

NAME OF PRACTICE: GRGURIC ARCHITECTS INCORPORATED CERTIFICATE OF PRACTICE NUMBER: 4760 CONTACT: JOHN GRGURIC 28 KING STREET EAST, UNIT B, STONEY CREEK, ON L8G 1J8 TEL: 905-664-8737 NAME OF PROJECT: BURLINGTON CITY HALL 5TH & 6TH FLOOR WASHROOM RENOVATION LOCATION: 426 BRANT ST, BURLINGTON, ON L7R 3Z6		Ontario's 2012 Building Code Data Matrix Parts 3 or 9		Ontario's 2012 Building Code OBC Reference References are to Division B unless noted [A] for Division A or [C] for Division C																																																							
1	Project Description: (4) Washroom renovations at 5 th & 6 th floor New plumbing and lighting fixtures upgrades <input type="checkbox"/> Change of Use <input type="checkbox"/> Addition <input type="checkbox"/> Alteration	<input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration	<input checked="" type="checkbox"/> Part 11 11.1 to 11.4	<input checked="" type="checkbox"/> Part 3 1.1.2 [A] 1.1.2 [A] & 9.10.1.3	<input type="checkbox"/> Part 9 1.1.2 [A] & 9.10.1.3																																																						
2	Major Occupancy(s) D - Business and Personal Services (Office)		3.1.2.1.(1)	9.10.2																																																							
3	Building Area Existing = 2,855 sqm		1.4.1.2[A]	1.4.1.2[A]																																																							
4	Gross Area Existing = 6,552 sqm		1.4.1.2[A]	1.4.1.2[A]																																																							
5	Number of storeys Above grade 8 Below grade 1		1.4.1.2 [A] & 3.2.1.1	1.4.1.2 [A] & 9.10.4																																																							
7	Number of Streets/ Fire Fighter Access 3 Streets		3.2.2.10 & 3.2.5	9.10.20																																																							
8	Building Classification 3.2.2.49 - Group D, Any Height, Any Area EXISTING		3.2.2.20 - 83	9.10.2																																																							
9	Sprinkler System Proposed <input type="checkbox"/> entire building <input checked="" type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required Sprinkled from Lower level to Level 3 and Non-Combustible (EXISTING, NO CHANGES)		3.2.2.20 - 83 3.2.1.5 3.2.2.17 INDEX	9.10.8.2 INDEX																																																							
10	Standpipe required <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No EXISTING		3.2.9	N/A																																																							
11	Fire Alarm required <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No EXISTING		3.2.4	9.10.18																																																							
12	Water Service/Supply is Adequate <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No EXISTING		3.2.5.7	N/A																																																							
13	High Building <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.6	N/A																																																							
14	Permitted Construction <input type="checkbox"/> Combustible permitted Actual Construction <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both	<input type="checkbox"/> Combustible permitted <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both	3.2.2.20.23	9.10.6																																																							
15	Mezzanine(s) Area m ² N/A		3.2.1.1.(3)-(8)	9.10.4.1																																																							
16	Occupant load based on <input checked="" type="checkbox"/> m ² /person <input type="checkbox"/> design of building EXISTING TO REMAIN <table border="1"> <thead> <tr> <th>FLOOR LEVEL / AREA</th> <th>OCCUPANCY LOAD</th> </tr> </thead> <tbody> <tr> <td>5th Floor 220</td> <td>24</td> </tr> <tr> <td>6th Floor 220</td> <td>24</td> </tr> </tbody> </table>	FLOOR LEVEL / AREA	OCCUPANCY LOAD	5th Floor 220	24	6th Floor 220	24		3.1.17	9.9.1.3																																																	
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5th Floor 220	24																																																										
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17	Barrier-free Design <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain) AT AREAS BEING RENOVATED		3.8	9.5.2																																																							
18	Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.3.1.2 & 3.3.1.19	9.10.1.3(4)																																																							
19	Required Fire Resistance Rating (FRR) Horizontal Assemblies FRR (Hours) Listed Design No. or Description (SG-2) EXISTING AND TO REMAIN <table border="1"> <thead> <tr> <th>Floors</th> <th>FRR (Hours)</th> <th>Non-Combustible</th> </tr> </thead> <tbody> <tr> <td>2 HOURS</td> <td>Non-Combustible</td> <td></td> </tr> <tr> <td>1 HOUR</td> <td>Non-Combustible</td> <td></td> </tr> <tr> <td>1 HOUR</td> <td>N/A</td> <td></td> </tr> <tr> <th>FRR of Supporting Members</th> <th>Listed Design No. or Description (SG-2)</th> <th></th> </tr> <tr> <td>2 HOURS</td> <td>Non-Combustible</td> <td></td> </tr> <tr> <td>1 HOUR</td> <td>Non-Combustible</td> <td></td> </tr> <tr> <td>1 HOUR</td> <td>N/A</td> <td></td> </tr> </tbody> </table>	Floors	FRR (Hours)	Non-Combustible	2 HOURS	Non-Combustible		1 HOUR	Non-Combustible		1 HOUR	N/A		FRR of Supporting Members	Listed Design No. or Description (SG-2)		2 HOURS	Non-Combustible		1 HOUR	Non-Combustible		1 HOUR	N/A			3.2.2.20 - 83 & 3.2.1.4	9.10.8. 9.10.9.																															
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19	Spatial Separation - Construction of Exterior Walls EXISTING AND TO REMAIN <table border="1"> <thead> <tr> <th>Wall</th> <th>Area of EBF (m²)</th> <th>L.D. (m)</th> <th>L/H or H/L</th> <th>Permitted Max. % of Openings</th> <th>Proposed % of Openings</th> <th>FRR (Hours)</th> <th>Listed Design or Description</th> <th>Comb. Constr.</th> <th>Comb. Constr. Non-Cladding</th> <th>Non-comb. Constr.</th> </tr> </thead> <tbody> <tr> <td>North</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td>South</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td>East</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td>West</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> </tbody> </table>	Wall	Area of EBF (m ²)	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb. Constr.	Comb. Constr. Non-Cladding	Non-comb. Constr.	North	-	-	-	-	-	-	-	-	-	-	South	-	-	-	-	-	-	-	-	-	-	East	-	-	-	-	-	-	-	-	-	-	West	-	-	-	-	-	-	-	-	-	-		3.2.3	9.10.14
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West	-	-	-	-	-	-	-	-	-	-																																																	
20	Plumbing Fixture Requirements The total number of existing plumbing fixtures in this facility is 23 Males and 21 Females. No change in occupancy load - No change in use																																																										
21	Travel Distance to Exits EXISTING AND TO REMAIN																																																										

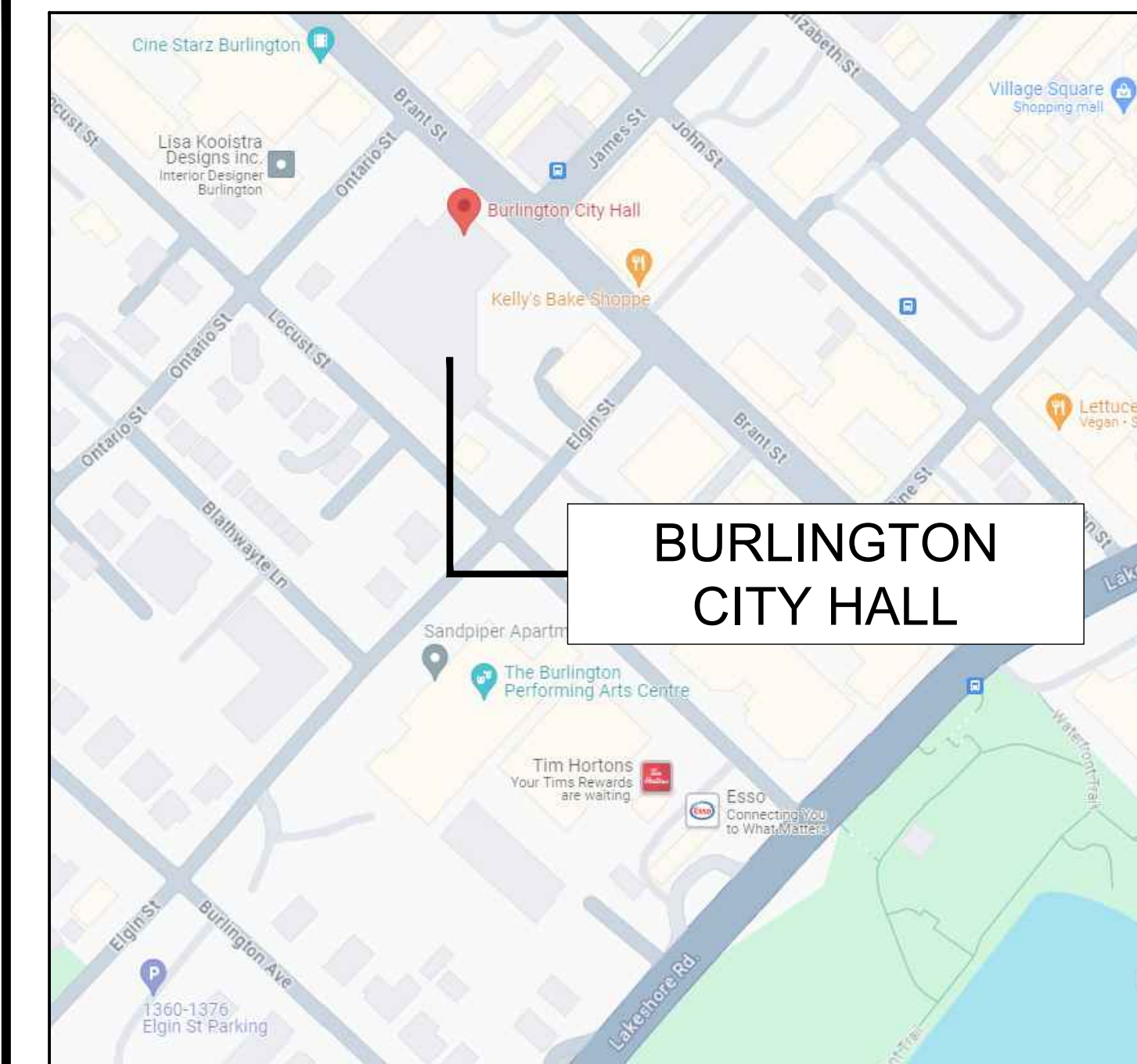
Ontario Building Code		Data Matrix Part 11 -- Renovation of Existing Building		Building Code Reference
11.2.	Existing Building classification:	Change in Major Occupancy <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable (no major change of occupancy) Describe Existing Use: GROUP D - Business & Personal Services Construction Index: 7 Hazard Index Existing: 6 Hazard Index Proposed: 6 (No Change) Building Size: (Large Building)		11.2.1 T 11.2.1.1A T 11.2.1.1B to N
11.3.	Alteration to Existing Building is:	Basic Renovation <input checked="" type="checkbox"/> Extensive Renovation <input type="checkbox"/>		11.3.3.1 11.3.3.2
11.4.	Reduction in Performance Level:	Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Hazard Index is not greater than existing Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage System: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		11.4.2 11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5
11.4.3.	Compensating Construction:	Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Sewage system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain)		11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6
11.5	Compliance Alternatives Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (give number [s])		11.4.2



GRGURIC ARCHITECTS INCORPORATED

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 Web: www.2gai.com

RM ENGINEERING
 162 GUELPH STREET, UNIT 216
 GEORGETOWN, ON
 L7G 4A6
 TEL: (905) 617-4804
 EMAIL: jmandic@rm-eng.ca
 mraguz@rm-eng.ca



LOCATION MAP
N.T.S.

DRAWING LIST:

- ARCHITECTURAL & CIVIL**
- A 0.00 COVER SHEET & OBC MATRIX
 - A 2.00 FIFTH FLOOR PLAN
 - A 2.10 SIXTH FLOOR PLAN
 - A 2.20 INTERIOR ELEVATIONS AND DOOR SCHEDULE
- MECHANICAL**
- M1.0 FIFTH FLOOR PLAN
 - M2.0 SIXTH FLOOR PLAN
 - M3.0 MECHANICAL SPECIFICATIONS
- ELECTRICAL**
- E1.0 ELECTRICAL PLAN
 - E2.0 ELECTRICAL SPECIFICATIONS

BURLINGTON CITY HALL

5TH & 6TH FLOOR WASHROOM RENOVATION

426 BRANT ST, BURLINGTON, ON L7R 3Z6

PROJECT NUMBER	SHEET NUMBER
2024-01	A 0.00

GENERAL NOTES

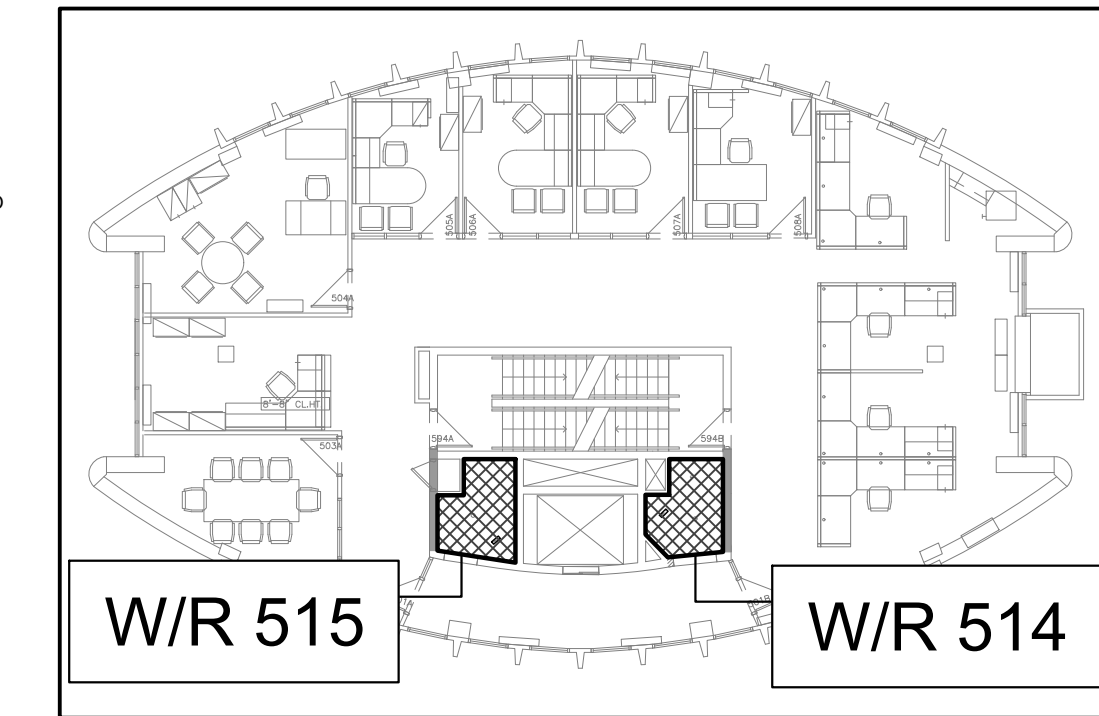
- FIELD VERIFY ALL DIMENSIONS.
- CAUSE NO DAMAGE TO EXISTING CONSTRUCTION TO REMAIN. TAKE CARE NOT TO ENCRoACH ON ADJACENT OCCUPIED AREAS OR AREAS NOT WITHIN THE SCOPE OF WORK. PROTECT ALL EXISTING FINISHES, DOORS, FRAMES, ETC. WHICH ARE TO REMAIN.
- PATCH AND MAKE GOOD ALL EXISTING ADJACENT SURFACES FINISHES & MATERIALS WHERE DISTURBED BY INSTALLATION OF NEW DOORS.
- WHEN A WALL MOUNTED ITEM IS REMOVED, GC TO PATCH AND REPAIR ANY VOIDS LEFT IN THE WALL AND MAKE THE WALL SURFACE READY TO RECEIVE NEW FINISH
- TRANSITIONS BETWEEN NEW AND EXISTING FINISHES TO BE MADE SMOOTH AND CONTINUOUS.
- BUILDINGS WILL BE OCCUPIED DURING CONSTRUCTION AND CONTRACTOR TO COORDINATE WORK HOURS AND ACCESS WITH OWNER
- ONE WASHROOM ON EACH FLOOR TO BE OPERATIONAL AT ALL TIMES
- MECHANICAL AND ELECTRICAL ITEMS SHOWN ON ARCHITECTURAL PLANS, I.E. DUCTWORK, PIPING, LIGHT FIXTURES, ETC. ARE FOR REFERENCE ONLY. REFER TO MECHANICAL AND ELECTRICAL DRAWING FOR ALL RELATED DEMOLITION WORK REQUIRED

DEMOLITION NOTES

- D1 REMOVE AND DISCARD EX DOOR AND FRAME CW ALL HARDWARE AND THRESHOLD PREPARE OPENING TO RECEIVING NEW DOOR AND FRAME
- D2A REMOVE AND DISCARD EX PLUMBING FIXTURES AND WASHROOM ACCESSORIES SHOWN ON DEMO PLANS INCLUDING TOILET, SINKS, URINALS, TOILET PARTITIONS, NAPKIN DISPOSAL AND RECESSED WASTE RECEPTACLES REFER TO MECHANICAL DRAWINGS
- D2B REMOVE AND RETURN TO OWNER THE FOLLOWING EX ACCESSORIES: MIRRORS, SOAP DISPENSERS, TOILET PAPER DISPENSERS AND PAPER TOWEL DISPENSERS REMOVE EX. VANITY MILLWORK UNIT IN WASHROOMS 515 AND 513
- D3 DENOTES REMOVED AND DISCARDED EX ACOUSTIC CEILING TILE AND T-BAR SUSPENDED CEILING
- D4 DENOTES EX LIGHT FIXTURES TO BE REMOVED AND DISCARDED, REFER TO ELECTRICAL
- D5 DENOTES EX CEILING GRILL TO BE REMOVED AND DISCARDED, REFER TO MECHANICAL
- D6 REMOVE AND DISCARD ENTIRE EXTENT OF EX FLOOR TILES ALLOW FOR FLOOR GRINDING TO PREPARE FLOOR TO RECEIVE NEW TILES
- D7 REMOVE AND DISCARD ENTIRE EXTENT OF EX WALL TILES ACROSS FULL HEIGHT OF WALL PREPARE EX CONC BLK WALLS TO RECEIVE NEW TILES
- D8 EX EMERGENCY CALL SYSTEM BUTTON TO BE REMOVED AND RELOCATED REFER TO ELECTRICAL
- D9 DENOTES LOCATION OF EX. RECESSED FEMALE NAPKIN DISPOSAL TO BE REMOVED. REFER TO NOTES D2 AND C11
- D10 WITHIN EX. WALL RECESS. ALLOW FOR REMOVAL OF ANY WOOD BLOCKING AS NEEDED AND PREP TO RECEIVE NEW RECESSED WASTE RECEPTACLE. ALSO REFER TO C10 FOR NEW INFILL WORK

