



CLIENT:

**BRIGHTSHORES
HEALTH SYSTEM**



PROJECT NAME:

BRIGHTSHORES - NEMT

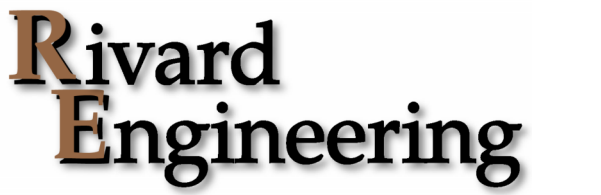
PROJECT ADDRESS:

**1800 8TH ST. EAST,
OWEN SOUND, ON**

ISSUED FOR TENDER

2024/09/27

CONSULTANT



CONSULTANT



ARCHITECTURAL

- A-000 COVER SHEET AND LIST OF DRAWINGS
- A-001 GENERAL NOTES
- A-200 FLOOR PLAN
- A-203 ELEVATIONS AND SECTIONS

CIVIL

- SP01 NEMT GARAGE SITE PLAN & NOTES

STRUCTURAL

- S100 GENERAL NOTES
- S101 FOUNDATION PLAN
- S101a FOUNDATION PLAN
- S102 DETAILS AND SECTIONS



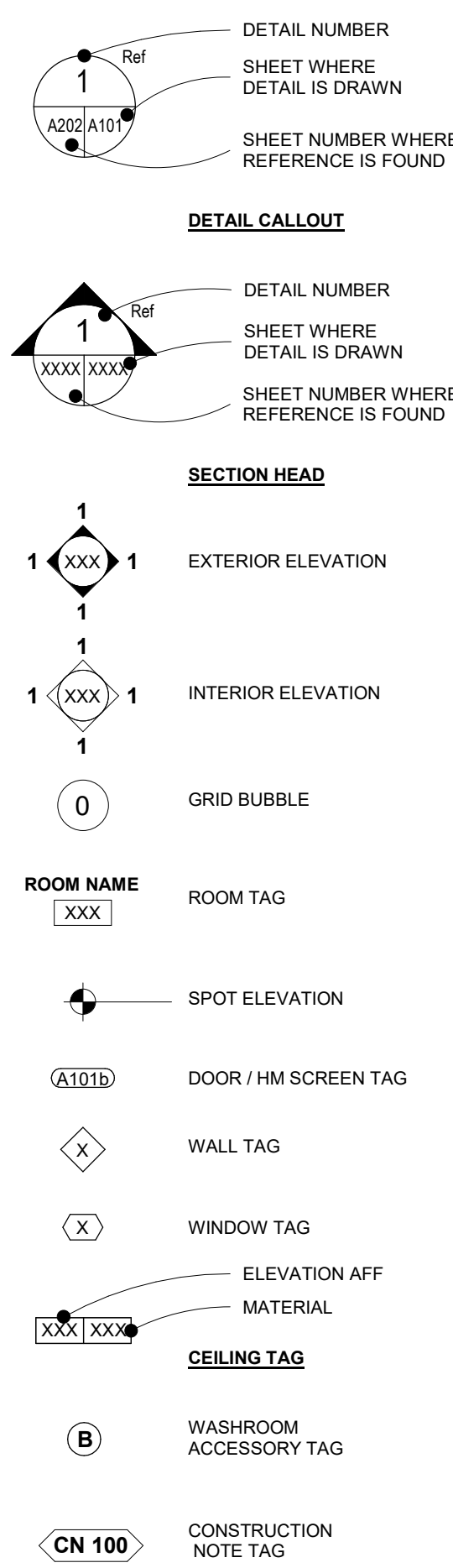
GENERAL NOTES

- ALL DIMENSIONS MUST BE CONFIRMED ON SITE BY CONTRACTORS. CONTRACTORS TO CAREFULLY EXAMINE ALL EXISTING SITE CONDITIONS AND NEW BUILDING COMPONENTS ALONG WITH ALL DIMENSIONS WHICH WILL AFFECT THE PROPER EXECUTION OF THE WORK IN ORDER TO OBTAIN A CLEAR AND COMPREHENSIVE UNDERSTANDING OF THE WORK REQUIRED AND KNOWN CONDITIONS TO COMPLETE THE PROJECT.
- DIMENSIONS INDICATED ON PLAN ARE FROM STRUCTURAL ELEMENT OR FROM GRIDLINES, UNLESS NOTED OTHERWISE.
- ALL WORK IS TO BE EXECUTED BY EXPERIENCED TRADESMEN TO BEST WORKMANSHIP, IN CONFORMANCE TO REQUIREMENTS OF THE ONTARIO BUILDING CODE, LOCAL/MUNICIPAL BY-LAWS, REGULATIONS AND ORDINANCES OF AUTHORITIES HAVING JURISDICTION. ALL TO SATISFACTION AND APPROVAL OF THE OWNER AND CONSULTANT.
- CONTRACTOR TO NOTIFY THE CONSULTANT OF ANY INCONSISTENCIES PRIOR TO ORDERING OR INSTALLATION OF MATERIALS.
- AT ALL PARTITION INDICATORS, THE INDICATOR LINE (OR SERIES OF LINES), WHICH ARE SHOWN ATTACHED TO THE PARTITION SYMBOL, (DIAMOND SHAPE) MUST BE FOLLOWED UNTIL A BOLD LINE IS REACHED. THE BEGINNING OF THE BOLD LINE WILL IDENTIFY THE BEGINNING OF THE PARTITION DESCRIPTION IN THE PARTITION SCHEDULE. FROM THAT POINT, CONSTRUCT THE PARTITION AS DESCRIBED IN THE PARTITION SCHEDULE.
- FOR CONSTRUCTION ASSEMBLY SCHEDULE REFER TO DRAWING A-001.

