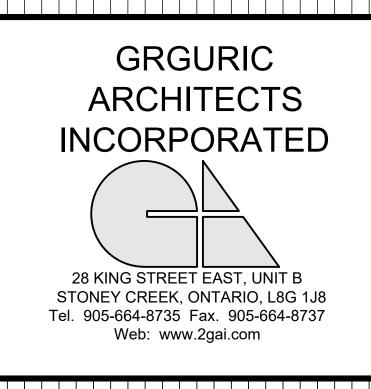
28 K TEL: NAI BUI 5 TH	: 905-664- ME OF I RLINGT	EET EAST 8737 PROJEC ON CIT' LOOR V	, UNIT B, STON										
_	_		RLINGTON,	ON L7R	3Z6								
Item					2012 Building Co					Deference	OBC Reference		notod
				2444 1116					References are to Division B unless note [A] for Division A or [C] for Division C				
1		Description	: vations at 5 TH & 6 ^T	H.a.		☐ New	■ Pa	art 11	F	Part 3		□ P	Part 9
			lighting fixtures u			☐ Addition	11.1 to	11.4	1.1.2.	[A]		1.1.2	[A] &
			☐ Change	of Use		Alteration	n					9.10.	1.3
2	Major O	ccupancy(s	s) D - Busi	ness and P	ersonal Services	s (Office)			3.1.2	2.1.(1)		9.10.2	2
3	Building /	Area E x	cisting = 2,855 s	qm					1.4.1	.2.[A]		1.4.1.	2.[A]
4	Gross A	rea E x	cisting = 8,552 s	qm					1.4.1	.2.[A]		1.4.1.	2.[A]
5	Number	of storeys			Above grade 8	Belo	w grade	1	1.4.1	.2.[A] & 3.2.	1.1	1.4.1.	2.[A] & 9.10
7	Number	of Streets/	Fire Fighter Acc	ess 3 Stı	reets				3.2.2	2.10 & 3.2.5		9.10.2	20.
8	Building	Classificat	ion 3.2.2.49	- Group D,	Any Height, Any	Area	E	XISTING	3.2.2	2.2083		9.10.2	2.
9	Sprinkle	r System F	Proposed		entire bu	uilding			3.2.2	2.2083		9.10.8	8.2
	•		ower level to Lev	el 3	selected	d compartments			3.2.1	.5.			
		n-Combus NG, NO CI	tible HANGES)		☐ selected	d floor areas			3.2.2	2.17.			
					☐ baseme	ent 🔲 in lie	u of roof rating		INDE	ΞX		INDE	ΞX
					not requ	uired							
10	Standpip	e required	I		Yes	□ No	E	XISTING	3.2.9)		N/A	
11	Fire Alar	m required	i		Yes	□ No	E	XISTING	3.2.4			9.10.	18
12	Water S	ervice/Sup	ply is Adequate		☐ Yes	□ No	E	XISTING	3.2.5.7.		N/A		
13	High Building					3.2.6		N/A					
14	Permitte	d Construc	ction [Combus		Non-combustible required	le	Both	3.2.2	2.20.23		9.10.0	6
	Actual C	onstruction	n [☐ Combus		Non-combustible	le 🗆	Both					
15	Mezzani	ne(s) Area	m ² N/A						3.2.1	.1.(3)-(8)		9.10.4	4.1
16	•	nt load bas				design of OCC	EUPANCY LOA 24 24	<u>1D</u>	3.1.1	7		9.9.1.	3
17	Barrier-f	ree Design		Yes	☐ No (Explain)) AT AREAS	S BEING REN	OVATED	3.8			9.5.2	
18	Hazardo	us Substa		_	■ No	<u> </u>			3.3.1.2. & 3.3.1.19		9.10.1.3(4)		
19	Requ		Horiz	ontal Assem	blies	Liste	ed Design No.		3.2.2	2.2083 & 3.	2.1.4	9.10.8	8.
	Fi Resis	tance	l	RR (Hours)		or Description (SG-2)						9.10.9	9.
	Rat (FF		Floors _	2 HOURS	_	Non-	Combustible		1				
	EXISTIN		Roof	1 HOUR		Non-	Combustible						
	TO RE	MAIN	Mezzanine _	1 HOUR	-		N/A						
			FRI	R of Support Members	ing		ed Design No. scription (SG-2)					
			Floors _	2 HOURS		Non-	-Combustible						
			Roof _	1 HOUR	-	Non-	-Combustible						
				1 HOUR	_		N/A						
19	Spatial S	Separation	- Construction of	Exterior Wa	ills EXISTIN	IG AND TO REM	MAIN I	1	3.2.3	3 		9.10).14
	Wall	Area (EBF (m²)	(m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Liste Desig Descri	n or	Comb. Constr.	Comb. Constr Nonc. Cladding		Non-comb Constr.
}	North	-	-	-	-	-	-	-		-	-	\top	-
	South	-	-	-	-	-	-	-		-	-		-
	East	-	-	-	-	-	-	-		-	-		-
	West	-	-	_	-	-	-	-		-	-		-
-	DI	oina Eivtur	e Requirements										

EXISTING AND TO REMAIN

	Data Ma	Building Code Reference		
11.2.	Existing Building classification:	Change in Major Occupancy Yes Describe Existing Use: Construction Index: Hazard Index Existing: Hazard Index Proposed: Building Size:	Not Applicable (no major cha GROUP D - Business & Personal : 7 6 6 (No Change) (Large Building)	· · · · · · · · · · · · · · · · · · ·
11.3.	Alteration to Existing Building is:	Basic Renovation Extensive Renovation		11.3.3.1 11.3.3.2
11.4.	Reduction in Performance Level:	Structural: By Increase in occupant load By change of major occupant Hazard Index is not greater Plumbing: Sewage System:	: ■ No □ Y cy: ■ No □ Y	
11.4.3.	Compensating Construction:	Structural:	■ No □ Y	(es (explain) 11.4.3 11.4.3.2
		Increase in occupant load:	■ No □ Y	res (explain) 11.4.3.3
		Change of major occupancy:	■ No □ Y	res (explain) 11.4.3.4
		Plumbing: Sewage system:	_	Yes (explain) 11.4.3.5 Yes (explain) 11.4.3.6
11.5	Compliance Alternatives Proposed:	No Yes (give number [s])		11.4.2

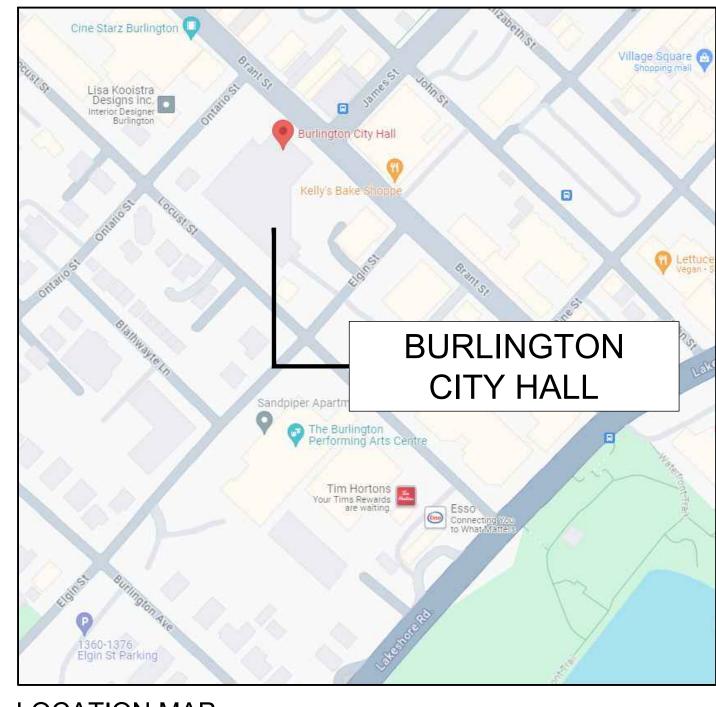






RM ENGINEERING

162 GUELPH STREET, UNIT 216
GEORGETOWN, ON
L7G 4A6
TEL: (905) 617-4804
EMAIL: jmandic@rm-eng.ca
mraguz@rm-eng.ca



LOCATION MAP

DRAWING LIST:

ARCHITECTURAL & CIVIL

A 0.00 COVER SHEET & OBC MATRIX

00 FIFTH FLOOR PLAN

A 2.10 SIXTH FLOOR PLAN
A 2.20 INTERIOR ELEVATIONS AND DOOR SCHEDULE

MECHANICAL

M1.0 FIFTH FLOOR PLAN
M2.0 SIXTH FLOOR PLAN
M3.0 MECHANICAL SPECIFICATIONS

ELECTRICAL

0 ELECTRICAL PLAN 0 ELECTRICAL SPECIFICATIONS

BURLINGTON CITY HALL

5TH & 6TH FLOOR WASHROOM RENOVATION

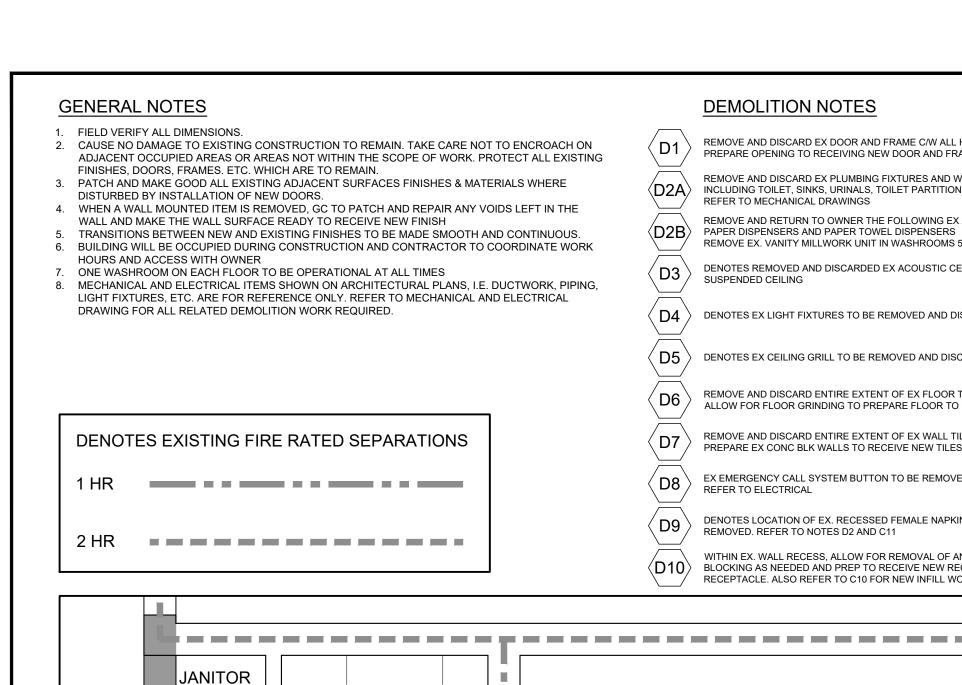
426 BRANT ST, BURLINGTON, ON L7R 3Z6

21 Travel Distance to Exits

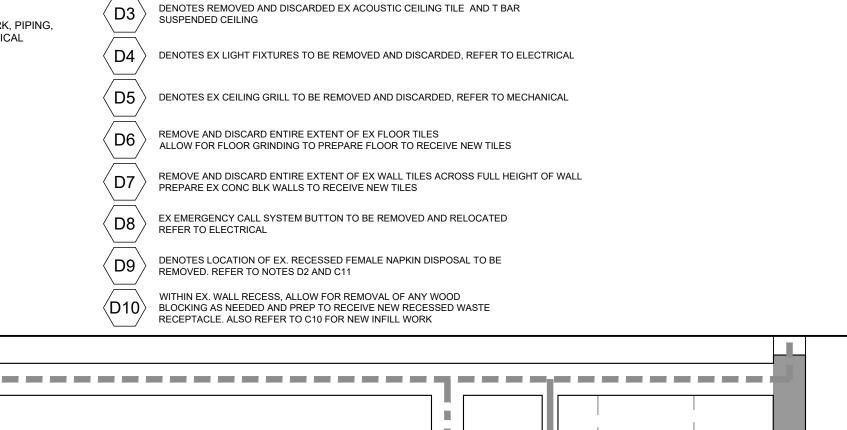
2024-01

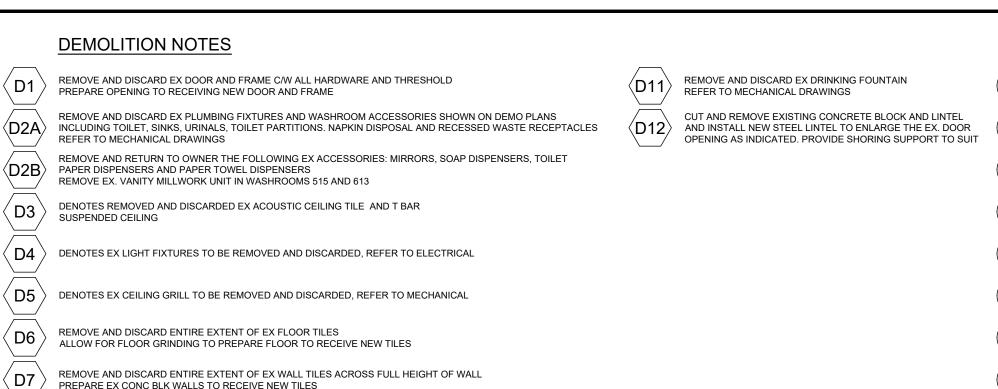
SHEET NUMBER

A 0.00



CLOSET



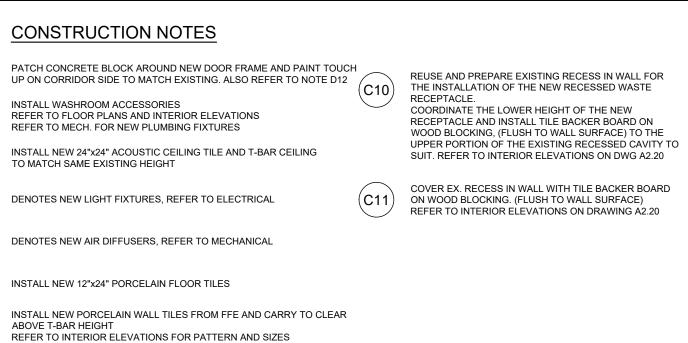


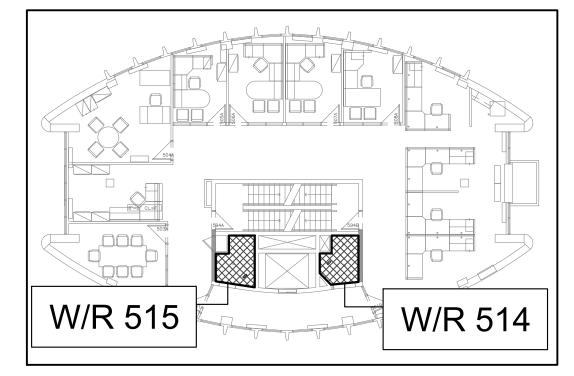
 \langle D5 angle

 $-\langle D10\rangle$

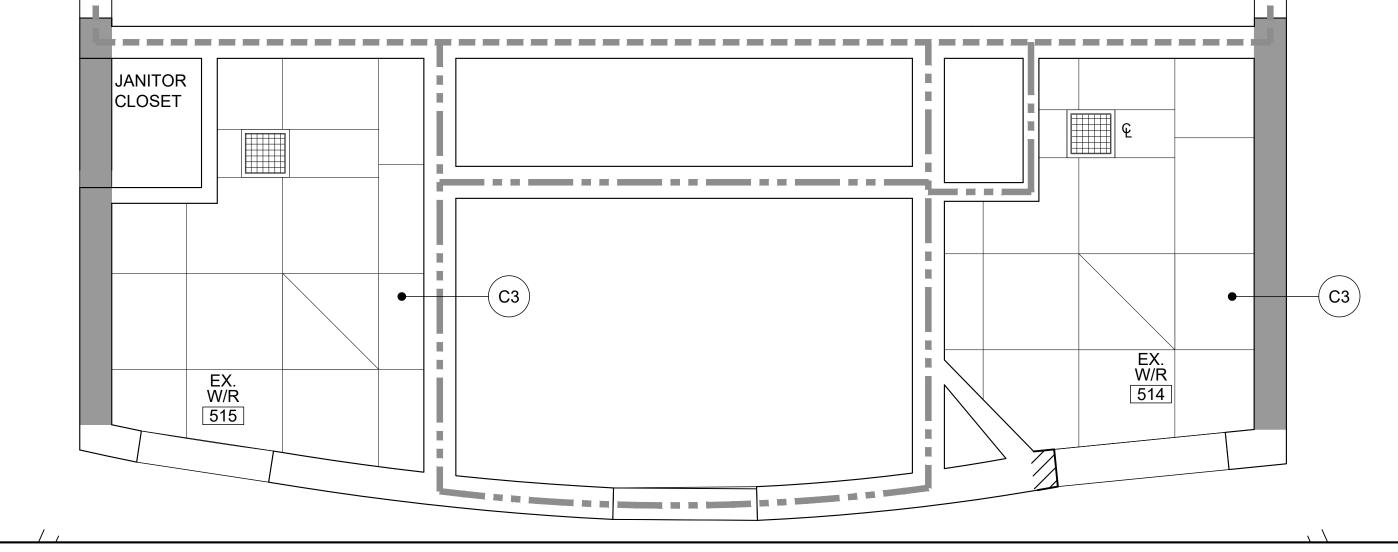
O EX FD

EX. W/R 514





KEY PLAN - 5TH FLOOR SCALE: NTS



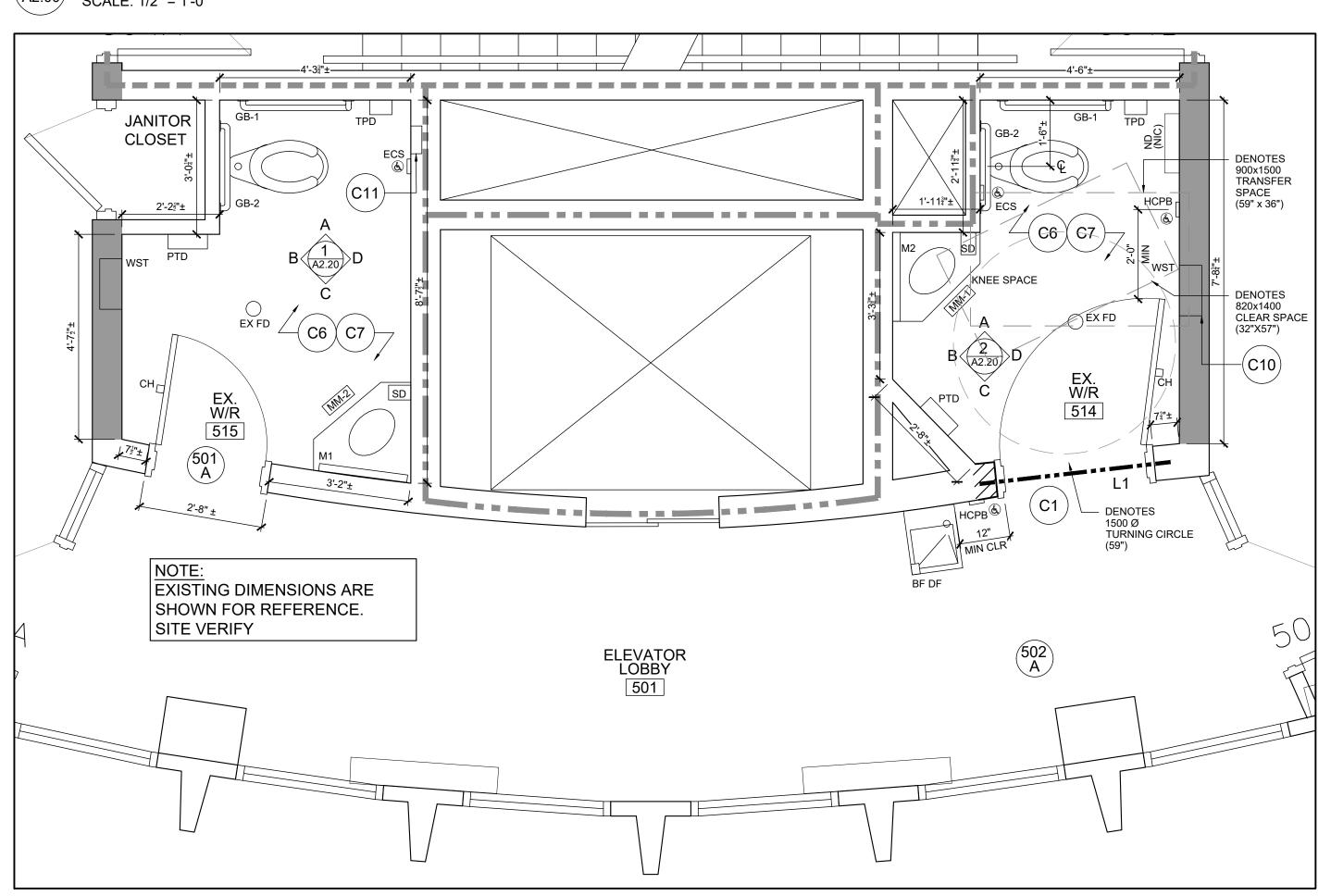
4 PROPOSED - PARTIAL FIFTH REFLECTED CEILING PLAN SCALE: 1/2" = 1'-0"

DENOTES NEW BARRIER FREE DRINKING FOUNTAIN

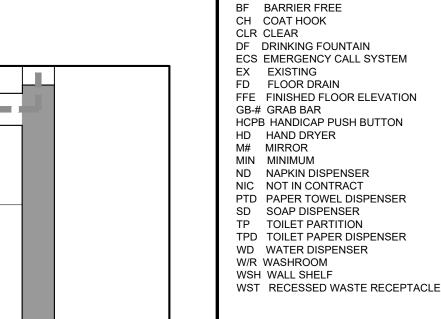
INSTALL ECS IN NEW LOCATION, REFER TO ELECTRICAL

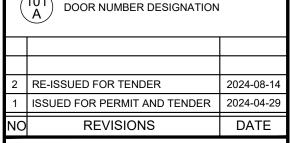
PROVE ALL WALL CUTTING AND PATCHING TO SUIT

REFER TO MECH.









ACT ACOUSTIC CEILING TILE

ADO AUTOMATIC DOOR OPERATOR

RAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT: AND MUST REPORT ANY DISCREPANCIES TO HE ARCHITECTS BEFORE PROCEEDING WITH THE WORK. THE USE OF THIS DRAWING OR PART THEREOF IS FORBID THOUT THE WRITTEN APPROVAL OF THE ARCHITECTS.

