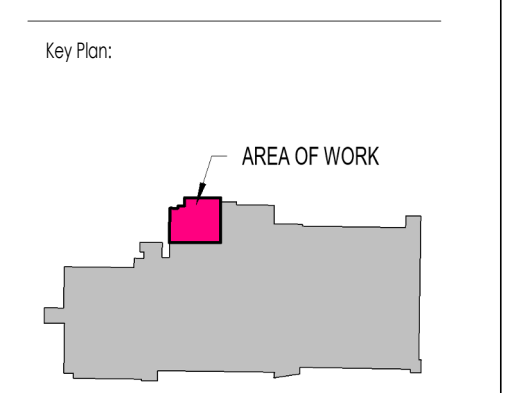
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Project No: 23-006  
Sheet No: A200



**DRAWING LEGEND**

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- TONED AREA: TONED AREA DENOTES EXISTING BUILDING TO REMAIN. TONE INDICATED FOR INFORMATION & CLARIFICATION PURPOSES ONLY.
- SOLID LINES: SOLID LINES DENOTE NEW CONSTRUCTION
- DASHED LINES: DASHED LINES DENOTE EXISTING 0 HOUR FIRE RESISTANCE RATING
- DOTTED LINES: DOTTED LINES DENOTE EXISTING 1 HOUR FIRE RESISTANCE RATING
- DASHED-DOTTED LINES: DASHED-DOTTED LINES DENOTE NEW 0 HOUR FIRE RESISTANCE RATING
- DOTTED-DOTTED LINES: DOTTED-DOTTED LINES DENOTE NEW 1 HOUR FIRE RESISTANCE RATING
- DOTTED-DASHED LINES: DOTTED-DASHED LINES DENOTE NEW 2 HOUR FIRE RESISTANCE RATING
- XX XX: ROOM NAME & NUMBER
- P1: WALL TYPE INDICATOR
- W1: NEW WINDOW TAG
- MW: MILLWORK
- EXISTING DOOR & NUMBER: EXISTING DOOR & NUMBER, SEE DOOR SCHEDULE
- NEW DOOR & NUMBER: NEW DOOR & NUMBER, SEE DOOR SCHEDULE
- NEW 45 MIN RATED DOOR & NUMBER: NEW 45 MIN RATED DOOR & NUMBER, SEE DOOR SCHEDULE
- NEW 90 MIN RATED DOOR & NUMBER: NEW 90 MIN RATED DOOR & NUMBER, SEE DOOR SCHEDULE
- FURNITURE / EQUIPMENT NOT IN CONTRACT (N.I.C.): FURNITURE / EQUIPMENT NOT IN CONTRACT (N.I.C.)

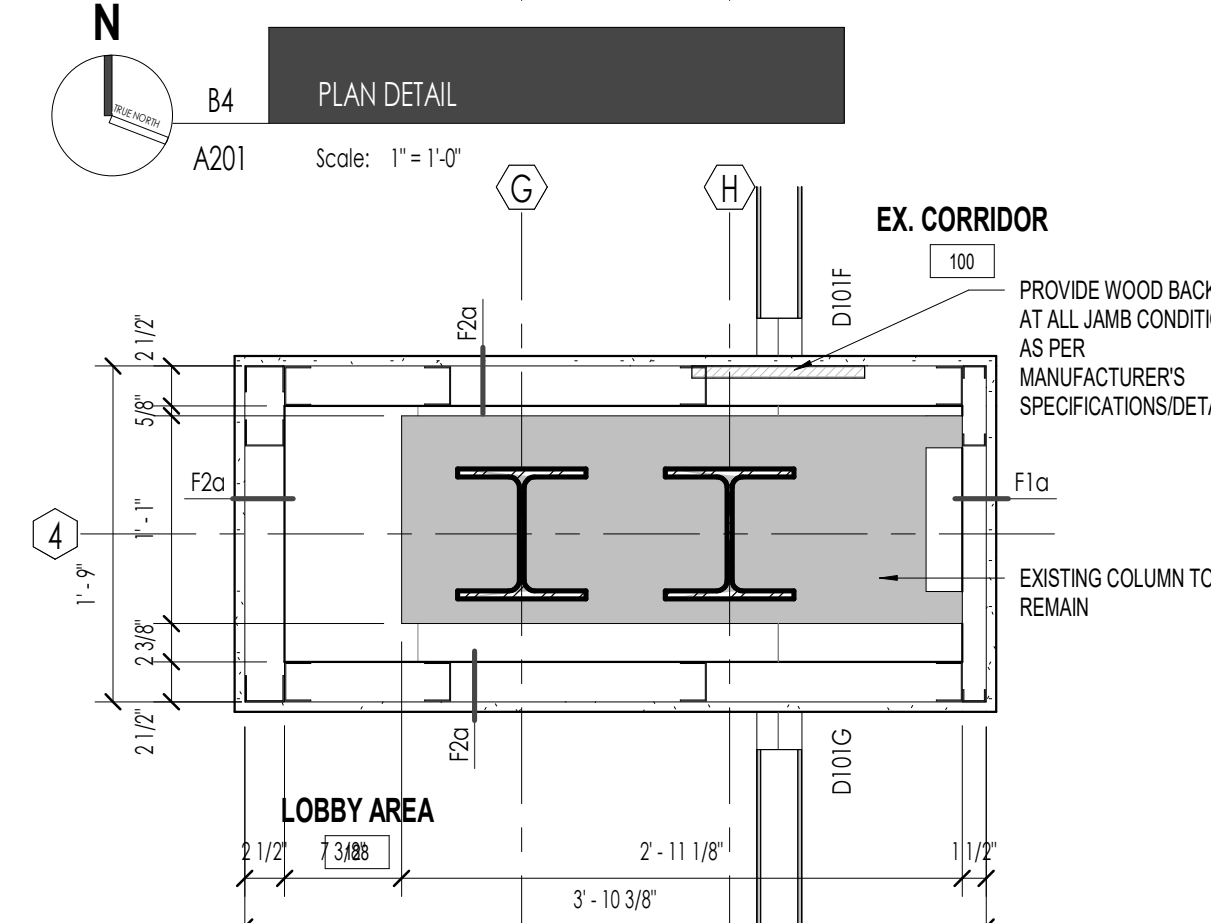
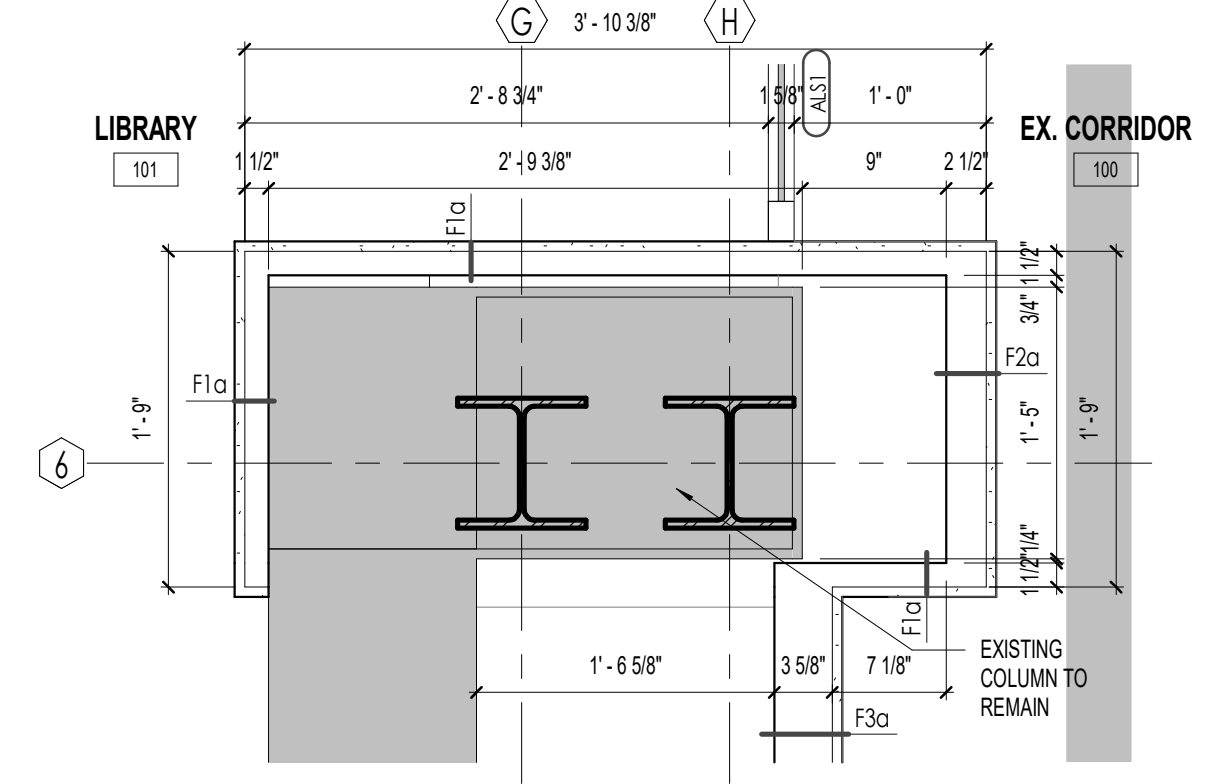


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 2 2024-06-25 LANDSCAPE WORK SW, HR, BP  
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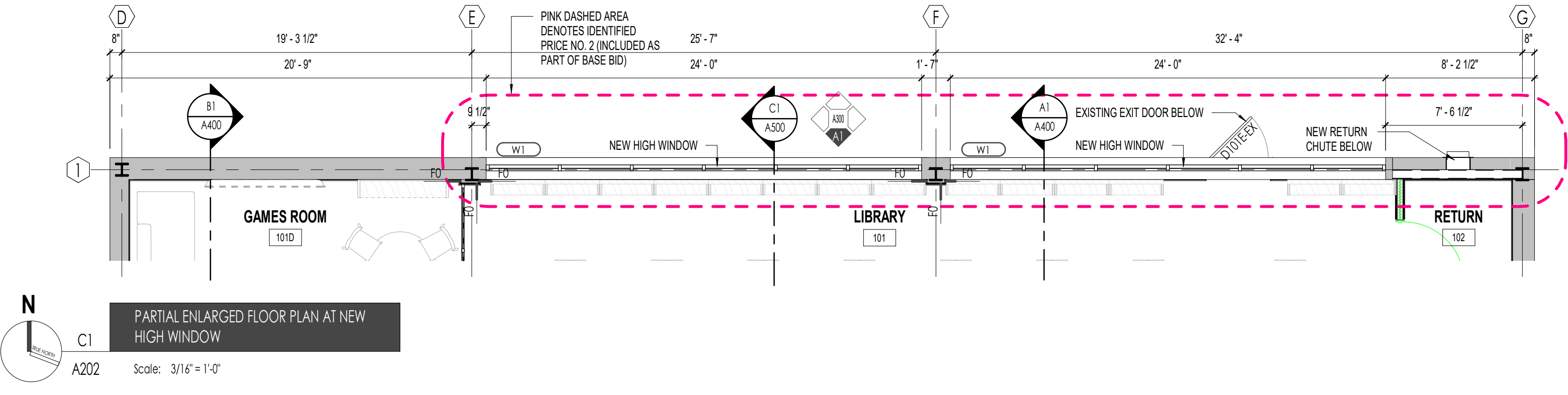
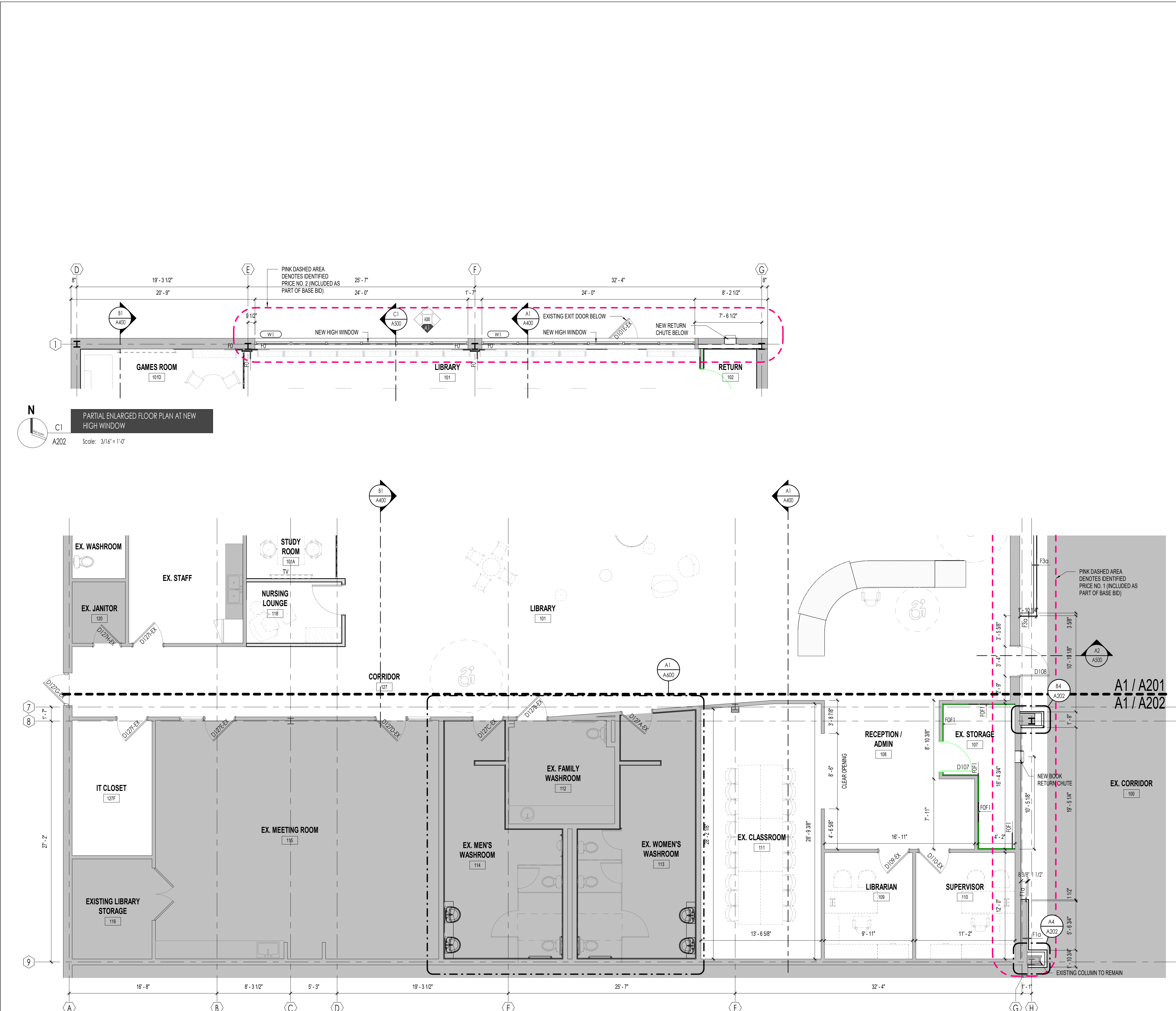
Project Title: SHERWOOD LIBRARY RENOVATION

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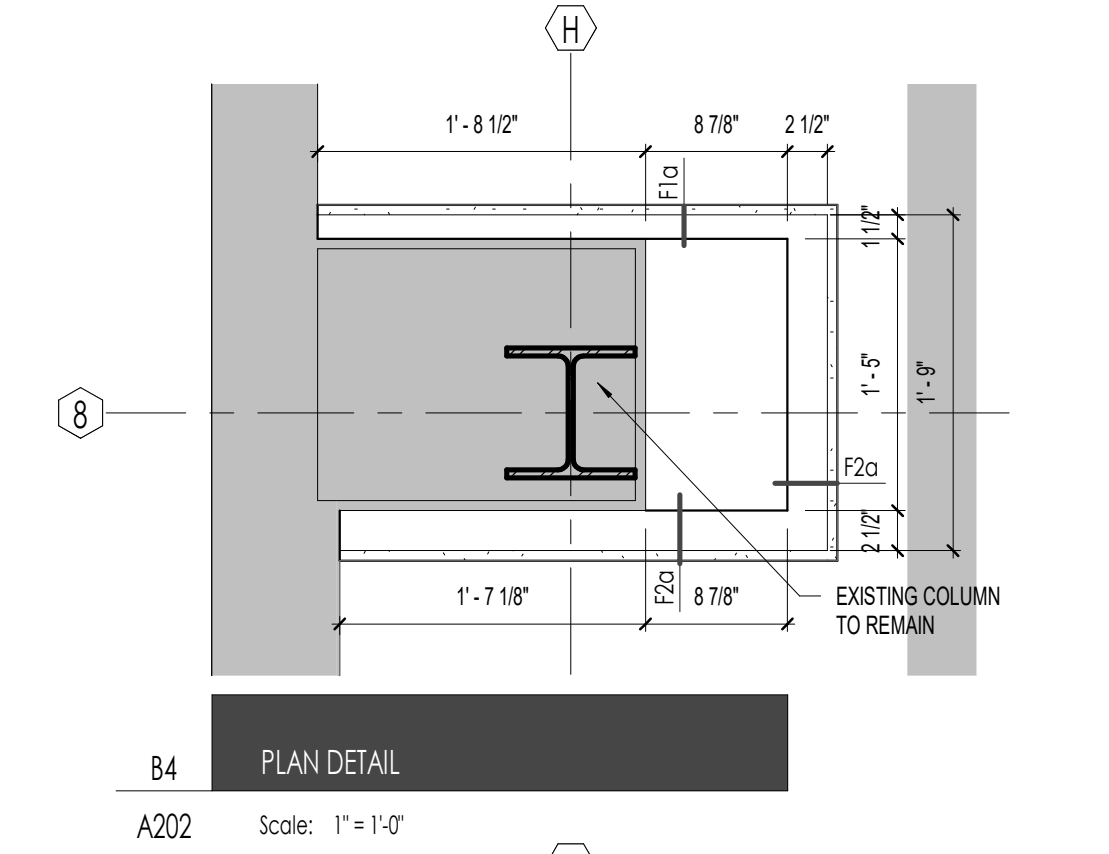
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Scale: As indicated  
 Project No: 23-006  
 Sheet No: A201

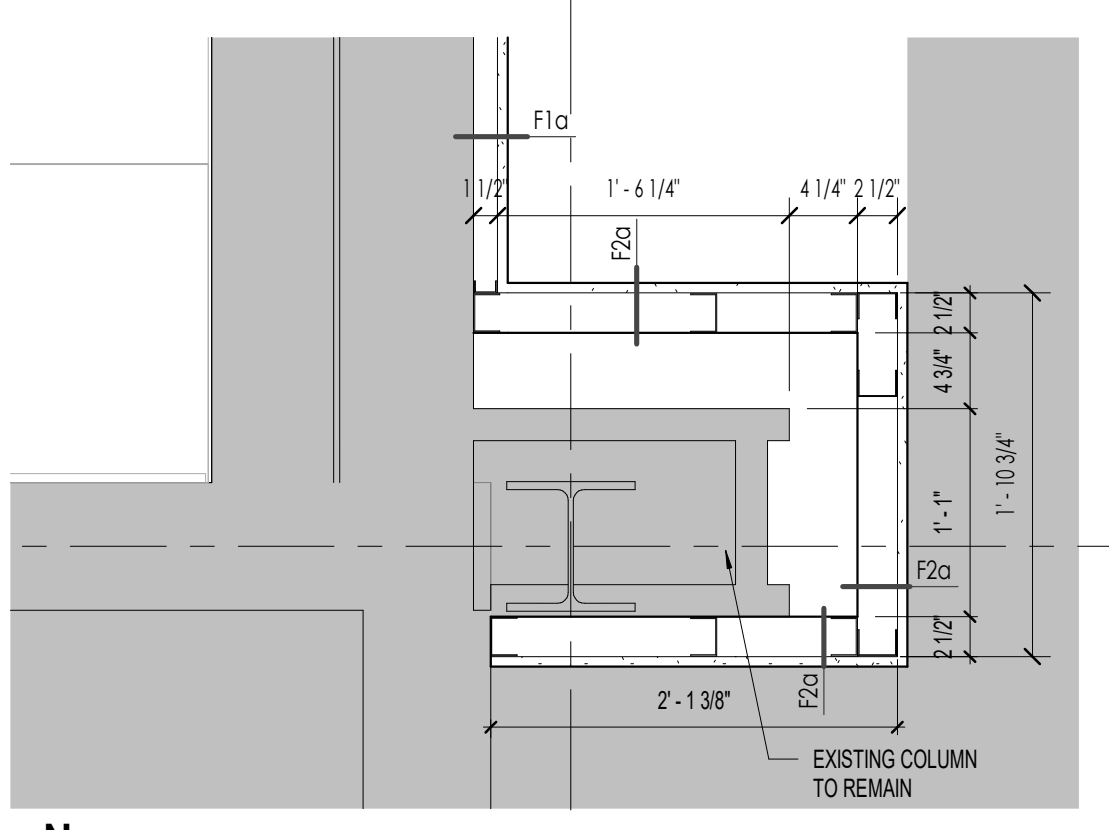
**ENLARGED FLOOR PLAN - NORTH**  
Scale: 3/16" = 1'-0"



**PARTIAL ENLARGED FLOOR PLAN AT NEW HIGH WINDOW**  
 Scale: 3/16" = 1'-0"

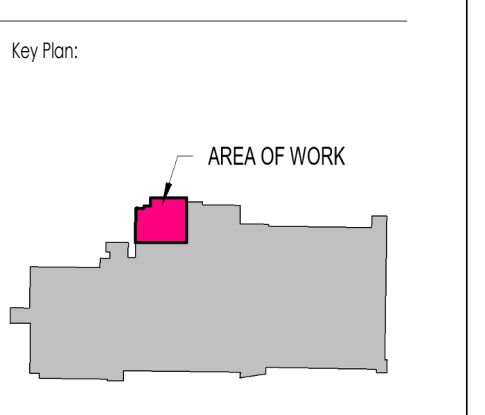


**PLAN DETAIL**  
 Scale: 1" = 1'-0"



**PLAN DETAIL**  
 Scale: 1" = 1'-0"

DRAWING LEGEND	
	DETAIL NUMBER PAGE NUMBER REFERENCE IN PROJECT
	TONED AREA DENOTES EXISTING BUILDING TO REMAIN. TONE INDICATED FOR INFORMATION & CLARIFICATION PURPOSES ONLY.
	SOLID LINES DENOTE NEW CONSTRUCTION
	EXISTING 0 HOUR FIRE RESISTANCE RATING
	EXISTING 1 HOUR FIRE RESISTANCE RATING
	NEW 0 HOUR FIRE RESISTANCE RATING
	NEW 1 HOUR FIRE RESISTANCE RATING
	NEW 2 HOUR FIRE RESISTANCE RATING
	ROOM NAME & NUMBER
	WALL TYPE INDICATOR
	NEW WINDOW TAG
	MILLWORK
	EXISTING DOOR & NUMBER, SEE DOOR SCHEDULE
	NEW DOOR & NUMBER, SEE DOOR SCHEDULE
	NEW 45 MIN RATED DOOR & NUMBER, SEE DOOR SCHEDULE
	NEW 90 MIN RATED DOOR & NUMBER, SEE DOOR SCHEDULE
	FURNITURE / EQUIPMENT NOT IN CONTRACT (N.I.C.)



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 1 2024-05-22 PERMIT HR, SW

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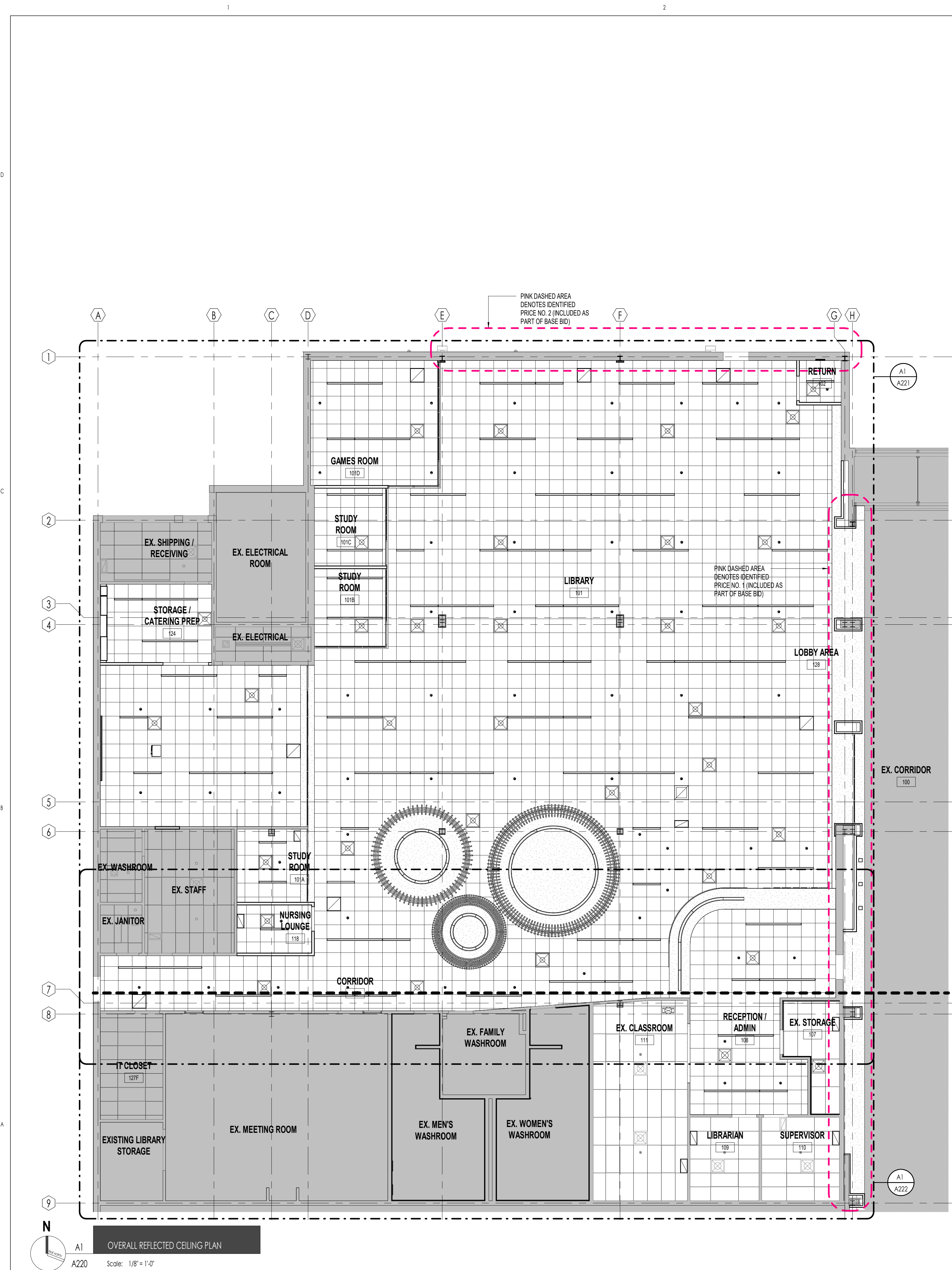
Project Title:  
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1225 Wonderland Rd N, London, ON N6G 2V9  
 Sheet Name:  
 ENLARGED FLOOR PLAN - SOUTH

Scale:  
 As indicated

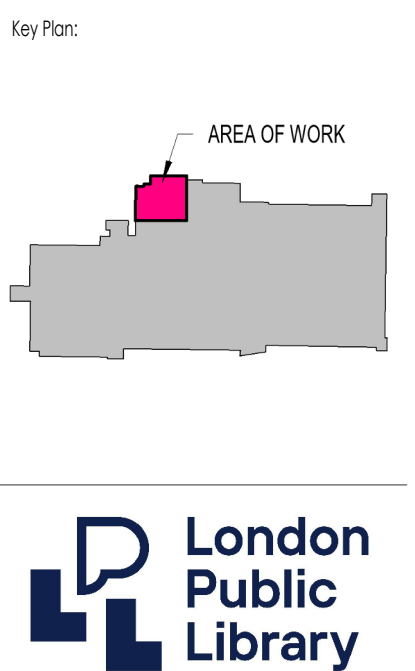
Project No:  
 23-006

Sheet No:  
 A202



**REFLECTED CEILING PLAN GENERAL NOTES:**

- COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR RESPECTIVE CEILING MOUNTED OR RECESSED ITEMS.
- FINAL LOCATION OF ALL MECHANICAL AND ELECTRICAL FIXTURES TO BE CONFIRMED PRIOR TO INSTALLATION. COORDINATE ALL MECHANICAL AND ELECTRICAL ITEMS WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS AND REPORT ANY DISCREPANCIES PRIOR TO ANY WORK.
- FINAL LOCATION OF SPRINKLER ITEMS NOT SHOWN IN ARCHITECTURAL DRAWINGS TO BE CONFIRMED AT SHOP DRAWING REVIEW.
- UNLESS DIMENSIONED OTHERWISE, CEILING TILES TO BE STARTED AS SHOWN FROM THE CENTER POINT OF ROOMS TYPICAL.
- EXISTING STEEL BEAMS AND POSTS WHERE EXPOSED TO BE PAINTED CW/INTUMESCENT COATING WHERE REQUIRED TO BE FIRE RATED (COORDINATE WITH LIFE SAFETY DRAWINGS).
- ALL INTERIOR CEILING BULKHEAD SYSTEMS TO BE CONSTRUCTED WITH METAL FRAMING TYPICAL. NOT WOOD UNLESS OTHERWISE NOTED.
- SHOP DRAWINGS TO BE CONSISTENT WITH DIMENSIONED UNITS AS ILLUSTRATED ON THIS DRAWING OR THEY WILL BE REJECTED (IMPERIAL AND METRIC BOTH SHOWN IS ACCEPTABLE). ALSO AIR GRILLES ARE TO REFER TO THE ROOM # THEY ARE INSTALLED (AND ANY OTHER ITEMS TYPICAL).
- REFER TO WALL SECTIONS AND REFLECTED CEILING PLAN FOR ALL NEW CEILING HEIGHTS. VERIFY DEPTH REQUIRED FOR ALL INFRASTRUCTURE AND EQUIPMENT PRIOR TO INSTALLING CEILING FRAMING SYSTEMS.
- THIS DRAWING IS NOT AN INTERFERENCE PLAN. CONTRACTOR IS RESPONSIBLE FOR ON-SITE COORDINATION OF ALL TRADES. FAILURE TO FULLY SITE COORDINATE CEILING WILL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL COSTS TO THE OWNER.
- MECHANICAL AND ELECTRICAL FIXTURES ARE INDICATED FOR REFERENCE PURPOSES ONLY. REFER TO MECHANICAL AND ELECTRICAL DOCUMENTS FOR LOCATIONS AND QUANTITIES.
- ADDITIONAL WORK MAY BE REQUIRED. REFER TO MECHANICAL AND ELECTRICAL DOCUMENTS FOR COMPLETE SCOPE OF WORK. REMOVE AND REINSTATE CEILING AS REQUIRED TO EXECUTE MECHANICAL AND ELECTRICAL SCOPE OF WORK.



**London Public Library**

**REFLECTIVE CEILING PLAN LEGEND**

- 4" x 0-4" RECESSED LIGHT FIXTURE REFER TO ELECT. DRAWINGS
- 8" x 0-4" RECESSED LIGHT FIXTURE REFER TO ELECT. DRAWINGS
- SQUARE RECESSED DOWNLIGHT REFER TO ELECT. DRAWINGS
- SUSPENDED LIGHT FIXTURE AXIS SKETCH REFER TO ELECT. DWGS. REFER TO ARCH. DWGS FOR SIZES
- FIRE ALARM DETECTOR. REFER TO ELECT. DRAWINGS
- SMOKE ALARM. REFER TO ELECT. DRAWINGS
- COMBINATION SMOKE/CARBON MONOXIDE ALARM. REFER TO ELECT. DRAWINGS
- FIRE ALARM ADDRESSABLE OUTPUT MODULE. REFER TO ELECT. DRAWINGS
- CEILING MOUNTED RUNNING MAN EXIT SIGN (FILLED IN AREA INDICATES FACES). REFER TO ELECT. DRAWINGS
- CEILING MOUNTED OCCUPANCY SENSOR. REFER TO ELECT. DRAWINGS
- EMERGENCY BATTERY WITH DUAL EMERGENCY LIGHTING HEADS. REFER TO ELECT. DRAWINGS
- EMERGENCY BATTERY, RUNNING MAN EXIT SIGN, DUAL EMERGENCY LIGHTING HEAD COMBO UNIT. REFER TO ELECT. DRAWINGS
- DUAL EMERGENCY LIGHTING REMOTE HEADS. REFER TO ELECT. DRAWINGS
- SUPPLY AIR GRILLE. REFER TO MECH. DRAWINGS
- SUPPLY AIR GRILLE. REFER TO MECH. DRAWINGS
- RETURN AIR DIFFUSER. REFER TO MECH. DRAWINGS
- RETURN AIR DIFFUSER. REFER TO MECH. DRAWINGS

4 2024-09-18 IFT SW, HR, BRP  
 2 2024-04-25 LANDLORD WORK SW, HR, SW  
 1 2024-05-22 PERMIT HR, SW

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USOC PROJECT NO.: Owner  
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 OVERALL REFLECTED CEILING PLAN

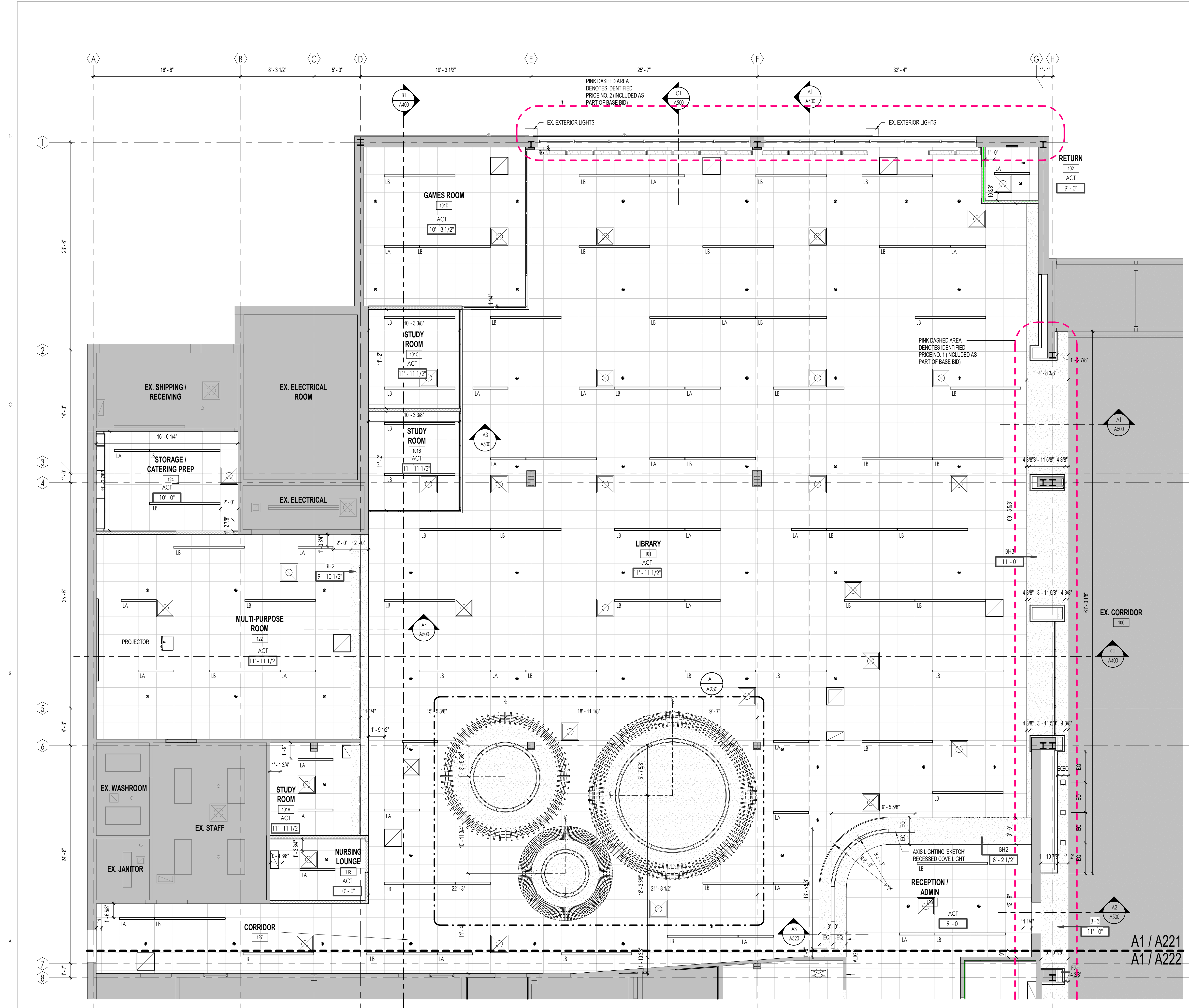
Scale:  
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Project No:  
 23-006

Sheet No:  
 A220

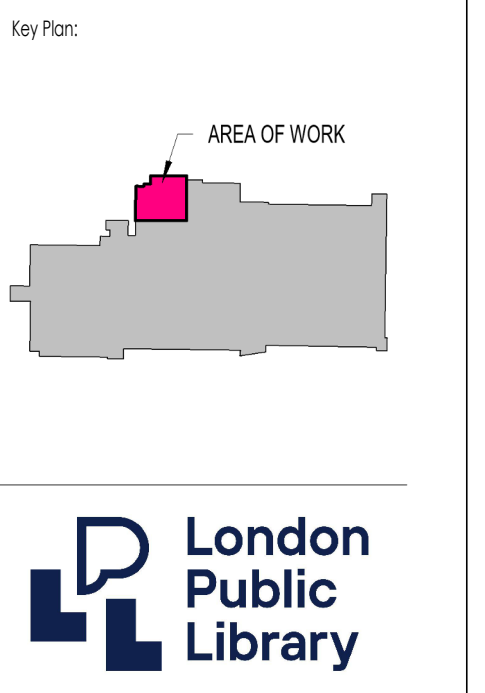
**SPRINKLER MODIFICATION NOTE:**

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**REFLECTED CEILING PLAN GENERAL NOTES:**

- COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR RESPECTIVE CEILING MOUNTED OR RECESSED ITEMS.
- FINAL LOCATION OF ALL MECHANICAL AND ELECTRICAL FIXTURES TO BE CONFIRMED PRIOR TO INSTALLATION. COORDINATE ALL MECHANICAL AND ELECTRICAL ITEMS WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS AND REPORT ANY DISCREPANCIES PRIOR TO ANY WORK.
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**REFLECTIVE CEILING PLAN LEGEND**

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4 2024 09 18 IFT SW, HR  
 2 2024 06 25 LANDLORD WORK SW, HR  
 1 2024 05 22 PERMIT SW, HR

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1225 Wonderland Rd N, London, ON N6G 2Y9

Sheet Name:  
 ENLARGED REFLECTED CEILING PLAN - NORTH

Scale:  
 As indicated

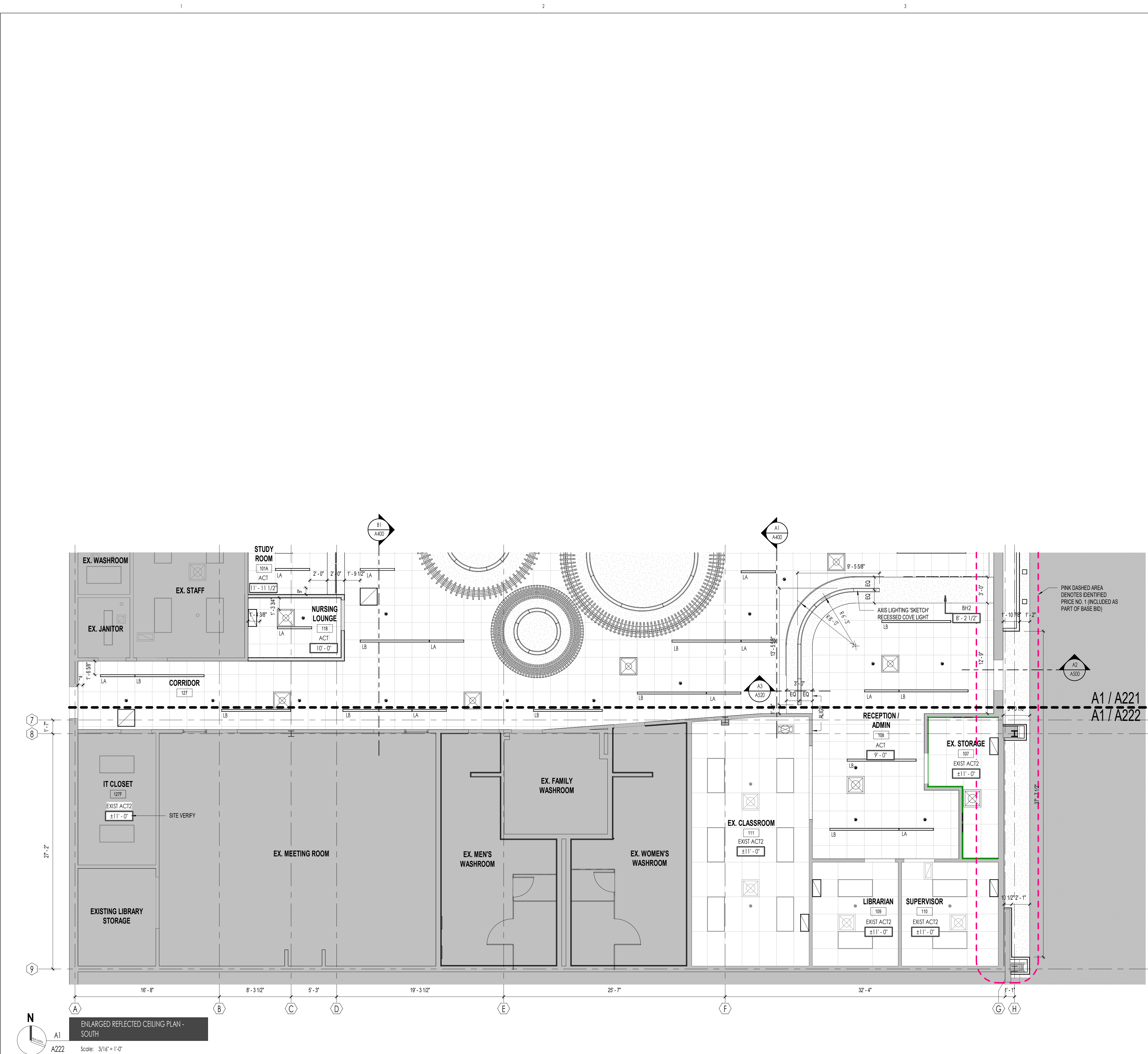
Project No:  
 23-006

Sheet No:  
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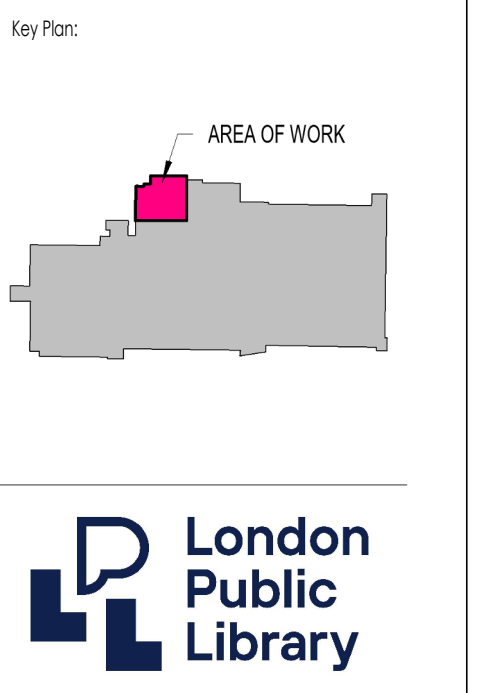
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A1 A221 Scale: 3/16" = 1'-0"



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	SUPPLY AIR GRILLE. REFER TO MECH. DRAWINGS
	RETURN AIR DIFFUSER. REFER TO MECH. DRAWINGS

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4	2024 09 18	IFT	SW, HR
2	2024 04 25	LANDLORD WORK	SW
1	2024 05 22	PERMIT	HR, SW

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Project Title:  
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USC PROJECT NO.: Owner  
1225 Wonderland Rd N, London, ON N6G 2W9

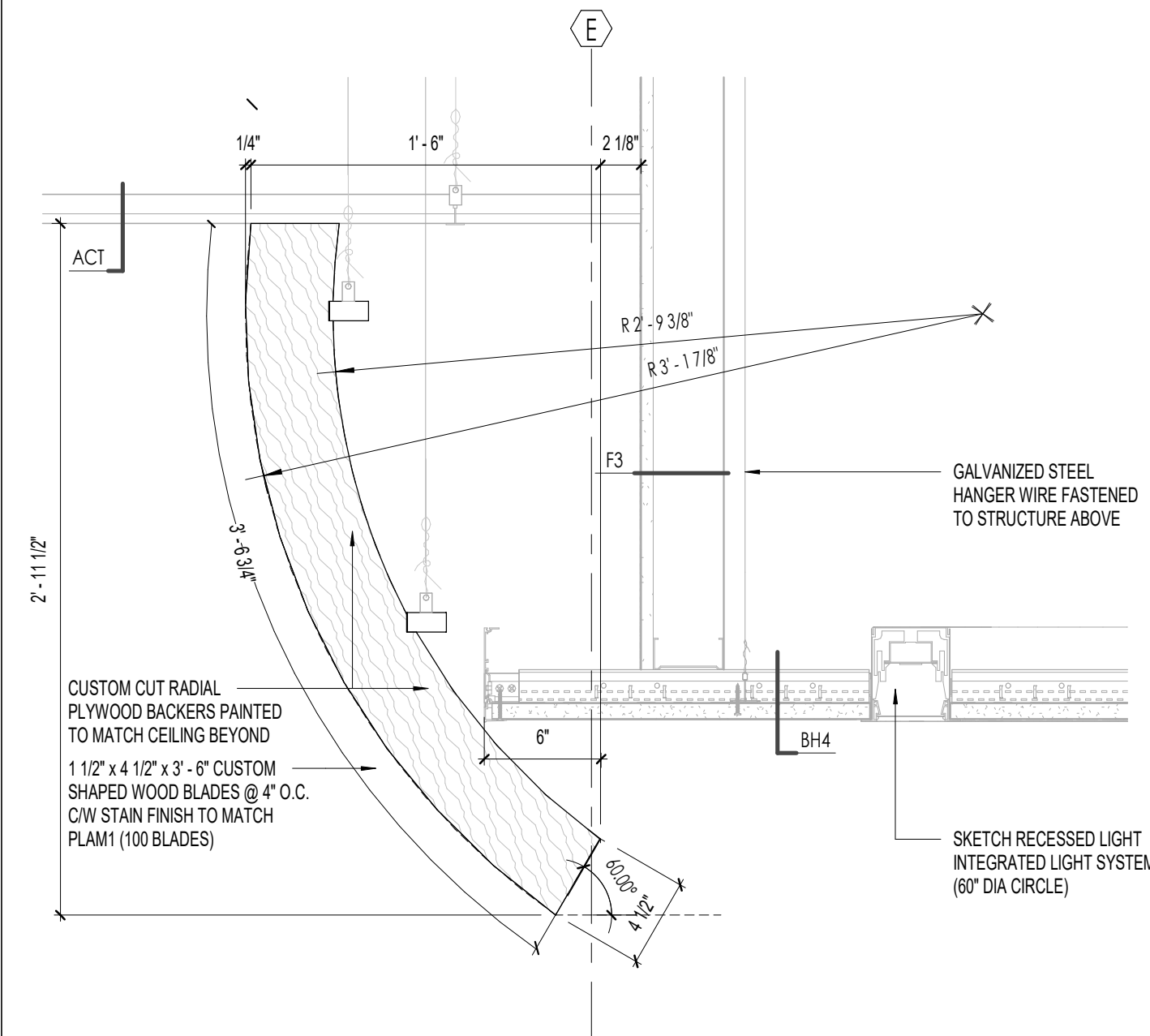
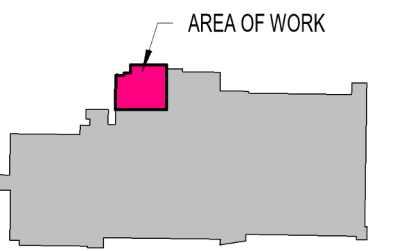
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- SOUTH

Scale:  
As indicated

Project No:  
23-006

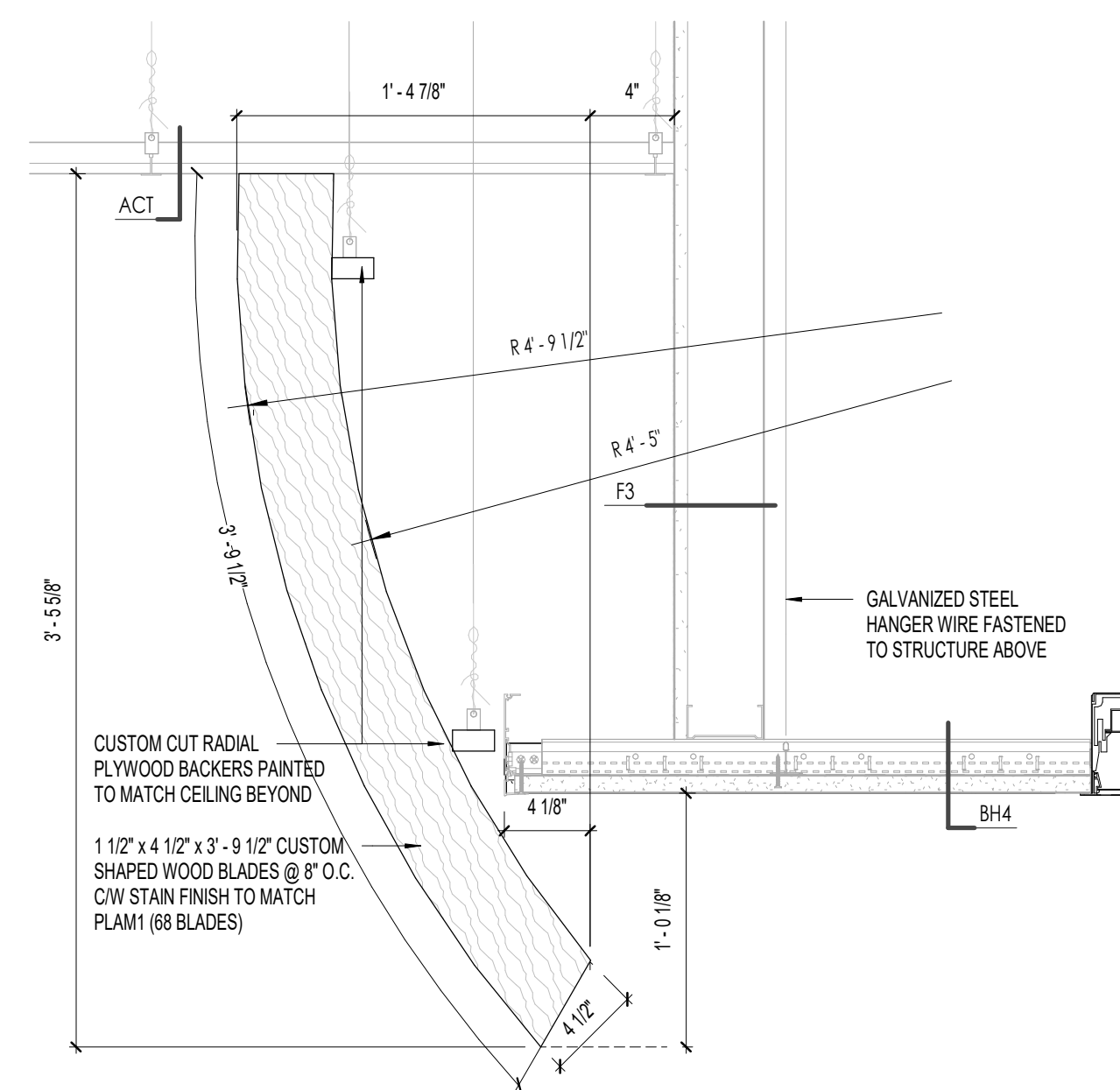
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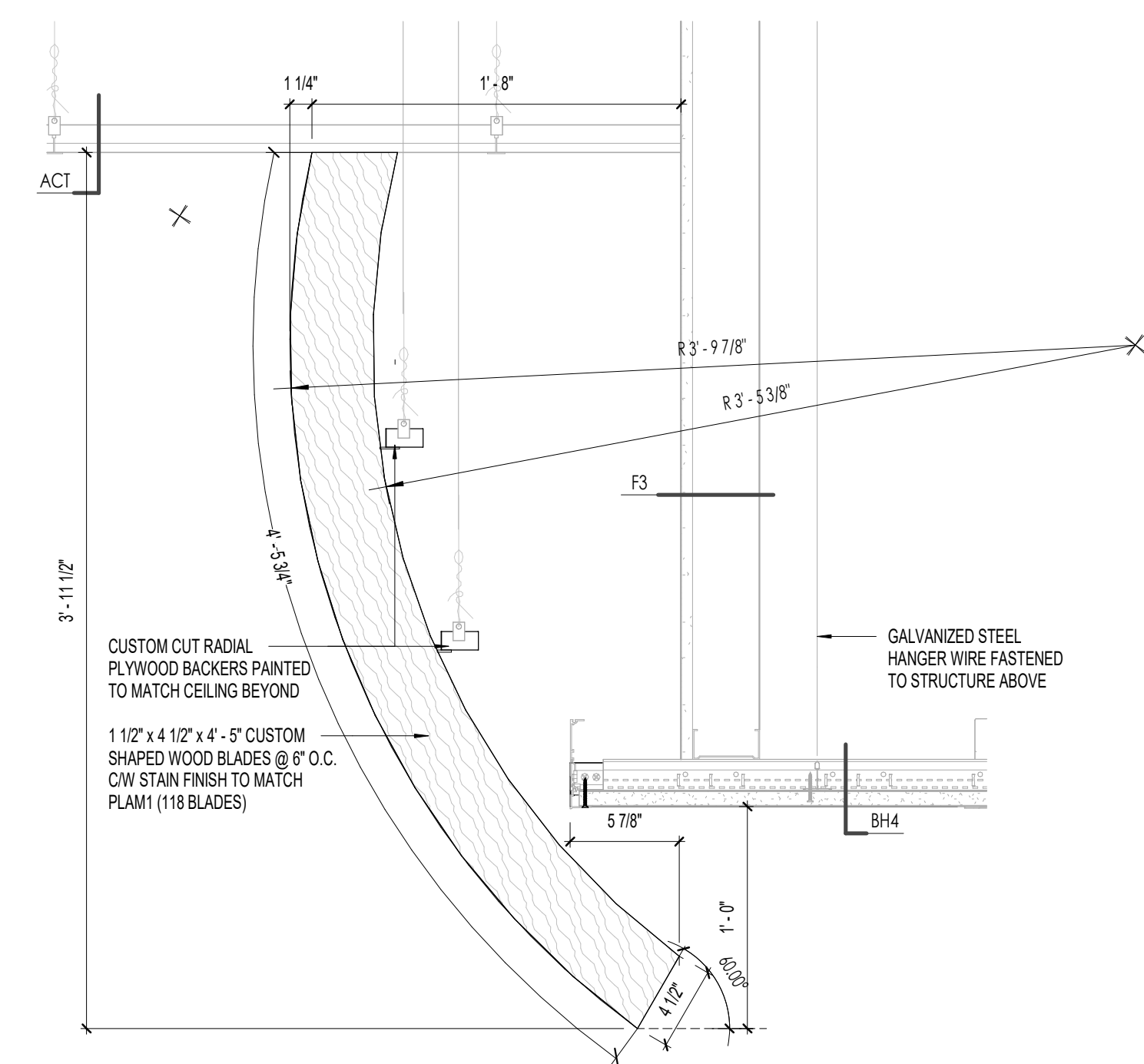
C1 SMALL WOOD BLADE DETAIL

A230 Scale: 1 1/2\"/>



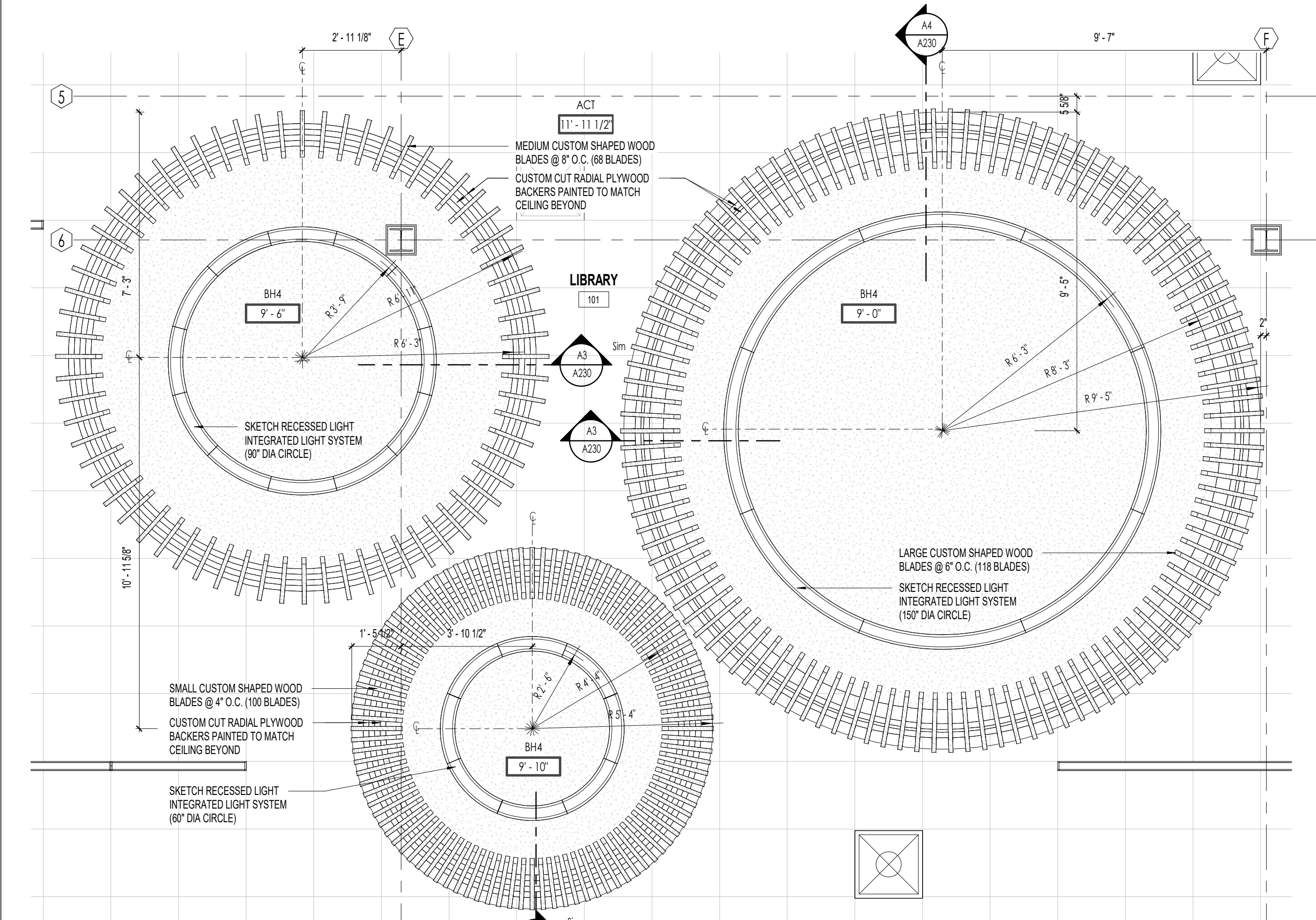
C2 MEDIUM WOOD BLADE DETAIL

A230 Scale: 1 1/2\"/>



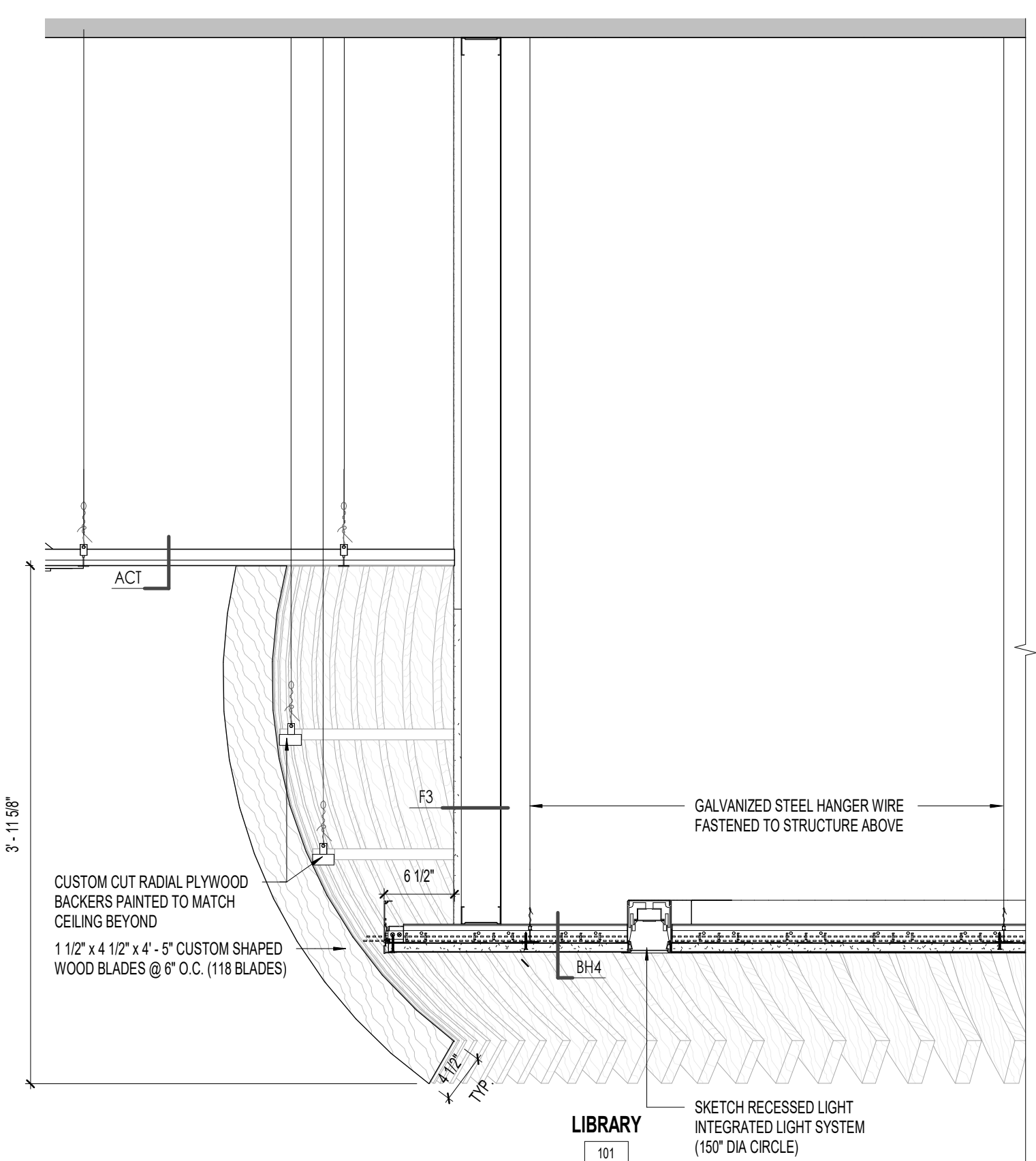
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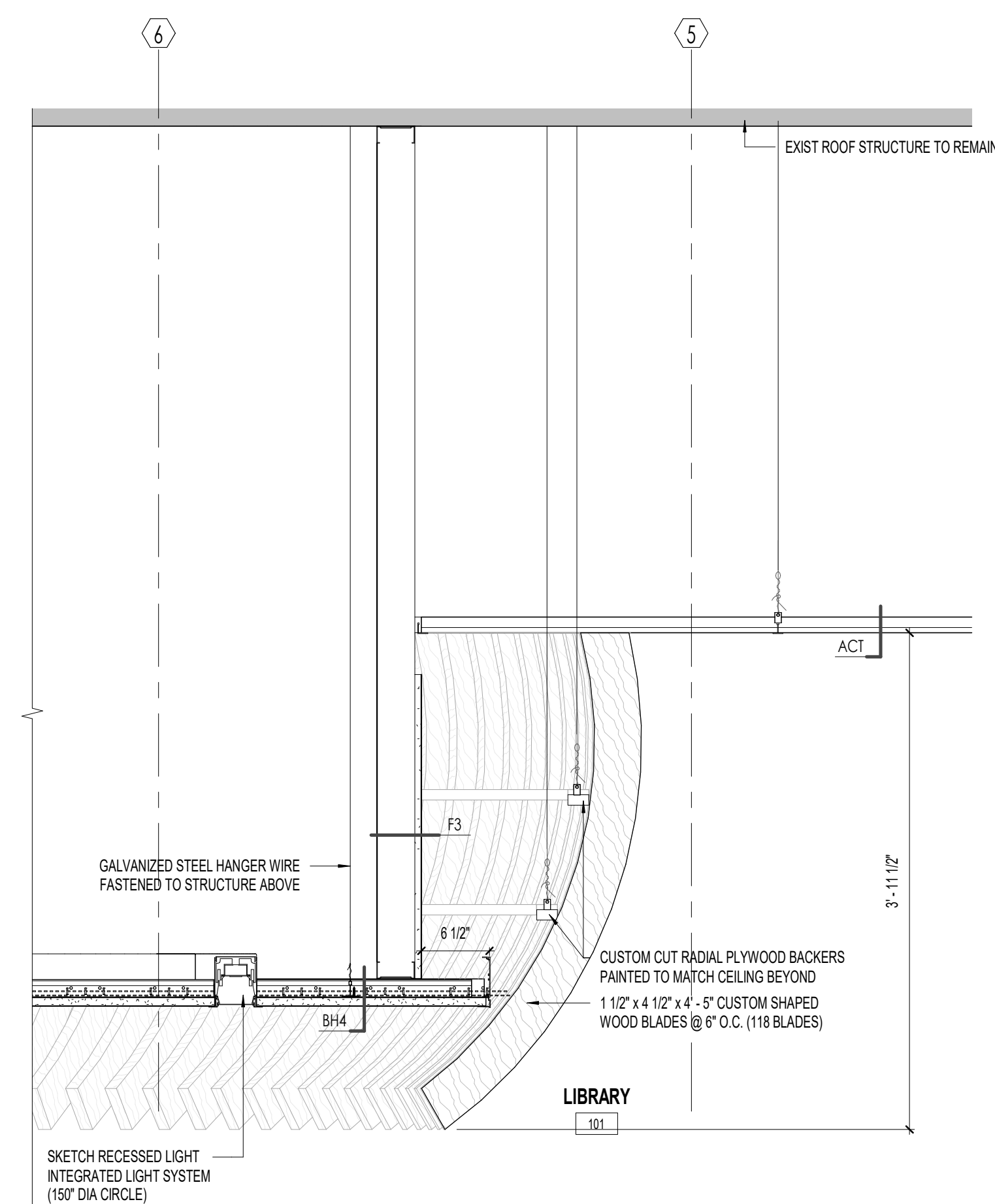
A1 ENLARGED REFLECTED CEILING PLAN DETAIL - THE NEST

A230 Scale: 3/8\"/>



A3 SECTION DETAIL

A230 Scale: 1\"/>



A4 SECTION DETAIL

A230 Scale: 1\"/>

4	2024.05.18	IFT	SW, HR, BP
1	2024.05.22	PERMIT	HR, SW
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mcp@matterinc.ca

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1225 Wonderland Rd N, London, ON N6G 2W9

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CEILING DETAILS

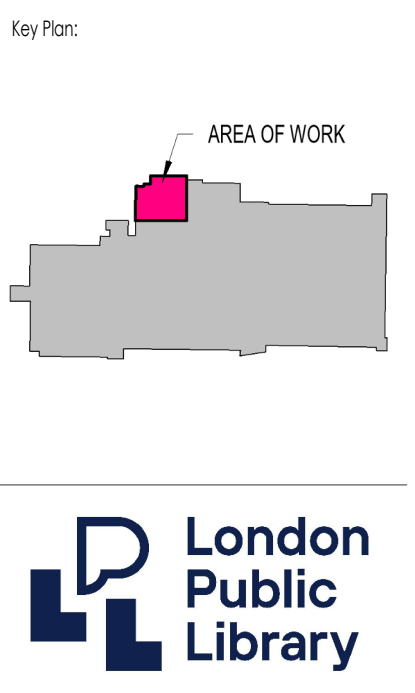
Scale:  
As indicated

Project No:  
23-006

Sheet No:  
A230

**BUILDING ELEVATION GENERAL NOTES:**

1. THE APPROVED ELEVATIONS SHALL FORM THE BASIS FOR THE BUILDING PERMIT APPLICATION.
2. ANY SUBSTANTIVE CHANGE(S) OR MODIFICATION(S) TO THE APPROVED SITE PLAN BUILDING ELEVATION(S) SHALL REQUIRE A MODIFICATION TO THE APPROVED BUILDING ELEVATION DRAWINGS BY THE DELEGATED SITE PLAN APPROVAL AUTHORITY.
3. ALL SITE LIGHTING SHALL NOT RESULT IN ANY GLARE OR SPILL OVER TO THE SURROUNDING PROPERTIES OR PUBLIC VIEW.
4. BUILDING COLOURS MAY BE SUBJECT TO MINOR ADJUSTMENTS IN TONE AND/OR SHADE.
5. ANY PROPOSED SIGNAGE IS FOR ILLUSTRATION PURPOSE(S), AND SUBJECT TO CITY / MUNICIPALITY SIGN BY-LAWS.



