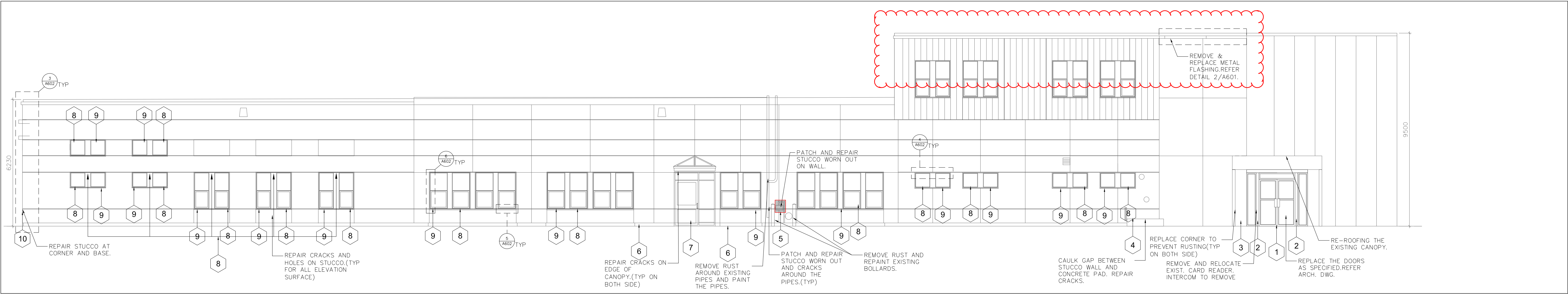
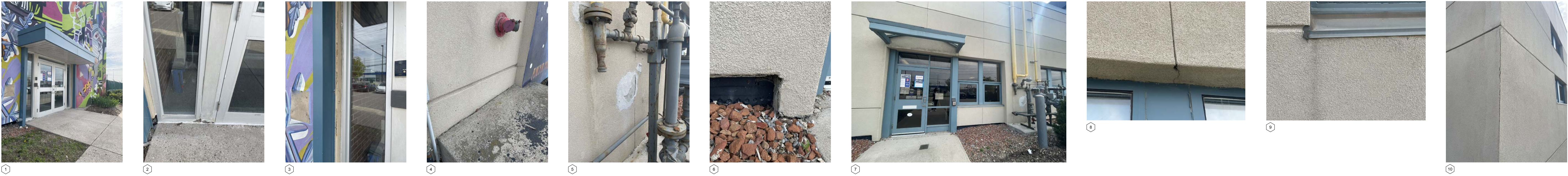
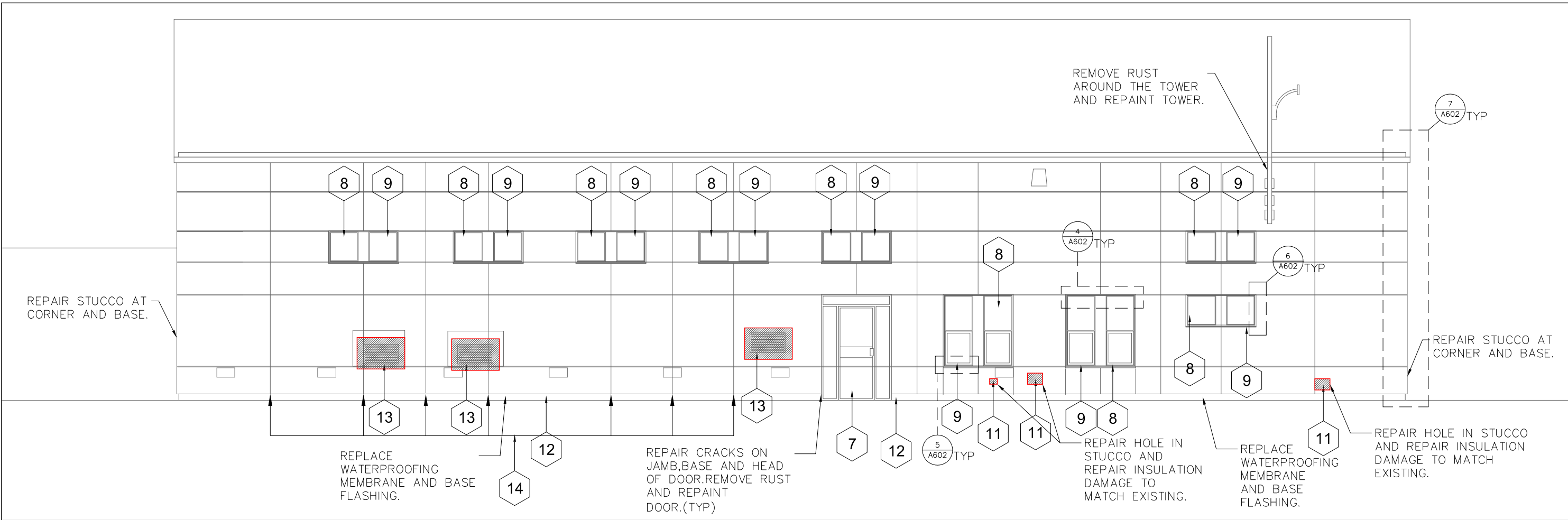
PLOT DATE: September 18, 2024