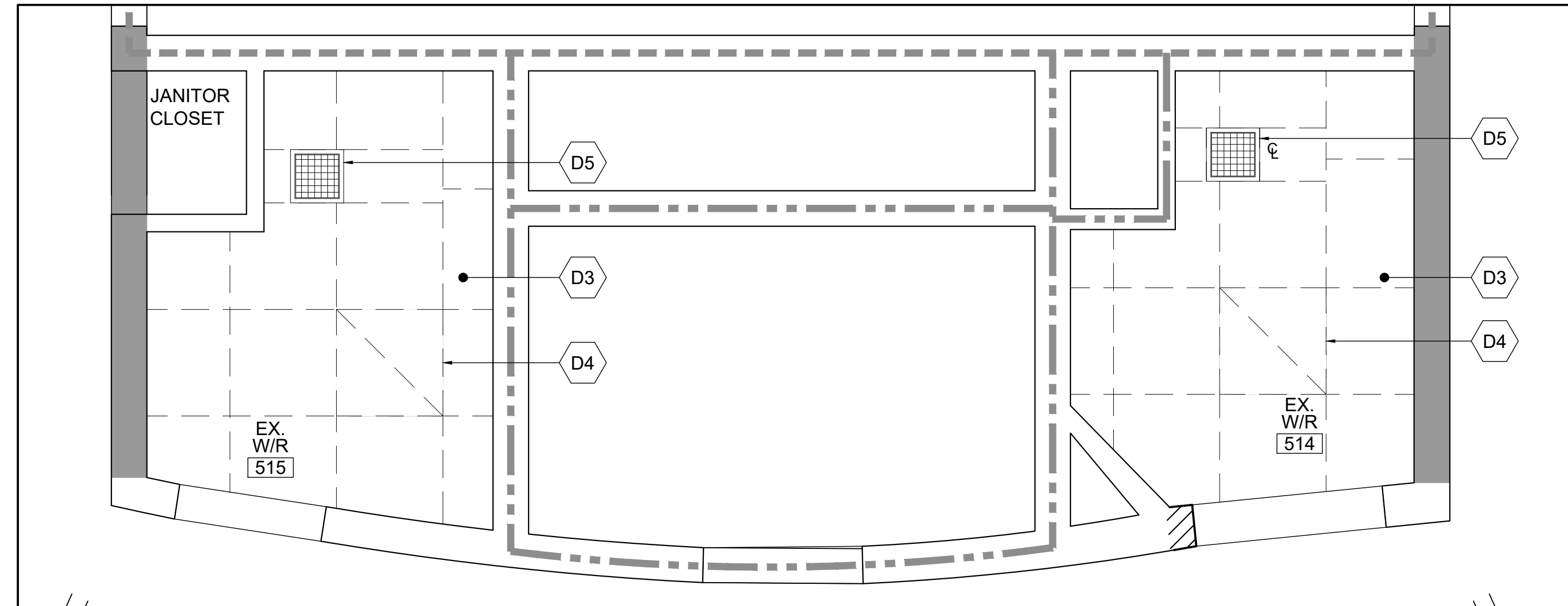
CONSTRUCTION NOTES

- C1 PATCH CONCRETE BLOCK AROUND NEW DOOR FRAME AND PAINT TOUCH UP ON CORRIDOR SIDE TO MATCH EXISTING. ALSO REFER TO NOTE D12
- C2 INSTALL WASHROOM ACCESSORIES REFER TO FLOOR PLANS AND INTERIOR ELEVATIONS REFER TO MECH. FOR NEW PLUMBING FIXTURES
- C3 INSTALL NEW 24"x24" ACOUSTIC CEILING TILE AND T-BAR CEILING TO MATCH SAME EXISTING HEIGHT
- C4 DENOTES NEW LIGHT FIXTURES, REFER TO ELECTRICAL
- C5 DENOTES NEW AIR DIFFUSERS, REFER TO MECHANICAL
- C6 INSTALL NEW 12"x24" PORCELAIN FLOOR TILES
- C7 INSTALL NEW PORCELAIN WALL TILES FROM FFE AND CARRY TO CLEAR ABOVE T-BAR HEIGHT REFER TO INTERIOR ELEVATIONS FOR PATTERN AND SIZES
- C8 DENOTES NEW BARRIER FREE DRINKING FOUNTAIN PROVIDE ALL WALL CUTTING AND PATCHING TO SUIT REFER TO MECH.
- C9 INSTALL ECS IN NEW LOCATION, REFER TO ELECTRICAL
- C10 REUSE AND PREPARE EXISTING RECESS IN WALL FOR THE INSTALLATION OF THE NEW RECESSED WASTE RECEPTACLE COORDINATE THE LOWER HEIGHT OF THE NEW RECEPTACLE AND INSTALL TILE BACKER BOARD ON WOOD BLOCKING. (FLUSH TO WALL SURFACE) TO THE UPPER PORTION OF THE EXISTING RECESSED CAVITY TO SUIT. REFER TO INTERIOR ELEVATIONS ON DWG A2.20
- C11 COVER EX. RECESS IN WALL WITH TILE BACKER BOARD ON WOOD BLOCKING. (FLUSH TO WALL SURFACE) REFER TO INTERIOR ELEVATIONS ON DRAWING A2.20

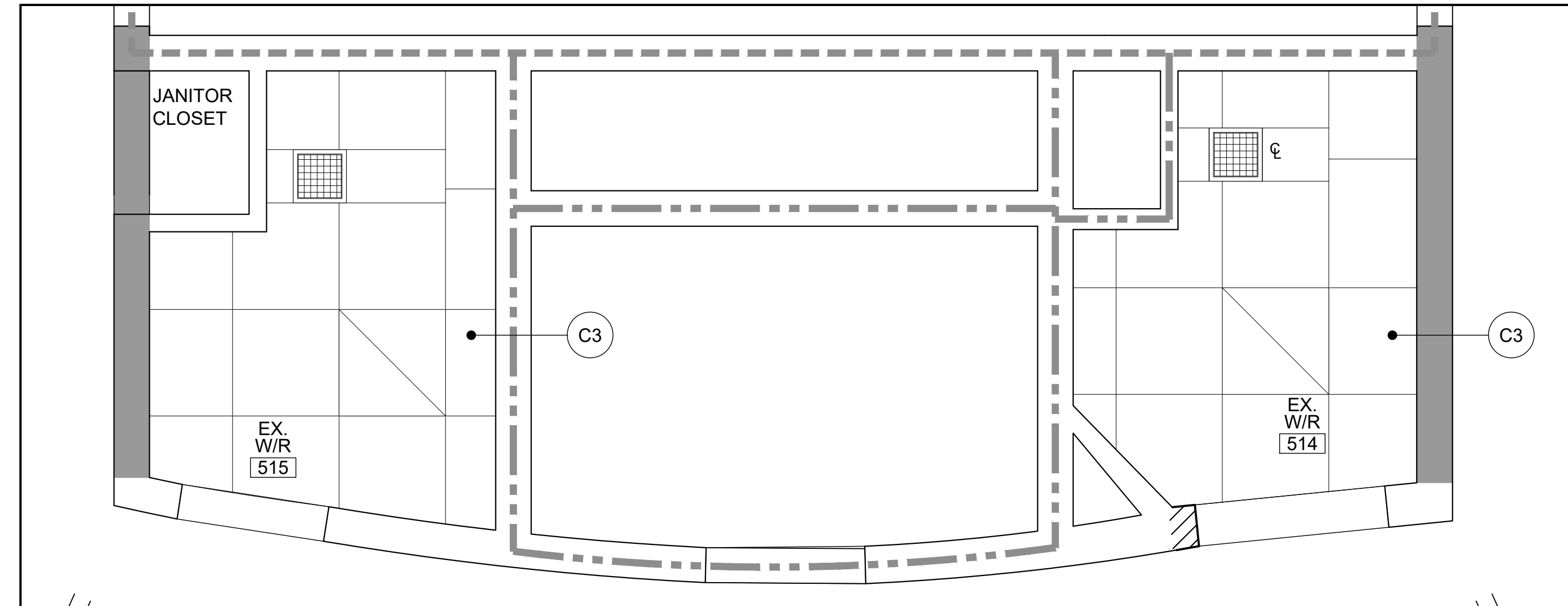


KEY PLAN - 5TH FLOOR
SCALE: NTS

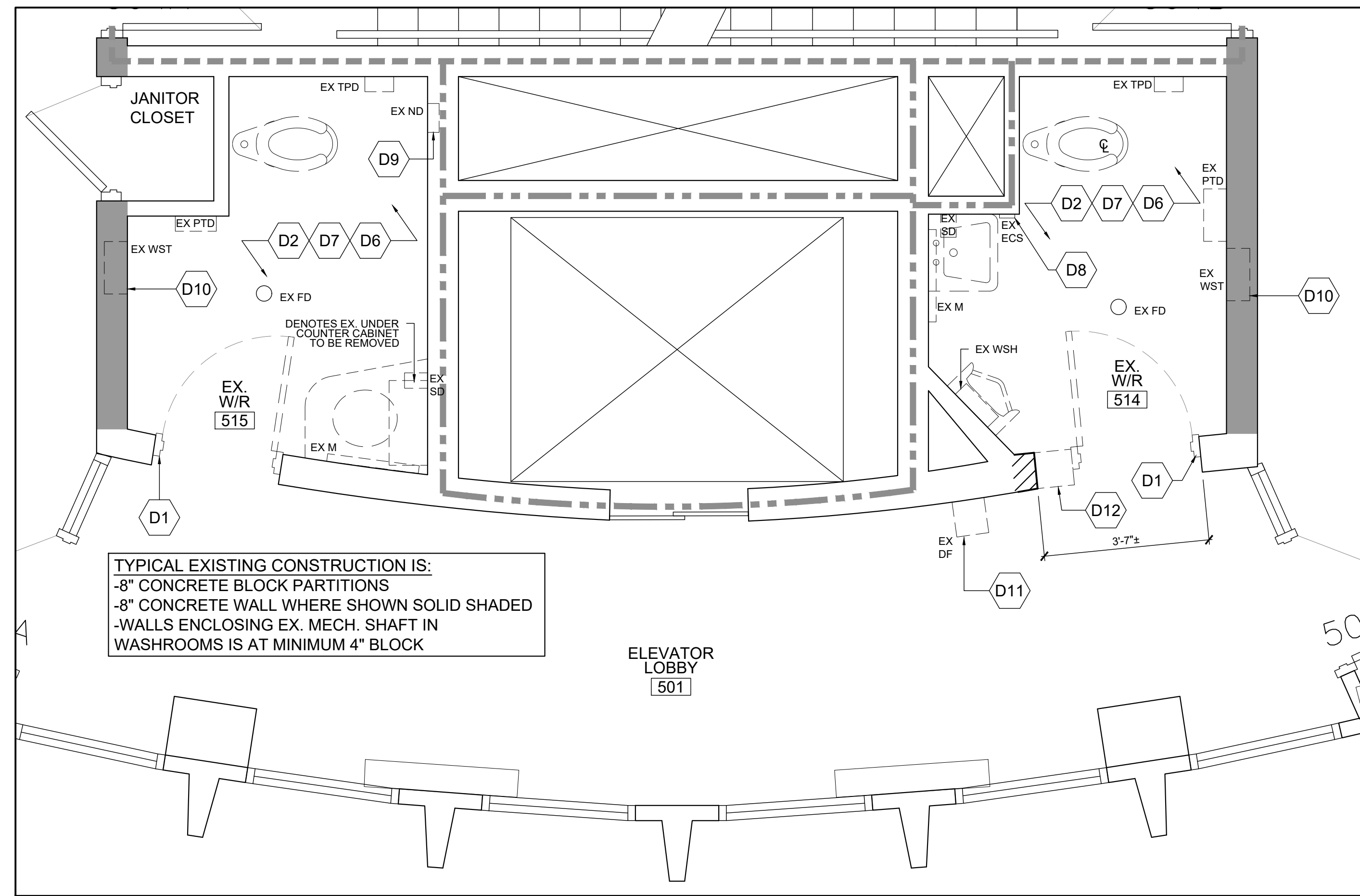
DENOTES EXISTING FIRE RATED SEPARATIONS



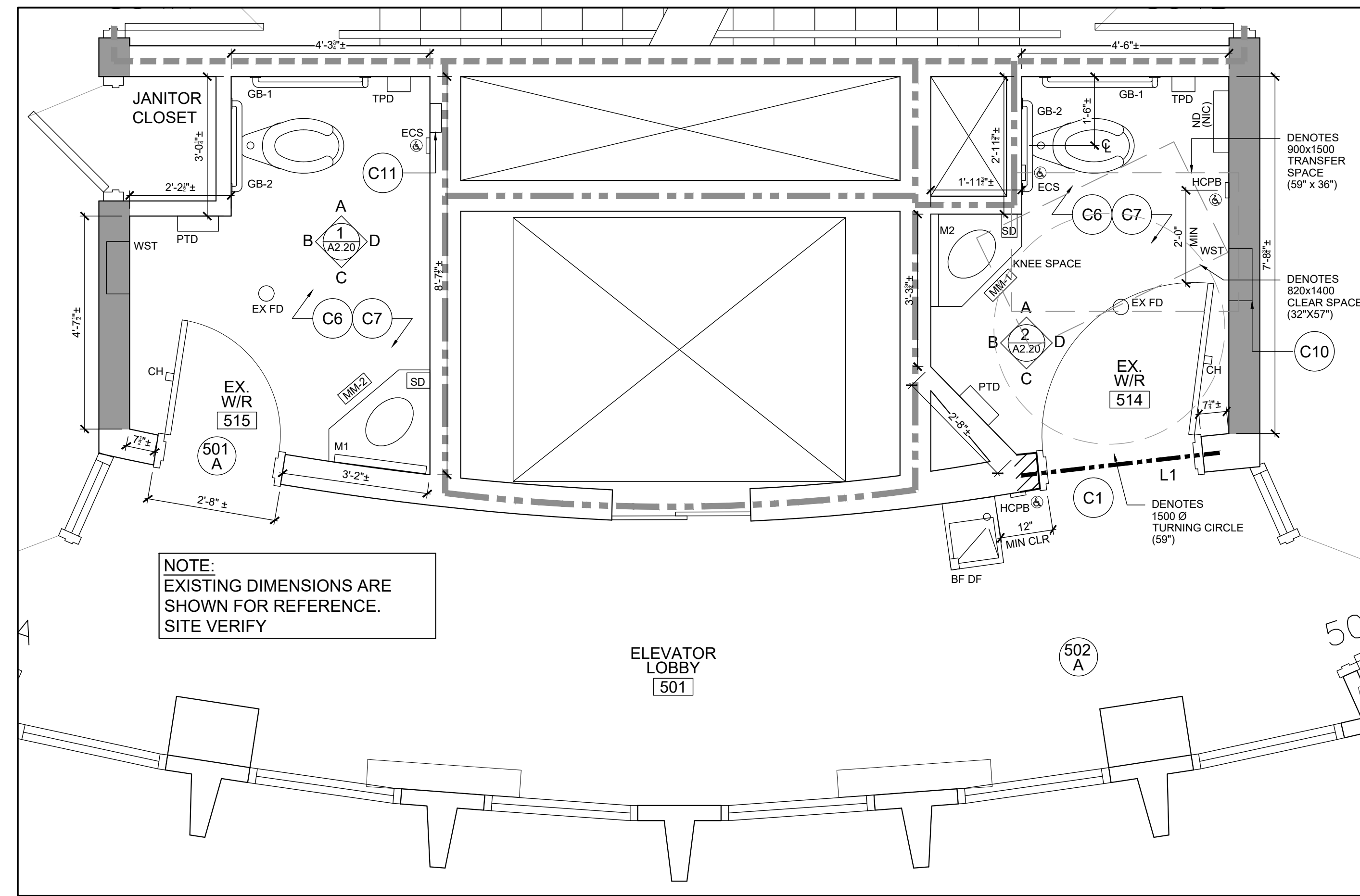
3 DEMOLITION - PARTIAL FIFTH REFLECTED CEILING PLAN
SCALE: 1/2" = 1'-0"



4 PROPOSED - PARTIAL FIFTH REFLECTED CEILING PLAN
SCALE: 1/2" = 1'-0"



1 DEMOLITION - PARTIAL FIFTH FLOOR PLAN
SCALE: 1/2" = 1'-0"



2 PROPOSED RENOVATIONS - PARTIAL FIFTH FLOOR PLAN
SCALE: 1/2" = 1'-0"

LEGEND

- ACT ACOUSTIC CEILING TILE
- ADO AUTOMATIC DOOR OPERATOR
- BF BARRIER FREE
- CH COAT HOOK
- CLR CLEAR
- DF DRINKING FOUNTAIN
- ECS EMERGENCY CALL SYSTEM
- EX EXISTING
- FD FLOOR DRAIN
- FFE FINISHED FLOOR ELEVATION
- GB-# GRAB BAR
- HCPB HANDICAP PUSH BUTTON
- HD HAND DRYER
- M# MIRROR
- MIN MINIMUM
- ND NAPKIN DISPENSER
- NIC NOT IN CONTRACT
- PTD PAPER TOWEL DISPENSER
- SD SOAP DISPENSER
- TP TOILET PARTITION
- TPD TOILET PAPER DISPENSER
- WD WATER DISPENSER
- WIR WASHROOM
- WSH WALL SHELF
- WST RECESSED WASTE RECEPTACLE

101 A DOOR NUMBER DESIGNATION

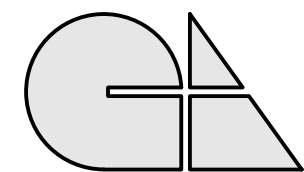
2	RE-ISSUED FOR TENDER	2024-08-14
1	ISSUED FOR PERMIT AND TENDER	2024-04-29
NO	REVISIONS	DATE

DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE ARCHITECTS BEFORE PROCEEDING WITH THE WORK. THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECTS.

BURLINGTON CITY HALL
5TH & 6TH FLOOR
WASHROOM RENOVATIONS
426 BRANT ST
BURLINGTON, ON L7R 3Z6

FIFTH FLOOR PLAN

GRGURIC ARCHITECTS INCORPORATED



28 KING STREET EAST, UNIT B
STONE CREEK, ONTARIO, L8G 1J8
Tel. 905-664-8735 Fax. 905-664-8737
Web: www.2gai.com

SCALE: AS NOTED	PROJECT: 2024-01
START DATE: MARCH 2024	
DRAWN: AH	DRAWING: A2.00
CHECKED: WP	
PRINT DATE: 08/14/24	

GENERAL NOTES

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DENOTES EXISTING FIRE RATED SEPARATIONS

- 1 HR
- 2 HR

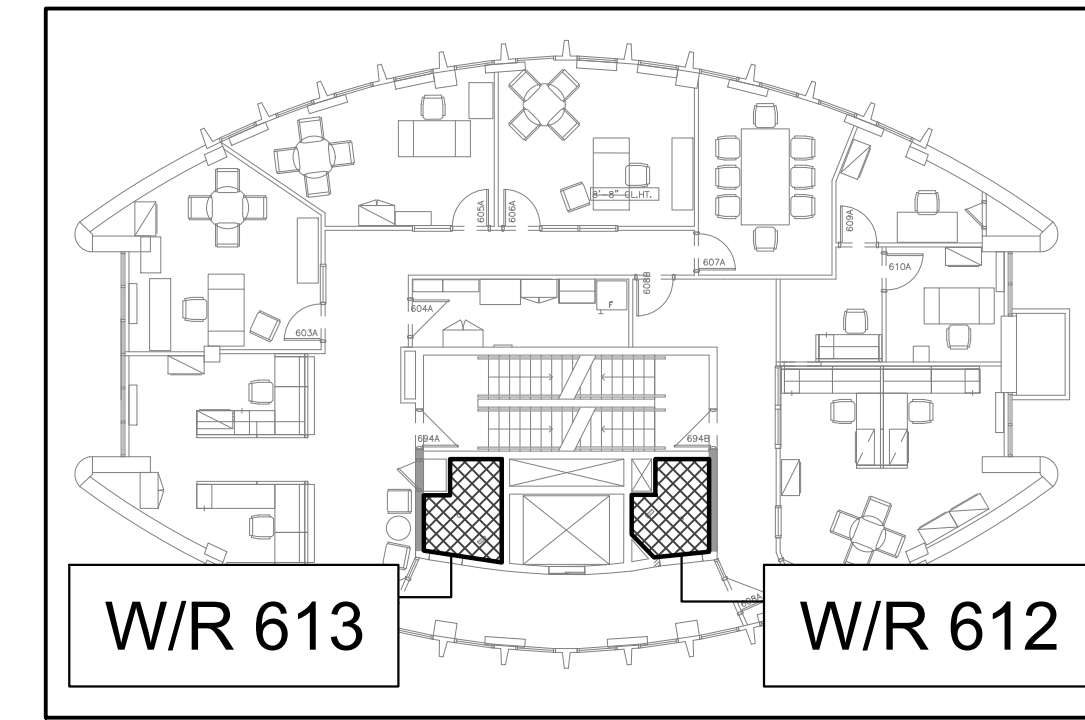
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- D2B REMOVE AND RETURN TO OWNER THE FOLLOWING EX ACCESSORIES: MIRRORS, SOAP DISPENSERS, TOILET PAPER DISPENSERS AND PAPER TOWEL DISPENSERS REMOVE EX. VANITY MILLWORK UNIT IN WASHROOMS S15 AND 613
- D3 DENOTES REMOVED AND DISCARDED EX ACOUSTIC CEILING TILE AND T-BAR SUSPENDED CEILING
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- D11 REMOVE AND DISCARD EX DRINKING FOUNTAIN REFER TO MECHANICAL DRAWINGS
- D12 CUT AND REMOVE EXISTING CONCRETE BLOCK AND LINTEL AND INSTALL NEW STEEL LINTEL TO ENLARGE THE EX. DOOR OPENING AS INDICATED. PROVIDE SHORING SUPPORT TO SUIT