4	2024-09-18	IFT	SW, HR
2	2024-04-25	LANDLORD WORK	SW
1	2024-05-22	PERMIT	HR, SW

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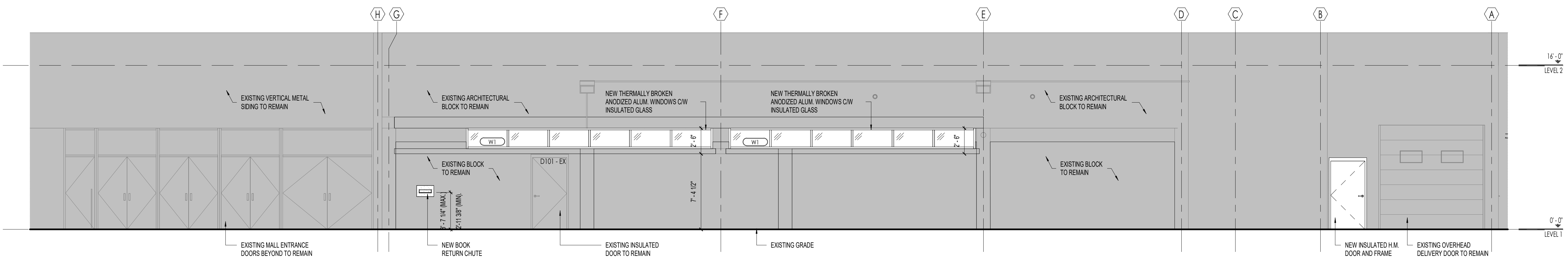
1225 Wonderland Rd N, London, ON N6G 2W9

Sheet Name:  
EXTERIOR ELEVATIONS

Scale:  
3/16" = 1'-0"

Project No:  
23-006

Sheet No:  
A300



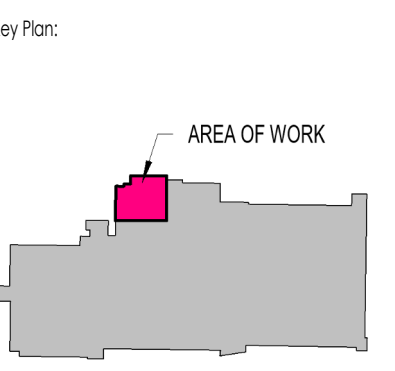
A1 EXTERIOR ELEVATION  
A300 Scale: 3/16" = 1'-0"

**WINDOW LEGEND & GENERAL NOTES**

- EXTERIOR WINDOW FRAMES:**
  - ALUMINUM THERMALLY BROKEN FRAME, ALUMICOR 3400 SERIES OR APPROVED
  - ANODIZED ALUMINUM FINISH
  - UNLESS NOTED OTHERWISE, FRAMES TO BE GLAZED WITH 1" OVERALL SEALED UNIT(S) CONSISTING OF 6mm CLEAR SOLARBAN 60(VT)(SURFACE2) TEMPERED GLASS, ARGON GAS FILLED AIR SPACE, 6mm CLEAR TEMPERED GLASS
- INTERIOR WINDOW FRAMES:**
  - FALKBUILT PRE-FINISHED ALUMINUM FRAMING CW SINGLE GLAZED FALKBUILT 'KAJ' GLASS OR APPROVED EQUAL
  - GLASS THICKNESS: CLEAR TEMPERED 3/8" (10MM)
  - 4" MAX GLASS PANEL WIDTH
  - FINISH:

**GENERAL NOTE:**

- VERIFY ALL OPENING SIZES ON SITE PRIOR TO FABRICATION, REFER TO SPECIFICATIONS FOR SHOP DRAWING SUBMITTAL PROCESS



NO. DATE ISSUED FOR: BY:

4 2024 09 18 IFT SW: HR: BR: BT:

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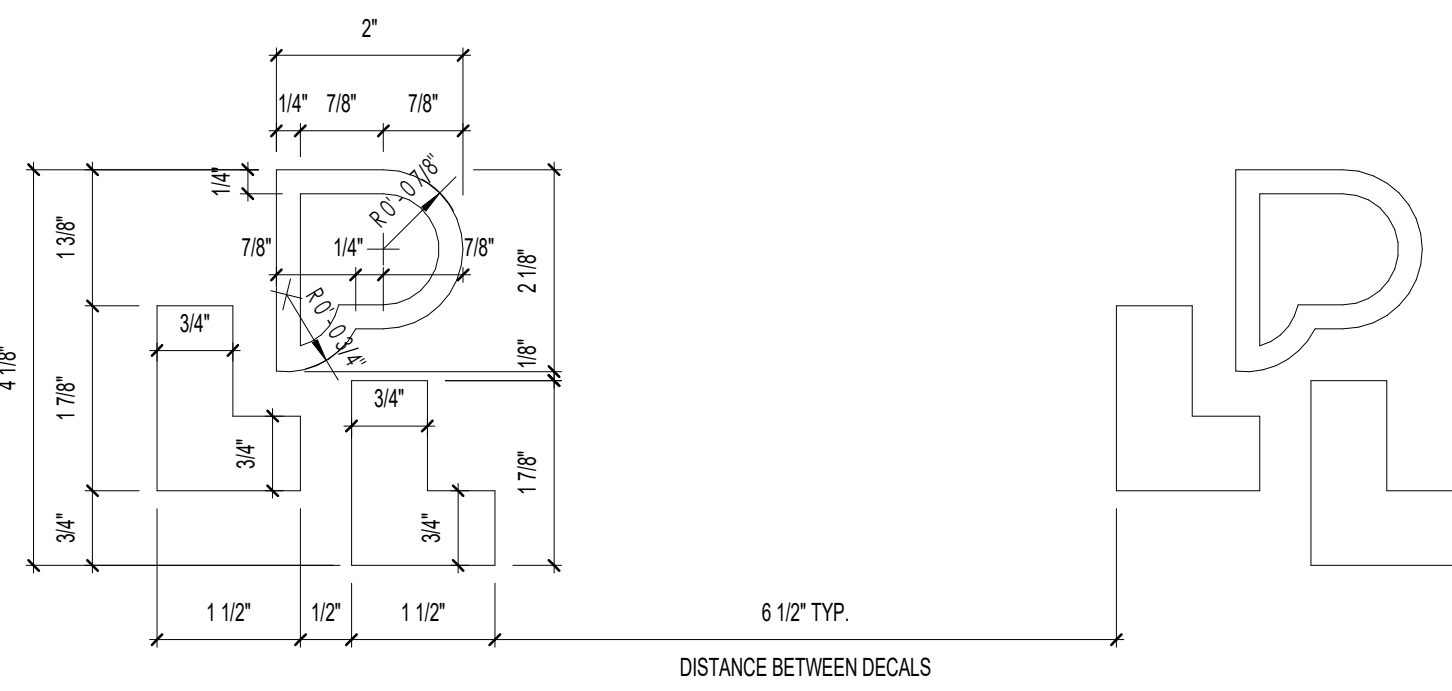
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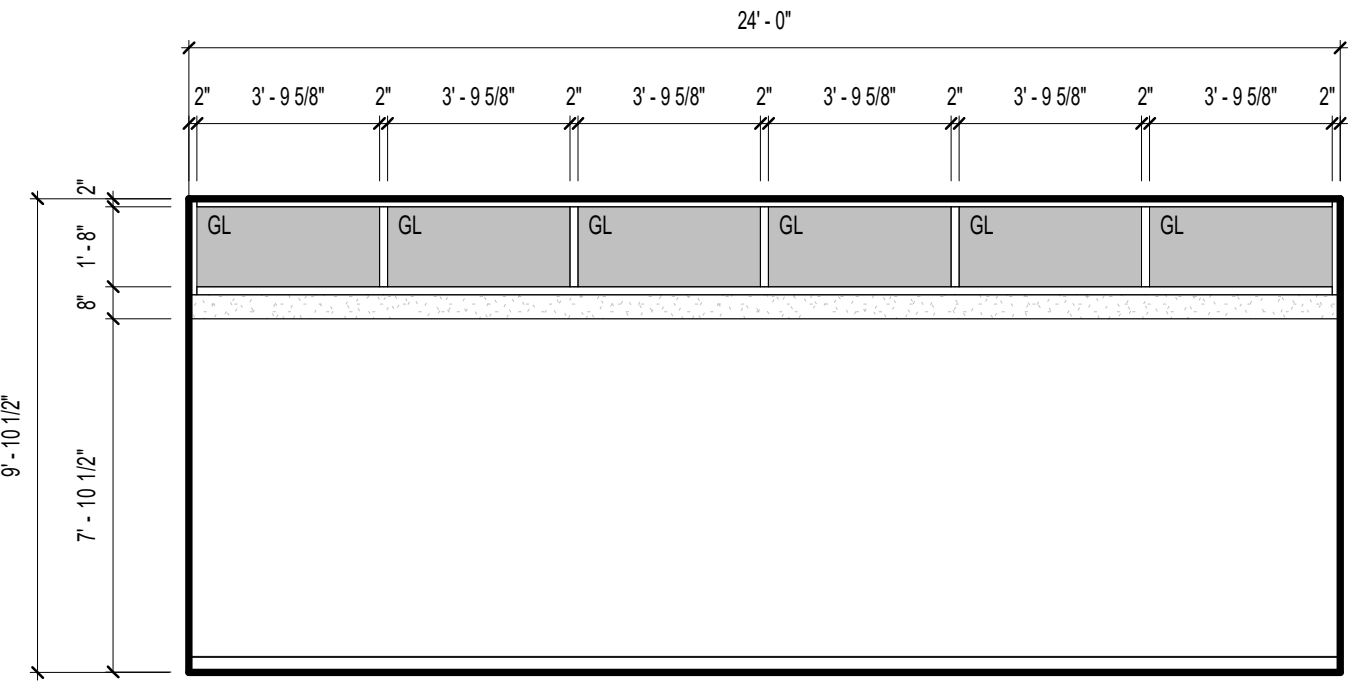
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Project No: 23-006

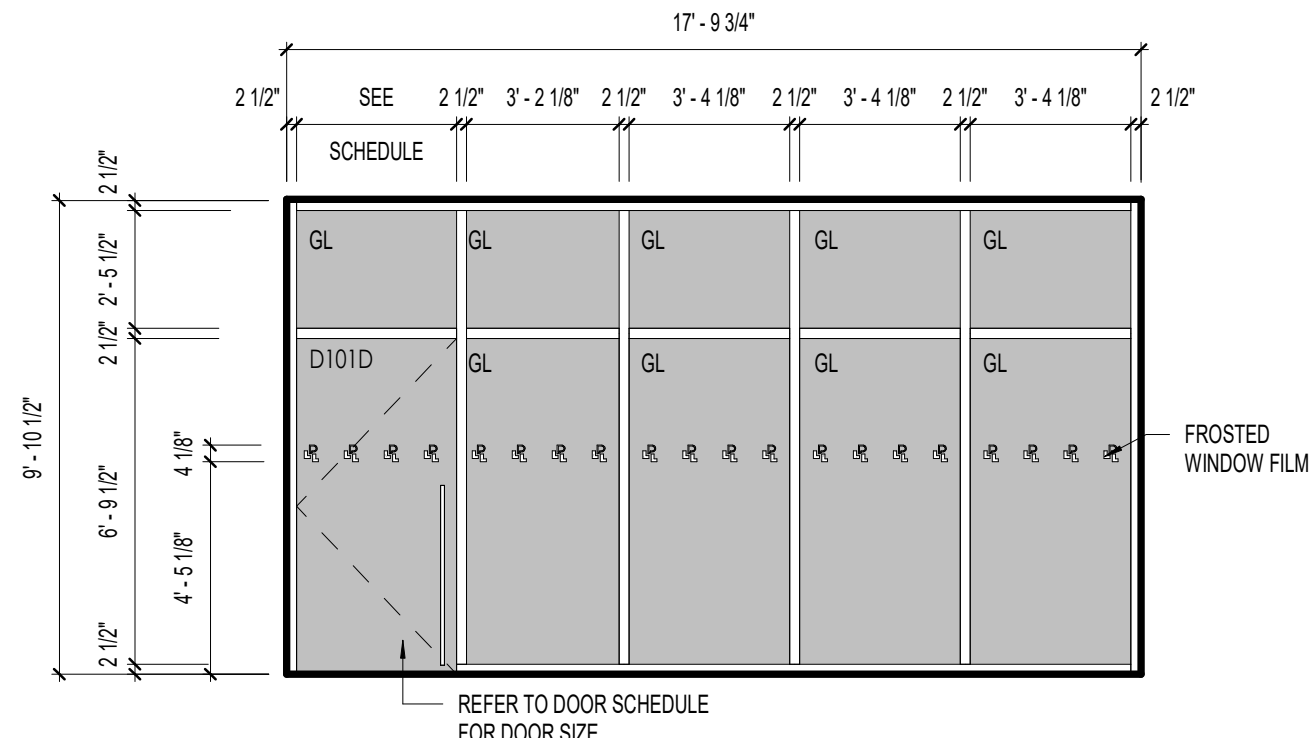
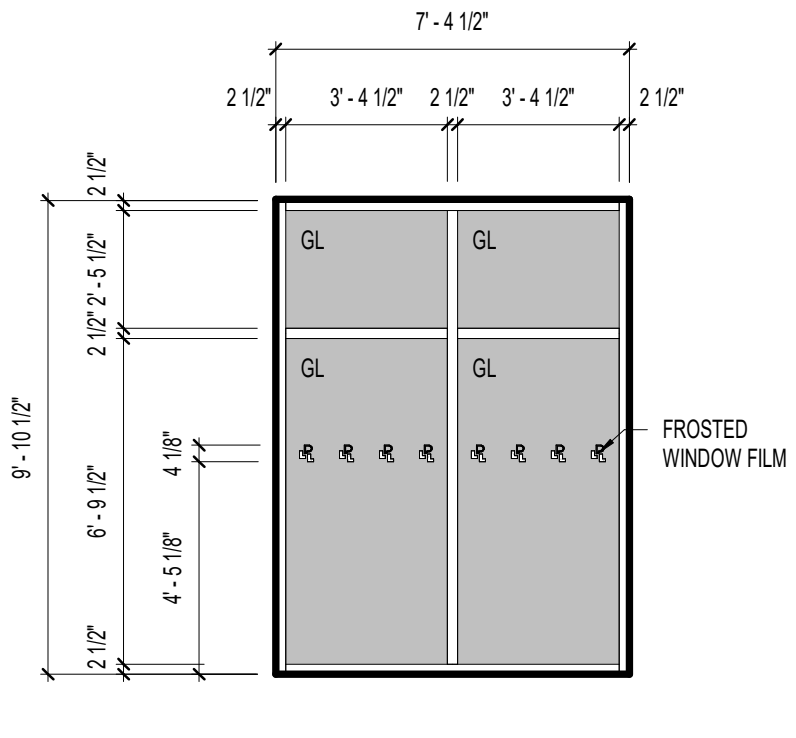
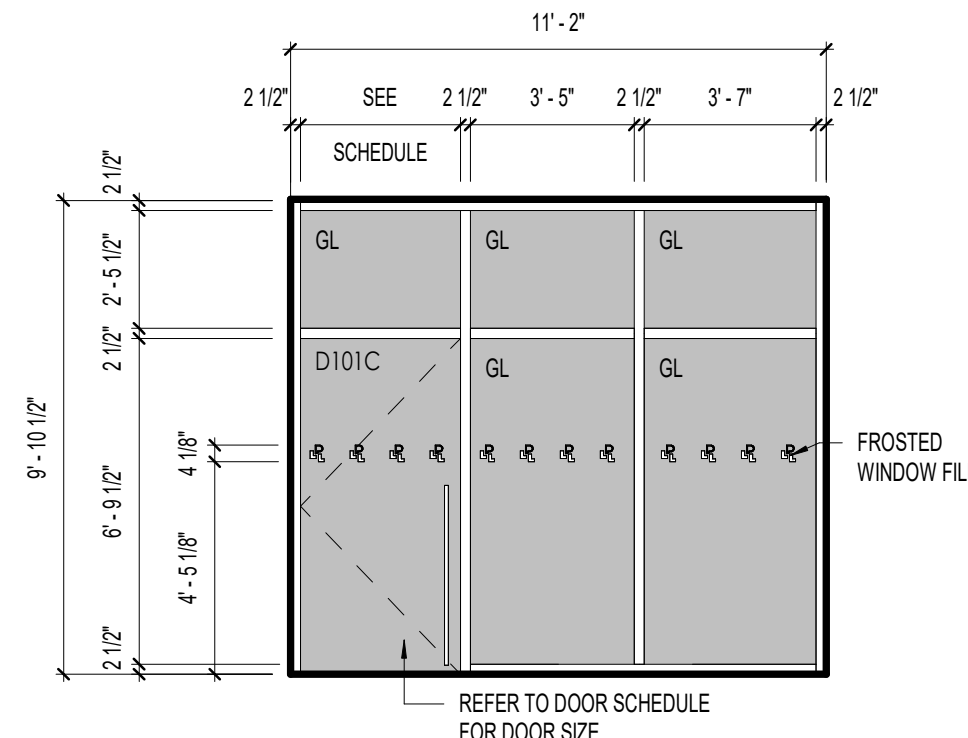
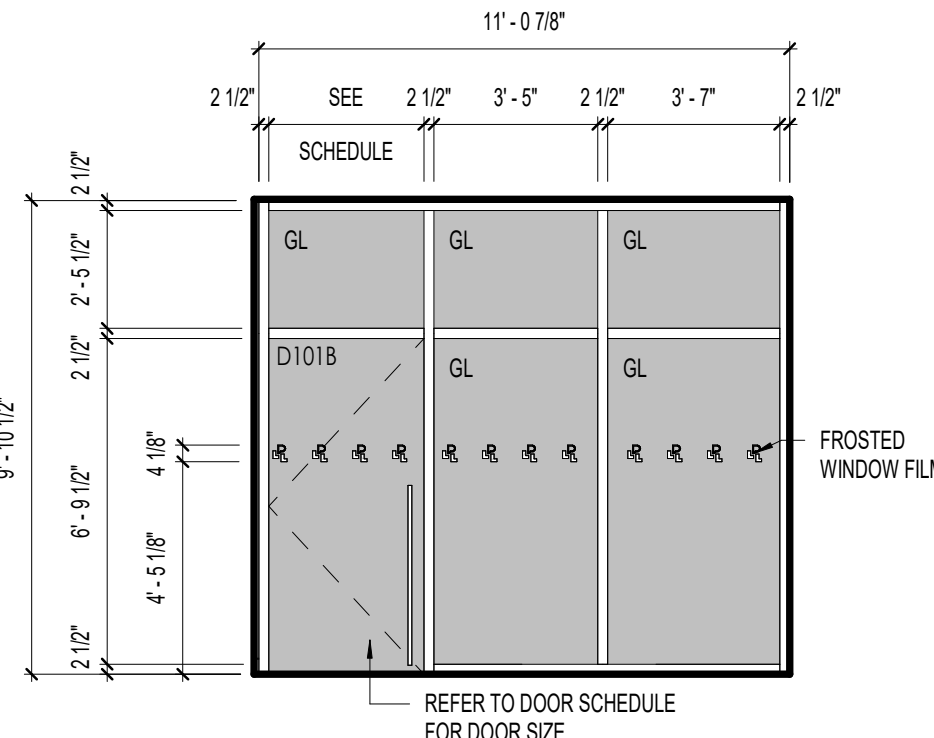
Sheet No: A320



D1 GLAZING FILM  
A320 Scale: 6" = 1'-0"



W1 EXTERIOR WINDOW FRAME

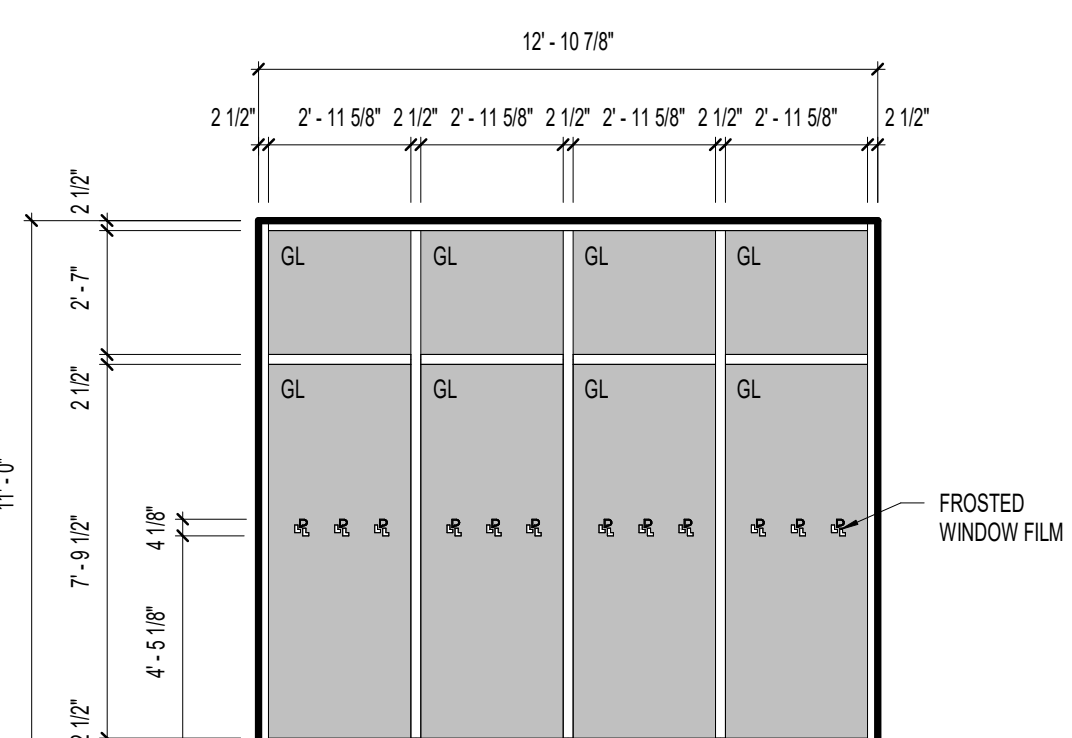


ALS2 INTERIOR WINDOW FRAME

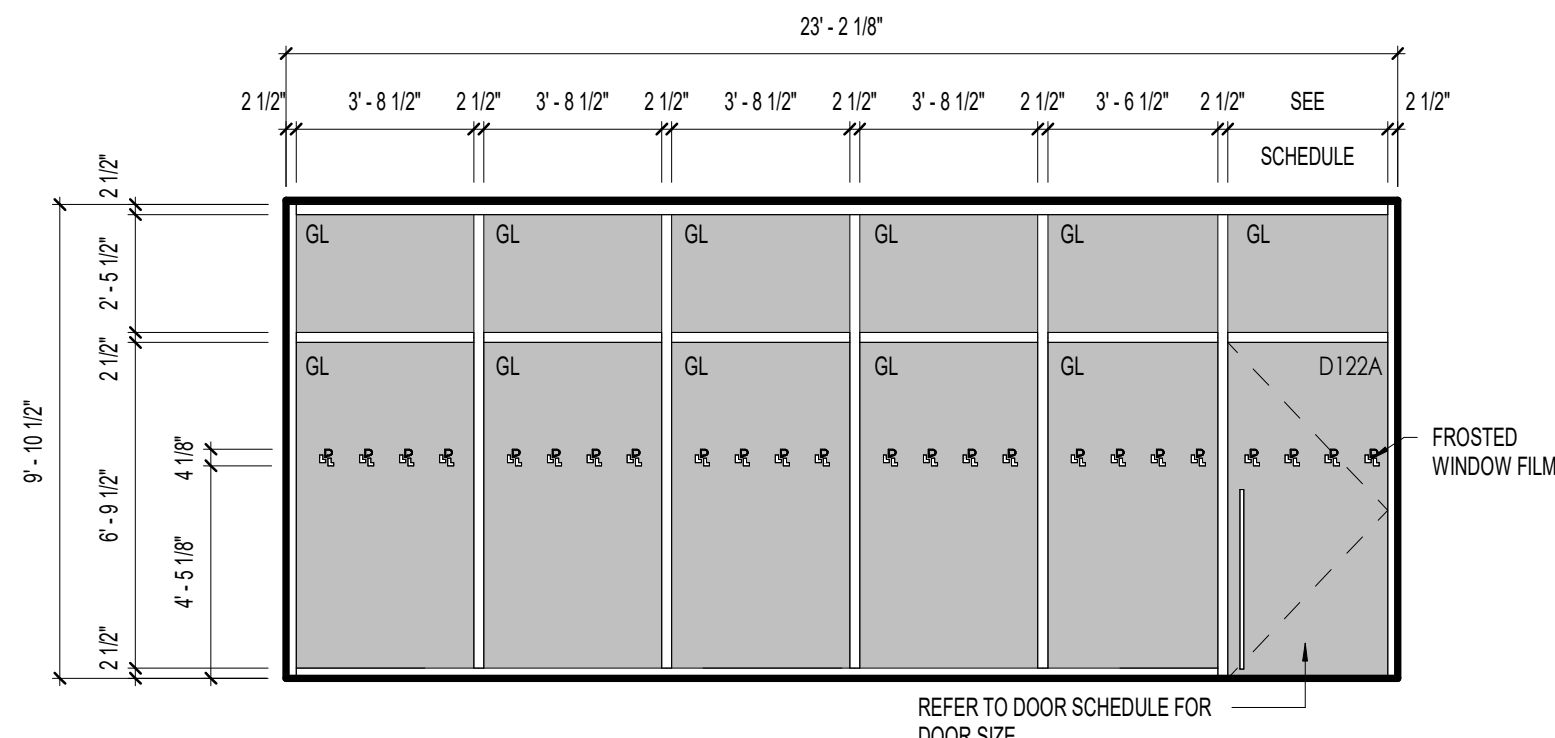
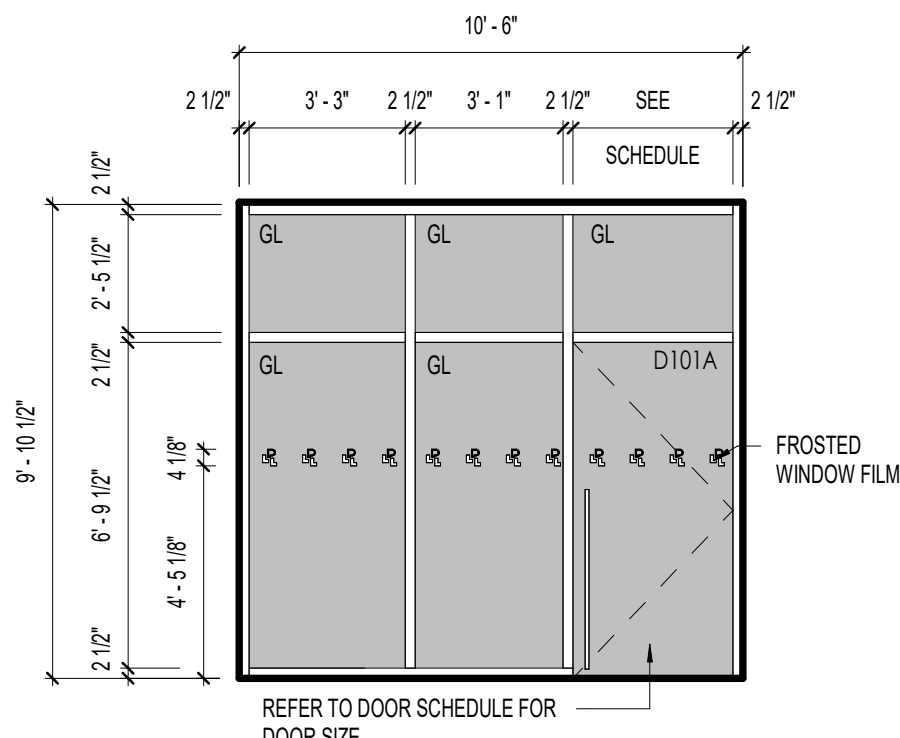
ALS3 INTERIOR WINDOW FRAME

ALS4 INTERIOR WINDOW FRAME

ALS5 INTERIOR WINDOW FRAME



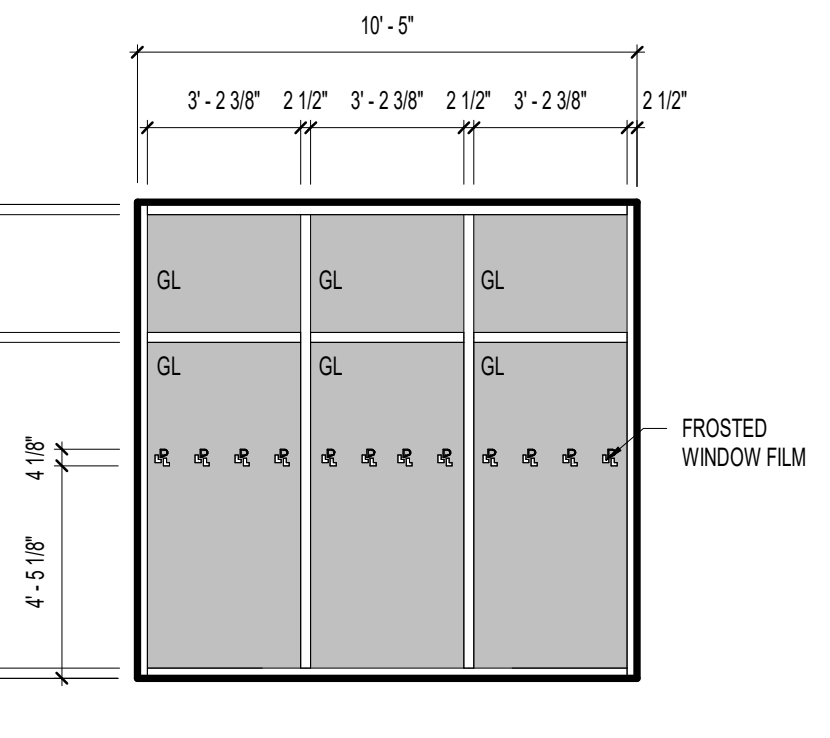
RESERVED



ALS1 INTERIOR WINDOW FRAME

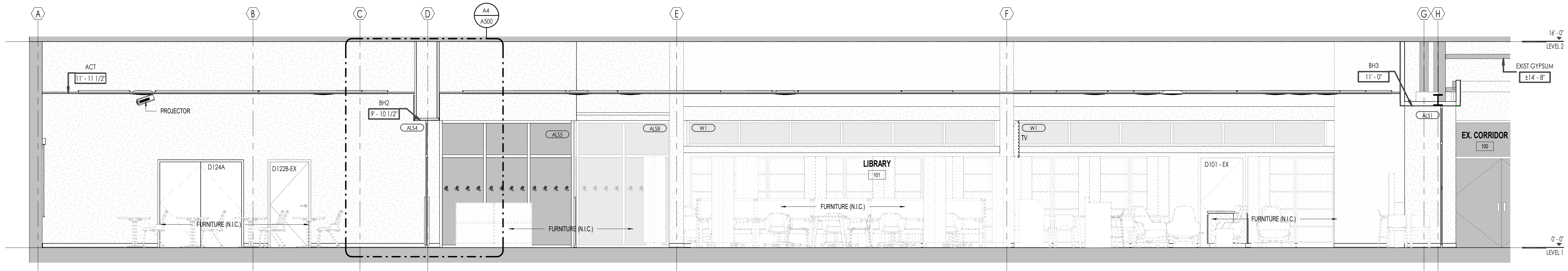
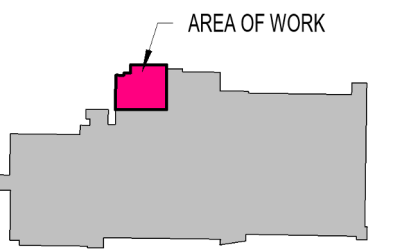
ALS3 INTERIOR WINDOW FRAME

ALS4 INTERIOR WINDOW FRAME



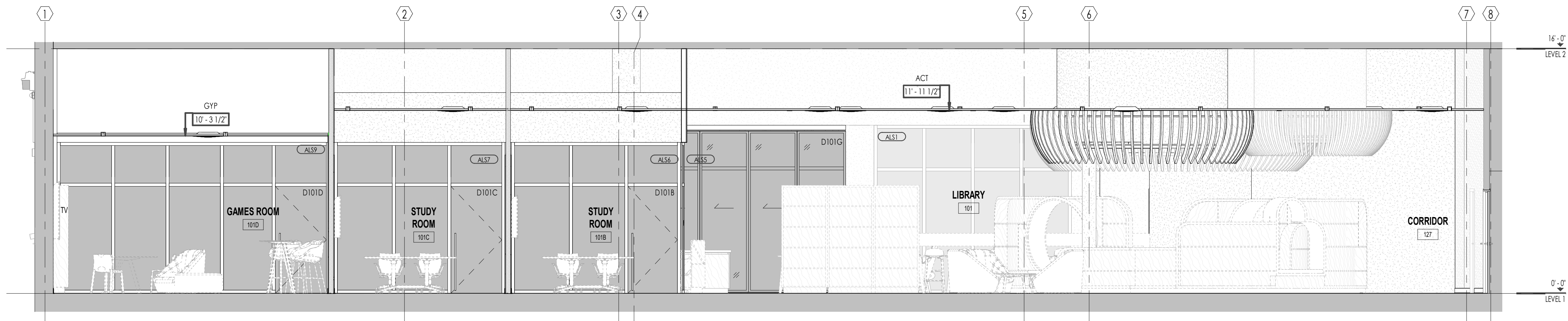
ALS5 INTERIOR WINDOW FRAME

Key Plan:



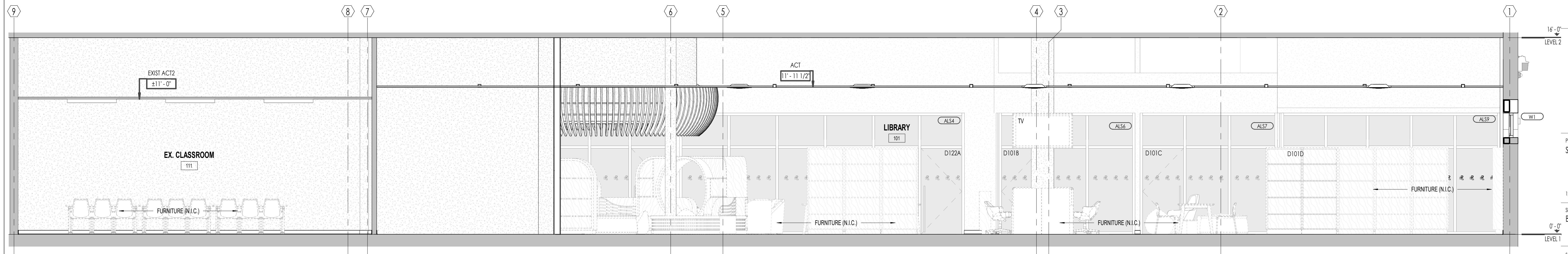
C1 BUILDING SECTION

A400 Scale: 1/4" = 1'-0"



B1 BUILDING SECTION

A400 Scale: 1/4" = 1'-0"



A1 BUILDING SECTION

A400 Scale: 1/4" = 1'-0"

4 2024 05 18 IFT SW, HR, BP  
 1 2024 05 22 PERMIT HR, SW  
 NO. DATE ISSUED FOR: BY:

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 London, ON N6H 3A7  
 519.601.6274  
 info@matterinc.ca  
 matterinc.ca

Project Title:  
 SHERWOOD LIBRARY RENOVATION

1225 Wonderland Rd N, London, ON N6G 2V9

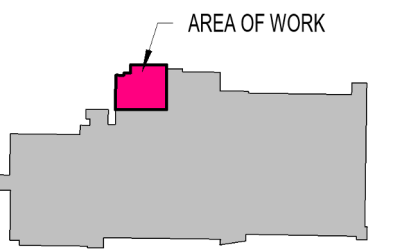
Sheet Name:  
 BUILDING SECTIONS

Scale:  
 1/4" = 1'-0"

Project No:  
 23-006

Sheet No:

A400



4 2024 05 18 IFT SW, HR, BP  
1 2024 05 22 PERMIT HR, SW  
NO. DATE ISSUED FOR: BY:

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Project Title:  
SHERWOOD LIBRARY RENOVATION

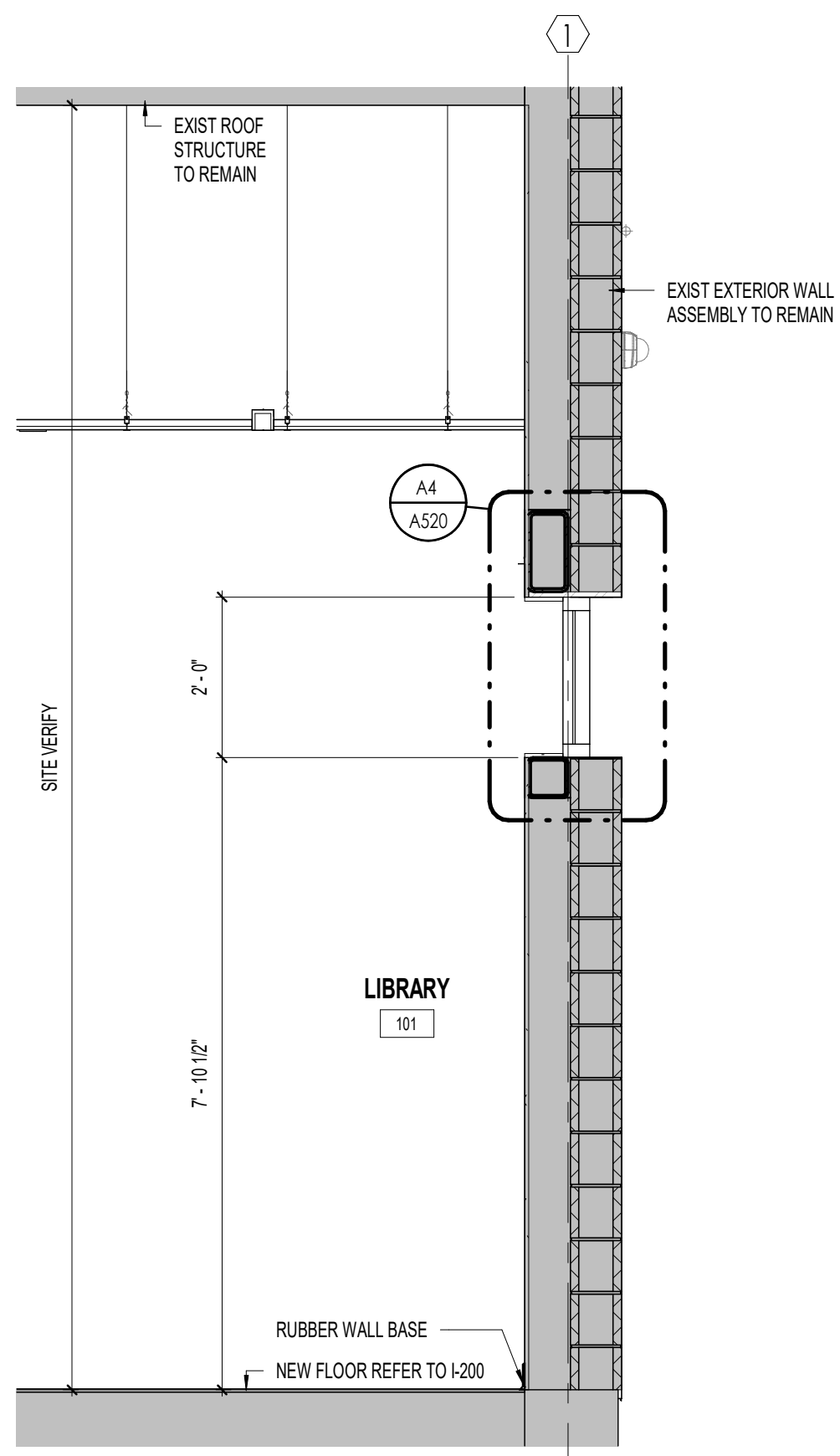
1225 Wonderland Rd N, London, ON N6G 2V9

Sheet Name:  
WALL SECTIONS

Scale:  
1/2" = 1'-0"

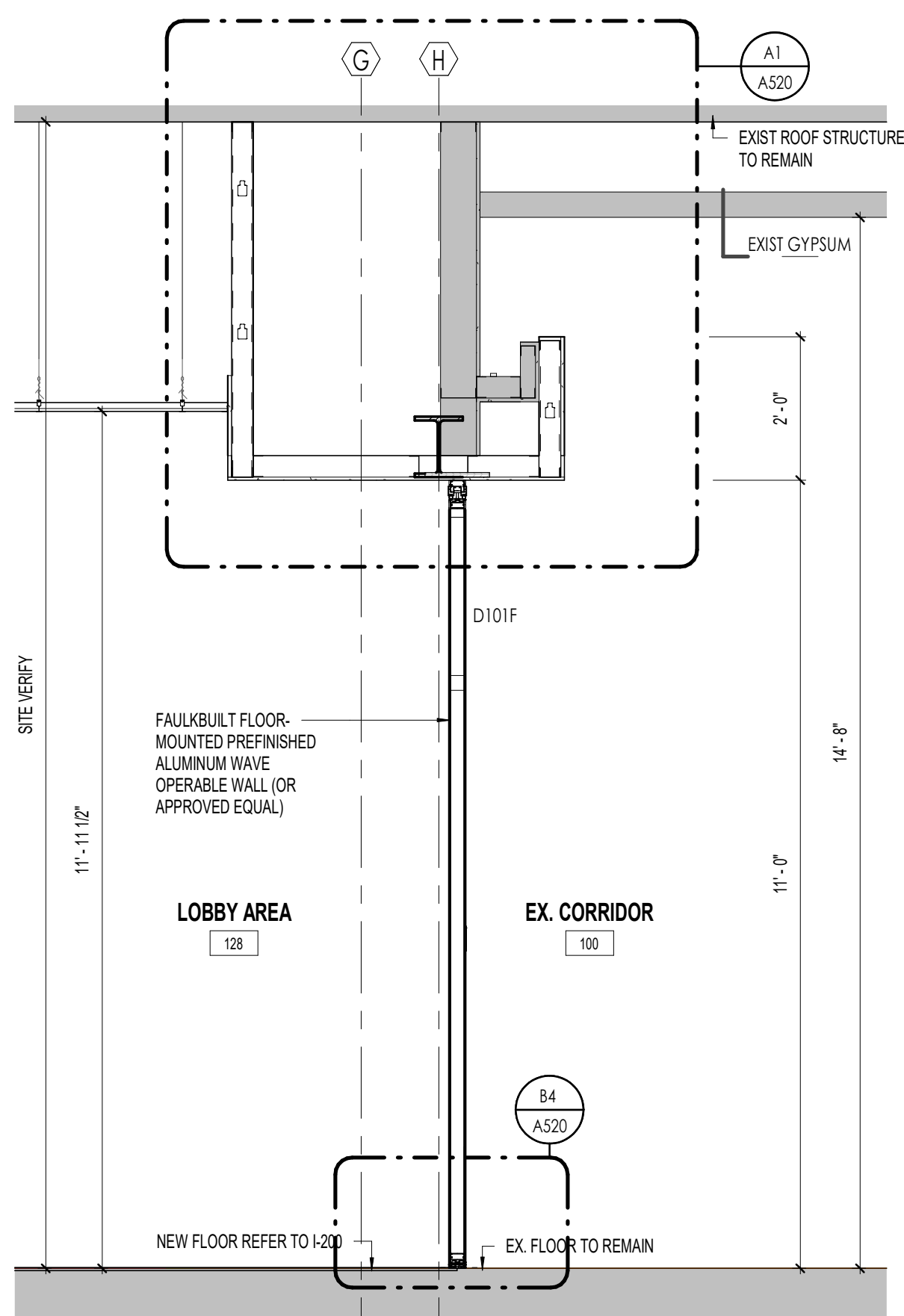
Project No:  
23-006

Sheet No:  
A500



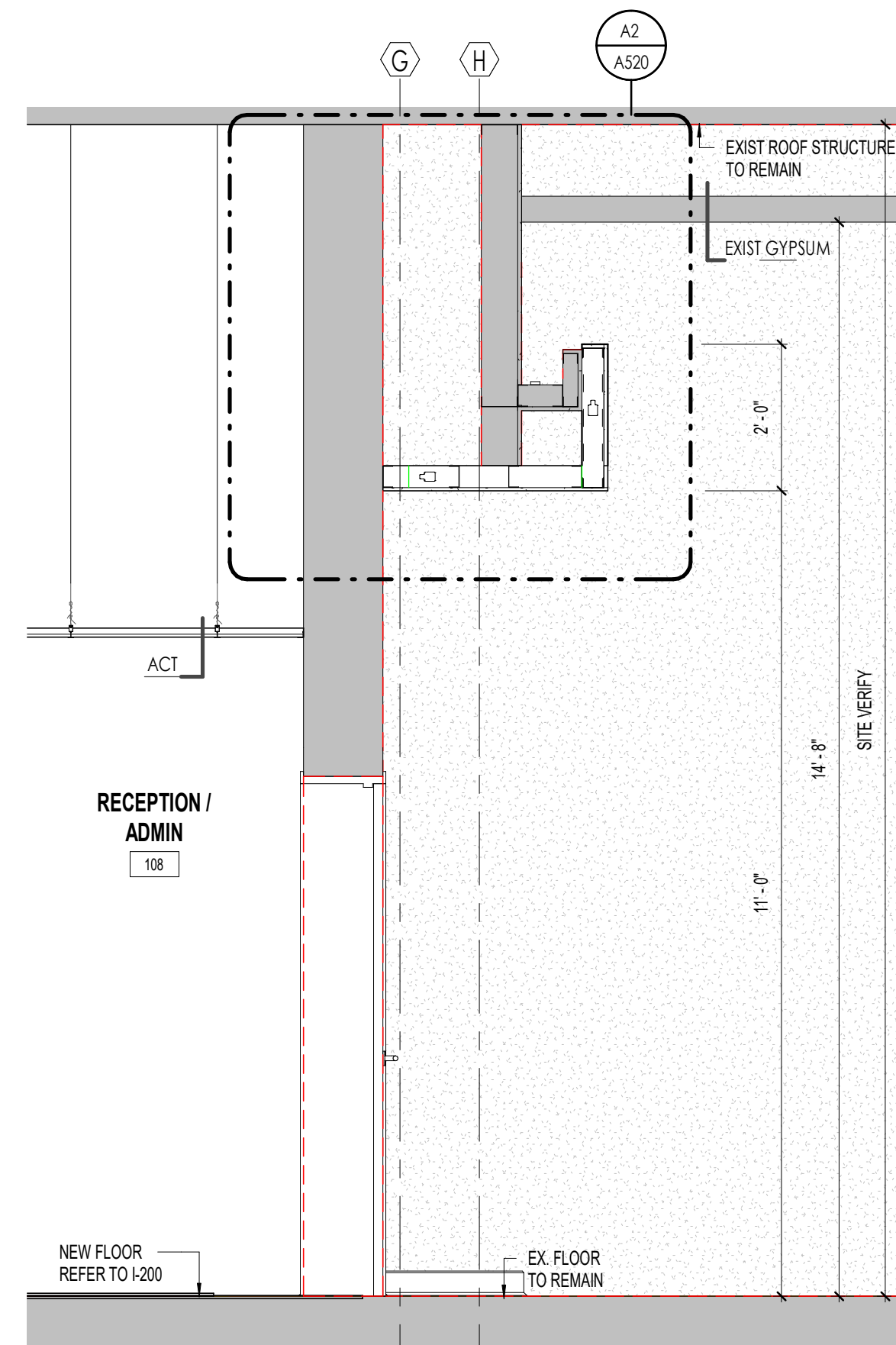
C1 WALL SECTION

A500 Scale: 1/2" = 1'-0"



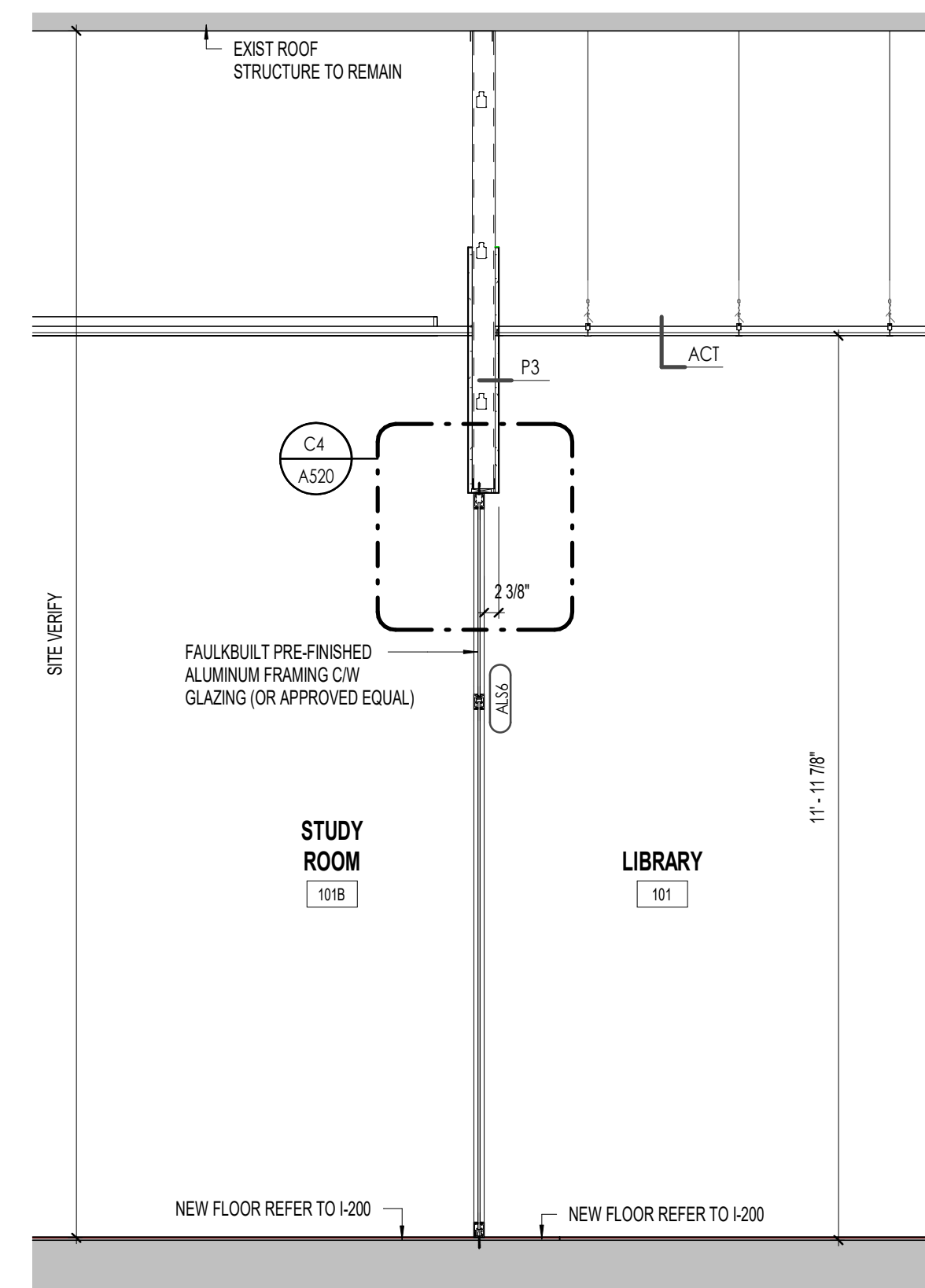
A1 WALL SECTION

A500 Scale: 1/2" = 1'-0"



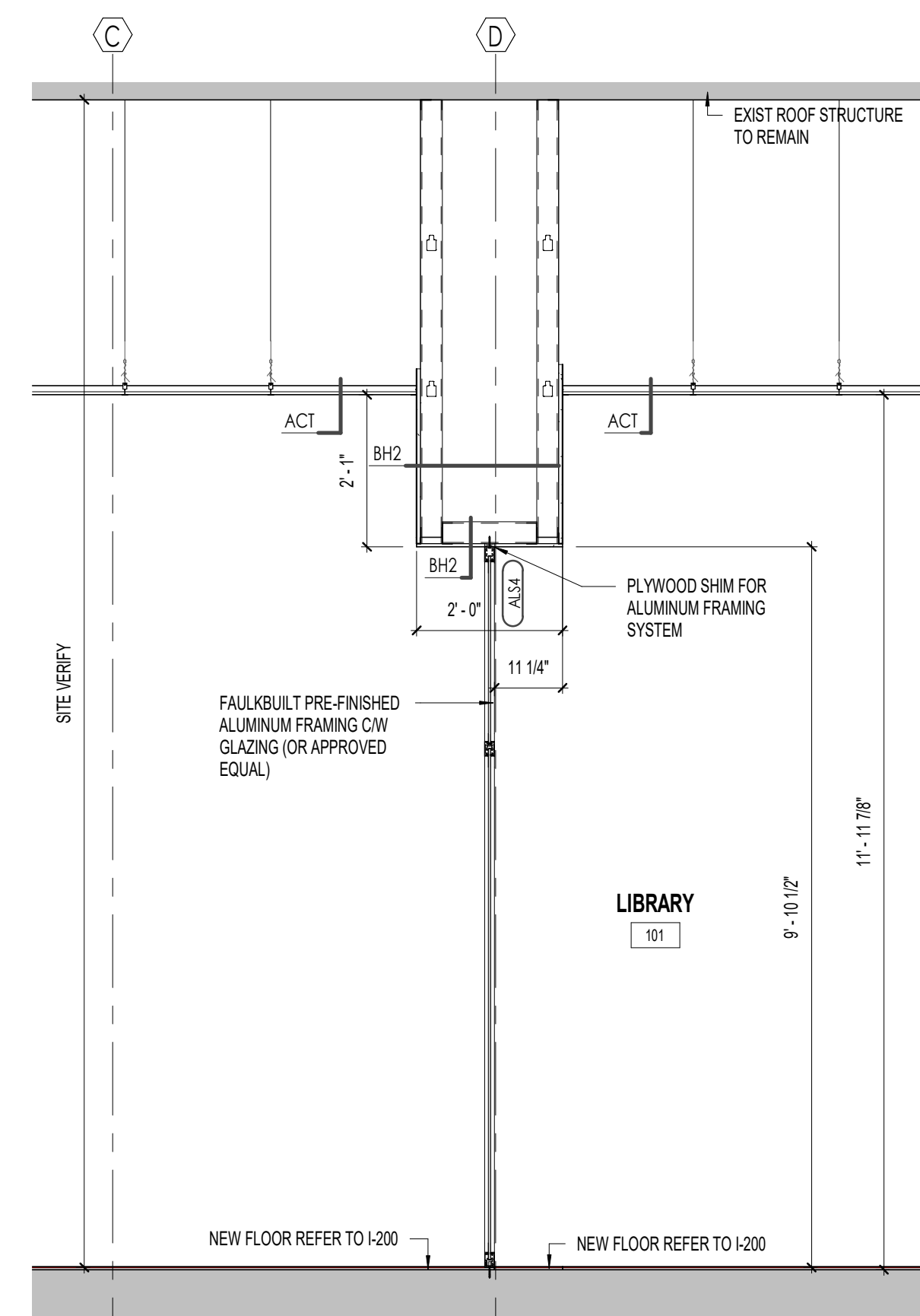
A2 WALL SECTION

A500 Scale: 1/2" = 1'-0"



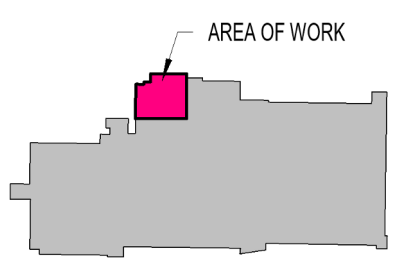
A3 WALL SECTION

A500 Scale: 1/2" = 1'-0"



A4 WALL SECTION

A500 Scale: 1/2" = 1'-0"



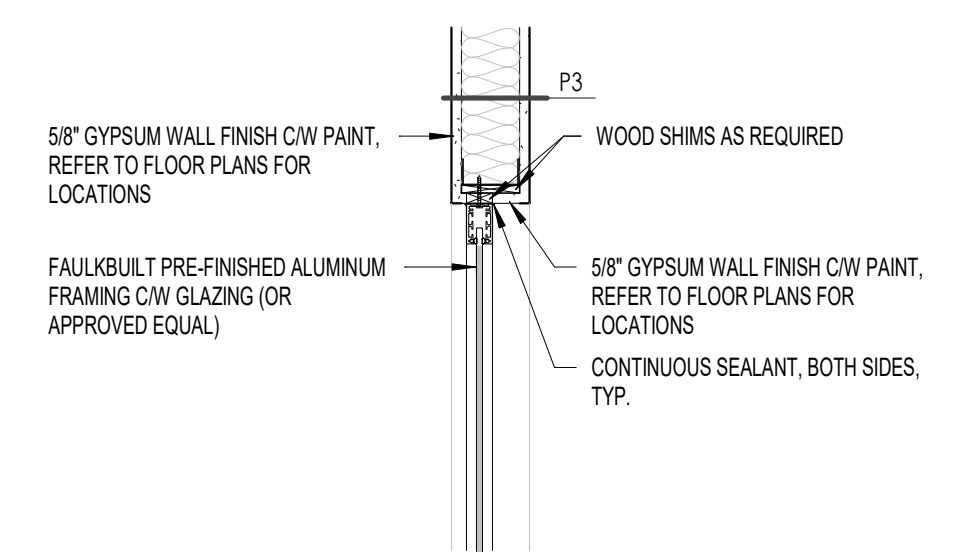
NO.	DATE	ISSUED FOR:	BY:
4	2024.05.18	IFT	SW, HR, BP
1	2024.05.22	PERMIT	HR, SW

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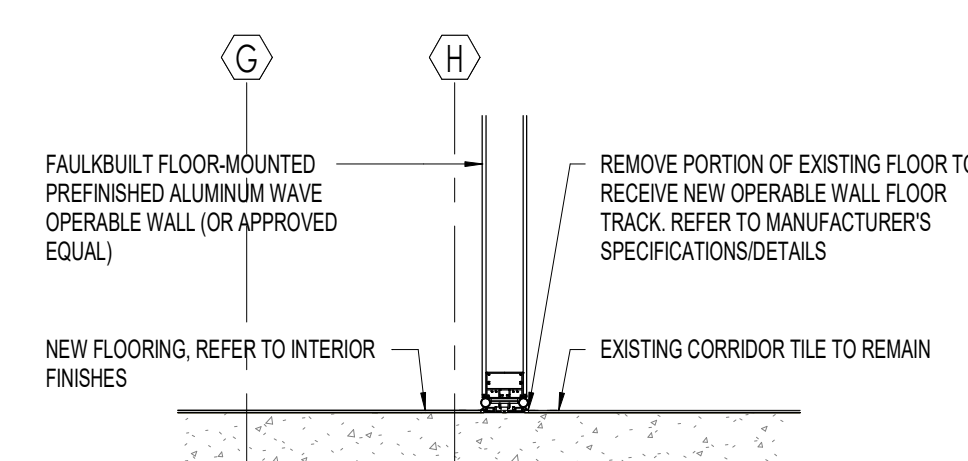
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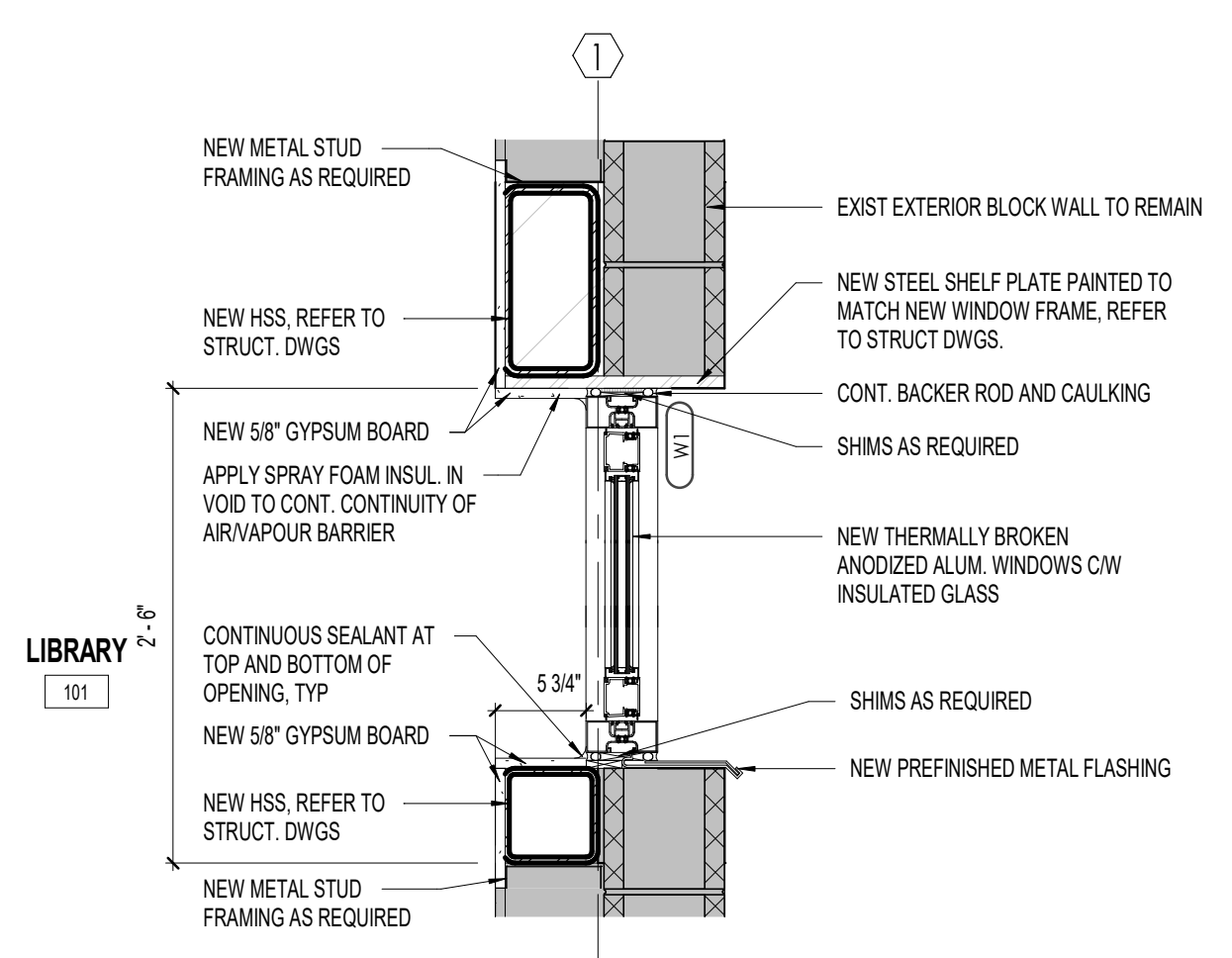
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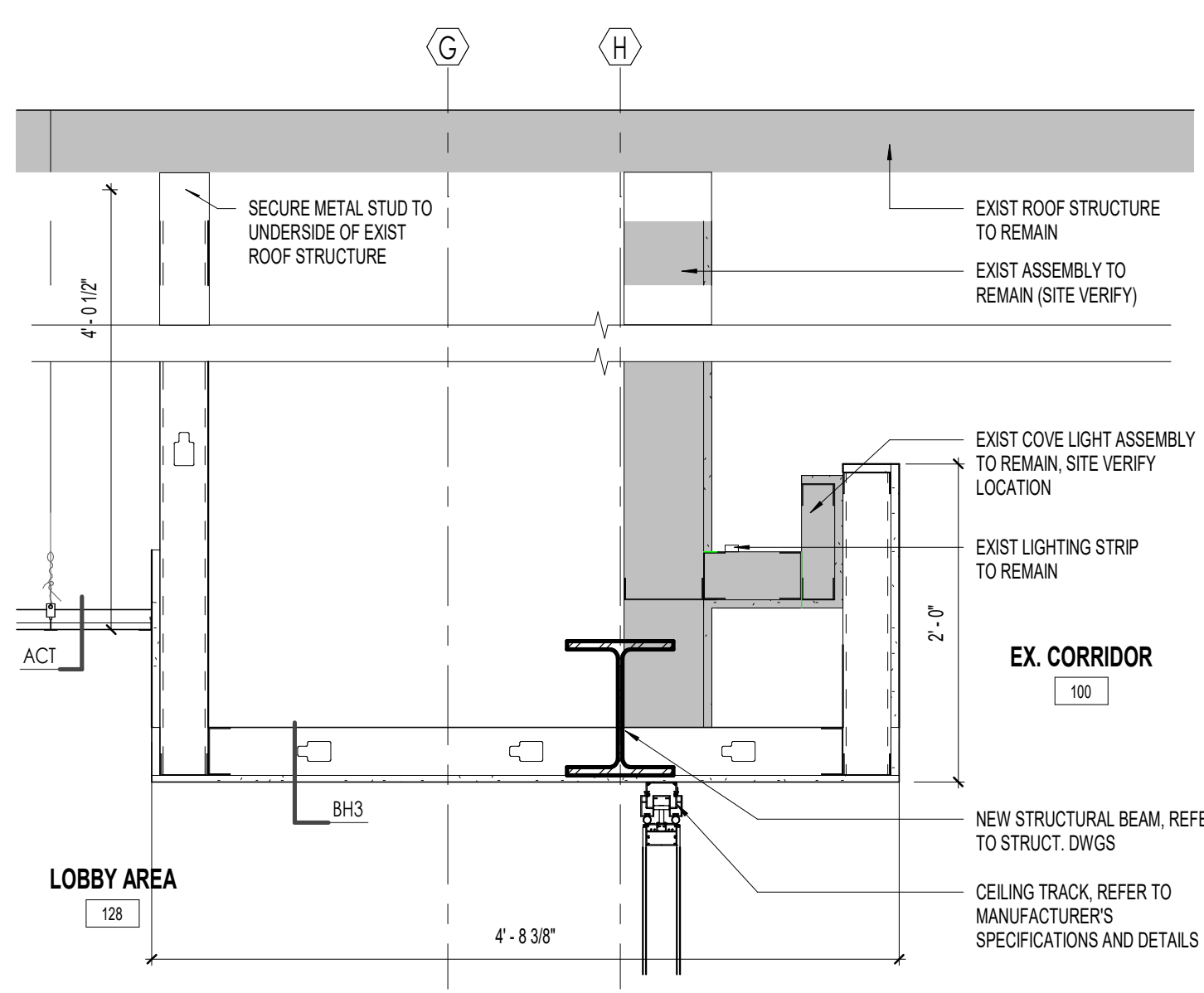
**C4 SECTION DETAIL**  
A520 Scale: 1" = 1'-0"



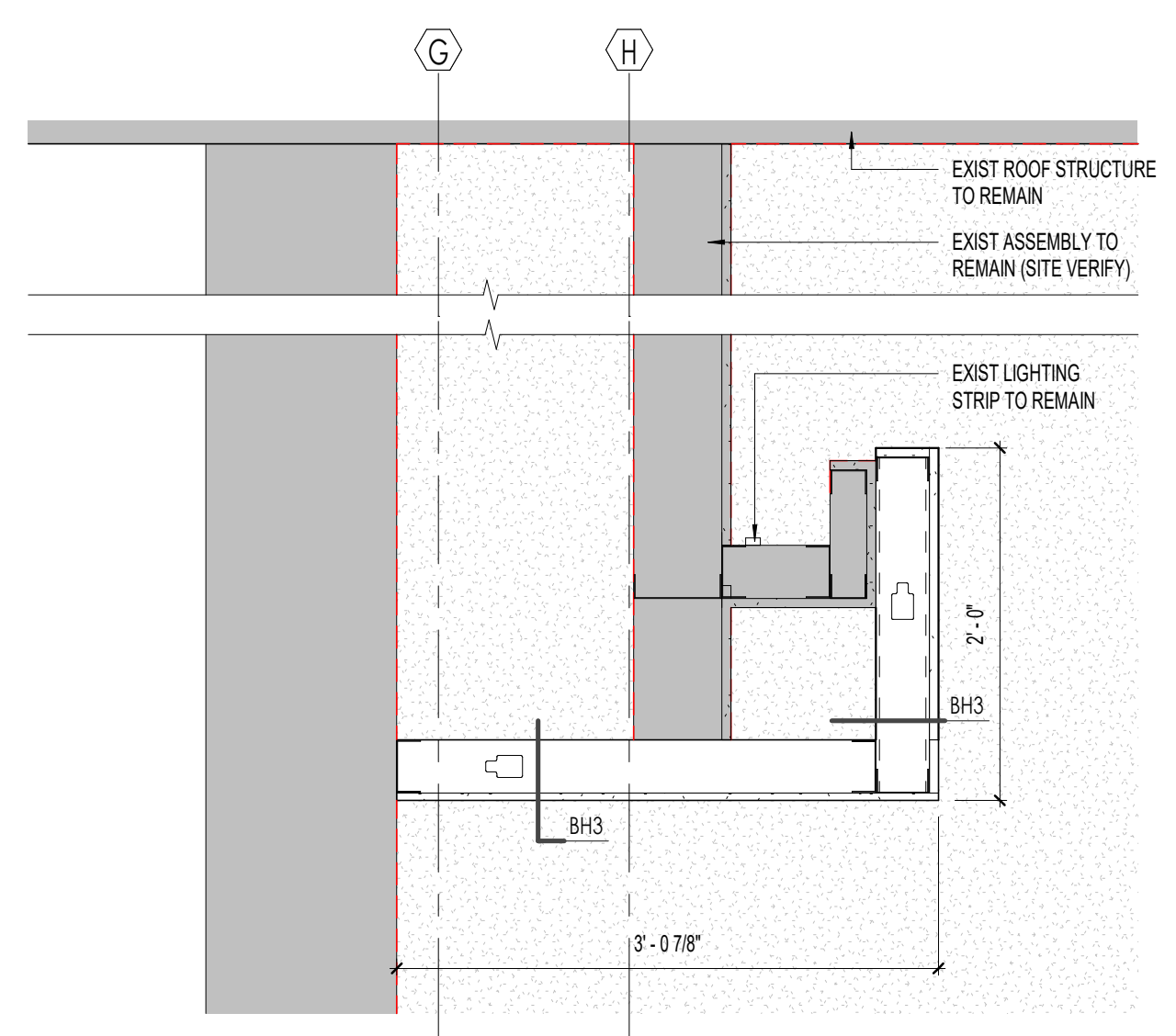
**B4 SECTION DETAIL AT ENTRANCE OPERABLE WALL FLOOR TRACK**  
A520 Scale: 1" = 1'-0"