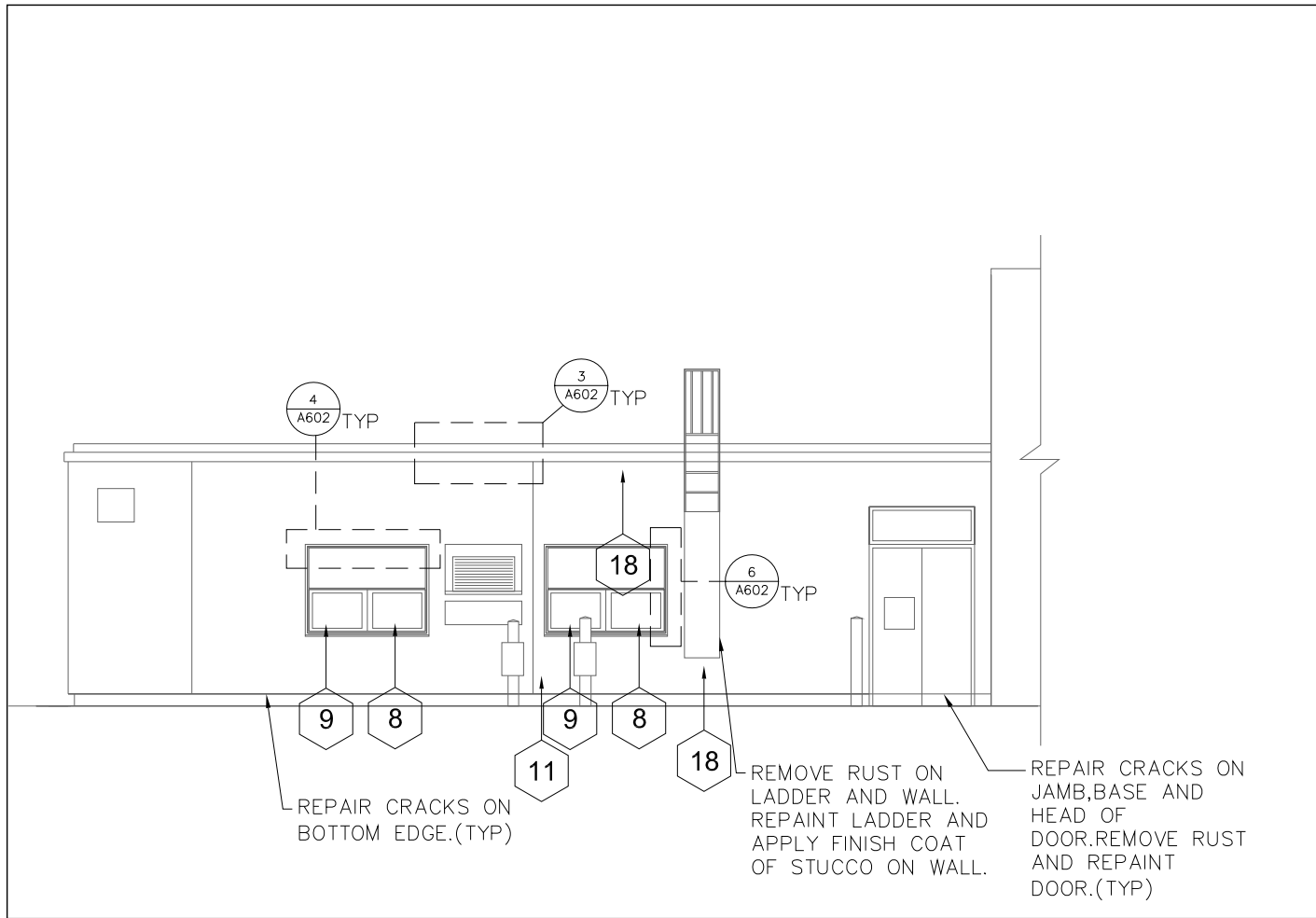
1 ELEVATION - WEST
A300 SCALE: 1:100



2 EX CONDITION - WEST ELEVATION
A300 SCALE: 1:100



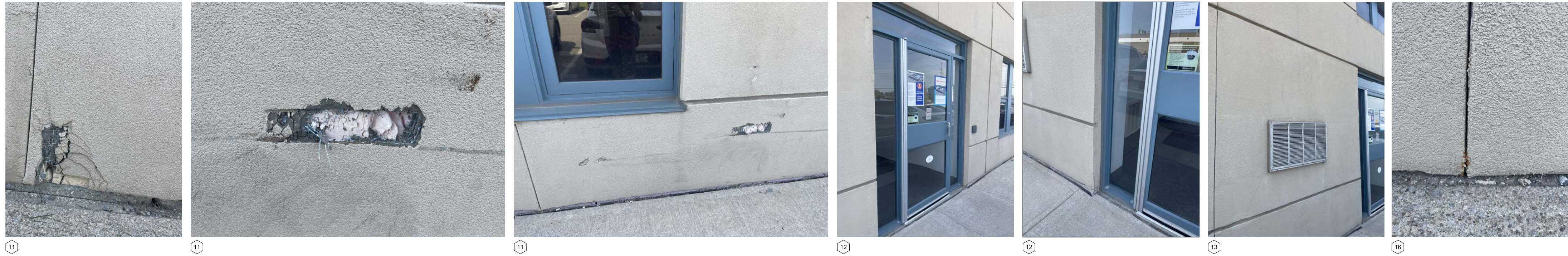
3 ELEVATION - NORTH
A300 SCALE: 1:100



5 ELEVATION - PARTIAL NORTH
A300 SCALE: 1:100

NOTE: REFER TO STUCCO REPAIR TYPICAL DETAILS ON A602.