ABBREVIATIONS

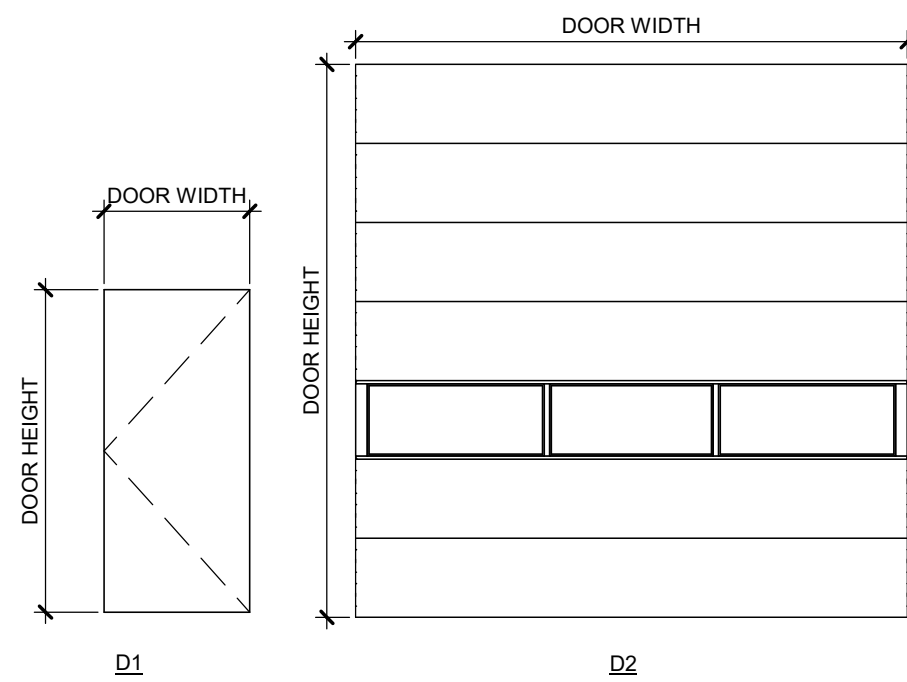
- AFF ABOVE FINISHED FLOOR
- ALF ALFRO SAFETY FLOORING
- B.F. BARRIER FREE
- BH BLOCK HEATER
- B/S BOTH SIDES
- BLK BLOCK
- C/C CENTRE TO CENTRE
- CT CERAMIC TILE
- CWV CERAMIC PORCELAIN TILE
- CONC COMPLETE WITH CONCRETE
- CONT CONTINUOUS
- DSS DESIGNATED SUBSTANCE STUDY
- DWG DRAWING
- EL/ELEV ELEVATION
- EPF EPOXY PAINTED FLOORING
- F.A.R. FIRE ACCESS ROUTE
- FEC FIRE EXTINGUISHER CABINET
- FND FOUNDATION
- FOS FACE OF STUD
- G.L. GALVANIZED GRID LINE
- G.W.G. GEORGIAN WIRE GLASS
- GYP GYPSUM BOARD
- HV/SF HETEROGENEOUS VINYL SHEET FLOORING
- HOV/SF HOMOGENEOUS VINYL SHEET FLOORING
- HM HOLLOW METAL
- IHM INSULATED HOLLOW METAL
- IF INSIDE FACE
- MAX. MAXIMUM
- MDF MEDIUM DENSITY FIBRE
- MECH MECHANICAL
- MIN. MINIMUM
- MTL METAL
- NIC NOT IN CONTRACT
- OSB ORIENTED STRAND BOARD
- PTD PAINTED
- P-LAM PLASTIC LAMINATE
- PLYWD PLYWOOD
- PCT PORCELAIN TILE
- PT PAINT
- RD ROOF DRAIN
- RWL RAIN WATER LEADER
- S.S. STAINLESS STEEL
- SUSP SUSPENDED
- T&G TONGUE AND GROOVE
- TBHM THERMALLY BROKEN HOLLOW METAL
- TDP THERMO-FUSED DECORATIVE PANEL
- THK THICK
- T.O. TOP OF
- T.O.C. TOP OF CONCRETE
- TYP. TYPICAL
- UNO UNLESS NOTED OTHERWISE
- US UNDERSIDE
- VCT VINYL COMPOSITE TILE
- W/ WITH
- W/C WATER CLOSET
- WR WASHROOM

SYMBOL LEGEND



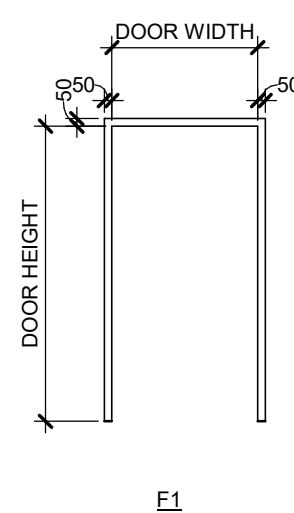
DOOR TYPES

SCALE: 1:50



DOOR FRAMES

SCALE: 1:50



WALL TYPES

TYPE	ASSEMBLY	DESCRIPTION
W1		METAL CLADDING (OWNER SUPPLIED, GC INSTALLED) PRE-ENGINEERED BUILDING (OWNER SUPPLIED, GC INSTALLED) 75mm SPRAY APPLIED INSULATION PREFINISHED METAL LINER

ROOF ASSEMBLIES

TYPE	ASSEMBLY	DESCRIPTION
R1		METAL CLADDING (OWNER SUPPLIED, GC INSTALLED) PRE-ENGINEERED BUILDING (OWNER SUPPLIED, GC INSTALLED) 75mm SPRAY APPLIED INSULATION PREFINISHED METAL LINER

DOOR & FRAME SCHEDULE

NO.	TO ROOM NAME	DOOR		FRAME		GLAZING		TEMPERED GLASS	CERAMIC	F.R.R. (MINUTES)	NOTES
		HEIGHT	WIDTH	DOOR TYPE	DOOR MATERIAL	FRAME TYPE	FRAME MATERIAL				
D100A	NEMT GARAGE	2150	615	D1	HWR	PT	F1	HWR	PT		
D100B	NEMT GARAGE	2150	615	D1	HWR	PT	F1	HWR	PT		
D100C	NEMT GARAGE	4267	3658	D2	HWR	PT	HWR	PT			EQUIVALENT TO GARAGA G-5000 R18 CW ELECTRIC DOOR OPERATOR D008600W BY LIFT MASTER
D100D	NEMT GARAGE	4267	3658	D2	HWR	PT	HWR	PT			EQUIVALENT TO GARAGA G-5000 R18 CW ELECTRIC DOOR OPERATOR D008600W BY LIFT MASTER
D100E	NEMT GARAGE	4267	3658	D2	HWR	PT	HWR	PT			EQUIVALENT TO GARAGA G-5000 R18 CW ELECTRIC DOOR OPERATOR D008600W BY LIFT MASTER
D100F	NEMT GARAGE	4267	3658	D2	HWR	PT	HWR	PT			EQUIVALENT TO GARAGA G-5000 R18 CW ELECTRIC DOOR OPERATOR D008600W BY LIFT MASTER
D100G	NEMT GARAGE	4267	3658	D2	HWR	PT	HWR	PT			EQUIVALENT TO GARAGA G-5000 R18 CW ELECTRIC DOOR OPERATOR D008600W BY LIFT MASTER
D100H	NEMT GARAGE	4267	3658	D2	HWR	PT	HWR	PT			EQUIVALENT TO GARAGA G-5000 R18 CW ELECTRIC DOOR OPERATOR D008600W BY LIFT MASTER

ROOM FINISH SCHEDULE

NUMBER	ROOM NAME	FLOOR FINISH	BASE	WALLS						CEILING			NOTES		
				NORTH MATERIAL	NORTH FINISH	EAST MATERIAL	EAST FINISH	SOUTH MATERIAL	SOUTH FINISH	WEST MATERIAL	WEST FINISH	MATERIAL		FINISH	HEIGHT
100	NEMT GARAGE	CONC.	N/A	METAL LINER	N/A	METAL LINER	N/A	METAL LINER	N/A	METAL LINER	N/A	METAL LINER	N/A	VARIABLES	

Name of Practice: ARCHITECTURE 49 INC.