BURLINGTON CITY HALL 5TH & 6TH FLOOR WASHROOM **RENOVATIONS**

BURLINGTON, ON L7R 3Z6

426 BRANT ST

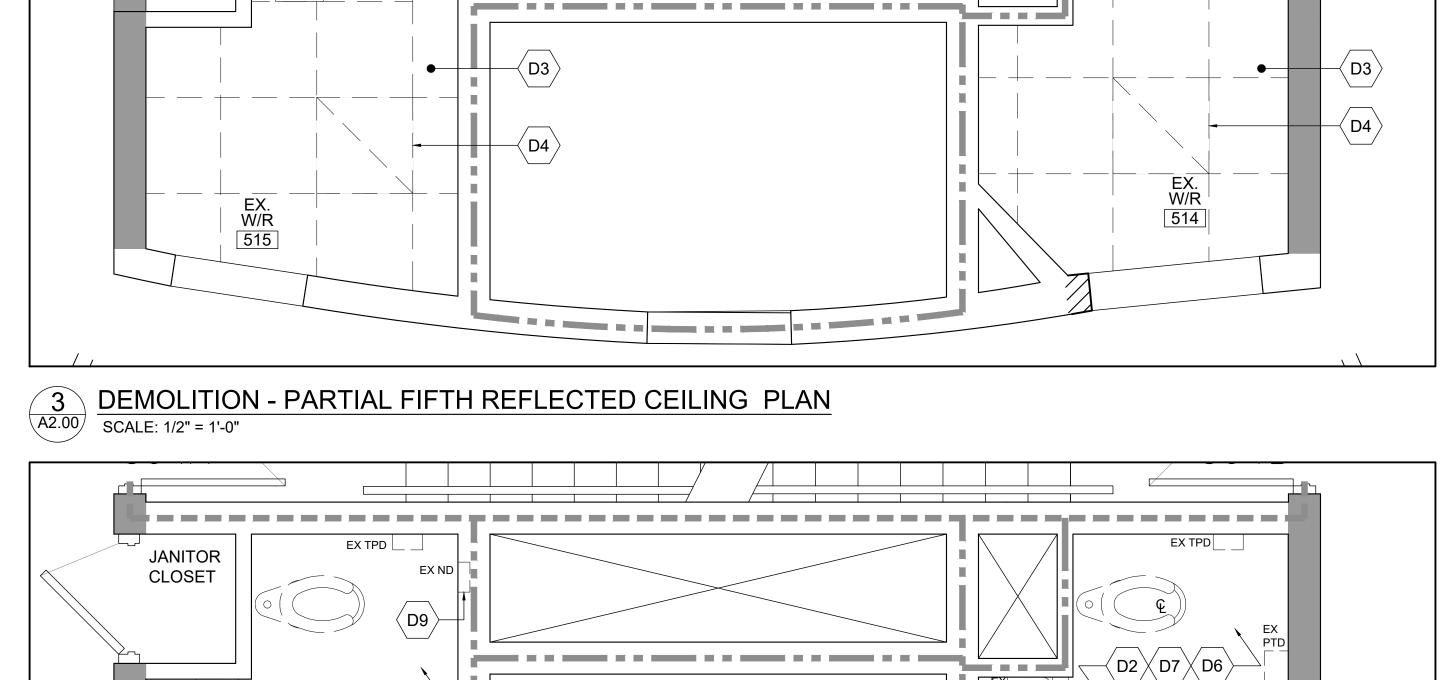
FIFTH FLOOR PLAN



28 KING STREET EAST, UNIT B STONEY CREEK, ONTARIO, L8G 1J8 Tel. 905-664-8735 Fax. 905-664-8737 Web: www.2gai.com

PROJECT: SCALE: AS NOTED 2024-01 START DATE: MARCH 2024 DRAWN

A2.00 CHECKED



ELEVATOR LOBBY 501

DEMOLITION NOTES

REFER TO MECHANICAL DRAWINGS

REMOVE AND DISCARD EX DOOR AND FRAME C/W ALL HARDWARE AND THRESHOLD

PREPARE OPENING TO RECEIVING NEW DOOR AND FRAME

REMOVE EX. VANITY MILLWORK UNIT IN WASHROOMS 515 AND 613

DEMOLITION - PARTIAL FIFTH FLOOR PLAN A2.00) SCALE: 1/2" = 1'-0"

 $\left\langle D2 \right\rangle \left\langle D7 \right\rangle \left\langle D6 \right\rangle$

EX. W/R 515

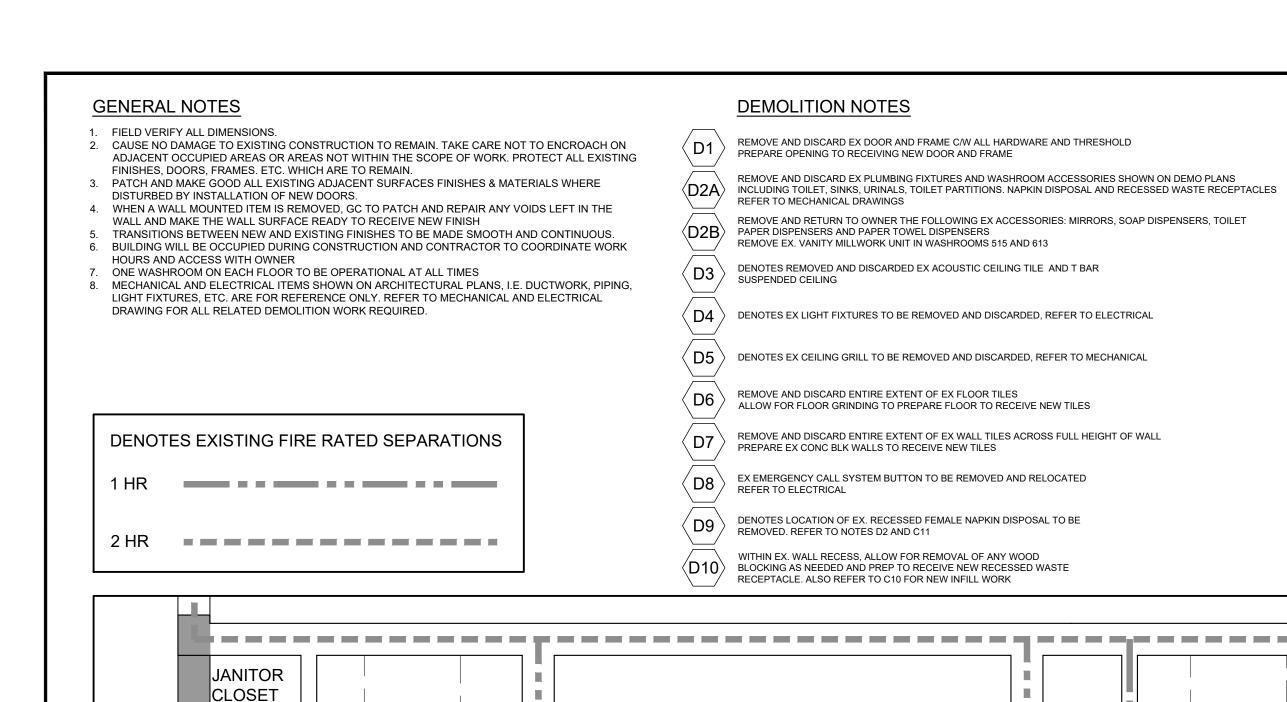
TYPICAL EXISTING CONSTRUCTION IS:

-WALLS ENCLOSING EX. MECH. SHAFT IN

WASHROOMS IS AT MINIMUM 4" BLOCK

-8" CONCRETE WALL WHERE SHOWN SOLID SHADED

-8" CONCRETE BLOCK PARTITIONS



613

JANITOR

613

TYPICAL EXISTING CONSTRUCTION IS:

-WALLS ENCLOSING EX. MECH. SHAFT IN WASHROOMS IS AT MINIMUM 4" BLOCK

-8" CONCRETE WALL WHERE SHOWN SOLID SHADED

-8" CONCRETE BLOCK PARTITIONS

CLOSET

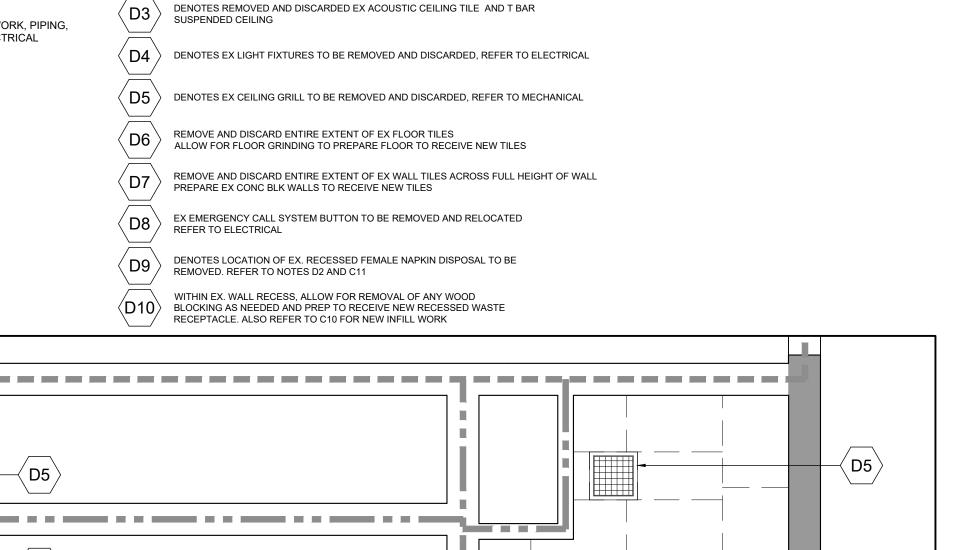
3 DEMOLITION - PARTIAL FIFTH REFLECTED CEILING PLAN

EX TPD

PTD

 $-\sqrt{D2}\sqrt{D6}\sqrt{D7}$

ELEVATOR LOBBY 601



W/R

612

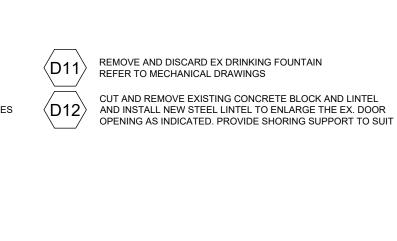
EX TPD

EX TP

 $\langle D2 \rangle \langle D6 \rangle \langle D7 \rangle$

EX. W/R

 $\langle D1 \rangle$



≺ D3)

 \langle D8 angle

 $-\langle D10 \rangle$

CONSTRUCTION NOTES PATCH CONCRETE BLOCK AROUND NEW DOOK FRAME AND FAIRL 1995. UP ON CORRIDOR SIDE TO MATCH EXISTING. ALSO REFER TO NOTE D12 (C10) PATCH CONCRETE BLOCK AROUND NEW DOOR FRAME AND PAINT TOUCH REUSE AND PREPARE EXISTING RECESS IN WALL FOR THE INSTALLATION OF THE NEW RECESSED WASTE INSTALL WASHROOM ACCESSORIES COORDINATE THE LOWER HEIGHT OF THE NEW REFER TO FLOOR PLANS AND INTERIOR ELEVATIONS RECEPTACLE AND INSTALL TILE BACKER BOARD ON REFER TO MECH. FOR NEW PLUMBING FIXTURES WOOD BLOCKING. (FLUSH TO WALL SURFACE) TO THE UPPER PORTION OF THE EXISTING RECESSED CAVITY TO INSTALL NEW 24"x24" ACOUSTIC CEILING TILE AND T-BAR CEILING SUIT. REFER TO INTERIOR ELEVATIONS ON DWG A2.20 TO MATCH SAME EXISTING HEIGHT COVER EX. RECESS IN WALL WITH TILE BACKER BOARD DENOTES NEW LIGHT FIXTURES, REFER TO ELECTRICAL ON WOOD BLOCKING. (FLUSH TO WALL SURFACE) REFER TO INTERIOR ELEVATIONS ON DRAWING A2.20 DENOTES NEW AIR DIFFUSERS, REFER TO MECHANICAL INSTALL NEW 12"x24" PORCELAIN FLOOR TILES

INSTALL NEW PORCELAIN WALL TILES FROM FFE AND CARRY TO CLEAR

REFER TO INTERIOR ELEVATIONS FOR PATTERN AND SIZES

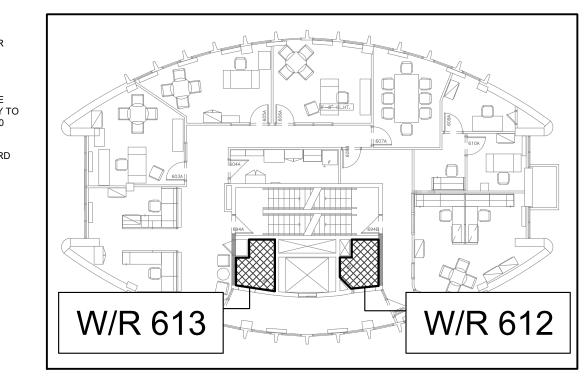
DENOTES NEW BARRIER FREE DRINKING FOUNTAIN

INSTALL ECS IN NEW LOCATION, REFER TO ELECTRICAL

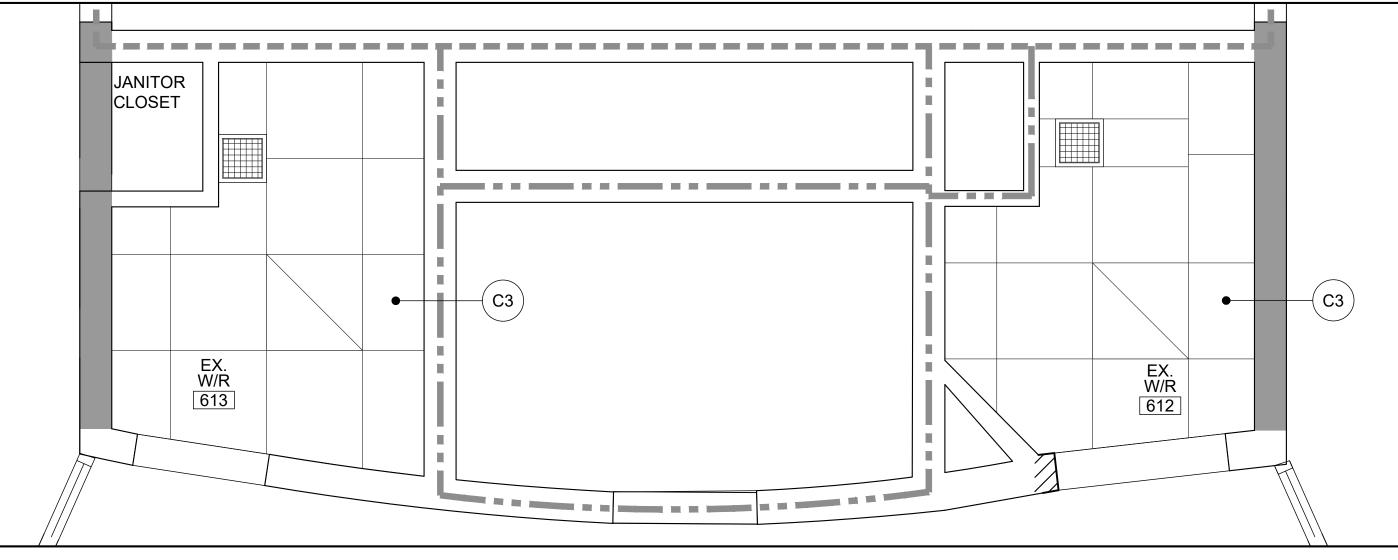
PROVE ALL WALL CUTTING AND PATCHING TO SUIT

ABOVE T-BAR HEIGHT

REFER TO MECH.

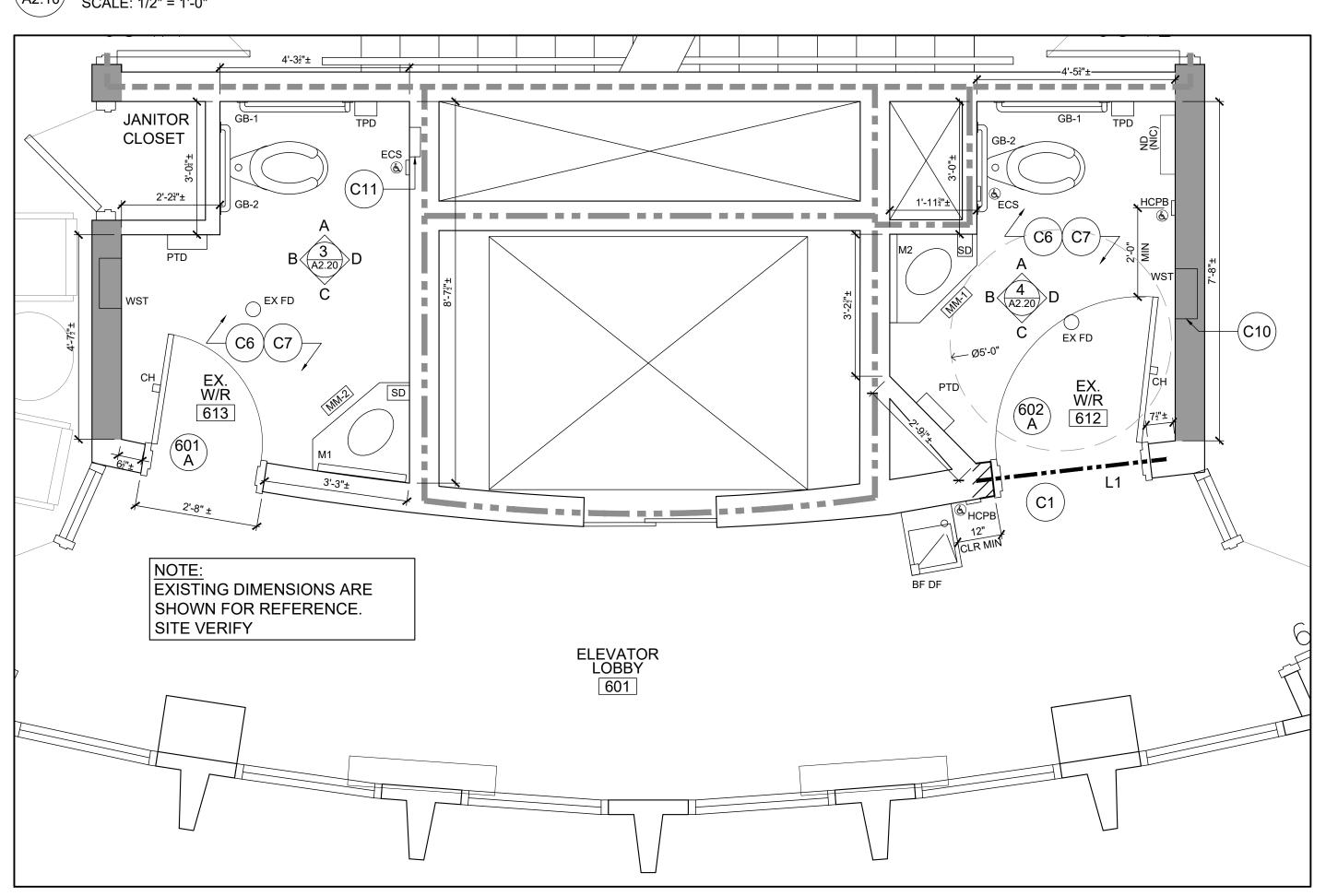


KEY PLAN - 6TH FLOOR SCALE: NTS

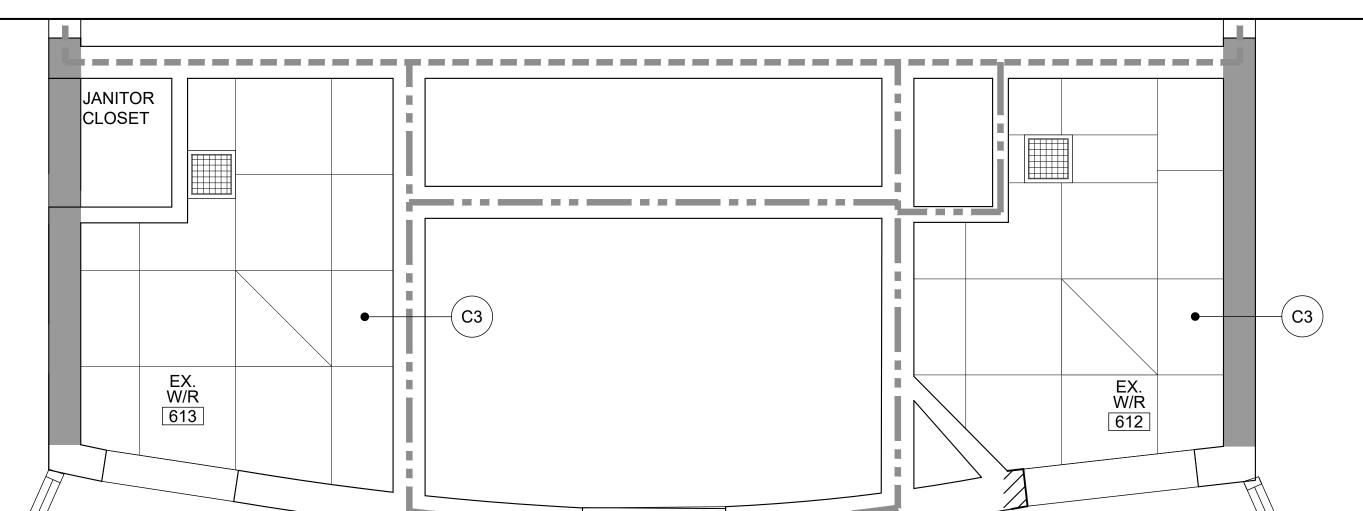


PROPOSED - PARTIAL SIXTH REFLECTED CEILING PLAN

SCALE: 1/2" = 1'-0"



PROPOSED RENOVATIONS - PARTIAL FIFTH FLOOR PLAN



BURLINGTON CITY HALL 5TH & 6TH FLOOR WASHROOM **RENOVATIONS** 426 BRANT ST

ACT ACOUSTIC CEILING TILE

BF BARRIER FREE CH COAT HOOK

DF DRINKING FOUNTAIN

ECS EMERGENCY CALL SYSTEM

FFE FINISHED FLOOR ELEVATION

HCPB HANDICAP PUSH BUTTON

CLR CLEAR

EX EXISTING FD FLOOR DRAIN

GB-# GRAB BAR

M# MIRROR MIN MINIMUM

HD HAND DRYER

ND NAPKIN DISPENSER NIC NOT IN CONTRACT PTD PAPER TOWEL DISPENSER SD SOAP DISPENSER TP TOILET PARTITION TPD TOILET PAPER DISPENSER

WD WATER DISPENSER W/R WASHROOM WSH WALL SHELF

RE-ISSUED FOR TENDER

REVISIONS

WST RECESSED WASTE RECEPTACLE

DOOR NUMBER DESIGNATION

ISSUED FOR PERMIT AND TENDER | 2024-04-2

AWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST

CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT: AND MUST REPORT ANY DISCREPANCIES TO HE ARCHITECTS BEFORE PROCEEDING WITH THE WORK. THE USE OF THIS DRAWING OR PART THEREOF IS FORBID

VITHOUT THE WRITTEN APPROVAL OF THE ARCHITECTS.

