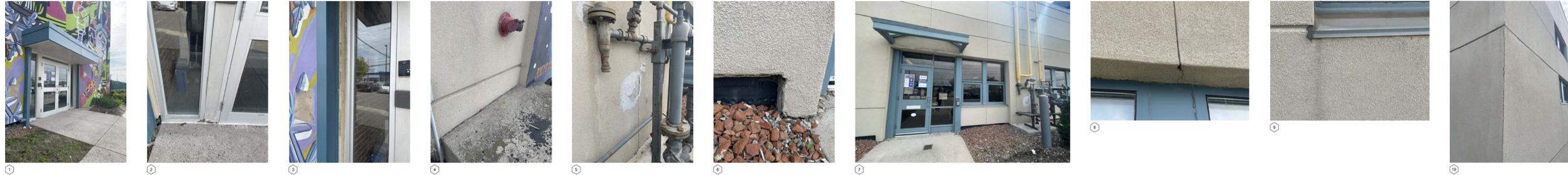
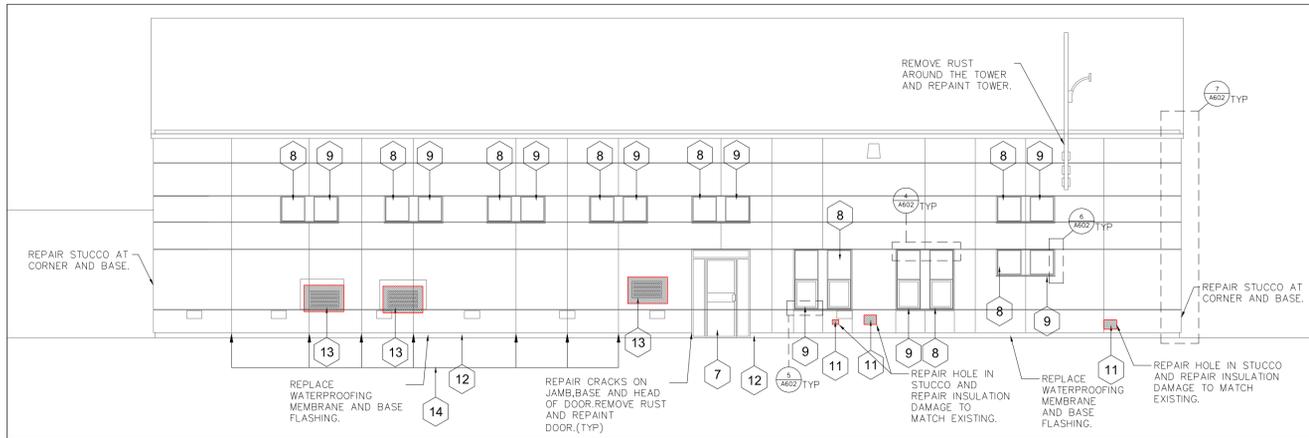