CONSTRUCTION NOTES

- C1 PATCH CONCRETE BLOCK AROUND NEW DOOR FRAME AND PAINT TOUCH UP ON CORRIDOR SIDE TO MATCH EXISTING. ALSO REFER TO NOTE D12
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- C8 DENOTES NEW BARRIER FREE DRINKING FOUNTAIN PROVIDE ALL WALL CUTTING AND PATCHING TO SUIT REFER TO MECH.
- C9 INSTALL ECS IN NEW LOCATION. REFER TO ELECTRICAL
- C10 REUSE AND PREPARE EXISTING RECESS IN WALL FOR THE INSTALLATION OF THE NEW RECESSED WASTE RECEPTACLE COORDINATE THE LOWER HEIGHT OF THE NEW RECEPTACLE AND INSTALL TILE BACKER BOARD ON WOOD BLOCKING. (FLUSH TO WALL SURFACE) TO THE UPPER PORTION OF THE EXISTING RECESSED CAVITY TO SUIT. REFER TO INTERIOR ELEVATIONS ON DWG A2.20
- C11 COVER EX. RECESS IN WALL WITH TILE BACKER BOARD ON WOOD BLOCKING. (FLUSH TO WALL SURFACE) REFER TO INTERIOR ELEVATIONS ON DRAWING A2.20



KEY PLAN - 6TH FLOOR
SCALE: NTS



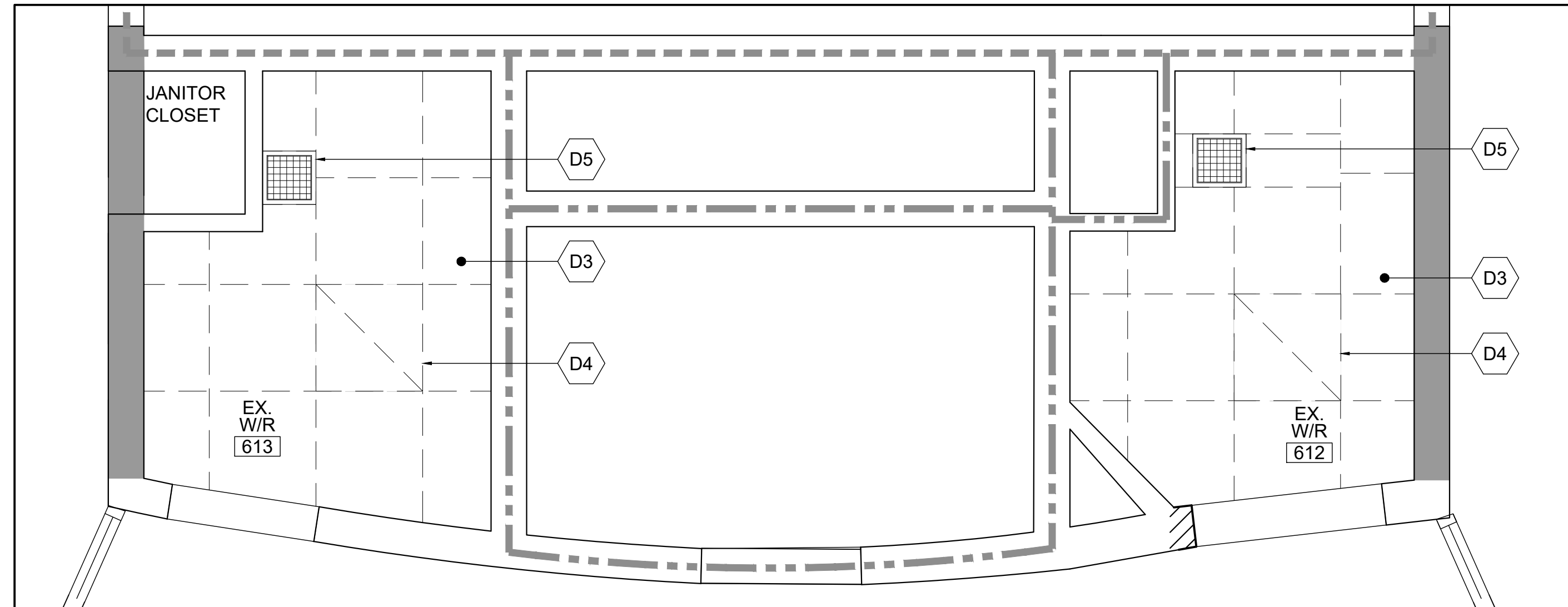
LEGEND

- ACT ACOUSTIC CEILING TILE
- ADO AUTOMATIC DOOR OPERATOR
- BF BARRIER FREE
- CH COAT HOOK
- CLR CLEAR
- DF DRINKING FOUNTAIN
- ECS EMERGENCY CALL SYSTEM
- EX EXISTING
- FD FLOOR DRAIN
- FFE FINISHED FLOOR ELEVATION
- GB-# GRAB BAR
- HCPB HANDICAP PUSH BUTTON
- HD HAND DRYER
- M# MIRROR
- MIN MINIMUM
- ND NAPKIN DISPENSER
- NIC NOT IN CONTRACT
- PTD PAPER TOWEL DISPENSER
- SD SOAP DISPENSER
- TP TOILET PARTITION
- TPD TOILET PAPER DISPENSER
- WD WATER DISPENSER
- WIR WASHROOM
- WSH WALL SHELF
- WST RECESSED WASTE RECEPTACLE

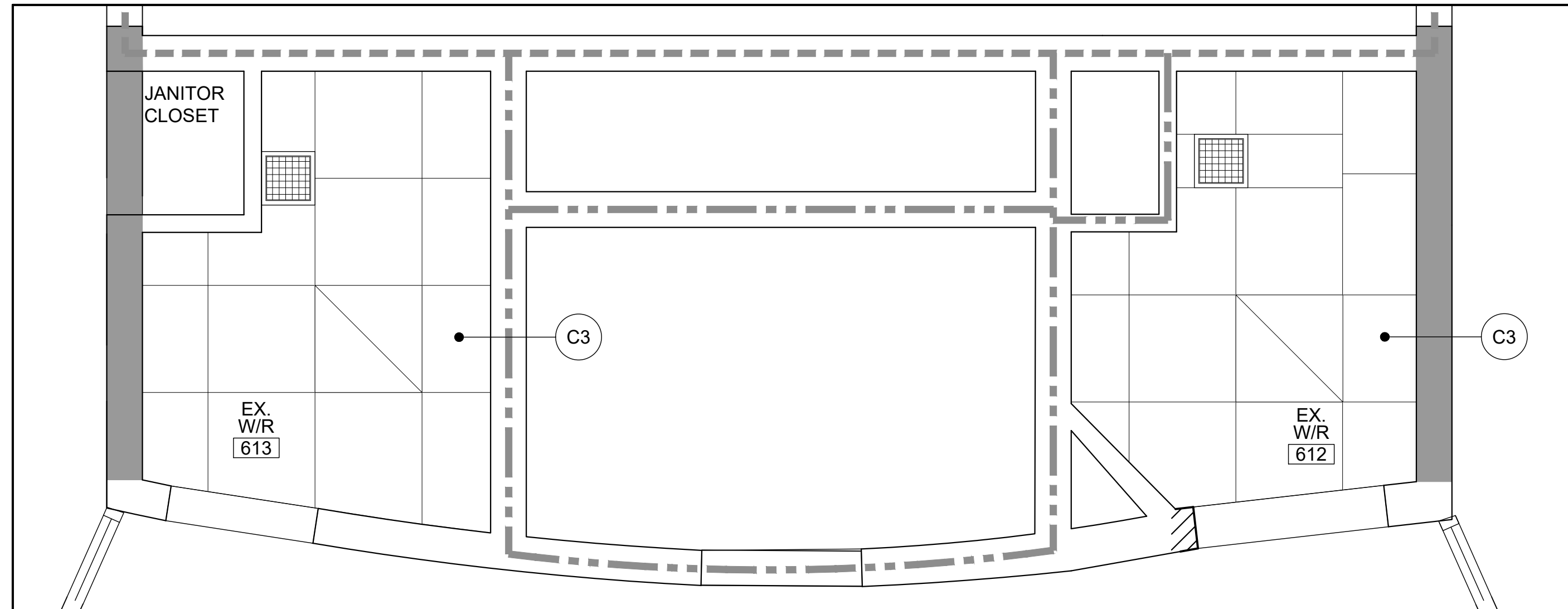
101 A DOOR NUMBER DESIGNATION

NO	REVISIONS	DATE
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1	ISSUED FOR PERMIT AND TENDER	2024-04-29

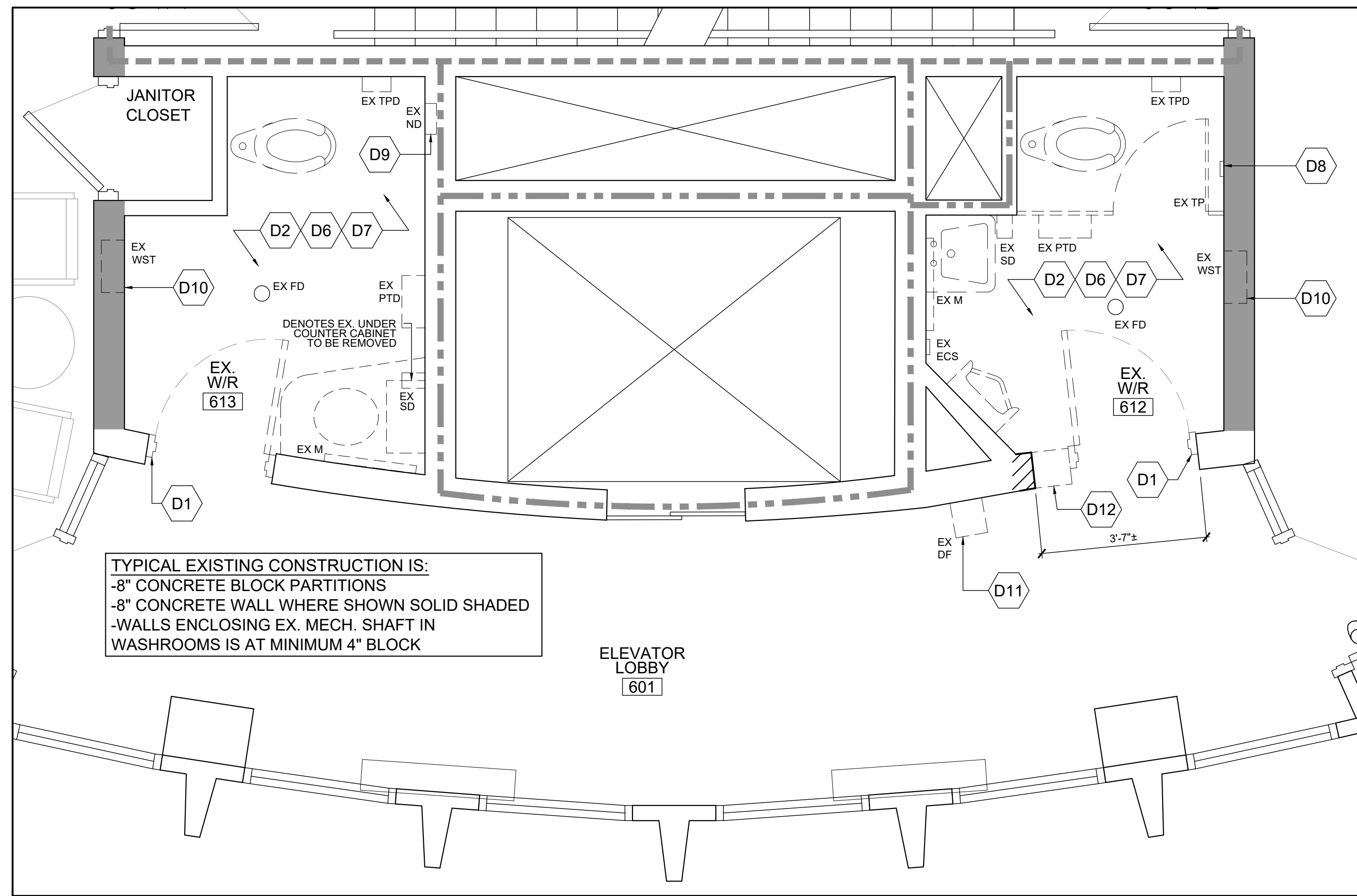
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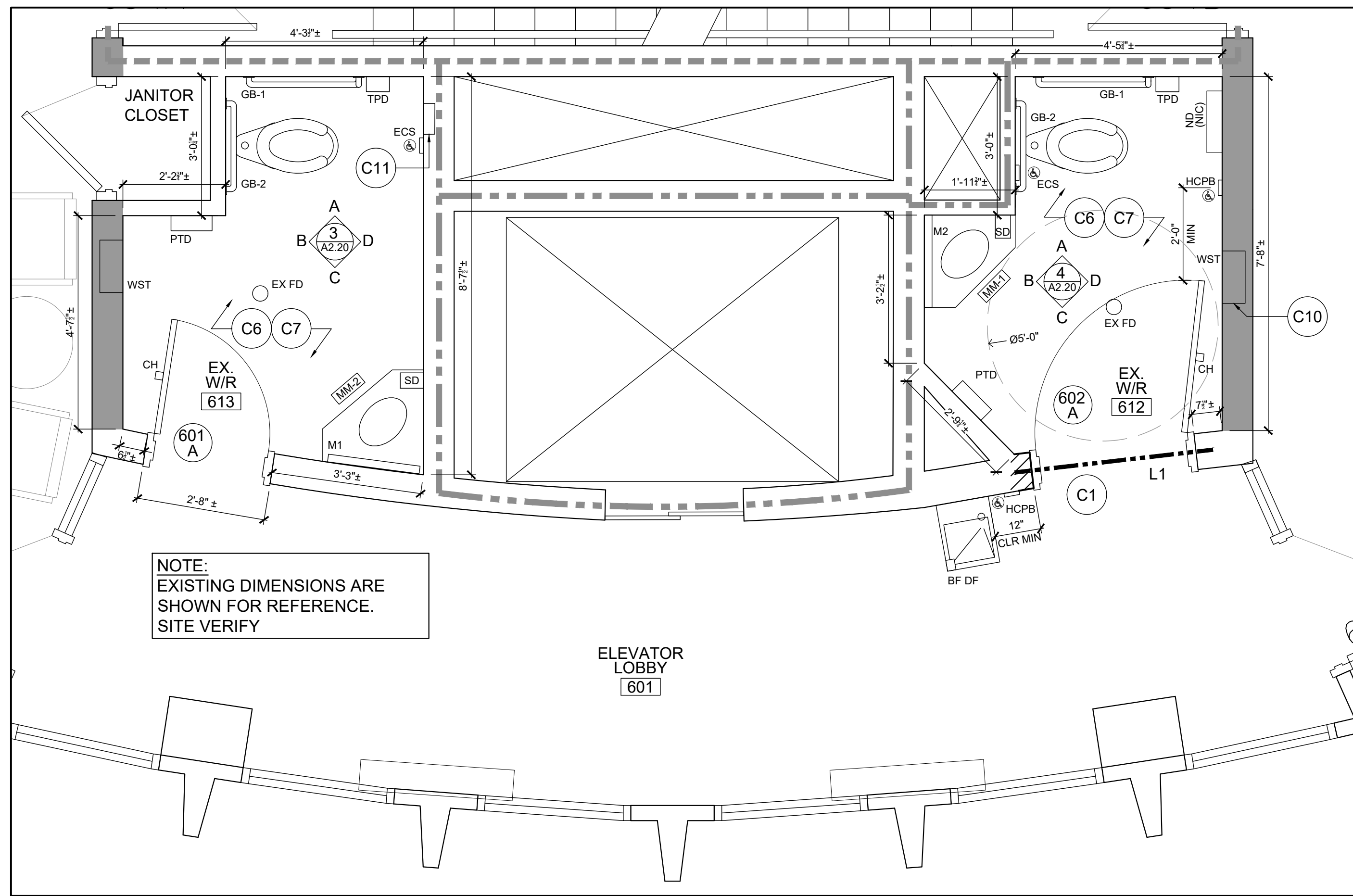
3 DEMOLITION - PARTIAL FIFTH REFLECTED CEILING PLAN
SCALE: 1/2" = 1'-0"



