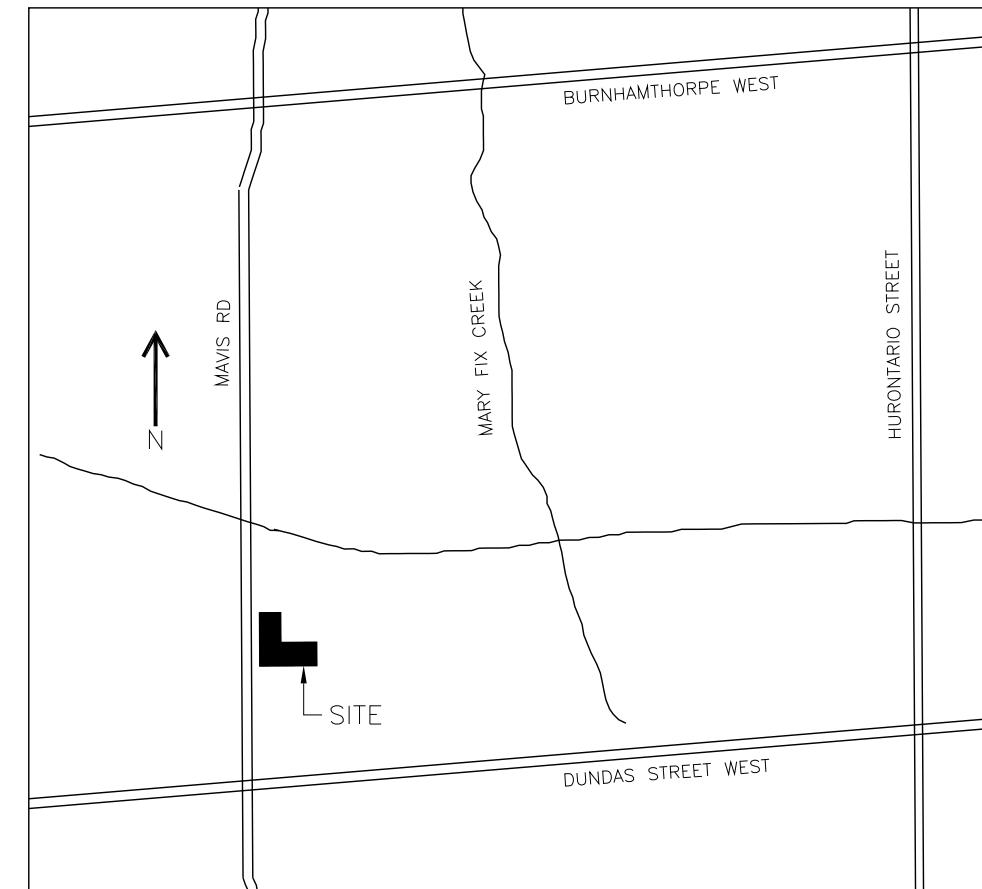


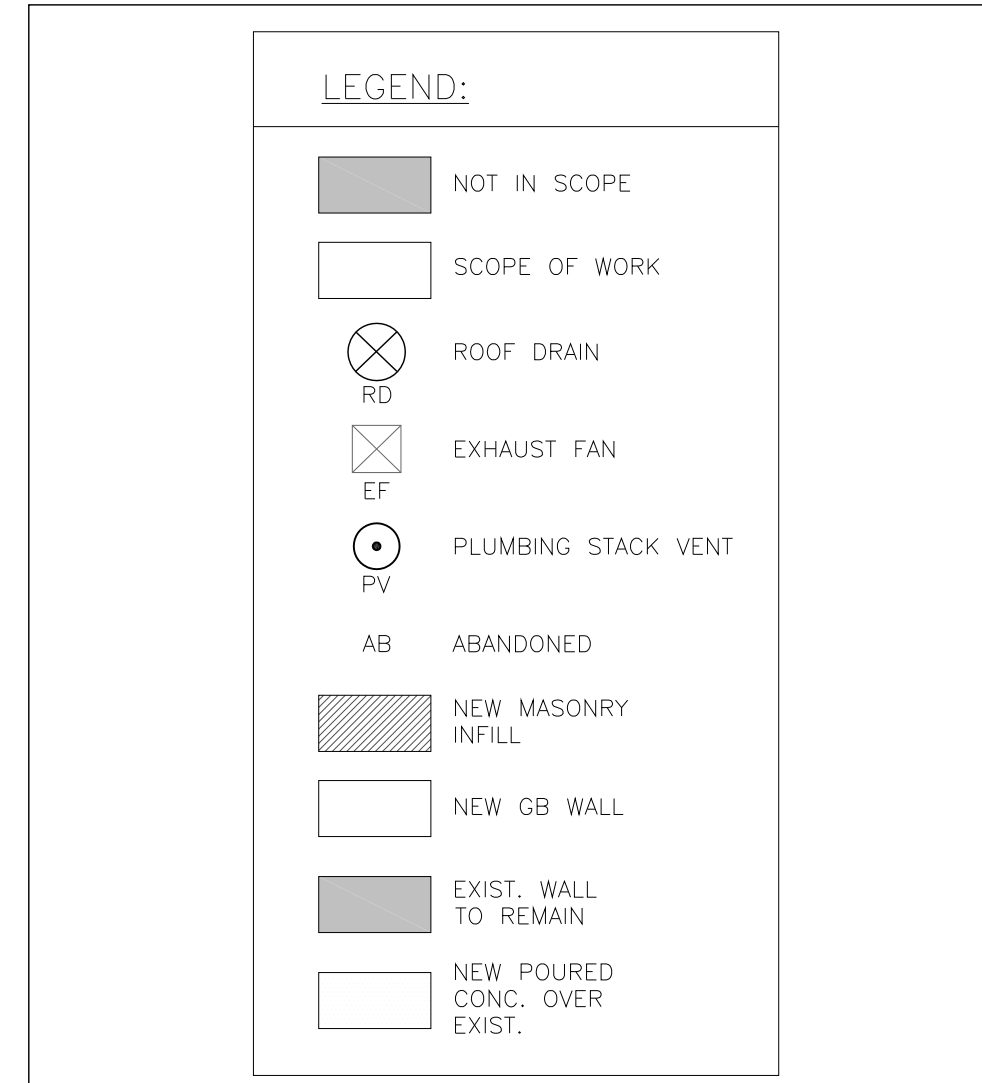
CITY OF MISSISSAUGA

MAVIS S. MECHANICAL & ROOF RENEWAL

3185 MAVIS RD - MISSISSAUGA, ONTARIO - L5C 1T7



1 KEY PLAN
A0 SCALE: NTS



8 LEGENDS
A0 SCALE: NTS

Ontario Building Code Data Matrix - Part 11 - Renovation of Existing Building		OBC Reference
11.1 Existing Building classification:	Describe Existing Use: <input type="checkbox"/> New Use <input type="checkbox"/> <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy)	11.2.1 11.2.1.1A 11.2.1.1B to N
11.2 Alteration to Existing Building In:	Basic Renovation <input checked="" type="checkbox"/> Extensive Renovation <input type="checkbox"/>	11.3.3.1 11.3.3.2
11.3 Reduction in Performance Level:	Structural: <input type="checkbox"/> No <input type="checkbox"/> Yes (explain) Increase in occupant load: <input type="checkbox"/> No <input type="checkbox"/> Yes (explain) Change of major occupancy: <input type="checkbox"/> No <input type="checkbox"/> Yes (explain) Plumbing: <input type="checkbox"/> No <input type="checkbox"/> Yes (explain) Sewage system: <input type="checkbox"/> No <input type="checkbox"/> Yes (explain)	11.4.2 11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5
11.4 Compensating Construction:	Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Increase in occupant load: <input type="checkbox"/> No <input type="checkbox"/> Yes (explain) Change of major occupancy: <input type="checkbox"/> No <input type="checkbox"/> Yes (explain) Plumbing: <input type="checkbox"/> No <input type="checkbox"/> Yes (explain) Sewage system: <input type="checkbox"/> No <input type="checkbox"/> Yes (explain)	11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6
11.8 Compliance Alternatives Proposed:	<input type="checkbox"/> No (give number(s))	11.8.1
11.8 Alternative Measures Proposed:	<input type="checkbox"/> No <input type="checkbox"/> Yes (explain)	11.8.2

3 OBC MATRIX
A0 SCALE: NTS

ABBREVIATIONS	
RE/RE	REMOVE AND REINSTALL
TYP	TYPICAL
EXIST.	EXISTING
W/	WITH
SIM	SIMILAR
F.R	FIRE RATED
ADO	AUTOMATIC DOOR OPENER
GB	GYPSUM BOARD
AREA OF WORK	

9 ABBREVIATIONS
A0 SCALE: NTS

PROJECT CONTACT LIST:

ARCHITECT
PAUL DIDUR ARCHITECT INC.
CONTACT NAME: PAUL DIDUR
TEL: (416) 928-1041 EXT.302

MECHANICAL ENGINEER
DYNAMIS ENGINEERING INC
CONTACT NAME: MIRO TRSTENJAK
TEL:(416) 936-5443

ELECTRICAL ENGINEER
CH-ENGINEERS
CONTACT NAME: FEI HAN
TEL: 647-863-0662

ELEVATOR CONSULTANT
SOBERMAN ENG INC.
CONTACT NAME: JON SOBERMAN
TEL:(416) 323-2133

4 CONTACT LIST
A0 SCALE: NTS

SITE STATISTICS:

LOT AREA: 67,323.50 m²
GROSS FLOOR AREA: 11,175.70 m²
(ALL BUILDINGS)

EXISTING GROSS FLOOR AREA: 30.6 m²
(AREA OF RENOVATIONS)

PROPOSED GROSS FLOOR AREA: 30.6 m²
(AREA OF RENOVATIONS)

GROUND FLOOR: 3659m²
SECOND FLOOR: 1715m²

DESIGN OCCUPANCY:

INCREASE IN OCCUPANCY BY 0.00%

5 SITE STATISTICS
A0 SCALE: NTS

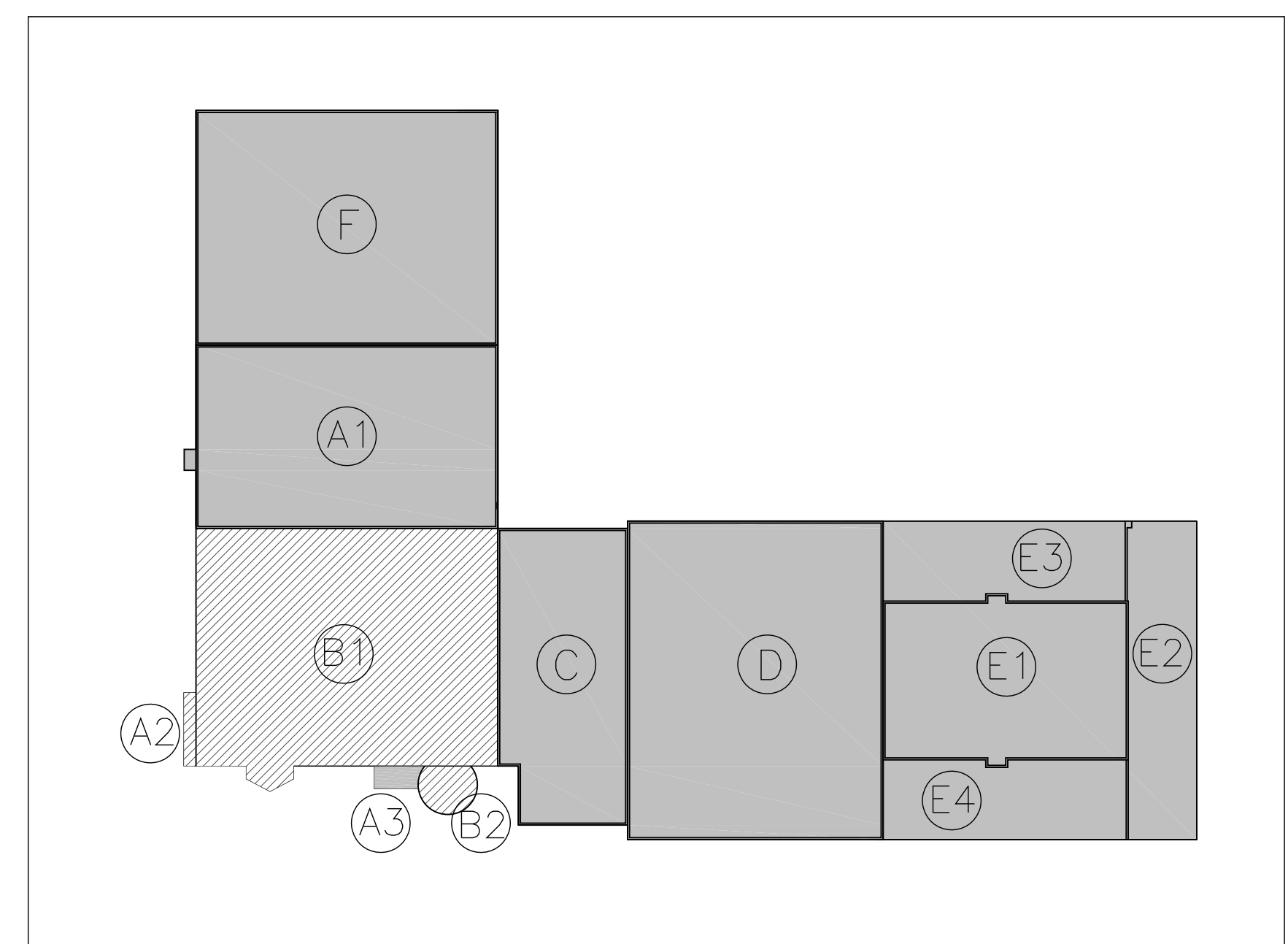
DRAWING LIST	
ARCHITECTURAL	
A0	KEYPLAN, WORK AREA & DRAWING LIST, OBC MATRIX
A100	GENERAL NOTES
A200	EXISTING GROUND, SECOND AND MEZZANINE FLOOR PLAN
A201	KEY ROOF PLAN
A202	PROPOSED ROOF PLAN AREA A, E & F
A203	PROPOSED ROOF PLAN AREA B, C & D
A210	PROPOSED ENTRANCE GROUND FLOOR AND PARTIAL SECOND FLOOR PLAN
A211	PROPOSED REFLECTED CEILING PLAN @ GROUND FLOOR
A212	PROPOSED REFLECTED CEILING PLAN @ SECOND FLOOR
A300	ELEVATIONS-STUCCO REPAIR
A301	ELEVATIONS-STUCCO REPAIR
A400	PROPOSED SECTIONS THRU ENTRANCE, ELEVATION OF MAIN ENTRANCE
A600	PARAPET DETAILS
A601	SECTION DETAILS
A602	ROOF SECTION DETAILS, STUCCO REPAIR DETAILS
A603	TYPICAL ROOF DETAILS
A700	SCHEDULES

ELECTRICAL	
E100	DRAWING LIST, DRAWING LEGEND & GENERAL NOTES
E200	GROUND FLOOR KEY PLAN
E201	PARTIAL GROUND FLOOR LIGHTING, POWER & SYSTEMS DEMOLITION & MODIFICATION PLAN
A202	GROUND FLOOR MECHANICAL ROOM POWER DEMOLITION & MODIFICATION PLAN
A203	2ND FLOOR POWER DEMOLITION & MODIFICATION PLAN
A301	PARTIAL ROOF - NORTH POWER DEMOLITION & MODIFICATION PLAN
A302	PARTIAL ROOF - EAST POWER DEMOLITION & MODIFICATION PLAN
A303	PARTIAL ROOF - EAST POWER DEMOLITION & MODIFICATION PLAN

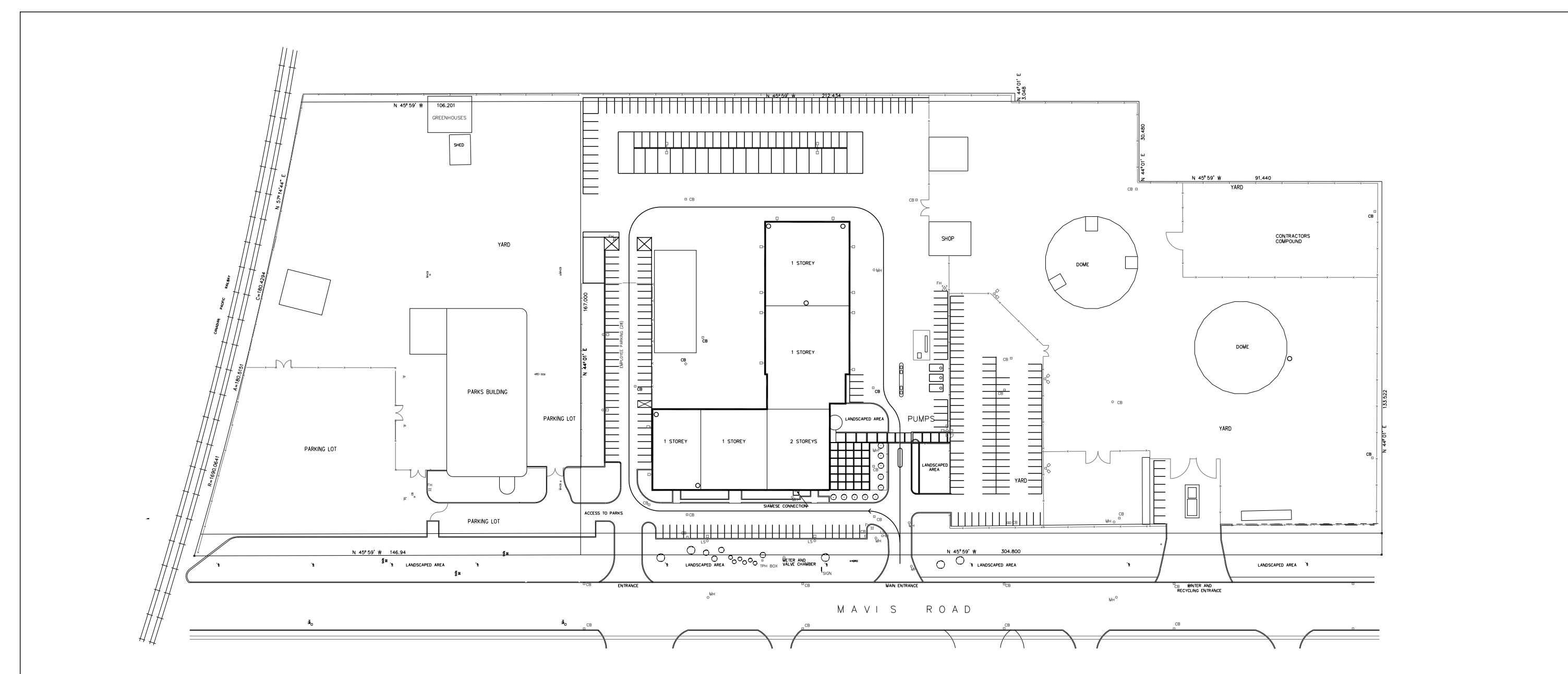
MECHANICAL	
M100	MECHANICAL BUILDING AREA PLAN AND SITE PLAN AND DRAWING LIST
M101	MECHANICAL DETAILS
M102	MECHANICAL LEGEND AND CONTROL OF SEQUENCES
M103	MECHANICAL EQUIPMENT SCHEDULE
M200	MECHANICAL DEMOLITION - HVAC ROOF PLAN - CENTRAL
M201	MECHANICAL DEMOLITION - HVAC ROOF AND GROUND FLOOR PLAN - EAST
M202	MECHANICAL DEMOLITION - HVAC ROOF PLAN - NORTH
M300	MECHANICAL NEW CONSTRUCTION - HVAC ROOF PLAN - CENTRAL
M301	MECHANICAL NEW CONSTRUCTION - HVAC ROOF AND GROUND FLOOR PLAN - EAST
M302	MECHANICAL NEW CONSTRUCTION - HVAC ROOF PLAN - NORTH
M400	MECHANICAL DEMOLITION AND NEW CONSTRUCTION - DOMESTIC HOT WATER PLANT REPLACEMENT
M401	MECHANICAL DEMOLITION AND NEW CONSTRUCTION - WATER HEATER DISTRIBUTION DIAGRAM

STRUCTURAL	
S1.1	STRUCTURAL GENERAL NOTES AND DETAILS DRAWING LIST
S2.1	STRUCTURAL GROUND FLOOR ALTERATIONS
S2.2	STRUCTURAL ROOF PLAN FOR MECHANICAL UNITS
S2.3	STRUCTURAL ROOF PLAN FOR MECHANICAL UNITS

6 DRAWING LIST
A0 SCALE: NTS



2 BUILDING KEY PLAN
A0 SCALE: N.T.S.



7 SITE PLAN
A0 SCALE: 1:1500

#	DATE	REVISION
4	2024-07-04	ISSUED FOR TENDER
3	2024-06-21	ISSUED FOR PRE-TENDER REVIEW
2	2024-05-15	ISSUED FOR BUILDING PERMIT
1	2024-01-18	ISSUED FOR CLIENT REVIEW

THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC. ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

THE DRAWING IS NOT TO BE SCALED.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT.