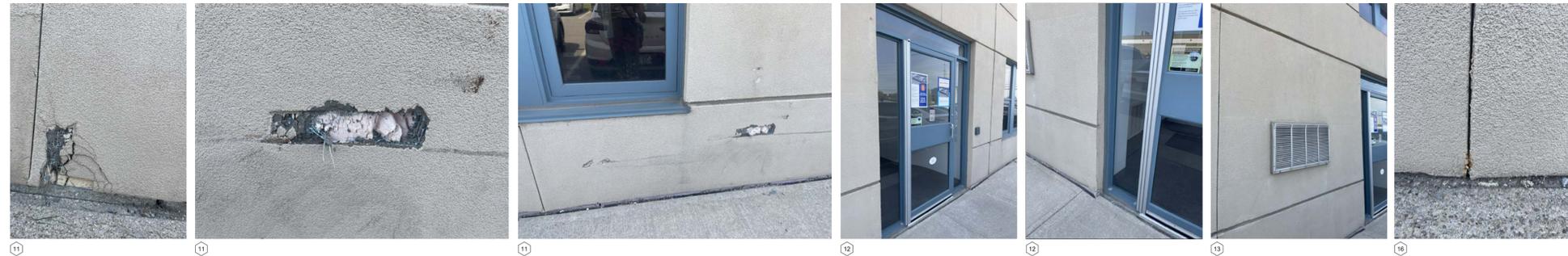
1 ELEVATION - WEST  
A300 SCALE: 1:100



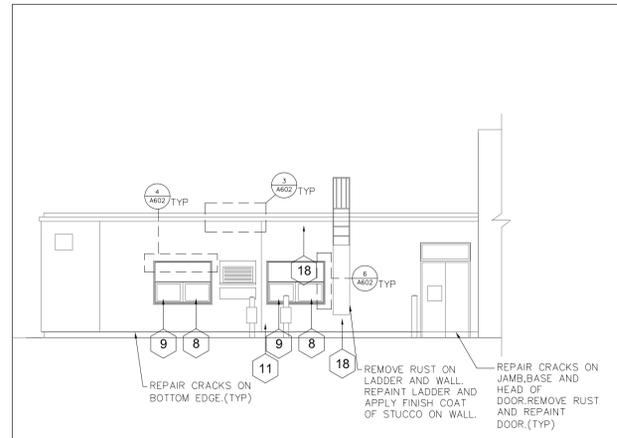
2 EX CONDITION - WEST ELEVATION  
A300 SCALE: 1:100



3 ELEVATION - NORTH  
A300 SCALE: 1:100



4 EX CONDITION-NORTH ELEVATION  
A300 SCALE: 1:100



5 ELEVATION - PARTIAL NORTH  
A300 SCALE: 1:100

NOTE: REFER TO STUCCO REPAIR TYPICAL DETAILS ON A602.

- 1 FRONT ENTRANCE. REPAINT EXISTING DOOR AS SPECIFIED.
- 2 REPLACE DAMAGED DOOR W/ NEW DOOR AS SPECIFIED.
- 3 REPAIR STUCCO CRACKS AT CORNERS AND WALL EDGE.
- 4 FILL GAP BETWEEN CONCRETE PAD AND STUCCO WALL. PROVIDE CAULKING AS REQUIRED.
- 5 3-5 SQ.MT REPAIR STUCCO. PATCH HOLES AND WORN OUT ON EXISTING STUCCO. MAKE GOOD TO RECEIVE FINAL COAT.
- 6 REPAIR STUCCO AT BASE AND REPAIR/REPLACE FLASHING.
- 7 REPAIR STUCCO CRACKS AND REMOVE RUST ON DOOR FRAMES AND REPAIR DOOR AND CANOPY.
- 8 REPAIR CRACKS (IF ANY) AT WINDOW SILL, JAMB & HEAD BY MAINTAINING TYPICAL WINDOW TREATMENT. (TYP FOR ALL WINDOWS)
- 9 REMOVE EXISTING GLASS CAULKING AND APPLY NEW CAULKING. CLEAN GLASS PANELS AFTER COMPLETION OF WORK. (TYP FOR ALL WINDOWS)
- 10 REPAIR STUCCO DAMAGE AND REPLACE DAMAGED INSULATION LAYER IF NEEDED.
- 11 REPLACE STUCCO DAMAGE AT BOTTOM EDGE OF WALL AND REPLACE DAMAGED INSULATION IF REQUIRED. MAKE GOOD FOR NEW STUCCO.
- 12 REMOVE RUST FROM GRILL. REPAIR CRACKS AROUND THE GRILL AND REPLACE CAULKING.
- 13 REMOVE CAULKING AT JOINTS AND RE-CAULK AS NEEDED AND REPAIR JOINTS / STUCCO REVEALS AND MAKE GOOD TO RECEIVE FINAL COAT.
- 14 REMOVE RUST AROUND THE PIPE. REPAIR CRACKS ON WALL AND MAKE GOOD TO RECEIVE NEW STUCCO.
- 15 REMOVE RUST, REPAIR CRACKS AND STUCCO WORN AND INSULATION AND MAKE GOOD.
- 16 REMOVE RUST FROM METAL FRAME AND REPAIR THE DOOR.
- 17 REMOVE RUST FROM REINFORCEMENT BARS AND CLEAN THE WALL TO APPLY FINAL COAT.
- 18 REPAIR CRACKS AND HOLES AROUND THE WINDOWS AND DOORS. (TYP)



6 EX CONDITION-PARTIAL NORTH ELEVATION  
A300 SCALE: 1:100

#	DATE	REVISION
5	2024-09-18	ISSUED FOR ADDENDUM 4
4	2024-07-04	ISSUED FOR TENDER
3	2024-06-21	ISSUED FOR PRE-TENDER REVIEW
2	2024-05-15	ISSUED FOR BUILDING PERMIT
1	2024-01-18	ISSUED FOR CLIENT REVIEW

