



ARCHITECTURAL TENDER ADDENDUM A - 7

PROJECT:	Mavis S.Mech. &Roof Renewal 3185 Mavis Rd, Mississauga, ON L5C 1T7	REFERENCE:	1. Architectural Drawings, dated 2024-09-25
PROJECT NO:	22312		
DATE:	September 25, 2024		
PAGES:	- plus attachments		

The following items shall be incorporated as clarifications to the Tender Documents and shall be included, as applicable, in the Stipulated Sum Tender Amount. Acknowledgement of the receipt of this Addendum shall be indicated in the Tender Form. It is the responsibility of the bidder to bring this addendum to the attention of all subcontractors and material suppliers.

1 QUESTIONS & ANSWERS:

- 1.1 Please provide the Room Finish Schedule including painting, flooring, etc.
- Refer Addendum 7 including Finishes Schedule and Notes.

2 PROCUREMENT AND CONTRACTING REQUIREMENTS:

- 2.1 GC to provide Unit Price's for following Items:
1. Block Replacement – Per Unit
 2. Concrete Slab Cutting – Per Im
 3. Stucco Surface Repair – Per M2
 4. Stucco Replacement w/ Insulation – Per M2

3 ARCHITECTURAL SPECIFICATIONS:

- 3.1 N/A

4 ARCHITECTURAL DRAWINGS:

- 4.1 Architectural Drawing A210
- 4.2 Architectural Drawing A211
- 4.3 Architectural Drawing A212
- 4.4 Architectural Drawing A213
- 4.5 Architectural Drawing A700