2024-08-14

DATE

ADO AUTOMATIC DOOR OPERATOR

SIXTH FLOOR PLAN

BURLINGTON, ON L7R 3Z6

GRGURIC ARCHITECTS **INCORPORATED**

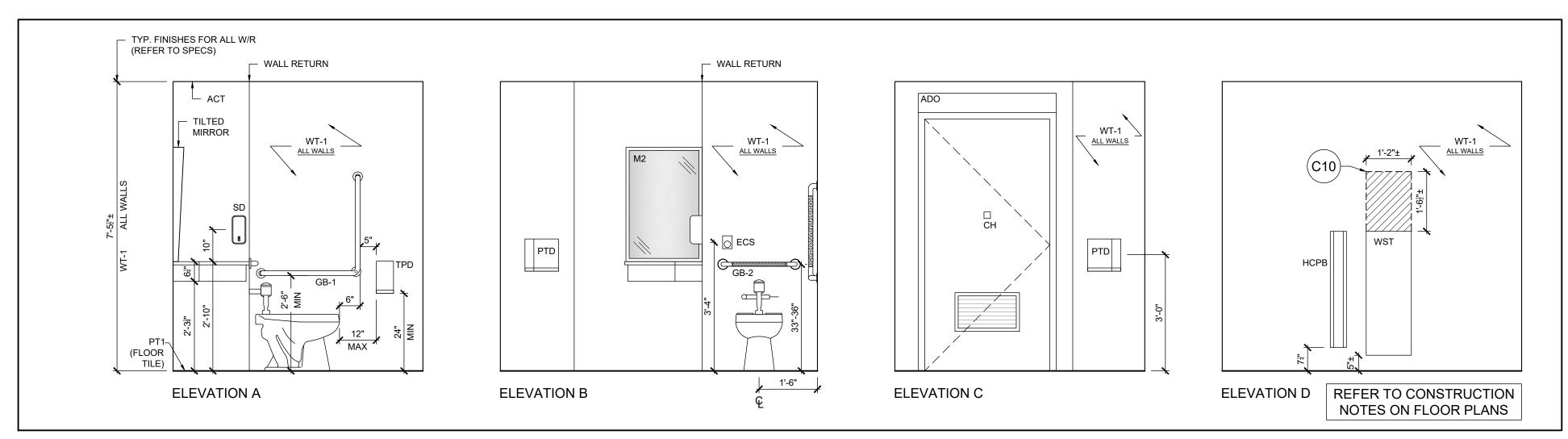
28 KING STREET EAST, UNIT B STONEY CREEK, ONTARIO, L8G 1J8 Tel. 905-664-8735 Fax. 905-664-8737 Web: www.2gai.com

PROJECT: SCALE: AS NOTED 2024-01 START DATE: MARCH 2024

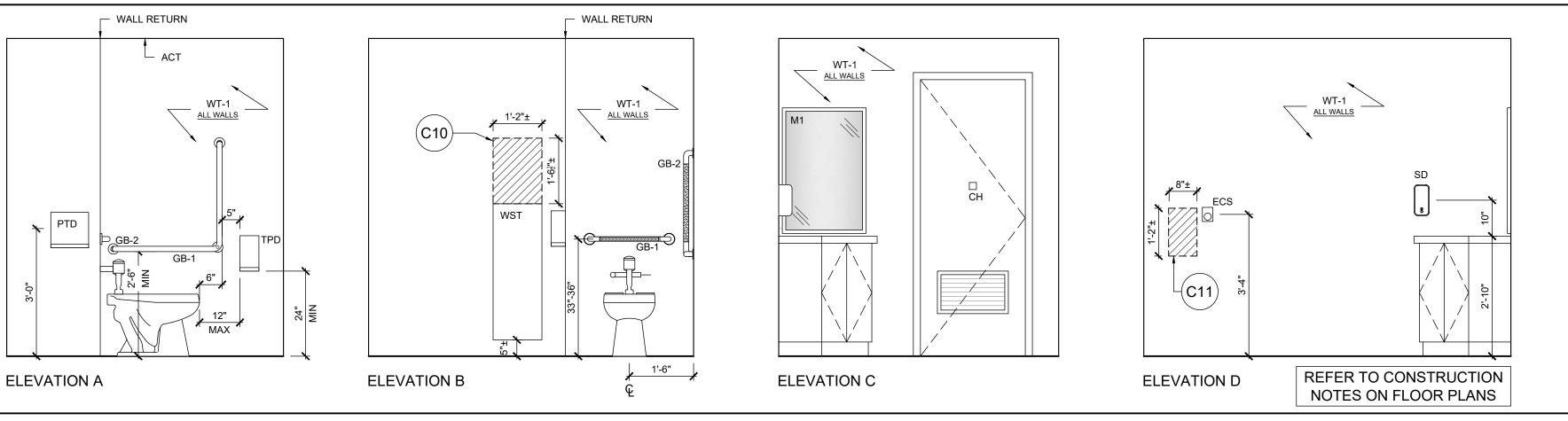
DRAWN CHECKED

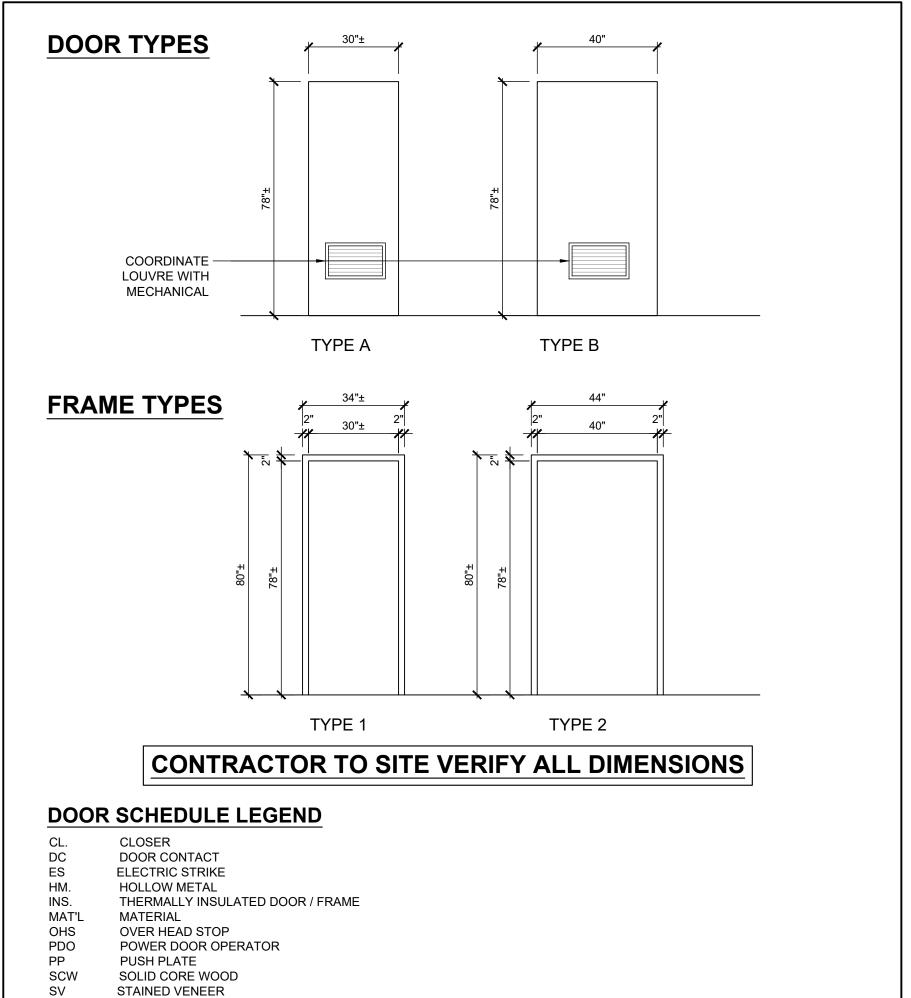
DEMOLITION - PARTIAL SIXTH FLOOR PLAN A2.00) SCALE: 1/2" = 1'-0"

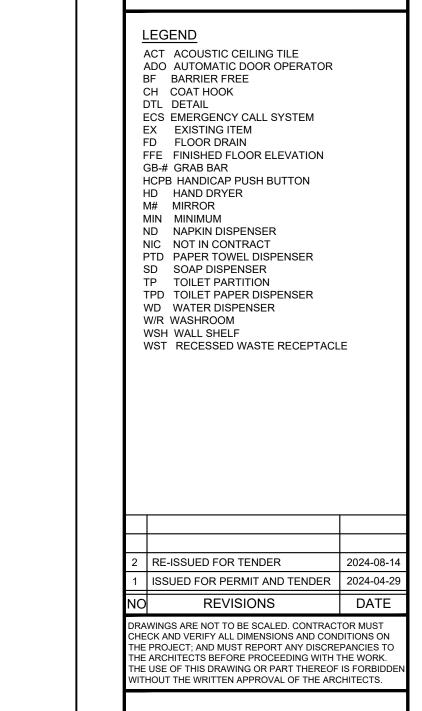
SCALE: 1/2" = 1'-0"



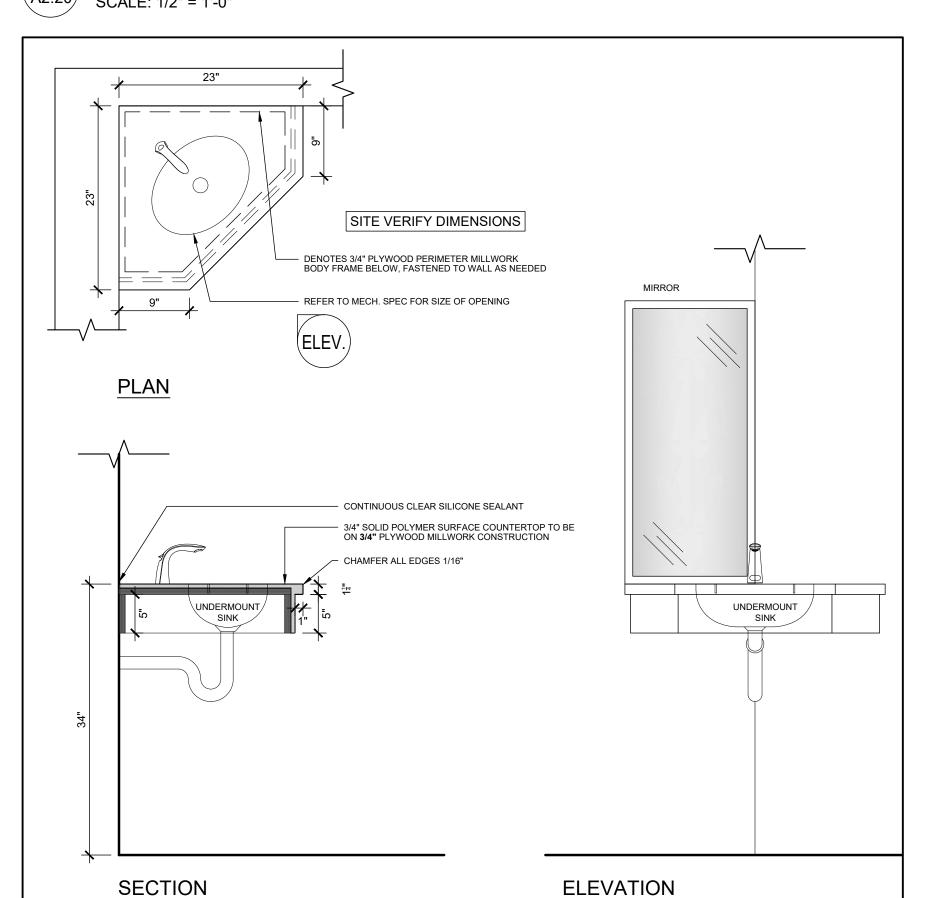
BF W/R 514 & 612 - TYPICAL INTERIOR ELEVATIONS SCALE: 1/2" = 1'-0"

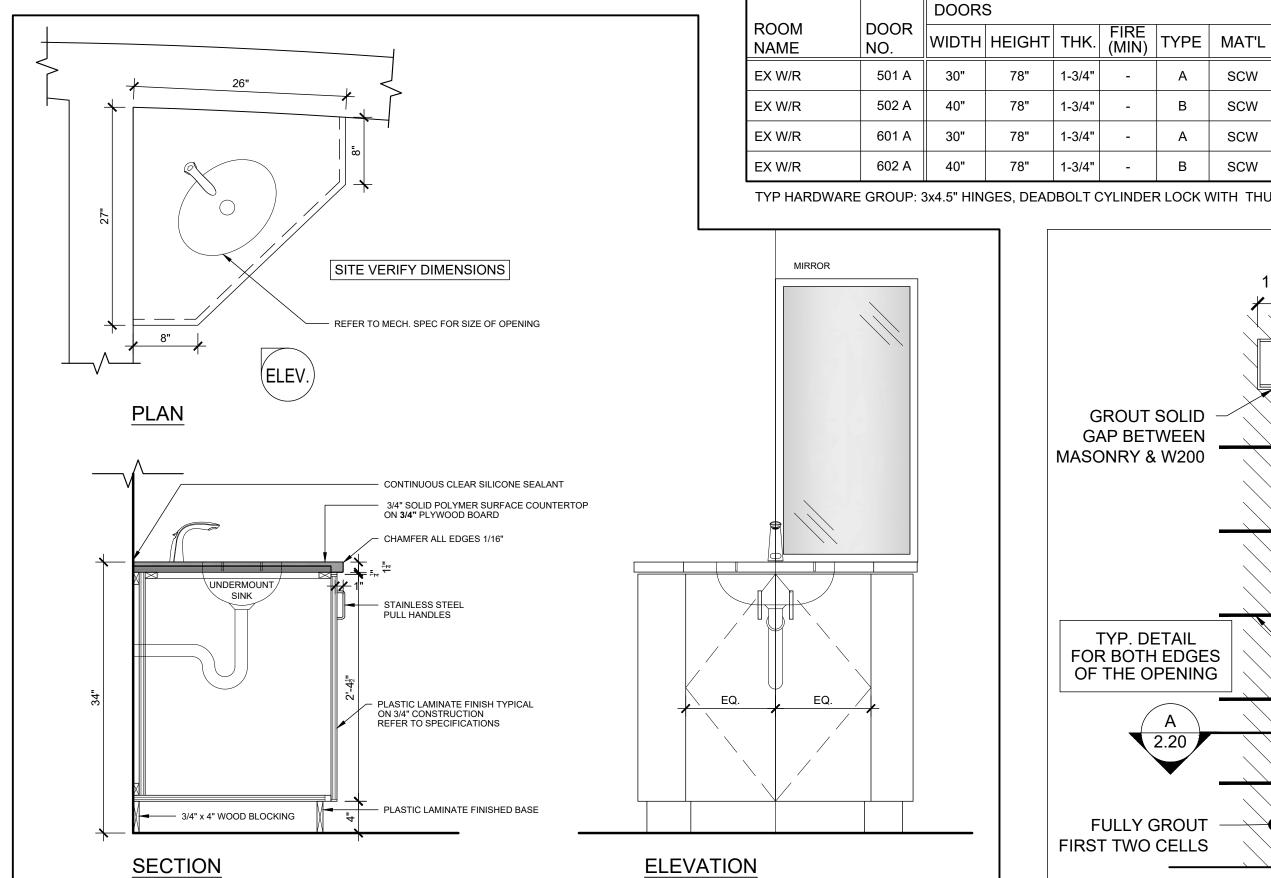


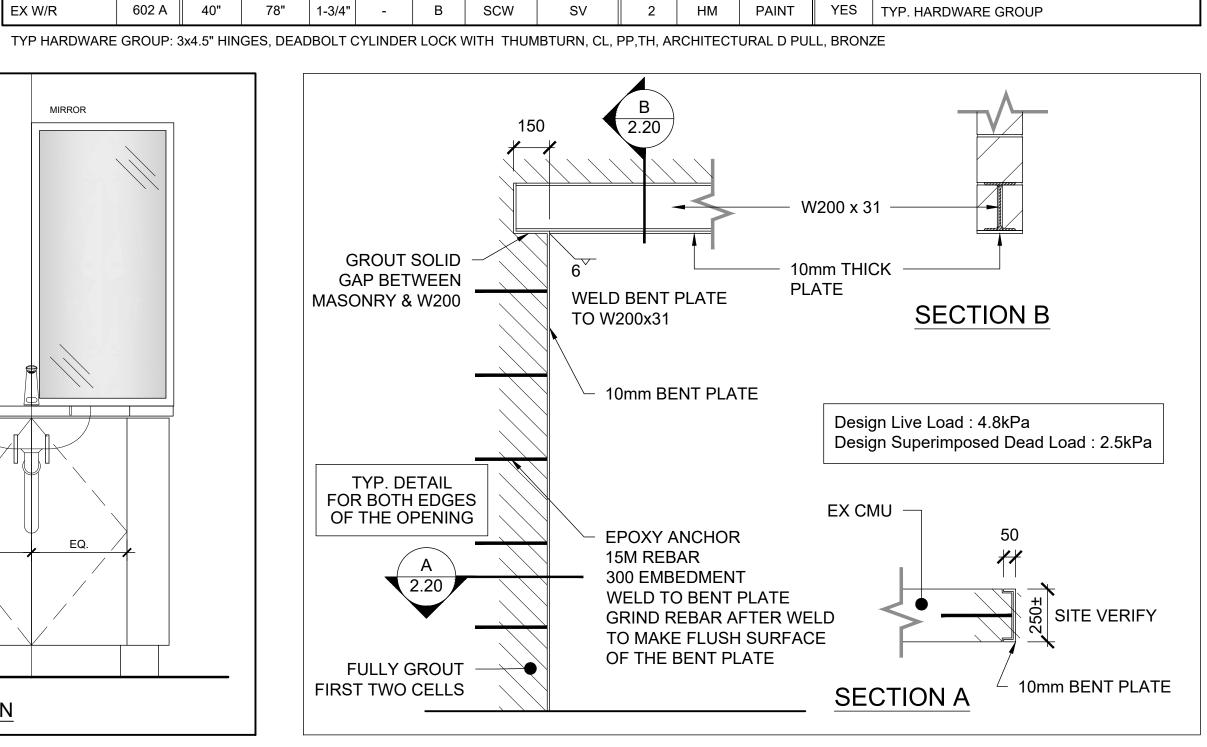












FRAMES

FINISH

SV

TYPE MAT'L FINISH

HM

PAINT

PAINT

DOOR

CLOSER REMARKS

TYP. HARDWARE GROUP, PDO, ES

YES TYP. HARDWARE GROUP, PDO, ES

YES TYP. HARDWARE GROUP

MM-2 CORNER VANITY MILLWORK DTL SCALE: 1" = 1'-0"

L-1 LINTEL DETAILS AT DOORS 502A & 602A

TEMPERED GLASS

WEATHER STRIPPING

SCW

SCW

THICKNESS

THRESHOLD

TH

WS

1-3/4"

DOOR SCHEDULE

BURLINGTON CITY HALL 5TH & 6TH FLOOR WASHROOM RENOVATIONS 426 BRANT ST

BURLINGTON, ON L7R 3Z6

INTERIOR ELEVATIONS

GRGURIC ARCHITECTS **INCORPORATED**

AND DOOR SCHEDULI

28 KING STREET EAST, UNIT B STONEY CREEK, ONTARIO, L8G 1J8 Tel. 905-664-8735 Fax. 905-664-8737 Web: www.2gai.com

PROJECT: SCALE: AS NOTED 2024-01 START DATE: MARCH 2024 DRAWN DRAWING:

CHECKED

3 A2.20 MM-1 CORN SCALE: 1" = 1'-0" MM-1 CORNER SINK COUNTER MILLWORK DTL

KEY NOTES:

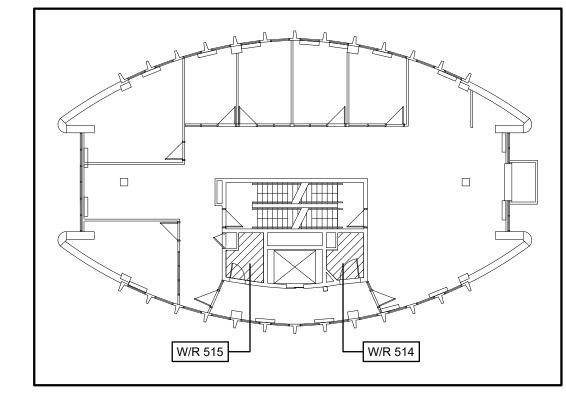
- EXISTING SANITARY EXHAUST GRILLE SERVING WASHROOM FED BY CENTRAL EXHAUST SYSTEM IS TO REPLICED WITH BY NEW GRILLE OF FOLIAL SIZE (LAY-IN T-BAR GRID)
- REPLCED WITH BY NEW GRILLE OF EQUAL SIZE, (LAY-IN T-BAR GRID).
 TO BE EQUAL TO E.H.PRICE MODEL 510 SERIES SINGLE BLADE GRILLE C/W OPPOSED BLADE DAMPER BEHIND GRILLE COLLAR.
- SUPPLY & INSTALL NEW LOW MOUNTED DOOR AIR TRANSFER GRILLE IN NEW WASHROOM DOOR.

 TO BE EQUAL TO E.H. PRICE MODEL STG SERIES 20"x16" GRILLE. PAINT GRILLE WINDSWEPT SMOKE COLOR, (CONFIRM WITH ARCHITECT PRIOR TO PAINTING).
- EXISTING TOILET TO BE DISCONNECTED, REMOVED AND DISPOSED OF. EXISTING CONNECTIONS TO BE REWORKED / REUSED FOR NEW TOILET C/W NEW ACCESSORIES AS SPECIFIED. REFER TO NEW PLUMBING PLAN FOR MORE INFORMATION.
- EXISTING HAND SINK TO BE DISCONNECTED, REMOVED AND DISPOSED OF. EXISTING CONNECTIONS TO BE REWORKED / REUSED FOR NEW C/W SINK C/W NEW ACCESSORIES. REFER TO NEW PLUMBING PLAN FOR MORE INFORMATION.
- EXISTING WALL MOUNTED URINAL IS TO BE DISCONNECTED, REMOVED AND DISPOSED OF. ALL EXISTING SERVICES ARE TO BE CUT BACK INTO WALL, CAPPED OFF AND SEALED AIR / LIQUID TIGHT. MAKE GOOD / SAFE ALL AREAS DISTURBED BY THIS CONSTRUCTION.
- EXISTING WALL MOUNTED DRINKING FOUNTAIN SINK TO BE DISCONNECTED, REMOVED AND DISPOSED OF. EXISTING CONNECTIONS TO BE REWORKED / REUSED FOR NEW DRINKING FOUNTAIN, (OPEN WALL AND LOWER CONNECTION POINTS TO SUIT NEW BARRIER FREE MOUNTING HEIGHT, MAKE GOOD ALL AREAS AFFECTED BY THIS CONSTRUCTION). REFER TO NEW PLUMBING PLAN FOR MORE INFORMATION.
- EXISTING FLOOR DRAIN TO BE REPLACED WITH BY NEW. PROVIDE NEW CAST IRON / BRASS FLOOR DRAIN ASSEMBLY, COVER PLATE AND WATERLESS TRAP SEAL TRAP GUARD INSERT TO SUIT EXISTING FLOOR DRAIN TYPE AND SIZE.

GENERAL NOTES:

- 1. SUPPLY AND INSTALL ACCESS PANELS FOR ACCESS TO ALL CLEAN OUTS, VALVES, PIPES, ETC., COORDINATE LOCATIONS ON SITE. PAINT FINISH TO MATCH WALL / CLG. FINISH.
- 2. ALL FLOOR, WALL AND OTHER SUCH PENETRATIONS THROUGH A RATED SEPARATION ARE TO BE SLEEVED / FIRE STOPPED IN ACCORDANCE WITH APPROVED ULC PROCEDURES / MATERIAL DATA SHEETS. THIS INCLUDES ALL NEW WORK AND AREAS OF DEMOLITION WHERE OPENINGS ARE NO LONGER REQUIRED DUE TO PLUMBING DEMOLITION WORK.
- 3. PLUMBING CONTRACTOR WILL INSTALL TEMPORARY CAPS OR CLOSURES ON THE ENDS OF ALL PIPES, CONDUITS ETC. TO PREVENT THE ENTRY OF DEBRIS. ALL HOT AND COLD WATER LINES TO BE INSULATED. CONTRACTOR TO PRESSURE TEST ALL SYSTEMS.
- 4. ALL WORK AND MATERIAL SHALL BE IN ACCORDANCE WITH BASE BUILDING "ENGINEERING DESIGN CRITERIA". ALL CONTRACTORS SHALL OBTAIN A COPY FROM THE OWNER / LANDLORD'S TENANT COORDINATOR OR MALL OPERATIONS MANAGER AND BECOME FAMILIAR WITH THE REQUIREMENTS CONTAINED WITHIN PRIOR TO BIDDING THE JOB. WHERE LANDLORD'S REQUIREMENTS CONFLICT WITH CODES OR ORDINANCES, THE STRICTEST INTERPRETATION SHALL APPLY.
- 5. ALL SANITARY VENTING IS TO BE GROUPED TOGETHER AND CONNECTED TO EXISTING SANITARY VENT STACK CONNECTION, (SITE VERIFY CONNECTION POINT & SIZE.). ALL SANITARY VENTING IS TO CONFORM TO THE OBC, BASE BUILDING AND APPLICABLE PLUMBING CODE RULES AND REGULATIONS.
- 6. PIPING PENETRATING FIRE SEPARATIONS ARE REQUIRED TO BE SEALED AT THE PENETRATION BY FIRE STOPS AND IN COMPLIANCE WITH DIV. B. 9.10.9.6 AND 9.10.9.7. THE APPROVED FIRE STOP SYSTEM AND INSTALLATION DETAILS MUST BE SUBMITTED TO THE FILED INSPECTOR FOR APPROVAL. INSTALLATION SHALL BE COORDINATED ON SITE AND SUBJECT TO THE APPROVAL OF THE FIELD INSPECTOR.
- 7. CONTRACTOR IS RESPONSIBLE TO CARRY COST FOR ALL X-RAYING, SCANNING, FLOOR CUTTING, TRENCHING, CORING, ETC. AS REQUIRED FOR NEW BELOW SLAB BURIED PLUMBING SERVICES. MAKE GOOD ALL AREAS AFFECTED BY THIS WORK EQUAL TO THE EXISTING FINISHED FLOOR CONSTRUCTION. NEW FLOOR FILLER IS LEVEL AND SMOOTH TO ACCEPT FLOOR FINISH. ENSURE FROM THE STRUCTURAL ENGINEER TO DO THIS WORK.

	LEGEND
SYMBOL	DESCRIPTION
san	SANITARY LINE ABOVE FLOOR / GRADE
— — SAN— —	SANITARY LINE BELOW FLOOR / GRADE
с	CONDENSATE DRAIN LINE
7 0 co	CLEAN OUT
C FD	FLOOR DRAIN
Ç FFD	COMBINATION FLOOR FUNNEL DRAIN
₽ HD	HUB DRAIN
	COLD WATER LINE
	HOT WATER LINE
	GAS LINE
N	ISOLATION VALVE
- HB	NON FREEZE HOSE BIBB C/W SHUT OFF VALVE & LOCK BOX
CTE	CONNECT TO EXISTING



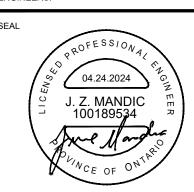
FIFTH FLOOR KEY PLAN



1	ISSUED FOR PERMIT / TENDER	04.24.2024
0	ISSUED FOR COORDINATION	04.17.2024
NO	REVISIONS	DATE
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THE CONTRACTOR AND SUB-TRADES ARE RESPONSIBLE TO CONTACT THE ENGINEER 1 WEEK IN ADVANCE IN ORDER TO SCHEDULE REQUIRED SITE VISITS AND PROVIDE INSPECTIO REPORTS AS REQUIRED IN ACCORDANCE WITH THE GENER COMMITMENT & REVIEW PROCESS BY ARCHITECTS AND ENGINEERS.