#	DATE	ISSUED
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ISSUED FOR CONSTRUCTION

SIGNATURE \_\_\_\_\_

DATE \_\_\_\_\_

client:

**MISSISSAUGA**

client project no. ---

project:

**MAVIS S. MECH. & ROOF RENEWAL**  
CITY OF MISSISSAUGA

3185 MAVIS RD, MISSISSAUGA, ON L5C 1T7

consultant:

north

seal

**ONTARIO ASSOCIATION OF ARCHITECTS**  
PAUL DIDUR  
LICENSE NO. 3572

**pda** Paul Didur Architect Inc.  
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222 Islington Ave., Suite 260  
Toronto, Ontario, M8V 3W7  
E-mail: pda@pdaarchitect.com W: www.pdaarchitect.com  
T-416 928 1041 F-416 928 1051

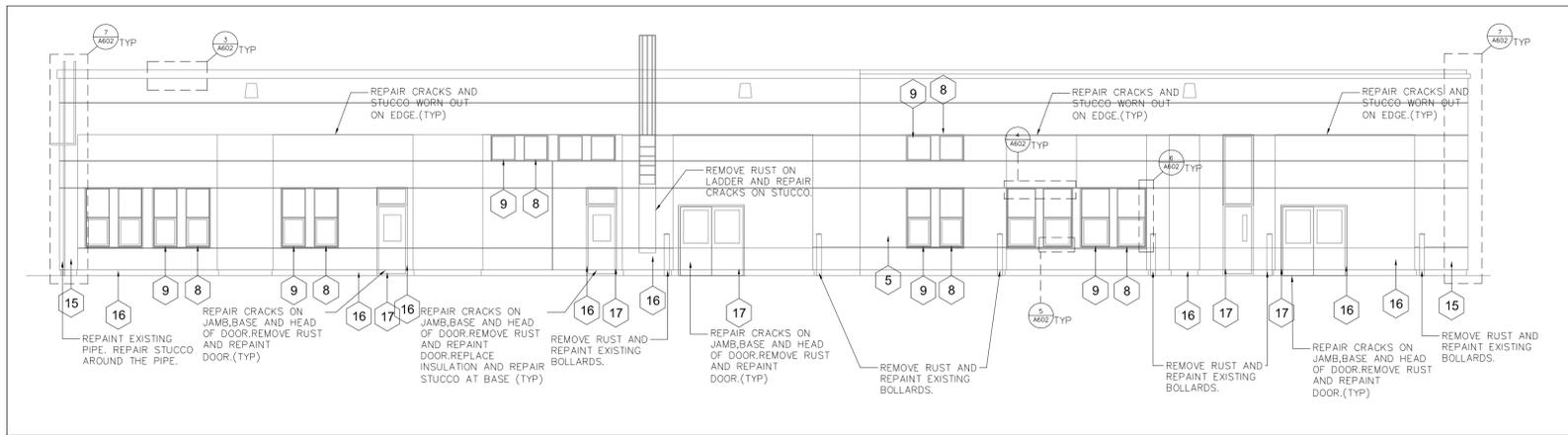
project architect PD project designer PD

