



ARCHITECTURAL TENDER ADDENDUM A - 7

PROJECT:	Mavis S.Mech. &Roof Renewal 3185 Mavis Rd, Mississauga, ON L5C 1T7	REFERENCE: 1. Architectural Drawings, dated 2024-09-25
PROJECT NO:	22312	
DATE:	September 25, 2024	
PAGES:	- plus attachments	

The following items shall be incorporated as clarifications to the Tender Documents and shall be included, as applicable, in the Stipulated Sum Tender Amount. Acknowledgement of the receipt of this Addendum shall be indicated in the Tender Form. It is the responsibility of the bidder to bring this addendum to the attention of all subcontractors and material suppliers.

1 QUESTIONS & ANSWERS:

- 1.1 Please provide the Room Finish Schedule including painting, flooring, etc.
- Refer Addendum 7 including Finishes Schedule and Notes.

2 PROCUREMENT AND CONTRACTING REQUIREMENTS:

- 2.1 GC to provide Unit Price's for following Items:
1. Block Replacement – Per Unit
 2. Concrete Slab Cutting – Per lm
 3. Stucco Surface Repair – Per M2
 4. Stucco Replacement w/ Insulation – Per M2

3 ARCHITECTURAL SPECIFICATIONS:

- 3.1 N/A

4 ARCHITECTURAL DRAWINGS:

- 4.1 Architectural Drawing A210
- 4.2 Architectural Drawing A211
- 4.3 Architectural Drawing A212
- 4.4 Architectural Drawing A213
- 4.5 Architectural Drawing A700