5 MECHANICAL DRAWINGS & SPECIFICATIONS:

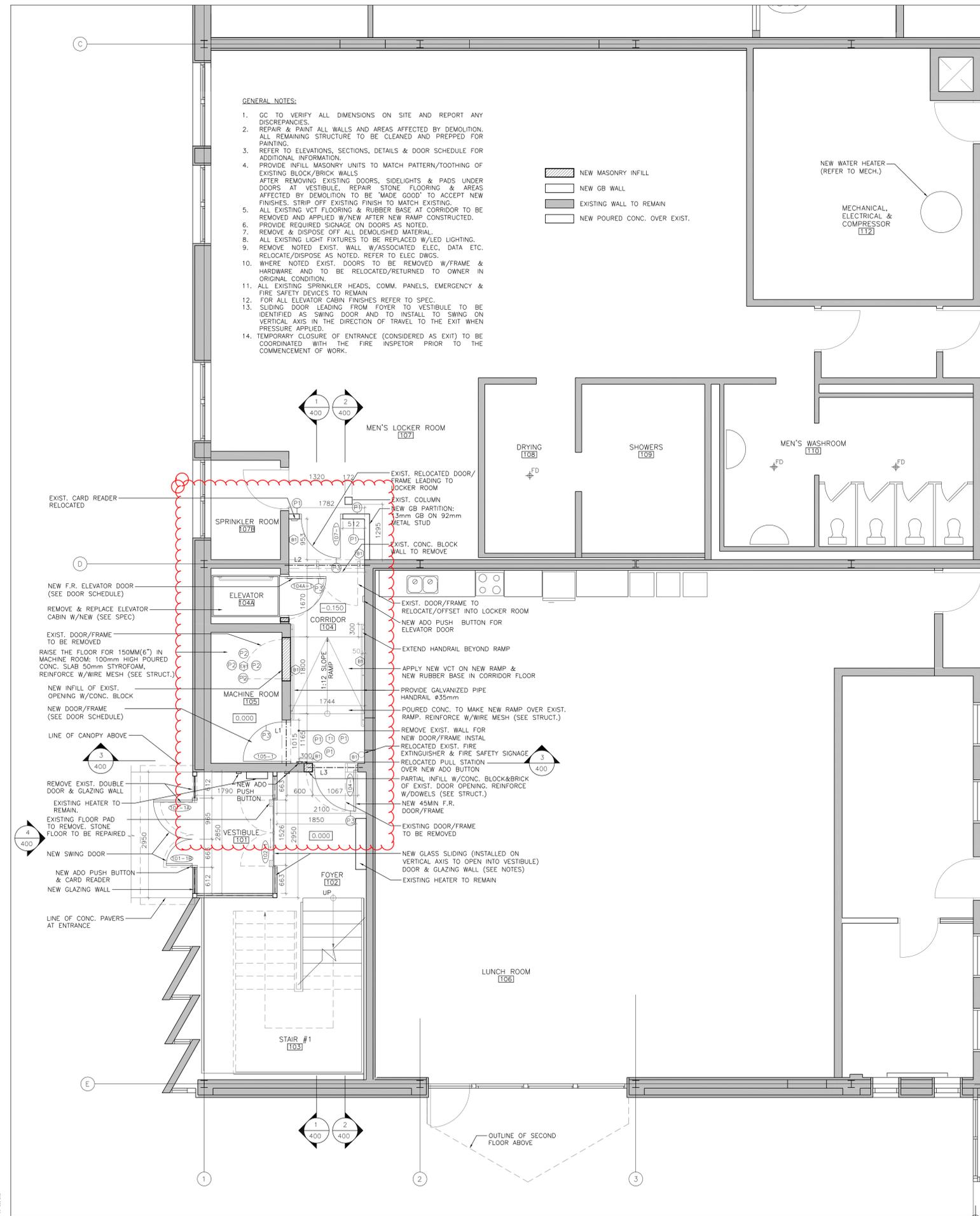
- 5.1 N/A

6 ELECTRICAL DRAWINGS & SPECIFICATIONS:

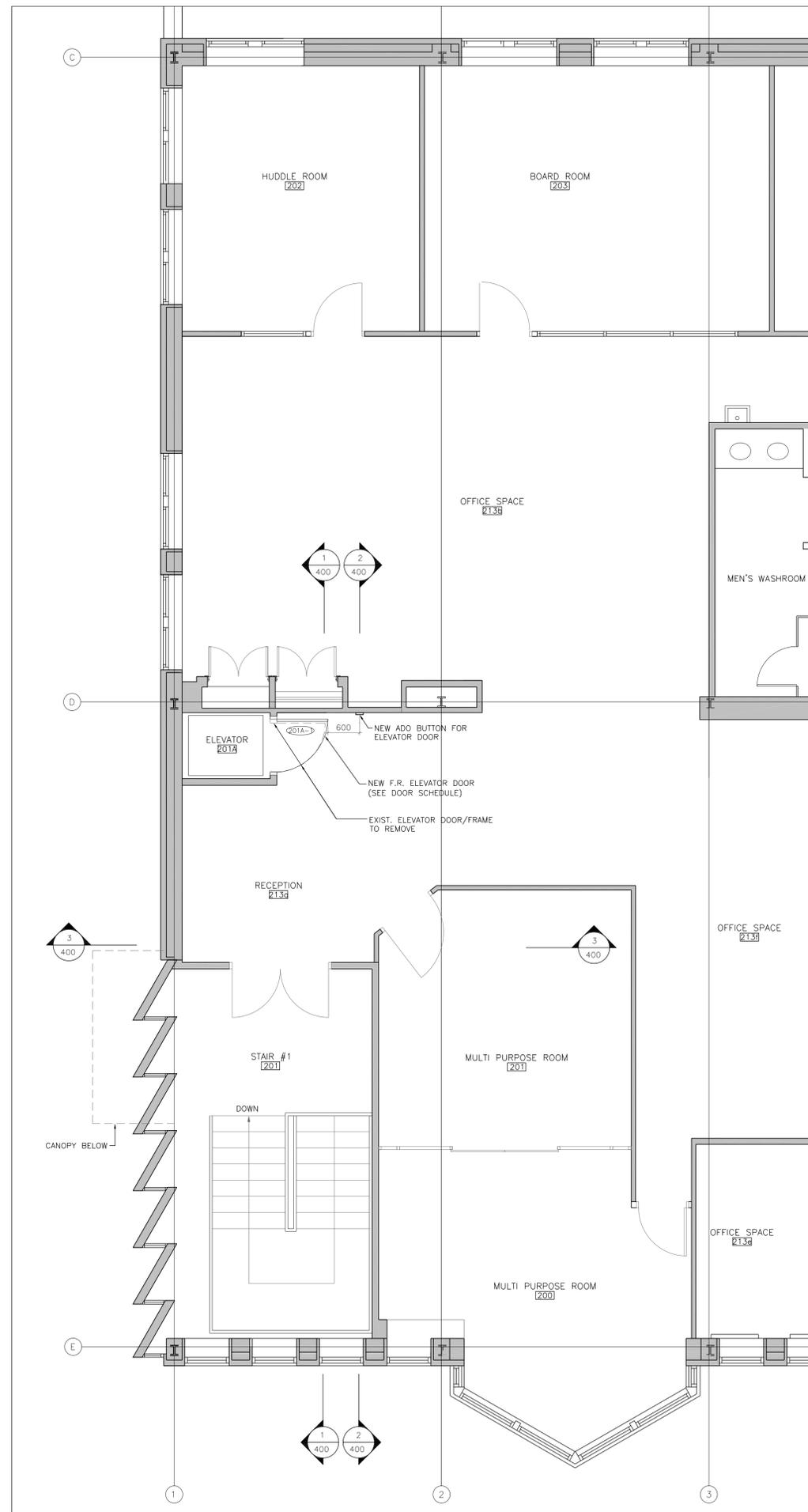
- 6.1 N/A

END OF ARCHITECTURAL TENDER ADDENDUM A-7

PER:
Himani Patel for Paul Didur, Project Architect



1 PROPOSED ENTRANCE & ELEVATOR LOBBY - GROUND FLOOR
A210 SCALE: 1:50



2 PROPOSED PARTIAL SECOND FLOOR
A210 SCALE: 1:50

- GENERAL NOTES:**
- GC TO VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES.
 - REPAIR & PAINT ALL WALLS AND AREAS AFFECTED BY DEMOLITION. ALL REMAINING STRUCTURE TO BE CLEANED AND PREPPED FOR PAINTING.
 - REFER TO ELEVATIONS, SECTIONS, DETAILS & DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
 - PROVIDE INFILL MASONRY UNITS TO MATCH PATTERN/TOOTHING OF EXISTING BLOCK/BRICK WALLS AFTER REMOVING EXISTING DOORS, SIDELIGHTS & PADS UNDER DOORS AT VESTIBULE. REPAIR STONE FLOORING & AREAS AFFECTED BY DEMOLITION TO BE "MADE GOOD" TO ACCEPT NEW FINISHES. STRIP OFF EXISTING FINISH TO MATCH EXISTING.
 - ALL EXISTING VCT FLOORING & RUBBER BASE AT CORRIDOR TO BE REMOVED AND APPLIED W/NEW AFTER NEW RAMP CONSTRUCTED.
 - PROVIDE REQUIRED SIGNAGE ON DOORS AS NOTED.
 - REMOVE & DISPOSE OFF ALL DEMOLISHED MATERIAL.