sheet title

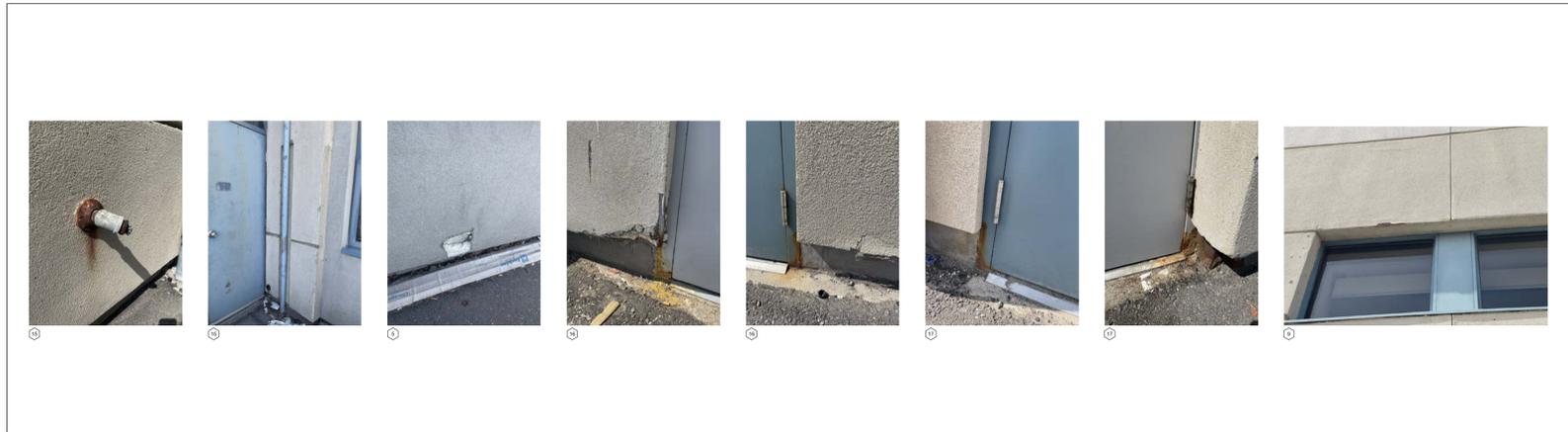
**ELEVATIONS STUCCO REPAIR**

scale AS NOTED drawing by NH/HP checked by PD drawing no. A300

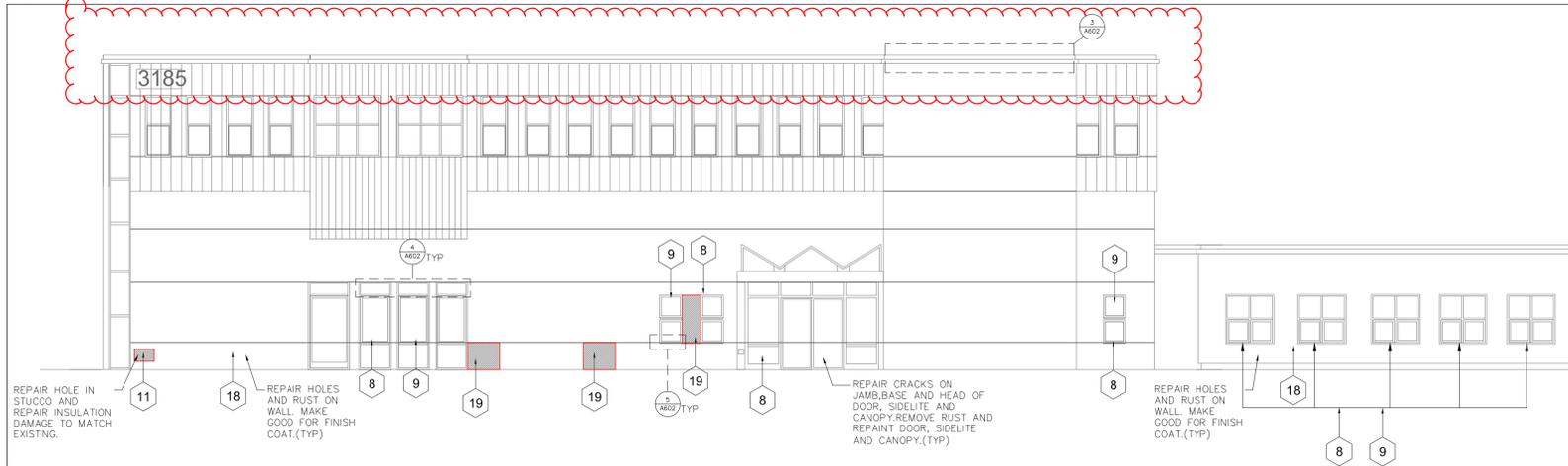
project no. 22312 plot date: 2024-09-18



1 ELEVATION - EAST  
A301 SCALE: 1:100



2 EX CONDITION - EAST ELEVATION  
A301 SCALE: NTS



3 ELEVATION - SOUTH  
A301 SCALE: 1:100



4 EX CONDITION-SOUTH ELEVATION  
A301 SCALE: 1:100

NOTE: REFER TO STUCCO REPAIR TYPICAL DETAILS ON A602.