5 MECHANICAL DRAWINGS & SPECIFICATIONS:

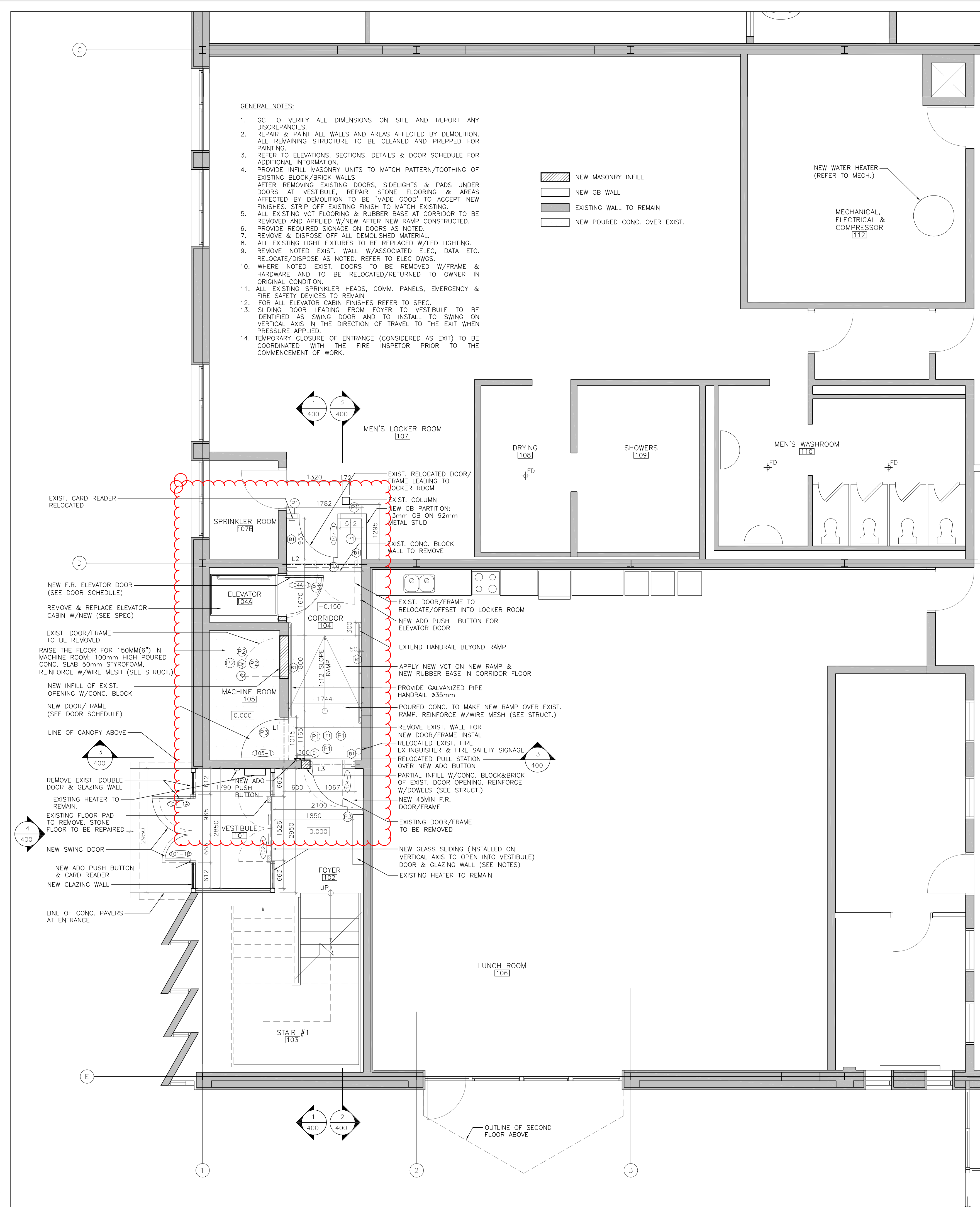
- 5.1 N/A

6 ELECTRICAL DRAWINGS & SPECIFICATIONS:

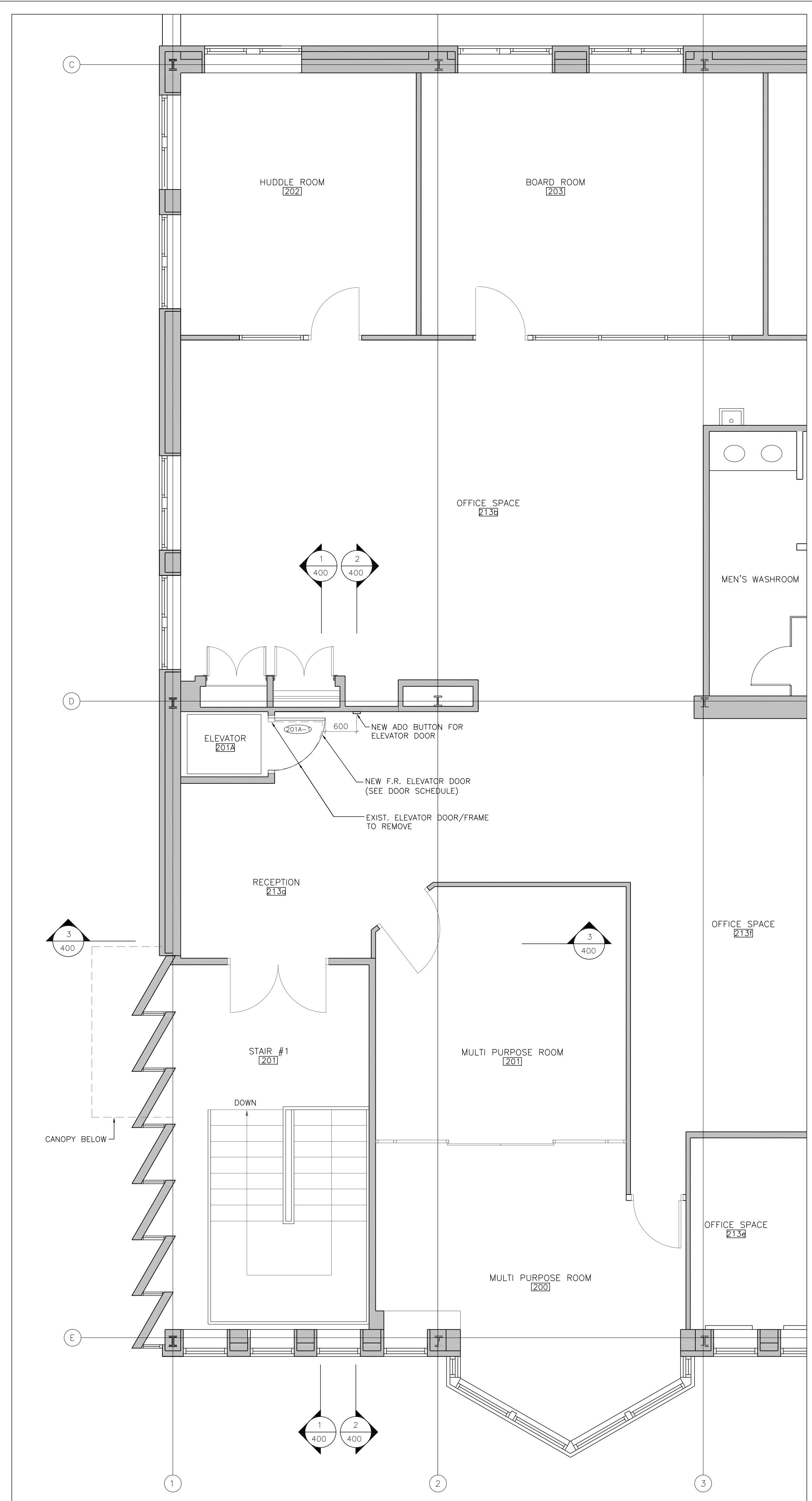
- 6.1 N/A

END OF ARCHITECTURAL TENDER ADDENDUM A-7

PER:
Himani Patel for Paul Didur, Project Architect



1 PROPOSED ENTRANCE & ELEVATOR LOBBY - GROUND FLOOR
A210 SCALE: 1:50



2 PROPOSED PARTIAL SECOND FLOOR
A210 SCALE: 1:50

#	DATE	REVISION
5	2024-09-25	ISSUED FOR ADDENDUM 7
4	2024-07-04	ISSUED FOR TENDER
3	2024-06-21	ISSUED FOR PRE-TENDER REVIEW
2	2024-05-15	ISSUED FOR BUILDING PERMIT
1	2024-01-18	ISSUED FOR CLIENT REVIEW

#	DATE	ISSUED
THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC. ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.		
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.		
THE DRAWING IS NOT TO BE SCALED.		
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT.		
ISSUED FOR CONSTRUCTION		
SIGNATURE _____		
DATE _____		

client:

client project no. _____

project:

MAVIS S. MECH. & ROOF RENEWAL
CITY OF MISSISSAUGA

3185 MAVIS RD, MISSISSAUGA, ON L5C 1T7

consultant:

north

seal

ONTARIO ASSOCIATION OF ARCHITECTS
PAUL DIDUR
LICENCE 3572

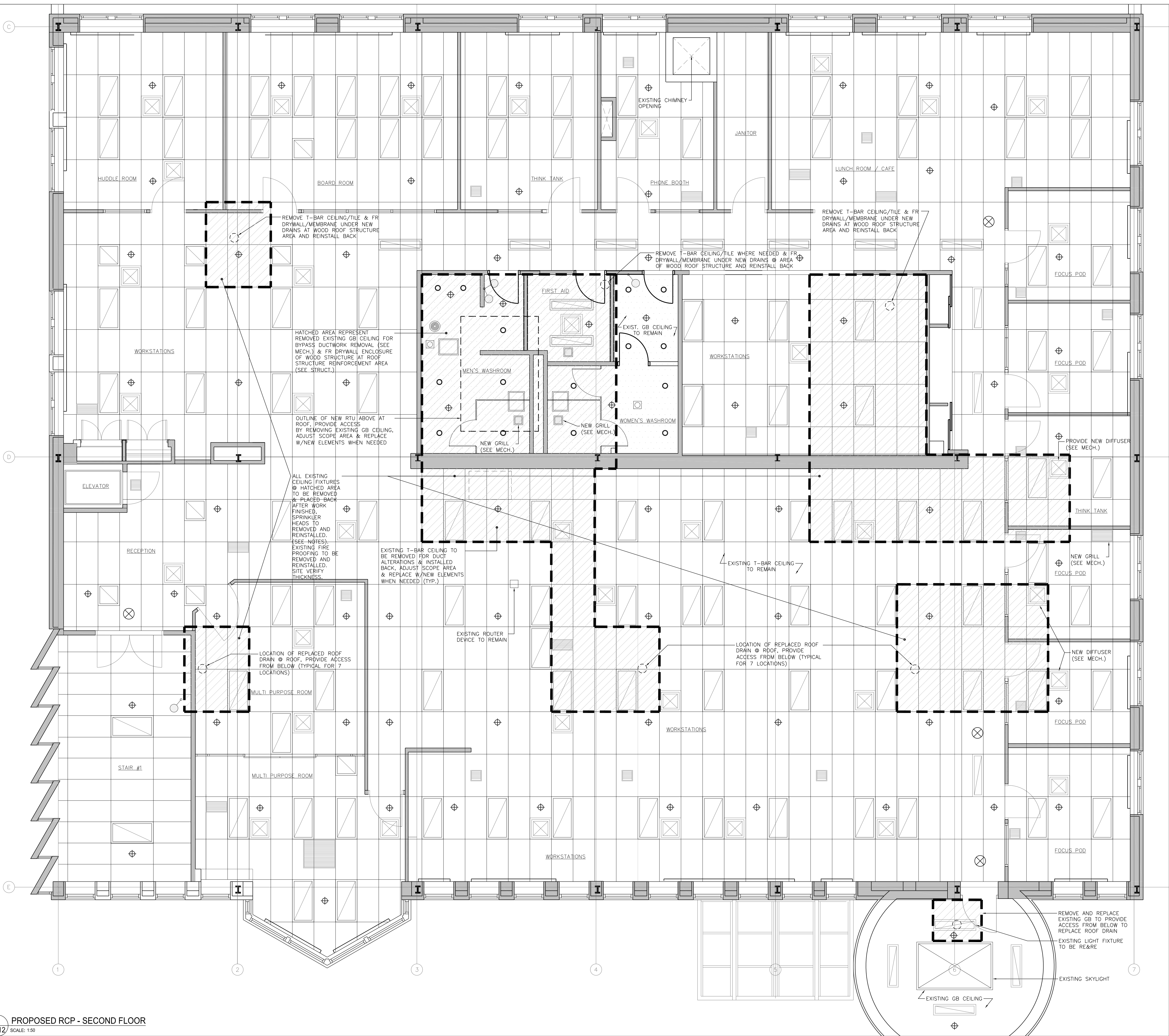
pda Paul Didur Architect Inc.
BCDN No. 2033
222 Islington Ave., Suite 260
Toronto, Ontario, M8V 3W7
E-mail: pda@pdaarchitect.com W: www.pdaarchitect.com
T: 416 928 1041 F: 416 928 1051

project architect	project designer
PD	PD

sheet title
PROPOSED ENTRANCE GROUND FLOOR AND PARTIAL SECOND FLOOR

scale	drawn by	checked by	drawing no.
AS NOTED	NH/HP	PD	A210

project no.	plot date:
22312	2024-09-25



RCP LEGENDS:

- EXISTING LIGHT FIXTURE
- EXISTING T-BAR CEILING
- EXISTING GYPSUM BOARD CEILING
- CEILING AREA TO REMOVE & INSTALL BACK
- EXISTING SQUARE DIFFUSER
- EXISTING SPRINKLER HEAD
- EXISTING EXIT SIGN
- EXISTING EMERGENCY LIGHTING HEAD(S)
- EXISTING ROUND DIFFUSER
- ACCESS PANEL
- EMERGENCY BATTERY LIGHTING
- ROOF DRAIN ABOVE

RCP NOTES:

- COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDED INFORMATION ON LAYOUT.
- CEILING HEIGHT TO MATCH EXISTING.
- ALL EXISTING LIGHT FIXTURES, DIFFUSERS, EMERGENCY LIGHTING, ACCESS PANELS, GRILLS ETC. @ AREA OF DUCTWORK/CEILING REMOVAL TO BE R&RE UNLESS OTHERWISE NOTED.
- AREA OF T-BAR CEILING REMOVAL TO BE ADJUSTED ACCORDING TO EXISTING T-BAR GRID SPAN.
- FOR ROOF DRAIN REPLACEMENT WORK MUST BE CARRIED OUT FROM THE INSIDE OF SECOND FLOOR.
- HATCHED AREA INDICATE T-BAR/GB CEILING TEMPORARY REMOVAL. ALL CEILING TILE/T-BAR TO BE PLACED BACK. ANY DAMAGED ITEMS TO BE REPLACED W/NEW BY GC.
- ALL SPRINKLER HEADS AFFECTED BY GB & T-BAR CEILING REMOVAL TO BE REPLACED W/NEW (REFER TO MECH. NOTES).
- PRIOR TO ANY WORK BEING DONE, COORDINATE SCHEDULING WITH THE CITY PROJECT MANAGER FOR THE MOVE AND REINSTALLATION OF OFFICE FURNITURE, AND RELOCATION OF OFFICE STAFF.
- PROVIDE ADEQUATE HEALTH AND SAFETY DELINEATION AND/OR HOARDING IN OFFICE SPACES TO UNDERTAKE THE WORK.
- ADDITIONAL DESIGNATED SUBSTANCES SURVEY TESTING AS REQUIRED THROUGH CASH ALLOWANCE.
- DURING DEMOLITION OF SECOND FLOOR WASHROOM, PROTECT FLOOR FINISHES, VANITIES, TOILET PARTITIONS, WASHROOM PLUMBING FIXTURES, AND PROTECT OR REMOVE AND REINSTALL ALL WALL HUNG ACCESSORIES.
- PROVIDE FLOOR PROTECTION IN ALL CARPETED OFFICE AREAS WHEN UNDERTAKING WORK, TARP FOR DUST CONTROL, AND PROVIDE PLYWOOD PROTECTION WHEN USING LIFTS.
- PROVIDE FLOOR TO CEILING DUST TIGHT PARTITION TO COMPLETELY CLOSE OFF THE AREA OF WORK.
- CONTRACTOR IS TO CLEAN AND REMOVE DUST AND DEBRIS AT ALL AREAS OF THE WORK AT THE END OF THE WORK SHIFT.
- COMPLETELY REMOVE BARRIERS WHEN THE WORKS ARE FINISHED AND REMOVE AND MAKE GOOD ALL FINISHES.
- MAINTAIN WALKING ISLES AND ACCESS TO EXISTING EXIT STAIRS AT ALL TIMES.
- CONTRACTOR TO LIMIT IMPACT AND DOWNTIME TO OFFICE AREAS, DEMOLITION OR START UP TO OCCUR ONLY WHEN EQUIPMENT AND SUPPLIES ARE AVAILABLE ONSITE.
- DEMOLITION WORK IN WASHROOMS TO OCCUR ONLY WHEN ROOFTOP UNIT SHIPPING DATES ARE CONFIRMED AND COORDINATED WITH CITY PROJECT MANAGER.
- TO LIMIT DOWNTIME, CONTRACTOR TO COORDINATE AND PHASE INTERIOR INSTALLATION WORK OF ROOF DRAINS WITH ROOFING, AND
- DUCTWORK WITH DELIVERY OF ROOF OP UNITS.
- THE GENERAL CONTRACTOR (GC) WILL BE RESPONSIBLE FOR ANY DAMAGE TO THE CEILING TILES DURING THE REMOVAL AND REINSTALLATION PROCESS REQUIRED FOR MECHANICAL SERVICES. THE CLIENT WILL COVER THE COST OF REPLACING UP TO 25 TILES IN THE EVENT OF DAMAGE. ANY DAMAGE EXCEEDING THIS ALLOWANCE WILL BE THE RESPONSIBILITY OF THE GC.