ISSUED FOR CONSTRUCTION

SIGNATURE _____

DATE _____

client:

client project no. ---

project:

MAVIS S. MECH. & ROOF RENEWAL
CITY OF MISSISSAUGA

3185 MAVIS RD, MISSISSAUGA, ON L5C 1T7

consultant:

north

seal

pda Paul Didur Architect Inc.
BCDN No. 2033




222 Islington Ave., Suite 260
Toronto, Ontario, M8V 3W7
E-mail: pda@pdaarchitect.com W: www.pdaarchitect.com
T-416 928 1041 F-416 928 1051

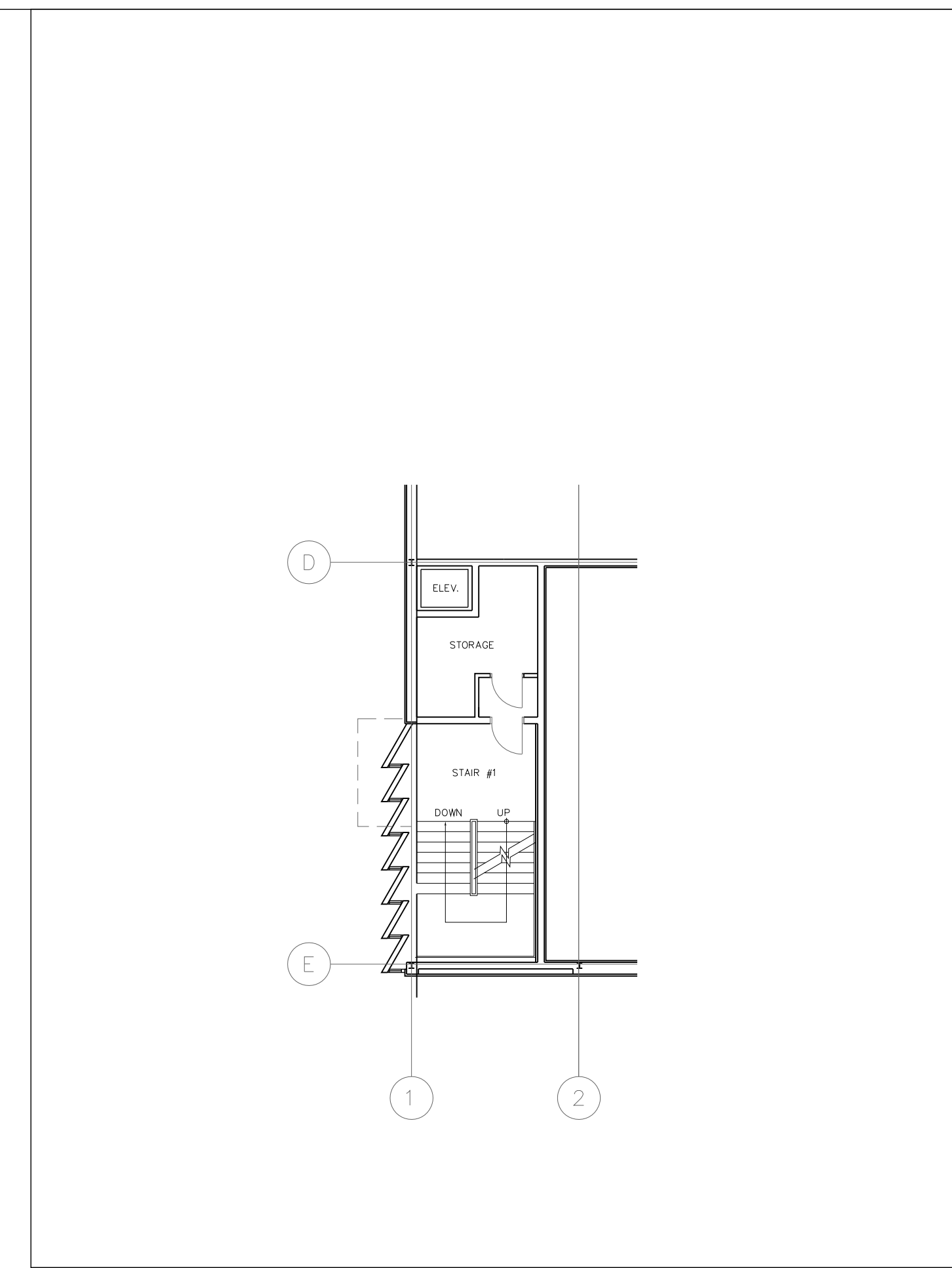
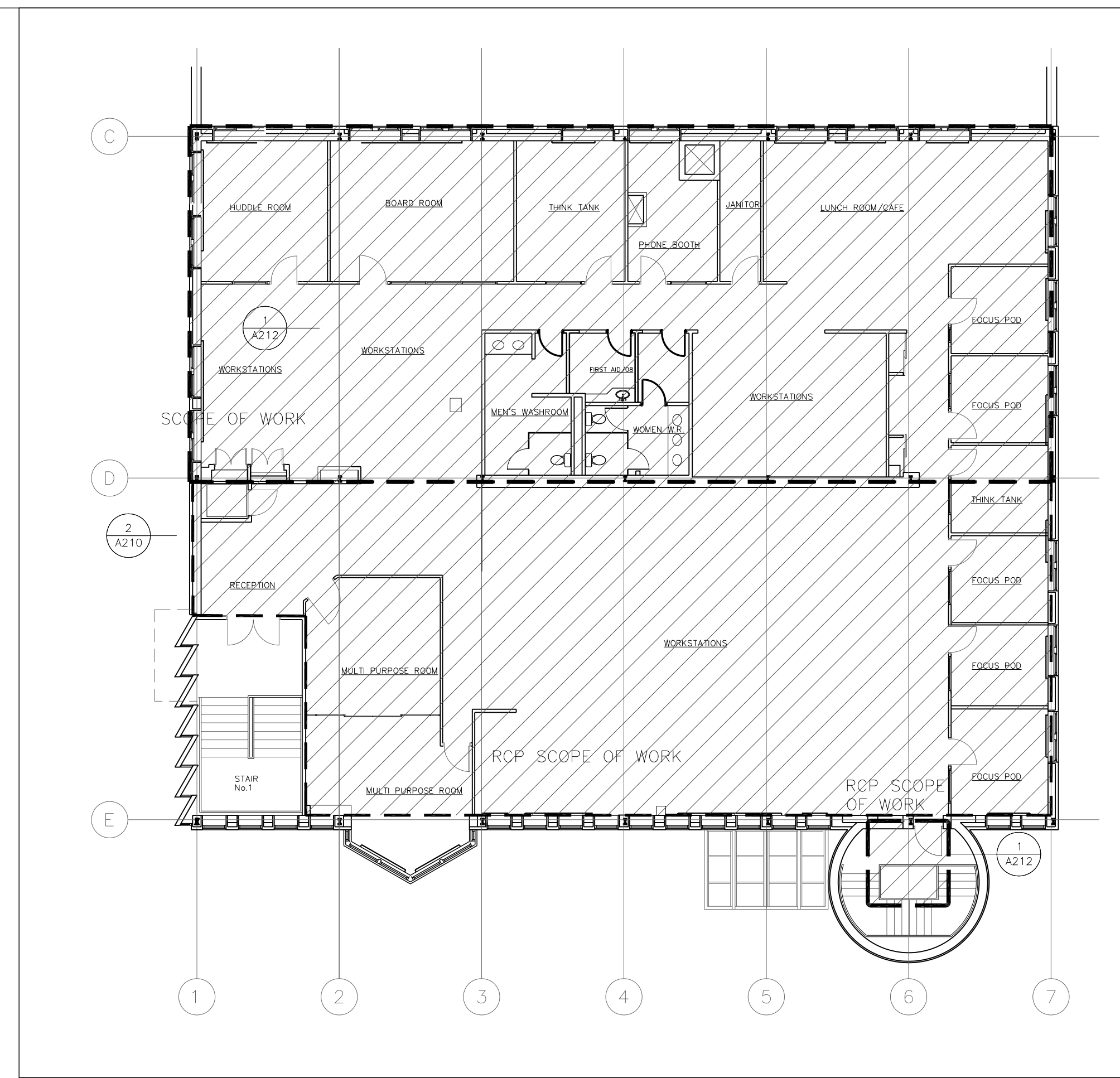
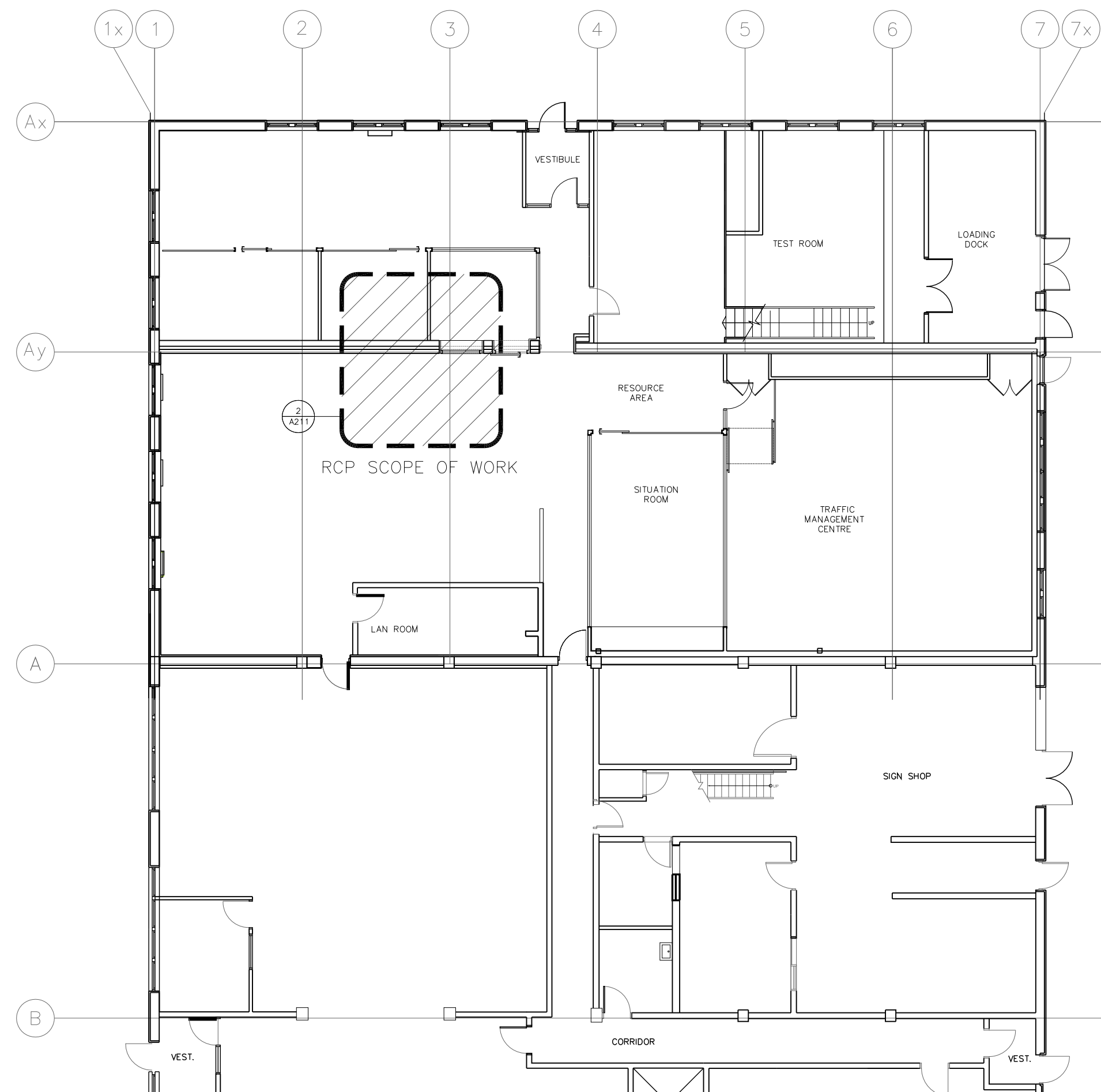
project architect **PD** project designer **PD**