- ① FRONT ENTRANCE. REPAIR EXISTING CANOPY.
- ② REPLACE DAMAGED DOOR W/ NEW DOOR AS SPECIFIED.
- ③ REPAIR STUCCO CRACKS AT CORNERS AND WALL EDGE.
- ④ FILL GAP BETWEEN CONCRETE PAD AND STUCCO WALL. PROVIDE CAULKING AS REQUIRED.
- ⑤ 3-5 SQ.MT REPAIR STUCCO, PATCH HOLES AND WORN OUT ON EXISTING STUCCO, MAKE GOOD TO RECEIVE FINAL COAT.
- ⑥ REPAIR STUCCO AT BASE AND REPAIR/REPLACE FLASHING.
- ⑦ REPAIR STUCCO CRACKS AND REMOVE RUST ON DOOR FRAMES AND REPAIR DOOR AND CANOPY.
- ⑧ REPAIR CRACKS (IF ANY) AT WINDOW SILL, JAMB & HEAD BY MAINTAINING TYPICAL WINDOW TREATMENT. (TYP FOR ALL WINDOWS)
- ⑨ REMOVE EXISTING GLASS CAULKING AND APPLY NEW CAULKING. CLEAN GLASS PANELS AFTER COMPLETION OF WORK. (TYP FOR ALL WINDOWS)
- ⑩ REPAIR STUCCO CRACKS AT CORNER. REFER DETAIL(TYP)
- ⑪ REPAIR STUCCO DAMAGE AND REPLACE DAMAGED INSULATION LAYER IF NEEDED.
- ⑫ REPLACE STUCCO DAMAGE AT BOTTOM EDGE OF WALL AND REPLACE DAMAGED INSULATION IF REQUIRED. MAKE GOOD FOR NEW STUCCO.
- ⑬ REMOVE RUST FROM GRILL, REPAIR CRACKS AROUND THE GRILL AND REPLACE CAULKING.
- ⑭ REMOVE CAULKING AT JOINTS AND RE-CAULK AS NEEDED AND REPAIR JOINTS / STUCCO REVEALS AND MAKE GOOD TO RECEIVE FINAL COAT.
- ⑮ REMOVE RUST AROUND THE PIPE, REPAIR CRACKS ON WALL AND MAKE GOOD TO RECEIVE NEW STUCCO.
- ⑯ REMOVE RUST, REPAIR CRACKS AND STUCCO WORN AND INSULATION AND MAKE GOOD.
- ⑰ REMOVE RUST FROM METAL FRAME AND REPAIR THE DOOR.
- ⑱ REMOVE RUST FROM REINFORCEMENT BARS AND CLEAN THE WALL TO APPLY FINAL COAT.
- ⑲ REPAIR CRACKS AND HOLES AROUND THE WINDOWS AND DOORS. (TYP)

5 GENERAL NOTES  
A301 SCALE: NTS

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ISSUED FOR CONSTRUCTION

SIGNATURE \_\_\_\_\_

DATE \_\_\_\_\_

client:  
**MISSISSAUGA**

client project no.  
--

project:  
**MAVIS S. MECH. & ROOF RENEWAL  
CITY OF MISSISSAUGA**

**3185 MAVIS RD, MISSISSAUGA, ON L5C 1T7**

consultant:

north

seal  
**ONTARIO ASSOCIATION  
OF ARCHITECTS**  
PAUL DIDUR  
LICENSE  
3572

**pda** Paul Didur Architect Inc.  
BCDN No. 2033

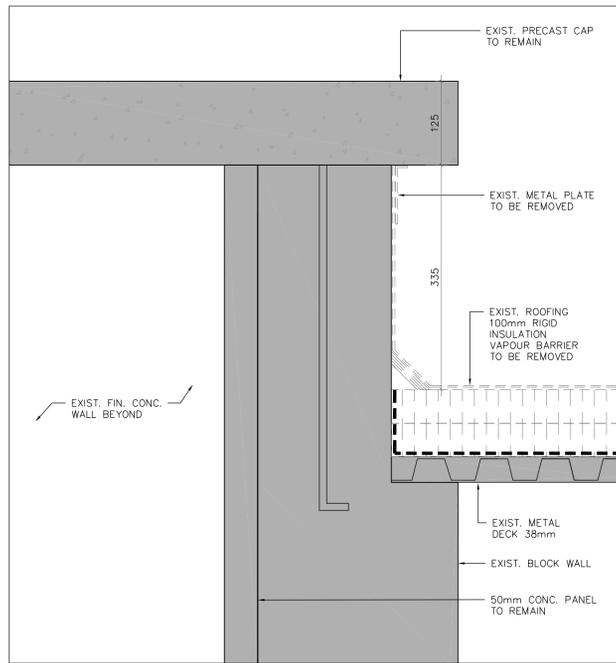
222 Islington Ave., Suite 260  
Toronto, Ontario, M8V 3W7  
E-mail: pda@pdaarchinc.com W: www.pdaarchinc.com  
T-416 928 1041 F-416 928 1051