- 1 FRONT ENTRANCE. REPAINT EXISTING CANOPY.
- 2 REPLACE DAMAGED DOOR W/ NEW DOOR AS SPECIFIED.
- 3 REPAIR STUCCO CRACKS AT CORNERS AND WALL EDGE.
- 4 FILL GAP BETWEEN CONCRETE PAD AND STUCCO WALL. PROVIDE CAULKING AS REQUIRED.
- 5 3-5 SQ.MT REPAIR STUCCO. PATCH HOLES AND WORN OUT ON EXISTING STUCCO. MAKE GOOD TO RECEIVE FINAL COAT.
- 6 REPAIR STUCCO AT BASE AND REPAIR/REPLACE FLASHING.
- 7 REPAIR STUCCO CRACKS AND REMOVE RUST ON DOOR FRAMES AND REPAIR DOOR AND CANOPY.
- 8 REPAIR CRACKS (IF ANY) AT WINDOW SILL, JAMB & HEAD BY MAINTAINING TYPICAL WINDOW TREATMENT. (TYP FOR ALL WINDOWS)
- 9 REMOVE EXISTING GLASS CAULKING AND APPLY NEW CAULKING. CLEAN GLASS PANELS AFTER COMPLETION OF WORK. (TYP FOR ALL WINDOWS)
- 10 REPAIR STUCCO CRACKS AT CORNER. REFER DETAIL(TYP)
- 11 REPAIR STUCCO DAMAGE AND REPLACE DAMAGED INSULATION LAYER IF NEEDED.
- 12 REPLACE STUCCO DAMAGE AT BOTTOM EDGE OF WALL AND REPLACE DAMAGED INSULATION IF REQUIRED. MAKE GOOD FOR NEW STUCCO.
- 13 REMOVE RUST FROM GRILL. REPAIR CRACKS AROUND THE GRILL AND REPLACE CAULKING.
- 14 REMOVE CAULKING AT JOINTS AND RE-CAULK AS NEEDED AND REPAIR JOINTS / STUCCO REVEALS AND MAKE GOOD TO RECEIVE FINAL COAT.
- 15 REMOVE RUST AROUND THE PIPE, REPAIR CRACKS ON WALL AND MAKE GOOD TO RECEIVE NEW STUCCO.
- 16 REMOVE RUST, REPAIR CRACKS AND STUCCO WORN AND INSULATION AND MAKE GOOD.
- 17 REMOVE RUST FROM METAL FRAME AND REPAINT THE DOOR.
- 18 REMOVE RUST FROM REINFORCEMENT BARS AND CLEAN THE WALL TO APPLY FINAL COAT.
- 19 REPAIR CRACKS AND HOLES AROUND THE WINDOWS AND DOORS. (TYP)

