

September 26, 2024

Project: **Renovation to Clarington Emergency & Fire Services Station 1**
ward99 architects Project No. 24008

RE: **Consultant Addendum No.1**

Pages: 15

1.1 General

1.1.1 Consultant Addendum No.1 forms part of the Contract Documents and amends the original Specifications and Drawings issued for tender as noted below.

1.2 Project Manual – General Requirements and Architectural, Structural, Mechanical and Electrical Specifications

1.2.1 REF: 01 10 00 – General Instructions

1. Under 1.24 Cash Allowances, revise “\$60,000” to “\$82,500” and add the following to the list of cash allowances;
“.9 Emergency Alert System disconnection and reconnection”.
“.10 Padlocks.”

1.2.2 REF: 10 28 13 – Washroom Accessories

- .1 Under 2.2 Accessories, add paragraph:
“ 2.2.9 Specification for Electric Hand Dryer; Touchless Type.
.1 One-piece, recessed for ADA compliance.
.2 Electric Hand Dryer; Acceptable Manufacturer – Dyson.
.1 120, 127V low voltage, surface mounted, automatic operation hand dryer with one-piece steel cover.
.2 Acceptable Product: Dyson Airblade V hand dryer in HU02-sprayed nickel.”

1.3 Architectural Drawings

1.3.1 REF: Architectural Drawing A0.1:

1. Under Construction Floor Assembly type F1, replace “6 mil min.” with “10 mil min.”.
2. Under Construction Wall Assemblies, Partition Type P10, delete, “Extend

partition to 100mm above finished ceiling.”, and replace with “Extend partition to underside of existing Firecode Gypsum Board Ceiling above or existing concrete slab above.”.

1.3.2 REF: Architectural Drawing A2.0:

1. On the exterior west side of Exterior Grounds Maintenance 115, delete the hoarding and gates and replace with temporary hoarding (as described under the Construction Legend and Notes) at the full extent of the existing exterior double door opening, to be installed after the existing door assembly is demolished.
2. Construction Legend and Notes, under “H”, replace the words “Temporary interior hoarding partition...” with “Temporary exterior and interior hoarding partition...”. Replace “Extend of Partition” with “Extent of Partition:”. Delete the sentence, “Install the partition within existing interior wall opening where doors and assemblies are noted to be removed” and replace with “Install hoarding partitions where noted on drawing 1/A2.0 to separate construction areas from occupied areas in the building. Relocate hoarding partitions as required to suit the progress of the work.”.
3. Under General Demolition Notes, note 4, add the following at the end of the paragraph, “Grind the existing concrete floor assemblies in their entirety to remove all adhesives, mastics and grout and to make the concrete surfaces smooth and flush in preparation for the installation of new flooring finishes”.

1.3.3 REF: Architectural Drawing A2.1:

1. Under Ground Floor Plan Demolition Notes, add the following to the end of Demolition Note 31, “All existing ceramic wall tile and associated grout, in the existing washrooms and showers, are to be removed on existing walls noted to be demolished and on walls noted to remain, that are not concealed by new partition assemblies. Contractor is to ensure existing wall surfaces are made flush, smooth and acceptable for the installation of new wall finishes.”.
2. Under Ground Floor Plan Demolition Notes, add the following to the end of Demolition Note 17, “RAD-R = Disconnect and remove the existing wall mounted baseboard heater and temporarily store and protect for reinstallation onto the east wall of Ex. Office 140.”, and “RAD-E = Existing wall mounted baseboard heater to remain. Refer to drawings for location.”.
3. Under Ground Floor Plan Demolition Notes, add the following to the end of demolition note 6; “In Ex. Workshop 112, the existing sink assembly is to be disconnected, and relocated to the other side of the wall in Ex. Mask Repair 113.”
4. Under Ground Floor Plan Demolition Notes, add the following to the end of Demolition Notes 24 and 25; “Provide new concrete slab-on-grade assembly flush to existing concrete slab on grade. Provide new floor

assembly type F1. Refer to drawing A0.1 for F1 construction assembly description.”.