 - ALL EXISTING LIGHT FIXTURES TO BE REPLACED W/LED LIGHTING.
 - REMOVE NOTED EXIST. WALL W/ASSOCIATED ELEC. DATA ETC. RELOCATE/DISPOSE AS NOTED. REFER TO ELEC DWGS.
 - WHERE NOTED EXIST. DOORS TO BE REMOVED W/FRAME & HARDWARE AND TO BE RELOCATED/RETURNED TO OWNER IN ORIGINAL CONDITION.
 - ALL EXISTING SPRINKLER HEADS, COMM. PANELS, EMERGENCY & FIRE SAFETY DEVICES TO REMAIN.
 - FOR ALL ELEVATOR CABIN FINISHES REFER TO SPEC.
 - SLIDING DOOR LEADING FROM FOYER TO VESTIBULE TO BE IDENTIFIED AS SWING DOOR AND TO INSTALL TO SWING ON VERTICAL AXIS IN THE DIRECTION OF TRAVEL TO THE EXIT WHEN PRESSURE APPLIED.
 - TEMPORARY CLOSURE OF ENTRANCE (CONSIDERED AS EXIT) TO BE COORDINATED WITH THE FIRE INSPECTOR PRIOR TO THE COMMENCEMENT OF WORK.

- NEW MASONRY INFILL
- NEW GB WALL
- EXISTING WALL TO REMAIN
- NEW POURED CONC. OVER EXIST.

#	DATE	REVISION
5	2024-09-25	ISSUED FOR ADDENDUM 7
4	2024-07-04	ISSUED FOR TENDER
3	2024-06-21	ISSUED FOR PRE-TENDER REVIEW
2	2024-05-15	ISSUED FOR BUILDING PERMIT
1	2024-01-18	ISSUED FOR CLIENT REVIEW

THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC. ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

THIS DRAWING IS NOT TO BE SCALED.
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DATE _____