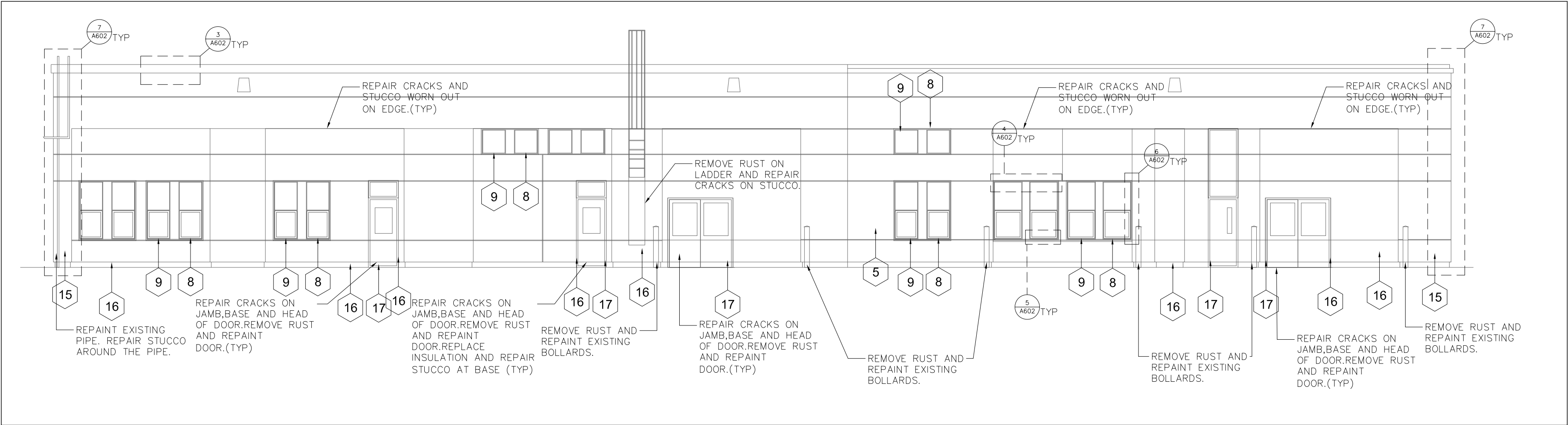


4 EX CONDITION-NORTH ELEVATION
A300 SCALE: 1:100

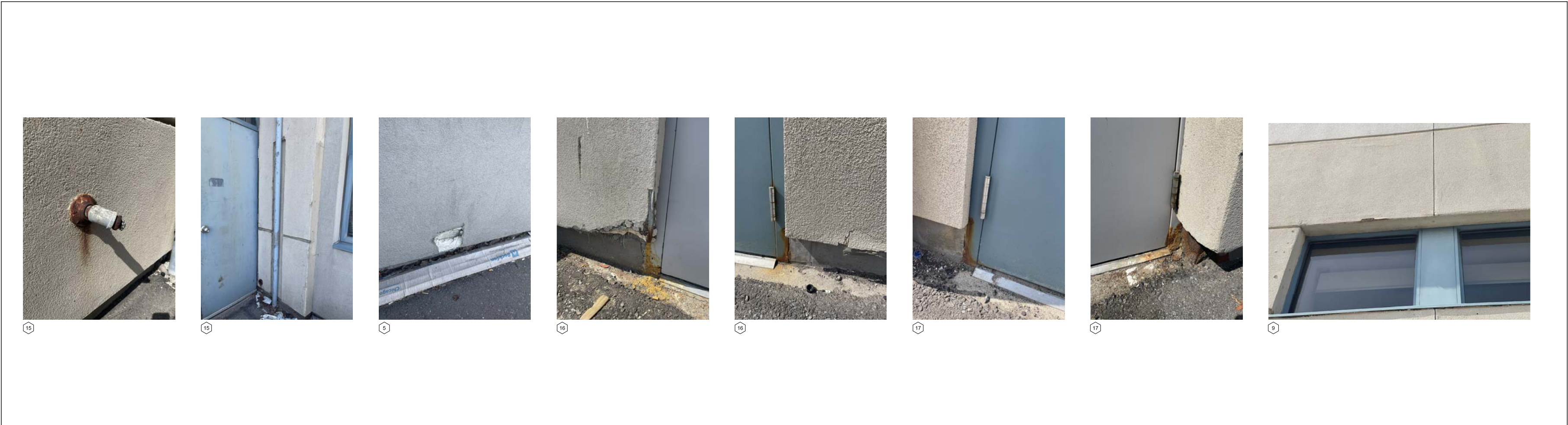


6 EX CONDITION-PARTIAL NORTH ELEVATION
A300 SCALE: 1:100

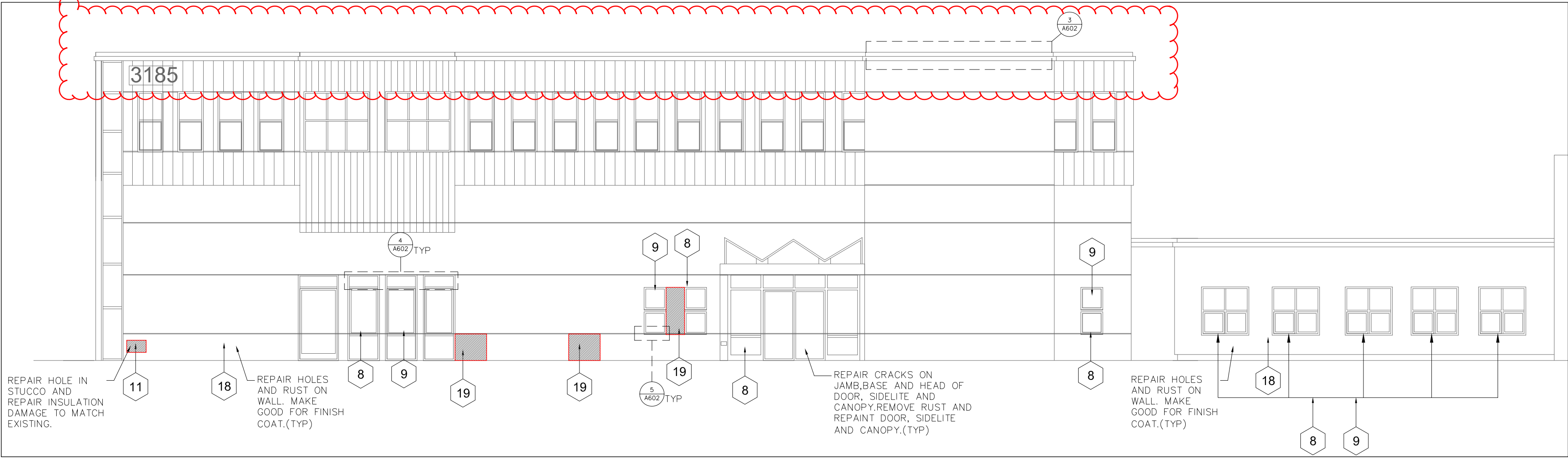
#	DATE	REVISION
5	2024-09-18	ISSUED FOR ADDENDUM 4
4	2024-07-04	ISSUED FOR TENDER
3	2024-06-21	ISSUED FOR PRE-TENDER REVIEW
2	2024-05-15	ISSUED FOR BUILDING PERMIT
1	2024-01-18	ISSUED FOR CLIENT REVIEW
#	DATE	ISSUED
THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC. ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.		
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.		
THIS DRAWING IS NOT TO BE SCALED.		
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT.		
ISSUED FOR CONSTRUCTION		
SIGNATURE _____		
DATE _____		
client:		
client project no.		
project: MAVIS S. MECH. & ROOF RENEWAL CITY OF MISSISSAUGA		
3185 MAVIS RD, MISSISSAUGA, ON L5C 1T7		
consultant:		
north		
seal		
pda Paul Didur Architect Inc. BCDN No. 2033		
222 Islington Ave., Suite 260 Toronto, Ontario, M8V 3W7 E-mail: pda@pdaarchitect.com W: www.pdaarchitect.com T: 416 928 1041 F: 416 928 1051		
project architect PD		project designer PD
sheet title		
ELEVATIONS STUCCO REPAIR		
scale AS NOTED	drawn by NH/HP	checked by PD
project no. 22312	plot date: 2024-09-18	drawing no. A300