Name of Project: BRIGHTSHORES - NEMT

Location: OWEN SOUND, ON

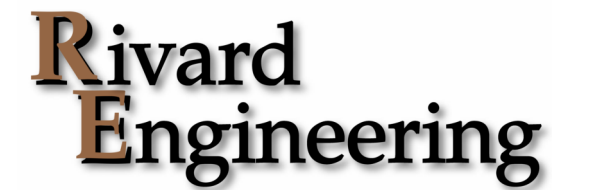
Date: 2024/04/05

Ontario Building Code Data Matrix Part 3				Building Code Reference ¹
3.00	Building Code Version:	0. REG. 332/12	Last Amendment: 0. REG. 191/14	
3.01	Project Type:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Change of use	<input type="checkbox"/> Addition <input type="checkbox"/> Addition and renovation	[A] 1.1.2
3.02	Major Occupancy Classification:	Occupancy GROUP F - DIV. 3	Use STORAGE GARAGE	3.1.2.1.(1)
3.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	Description:	3.2.2.7.
3.04	Building Area (m ²):	Description:	Existing New Total	[A] 1.4.1.2.
		GRADE	690 690	
		Total	690 690	
3.05	Gross Area (m ²):	Description:	Existing New Total	[A] 1.4.1.2.
		GRADE	690 690	
		Total	690 690	
3.06	Mezzanine Area (m ²):	Description:	Existing New Total	3.2.1.1.
		N/A		
		Total	690 690	
3.07	Building Height	1 Storeys above grade	5.624 (m) Above grade	[A] 1.4.1.2. & 3.2.1.1.
		0 Storeys below grade		
3.08	High Building	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		3.2.6.
3.09	Number of Streets/ Firefighter access	1 street(s)		3.2.2.10. & 3.2.5.
3.10	Building Classification: (Size and Construction Relative to Occupancy)	3.2.2.80. Group/Div	GROUP F - DIV. 3	3.2.2.20. - 83.
3.11	Sprinkler System	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required	Proposed: <input type="checkbox"/> entire building <input type="checkbox"/> selected floor areas <input type="checkbox"/> in lieu of roof rating	3.2.1.5. & 3.2.2.17.
			<input type="checkbox"/> selected compartments <input type="checkbox"/> basement <input checked="" type="checkbox"/> none	
3.12	Standpipe System	<input checked="" type="checkbox"/> Not Required <input type="checkbox"/> Required		3.2.9.
3.13	Fire Alarm System	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required	Proposed: <input type="checkbox"/> Single stage <input type="checkbox"/> Two stage	3.2.4.
			<input checked="" type="checkbox"/> none	
3.14	Water Service / Supply is Adequate	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		
3.15	Construction Type:	Restriction: <input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible required	Actual: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible	3.2.2.20. - 83. & 3.2.1.4.
		Heavy Timber Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		

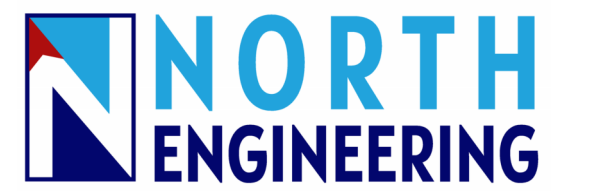
3.16	Importance Category:	<input checked="" type="checkbox"/> Low <input type="checkbox"/> Normal <input type="checkbox"/> High	<input type="checkbox"/> Low human occupancy <input type="checkbox"/> minor storage building <input type="checkbox"/> Explosive or hazardous substances <input type="checkbox"/> Post-disaster	4.1.2.1.(3) & 14.1.2.1.B					
3.17	Seismic Hazard Index:	(I_e Fa Sa (0.2)) = N/A Seismic design required for Table 4.1.8.18. items 6 to 21: (I_e Fa Sa (0.2)) \geq 0.35 or Post-disaster) <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		4.1.2.1.(3) & 4.1.8.18.(2)					
3.18	Occupant Load:	Floor Level/Area GRADE	Occupancy Type INDUSTRIAL	Based On STORAGE GARAGE	Occupant Load (Persons) 6	3.1.17.			
3.19	Barrier-free Design:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.8.			
3.20	Hazardous Substances:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.3.1.2. & 3.3.1.9.			
3.21	Required Fire Resistance Ratings	Horizontal Assembly	Rating	Supporting Assembly (H)	Non-combustible in lieu of rating?	3.2.2.20. - 83. & 3.2.1.4.			
		Floors over basement			<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A				
		Floors			<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A				
		Mezzanine			<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A				
		Roof			<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A				
3.22	Spatial Separation	Wall	EBF Area (m ²)	L.D. (m)	L/H or cc	Require FRR (H)	Construction Type Required	Cladding Type Required	3.2.3.
		N/A				<input type="checkbox"/> Non-combustible	<input type="checkbox"/> Non-combustible		
						<input type="checkbox"/> Non-combustible	<input type="checkbox"/> Non-combustible		
						<input type="checkbox"/> Non-combustible	<input type="checkbox"/> Non-combustible		
						<input type="checkbox"/> Non-combustible	<input type="checkbox"/> Non-combustible		
3.23	Plumbing Fixture Requirements	Ratio:	Floor Level/Area	Occupant Load	OBC Reference	Fixtures Required	Fixtures Provided		3.7.4.
		N/A							
3.24	Energy Efficiency:	Compliance Path:	N/A						
		Climatic Zone:							
3.25	Notes:								

1. All references are to Division B of the OBC unless preceded by [A] for Division A and [C] for Division C.

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SEAL:

THIS BAR IS 25mm LONG WHEN PLOTTED AT CORRECT SCALE. DO NOT SCALE DRAWINGS.

NORTH ARROW: DIGITAL REFERENCE: 25mm

PROJECT NO.: CA0039996 CONTRACT NO.
DRAWN BY: TG CHECKED BY: MG APPROVED BY: DO
KEYPLAN:

0 2024/09/27 ISSUED FOR TENDER
NO. DATE ISSUED
PROJECT

BRIGHTSHORES - NEMT

DRAWING TITLE

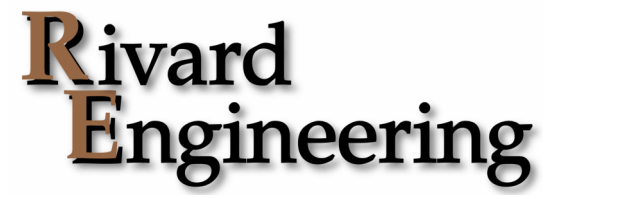
GENERAL NOTES

DRAWING NO.