project architect: **PD** project designer: **PD**

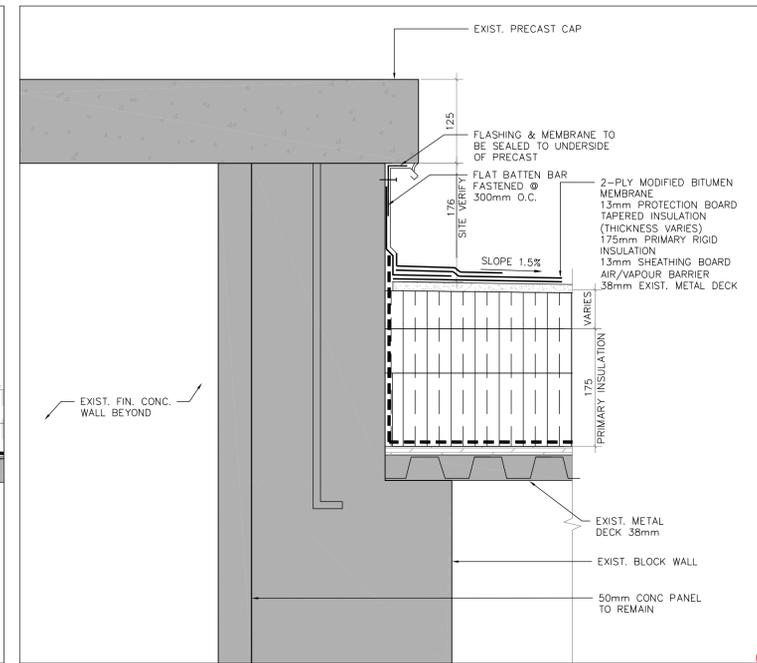
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STUCCO REPAIR**

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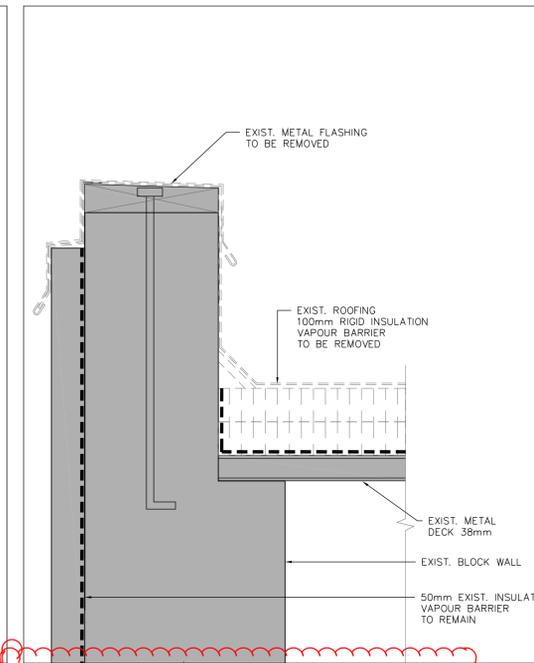
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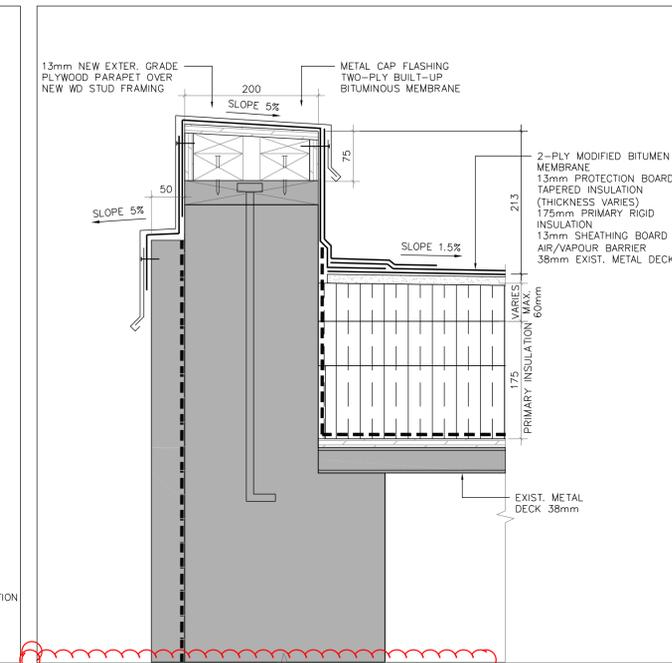
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A601 SCALE: 1:5