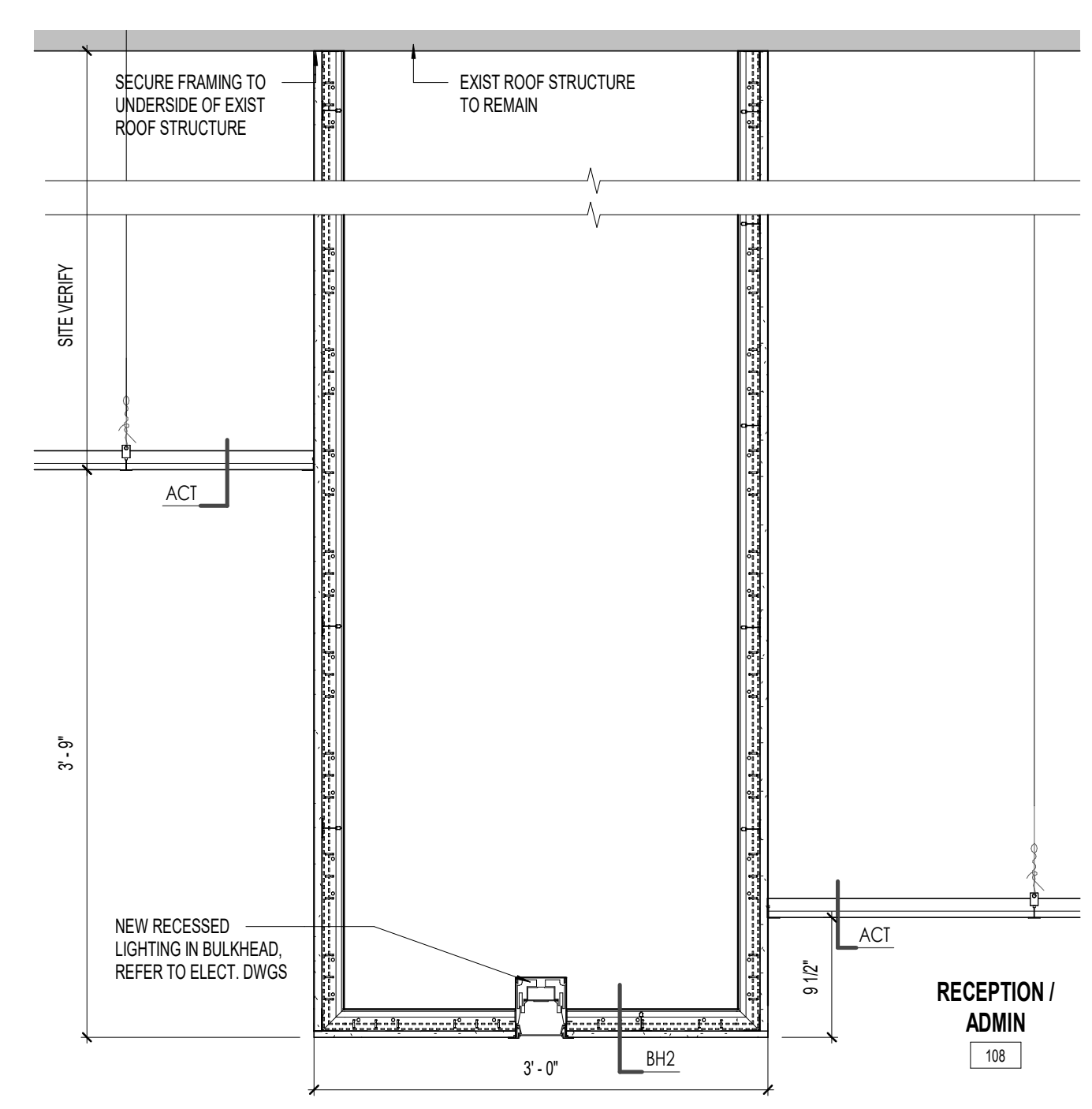
**A4 SECTION DETAIL**  
A520 Scale: 1" = 1'-0"



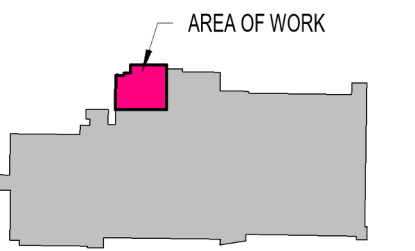
**A1 SECTION DETAIL AT ENTRANCE/OPERABLE WALL**  
A520 Scale: 1" = 1'-0"



**A2 SECTION DETAIL**  
A520 Scale: 1" = 1'-0"

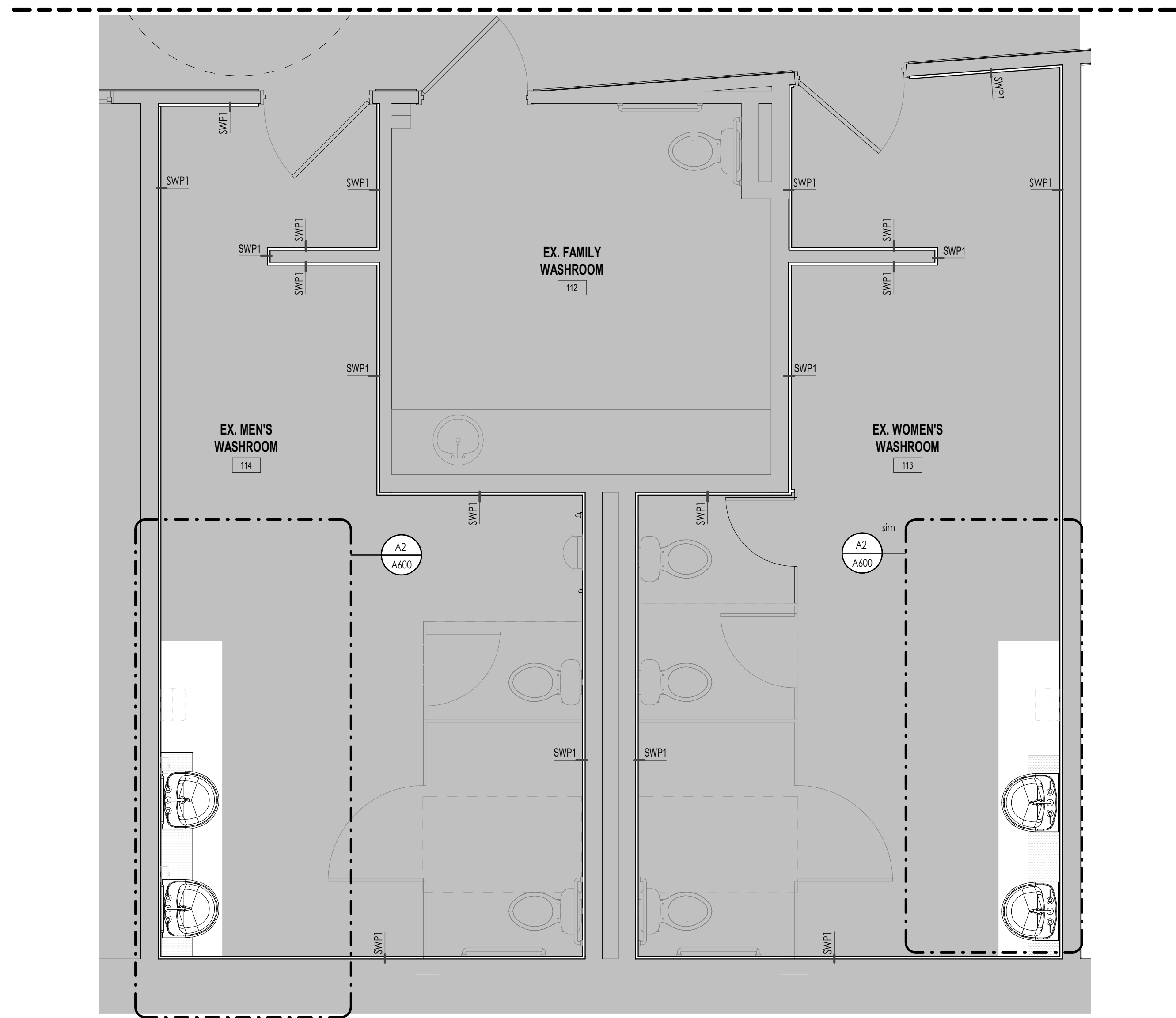


**A3 SECTION DETAIL**  
A520 Scale: 1" = 1'-0"

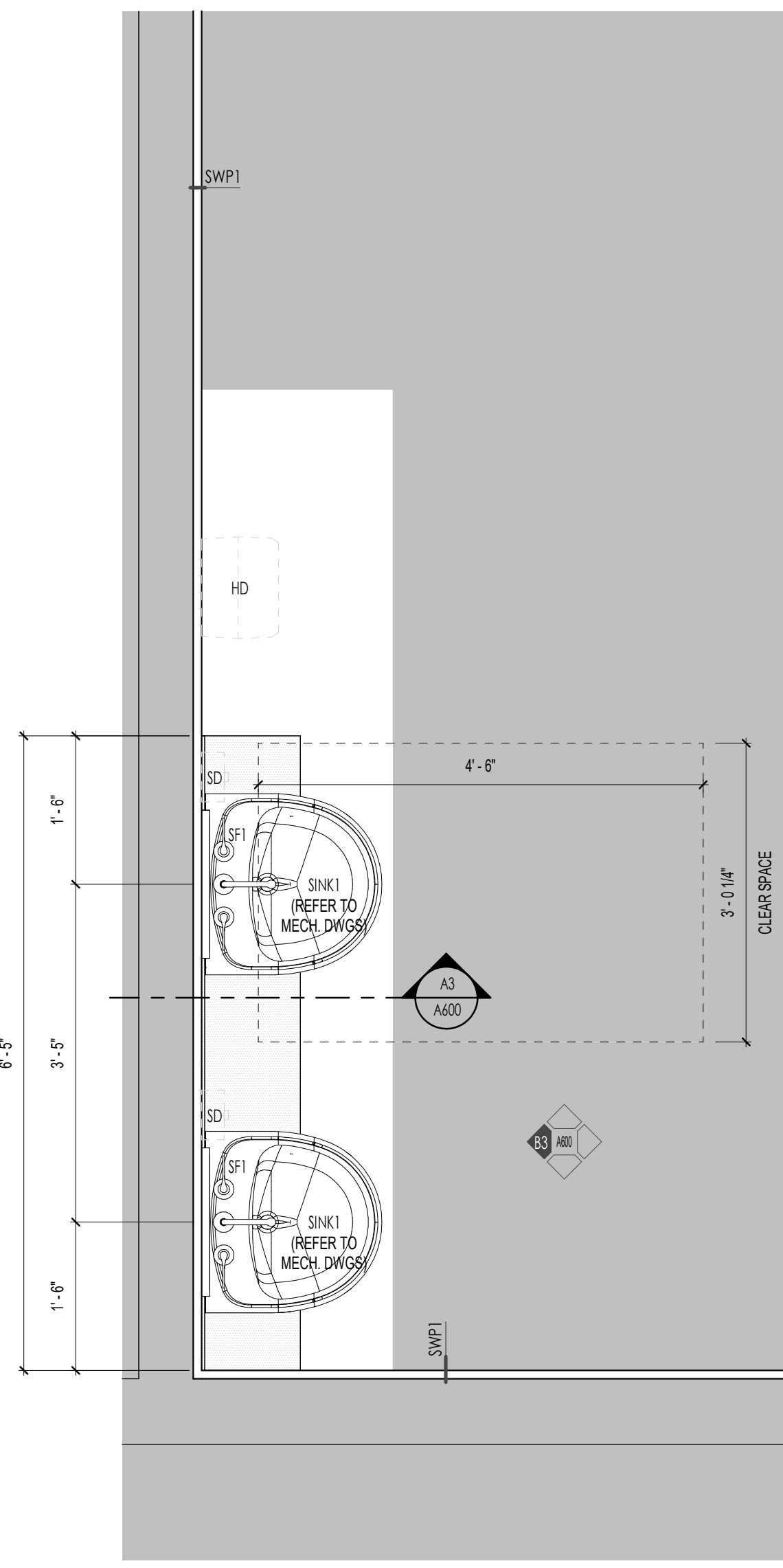


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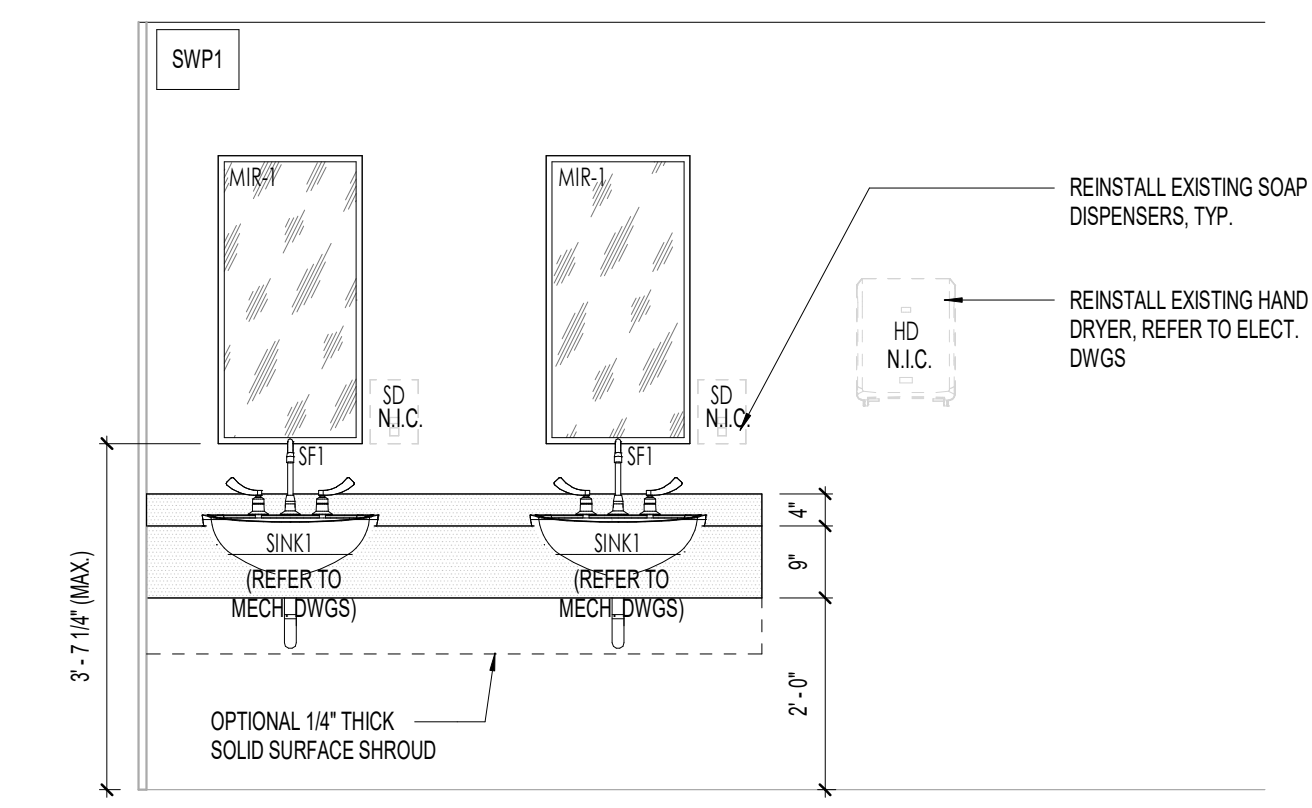
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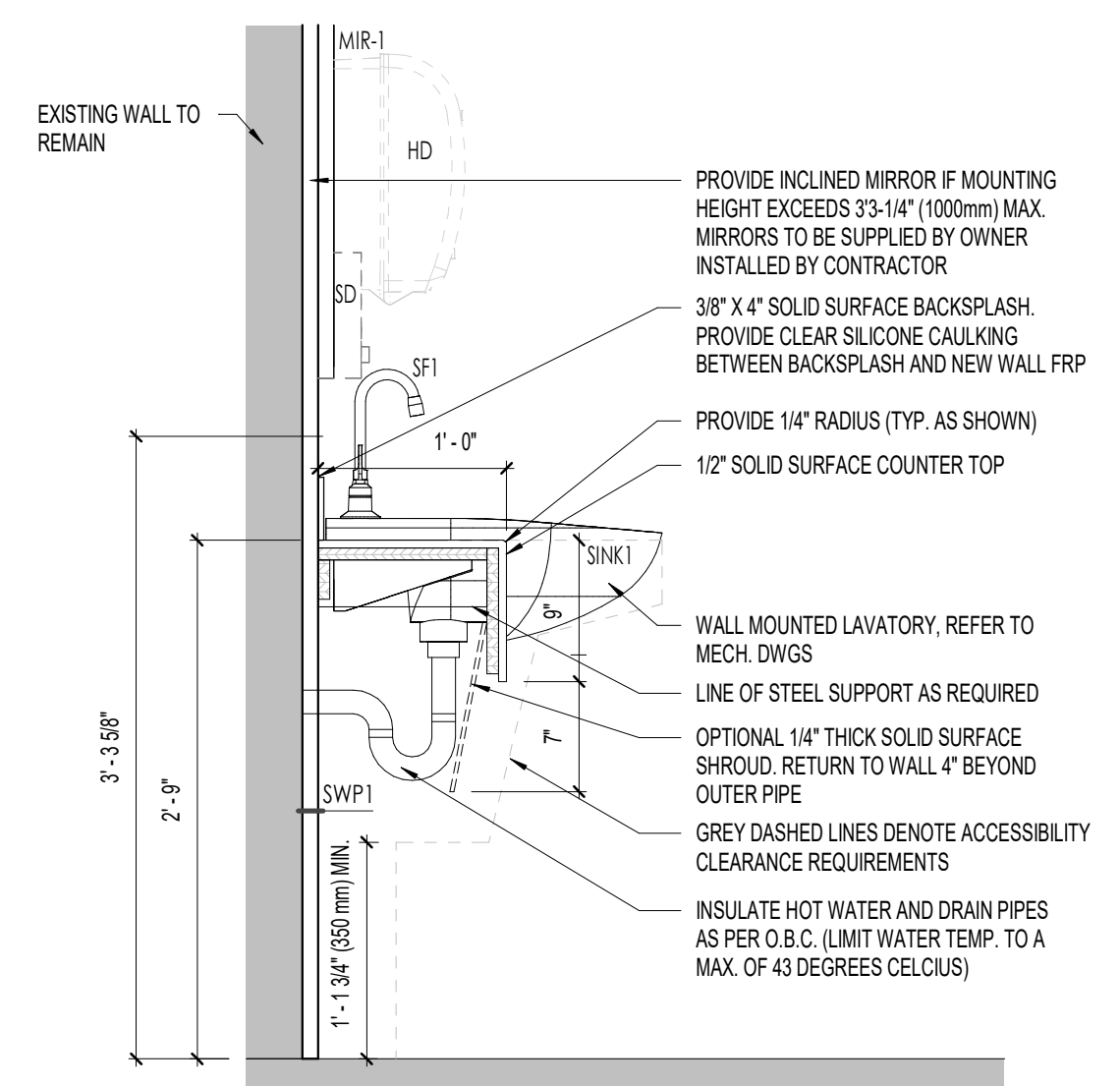
A1 FLOOR PLAN - SOUTH - Callout 2 A600 Scale: 3/8" = 1'-0"



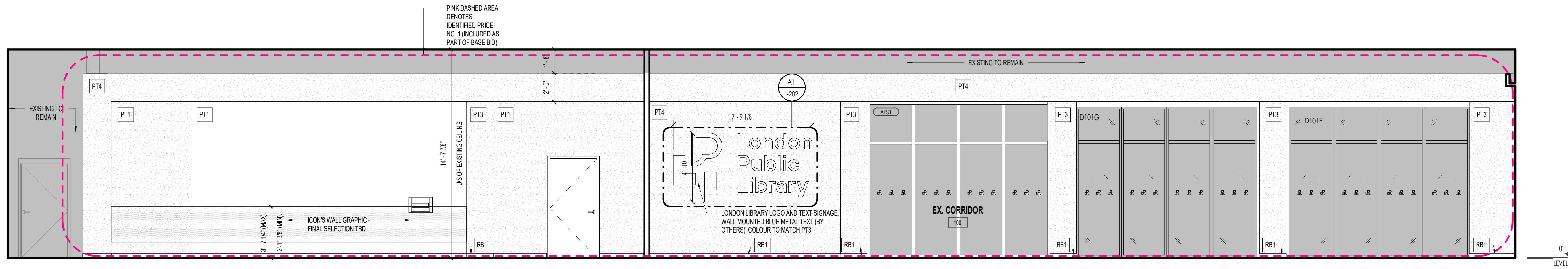
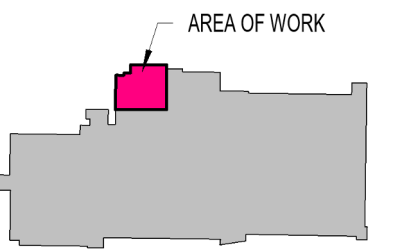
A2 MENS/WOMENS WASHROOM MILLWORK PLAN DETAIL A600 Scale: 3/4" = 1'-0"



B3 MENS/WOMENS WASHROOM MILLWORK ELEVATION A600 Scale: 1/2" = 1'-0"

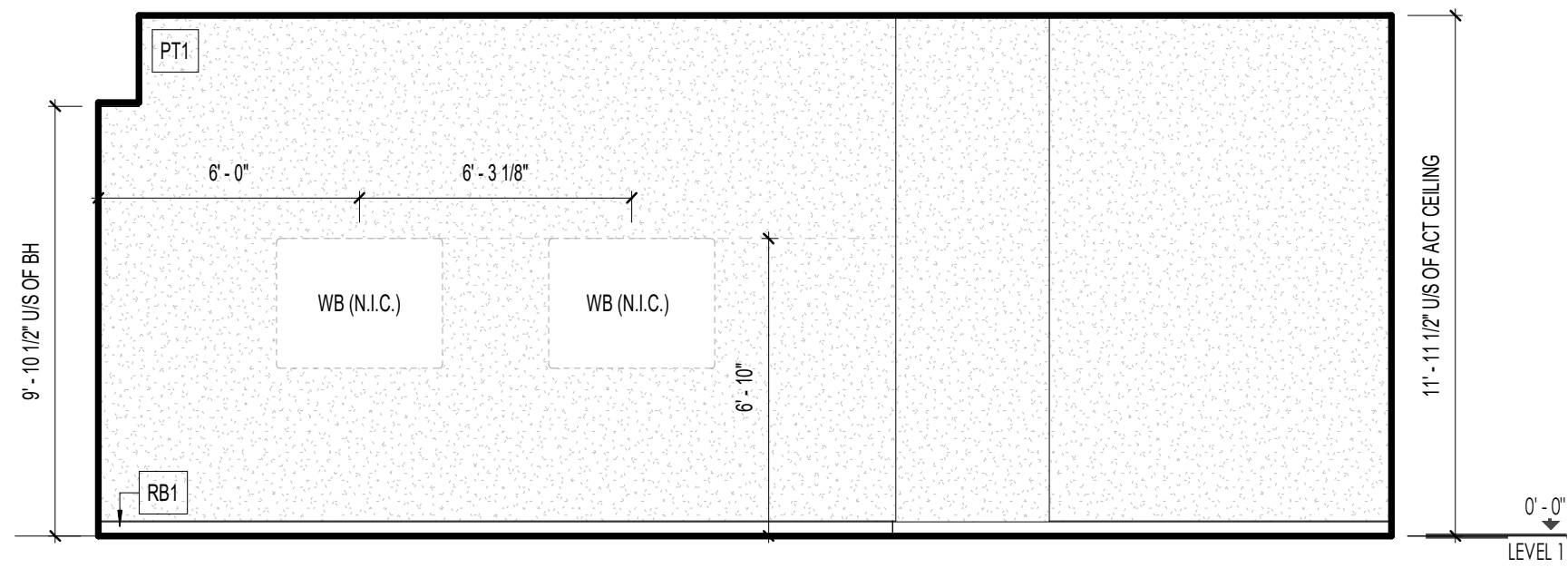


A3 MENS/WOMENS WASHROOM MILLWORK SECTION A600 Scale: 1" = 1'-0"



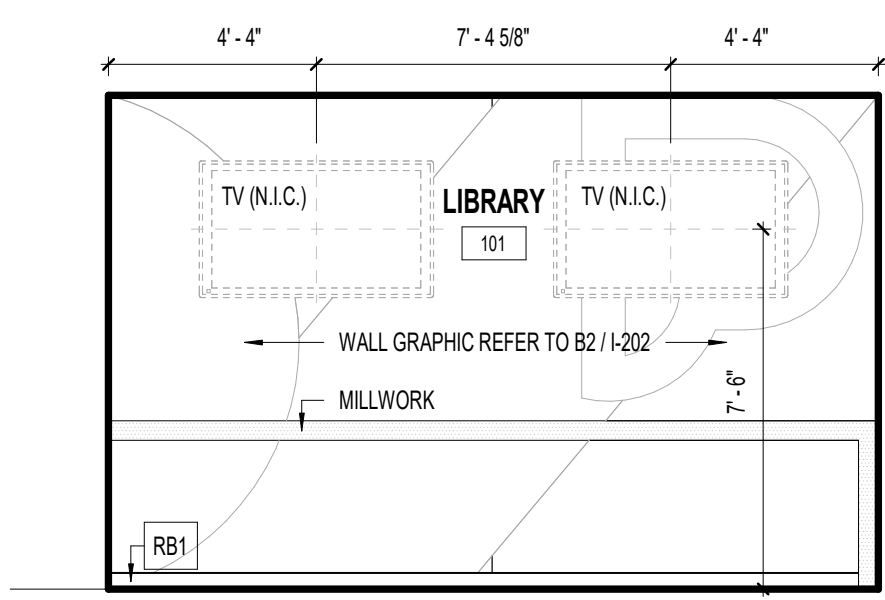
D1 EXISTING CORRIDOR - WEST INTERIOR ELEVATION

A800 Scale: 1/4" = 1'-0"



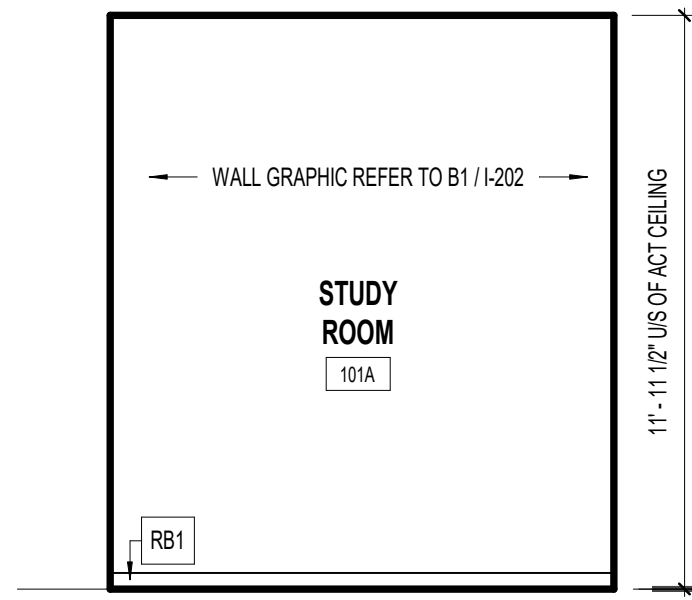
C1 MULTI-PURPOSE ROOM 122 - SOUTH INTERIOR ELEVATION

A800 Scale: 1/4" = 1'-0"



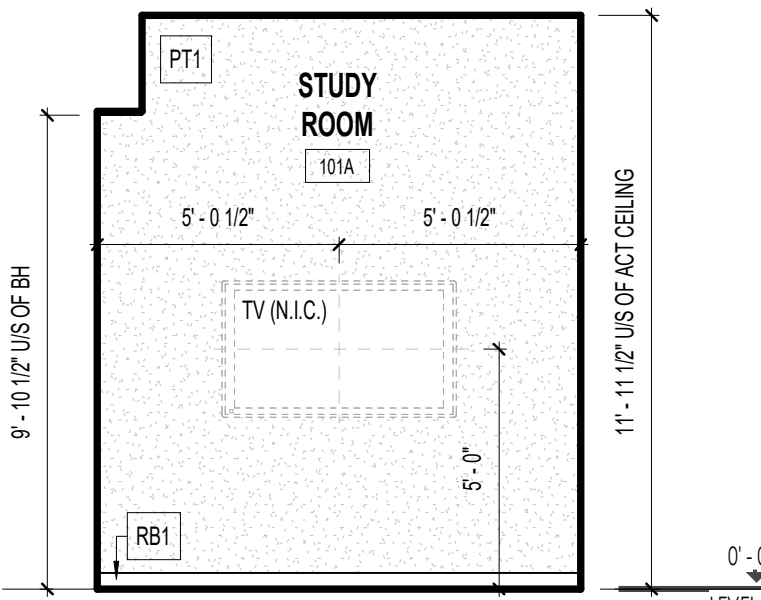
B1 LIBRARY 101 - LAPTOP BAR INTERIOR ELEVATION

A800 Scale: 1/4" = 1'-0"



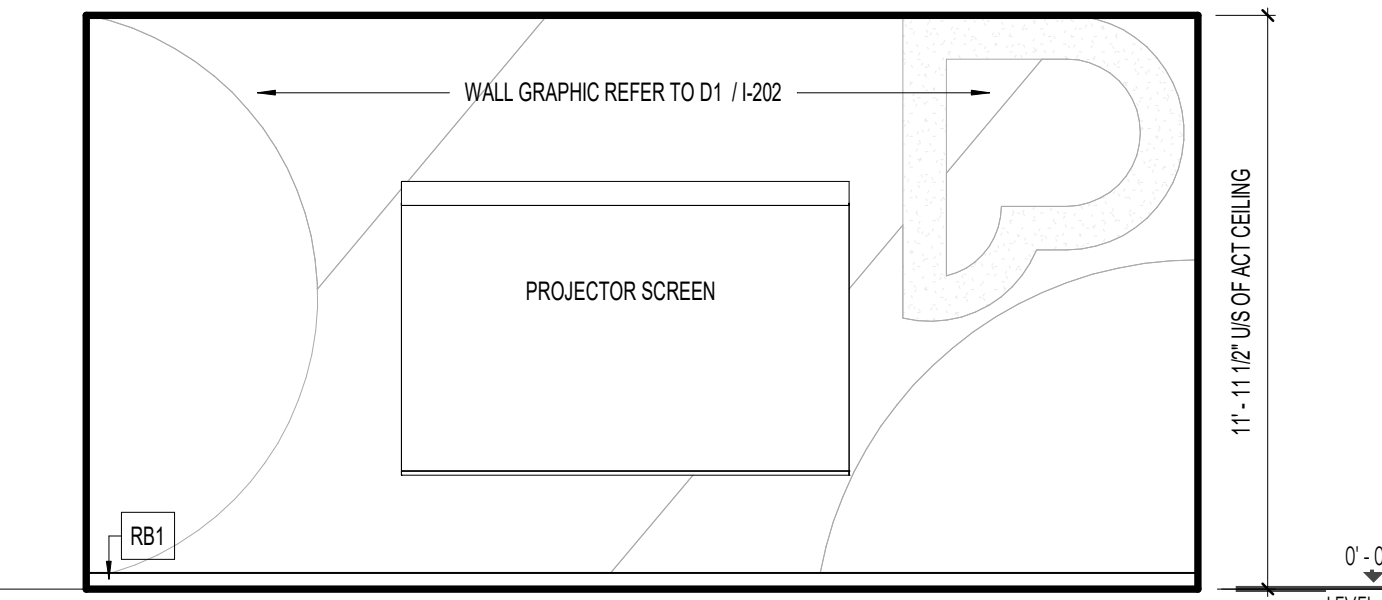
B2 STUDY ROOM 101A - WEST INTERIOR ELEVATION

A800 Scale: 1/4" = 1'-0"



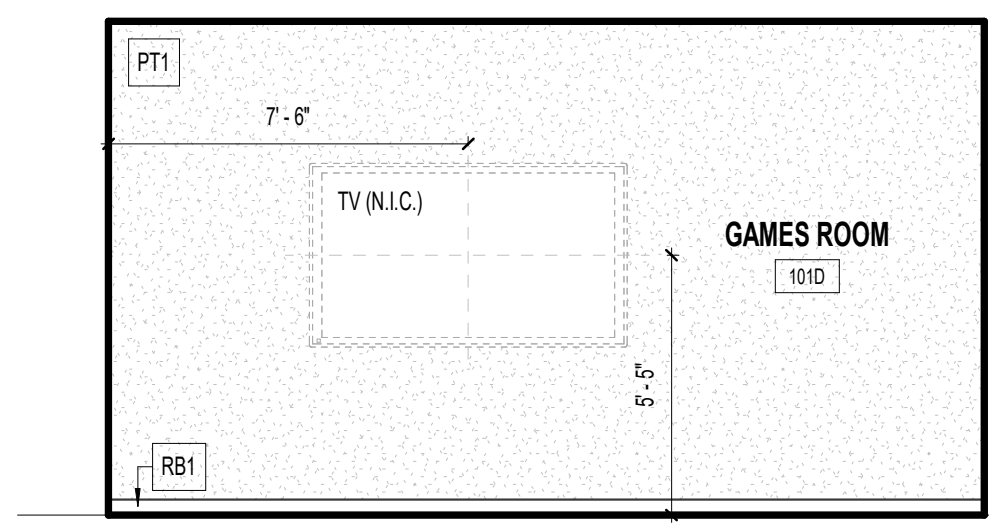
B3 STUDY ROOM 101A - SOUTH INTERIOR ELEVATIONS

A800 Scale: 1/4" = 1'-0"



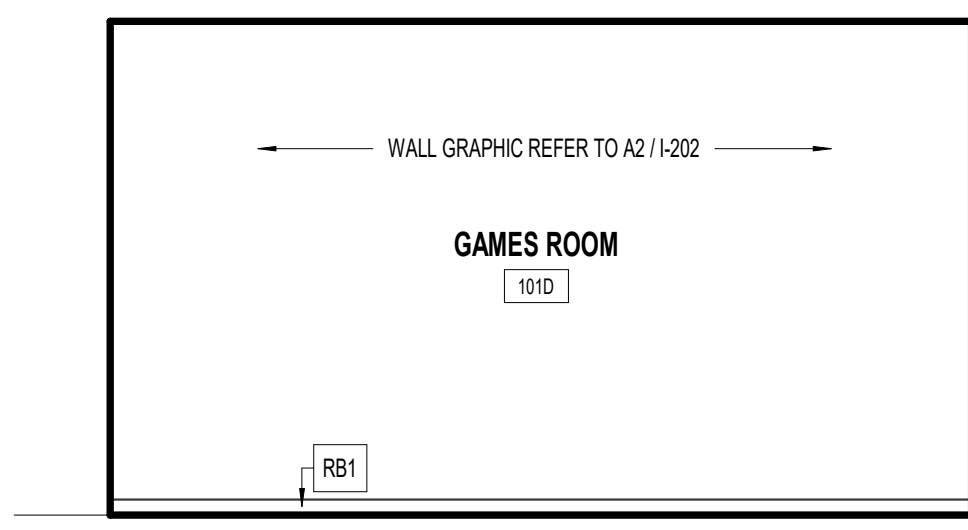
B4 MULTI-PURPOSE ROOM 122 - WEST INTERIOR ELEVATION

A800 Scale: 1/4" = 1'-0"



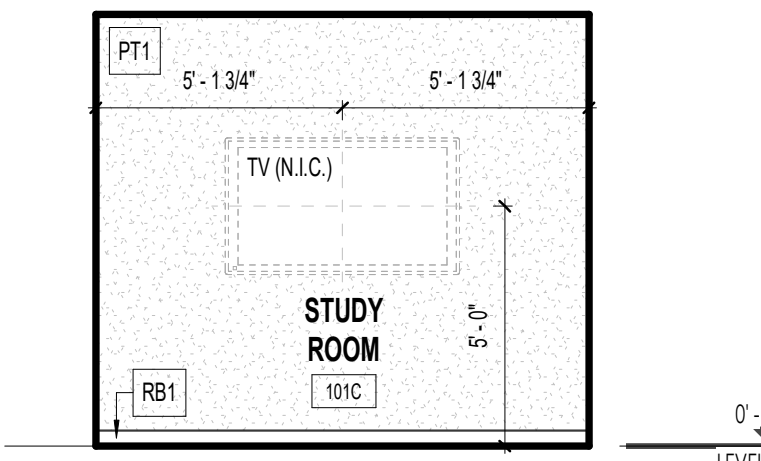
A1 GAMES ROOM 101D - NORTH INTERIOR ELEVATION

A800 Scale: 1/4" = 1'-0"



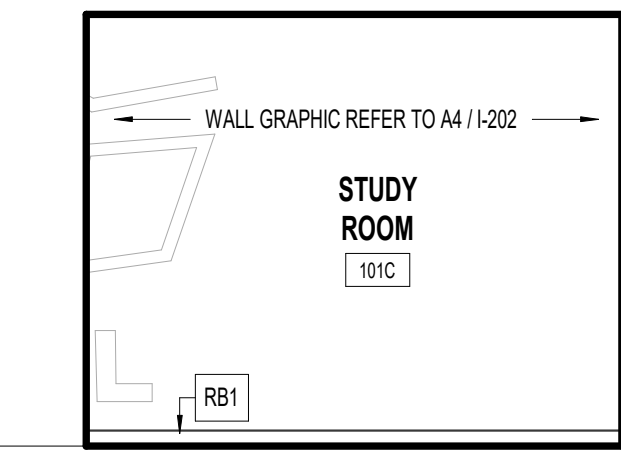
A2 GAMES ROOM 101D - WEST INTERIOR ELEVATION

A800 Scale: 1/4" = 1'-0"



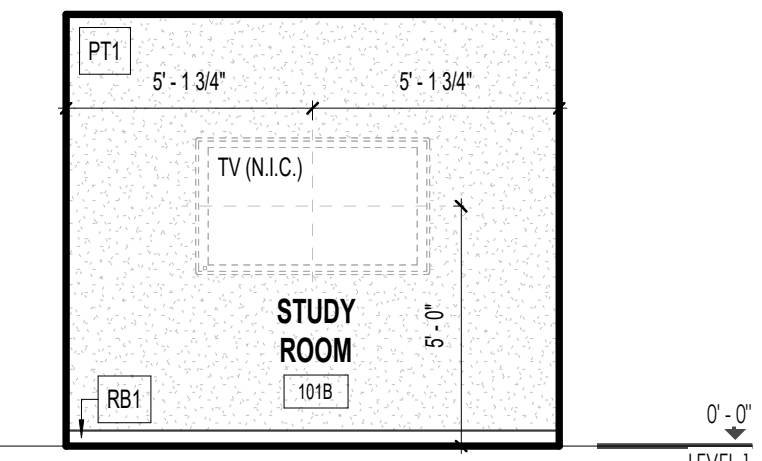
A3 STUDY ROOM 101C - NORTH INTERIOR ELEVATION

A800 Scale: 1/4" = 1'-0"



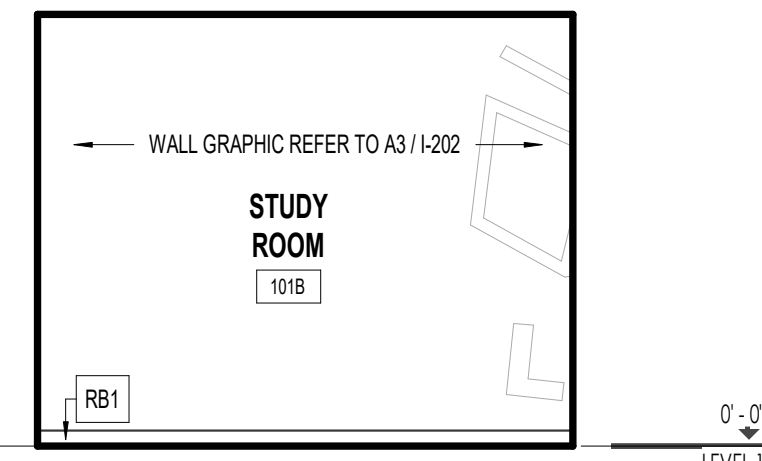
A4 STUDY ROOM 101C - WEST INTERIOR ELEVATION

A800 Scale: 1/4" = 1'-0"



A5 STUDY ROOM 101B - NORTH INTERIOR ELEVATION

A800 Scale: 1/4" = 1'-0"



A6 STUDY ROOM 101B - WEST INTERIOR ELEVATION

A800 Scale: 1/4" = 1'-0"

4 2024 09 18 IFT SW, HR  
2 2024 06 25 LANDLORD WORK SW  
1 2024 05 22 PERMIT HR, SW  
NO. DATE ISSUED FOR: BY:

SEAL:



DOOR SCHEDULE												
DOOR No.	ROOM NAME & NUMBER	DOOR				FRAME				FIRE RATING	REMARKS	
		TYPE	SIZE	MATERIAL	FINISH	GLAZING	TYPE	DETAIL	MATERIAL			FINISH
LEVEL 1												
D101A	STUDY ROOM 101A	B	3'-4" x 7'-0"	GL	PREF	GL	ALS3	B2, B3, B4	ALUM	PREF	-	REFER TO WINDOW ELEVATIONS
D101B	STUDY ROOM 101B	B	3'-4" x 7'-0"	GL	PREF	GL	ALS6	B2, B4	ALUM	PREF	-	REFER TO WINDOW ELEVATIONS
D101C	STUDY ROOM 101C	B	3'-4" x 7'-0"	GL	PREF	GL	ALS7	B2, B3, B4	ALUM	PREF	-	REFER TO WINDOW ELEVATIONS
D101D	GAMES ROOM 101D	B	3'-4" x 7'-0"	GL	PREF	GL	ALS9	B2, B4	ALUM	PREF	-	REFER TO WINDOW ELEVATIONS
D101E-EX	LIBRARY 101	EXISTING	EXISTING	HM	PT6	EXISTING	EXISTING	EXISTING	HM	PT6	EXISTING	EXISTING DOOR AND FRAME TO RECEIVE NEW PAINT FINISH
D101F	LIBRARY 101	D	4'-3 1/2" x 10'-6 5/8"	GL	PREF	GL	-	-	ALUM	PREF	-	FAULKBUILT WAVE OPERABLE WALL SYSTEM (OR APPROVED EQUAL), LOCKSET BY OTHERS
D101G	LIBRARY 101	D	4'-3 1/2" x 10'-6 5/8"	GL	PREF	GL	-	-	ALUM	PREF	-	FAULKBUILT WAVE OPERABLE WALL SYSTEM (OR APPROVED EQUAL), LOCKSET BY OTHERS
D102	RETURNS 102	A	3'-4" x 7'-0"	HM	PT6	-	F1	B5	HM	PT6	45MIN	PROVIDE LOCKSET
D107	EX. STORAGE 107	A	3'-4" x 7'-0"	HM	PT6	-	F1	B5	HM	PT6	45MIN	PROVIDE LOCKSET
D108	RECEPTION / ADMIN 108	A	3'-4" x 7'-0"	HM	PT6	-	F1	EXISTING	HM	PT6	EXISTING	NEW CARD READER
D109-EX	LIBRARIAN 109	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING DOOR AND FRAME TO RECEIVE NEW PAINT FINISH
D110-EX	SUPERVISOR 110	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING DOOR AND FRAME TO RECEIVE NEW PAINT FINISH
D118	NURSING LOUNGE 118	A	3'-4" x 7'-0"	HM	PT6	-	F1	B1	HM	PT6	-	PROVIDE PRIVACY LOCK
D122A	MULTI-PURPOSE ROOM 122	B	3'-4" x 7'-0"	GL	PREF	GL	ALS4	B2, B3, B4	ALUM	PREF	-	REFER TO WINDOW ELEVATIONS
D122B-EX	MULTI-PURPOSE ROOM 122	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING DOOR AND FRAME TO RECEIVE NEW PAINT FINISH
D124A	STORAGE / CATERING PREP 124	A	2'-3'-2" x 6'-8"	HM	PT6	-	F1	B1	HM	PT	-	PROVIDE LOCKSET
D124B-EX	STORAGE / CATERING PREP 124	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING DOOR AND FRAME TO RECEIVE NEW PAINT FINISH
D125	STORAGE / CATERING PREP 124	A	SITE VERIFY EXIST. OPENING	EXISTING	PT6	-	SITE VERIFY	-	EXISTING	PT6	EXISTING	NEW CARD READER, SITE VERIFY EXISTING OPENING FOR NEW DOOR AND FRAME SIZES
D127A-EX	CORRIDOR 127	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING DOOR AND FRAME TO RECEIVE NEW PAINT FINISH
D127B-EX	CORRIDOR 127	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING DOOR AND FRAME TO RECEIVE NEW PAINT FINISH
D127C-EX	CORRIDOR 127	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING DOOR AND FRAME TO RECEIVE NEW PAINT FINISH
D127D-EX	CORRIDOR 127	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING DOOR AND FRAME TO RECEIVE NEW PAINT FINISH
D127E-EX	CORRIDOR 127	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING DOOR AND FRAME TO RECEIVE NEW PAINT FINISH
D127F-EX	IT CLOSET 127F	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING DOOR AND FRAME TO RECEIVE NEW PAINT FINISH
D127G-EX	CORRIDOR 127	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING DOOR AND FRAME TO RECEIVE NEW PAINT FINISH
D127H-EX	CORRIDOR 127	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING DOOR AND FRAME TO RECEIVE NEW PAINT FINISH
D127I-EX	CORRIDOR 127	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING	EXISTING	EXISTING	PT6	EXISTING	EXISTING DOOR AND FRAME TO RECEIVE NEW PAINT FINISH

**DOOR FRAME AND LEGEND GENERAL NOTES:**

**INTERIOR GLAZING GENERAL NOTES:**

- FINISH TO BE BLACK ANODIZED
- DOOR CLOSER TO MOUNT ON DOOR FRAME
- PROVIDE 3 KEYS PER LOCKSET
- HARDWARE SUPPLIER TO PROVIDE HARDWARE LIST AND SUBMIT CATALOGUE CUT OF HARDWARE PROVIDED FOR OWNER'S REVIEW PRIOR TO ORDERING
- ALL HARDWARE TO BE MEDIUM DUTY COMMERCIAL GRADE
- BARRIER FREE DOOR ACCESS PADDLE TO INCLUDE INTERNATIONAL B.F. SYMBOL
- ALL PANES MARKED 'GL' ARE TO BE GLAZED WITH CLEAR TEMPERED
- 2 MASTER KEY COPIES TO BE PROVIDED TO BUILDING OWNER FOR ENTRANCE DOOR TO OFFICE. SINGLE KEY TO ACCESS ALL LOCKABLE DOORS.

**ACCESSIBILITY DESIGN GENERAL NOTES:**

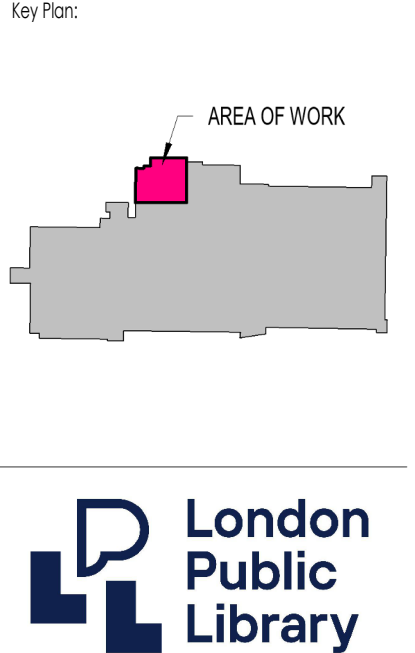
- ALL DOORS NOT EQUIPPED WITH A DOOR CLOSER SHALL HAVE COLOUR/TONAL CONTRAST ON THE EDGE OF THE DOOR PANEL
- MAXIMUM OPENING FORCE REQUIRED FOR PUSH/PULL IS: 22 NEWTONS (5.0 POUNDS) FOR INTERIOR HINGED DOORS, AND 22 NEWTONS (5.0 POUNDS) FOR SLIDING OR FOLDING DOORS
- THRESHOLDS: PROVIDE BEVEL AT MAXIMUM SLOPE OF 1:2 (50%), WHERE TRANSITION IS BETWEEN 6 MM (1/4 IN) AND 13 MM (1/2 IN) HIGH, AND ENSURE THRESHOLD AT DOOR IS NOT MORE THAN 13 MM (1/2 IN) HIGH
- DOOR HARDWARE: MOUNT BETWEEN 900 MM (35 1/2 IN) AND 1100 MM (43 1/2 IN) HIGH FROM FINISHED FLOOR OR GROUND SURFACE.

**DOOR SCHEDULE ABBREVIATIONS:**

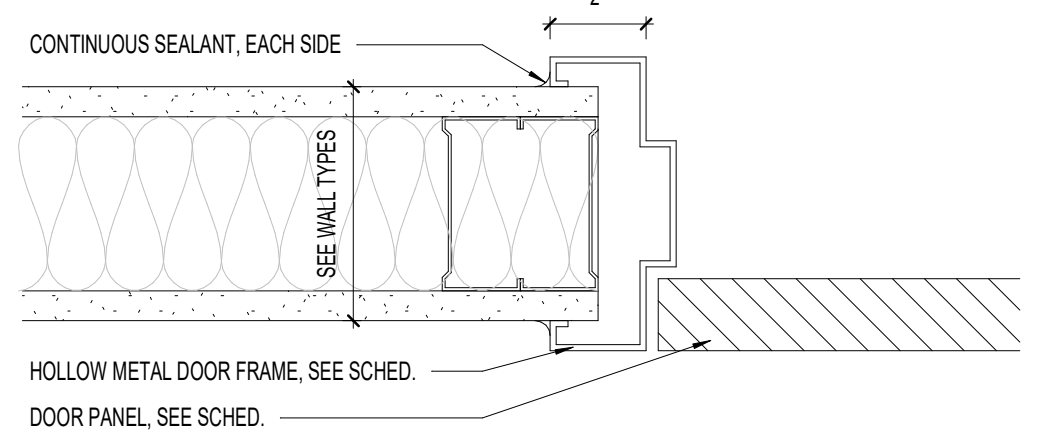
- ALUM: ALUMINUM
- ANOD: BLACK ANODIZED FINISH
- GL: CLEAR GLASS
- GL2: CLEAR GLASS WITH FROSTED PRIVACY FILM APPLIED
- HM: HOLLOW METAL
- PLAM: PLASTIC LAMINATE
- PT6: DOOR AND TRIM PAINT, REFER TO I-200

**CONTRACTOR MUST SITE MEASURE AND CONFIRM ALL EXISTING DOOR FRAME OPENINGS TO RECEIVE NEW DOOR PANEL. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO THE COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING.**

APPLY OPAQUE STRIP ALONG ANY GLAZING IN A PARTITION OR DOOR IN A BARRIER-FREE PATH OF TRAVEL TO THE FOLLOWING STANDARDS:  
 CONTRASTING IN COLOUR, MIN 50MM WIDE, LOCATED ACROSS ENTIRE WIDTH OF THE DOOR/GLASS PARTITION AT 1500MM TO 1500MM AFF.

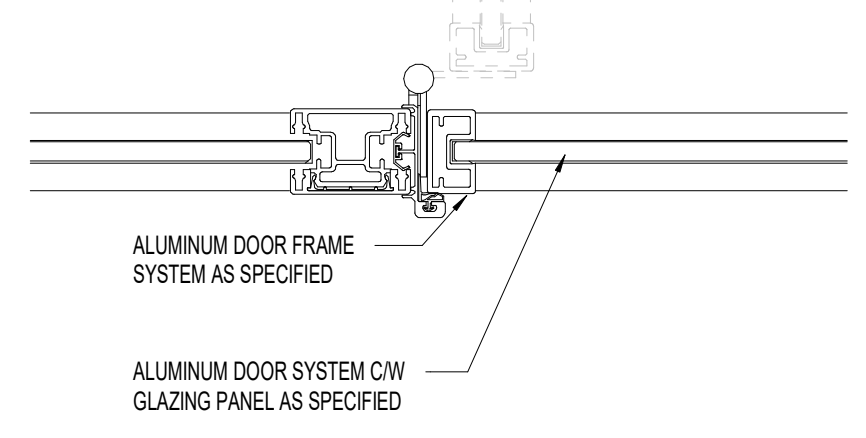


NOTE: ALL DOORS TO HAVE 1 MASTER KEY - 2 COPIES OF MASTER TO BE PROVIDED



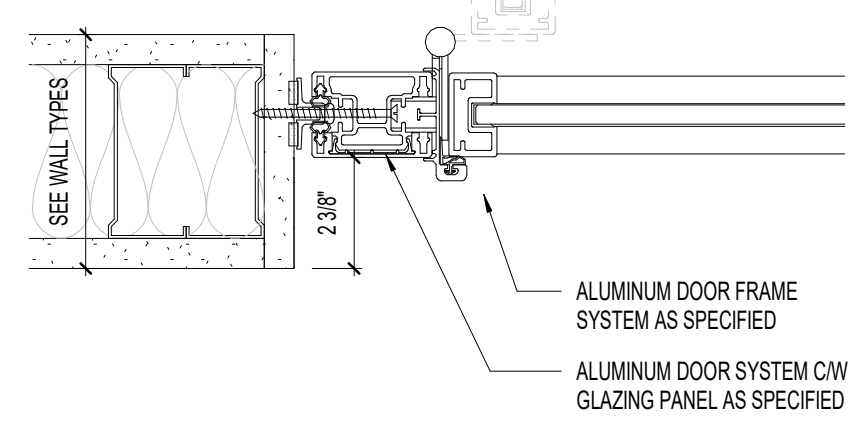
B1 TYPICAL INTERIOR HOLLOW METAL DOOR JAMB DETAIL (NON-RATED)

A900 Scale: 3" = 1'-0"



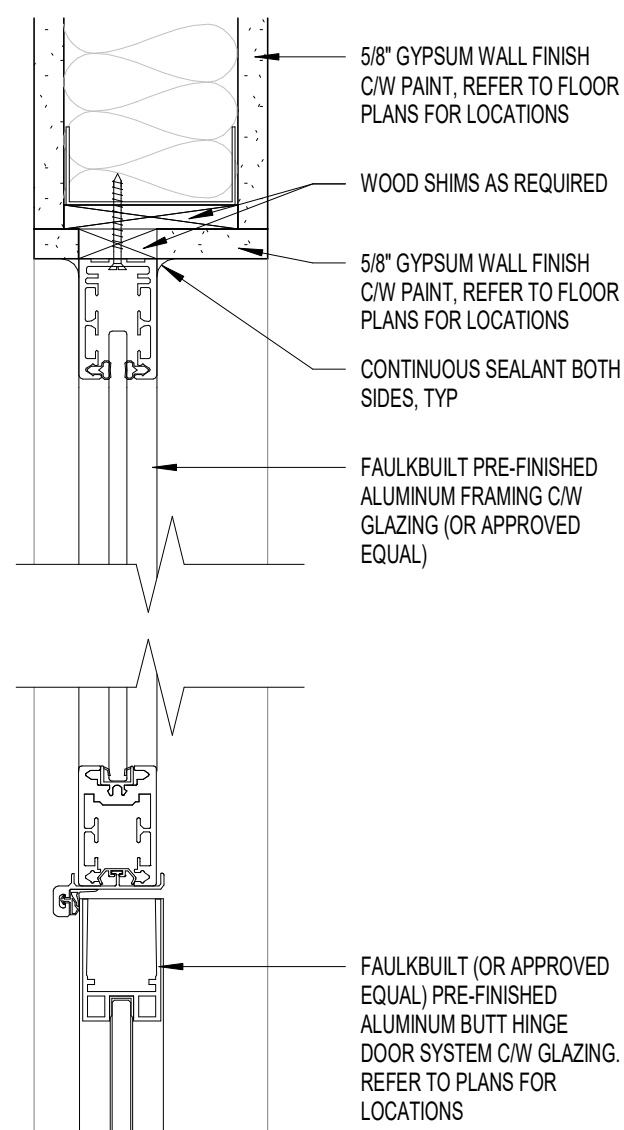
B2 TYPICAL INTERIOR GLAZING SYSTEM ALUMINUM DOOR JAMB DETAIL

A900 Scale: 3" = 1'-0"



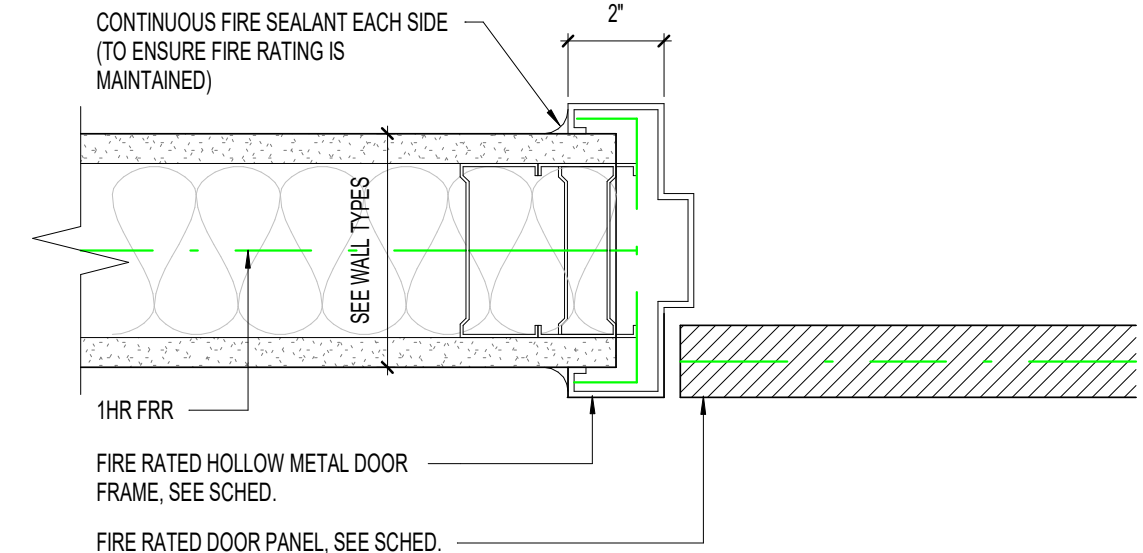
B3 TYPICAL INTERIOR GLAZING SYSTEM ALUMINUM DOOR JAMB @ STUD WALL

A900 Scale: 3" = 1'-0"



B4 TYPICAL INTERIOR GLAZING SYSTEM HEADER DETAIL IN NEW METAL STUD WALL

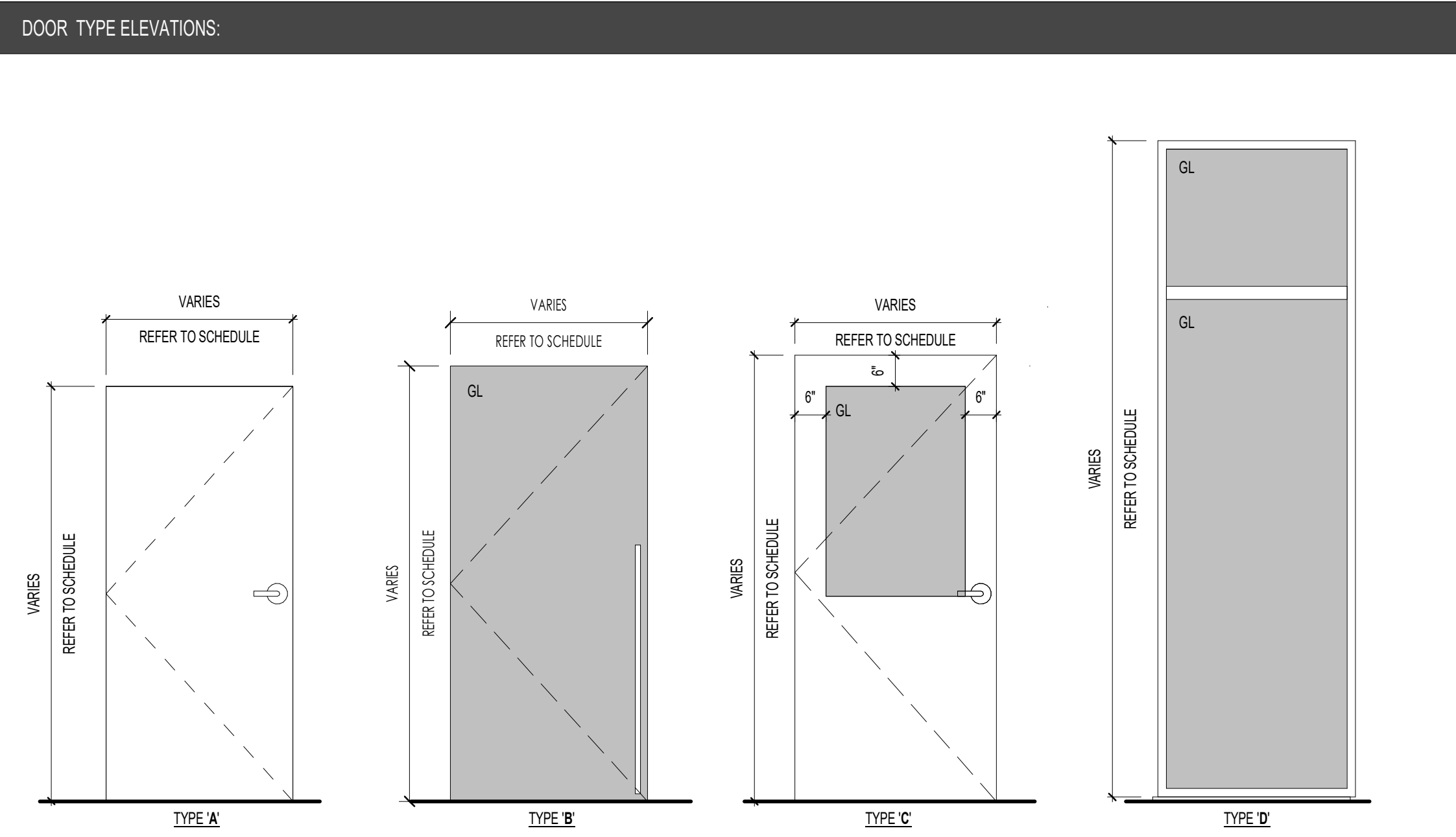
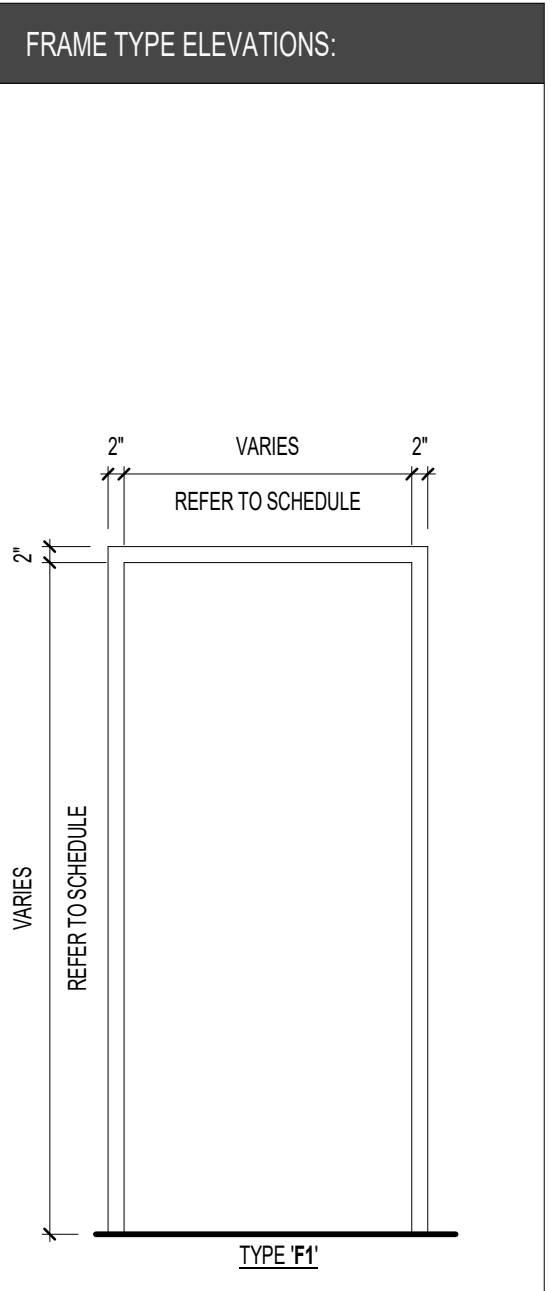
A900 Scale: 3" = 1'-0"



B5 TYPICAL INTERIOR HOLLOW METAL DOOR JAMB DETAIL (FIRE RATED)

A900 Scale: 3" = 1'-0"

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Project Title:  
 SHERWOOD LIBRARY RENOVATION

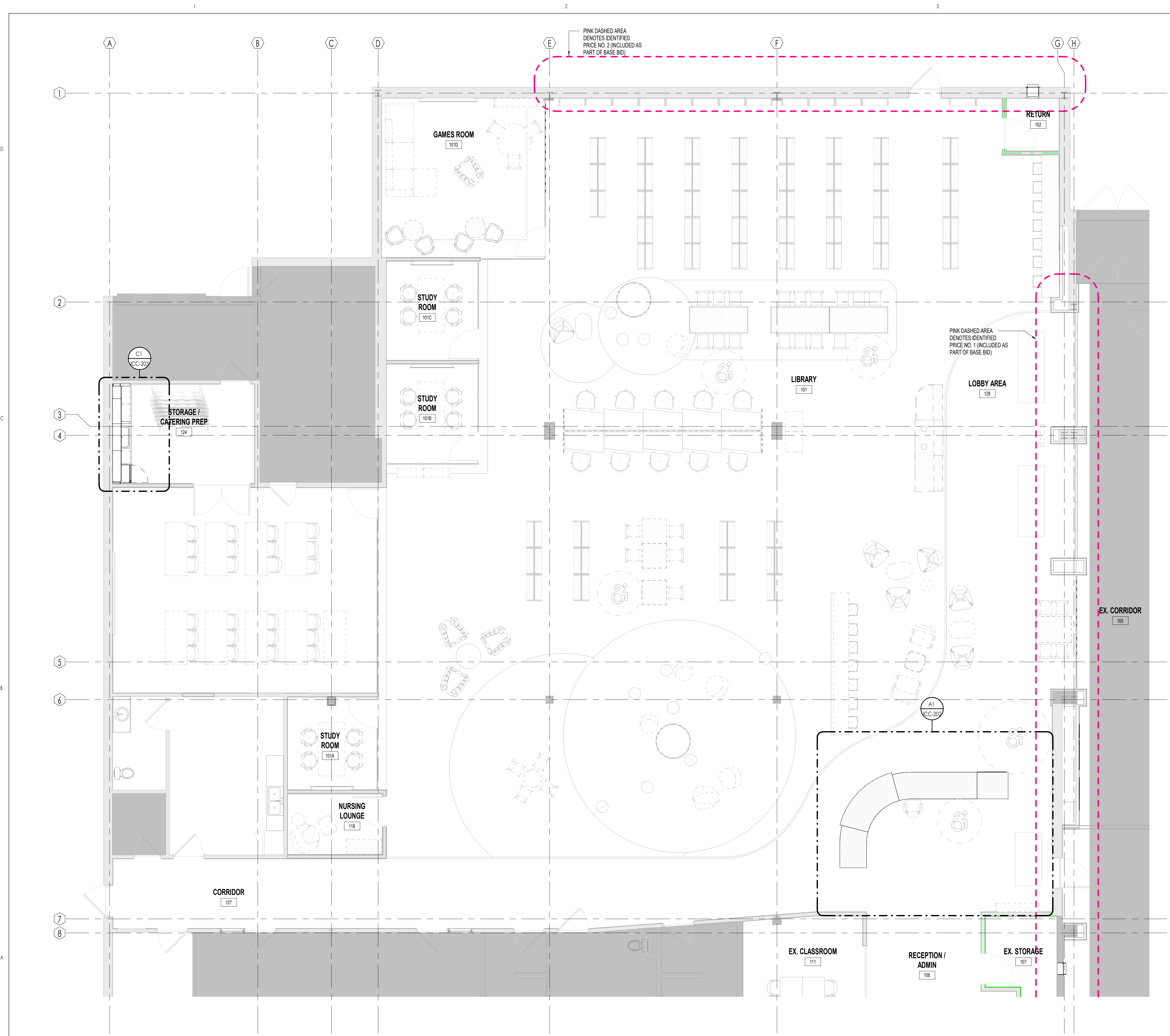
1225 Wonderland Rd N, London, ON N6G 2Y9