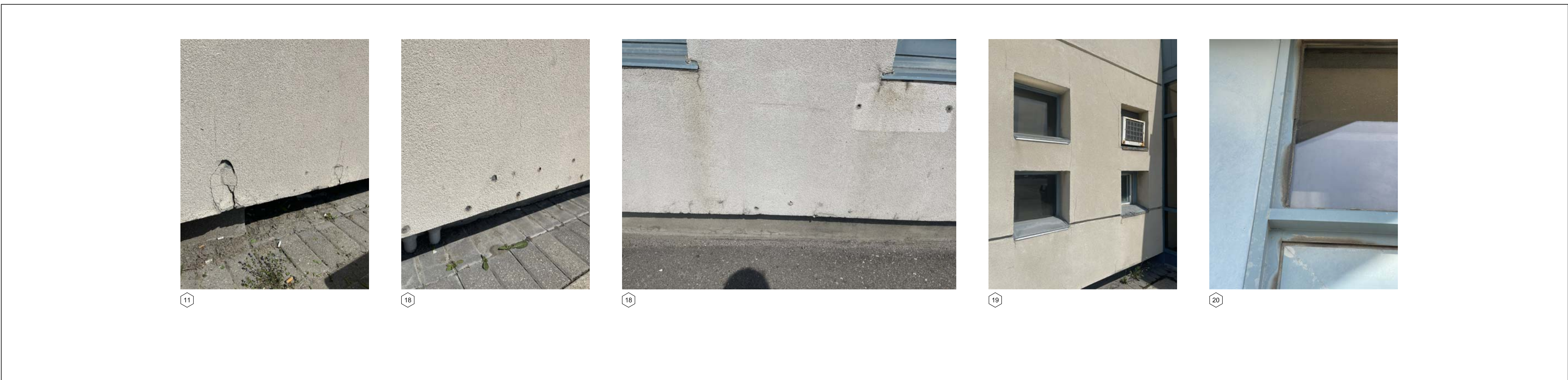
1 ELEVATION - EAST
A301 SCALE: 1:100



2 EX CONDITION - EAST ELEVATION
A301 SCALE: NTS



3 ELEVATION - SOUTH
A301 SCALE: 1:100



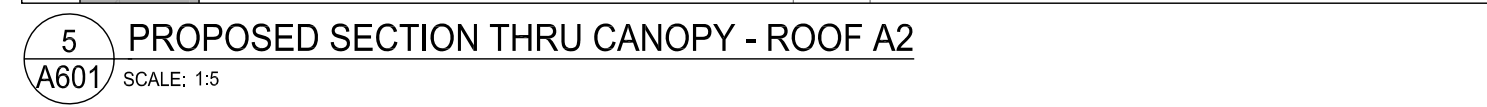
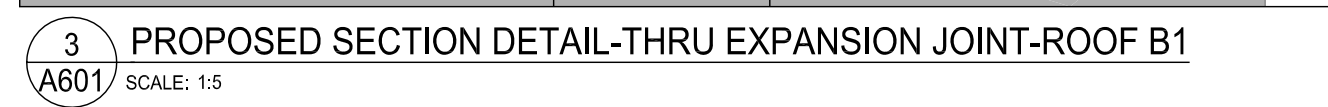
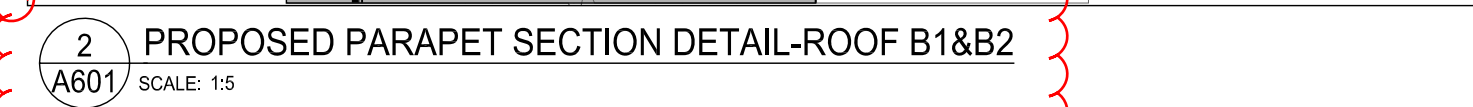
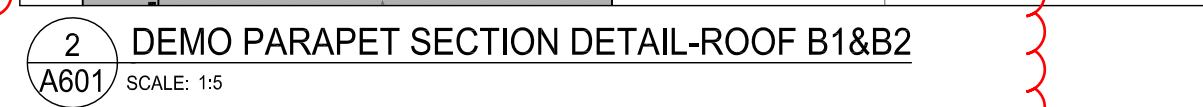
4 EX CONDITION-SOUTH ELEVATION
A301 SCALE: 1:100

NOTE: REFER TO STUCCO REPAIR TYPICAL DETAILS ON A602.