4 PROPOSED - PARTIAL SIXTH REFLECTED CEILING PLAN
SCALE: 1/2" = 1'-0"



1 DEMOLITION - PARTIAL SIXTH FLOOR PLAN
SCALE: 1/2" = 1'-0"

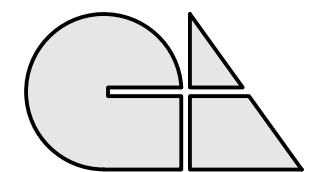


1 PROPOSED RENOVATIONS - PARTIAL FIFTH FLOOR PLAN
SCALE: 1/2" = 1'-0"

BURLINGTON CITY HALL
5TH & 6TH FLOOR
WASHROOM RENOVATIONS
426 BRANT ST
BURLINGTON, ON L7R 3Z6

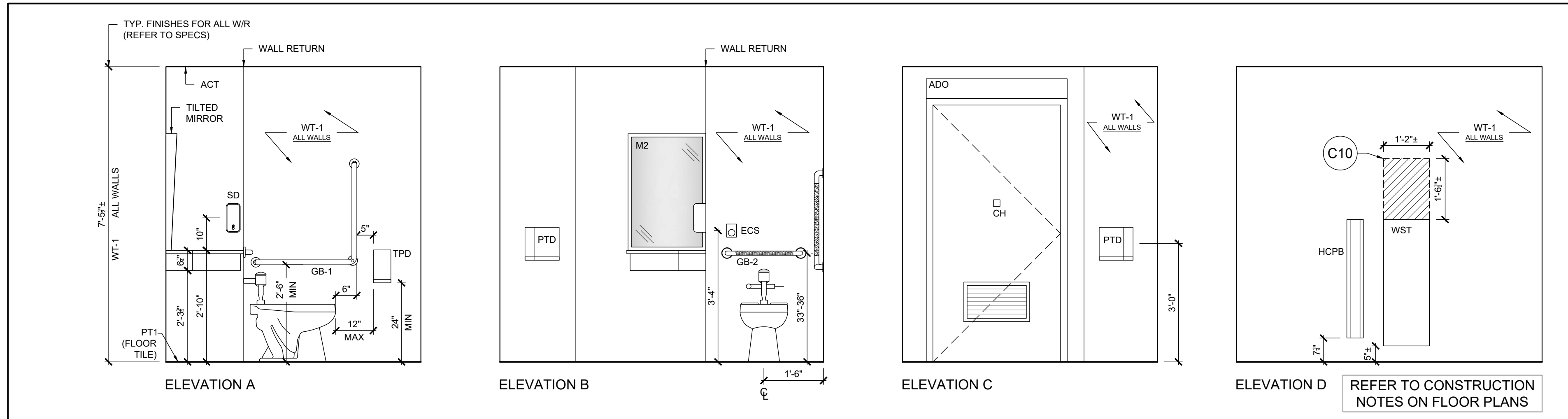
SIXTH FLOOR PLAN

GRGURIC ARCHITECTS INCORPORATED

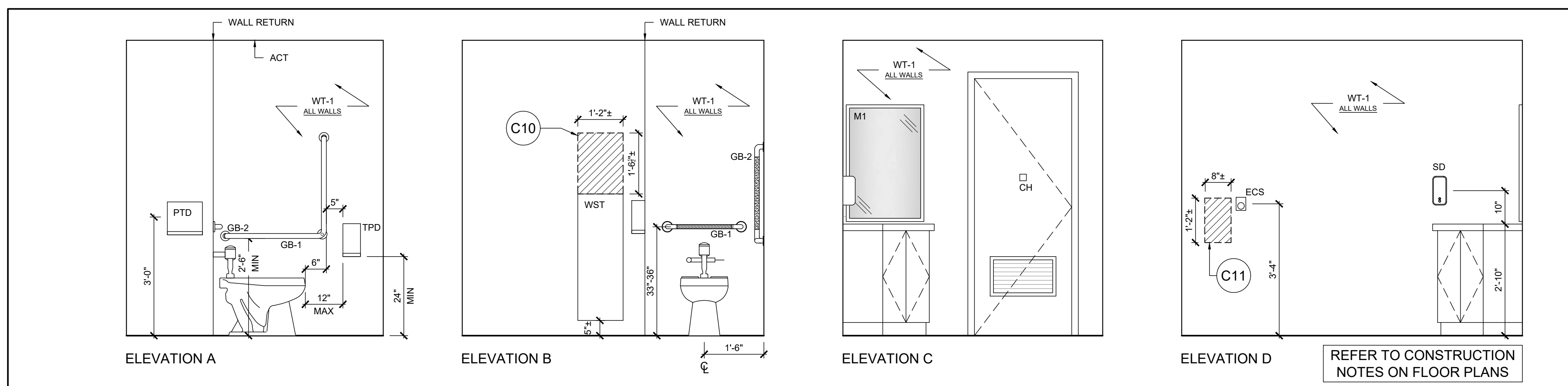


28 KING STREET EAST, UNIT B
STONE CREEK, ONTARIO, L8G 1J8
Tel. 905-664-8735 Fax. 905-664-8737
Web: www.2gai.com

SCALE: AS NOTED	PROJECT: 2024-01
START DATE: MARCH 2024	
DRAWN: AH	DRAWING: A2.10
CHECKED: WP	
PRINT DATE: 08/14/24	



2 BF W/R 514 & 612 - TYPICAL INTERIOR ELEVATIONS
SCALE: 1/2" = 1'-0"



1 W/R 515 & 613 - TYPICAL INTERIOR ELEVATIONS
SCALE: 1/2" = 1'-0"

DOOR TYPES

FRAME TYPES

CONTRACTOR TO SITE VERIFY ALL DIMENSIONS

DOOR SCHEDULE LEGEND

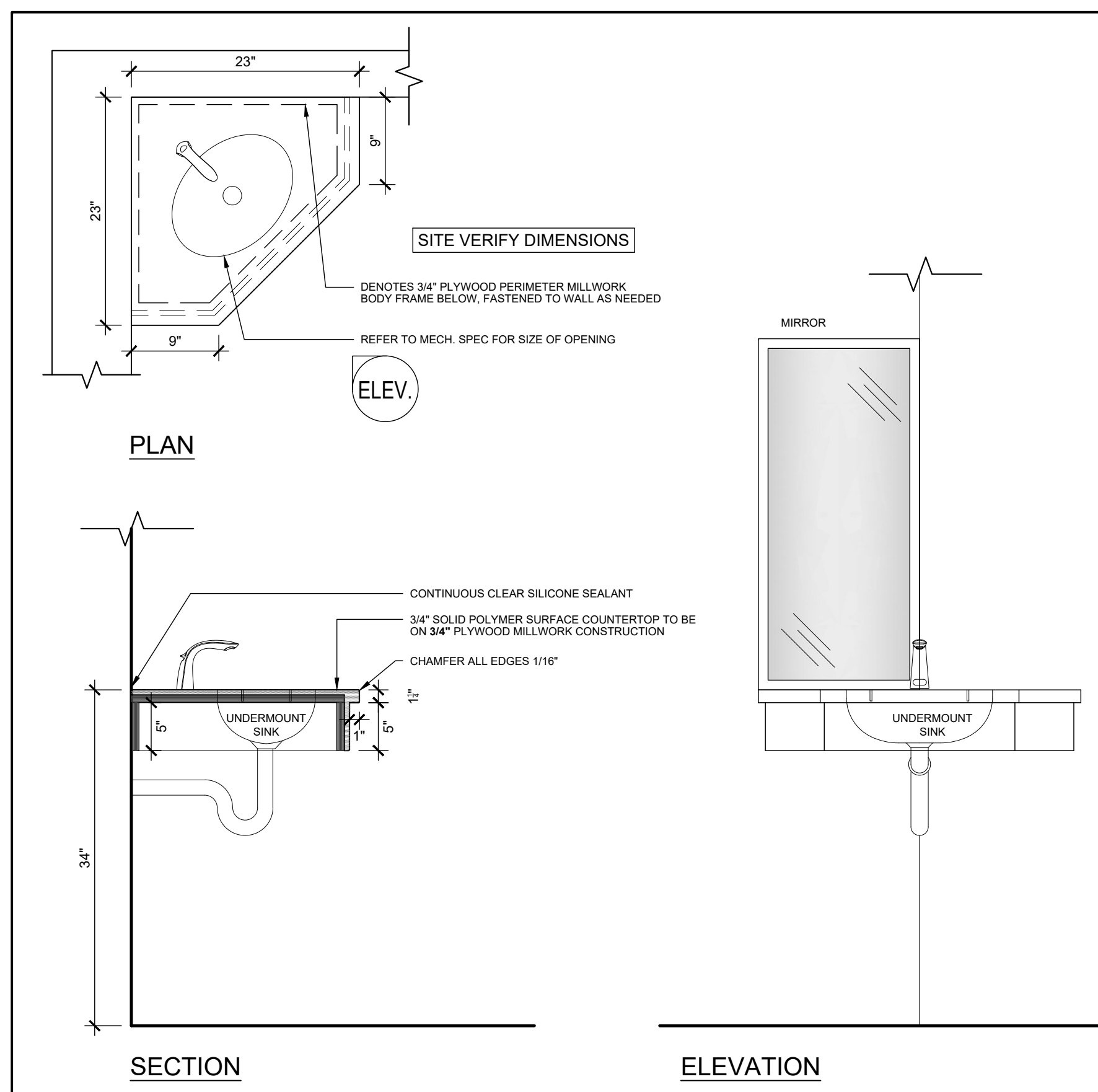
- CL CLOSER
- DC DOOR CONTACT
- ES ELECTRIC STRIKE
- HM HOLLOW METAL
- INS. THERMALLY INSULATED DOOR / FRAME
- MAT'L MATERIAL
- OHS OVER HEAD STOP
- PDO POWER DOOR OPERATOR
- PP PUSH PLATE
- SCW SOLID CORE WOOD
- SV STAINED VENEER
- TG TEMPERED GLASS
- THK THICKNESS
- TH THRESHOLD
- WS WEATHER STRIPPING

LEGEND

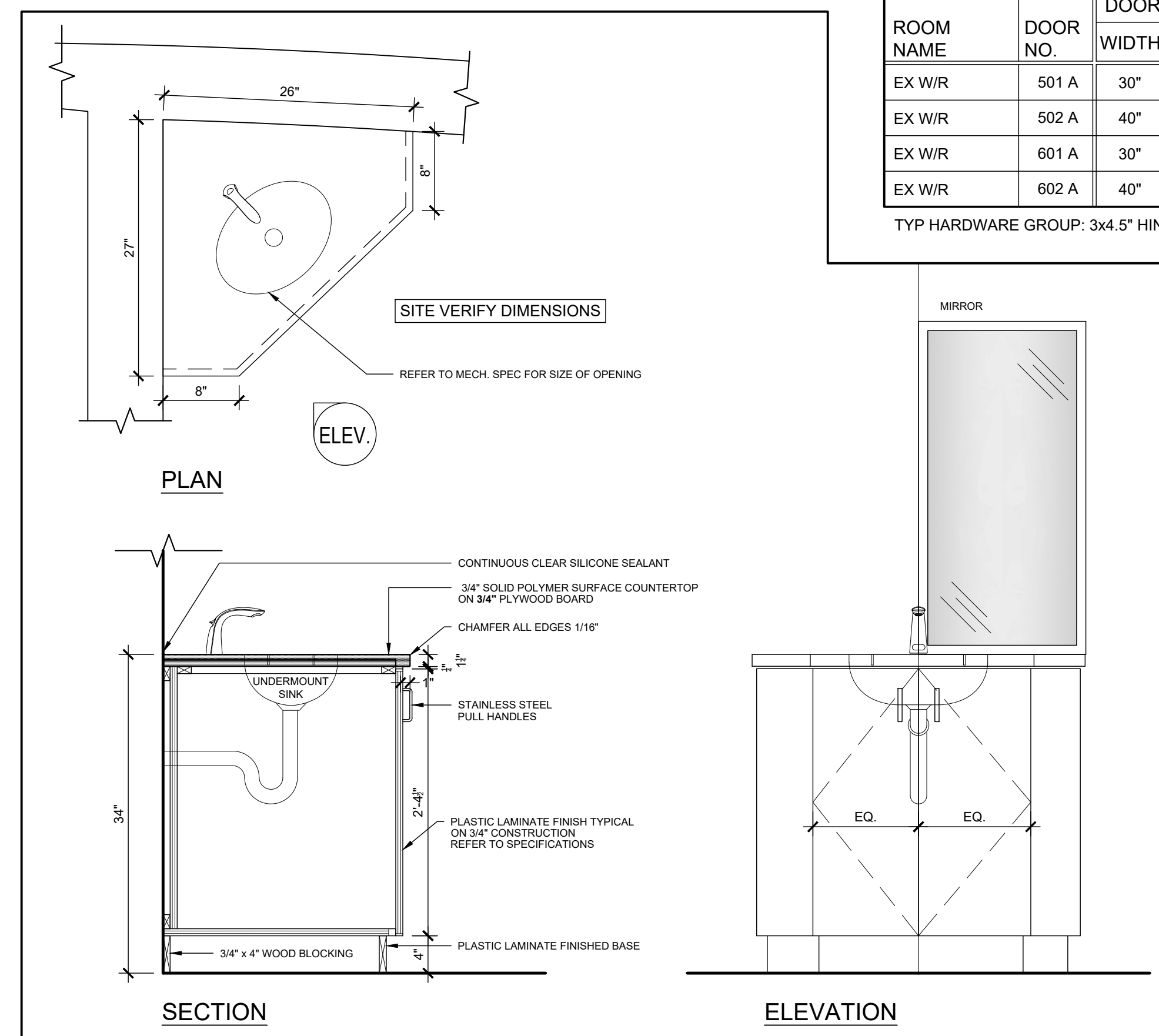
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- BF BARRIER FREE
- CH COAT HOOK
- DTL DETAIL
- ECS EMERGENCY CALL SYSTEM
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- WSH WALL SHELF
- WST RECESSED WASTE RECEPTACLE

NO	REVISIONS	DATE
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3 MM-1 CORNER SINK COUNTER MILLWORK DTL
SCALE: 1" = 1'-0"

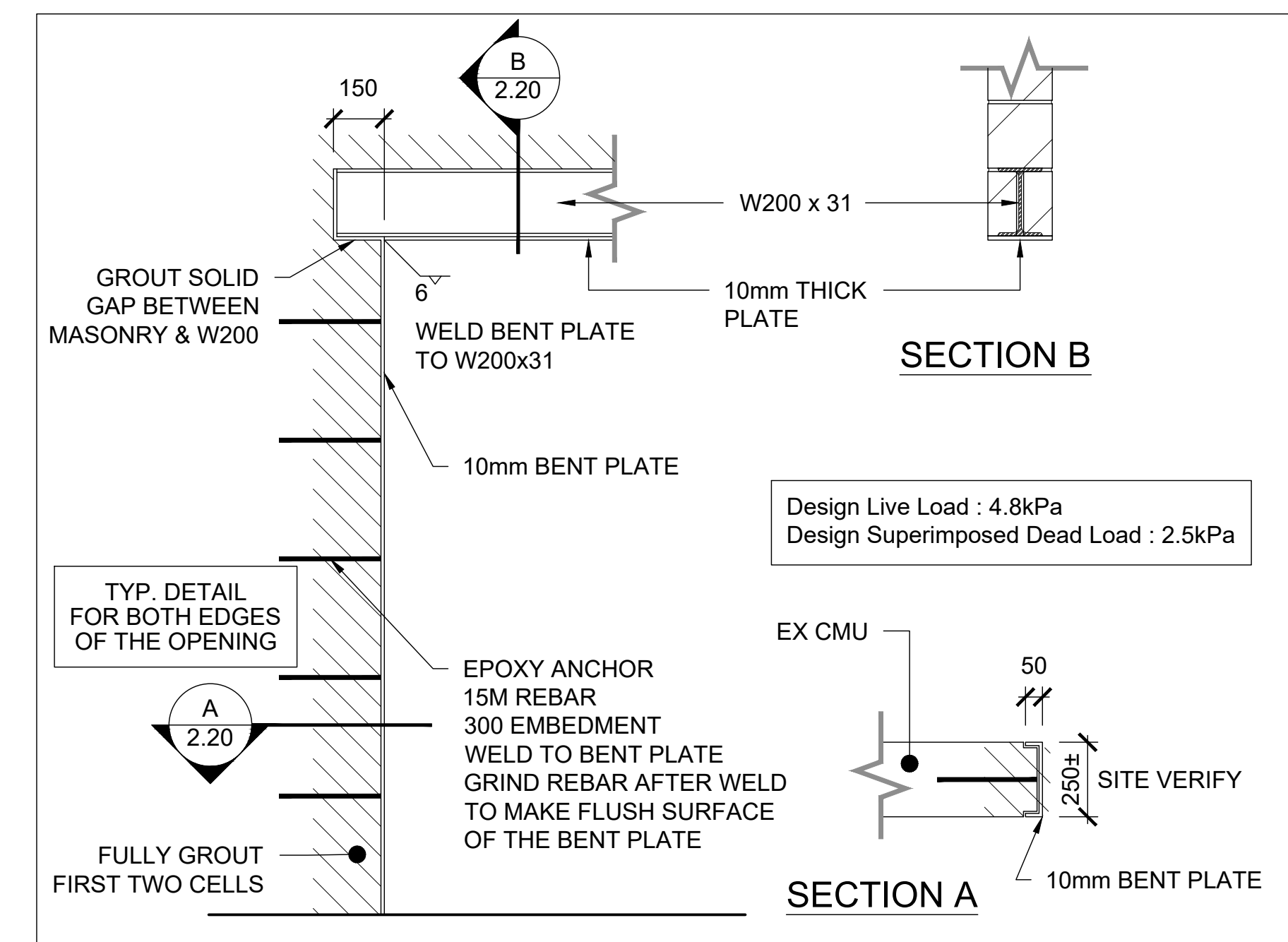


4 MM-2 CORNER VANITY MILLWORK DTL
SCALE: 1" = 1'-0"

DOOR SCHEDULE

ROOM NAME	DOOR NO.	DOORS							FRAMES			DOOR CLOSER	REMARKS
		WIDTH	HEIGHT	THK.	FIRE (MIN)	TYPE	MAT'L	FINISH	TYPE	MAT'L	FINISH		
EX W/R	501 A	30"	78"	1-3/4"	-	A	SCW	SV	1	HM	PAINT	YES	TYP. HARDWARE GROUP, PDO, ES
EX W/R	502 A	40"	78"	1-3/4"	-	B	SCW	SV	2	HM	PAINT	YES	TYP. HARDWARE GROUP
EX W/R	601 A	30"	78"	1-3/4"	-	A	SCW	SV	1	HM	PAINT	YES	TYP. HARDWARE GROUP, PDO, ES
EX W/R	602 A	40"	78"	1-3/4"	-	B	SCW	SV	2	HM	PAINT	YES	TYP. HARDWARE GROUP

TYP HARDWARE GROUP: 3x4.5" HINGES, DEADBOLT CYLINDER LOCK WITH THUMBTURN, CL, PP, TH, ARCHITECTURAL D PULL, BRONZE



5 L-1 LINTEL DETAILS AT DOORS 502A & 602A
SCALE: 1" = 1'-0"

BURLINGTON CITY HALL
5TH & 6TH FLOOR
WASHROOM
RENOVATIONS
426 BRANT ST
BURLINGTON, ON L7R 3Z6

INTERIOR ELEVATIONS
AND DOOR SCHEDULE

GRGURIC
ARCHITECTS
INCORPORATED

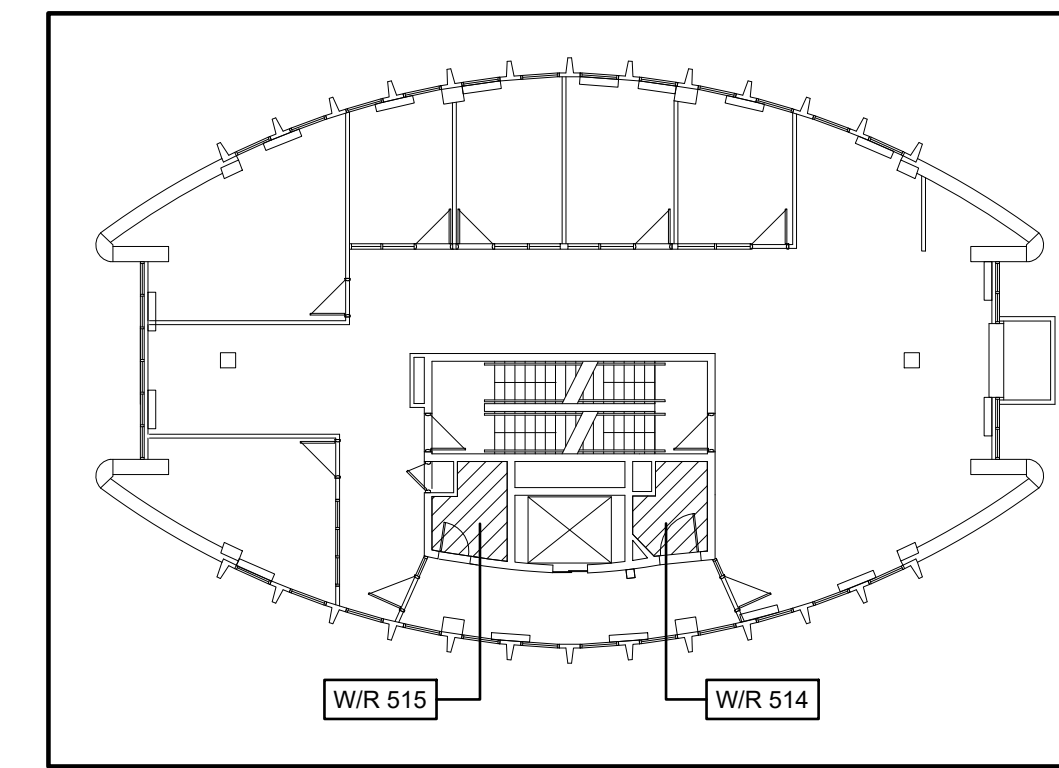
28 KING STREET EAST, UNIT B
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SCALE:	PROJECT:
AS NOTED	2024-01
START DATE:	MARCH 2024
DRAWN:	AN
CHECKED:	WP
PRINT DATE:	08/14/24

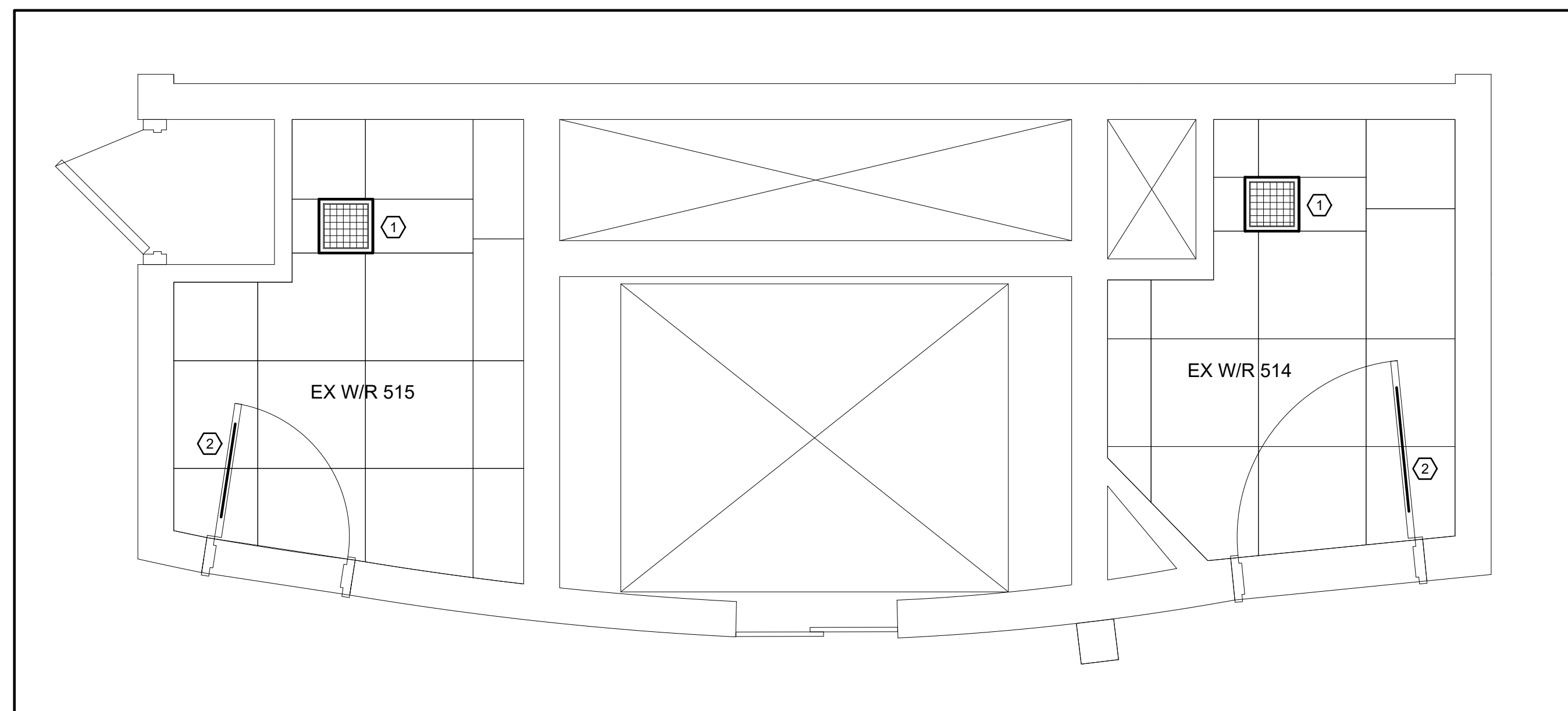
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 - SUPPLY & INSTALL NEW LOW MOUNTED DOOR AIR TRANSFER GRILLE IN NEW WASHROOM DOOR. TO BE EQUAL TO E.H. PRICE MODEL STG SERIES 20"x16" GRILLE. PAINT GRILLE WINDSWEEP SMOKE COLOR. (CONFIRM WITH ARCHITECT PRIOR TO PAINTING).
 - EXISTING TOILET TO BE DISCONNECTED, REMOVED AND DISPOSED OF. EXISTING CONNECTIONS TO BE REWORKED / REUSED FOR NEW TOILET C/W NEW ACCESSORIES AS SPECIFIED. REFER TO NEW PLUMBING PLAN FOR MORE INFORMATION.
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 - EXISTING FLOOR DRAIN TO BE REPLACED WITH BY NEW. PROVIDE NEW CAST IRON / BRASS FLOOR DRAIN ASSEMBLY, COVER PLATE AND WATERLESS TRAP SEAL TRAP GUARD INSERT TO SUIT EXISTING FLOOR DRAIN TYPE AND SIZE.