A-001

PRINT DATE: 2024-09-27 11:48:59 AM

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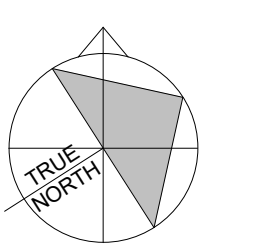
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NORTH ARROW:



DIGITAL REFERENCE:

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DRAWN BY: TG CHECKED BY: MG APPROVED BY: DO
KEYPLAN:

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NO. DATE ISSUED
PROJECT

BRIGHTSHORES - NEMT

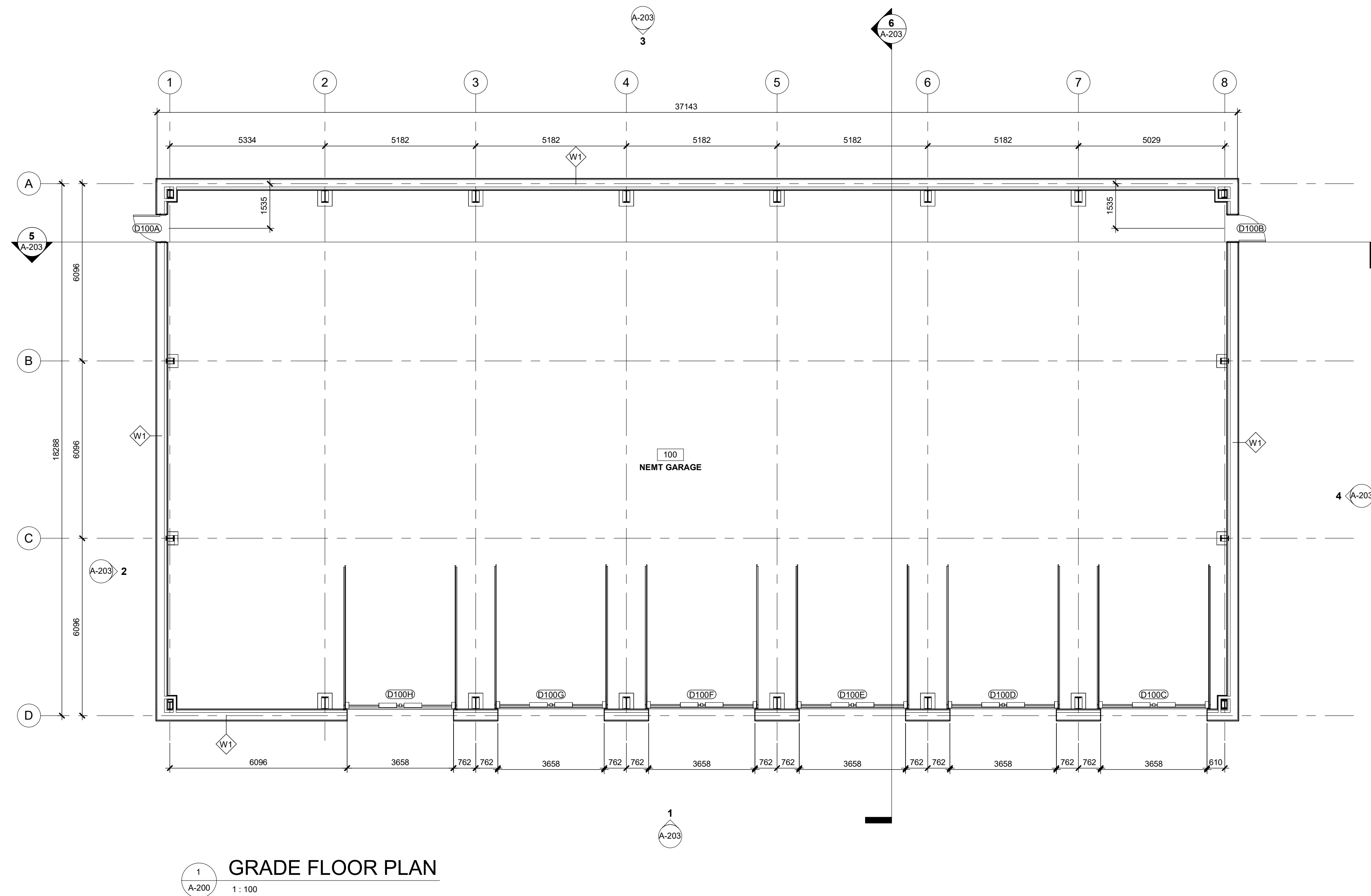
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FLOOR PLAN

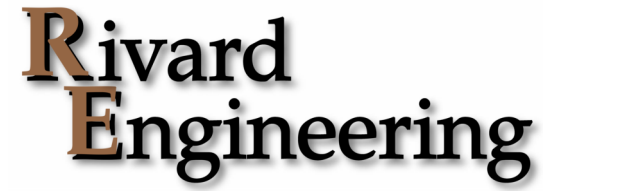
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NORTH ARROW: DIGITAL REFERENCE:

PROJECT NO.: CA0039996 CONTRACT NO.
DRAWN BY: PR CHECKED BY: MG APPROVED BY: DO
KEYPLAN:

0 2024/09/27 ISSUED FOR TENDER
NO. DATE ISSUED
PROJECT

BRIGHTSHORES - NEMT

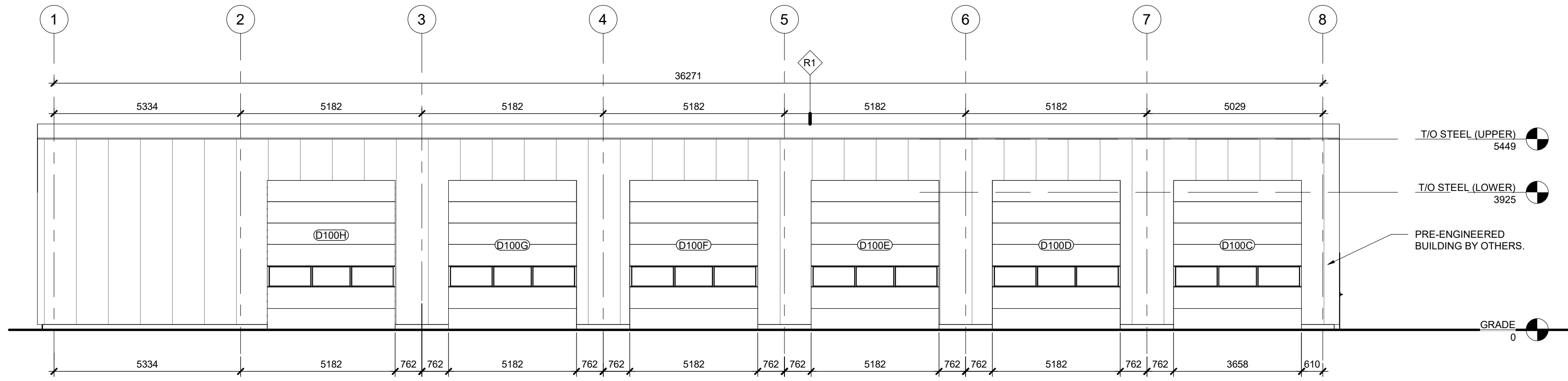
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ELEVATIONS AND SECTIONS