#	DATE	REVISION
5	2024-09-25	ISSUED FOR ADDENDUM 7
4	2024-07-04	ISSUED FOR TENDER
3	2024-06-21	ISSUED FOR PRE-TENDER REVIEW
2	2024-05-15	ISSUED FOR BUILDING PERMIT
1	2024-01-18	ISSUED FOR CLIENT REVIEW
#	DATE	ISSUED

THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC. ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

THIS DRAWING IS NOT TO BE SCALED.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT.

ISSUED FOR CONSTRUCTION

SIGNATURE _____

DATE _____

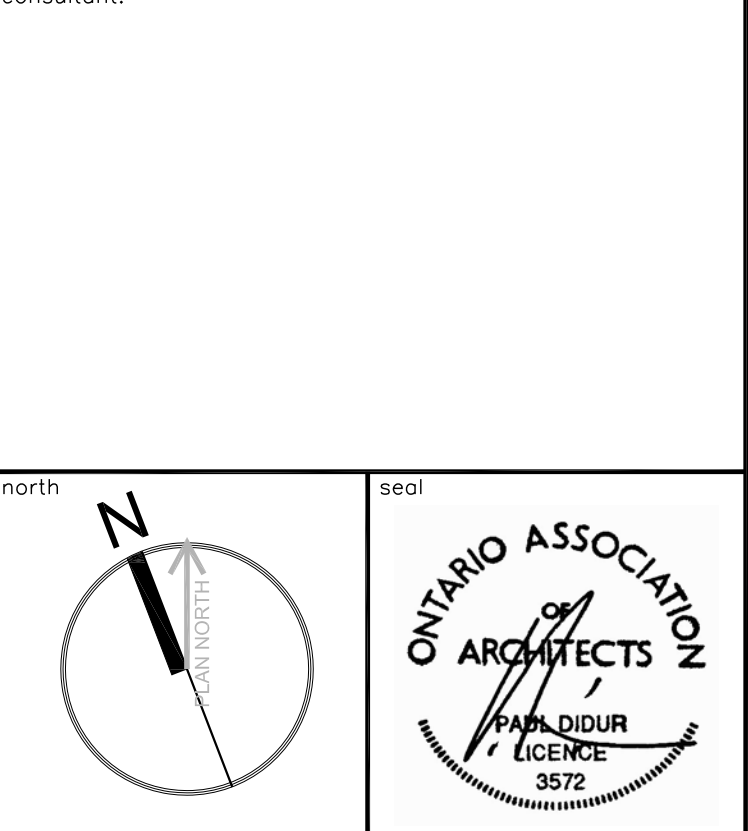
client:

client project no. _____

project: **MAVIS S. MECH. & ROOF RENEWAL**
CITY OF MISSISSAUGA

3185 MAVIS RD, MISSISSAUGA, ON L5C 1T7

consultant:



pda

project architect
PD

sheet title
**PROPOSED RCP
@ SECOND FLOOR**

Paul Didur Architect Inc.
BCDN No. 2033

222 Islington Ave., Suite 260
Toronto, Ontario, M8V 3W7
E-mail: pda@pdaarchitect.com W: www.pdaarchitect.com
T-416 928 1041 F-416 928 1051