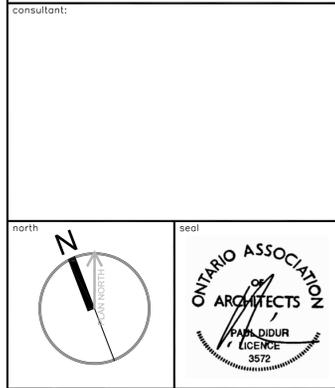
client:
MISSISSAUGA

client project no.
--

project:
**MAVIS S. MECH. & ROOF RENEWAL
CITY OF MISSISSAUGA**

3185 MAVIS RD, MISSISSAUGA, ON L5C 1T7

consultant:



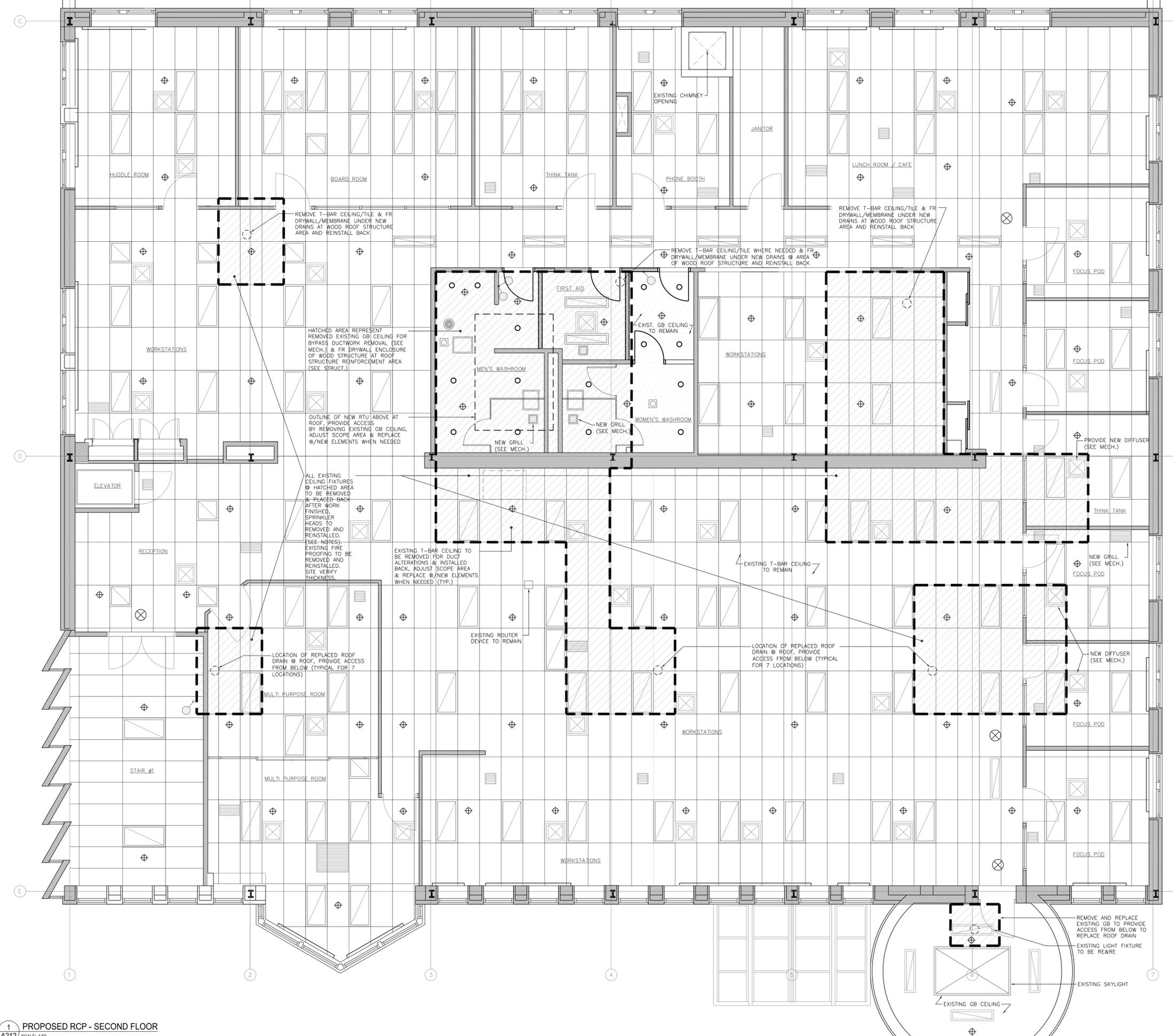
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project architect PD project designer PD

sheet title
**PROPOSED ENTRANCE
GROUND FLOOR AND PARTIAL SECOND FLOOR**

scale AS NOTED	drawn by NH/HP	checked by PD	drawing no. A210
project no. 22312	plot date: 2024-09-25		