- ① FRONT ENTRANCE. REPAINT EXISTING CANOPY.
- ② REPLACE DAMAGED DOOR W/ NEW DOOR AS SPECIFIED.
- ③ REPAIR STUCCO CRACKS AT CORNERS AND WALL EDGE.
- ④ FILL GAP BETWEEN CONCRETE PAD AND STUCCO WALL. PROVIDE CAULKING AS REQUIRED.
- ⑤ 3-5 SQ.MT REPAIR STUCCO, PATCH HOLES AND WORN OUT ON EXISTING STUCCO, MAKE GOOD TO RECEIVE FINAL COAT.
- ⑥ REPAIR STUCCO AT BASE AND REPAIR/REPLACE FLASHING.
- ⑦ REPAIR STUCCO CRACKS AND REMOVE RUST ON DOOR FRAMES AND REPAINT DOOR AND CANOPY.
- ⑧ REPAIR CRACKS (IF ANY) AT WINDOW SILL, JAMB & HEAD BY MAINTAINING TYPICAL WINDOW TREATMENT. (TYP FOR ALL WINDOWS)
- ⑨ REMOVE EXISTING GLASS CAULKING AND APPLY NEW CAULKING. CLEAN GLASS PANELS AFTER COMPLETION OF WORK. (TYP FOR ALL WINDOWS)
- ⑩ REPAIR STUCCO CRACKS AT CORNER. REFER DETAIL(TYP)
- ⑪ REPAIR STUCCO DAMAGE AND REPLACE DAMAGED INSULATION LAYER IF NEEDED.
- ⑫ REPLACE STUCCO DAMAGE AT BOTTOM EDGE OF WALL AND REPLACE DAMAGED INSULATION IF REQUIRED. MAKE GOOD FOR NEW STUCCO.
- ⑬ REMOVE RUST FROM GRILL, REPAIR CRACKS AROUND THE GRILL AND REPLACE CAULKING.
- ⑭ REMOVE CAULKING AT JOINTS AND RE-CAULK AS NEEDED AND REPAIR JOINTS / STUCCO REVEALS AND MAKE GOOD TO RECEIVE FINAL COAT.
- ⑮ REMOVE RUST AROUND THE PIPE, REPAIR CRACKS ON WALL AND MAKE GOOD TO RECEIVE NEW STUCCO.
- ⑯ REMOVE RUST, REPAIR CRACKS AND STUCCO WORN AND INSULATION AND MAKE GOOD.
- ⑰ REMOVE RUST FROM METAL FRAME AND REPAINT THE DOOR.
- ⑱ REMOVE RUST FROM REINFORCEMENT BARS AND CLEAN THE WALL TO APPLY FINAL COAT.
- ⑲ REPAIR CRACKS AND HOLES AROUND THE WINDOWS AND DOORS. (TYP)

5 GENERAL NOTES
A301 SCALE: NTS

#	DATE	REVISION
5	2024-09-18	ISSUED FOR ADDENDUM 4
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ISSUED FOR CONSTRUCTION		
SIGNATURE _____		
DATE _____		
client:		
client project no.		
project: MAVIS S. MECH. & ROOF RENEWAL CITY OF MISSISSAUGA		
3185 MAVIS RD, MISSISSAUGA, ON L5C 1T7		
consultant:		
north		
seal		
pda Paul Didur Architect Inc. BCDN No. 2033 222 Islington Ave., Suite 260 Toronto, Ontario, M8V 3W7 E-mail: pda@pdaarchitect.com W: www.pdaarchitect.com T-416 928 1041 F-416 928 1051		
project architect PD		project designer PD
sheet title ELEVATIONS STUCCO REPAIR		
scale AS NOTED	drawn by NH/HP	checked by PD
project no. 22312	plot date: 2024-09-18	drawing no. A301



#	DATE	REVISION
6	2024-09-18	ISSUED FOR ADDENDUM 4
5	2024-09-17	ISSUED FOR ADDENDUM 3
4	2024-07-04	ISSUED FOR TENDER
3	2024-06-21	ISSUED FOR PRE-TENDER REVIEW
2	2024-05-15	ISSUED FOR BUILDING PERMIT
1	2024-01-18	ISSUED FOR CLIENT REVIEW
#	DATE	ISSUED

client:

 MISSISSAUGA

client project no.

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consultant:

pda **Paul Didur Architect Inc.**
BCDN No. 2033

222 Islington Ave., Suite 260
Toronto, Ontario, M8V 3W7
E-mail: pdarchinc.com W: www.pdarchinc.com
T-416 928 1041 F-416 928 1051

SECTION DETAILS