sheet title
KEYPLAN, WORK AREA & DRAWING LIST
OBC MATRIX

scale	AS NOTED	drawn by	NH/HP	checked by	PD	drawing no.	A0
project no.	22312	plot date:	2024-07-04				

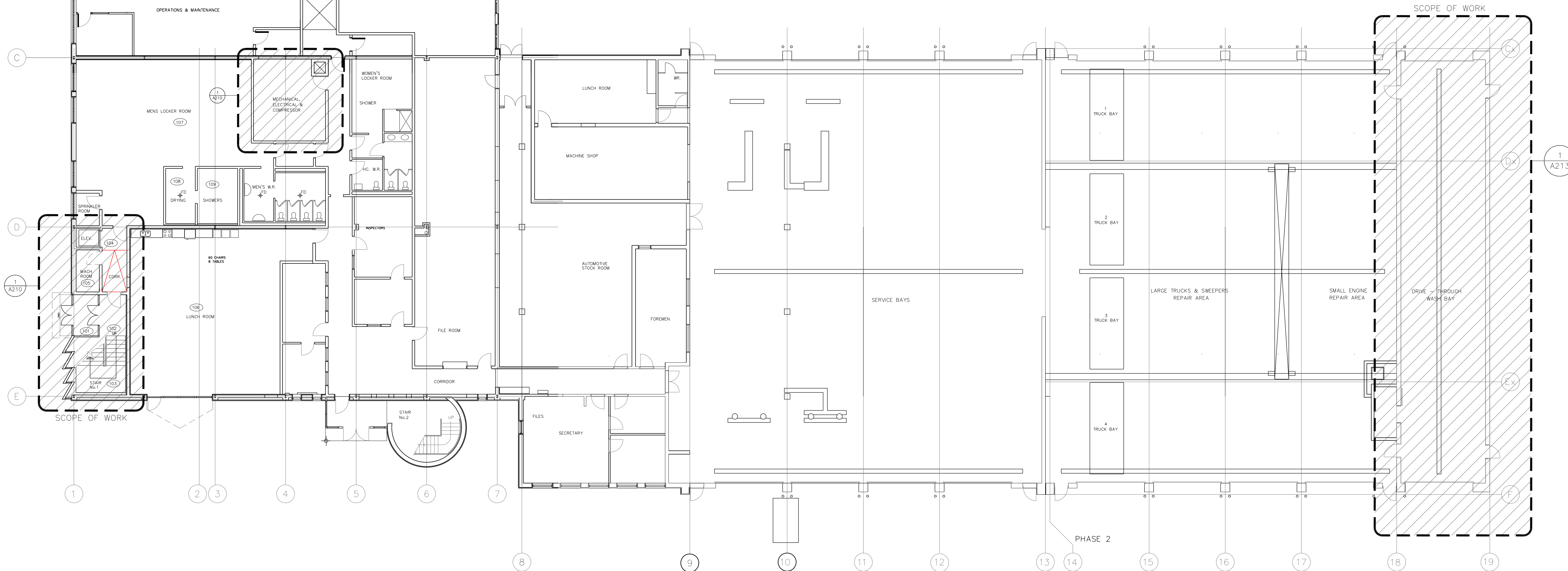
GENERAL NOTES	CASH ALLOWANCES	DEMOLITION NOTES	GENERAL CONSTRUCTION & REFLECTED CEILING PLAN NOTES
<p>1. THE CONTRACT DOCUMENTS ARE ENUMERATED IN THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR AND CONSIST OF THE AGREEMENT, CONDITIONS OF THE CONTRACT (GENERAL, SUPPLEMENTARY AND OTHER CONDITIONS), DRAWINGS, SPECIFICATIONS, ADDENDA ISSUED PRIOR TO EXECUTION OF THE CONTRACT, OTHER DOCUMENTS LISTED IN THE AGREEMENT AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE CONTRACT. THE CONTRACTOR SHALL COMPLY WITH AND GIVE NOTICES REQUIRED BY APPLICABLE LAWS, STATUTES, ORDINANCES, CODES, RULES AND REGULATIONS, AND LAWFUL ORDERS OF PUBLIC AUTHORITIES APPLICABLE TO PERFORMANCE OF THE WORK.</p> <p>2. THE TERM "WORK" MEANS THE CONSTRUCTION AND SERVICES REQUIRED BY THE CONTRACT DOCUMENTS AND INCLUDES ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES PROVIDED OR TO BE PROVIDED BY THE CONTRACTOR TO FULFILL THE CONTRACTOR'S OBLIGATIONS. THE GENERAL CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS, DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION, AND AS ANTICIPATED OR INFERRED PRIOR TO PRICING OR BIDDING.</p> <p>3. PRIOR TO THE START OF ANY AND ALL WORK CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK.</p> <p>4. ALL CONSTRUCTION LABORERS PERFORMING UNDER THIS WORK SHALL BE SKILLED WORKERS WITH IN THEIR RESPECTIVE TRADES.</p> <p>5. ALL WORK, WHETHER SHOWN OR IMPLIED, UNLESS SPECIFICALLY QUESTIONED, SHALL BE CONSIDERED FULLY UNDERSTOOD IN ALL RESPECTS BY THE GENERAL CONTRACTOR, AND HE WILL BE RESPONSIBLE FOR ANY MISINTERPRETATIONS OR CONSEQUENCES THERE OF FOR ALL WORK SHOWN ON ALL CONTRACT DOCUMENTS.</p> <p>6. GENERAL CONTRACTOR SHALL REVIEW AND FAMILIARIZE HIMSELF WITH THE GENERAL NOTES, SPECIFICATIONS, AND DRAWINGS AND DETERMINE WHICH NOTES APPLY DIRECTLY TO HIS RESPONSIBILITY. EACH SUB-TRADE WILL BE RESPONSIBLE FOR REVIEWING THE ENTIRE SET OF DRAWINGS AND NOTING THEIR WORK AS APPLICABLE. ALL WORK INDICATED OR INFERRED ON THE DRAWINGS WILL BE ACCOUNTED AND INCLUDED IN ALL CONTRACTORS' COSTS.</p> <p>7. THE ARCHITECT AND THE OWNER RESERVES THE RIGHT TO ALLOW OTHER CONTRACTORS TO PERFORM WORK IN CONNECTION WITH THE PROJECT. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK AND ESTABLISHING SCHEDULES FOR ALL TRADES. THEY SHALL AFFORD OTHER CONTRACTORS REASONABLE OPPORTUNITY FOR THE INTRODUCTION AND STORAGE OF THEIR MATERIALS AND EQUIPMENT AND THE EXECUTION OF THEIR WORK.</p> <p>8. DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS GOVERN. ALL WORK IS TO CONFORM TO ARCHITECT'S DRAWINGS AND SPECIFICATIONS.</p> <p>9. NO MATERIAL SUBSTITUTIONS SHALL BE MADE. THE ARCHITECT WILL CONSIDER MATERIAL CHANGE REQUESTS ON AN INDIVIDUAL BASIS. CONTRACTOR SHALL SUBMIT SAMPLES AND CUTS FOR WRITTEN APPROVAL PRIOR TO THE START OF ANY WORK. IT IS CONTRACTOR'S RESPONSIBILITY TO DEMONSTRATE THAT PROPOSED SUBSTITUTION IS EQUAL TO OR BETTER THAN THE SPECIFIED PRODUCT.</p> <p>10. ALL MATERIALS AND EQUIPMENT SPECIFIED SHALL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED, AND CONDITIONED AS DIRECTED BY THE SUPPLIER/MANUFACTURER, IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARD PRACTICE AND IN COMPLIANCE WITH PRODUCT WARRANTY.</p> <p>11. ALL SUBCONTRACTORS' SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL THROUGH THE GENERAL CONTRACTOR PRIOR TO WORK BEING PERFORMED, UNLESS OTHERWISE NOTED. ALL CONTRACTORS SHALL SUBMIT CUTS, SAMPLES AND FINISHES FOR WRITTEN APPROVAL PRIOR TO ORDERING OF FABRICATION.</p> <p>12. DEMOLITION AND OTHER WORK WHICH CREATES DISTURBING NOISE MUST BE SCHEDULED WITH BUILDING MANAGEMENT AND PERFORMED DURING PERMITTED HOURS. THE DELIVERY, HANDLING, AND INSTALLATION OF MATERIALS, EQUIPMENT, AND DEBRIS MUST BE ARRANGED TO AVOID ANY INCONVENIENCE. ANY OVERTIME COST FOR SUCH WORK SHALL BE BORNE BY THE G.C.</p> <p>13. ANY CONSTRUCTION TOOLS &/OR EQUIPMENT USED ON PROJECT MUST FOLLOW OHSA GUIDELINES OR ANY OTHER CODE REQUIREMENTS HAVING JURISDICTION OVER TOOLS AND EQUIPMENT.</p> <p>14. THROUGHOUT THE ENTIRE COURSE OF CONSTRUCTION, THE GC AND ANY OTHER TRADE WORKING ON JOB SITE, MUST FOLLOW THE CURRENT OHSA GUIDELINES IN ADDITION TO ALL CODES HAVING JURISDICTION AS IT RELATES TO PROTECTIVE CLOTHING: HARD HATS, GLOVES, EYE PROTECTION, SHOES.</p> <p>15. GENERAL CONTRACTOR IS RESPONSIBLE TO CLEAN UP AND REMOVE FROM THE PREMISES ALL WASTE MATERIALS, RUBBISH, WRAPPINGS, AND SELVAGES AS GENERATED BY THE CONSTRUCTION, DEMOLITION AND/OR THE DELIVERY AND INSTALLATION OF ANY PRODUCTS, MATERIALS, OR EQUIPMENT WHICH IS PART OF THEIR CONTRACT.</p> <p>16. GENERAL CONTRACTOR IS RESPONSIBLE TO THOROUGHLY CLEAN ALL AREAS. THE ENTIRE POST-CONSTRUCTION SITE IS TO BE DUST FREE AND ALL STAINS REMOVED FROM ANY FLOORING, WALLS AND/OR CEILINGS.</p> <p>17. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL COSTS INCURRED FOR DAMAGES CAUSED BY THEIR SUBCONTRACTORS.</p> <p>18. ALL WORK SHALL CONFORM WITH THE REQUIREMENTS OF THE LOCAL BUILDING AND ZONING CODES, ESA, N.F.P.A., ANSI, ASHRAE, OHSA AND ALL OTHER APPLICABLE CODES.</p> <p>19. BEFORE COMMENCING WITH ANY WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER AND/OR BUILDING MANAGEMENT CURRENT INSURANCE CERTIFICATES IN THE AMOUNTS REQUESTED BY THE OWNER AND/OR BUILDING MANAGEMENT FOR WORKER'S COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE. REFER TO BID DOCUMENTS FOR INSURANCE REQUIREMENTS.</p> <p>20. THE GENERAL CONTRACTOR SHALL CAREFULLY EXAMINE THE DRAWINGS AND SPECIFICATIONS REGARDING THE LOCATIONS AND EXTENT OF BLOCKING OR GROUNDS, AS WELL AS ANY STRUCTURAL STEEL OR METAL ANGLES AS MAY BE REQUIRED INSIDE WALLS.</p> <p>21. BOTH THE ARCHITECT AND THE OWNER'S REPRESENTATIVE SHALL HAVE ACCESS TO THE DEMISED PREMISES AT ALL TIMES.