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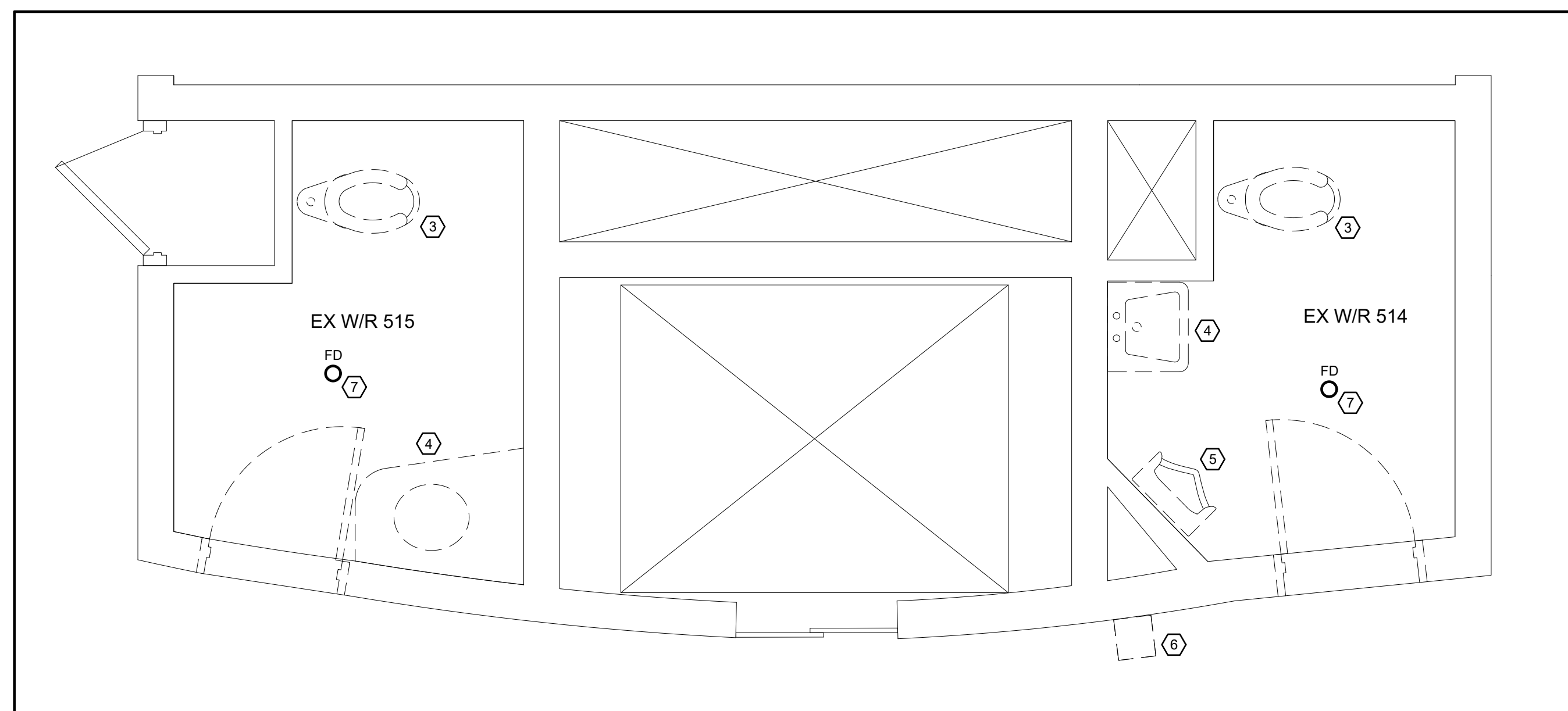
LEGEND	
SYMBOL	DESCRIPTION
— SAN —	SANITARY LINE ABOVE FLOOR / GRADE
- - - SAN - - -	SANITARY LINE BELOW FLOOR / GRADE
— C —	CONDENSATE DRAIN LINE
⊕ CO	CLEAN OUT
⊕ FD	FLOOR DRAIN
⊕ FFD	COMBINATION FLOOR FUNNEL DRAIN
⊕ HD	HUB DRAIN
— — — — —	COLD WATER LINE
— · · · · ·	HOT WATER LINE
— G —	GAS LINE
⊕	ISOLATION VALVE
— — —	NON FREEZE HOSE BIBB C/W SHUT OFF VALVE & LOCK BOX
CTE	CONNECT TO EXISTING



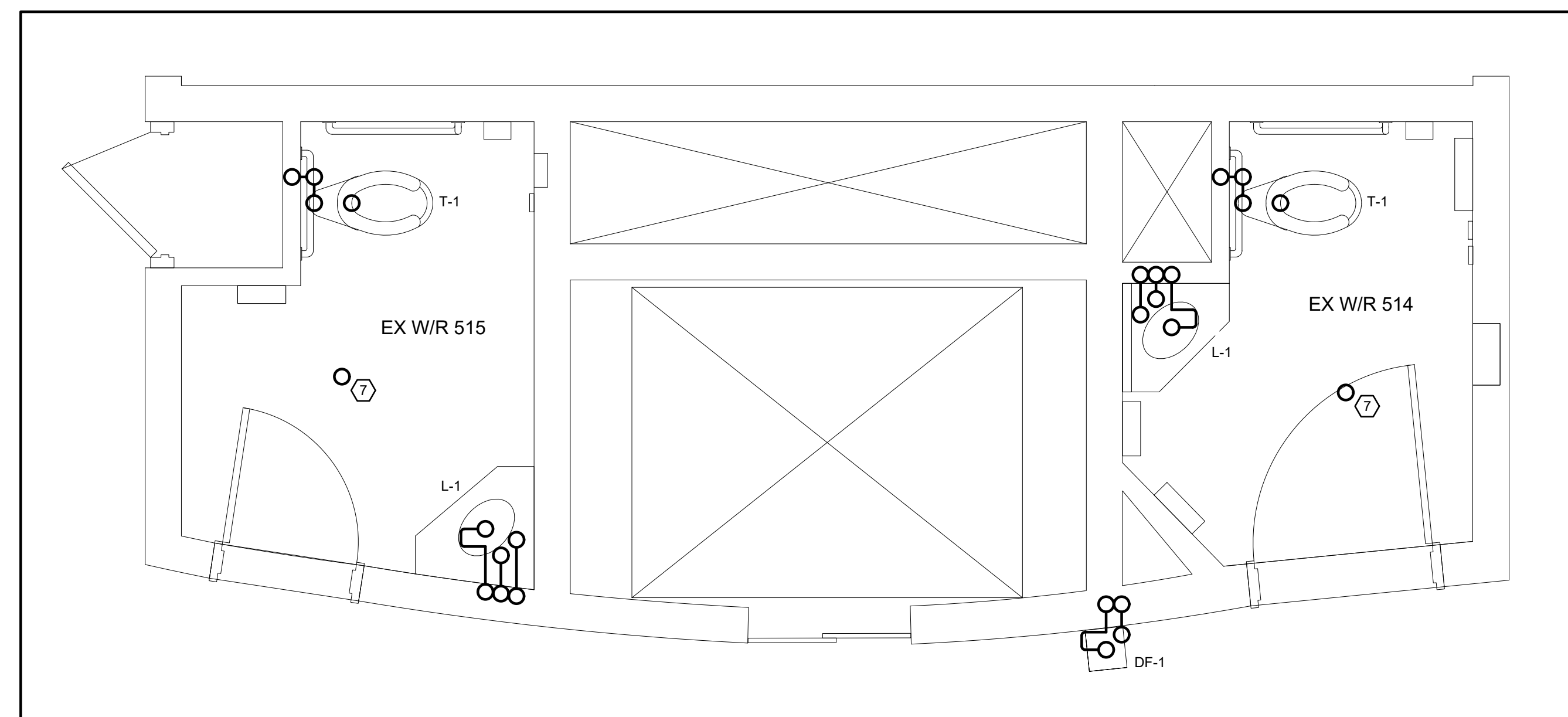
FIFTH FLOOR KEY PLAN
SCALE: NTS



1 SANITARY EXHAUST PLAN
M1.00 SCALE: 1/2" = 1'-0"



1 DEMOLITION PLUMBING PLAN
M1.00 SCALE: 1/2" = 1'-0"



1 NEW PLUMBING PLAN
M1.00 SCALE: 1/2" = 1'-0"

NO	REVISIONS	DATE
1	ISSUED FOR PERMIT / TENDER	04.24.2024
0	ISSUED FOR COORDINATION	04.17.2024

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ENGINEERING CONSULTANTS
RM
ENGINEERING
102 QUELPH ST., UNIT 216
GEORGETOWN, ONTARIO, L1G 4A6
TEL: (416) 726-1648 | (905) 617-4808
E-MAIL: contact@rm-eng.ca | WEB: rm-eng.ca

PROJECT
**BURLINGTON CITY HALL
5TH & 6TH FLOOR
WASHROOM RENO**
426 BRANT ST
BURLINGTON, ON L7R 3Z6

DRAWING TITLE
FIFTH FLOOR PLAN

**GRGURIC
ARCHITECTS
INCORPORATED**

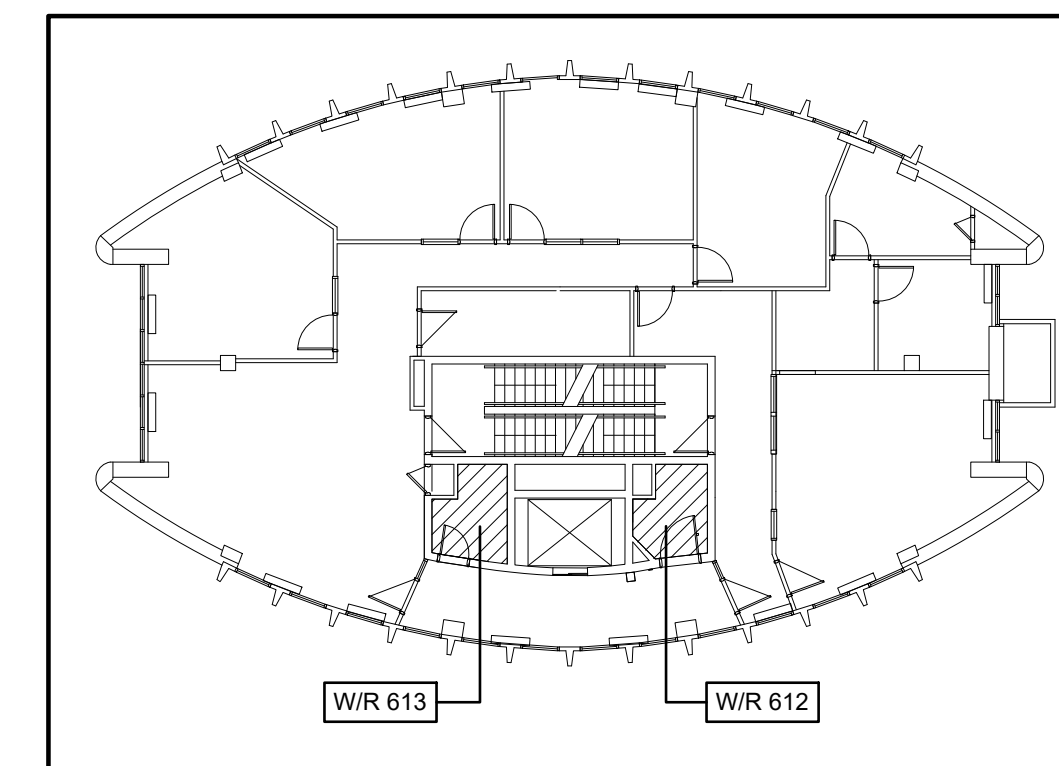
28 KING STREET EAST, UNIT B
STONEY CREEK, ONTARIO, L8G 1J8
Tel. 905-664-8735 Fax. 905-664-8737
Web: www.2gal.com

SCALE: AS NOTED	PROJECT: 24018
START DATE: APRIL 2024	
DRAWN MR	DRAWING: M1.0
CHECKED JM	

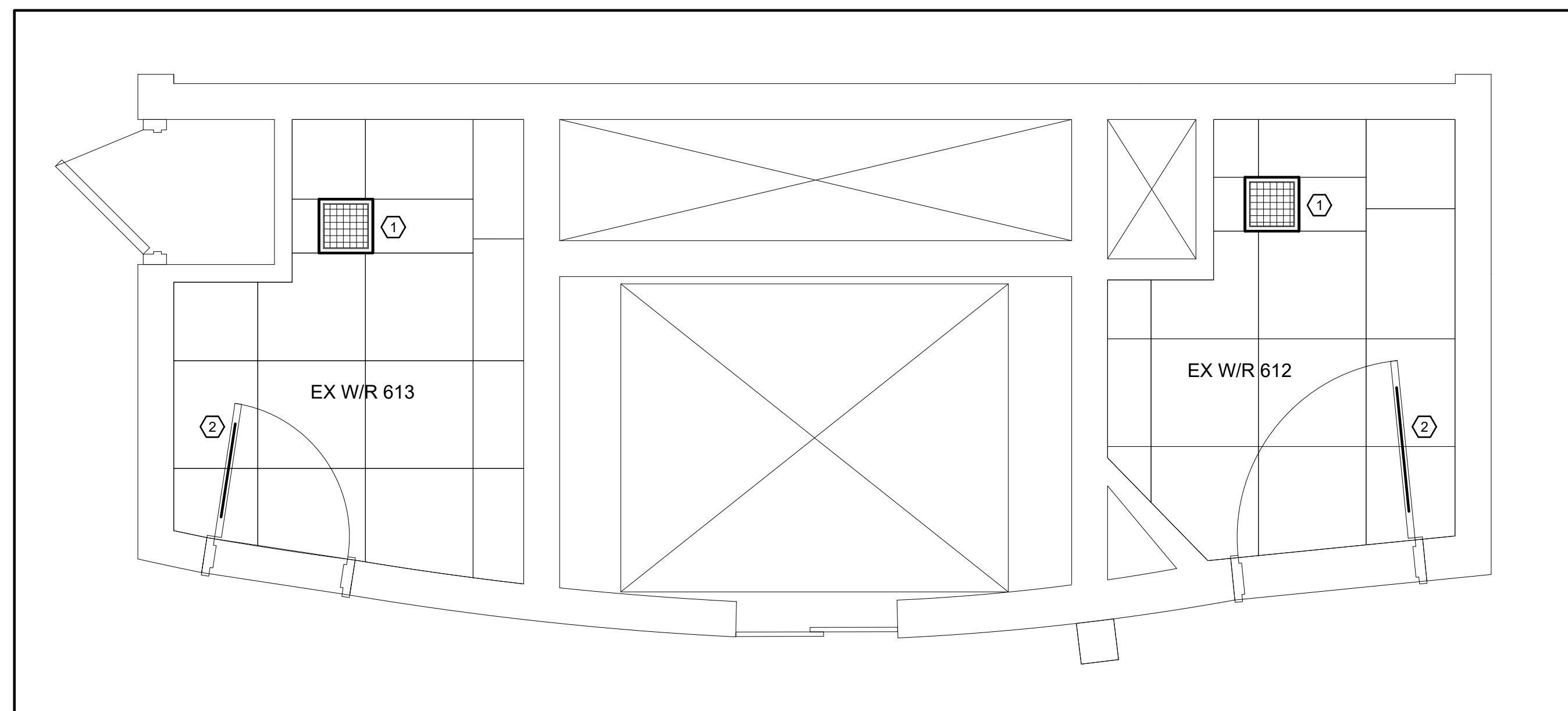
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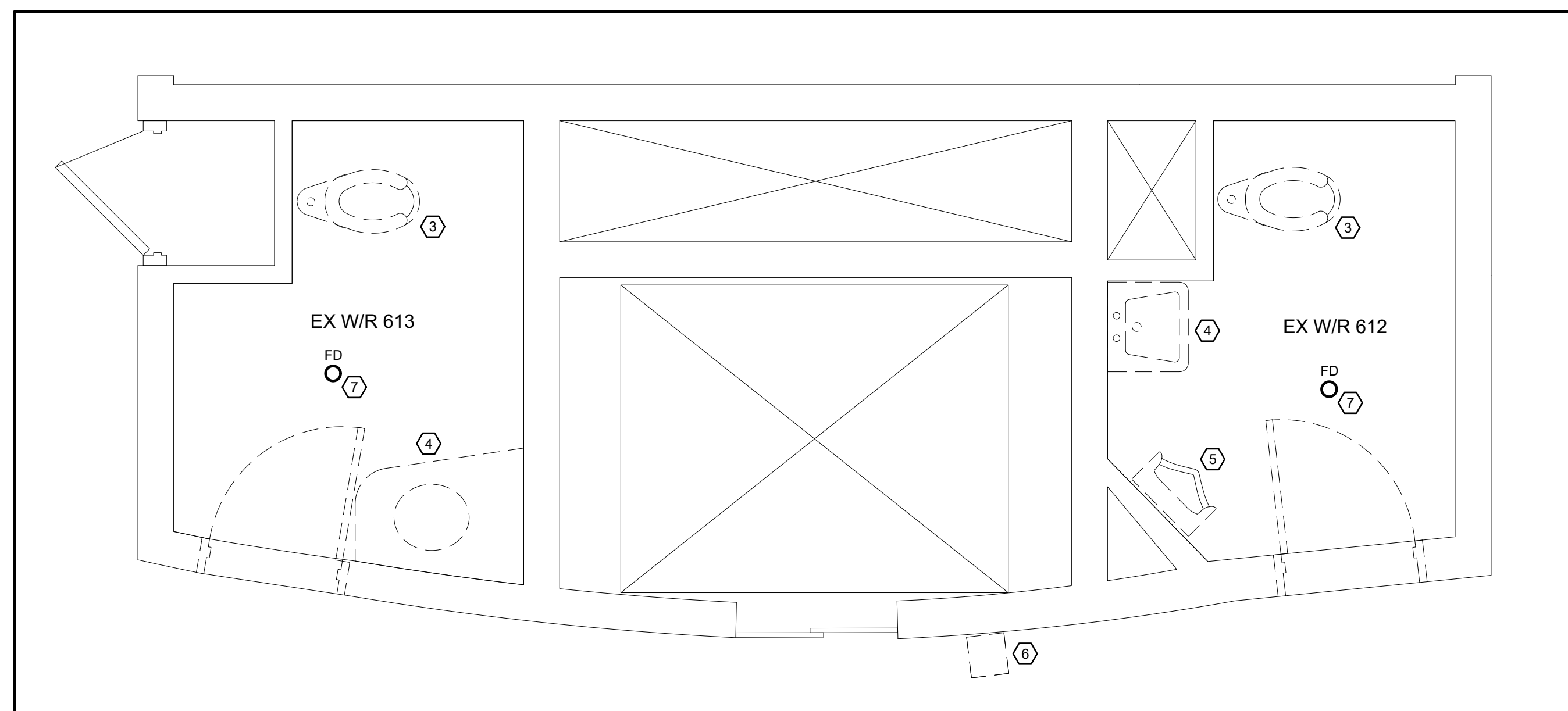
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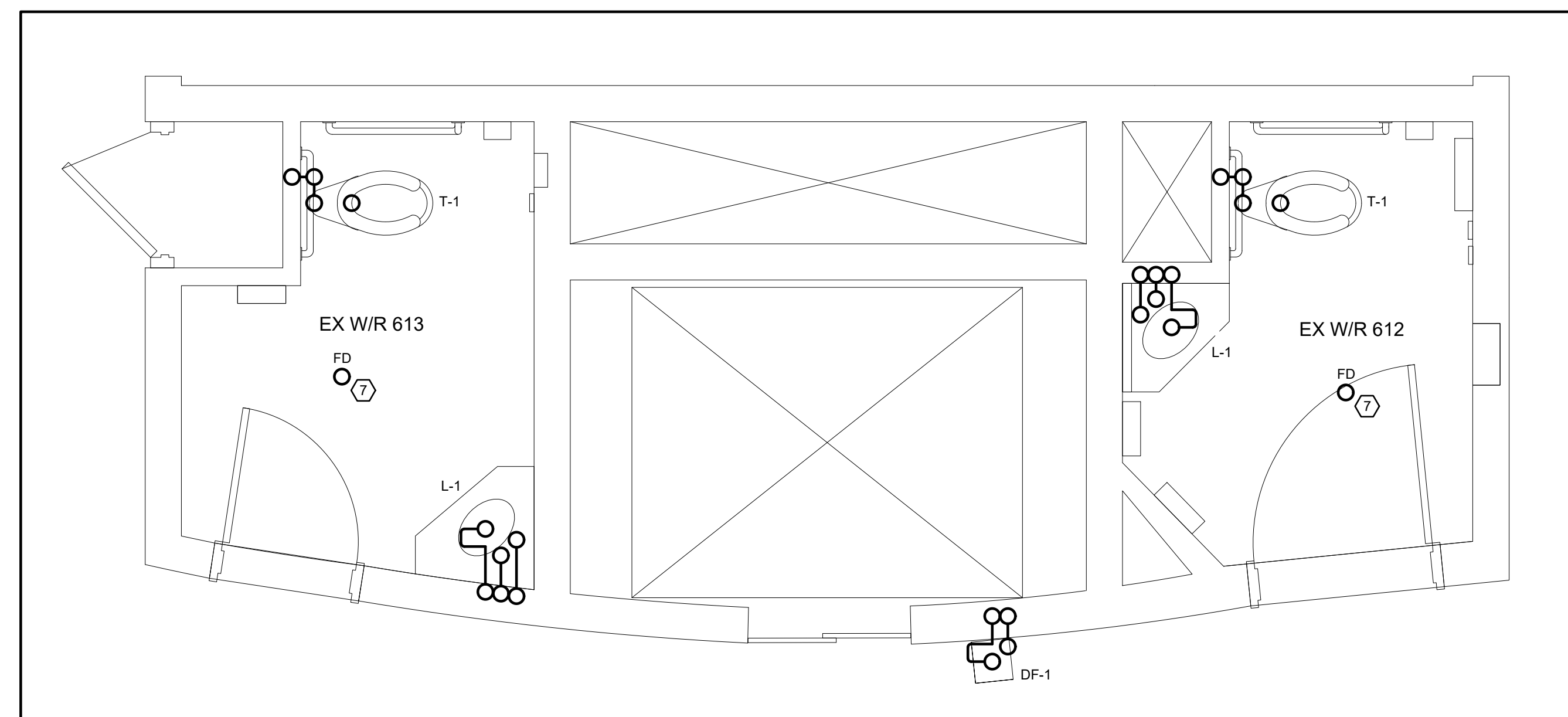
SIXTH FLOOR KEY PLAN
SCALE: NTS