Sheet Name:  
 ROOM & DOOR SCHEDULES

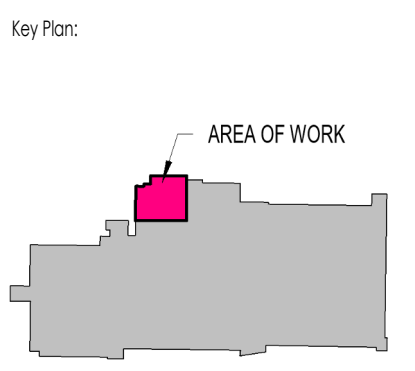
Scale:  
 As indicated

Project No:  
 23-006

Sheet No:  
 A900



MILLWORK FINISH LEGEND		
MILLWORK FINISHES:		
SS1	SOLID SURFACE - WILSONART (OR APPROVED EQUAL) ASPEN QUARTZITE (324555)	
PLAM1	LAMINATE - FORMICA (OR APPROVED EQUAL) SWEDEN RIFT OAK - OILED WOOD FINISH (8676-26)	
PLAM2	LAMINATE - FORMICA (OR APPROVED EQUAL) RECYCLED BLACK	
PLAM3	SEPARATE PRICE NO.1 THE 'NEST' SCOPE TO MATCH PAINT - BENJAMIN MOORE (OR APPROVED EQUAL) 'CROCUS PETAL PURPLE' (2071-40)	
PLAM4	SEPARATE PRICE NO.1 THE 'NEST' SCOPE PAINT COLOUR TO MATCH PAINTONE 142C	
PLAM5	SEPARATE PRICE NO.1 THE 'NEST' SCOPE TO MATCH PAINT - BENJAMIN MOORE (OR APPROVED EQUAL) 'LAGUNA BLUE' (2059-30)	
UP1	SEPARATE PRICE NO.1 THE 'NEST' SCOPE UPHOLSTERY - DESIGNTEX (OR APPROVED EQUAL) SILICONE ELEMENT - CAPRI (3919-405)	
UP2	SEPARATE PRICE NO.1 THE 'NEST' SCOPE UPHOLSTERY - DESIGNTEX (OR APPROVED EQUAL) SAPPHIRE CRYPTON - 'ORCHID' (3103-601)	
UP3	SEPARATE PRICE NO.1 THE 'NEST' SCOPE UPHOLSTERY - DESIGNTEX (OR APPROVED EQUAL) OVERTONE - RAIN (3056-401)	
UP4	SEPARATE PRICE NO.1 THE 'NEST' SCOPE UPHOLSTERY - DESIGNTEX (OR APPROVED EQUAL) SILICONE ELEMENT - 'TANGERINE' (3919-701)	
UP5	SEPARATE PRICE NO.1 THE 'NEST' SCOPE UPHOLSTERY - DESIGNTEX (OR APPROVED EQUAL) LUSTER - XIWI (3701-503)	
UP6	SEPARATE PRICE NO.1 THE 'NEST' SCOPE UPHOLSTERY - DESIGNTEX (OR APPROVED EQUAL) BURBARD GROUND CLOTH - 'CANARY' (3919-201)	



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 2 2024 06 25 LANDLORD WORK SW, HR, SW  
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Project Title: SHERWOOD LIBRARY RENOVATION

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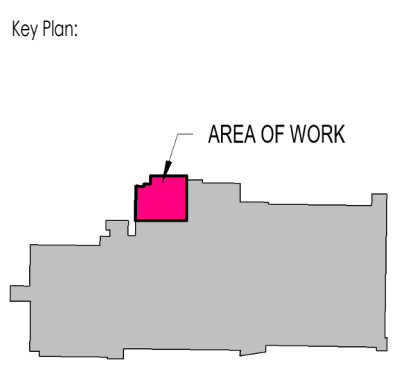
Sheet Name: MILLWORK KEY PLAN - NORTH

Scale: As indicated Project No: 23-006

Sheet No: ICC-200

**A1 LEVEL 1 MILLWORK KEY PLAN - NORTH**  
 ICC-200 Scale: 3/16" = 1'-0"

MILLWORK FINISH LEGEND		
MILLWORK FINISHES:		
SS1	SOLID SURFACE - WILSONART (OR APPROVED EQUAL) "ASPER QUARTZITE" (9245SS)	
PLAM1	LAMINATE - FORMICA (OR APPROVED EQUAL) "SWEDE RIFT OAK" - OILED WOOD FINISH (8676-26)	
PLAM2	LAMINATE - FORMICA (OR APPROVED EQUAL) "RECYCLED BLACK"	
PLAM3	SEPARATE PRICE NO.1 THE 'NEST' SCOPE TO MATCH PAINT - BENJAMIN MOORE (OR APPROVED EQUAL) "CROCUS PETAL PURPLE" (2071-40)	
PLAM4	SEPARATE PRICE NO.1 THE 'NEST' SCOPE PAINT COLOUR TO MATCH PANTONE 142C	
PLAM5	SEPARATE PRICE NO.1 THE 'NEST' SCOPE TO MATCH PAINT - BENJAMIN MOORE (OR APPROVED EQUAL) "LAGUNA BLUE" (2059-30)	
UP1	SEPARATE PRICE NO.1 THE 'NEST' SCOPE UPHOLSTERY - DESIGNTEX (OR APPROVED EQUAL) "SILICONE ELEMENT" - CAPRY (3919-405)	
UP2	SEPARATE PRICE NO.1 THE 'NEST' SCOPE UPHOLSTERY - DESIGNTEX (OR APPROVED EQUAL) "SAPPORO CRYPTON" - "ORCHID" (3103-601)	
UP3	SEPARATE PRICE NO.1 THE 'NEST' SCOPE UPHOLSTERY - DESIGNTEX (OR APPROVED EQUAL) "OVERTONE" - RAIN (3056-401)	
UP4	SEPARATE PRICE NO.1 THE 'NEST' SCOPE UPHOLSTERY - DESIGNTEX (OR APPROVED EQUAL) "SILICONE ELEMENT" - "TANGERINE" (3919-701)	
UP5	SEPARATE PRICE NO.1 THE 'NEST' SCOPE UPHOLSTERY - DESIGNTEX (OR APPROVED EQUAL) "LUSTER" - XIWY (3701-503)	
UP6	SEPARATE PRICE NO.1 THE 'NEST' SCOPE UPHOLSTERY - DESIGNTEX (OR APPROVED EQUAL) "BURRVARD GROUND CLOTH" - "CANARY" (3919-201)	



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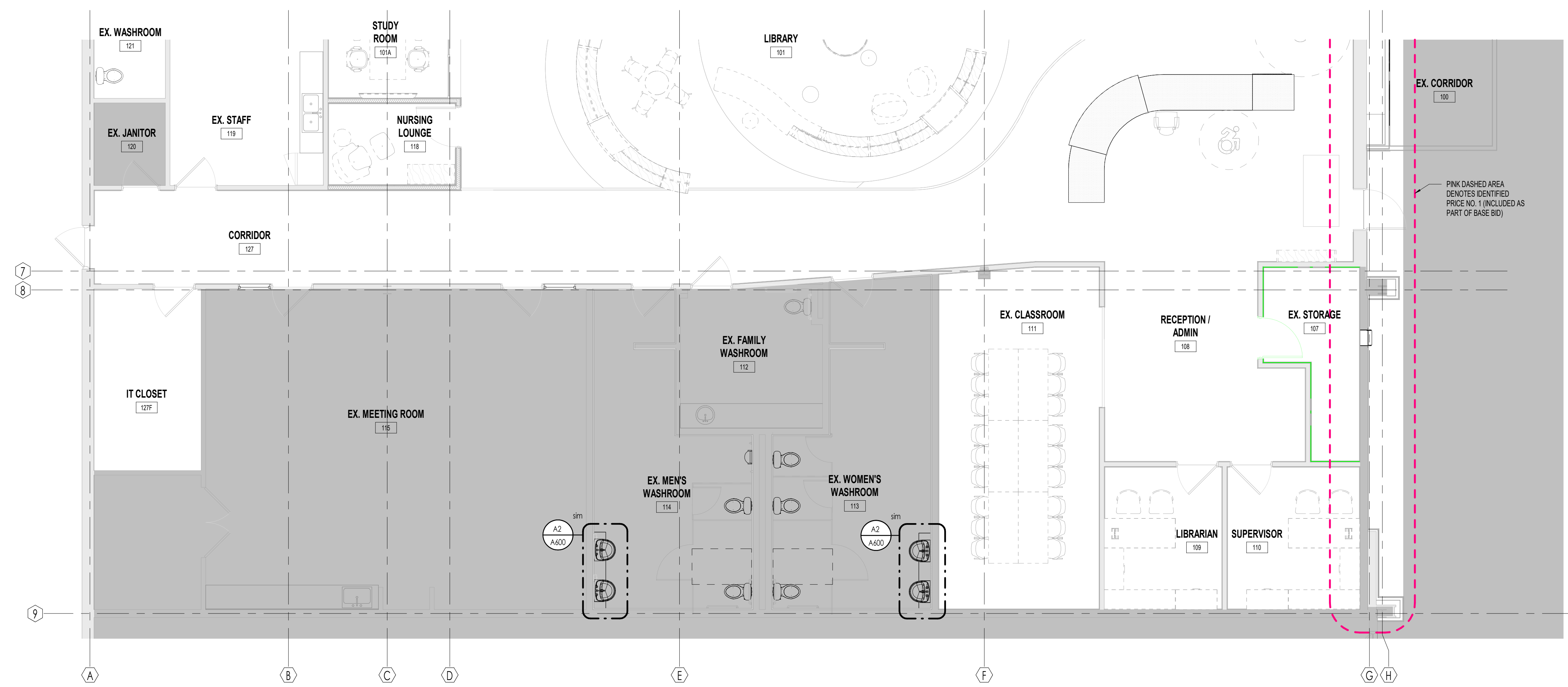
1225 Wonderland Rd N, London, ON N6G 2W9

Sheet Name:  
 MILLWORK KEY PLAN - SOUTH

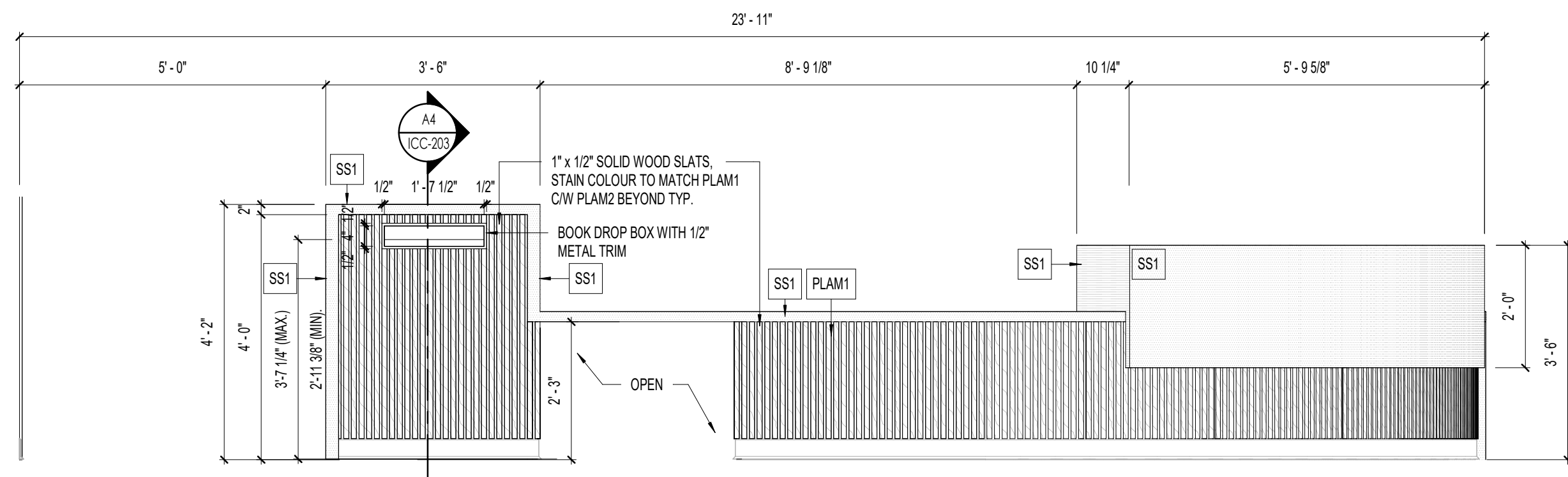
Scale:  
 As indicated

Project No:  
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Sheet No:  
 ICC-201

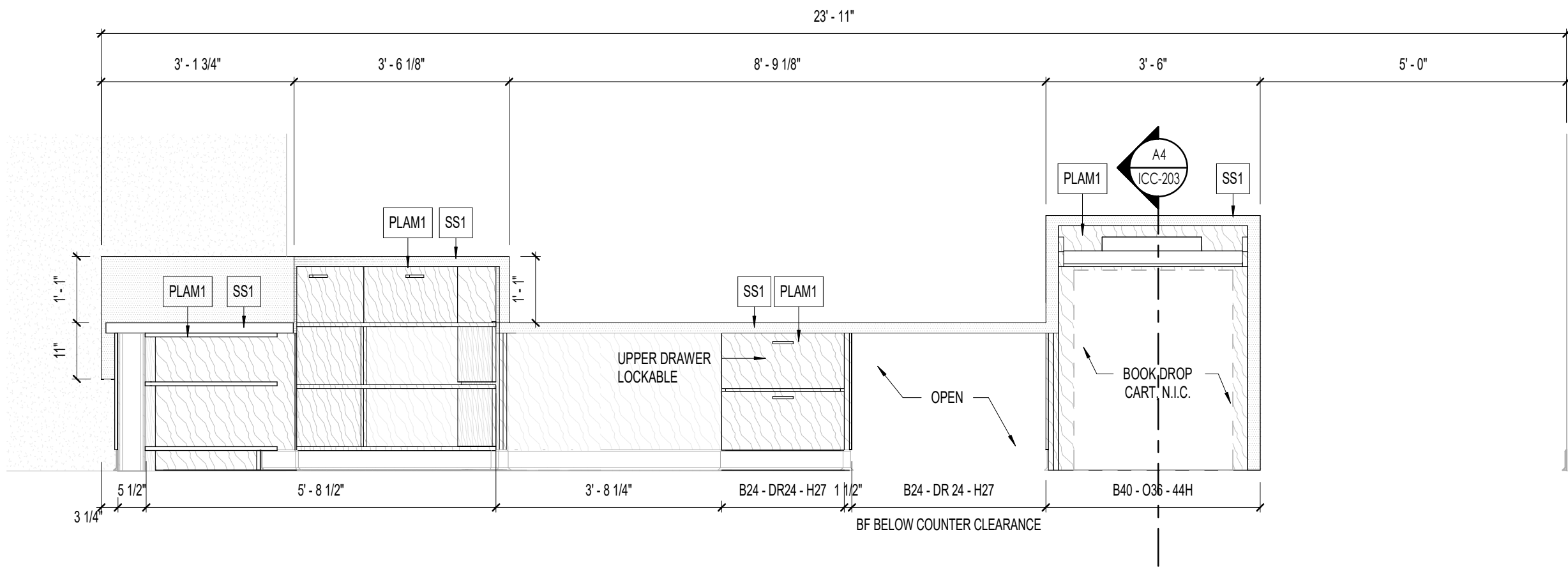


**N**  
 A1 LEVEL 1 MILLWORK KEY PLAN - SOUTH  
 ICC-201 Scale: 3/16" = 1'-0"



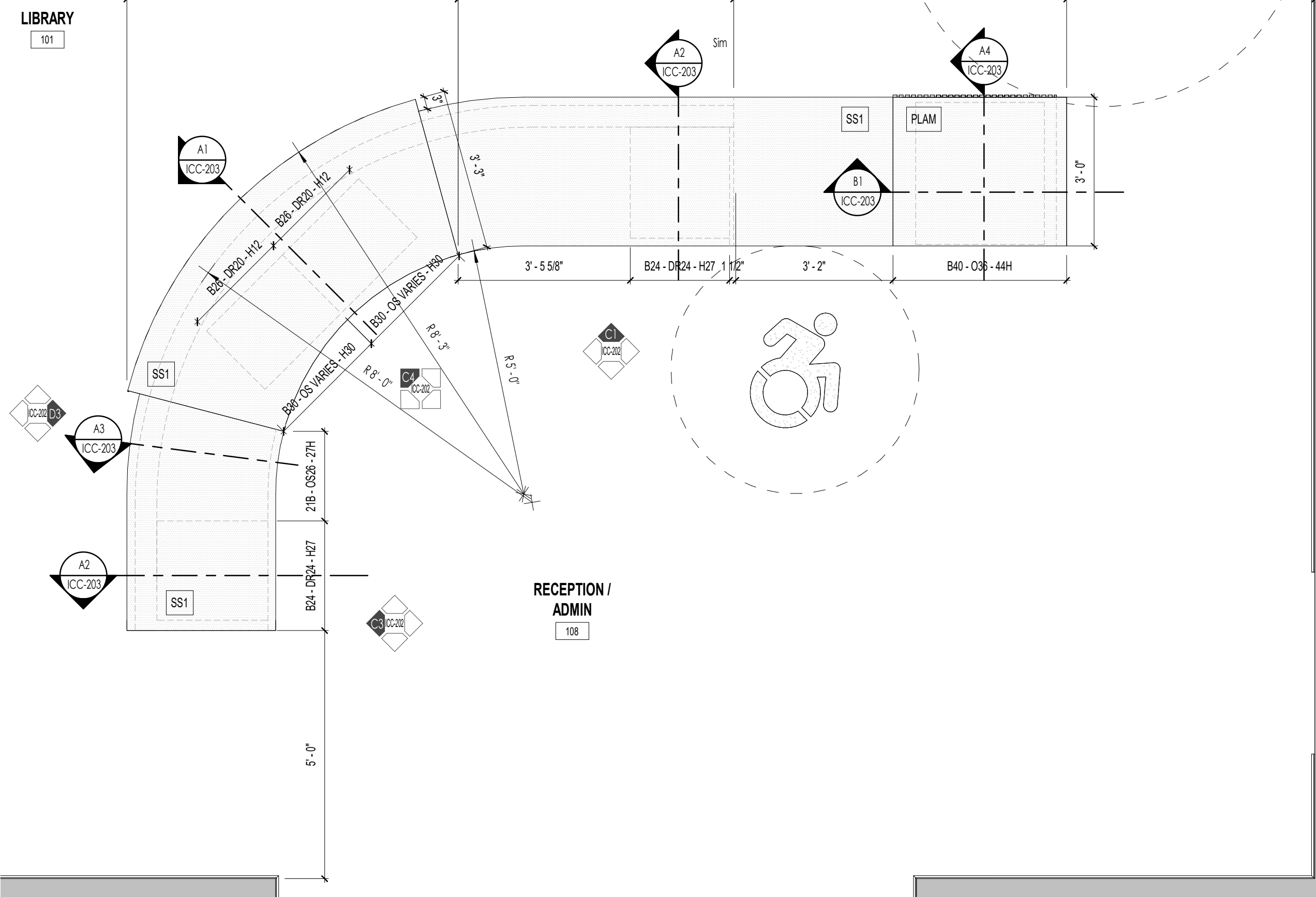
D1 RECEPTION AND ADMIN 108 - MILLWORK ELEVATION

ICC-202 Scale: 1/2" = 1'-0"



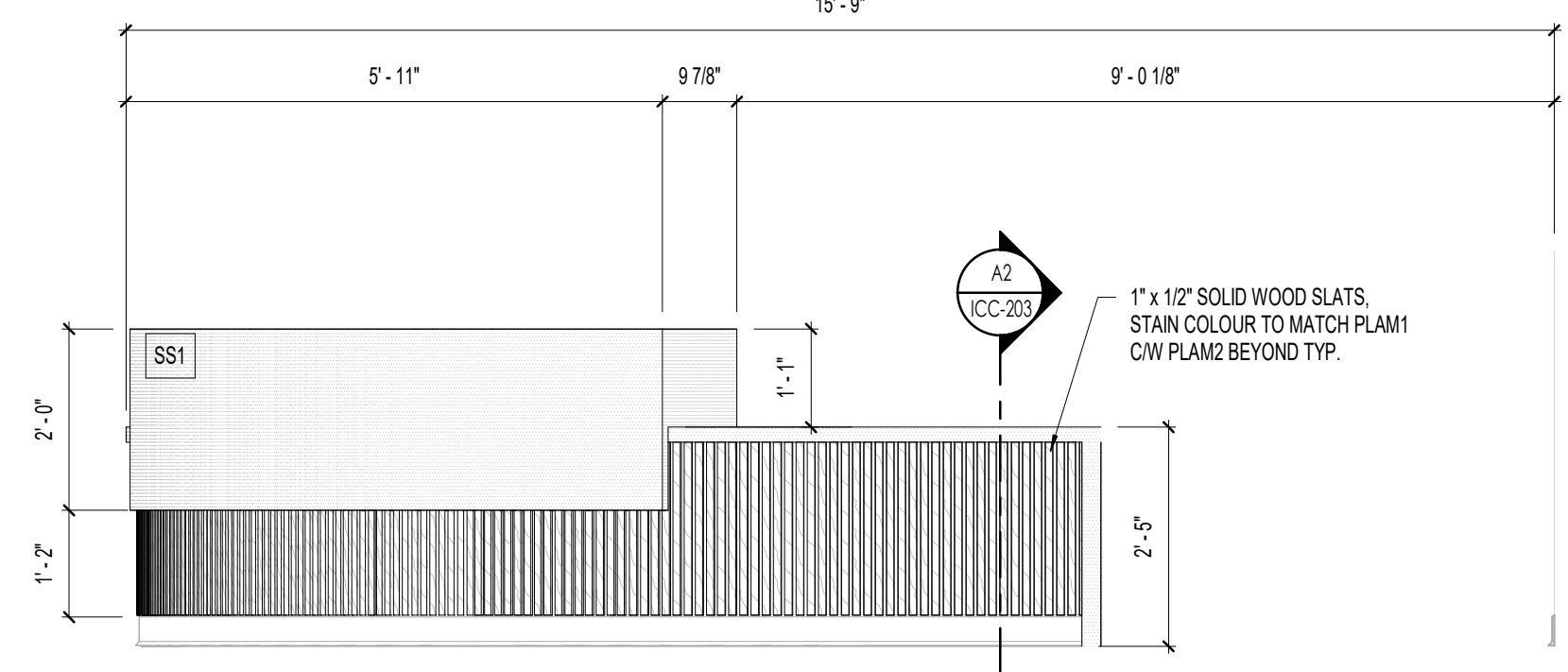
C1 RECEPTION AND ADMIN 108 - MILLWORK ELEVATION

ICC-202 Scale: 1/2" = 1'-0"



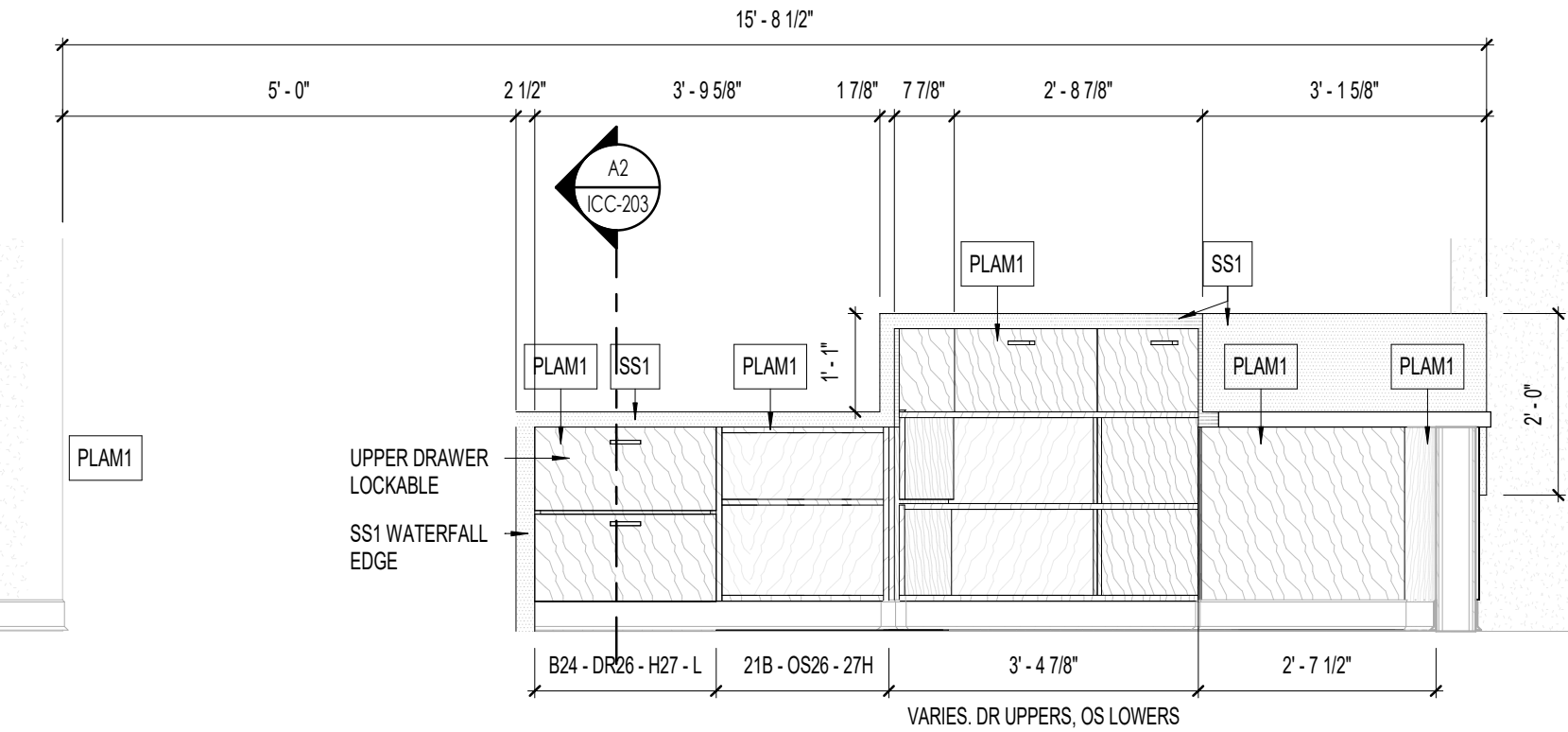
A1 RECEPTION AND ADMIN 108 - MILLWORK PLAN

ICC-202 Scale: 1/2" = 1'-0"



D3 RECEPTION AND ADMIN 108 - MILLWORK ELEVATION

ICC-202 Scale: 1/2" = 1'-0"

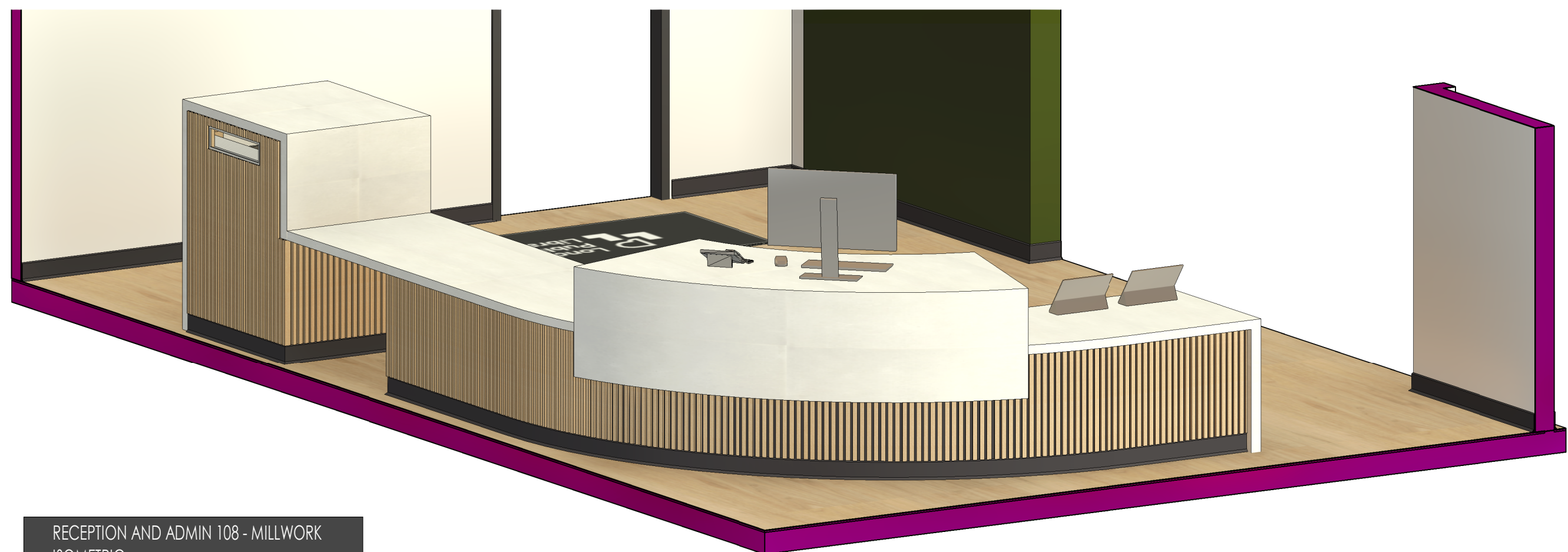


C3 RECEPTION AND ADMIN 108 - MILLWORK ELEVATION

ICC-202 Scale: 1/2" = 1'-0"

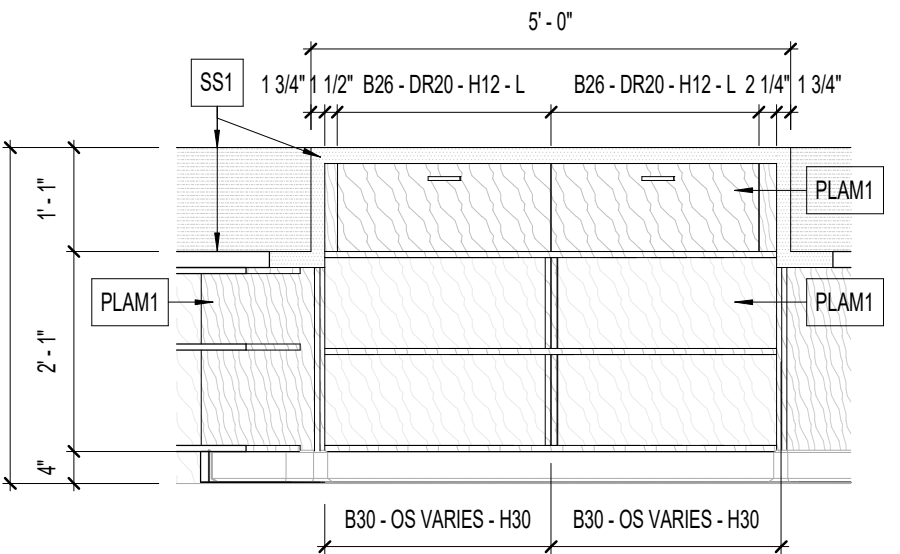
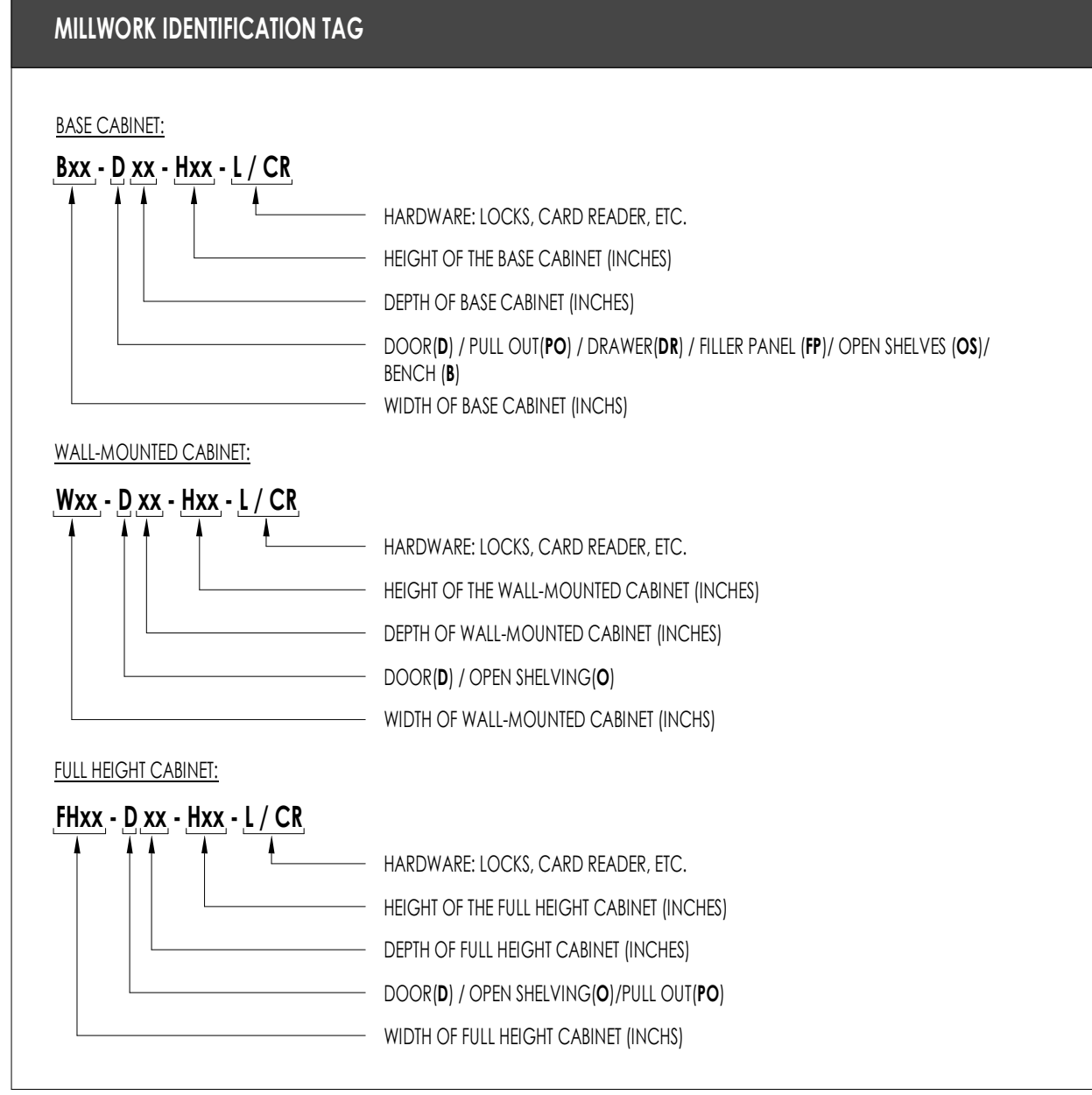
B3 RECEPTION AND ADMIN 108 - MILLWORK ISOMETRIC

ICC-202 Scale:



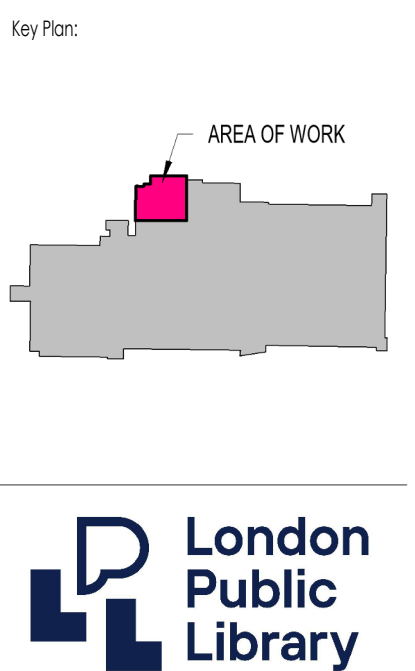
A3 RECEPTION AND ADMIN 108 - MILLWORK ISOMETRIC

ICC-202 Scale:



C4 RECEPTION AND ADMIN 108 - MILLWORK ELEVATION

ICC-202 Scale: 1/2" = 1'-0"



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Project Title:  
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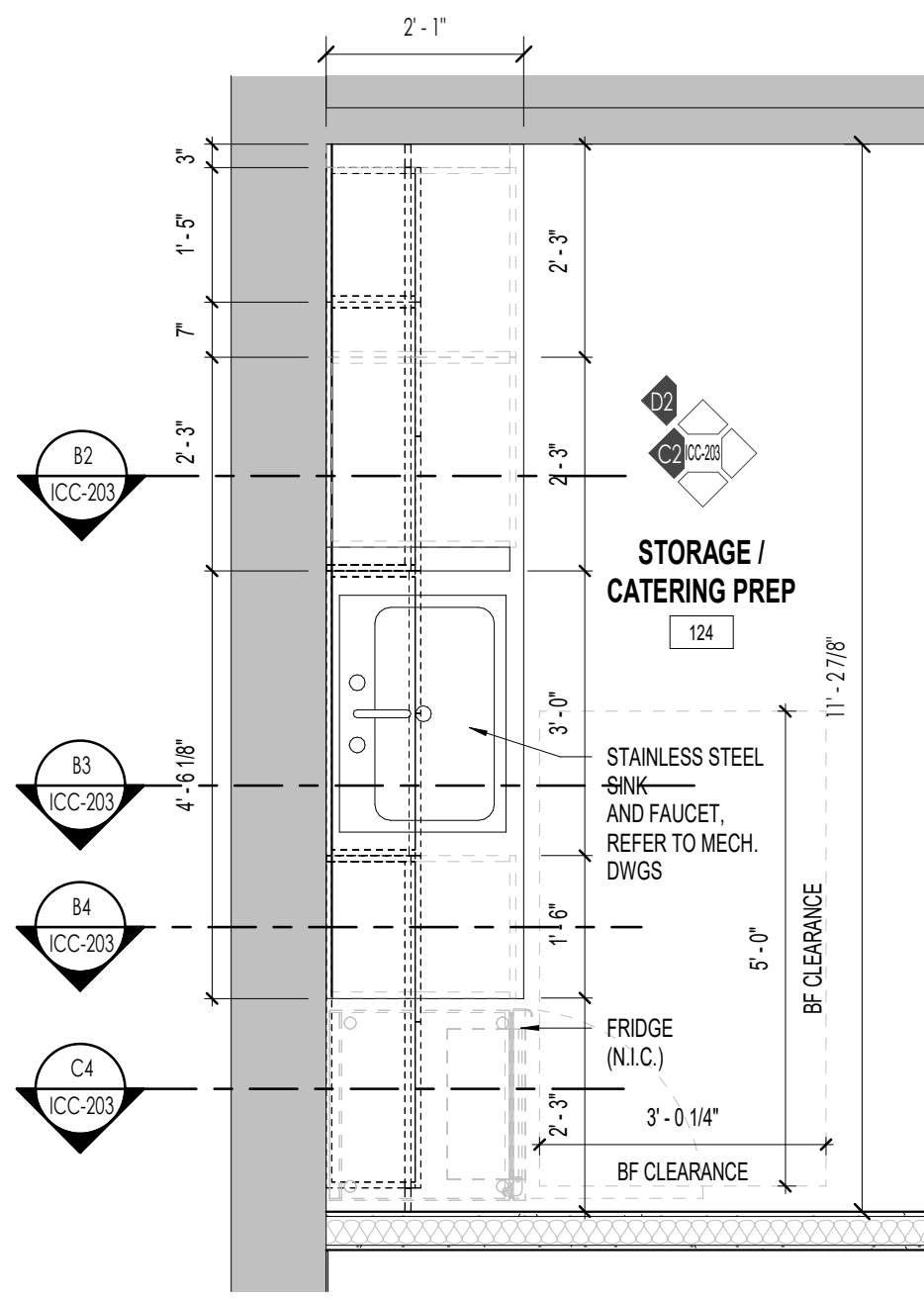
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Sheet Name:  
 MILLWORK PLANS & ELEVATIONS

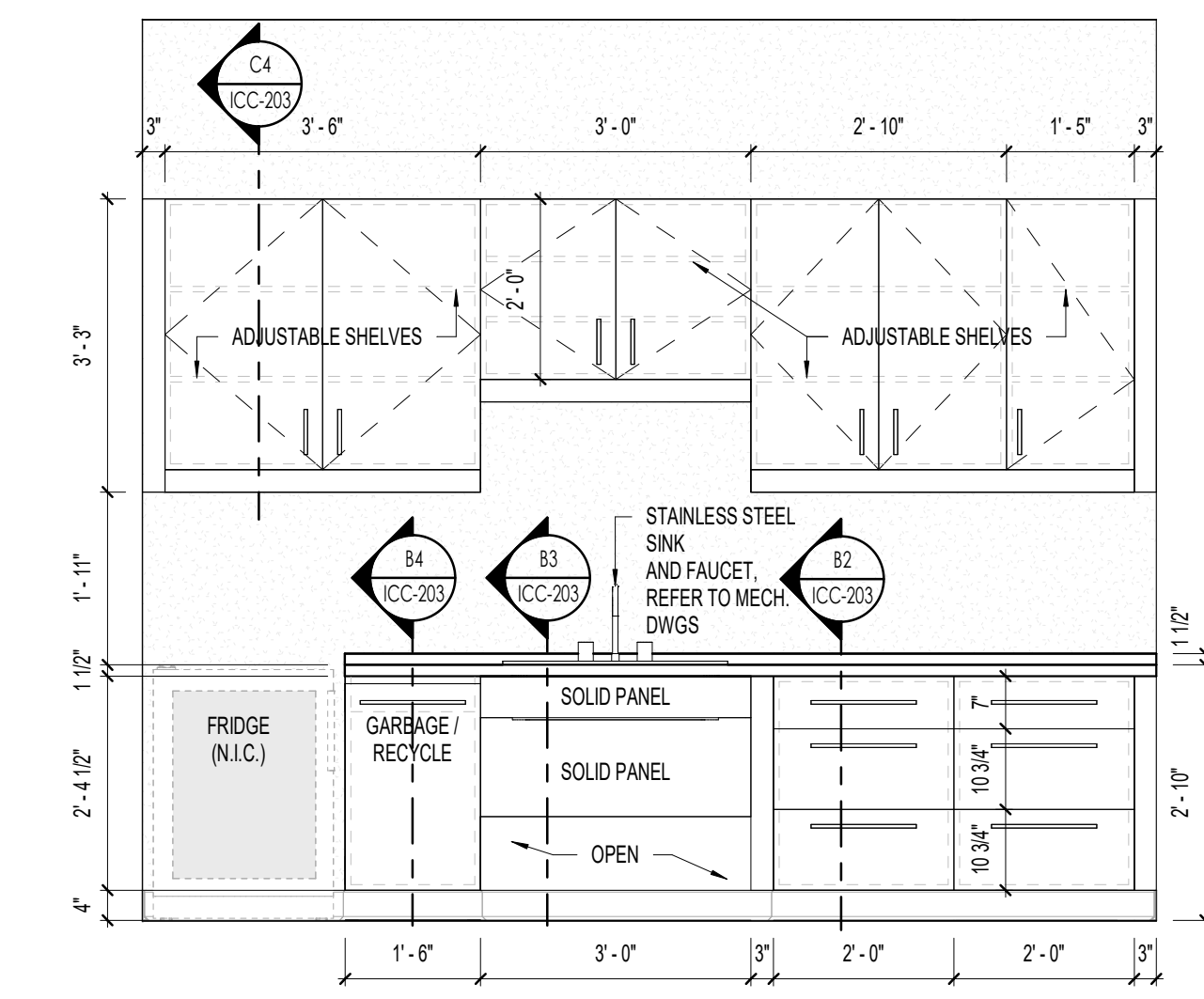
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Project No:  
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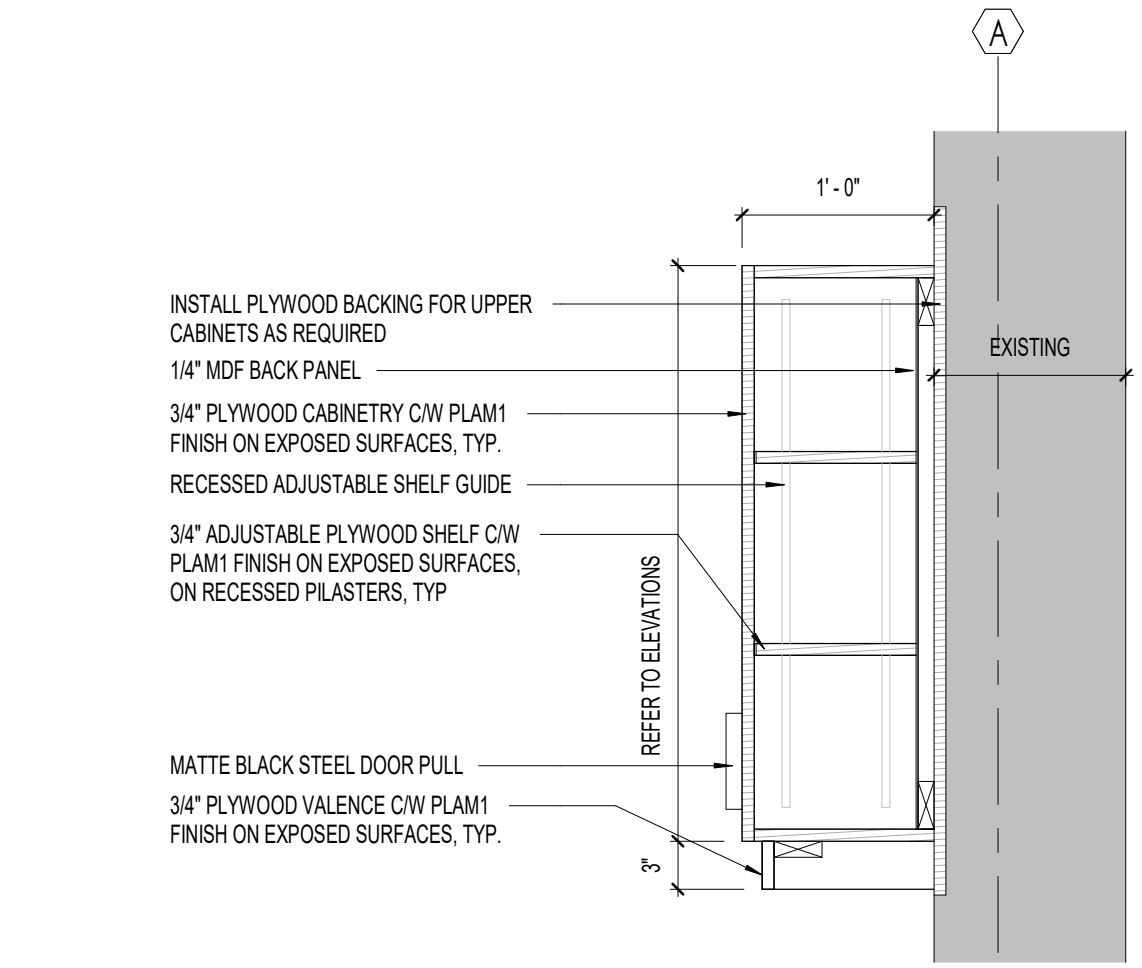
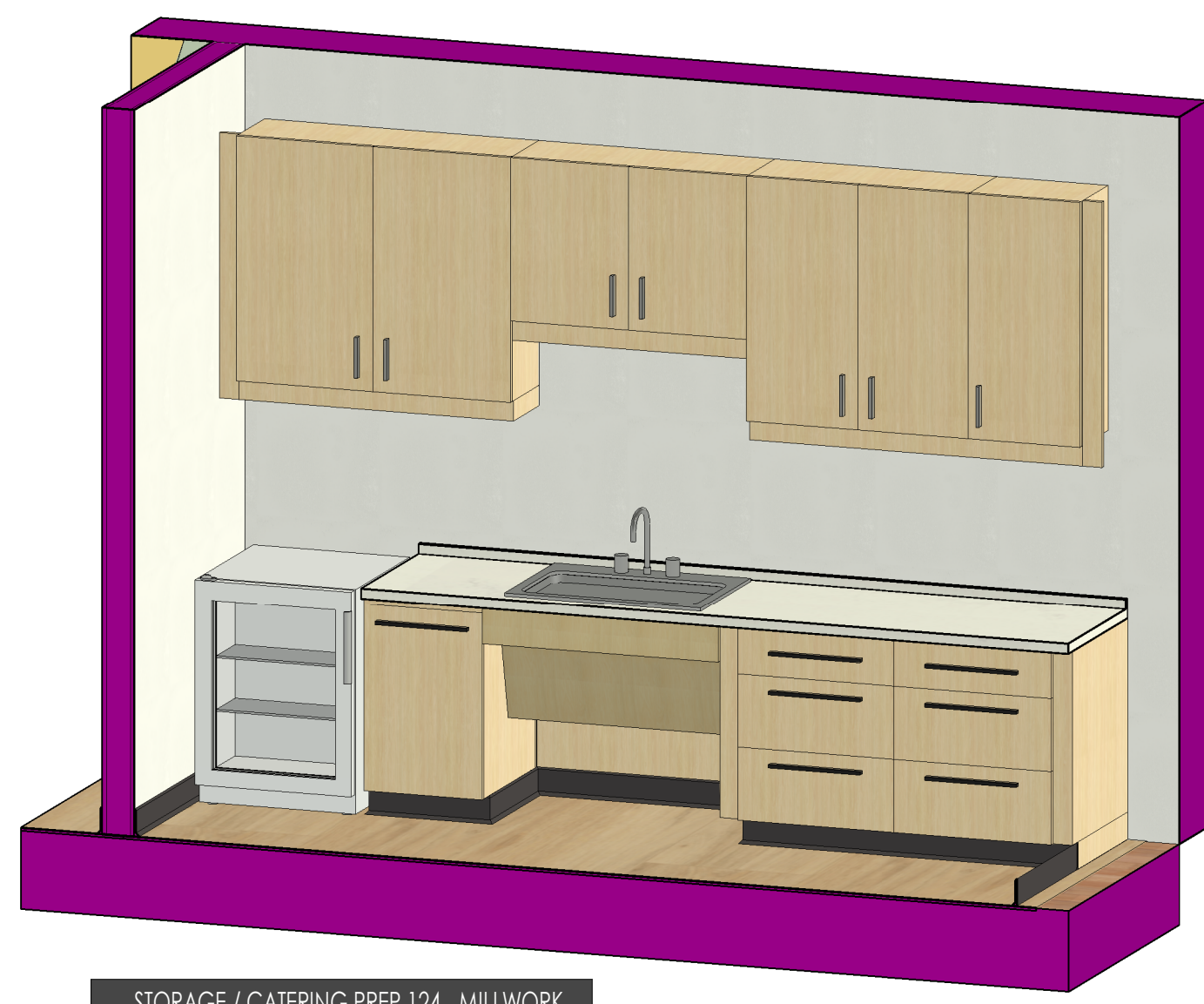
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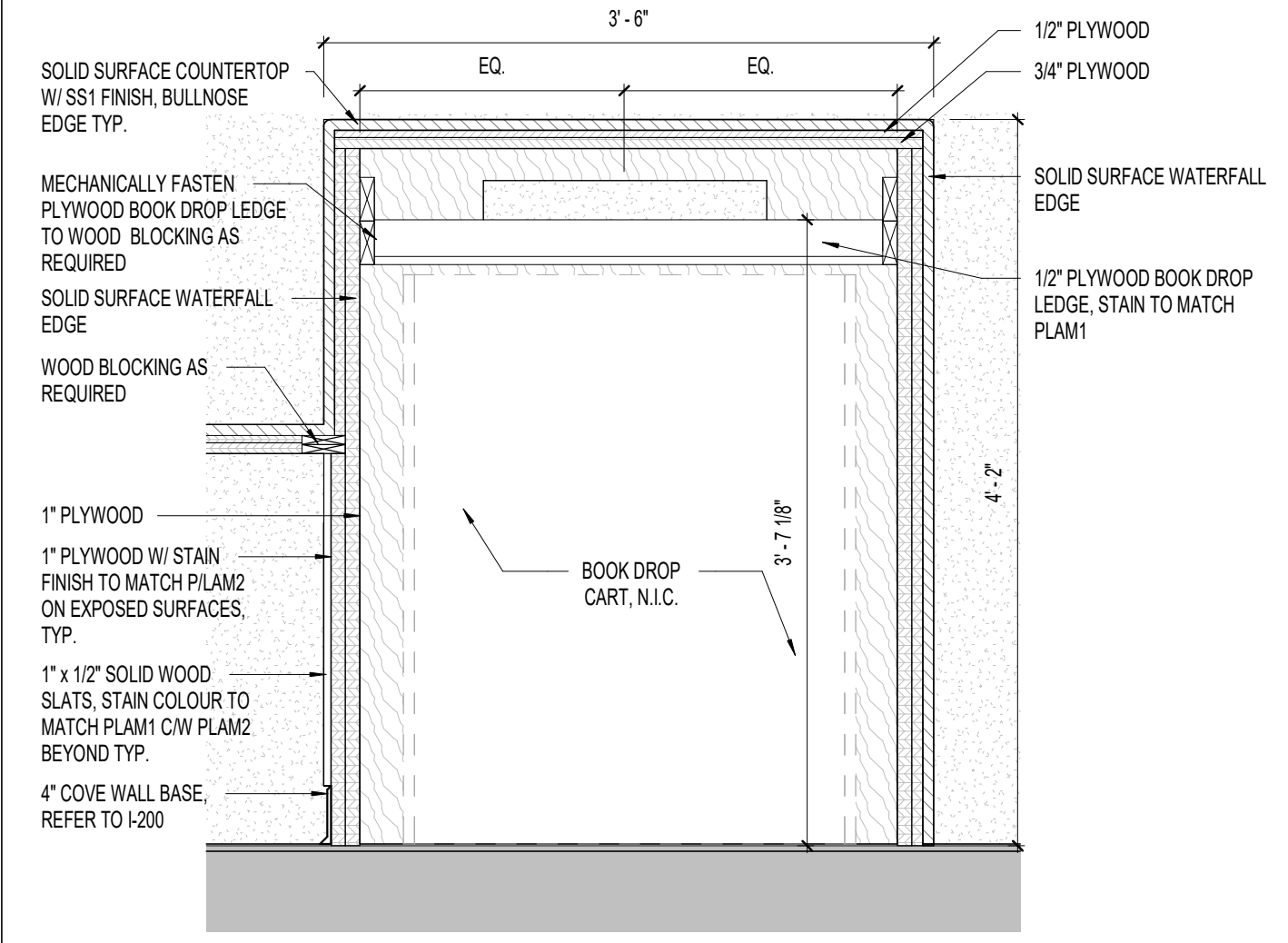
C1 STORAGE / CATERING PREP 124 - MILLWORK PLAN  
ICC-203 Scale: 1/2" = 1'-0"



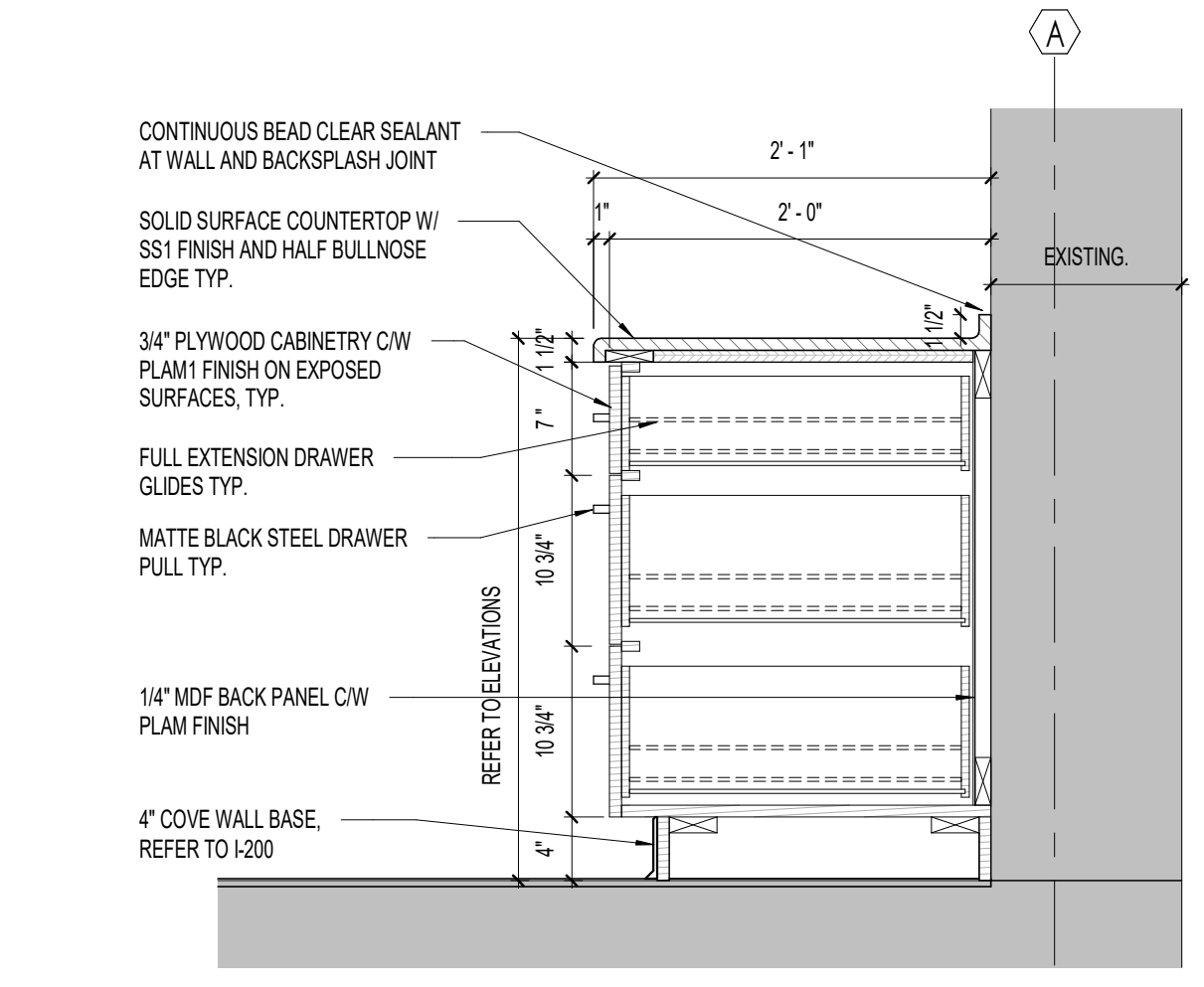
C2 STORAGE / CATERING PREP 124 - MILLWORK ELEVATION  
ICC-203 Scale: 1/2" = 1'-0"



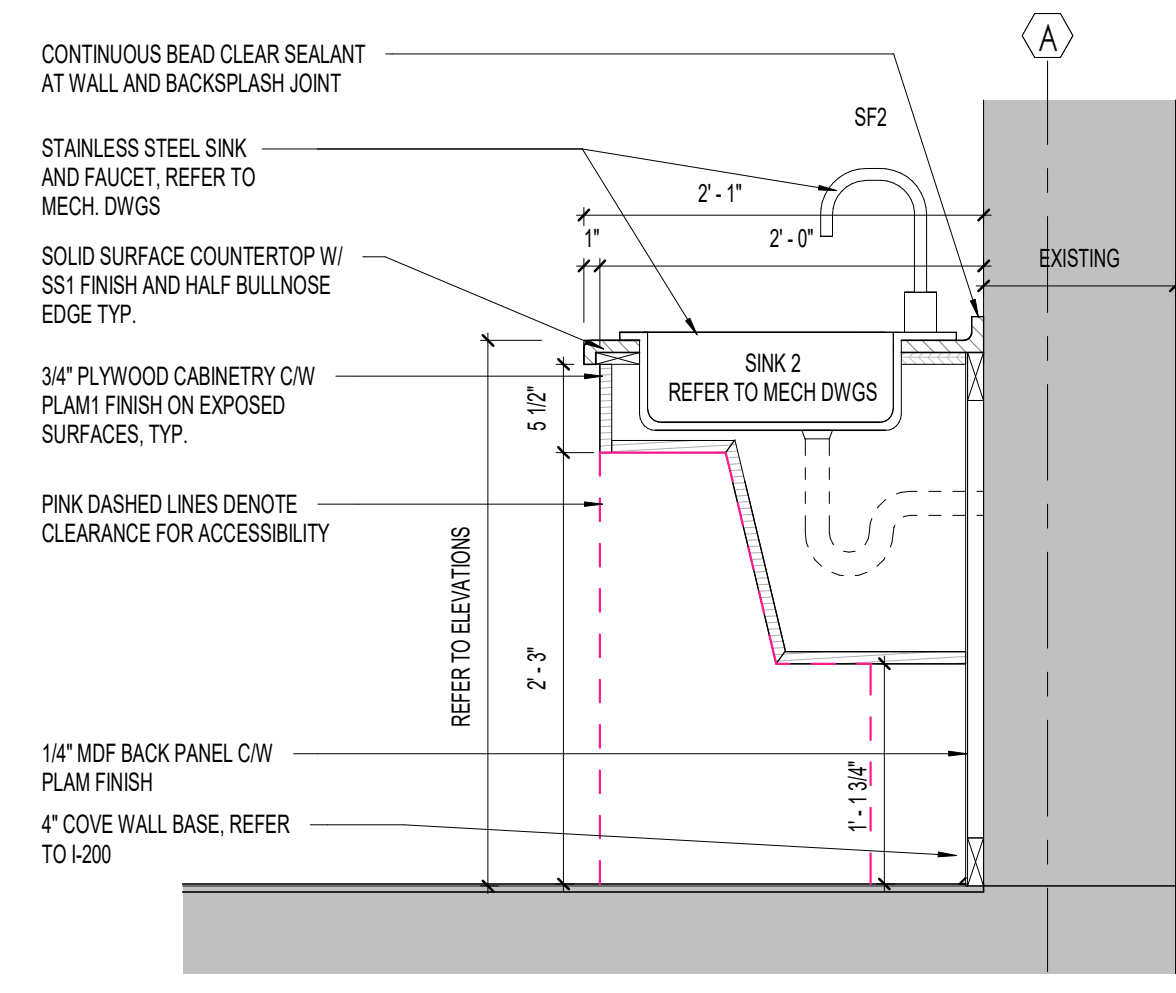
C4 STORAGE / CATERING PREP 124 - MILLWORK SECTION  
ICC-203 Scale: 1" = 1'-0"



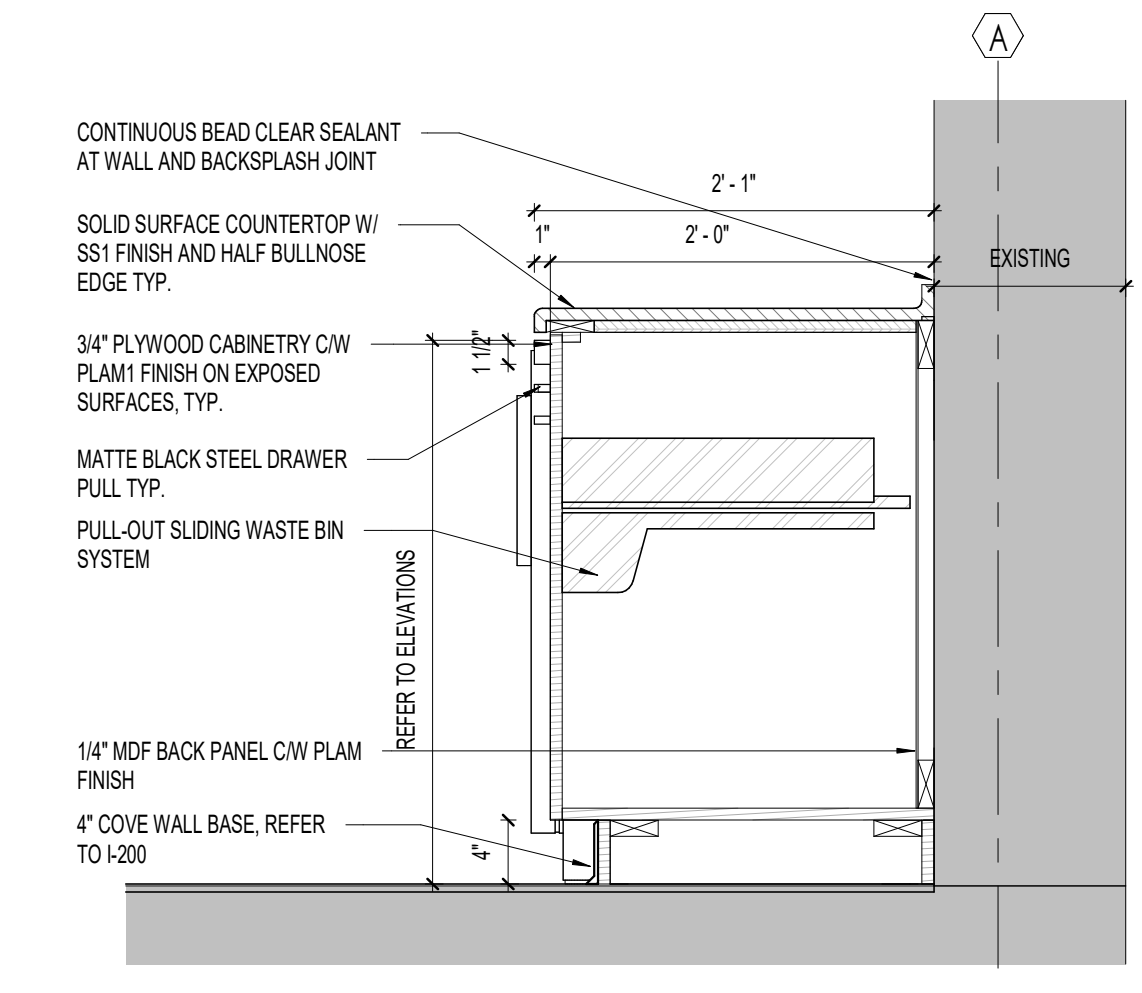
B1 RECEPTION BOOK DROP MILLWORK SECTION  
ICC-203 Scale: 1" = 1'-0"



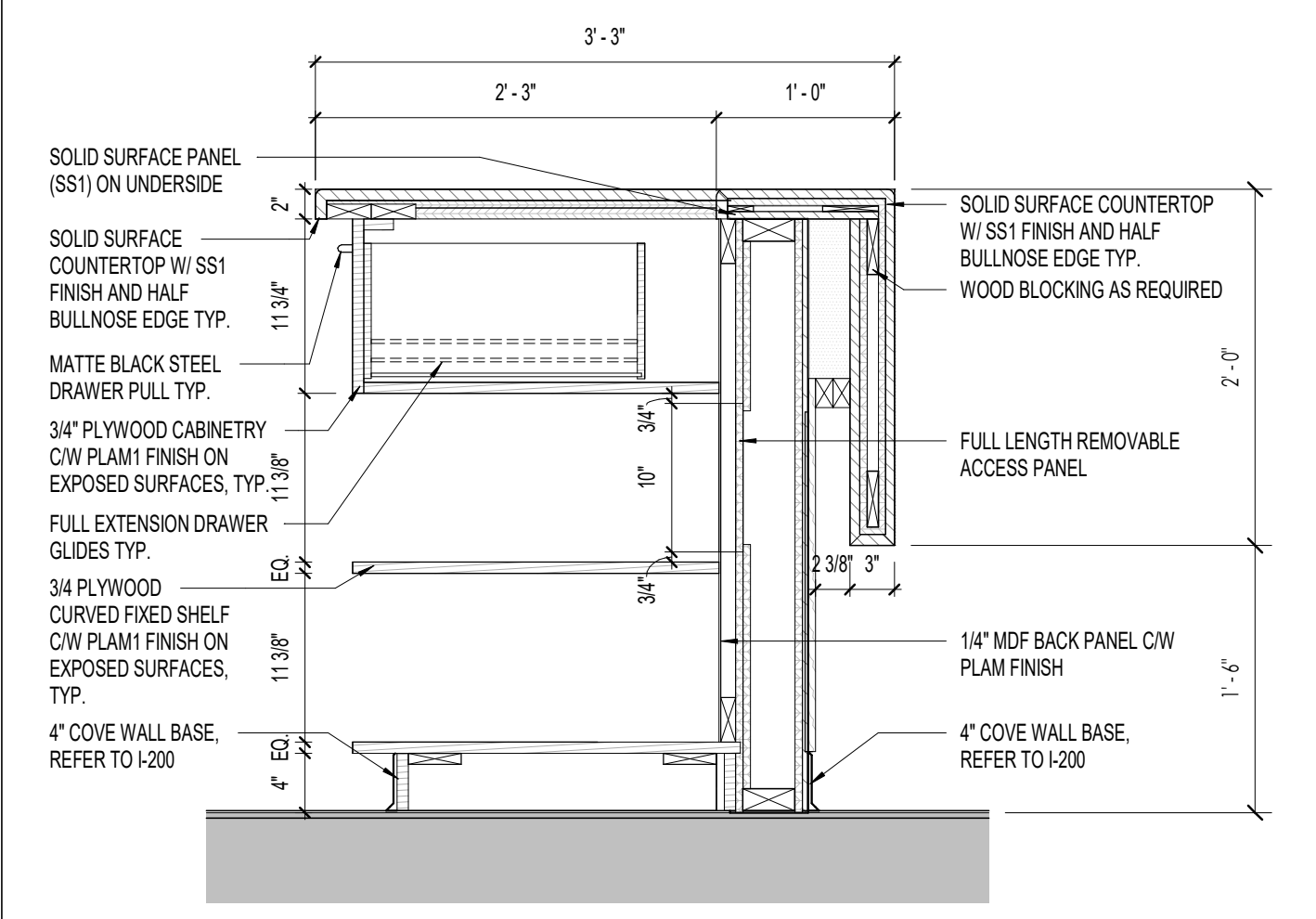
B2 STORAGE / CATERING PREP 124 - MILLWORK SECTION  
ICC-203 Scale: 1" = 1'-0"