RCP LEGENDS:

- EXISTING LIGHT FIXTURE
- EXISTING T-BAR CEILING
- EXISTING GYPSUM BOARD CEILING
- CEILING AREA TO REMOVE & INSTALL BACK
- EXISTING SQUARE DIFFUSER
- EXISTING SPRINKLER HEAD
- EXISTING EXIT SIGN
- EXISTING EMERGENCY LIGHTING HEAD(S)
- EXISTING ROUND DIFFUSER
- ACCESS PANEL
- EMERGENCY BATTERY LIGHTING
- ROOF DRAIN ABOVE

- RCP NOTES:**
1. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDED INFORMATION ON LAYOUT.
 2. CEILING HEIGHT TO MATCH EXISTING.
 3. ALL EXISTING LIGHT FIXTURES, DIFFUSERS, EMERGENCY LIGHTING, ACCESS PANELS, GRILLS ETC. @ AREA OF DUCTWORK/CEILING REMOVAL TO BE R&RE UNLESS OTHERWISE NOTED.
 4. AREA OF T-BAR CEILING REMOVAL TO BE ADJUSTED ACCORDING TO EXISTING T-BAR GRID SPAN.
 5. FOR ROOF DRAIN REPLACEMENT WORK MUST BE CARRIED OUT FROM THE INSIDE OF SECOND FLOOR.
 6. HATCHED AREA INDICATE T-BAR/GB CEILING TEMPORARY REMOVAL. ALL CEILING TILE/T-BAR TO BE PLACED BACK. ANY DAMAGED ITEMS TO BE REPLACED W/NEW BY GC.
 7. ALL SPRINKLER HEADS AFFECTED BY GB & T-BAR CEILING REMOVAL TO BE REPLACED W/NEW (REFER TO MECH. NOTES).
 8. PRIOR TO ANY WORK BEING DONE, COORDINATE SCHEDULING WITH THE CITY PROJECT MANAGER FOR THE MOVE AND REINSTALLATION OF OFFICE FURNITURE, AND RELOCATION OF OFFICE STAFF.
 9. PROVIDE ADEQUATE HEALTH AND SAFETY DELINEATION AND/OR HOARDING IN OFFICE SPACES TO UNDERTAKE THE WORK.
 10. ADDITIONAL DESIGNATED SUBSTANCES SURVEY TESTING AS REQUIRED THROUGH CASH ALLOWANCE.
 11. DURING DEMOLITION SECOND FLOOR WASHROOM, PROTECT FLOOR FINISHES, VANITIES, TOILET PARTITIONS, WASHROOM PLUMBING FIXTURES, AND PROTECT OR REMOVE AND REINSTALL ALL WALL HUNG ACCESSORIES.
 12. PROVIDE FLOOR PROTECTION IN ALL CARPETED DAMAGE AREAS WHEN UNDERTAKING WORK. TARP FOR DUST CONTROL, AND PROVIDE PLYWOOD PROTECTION WHEN USING LIFTS.
 13. PROVIDE FLOOR TO CEILING DUST TIGHT PARTITION TO COMPLETELY CLOSE OFF THE AREA OF WORK.
 14. CONTRACTOR IS TO CLEAN AND REMOVE DUST AND DEBRIS AT ALL AREAS OF THE WORK AT THE END OF THE WORK SHIFT.
 15. COMPLETELY REMOVE BARRIERS WHEN THE WORKS ARE FINISHED AND MAKE GOOD ALL FINISHES.
 16. MAINTAIN WALKING ISLES AND ACCESS TO EXISTING EXIT STAIRS AT ALL TIMES.
 17. CONTRACTOR TO LIMIT IMPACT AND DOWNTIME TO OFFICE AREAS. DEMOLITION OR START UP TO OCCUR ONLY WHEN EQUIPMENT AND SUPPLIES ARE AVAILABLE ONSITE.
 18. DEMOLITION WORK IN WASHROOMS TO OCCUR ONLY WHEN ROOFTOP UNIT SHIPPING DATES ARE CONFIRMED AND COORDINATED WITH CITY PROJECT MANAGER.
 19. TO LIMIT DOWNTIME, CONTRACTOR TO COORDINATE AND PHASE INTERIOR INSTALLATION WORK OF ROOF DRAINS WITH ROOFING, AND DUCTWORK WITH DELIVERY OF ROOFTOP UNITS.
 20. THE GENERAL CONTRACTOR (GC) WILL BE RESPONSIBLE FOR ANY DAMAGE TO THE CEILING TILES DURING THE REMOVAL AND REINSTALLATION PROCESS REQUIRED FOR MECHANICAL SERVICES. THE CLIENT WILL COVER THE COST OF REPLACING UP TO 25 TILES IN THE EVENT OF DAMAGE. ANY DAMAGE EXCEEDING THIS ALLOWANCE WILL BE THE RESPONSIBILITY OF THE GC.