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M1.00 SCALE: 1/2" = 1'-0"



1 DEMOLITION PLUMBING PLAN
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PROJECT
**BURLINGTON CITY HALL
5TH & 6TH FLOOR
WASHROOM RENO**
426 BRANT ST
BURLINGTON, ON L7R 3Z6

DRAWING TITLE
SIXTH FLOOR PLAN

**GRGURIC
ARCHITECTS
INCORPORATED**

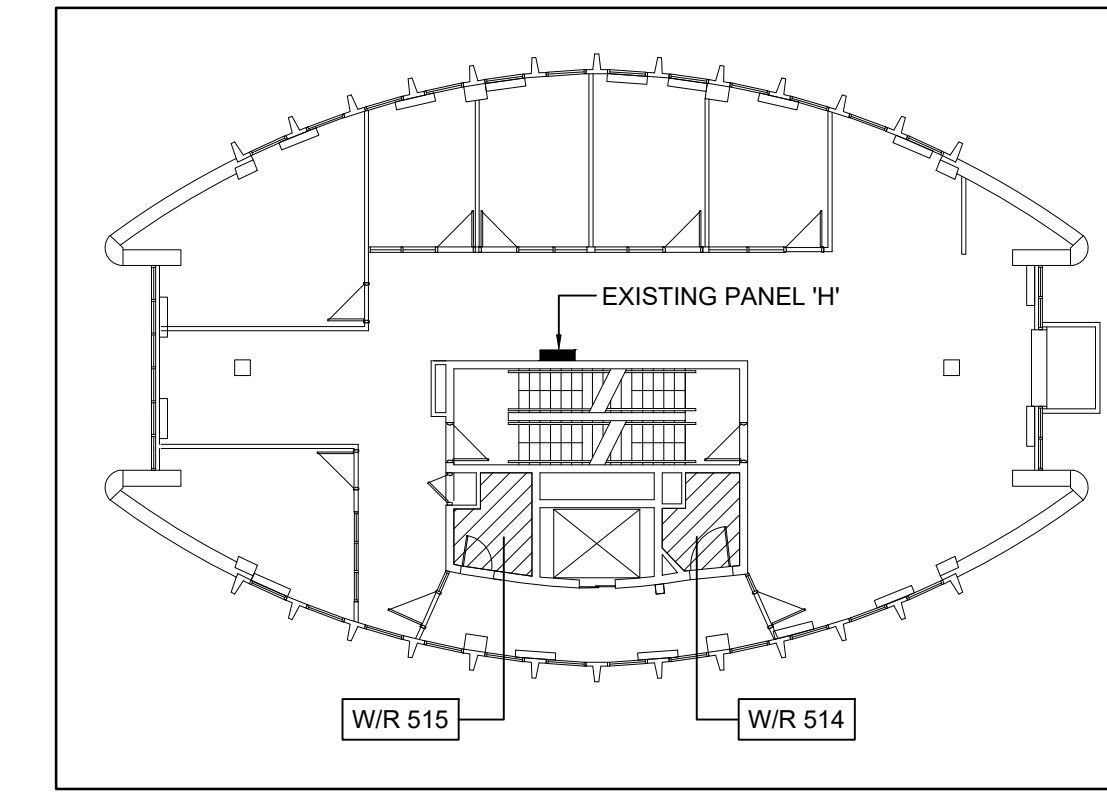
28 KING STREET EAST, UNIT B
STONE CREEK, ONTARIO, L8G 1J8
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SCALE: AS NOTED	PROJECT: 24018
START DATE: APRIL 2024	
DRAWN MR	DRAWING: M2.0
CHECKED JM	

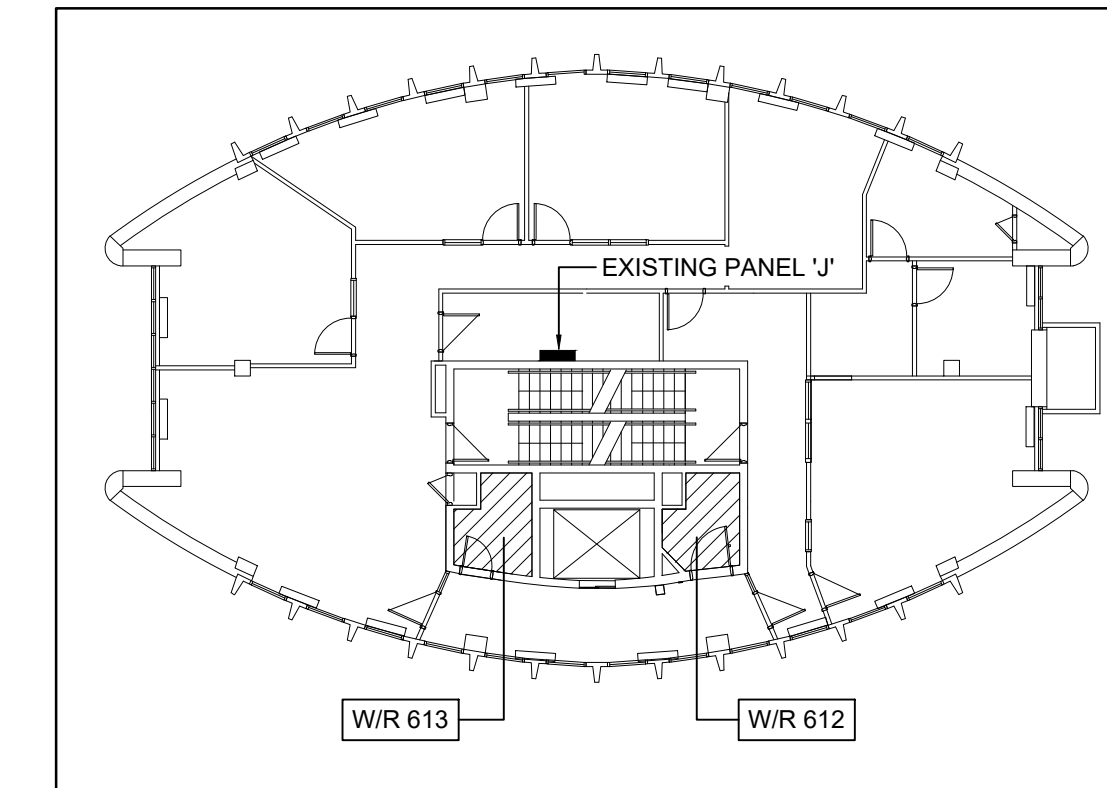
KEY NOTES:

- 1 EXISTING LIGHT FIXTURES TO REMAIN AS IS. CONTRACTOR TO PROVIDE NEW OCCUPANCY SENSORS FOR EACH DEDICATED WASHROOM TO OPERATE THE LIGHTING.
- 2 PROVIDE JUNCTION BOXES, POWER CONNECTIONS, CONTROL WIRING, ETC. AS REQUIRED FOR AUTOMATIC DOOR OPERATORS. REFER TO ARCHITECTURAL DRAWINGS FOR SPECIFICATIONS, SYSTEM TYPE AND RESPONSIBILITIES RE: SUPPLYING SYSTEM. PERFORM ALL ROUGH IN AND CONNECTIONS IN ACCORDANCE WITH THE O.B.C. MANUFACTURERS SHOP DRAWINGS. COORDINATE WITH ARCHITECTURAL DRAWINGS & G.C. ON SITE.
- 3 EMERGENCY CALL SYSTEM BUTTON TO BE RELOCATED TO NEW LOCATION AS INDICATED ON LAYOUT. EXTEND EXISTING FEEDERS TO NEW LOCATION AS REQUIRED. CONDUIT TO BE RECESSED IN EXISTING WALL, WITH RECESSED BOX. VERIFY ON SITE EXACT REQUIREMENTS.
- 4 PROVIDE POWER FOR NEW DRINKING FOUNTAIN DF-1. COORDINATE REQUIREMENTS AND LOCATIONS ON SITE WITH PLUMBING CONTRACTOR PRIOR TO ROUGH-IN.
- 5 PROVIDE NEW RECESSED EMERGENCY REMOTE HEAD C/W INTEGRATED BATTERY UNIT. CONNECT NEW LIGHT TO NEAREST EMERGENCY LIGHTING CIRCUIT IN THE AREA. CONFIRM REQUIREMENTS ON SITE PRIOR TO ROUGH-IN.
- 6 NEW FEEDERS SERVING DRINKING FOUNTAIN AND PUSHBUTTONS TO BE ROUTED THROUGH CABLE CHASE. CONTRACTOR TO CONFIRM EXACT ROUTING ON SITE PRIOR TO ROUGH-IN.
- 7 NEW FEEDERS SERVING PUSHBUTTON TO BE ROUTED FROM OFFICE SIDE OF WALL AND PUSHED THROUGH EXISTING CONCRETE WALL. PROVIDE WIREMOLD FOR PORTION EXPOSED BELOW CEILING. CONTRACTOR TO CONFIRM EXACT ROUTING ON SITE PRIOR TO ROUGH-IN.

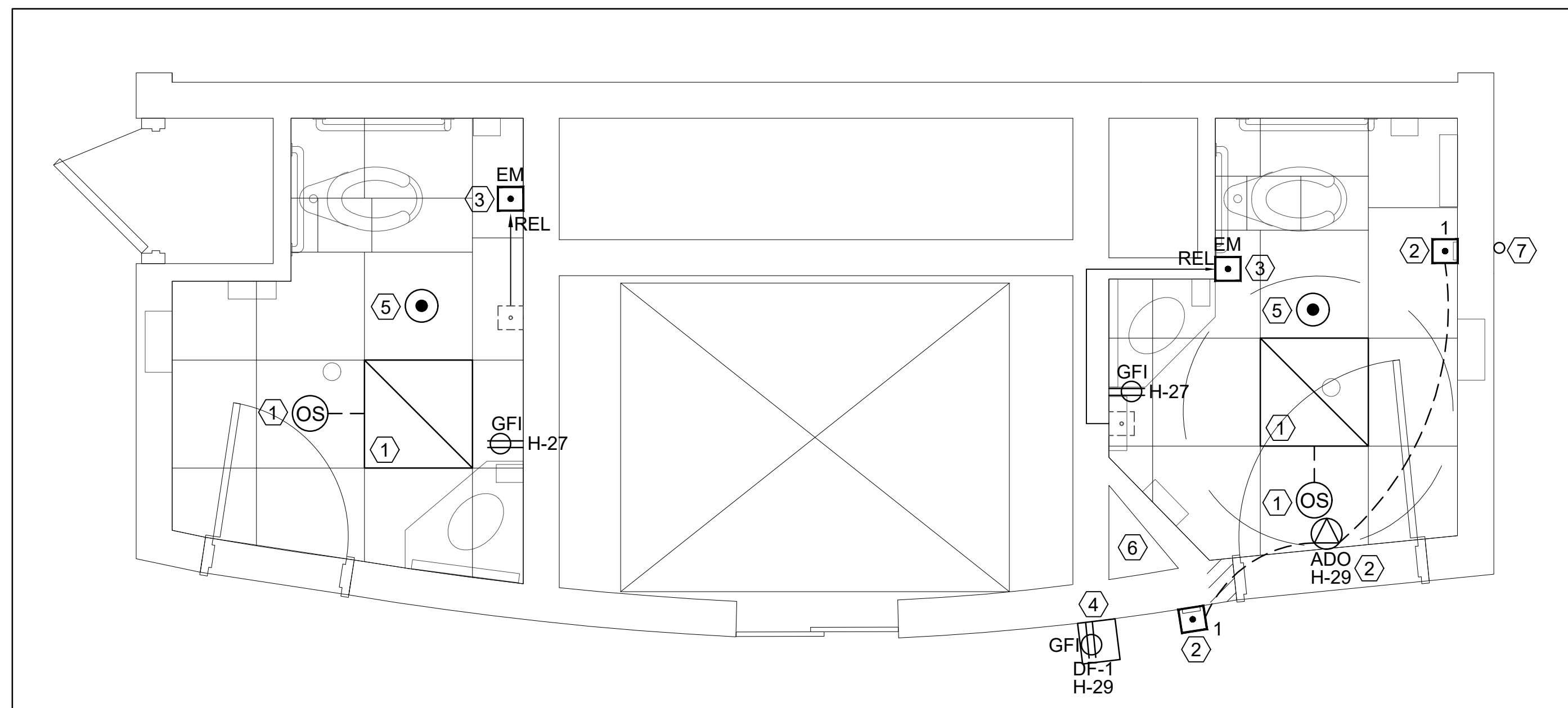
ELECTRICAL LEGEND		ABBREVIATIONS	
POWER		AC	ABOVE COUNTER
	120V, 2P, 3W DUPLEX RECEPTACLE	AFF	ABOVE FINISHED FLOOR
	120 VOLT DIRECT CONNECTION, 1PH.	C	CONDUIT
	FLUSH MOUNTED, SURFACE MOUNTED PANELBOARDS.	CL	CENTERLINE
1A-8	TYPICAL CIRCUIT NUMBER INDICATE PANEL 'A' AND CIRCUIT NUMBER 8.	E/EX/EXIST	EXISTING TO REMAIN
	PUSHBUTTON. SUBSCRIPT INDICATES TYPE. 1 - PUSH BUTTON FOR DOOR OPENER SUPPLIED BY OTHER, INSTALL BY DIV 16. 2 - PUSH BUTTON FOR DOOR BUZZER SUPPLIED AND INSTALL BY DIV 16. EM - EMERGENCY PUSH BUTTON	EM	EMERGENCY
LIGHTING		EMT	ELECTRICAL METALLIC TUBING
	LIGHTING FIXTURES. LETTER WITHIN INDICATES TYPE. (SUBSCRIPT "NL" INDICATES NIGHT LIGHT. IE: NO LOCAL SWITCHING).	FA	FIRE ALARM
	CEILING MOUNTED OCCUPANCY SENSOR	G/GRD/GND	GROUND
	RECESSED LED EMERGENCY REMOTE LIGHT C/W INTEGRATED BATTERY UNIT TO BE EQUAL TO CAT# LRAU-WHITE-UN-SQ	HC	HUNG CEILING
NOTES:		HP	HORSE POWER
1.	ALL EXIT & EMERGENCY LIGHTING SHALL CONFORM TO 'CSA C22.2 No.141-02'	MTD	MOUNTED
2.	SIZE ALL WIRES TO SUIT VOLTAGE DROP ACCORDINGLY TO WIRE LENGTH.	N/NEW	NEW EQUIPMENT
3.	PROVIDE DIRECTIONAL ARROW ON EXIT SIZES WHERE ARROW IS INDICATED ON PLAN	NIC	NOT IN CONTRACT
		NTS	NOT TO SCALE
		P	POLES
		PH	PHASE
		STD	STANDARD
		REL	TO BE RELOCATED
		REM	TO BE REMOVED
		REP	TO BE REPLACED WITH NEW
		TYP	TYPICAL
		UNF	UNFUSED
		UON	UNLESS OTHERWISE NOTED
		W	WIRE
		WP	WEATHERPROOF