</p> <p>22. A COPY OF THE LATEST SET OF CONSTRUCTION DRAWINGS SHALL BE KEPT AT THE JOB SITE AT ALL TIMES.</p> <p>23. ALL REQUISITIONS FOR PAYMENTS FROM THE CONTRACTOR TO THE OWNER SHALL BE SUBMITTED TO THE ARCHITECT FOR PRIOR APPROVAL.</p> <p>24. THE OWNER RESERVES THE RIGHT TO MAKE CHANGES IN THE DRAWINGS AND SPECIFICATIONS AS THE WORK PROGRESSES. CHANGE ORDERS, DRAWINGS, SPECIFICATIONS OR INSTRUCTIONS COVERING SUCH CHANGES WILL BE ISSUED TO THE CONTRACTOR WHOSE RESPONSIBILITY IT WILL BE TO DISTRIBUTE THESE IMMEDIATELY FOR PRICING.</p> <p>25. THE CONTRACTOR SHALL GUARANTEE IN WRITTEN FORM, OR AS ACCEPTABLE TO THE OWNER, ALL LABOR AND MATERIALS INSTALLED BY THEM FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR.</p> <p>26. UPON COMPLETION OF THE JOB, THE GENERAL CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSPECTION AND A CERTIFICATE OF SUBSTANTIAL COMPLETION.</p>	<p>1. REFERENCES: CANADIAN CONSTRUCTION DOCUMENTS COMMITTEE CCDC 2-2008 STIPULATED PRICE CONTRACT.</p> <p>2. THE CONTRACT PRICE WILL BE ADJUSTED BY WRITTEN ORDER TO PROVIDE FOR EXCESS OR DEFICIT TO EACH CASH ALLOWANCE.</p> <p>3. PROGRESS PAYMENTS ON ACCOUNTS OF WORK AUTHORIZED UNDER CASH ALLOWANCE SHALL BE INCLUDED IN THE CONSULTANT'S MONTHLY CERTIFICATE FOR PAYMENT.</p>	<p>1. PRIOR TO PROPOSAL SUBMISSION, CONTRACTOR SHALL VISIT THE SITE TO REVIEW THE EXISTING CONDITIONS ASSOCIATED WITH THE SCOPE OF WORK AND ADJACENT AREAS TO ASCERTAIN THE DIFFICULTIES WHICH WILL AFFECT THE EXECUTION OF THE WORK OF THIS CONTRACT. CONTRACTOR SHALL GET FAMILIAR WITH THE BUILDING RULES AS WELL.</p> <p>2. SUBMISSION OF A PROPOSAL WILL BE CONSTRUED AS EVIDENCE THAT THE ABOVE SITE EXAMINATION HAS BEEN MADE AND LATER CLAIMS WILL NOT BE RECOGNIZED FOR EXTRA LABOR, EQUIPMENT OR MATERIALS REQUIRED.</p> <p>3. GENERAL CONTRACTOR IS RESPONSIBLE FOR DEMOLITION & REMOVAL OF ALL DEBRIS, DISCARDED MATERIALS AND/OR EQUIPMENT AS INDICATED ON DEMOLITION DRAWINGS AND IN ACCORDANCE WITH BUILDING MANAGEMENT RULES, APPLICABLE LAWS AND ENVIRONMENTAL REGULATIONS.</p> <p>4. ALL MAJOR DEMOLITION AND NOISE CREATING WORK SHALL BE COORDINATED IN ADVANCE WITH BUILDING MANAGEMENT FOR ALLOWABLE HOURS OF OPERATION.</p> <p>5. ALL BUILDING SHUTDOWNS – ELECTRICAL, PLUMBING, HVAC EQUIPMENT, FIRE & LIFE SAFETY (CLASS 'E') SYSTEMS MUST BE COORDINATED WITH BUILDING MANAGEMENT.</p> <p>6. ANY DAMAGE THAT OCCURRED DURING DEMOLITION WORK TO PERIMETER WALLS & PIERS, INTERIOR COLUMNS & INTERIOR CORE WALLS TO REMAIN MUST BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.</p> <p>7. FOR EXTENT OF HVAC & ELECT. DEMOLITION WORK, SEE ENGINEERING DRAWINGS.</p> <p>8. EXISTING FIRE LIFE SAFETY DEVICES TO BE REMOVED AND RELOCATED AS INDICATED IN DRAWINGS.</p> <p>9. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY LIGHTING & POWER IN AREA OF WORK.</p> <p>10. GENERAL CONTRACTOR SHALL HAVE A LICENSED ELECTRICIAN ON PREMISES DURING DEMOLITION AFFECTING ELECTRICAL LINES IN AREA OF WORK.</p> <p>11. LIGHT FIXTURES, SWITCHES AND ASSOCIATED WIRING AND CONDUIT IN AREA OF DEMOLITION SHALL BE REMOVED WHERE INDICATED IN DRAWINGS, UNLESS OTHERWISE NOTED.</p> <p>12. AT COMPLETION OF DEMOLITION ALL DAMAGED FIREPROOFING & FIRE-STOPPING ON EXISTING BUILDING STRUCTURAL COMPONENTS ARE TO BE RESTORED TO ITS ORIGINAL FIRE INTEGRITY.</p> <p>13. AT COMPLETION OF DEMOLITION ALL OPENINGS IN CONCRETE SLAB TO BE FILLED TO MATCH EXISTING THICKNESS & MATERIALS AND F.R.R.</p> <p>14. ALL EXISTING CONSTRUCTION TO REMAIN SHALL BE PATCHED AND REPAIRED AS REQUIRED AND PREPARED TO RECEIVE NEW FINISHES PER FINISH PLAN.</p> <p>15. ALL SURFACES OR FINISHES TO REMAIN, IF DAMAGED DURING DEMOLITION OR ANY STAGE OF THE WORK, SHALL BE REPAIRED BY THE GENERAL CONTRACTOR AT THEIR OWN EXPENSE TO "LIKE NEW" CONDITION. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DOCUMENT ANY PREEXISTING DAMAGE AND, RELATIVE TO GENERAL NOTE #2 OF THE GENERAL NOTES, NOTIFY THE ARCHITECT OF ANY SUCH DAMAGE PRIOR TO PRICING OR BIDDING.</p>	<p>1. FINAL PLACEMENT OF ALL PARTITIONS TO BE APPROVED BY THE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF ANY WORK. ALL PARTITION DIMENSIONS ARE FROM FINISHED SURFACE, UNLESS OTHERWISE NOTED.</p> <p>2. ALL WOOD SPECIFIED AND/OR USED ON THIS PROJECT SHALL BE FIRE RESISTANT MATERIAL IN ACCORDANCE WITH ALL APPLICABLE CODES.</p> <p>3. ALL GYPSUM BOARD PARTITIONS SHALL BE PROPERLY BRACED. BRACING SHALL INCLUDE THE APPROPRIATE BLOCKING AND STRUCTURAL SUPPORTS NECESSARY TO ACCOMMODATE THE WEIGHT LOAD OF THE SPECIFIED PRODUCT OR DETAIL.</p> <p>4. GAP ALL EXPOSED EXISTING PIPING NOT BEING USED BEHIND FINISHED SURFACE.</p> <p>5. G.C. AND ALL SUBCONTRACTORS TO PROVIDE ACCESS DOORS/PANELS FOR ELECTRICAL, HVAC, ETC. AS REQUIRED TO ACCESS EQUIPMENT OR CONTROLS. LOCATION(S) TO BE APPROVED BY THE ARCHITECT.</p> <p>6. SEE ENGINEER'S DRAWINGS FOR ADDITIONAL NOTES AND GENERAL INFORMATION.</p> <p>7. SEE ENGINEER'S DRAWINGS FOR ALL LIGHT FIXTURE CIRCUITING, EMERGENCY LIGHTING AND EXIT LIGHTING, SMOKE DETECTORS, ALARM SPEAKERS, SWITCHING AND RELATED WORK. LIGHT SWITCHES AND DIMMERS AS INDICATED ON THE ARCHITECT'S PLANS ARE FOR LOCATION ONLY. CONTRACTOR IS TO VERIFY ALL LIGHT FIXTURE WATTAGE (MAX.) AND PROVIDE PROPER NUMBER OF SWITCHES AT THAT LOCATION TO THE CIRCUITING OF THOSE ITEMS.</p> <p>8. SEE ENGINEER'S DRAWINGS FOR ALL CEILING DIFFUSERS, DUCTWORK LAYOUTS, TRANSFER DUCTS, FUSIBLE LINKS, RETURN AIR GRILLS AND DAMPERS, ETC. ARCHITECT'S DRAWINGS INDICATE DIFFUSERS FOR LOCATION ONLY. WHERE DISCREPANCIES OCCUR BETWEEN ENGINEERING AND ARCHITECTURAL DRAWINGS REGARDING LOCATIONS, ARCHITECTURAL DRAWINGS SHALL GOVERN AND THE ARCHITECT NOTIFIED PRIOR TO COMMENCE OF WORK.</p> <p>9. UPON COMPLETION, GENERAL CONTRACTOR TO THOROUGHLY CLEAN ALL EXISTING & NEW HVAC DUCTWORK, DIFFUSERS AND RETURN AIR GRILLES.</p> <p>10. G.C TO REVIEW THE DSS REPORT SUPPLIED BY THE CLIENT.</p>