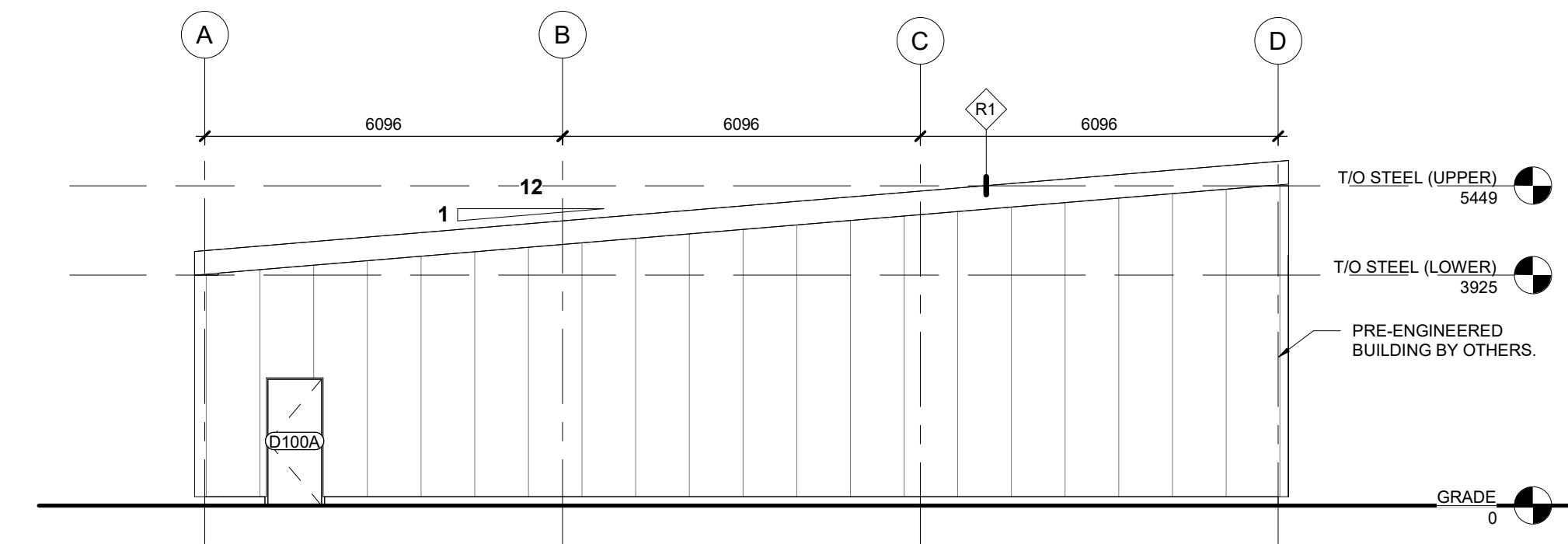
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A-203

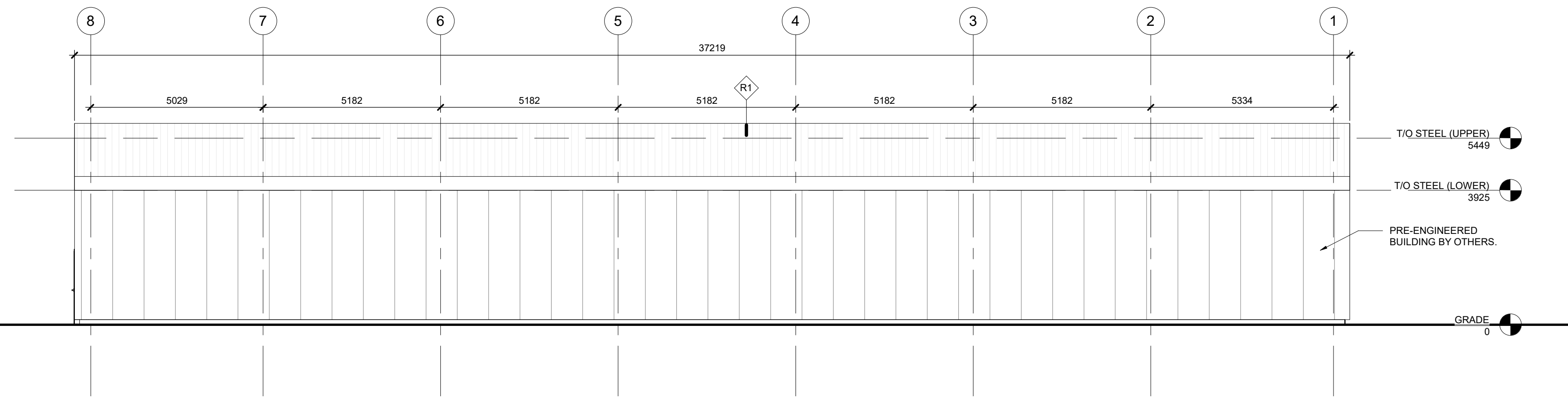
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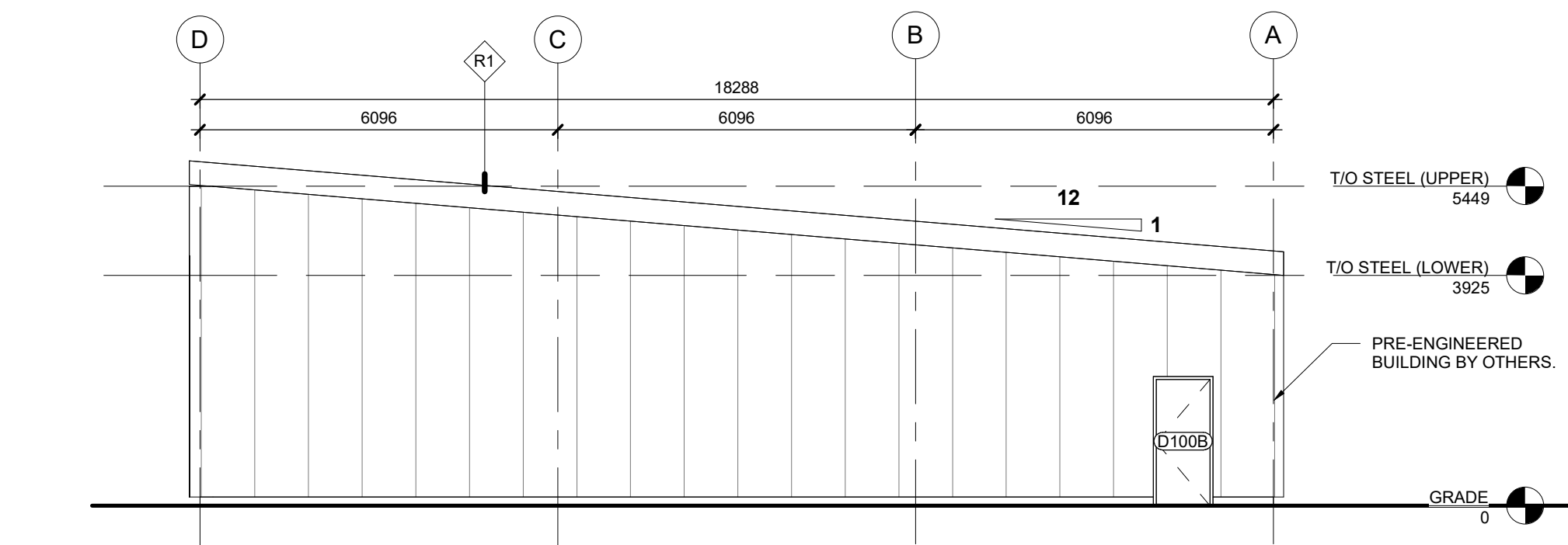
1 REAR ELEVATION
A-203 1:100