5. Under Ground Floor Plan Demolition Legend, add the following: “WS-D = Demolition existing interior blind assembly at existing window.”
6. Under General Notes, add note 4 as follows; “Where partitions are noted to be demolished, partitions are to be demolished for the full extent to underside of existing slab or gypsum board finished ceiling above to an approximate height of 3m from finished floor”. Add note 5 as follows; “Where “-R” is included after a word, the item designated with “-R” is to be uninstalled, temporarily stored and protected and then reinstalled at the location noted on the drawings or in a location noted by the Owner.”
7. On drawing 1/A2.1, note the following revisions:
 1. In Ex. Office 140, replace the words “RAD-D” with “RAD-R”.
 2. In Ex. Office 137, revise the words “RAD-D” to “RAD-E”.
 3. Add WS-D at the existing exterior windows to Ex. Gym/Fitness 103.
 4. Add demolition note 31 to all washrooms and shower rooms.

1.3.4 REF: Architectural Drawing A2.3:

1. Under drawing 1/A2.3, include the new wall mounted baseboard heaters on the north and east walls of New Men’s Washroom 122, the east wall of Custodian Room 104A and the north wall of New WR Entry 123A. Refer to Electrical Drawing E1.02 for exact locations.
2. Under General Floor Plan Notes, add the following to note 5, “RAD-N = New wall mounted baseboard heater”, and “RAD-R = Existing wall mounted baseboard heater relocated to new location.”.
3. In Lounge 132, under General Floor Plan Note 5, add the following to DS-R; “Remove a portion of the existing gypsum board wall finish to provide for wood blocking as required to support the new wall bracket and digital screen. Provide new matching 16mm gypsum board at wall opening and patch, repair and make good flush existing wall.”.

1.3.5 REF: Architectural Drawing A2.4:

1. Under drawing 1/A2.4, include two return air grilles in the C1 ceiling assembly of Dining/Kitchen 132A. Refer also to Mechanical Drawing M-02.

1.3.6 REF: Architectural Drawing A4.1:

1. On drawing 1/A4.1, replace detail tag “X/A8.2” with “1J/A8.2”.
2. On drawing 1/A7.2, replace detail tag “X/XX” with “3/A7.3”.

1.3.7 REF: Architectural Drawing A8.1:

1. Add the following to the Door and Hardware Schedule:
 1. Add Door No. D100, Ex. Vest 100, - Fire Rating, Under “Door”,

add; “Ex” under Width, Height, Thick, add “Hollow Metal” under Material, add “PNT” to finish, and “Ex” to Type, and Vision Panel. Under Door Frame and Screen add, “Hollow Metal” under Material, “PNT” under Finish and “Ex” under Type and “Vision Panel”. Under Door, Door Frame & Screen Notes, add “Existing hollow metal door and frame to remain”, under Door Hardware Requirements and Notes, add “Existing Power Door Operator and Wall Actuators to remain. Connect new card reader to existing door. Refer to electrical drawings.”.

2. Under Door D102B, under Door, Door Frame & Screen Notes, delete “C, L, M” and replace with “C, D, L”.

1.3.8 REF: Architectural Drawing A8.2:

1. Under detail “O”, include the following note, referencing the jamb angle anchor support, “Supply and install a galvanized cavity wall steel anchorage angle at each door jamb. Refer to Project Manual, specification section 05 52 00, item 2.8 for description and size of jamb anchor.”.

1.4 Structural Drawings

1.4.1 Refer to Structural Addendum No.1, prepared by VX Engineering Inc.

1.4.2 Refer also to bidder’s answers to questions.

1.5 Mechanical Drawings

1.5.1 Refer to Addendum #001, prepared by MCW Consultants.

1.5.2 Refer also to bidder’s answers to questions.

1.6 Electrical Drawings

1.6.1 Refer to Addendum #001, prepared by MCW Consultants.

1.6.2 Refer to Addendum #002, prepared by MCW Consultants.

1.6.3 Refer also to bidder’s answers to questions.

End of Consultant Addendum No.1



VX ENGINEERING INC.