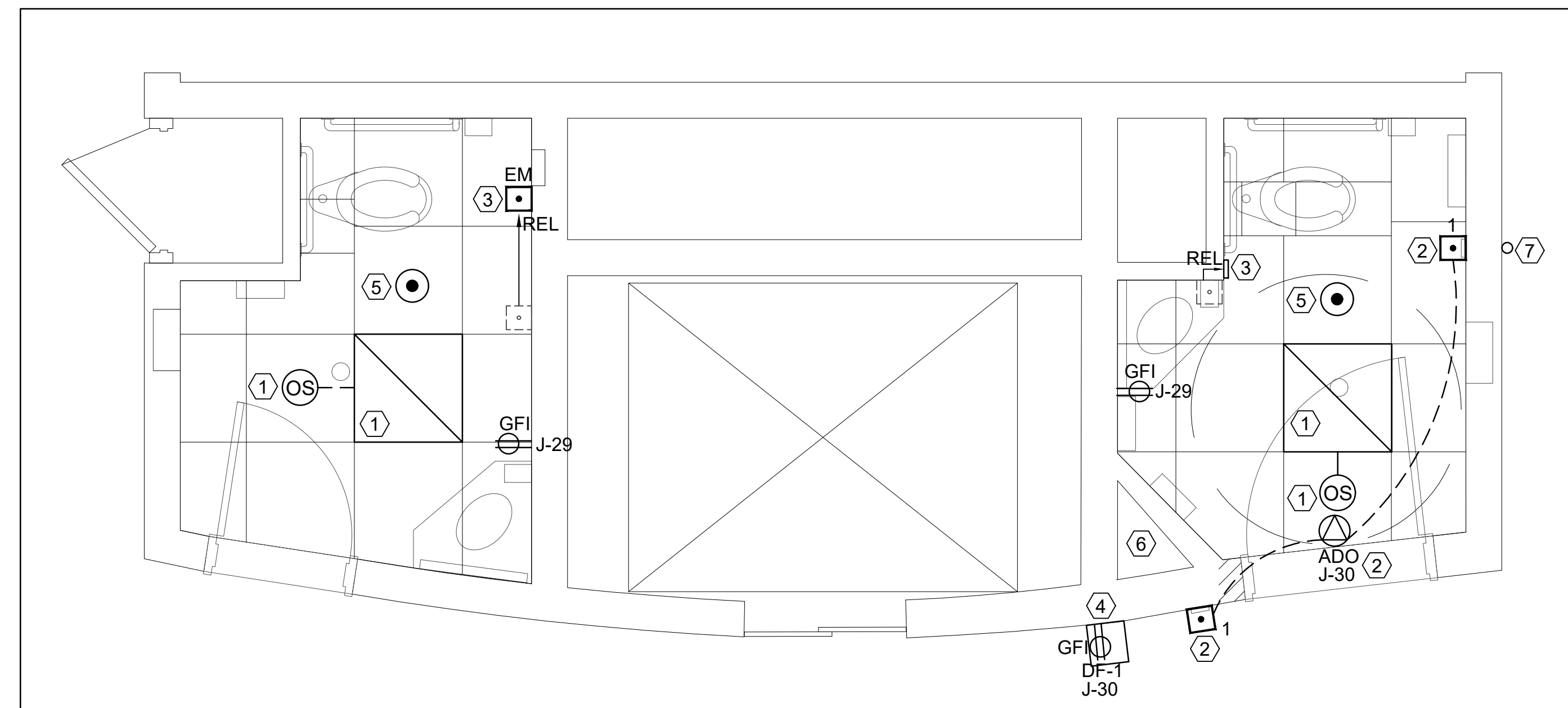
FIFTH FLOOR KEY PLAN
SCALE: NTS



SIXTH FLOOR KEY PLAN
SCALE: NTS



5TH FLOOR ELECTRICAL NEW PLAN
SCALE: 1/2" = 1'-0"



6TH FLOOR ELECTRICAL NEW PLAN
SCALE: 1/2" = 1'-0"

1	ISSUED FOR PERMIT / TENDER	04.24.2024
0	ISSUED FOR REVIEW	04.15.2024

NO.	REVISIONS	DATE
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DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE ARCHITECT & ENGINEER BEFORE PROCEEDING WITH THE WORK. THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.

THE CONTRACTOR AND SUB-TRADES ARE RESPONSIBLE TO CONTACT THE ENGINEER 1 WEEK IN ADVANCE IN ORDER TO SCHEDULE REQUIRED SITE VISITS AND PROVIDE INSPECTION REPORTS AS REQUIRED IN ACCORDANCE WITH THE GENERAL COMMITMENT & REVIEW PROCESS BY ARCHITECTS AND ENGINEERS.



ENGINEERING CONSULTANTS

RM
ENGINEERING

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PROJECT

**BURLINGTON CITY HALL
5TH & 6TH FLOOR
WASHROOM RENO**

426 BRANT ST
BURLINGTON, ON L7R 3Z6

DRAWING TITLE

ELECTRICAL PLAN

**GRGURIC
ARCHITECTS
INCORPORATED**

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STONE CREEK, ONTARIO, L8G 1J8
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ELECTRICAL SPECIFICATIONS

1. CODES & STANDARDS

1.1 COMPLETE THE INSTALLATION OF THE WORK IN ACCORDANCE WITH LATEST EDITIONS OF THE PROVINCIAL BUILDING CODE, PROVINCIAL ELECTRICAL SAFETY CODE, C.S.A. STANDARDS, U.L.C., N.F.P.A., O.S.H.A. AND OTHER CODES, AS REQUIRED. COMPLY WITH ELECTRICAL AND BUILDING CODE BULLETINS IN FORCE AT TIME OF BID SUBMISSION.

2. EXISTING CONDITIONS

2.1 VISIT THE SITE AND EXAMINE THE EXISTING CONDITIONS AFFECTING THE WORK OF THIS DIVISION. NO CLAIM FOR EXTRA PAYMENT SHALL BE MADE FOR EXTRA WORK MADE NECESSARY BY CIRCUMSTANCES ENCOUNTERED DUE TO CONDITIONS WHICH WERE VISIBLE UPON, OR REASONABLY INFERRABLE FROM AN EXAMINATION OF THE SITE PRIOR TO SUBMISSION OF THE BID. THIS INCLUDES THE EXISTING SERVICES TO PROPERTY OR RELATED TO THIS PROPERTY.

3. DEFINITIONS

3.1 WHEREVER THE WORDS "PROVIDE" OR "SUPPLY AND INSTALL", ARE USED, IT SHALL BE UNDERSTOOD TO MEAN "PROVIDE AND INSTALL, INCLUSIVE OF ALL LABOUR, MATERIALS, INSTALLATION, TESTING, AND CONNECTIONS" FOR THE ITEM TO WHICH IT REFERENCES.

4. MATERIALS AND EQUIPMENT

4.1 ALL MATERIALS AND EQUIPMENT SHALL BE NEW, C.S.A. CERTIFIED AND MANUFACTURED TO THE STANDARDS SPECIFIED.

4.2 WHERE THERE IS NO ALTERNATIVE TO SUPPLYING EQUIPMENT WHICH IS NOT C.S.A. CERTIFIED, OBTAIN SPECIAL APPROVAL FROM THE LOCAL INSPECTION DEPARTMENT.

5. PERMITS AND FEES

5.1 SUBMIT TO THE LOCAL ELECTRICAL INSPECTION DEPARTMENT, THE NECESSARY NUMBER OF DOCUMENTS FOR EXAMINATION, SPECIAL INSPECTION AND APPROVAL, PRIOR TO THE COMMENCEMENT OF THE WORK, AND PAY ALL COSTS AND ASSOCIATED FEES.

5.2 PROVIDE CERTIFICATE(S) OF ACCEPTANCE FROM THE AUTHORITIES INSPECTION DEPARTMENT, UPON COMPLETION OF WORK.

6. INSURANCE

6.1 PROVIDE AND MAINTAIN INSURANCE TO PROTECT THE OWNERS AND TRADES FROM ALL POSSIBLE CLAIMS. SUBMIT WITH BID FOR AN AMOUNT ACCEPTABLE TO OWNER AND GENERAL CONTRACTOR.

7. CONTRACT DOCUMENTS

7.1 THE DRAWINGS FOR THE ELECTRICAL WORK ARE DIAGRAMMATIC PERFORMANCE DRAWINGS ONLY, INTENDED TO CONVEY THE SCOPE OF WORK AND INDICATE THE GENERAL ARRANGEMENT AND APPROXIMATE LOCATION OF ELECTRICAL EQUIPMENT. THE DRAWINGS DO NOT INTEND TO SHOW ARCHITECTURAL, INTERIOR DESIGN, MECHANICAL, STRUCTURAL OR BASE BUILDING DETAILS. BE RESPONSIBLE FOR A THOROUGH KNOWLEDGE OF SAME BEFORE PROCEEDING WITH THE WORK.

7.2 DO NOT SCALE OR MEASURE DRAWINGS, BUT OBTAIN INFORMATION REGARDING ACCURATE DIMENSIONS FROM THE DIMENSIONS SHOWN ON THE DESIGN CONSULTANT/ARCHITECT'S DRAWING.

7.3 ANY DISCREPANCIES BETWEEN DRAWINGS AND/OR SPECIFICATIONS AND EXISTING CONDITIONS, MUST BE REFERRED TO THE DESIGN CONSULTANT/ARCHITECT BEFORE ANY WORK AFFECTED IS BEGUN.

7.4 COOPERATE AND COORDINATE WITH OTHER TRADES IN LAYING OUT OF WORK SO AS NOT TO CONFLICT WITH THE WORK OF OTHER TRADES. CARRY OUT WORK PROMPTLY AS PER CONSTRUCTION SCHEDULE AND COORDINATE WITH WORK OF OTHER TRADES.

7.5 MAKE, AT NO ADDITIONAL COST, ANY CHANGES OR ADDITIONS TO MATERIALS AND EQUIPMENT NECESSARY TO ACCOMMODATE STRUCTURAL CONDITIONS (OFFSETS AROUND BEAMS, COLUMN, ETC.)

8. INTENT

8.1 IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS THAT THE CONTRACTOR PROVIDE COMPLETE AND OPERATIONAL SYSTEMS AS REQUIRED.

8.2 WHERE DIFFERENCES OCCUR, THE MAXIMUM CONDITION SHALL GOVERN.

8.3 ANY MISCELLANEOUS ITEMS, HARDWARE, DEVICES, WIRING, ETC., NOT SPECIFICALLY DESCRIBED, BUT REQUIRED FOR THE OPERATION OF THE SYSTEM, MUST BE PROVIDED AND INCLUDED AS PART OF THE BID.

9. INSERTS, HANGERS AND SLEEVES

9.1 PROVIDE HANGERS, INSERTS, SLEEVES AND SUPPORTS AS REQUIRED FROM STRUCTURE.

9.2 HANGERS MUST NOT BE WELDED TO STRUCTURAL STEEL MEMBERS AND BURNING OF HOLES IN STRUCTURAL STEEL IS PROHIBITED.

9.3 DO NOT USE ANY BASE BUILDING SUPPORTS OR EQUIPMENT, INCLUDING CEILING SUPPORT SYSTEM. SUPPORT FROM STRUCTURAL MEMBERS.

10. CUTTING AND PATCHING

10.1 ALL CUTTING AND PATCHING REQUIRED TO THE EXISTING BUILDING STRUCTURE FOR THE WORK SHALL BE INCLUDED UNDER THIS CONTRACT AND BE ACCEPTABLE TO THE GENERAL CONTRACTOR. OBTAIN WRITTEN APPROVAL FROM GENERAL CONTRACTOR BEFORE ANY CUTTING IS CARRIED OUT.

10.2 WHERE CONDUITS PASS THROUGH FIRE RATED WALLS OR FLOORS, PROVIDE FIRE STOPPING MATERIAL LISTED WITH, AND BEAR LABEL OF CSA AND ULC, AND MAINTAIN SAME FIRE RATING OF BUILDING COMPONENT PENETRATION.

11. LOCATION OF OUTLETS

11.1 REFER TO DESIGN CONSULTANT'S/ARCHITECT'S DRAWINGS FOR EXACT LOCATIONS OF ALL LIGHTING FIXTURES AND WIRING DEVICES, IF REQUIRED.

11.2 ALTER LOCATION OF OUTLETS AT NO COST OR CREDIT, PROVIDING DISTANCE DOES NOT EXCEED 3M (10'-0") AND INFORMATION IS GIVEN BEFORE ROUGH-IN.

11.3 ALL OUTLETS TO BE MARKED ON JOB SITE FOR APPROVAL BY DESIGN CONSULTANT/ARCHITECT PRIOR TO INSTALLATION.

12. PLYWOOD

12.1 PLYWOOD BACKBOARDS SHALL BE 19MM (3/4") THICK, OF HIGHEST QUALITY FIRE RETARDANT FIR. REFER TO DRAWINGS FOR SIZE. PRIME AND PAINT BACKBOARDS WITH FIRE RETARDANT PAINT EQUAL TO CGSB SPEC. #1-GP-151M, OF A COLOUR AS SELECTED BY THE DESIGN CONSULTANT/ARCHITECT.

13. ACCESS DOORS

13.1 WHEREVER ANY BASE BUILDING EQUIPMENT REQUIRES ACCESSIBILITY, MAINTENANCE OR ADJUSTMENT, PROVIDE ACCESS DOORS APPROVED BY DESIGN CONSULTANT/ARCHITECT AND LANDLORD.

14. CORE DRILLING

14.1 BEFORE CORE DRILLING FLOOR SLAB OR STRUCTURAL WALLS, X-RAY SLAB OR WALLS AND HAVE THE LOCATIONS ACCEPTED BY THE GENERAL CONTRACTOR IN WRITING.

14.2 ANY BUILDING SERVICE DAMAGED BY CORE DRILLING MUST BE REPAIRED IMMEDIATELY AT NO COST TO GENERAL CONTRACTOR.

15. NOISE AND VIBRATION

15.1 ELECTRICAL EQUIPMENT IS TO OPERATE WITHOUT OBJECTIONABLE NOISE OR VIBRATION. IF, IN THE OPINION OF THE CONSULTANT, THE EQUIPMENT OPERATES WITH EXCESSIVE NOISE OR VIBRATION, THEN THE EQUIPMENT MUST BE REPLACED OR NOISE OR VIBRATION ELIMINATED.

15.2 CONNECTIONS TO NOISE-PRODUCING AND VIBRATING EQUIPMENT MUST BE MADE WITH FLEXIBLE CONDUIT. THIS INCLUDES TRANSFORMERS, DIMMING EQUIPMENT RACKS, AND MOTORS. USE A MINIMUM OF 1M (3 FT) OF FLEXIBLE CABLE WITH SLACK AT EACH DEVICE.

15.3 VIBRATION ISOLATORS ARE TO BE PROVIDED WHERE INDICATED OR REQUIRED. TRANSFORMERS TO BE ISOLATED FROM THE STRUCTURE, WITH SPRING AND RUBBER ISOLATORS WHEN WALL MOUNTED OR SUSPENDED AND 12MM (1/2") HIGH DENSITY NEOPRENE SANDWICH PADS (TYPE MWP) WHEN FLOOR MOUNTED.

16. SITE SERVICES

16.1 PROVIDE ALL ELECTRICAL SERVICES ON SITE PLAN TO HYDRO REGULATIONS WEATHER STIPULATED OR NOT.

16.2 OBTAIN ALL PERMITS FOR NEW HYDRO SERVICE, PAY ALL FEES FOR NEW SERVICE AS ARRANGED WITH GENERAL CONTRACTOR.

16.3 PROVIDE ALL ESCAVATION AND BACKFILL REQUIRED FOR THIS SECTION.

17. INTERRUPTION OF SERVICES

17.1 INTERRUPTION OF ELECTRICAL SERVICE TO ANY PART OF THE BUILDING SHALL OCCUR ONLY BY PRE-ARRANGEMENT WITH AND AT TIMES SUITABLE TO THE LANDLORD.

17.2 INTERRUPTIONS SHALL ONLY OCCUR DURING PREMIUM TIME PERIODS; ALL ALLOWANCES FOR THIS SHALL BE INCLUDED IN THE PRICE SUBMITTED.

18. IDENTIFICATION

18.1 PROVIDE LAMACOD NAMEPLATES ON ALL METERING SWITCHBOARD, PANELS, DISCONNECT SWITCHES, SPLITTERS, ETC., TO MATCH BASE BUILDING. NAMEPLATES SHALL BE MECHANICALLY ATTACHED TO EQUIPMENT.

18.2 PROVIDE TYPEWRITTEN DIRECTORIES FOR NEW AND EXISTING PANELS. CONFIRM EXISTING IDENTIFICATION AND CORRECT WHERE NECESSARY.

18.3 CLEARLY MARK ALL EXPOSED CONDUIT, PULLBOXES, JUNCTION BOXES, ETC., TO INDICATE THE NATURE OF THE SERVICE TO MATCH BASE BUILDING STANDARDS.

19. VALUATION OF CHANGES

19.1 PROVIDE COMPLETE BREAKDOWN OF MATERIAL, LABOUR, OVERHEAD, PROFIT, ETC., WHEN SUBMITTING QUOTATIONS FOR CHANGE NOTICES ON THIS PROJECT.

19.2 THE HOURLY LABOUR RATE SHALL BE INCLUSIVE OF ALL CHARGES FOR SUPERVISION, VARIABLE LABOUR FACTORS, HAND TOOLS, PAYROLL BURDENS, HEIGHT FACTORS, WARRANTIES, STORAGE, RENTALS, ADDITIONAL BONDING, PARKING, CLEAN-UP, AS-BUILT DRAWINGS, HOISTING, FREIGHT AND DELIVERY, BUT EXCLUSIVE OF OVERHEAD AND PROFIT.

19.3 THE LABOUR HOURS SHALL BE BASED ON THE LATEST ISSUE OF THE NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA) LABOUR UNITS, COLUMN ONE NORMAL FOR THE DURATION OF THIS CONTRACT.

19.4 THE MATERIAL PRICES SHALL BE BASED ON THE CURRENT NATIONAL PRICES SYSTEM (NPS) CATALOGUE LESS APPLICABLE TRADE DISCOUNTS.

20. COMPLETION OF CONTRACT

20.1 PROVIDE SHOP DRAWINGS FOR APPROVAL OF ALL EQUIPMENT SPECIFIED TO BE USED ON THIS PROJECT.

20.2 FROM THE DATE OF ISSUANCE OF A "CERTIFICATE OF SUBSTANTIAL PERFORMANCE", PROVIDE A WRITTEN GUARANTEE FOR ONE YEAR COVERING ALL EQUIPMENT, MATERIALS AND WORKMANSHIP, OTHER THAN LAMPS. INSERT IN OPERATIONS AND MAINTENANCE MANUAL.

20.3 DEFECTS AND DEFICIENCIES WHICH ORIGINATE OR BECOME EVIDENT DURING THE WARRANTY PERIOD MUST BE REPAIRED OR REPLACED, AT NO COST.

20.4 SPARE

20.5 IF, DURING THE WARRANTY PERIOD, TRANSFORMERS, BALLASTS OR OTHER NOISE AND VIBRATION PRODUCING EQUIPMENT ARE CONSIDERED BY THE CONSULTANT TO EXCEED ACCEPTABLE STANDARDS, THEN THESE MUST BE REPLACED WITHOUT DELAY OR ADDITIONAL COST TO THE TENANT. ALL WORK RELATING TO THE REPLACEMENT OF DEFECTIVE ITEMS, MUST BE CARRIED OUT AFTER NORMAL WORKING HOURS AND AT A TIME WHICH IS ACCEPTABLE TO THE TENANT.

20.6 ALL THE EQUIPMENT MUST BE CLEANED AND TESTED BEFORE FINAL ACCEPTANCE BY THE CONSULTANT.

21. AS-BUILT DRAWINGS

21.1 AT THE COMPLETION OF WORK AND BEFORE FINAL ACCEPTANCE, PROVIDE AS-BUILT DRAWINGS OF THE INSTALLATION, IN AUTO-CAD FORMAT. DRAWING FILES CAN BE OBTAINED FROM THE CONSULTANT.

21.2 INCORPORATE ALL CHANGES AND DEVIATIONS FROM TENDER DRAWINGS, UTILIZING NORMAL RECOGNIZED DRAFTING PROCEDURES THAT MATCH THE ORIGINAL DRAFTING METHODOLOGY.

21.3 ALL MAIN BRANCH CONDUIT RUNS, JUNCTION BOX LOCATIONS, CONDUIT RUNS FOR ALL FLOOR OUTLETS, ETC., MUST BE REFLECTED ON THE DRAWINGS.

21.4 REMOVE THE ELECTRICAL ENGINEER'S STAMP AND COMPANY NAME FROM ALL DRAWINGS.

21.5 CLEARLY INDICATE THE WORDS "AS-BUILT" IN THE TITLE BLOCK COLUMN OF THE DRAWINGS AS WELL AS THE ELECTRICAL CONTRACTOR'S NAME AND ADDRESS.