ENGINEERING CONSULTANTS



L-IVI/AII

BURLINGTON CITY HALL 5TH & 6TH FLOOR WASHROOM RENO

> 426 BRANT ST BURLINGTON, ON L7R 3Z6

DRAWING TITLE

FIFTH FLOOR PLAN

GRGURIC ARCHITECTS INCORPORATED



28 KING STREET EAST, UNIT B STONEY CREEK, ONTARIO, L8G 1J8 Tel. 905-664-8735 Fax. 905-664-8737 Web: www.2gai.com

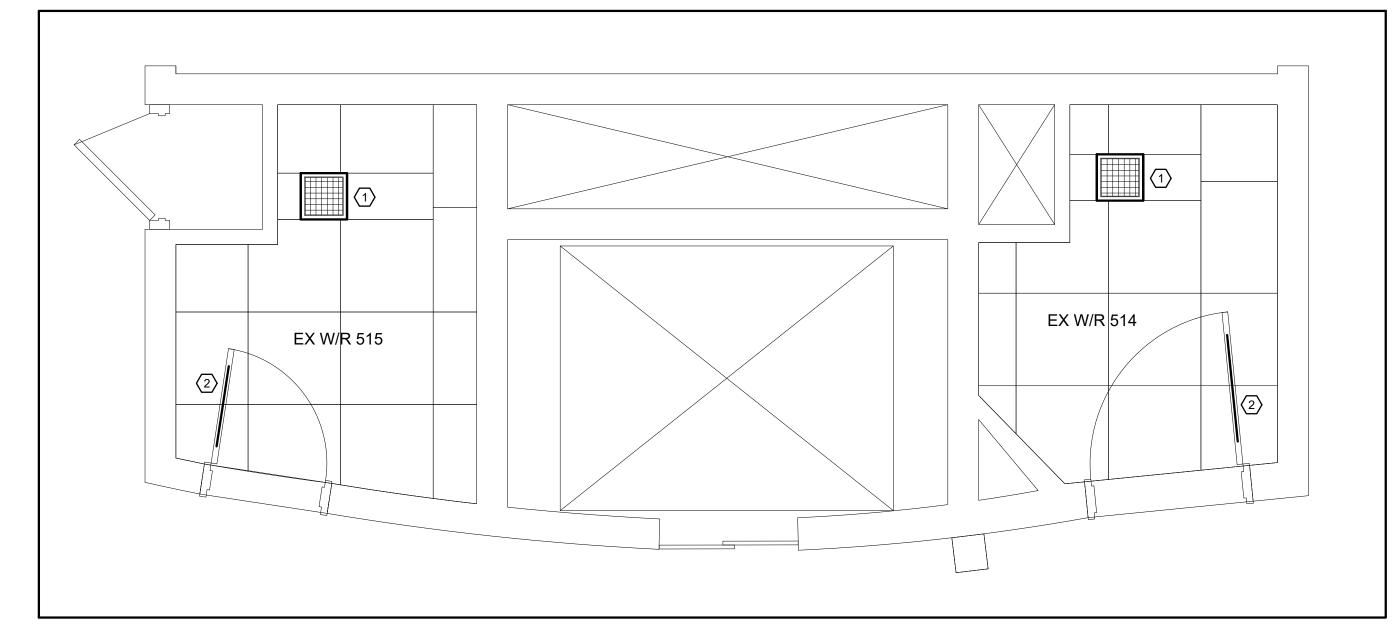
SCALE: PR
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START DATE:
APRIL.2024

24018

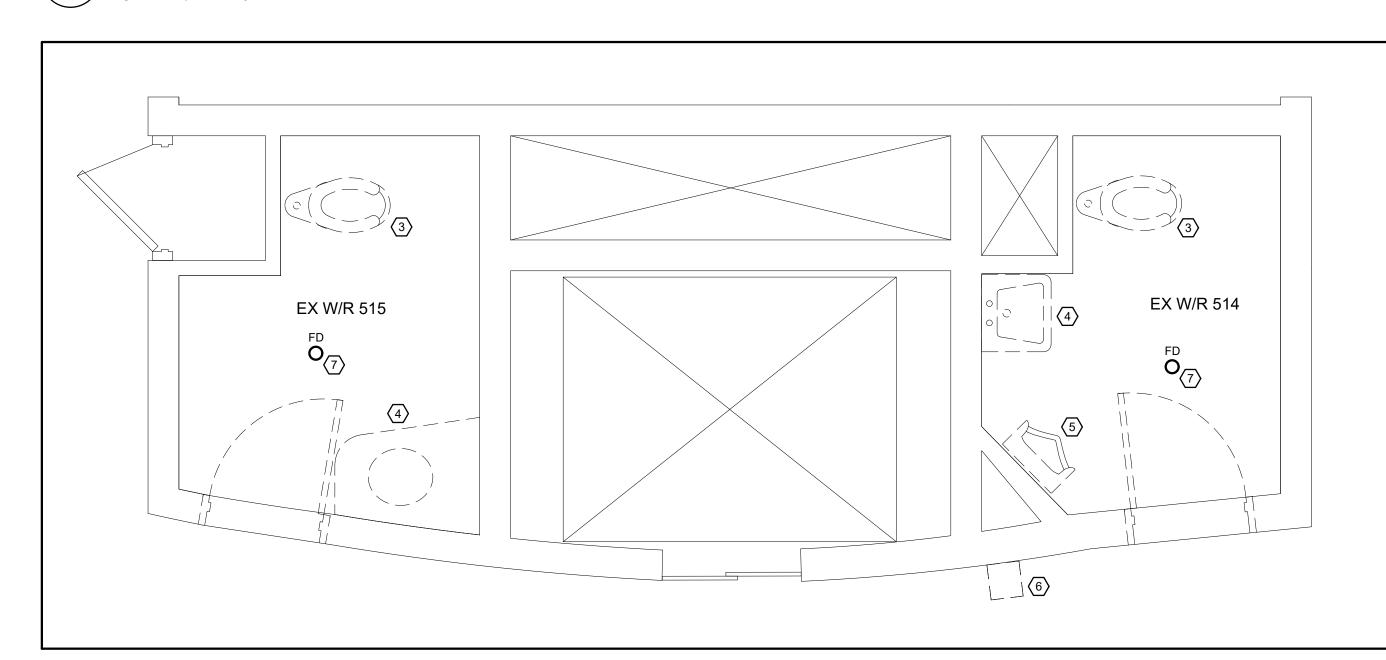
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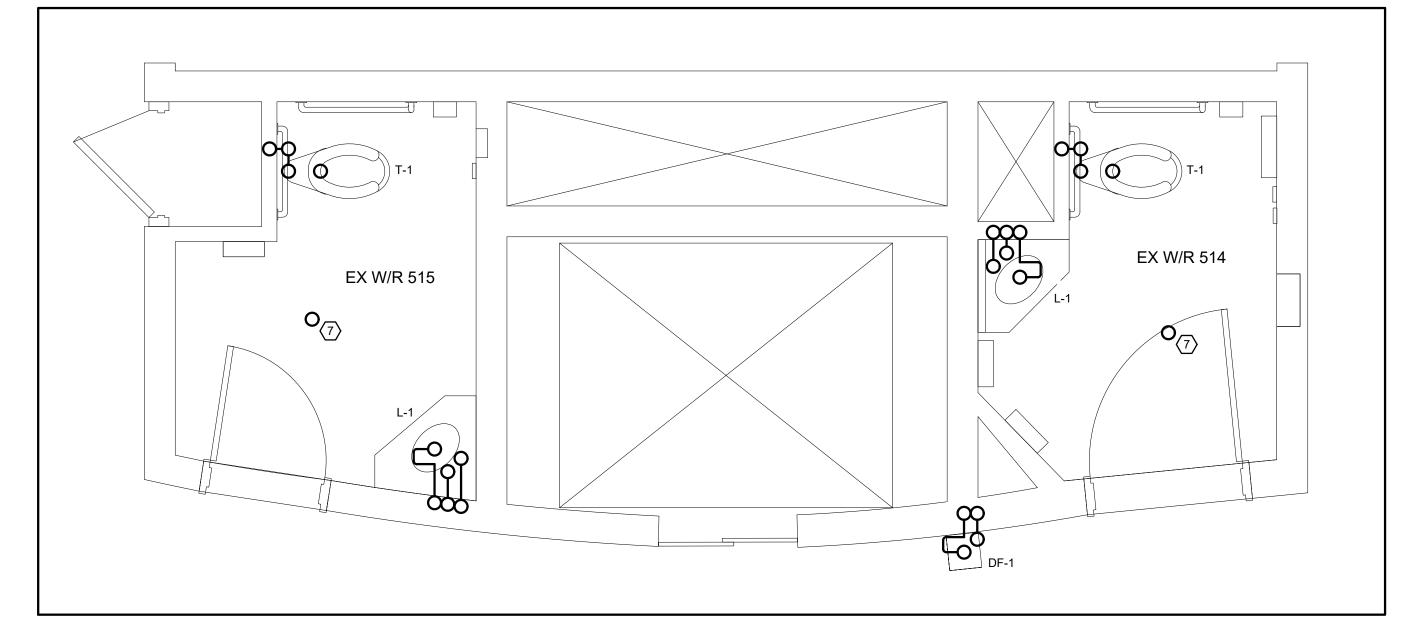
SANITARY EXHAUST PLAN

M1.00 SCALE: 1/2" = 1'-0"



DEMOLITION PLUMBING PLAN

M1.00 SCALE: 1/2" = 1'-0"





M1.00 SCALE: 1/2" = 1'-0"

KEY NOTES:

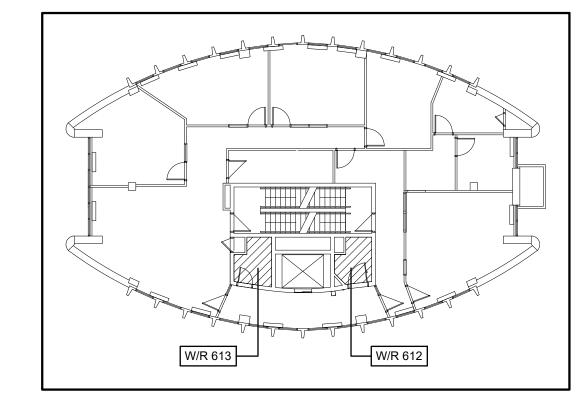
- EXISTING SANITARY EXHAUST GRILLE SERVING WASHROOM FED BY CENTRAL EXHAUST SYSTEM IS TO
- REPLCED WITH BY NEW GRILLE OF EQUAL SIZE, (LAY-IN T-BAR GRID).
 TO BE EQUAL TO E.H.PRICE MODEL 510 SERIES SINGLE BLADE GRILLE C/W OPPOSED BLADE DAMPER BEHIND GRILLE COLLAR.
- SUPPLY & INSTALL NEW LOW MOUNTED DOOR AIR TRANSFER GRILLE IN NEW WASHROOM DOOR.

 TO BE EQUAL TO E.H. PRICE MODEL STG SERIES 20"x16" GRILLE. PAINT GRILLE WINDSWEPT SMOKE COLOR, (CONFIRM WITH ARCHITECT PRIOR TO PAINTING).
- EXISTING TOILET TO BE DISCONNECTED, REMOVED AND DISPOSED OF. EXISTING CONNECTIONS TO BE REWORKED / REUSED FOR NEW TOILET C/W NEW ACCESSORIES AS SPECIFIED. REFER TO NEW PLUMBING PLAN FOR MORE INFORMATION.
- EXISTING HAND SINK TO BE DISCONNECTED, REMOVED AND DISPOSED OF. EXISTING CONNECTIONS TO BE REWORKED / REUSED FOR NEW C/W SINK C/W NEW ACCESSORIES. REFER TO NEW PLUMBING PLAN FOR MORE INFORMATION.
- EXISTING WALL MOUNTED URINAL IS TO BE DISCONNECTED, REMOVED AND DISPOSED OF. ALL EXISTING SERVICES ARE TO BE CUT BACK INTO WALL, CAPPED OFF AND SEALED AIR / LIQUID TIGHT. MAKE GOOD / SAFE ALL AREAS DISTURBED BY THIS CONSTRUCTION.
- EXISTING WALL MOUNTED DRINKING FOUNTAIN SINK TO BE DISCONNECTED, REMOVED AND DISPOSED OF. EXISTING CONNECTIONS TO BE REWORKED / REUSED FOR NEW DRINKING FOUNTAIN, (OPEN WALL AND LOWER CONNECTION POINTS TO SUIT NEW BARRIER FREE MOUNTING HEIGHT, MAKE GOOD ALL AREAS AFFECTED BY THIS CONSTRUCTION). REFER TO NEW PLUMBING PLAN FOR MORE INFORMATION.
- EXISTING FLOOR DRAIN TO BE REPLACED WITH BY NEW. PROVIDE NEW CAST IRON / BRASS FLOOR DRAIN ASSEMBLY, COVER PLATE AND WATERLESS TRAP SEAL TRAP GUARD INSERT TO SUIT EXISTING FLOOR DRAIN TYPE AND SIZE.

GENERAL NOTES:

- 1. SUPPLY AND INSTALL ACCESS PANELS FOR ACCESS TO ALL CLEAN OUTS, VALVES, PIPES, ETC., COORDINATE LOCATIONS ON SITE. PAINT FINISH TO MATCH WALL / CLG. FINISH.
- 2. ALL FLOOR, WALL AND OTHER SUCH PENETRATIONS THROUGH A RATED SEPARATION ARE TO BE SLEEVED / FIRE STOPPED IN ACCORDANCE WITH APPROVED ULC PROCEDURES / MATERIAL DATA SHEETS. THIS INCLUDES ALL NEW WORK AND AREAS OF DEMOLITION WHERE OPENINGS ARE NO LONGER REQUIRED DUE TO PLUMBING DEMOLITION WORK.
- 3. PLUMBING CONTRACTOR WILL INSTALL TEMPORARY CAPS OR CLOSURES ON THE ENDS OF ALL PIPES, CONDUITS ETC. TO PREVENT THE ENTRY OF DEBRIS. ALL HOT AND COLD WATER LINES TO BE INSULATED. CONTRACTOR TO PRESSURE TEST ALL SYSTEMS.
- 4. ALL WORK AND MATERIAL SHALL BE IN ACCORDANCE WITH BASE BUILDING "ENGINEERING DESIGN CRITERIA". ALL CONTRACTORS SHALL OBTAIN A COPY FROM THE OWNER / LANDLORD'S TENANT COORDINATOR OR MALL OPERATIONS MANAGER AND BECOME FAMILIAR WITH THE REQUIREMENTS CONTAINED WITHIN PRIOR TO BIDDING THE JOB. WHERE LANDLORD'S REQUIREMENTS CONFLICT WITH CODES OR ORDINANCES, THE STRICTEST INTERPRETATION SHALL APPLY.
- 5. ALL SANITARY VENTING IS TO BE GROUPED TOGETHER AND CONNECTED TO EXISTING SANITARY VENT STACK CONNECTION, (SITE VERIFY CONNECTION POINT & SIZE.). ALL SANITARY VENTING IS TO CONFORM TO THE OBC, BASE BUILDING AND APPLICABLE PLUMBING CODE RULES AND REGULATIONS.
- 6. PIPING PENETRATING FIRE SEPARATIONS ARE REQUIRED TO BE SEALED AT THE PENETRATION BY FIRE STOPS AND IN COMPLIANCE WITH DIV. B. 9.10.9.6 AND 9.10.9.7. THE APPROVED FIRE STOP SYSTEM AND INSTALLATION DETAILS MUST BE SUBMITTED TO THE FILED INSPECTOR FOR APPROVAL. INSTALLATION SHALL BE COORDINATED ON SITE AND SUBJECT TO THE APPROVAL OF THE FIELD INSPECTOR.
- 7. CONTRACTOR IS RESPONSIBLE TO CARRY COST FOR ALL X-RAYING, SCANNING, FLOOR CUTTING, TRENCHING, CORING, ETC. AS REQUIRED FOR NEW BELOW SLAB BURIED PLUMBING SERVICES. MAKE GOOD ALL AREAS AFFECTED BY THIS WORK EQUAL TO THE EXISTING FINISHED FLOOR CONSTRUCTION. NEW FLOOR FILLER IS LEVEL AND SMOOTH TO ACCEPT FLOOR FINISH. ENSURE FROM THE STRUCTURAL ENGINEER TO DO THIS WORK.

	LEGEND			
SYMBOL	DESCRIPTION			
——SAN——	SANITARY LINE ABOVE FLOOR / GRADE			
— — SAN— —	SANITARY LINE BELOW FLOOR / GRADE			
c	CONDENSATE DRAIN LINE			
7 0 co	CLEAN OUT			
C FD	FLOOR DRAIN			
c FFD	COMBINATION FLOOR FUNNEL DRAIN			
℃ HD	HUB DRAIN			
	COLD WATER LINE			
	HOT WATER LINE			
——————————————————————————————————————	GAS LINE			
⋈	ISOLATION VALVE			
-1 HB	NON FREEZE HOSE BIBB C/W SHUT OFF VALVE & LOCK BOX			
CTE	CONNECT TO EXISTING			



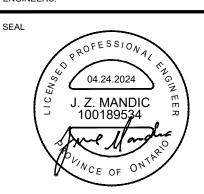
SIXTH FLOOR KEY PLAN SCALE: NTS



1	ISSUED FOR PERMIT / TENDER	04.24.2024
0	ISSUED FOR COORDINATION	04.17.2024
10	REVISIONS	DATE

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L-IVI/AIL.

BURLINGTON CITY HALL 5TH & 6TH FLOOR WASHROOM RENO

> 426 BRANT ST BURLINGTON, ON L7R 3Z6

DRAWING TITLE

SIXTH FLOOR PLAN

GRGURIC ARCHITECTS INCORPORATED



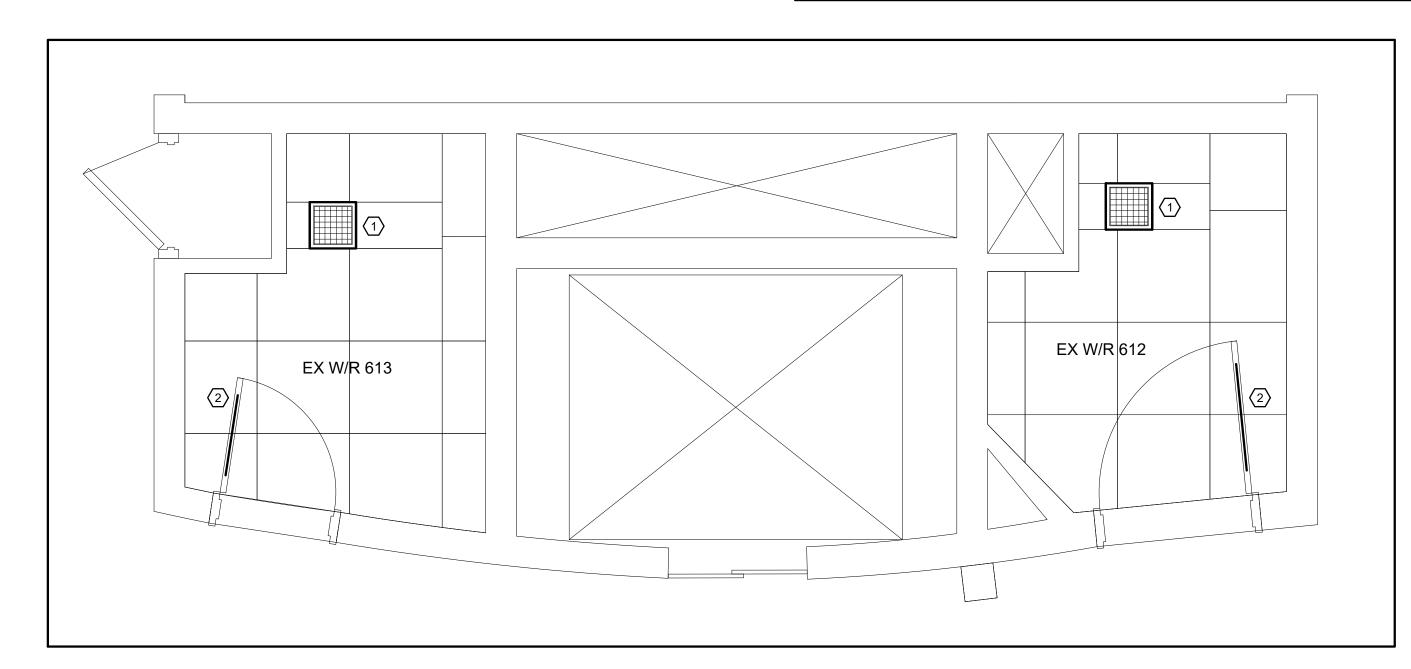
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START DATE:	2
APRIL.2024	

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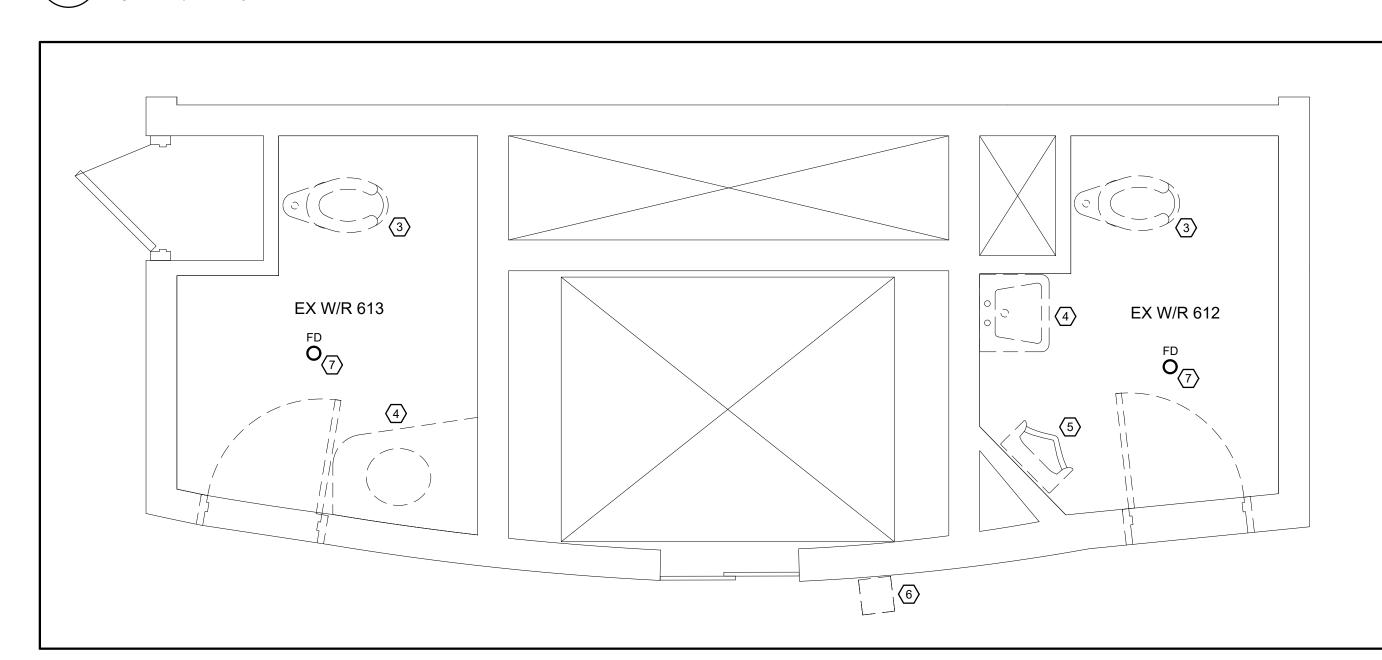
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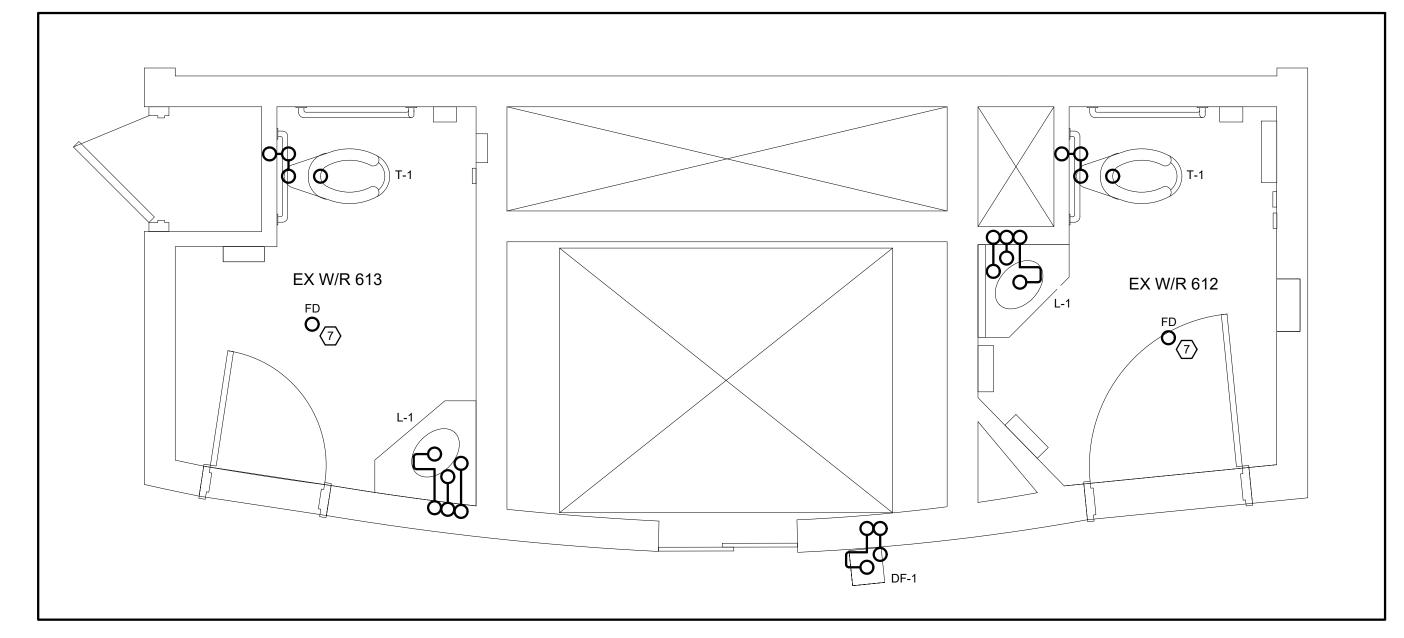
SANITARY EXHAUST PLAN