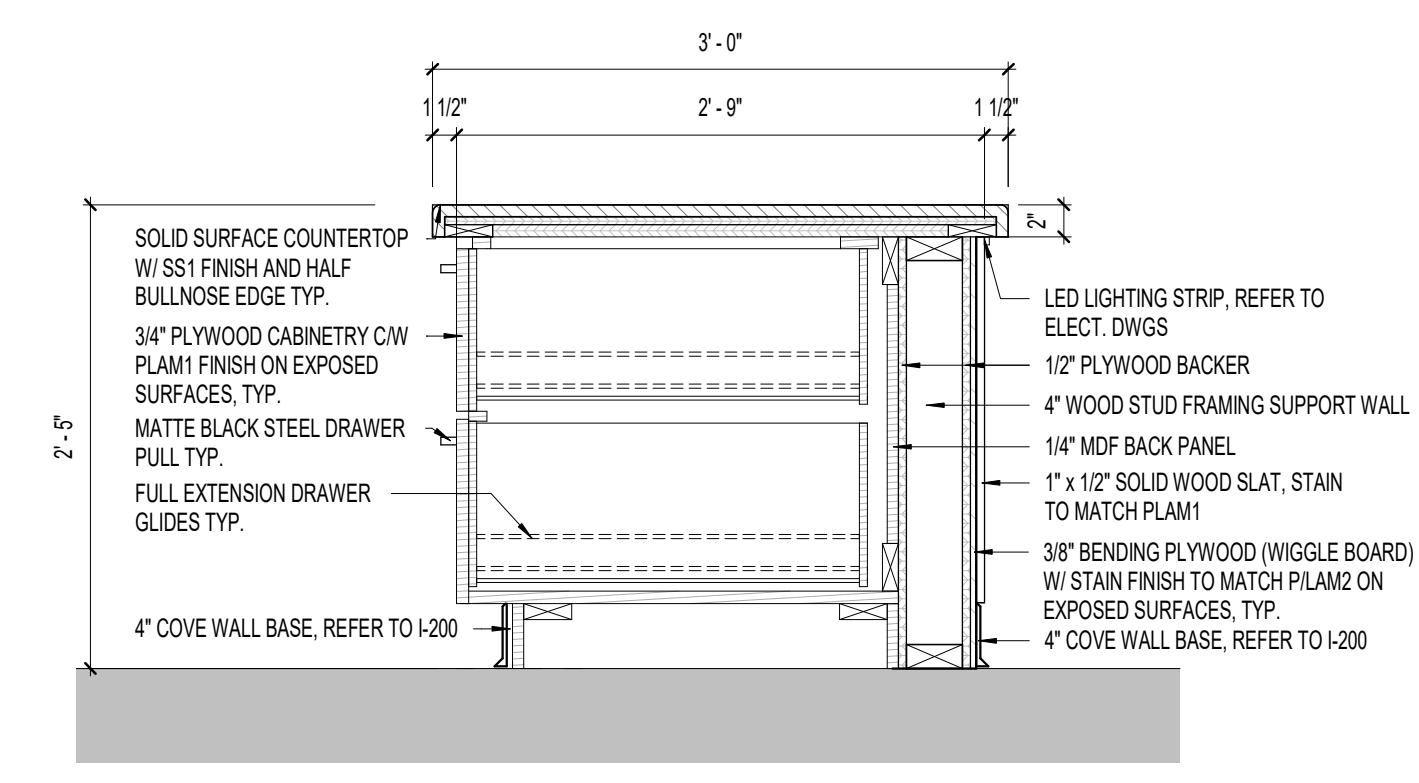
B3 STORAGE / CATERING PREP 124 - MILLWORK SECTION  
ICC-203 Scale: 1" = 1'-0"



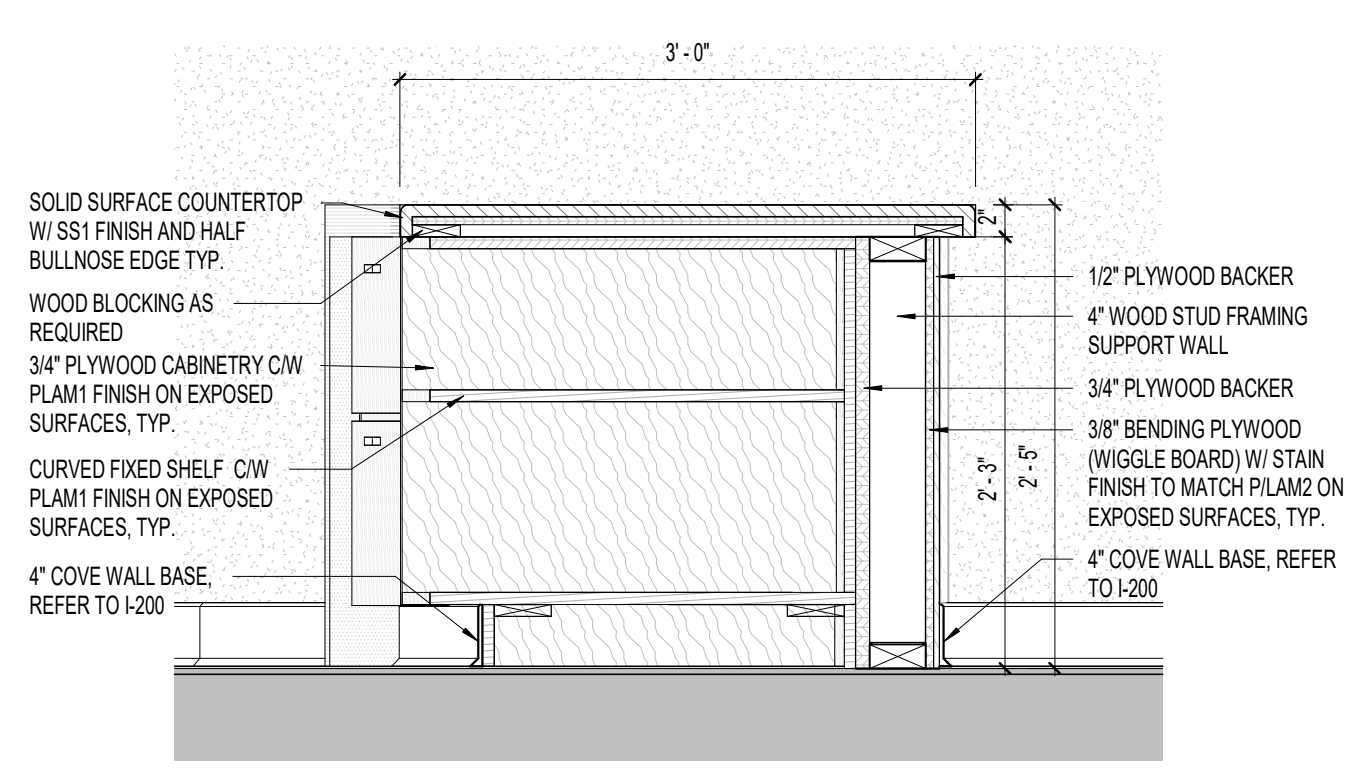
B4 STORAGE / CATERING PREP 124 - MILLWORK SECTION  
ICC-203 Scale: 1" = 1'-0"



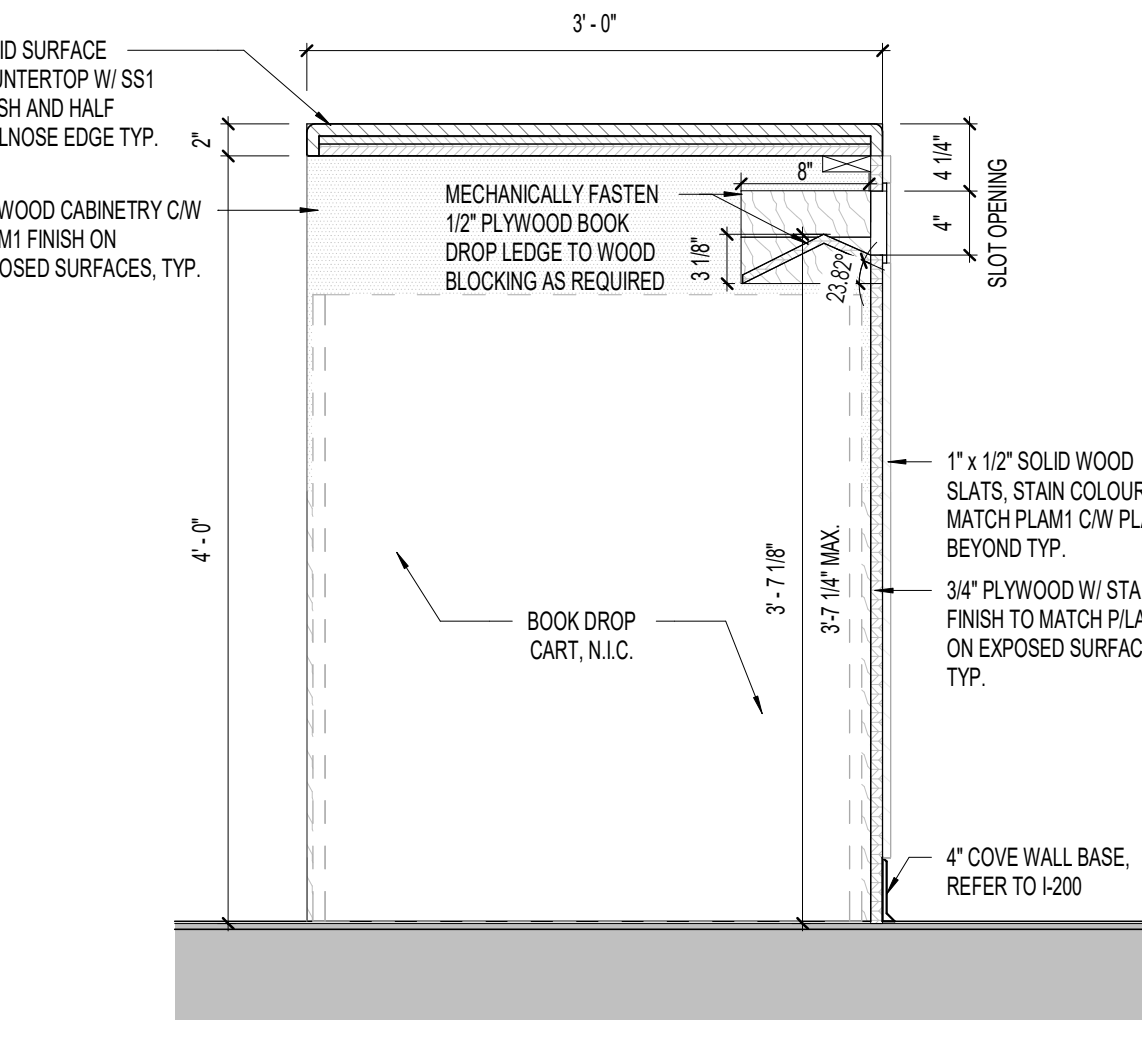
A1 RECEPTION DESK MILLWORK SECTION  
ICC-203 Scale: 1" = 1'-0"



A2 RECEPTION DESK MILLWORK SECTION  
ICC-203 Scale: 1" = 1'-0"



A3 RECEPTION DESK MILLWORK SECTION  
ICC-203 Scale: 1" = 1'-0"



A4 BOOK DROP MILLWORK SECTION  
ICC-203 Scale: 1" = 1'-0"

Key Plan:

AREA OF WORK

London Public Library

PRELIMINARY NOT FOR CONSTRUCTION

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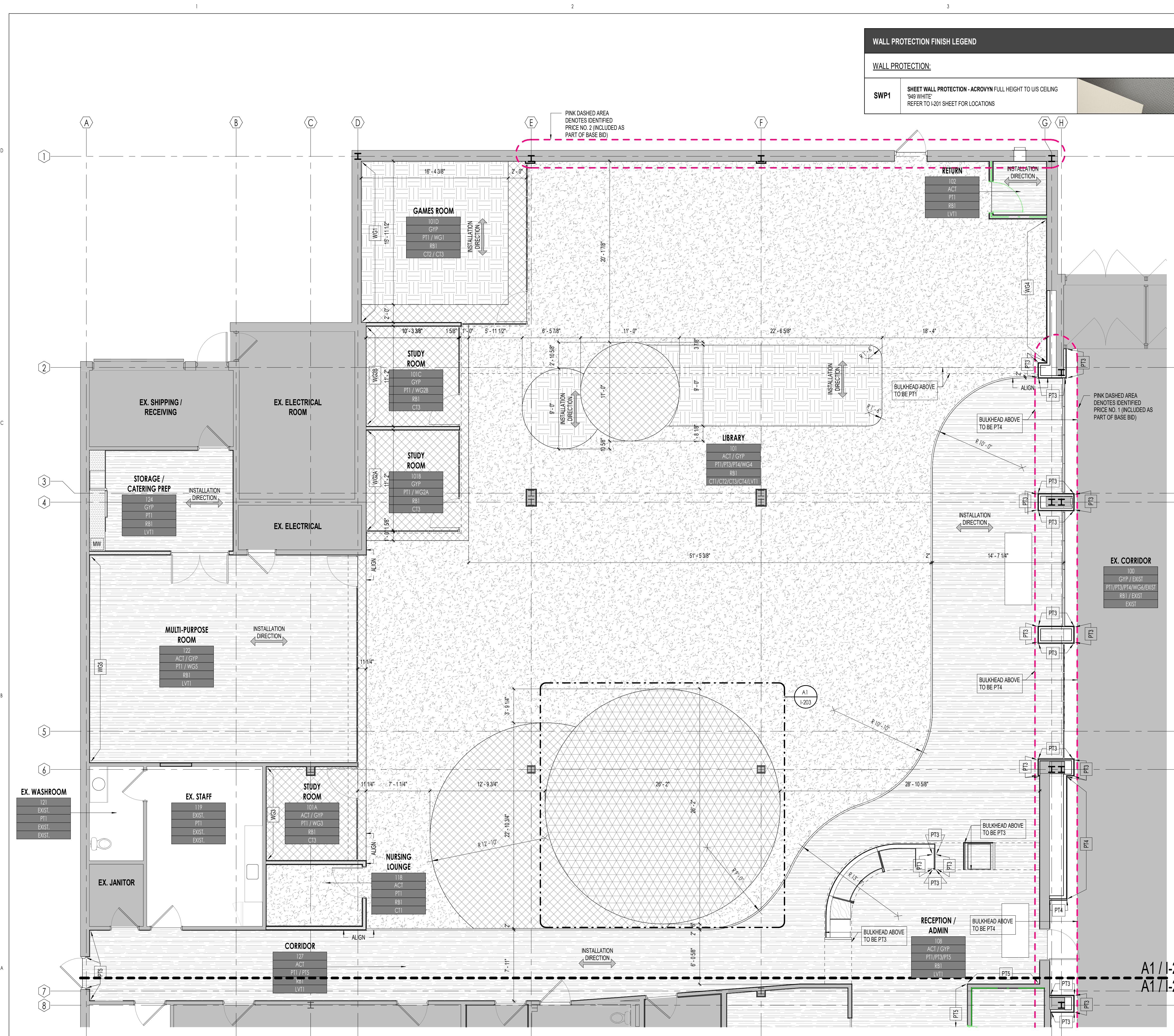
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Project Title: SHERWOOD LIBRARY RENOVATION

USOC PROJECT NO.: Owner 1225 Wonderland Rd N, London, ON N6G 2Y9

Sheet Name: MILLWORK PLANS, ELEVATIONS & SECTION DETAILS

Scale: As indicated Project No: 23-006 Sheet No: ICC-203



WALL PROTECTION FINISH LEGEND	
<b>WALL PROTECTION:</b>	
<b>SWP1</b>	SHEET WALL PROTECTION - ACROVYN FULL HEIGHT TO US CEILING '949 WHITE' REFER TO I-201 SHEET FOR LOCATIONS

INTERIOR FINISH LEGEND	
<b>ROOM NAME</b>	GENERAL NOTES: ALL WALLS TO RECEIVE FIELD COLOUR (PT1) UNLESS OTHERWISE NOTED WHERE NEW FLOORING MATERIALS ARE NOTED, WITHIN THE RENOVATION AREA CONTRACTOR TO PREPARE EXISTING SUBSTRATE AS REQUIRED TO PROVIDE PROPER LAYMENT BETWEEN NEW FLOOR MATERIAL AND EXISTING FLOOR SURFACE. CONTRACTOR TO CONFIRM WITH AND REFER TO MANUFACTURER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION. REFER TO PLANS FOR DIMENSIONS ALL FINISHES ARE TO BE DETERMINED AND FINALIZED BY ARCHITECT AND OWNER
<b>ROOM #</b>	ROOM NUMBER
<b>CEILING</b>	CEILING FINISH
<b>WALL</b>	WALL FINISH
<b>BASE</b>	BASE FINISH
<b>FLOOR</b>	FLOOR FINISH

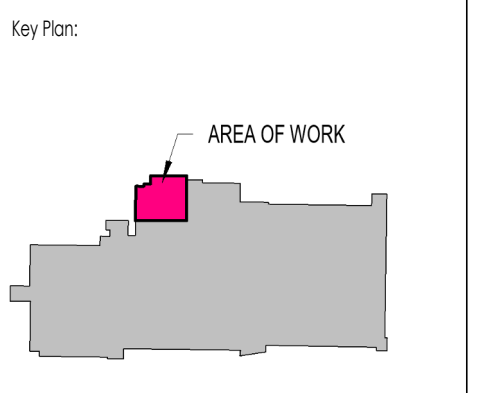
CEILING FINISH:	
<b>ACT</b>	2'X2' LAY-IN ACOUSTIC CEILING TILE - ARMSTRONG (OR APPROVED EQUAL) ULTIMA HIGH NRC #1940 CEILING SYSTEM - WHITE
<b>GYP</b>	PLAIN GYPSUM BOARD CW PAINT FINISH

PAINT FINISH:	
<b>PT1</b>	WALL PAINT - SHERWIN WILLIAMS (OR APPROVED EQUAL) MODERNE WHITE (SW 6168) - EGGSHELL FINISH **ALL GYPSUM WALLS TO BE PT1 UNLESS OTHERWISE NOTED
<b>PT2</b>	CEILING PAINT - SHERWIN WILLIAMS (OR APPROVED EQUAL) PURE WHITE (SW 7005) - FLAT FINISH **ALL GYPSUM CEILINGS TO BE PT2 UNLESS OTHERWISE NOTED
<b>PT3</b>	ACCENT PAINT COLOUR TO MATCH PANTONE 288C - EGGSHELL FINISH
<b>PT4</b>	ACCENT PAINT COLOUR TO MATCH PANTONE 142C - EGGSHELL FINISH
<b>PT5</b>	ACCENT PAINT COLOUR TO MATCH PANTONE 5747C - EGGSHELL FINISH
<b>PT6</b>	DOOR AND FRAME PAINT - SHERWIN WILLIAMS (OR APPROVED EQUAL) BLACK MAGIC (SW 6991) - EGGSHELL FINISH ALL NEW AND EXISTING HM DOORS AND FRAMES TO BE PAINTED PT6, REFER TO DOOR SCHEDULE

WALL FINISH:	
<b>WG1</b>	WALL GRAPHIC TO BE APPROVED BY ARCHITECT AND OWNER
<b>WG2</b>	WALL GRAPHIC (2A + 2B) TO BE APPROVED BY ARCHITECT AND OWNER
<b>WG3</b>	WALL GRAPHIC TO BE APPROVED BY ARCHITECT AND OWNER
<b>WG4</b>	WALL GRAPHIC TO BE APPROVED BY ARCHITECT AND OWNER
<b>WG5</b>	WALL GRAPHIC TO BE APPROVED BY ARCHITECT AND OWNER
<b>WG6</b>	WALL GRAPHIC TO BE APPROVED BY ARCHITECT AND OWNER

BASE FINISH:	
<b>RB1</b>	4" RUBBER WALL BASE - TARKETT (OR APPROVED EQUAL) BURN'T UMBER (63)

FLOOR FINISH:	
<b>CT1</b>	CARPET TILE - INTERFACE (OR APPROVED EQUAL) UP AT DAWN - PHOSPHORUS (107166) 25cm x 1m INSTALLATION METHOD: PARALLEL RANDOM STAGGER
<b>CT2</b>	CARPET TILE - INTERFACE (OR APPROVED EQUAL) REFLECTORS - 'INK CLOUD' (107271) 25cm x 1m INSTALLATION METHOD: PARALLEL RANDOM STAGGER
<b>CT3</b>	CARPET TILE - INTERFACE (OR APPROVED EQUAL) ICE BREAKER - 'JETMIST' (105773) 50cm x 50cm INSTALLATION METHOD: NON DIRECTIONAL
<b>CT4</b>	CARPET TILE - INTERFACE (OR APPROVED EQUAL) PANOLA MOUNTAIN - VARIOUS COLOURS (107298-107305) 50cm x 50cm **REFER TO ENLARGED PLAN ON SHEET I-203 FOR LAYOUT**
<b>LVT1</b>	LUXURY VINYL TILE - TARKETT (OR APPROVED EQUAL) EVENT+ WOOD CRAFTED PLANK 'ATLANTIC WALNUT' (11217) INSTALLATION METHOD: PARALLEL RANDOM STAGGER



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519.401.4274  
info@matterinc.ca  
matterinc.ca

Project Title:  
SHERWOOD LIBRARY RENOVATION

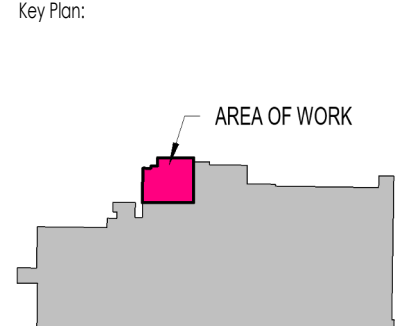
1225 Wonderland Rd N, London, ON N6G 2V9  
Sheet Name:  
ENLARGED INTERIOR FINISH PLAN - NORTH

Scale:  
As indicated  
Project No:  
23-006  
Sheet No:  
I-200

**A1**  
ENLARGED INTERIOR FINISH PLAN - NORTH  
I-200 Scale: 3/16" = 1'-0"

WALL PROTECTION FINISH LEGEND	
<b>WALL PROTECTION:</b>	
<b>SWP1</b>	SHEET WALL PROTECTION - ACRYLYN FULL HEIGHT TO US CEILING '949 WHITE' REFER TO I-201 SHEET FOR LOCATIONS

INTERIOR FINISH LEGEND	
<b>ROOM NAME</b>	GENERAL NOTES:
<b>ROOM #</b>	ALL WALLS TO RECEIVE FIELD COLOUR (PT1) UNLESS OTHERWISE NOTED
<b>CEILING</b>	WHERE NEW FLOORING MATERIALS ARE NOTED, WITHIN THE RENOVATION AREA, CONTRACTOR TO PREPARE EXISTING SUBSTRATE AS REQUIRED TO PROVIDE PROPER LAYMENT BETWEEN NEW FLOOR MATERIAL AND EXISTING FLOOR SURFACE. CONTRACTOR TO CONFIRM WITH AND REFER TO MANUFACTURER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION. REFER TO PLANS FOR DIMENSIONS
<b>WALL</b>	ALL FINISHES ARE TO BE DETERMINED AND FINALIZED BY ARCHITECT AND OWNER
<b>BASE</b>	
<b>FLOOR</b>	



CEILING FINISH:	
<b>ACT</b>	2'X2' LAY-IN ACOUSTIC CEILING TILE - ARMSTRONG (OR APPROVED EQUAL) 'ULTIMA HIGH NRC #1940 CEILING SYSTEM - WHITE'
<b>GYP</b>	PLAIN GYPSUM BOARD CW PAINT FINISH

PAINT FINISH:	
<b>PT1</b>	WALL PAINT - SHERWIN WILLIAMS (OR APPROVED EQUAL) 'MODERNE WHITE' (SW 6168) - EGGSHELL FINISH **ALL GYPSUM WALLS TO BE PT1 UNLESS OTHERWISE NOTED
<b>PT2</b>	CEILING PAINT - SHERWIN WILLIAMS (OR APPROVED EQUAL) 'PURE WHITE' (SW 7005) - FLAT FINISH **ALL GYPSUM CEILINGS TO BE PT2 UNLESS OTHERWISE NOTED
<b>PT3</b>	ACCENT PAINT COLOUR TO MATCH PANTONE 288C - EGGSHELL FINISH
<b>PT4</b>	ACCENT PAINT COLOUR TO MATCH PANTONE 142C - EGGSHELL FINISH
<b>PT5</b>	ACCENT PAINT COLOUR TO MATCH PANTONE 5747C - EGGSHELL FINISH
<b>PT6</b>	DOOR AND FRAME PAINT - SHERWIN WILLIAMS (OR APPROVED EQUAL) 'BLACK MAGIC' (SW 6991) - EGGSHELL FINISH ALL NEW AND EXISTING HM DOORS AND FRAMES TO BE PAINTED PT6, REFER TO DOOR SCHEDULE

WALL FINISH:	
<b>WG1</b>	WALL GRAPHIC TO BE APPROVED BY ARCHITECT AND OWNER
<b>WG2</b>	WALL GRAPHIC (2A + 2B) TO BE APPROVED BY ARCHITECT AND OWNER
<b>WG3</b>	WALL GRAPHIC TO BE APPROVED BY ARCHITECT AND OWNER
<b>WG4</b>	WALL GRAPHIC TO BE APPROVED BY ARCHITECT AND OWNER
<b>WG5</b>	WALL GRAPHIC TO BE APPROVED BY ARCHITECT AND OWNER
<b>WG6</b>	WALL GRAPHIC TO BE APPROVED BY ARCHITECT AND OWNER

BASE FINISH:	
<b>RB1</b>	4" RUBBER WALL BASE - TARKETT (OR APPROVED EQUAL) 'BURNIT UMBER' (63)

FLOOR FINISH:	
<b>CT1</b>	CARPET TILE - INTERFACE (OR APPROVED EQUAL) UP AT DAWN - 'PHOSPHORUS' (107166) 25cm x 1m INSTALLATION METHOD: PARALLEL RANDOM STAGGER
<b>CT2</b>	CARPET TILE - INTERFACE (OR APPROVED EQUAL) REFLECTORS - 'INK CLOUD' (107271) 25cm x 1m INSTALLATION METHOD: PARALLEL RANDOM STAGGER
<b>CT3</b>	CARPET TILE - INTERFACE (OR APPROVED EQUAL) ICE BREAKER - 'JETMIST' (105773) 50cm x 50cm INSTALLATION METHOD: NON DIRECTIONAL
<b>CT4</b>	CARPET TILE - INTERFACE (OR APPROVED EQUAL) PANOLA MOUNTAIN - VARIOUS COLOURS (107298-107305) 50cm x 50cm **REFER TO ENLARGED PLAN ON SHEET I-203 FOR LAYOUT**
<b>LVT1</b>	LUXURY VINYL TILE - TARKETT (OR APPROVED EQUAL) EVENT+ WOOD CRAFTED PLANK 'ATLANTIC WALNUT' (11217) INSTALLATION METHOD: PARALLEL RANDOM STAGGER

4 2024 09 18 IFT  
3 2024 08 15 CLIENT REVIEW  
1 2024 05 22 PERMIT

NO. DATE ISSUED FOR: BY:

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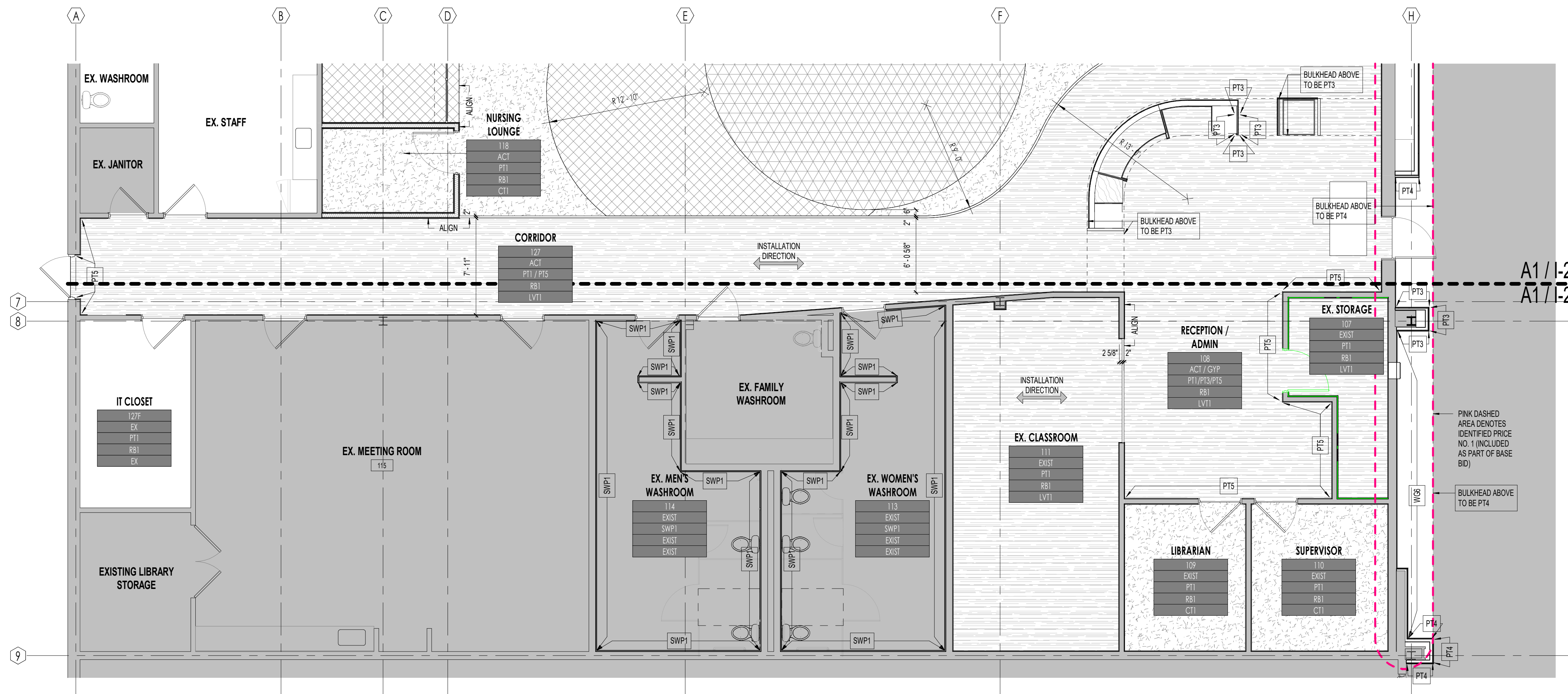
Project Title:  
SHERWOOD LIBRARY RENOVATION

UHC PROJECT NO.: Owner  
1225 Wonderland Rd N, London, ON N6G 2W9

Sheet Name:  
ENLARGED INTERIOR FINISH PLAN - SOUTH

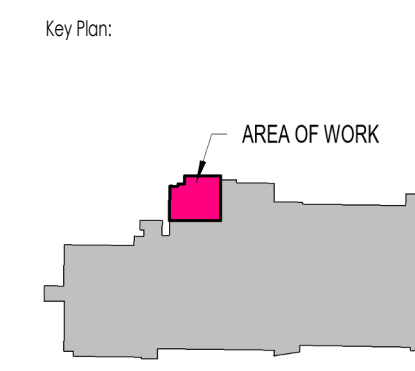
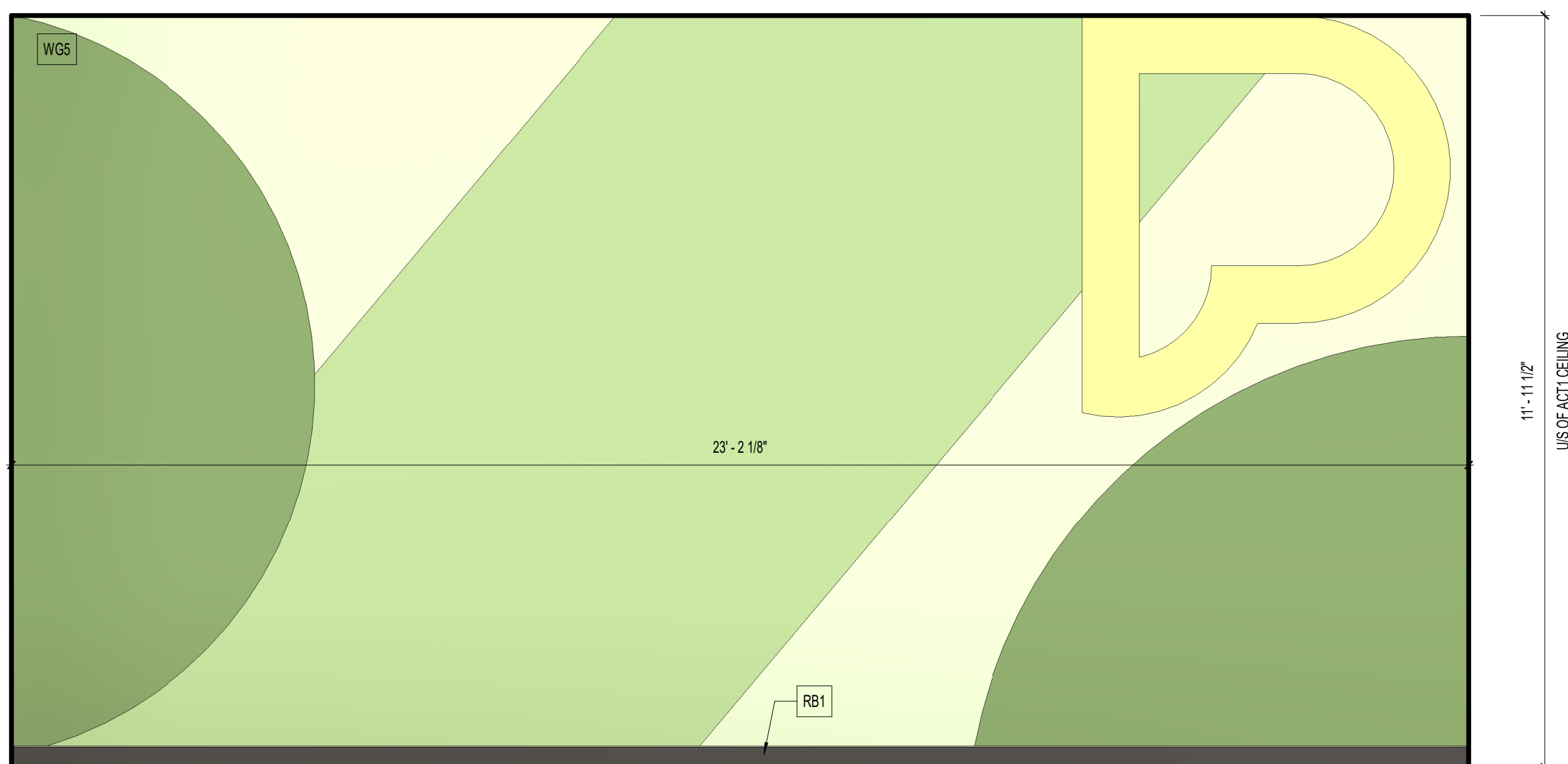
Scale:  
As indicated

Project No:  
23-006  
Sheet No:  
I-201



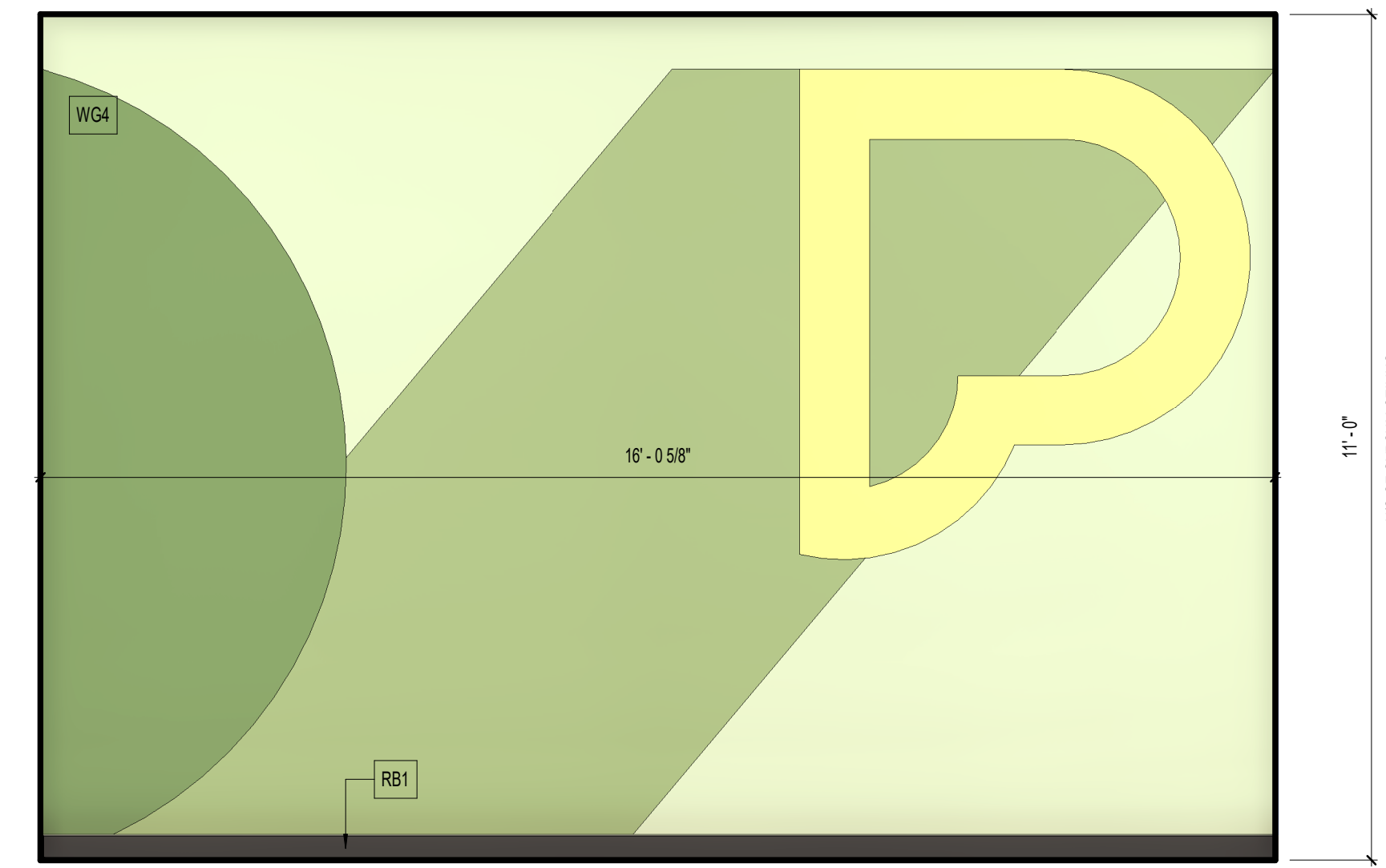
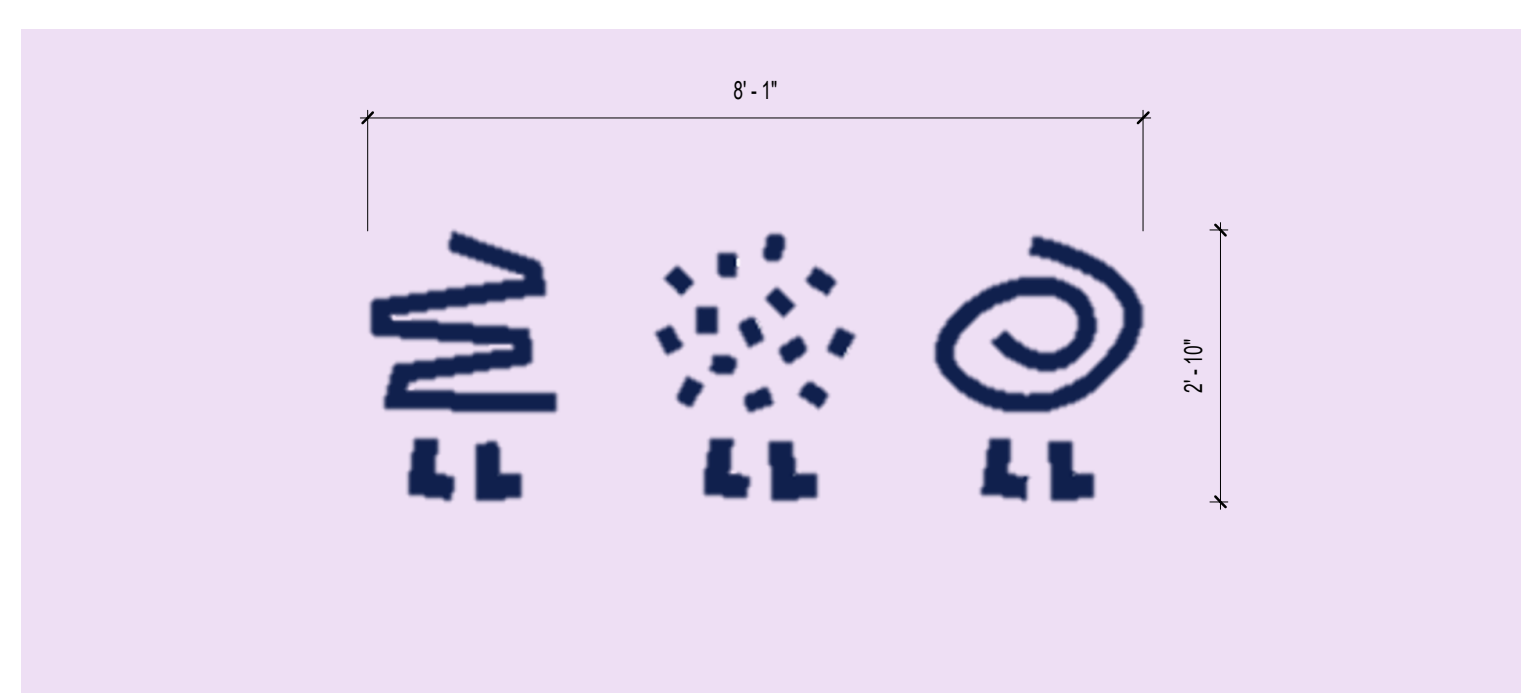
**N**  
A1 ENLARGED INTERIOR FINISH PLAN - SOUTH  
I-201 Scale: 3/16" = 1'-0"

FINAL GRAPHICS TO BE CONFIRMED BY CLIENT



D1 WALL GRAPHIC 5

1-202 Scale: 1/2" = 1'-0"

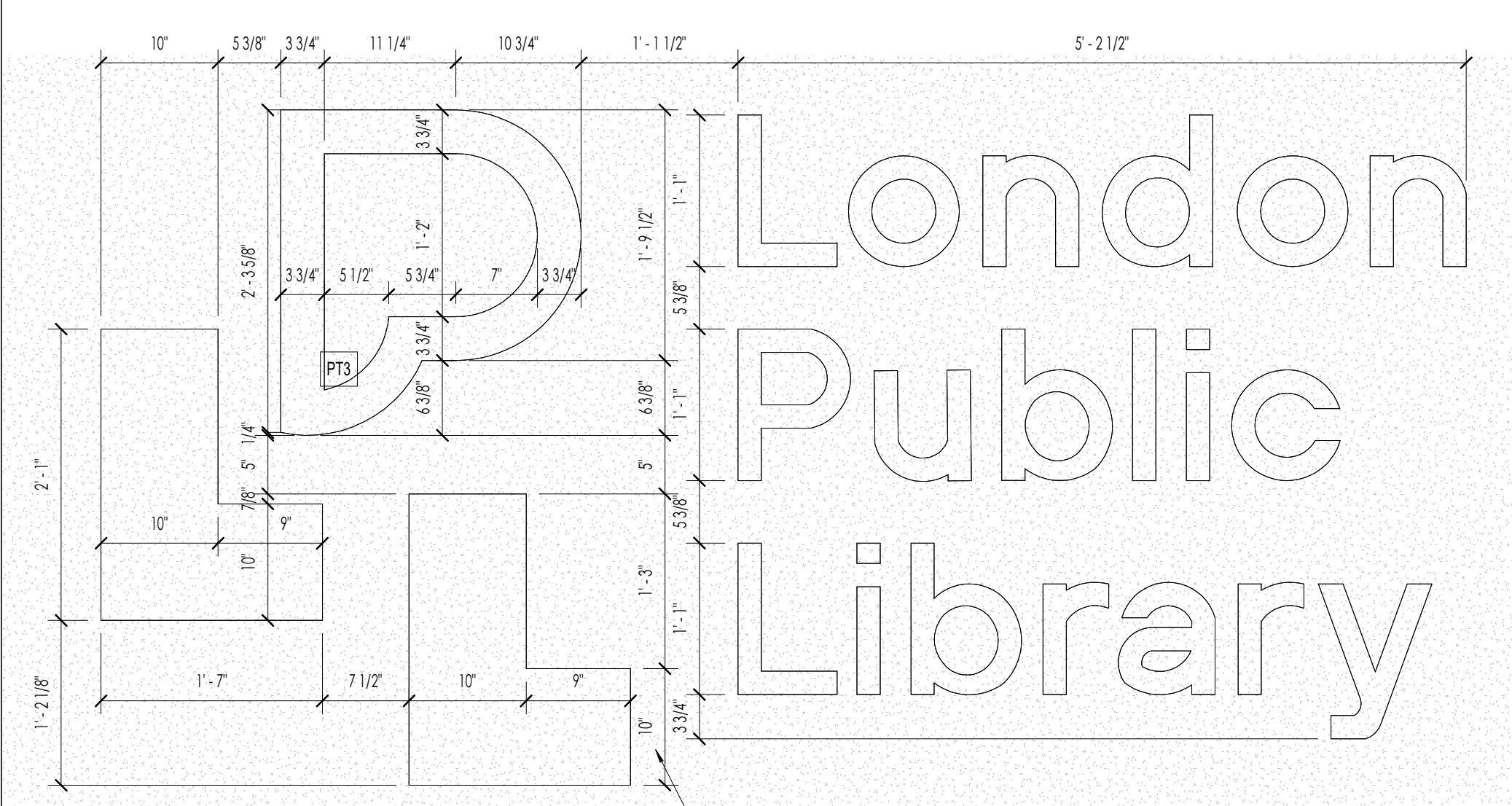


B2 WALL GRAPHIC 4

1-202 Scale: 1/2" = 1'-0"

B1 WALL DETAIL - WALL GRAPHIC 3

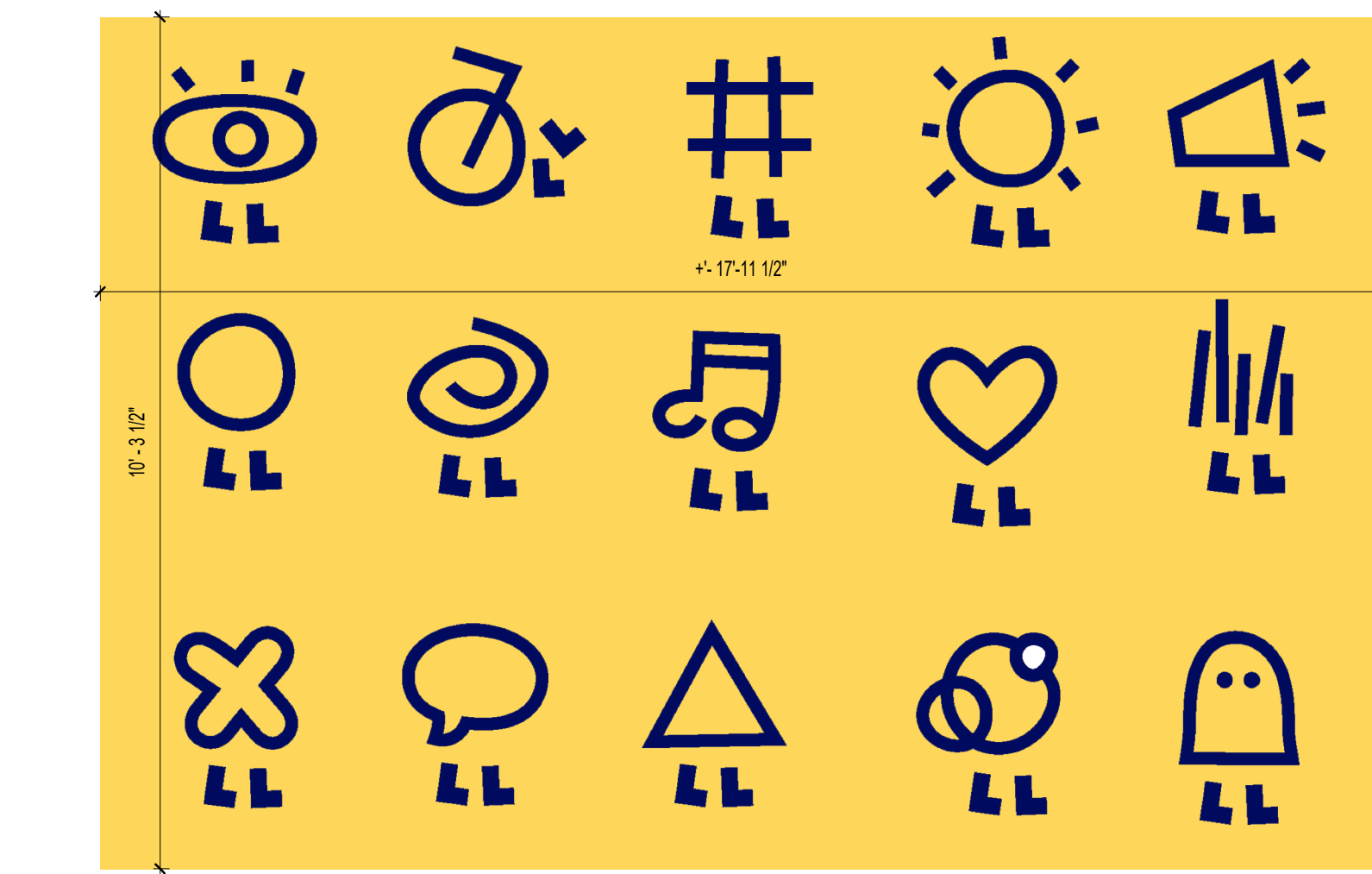
1-202 Scale: 1/2" = 1'-0"



LONDON LIBRARY LOGO AND TEXT SIGNAGE. WALL MOUNTED BLUE METAL TEXT (BY OTHERS). COLOUR TO MATCH PTS. PROVIDE PLYWOOD BACKING IN WALL BEYOND

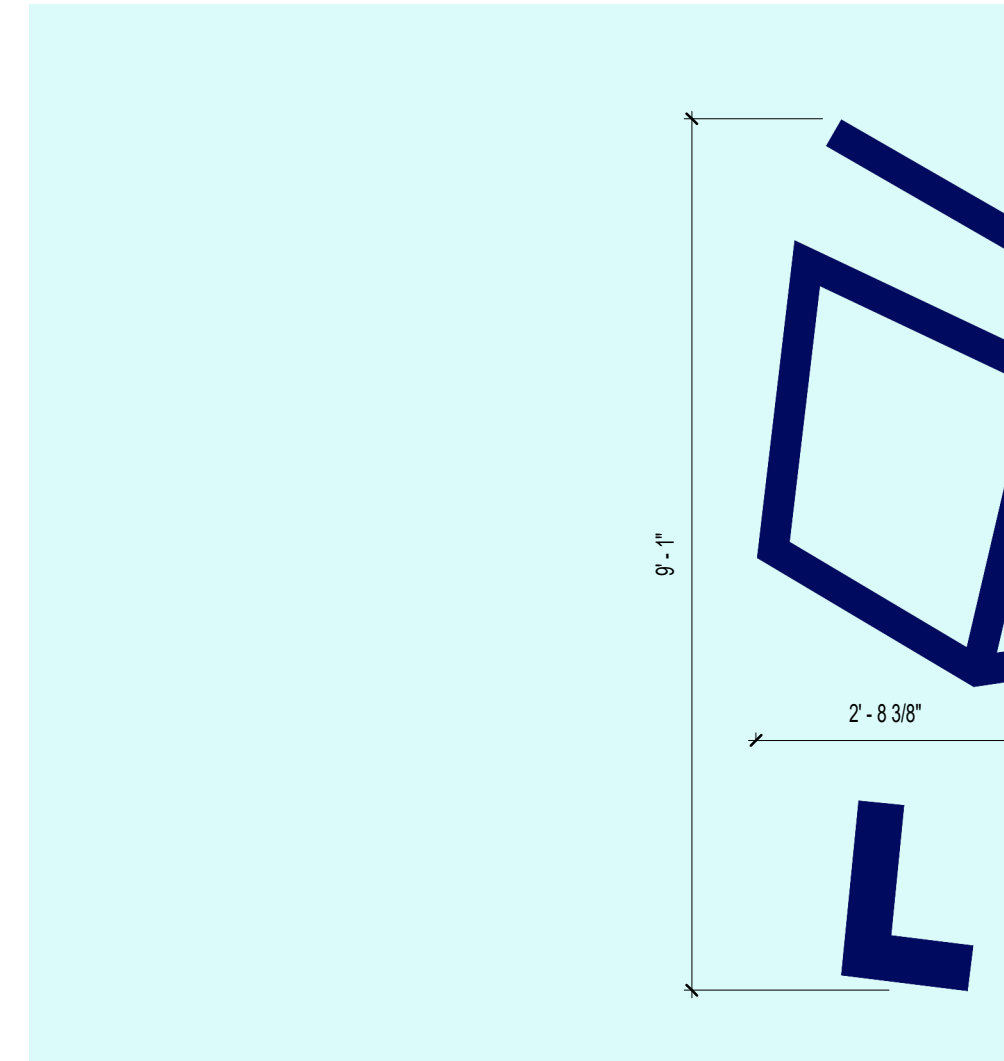
A1 WALL DETAIL - NEW LOGO AT EXISTING CORRIDOR

1-202 Scale: 1" = 1'-0"



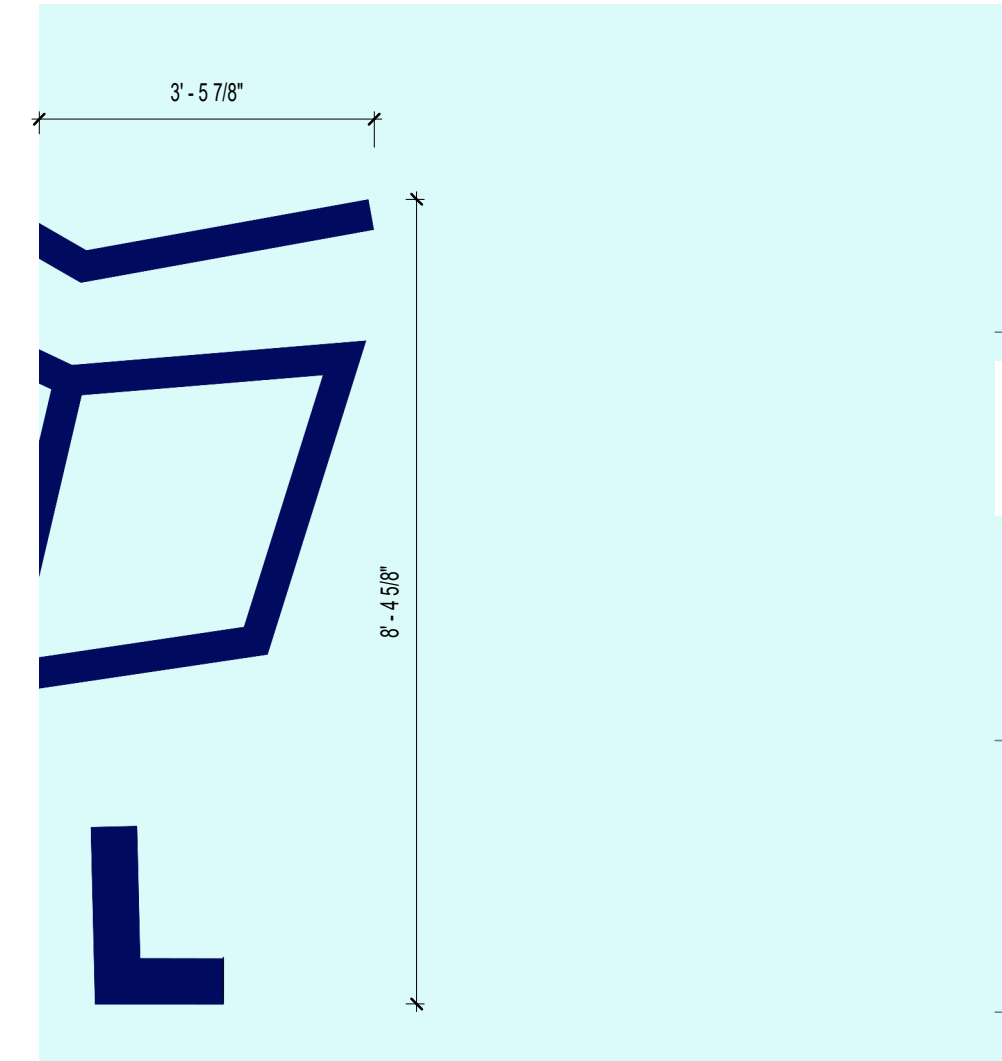
A2 WALL DETAIL - WALL GRAPHIC 1

1-202 Scale: 1/2" = 1'-0"



A3 WALL DETAIL - WALL GRAPHIC 2A

1-202 Scale: 1/2" = 1'-0"



A4 WALL DETAIL - WALL GRAPHIC 2B

1-202 Scale: 1/2" = 1'-0"

4 2024 05 18 IFT SW, HR, BP  
 1 2024 05 22 PERMIT HR, SW  
 NO. DATE ISSUED FOR: BY:

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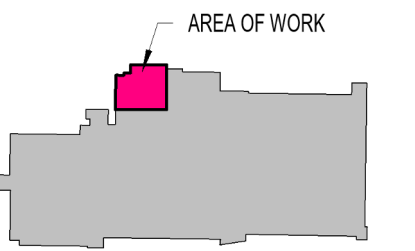
Sheet Name:  
 INTERIOR FINISH DETAILS

Scale:  
 As indicated

Project No:  
 23-006

Sheet No:  
 1-202





NO.	DATE	ISSUED FOR:	BY:
4	2024.05.18	IFT	SW, HR, BP
1	2024.05.22	PERMIT	HR, SW

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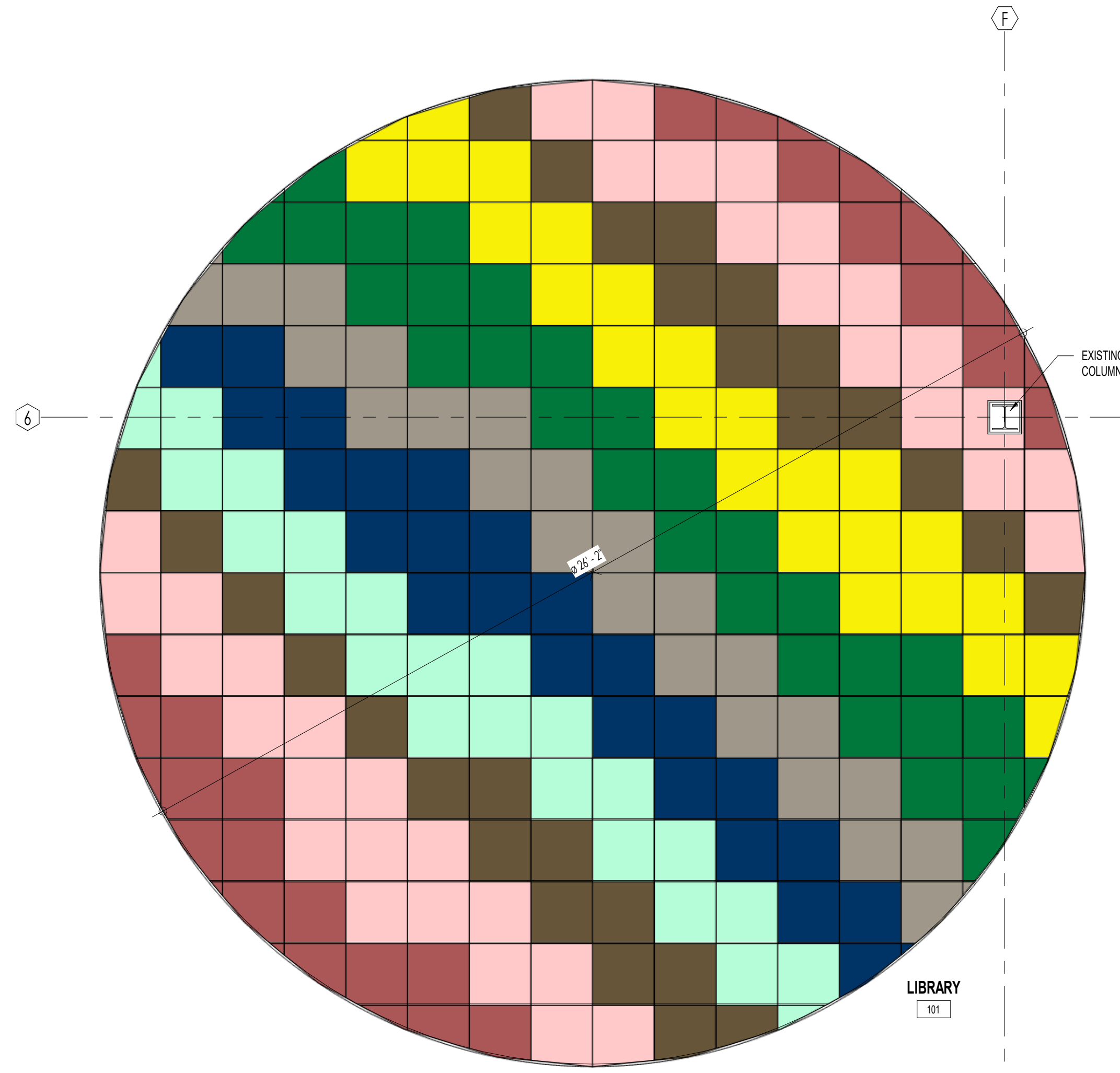
1225 Wonderland Rd N, London, ON N6G 2V9

Sheet Name:  
INTERIOR FINISH DETAILS

Scale:  
3/8" = 1'-0"

Project No:  
23-006

Sheet No:  
I-203



-  Granite Mountain Collection - Panola Mountain  
107298 Rust Lichen  
500 x 500 mm  
Installed Non Directional
-  Granite Mountain Collection - Panola Mountain  
107299 Blush Lichen  
500 x 500 mm  
Installed Non Directional
-  Granite Mountain Collection - Panola Mountain  
107300 Brown Lichen  
500 x 500 mm  
Installed Non Directional
-  Granite Mountain Collection - Panola Mountain  
107301 Yellow Lichen  
500 x 500 mm  
Installed Non Directional
-  Granite Mountain Collection - Panola Mountain  
107302 Green Lichen  
500 x 500 mm  
Installed Non Directional
-  Granite Mountain Collection - Panola Mountain  
107303 Meadow Lichen  
500 x 500 mm  
Installed Non Directional
-  Granite Mountain Collection - Panola Mountain  
107304 Blue Lichen  
500 x 500 mm  
Installed Non Directional
-  Granite Mountain Collection - Panola Mountain  
107305 Sage Lichen  
500 x 500 mm  
Installed Non Directional

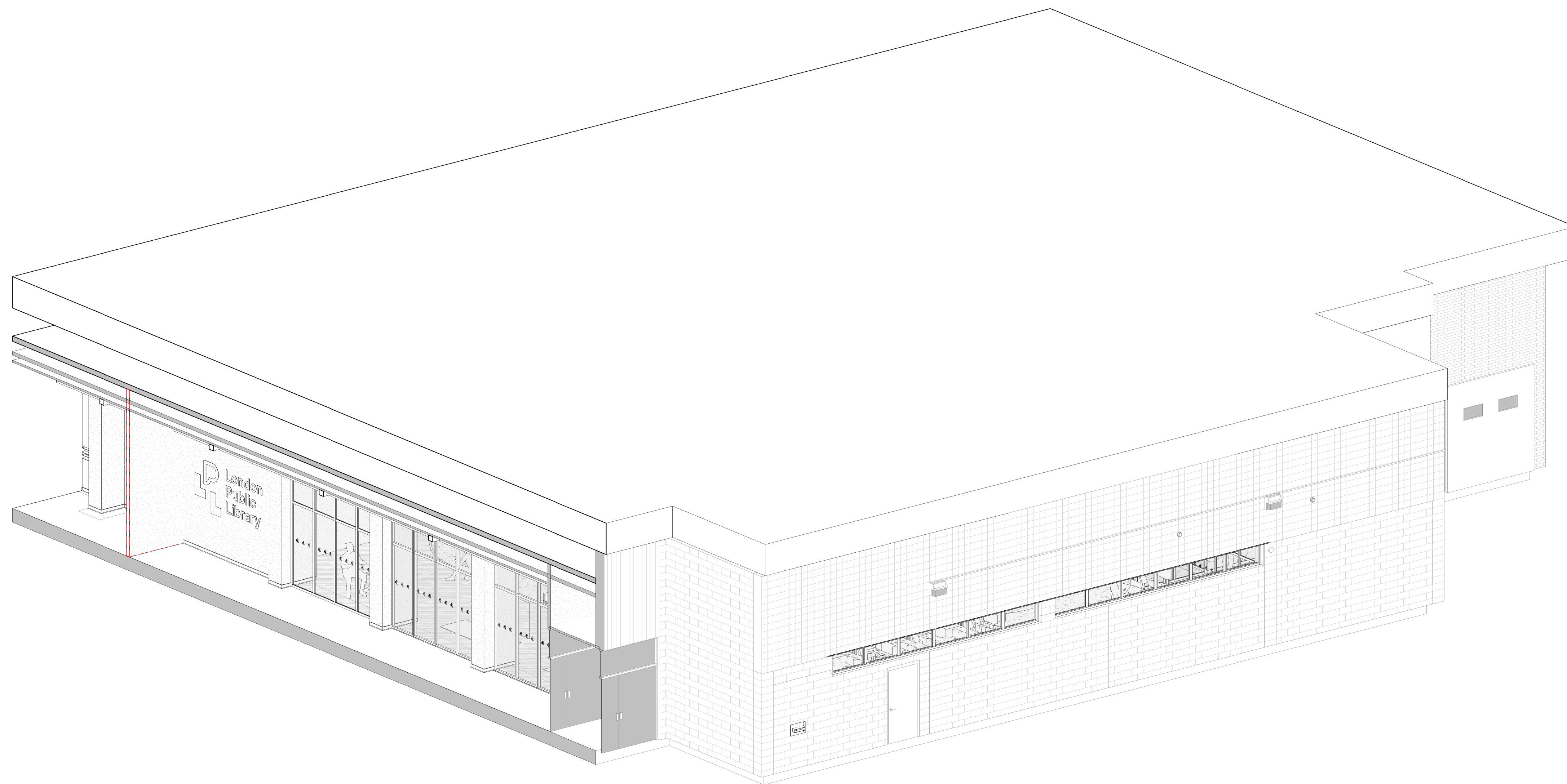
A1 ENLARGED INTERIOR FINISH PLAN - THE NEST  
I-203 Scale: 3/8" = 1'-0"

DRAWING LIST	
DRAWING NUMBER	DRAWING TITLE
S-0.0	COVER SHEET
S-0.1	SPECIFICATIONS I
S-1.0	EXISTING/NEW FLOOR PLAN
S-2.0	ELEVATIONS I
S-2.1	ELEVATION II
S-5.0	LOADING AND SCHEDULE
S-6.0	TYPICAL DETAILS I
S-6.1	TYPICAL DETAILS II
S-6.2	TYPICAL DETAILS III
S-6.3	TYPICAL DETAILS IV

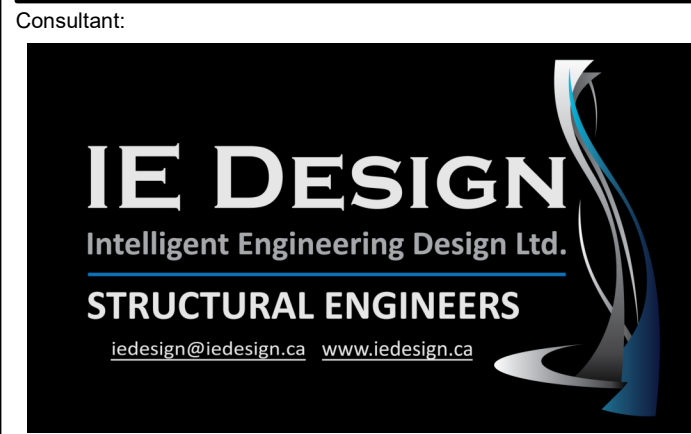
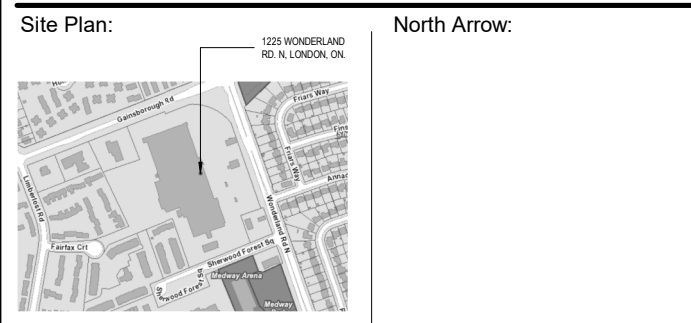
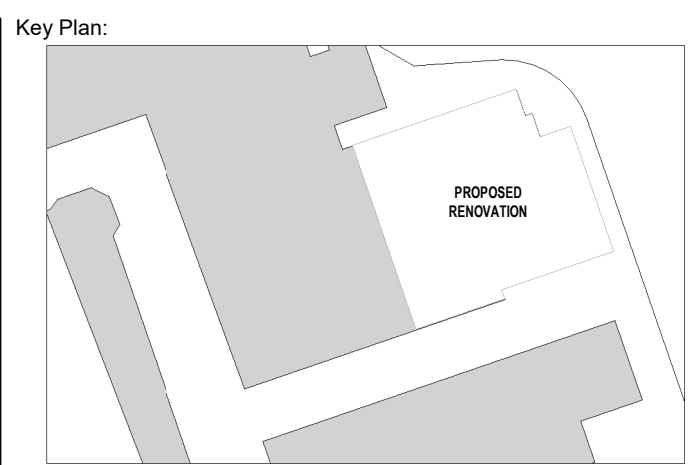
# SHERWOOD LIBRARY RENOVATION

## STRUCTURAL DRAWINGS PROJECT #2022-92

1225 WONDERLAND RD. N, LONDON, ON.



**3D SCHEMATIC**  
SCALE: NTS



Seal: \_\_\_\_\_ Seal: \_\_\_\_\_

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No.	Date	Revision
5	SEP 08, 2024	ISSUED FOR COORDINATION
4	JULY 26, 2024	ISSUED FOR TENDER/CONSTRUCTION
3	MAY 15, 2024	RE-ISSUED FOR PERMIT
2	MAR 28, 2024	ISSUED FOR PERMIT
1	FEB 08, 2024	ISSUED FOR COORDINATION