21.6 SUBMIT A SET OF PRINTS TO CONSULTANT FOR REVIEW. WHEN FOUND ACCEPTABLE BY THE CONSULTANT, SUBMIT SIX (6) SETS OF PRINTS TOGETHER WITH THE CAD DISK FOR PRESENTATION TO THE LANDLORD AND TENANT.

22. OPERATION AND MAINTENANCE MANUALS

22.1 PROVIDE 3 (THREE) SETS OF OPERATION AND MAINTENANCE MANUALS. INCLUDE THE FOLLOWING INFORMATION IN THE OPERATIONS AND MAINTENANCE MANUALS:

- NAMES AND ADDRESS OF LOCAL SUPPLIERS FOR THE ITEMS INCLUDED.
- TECHNICAL DATA, PRODUCT DATA, SUPPLEMENTED BY BULLETINS, COMPONENT ILLUSTRATIONS, EXPLODED VIEWS, TECHNICAL DESCRIPTIONS OF ITEMS, AND PARTS LISTS. ADVERTISING OR SALES LITERATURE IS NOT ACCEPTABLE.
- THE CONSULTANTS REVIEWED SHOP DRAWINGS.
- CERTIFICATE(S) OF ACCEPTANCE FROM THE AUTHORITIES INSPECTION DEPARTMENT.
- VERIFICATION REPORTS AND CERTIFICATE(S) FOR ANY NEW FIRE ALARM COMPONENTS OR TIE-INS AND ANY BASE BUILDING TIE-INS FOR MISCELLANEOUS SYSTEMS (I.E. SECURITY, LIGHTING CONTROL, DIGITAL METERING).
- LOAD BALANCE REPORT
- WRITTEN GUARANTEE

22.2 REVIEW INFORMATION PROVIDED IN THE MAINTENANCE INSTRUCTIONS AND MANUALS WITH THE TENANT'S OPERATING PERSONNEL AND LANDLORD'S OPERATING PERSONNEL WHERE BASE BUILDING SYSTEMS ARE REVISED, TO ENSURE A COMPLETE UNDERSTANDING OF THE ELECTRICAL EQUIPMENT AND SYSTEMS AND THEIR OPERATION.

GENERAL SPECIFICATIONS

1. CONDUITS AND CONDUIT FITTINGS

1.1 PROVIDE ALL CONDUIT UP TO AND INCLUDING 101MM (4") SIZE, AS EMT THIN WALL WITH STEEL SET SCREW COUPLINGS AND CONNECTORS.

1.2 PROVIDE FLEXIBLE METAL CONDUIT FOR CONNECTION TO MOTORS AND TRANSFORMERS.

1.3 INSTALL CONDUITS TO CONSERVE HEADROOM, PARALLEL AND PERPENDICULAR TO BUILDING LINES. DO NOT CADDIE CLIP CONDUITS TO CEILING HANGERS.

1.4 ALL CONDUITS SHALL BE COMPLETE WITH NYLON FISH WIRE.

1.5 ALL COMMUNICATIONS CONDUIT SHALL BE INSTALLED COMPLETE WITH BUSHINGS AT EACH END. THE CONTRACTOR SHALL INFORM THE CONSULTANT OF ANY COMMUNICATIONS CONDUIT LENGTHS IN EXCESS OF 70M (230 FT.) PRIOR TO INSTALLATION.

2. JUNCTION BOXES AND PULL BOXES

2.1 THEY SHALL BE SUITABLE FOR SURFACE MOUNTING AND BE OF WELDED STEEL CONSTRUCTION WITH SCREW-ON FLAT COVERS.

2.2 FOR FLUSH-MOUNTED PULL AND JUNCTION BOXES, PROVIDE COVERS WITH 25MM (1") MINIMUM EXTENSION ALL AROUND.

2.3 INSTALL JUNCTION AND PULL BOXES IN INCONSPICUOUS BUT ACCESSIBLE LOCATIONS.

2.4 A MINIMUM OF ONE PULL BOX SHALL BE INSTALLED FOR EVERY 100 FT. (30M) OF CONDUIT. (NOTE: EACH 90 DEG. BEND SHALL EQUATE TO A 30 FT. (9M) LENGTH OF CONDUIT).

2.5 NO MORE THAN TWO (2) - 90 DEG. BENDS SHALL BE INSTALLED BETWEEN ANY TWO ADJACENT PULL BOXES.

3. CONCRETE ENCASED DUCT BANKS AND PRECAST CONCRETE WORK

3.1 ALL THE ROUGH EXCAVATION AND BACKFILLING OUTSIDE THE BUILDING SHALL BE PROVIDED BY THIS DIVISION AND ALL CONCRETE AND REINFORCING SHALL BE PROVIDED BY THIS DIVISION.

3.2 THE CORRECT ROUTING, SLOPES, SIZE, LOCATION AND CONSTRUCTION OF ALL DUCTBANKS, DRAINAGE PITS, AND MARKERS ARE WITHIN THE SCOPE OF THIS SECTION.

3.3 PULLING CABLE

3.3.1 PROVIDE PULLING CABLE FOR EACH DUCT. PULLING CABLE SHALL BE 6 MM (1/4") STRANDED NYLON OR POLYPROPYLENE ROPE.

3.4 CABLE RACKS

3.4.1 CABLE RACKS SHALL BE MANUFACTURED FROM HOT DIPPED GALVANIZED STEEL AND MOUNTED ON 12 X 100 MM (1/2" X 4") PRESET INSERTS.

3.5 DUCTWORK

3.5.1 RIGID PLASTIC POWER CABLE DUCTS, SHALL BE MANUFACTURED TO C.S.A. C22.2, NO. 211.1.

3.5.2 PVC TELECOMMUNICATION AND TV CABLE DUCTS, SHALL BE MANUFACTURED TO C.S.A. B196.3.

3.5.3 DUCT COUPLINGS, STRAIGHT AND ANGLE FITTINGS, EXPANSION JOINTS, PLUGS, CAPS, ADAPTORS AND SOLVENT SHALL BE AS REQUIRED TO MAKE A COMPLETE INSTALLATION.

3.6 FORMWORK AND SHORING

3.6.1 COMPLY WITH THE REQUIREMENTS OF THIS SECTION.

3.7 MARKERS

3.7.1 MARKERS SHALL BE PRE-CAST CONCRETE TYPE, WITH DIRECTION ARROWS.

3.8 PRIOR TO ANY CONCRETE POURING, OBTAIN APPROVAL FROM LOCAL UTILITIES INSPECTORS.

3.9 SLOPE DUCTBANK AWAY FROM BUILDING TOWARDS PROPERTY LINE. PROVIDE DRAINAGE PIT AT ALL LOW POINTS IN THE SYSTEM.

3.10 AFTER COMPLETION OF DUCTBANK SYSTEM, INSTALL PULLING CABLES IN EACH DUCT AND IDENTIFY LOCATION OF SYSTEM AT GRADE.

3.11 PROVIDE DRAINAGE PIT AT LOW POINTS OF DUCTBANK WHERE REQUIRED. AT PIT, USE PERFORATED DUCT WITH OPENINGS ON THE UNDERSIDE, AND COMPACTED GRANULAR 'A' GRAVEL DRAINAGE MATERIAL. 1M (3 FT.) DIA. PRE-CAST CONCRETE PIPE SECTIONS SHALL FORM THE EXTERIOR OF THE PIT. DEPTH OF PIT SHALL BE SUCH THAT BASE IS DOWN TO PERMEABLE MATERIAL.

3.12 BUILD THE DUCTBANK ON UNDISTURBED SOIL, OR ON WELL COMPACTED GRANULAR FILL, NO LESS THAN 150 MM (6") THICK, COMPACTED TO 95% OF MAXIMUM PROCTOR DRY DENSITY, AND AT THE ELEVATIONS AS REQUIRED, AND WITH A MINIMUM SLOPE OF 0.3%, TOWARDS THE PROPERTY LINE UNLESS OTHERWISE SHOWN.

3.13 PROVIDE FORMWORK AND SHORING AS REQUIRED WHEN SIDES OF EXCAVATION ARE NOT SUITABLE FOR DUCTBANK ENCASEMENT.

3.14 INSTALL BASE SPACERS AT MAXIMUM INTERVALS OF 1.5M (5'-0").

3.15 MAKE TRANSPOSITIONS, OFFSETS AND CHANGES IN DIRECTION USING 5 DEG. BEND SECTIONS, DO NOT EXCEED A TOTAL OF 20 DEGS. WITH DUCT OFFSET. USE BELL ENDS, AT DUCT ENTRY TO BUILDING OR MANHOLES. AT THE END OF A DUCTBANK RUN, TERMINATE DUCT WITH A DUCT COUPLING, SET FLUSH WITH THE CONCRETE ENVELOPE.

3.16 LAY DUCTS WITH CONFIGURATION AS INDICATED WITH PREFORMED INTERLOCKING, RIGID PLASTIC, INTERMEDIATE SPACERS TO MAINTAIN SPACING BETWEEN DUCTS AT NOT LESS THAN 75 MM (3") HORIZONTALLY AND VERTICALLY UNLESS OTHERWISE SHOWN. STAGGER JOINTS IN ADJACENT DUCT LAYERS AT LEAST 150 MM (6") AND MAKE JOINTS WATERTIGHT. CLEAN AND CAP DUCTS BEFORE ALLOWING ANY REINFORCING OR CONCRETE WORK.

3.17 USE 15M REINFORCING RODS THAT CONFORM TO CSA G30.12, GRADE 400, UNLESS OTHERWISE NOTED, AND FORM DUCT BANK AS REQUIRED.

3.18 ENSURE DUCTWORK IS ENCASED WITH 75 MM (3") THICK 20MPA (3000 PSI) CONCRETE ENVELOPE UNLESS OTHERWISE SHOWN. ENSURE DUCTS DO NOT MOVE DURING REINFORCING WORK OR CONCRETE POURING OPERATION.

3.19 IMMEDIATELY AFTER PLACING OF CONCRETE, PULL THROUGH EACH DUCT A (STEEL) MANDREL NOT LESS THAN 300 MM (12") LONG AND OF A DIAMETER 6 MM (1/4") LESS THAN INTERNAL DIAMETER OF DUCT, FOLLOWED BY STIFF BRISTLE BRUSH TO REMOVE SAND, EARTH AND OTHER FOREIGN MATTER. AVOID DISTURBING OR DAMAGING DUCTS WHERE CONCRETE HAS NOT SET COMPLETELY.

3.20 ENSURE CONCRETE HAS ATTAINED 50% OF ITS SPECIFIED STRENGTH BEFORE ANY BACKFILLING.

3.21 INSTALL 4 (FOUR) 3M (10FT.) LENGTHS OF 15M REINFORCING RODS, ONE AT EACH CORNER OF DUCTBANK, WHEN CONNECTING DUCTBANK TO MANHOLES AND BASEMENT OF BUILDINGS.

4. OUTLET BOXES

4.1 OUTLET BOXES SHALL BE ELECTRO-GALVANIZED STEEL, SIZED AS REQUIRED BY CODE.

4.2 PROVIDE EACH LIGHT SWITCH, RECEPTACLE, COMMUNICATION AND OTHER OUTLET WITH AN OUTLET BOX. INSTALL PLUMB AND TRUE. PROVIDE 76MM (3") DEEP 1004 BOXES FOR DIMMING SWITCHES.

4.3 ADAPT ALL OUTLET BOXES TO THEIR RESPECTIVE LOCATIONS AND SUPPORT INDEPENDENTLY OF THE CONDUIT. DO NOT CADDIE CLIP TO CEILING HANGERS.

4.4 PROVIDE BLANK COVERPLATES FOR BOXES WITHOUT WIRING DEVICES.

4.5 DO NOT INSTALL OUTLET BOXES BACK TO BACK IN PARTITIONS. STAGGER TO PREVENT SOUND TRANSFER.

4.6 TWO OR MORE OUTLET BOXES THAT OCCUR AT THE SAME LOCATION SHALL BE GANGED TOGETHER IN THE SAME COVERPLATE UNLESS OTHERWISE NOTED.

5. WIRE AND CABLE

5.1 ALL WIRE AND CABLE SHALL BE COPPER, MINIMUM 12 GAUGE, NO. 12 AND NO. 10 SOLID, NO. 8 AND LARGER STRANDED, WITH RW90 INSULATION.

5.2 BX #12 MAY BE USED IN CEILING SPACE FROM CEILING DISTRIBUTION BOX DOWN TO RECEPTACLES IN PARTITIONS. BX RUNS IN CEILING SPACE NOT TO EXCEED 3048MM (10'-0") IN LENGTH.

5.3 SIZE ALL WIRE FOR MAXIMUM 2 % VOLTAGE DROP.

5.4 ALL HOME RUNS TO BE IN CONDUIT.

5.5 CONDUCTOR SIZES ARE BASED ON CONNECTED EQUIPMENT HAVING A TEMPERATURE MARKING OF 750C OR HIGHER. WHERE EQUIPMENT DOES NOT HAVE A TEMPERATURE MARKING OR IT HAS A MARKING LOWER THAN 750C, INCREASE THE SIZE OF THE CONDUCTORS ACCORDINGLY, TO THE SATISFACTION OF THE CONSULTANT.

5.6 FOR WIRES IN CONDUIT, CONDUCTOR SIZES ARE BASED ON NOT MORE THAN 3 CURRENT CARRYING CONDUCTORS IN A CONDUIT. WHERE MORE THAN 3 CURRENT CARRYING CONDUCTORS ARE INSTALLED IN A CONDUIT INCREASE THE CONDUCTOR SIZE ACCORDINGLY, TO THE SATISFACTION OF THE CONSULTANT.

6. INSTALLATION OF CABLES IN DUCTS

6.1 DUCT SEALING COMPOUND

6.1.1 DUCT SEALING COMPOUND SHALL BE A NON-THERMOPLASTIC COMPOUND AND SHALL ALLOW FOR EXPANSION AND CONTRACTION OF DUCTS AND CABLES, WITHOUT LOSS OF SEALING PROPERTIES.

6.2 CABLE INSTALLATION IN DUCTS

6.2.1 BEFORE INSTALLATION OF CABLES, PULL STIFF BRISTLE BRUSH THROUGH EACH DUCT.

6.2.2 INSTALL CABLES AS INDICATED. DO NOT PULL SPLICED CABLES INSIDE DUCTS.

6.2.3 INSTALL MULTIPLE CABLES IN DUCTS SIMULTANEOUSLY.

6.2.4 USE LUBRICANT TO REDUCE PULLING TENSION.

6.2.5 TO FACILITATE MATCHING OF COLOUR CODED MULTICONDUCTOR CONTROL CABLES, REEL OFF IN SAME DIRECTION DURING INSTALLATION.

6.2.6 AFTER INSTALLATION OF CABLES, SEAL DUCT ENDS WITH DUCT SEALING COMPOUND.

7. SERVICE EQUIPMENT

7.1 ALL NEW PANELBOARDS, DISCONNECT SWITCHES, METERS, TRANSFORMERS, ETC. TO BE SAME MANUFACTURE, RATING AND TYPE AS BASE BUILDING EQUIPMENT UNLESS OTHERWISE NOTED. MOULDED CASE CIRCUIT BREAKERS TO BE BOLT-ON AND SAME MANUFACTURER, RATING AND TYPE AS BASE BUILDING BREAKERS. IF UNABLE TO MATCH BASE BUILDING EQUIPMENT, ONE OF THE FOLLOWING MANUFACTURER'S EQUIPMENT MUST BE PROVIDED, (OR EQUAL TO): FPL, CULTER-HAMMER, SQUARE D, SIEMENS

7.2 DRY TYPE TRANSFORMERS SHALL BE OF THE SAME MANUFACTURER AS THE BASE BUILDING BUT WITH A DESIGN K FACTOR OF 13 AND WITH ELECTROSTATICALLY SHIELDED WINDINGS. PROVIDE DOUBLE LUGS ON TRANSFORMER NEUTRALS FOR CONNECTION OF CABLES. IF UNABLE TO MATCH BASE BUILDING TRANSFORMER, ONE OF THE FOLLOWING MANUFACTURER'S TRANSFORMERS MUST BE PROVIDED, (OR EQUAL TO): FPL, SQUARE D

7.3 CEILING MOUNT TRANSFORMERS UP TO 45 KVA WITH SUSPENSION RODS AND SPRING ISOLATORS. TRANSFORMERS 75 KVA AND LARGER TO BE FLOOR MOUNTED ON KORFUND ISOLATION PADS UNLESS OTHERWISE NOTED.

8. CABLE TROUGHS

8.1 CABLE TROUGHS, AS DEFINED IN CSA C22.2, NO. 126, ACCESSORIES AND FITTINGS SHALL BE MANUFACTURED TO EMAC F5.1.

8.2 UNLESS OTHERWISE NOTED, POWER SYSTEMS AND TELEDATA/HUB ROOM CABLE TRAYS SHALL BE VENTILATED STEEL, CLASS C1, WITHOUT COVER, SIZED AS INDICATED AND WITH A NATURAL FINISH.

8.3 SUPPORTS SHALL BE ROD AND CHANNEL OF A SIZE TO SUIT TOTAL LOAD.

8.4 SUPPLY ALL BENDS, ELBOWS, END PLATES, DROP OUTS, TEES, WYES AND EXPANSION JOINTS FOR THE COMPLETE SYSTEM AS REQUIRED.

8.5 REMOVE SHARP EDGES TO PREVENT CABLE DAMAGE OR INJURY TO PERSONNEL.

9. GROUNDING

9.1 GROUND ALL EQUIPMENT IN ACCORDANCE WITH LATEST EDITION OF THE ELECTRICAL SAFETY CODE. PROVIDE SEPARATE GREEN INSULATED GROUND CONDUCTOR IN EVERY CONDUIT TO ALL DEVICES, LUMINAIRES AND FEEDERS (PANELBOARDS, SPLITTERS, DISCONNECT SWITCHES, ETC.)

10. MECHANICAL TRADES WIRING

10.1 UNLESS OTHERWISE NOTED, ALL STARTERS AND CONTROL WIRING TO BE PROVIDED BY DIVISION 15. DIVISION 16 TO RECEIVE. INSTALL STARTERS AND PROVIDE ALL POWER WIRING AND REQUIRED ISOLATING DISCONNECT SWITCHES.

10.2 CONFIRM ELECTRICAL REQUIREMENTS AND EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT WITH DIVISION 15 PRIOR TO INSTALLATION.

11. MEGGERING AND BALANCING

11.1 MEGGER ALL MAIN SERVICE AND POWER CIRCUIT FEEDERS. IF GROUND RESISTANCE ON ANY CIRCUIT IS LESS THAN THAT REQUIRED BY CSA OR OTHER GOVERNING REGULATIONS, SUCH CIRCUITS ARE TO BE CONSIDERED DEFECTIVE AND MUST BE REPLACED.

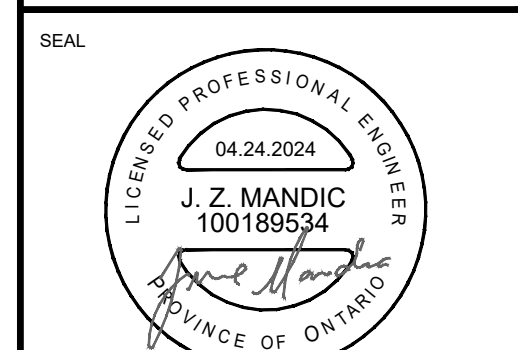
11.2 MEASURE PHASE CURRENT TO PANELBOARDS WITH NORMAL LOADS OPERATING AT TIME OF ACCEPTANCE. ADJUST BRANCH CIRCUIT CONNECTIONS AS REQUIRED TO OBTAIN BEST BALANCE OF CURRENT BETWEEN PHASES AND SUBMIT A REPORT FOR INSERTION INTO MANUALS.



Table with 3 columns: Issue type, Date, and Status. Includes 'ISSUED FOR PERMIT / TENDER' and 'ISSUED FOR REVIEW'.

Drawings are not to be scaled. Contractor must check and verify all dimensions and conditions on the project and must report any discrepancies to the architect & engineer before proceeding with the work.

The contractor and sub-trades are responsible to contact the engineer 1 week in advance in order to schedule required site visits and provide inspection reports as required in accordance with the general commitment & review process by architects and engineers.



Engineering Consultants logo (RM) and contact information for R.M. Engineering, including address, phone, and email.

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