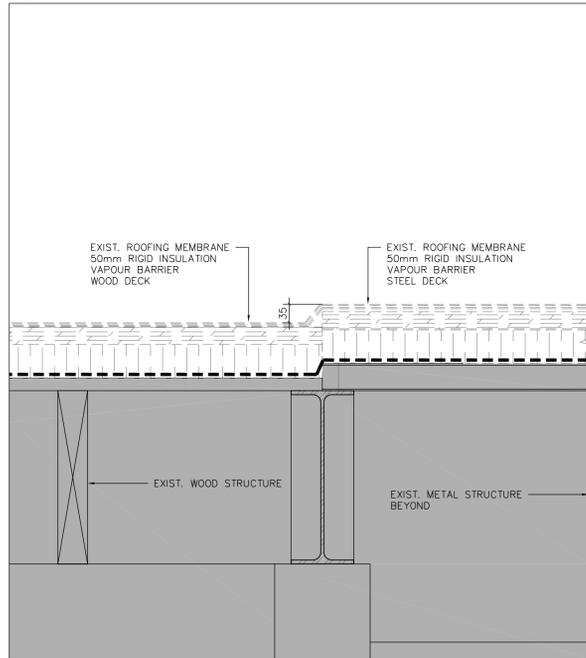
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A601 SCALE: 1:5



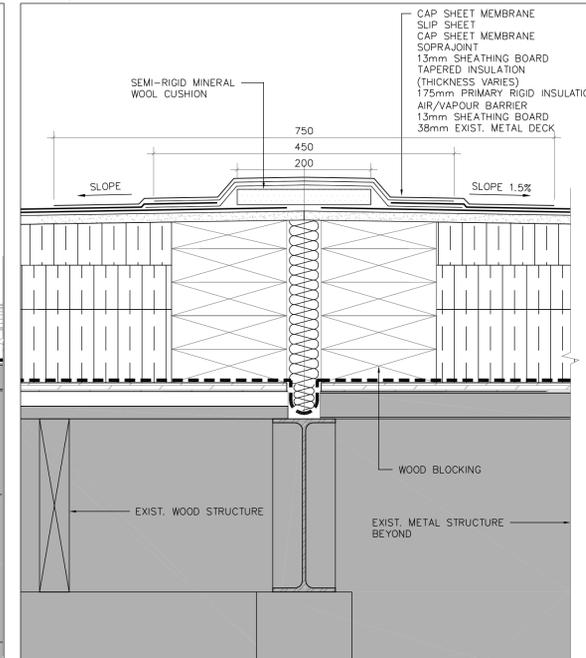
2 DEMO PARAPET SECTION DETAIL-ROOF B1&B2  
A601 SCALE: 1:5



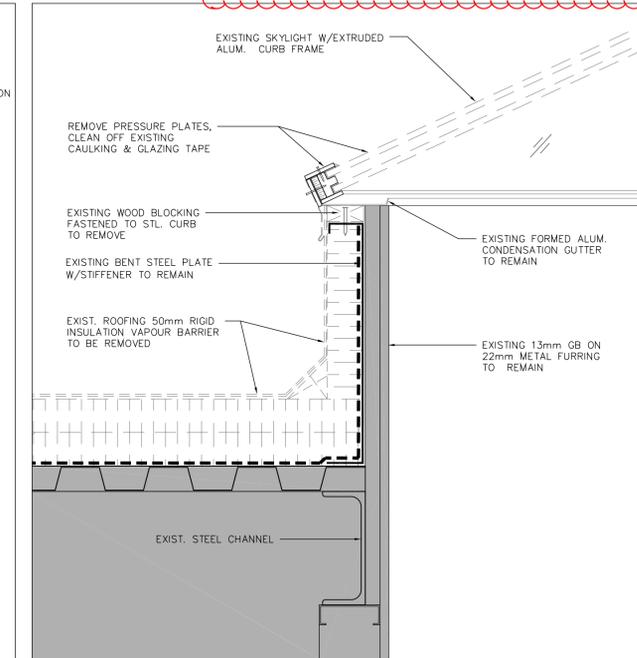
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A601 SCALE: 1:5