**ISSUES/REVISION TABLE**



**SHERWOOD LIBRARY RENOVATION**

1225 WONDERLAND RD. N, LONDON, ON.

Drawing Title:

**COVER SHEET**

Drawn By: D.K./S.D. Scale: AS INDICATED

Checked By: M.A.H. Plot Date: SEP 10-2024

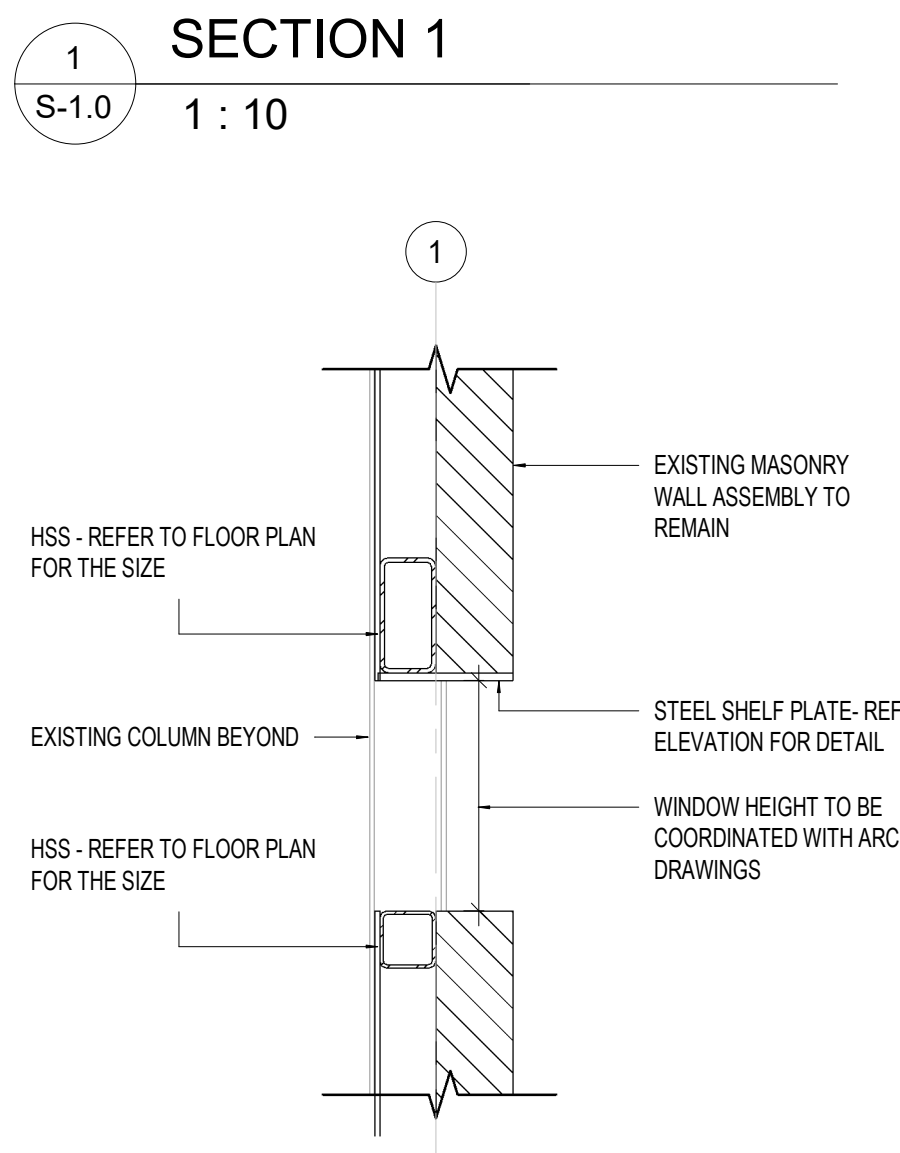
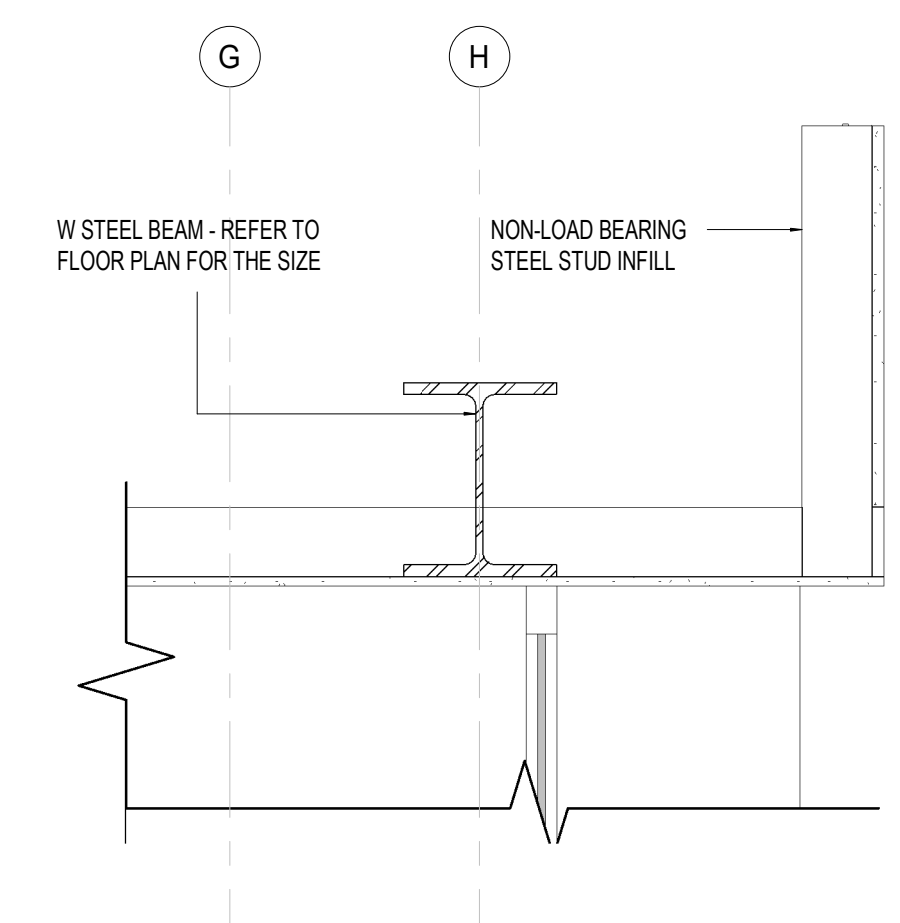
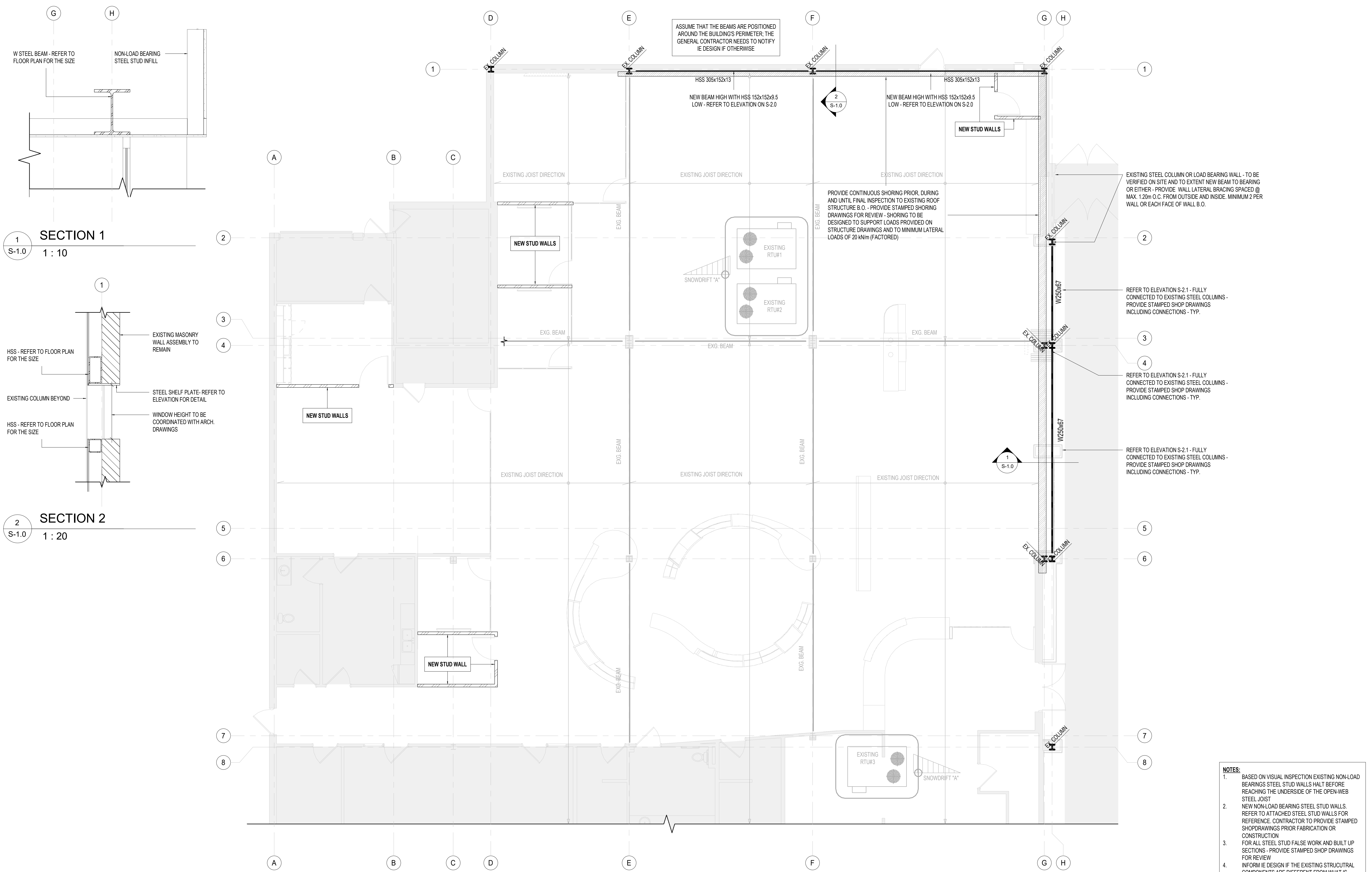
Project Date: DEC. 2022

Project No: 2022-92

Drawing No: \_\_\_\_\_ Revision: \_\_\_\_\_

**S-0.0 5**





ASSUME THAT THE BEAMS ARE POSITIONED AROUND THE BUILDING'S PERIMETER. THE GENERAL CONTRACTOR NEEDS TO NOTIFY IE DESIGN IF OTHERWISE

PROVIDE CONTINUOUS SHORING PRIOR, DURING AND UNTIL FINAL INSPECTION TO EXISTING ROOF STRUCTURE B.O. - PROVIDE STAMPED SHORING DRAWINGS FOR REVIEW - SHORING TO BE DESIGNED TO SUPPORT LOADS PROVIDED ON STRUCTURE DRAWINGS AND TO MINIMUM LATERAL LOADS OF 20 kN/m (FACTORED)

EXISTING STEEL COLUMN OR LOAD BEARING WALL - TO BE VERIFIED ON SITE AND TO EXTEND NEW BEAM TO BEARING EITHER - PROVIDE WALL LATERAL BRACING SPACED @ MAX. 1.20m O.C. FROM OUTSIDE AND INSIDE. MINIMUM 2 PER WALL OR EACH FACE OF WALL B.O.

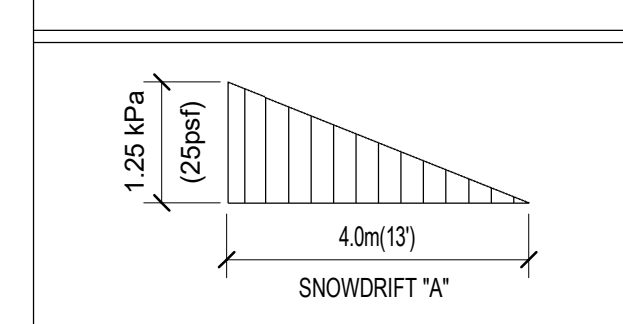
REFER TO ELEVATION S-2.1 - FULLY CONNECTED TO EXISTING STEEL COLUMNS - PROVIDE STAMPED SHOP DRAWINGS INCLUDING CONNECTIONS - TYP.

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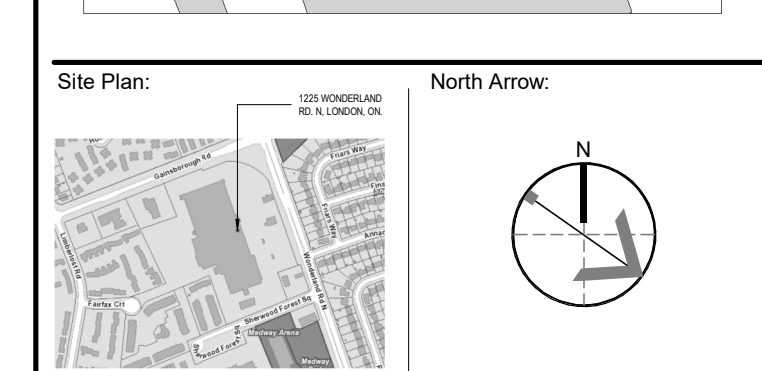
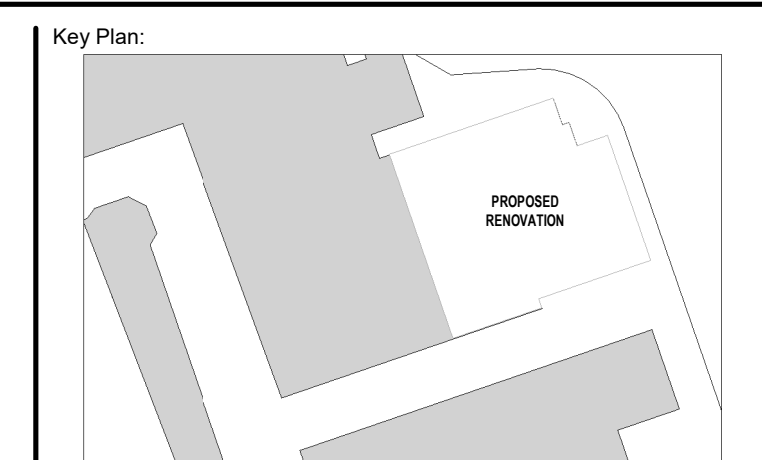
REFER TO ELEVATION S-2.1 - FULLY CONNECTED TO EXISTING STEEL COLUMNS - PROVIDE STAMPED SHOP DRAWINGS INCLUDING CONNECTIONS - TYP.

- NOTES:**
- BASED ON VISUAL INSPECTION EXISTING NON-LOAD BEARING STEEL STUD WALLS HALT BEFORE REACHING THE UNDERSIDE OF THE OPEN-WEB STEEL JOIST
  - NEW NON-LOAD BEARING STEEL STUD WALLS. REFER TO ATTACHED STEEL STUD WALLS FOR REFERENCE. CONTRACTOR TO PROVIDE STAMPED SHOPDRAWINGS PRIOR FABRICATION OR CONSTRUCTION
  - FOR ALL STEEL STUD FALSE WORK AND BUILT UP SECTIONS - PROVIDE STAMPED SHOP DRAWINGS FOR REVIEW
  - INFORM IE DESIGN IF THE EXISTING STRUCTURAL COMPONENTS ARE DIFFERENT FROM WHAT IS SHOWN ON-SITE

**SNOWDRIFT DIAGRAM**



**EXISTING/NEW FLOOR PLAN**  
SCALE: 1 : 75



Consultant:

**IE DESIGN**  
Intelligent Engineering Design Ltd.  
STRUCTURAL ENGINEERS  
iedesign@iedesign.co.uk www.iedesign.co.uk

Seal: \_\_\_\_\_ Seal: \_\_\_\_\_

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**ISSUES/REVISION TABLE**

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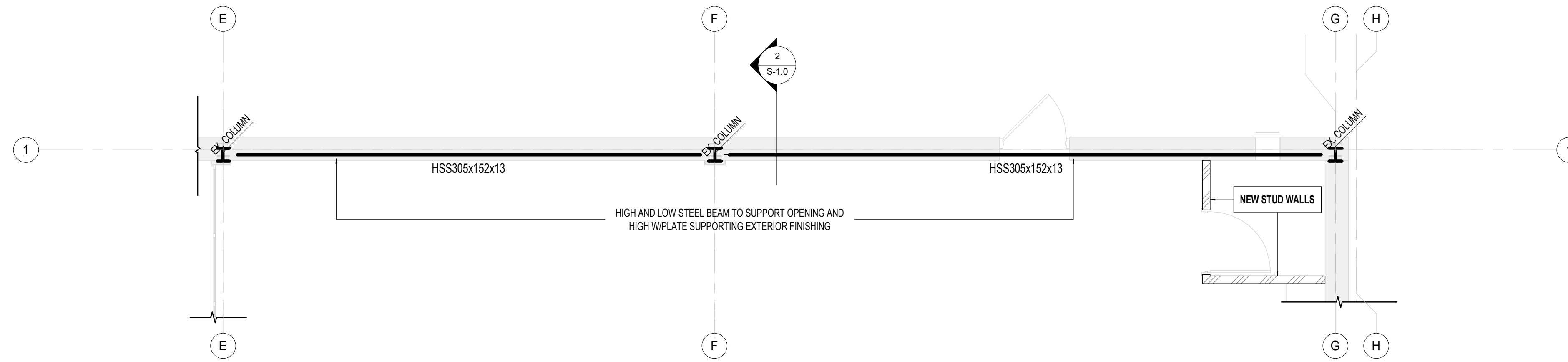
**SHERWOOD LIBRARY RENOVATION**  
1225 WONDERLAND RD. N. LONDON, ON.

Drawing Title:

**EXISTING/NEW FLOOR PLAN**

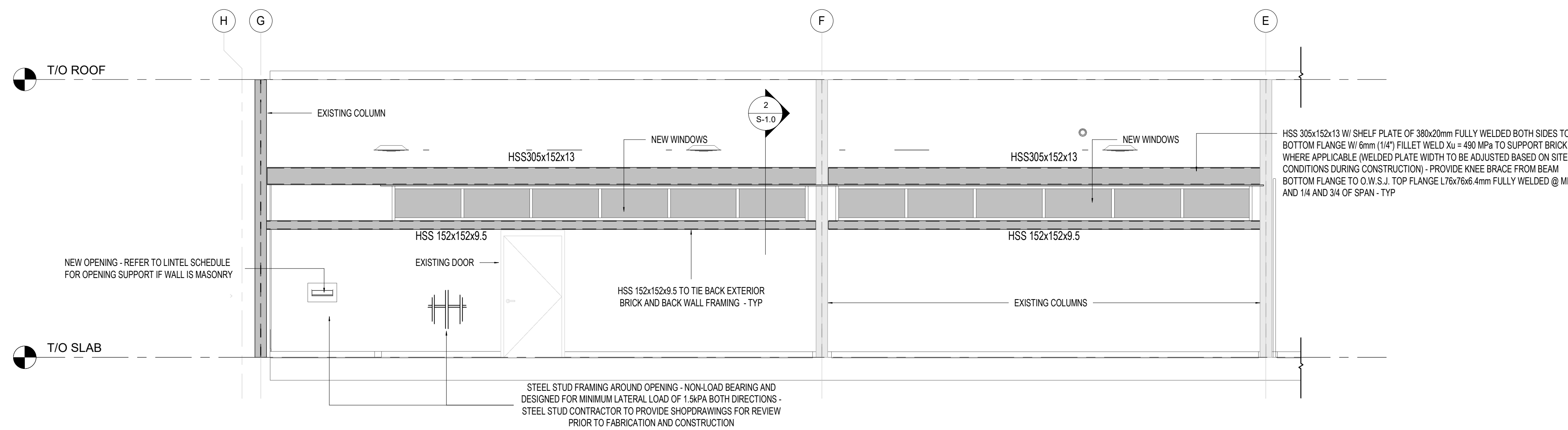
Drawn By: D.K./S.D. Scale: AS INDICATED  
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Project Date: DEC. 2022  
Project No: 2022-92

Drawing No: **S-1.0** Revision: **5**



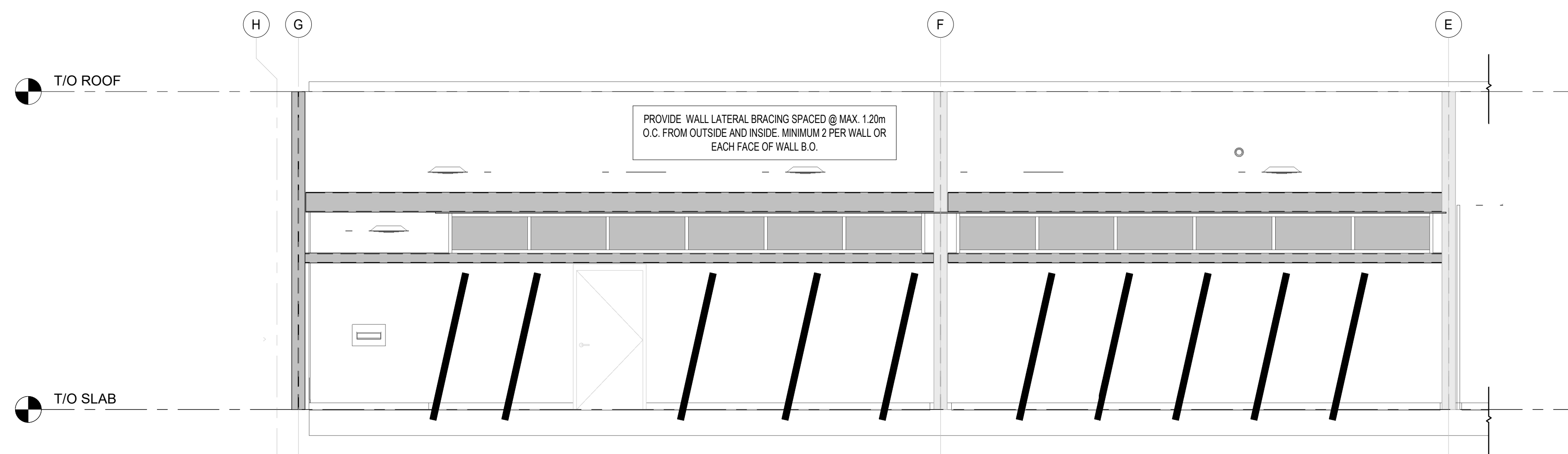
**FLOOR PLAN G.L. 1**

SCALE: 1 : 50



**EAST ELEVATION**

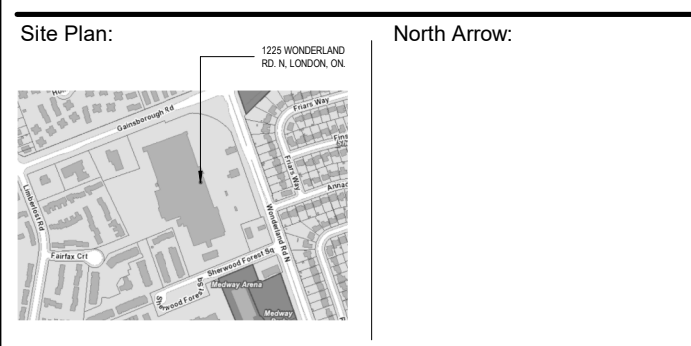
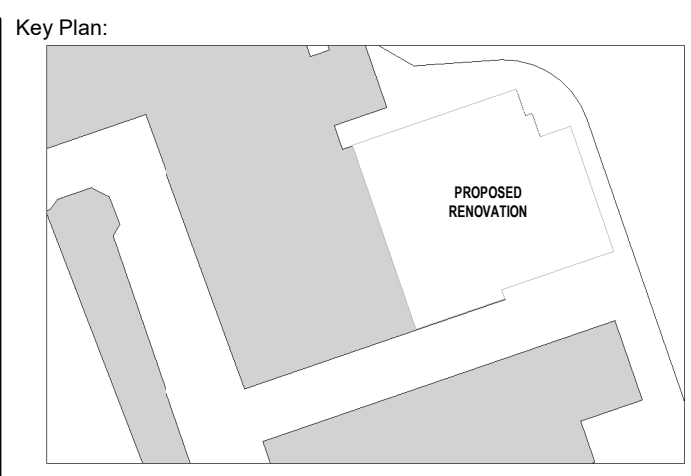
SCALE: 1 : 50



**EAST ELEVATION - SHORING**

SCALE: 1 : 50

- NOTES:**
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  2. U.N.O., ALL MEMBERS SHALL BE ALIGNED IN THE SAME VERTICAL PLANE (NO OFFSETS).
  3. ALL STEEL STUD ELEMENTS (INCLUDING, BUT NOT LIMITED TO) WALLS, PARAPETS, CANOPIES, EXTERIORS, AND OTHERS ARE DESIGNED BY OTHERS - PROVIDE STAMPED SHOP DRAWINGS PRIOR TENDERING, FABRICATION, AND CONSTRUCTION.



Consultant:

**IE DESIGN**  
Intelligent Engineering Design Ltd.  
**STRUCTURAL ENGINEERS**  
iedesign@iedesign.co.uk www.iedesign.co.uk

Seal: \_\_\_\_\_ Seal: \_\_\_\_\_

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2	MAR 28, 2024	ISSUED FOR PERMIT
1	FEB 08, 2024	ISSUED FOR COORDINATION

**ISSUES/REVISION TABLE**

Project:

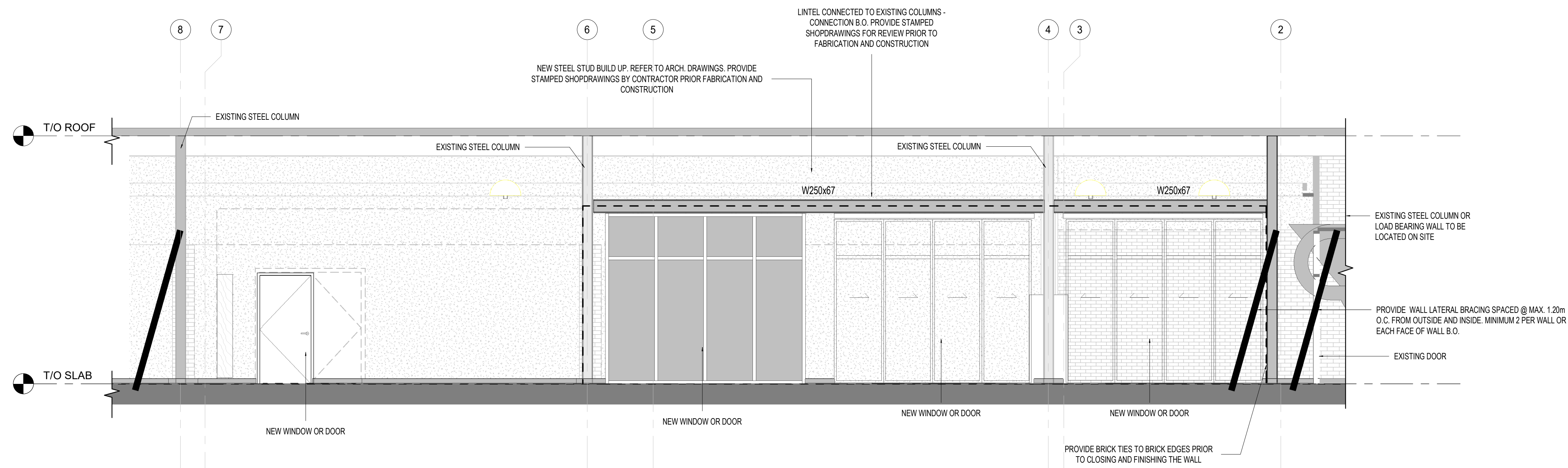
**SHERWOOD LIBRARY RENOVATION**  
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Drawing Title:

**ELEVATIONS I**

Drawn By: D.K./S.D. Scale: AS INDICATED  
Checked By: M.A.H. Plot Date: SEP 10-2024  
Project Date: DEC. 2022  
Project No: 2022-92

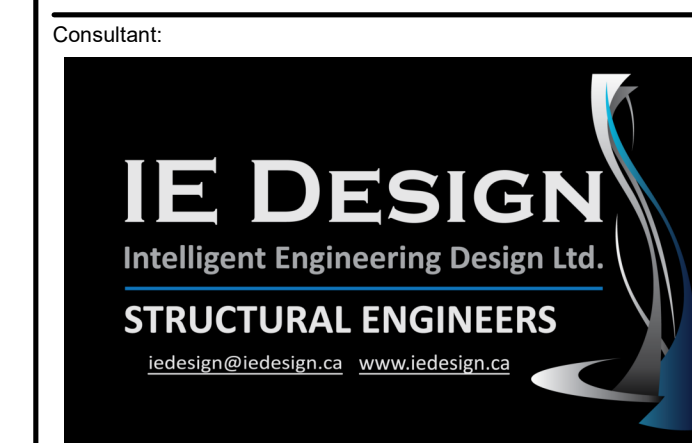
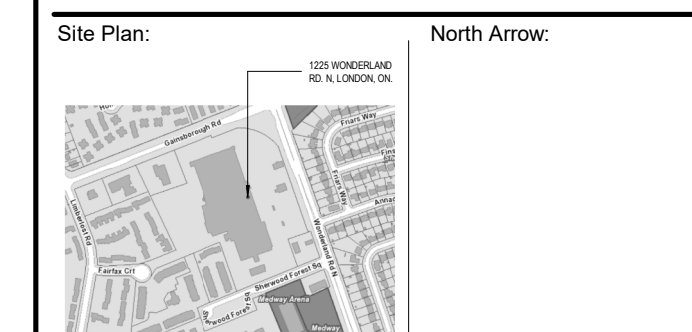
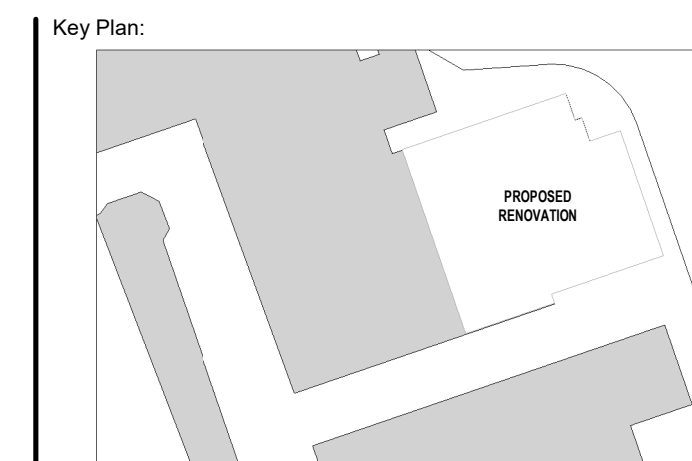
Drawing No: **S-2.0** Revision: **5**



**CORRIDOR/ SOUTH ELEVATION**

SCALE: 1 : 50

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**ISSUES/REVISION TABLE**



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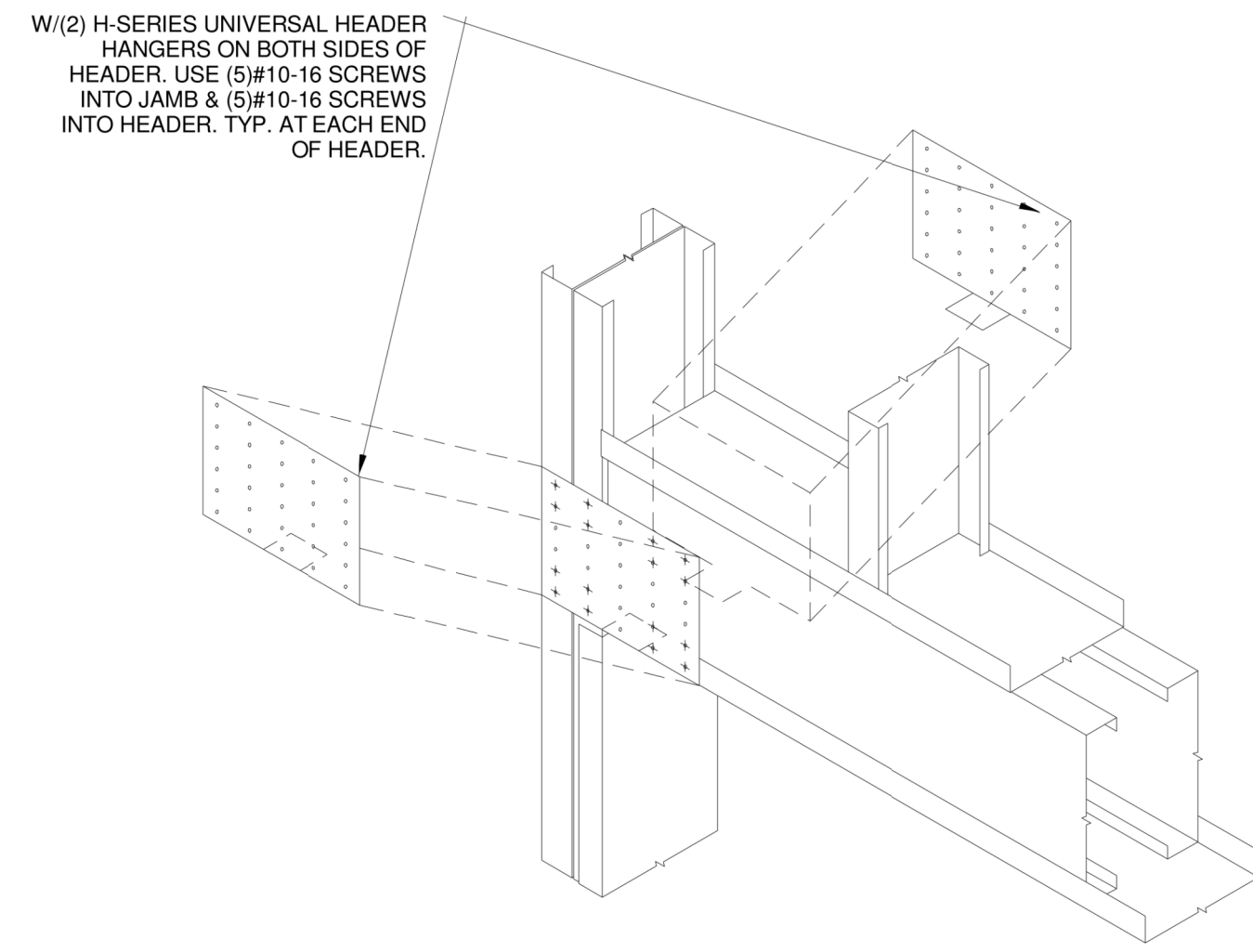
Drawing Title:

**ELEVATION II**

Drawn By: D.K./S.D. Scale: AS INDICATED  
 Checked By: M.A.H. Plot Date: SEP 10-2024  
 Project Date: DEC. 2022  
 Project No: 2022-92

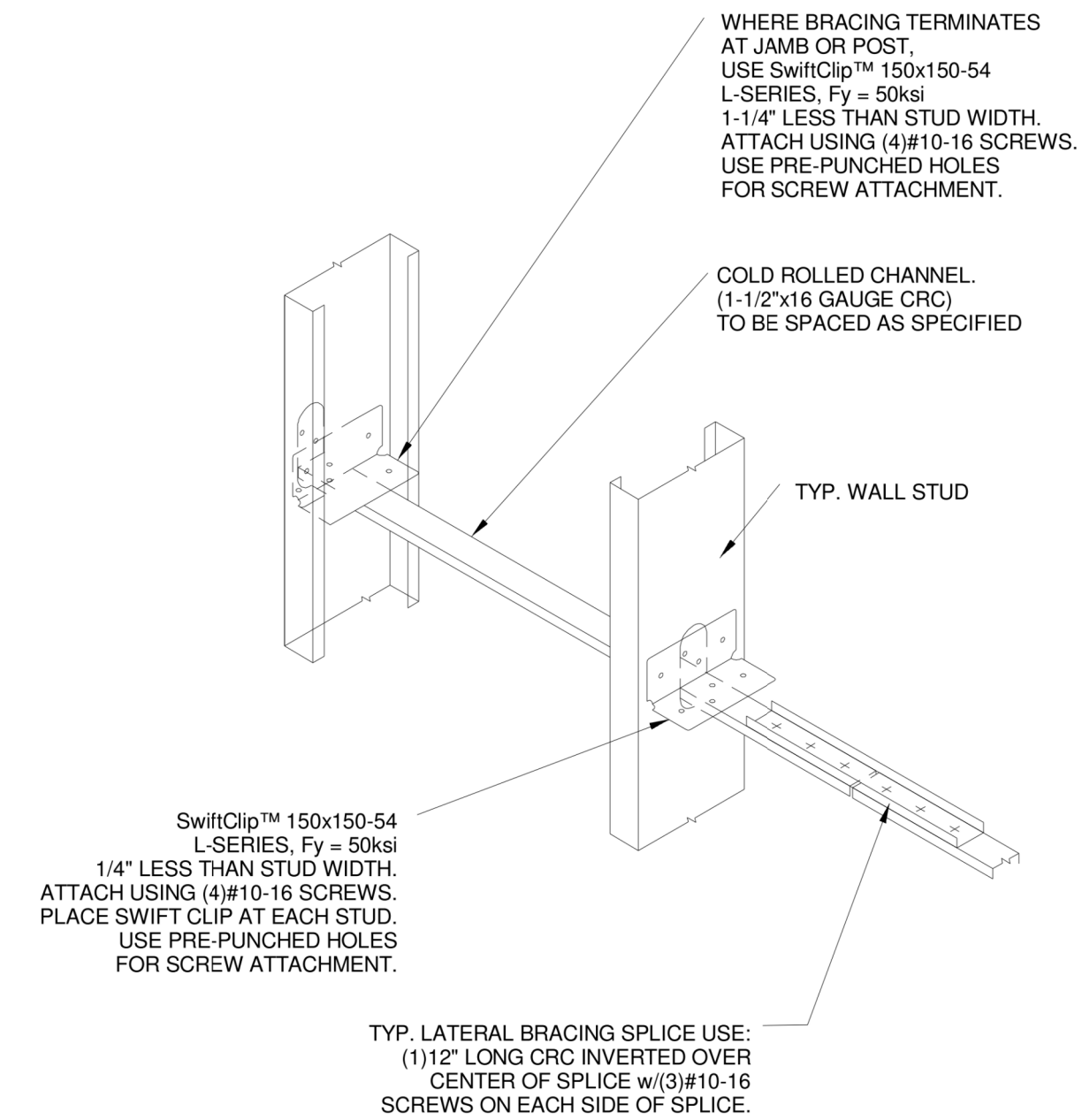
Drawing No: **S-2.1** Revision: **5**



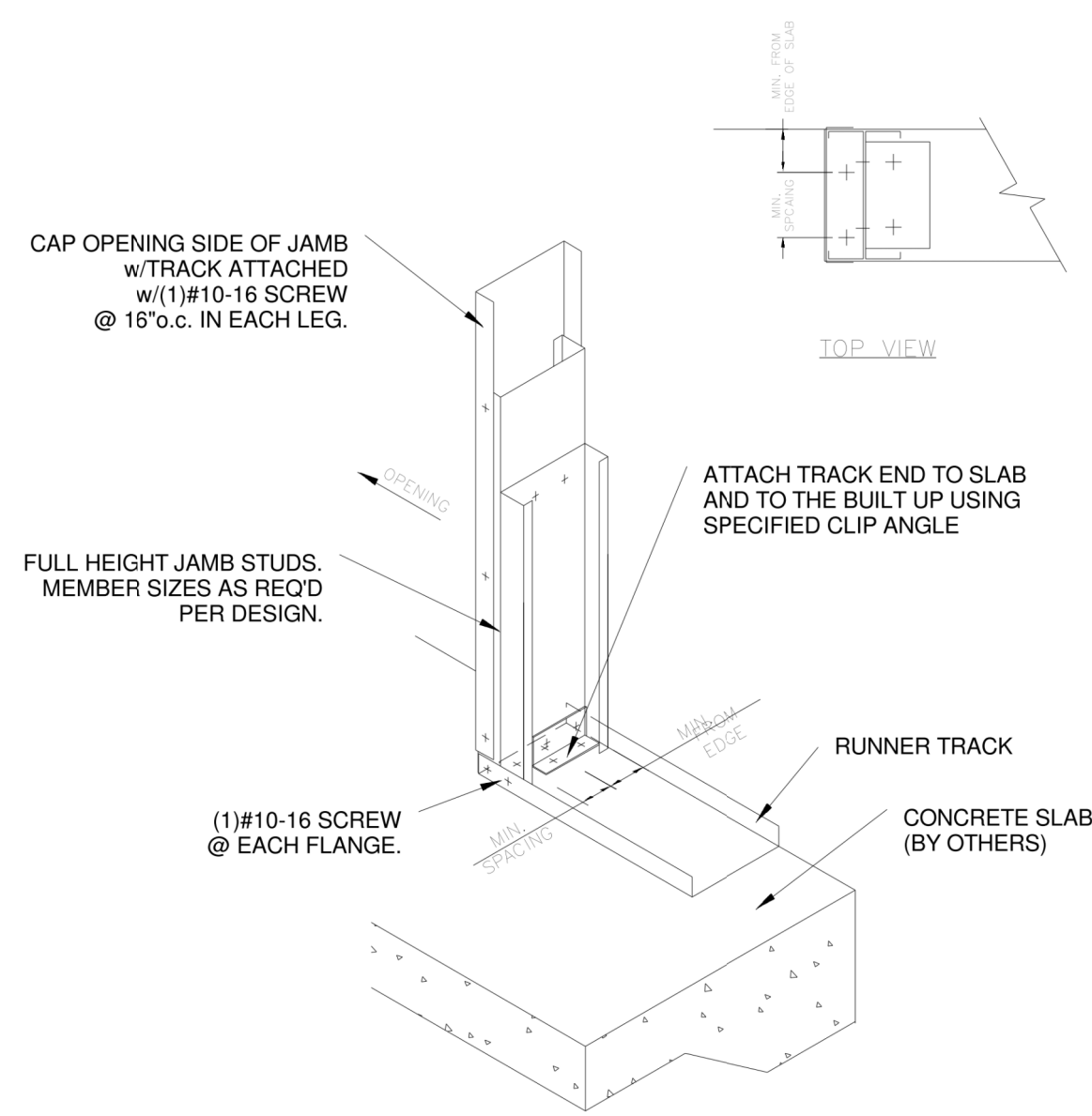


**NOTE:** AT NON-LOAD BEARING WALLS. AT THE CONNECTION OF BUILT-UP JAMB AND BOX HEADER BUILT UP ONLY USE ONE CLIP ANGLE ON THE BOTTOM AND ONE ON THE TOP OF BOX HEADER - USING MIN 4 SCREWS ON THE HEADER AND 4 SCREWS ON THE JAMB

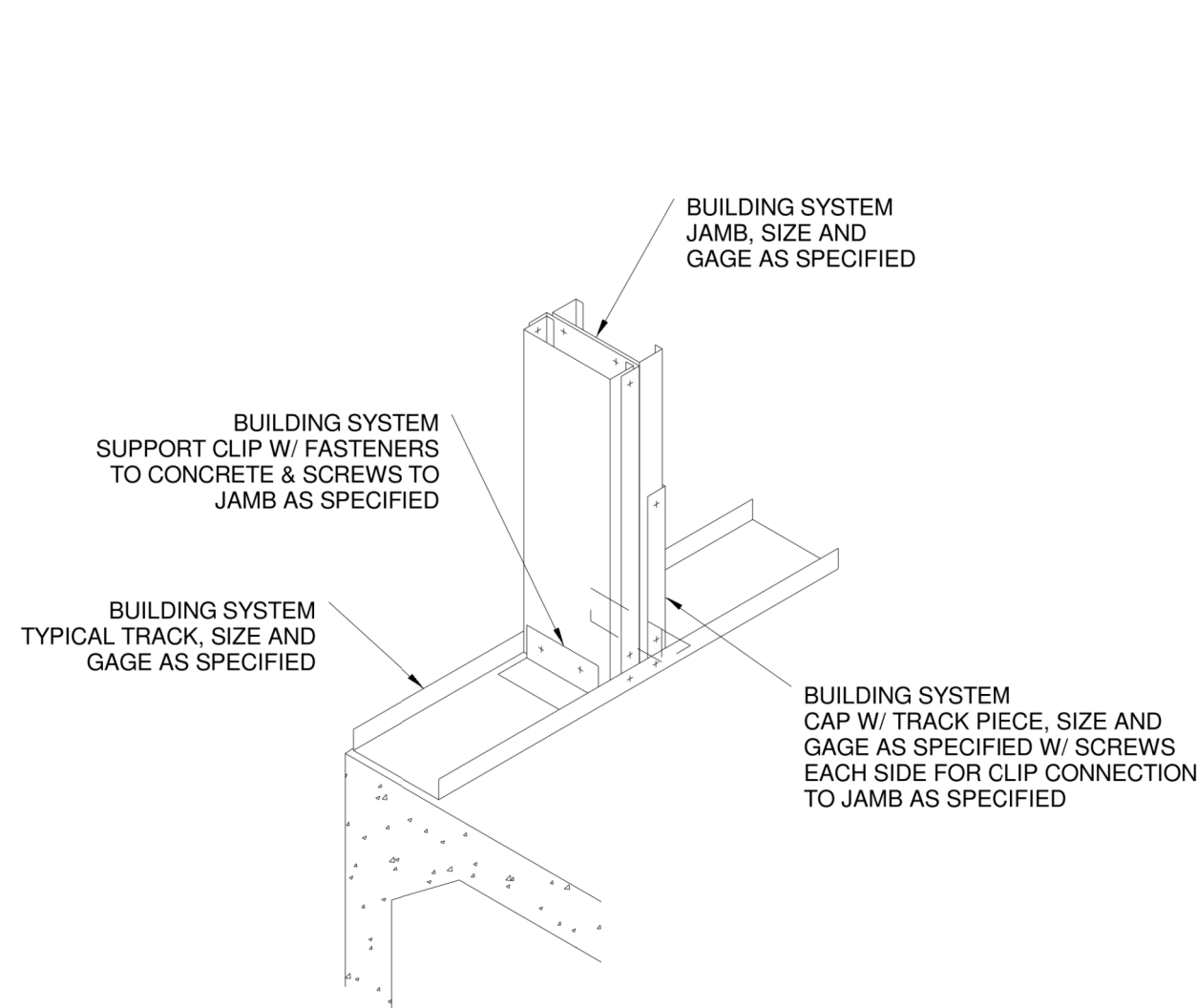
**1 TYPICAL LOAD BEARING DOOR HEADER TO JAMB CONNECTION (ONLY AT LOAD BEARING WALLS AND SPECIFIED OPENINGS)**  
SCALE: NTS



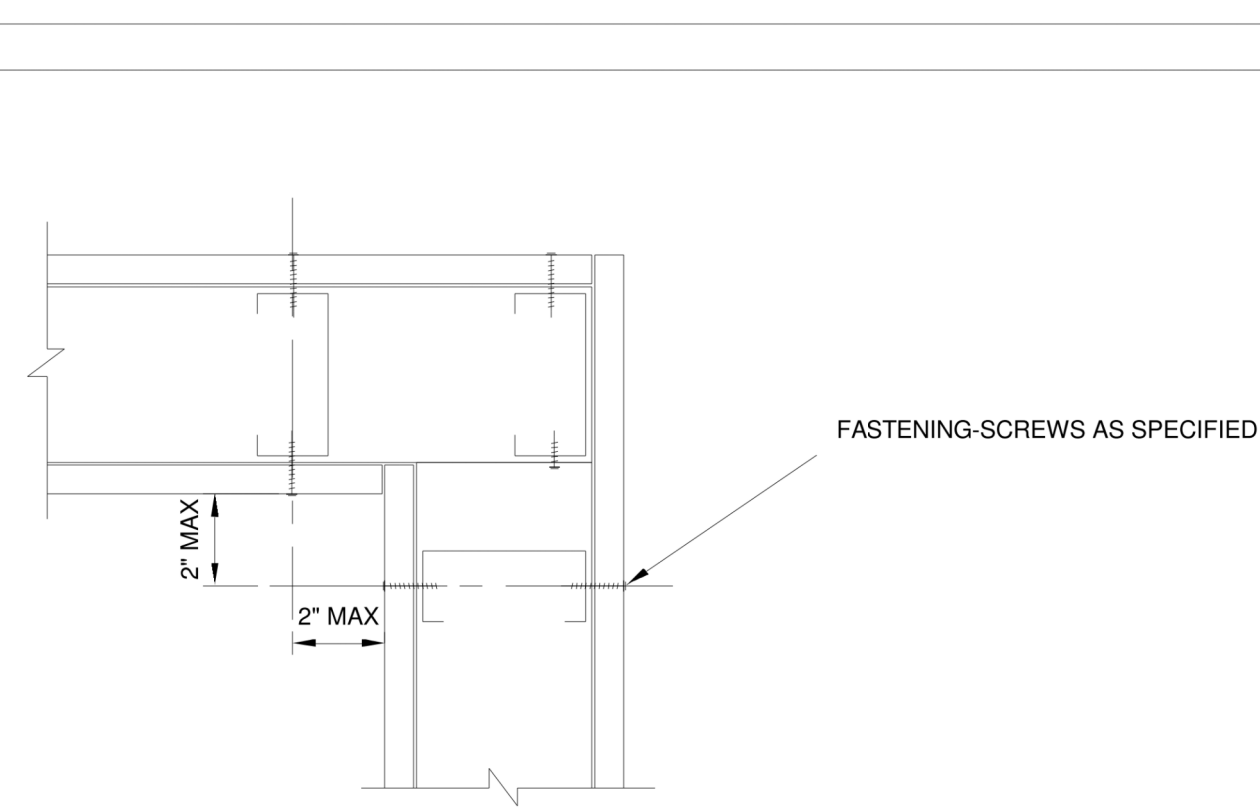
**6 TYPICAL LATERAL BRACING DETAIL**  
SCALE: NTS



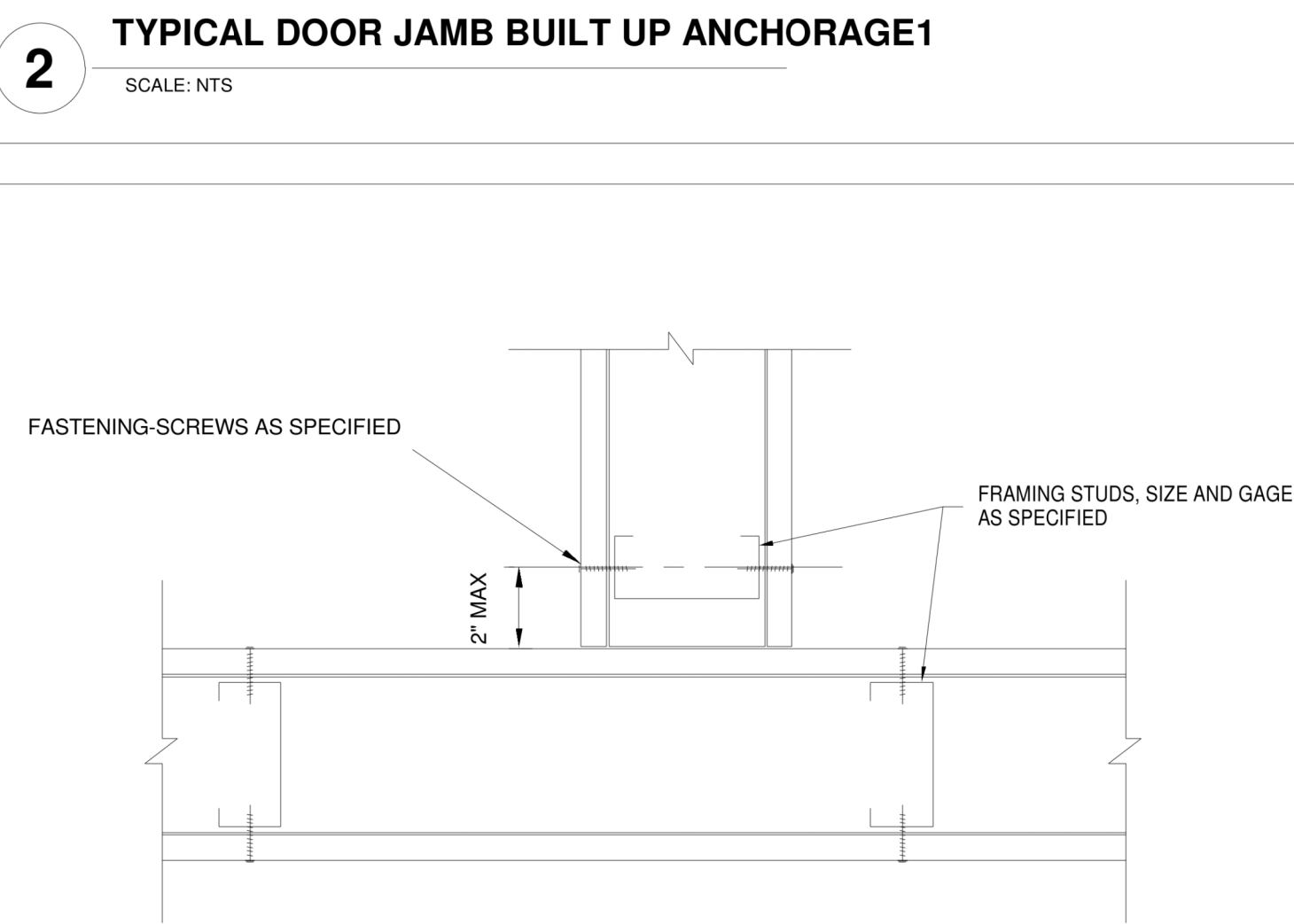
**2 TYPICAL DOOR JAMB BUILT UP ANCHORAGE**  
SCALE: NTS



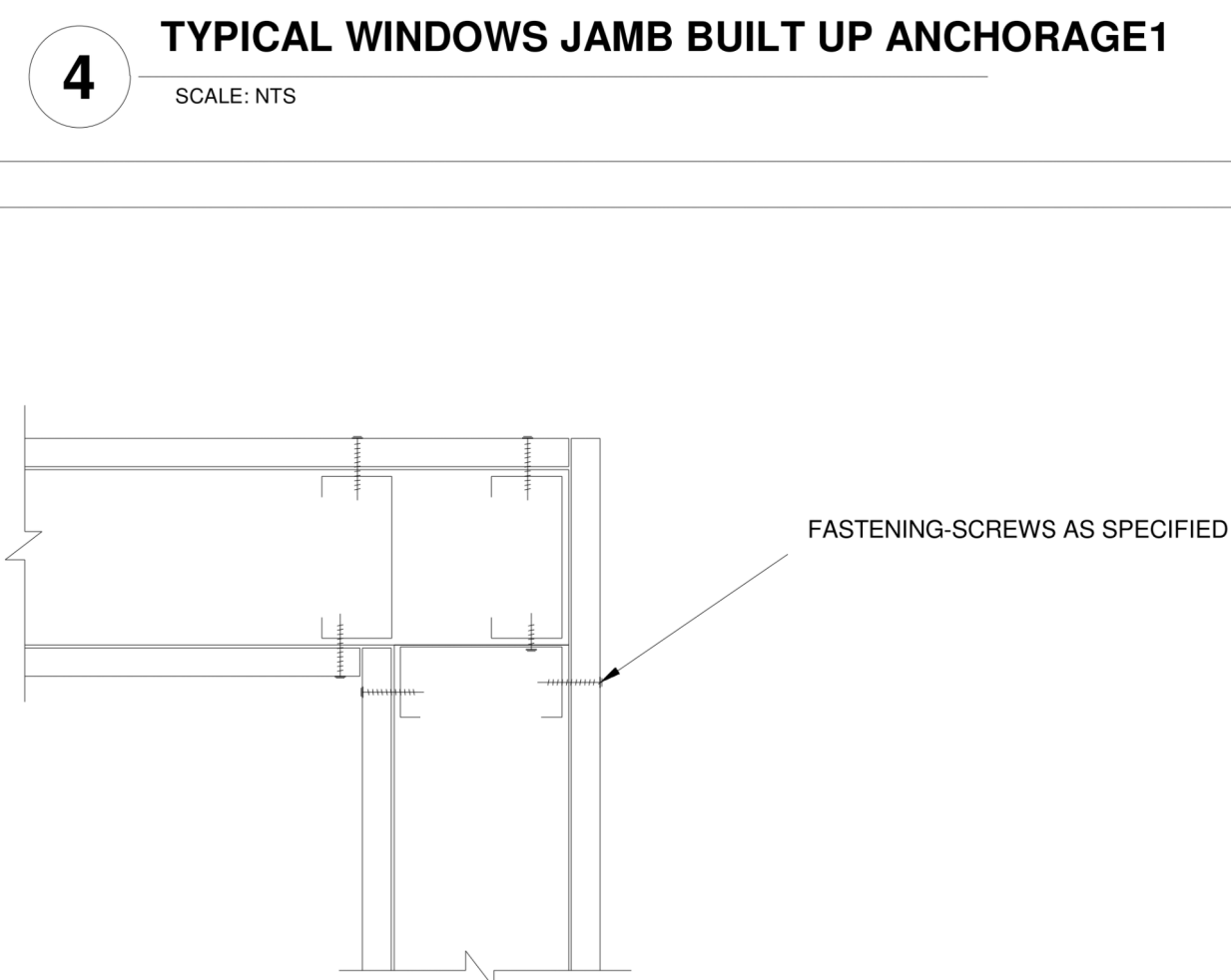
**4 TYPICAL WINDOWS JAMB BUILT UP ANCHORAGE**  
SCALE: NTS



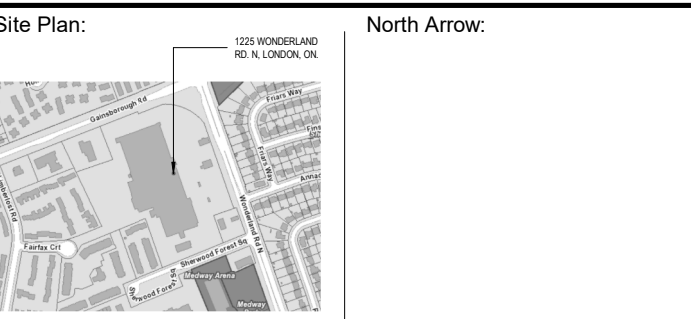
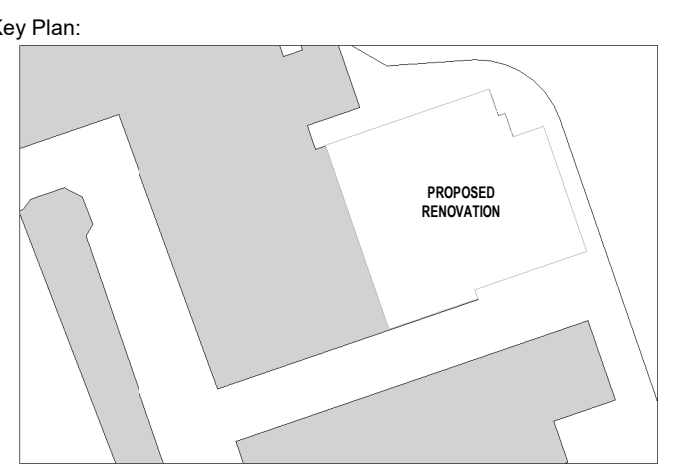
**7 TYPICAL WALL CORNER FRAMING OFFSET**  
SCALE: NTS



**3 TYPICAL WALL CORNER FRAMING BYPASS**  
SCALE: NTS



**5 TYPICAL WALL CORNER FRAMING**  
SCALE: NTS



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**ISSUES/REVISION TABLE**



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Drawing Title:

**TYPICAL DETAILS I**

Drawn By: D.K./S.D. Scale: AS INDICATED

Checked By: M.A.H./J.G. Plot Date: SEP 10-2024

Project Date: DEC. 2022

Project No: 2022-92

Drawing No: \_\_\_\_\_ Revision

**S-6.0 5**



LGS INTERIOR WALL FRAMING SCHEDULE							
NO	MAX WALL HEIGHT (LIMITED TO) FOR L/360 DEF LIMIT	STUD FRAMING (DESIGNATION)	STUD SPACING	TOP TRACK	BOT TRACK	FIRE RATED	DESIGN
1	15'-5"	600PDS125-15-50ksi ProSTUD 25 (15mil 50ksi)	16" O.C.	600T125-33, 33ksi	600T125-33, 33ksi	YES	FULL COMPOSITE WALL (5/8" TYPE X WALLBOARD) 10 PSF, L/360 W/STUD SPACING @ 16" O.C. NOT TO BE USED WITH DEFLECTION TRACKS, RESILIENT CHANNEL
2	17'-0"	600S125-33 - 33ksi	16" O.C.	TYP. 20 Ga Deflection Track	600T125-33, 33ksi	YES	C/W TYPICAL BRIDGING AT 6 FT O.C. MAX SPACING WITH BRIDG CLIP AT EACH STUD
3	18'-0"	600S162-33 - 33ksi	16" O.C.	TYP. 20 Ga Deflection Track	600T125-33, 33ksi	YES	C/W TYPICAL BRIDGING AT 6 FT O.C. MAX SPACING WITH BRIDG CLIP AT EACH STUD
4	19'-0"	600S162-43 - 33ksi	16" O.C.	TYP. 18 Ga Deflection Track	600T125-43, 33ksi	YES	C/W TYPICAL BRIDGING AT 6 FT O.C. MAX SPACING WITH BRIDG CLIP AT EACH STUD

**INTERIOR LIGHT GAUGE FRAMING NOTES:**

**COMPOSITE DESIGN NOTES:**

- ALLOWABLE COMPOSITE LIMITING HEIGHTS WERE DETERMINED IN ACCORDANCE WITH ICC-ES AC86-2019.
- ADDITIONAL COMPOSITE WALL TESTING AND ANALYSIS REQUIREMENTS OF THE SFIA CODE COMPLIANCE CERTIFICATION PROGRAM WERE OBSERVED.
- IN ACCORDANCE WITH CURRENT BUILDING CODES AND AISI DESIGN STANDARDS, THE 1/3 STRESS INCREASE FOR STRENGTH WAS NOT USED.
- THE COMPOSITE LIMITING HEIGHTS PROVIDED IN THE TABLES ARE BASED ON A SINGLE LAYER OF 5/8" TYPE X GYPSUM BOARD FROM THE FOLLOWING MANUFACTURERS: AMERICAN, CERTAINTED, GEORGIA PACIFIC, CONTINENTAL, NATIONAL, PABCO, AND USG.
- THE GYPSUM BOARD MUST BE APPLIED FULL HEIGHT IN THE VERTICAL ORIENTATION TO EACH STUD FLANGE AND INSTALLED IN ACCORDANCE WITH ASTM C754 USING MINIMUM NO. 6 TYPE S DRYWALL SCREWS SPACED AS LISTED BELOW:
- SCREWS SPACED A MAXIMUM OF 16 IN ON-CENTER TO FRAMING MEMBERS (INCLUDING TOP & BOTTOM TRACK) SPACED AT 16 IN OR 12 IN ON-CENTER.
- SCREWS SPACED A MAXIMUM OF 12 IN ON-CENTER TO FRAMING MEMBERS (INCLUDING TOP & BOTTOM TRACK) SPACED AT 24 IN ON-CENTER.
- NO FASTENERS ARE REQUIRED FOR ATTACHING THE STUD TO THE TRACK EXCEPT AS DETAILED IN ASTM C754.
- STUD END BEARING MUST BE A MINIMUM OF 1 INCH.
- F: ADJACENT TO THE HEIGHT VALUE INDICATES THAT FLEXURAL STRESS CONTROLS THE ALLOWABLE WALL HEIGHT.
- S: ADJACENT TO THE HEIGHT VALUE INDICATES THAT SHEAR/END REACTION CONTROLS THE ALLOWABLE WALL HEIGHT.

**NON-COMPOSITE (FULLY BRACED) DESIGN NOTES:**

- HEIGHTS ARE BASED ON AISI S100-16, NORTH AMERICAN SPECIFICATION, AND AISI S220-15, NORTH AMERICAN STANDARD FOR COLD-FORMED STEEL FRAMING - NONSTRUCTURAL MEMBERS, USING STEEL PROPERTIES ALONE.
- ABOVE LISTED NON-COMPOSITE LIMITING HEIGHTS ARE APPLICABLE WHEN THE UNBRACED LENGTH IS LESS THAN OR EQUAL TO LU.
- HEIGHTS ARE LIMITED BY MOMENT, DEFLECTION, SHEAR, AND WEB CRIPPLING (ASSUMING 1" END REACTION BEARING).
- IF WEB-HEIGHT TO THICKNESS RATIO EXCEEDS 200 OR 260 – WEB STIFFENERS ARE REQUIRED AT BEARING POINTS.

**FIRE & SOUND ASSEMBLY NOTES:**

- NOTE: USERS OF THIS DESIGN TOOL SHOULD CHECK THE ACTUAL DETAILS OF CONSTRUCTION FOR THE SELECTED ASSEMBLY TO ACHIEVE THE REQUIRED FIRE AND/OR SOUND RATING. DETAILS OF CONSTRUCTION MAY BE OBTAINED FROM ENGINEERING EVALUATIONS, OR LISTINGS FROM RECOGNIZED FIRE TESTING AND SOUND LABORATORIES. FOR LINKS TO THE TEST REPORTS CLICK ON THE FIRE OR STC RATINGS IN THE SELECTED WALL SYSTEMS ABOVE..