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client project no. ---

project: MAVIS S. MECH. & ROOF RENEWAL
CITY OF MISSISSAUGA

3185 MAVIS RD, MISSISSAUGA, ON L5C 1T7

consultant: ---

north

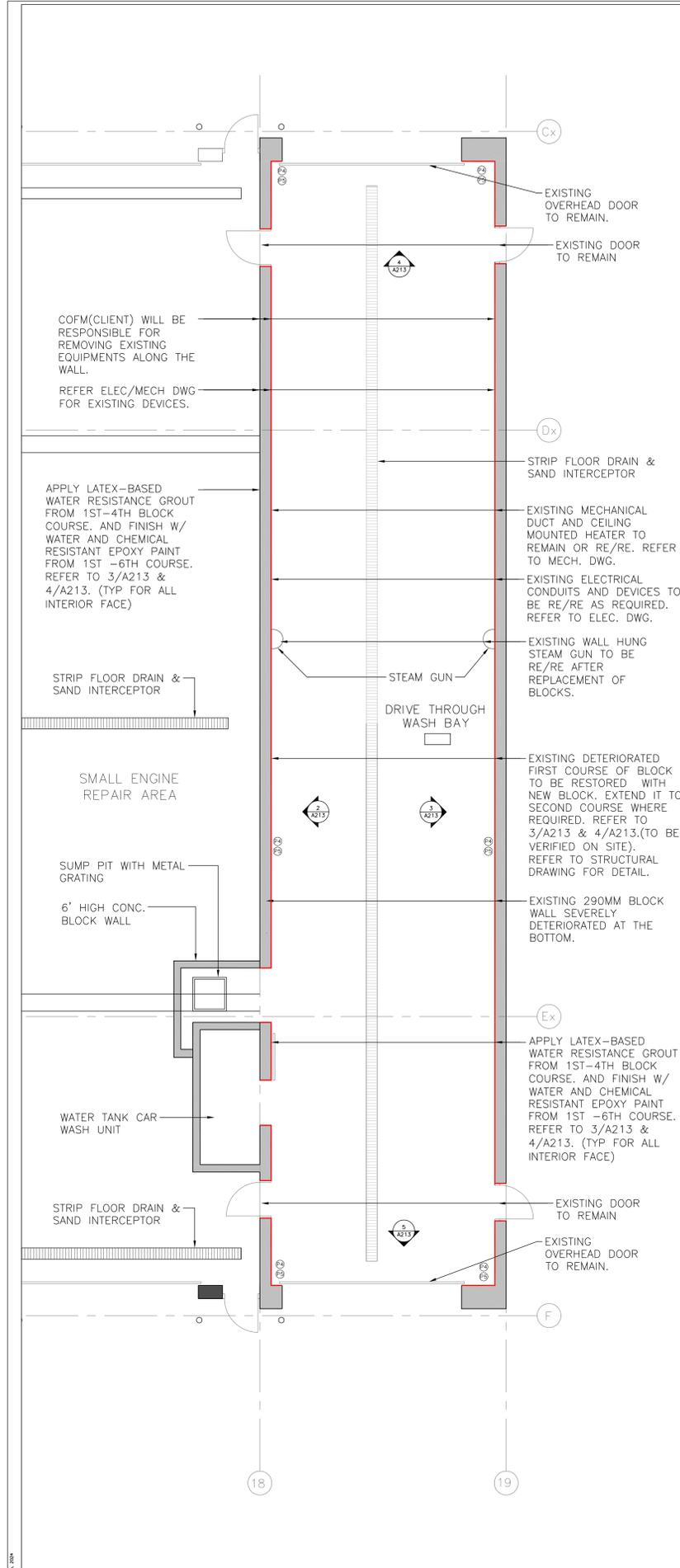
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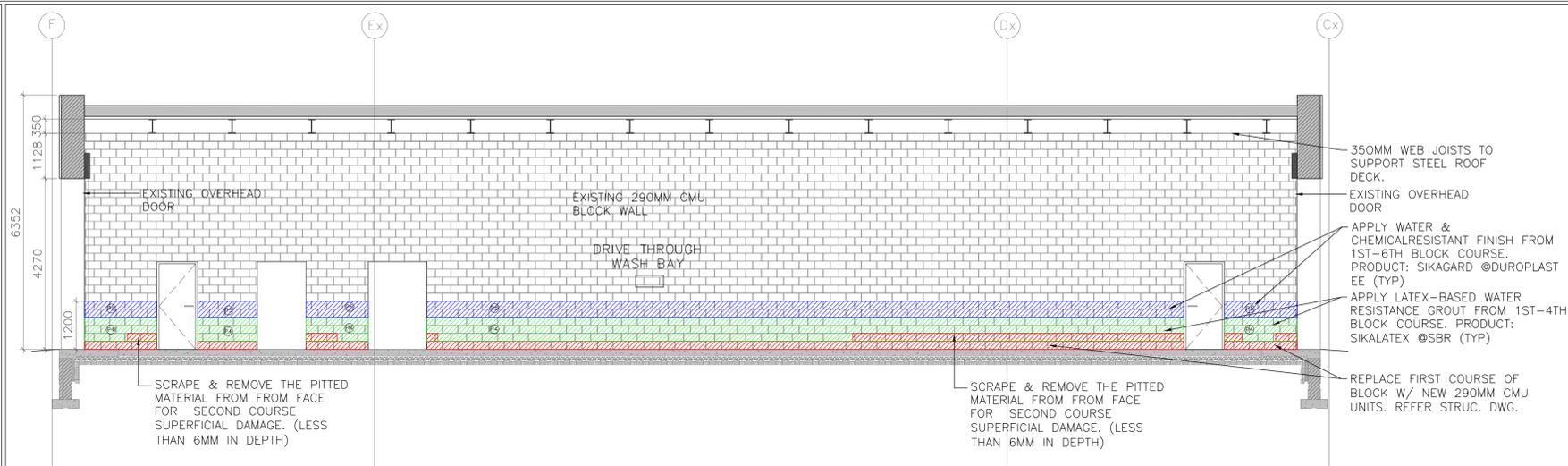
project architect PD project designer PD