M1.00 SCALE: 1/2" = 1'-0"



DEMOLITION PLUMBING PLAN

M1.00 SCALE: 1/2" = 1'-0"





M1.00 SCALE: 1/2" = 1'-0"

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DIVISION 15 MECHANICAL GENERAL PROVISIONS

A. GENERAL CONDITIONS

- 1. DRAWINGS AND GENERAL PROVISIONS OF CONTRACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND ALL OTHER SPECIFICATION SECTIONS ARE A PART OF THIS CONTRACT AND APPLY TO THIS AND THE OTHER SECTIONS OF DIVISION 15.
- 2. THE CONTRACTOR FOR THIS WORK IS REQUIRED TO READ THE ENTIRE SPECIFICATIONS AND REVIEW DRAWINGS FOR ALL OTHER TRADES.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING HIS SUBCONTRACTORS WITH A FULL SET OF BID DOCUMENTS (INCLUDING SPECIFICATIONS) AND THE COORDINATION OF HIS WORK AND INSPECTIONS AND THE WORK AND INSPECTIONS OF HIS SUBCONTRACTORS WITH ALL OTHER TRADES ON SITE CONFORMING TO THE GENERAL CONTRACTOR'S TIME SCHEDULE.
- 4. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING HIS BID TO DETERMINE CONDITIONS AFFECTING THE WORK. BIDS SHALL SERVE AS EVIDENCE OF KNOWLEDGE OF EXISTING CONDITIONS AND ANY MODIFICATIONS WHICH ARE REQUIRED TO MEET THE INTENT OF THE DRAWINGS AND SPECIFICATIONS. FAILURE TO VISIT THE SITE DOES NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY IN PERFORMANCE OF WORK.
- 5. WHEN USED, THE TERM "PROVIDED BY CONTRACTOR" SHALL BE INTERPRETED AS MEANING "FURNISHED AND INSTALLED" WITH THE EXCEPTION WHERE ITEMS ARE "PROVIDED BY TENANT" WHICH MEANS "FURNISHED ONLY" (INSTALLED BY CONTRACTOR), EXCEPT AS SPECIFICALLY NOTED OTHERWISE.
- 6. THE CONTRACTOR SHALL PROVIDE A SAFETY RAILING SYSTEM ALONG ROOF EDGE WHERE SERVING OF MECHANICAL EQUIPMENT IS REQUIRED AND NOT WITHIN STANDARD GUIDELINES FOR CLEARANCES TO THE ROOF EDGE.

B. GENERAL REQUIREMENTS

- 1. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SERVICES, TOOLS, TRANSPORTATION, INCIDENTALS AND DETAILS NECESSARY TO PROVIDE A COMPLETE AND FULLY FUNCTIONAL MECHANICAL SYSTEM AS SHOWN ON THE DRAWINGS, CALLED FOR IN THE SPECIFICATIONS, AND AS REQUIRED BY JOB CONDITIONS. ALL WORK NOT SPECIFICALLY NOTED AS BEING BY THE LANDLORD SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR. CLOSELY COORDINATE THE ENTIRE INSTALLATION WITH THE LANDLORD, AS REQUIRED. FIELD VERIFY THE EXACT TYPE, SIZE AND LOCATION, ETC. OF EXISTING PIPE AND DUCTS IN THE TENANT SPACE PRIOR TO BID.
- 2. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO SUPPLEMENT EACH OTHER AND ANY MATERIAL OR LABOR CALLED FOR IN ONE SHALL BE PROVIDED EVEN THOUGH NOT SPECIFICALLY MENTIONED IN BOTH. ANY MATERIAL OR LABOR WHICH IS NEITHER SHOWN ON THE DRAWINGS NOR CALLED FOR IN THE SPECIFICATIONS, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK, AND WHICH IS USUALLY INCLUDED IN WORK OF SIMILAR CHARACTER, SHALL BE PROVIDED AS PART OF CONTRACT.
- 3. ALL MECHANICAL WORK SHALL BE INSTALLED SO AS TO BE READILY ACCESSIBLE FOR OPERATING, SERVICING, MAINTAINING, AND REPAIRING. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUFFICIENT ACCESS TO ALL EQUIPMENT FOR SERVICE.
- 4. THE CONTRACTOR SHALL DO ALL CUTTING, CORE DRILLING, CHASING OR CHANNELING AND PATCHING REQUIRED FOR ANY WORK UNDER THIS DIVISION. CUTTING SHALL HAVE PRIOR APPROVAL BY THE TENANT'S CONSTRUCTION MANAGER AND THE LANDLORD. PATCHING SHALL MATCH, FINISH OF SURROUNDING AREA.

C. CODES

1. ALL WORK SHALL BE PERFORMED IN A NEAT PROFESSIONAL MANNER USING GOOD ENGINEERING PRACTICES. ALL WORK SHALL CONFORM TO THE LANDLORD'S CRITERIA, THE PROVINCE, JURISDICTION'S, CITY'S AND LOCAL CODES AND ORDINANCES, SAFETY AND HEALTH CODES, ENERGY CODES AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS. THE CONTRACTOR SHALL INQUIRE INTO AND COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS. AFTER CONTRACT IS ISSUED, NO ADDITIONAL COST DUE TO CODE ISSUES SHALL BE REIMBURSED BY THE TENANT TO THE CONTRACTOR.

D. LICENSES, PERMITS, INSPECTIONS & FEES

- 1. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL LICENSES, PERMITS, INSPECTIONS, AND FEES REQUIRED OR RELATED TO HIS WORK.
- 2. FURNISH TO THE TENANT'S CONSTRUCTION MANAGER ALL CERTIFICATES OF INSPECTION AND FINAL INSPECTION APPROVAL AT SUBSTANTIAL COMPLETION DATE OF PROJECT

E. DRAWINGS

- 1. DRAWINGS (PLANS, SPECIFICATIONS, AND DETAILS) ARE DIAGRAMMATIC AND INDICATE THE GENERAL LOCATION AND INTENT OF THE MECHANICAL SYSTEMS. BECAUSE OF THE SMALL SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL DUCT AND PIPING OFFSETS, FITTINGS AND ACCESSORIES THAT MAY BE REQUIRED.
- 2. THE LAYOUT SHOWN ON THE DRAWINGS IS BASED ON A PARTICULAR MAKE OF EQUIPMENT. IF ANOTHER MAKE OF EQUIPMENT IS USED WHICH REQUIRES MODIFICATION OR CHANGE OF ANY DESCRIPTION FROM THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE AS PART OF THIS WORK, FOR MAKING ALL SUCH MODIFICATIONS AND CHANGES, INCLUDING THOSE INVOLVING OTHER TRADES WITH THE COST THEREOF INCLUDED IN HIS BID. IN SUCH CASE, CONTRACTOR SHALL SUBMIT DRAWINGS AND SPECIFICATIONS PRIOR TO STARTING WORK SHOWING ALL SUCH MODIFICATIONS AND CHANGES. HIS PROPOSAL SHALL BE SUBJECT TO THE APPROVAL OF THE TENANT'S CONSTRUCTION MANAGER.

F. DISCREPANCIES IN DOCUMENTS

1. DRAWINGS (PLANS, SPECIFICATIONS, AND DETAILS) ARE DIAGRAMMATIC AND INDICATE THE GENERAL LOCATION AND INTENT OF THE MECHANICAL SYSTEMS. WHERE DRAWINGS, EXISTING SITE CONDITIONS, SPECIFICATIONS OR OTHER TRADES CONFLICT OR ARE UNCLEAR, ADVISE THE GENERAL CONTRACTOR IN WRITING, PRIOR TO SUBMITTAL OF BID. THE GENERAL CONTRACTOR IS RESPONSIBLE TO ADVISE THE TENANT'S CONSTRUCTION MANAGER, IN WRITING, OF VARIATIONS TO CONTRACT DOCUMENTS PRIOR TO SUBMISSION OF BID. OTHERWISE, TENANT'S CONSTRUCTION MANAGER'S INTERPRETATION OF CONTRACT DOCUMENTS OR CONDITIONS SHALL BE FINAL WITH NO ADDITIONAL COMPENSATION PERMITTED.

G. TRADE NAMES AND MANUFACTURERS

1. WHERE TRADE NAMES AND MANUFACTURERS ARE USED ON THE DRAWINGS OR IN THE SPECIFICATIONS, THE EXACT EQUIPMENT SHALL BE USED AS A MINIMUM STANDARD FOR THE BASE BID. MANUFACTURERS CONSIDERED AS AN EQUAL OR BETTER IN ALL ASPECTS TO THAT SPECIFIED WILL BE SUBJECT TO APPROVAL IN WRITING BY THE TENANT'S CONSTRUCTION MANAGER PRIOR TO ACCEPTANCE. THE USE OF ANY UNAUTHORIZED EQUIPMENT SHALL BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.

I. SHOP DRAWINGS

1. SUBMIT SIX COPIES OF MATERIAL LISTS AND SHOP DRAWINGS FOR ALL EQUIPMENT AND DUCT FABRICATION DRAWINGS TO THE TENANT'S CONSTRUCTION MANAGER FOR APPROVAL PRIOR TO ORDERING EQUIPMENT. SUBMISSIONS MUST BE EARLY ENOUGH TO ALLOW THE TENANT'S CONSTRUCTION MANAGER EIGHT WORKING DAYS FOR REVIEW WITHOUT CAUSING DELAYS OR CONFLICTS TO THE JOB'S PROGRESS. SUBMITTALS SHALL BE IN ACCORDANCE WITH THE GENERAL CONDITIONS USING THE MANUFACTURER'S LISTED ON THE DRAWINGS. SHOP DRAWINGS SHALL INCLUDE ALL DATA THAT PERTAINS TO THE REQUIREMENTS SET FORTH ON THE DRAWINGS AND IN THE SPECIFICATIONS. THE SUBMITTAL SHALL INCLUDE BUT NOT LIMITED TO CUTS OR CATALOGS INCLUDING DESCRIPTIVE LITERATURE AND CHARACTERISTICS OF EQUIPMENT SHALL SHOW MAJOR DIMENSIONS, ROUGHING-IN DATA, CAPACITY, CURVES, PRESSURE DROP, CODE COMPLIANCE, MOTOR AND DRIVE DATA AND ELECTRICAL DATA. OBSERVE SPECIAL INSTRUCTIONS WHEN REQUIRED. SUBMITTALS SHALL BEAR THE STAMP OF THE GENERAL AND SUBCONTRACTOR SHOWING THAT HE HAS REVIEWED AND CONFIRMED THAT THEY ARE IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS OR INDICATE WHERE EXCEPTIONS TAKE PLACE. LACK OF SUCH CONTRACTOR'S REVIEW AND APPROVAL WILL BE CAUSE FOR REJECTION WITHOUT REVIEW BY TENANT'S CONSTRUCTION MANAGER. ALL SHOP DRAWINGS MUST APPEAR IN THE OPERATION AND MAINTENANCE MANUALS LEFT ON SITE AT JOB COMPLETION.

2. TENANT'S CONSTRUCTION MANAGER'S REVIEW OF SHOP DRAWINGS OR SCHEDULES SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR ERRORS, OMISSIONS OR OTHER DEFICIENCIES OR DEVIATIONS IN THE SHOP DRAWING FROM THE CONTRACT DRAWINGS AND SPECIFICATIONS.

- J. RECORD DRAWINGS
- 1. THE CONTRACTOR SHALL MAINTAIN ONE COPY OF DRAWINGS AND SPECIFICATIONS ON THE JOB SITE TO RECORD DEVIATIONS FROM CONTRACT DRAWINGS, SUCH AS:
- A. LOCATION OF CONCEALED PIPING VALVES AND DUCTS.
- B. REVISIONS, ADDENDUMS, AND CHANGE ORDERS.
- C. SIGNIFICANT DEVIATIONS MADE NECESSARY BY FIELD CONDITIONS, APPROVED
 EQUIPMENT SUBSTITUTIONS, AND CONTRACTOR'S COORDINATION WITH OTHER TRADES.
 D. EXACT ROUTING OF ALL SANITARY AND DOMESTIC WATER PIPING UNDER FLOOR.
- 2. AT COMPLETION OF THE PROJECT AND BEFORE FINAL APPROVAL, THE CONTRACTOR SHALL MAKE ANY FINAL CORRECTIONS TO DRAWINGS AND CERTIFY THE ACCURACY OF EACH PRINT BY SIGNATURE THEREON. THE DRAWINGS ARE TO BE TURNED OVER TO THE TENANT.

K. GUARANTEE

1. THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORK UNDER HIS CONTRACT AND SHALL MAKE GOOD, REPAIR OR REPLACE AT HIS OWN EXPENSE, ANY DEFECTIVE WORK, MATERIAL, OR EQUIPMENT WHICH MAY BE DISCOVERED WITHIN A PERIOD OF 12 MONTHS FROM THE DATE OF ACCEPTANCE (IN WRITING) OF THE INSTALLATION BY THE TENANT'S CONSTRUCTION MANAGER. PROVIDE EXTENDED WARRANTIES AS SPECIFIED WITH INDIVIDUAL EQUIPMENT. IN CASE OF REPLACEMENT OR REPAIR OR EQUIPMENT DUE TO FAILURE WITHIN GUARANTEE PERIOD, GUARANTEE ON THAT PORTION OF WORK SHALL BE EXTENDED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF SUCH REPLACEMENT OR REPAIR.

L. OPERATIONS MANUALS

1. ONE COPY OF EACH OPERATION AND MAINTENANCE MANUAL FOR ALL EQUIPMENT FURNISHED ON JOB SHALL BE COLLECTED AND INSERTED IN A 3" THREE RING BINDER AND TURNED OVER TO THE OWNER. EACH NOTEBOOK SHALL INCLUDE BUT NOT BE LIMITED TO INSTALLATION, MAINTENANCE AND OPERATING INSTRUCTIONS, PAMPHLETS OR BROCHURES APPROVED SHOP DRAWINGS AND WARRANTIES OBTAINED FROM EACH MANUFACTURER OF PRINCIPAL ITEMS OF EQUIPMENT, AS-BUILT DRAWINGS, TESTING REPORTS AND CERTIFICATES.

M. SLEEVES

- 1. THE CONTRACTOR SHALL PROVIDE SLEEVES TO PROTECT EQUIPMENT OR FACILITIES IN THE INSTALLATION. EACH SLEEVE SHALL EXTEND THROUGH IT'S RESPECTIVE FLOOR, WALL OR PARTITION AND SHALL BE CUT FLUSH WITH EACH SURFACE EXCEPT SLEEVES THAT PENETRATE THE FLOOR, WHICH SHALL EXTEND 2" ABOVE THE FLOOR.
- 2. ALL SLEEVES AND OPENINGS THROUGH FIRE RATED WALLS AND/OR FLOORS SHALL BE FIRE SEALED WITH CALCIUM SILICATE, SILICONE "RTV" FOAM, "3M" FIRE RATED SEALANTS OR EQUAL, SO AS TO RETAIN THE FIRE RATING OF THE FLOOR OR WALL. CONFORM TO U.L. ASSEMBLY RATING OF FLOOR OR WALL.
- 3. SLEEVES IN BEARING AND MASONRY WALLS, FLOORS, AND PARTITIONS SHALL BE STANDARD WEIGHT STEEL PIPE FINISHED WITH SMOOTH EDGES. FOR OTHER THAN MASONRY PARTITIONS, THROUGH SUSPENDED CEILINGS, OR FOR CONCEALED VERTICAL PIPING, SLEEVES SHALL BE NO. 22 U.S.GAUGE GALVANIZED STEEL MINIMUM.
- 4. DUCT SLEEVES TO BE MINIMUM 14 GAUGE STEEL.

N. HANGERS & SUPPORT

- 1. HANGERS SHALL INCLUDE ALL MISCELLANEOUS STEEL SUCH AS ANGLE IRON, BANDS, C-CLAMPS WITH RETAINING CLIPS, CHANNELS, DUCT STANDS, HANGER RODS, SEISMIC SUPPORT, ETC., NECESSARY FOR THE INSTALLATION OF WORK AS REQUIRED IN ACCORDANCE WITH STRUCTURAL ENGINEERING DRAWINGS, DETAILS AND SPECIFICATIONS, TYPICAL FOR ALL EQUIPMENT, DUCTWORK, ETC. (BUILDING INTERIOR AND EXTERIOR AREAS).
- 2. HANGERS SHALL BE FASTENED TO BUILDING STEEL, CONCRETE, OR MASONRY, BUT NOT TO PIPING OR DUCTWORK. HANGING FROM METAL DECK IS NOT PERMITTED. HANGERS MUST BE ATTACHED TO UPPER CHORD OF BAR JOIST. WHERE INTERFERENCES OCCUR, IN ORDER TO SUPPORT DUCTWORK OR PIPING, THE CONTRACTOR MUST INSTALL TRAPEZE TYPE HANGERS OR SUPPORTS WHICH SHALL BE LOCATED WHERE THEY DO NOT INTERFERE WITH ACCESS TO FIRE DAMPERS, VALVES, ACCESS DOORS AND OTHER EQUIPMENT SERVICE REQUIREMENTS AND/OR OTHER TRADES. HANGER TYPES AND INSTALLATION METHODS ARE SUBJECT TO LANDLORD CRITERIA.
- 3. HANGERS FOR ALL INSULATED PIPING SHALL BE SIZED AND INSTALLED FOR THE OUTER DIAMETER OF INSULATION. INSTALL 6" LONG SPLIT CIRCLE GALVANIZED SADDLE BETWEEN THE HANGER AND THE PIPE INSULATION.
- 4. HANGERS AND PIPING OF DISSIMILAR METALS SHALL BE DI-ELECTRICALLY SEPARATED

O. ACCESS DOORS

- 1. FURNISH STEEL ACCESS DOORS AND FRAMES, MIN. 16" X 20" OR AS SHOWN ON DRAWINGS, TO GENERAL CONTRACTOR FOR ALL LOCATIONS WHERE NECESSARY TO PROVIDE ACCESS TO CONCEALED VALVES, AND OTHER EQUIPMENT REQUIRING SERVICE OR INSPECTION. LOCATION, TYPE, SIZE AND NUMBER AS DETERMINED BY CONTRACTOR AND APPROVED BY TENANT CONSTRUCTION MANAGER TO SUIT EQUIPMENT REQUIREMENTS. GENERAL CONTRACTOR WILL INSTALL ACCESS DOORS AND FRAMES.
- 2. ACCESS DOORS LOCATED IN FIRE-RATED WALLS, FLOORS, CEILING-FLOOR OR CEILING-ROOF ASSEMBLIES SHALL BE FIRE RATED, UNDERWRITER'S LABORATORIES, (C) INC., LISTED AND LABELED.
- 3. ACCESS DOORS SHALL BE FLUSH TYPE, MANUFACTURED FROM NO. 14 GAUGE STEEL, COMPLETE WITH FLUSH FLANGE TYPE FRAMES MANUFACTURED FROM NO. 16 GAUGE STEEL, PROVIDED WITH ANCHORS. ACCESS DOORS SHALL BE SUITABLE FOR INSTALLATION IN WALL OR CEILING MATERIALS SHOWN IN ROOM FINISH SCHEDULES.

P. ELECTRICAL MOTORS

- 1. FURNISH, INSTALL AND ALIGN ALL MOTORS REQUIRED FOR THIS EQUIPMENT. UNLESS THEY ARE FACTORY INSTALLED ON THE UNIT, ALL STARTERS AND ASSOCIATED WIRING AND SAFETY SWITCHES FOR SUCH MOTORS SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. STARTERS SHALL MEET ALL REQUIREMENTS AS DEFINED IN THE ELECTRICAL DIVISION OF THE SPECIFICATIONS.
- 2. DESIGN, CONSTRUCTION AND PERFORMANCE CHARACTERISTICS OF MOTORS SHALL CONFORM TO ALL APPLICABLE PROVISIONS OF LATEST NEMA, ANSI, ISEE STANDARDS FOR ELECTRICAL EQUIPMENT. ALL MOTORS SHALL BE SUITABLE FOR OPERATION ON VOLTAGE VARIATION OF PLUS OR MINUS 10%%%, 40 DEGREES C AMBIENT TEMPERATURE; HAVE A SERVICE FACTOR OF NOT LESS THAN 1.15.
- Q. LOW VOLTAGE (24 VOLT) WIRING
- 1. THE CONTRACTOR IS TO INSTALL ALL LOW VOLTAGE WIRING REQUIRED FOR HIS EQUIPMENT. THIS WORK INCLUDES ALL TRANSFORMERS AND DEVICES TO MAKE THIS A COMPLETE FUNCTIONAL SYSTEM.
- 2. ALL WORK IS TO CONFORM TO THE LATEST ADDITION N.E.C AND TO DIVISION 16 ELECTRICAL SPECIFICATIONS.
- 3. ANY CONDUIT REQUIRED BY CODE OR THE LANDLORD WILL BE INSTALLED BY THE ELECTRICAL SUBCONTRACTOR.
- R. COMMISSIONING AND DEMONSTRATION
- 1. THE COMMISSIONING PROCESS REQUIRES THE COMPLETE PROCESS TO TEST, ADJUST AND BALANCE THE ENTIRE SYSTEM.

S. FIRE STOPPING

1. PROVIDE LISTED & APPROVED FIRE STOPPING, FIRE STOPPING DEVICES AND SEALANT AS REQUIRED TO MAINTAIN FIRE SEPARATIONS. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS AND TYPES OF SEPARATIONS.

T. SEISMIC SUPPORT

1. THE CONTRACTOR SHALL ENGAGE A SEISMIC RESTRAINT SYSTEM ENGINEER TO PROVIDE ENGINEERED SHOP DRAWINGS FOR SEISMIC RESTRAINT SUPPORT SYSTEMS ON ALL MECHANICAL EQUIPMENT, PIPES, DUCTWORK, ETC.

DESIGN AND ALL SPECIFICATIONS MUST BE PERFORMED BY A PROFESSIONAL ENGINEER REGISTERED AND INSURED IN THE PROVINCE OF ONTARIO SPECIALIZING IN THE DESIGN OF SEISMIC RESTRAINT SYSTEMS

DIVISION 15 MECHANICAL PLUMBING

A. SCOPE OF WORK

- 1. THIS CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, SERVICES, TOOLS, TRANSPORTATION AND FACILITIES NECESSARY FOR, REASONABLY IMPLIED AND INCIDENTAL TO, THE FURNISHING, INSTALLATION, COMPLETION AND TESTING OF ALL THE WORK FOR THE PLUMBING SYSTEMS AS SHOWN ON THE DRAWINGS, CALLED FOR IN THE SPECIFICATIONS, AND AS REQUIRED BY JOB CONDITIONS, TO INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING: (REFER TO RESPONSIBILITY SCHEDULE FOR EXACT RESPONSIBILITIES)
- A. COMPLETE SANITARY PIPING SYSTEMS OF WASTE, DRAINS, AND VENTS.