#	DATE	REVISION
4	2024-07-04	ISSUED FOR TENDER
3	2024-06-21	ISSUED FOR PRE-TENDER REVIEW
2	2024-05-15	ISSUED FOR BUILDING PERMIT
1	2024-01-18	ISSUED FOR CLIENT REVIEW
#	DATE	ISSUED
<p>THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC. ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.</p> <p>CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.</p> <p>THIS DRAWING IS NOT TO BE SCALED.</p> <p>THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT.</p> <p>ISSUED FOR CONSTRUCTION</p> <p>SIGNATURE _____</p> <p>DATE _____</p>		
client:		
		
client project no.		
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project:		
MAVIS S. MECH. & ROOF RENEWAL CITY OF MISSISSAUGA		
3185 MAVIS RD, MISSISSAUGA, ON L5C 1T7		
consultant:		
north	seal	
		
 Paul Didur Architect Inc. BCDN No. 2033 222 Islington Ave., Suite 260 Toronto, Ontario, M8V 3W7 E-mail: pda@pdaarchinc.com W: www.pdaarchinc.com T-416 928 1041 F-416 928 1051		
project architect	project designer	
PD	PD	
sheet title		
GENERAL NOTES		
scale	drawn by	checked by
AS NOTED	NH/HP	PD
project no.	plot date:	
22312	2024-07-04	
		drawing no.
		A100



2 SECOND FLOOR PLAN - EXISTING
A200 SCALE: 1:200

3 MEZZANINE FLOOR PLAN-EXISTING
A200 SCALE: 1:200



1 GROUND FLOOR PLAN - EXISTING
A200 SCALE: 1:200

#	DATE	REVISION
5	2024-08-26	RE-ISSUED FOR TENDER
4	2024-07-04	ISSUED FOR TENDER
3	2024-06-21	ISSUED FOR PRE-TENDER REVIEW
2	2024-05-15	ISSUED FOR BUILDING PERMIT
1	2024-01-18	ISSUED FOR CLIENT REVIEW

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ISSUED FOR CONSTRUCTION

SIGNATURE _____

DATE _____

client:
MISSISSAUGA

client project no. ---

project:
**MAVIS S. MECH. & ROOF RENEWAL
CITY OF MISSISSAUGA**

3185 MAVIS RD, MISSISSAUGA, ON L5C 1T7

consultant:

north

seal

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BCDN No. 2033

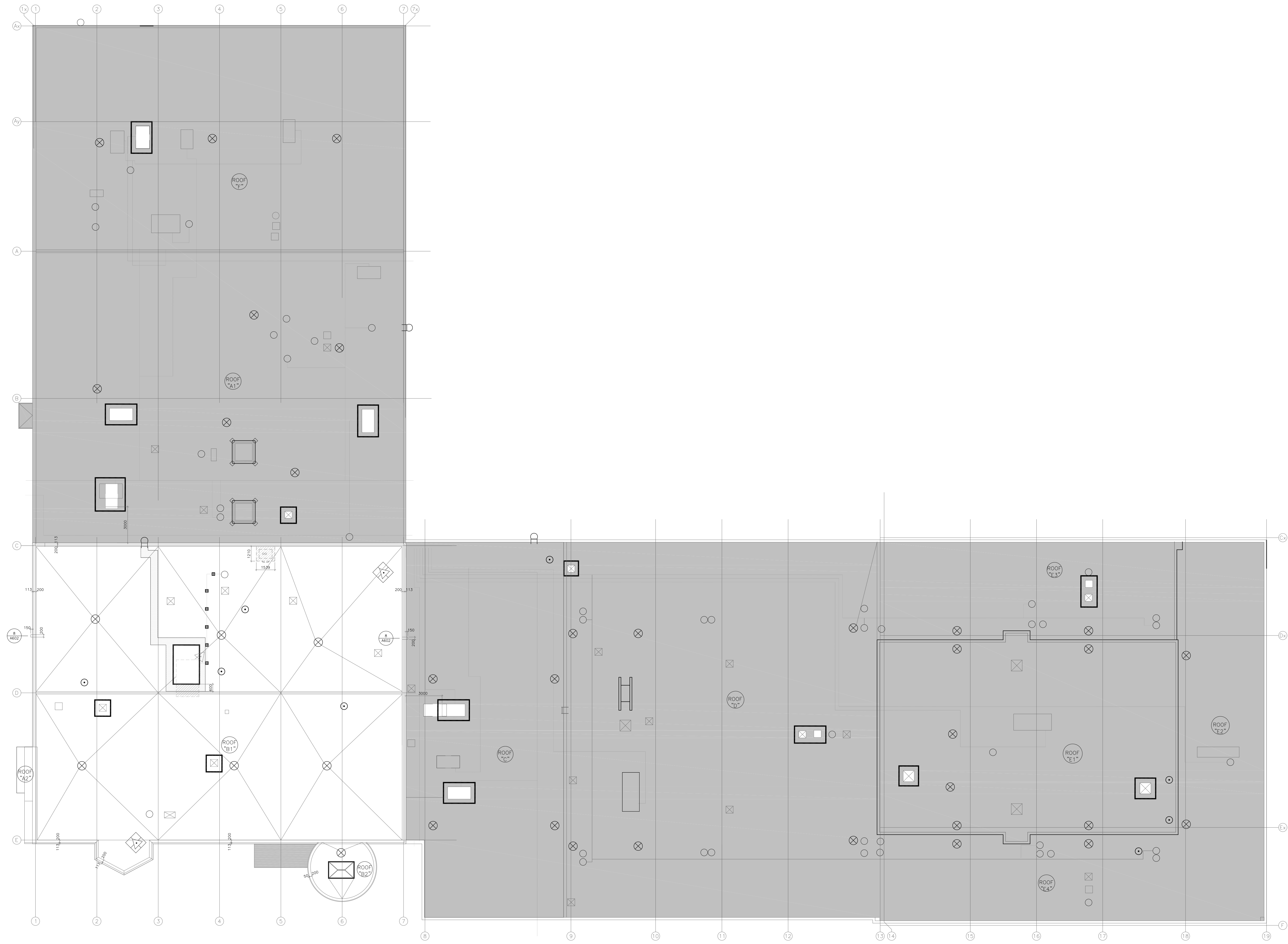
222 Islington Ave., Suite 260
Toronto, Ontario, M8V 3W7
E-mail: pda@pdaarchitect.com W: www.pdaarchitect.com
T-416 928 1041 F-416 928 1051

project architect PD project designer PD

sheet title
**EXISTING
GROUND FLOOR PLAN
SECOND FLOOR PLAN
MEZZANINE PLAN**

scale AS NOTED drawn by NH/HP checked by PD drawing no. A200

project no. 22312 plot date: 2024-08-26



#	DATE	REVISION
4	2024-07-04	ISSUED FOR TENDER
3	2024-06-21	ISSUED FOR PRE-TENDER REVIEW
2	2024-05-15	ISSUED FOR BUILDING PERMIT
1	2024-01-18	ISSUED FOR CLIENT REVIEW