sheet title **PROPOSED RCP @ SECOND FLOOR**

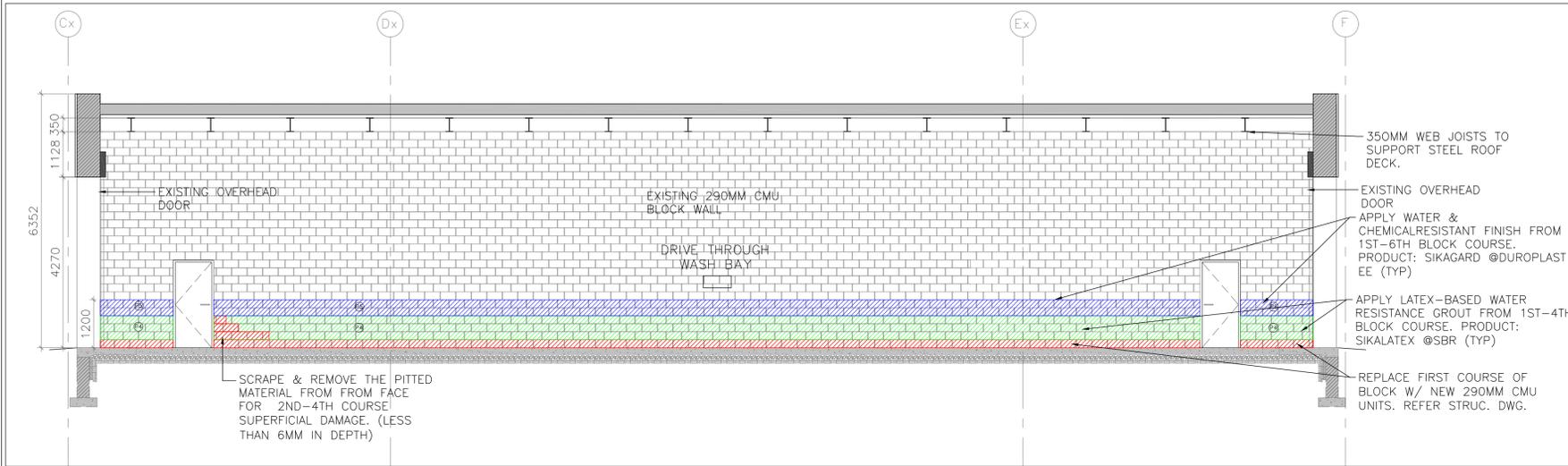
scale AS NOTED
project no. 22312
drawing no. A212
drawn by NH/HP
checked by PD
plot date: 2024-09-25