 B. COMPLETE COLD AND HOT WATER PIPING SYSTEMS, APPURTENANCES AND INSULATION.

 C. DI LIMBING FLYTLIBES AND FOLIDMENT AS SCHEDULED.
- C. PLUMBING FIXTURES AND EQUIPMENT AS SCHEDULED.
- D. NATURAL GAS PIPING AND FITTINGS.
 E. TESTS AND ADJUSTMENTS.
- 2. BEFORE STARTING WORK, THIS CONTRACTOR SHALL EXAMINE THE ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL PLANS AND SPECIFICATIONS TO SEQUENCE, COORDINATE, AND INTEGRATE THE VARIOUS ELEMENTS OF THE PLUMBING SYSTEM, MATERIALS, AND EQUIPMENT WITH OTHER CONTRACTORS TO AVOID INTERFERENCES AND CONFRONTATIONS.
- 3. RELOCATION OF EXISTING WATER, WASTE, VENT, OR DRAINAGE LINES TO FACILITATE STORE DESIGN CRITERIA MUST BE INCLUDED IN BID PROPOSAL.

A. PLUMBING EQUIPMENT

- 1. PROVIDE NEW PLUMBING EQUIPMENT AS SHOWN ON THE DRAWING AND SPECIFIED IN THE PLUMBING FIXTURE SCHEDULE.
- 2. WHERE EXISTING PLUMBING FIXTURES ARE TO BE REUSED, REPLACE BALL COCK VALVE SEALS, LEAVE IN PROPER WORKING ORDER.

B. GENERAL PIPING REQUIREMENTS

- 1. GENERALLY, SANITARY AND POTABLE WATER CONNECTIONS WILL BE MADE AT SERVICE LOCATIONS. FIELD VERIFY EXACT CONNECTION POINTS PRIOR TO SUBMITTING BID AND NOTIFY THE TENANT'S CONSTRUCTION MANAGER IF CONDITIONS ARE NOT AS SHOWN ON THE PLANS OR AS STATED IN THE SPECIFICATIONS. CONTRACTOR MUST VERIFY THE OPERABILITY OF ENTIRE SYSTEM PRIOR TO TIE IN AS FOLLOWS:
- A. SNAKE SANITARY FOR A DISTANCE OF 100 FEET AND REPORT ANY BLOCKAGE.

 B. TEST WATER PRESSURE TO INSURE MINIMUM OF 50 PSI.
- 2. INSTALL ALL NECESSARY PIPE HANGERS, SADDLES, AND CARRIERS TO PROPERLY SUPPORT ALL PIPING AND FIXTURES. HANGERS SHALL SUIT TYPE OF PIPING PROVIDED AND BE SPACED AT A MAXIMUM SPAN OF 5 FEET.
- 3. ESCUTCHEONS SHALL BE CHROME PLATED, SIZE AS REQUIRED AND PLACED AT ALL PIPE PENETRATIONS AT WALLS, FLOORS, AND CEILINGS IN FINISHED AREAS.
- 4. FLASHING SHALL BE SEALED WATERTIGHT AND PERFORMED IN ACCORDANCE TO THE LANDLORD'S CRITERIA.
- C. PIPING ALL MATERIALS MUST BE CSA LISTED / APPROVED FOR USE IN CANADA
- SANITARY PIPING:
 IPEX XFR PIPING WHERE SUITABLE FOR EXISTING CONDITIONS.
- OTHERWISE;
 A. WASTE, DRAIN AND VENT PIPING SHALL BE SERVICE WEIGHT, CAST IRON SOIL PIPE.
 VENT PIPING ABOVE FLOOR TO BE COPPER.
 B. JOINTS: BELOW FLOOR SLAB COMPRESSION TYPE PLASTIC SEAL (HUB AND SPIGOT).
- ABOVE FLOOR SLAB NEOPRENE SEALING SLEEVE WITH STAINLESS STEEL SHIELD AND CLAMP WITH APPROVED NEOPRENE BASED LUBRICANT, (HUBLESS). GALVANIZED VENT SCREWED JOINTS WITH TEFLON TAPE ON MALE THREADS.

 C. PITCH WASTE LINES 3" AND SMALLER NOT LESS THAN 1/4" PER FOOT. PITCH LARGER
- MAINS NOT LESS THAN 1/8" PER FOOT. INSTALL A CLEAN OUT AT BASE OF EACH SOIL STACK, AT EACH CHANGE

 D. IN DIRECTION, AT INTERVALS NOT OVER 50 FEET, AND ELSEWHERE AS SHOWN ON DRAWINGS OR REQUIRED BY LOCAL CODE. CLEAN OUTS SHALL ONLY BE INSTALLED IN NON-PUBLIC AREAS, UNLESS GIVEN EXPRESSED WRITTEN PERMISSION BY TENANT'S CONSTRUCTION MANAGER. WHEN GIVEN PERMISSION TO INSTALL IN PUBLIC AREAS, THE CLEANOUTS SHALL HAVE STAINLESS STEEL WALL COVERS AND BRASS FLOOR COVERS (FLUSH WITH FINISHED FLOOR) PROVIDED BY THE CONTRACTOR. PROVIDE COVERS WITH

INSET AREA FOR CARPETED FLOOR LOCATIONS. ALL CLEAN-OUT LOCATIONS SHALL BE

- APPROVED BY THE TENANT'S CONSTRUCTION MANAGER.

 E. INSULATE ALL HORIZONTAL RUNS OF PIPING LOCATED IN CEILING SPACES WHEN APPLICABLE. INSULATION TO BE AS SPECIFIED FOR WATER PIPING.

 F. INSULATE THE TRAP, SANITARY AND SUPPLY PIPES UNDER LAVATORY WITH 1/2" ARMSTRONG "ARMAFLEX" PIPING INSULATION OR TRUEBRO MODEL 102W "HANDI LAV
- 2. CONDENSATE PIPING SHALL BE TYPE "L" DRAWN COPPER TUBE WITH LEAD FREE SOLDERED JOINTS AND WROUGHT COPPER FITTINGS WITH DIELECTRIC SEPARATION BETWEEN DISSIMILAR METALS.
- 3. POTABLE WATER PIPING:
 A. BELOW GRADE: TYPE 'K', ANNEALED TEMPERED COPPER TUBE FOR PIPE SIZES 2
- INCHES AND SMALLER. BRAZE ALL JOINTS.

 B. ABOVE GRADE: TYPE 'L' DRAWN COPPER TUBE WITH WROUGHT COPPER FITTINGS AND LEAD FREE SOLDER.

 C. INSTALL AIR CHAMBER SHOCK ABSORBERS IN PIPING SYSTEM TO PREVENT NOISE AND
- DAMAGE DUE TO WATER HAMMER.

 D. ALL BRANCH PIPING SYSTEM SHALL HAVE ACCESSIBLE SERVICE VALVE. PROVIDE SHUT OFF VALVES IN THE SUPPLY PIPING TO EVERY FIXTURE. PROVIDE ACCESS DOORS WHERE
- NECESSARY.

 E. PROVIDE WATER METER AND REMOTE READER PER LANDLORD'S CRITERIA OR LOCAL UTILITIES REQUIREMENTS IF APPLICABLE. REFER TO PLANS FOR FOR ADDITIONAL INFORMATION.
- F. SECURE PIPE AT ANGLE STOPS.
 G. PROVIDE FLEXIBLE INSERTS AT ALL PIPE PENETRATIONS THROUGH FRAMING TO KEEP PIPES FROM HITTING FRAME WHEN IN OPERATION.
- 4. GAS PIPINGA. PROVIDE A COMPLETE GAS PIPING SYSTEM IF APPLICABLE. REFER TO PLANS TO
- DETERMINE IF A GAS SYSTEM IS REQUIRED.

 B. LOW PRESSURE (14" W.C. AND BELOW) GAS LINES SHALL BE BLACK STEEL, SCHEDULE 40, ASTM A-120, WITH MALLEABLE THREADED FITTINGS FOR 2" AND SMALLER, AND WITH WELDED JOINTS FOR 2-1/2" AND LARGER. MEDIUM PRESSURE (ABOVE 14" W.C.) SHALL HAVE
- C. PROVIDE A GAS COCK, DIRT LEG, AND UNION CONNECTION TO EACH PIECE OF EQUIPMENT. PROVIDE GAS METER AND/OR REGULATOR AS REQUIRED. REGULATOR TO BE VENTED TO THE EXTERIOR.

 D. PITCH PIPING AT A UNIFORM GRADE OF 1/4" IN 15 FEET UPWARD IN DIRECTION OF FLOW. SUPPORT PIPING EVERY 5 FEET. SUPPORT AS REQUIRED BY LANDLORD CRITERIA, AS
- DETAILED ON DRAWINGS, OR BY STANDARD INDUSTRY PRACTICE, WHICHEVER IS MORE STRINGENT.

 E. GAS PIPING EXPOSED ON ROOF MUST BE PAINTED WITH RUST-INHIBITING PAINT.

 F. INSTALLATION, TESTING AND PURGING OF GAS PIPING SHALL BE DONE PER THE
- REQUIREMENTS OF THE LOCAL GAS COMPANY, LOCAL CODES, AND APPLICABLE NFPA 54 CODES.
 G. CONTACT AND COORDINATE GAS SERVICE AND METER REQUIREMENTS WITH THE LOCAL GAS COMPANY AND THE LANDLORD PRIOR TO BID.
- 5. INSULATION
 A. INSULATE ALL WATER AND INTERIOR CONDENSATE PIPING WITH 1" THICK (K=0.23 @ 75 F) SNAP-ON FIBERGLASS PIPE INSULATION WITH AN ALL SERVICE JACKET TO MEET LOCAL CODES AND ULC FLAME SPREAD RATING OF 25 AND SMOKE DEVELOPED RATINGS OF 50.
- 6. TEST & STERILIZATION
 A. LEAKAGE TESTS SHALL BE PER LOCAL CODES, MINIMUM AS FOLLOWS:

APPROVED MANUFACTURER: MANVILLE MICRO-LOK.

3. TEST GAS PIPING WITH PER NFPA 54 CODES.

- LEARAGE TESTS SHALL BE PER LOCAL CODES, MINIMOM AS FOLLOWS:
 TEST POTABLE WATER PIPING AND CONDENSATE PIPING AT 125 PSIG FOR SIX HOURS.
 TEST DRAIN, WASTE, VENT PIPING BY A 10' WATER COLUMN FOR TWO HOURS. ALL JOINTS SHALL BE GAS AND WATER TIGHT.
- 4. STERILIZE POTABLE HOT & COLD WATER LINES UPON COMPLETION OF SYSTEM. STERILIZE WATER SYSTEM IN ACCORDANCE WITH LOCAL CODES.

FIRE STOPPING

WELDED JOINTS.

1. PROVIDE ULC / CSA APPROVED FIRE STOPPING SEALANTS AND FIRE STOPPING DEVICES AS REQUIRED WHERE PIPING PENETRATES ALL FIRE RATED SEPARATIONS.

PLUMBING FIXTURE SCHEDULE						
REF#	SPECIFICATION	CW	HW	SAN	VEN	
T-1	KOHLER HIGHCLIFF ULTRA K-96057 TOILET. - FLOOR MOUNTED VITREOUS CHINA BOTTOM OUTLET TOP SPUD INLET FLUSHOMETER TOILET CONFIGURATION. - TOILET MUST BE ORDER C/W 10" ROUGH IN DRAIN / BOLT CONNECTION. - MACK TRIPOINT K-10TH00R10 TOUCHLESS TOILET FLUSHOMETER, HES POWERED, 1.28GPF. CHROME FLUSHOMETER PIPE RISER LENGTH TO BE INSTALLED TO SUIT EXISTING WATER CONNECTION THROUGH WALL. - SOFT CLOSE OPEN FRONT RIM SEAT COVER	25Ø		100Ø	502	
	IMPORTANT NOTE: EXISTING TOILET ROUGH IN IS 8.5 - 9" AWAY FROM REAR WALL. TOILET IS TO BE INSTALLED TIGHT TO WALL TO SUIT EXISTING ROUGH-IN CONNECTION POINT AND NEW TOILET 10" ROUGH IN CONNECTION. COORDINATE ALL THIS WORK WITH G.C. / TILING CONTRACTOR PRIOR TO ANY TILE INSTALLATION / WORK. PROVIDE OFFSET DRAIN CONNECTION IF REQUIRED.					
L-1	KOHLER CAXTON K-2209 UNDERMOUNT OVAL BATHROOM SINK. - UNDERMOUNT TO NEW CONTERTOP, (COUNTER BY OTHERS). - KOHLER K-7516 GEOMETRIC TOUCHLESS SINGLE HOLE FAUCET WITH INSIGHT SENSOR TECHNOLOGY, 3.6V HES POWERED HYDRIB ENERGY CELL FAUCET, FACTORY PRESET 30 SECOND MAXIMUM CYLE RUN CYCLE. - K-7129-A FIXED STRAINER DRAIN - K-99799 THERMOSTATIC MIXING VALVE - 0.5 GPM FLOW RATE AERATOR	13Ø	13Ø	32Ø	320	
DF-1	ELKAY ENHNACED EXH2O LZS8WSLP DRINKING FOUNTAIN AND BOTTLE FILLING STATION. - BOTTLE FILLING STATION & SINGLE DRINKING ADA DRINKING FOUNTAIN. - FILTERED REFRIGERATED COOLER. - STAINLESS STEEL AND GRANITE GREY FLEXI-GUARD APRON - 51300C FILTER - SURFACE WALL MOUNTED HANGING BRACKET KIT, (FASTEN BRACKET & UNIT TO STRUCTURAL SUPPORT MEMBERS IN WALL). - 120V/1PH, 5.0 AMPS RUNNING LOAD. IMPORTANT NOTE: (2 UNITS REQUIRED, 1 FOR FIFTH FLOOR AND 1 FOR SIXTH FLOOR). - 1 EXISTING UNIT IS TO BE PROVIDED BY OWNER / OPERATIONS. TO BE INSTALLED BY THIS CONTRACTOR. COORDINATE WITH OPERATIONS / CITY OF BURLINGTON PROJECT MANAGER ON SITE. - 1 NEW UNIT TO BE SUPPLIED & INSTALLED BY THIS CONTRACTOR.	13Ø		32Ø	32@	

1. ALL NEW FIXTURES ARE TO BE C/W GASKETS, BOLTS, SHUT OFF VALVES, MOUNTING HARDWARE, FLEXIBLE BRAIDED RISERS, CHROME PIPES / RISERS, CHROME P-TRAPS AND DRAINS, EXPOSED PIPING P-TRAP, HW & CW SOFT COVER JACKETS, ESCUTCHEONS, ETC. AS REQUIRED FOR NEW INSTALLATION.
2. PROVIDE ALL FIXTURE SHOP DRAWINGS FOR REVIEW AND APPROVAL.
3. REFER TO MANUFACTURERS SHOP DRAWINGS FOR ALL FIXTURE MOUNTING HEIGHTS, CLEARANCES, ETC.

4. ANY DEVICES, VALVES, ETC. LOCATED BEHIND THE FINISHED WALL CAVITY ARE TO BE C/W ACCESS PANELS, (PAINT FINISH TO MATCH WALL FINISH).
5. ALL FIXTURE COLORS ARE TO BE SELECTED DURING THE SHOP DRAWING APPROVAL PROCESS.

6. REFER TO ARCHITECTURAL AND MANUFACTURER SHOP DRAWINGS FOR A BARRIER FREE MOUNTING INSTALLATION DETAILS.



1	ISSUED FOR PERMIT / TENDER	04.24.2024			
0	ISSUED FOR COORDINATION	04.17.2024			
VО	REVISIONS	DATE			
DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON					

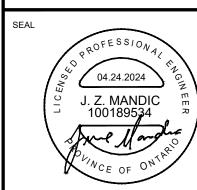
HE PROJECT; AND MUST REPORT ANY DISCREPANCIES

THE ARCHITECT & ENGINEER BEFORE PROCEEDING WITH

WORK. THE USE OF THIS DRAWING OR PART THEREOF IS

ORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE

THE CONTRACTOR AND SUB-TRADES ARE RESPONSIBLE TO CONTACT THE ENGINEER 1 WEEK IN ADVANCE IN ORDER TO SCHEDULE REQUIRED SITE VISITS AND PROVIDE INSPECTIO REPORTS AS REQUIRED IN ACCORDANCE WITH THE GENER, COMMITMENT & REVIEW PROCESS BY ARCHITECTS AND



ENGINEERING CONSULTANT



BURLINGTON CITY HALL 5TH & 6TH FLOOR WASHROOM RENO

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426 BRANT ST BURLINGTON, ON L7R 3Z6

DRAWING TITLE

MECHANICAL SPECIFICATIONS

GRGURIC ARCHITECTS INCORPORATED



28 KING STREET EAST, UNIT B STONEY CREEK, ONTARIO, L8G 1J8 Tel. 905-664-8735 Fax. 905-664-8737 Web: www.2gai.com

SCALE: PROJECT:
AS NOTED

START DATE: APRIL.2024

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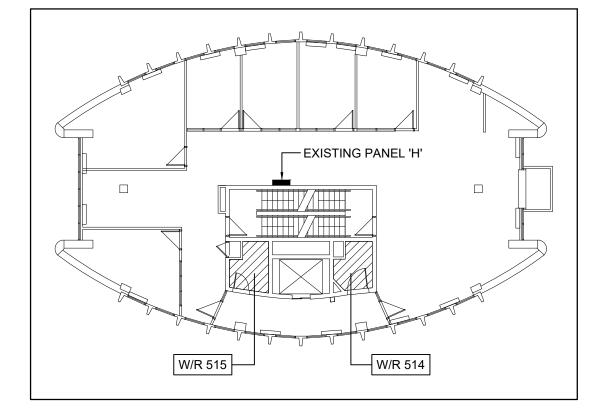
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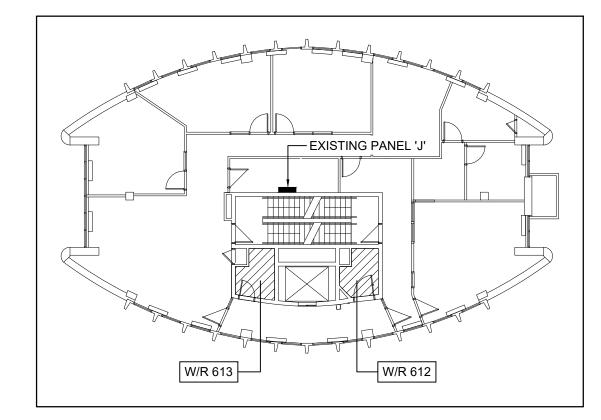
KEY NOTES:

- EXISTING LIGHT FIXTURES TO REMAIN AS IS. CONTRACTOR TO PROVIDE NEW OCCUPANCY SENSORS FOR EACH DEDICATED WASHROOM TO OPERATE THE LIGHTING.
- PROVIDE JUNCTION BOXES, POWER CONNECTIONS, CONTROL WIRING, ETC. AS REQUIRED FOR AUTOMATIC DOOR OPERATORS, REFER TO ARCHITECTURAL DRAWINGS FOR SPECIFICATIONS OF AUTOMATIC DOOR OPERATORS. REFER TO ARCHITECTURAL DRAWINGS FOR SPECIFICATIONS, SYSTEM TYPE AND RESPONSIBILITIES RE: SUPPLYING SYSTEM. PERFORM ALL ROUGH IN AND CONNECTIONS IN ACCORDANCE WITH THE O.B.C. MANUFACTURERS SHOP DRAWINGS. COORDINATE WITH ARCHITECTURAL DRAWINGS & G.C. ON SITE.
- EMERGENCY CALL SYSTEM BUTTON TO BE RELOCATED TO NEW LOCATION AS INDICATED ON LAYOUT. EXTEND EXISTING FEEDERS TO NEW LOCATION AS REQUIRED. CONDUIT TO BE RECESSED IN EXISTING WALL, WITH RECESSED BOX. VERIFY ON SITE EXACT REQUIREMENTS.
- PROVIDE POWER FOR NEW DRINKING FOUNTAIN DF-1. COORDINATE REQUIREMENTS AND LOCATIONS ON SITE WITH PLUMRING CONTRACTOR PRIOR TO POUGLE IN ON SITE WITH PLUMBING CONTRACTOR PRIOR TO ROUGH-IN.
- PROVIDE NEW RECESSED EMERGENCY REMOTE HEAD C/W INTEGRATED BATTERY UNIT. CONNECT NEW LIGHT TO NEAREST EMERGENCY LIGHTING CIRCLET IN THE AREA CONNECT NEW LIGHT TO NEAREST EMERGENCY LIGHTING CIRCUIT IN THE AREA. CONFIRM REQUIREMENTS ON SITE PRIOR TO ROUGH-IN.
- 6 NEW FEEDERS SERVING DRINKING FOUNTAIN AND PUSHBUTTONS TO BE ROUTED THROUGH CABLE CHASE. CONTRACTOR TO CONFIRM EXACT ROUTING ON SITE PRIOR TO ROUGH-IN.
- NEW FEEDERS SERVING PUSHBUTTON TO BE ROUTED FROM OFFICE SIDE OF WALL AND PUSHED THROUGH EXISTING CONCRETE WALL PROVIDE WIREMOLD FOR PORTION EXPOSED BELOW CELLIN THROUGH EXISTING CONCRETE WALL. PROVIDE WIREMOLD FOR PORTION EXPOSED BELOW CEILING. CONTRACTOR TO CONFIRM EXACT ROUTING ON SITE PRIOR TO ROUGH-IN.