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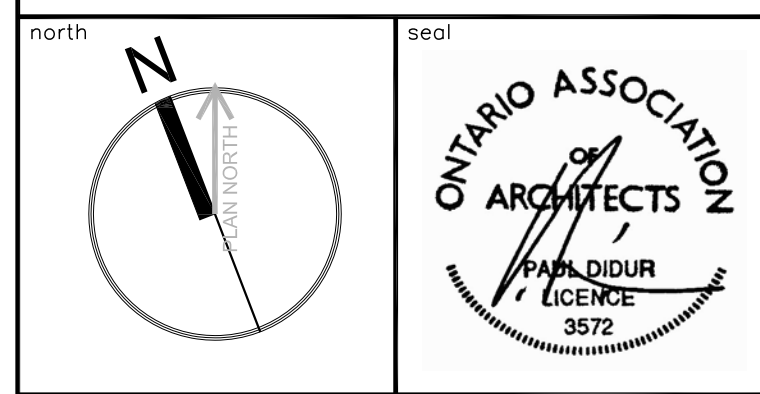


client project no. ---

project: **MAVIS S. MECH. & ROOF RENEWAL**
CITY OF MISSISSAUGA

3185 MAVIS RD, MISSISSAUGA, ON L5C 1T7

consultant:



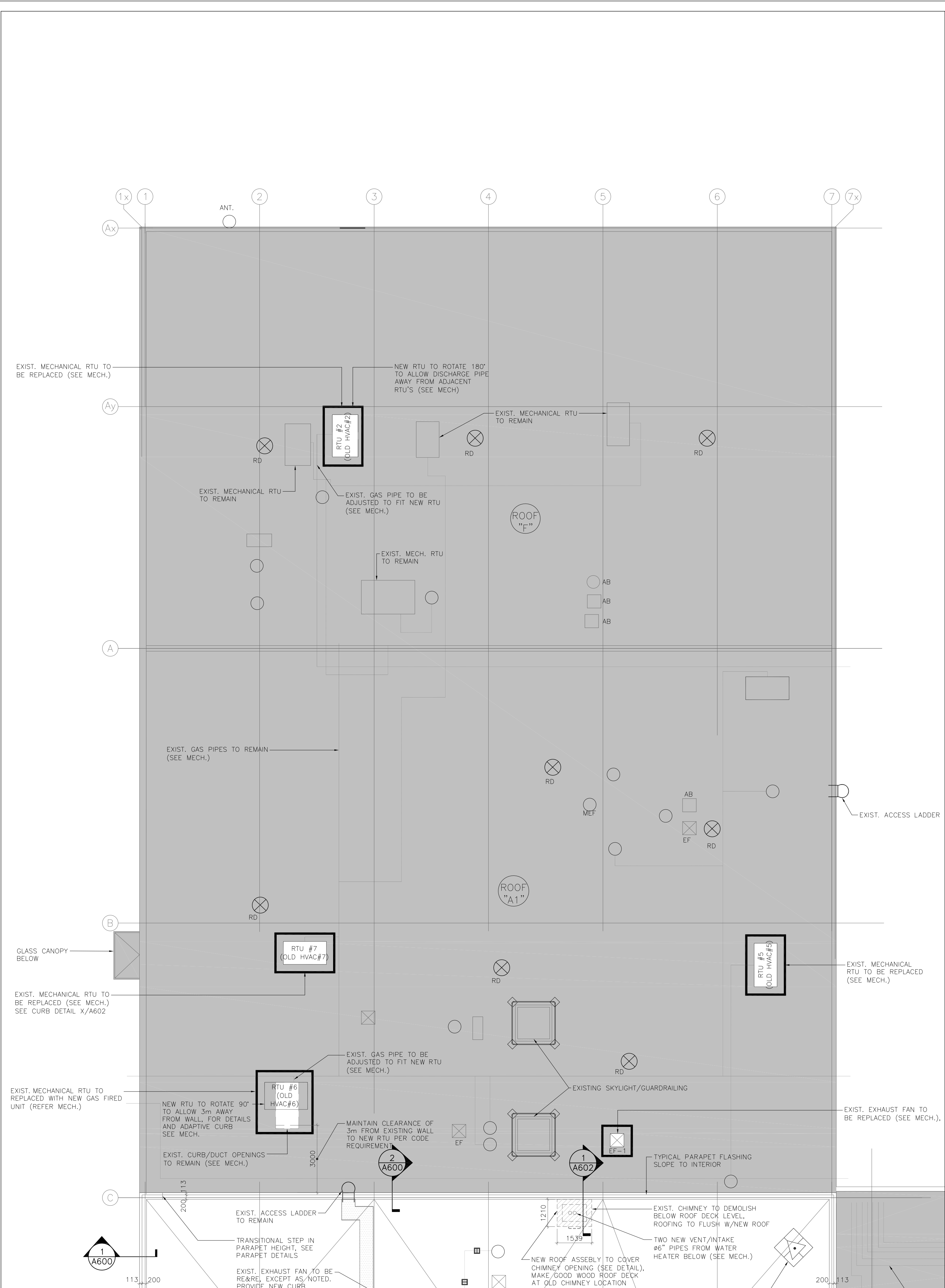
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E-mail: pda@pdaarchitect.com W: www.pdaarchitect.com
T-416 928 1041 F-416 928 1051

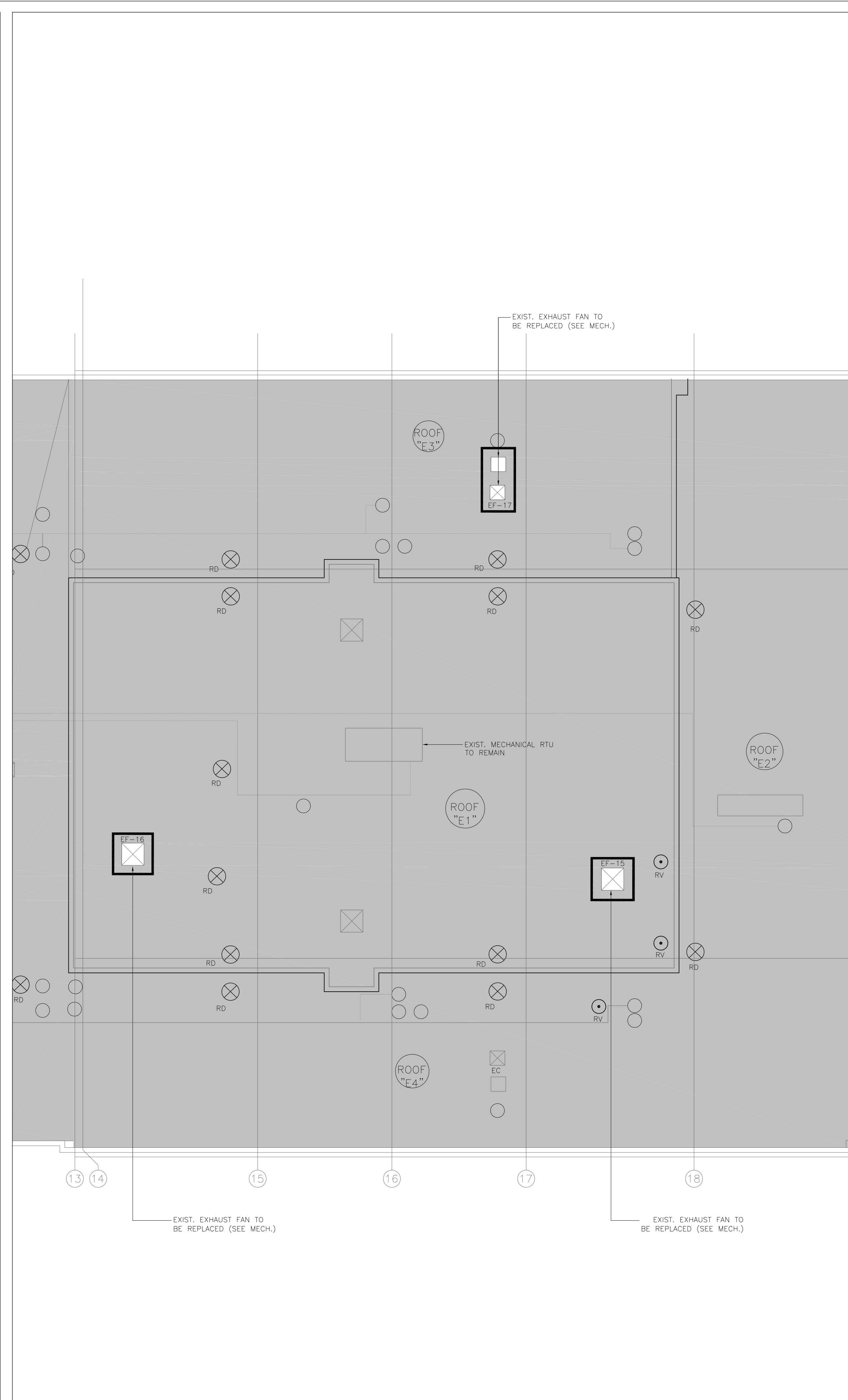
project architect: PD project designer: PD

sheet title: **KEY ROOF PLAN**

scale: AS NOTED	drawn by: NH/HP	checked by: PD	drawing no. A201
project no. 22312	plot date: 2024-07-04		



1 PROPOSED ROOF PLAN - AREA "A" & "F"
SCALE: 1:100



2 PROPOSED ROOF PLAN - AREA "E"
SCALE: 1:100

#	DATE	REVISION
4	2024-07-04	ISSUED FOR TENDER
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DATE ISSUED

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3185 MAVIS RD, MISSISSAUGA, ON L5C 1T7

consultant:

north

seal

ONTARIO ASSOCIATION OF ARCHITECTS
PAUL DIDUR
LICENSEE
3572

pda Paul Didur Architect Inc.
BCDN No. 2033

222 Islington Ave., Suite 260
Toronto, Ontario, M8V 3W7
E-mail: pda@pdaarchinc.com W: www.pdaarchinc.com
T-416 928 1041 F-416 928 1051