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Toronto, ON, M6B 4C6

STRUCTURAL ADDENDUM No 1

September 24, 2024

Page 1 of 4

Project #2413

Re: Renovation To Clarington Fire & Emergency Services Station 1
The Corporation of the Municipality of Clarington
2430 Durham Regional Hwy 2, Bowmanville, ON, L1C 6C8

The following structural items are to be included as part of the Structural Drawings and Specifications:

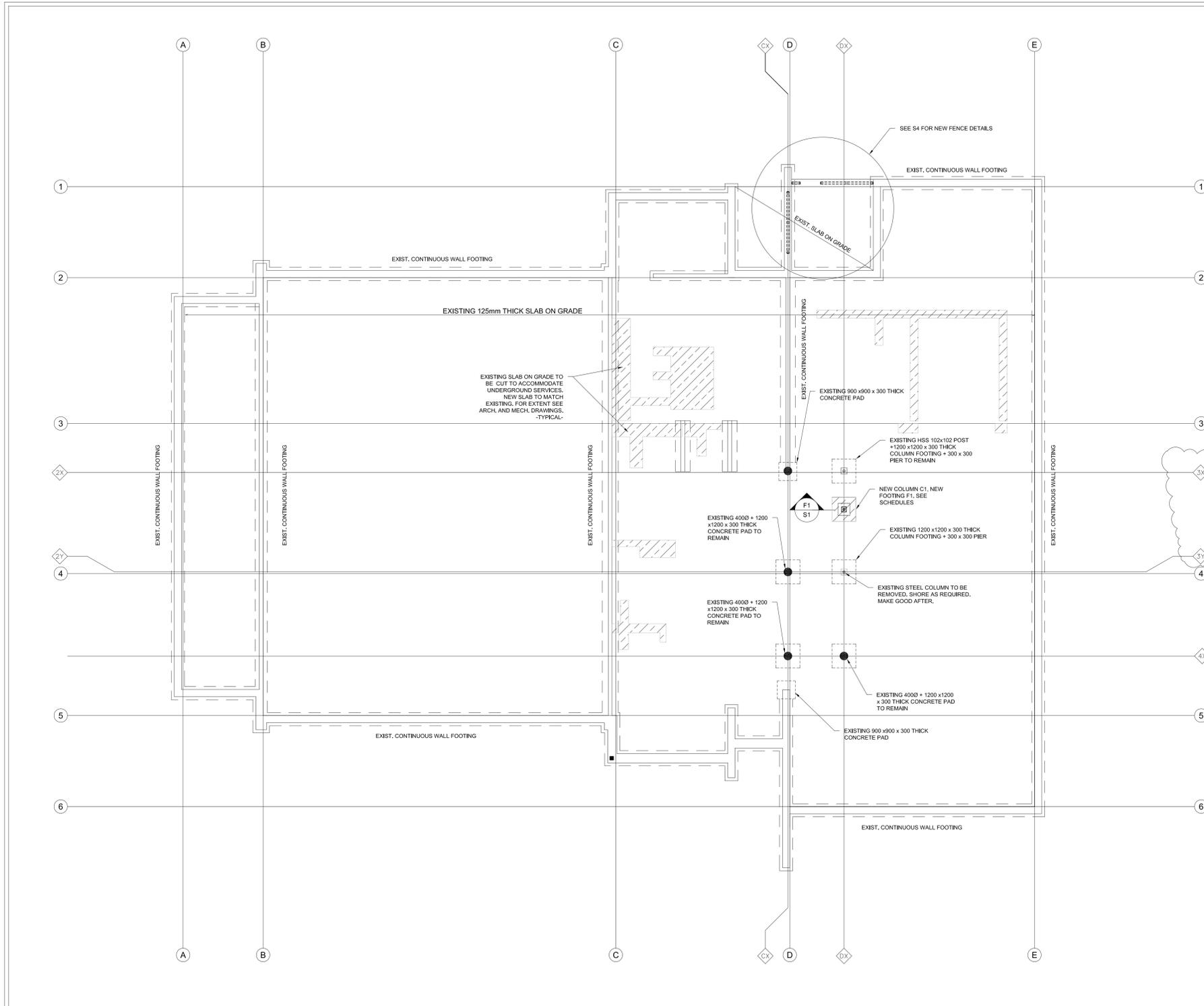
DRAWINGS S1, S2, S4:

1. Refer to note in the bubble in the typical detail 3/S1. The note is modified to specify that the bars drilled in existing slab to be epoxy grouted.
2. Grids are updated to match architectural drawings. See bubbles in plans 1/S1 and 1/S2.
3. See bubble in 1/S2, close to New WR Entry 123A. The nib wall is removed to match with the architectural drawings.
4. Refer to bubble in the fence details 2/S4, 3/S4 and 4/S4. The type of the epoxy for the drilled bolts is defined in the note. The note is typical and the same for the three sections. Use the described adhesive epoxy or equivalent.

Attachments:

S1 Revised, S2 Revised, S4 Revised

END OF STRUCTURAL ADDENDUM No.1



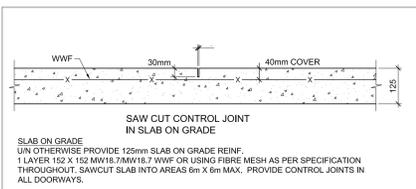
- ### FOUNDATION PLAN
- SCALE 1:100
- TOP OF SLAB IS AT ± 0.00 BELOW GROUND FLOOR FINISHED ELEVATION EXCEPT AS CROSSED AND NOTED. NEW SLAB ON GRADE ELEVATION TO MATCH EXISTING. FOUNDATIONS ARE EXISTING UNLESS NOTED OTHERWISE. EXISTING BUILDING IS DESIGNED BY POWI, PETERMAN & ASSOCIATES INC., SIGNED BY R. D. PETERMAN P. ENG. DATED MARCH 1994. SEE ARCHITECTURAL DRAWINGS FOR SLOPES AND DEPRESSIONS.
 - ALL FOOTINGS SHALL BE PLACED ON NATURAL UNDISTURBED SOIL CAPABLE OF SUPPORTING MINIMUM PRESSURE OF 110kPa SL. 150kPa ULS.
 - ALL NEW FOOTING ELEVATIONS TO MATCH EXISTING FOOTING ELEVATIONS. FOOTINGS SHALL BE MINIMUM 1350mm BELOW FINISHED GRADE.
 - BEFORE PLACING SLAB-ON-GRADE VERIFY THAT BEARING CAPACITY OF SUBGRADE AND COMPACTION OF SUBBASE ARE ADEQUATE TO SUPPORT RESPECTIVELY 25 kPa AND 50 kPa UNIFORMLY DISTRIBUTED LOAD ON SLAB ON GRADE WITHOUT SIGNIFICANT DIFFERENTIAL SETTLEMENT BETWEEN SLAB AND BUILDING FOOTINGS.
 - ALL NEW FOOTINGS SHALL BE FORMED, FOOTINGS POURED INTO NEAT EXCAVATION ARE NOT ACCEPTABLE.
 - UNLESS NOTED OTHERWISE PROVIDE NEW 125mm SLAB ON GRADE AS PER SPECIFICATION THROUGHOUT AND AS PER 2'S1. SAWCUT SLAB INTO AREAS 6m X 6m MAX. PROVIDE CONTROL JOINTS IN ALL DOORWAYS. REINF. 1 LAYER 152 X 152 MW18.7MM/18.7 WWF OR USING FIBRE MESH. REFER TO 'NEW SLAB ON GRADE' DETAIL ON THIS DRAWING.
 - USE DETAIL 3'S1 AT ALL LOCATIONS WHERE EXISTING SLAB IS TO BE CUT AND REPAIRED AND FOR ALL NEW BELOW GRADE SERVICES.
 - S.D.F. - DENOTES STEPPED DOWN FOOTING. STEP DOWN NEW INTERIOR FOOTINGS TO MEET EXTERIOR FOOTING ELEVATION. NEW FOOTING ELEVATION TO MEET EXISTING FOOTING ELEVATION.
 - BACKFILLING TO BE DONE IN EQUAL HORIZONTAL LAYERS IN WHOLE LENGTH OF CONCRETE RETAINING WALLS.
 - REFER TO OTHER CONSULTANTS DRAWINGS FOR ALL EXISTING UNDERGROUND SERVICES. LOWER NEW FOOTINGS AS REQUIRED TO ACCOMMODATE THE NEW OR EXISTING UNDERGROUND SERVICES OR THE EXCAVATED DISTURBED SOILS. DO NOT UNDERMINE WALL AND COLUMN FOOTINGS
 - SEE ALSO TYPICAL DETAILS AND GENERAL NOTES ON THESE DRAWINGS. SHORE AS REQUIRED.