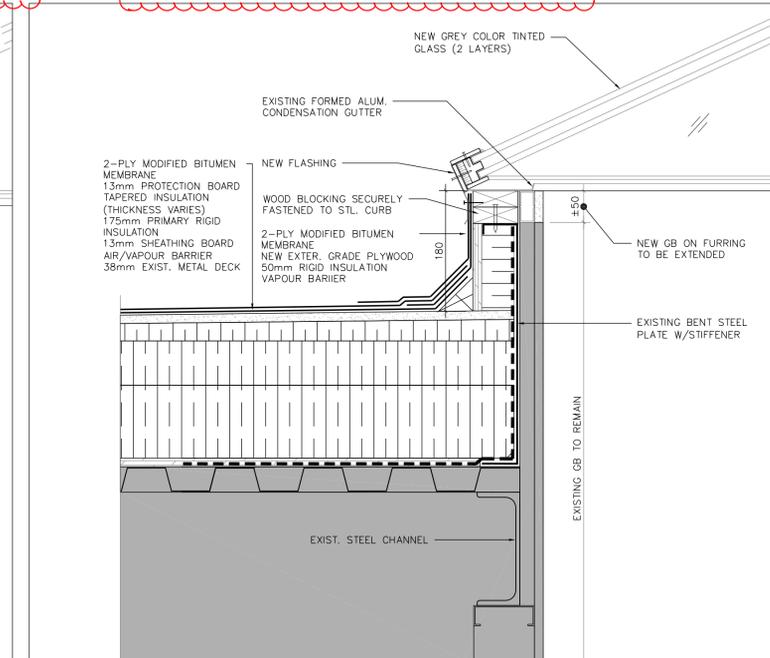
3 DEMO SECTION DETAIL-THRU EXPANSION JOINT-ROOF B1  
A601 SCALE: 1:5



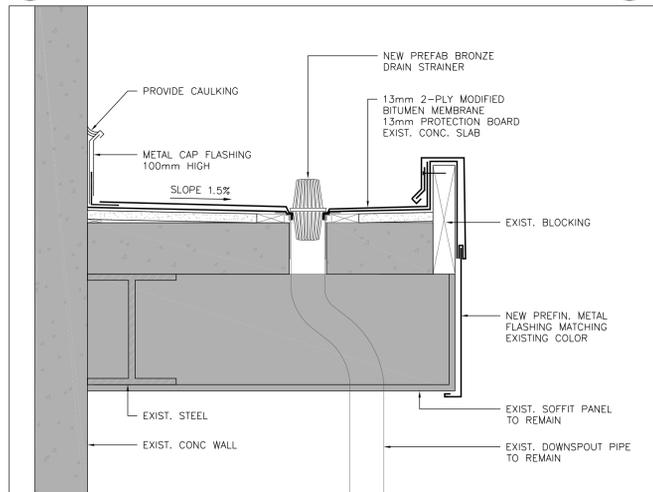
3 PROPOSED SECTION DETAIL-THRU EXPANSION JOINT-ROOF B1  
A601 SCALE: 1:5



4 DEMO SECTION DETAIL THRU SKYLIGHT-ROOF B1  
A601 SCALE: 1:5



4 PROPOSED SECTION DETAIL THRU SKYLIGHT-ROOF B1  
A601 SCALE: 1:5



5 PROPOSED SECTION THRU CANOPY - ROOF A2  
A601 SCALE: 1:5

#	DATE	REVISION
6	2024-09-18	ISSUED FOR ADDENDUM 4
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SIGNATURE \_\_\_\_\_  
DATE \_\_\_\_\_

client: MISSISSAUGA

client project no. --

project: MAVIS S. MECH. & ROOF RENEWAL  
CITY OF MISSISSAUGA

3185 MAVIS RD, MISSISSAUGA, ON L5C 1T7

consultant:

north

seal

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LICENSEE 3572

pda Paul Didur Architect Inc.  
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222 Islington Ave., Suite 260  
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T-416 928 1041 F-416 928 1051

project architect PD project designer PD

sheet title SECTION DETAILS

scale AS NOTED drawn by NH/HP checked by PD drawing no. A601

project no. 22312 plot date: 2024-09-18

PDA ARCHITECTURE INC. 2024