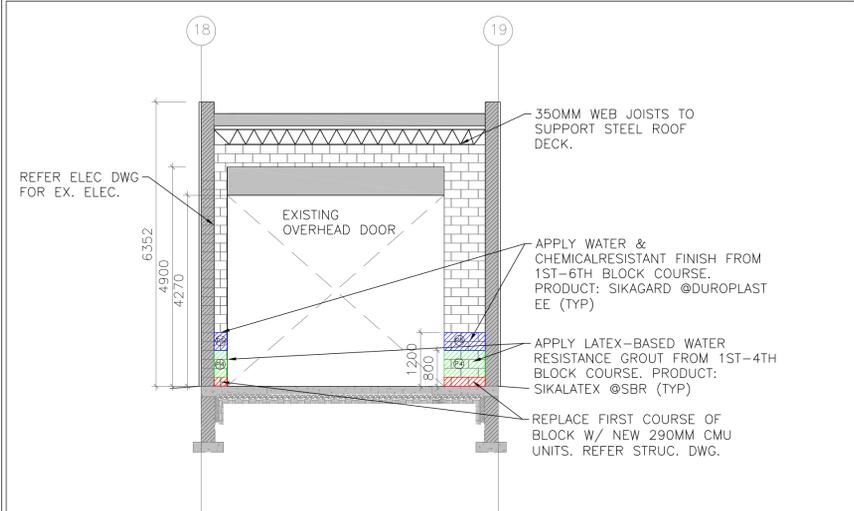
1 TRUCK WASH BAY - CMU REPAIR- FLOOR PLAN
SCALE: 1/75



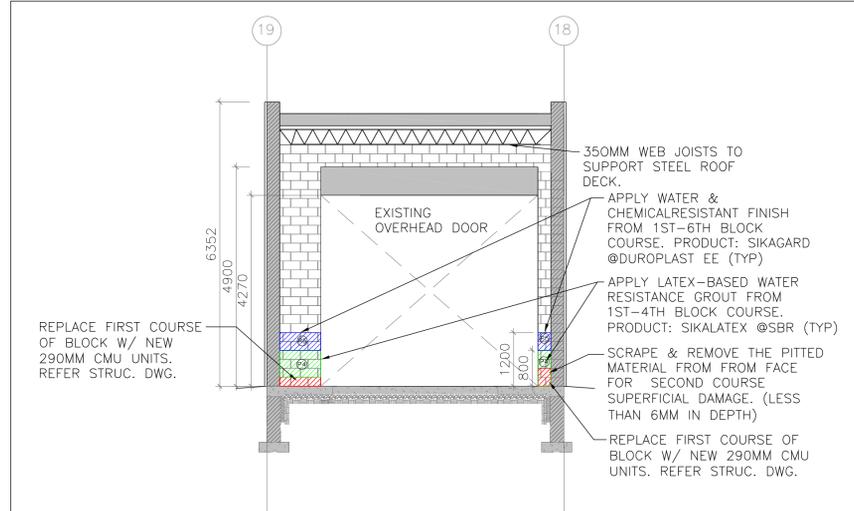
2 CMU REPAIR- INTERIOR ELEVATION
SCALE: 1/75



3 CMU REPAIR - INTERIOR ELEVATION
SCALE: 1/75



4 CMU REPAIR- INTERIOR ELEVATION
SCALE: 1/75



5 CMU REPAIR- INTERIOR ELEVATION
SCALE: 1/75

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#	DATE	ISSUED

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seal

ONTARIO ASSOCIATION OF ARCHITECTS
PAUL DIDUR
LICENCE: 3572

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project architect PD project designer PD

sheet title
COMPONENT PRICE NO.1
TRUCK WASH BAY
CMU REPAIRS

scale AS NOTED	drawn by HP	checked by PD	drawing no. A213
project no. 22312	plot date: 2024-09-25		

PLOT DATE: Thursday, 2024-09-25 10:28 AM