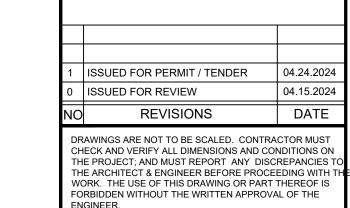
	ELECTRICAL LEGEND		ABBREVIATIONS		
POWER	2	AC	ABOVE COUNTER		
φ	120V, 2P, 3W DUPLEX RECEPTACLE	AFF	ABOVE FINISHED FLOOR		
\bigcirc	120 VOLT DIRECT CONNECTION , 1PH.	С	CONDUIT		
	FLUSH MOUNTED, SURFACE MOUNTED	Ę	CENTERLINE		
	PANELBOARDS.	E/EX/EXIST	EXISTING TO REMAIN		
1A-8	TYPICAL CIRCUIT NUMBER INDICATE PANEL '1A' AND CIRCUIT NUMBER 8.	EM	EMERGENCY		
		EMT	ELECTRICAL METALLIC TUBING		
	PUSHBUTTON. SUBSCRIPT INDICATES TYPE. 1 - PUSH BUTTON FOR DOOR OPENER SUPPLIED	FA	FIRE ALARM		
• 1	BY OTHER, INSTALL BY DIV 16.	G/GRD/GND	GROUND		
	2 - PUSH BUTTON FOR DOOR BUZZER SUPPLIED AND INSTALL BY DIV 16.	HC	HUNG CEILING		
	EM - EMERGENCY PUSH BUTTON	HP	HORSE POWER		
LIGHTIN	LIGHTING		MOUNTED		
A	LIGHTING FIXTURES, LETTER WITHIN INDICATES TYPE. (SUBSCRIPT "NL" INDICATES NIGHT	N/NEW	NEW EQUIPMENT		
	LIGHT. IE: NO LOCAL SWITCHING).	NIC	NOT IN CONTRACT		
(OS)	CEILING MOUNTED OCCUPANCY SENSOR RECESSED LED EMERGENCY REMOTE LIGHT C/W INTEGRATED BATTERY UNIT TO BE EQUAL TO	NTS	NOT TO SCALE		
		Р	POLES		
ledot		PH	PHASE		
NOTEO	CAT# LRAU-WHITE-UN-SQ	STD	STANDARD		
NOTES: 1. ALL EXI	T & EMERGENCY LIGHTING SHALL CONFORM TO 'CSA	REL	TO BE RELOCATED		
_	o.141-02' L WIRES TO SUIT VOLTAGE DROP ACCORDINGLY TO	REM	TO BE REMOVED		
	WIRE LENGTH.		TO BE REPLACED WITH NEW		
ARROW IS INDICATED ON PLAN		TYP	TYPICAL		
		UNF	UNFUSED		
		UON	UNLESS OTHERWISE NOTED		
		W	WIRE		
		WP	WEATHERPROOF		



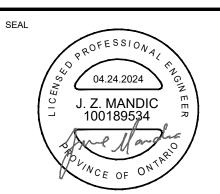
FIFTH FLOOR KEY PLAN SCALE: NTS



SIXTH FLOOR KEY PLAN SCALE: NTS



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> 426 BRANT ST BURLINGTON, ON L7R 3Z6

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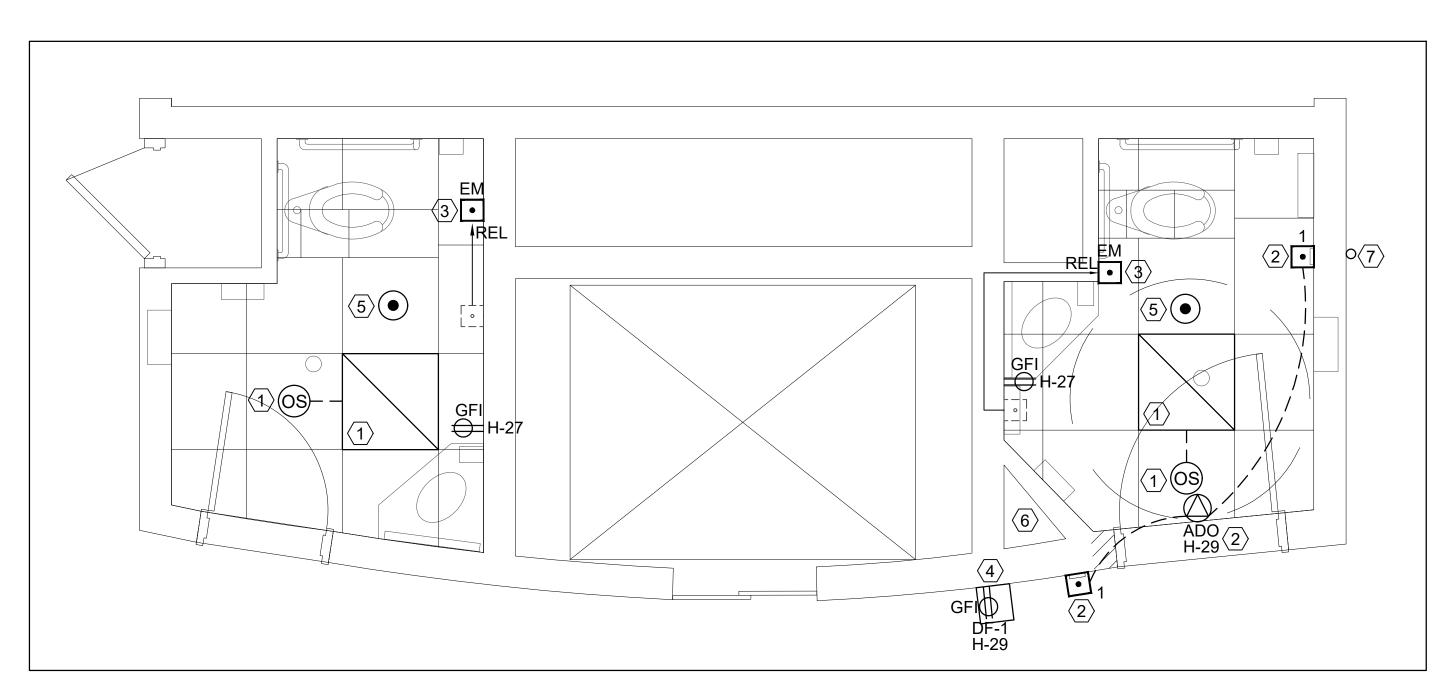
ELECTRICAL PLAN

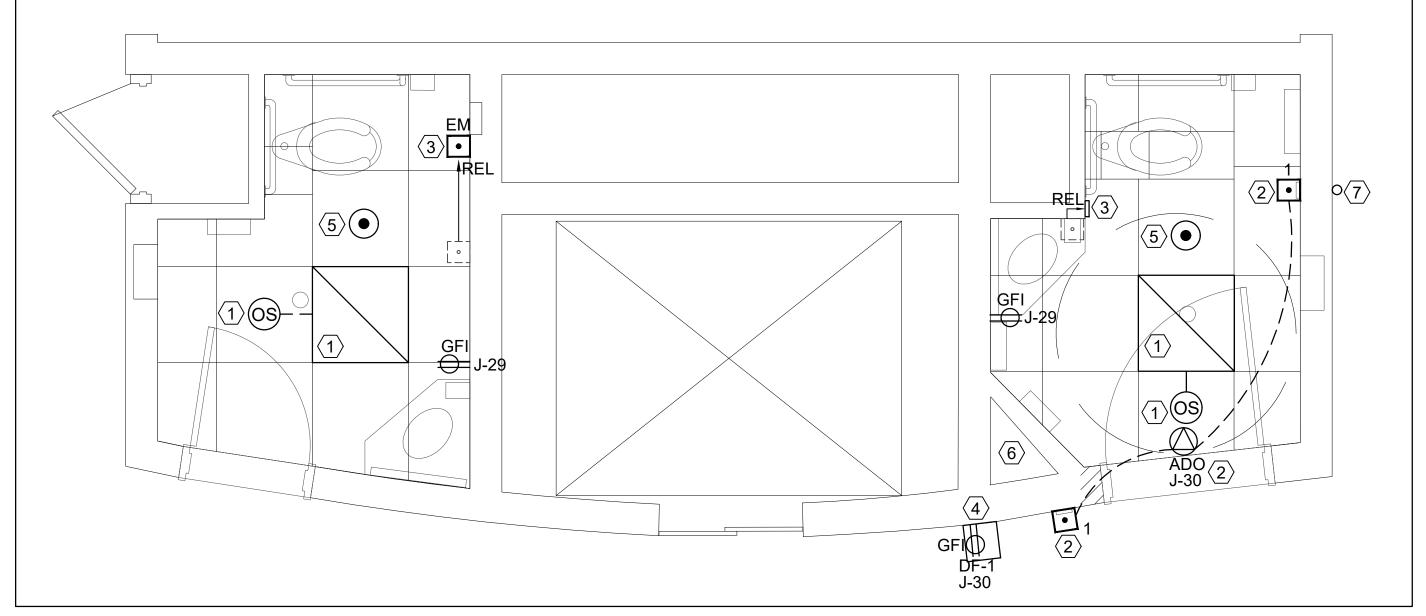
GRGURIC ARCHITECTS INCORPORATED



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SCALE:	PROJECT:
AS NOTED	04040
START DATE:	24018
APRIL.2024	
DRAWN	DRAWING:
MR	
CHECKED	E1.0





6TH FLOOR ELECTRICAL NEW PLAN E1.0 | SCALE: 1/2" = 1'-0"

ELECT	RICAL SPECIFICATIONS	16.	SITE SERVICES
1.	CODES & STANDARDS	16.1	PROVIDE ALL ELECTRICAL SERVICES ON SITE PLAN TO HYDRO REGULATIONS WEATHER STIPULATED OR NOT.
1.1	COMPLETE THE INSTALLATION OF THE WORK IN ACCORDANCE WITH LATEST EDITIONS OF THE PROVINCIAL BUILDING CODE, PROVINCIAL ELECTRICAL SAFETY CODE, C.S.A. STANDARDS, U.L.C., N.F.P.A.,	16.2	OBTAIN ALL PERMITS FOR NEW HYDRO SERVICE, PAY ALL FEES FOR NEW SERVICE AS ARRANGED WITH GENERAL CONTRACTOR.
	O.S.H.A. AND OTHER CODES, AS REQUIRED. COMPLY WITH ELECTRICAL AND BUILDING CODE BULLETINS IN FORCE AT TIME OF BID SUBMISSION.	16.3	PROVIDE ALL ESCAVATION AND BACKFILL REQUIRED FOR THIS SECTION.
2.	EXISTING CONDITIONS	17.	INTERRUPTION OF SERVICES
2.1	VISIT THE SITE AND EXAMINE THE EXISTING CONDITIONS AFFECTING THE WORK OF THIS DIVISION. NO CLAIM FOR EXTRA PAYMENT SHALL BE MADE FOR EXTRA WORK MADE NECESSARY BY CIRCUMSTANCES	17.1	INTERRUPTION OF ELECTRICAL SERVICE TO ANY PART OF THE BUILDING SHALL OCCUR ONLY BY PRE- ARRANGEMENT WITH AND AT TIMES SUITABLE TO THE LANDLORD.
	ENCOUNTERED DUE TO CONDITIONS WHICH WERE VISIBLE UPON, OR REASONABLY INFERABLE FROM AN EXAMINATION OF THE SITE PRIOR TO SUBMISSION OF THE BID. THIS INCLUDES THE EXISTING SERVICES TO PROPERTY OR RELATED TO THIS PROPERTY.	17.2	INTERRUPTIONS SHALL ONLY OCCUR DURING PREMIUM TIME PERIODS; ALL ALLOWANCES FOR THIS SHALL BE INCLUDED IN THE PRICE SUBMITTED.
3.	DEFINITIONS	18.	IDENTIFICATION
3.1. 4.	WHEREVER THE WORDS "PROVIDE" OR "SUPPLY AND INSTALL", ARE USED, IT SHALL BE UNDERSTOOD TO MEAN "PROVIDE AND INSTALL, INCLUSIVE OF ALL LABOUR, MATERIALS, INSTALLATION, TESTING, AND CONNECTIONS" FOR THE ITEM TO WHICH IT REFERENCES. MATERIALS AND EQUIPMENT	18.1	PROVIDE LAMACOID NAMEPLATES ON ALL METERING SWITCHBOARD, PANELS, DISCONNECT SWITCHES, SPLITTERS, ETC., TO MATCH BASE BUILDING. NAMEPLATES SHALL BE MECHANICALLY ATTACHED TO EQUIPMENT.
4.1	ALL MATERIALS AND EQUIPMENT SHALL BE NEW, C.S.A. CERTIFIED AND MANUFACTURED TO THE	18.2	PROVIDE TYPEWRITTEN DIRECTORIES FOR NEW AND EXISTING PANELS. CONFIRM EXISTING IDENTIFICATION
4.2	STANDARDS SPECIFIED. WHERE THERE IS NO ALTERNATIVE TO SUPPLYING EQUIPMENT WHICH IS NOT C.S.A. CERTIFIED, OBTAIN SPECIAL APPROVAL FROM THE LOCAL INSPECTION DEPARTMENT.	18.3	AND CORRECT WHERE NECESSARY. CLEARLY MARK ALL EXPOSED CONDUIT, PULLBOXES, JUNCTION BOXES, ETC., TO INDICATE THE NATURE OF THE SERVICE TO MATCH BASE BUILDING STANDARDS.
5.	PERMITS AND FEES	19.	VALUATION OF CHANGES
5.1	SUBMIT TO THE LOCAL ELECTRICAL INSPECTION DEPARTMENT. THE NECESSARY NUMBER OF DOCUMENTS	19.1	PROVIDE COMPLETE BREAKDOWN OF MATERIAL, LABOUR, OVERHEAD, PROFIT, ETC., WHEN SUBMITTING
	FOR EXAMINATION, SPECIAL INSPECTION AND APPROVAL, PRIOR TO THE COMMENCEMENT OF THE WORK, AND PAY ALL COSTS AND ASSOCIATED FEES.	19.1	QUOTATIONS FOR CHANGE NOTICES ON THIS PROJECT. THE HOURLY LABOUR RATE SHALL BE INCLUSIVE OF ALL CHARGES FOR SUPERVISION, VARIABLE LABOUR
5.26.	PROVIDE CERTIFICATE(S) OF ACCEPTANCE FROM THE AUTHORITIES INSPECTION DEPARTMENT, UPON COMPLETION OF WORK. INSURANCE	19.2	FACTORS, HAND TOOLS, PAYROLL BURDENS, HEIGHT FACTORS, WARRANTIES, STORAGE, RENTALS, ADDITIONAL BONDING, PARKING, CLEAN-UP, AS-BUILT DRAWINGS, HOISTING, FREIGHT AND DELIVERY, BUT EXCLUSIVE OF OVERHEAD AND PROFIT.
6.1	PROVIDE AND MAINTAIN INSURANCE TO PROTECT THE OWNERS AND TRADES FROM ALL POSSIBLE CLAIMS. SUBMIT WITH BID FOR AN AMOUNT ACCEPTABLE TO OWNER AND GENERAL CONTRACTOR.	19.3	THE LABOUR HOURS SHALL BE BASED ON THE LATEST ISSUE OF THE NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA) LABOUR UNITS, COLUMN ONE NORMAL FOR THE DURATION OF THIS CONTRACT.
7. 7.1	CONTRACT DOCUMENTS THE DRAWINGS FOR THE ELECTRICAL WORK ARE DIACRAMMATIC REPEORMANCE DRAWINGS ONLY INTENDED.	19.4	THE MATERIAL PRICES SHALL BE BASED ON THE CURRENT NATIONAL PRICES SYSTEM (NPS) CATALOGUE LESS APPLICABLE TRADE DISCOUNTS.
7.1	THE DRAWINGS FOR THE ELECTRICAL WORK ARE DIAGRAMMATIC PERFORMANCE DRAWINGS ONLY, INTENDED TO CONVEY THE SCOPE OF WORK AND INDICATE THE GENERAL ARRANGEMENT AND APPROXIMATE LOCATION OF ELECTRICAL FOURIERING, THE DRAWINGS DO NOT INTEND TO SHOW ARCHITECTURAL INTERIOR DESIGN.	20.	COMPLETION OF CONTRACT
	OF ELECTRICAL EQUIPMENT. THE DRAWINGS DO NOT INTEND TO SHOW ARCHITECTURAL, INTERIOR DESIGN, MECHANICAL, STRUCTURAL OR BASE BUILDING DETAILS. BE RESPONSIBLE FOR A THOROUGH KNOWLEDGE OF SAME BEFORE PROCEEDING WITH THE WORK.	20.1	PROVIDE SHOP DRAWINGS FOR APPROVAL OF ALL EQUIPMENT SPECIFIED TO BE USED ON THIS PROJECT.
7.2	DO NOT SCALE OR MEASURE DRAWINGS, BUT OBTAIN INFORMATION REGARDING ACCURATE DIMENSIONS FROM THE DIMENSIONS SHOWN ON THE DESIGN CONSULTANT/ARCHITECT'S DRAWING.	20.2	FROM THE DATE OF ISSUANCE OF A "CERTIFICATE OF SUBSTANTIAL PERFORMANCE", PROVIDE A WRITTEN GUARANTEE FOR ONE YEAR COVERING ALL EQUIPMENT, MATERIALS AND WORKMANSHIP, OTHER THAN LAMPS. INSERT IN OPERATIONS AND MAINTENANCE MANUAL.
7.3	ANY DISCREPANCIES BETWEEN DRAWINGS AND/OR SPECIFICATIONS AND EXISTING CONDITIONS, MUST BE		EANN OF MODERN IN OF EACH MODERN MATERIAL MATERI
7.4	REFERRED TO THE DESIGN CONSULTANT/ARCHITECT BEFORE ANY WORK AFFECTED IS BEGUN. COOPERATE AND COORDINATE WITH OTHER TRADES IN LAYING OUT OF WORK SO AS NOT TO CONFLICT WITH	20.3	DEFECTS AND DEFICIENCIES WHICH ORIGINATE OR BECOME EVIDENT DURING THE WARRANTY PERIOD MUST BE REPAIRED OR REPLACED, AT NO COST.
7.4	THE WORK OF OTHER TRADES. CARRY OUT WORK PROMPTLY AS PER CONSTRUCTION SCHEDULE AND COORDINATE WITH WORK OF OTHER TRADES.	20.4	SPARE
7.5 8.	MAKE, AT NO ADDITIONAL COST, ANY CHANGES OR ADDITIONS TO MATERIALS AND EQUIPMENT NECESSARY TO ACCOMMODATE STRUCTURAL CONDITIONS (OFFSETS AROUND BEAMS, COLUMN, ETC.) INTENT	20.5	IF, DURING THE WARRANTY PERIOD, TRANSFORMERS, BALLASTS OR OTHER NOISE AND VIBRATION PRODUCING EQUIPMENT ARE CONSIDERED BY THE CONSULTANT TO EXCEED ACCEPTABLE STANDARDS, THEN THESE MUST BE REPLACED WITHOUT DELAY OR ADDITIONAL COST TO THE TENANT. ALL WORK RELATING TO THE REPLACEMENT OF DEFECTIVE ITEMS, MUST BE CARRIED OUT AFTER NORMAL WORKING HOURS AND AT A
8.1	IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS THAT THE CONTRACTOR PROVIDE COMPLETE AND		TIME WHICH IS ACCEPTABLE TO THE TENANT.
0.0	OPERATIONAL SYSTEMS AS REQUIRED.	20.6 21.	ALL THE EQUIPMENT MUST BE CLEANED AND TESTED BEFORE FINAL ACCEPTANCE BY THE CONSULTANT. AS-BUILT DRAWINGS
8.2	WHERE DIFFERENCES OCCUR, THE MAXIMUM CONDITION SHALL GOVERN.	21.1	AT THE COMPLETION OF WORK AND BEFORE FINAL ACCEPTANCE, PROVIDE AS-BUILT DRAWINGS OF THE
8.3	ANY MISCELLANEOUS ITEMS, HARDWARE, DEVICES, WIRING, ETC., NOT SPECIFICALLY DESCRIBED, BUT REQUIRED FOR THE OPERATION OF THE SYSTEM, MUST BE PROVIDED AND INCLUDED AS PART OF THE BID.	21.2	INSTALLATION, IN AUTO-CAD FORMAT. DRAWING FILES CAN BE OBTAINED FROM THE CONSULTANT. INCORPORATE ALL CHANGES AND DEVIATIONS FROM TENDER DRAWINGS, UTILIZING NORMAL RECOGNIZED
9.	INSERTS, HANGERS AND SLEEVES	21.3	DRAFTING PROCEDURES THAT MATCH THE ORIGINAL DRAFTING METHODOLOGY. ALL MAIN BRANCH CONDUIT RUNS, JUNCTION BOX LOCATIONS, CONDUIT RUNS FOR ALL FLOOR OUTLETS, ETC.,
9.1 9.2	PROVIDE HANGERS, INSERTS, SLEEVES AND SUPPORTS AS REQUIRED FROM STRUCTURE. HANGERS MUST NOT BE WELDED TO STRUCTURAL STEEL MEMBERS AND BURNING OF HOLES IN STRUCTURAL	21.4	MUST BE REFLECTED ON THE DRAWINGS. REMOVE THE ELECTRICAL ENGINEER'S STAMP AND COMPANY NAME FROM ALL DRAWINGS.
9.3	STEEL IS PROHIBITED. DO NOT USE ANY BASE BUILDING SUPPORTS OR EQUIPMENT, INCLUDING CEILING SUPPORT SYSTEM. SUPPORT FROM STRUCTURAL MEMBERS.	21.5	CLEARLY INDICATE THE WORDS "AS-BUILT" IN THE TITLE BLOCK COLUMN OF THE DRAWINGS AS WELL AS THE ELECTRICAL CONTRACTOR'S NAME AND ADDRESS.
10.	CUTTING AND PATCHING	21.6	SUBMIT A SET OF PRINTS TO CONSULTANT FOR REVIEW. WHEN FOUND ACCEPTABLE BY THE CONSULTANT, SUBMIT SIX (6) SETS OF PRINTS TOGETHER WITH THE CAD DISK FOR PRESENTATION TO THE LANDLORD AND
10.1	ALL CUTTING AND PATCHING REQUIRED TO THE EXISTING BUILDING STRUCTURE FOR THE WORK SHALL BE INCLUDED UNDER THIS CONTRACT AND BE ACCEPTABLE TO THE GENERAL CONTRACTOR. OBTAIN WRITTEN	22.	TENANT. OPERATION AND MAINTENANCE MANUALS
	APPROVAL FROM GENERAL CONTRACTOR BEFORE ANY CUTTING IS CARRIED OUT.	22.1	PROVIDE 3 (THREE) SETS OF OPERATION AND MAINTENANCE MANUALS. INCLUDE THE FOLLOWING
10.2	WHERE CONDUITS PASS THROUGH FIRE RATED WALLS OR FLOORS, PROVIDE FIRE STOPPING MATERIAL LISTED WITH, AND BEAR LABEL OF CSA AND ULC, AND MAINTAIN SAME FIRE RATING OF BUILDING COMPONENT PENETRATION.		 INFORMATION IN THE OPERATIONS AND MAINTENANCE MANUALS: NAMES AND ADDRESS OF LOCAL SUPPLIERS FOR THE ITEMS INCLUDED. TECHNICAL DATA, PRODUCT DATA, SUPPLEMENTED BY BULLETINS, COMPONENT ILLUSTRATIONS,
11.	LOCATION OF OUTLETS		EXPLODED VIEWS, TECHNICAL DESCRIPTIONS OF ITEMS, AND PARTS LISTS. ADVERTISING OR SALES LITERATURE IS NOT ACCEPTABLE.
11.1	REFER TO DESIGN CONSULTANT'S/ARCHITECT'S DRAWINGS FOR EXACT LOCATIONS OF ALL LIGHTING FIXTURES AND WIRING DEVICES, IF REQUIRED.		 THE CONSULTANTS REVIEWED SHOP DRAWINGS. CERTIFICATE(S) OF ACCEPTANCE FROM THE AUTHORITIES INSPECTION DEPARTMENT.
11.2	ALTER LOCATION OF OUTLETS AT NO COST OR CREDIT, PROVIDING DISTANCE DOES NOT EXCEED 3M (10'-0") AND INFORMATION IS GIVEN BEFORE ROUGH-IN.		 VERIFICATION REPORTS AND CERTIFICATE(S) FOR ANY NEW FIRE ALARM COMPONENTS OR TIE-INS AND ANY BASE BUILDING TIE-INS FOR MISCELLANEOUS SYSTEMS (I.E. SECURITY, LIGHTING CONTROL, DIGITAL METERING).
11.3	ALL OUTLETS TO BE MARKED ON JOB SITE FOR APPROVAL BY DESIGN CONSULTANT/ARCHITECT PRIOR TO INSTALLATION.		- LOAD BALANCE REPORT - WRITTEN GUARANTEE
12.	PLYWOOD	22.2	REVIEW INFORMATION PROVIDED IN THE MAINTENANCE INSTRUCTIONS AND MANUALS WITH THE TENANT'S OPERATING PERSONNEL AND LANDLORD'S OPERATING PERSONNEL WHERE BASE BUILDING SYSTEMS ARE
12.1	PLYWOOD BACKBOARDS SHALL BE 19MM (3/4") THICK, OF HIGHEST QUALITY FIRE RETARDANT FIR. REFER TO DRAWINGS FOR SIZE. PRIME AND PAINT BACKBOARDS WITH FIRE RETARDANT PAINT EQUAL TO CGSB SPEC. #1-GP-151M, OF A COLOUR AS SELECTED BY THE DESIGN CONSULTANT/ARCHITECT.		REVISED, TO ENSURE A COMPLETE UNDERSTANDING OF THE ELECTRICAL EQUIPMENT AND SYSTEMS AND THEIR OPERATION.
13.	ACCESS DOORS		
13.1	WHEREVER ANY BASE BUILDING EQUIPMENT REQUIRES ACCESSIBILITY, MAINTENANCE OR ADJUSTMENT, PROVIDE ACCESS DOORS APPROVED BY DESIGN CONSULTANT/ARCHITECT AND LANDLORD.		
14.	CORE DRILLING		
14.1	BEFORE CORE DRILLING FLOOR SLAB OR STRUCTURAL WALLS, X-RAY SLAB OR WALLS AND HAVE THE LOCATIONS ACCEPTED BY THE GENERAL CONTRACTOR IN WRITING.		
14.2	ANY BUILDING SERVICE DAMAGED BY CORE DRILLING MUST BE REPAIRED IMMEDIATELY AT NO COST TO GENERAL CONTRACTOR.		
15	NOISE AND VIBRATION		

ELECTRICAL EQUIPMENT IS TO OPERATE WITHOUT OBJECTIONABLE NOISE OR VIBRATION. IF, IN THE OPINION

CONNECTIONS TO NOISE-PRODUCING AND VIBRATING EQUIPMENT MUST BE MADE WITH FLEXIBLE CONDUIT. THIS INCLUDES TRANSFORMERS, DIMMING EQUIPMENT RACKS, AND MOTORS. USE A MINIMUM OF 1M

VIBRATION ISOLATORS ARE TO BE PROVIDED WHERE INDICATED OR REQUIRED. TRANSFORMERS TO BE

ISOLATED FROM THE STRUCTURE, WITH SPRING AND RUBBER ISOLATORS WHEN WALL MOUNTED OR

SUSPENDED AND 12MM («") HIGH DENSITY NEOPRENE SANDWICH PADS (TYPE MWP) WHEN FLOOR

OF THE CONSULTANT, THE EQUIPMENT OPERATES WITH EXCESSIVE NOISE OR VIBRATION, THEN THE

EQUIPMENT MUST BE REPLACED OR NOISE OR VIBRATION ELIMINATED.

(3 FT) OF FLEXIBLE CABLE WITH SLACK AT EACH DEVICE.

NOISE AND VIBRATION

MOUNTED.