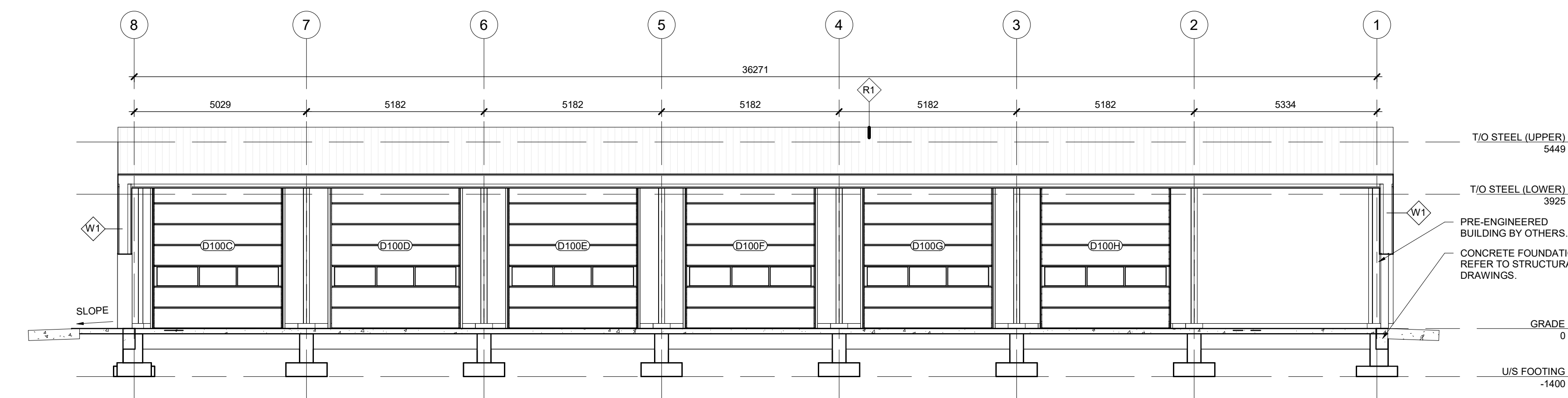
2 LEFT ELEVATION
A-203 1:100



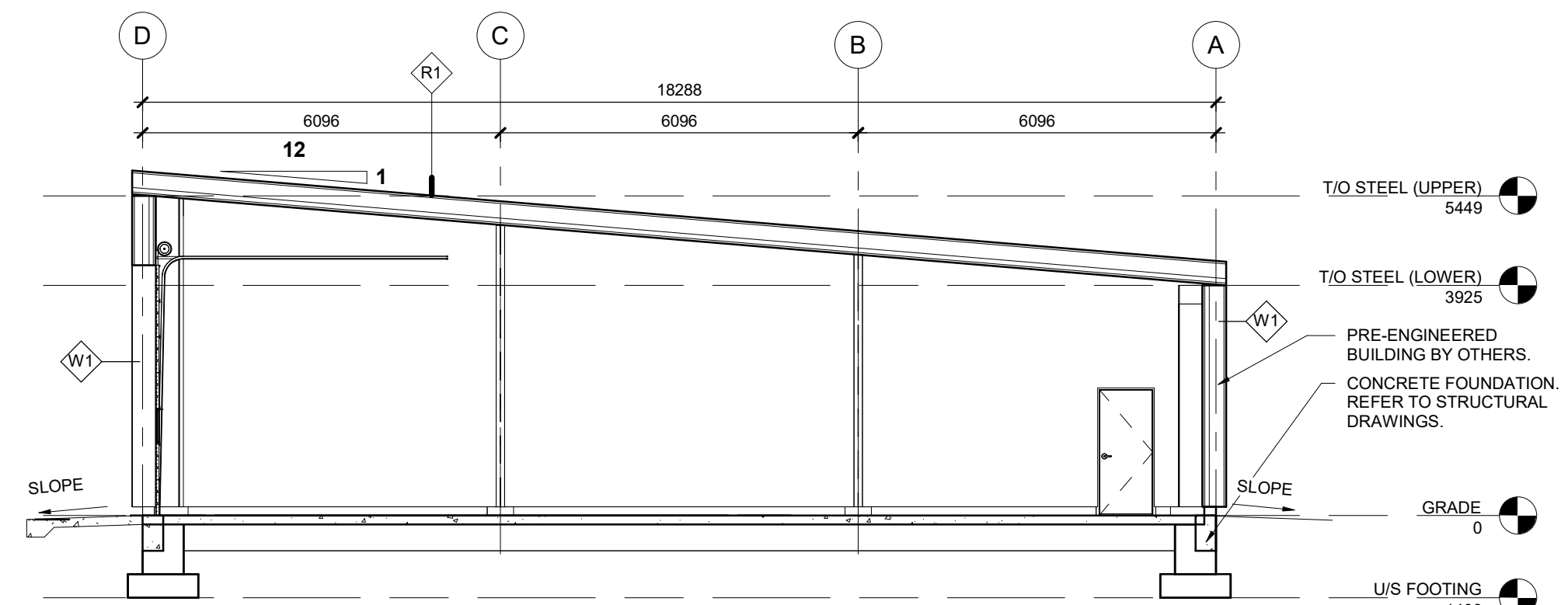
3 FRONT ELEVATION
A-203 1:100



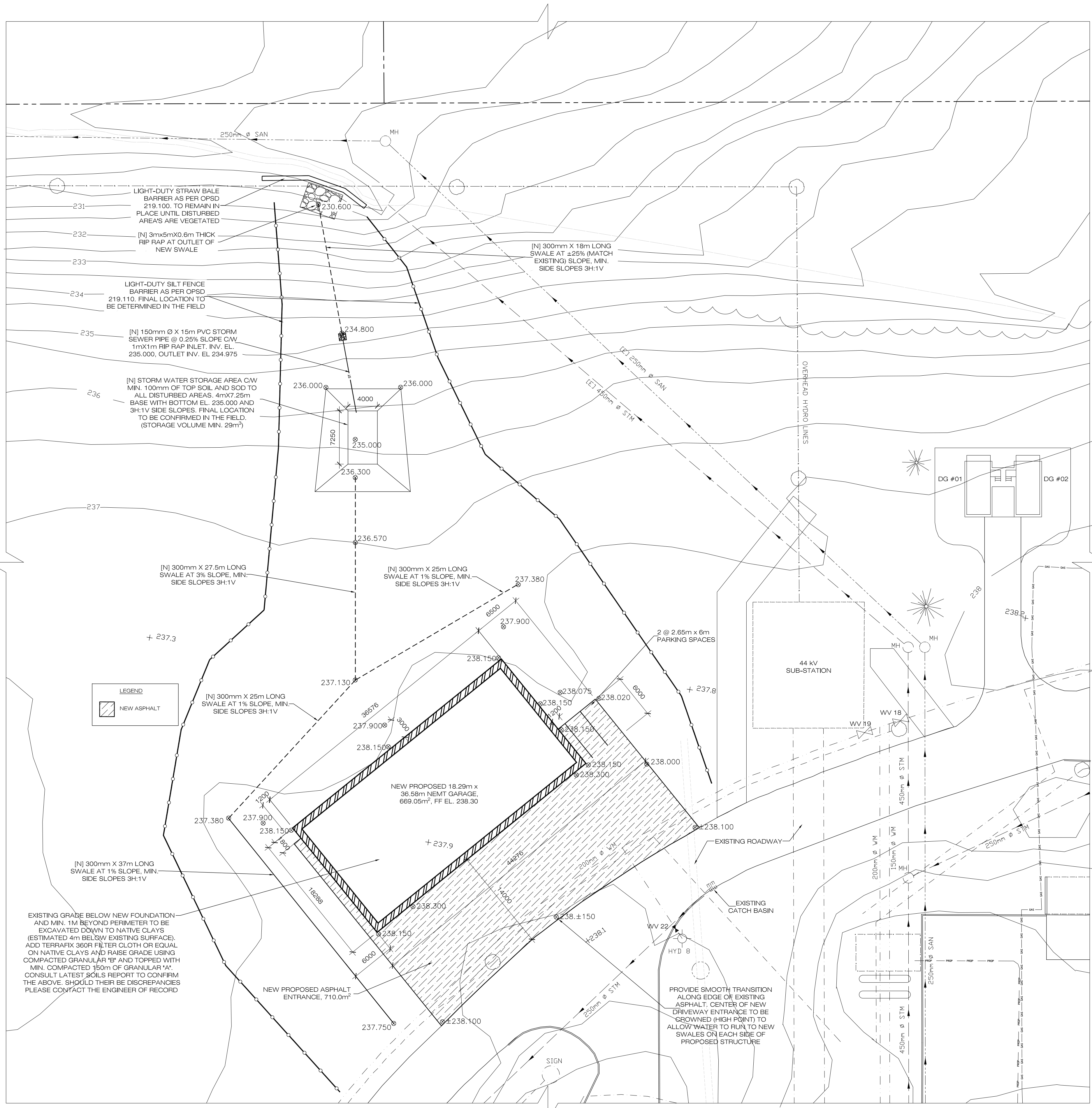
4 RIGHT ELEVATION
A-203 1:100



5 E-W SECTION
A-203 1:100