**DEPTH NOTES:**

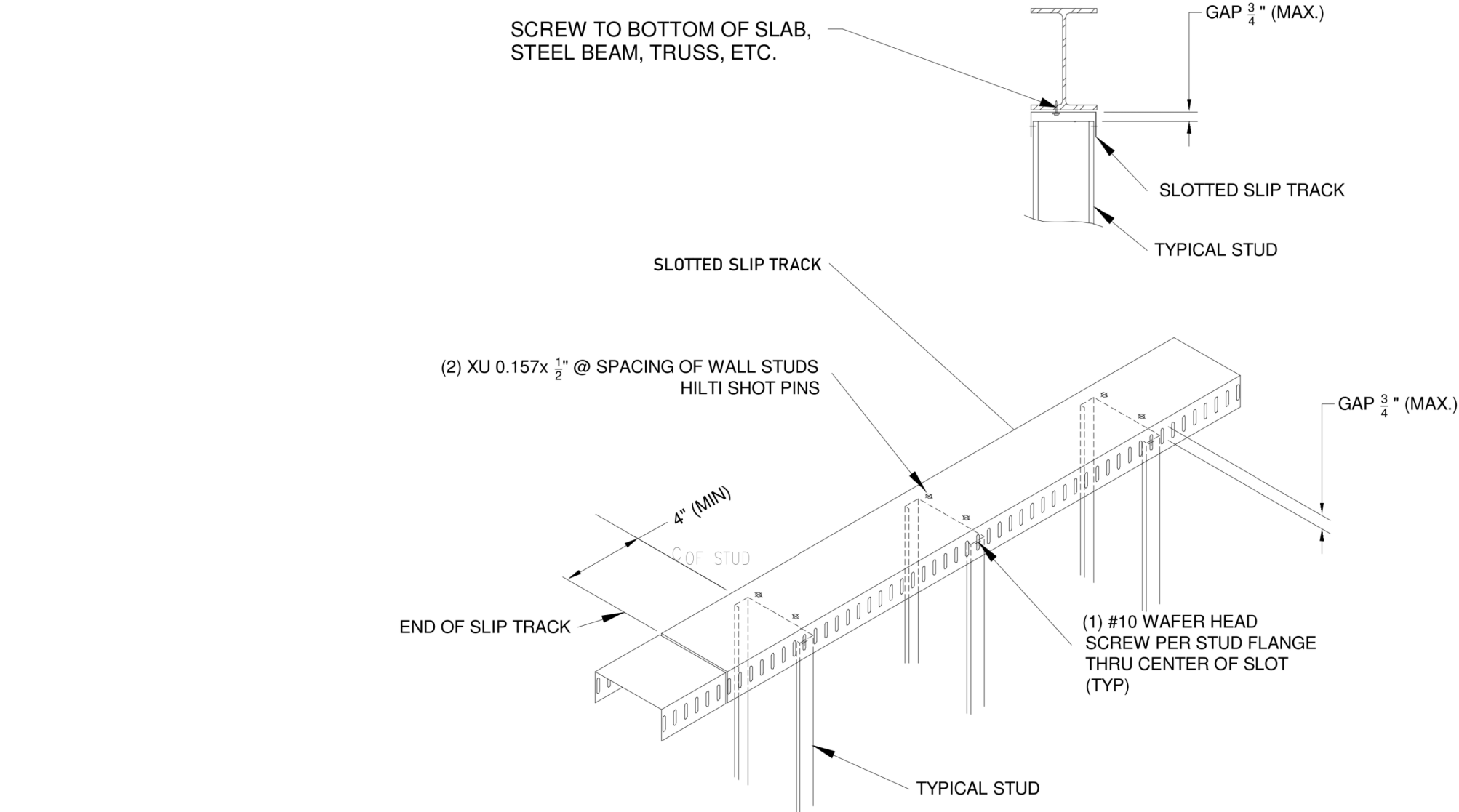
- 3-1/2", 4", 5-1/2" & 6" STUD DEPTH STC RATINGS ARE BASED ON SOUND TESTING CONDUCTED ON 3-5/8" STUD DEPTH. WIDER STUD DEPTHS MAY RESULT IN BETTER STC POINTS. (BASED ON VENEKLASEN ASSOCIATES, INC. PROSTUD ACOUSTICAL ANALYSIS 5123-019-3B)

**SPACING NOTES:**

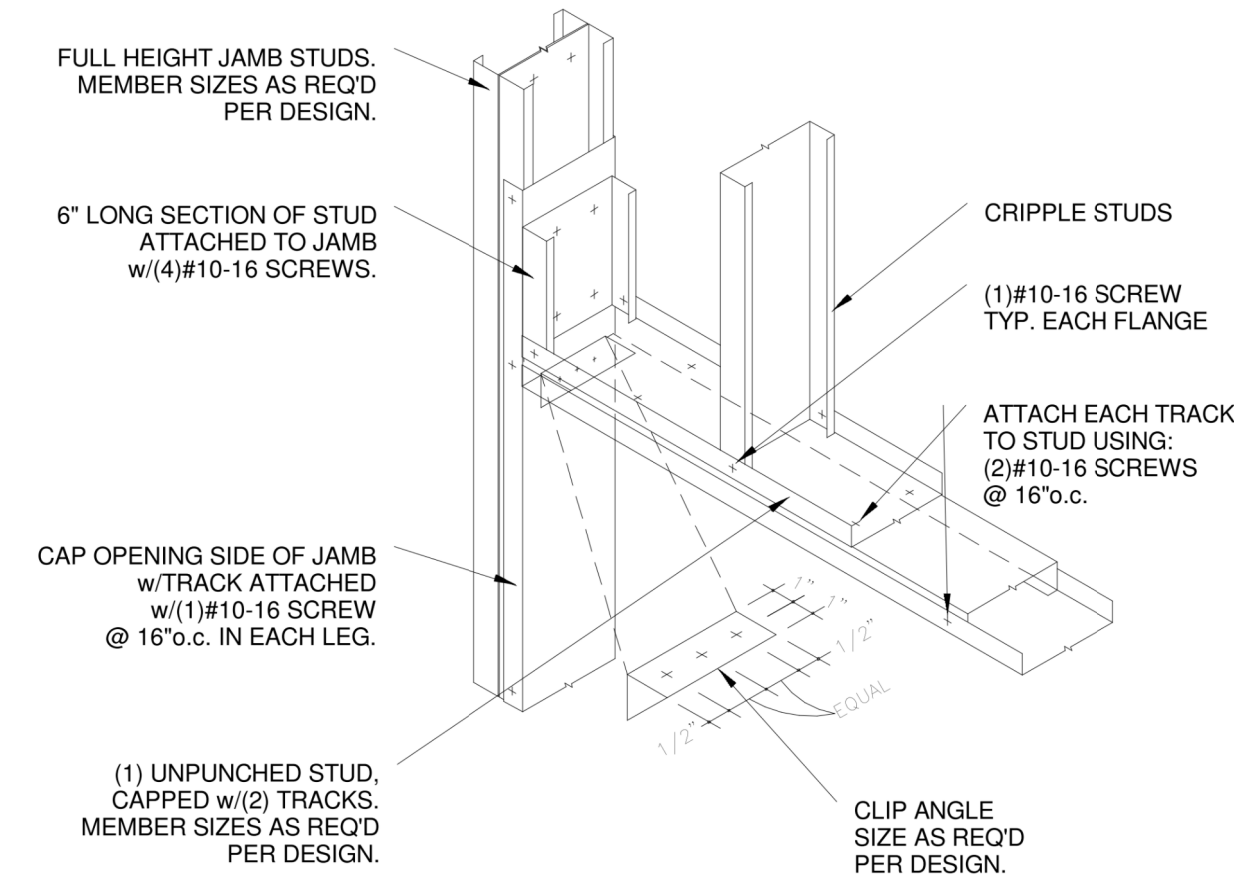
- 16" O.C. & 12" O.C. STC RATINGS ARE AN INTERPOLATION OF 24" O.C. STC RATINGS. (BASED ON VENEKLASEN ASSOCIATES, INC. PROSTUD ACOUSTICAL ANALYSIS 5123-019-4B)

**GENERAL LGS FRAMING NOTES:**

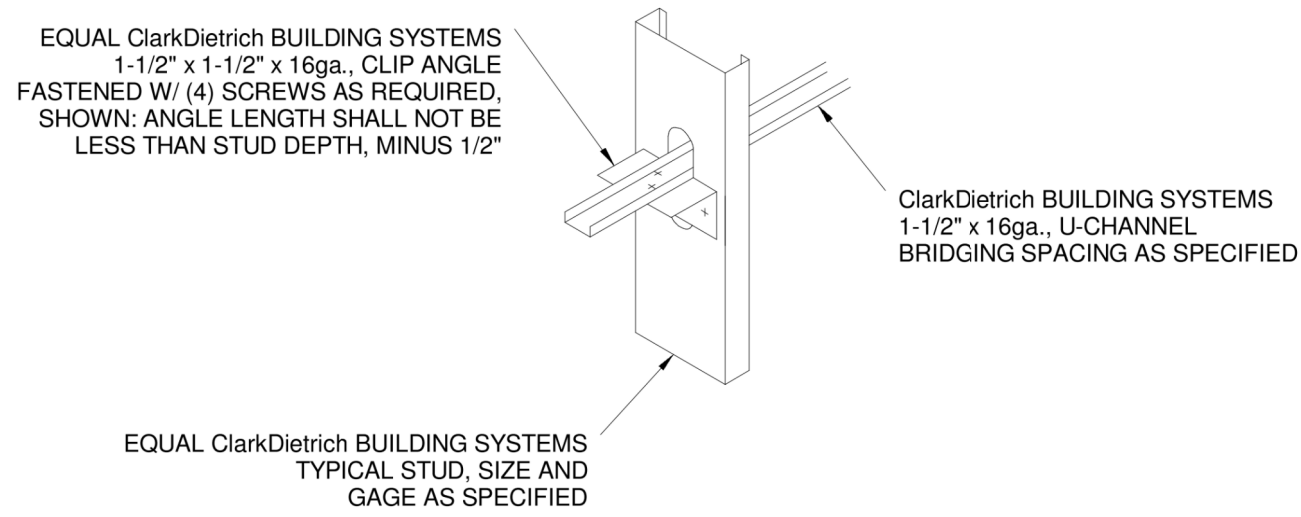
- CHECK ALL THE INTERIOR WALL FRAMING LOCATIONS VS. ARCHITECTURAL DRAWINGS. IN CASE OF DISCREPANCIES, FOLLOW THE ARCHITECTURAL DRAWINGS.
- DOUBLE CHECK THE SIZE OF ROUGH OPENINGS FOR DOORS AND WINDOWS FRAMING WITH ARCHITECTURAL DRAWINGS AND GC. SITE SUPERVISOR BEFORE CONSTRUCTION.
- ANY MISSED DIMENSION ON THIS DRAWING TO BE FOUND ON ARCHITECTURAL DRAWINGS.



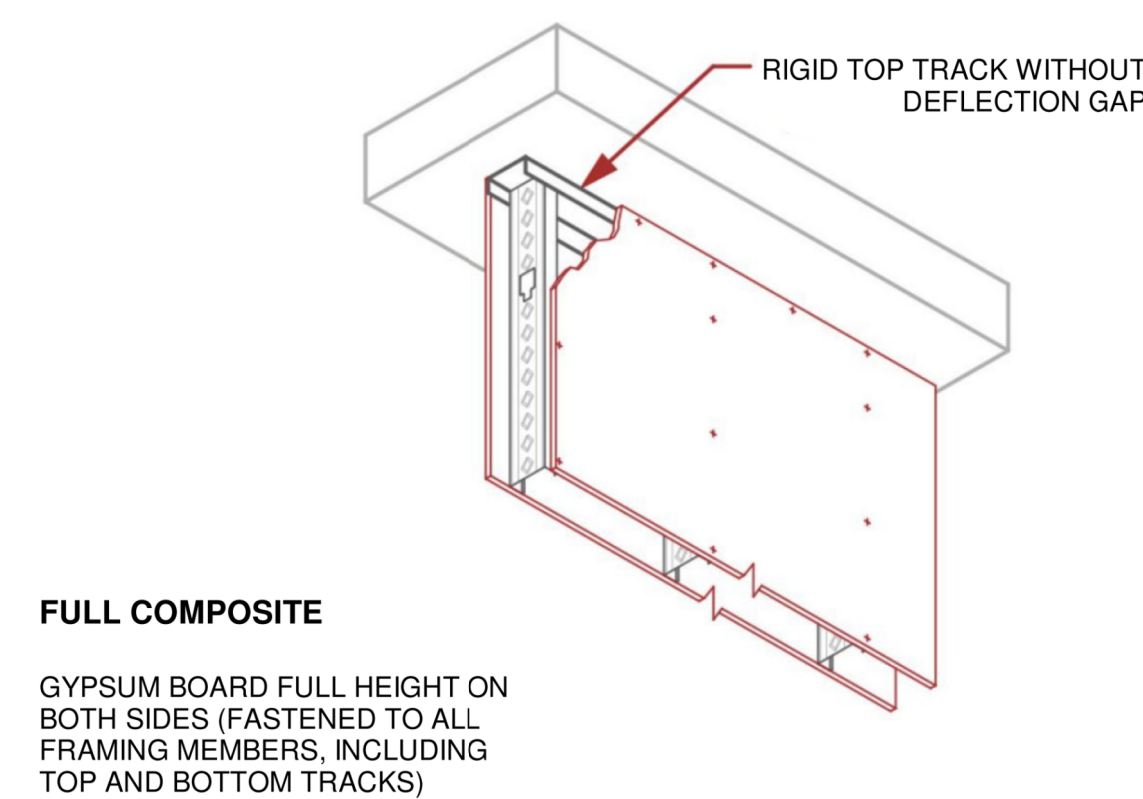
**1 TYPICAL TOP OF THE PARTITION WALL WITH DEFLECTION TRACK1**  
SCALE: NTS



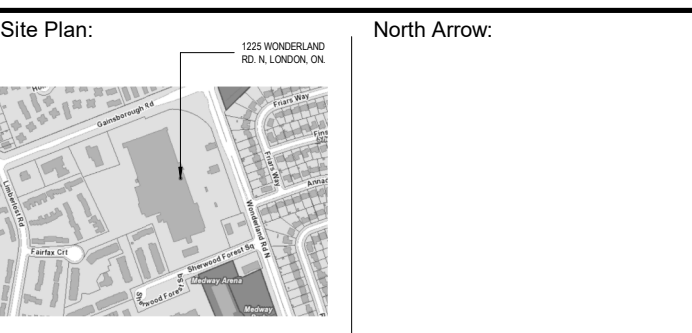
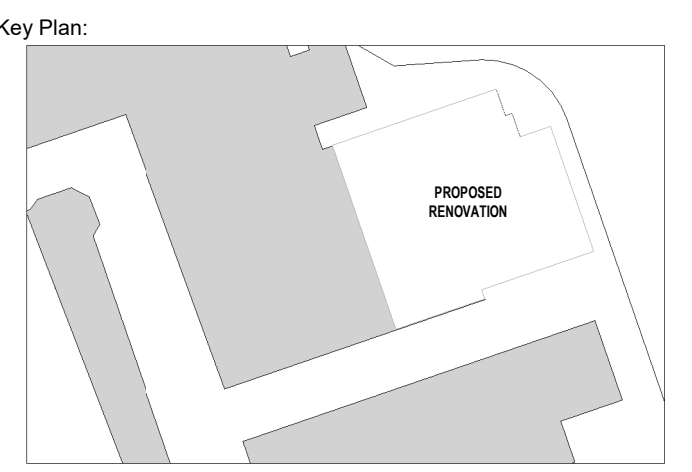
**2 TYPICAL INTERIOR FRAMING DOOR LAY-IN HEADER DETAIL1**  
SCALE: NTS



**3 TYPICAL INTERIOR WALL BRACING CONNECTION DETAIL1**  
SCALE: NTS



**4 FULL COMPOSITE WALL DETAIL**  
SCALE: NTS



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**ISSUES/REVISION TABLE**

Project:



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Drawing Title:

**TYPICAL DETAILS II**

Drawn By: D.K./S.D. Scale: AS INDICATED

Checked By: M.A.H./J.G. Plot Date: SEP 10-2024

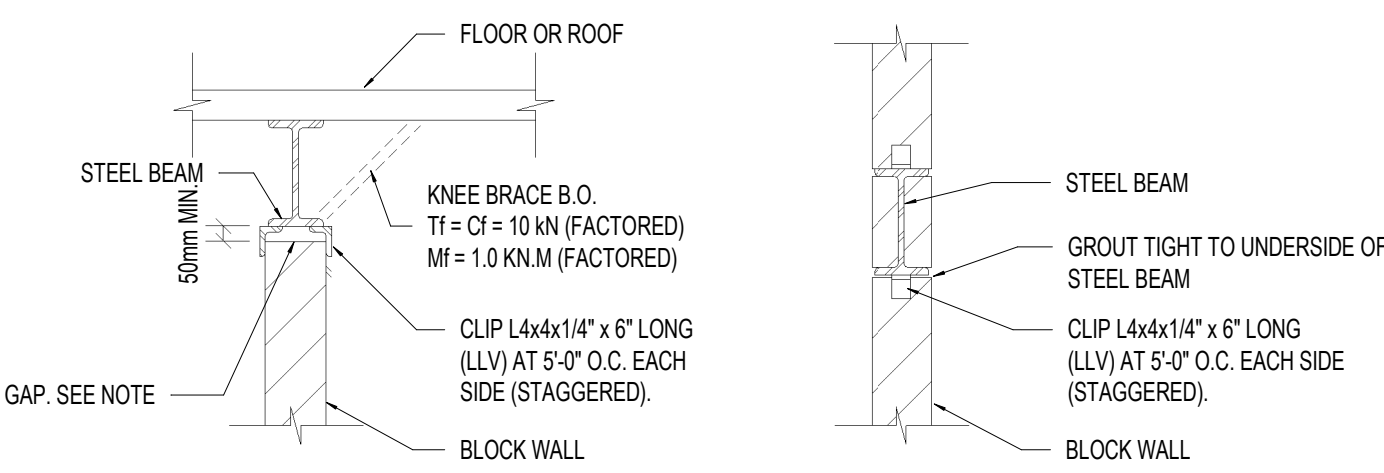
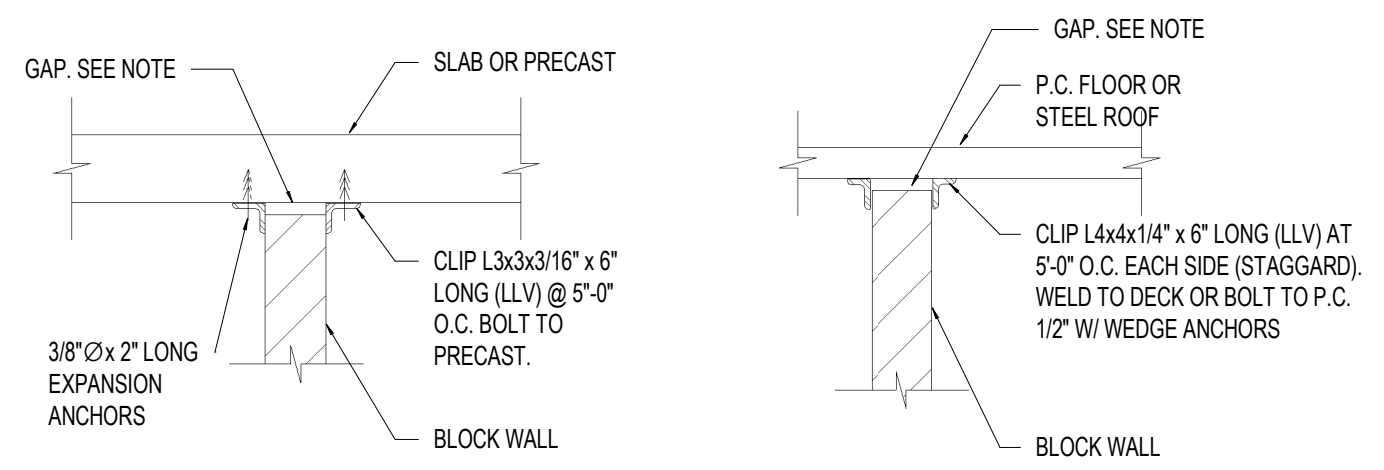
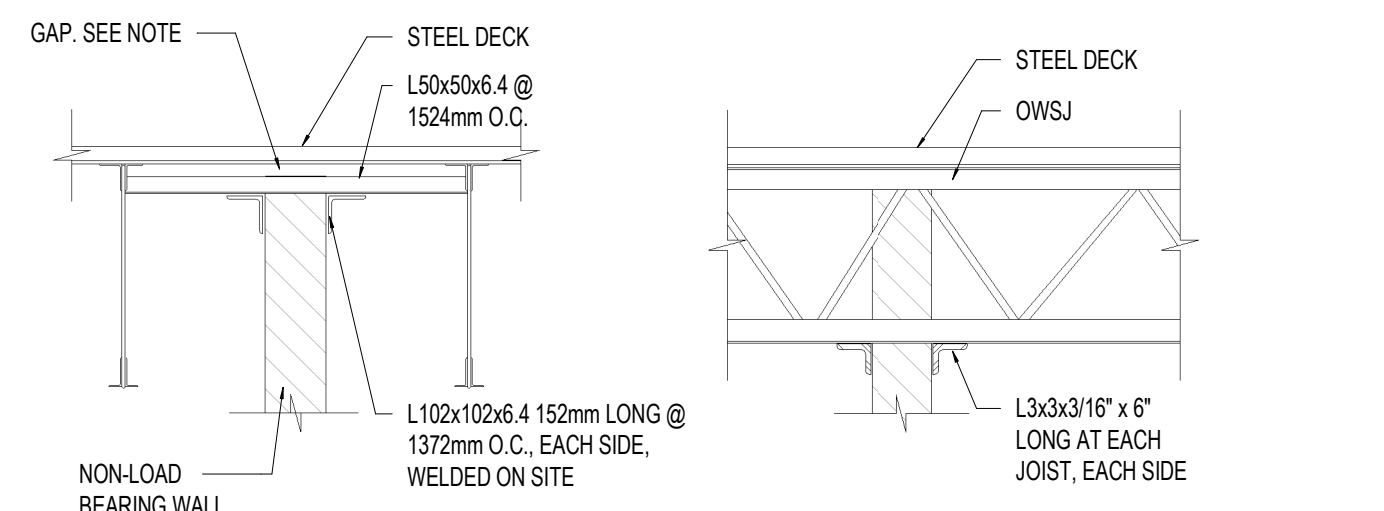
Project Date: DEC. 2022

Project No: 2022-92

Drawing No: Revision

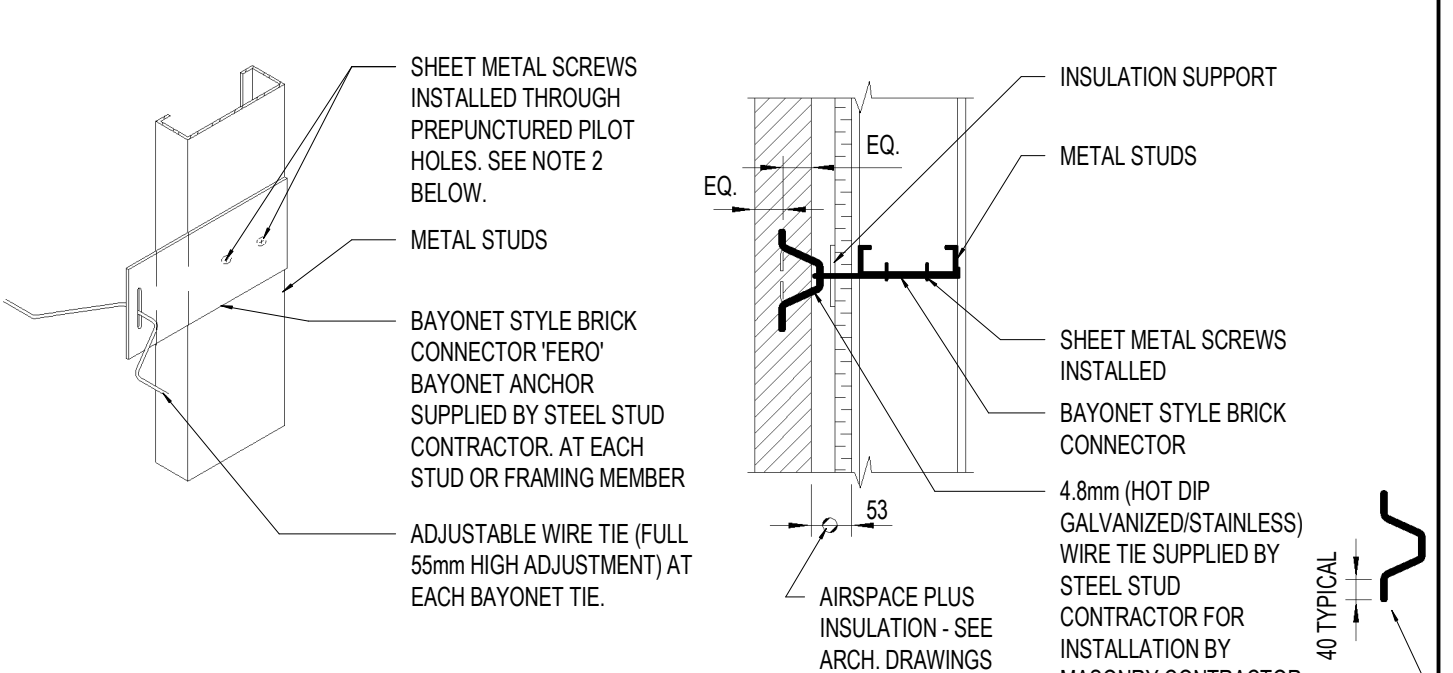
**S-6.1 5**





MAINTAIN 1" OF GAP BETWEEN TOP OF MASONRY WALL AND UNDERSIDE OF FLOOR/BEAM CONSTRUCTION FOR ALL NON LOADBEARING MASONRY WALLS, TYP.

**T.D.15 TYPICAL MASONRY PARTITION SUPPORT**

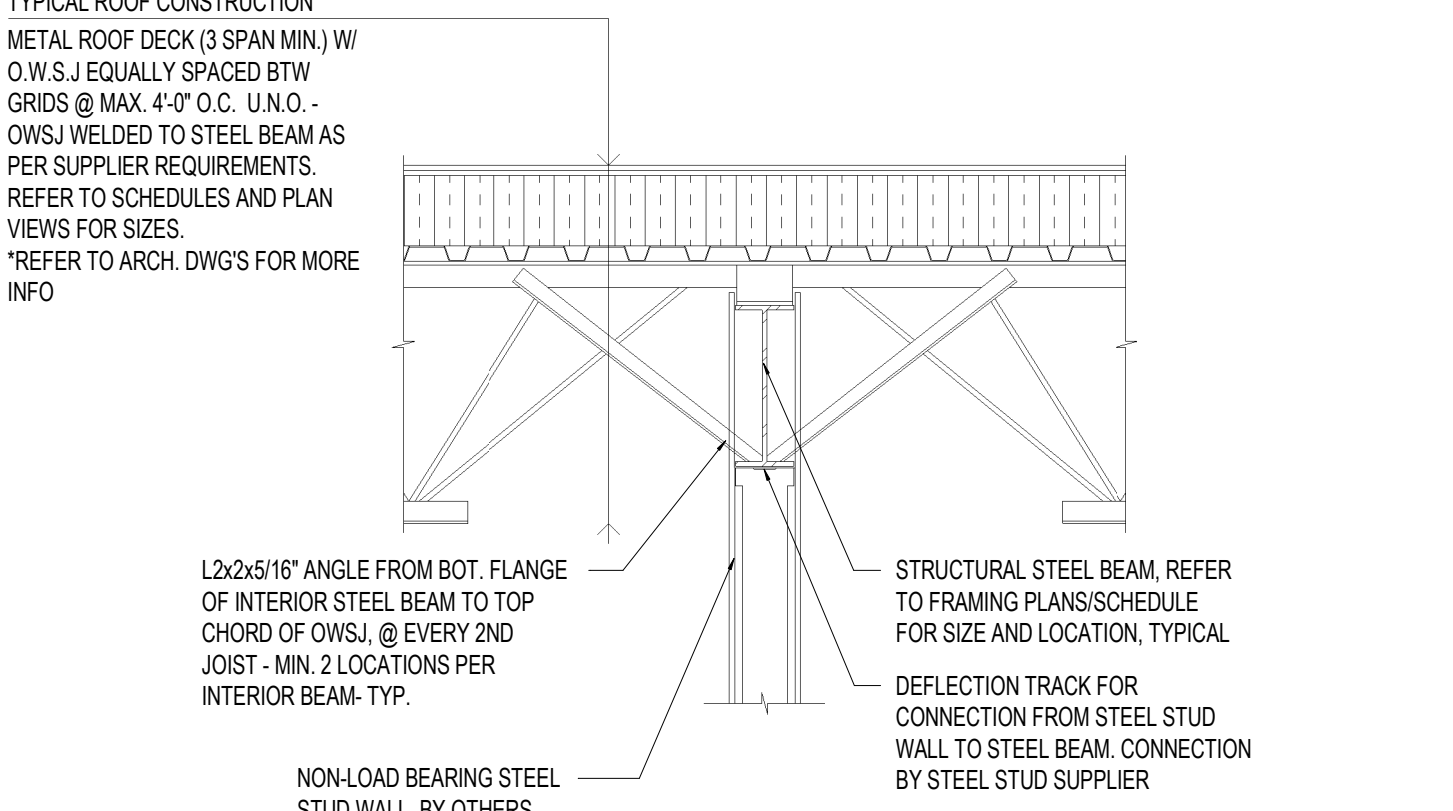


**1. CONNECTION TO STEEL STUD 2. TYPICAL WALL CONSTRUCTION**

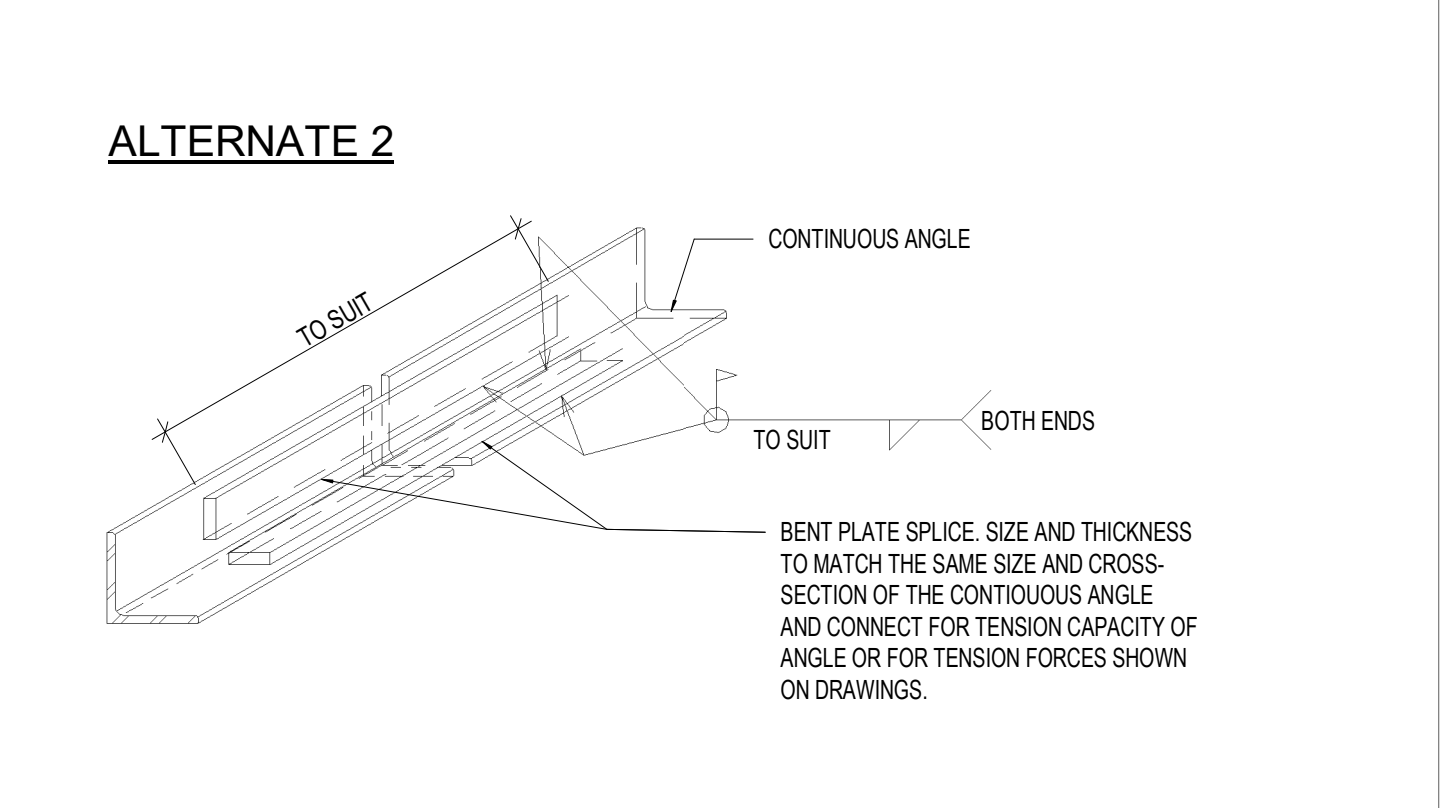
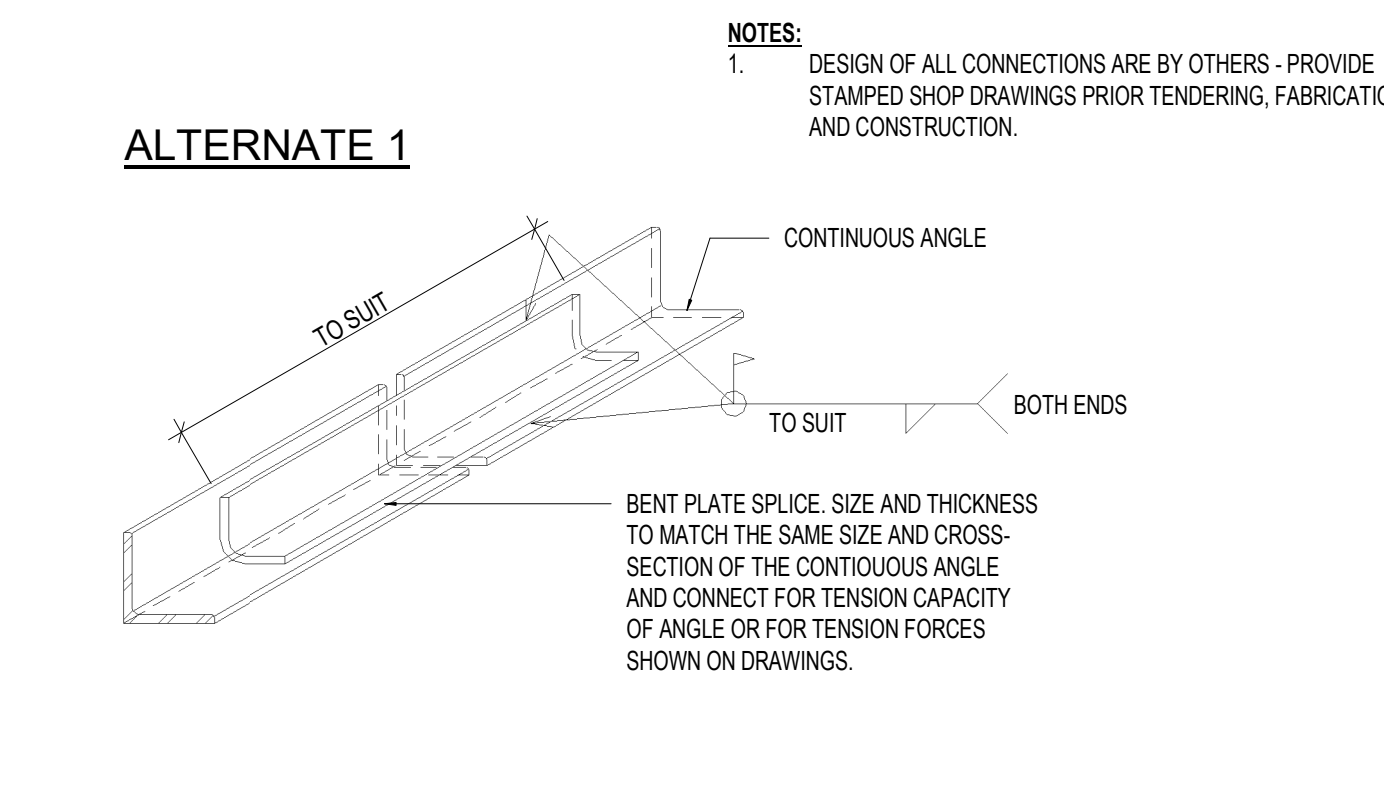
ANCHOR SPACING TABLE	
STUD/FRAMING HORIZONTAL SPACING	MAXIMUM VERTICAL ANCHOR SPACING
FRAMING AT 600 O.C.	400mm O.C.
FRAMING AT 400 O.C.	600mm O.C.
FRAMING AT 300 O.C.	600mm O.C.
AT JAMB LOCATIONS OF ALL WALL OPENINGS	300mm O.C.

ALL DETAILS TO FOLLOW SUPPLIER AND CSA REQUIREMENTS AND P.ENG. STAMP IS REQUIRED BY SUPPLIER

- BAYONET TIES TO BE FERO SLOTTED TIE (TYPE I) COMPLETE WITH 4.8mm DIAMETER (HOT DIPPED GALVANIZED/STAINLESS) V-ANCHOR AND INSULATION SUPPORT. NOTE THAT INSULATION SUPPORT IS TO BE PLACED OVER AIR BARRIER SYSTEM.
- MINIMUM GAUGE OF THE SYSTEM TO BE 16 GAUGE MATERIAL FOR CAVITIES UP TO 127mm WIDE. ANCHOR SUPPLIER TO DESIGN THE TIE WITH INCREASED THICKNESS FOR WIDER CAVITIES. DESIGN OF ANCHOR TO ASSUME MAXIMUM 0.78kN UNFACTORED ANCHOR LOAD WITH NO LATERAL SUPPORT OF PLATE SUPPLIED BY INSULATION OR EXTERIOR SHEATHING.
- ALL TIE COMPONENTS ARE TO BE HAVE A MINIMUM CORROSION PROTECTION SUPPLIED (HOT DIP GALVANIZING/STAINLESS) AFTER FABRICATION. IF PLATE SYSTEM IS TO BE GALVANIZED, FOLLOW CSA-CAN3-A370 AND ASTM A123 REQUIREMENT OF 401 g/m<sup>2</sup>. V TIE GALVANIZING TO BE IN ACCORDANCE TO CSA CAN- A370 AND ASTM A153 REQUIREMENT OF 458 g/m<sup>2</sup>. REFER TO SPECIFICATIONS IF STAINLESS STEEL REQUIREMENT SUPERSCEEDS MINIMUM GALVANIZED COATING REQUIREMENT.
- STEEL STUD CONTRACTOR IS TO CONSTRUCT A STOREY ROD OF MASONRY COURSING FOR ALL MASONRY VENEER WALLS TO ENSURE ANCHORS ARE INSTALLED AT THE CENTRE OF ALL MASONRY JOINTS TO RECEIVE A MASONRY TIE. IF MASONRY UNIT LAYOUT DOES NOT ALLOW PLACEMENT OF ANCHORS AT THE MAXIMUM VERTICAL SPACING SHOWN IN ABOVE TABLE, EXTRA TIES MUST BE INSTALLED ABOVE AND BELOW EACH MASONRY UNIT AT SMALLER VERTICAL SPACING SUCH THAT THE MAX VERTICAL SPACING IS NOT EXCEEDED.

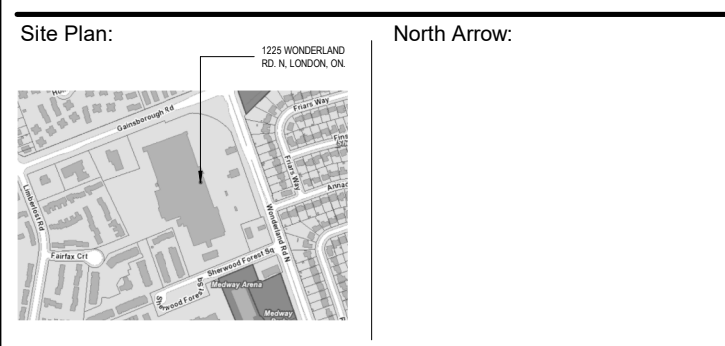
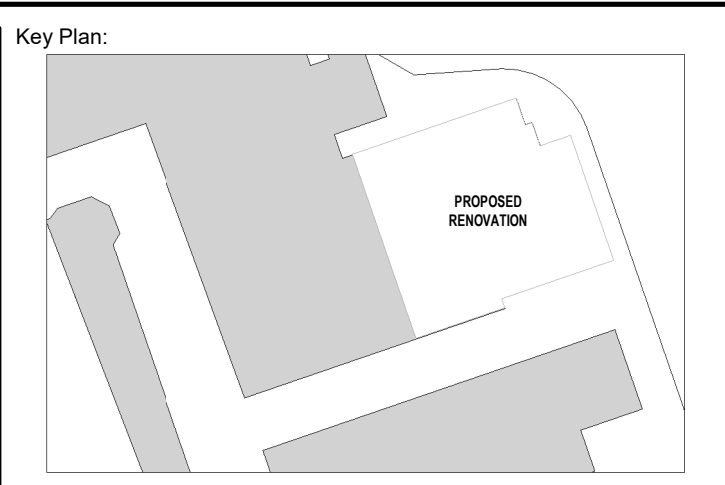


**S.20 TYPICAL INTERIOR BEAM REINF.**



**S.19 TYPICAL TENSION SPLICE FOR ANGLES**

NOTES:  
1. DESIGN OF ALL CONNECTIONS ARE BY OTHERS - PROVIDE STAMPED SHOP DRAWINGS PRIOR TENDERING, FABRICATION, AND CONSTRUCTION.



Consultant:

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Seal: Seal:

**General Notes:**  
ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF INTELLIGENT ENGINEERING DESIGN LTD. (IE DESIGN) AND ARE NOT TO BE DUPLICATED OR DISTRIBUTED WITHOUT IE DESIGN CONSENT AND MUST BE RETURNED UPON COMPLETION OF THIS PROJECT.  
THESE DRAWINGS AND ALL DETAILS ARE FOR THIS PROJECT ONLY AND SHOULD NOT BE USED FOR ANY OTHER WORK.  
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO INTELLIGENT ENGINEERING DESIGN LTD. PRIOR TO COMMENCING WORK. ALL DIMENSIONS AND LEVELS ARE APPROXIMATE AND SHOULD BE CONFIRMED BY OWNER AND GENERAL CONTRACTOR AND ARCHITECT PRIOR TO CONSTRUCTION.  
ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT BUILDING CODE REGULATIONS AND BYLAWS HAVING JURISDICTION.  
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNTIL IT HAS BEEN STAMPED BY INTELLIGENT ENGINEERING DESIGN LTD. AND A BUILDING PERMIT HAS BEEN ISSUED AND MARKED "ISSUED FOR CONSTRUCTION". THE DRAWINGS SHALL NOT BE USED FOR PRICING, COSTING, OR TENDER UNLESS INDICATED IN THE REVISION COLUMN AND THESE DRAWINGS ARE NOT COMPLETE AND ANY PRICES BASED ON THESE DRAWINGS MUST INCLUDE ALLOWANCES FOR THIS WITH NO LIABILITY ON INTELLIGENT ENGINEERING DESIGN LTD.  
CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE.  
DO NOT SCALE DRAWINGS. WHEN REQUIRED REQUEST WRITTEN VERIFICATION OF DIMENSIONS FROM INTELLIGENT ENGINEERING DESIGN LTD. - USE LATEST REVISED DRAWINGS.  
CONTRACTOR IS FULLY RESPONSIBLE FOR MATTERS AFFECTING CONSTRUCTION.  
ANY MATERIAL ALTERATIONS CARRIED OUT DURING CONSTRUCTION BY THE CONTRACTOR OR ASSOCIATED SUB-CONTRACTOR SHALL BE CONFIRMED WITH THE ENGINEER PRIOR TO INSTALL. FAILURE TO DO SO RESULTS IN FULL CONTRACTOR RESPONSIBILITY FOR SYSTEMS AFFECTED.

No.	Date	Revision
5	SEP 08, 2024	ISSUED FOR COORDINATION
4	JULY 26, 2024	ISSUED FOR TENDER/CONSTRUCTION
3	MAY 15, 2024	RE-ISSUED FOR PERMIT
2	MAR 28, 2024	ISSUED FOR PERMIT
1	FEB 08, 2024	ISSUED FOR COORDINATION

**ISSUES/REVISION TABLE**

Project:



**SHERWOOD LIBRARY RENOVATION**  
1225 WONDERLAND RD. N. LONDON, ON.

Drawing Title:

**TYPICAL DETAILS IV**

Drawn By: D.K./S.D. Scale: AS INDICATED  
Checked By: M.A.H./J.G. Plot Date: SEP 10-2024  
Project Date: DEC. 2022  
Project No: 2022-92

Drawing No: S-6.3 Revision: 5

**MECHANICAL - GENERAL NOTES:**

**1.0 MECHANICAL SPECIFICATIONS**

**1.1 GENERAL**  
THE RESPONSIBILITY AND SCOPE OF EACH SUB-RATE RESTS SOLELY WITH THE CONTRACTOR. EXTRAS WILL NOT BE CONSIDERED BASED ON THE GROUNDS OF DIFFERENCE IN INTERPRETATION OF SPECIFICATIONS AND DRAWINGS AS TO WHICH RADE INVOLVED SHALL PROVIDE CERTAIN SPECIAL TIES OR MATERIALS SHOULD ANY CONFLICTS OCCUR BETWEEN LAYOUTS SHOWN ON DRAWING AND APPLICABLE CODES. THE CODE REQUIREMENTS SHALL BE ADHERED TO.

**1.2 EXAMINATION OF WORK**  
DRAWINGS ARE DIAGRAMMATIC AND APPROXIMATELY TO SCALE. THE CONTRACT DOCUMENTS ESTABLISH SCOPE, MATERIAL AND QUALITY AND ARE NOT DETAILED INSTALLATION INSTRUCTIONS. THE MECHANICAL CONTRACTOR MUST VISIT THE SITE TO PRE-QUALIFY HIS TENDER SUBMISSION. FAILURE TO COMPLY WITH THIS REQUIREMENT WILL RENDER HIS PORTION (DIVISION 15) OF THE WHOLE TENDER AS UNQUALIFIED AND WILL BE REJECTED.

**1.3 INTENT**  
IT IS THE INTENT OF THIS SPECIFICATION AND DRAWINGS TO PROVIDE FOR A COMPLETE AND FULLY OPERATING SYSTEM IN COMPLETE ACCORD WITH ALL APPLICABLE CODES. THESE SPECIFICATIONS MAY NOT COVER EACH AND EVERY ITEM REQUIRED FOR THE COMPLETE MECHANICAL INSTALLATION. THEREFORE, THE CONTRACTOR SHALL MAKE HIS OWN PROVISIONS FOR ALL LABOUR, MATERIALS AND EQUIPMENT DEEMED NECESSARY TO COMPLETE THE MECHANICAL SYSTEM. THE SPECIFICATIONS ARE INTEGRAL WITH THE DRAWINGS WHICH ACCOMPANY THEM. NEITHER IS TO BE USED ALONE, ANY ITEM OR SUBJECT OMITTED FROM ONE, BUT IMPLIED ON THE OTHER IS PROPERLY SPECIFIED. NOTES ARE INCLUDED TO ASSIST THE CONTRACTOR IN UNDERSTANDING THE SCOPE OF WORK. UNLESS NOTED OTHERWISE THE NOTATIONS SHALL APPLY FOR THE ENTIRE FLOOR AREA WITHIN WHICH THE NOTATION IS LOCATED. MULTIPLE NOTES SHALL NOT BE INTERPRETED THAT AN UNNOTED ITEM IS EXCLUDED ALL WORK TO CONFORM TO LATEST NATIONAL, PROVINCIAL, MUNICIPAL CODES, BYLAWS, REGULATIONS AND AUTHORITIES HAVING JURISDICTION. WHENEVER DIFFERENCES OCCUR IN THE CONTRACT DOCUMENTS, THE MAXIMUM CONDITION WILL GOVERN AND BE INCLUDED IN THE CONTRACT PRICE. CONFORM TO MANUFACTURER'S INSTRUCTIONS, DETAILS AND PROCEDURES FOR EQUIPMENT INSTALLATIONS. INSTALL EQUIPMENT IN LOCATIONS AND ROUTES SHOWN WITH MINIMUM INTERFERENCE WITH OTHER SERVICES OR TRADES. REMOVE AND REPLACE EQUIPMENT IMPROPERLY INSTALLED. ALL NEW INSTALLATIONS ARE TO MEET OR EXCEED BASE BUILDING STANDARDS.

**1.4 INSURANCE**  
THE CONTRACTOR MUST HAVE COMPREHENSIVE GENERAL LIABILITY INSURANCE COVERAGE OF NOT LESS THAN SPECIFIED IN THE TENDER DOCUMENTS INCLUDING NON OWNED CAR COVERAGE, CONTRACTUAL LIABILITY AND CONTAINING A CROSS LIABILITY CLAUSE. COVERAGE SHALL INCLUDE LOSS OR DAMAGE CAUSED BY THE CONTRACTOR. THE CONTRACTOR SHALL CARRY FULL EMPLOYEE'S LIABILITY INSURANCE IN ACCORDANCE WITH THE WORKER'S COMPENSATION ACT.

**1.5 LIABILITY**  
THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR LAYING OUT HIS WORK AND FOR ANY DAMAGE CAUSED TO OWNER OR OTHER CONTRACTOR BY IMPROPER LOCATION OR CARRYING OUT HIS WORK. THIS CONTRACTOR SHALL PROTECT ALL FINISHED AND UNFINISHED WORK OF HIS OWN AND OTHER CONTRACTORS, INCLUDING EXISTING FROM DAMAGE DUE TO CARRYING OUT HIS WORK. VERIFY ALL EXISTING ELEVATIONS, DIMENSIONS, CLEARANCES AND BUILDING FEATURES PRIOR TO COMMENCING INSTALLATION.

**1.6 COORDINATION AND CO-OPERATION**  
COORDINATE WORK WITH ALL OTHER SUBCONTRACTORS AND TRADES INVOLVED. CONFIRM IN WRITING TO GENERAL CONTRACTOR/ENGINEER ANY EXISTING SERVICES OR WORKS DEEMED TO BE UNACCEPTABLE AND/OR DEFECTIVE PRIOR TO COMMENCING WORK.

**1.7 INTERRUPTION OF SERVICES**  
WHILE WORK IS IN PROGRESS, CONTINUITY OF SERVICES SHALL BE MAINTAINED TO ALL EXISTING SERVICES. INTERRUPTIONS SHALL BE COORDINATED WITH THE OWNER AS TO TIME AND DURATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY INTERRUPTIONS TO SERVICES AND SHALL REPAIR ANY DAMAGES TO THE EXISTING SYSTEMS CAUSED BY HIS OPERATIONS. THE CONTRACTOR SHALL INCLUDE IN HIS PRICE ANY COST FOR PREMIUM TIME OUTSIDE OF NORMAL WORKING HOURS TO COMPLETE THE WORK ON SCHEDULE AND TO MAINTAIN ALL EXISTING SYSTEMS IN OPERATION.

**1.8 CERTIFICATES, FEES, ETC.**  
GIVE ALL NOTICES, OBTAIN ALL PERMITS AND PAY ALL FEES SO THAT THE WORK SPECIFIED MAY BE CARRIED OUT. FURNISH ANY CERTIFICATES AT THE OWNER'S REQUEST. PROVIDE EVIDENCE THAT WORK INSTALLED CONFORMS TO THE LAWS AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION. CERTIFICATES/PERMITS ARE TO BE PROVIDED FOR QUALITY OF WORKMANSHIP AND WORKMAN QUALIFICATIONS. INSPECTIONS SHALL BE MADE PROMPTLY, IF ANY WORK IS COVERED UP WITHOUT CONSENT, IT SHALL, IF REQUIRED, BE UNCOVERED FOR EXAMINATION AND MAKE GOOD AT NO EXTRA COST TO OWNER.

**1.9 IDENTIFICATION**  
PROVIDE FOR IDENTIFICATION OF PIPING AND DUCTWORK WITH MARKERS SHOWING SERVICE AND DIRECTION OF FLOW. APPLY LABELS AT MAXIMUM 5-FT INTERVALS, BEFORE AND AFTER PASSING THROUGH WALLS, AT ACCESS DOOR OPENINGS, AT EACH SHUT OFF VALVE AND ADJACENT TO EACH PIECE OF EQUIPMENT. LABELS SHALL BE WATERPROOF AND HEAT RESISTANT WITH YELLOW BACKGROUND, MINIMUM 1-INCH LETTERING AND DRY ADHESIVE BACKING. PROVIDE 3M #76 ADHESIVE MINIMUM 1-INCH LETTERING AND DRY ADHESIVE BACKING. PROVIDE 3M #76 ADHESIVE IN ADDITION TO DRY ADHESIVE BACKING. PROVIDE 2-INCH WIDE COLOUR BAND OF PLASTIC PRESSURE SENSITIVE TAPE FOR PIPING LAMICOD LABELS WITH 1/2-INCH LETTERS AND KEY WITH CONTROL SCHEMATICS.

**1.10 CUTTING AND PATCHING**  
UNLESS BUILDER'S WORK IS EXCLUDED FROM HIS SCOPE OF WORK, THE MECHANICAL CONTRACTOR SHALL INCLUDE AND BE RESPONSIBLE FOR CUTTING, PATCHING AND MAKE GOOD ALL OPENINGS REQUIRED FOR THE MECHANICAL SERVICES. PROTECT EXISTING BUILDING, STRUCTURE AND FINISHES. LOCATE HOLES AND PROVIDE SLEEVES, CUTTING AND FITTING REQUIRED FOR MECHANICAL WORK. RELOCATE IMPROPERLY LOCATED HOLES AND REPAIR WORK ACCORDING TO PROVIDE EXPANSION BOLTS, HANGER RODS, BRACKETS AND SUPPORTS. DO NOT ALTER STRUCTURAL MEMBERS OF BUILDING WITHOUT OBTAINING APPROVAL FROM CONSULTANT. PERFORM PATCHING OF FINISHED WORK IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF SPECIFICATIONS.

**1.11 FLASHING**  
ON ALL FL-FLASHING AND COUNTER FLASHING WHERE DUCTS AND OTHER MECHANICAL PARTS ARE PASSING THROUGH OTHER AND/OR WATER PROOF WALLS, FLOORS AND ROOFS, ALL TO THE SATISFACTION OF THE OWNER.

**1.12 PIPE HANGERS, SUPPORTS AND SLEEVES**  
HANGERS AND SUPPORTS SHALL SECURE PIPES IN PLACE. PREVENT VIBRATION, MAINTAIN GRADE BY ADJUSTMENT. PROVIDE FOR EXPANSION AND CONTRACTION AND SHALL BE DIRECTLY FROM THE STRUCTURE.

**1.13 TESTING**  
TEST ALL EQUIPMENT AND MATERIALS WHERE REQUIRED BY SPECIFICATIONS OR AUTHORITIES HAVING JURISDICTION. TO DEMONSTRATE ITS PROPER OPERATION AND FUNCTIONALITY TO THE OWNER'S REPRESENTATIVE. TEST PROCEDURES SHALL BE IN ACCORDANCE WITH APPLICABLE PORTIONS OF THE ASME, ASHRAE, SMACNA, NFPA, CSA AND OTHER RECOGNIZED TEST CODES AS FAR AS FIELD CONDITIONS PERMIT. ALL LOW VELOCITY DUCT SYSTEMS, INCLUDING SUPPLY, RETURN AND EXHAUST SHALL BE CHECKED FOR TIGHTNESS. ALL LEAKS SHALL BE REPAIRED BEFORE DUCTS ARE FURRED IN TO INSURE TOTAL OUTLET CAPACITY IS WITHIN 5% OF THE QUANTITY BEING SUPPLIED BY THE AIR SYSTEMS. GED EQUIPMENT.

**1.14 ELECTRIC MOTORS AND WIRING**  
CONTRACTOR TO REVIEW ALL EQUIPMENT REQUIRING ELECTRICAL HOOK-UP WITH ELECTRICAL CONTRACTOR AND ELECTRICAL DRAWINGS PRIOR TO ORDERING EQUIPMENT. CONFIRM ALL ELECTRICAL CHARACTERISTICS AS REQUIRED. SUPPLY ALL MECHANICAL EQUIPMENT WITH ELECTRIC MOTORS AS REQUIRED. THE ELECTRICAL SUBCONTRACTOR SHALL BE RESPONSIBLE TO SUPPLY ALL MOTOR STARTERS AND DISCONNECT SWITCHES FOR ALL MOTORS FOR THE PROJECT. ALL LINE VOLTAGE WIRING TO STARTERS AND STARTERS TO MOTORS EXCEPT ON PREWIRED PACKAGED EQUIPMENT.

**1.15 CONTROLS (FAN SWITCHES) CONNECTED TO MECHANICAL EQUIPMENT SHALL BE SUPPLIED BY THE MECHANICAL TRADE AND SHALL BE INSTALLED, WIRING AND CONNECTED BY THE DIVISION 15 TRADES.**

**1.16 RECORD BAS-BUILT & DRAWINGS**

KEEP IN THE JOB OFFICE AN EXTRA SET OF WHITE PRINTS AND SPECIFICATIONS ON WHICH ALL CHANGES AND DEVIATIONS SHALL BE RECORDED DAILY. AT COMPLETION OF THE PROJECT, TURN OVER TO THE ENGINEER THREE SETS OF REAT AS-BUILT DRAWINGS AND SPECIFICATIONS. THESE EXTRA SETS OF WHITE PRINT AND SPECIFICATIONS SHALL BE PROVIDED BY THE ARCHITECT.

**1.17 SHOP DRAWINGS**  
BEFORE FABRICATION OF ANY MATERIALS OR EQUIPMENT, SUBMIT A MINIMUM OF SIX (6) COMPLETE SETS OF DRAWINGS AND DATA SHEETS COVERING ALL ITEMS OF EQUIPMENT FURNISHED AND INTENDED FOR INSTALLATION. THE ENGINEER'S REVIEW SHALL NOT RELIEVE THIS CONTRACTOR FROM RESPONSIBILITY TO PROVIDE MATERIALS AND EQUIPMENT IN ACCORDANCE WITH THE DESIGN INTENT AND CONTRACT DOCUMENTS. ALL DIMENSIONS AND SITUATIONS FOR SITE CONDITIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL ELECTRICAL CHARACTERISTICS MUST BE COORDINATED WITH THE ELECTRICAL SUBCONTRACTOR. REPAIR ANY TEMPORARY EQUIPMENT USED FOR TEMPORARY HEAT, TO THE FULL SATISFACTION OF THE OWNER.

**1.18 STANDARD OF WORKMANSHIP AND MATERIALS**  
MAKE AND QUALITY OF MATERIALS USED ARE SUBJECT TO APPROVAL BY THE SHALL BE FULLY OPERATIONAL AND ANY DEFICIENCIES SHALL BE IDENTIFIED TO ENGINEER. ALL DEFICIENCIES SHALL BE COMPLETED WITHIN 2 WEEKS AFTER SUBSTANTIAL COMPLETION. FAILURE TO COMPLETE WORK WITHIN THE TIME FRAME WILL RESULT IN WORK BEING DONE BY THE OWNER AND THE COST BORNE BY THE CONTRACTOR.

**1.19 EQUIPMENT CLEANUP**  
DUCTS AND EQUIPMENT SHALL BE THOROUGHLY CLEANED OF DIRT, CUTTINGS AND OTHER FOREIGN SUBSTANCES. DISCONNECT, CLEAN AND RECONNECT WHENEVER NECESSARY FOR THE PURPOSE OF LOCATING AND REMOVING OBSTRUCTIONS. REPAIR WORK DAMAGED IN THE CAUSE OF REMOVING OBSTRUCTIONS. ALL MECHANICAL (DIVISION 15) MATERIALS TO BE DEMOLISHED SHALL BE REMOVED AND DISPOSED OF OFF-SITE BY THIS DIVISION 15. ACCORDANCE WITH ALL LOCAL, PROVINCIAL AND FEDERAL ENVIRONMENTAL REGULATIONS.

**1.20 GUARANTEE**  
THE MECHANICAL SUBCONTRACTOR, AS A CONDITION PRECEDENT TO FINAL PAYMENT AFTER COMPLETION OF HIS WORK, SHALL GIVE OWNER A WRITTEN GUARANTEE WARRANTING ALL APPARATUS FURNISHED UNDER THE CONTRACT FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF HIS WORK BY THE ARCHITECT AND ENGINEER. ATTEND IMMEDIATELY, AT NO COST TO OWNER, TO ANY AND ALL DEFECTS OCCURRING DURING THE WARRANTY PERIOD.

**1.21 PERATION AND MAINTENANCE DATA**  
FURNISH THREE SETS OF OPERATING AND MAINTENANCE DATA FOR ALL EQUIPMENT AND SYSTEMS. DATA SHALL BE ASSEMBLED IN BOOK FORM WITH HARD COVER AND INDEX. IDENTIFY FRONT COVER WITH NAME AND LOCATION OF THE PROJECT. CONSULT THE ENGINEER AND CONTRACTOR, PRIOR TO SUBSTANTIAL COMPLETION. SUBMIT ONE COPY TO ENGINEER FOR APPROVAL.

**1.22 APPROVALS**  
THE PRICE SUBMITTED FOR THIS CONTRACT SHALL BE BASED ON THE USE OF MATERIALS AND EQUIPMENT SPECIFIED. IF THIS CONTRACTOR WISHES TO QUOTE ON EQUIVALENT MATERIALS AND EQUIPMENT, HE MUST OBTAIN ON PRODUCTS APPROVED BY THE ENGINEER IN WRITING, AS AN EQUIVALENT TO THE PRODUCT SPECIFIED. THIS CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY ADDITIONAL WORK OR MATERIALS REQUIRED BY THE MECHANICAL TRADE OR OTHER CONTRACTORS TO ACCOMMODATE APPROVED EQUIVALENT MATERIALS OR EQUIPMENT. EXTRAS SHALL NOT BE APPROVED TO COVER SUCH WORK.

**1.23 VALUATION OF CHANGES**  
FOR EACH CHANGE, SUBMIT A COMPLETE, ITEMIZED BREAKDOWN OF LABOUR AND MATERIAL AT NET COST, SHOWING QUANTITIES, UNIT COST, HOURS PER EACH ITEM INSTALLED, PROFIT, OVERHEAD ETC., ONLY THE NET DIFFERENCE BETWEEN AN EXTRA AND A CREDIT WILL BE SUBJECT TO OVERHEAD AND PROFIT MARK UP.

**2.0 LANDLORD APPROVAL**  
2.1. CONFORM TO SCHEDULE 'C' OF LANDLORD TENANT LEASE AGREEMENT.

2.2. CONFORM TO BASE BUILDING STANDARDS AND SPECIFICATIONS AND ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNING AUTHORITIES AND LOCAL BYLAWS.

2.3. ALL WORK MUST COMPLY WITH THE LANDLORDS GUIDELINES WHERE APPLICABLE.

2.4. OBTAIN APPROVAL FROM THE LANDLORD BEFORE CUTTING ANY STRUCTURAL WALLS OR FLOORS, CUTTING AND DRILLING SHALL ONLY BE AT TIMES ALLOWED BY THE LANDLORD. CHECK AND VERIFY THE LOCATION OF EXISTING MECHANICAL AND ELECTRICAL SERVICES IN WALLS AND BELOW THE FLOOR SLAB IN ALL AREAS REQUIRING CORE DRILLING AND CUTTING. PROTECT ALL TENANT AREAS WHERE CORE DRILLING OCCURS. PROVIDE X-RAY STUDY BEFORE DRILLING OR CUTTING WHERE REQUIRED BY THE LANDLORD.

2.5. SEAL TO BE AIR-TIGHT AROUND ALL DUCTWORK AND PIPING PENETRATIONS THROUGH PARTITIONS, Baffles ABOVE CEILINGS, AND THROUGH FLOORS THAT ARE NOT FIRE RATED. ALL SHUTDOWN, DRAINING AND FILLING OF ANY PORTION OF THE EXISTING BASE BUILDING SYSTEMS SHALL BE PERFORMED BY THE LANDLORD'S BUILDING OPERATIONS STAFF AND SHALL BE CO-ORDINATED WITH THE LANDLORD FOR TIME AND DURATION OF INTERRUPTIONS. COMPLY WITH ALL OF THE LANDLORDS INSTRUCTIONS, AND INCLUDE FOR ALL COSTS FOR THIS WORK IN THE TENDER PRICE.

2.6. PROVIDE TEMPORARY FILTERS, 1 IN. THICK DISPOSABLE MEDIA TYPE, OVER ALL RETURN AIR OPENINGS IN THE BASE BUILDING H.V.A.C. SYSTEMS THAT REMAIN IN OPERATION DURING CONSTRUCTION. MAINTAIN AND REPLACE THE TEMPORARY FILTER MEDIA AS REQUIRED TO PREVENT CONSTRUCTION DUST FROM FOLLING THE BASE BUILDING EQUIPMENT. REMOVE SAME AT THE COMPLETION OF CONSTRUCTION. FILTERS IN ALL BASE BUILDING AIR HANDLING EQUIPMENT, I.E., AIR HANDLING UNITS, INDUCTION UNITS, FAN COIL UNITS, ETC., SHALL BE REPLACED AFTER CONSTRUCTION IS COMPLETED.

2.7. PRIOR TO OPERATING ANY EXISTING OR NEW EQUIPMENT ANY STAGE OF CONSTRUCTION, APPROVAL FROM THE LANDLORD MUST BE RECEIVED IN WRITING.

2.8. ALL EXISTING EQUIPMENT, MATERIALS AND ASSOCIATED CONTROLS NOT USED IN THIS CONTRACT SHALL BE PACKAGED AND TURNED-OVER TO THE LANDLORD.

2.9. PROVIDE DUCT SEALER ON ALL NEW DUCT JOINTS. TAPE IS NOT PERMITTED.

2.10. CONTRACTOR IS RESPONSIBLE TO COORDINATE BETWEEN MECHANICAL, ELECTRICAL AND ARCHITECTURAL DRAWINGS.

**3.0 PLUMBING**

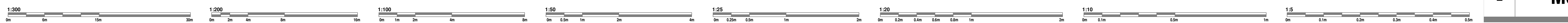
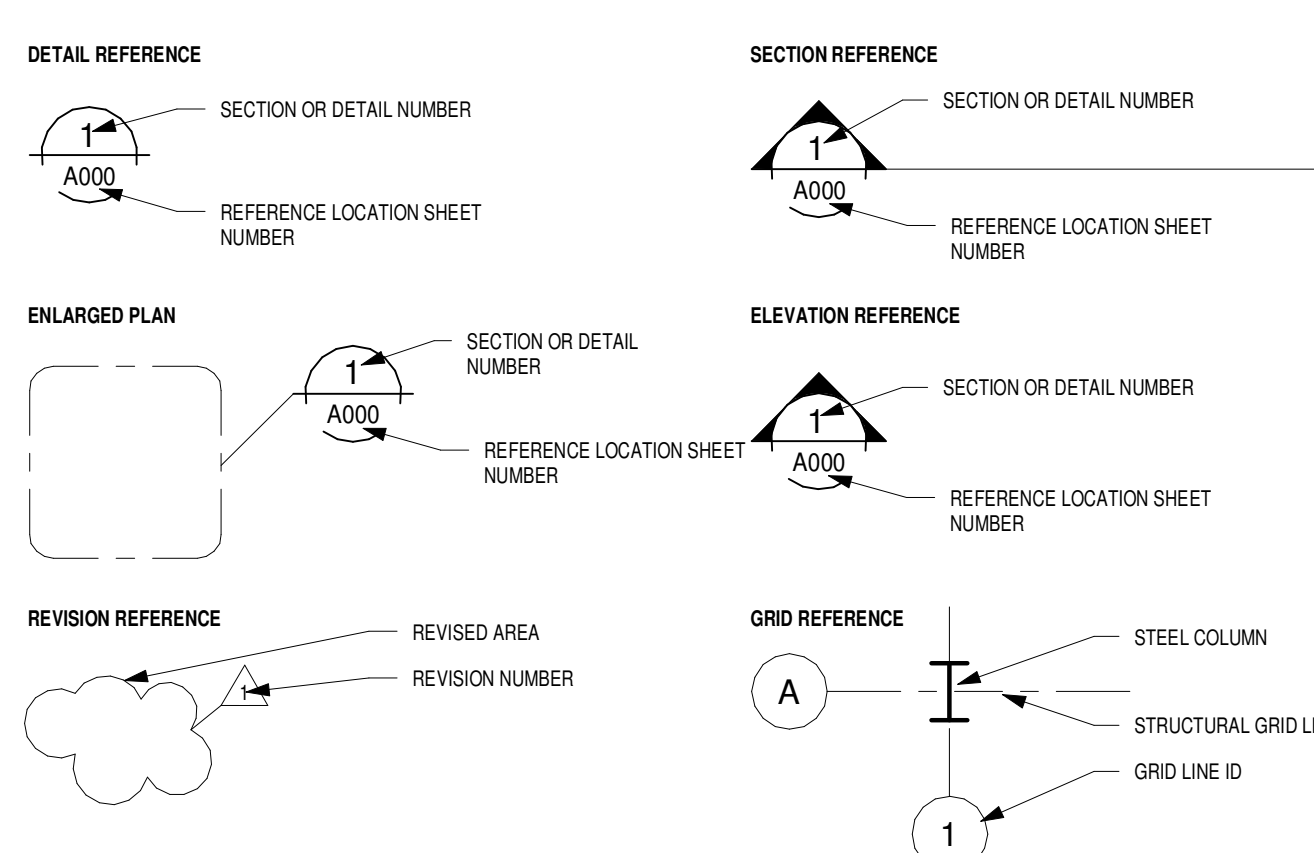
**3.1 PIPE AND FITTINGS**  
ALL PLUMBING WORK TO CONFORM TO OBC, ONTARIO WATER REGULATION ACT NO. 615/84, CONSTRUCTION SAFETY ACT AND REGULATIONS OF THE CITY AND LOCAL AUTHORITIES. COORDINATE PIPE INSTALLATION WITH ELECTRICAL CONDUITS, DUCTS AND STRUCTURAL MEMBERS. OFFSET PIPES AS REQUIRED. ALL REVISIONS SHALL BE MARKED ON AS-BUILT DRAWINGS. CONTRACTOR SHALL FIELD VERIFY EXISTING PLUMBING AND DRAINAGE. INVERTS BEFORE PROCEEDING WITH THE WORK. ALL EXISTING BURIED SERVICE LOCATIONS ON DRAWINGS ARE APPROXIMATE ONLY. REPORT ANY DISCREPANCIES TO THE MECHANICAL ENGINEER IMMEDIATELY. CONTRACTOR TO CARRY OUT IN HIS PRICE A PIPING SYSTEM TEST PRIOR TO INSULATION OR COVERING OF PIPING SYSTEM. PROVIDE TEST REPORT. DRAINAGE AND VENT PIPING ABOVE GRADE SHALL BE DWV COPPER OR CAST IRON WITH MECHANICAL JOINTS. SANITARY DRAINS 1 1/2-INCH AND SMALLER MAY BE HARD TEMPERED COPPER DRAINAGE TUBE (DWT). DOMESTIC HOT AND COLD WATER PIPING ABOVE GRADE AND INSIDE BUILDING SHALL BE TYPE L HARD COPPER. DO NOT INSTALL HOT AND COLD WATER PIPES IN EXPOSED EXTERIOR WALLS. DOMESTIC PIPING SOLDER SHALL BE LEAD FREE. PROVIDE PIPE SLEEVES FOR ALL PIPING PASSING THROUGH FLOOR SLAB. PIPE SLEEVES WILL PROJECT 2-INCH ABOVE FINISHED FLOOR LEVEL AND BE CALKED TO MAKE WATER TIGHT PENETRATION. WHERE DISSIMILAR METALS ARE JOINED OR SUPPORTED, THE PIPING SHALL HAVE NON-CONDUCTING TYPE CONNECTIONS OR HANGERS TO PREVENT GALVANIC CORROSION. ALL PIPING PASSING THROUGH FIRE SEPARATIONS TO BE FIRE STOPPED TO MAINTAIN ORIGINAL FIRE RATING. ALL PLUMBING ROUGH-INS SHALL BE INSPECTED BY THE ENGINEER. CONTRACTOR TO INFORM ENGINEER PRIOR TO CONCALUNG.

**3.2 PIPE INSULATION**  
PROVIDE INSULATION CW VAPOUR BARRIER TO ALL DOMESTIC HOT AND COLD WATER LINES. PIPE INSULATION SHALL BE 1-INCH THICK, EXCEPT FOR 3/4-INCH PIPE SIZES OR LESS. USE 1/2-INCH THICK INSULATION COVER EXPOSED PIPES WITH PVC JACKETS. FINISH INSULATION NEATLY AT HANGERS, SUPPORTS AND OTHER PROTRUSIONS. INSULATE FITTINGS AND VALVES.