project designer
PD

scale
AS NOTED

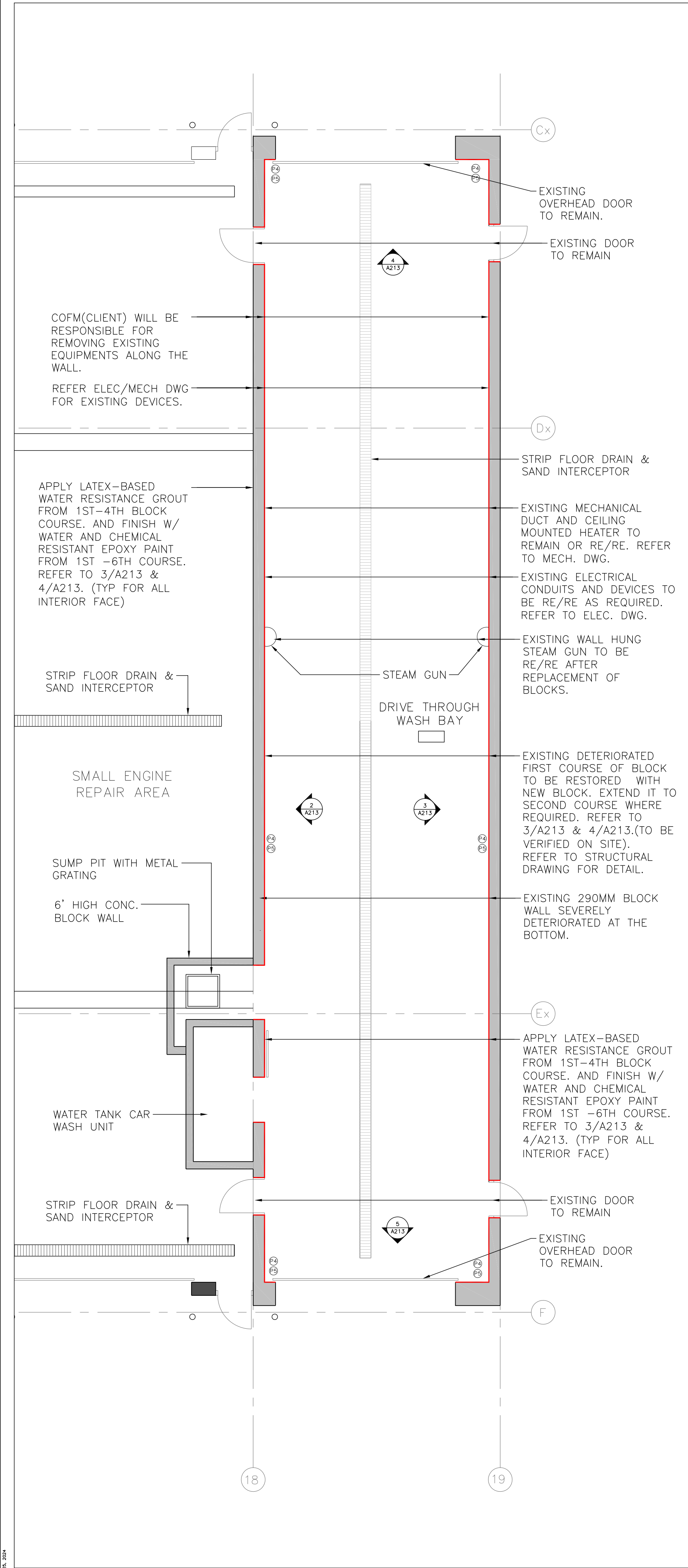
project no.
22312

drawn by
NH/HP

checked by
PD

plot date:
2024-09-25

drawing no.
A212



1 DOOR SCHEDULE
A700 SCALE: N.T.S



3 FINISHES SCHEDULE
A700 SCALE: N.T.S