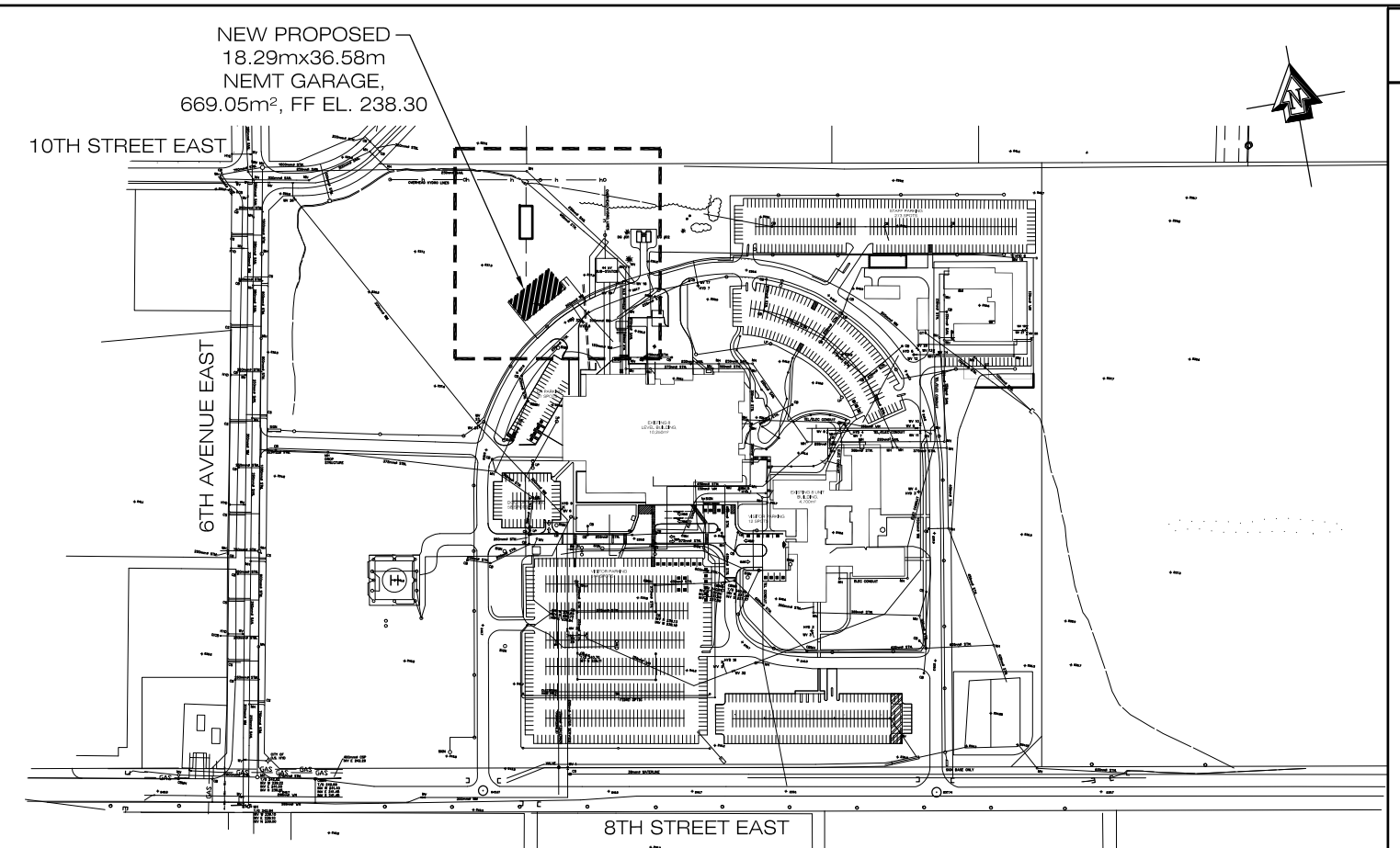
6 N-S SECTION
A-203 1:100



RISK MANAGEMENT PLAN FOR INFECTIOUS CONTROLS DURING CONSTRUCTION SHOULD BE COMPLETED BY AN APPROPRIATE CONSULTANT PRIOR TO START OF CONSTRUCTION. OWNER TO REVIEW AND APPROVE.