SITE SERVICES	GENE	RAL SPECIFICATIONS	5.	WIRE AND CABLE
PROVIDE ALL ELECTRICAL SERVICES ON SITE PLAN TO HYDRO REGULATIONS WEATHER STIPULATED OR NOT.	1.	CONDUITS AND CONDUIT FITTINGS	5.1	ALL WIRE AND CABLE SHALL BE COPPER, MINIMUM 12 GAUGE, NO. 12 AND NO. 10 SOLID, NO. 8 AND
OBTAIN ALL PERMITS FOR NEW HYDRO SERVICE, PAY ALL FEES FOR NEW SERVICE AS ARRANGED WITH	1.1	PROVIDE ALL CONDUIT UP TO AND INCLUDING 101MM (4") SIZE, AS EMT THIN WALL WITH STEEL SET	5.2	LARGER STRANDED, WITH RW90 INSULATION. BX #12 MAY BE USED IN CEILING SPACE FROM CEILING DISTRIBUTION BOX DOWN TO RECEPTACLES IN
GENERAL CONTRACTOR. PROVIDE ALL ESCAVATION AND BACKFILL REQUIRED FOR THIS SECTION.	1.2	SCREW COUPLINGS AND CONNECTORS. PROVIDE FLEXIBLE METAL CONDUIT FOR CONNECTION TO MOTORS AND TRANSFORMERS.	5.2	PARTITIONS. BX RUNS IN CEILING SPACE NOT TO EXCEED 3048MM (10'-0") IN LENGTH.
INTERRUPTION OF SERVICES	1.3	INSTALL CONDUITS TO CONSERVE HEADROOM, PARALLEL AND PERPENDICULAR TO BUILDING LINES. DO NOT CADDIE CLIP CONDUITS TO CEILING HANGERS.	5.3	SIZE ALL WIRE FOR MAXIMUM 2 % VOLTAGE DROP.
	1.4	ALL CONDUITS SHALL BE COMPLETE WITH NYLON FISH WIRE.	5.4	ALL HOME RUNS TO BE IN CONDUIT.
INTERRUPTION OF ELECTRICAL SERVICE TO ANY PART OF THE BUILDING SHALL OCCUR ONLY BY PRE- ARRANGEMENT WITH AND AT TIMES SUITABLE TO THE LANDLORD. INTERRUPTIONS SHALL ONLY OCCUR DURING PREMIUM TIME PERIODS: ALL ALLOWANCES FOR THIS SHALL BE	1.5	ALL COMMUNICATIONS CONDUIT SHALL BE INSTALLED COMPLETE WITH BUSHINGS AT EACH END. THE CONTRACTOR SHALL INFORM THE CONSULTANT OF ANY COMMUNICATIONS CONDUIT LENGTHS IN EXCESS OF 70M (230 FT.) PRIOR TO INSTALLATION.	5.5	CONDUCTOR SIZES ARE BASED ON CONNECTED EQUIPMENT HAVING A TEMPERATURE MARKING OF 75OC OR WHERE EQUIPMENT DOES NOT HAVE A TEMPERATURE MARKING OR IT HAS A MARKING LOWER THAN 75OC, IN THE SIZE OF THE CONDUCTORS ACCORDINGLY, TO THE SATISFACTION OF THE CONSULTANT.
INCLUDED IN THE PRICE SUBMITTED.	2.	JUNCTION BOXES AND PULL BOXES	5.6	FOR WIRES IN CONDUIT, CONDUCTOR SIZES ARE BASED ON NOT MORE THAN 3 CURRENT CARRYING CONDUC
IDENTIFICATION	2.1	THEY SHALL BE SUITABLE FOR SURFACE MOUNTING AND BE OF WELDED STEEL CONSTRUCTION WITH SCREW-		A CONDUIT. WHERE MORE THAN 3 CURRENT CARRYING CONDUCTORS ARE INSTALLED IN A CONDUIT INCREAS CONDUCTOR SIZE ACCORDINGLY, TO THE SATISFACTION OF THE CONSULTANT.
PROVIDE LAMACOID NAMEPLATES ON ALL METERING SWITCHBOARD, PANELS, DISCONNECT SWITCHES,		ON FLAT COVERS.		
SPLITTERS, ETC., TO MATCH BASE BUILDING. NAMEPLATES SHALL BE MECHANICALLY ATTACHED TO EQUIPMENT.	2.2	FOR FLUSH-MOUNTED PULL AND JUNCTION BOXES, PROVIDE COVERS WITH 25MM (1") MINIMUM EXTENSION ALL AROUND.	6.	INSTALLATION OF CABLES IN DUCTS
PROVIDE TYPEWRITTEN DIRECTORIES FOR NEW AND EXISTING PANELS. CONFIRM EXISTING IDENTIFICATION	2.3	INSTALL JUNCTION AND PULL BOXES IN INCONSPICUOUS BUT ACCESSIBLE LOCATIONS.	6.1	DUCT SEALING COMPOUND
AND CORRECT WHERE NECESSARY. CLEARLY MARK ALL EXPOSED CONDUIT, PULLBOXES, JUNCTION BOXES, ETC., TO INDICATE THE NATURE OF	2.4	A MINIMUM OF ONE PULL BOX SHALL BE INSTALLED FOR EVERY 100 FT. (30M) OF CONDUIT. (NOTE: EACH	6.1.1	DUCT SEALING COMPOUND SHALL BE A NON-THERMOPLASTIC COMPOUND AND SHALL ALLOW FOR EXPANSION AND CONTRACTION OF DUCTS AND CABLES, WITHOUT LOSS OF SEALING PROPERTIES.
THE SERVICE TO MATCH BASE BUILDING STANDARDS.		90 DEG. BEND SHALL EQUATE TO A 30 FT. (9M) LENGTH OF CONDUIT).	6.2	CABLE INSTALLATION IN DUCTS
VALUATION OF CHANGES	2.5	NO MORE THAN TWO (2) - 90 DEG. BENDS SHALL BE INSTALLED BETWEEN ANY TWO ADJACENT PULL BOXES.	6.2.1	BEFORE INSTALLATION OF CABLES, PULL STIFF BRISTLE BRUSH THROUGH EACH DUCT.
PROVIDE COMPLETE BREAKDOWN OF MATERIAL, LABOUR, OVERHEAD, PROFIT, ETC., WHEN SUBMITTING QUOTATIONS FOR CHANGE NOTICES ON THIS PROJECT.	3	CONCRETE ENCASED DUCT BANKS AND PRECAST CONCRETE WORK	6.2.2	INSTALL CABLES AS INDICATED. DO NOT PULL SPLICED CABLES INSIDE DUCTS.
THE HOURLY LABOUR RATE SHALL BE INCLUSIVE OF ALL CHARGES FOR SUPERVISION, VARIABLE LABOUR	3.1	ALL THE ROUGH EXCAVATION AND BACKFILLING OUTSIDE THE BUILDING SHALL BE PROVIDED BY THIS DIVISION	6.2.3	INSTALL MULTIPLE CABLES IN DUCTS SIMULTANEOUSLY.
FACTORS, HAND TOOLS, PAYROLL BURDENS, HEIGHT FACTORS, WARRANTIES, STORAGE, RENTALS, ADDITIONAL BONDING, PARKING, CLEAN-UP, AS-BUILT DRAWINGS, HOISTING, FREIGHT AND DELIVERY, BUT EXCLUSIVE	0.1	AND ALL CONCRETE AND REINFORCING SHALL BE PROVIDED BY THIS DIVISION.	6.2.4	USE LUBRICANT TO REDUCE PULLING TENSION.
OF OVERHEAD AND PROFIT. THE LABOUR HOURS SHALL BE BASED ON THE LATEST ISSUE OF THE NATIONAL ELECTRICAL CONTRACTORS	3.2	THE CORRECT ROUTING, SLOPES, SIZE, LOCATION AND CONSTRUCTION OF ALL DUCTBANKS, DRAINAGE PITS, AND MARKERS ARE WITHIN THE SCOPE OF THIS SECTION.	6.2.5	TO FACILITATE MATCHING OF COLOUR CODED MULTICONDUCTOR CONTROL CABLES, REEL OFF IN SAME DIRECTION DURING INSTALLATION.
ASSOCIATION (NECA) LABOUR UNITS, COLUMN ONE NORMAL FOR THE DURATION OF THIS CONTRACT.		AND MARKERO ARE WITHIN THE GOOD E OF THIS GEOTION.	626	AFTER INSTALLATION OF CABLES. SEAL DUCT ENDS WITH DUCT SEALING COMPOUND.
THE MATERIAL PRICES SHALL BE BASED ON THE CURRENT NATIONAL PRICES SYSTEM (NPS) CATALOGUE LESS APPLICABLE TRADE DISCOUNTS.	3.3	PULLING CABLE	7.	SERVICE EQUIPMENT
COMPLETION OF CONTRACT	3.3.1	PROVIDE PULLING CABLE FOR EACH DUCT. PULLING CABLE SHALL BE 6 MM (1/4") STRANDED NYLON OR POLYPROPYLENE ROPE.	7.1	ALL NEW PANELBOARDS, DISCONNECT SWITCHES, METERS, TRANSFORMERS, ETC. TO BE SAME
PROVIDE SHOP DRAWINGS FOR APPROVAL OF ALL EQUIPMENT SPECIFIED TO BE USED ON THIS PROJECT.	3.4	CABLE RACKS		MANUFACTURE, RATING AND TYPE AS BASE BUILDING EQUIPMENT UNLESS OTHERWISE NOTED. MOULDED CASE CIRCUIT BREAKERS TO BE BOLT-ON AND SAME MANUFACTURER, RATING AND TYPE AS BASE BUILDING
FROM THE DATE OF ISSUANCE OF A "CERTIFICATE OF SUBSTANTIAL PERFORMANCE", PROVIDE A WRITTEN GUARANTEE FOR ONE YEAR COVERING ALL EQUIPMENT, MATERIALS AND WORKMANSHIP, OTHER THAN	3.4.1	CABLE RACKS SHALL BE MANUFACTURED FROM HOT DIPPED GALVANIZED STEEL AND MOUNTED ON 12 X 100 MM (1/2" X 4") PRESET INSERTS.		BREAKERS. IF UNABLE TO MATCH BASE BUILDING EQUIPMENT, ONE OF THE FOLLOWING MANUFACTURER'S EQUIPMENT MUST BE PROVIDED, (OR EQUAL TO): FPL, CULTER-HAMMER, SQUARE D, SIEMENS
LAMPS. INSERT IN OPERATIONS AND MAINTENANCE MANUAL.	3.5	DUCTWORK	7.2	DRY TYPE TRANSFORMERS SHALL BE OF THE SAME MANUFACTURER AS THE BASE BUILDING BUT WITH A DESIGN K FACTOR OF 13 AND WITH ELECTROSTATICALLY SHIELDED WINDINGS. PROVIDE DOUBLE LUGS ON TRANSFORMER NEUTRALS FOR CONNECTION OF CABLES. IF UNABLE TO MATCH BASE BUILDING TRANSFORME
DEFECTS AND DEFICIENCIES WHICH ORIGINATE OR BECOME EVIDENT DURING THE WARRANTY PERIOD MUST BE REPAIRED OR REPLACED, AT NO COST.	3.5.1	RIGID PLASTIC POWER CABLE DUCTS, SHALL BE MANUFACTURED TO C.S.A. C22.2, NO. 211.1.		ONE OF THE FOLLOWING MANUFACTURER'S TRANSFORMERS MUST BE PROVIDED, (OR EQUAL TO); FPL. SQUA
SPARE	3.5.2	PVC TELECOMMUNICATION AND TV CABLE DUCTS, SHALL BE MANUFACTURED TO C.S.A. B196.3.	7.3	CEILING MOUNT TRANSFORMERS UP TO 45 KVA WITH SUSPENSION RODS AND SPRING ISOLATORS, TRANSFORMERS 75 KVA AND LARGER TO BE FLOOR MOUNTED ON KORFUND ISOLATION PADS UNLESS
IF, DURING THE WARRANTY PERIOD, TRANSFORMERS, BALLASTS OR OTHER NOISE AND VIBRATION PRODUCING	3.5.3	DUCT COUPLINGS, STRAIGHT AND ANGLE FITTINGS, EXPANSION JOINTS, PLUGS, CAPS, ADAPTORS AND SOLVENT SHALL BE AS REQUIRED TO MAKE A COMPLETE INSTALLATION.	0	OTHERWISE NOTED. CABLE TROUGHS
EQUIPMENT ARE CONSIDERED BY THE CONSULTANT TO EXCEED ACCEPTABLE STANDARDS, THEN THESE MUST BE REPLACED WITHOUT DELAY OR ADDITIONAL COST TO THE TENANT. ALL WORK RELATING TO THE	3.6	FORMWORK AND SHORING	0.	
REPLACEMENT OF DEFECTIVE ITEMS, MUST BE CARRIED OUT AFTER NORMAL WORKING HOURS AND AT A TIME WHICH IS ACCEPTABLE TO THE TENANT.	3.6.1	COMPLY WITH THE REQUIREMENTS OF THIS SECTION.	8.1	CABLE TROUGHS, AS DEFINED IN CSA C22.2, NO. 126, ACCESSORIES AND FITTINGS SHALL BE MANUFACTURED TO EMAC F5.1.
ALL THE EQUIPMENT MUST BE CLEANED AND TESTED BEFORE FINAL ACCEPTANCE BY THE CONSULTANT.	3.7	MARKERS MARKERS	8.2	UNLESS OTHERWISE NOTED, POWER SYSTEMS AND TELEDATA/HUB ROOM CABLE TRAYS SHALL BE VENTILATED STEEL. CLASS C1. WITHOUT COVER. SIZED AS INDICATED AND WITH A NATURAL FINISH.
AS-BUILT DRAWINGS	3.7.1	MARKERS SHALL BE PRE-CAST CONCRETE TYPE, WITH DIRECTION ARROWS.	8.3	SUPPORTS SHALL BE ROD AND CHANNEL OF A SIZE TO SUIT TOTAL LOAD.
AT THE COMPLETION OF WORK AND BEFORE FINAL ACCEPTANCE, PROVIDE AS-BUILT DRAWINGS OF THE INSTALLATION, IN AUTO-CAD FORMAT. DRAWING FILES CAN BE OBTAINED FROM THE CONSULTANT.	3.8	PRIOR TO ANY CONCRETE POURING, OBTAIN APPROVAL FROM LOCAL UTILITIES INSPECTORS.	8.4	SUPPLY ALL BENDS, ELBOWS, END PLATES, DROP OUTS, TEES, WYES AND EXPANSION JOINTS FOR THE
INCORPORATE ALL CHANGES AND DEVIATIONS FROM TENDER DRAWINGS, UTILIZING NORMAL RECOGNIZED DRAFTING PROCEDURES THAT MATCH THE ORIGINAL DRAFTING METHODOLOGY.	3.9	SLOPE DUCTBANK AWAY FROM BUILDING TOWARDS PROPERTY LINE. PROVIDE DRAINAGE PIT AT ALL LOW POINTS IN THE SYSTEM.	8.5	COMPLETE SYSTEM AS REQUIRED. REMOVE SHARP EDGES TO PREVENT CABLE DAMAGE OR INJURY TO PERSONNEL.
ALL MAIN BRANCH CONDUIT RUNS, JUNCTION BOX LOCATIONS, CONDUIT RUNS FOR ALL FLOOR OUTLETS, ETC.,	3.10	AFTER COMPLETION OF DUCTBANK SYSTEM, INSTALL PULLING CABLES IN EACH DUCT AND IDENTIFY	9.	GROUNDING
MUST BE REFLECTED ON THE DRAWINGS. REMOVE THE ELECTRICAL ENGINEER'S STAMP AND COMPANY NAME FROM ALL DRAWINGS.	-	LOCATION OF SYSTEM AT GRADE.	9.1	GROUND ALL EQUIPMENT IN ACCORDANCE WITH LATEST EDITION OF THE ELECTRICAL SAFETY CODE.
CLEARLY INDICATE THE WORDS "AS-BUILT" IN THE TITLE BLOCK COLUMN OF THE DRAWINGS AS WELL AS THE ELECTRICAL CONTRACTOR'S NAME AND ADDRESS.	3.11	PROVIDE DRAINAGE PIT AT LOW POINTS OF DUCTBANK WHERE REQUIRED. AT PIT, USE PERFORATED DUCT WITH OPENINGS ON THE UNDERSIDE, AND COMPACTED GRANULAR 'A' GRAVEL DRAINAGE MATERIAL. 1M (3 FT.) DIA. PRE-CAST CONCRETE PIPE SECTIONS SHALL FORM THE EXTERIOR OF THE PIT.	5.1	PROVIDE SEPARATE GREEN INSULATED GROUND CONDUCTOR IN EVERY CONDUIT TO ALL DEVICES, LUMINAIR AND FEEDERS (PANELBOARDS, SPLITTERS, DISCONNECT SWITCHES, ETC.)
SUBMIT A SET OF PRINTS TO CONSULTANT FOR REVIEW. WHEN FOUND ACCEPTABLE BY THE CONSULTANT,		DEPTH OF PIT SHALL BE SUCH THAT BASE IS DOWN TO PERMEABLE MATERIAL.	10.	MECHANICAL TRADES WIRING
CHRMIT CIV (C) CETC OF PRINTS TOCETHER MITH THE CAR RICK FOR RESENTATION TO THE LAND ORD AND	2 12	DI III DI THE DI ICTRANICON I INDISTI IRRED SOIL OR ON WELL COMPACTED CRANILILAR EILL NO LESS THAN 150		LINILEGE OTHERWISE NOTED, ALL STARTERS AND CONTROL WIRING TO BE PROVIDED BY DIVISION AS

3.12 BUILD THE DUCTBANK ON UNDISTURBED SOIL, OR ON WELL COMPACTED GRANULAR FILL, NO LESS THAN 150 MM (6") THICK, COMPACTED TO 95% OF MAXIMUM PROCTOR DRY DENSITY, AND AT THE ELEVATIONS AS REQUIRED, AND WITH A MINIMUM SLOPE OF 0.3%, TOWARDS THE PROPERTY LINE UNLESS PROVIDE FORMWORK AND SHORING AS REQUIRED WHEN SIDES OF EXCAVATION ARE NOT SUITABLE FOR 3.14 INSTALL BASE SPACERS AT MAXIMUM INTERVALS OF 1.5M (5'-0").

3.15 MAKE TRANSPOSITIONS, OFFSETS AND CHANGES IN DIRECTION USING 5 DEG. BEND SECTIONS, DO NOT EXCEED A TOTAL OF 20 DEG. WITH DUCT OFFSET. USE BELL ENDS, AT DUCT ENTRY TO BUILDING OR MANHOLES. AT THE END OF A DUCTBANK RUN, TERMINATE DUCT WITH A DUCT COUPLING, SET FLUSH WITH THE CONCRETE ENVELOPE. 3.16 LAY DUCTS WITH CONFIGURATION AS INDICATED WITH PREFORMED INTERLOCKING, RIGID PLASTIC. INTERMEDIATE SPACERS TO MAINTAIN SPACING BETWEEN DUCTS AT NOT LESS THAN 75 MM (3") HORIZONTALLY AND VERTICALLY UNLESS OTHERWISE SHOWN. STAGGER JOINTS IN ADJACENT DUCT LAYERS AT LEAST 150 MM (6") AND MAKE JOINTS WATERTIGHT. CLEAN AND CAP DUCTS BEFORE ALLOWING ANY REINFORCING OR CONCRETE WORK. USE 15M REINFORCING RODS THAT CONFORM TO CSA G30.12, GRADE 400, UNLESS OTHERWISE NOTED, AND FORM DUCT BANK AS REQUIRED. 3.18 ENSURE DUCTWORK IS ENCASED WITH 75 MM (3") THICK 20MPA (3000 PSI) CONCRETE ENVELOPE UNLESS OTHERWISE SHOWN. ENSURE DUCTS DO NOT MOVE DURING REINFORCING WORK OR CONCRETE

IMMEDIATELY AFTER PLACING OF CONCRETE, PULL THROUGH EACH DUCT A (STEEL) MANDREL NOT LESS THAN 300 MM (12") LONG AND OF A DIAMETER 6 MM (1/4") LESS THAN INTERNAL DIAMETER OF DUCT, FOLLOWED BY STIFF BRISTLE BRUSH TO REMOVE SAND, EARTH AND OTHER FOREIGN MATTER. AVOID DISTURBING OR DAMAGING DUCTS WHERE CONCRETE HAS NOT SET COMPLETELY. 3.20 ENSURE CONCRETE HAS ATTAINED 50% OF ITS SPECIFIED STRENGTH BEFORE ANY BACKFILLING. 3.21 INSTALL 4 (FOUR) 3M (10FT.) LENGTHS OF 15M REINFORCING RODS, ONE AT EACH CORNER OF DUCTBANK, WHEN CONNECTING DUCTBANK TO MANHOLES AND BASEMENT OF BUILDINGS. **OUTLET BOXES** 4.1 OUTLET BOXES SHALL BE ELECTRO-GALVANIZED STEEL, SIZED AS REQUIRED BY CODE. PROVIDE EACH LIGHT SWITCH, RECEPTACLE, COMMUNICATION AND OTHER OUTLET WITH AN OUTLET BOX. INSTALL PLUMB AND TRUE. PROVIDE 76MM (3") DEEP 1004 BOXES FOR DIMMING SWITCHES. ADAPT ALL OUTLET BOXES TO THEIR RESPECTIVE LOCATIONS AND SUPPORT INDEPENDENTLY OF THE CONDUIT. 4.3 DO NOT CADDIE CLIP TO CEILING HANGERS. PROVIDE BLANK COVERPLATES FOR BOXES WITHOUT WIRING DEVICES.

DO NOT INSTALL OUTLET BOXES BACK TO BACK IN PARTITIONS. STAGGER TO PREVENT SOUND TRANSFER.

TWO OR MORE OUTLET BOXES THAT OCCUR AT THE SAME LOCATION SHALL BE GANGED TOGETHER IN THE

SAME COVERPLATE UNLESS OTHERWISE NOTED.

UNLESS OTHERWISE NOTED, ALL STARTERS AND CONTROL WIRING TO BE PROVIDED BY DIVISION 15.

CONFIRM ELECTRICAL REQUIREMENTS AND EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT WITH

11.2 MEASURE PHASE CURRENT TO PANELBOARDS WITH NORMAL LOADS OPERATING AT TIME OF ACCEPTANCE.

DIVISION 16 TO RECEIVE, INSTALL STARTERS AND PROVIDE ALL POWER WIRING AND REQUIRED ISOLATING

MEGGER ALL MAIN SERVICE AND POWER CIRCUIT FEEDERS. IF GROUND RESISTANCE ON ANY CIRCUIT IS LESS

ADJUST BRANCH CIRCUIT CONNECTIONS AS REQUIRED TO OBTAIN BEST BALANCE OF CURRENT BETWEEN

THAN THAT REQUIRED BY CSA OR OTHER GOVERNING REGULATIONS, SUCH CIRCUITS ARE TO BE CONSIDERED

MEGGERING AND BALANCING

DIVISION 15 PRIOR TO INSTALLATION.

DEFECTIVE AND MUST BE REPLACED.

PHASES AND SUBMIT A REPORT FOR INSERTION INTO MANUALS.

CONDUCTOR SIZES ARE BASED ON CONNECTED EQUIPMENT HAVING A TEMPERATURE MARKING OF 75OC OR HIGHER.

FOR WIRES IN CONDUIT, CONDUCTOR SIZES ARE BASED ON NOT MORE THAN 3 CURRENT CARRYING CONDUCTORS IN A CONDUIT. WHERE MORE THAN 3 CURRENT CARRYING CONDUCTORS ARE INSTALLED IN A CONDUIT INCREASE THE

WHERE EQUIPMENT DOES NOT HAVE A TEMPERATURE MARKING OR IT HAS A MARKING LOWER THAN 750C, INCREASE

ISSUED FOR PERMIT / TENDER 04.24.202 ISSUED FOR REVIEW 04.15.202 REVISIONS DATE

DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE PROJECT; AND MUST REPORT ANY DISCREPANCIES THE ARCHITECT & ENGINEER BEFORE PROCEEDING WITH WORK. THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE

THE CONTRACTOR AND SUB-TRADES ARE RESPONSIBLE. CONTACT THE ENGINEER 1 WEEK IN ADVANCE IN ORDER T SCHEDULE REQUIRED SITE VISITS AND PROVIDE INSPECT REPORTS AS REQUIRED IN ACCORDANCE WITH THE GENE COMMITMENT & REVIEW PROCESS BY ARCHITECTS AND



NGINEERING CONSULTANTS



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RAWING TITLE

ELECTRICAL **SPECIFICATIONS**

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SCALE:	PROJECT:		
AS NOTED	04040		
START DATE:	24018		
APRIL.2024			
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