NEW COLUMN SCHEDULE

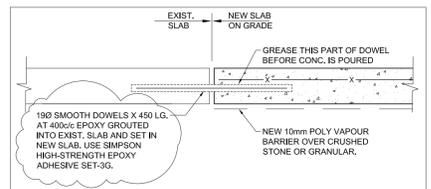
COL. No.	C1
DATA	C1
U/S EXISTING TRUSS = 3000s	190x250x10mm CAP PLATE. NEW BEAM ON TOP
GROUND FLOOR = ±0.00	190x250x10mm CAP PLATE. NEW BEAM ON TOP
DISTANCE FROM GROUND FLOOR TO U/S OF B.P.L.	-150
BASE PLATE	300 x 16 x 300
ANCHOR BOLTS	4-190 x 400

- ### COLUMN NOTES:
- PROVIDE 44mm DRYPACK GROUT AND 6mm LEVELING PLATE UNDER BASE PLATES.
 - AT ALL COLUMNS IN MASONRY WALLS PROVIDE 25 X 4 X 250 LONG STEEL MASONRY TIES AT 600cc.

1
S1
EXISTING FOUNDATION PLAN
1:100



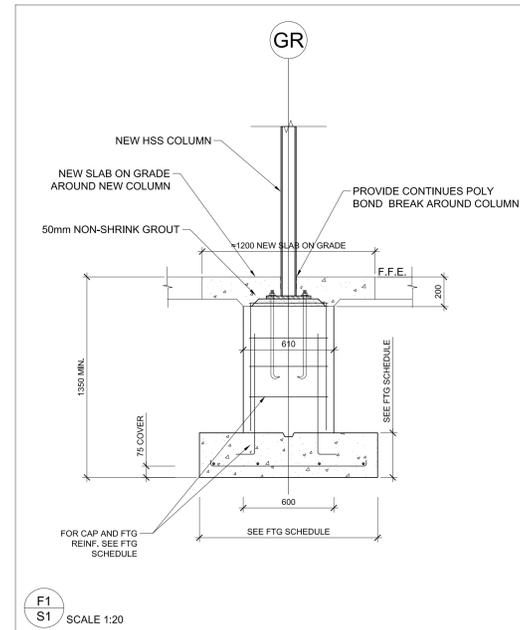
2
S1



3
S1

FOOTING SCHEDULE

	BASE		DEPTH	CAP		REINF. E.W. BOTT.	CAP REINF.	COMMENT
	WIDTH x LENGTH	WIDTH x LENGTH		WIDTH x LENGTH	WIDTH x LENGTH			
F - 1	1200 x 1200	600 x 600	300	600 x 600	600 x 600	5-15M	4-20M DOWELS & VERT. 10M @400 C/C TIES	



F1
S1
SCALE 1:20

VX
VX ENGINEERING INC.
STRUCTURAL ENGINEERS

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Toronto, Ontario M6B 4C6
416 670 9422 www.vxengineering.com