**MECHANICAL AND PLUMBING SYMBOLS AND ABBREVIATIONS**

PLUMBING	STEAM PIPING	RADIATION SYMBOLS	ABBREVIATIONS																																																																																																																																																																																																																																
DOMESTIC COLD WATER DOMESTIC HOT WATER HOT WATER RETURN HOT WATER (140° F) HOT WATER RETURN (140° F) HOT WATER (180° F) HOT WATER RETURN (180° F) TEMPERED WATER COLD SOFT WATER HOT SOFT WATER HOT SOFT WATER RETURN NON POTABLE WATER GAS AIR (WITH PSI) STORM WATER (SUSPENDED) STORM WATER (BURIED) SANITARY WASTE (SUSPENDED) SANITARY WASTE (BURIED) SANITARY VENT LINE DRAIN LINE WELL WATER GAS METER WATER METER RPBP (REDUCED PRESSURE BACKFLOW PREVENTER)	BOILER FEED WATER EMERGENCY BOILER FEED WATER LOW PRESSURE STEAM MEDIUM PRESSURE STEAM HIGH PRESSURE STEAM LOW PRESSURE CONDENSATE RETURN MEDIUM PRESSURE CONDENSATE RETURN HIGH PRESSURE CONDENSATE RETURN CONDENSATE PUMP DISCHARGE CONDENSATE RETURN FLOAT & THERMOSTATIC TRAP INVERTED BUCKET TRAP THERMOSTATIC TRAP  CONDENSER WATER SUPPLY CHILLED WATER RETURN CHILLED WATER SUPPLY CHILLED WATER RETURN GROUND LOOP WATER SUPPLY GROUND LOOP WATER RETURN HEATING WATER SUPPLY HEATING WATER RETURN FUEL OIL SUPPLY FUEL OIL RETURN FUEL OIL VENT 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<p><b>MECHANICAL DRAWINGS INDEX</b></p> <table border="1"> <thead> <tr> <th>SHEET NO.</th> <th>SHEET NAME</th> <th>REV</th> <th>REV DATE</th> <th>ISSUED BY</th> </tr> </thead> <tbody> <tr><td>M001</td><td>GENERAL MECHANICAL NOTES</td><td>E</td><td>2024-07-26</td><td>M.D.</td></tr> <tr><td>M002</td><td>GENERAL MECHANICAL NOTES II AND SCHEDULES</td><td>D</td><td>2024-07-26</td><td>M.D.</td></tr> <tr><td>M100</td><td>EXISTING HVAC SYSTEM</td><td>E</td><td>2024-07-26</td><td>M.D.</td></tr> <tr><td>M101</td><td>HVAC SYSTEM RETROFIT PLAN</td><td>E</td><td>2024-07-26</td><td>M.D.</td></tr> <tr><td>M102</td><td>HVAC SYSTEM - WORK COMPLETED</td><td>E</td><td>2024-07-26</td><td>M.D.</td></tr> <tr><td>M103</td><td>MECHANICAL PLUMBING RENOVATION</td><td>G</td><td>2024-09-19</td><td>M.D.</td></tr> <tr><td>M000</td><td>TYPICAL MECHANICAL DETAILS</td><td>E</td><td>2024-07-26</td><td>M.D.</td></tr> </tbody> </table>		SHEET NO.	SHEET NAME	REV	REV DATE	ISSUED BY	M001	GENERAL MECHANICAL NOTES	E	2024-07-26	M.D.	M002	GENERAL MECHANICAL NOTES II AND SCHEDULES	D	2024-07-26	M.D.	M100	EXISTING HVAC SYSTEM	E	2024-07-26	M.D.	M101	HVAC SYSTEM RETROFIT PLAN	E	2024-07-26	M.D.	M102	HVAC SYSTEM - WORK COMPLETED	E	2024-07-26	M.D.	M103	MECHANICAL PLUMBING RENOVATION	G	2024-09-19	M.D.	M000	TYPICAL MECHANICAL DETAILS	E	2024-07-26	M.D.	<p><b>TEMPERATURE CONTROL/MONITORING</b></p> ROOM THERMOSTAT (HEAT) ROOM THERMOSTAT (HEAT/COOL) ROOM THERMOSTAT (COOL) DUCT THERMOSTAT (PNEUMATIC) DUCT THERMOSTAT (ELECTRIC) HUMIDISTAT CARBON DIOXIDE SENSOR FLOW SWITCH TEMPERATURE SENSOR FLOW METER MOTORIZED DAMPER DIFFERENTIAL PRESSURE TRANSMITTER PETE'S PLUG VARIABLE FREQUENCY DRIVE TEMPERATURE CONTROL PANEL																																																																																																																																																																																									
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**DRAWING REFERENCE SYMBOLS:**



IT IS THE RESPONSIBILITY OF THE OWNER, GENERAL AND/OR TRAVEL CONTRACTOR FOR ALL SUB-TASKS TO PROVIDE THE PROJECT AS A WHOLE. ALL DISCREPANCIES AND DIMENSIONAL ERRORS ON THE PLANS AND RELATED DOCUMENTS MUST BE REPORTED TO THE BIM MEE AEC DESIGN INC. (BIM MEE) PRIOR TO COMMENCING ANY WORK.

**MECHANICAL - GENERAL NOTES (CONT.):**

**3.3 CLEANOUTS**

PROVIDE CLEANOUTS WHERE SHOWN AND AT ALL LOCATIONS AS REQUIRED BY THE ONTARIO CODE AND GUIDELINE FOR PLUMBING.  
 3.4 UNIVERSAL ACCESS DOOR FOR WALLS AND CEILING  
 ACCUDOR SERIES UF-5000 ACCESS DOORS, 14 GA. (1.7MM) STEEL, RUST RESISTANT, CONTINUOUS CONCEALED HINGE, WITH POSITIVE AND SELF-OPENING SCREWDRIVER OPERATED LOCK. DOORS IN TILE WALLS SHALL BE STAINLESS STEEL AND SHALL SUIT TILE PATTERN. ALL OTHER PANELS SHALL BE PRIME PAINTED STEEL. MINIMUM SIZE OF PANELS SHALL BE 12" X 18" (300MM X 450MM), WHEREVER POSSIBLE 24" X 24" (600MM X 600MM) PANELS SHALL BE USED.

**4.0 HVAC**

**4.1 DUCTWORK**

DUCTWORK SHALL BE GALVANIZED STEEL AND SHALL BE LOCK FORMING QUALITY. ALL DUCTWORK SHALL BE CONSTRUCTED, BRACED, CONNECTED AND JOINTED AS RECOMMENDED IN THE LATEST ISSUE OF ASHRAE GUIDE AND THE DUCT CONSTRUCTION STANDARDS ISSUED BY THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION INC. (SMACNA). ALL DUCTWORK SHALL BE INSTALLED TO CONFORM TO THE ONTARIO BUILDING CODE. NFPA PAMPHLETS 96A AND 91 AND IN ACCORDANCE WITH APPLICABLE CODES. THE MINIMUM SHEET METAL THICKNESS FOR DUCTS SHALL BE AS FOLLOWS:

RECTANGULAR DUCTS	
MAXIMUM WIDTH	GAUGE
UP TO 12-INCH	26
12 TO 30-INCH	24
31 TO 55-INCH	22

ROUND DUCTWORK SHALL BE SUSPENDED BY BAND IRON HANGERS. RECTANGULAR DUCTWORK SHALL BE SUPPORTED AT MAXIMUM 8-FT SPACING. ALL DUCTS ASSOCIATED WITH FANS AND OTHER MACHINERY SHALL BE INSTALLED WITH CANVAS FLEXIBLE CONNECTIONS ON INLET AND OUTLET OPENINGS. ALL FANS AND AIR HANDLING UNITS SHALL BE MOUNTED WITH VIBRATION ISOLATORS.

**4.2 VOLUME DAMPERS**

INSTALL VOLUME DAMPERS AT ALL AIR INLETS AND OUTLETS AND WHERE REQUIRED FOR BALANCING. SINGLE BLADE WITH LOCKING QUADRANT FOR DUCTS LESS THEN 12-INCH DEEP. PROVIDE MULTI-BLADE OPPOSED BLADE DAMPERS FOR DUCTS GREATER THEN 12-INCH DEEP. PROVIDE MULTI-BLADE OPPOSED BLADE BALANCING DAMPERS WHERE SHOWN.

**4.3 AIR OUTLETS**

PROVIDE ALL AIR OUTLETS COMPLETE WITH ACCESSORIES AS SPECIFIED HEREIN AND INDICATED ON THE DRAWINGS. COORDINATE LOCATIONS OF ALL AIR OUTLETS WITH LIGHTING AND CEILING GRID. THE POSITIONS INDICATED ARE APPROXIMATE ONLY. THIS CONTRACTOR SHALL CHECK THE LOCATION OF ALL OUTLETS AND SHALL MAKE SUCH ADJUSTMENTS IN POSITION AS NECESSARY TO CONFORM WITH ARCHITECTURAL FEATURES AT NO EXTRA COST TO OWNER.

PROVIDE BALANCING DAMPERS NEAR EACH SUPPLY AIR OUTLET. SIZES AND AIR VOLUME AS SCHEDULED.

**4.4 AIR SYSTEM TESTING, BALANCING AND COMMISSIONING**

BALANCE SYSTEM FOR RA TED AIR FLOW, ROOM TEMPERATURE CONTROL, AND CURRENT DRAW AFTER INSTALLATION IS COMPLETE AND IN FULL WORKING ORDER. ADJUST CONTROL FOR CONTINUOUS AIR CIRCULATION AND MINIMUM ENERGY CONSUMPTION. ADJUST FAN SPEED AS REQUIRED TO OBTAIN SPECIFIC PERFORMANCES. CONTRACTOR TO BALANCE SYSTEM FOR OUTSIDE AIR AS GIVEN IN UNIT PERFORMANCE. COMMISSION ENTIRE MECHANICAL SYSTEM INCLUDE START UP REPORT IN MAINTENANCE MANUAL. THE BALANCING CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS, REPLACE MOTOR AND FAN SHEAVES AND BELTS UPON BALANCING OF EXISTING AND NEW AIR SYSTEMS.

**4.5 CONTROLS BY MECHANICAL CONTRACTOR**

PROVIDE SYSTEM COMPONENTS CONSISTING OF THERMOSTATS, INDICATING DEVICES, INTERFACE EQUIPMENT AS REQUIRED TO OPERATE MECHANICAL SYSTEM AND TO PERFORM FUNCTIONS SPECIFIED.

PROVIDE TEMPERATURE SENSORS WHERE SHOWN ON THE DRAWINGS. VERIFY LOCATION OF ALL THERMOSTATS AND SENSORS BEFORE INSTALLATION. LOCATE THERMOSTAT AT 47-INCHES AFF.

CONTRACTOR TO PROVIDE ALL CONTROL COMPONENTS AND LOW VOLTAGE WIRING TO ENSURE A COMPLETE AND OPERATIONAL SYSTEM.

EXISTING - ROOF TOP UNIT SCHEDULE														
MARK	SERVICE	MAKE	MODEL	NOMINAL CAPACITY				ESP IN WC	ELECTRICAL DATA			APPROX. WEIGHT (lbs.)	FRESH AIR (CFM)	REMARKS
				TONS	CFM	HEATING MBH	COOLING MBH		VOLTAGE	MCA	MOCP			
RTU-1	UNIT 1	CARRIER	48HCED08A2A5A0B0A0	7.5	3000	180 / 148	90		208/3/60					EXITING UNIT ON THE ROOF
RTU-2	UNIT 2	CARRIER	48HCED08A2A5A0B0A0	7.5	3000	180 / 148	90		208/3/60					EXITING UNIT ON THE ROOF
RTU-3	UNIT 3	CARRIER	48TCEM08A2A5A0B0A0	7.5	3000	180 / 148	90		208/3/60					EXITING UNIT ON THE ROOF

**FRESH AIR REQUIREMENT CALCULATION**

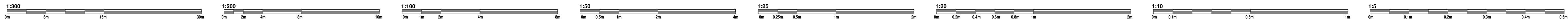
**AS PER ASHRAE 62.1:**

LIBRARY FRESH AIR PER PERSON = 5.0 CFM  
 LIBRARY FRESH AIR PER SQFT = 0.12 CFM/ft²

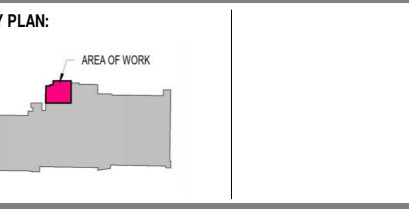
13861 ft² X 0.12 CFM + 205 PERSON X 5.0 CFM = 2,688 CFM

**TOTAL FRESH AIR REQUIREMENTS: 2,688 CFM**

FRESH AIR PROVIDED BY RTU ECONOMIZER



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 DO NOT SCALE. DIMENSIONS FOR CONSTRUCTION SET MUST HAVE ORIGINAL COORDINATE TO THE PLAN AND SHOW THE  
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**ISSUED DATES:**

ITEM NO.	DATE	ISSUED FOR:	BY:
A	2024-09-09	PER LUMINARY STUDY REVIEW	M.D.
B	2024-09-17	ISSUED FOR PERMIT	M.D.
C	2024-07-23	ISSUED FOR IFT/IFC	M.D.
D	2024-07-26	UPDATED ISSUED FOR IFT/IFC	M.D.

SEAL - ENGINEER



F. BABANZADEH, P.Eng.

**BIM MEE AEC DESIGN INC**  
 184 Garden Crescent, London, Ontario  
 Website: www.BIMMEE.com  
 Email: info@BIMMEE.com

CLIENT:

LONDON PUBLIC LIBRARY



PROJECT:

SHERWOOD LIBRARY RENOVATION

1225 Wonderland Rd N, London, ON N6G 2V9

SHEET NAME:

**GENERAL MECHANICAL NOTES II AND SCHEDULES**

DRAWN BY: M.E.T.S. CHECKED BY: M.D./F.B.

PROJ. MGR/ARCH:

APPROVED FOR CONSTRUCTION DATE:

PLOT DATE/TIME: 2024-09-18 5:42:35 PM

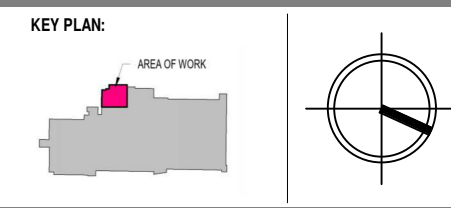
PROJECT NO: P-BIMSR-22-51

REVISION NO: SHEET NO:

D M002



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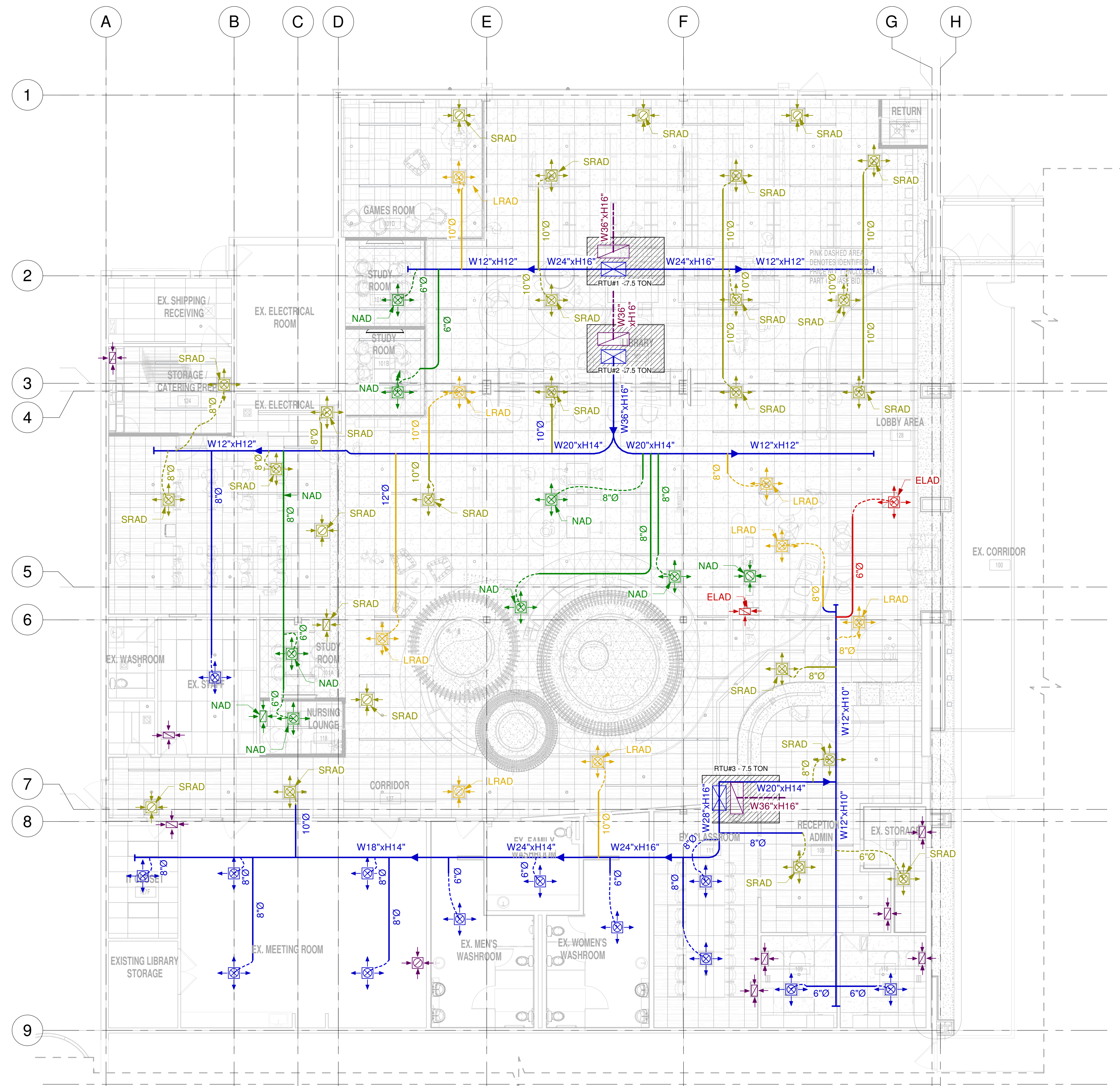
ITEM NO.	DATE	ISSUED FOR:	BY:
A	2024-02-06	PRELIMINARY STUDY/REVIEW	M.D.
B	2024-05-15	ISSUED FOR COORDINATION	M.D.
C	2024-05-17	ISSUED FOR PERMIT	M.D.
D	2024-07-25	ISSUED FOR IFT/EC	M.D.
E	2024-07-25	UPDATED ISSUED FOR IFT/EC	M.D.

**MECHANICAL HVAC RETROFIT OPERATION ABBREVIATION:**

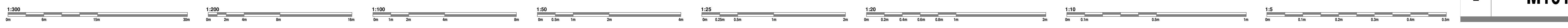
- SRAD :** SLIGHTLY RELOCATE THE AIR TERMINAL AND ADJUST THE FLEX DUCT OR DUCT BENT TO AIR TERMINAL AND CEILING TILE GRID
- LRAD :** LOCALLY ADJUST THE AIR DUCT (SHORTEN OR ELONGATE) AND RELOCATE THE AIR TERMINAL AND ADJUST THE FLEX DUCT OR DUCT BENT TO AIR TERMINAL AND CEILING TILE GRID
- NAD :** NEW DUCT AND AIR TERMINAL - CAREFULLY CONNECT THE EXISTING MAIN BRANCH
- ELAD :** ELIMINATE THE EXISTING DUCT AND AIR TERMINAL - PATCH THE EXISTING DUCT BRANCH AT THE LOCATION

**SPECIFIC DRAWING LEGEND:**

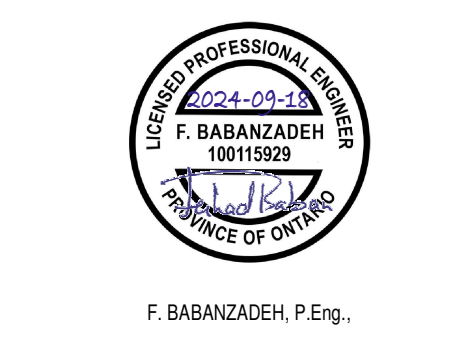
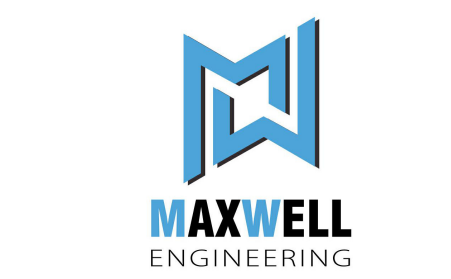
- HVAC SUPPLY AIR TERMINAL
- HVAC RETURN AIR TERMINAL (SQUARE)
- HVAC SUPPLY AIR TERMINAL (RECTANGULAR)
- HVAC SUPPLY AIR DUCT (EXISTING)
- HVAC SUPPLY AIR FLEX DUCT OR BENT TO TERMINAL (EXISTING)
- HVAC RETURN AIR DUCT (EXISTING)



**1 MECHANICAL HVAC RETROFIT PLAN- MAIN FLOOR LAYOUT**  
 1/8" = 1'-0"



SEAL-ENGINEER



**BIM MEE AEC DESIGN INC**  
 184 Garden Crescent, London, Ontario  
 Website: www.BIMMEE.com  
 Email: info@BIMMEE.com

CLIENT:  
**LONDON PUBLIC LIBRARY**

PROJECT:  
**SHERWOOD LIBRARY RENOVATION**  
 1225 Wonderland Rd N, London, ON N6G 2V9

SHEET NAME:  
**HVAC SYSTEM RETROFIT PLAN**

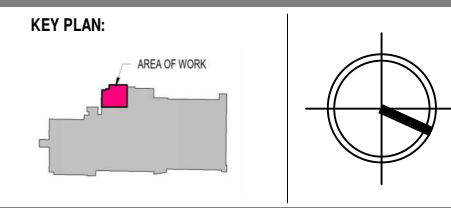
DRAWN BY: M.D. CHECKED BY: M.D./F.B.  
 PROJ. MGR/ARCH:

APPROVED FOR CONSTRUCTION DATE:  
 PLOT DATE/TIME: 2024-09-18 5:42:44 PM

PROJECT NO: P-BIMSR-22-51  
 REVISION NO: SHEET NO:

**E M101**

IT IS THE RESPONSIBILITY OF THE OWNER, GENERAL AND/OR TRAVEL CONTRACTOR AND ALL SUB-CONTRACTORS TO VERIFY THE PROJECT AS A WHOLE. ALL DISCREPANCIES AND DIMENSIONAL ERRORS ON THE PLANS AND RELATED DOCUMENTS MUST BE REPORTED TO THE BIM MEE AEC DESIGN INC (BIM MEE) PRIOR TO COMMENCING ANY WORK.  
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ISSUED DATES:

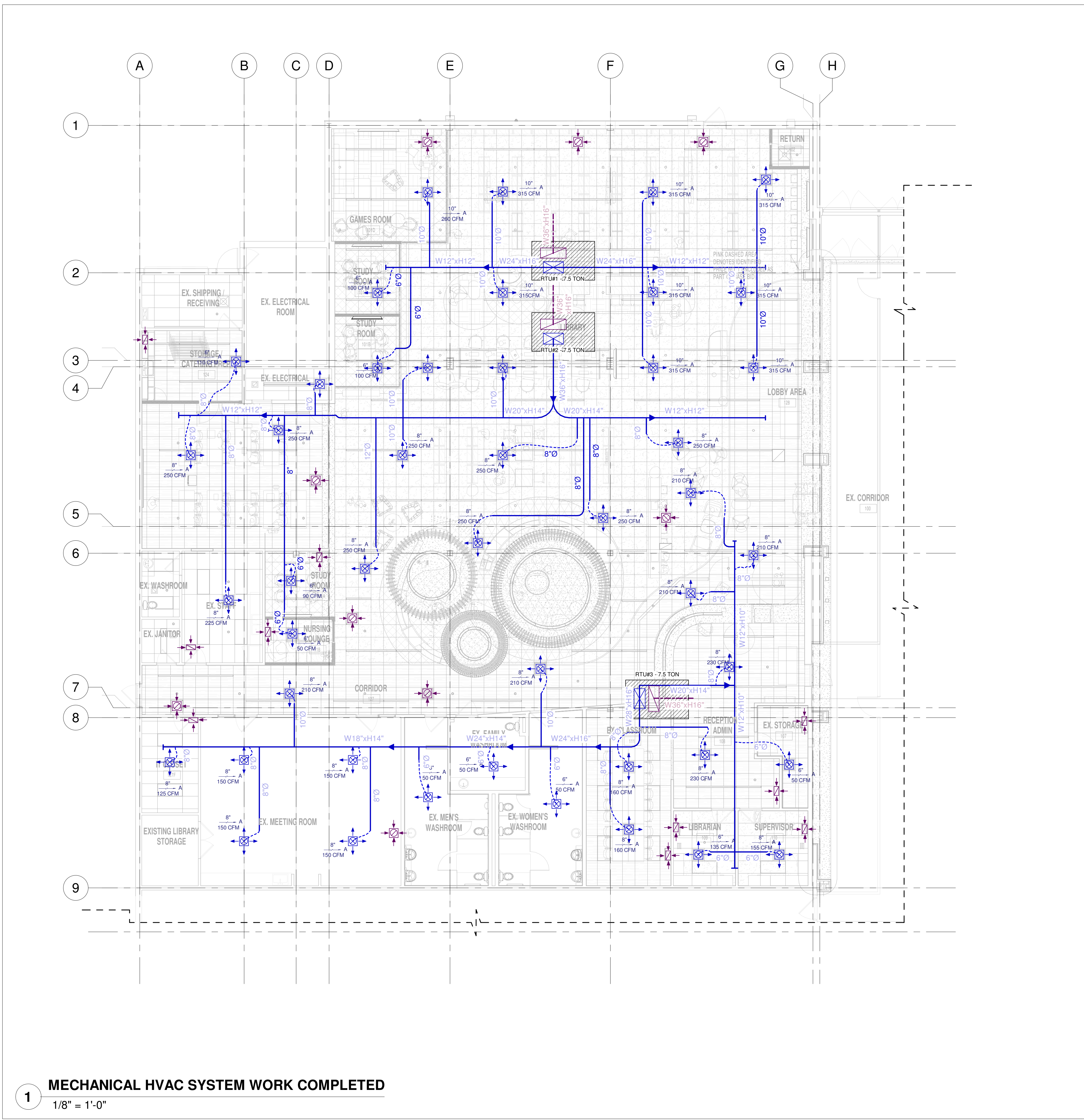
ITEM NO.	DATE	ISSUED FOR:	BY:
A	2024-02-06	PRELIMINARY STUDY/REVIEW	M.D.
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C	2024-05-17	ISSUED FOR PERMIT	M.D.
D	2024-07-25	ISSUED FOR IFT/IFC	M.D.
E	2024-07-26	UPDATED ISSUED FOR IFT/IFC	M.D.

**HVAC SYSTEM RETROFIT NOTES:**

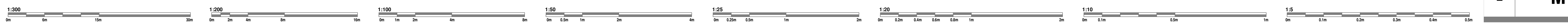
- ALL PRESENTED DATA AND SIZING ARE ROUGH ESTIMATES AND HAVE TO BE SITE VERIFIED AND COORDINATED BY THE CONTRACTOR AND GC BEFORE CONSTRUCTION.
- ANY DISCREPANCY IN SIZE, LENGTH OR PROVIDED DATA ON THIS DRAWING AND ACTUAL AS-BUILT CONDITION OF THE EXISTING DUCTS HAS TO BE REREPORTED TO BIM MEE AEC DESIGN INC FOR VERIFICATION AND CHECK WITH THE DESIGN DATA.
- BIM MEE AEC DESIGN INC. IS NOT RESPONSIBLE FOR EXISTING DUCT CONDITIONS.
- BIM MEE AEC DESIGN INC IS NOT RESPONSIBLE, NOR LIABLE FOR ANY EXISTING CONDITION OF THE HVAC SYSTEM INCLUDING DUCT SIZES PROVIDED ON THIS DRAWINGS PACKAGE. EXISTING CEILING DOES NOT ALLOW PROPER ACCESS TO THE DUCTS.
- SHOULD ACCURATE DATA BE REQUIRED, THE OWNER AND GC MUST HIRE A CONTRACTOR TO GATHER AN ACCURATE SURVEY OF THE EXISTING DUCTS AND CONDITION AFTER REMOVAL OF THE EXISTING CEILING.
- PROJECT ARCHITECT IS REPOSIBLE FOR ANY DIMENSION PROVIDED ON THE XREF - REFERENCED BASE DRAWINGS USED ON THIS PACKAGE.

**SPECIFIC DRAWING LEGEND:**

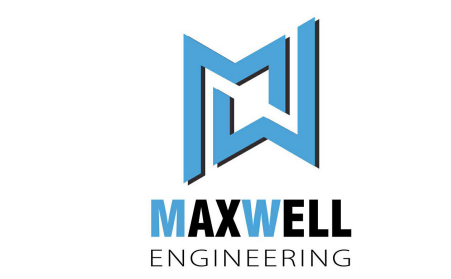
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- HVAC RETURN AIR TERMINAL (SQURE)
- HVAC SUPPLY AIR TERMINAL (RECTANGULAR)
- HVAC SUPPLY AIR DUCT (EXISTING)
- HVAC SUPPLY AIR FLEX DUCT OR BENT TO TERMINAL (EXISTING)
- HVAC RETURN AIR DUCT (EXISTING)



**MECHANICAL HVAC SYSTEM WORK COMPLETED**  
 1/8" = 1'-0"



SEAL: ENGINEER



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 Email: info@BIMMEE.com

CLIENT:  
**LONDON PUBLIC LIBRARY**

PROJECT:  
**SHERWOOD LIBRARY RENOVATION**  
 1225 Wonderland Rd N, London, ON N6G 2V9

SHEET NAME:  
**HVAC SYSTEM - WORK COMPLETED**

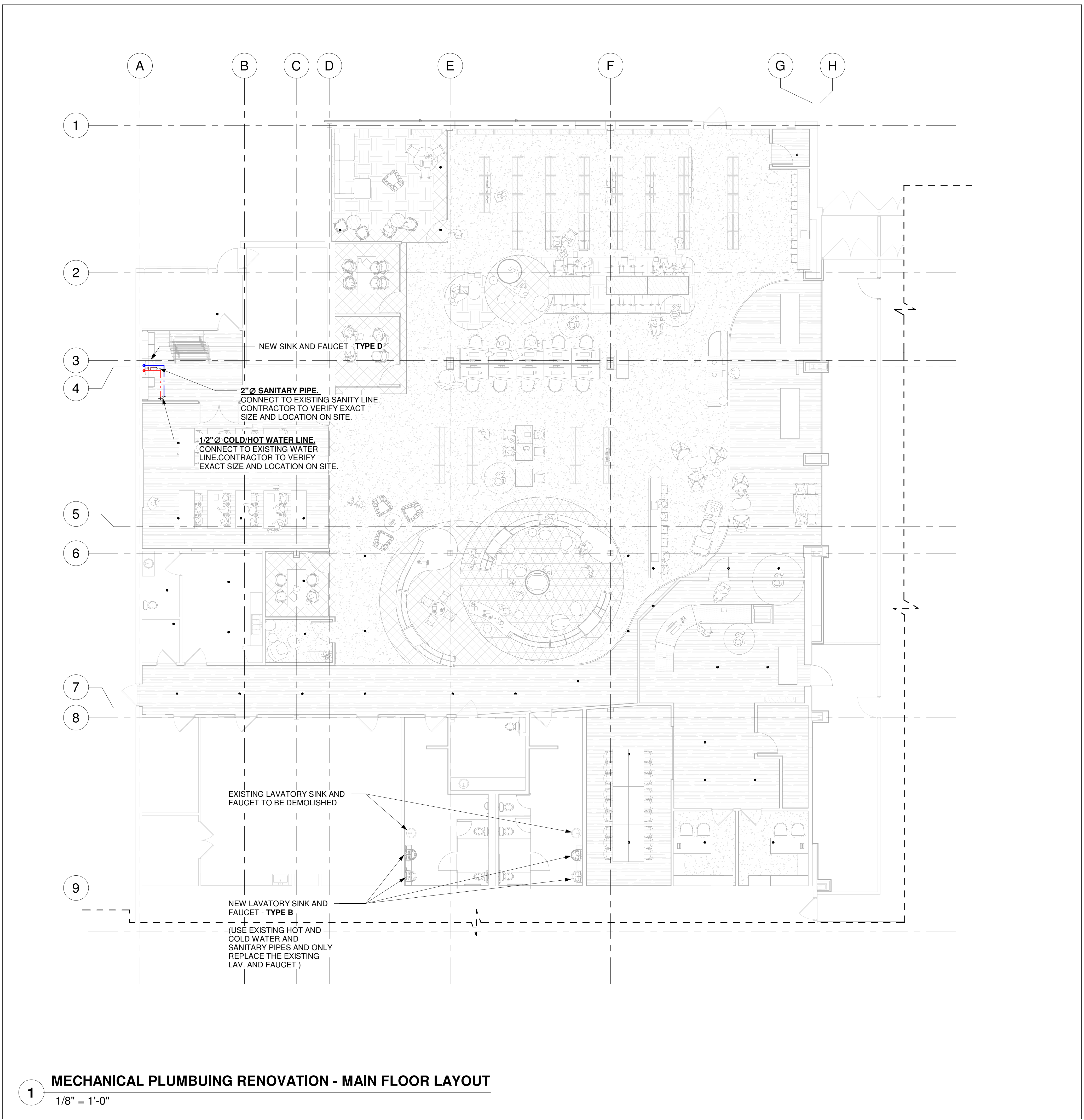
DRAWN BY: M.D. CHECKED BY: M.D./F.B.  
 PROJ. MGR/ARCH:

APPROVED FOR CONSTRUCTION DATE:  
 PLOT DATE/TIME: 2024-09-18 5:42:51 PM

PROJECT NO: P-BIMSR-22-51  
 REVISION NO: SHEET NO:

**E M102**





- MECHANICAL SANITARY NOTES:**
- ALL WORK SHALL BE EXECUTE BY LICENCE PLUMBER.
  - ABOVE GROUND DRAIN, WASTE AND VENT PIPING: PVC DWV (INSIDE LOW BUILDINGS) SHALL BE IPEX SYSTEM 15 DWV TO CAN/CSA B181.2, WITH A FLAME SPREAD RATING NOT MORE THAN 25, WITH SOLVENT WELD JOINTS OR MJ GREY MECHANICAL JOINT COUPLINGS. SYSTEM 15 IS NOT PERMITTED INSIDE HIGH BUILDINGS OR PLENUMS.
  - PVC DWV (INSIDE BUILDINGS CLASSIFIED AS "HIGH BUILDINGS" AND INSIDE PLENUMS) SHALL BE IPEX SYSTEM XFR DWV TO CAN/CSA B181.2, WITH A FLAME SPREAD RATING NOT MORE THAN 25 AND SMOKE DEVELOPED CLASSIFICATION NOT MORE THAN 50, WITH SOLVENT WELD JOINTS OR MJ GREY MECHANICAL JOINT COUPLINGS.
  - BURIED DRAINAGE PIPING SHALL BE IPEX RING-TITE SDR 35 OR SDR 28 SEWER PIPE TO CAN/CSA B182.2 WITH GASKETED JOINTS.
  - FIELD VERIFY EXACT LOCATION OF EXISTING SANITARY, DIRECTION OF FLOW, INVERT, SIZE AND POINT OF CONNECTION, BEFORE ANY PLUMBING IS STARTED.
  - CONNECT NEW SANITARY LINE INTO EXISTING SANITARY LINES. CONNECTION SHALL BE OF EQUAL SIZE OR GREATER. FIELD VERIFY EXACT LOCATION AND ELEVATION.
  - THE NEW VENT INTO EXISTING VENT THRU ROOF. FIELD VERIFY EXACT SIZE AND LOCATION. MINIMUM VENT TO BE 38Ø.
  - NEW FLOOR DRAIN (FD). CONNECT TO EXISTING PIPING. PROVIDE TRAP PRIMER. FIELD VERIFY EXACT REQUIREMENTS.

- MECHANICAL PLUMBING NOTE:**
- ALL WORK SHALL BE EXECUTE BY LICENCE PLUMBER
  - ONLY THE MAIN COLD WATER (C.W) AND HOT WATER (H.W) PIPES ARE SHOWN. MAKE INDIVIDUAL CONNECTIONS. PROVIDE CAS APPROVED BACKFLOW PREVENTORS TO ALL POTABLE CONNECTIONS TO EQUIPMENT
  - ALL ABOVE GROUND DOMESTIC WATER PIPING SHALL BE TYPE 'L' COPPER WITH BRASS OR WROUGHT COPPER FITTING. AS AN ALTERNATE, USE AQUARISE CPVC PIPE AND FITTINGS TO CAN/CSA B137.6, NSF 61, WITH A FLAME SPREAD RATING NOT MORE THAN 25 AND SMOKE DEVELOPED CLASSIFICATION NOT MORE THAN 50, WITH SOLVENT WELDED JOINTS. INSTALLER TO CONTACT IPEX FOR TRAINING BEFORE INSTALLING AQUARISE.
  - DOMESTIC WATER PIPES SHOULD BE RUN ABOVE REFLECTED CEILING AND/OR SIDE WALLS. PLASTIC PIPING INSTALLED INSIDE CEILING/WALL SPACES USED AS A PLENUM SHALL HAVE A FLAME SPREAD RATING NOT MORE THAN 25 AND SMOKE DEVELOPED CLASSIFICATION NOT MORE THAN 50.
  - FOR CONNECTING TO EXISTING WATER LINE FIELD VERIFY EXACT SIZE AND LOCATION. CONNECTION SHALL BE OF EQUAL SIZE OR GREATER.

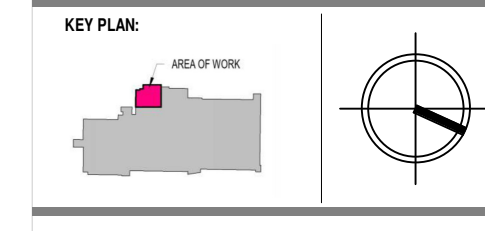
- FIRE SPRINKLER SYSTEM NOTE:**
- FIRE PROTECTION SYSTEM RETROFIT AND ITS COORDINATION WITH BUILDING SYSTEM BY CONTRACTOR. PROVIDE STAMPED DRAWINGS FOR REVIEW.
  - ALL EXISTING SPRINKLER HEADS SHOWN ON DRAWINGS ARE ROUGH ESTIMATED AS PER SURVERY PROVIDED TO BIM MEE AEC DESIGN AND NOT REPOSIBILITY OF BIM MEE AEC DESIGN INC

**PLUMBING FIXTURE SCHEDULE**

DRAWING REFERENCE	FIXTURE MAKE & MODEL	FIXTURE TRIM - MAKE & MODEL	CONNECTIONS			
			HOT	COLD	DRAIN	VENT
B	WASHROOM LAVATORY - EQUAL "AMERICAN STANDARD" - MEZZO™ SEMI - COUNTERTOP SINK ( CHECK THE HOLES DIM AND OFF WITH FAUCET MODEL)	FITTING: MOEN 8248SMF15 - MAX FLOW AT 5.7 LPM C/W POP UP DRAIN ASSEMBLY TAILPIECE: TRAP: MCGUIRE 8872C SUPPLIES: MCGUIRE H165LKN3 WASTE:	½"	½"	1 ¼"	1 ¼"
D	25" SINGLE BLANCO SINK - PRECIS 25 ADA CSA (SINGLE) Product # 28502U906	FITTING: MOEN CHATEAU 7445 - CHROME ONE HANDLE FAUCET - MAX FLOW AT 5.7 LPM TRAP: CAST BRASS 1-½", CLEANOUT, UNION ESCUTCH: SUPPLIES: ANGLE STOPS, ESCUTCH, METAL RISERS	½"	½"	1 ½"	1 ¼"

- NOTES:**
- ALL SANITARY VENTING TO BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF ONTARIO BUILDING CODE.
  - ALL FLOOR DRAINS TO BE TRAPPED, VENTED, AND PRIMED BELOW FLOOR.
  - ALL TUB AND SHOWER SPOUTS SHALL BE SUPPORTED BY WING BACK 90°.

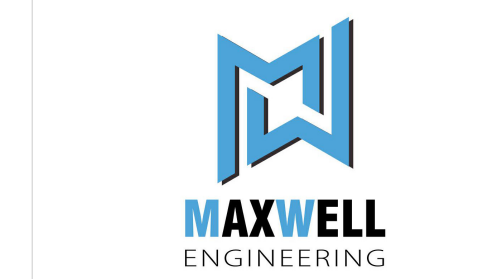
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**ISSUED DATES:**

ITEM NO.	DATE	ISSUED FOR:	BY:
A	2024-05-17	ISSUED FOR PERMIT	M.D.
B	2024-07-23	ISSUED FOR IFT/IFC	M.D.
C	2024-07-26	UPDATED ISSUED FOR IFT/IFC	M.D.
D	2024-08-08	UPDATED ISSUED FOR IFT/IFC	M.D.
E	2024-08-23	UPDATED ISSUED FOR IFT/IFC	M.D.
F	2024-08-23	UPDATED ISSUED FOR IFT/IFC	M.D.
G	2024-09-18	UPDATED ISSUED FOR IFT/IFC	M.D.

SEAL: ENGINEER



**BIM MEE AEC DESIGN INC**  
 184 Garden Crescent, London, Ontario  
 Website: www.BIMMEE.com  
 Email: info@BIMMEE.com

**CLIENT:**  
 LONDON PUBLIC LIBRARY

**PROJECT:**  
 SHERWOOD LIBRARY RENOVATION  
 1225 Wonderland Rd N, London, ON N6G 2V9

**SHEET NAME:**  
 MECHANICAL PLUMBING RENOVATION

**DRAWN BY:** M.D. **CHECKED BY:** M.D./F.B.  
**PROJ. MGR/ARCH:**

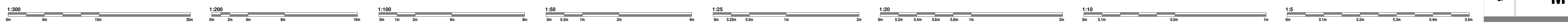
**APPROVED FOR CONSTRUCTION DATE:**  
**PLOT DATE/TIME:** 2024-09-18 5:42:55 PM

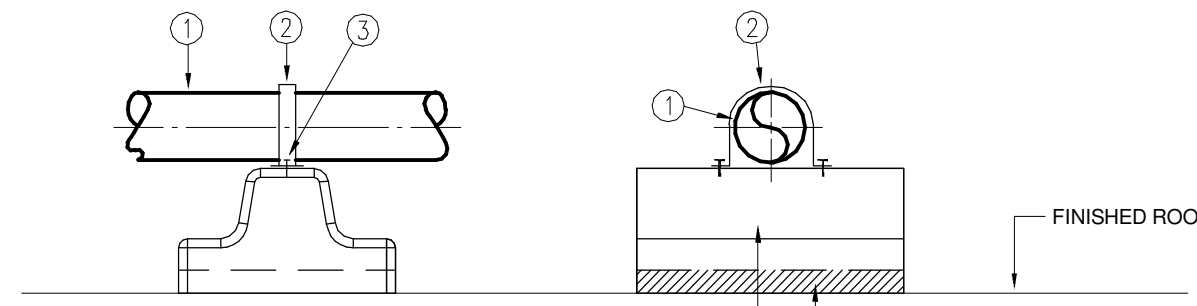
**PROJECT NO:** P-BIMSR-22-51

**REVISION NO:** **SHEET NO:**

**G M103**

**1 MECHANICAL PLUMBING RENOVATION - MAIN FLOOR LAYOUT**  
 1/8" = 1'-0"



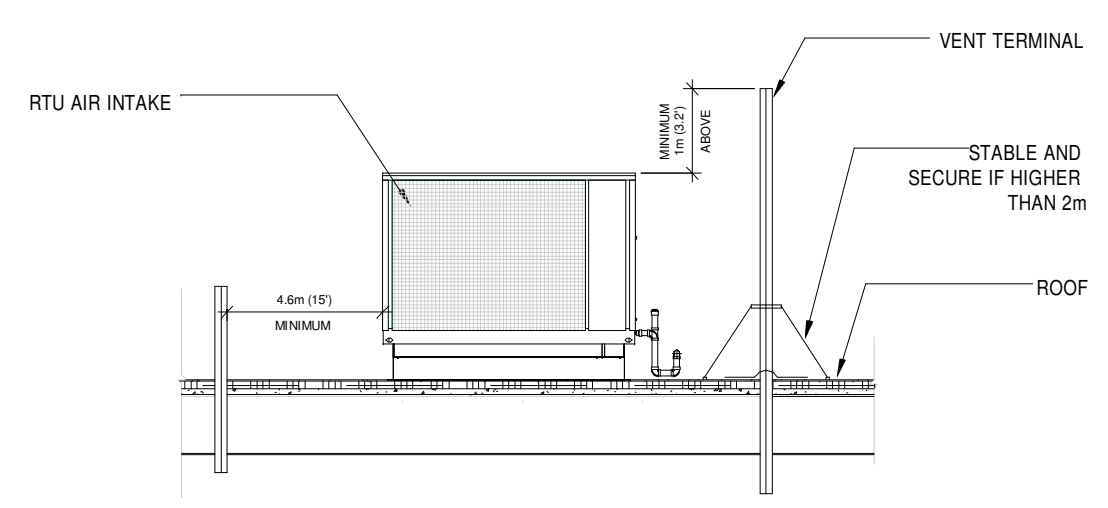


NOTE:  
ALL PIPING TO BE PAINTED YELLOW ON THE ROOF AND IN THE BUILDING AS PER CAN/CSA B149.1-10 LATEST EDITION.

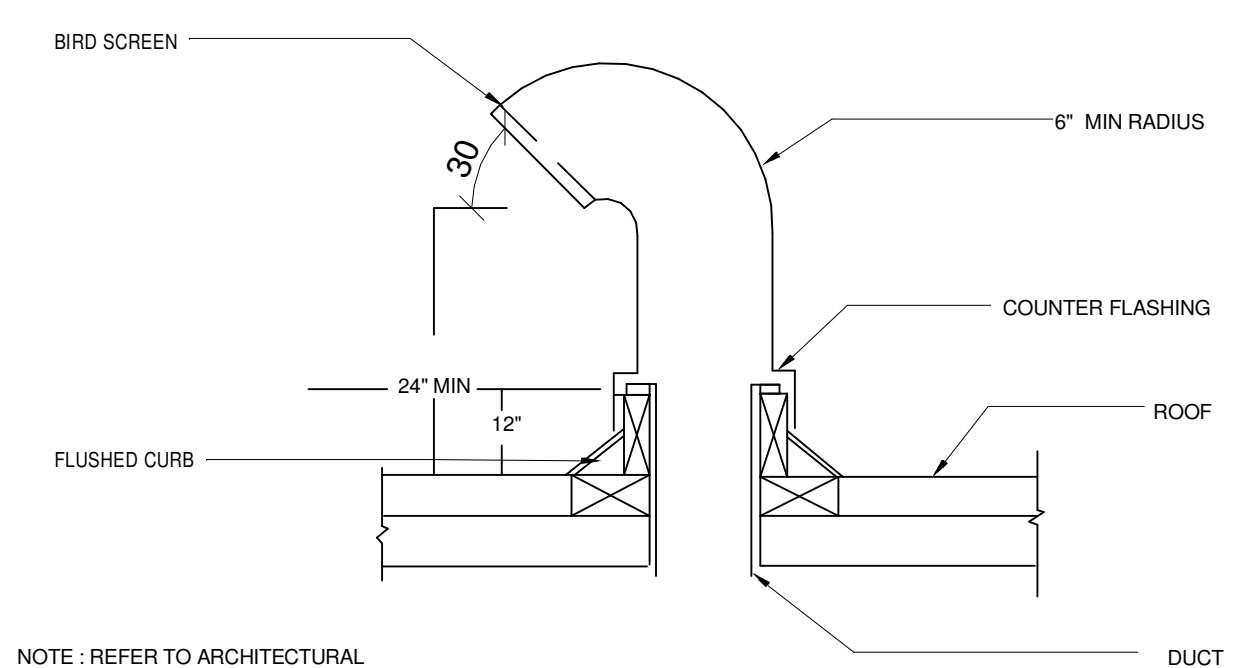
- 1 SCHEDULE 40 STEEL PIPE.
- 2 WROUGHT IRON STRAPS - GRINNELL FIG. 282 OR EQUAL. COAT WITH RUST PREVENTIVE PAINT.
- 3 CADMIUM PLATED No.12 - 50mm LONG WOOD SCREWS.

PIPE SUPPORT SPACING:(HORIZONTAL)	
PIPE SIZE	SPACING
12mm(1/2") OR LESS	2M (6' - 0")
19mm-25mm(3/4" - 1")	2.5M (8' - 0")
32mm-65mm(1 1/4" - 2 1/2")	3.0M (10' - 0")
75mm-100mm(3" - 4")	5.0M (15' - 0")
125mm-200mm(5" - 8")	6.0M (20' - 0")
250mm(10") OR LARGER	8.0M (26' - 0")

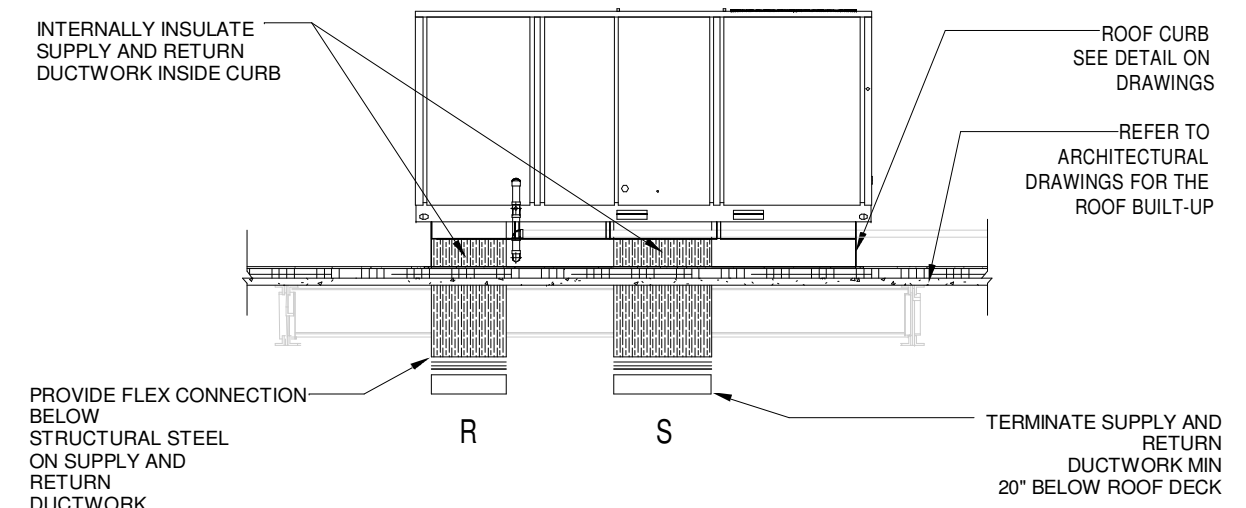
**3 GAS PIPING SUPPORT DETAIL**  
SCALE: NTS



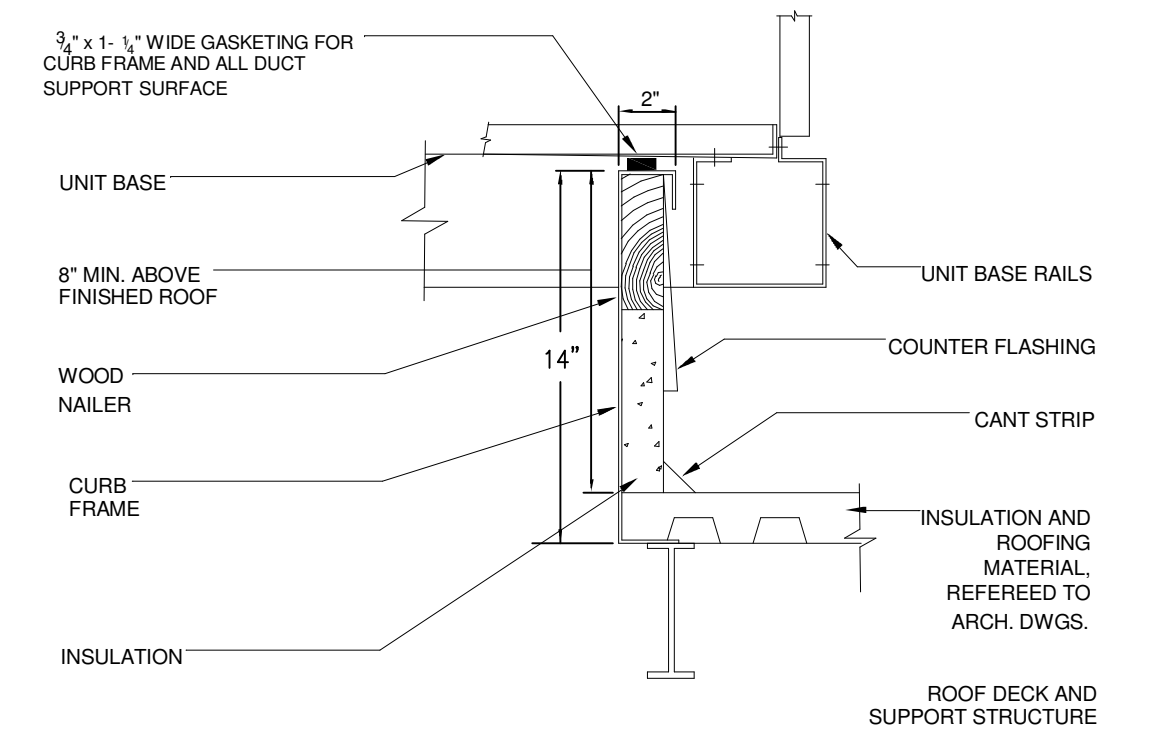
**2 ROOF SANITARY VENT CLEARANCE DISTANCES**  
SCALE: NTS



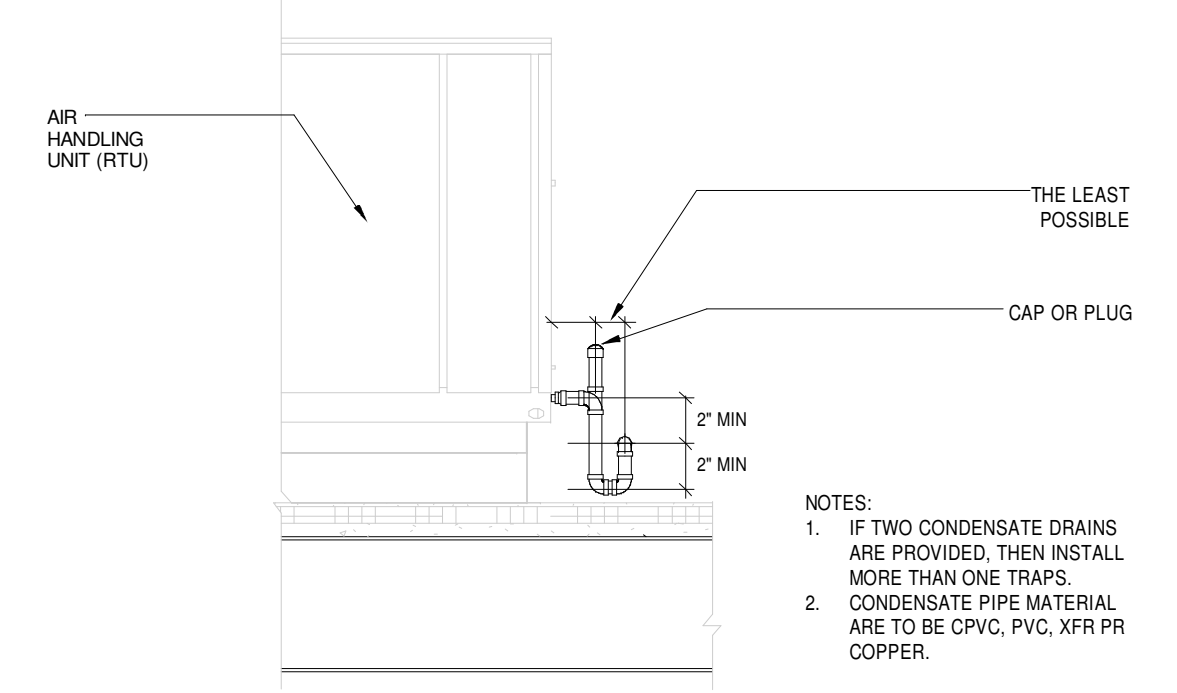
**1 TYPICAL GOOSNECK DETAILS**  
SCALE: NTS



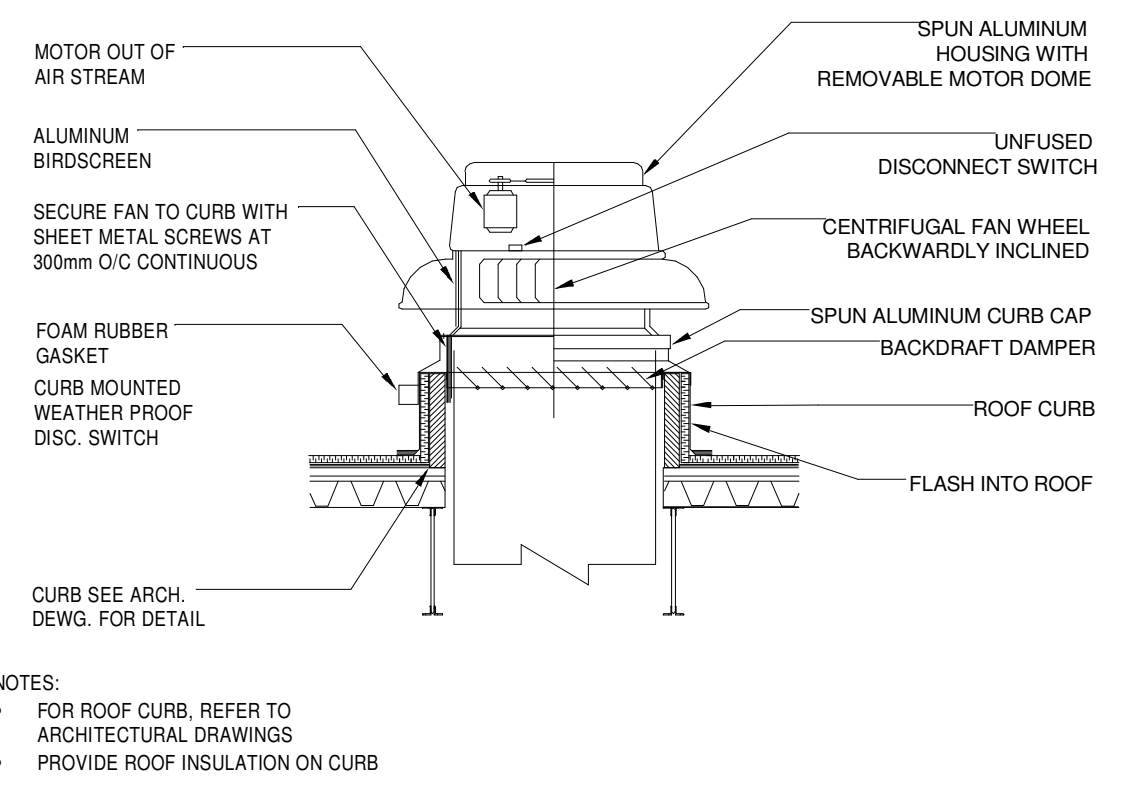
**6 TYPICAL ROOF TOP UNIT INSTALLATION DETAIL**  
SCALE: NTS



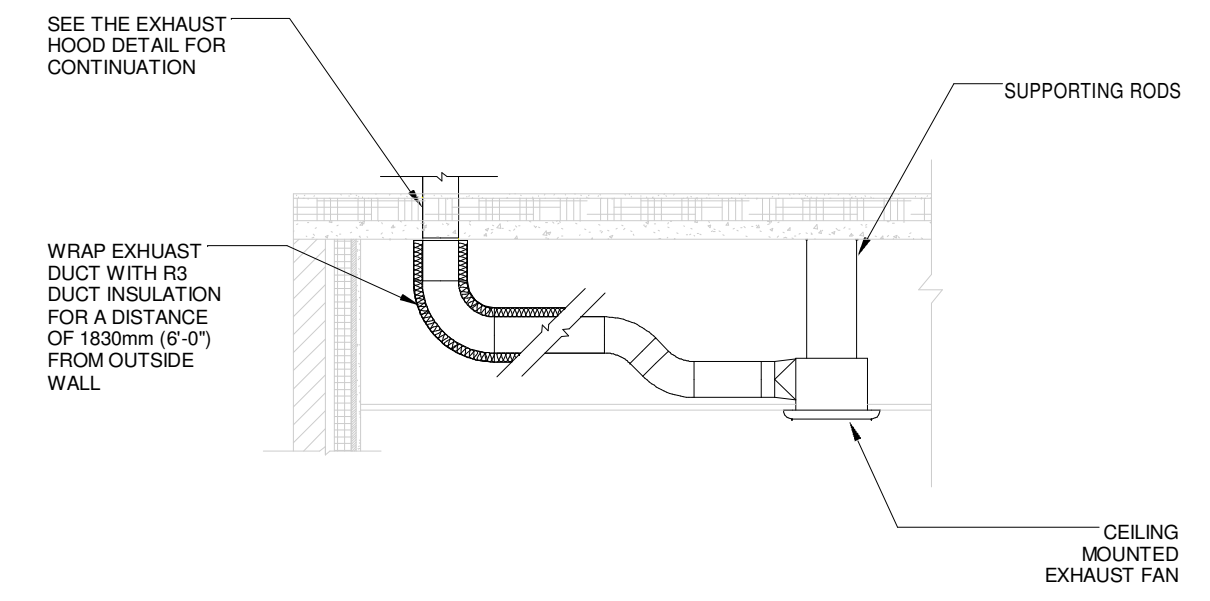
**5 TYPICAL UNIT AND APPLICATION CURB DETAIL**  
SCALE: NTS



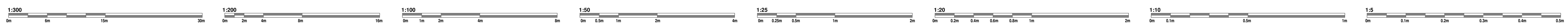
**9 RTU CONDENSATE TRAP DETAIL**  
SCALE: NTS



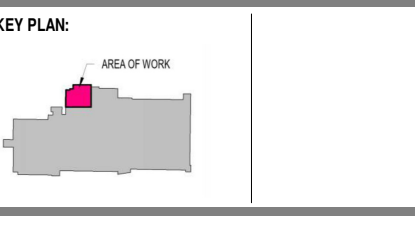
**8 ROOF MOUNTED EXHUAUST FAN DETAIL**  
SCALE: NTS



**10 TYPICAL CEILING EXHUAUST FAN DETAIL**  
SCALE: NTS



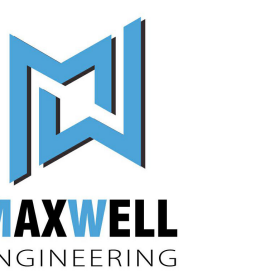
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ITEM NO.	DATE	ISSUED FOR:	BY:
A	2024-02-06	PERMANENT STUDY/REVIEW	M.D.
B	2024-05-15	ISSUED FOR COOPERATION	M.D.
C	2024-05-17	ISSUED FOR PERMIT	M.D.
D	2024-07-25	ISSUED FOR IFT/EC	M.D.
E	2024-07-26	UPDATED ISSUED FOR IFT/EC	M.D.

SEAL-ENGINEER



F. BABANZADEH, P.Eng.

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CLIENT:  
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PROJECT:  
**SHERWOOD LIBRARY RENOVATION**  
1225 Wonderland Rd N, London, ON N6G 2V9

SHEET NAME:  
**TYPICAL MECHANICAL DETAILS**

DRAWN BY: M.E.T.S. CHECKED BY: M.D./F.B.  
PROJ. MGR/ARCH:  
APPROVED FOR CONSTRUCTION DATE:  
PLOT DATE/TIME: 2024-09-18 5:42:56 PM  
PROJECT NO: P-BIMSR-22-51  
REVISION NO: SHEET NO:

**E M300**



## Blanco Sink - Precis 25 ADA CSA (Single)

**Product #** 28502U906

**Finish** Anthracite

**Blanco Model Number** 402073

### DESCRIPTION

Single bowl, dual-mount kitchen sink in SILGRANIT, a granite composite. 5" reduced inner bowl depth for wheelchair accessibility. The universal design of the PRECIS ADA / CSA B651 compliant kitchen sink helps aging generations and people with disabilities truly engage with their environment.

### ADVANTAGES AND BENEFITS

- **DURABLE MATERIAL:** Made of SILGRANIT®, a premium granite composite material that withstands heavy cookware, hot bakeware, and scuff marks - **HYGIENIC+PLUS SURFACE PROTECTION:** Acts as a shield against liquids and dirt inhibiting bacteria growth by up to 98% - **EASY-TO-CLEAN:** Non-porous surface can be cleaned with mild everyday cleaners - no harsh chemicals required - **MINIMUM CABINET SIZE:** 27" minimum cabinet size required - **THIRD-PARTY CERTIFIED:** Tested, certified and listed as a composite stone material, BLANCO is the only granite composite sink manufacturer that meets the composite stone IAPMO standards - **TRUSTED QUALITY:** All BLANCO sinks feature a limited lifetime warranty

### TECHNICAL SPECIFICATIONS

<b>Product #</b>	28502U906
<b>Installation Type</b>	Undermount or Surface Mount
<b>Model</b>	Single
<b>Width</b>	25 3/4 in
<b>Depth (Front to Back)</b>	20 1/2 in
<b>Minimum Cabinet Size</b>	27 in
<b>Material</b>	Natural Granite Composite
<b>Brand</b>	Blanco
<b>Depth of Basin</b>	5 in
<b>Area of Activity</b>	Cleaning
<b>Solutions</b>	Sink
<b>Width of Bowl</b>	23 in
<b>Holes Pre-Drilled in Back</b>	1
<b>Standards and Certifications</b>	ADA

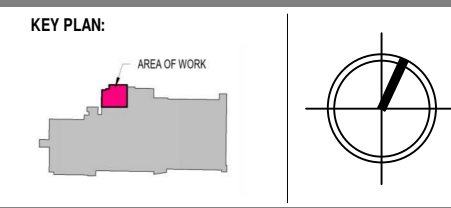
**PRODUCT PHOTOS**







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F	2024-08-08	UPDATED ISSUED FOR IFT/IFC	M.D.
G	2024-08-15	UPDATED ISSUED FOR IFT/IFC	M.D.
H	2024-08-21	UPDATED ISSUED FOR IFT/IFC	M.D.
I	2024-09-18	UPDATED ISSUED FOR IFT/IFC	M.D.

**SEAL - ENGINEER**

Mohammad Delavar, Ph.D., P.Eng.

LIGHTING FIXTURE SCHEDULE		
TYPE	DESCRIPTION	
	TYPE 'A'	8' LED FIXTURE, THINLINE DTL RECESS - 2700K - 5000K - CRI 80 - LUMENS/FT: MIN: 250 LM/FT - MAX: 1200 LM/FT
	TYPE 'B'	4' LED FIXTURE, THINLINE DTL RECESS - 2700K - 5000K - CRI 80 - LUMENS/FT: MIN: 250 LM/FT - MAX: 1200 LM/FT
	TYPE 'C'	CALCULITE LED 6" GEN 3 - LIGHTOLIER LIGHTING - C6SDL SQUARE DOWNLIGHT - C6L-15-940 - 4000K - 1500 LUMEN
	TYPE 'D'	AXIS LIGHTING - SKETCH, RADIUS VARIES, REFER TO ARCHITECTURAL DRAWINGS, K, CRI, LUMENS/FT
	TYPE 'E'	LED TAPE LIGHTING LOVOFLEX FLEXIBLE LED TAPE LIGHTING, 2.2W/FT
	EX	EXISTING LIGHTING FIXTURES AND THEIR CONTROL SWITCHES TO REMAIN

**LIGHTING FIXTURE TYPE D NOTE:**

- PENDANT LIGHT FIXTURE AXIS LIGHTING - SKETCH, RADIUS VARIES. PLEASE SEE THE DESIGN AND SPECIFICATION PACKAGE BY SUPPLIER

**LIGHTING FIXTURE TYPE E NOTE:**

LED STRIP LIGHTING AT CABINETS/NEST MILLWORK/RECEPTION DESK. CONFIRM THE LOCATION AS PER ARCHITECTURAL INTERIOR DESIGN AND AS PER SPECIFICATION BY SUPPLIER

**EMERGENCY LIGHTING NOTE:**

- SEE THE SPECIFICATIONS ON SHEET E002 - SECTION 26 53 50 EMERGENCY LIGHTING UNITS FOR EMERGENCY LIGHTING BATTERY PACK SPECIFICATIONS
- COORDINATE ALL PANEL FINAL LOCATIONS WITH OWNER REPRESENTATIVE.

- LIGHTING NOTES:**
- CONNECT ALL EMERGENCY FIXTURES LINE SIDE OF LOCAL LIGHTING CIRCUIT.
  - CIRCUIT BREAKER HANDLE LOCK-OFF DEVICES SHALL BE PROVIDED FOR BREAKERS SERVING EXIT LIGHTING AND EMERGENCY LIGHTING CIRCUITS.
  - ALL LIGHTING NOT ON A MOTION SENSOR SHALL BE INTERCONNECTED TO BUILDING SECURITY SYSTEM THROUGH THE USE OF A LIGHTING CONTRACTOR. WHEN BUILDING IS ARMED, ALL LIGHTING NOT ON A MOTION SENSOR SHALL TURN OFF.
  - DIMMING WIRING NOT SHOWN. PROVIDE 0-10V WIRING BETWEEN ALL TYPE A MOTION SENSOR OR DIMMER SWITCHES AND CONTROLLED LIGHTING.
  - PROVIDE MANUFACTURER APPROVED COMPATIBLE DIMMER SWITCHES WHERE INDICATED ON PLANS. DIMMER MUST BE COMPATIBLE WITH DRIVER AND LOADS AS SHOWN.
  - MOTION SENSORS SHALL BE LOCATED AT LEAST 6' FROM ALL DIFFUSER LOCATIONS. COORDINATE LOCATIONS WITH MECHANICAL.
  - PROVIDE SEPARATE NEUTRALS ON ALL DIMMERS.

- LIFE SAFETY AND FIRE ALARM NOTES:**
- PROVIDE RUNTIME TESTING AND VERIFICATION FOR ALL EMERGENCY LIGHTS, PER OBC REQUIREMENTS.
  - FIRE ALARM SYSTEM IS EXISTING TO REMAIN. PROVIDE DEVICE MODIFICATION IN SPACE TO SUIT INTENDED USE OF TENANT SPACE.
  - PROVIDE FIRE ALARM TESTING AND VERIFICATION REPORT LIMITED TO THE AFFECTED AREA OF WORK. PROVIDE VERIFICATION REPORT INCLUDING BUT NOT LIMITED AUDIBILITY TEST REPORT IN ACCORDANCE WITH ULC S537.