ALL ELEVATIONS WERE DERIVED FROM THE PREVIOUS DRAWING CONTOUR LINES AND SHOULD BE CONFIRMED IN THE FIELD PRIOR TO STARTING CONSTRUCTION.

IT IS THE OWNERS RESPONSIBILITY TO CONDUCT ROUTINE INSPECTION AND MAINTENANCE OF ANY OIL AND GRIT INTERCEPTION DEVICES OR STORM WATER MANAGEMENT SYSTEMS INSTALLED OR CONSTRUCTED ON THE OWNERS PROPERTY.



KEY PLAN

SCALE: 1:5000

NOTES - SITE WORK

- S1 - ALL SITE WORK TO CONFORM TO OFSS SPECIFICATIONS, ONTARIO BUILDING CODE, CITY OF OWEN SOUND SPECIFICATIONS AND ANY RELATED STANDARDS OR REGULATIONS.
- S2 - CONTRACTOR TO PROVIDE ALL LOCATES AS REQUIRED FOR HIS WORK.
- S3 - ALL DISTURBED WORK AREAS SHALL BE RESTORED AS REQUIRED:
 - A) PARKING / DRIVEWAYS
 - MIN. 40mm ASPHALT SP12.5
 - MIN. 50mm ASPHALT SP19
 - MIN. 150mm GRANULAR "A"
 - MIN. 450mm GRANULAR #4 (AS REQUIRED TO REMOVE ORGANICS)
 - TERRAFIX 360R GEOTEXTILE OR EQUAL
 - PROOF ROLL BOTTOM OF EXCAVATION
 - B) GRASS
 - MIN. 100mm TOPSOIL
 - SOD OR HYDROSEED
- S4 - ALL GRANULAR MATERIALS SHALL BE COMPACTED TO MINIMUM 100% SPDD UNLESS OTHERWISE NOTED.
- S5 - CONTRACTOR TO PROVIDE MINIMUM OF ONE COMPACTION TEST FOR EACH 50 SQ. M. OF GRANULAR MATERIAL AND AT EACH 300mm OF FILL.
- S6 - DEEP TRENCH EXCAVATION SHALL BE BACKFILLED WITH CLEAN NATIVE GRANULAR MATERIALS (OR NEW AS APPROPRIATE), COMPACTED WITH VIBRATORY COMPACTOR AS MAY BE APPROPRIATE.
- S7 - CONTRACTOR SHALL CLEAN AND MAKE GOOD SITE PRIOR TO TAKE OVER BY THE OWNER.
- S8 - EXISTING FENCES, SIDEWALK, GUARD RAILS AND RELATED EXISTING FIXTURES AND STRUCTURES TO BE PROTECTED, REMOVED, REINSTALLED AS REQUIRED AND REPLACED AS NECESSARY TO RETURN SITE AND AREAS TO ORIGINAL OR CONDITIONS.
- S9 - ALL CLEAN GRANULAR MATERIAL FROM EXCAVATION IS TO REMAIN ON SITE AND USED TO BACKFILL AROUND NEW FOUNDATIONS. MAXIMUM SLOPE TO BE 3H:1V.
- S10 - CONTRACTOR TO COMPLETE EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION TO MIN. OFSS MUNI. 805.
- S11 - CONTRACTOR TO PROVIDE TOPOGRAPHIC SURVEY AS-BUILT ONCE ALL SITE WORK IS COMPLETED.

ADDITIONAL SITE NOTES

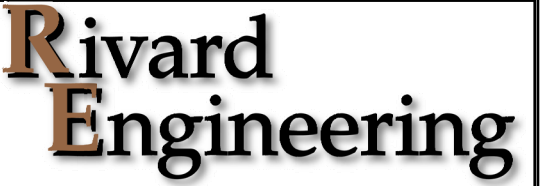
- 1- ALL SILT FENCING IS TO BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY GRADING, EXCAVATING OR DEMOLITION.
- 2- EROSION CONTROL FENCING TO BE INSTALLED AROUND THE BASE OF ALL STOCKPILES.
- 3- EROSION PROTECTION TO BE PROVIDED AROUND ALL STORM AND SANITARY MHS AND CBS.
- 4- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS SITE DEVELOPMENT PROGRESSES. THE CONTRACTOR IS TO PROVIDE ALL ADDITIONAL EROSION CONTROL STRUCTURES.
- 5- THE OWNER/CONTRACTOR IS TO MONITOR EROSION CONTROL STRUCTURES TO ENSURE FENCING IS INSTALLED AND MAINTENANCE IS PERFORMED TO CITY REQUIREMENTS.
- 6- EROSION CONTROL STRUCTURES ARE TO BE MONITORED REGULARLY AND ANY DAMAGE TO STRUCTURES REPAIRED IMMEDIATELY. SEDIMENTS ARE TO BE REMOVED ON A REGULAR BASIS AND PRIOR TO ACCUMULATIONS REACHING A MAXIMUM OF 1/4 THE HEIGHT OF THE FENCE.
- 7- ALL EROSION CONTROL STRUCTURES ARE TO REMAIN IN PLACE UNTIL ALL DISTURBED GROUND SURFACES HAVE BEEN REHABILITATED EITHER BY PAVING OR RESTORATION OF VEGETATIVE GROUND COVER.
- 8- NO ALTERNATE METHODS OF EROSION PROTECTION SHALL BE PERMITTED UNLESS APPROVED BY THE DESIGN CONSULTANT AND THE CITY OF OWEN SOUND WORKS DEPARTMENT.
- 9- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT MUNICIPAL ROADWAYS AND SIDEWALKS ARE CLEANED OF ALL SEDIMENTS FROM VEHICULAR TRACKING ETC. TO AND FROM THE SITE AT THE END OF EACH WORK DAY.

ISSUED FOR TENDER
SEPTEMBER 25, 2024

GENERAL NOTES

No.	Revisions	By	Date

	THE CONTRACTOR MUST CHECK ALL DRAWINGS AND VERIFY ALL DIMENSIONS ON THE JOB. DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER BEFORE PROCEEDING WITH ANY CONSTRUCTION WORK OR SHOP FABRICATION.		



259 REUBEN LANE P.O. BOX 223
 TIMMINS, ONTARIO, P4N 7C9
 TEL: (705) 268-5501
 FAX: (705) 268-5502

PROJECT NAME
ARCHITECTURE 49
GREY BRUCE HEALTH SERVICES

OWEN SOUND ONTARIO
 DRAWING TITLE
NEMT GARAGE
SITE PLAN & NOTES

DRAWN BY	K.R.	JOB No.	A49-068
CHECKED BY	J.R.		
SCALE	AS SHOWN	DWG. No.	REV. No.
DATE	25/09/2024	SP01	0

SITE PLAN

SCALE: 1:300