NOTE: THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL SITE DIMENSIONS AND FOR NOTIFYING THE ARCHITECT OF ANY SITE CONDITIONS AND SITE MEASUREMENTS THAT ARE NOT CONSISTENT WITH THE DRAWINGS.

no.	revision	date

no.	issue	date
1	Issued for Costing	June 05, 2024
2	Issued for Permit and Tender	June 18, 2024

project
RENOVATION TO CLARINGTON FIRE & EMERGENCY SERVICES STATION 1
The Corporation of the Municipality of Clarington

2430 Durham Regional Hwy 2, Bowmanville, ON L1C 6C8

drawing
EXISTING FOUNDATION PLAN
drawing scale

1:100
ward99 project number
24008 - DURHAM FIRE STATION 2413 - DURHAM FIRE STATION

ward99 architects inc.

WaRD.₉₉

ward99 architects inc.
7500 Hwy 27 unit 27B
Wainwright, Ontario L4H 0J2
416 613 5880 www.ward99architects.com

drawing no.
S-1

REVISED



Addendum

Queen's Quay Terminal
207 Queen's Quay West, Suite 615
Toronto, Ontario M5J 1A7
Phone 416-598-2920 Fax 416-598-5394
www.mcw.com

Date: September 24, 2024

Project Name: Clarington - Fire & Emergency Services Station

Client: Ward99 Architects Inc.

To: Ward99 Architects Inc.

Attention: Tina Ranieri

tr@ward99architects.com

From: Eric Tai

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Dung Ta

dta@mcw.com

Project #: 23335-01

ADD #: 001

Page #: 1 of 1

+ Attachment

Distribution: Denise Neutel

dneutel@mcw.com

In accordance with the drawings and specifications, provide in the tender all costs required to complete the work including items as listed below.

Title: Addendum 001
Reason for Change: General revisions

Specifications:

Section #	Revisions
	<ul style="list-style-type: none">No change.

Mechanical Drawings:

:Drawing #	Revisions
M-06 attached	<ul style="list-style-type: none">Add kitchen sink S-1 and hand sink S-2 information in plumbing fixture schedule.

Electrical Drawing:

Drawing #	Revisions
E1-02	<ul style="list-style-type: none">Add power and communications receptacles for printers in the offices 137, 138 and 139.Add communications conduits and key notes 5, 6 and 7 as indicated.Provide cash allowance note.
E2-01	<ul style="list-style-type: none">Add circuit EA-36 for printer receptacles.

End of ADD # 001



Addendum

Queen's Quay Terminal
 207 Queen's Quay West, Suite 615
 Toronto, Ontario M5J 1A7
 Phone 416-598-2920 Fax 416-598-5394
 www.mcw.com

Date: September 25, 2024

Project Name: Clarington - Fire & Emergency Services Station

Client: Ward99 Architects Inc.

To: Ward99 Architects Inc.

Attention: Tina Ranieri

tr@ward99architects.com

From: Eric Tai
 Dung Ta

etai@mcw.com
 dta@mcw.com

Project #: 23335-01

ADD #: 002

Page #: 1 of 1

+ Attachment

Distribution: Denise Neutel

dneutel@mcw.com

In accordance with the drawings and specifications, provide in the tender all costs required to complete the work including items as listed below.

Title: Addendum 002
Reason for Change: General revisions

Specifications:

Section #	Revisions
Mechanical specifications, item 7.05 Fittings	Add item 7.05.11, read as : <ul style="list-style-type: none"> • "Balancing cocks (CBV) : 50mm (2") and smaller: DeZurick series 425. 65mm (2½") and larger: Flanged DeZurick Series 100. Both types to be complete with memory stops.

Mechanical Drawings:

Drawing #	Revisions
M-03 attached	<ul style="list-style-type: none"> • Clarify re-use relocated workshop sink in room Ex Mask Repair113 • Clarify new hose bibb to match existing hose bibb in fire truck bay.
M-05 attached	<ul style="list-style-type: none"> • Clarify re-use relocated workshop sink from room Ex. Workshop 112.

End of ADD # 002