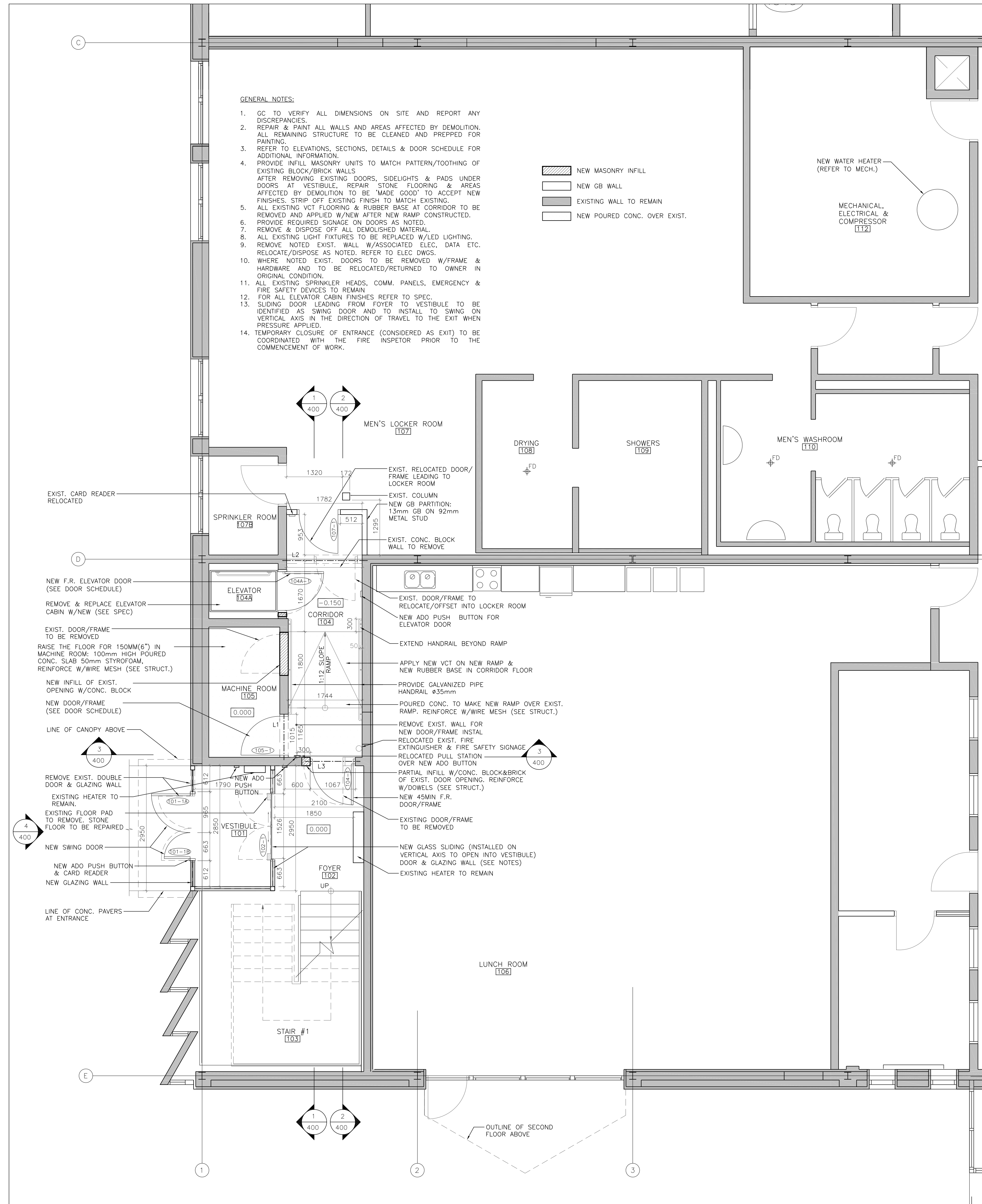
project architect PD project designer PD

sheet title

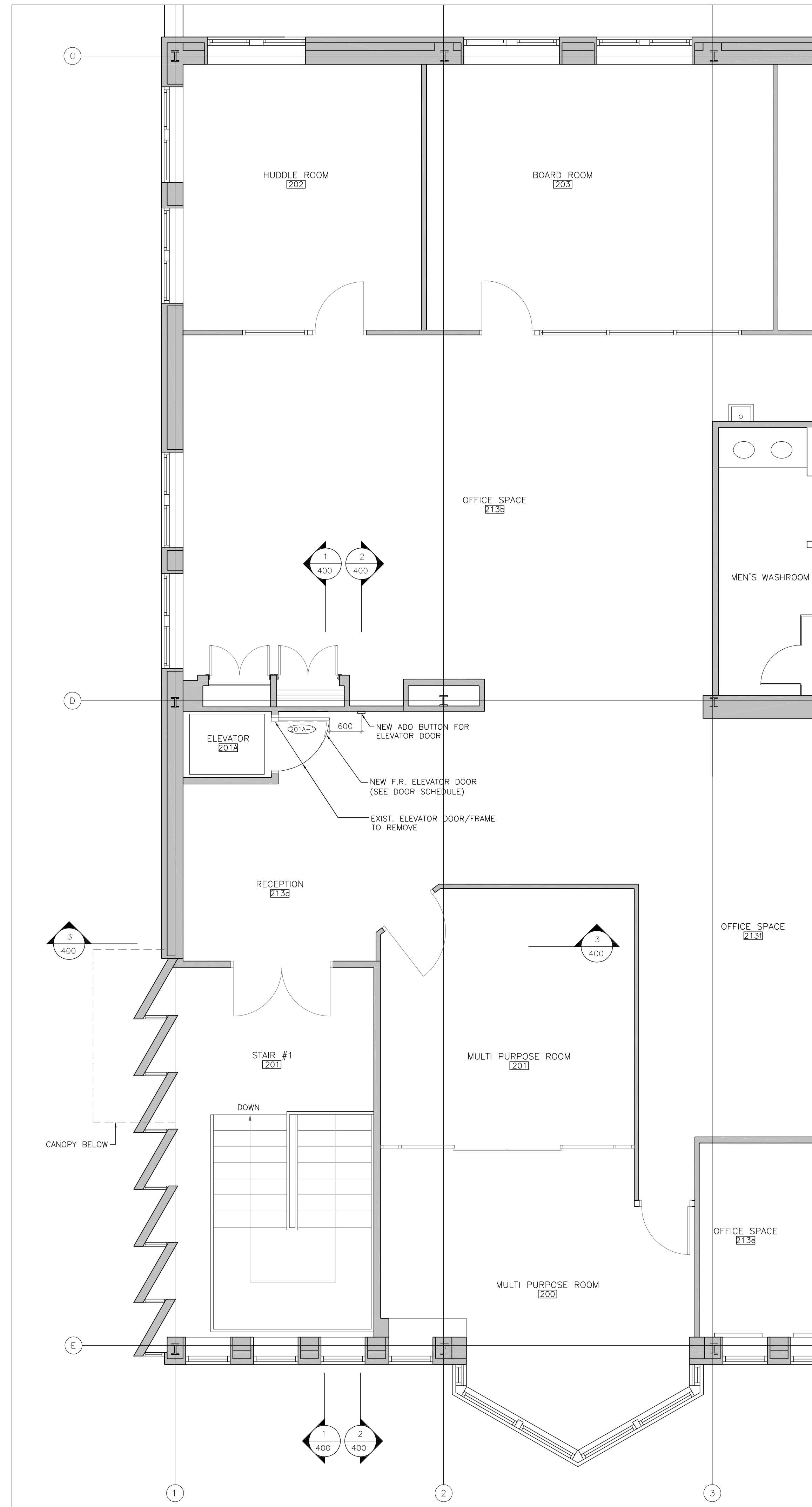
PROPOSED ROOF PLAN
AREA A, E & F

scale AS NOTED drawn by NH/HP checked by PD drawing no. A202

project no. 22312 plot date: 2024-07-04



1 PROPOSED ENTRANCE & ELEVATOR LOBBY - GROUND FLOOR
A210 SCALE: 1:50



2 PROPOSED PARTIAL SECOND FLOOR
A210 SCALE: 1:50

- GENERAL NOTES:**
- GC TO VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES.
 - REPAIR & PAINT ALL WALLS AND AREAS AFFECTED BY DEMOLITION. ALL REMAINING STRUCTURE TO BE CLEANED AND PREPPED FOR PAINTING.
 - REFER TO ELEVATIONS, SECTIONS, DETAILS & DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
 - PROVIDE INFILL MASONRY UNITS TO MATCH PATTERN/TOOTHING OF EXISTING BLOCK/BRICK WALLS AFTER REMOVING EXISTING DOORS, SIDELIGHTS & PADS UNDER DOORS AT VESTIBULE. REPAIR STONE FLOORING & AREAS AFFECTED BY DEMOLITION TO BE "MADE GOOD" TO ACCEPT NEW FINISHES. STRIP OFF EXISTING FINISH TO MATCH EXISTING.
 - ALL EXISTING VCT FLOORING & RUBBER BASE AT CORRIDOR TO BE REMOVED AND APPLIED W/NEW AFTER NEW RAMP CONSTRUCTED.
 - PROVIDE REQUIRED SIGNAGE ON DOORS AS NOTED.
 - REMOVE & DISPOSE OFF ALL DEMOLISHED MATERIAL.
 - ALL EXISTING LIGHT FIXTURES TO BE REPLACED W/LED LIGHTING.
 - REMOVE NOTED EXIST. WALL W/ASSOCIATED ELEC. DATA ETC. RELOCATE/DISPOSE AS NOTED. REFER TO ELEC DWGS.
 - WHERE NOTED EXIST. DOORS TO BE REMOVED W/FRAME & HARDWARE AND TO BE RELOCATED/RETURNED TO OWNER IN ORIGINAL CONDITION.
 - ALL EXISTING SPRINKLER HEADS, COMM. PANELS, EMERGENCY & FIRE SAFETY DEVICES TO REMAIN.
 - FOR ALL ELEVATOR CABIN FINISHES REFER TO SPEC.
 - SLIDING DOOR LEADING FROM FOYER TO VESTIBULE TO BE IDENTIFIED AS SWING DOOR AND TO INSTALL TO SWING ON VERTICAL AXIS IN THE DIRECTION OF TRAVEL TO THE EXIT WHEN PRESSURE APPLIED.
 - TEMPORARY CLOSURE OF ENTRANCE (CONSIDERED AS EXIT) TO BE COORDINATED WITH THE FIRE INSPECTOR PRIOR TO THE COMMENCEMENT OF WORK.

- NEW MASONRY INFILL
- NEW GB WALL
- EXISTING WALL TO REMAIN
- NEW POURED CONC. OVER EXIST.

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CITY OF MISSISSAUGA

3185 MAVIS RD, MISSISSAUGA, ON L5C 1T7

consultant:

north

seal

pda Paul Didur Architect Inc.
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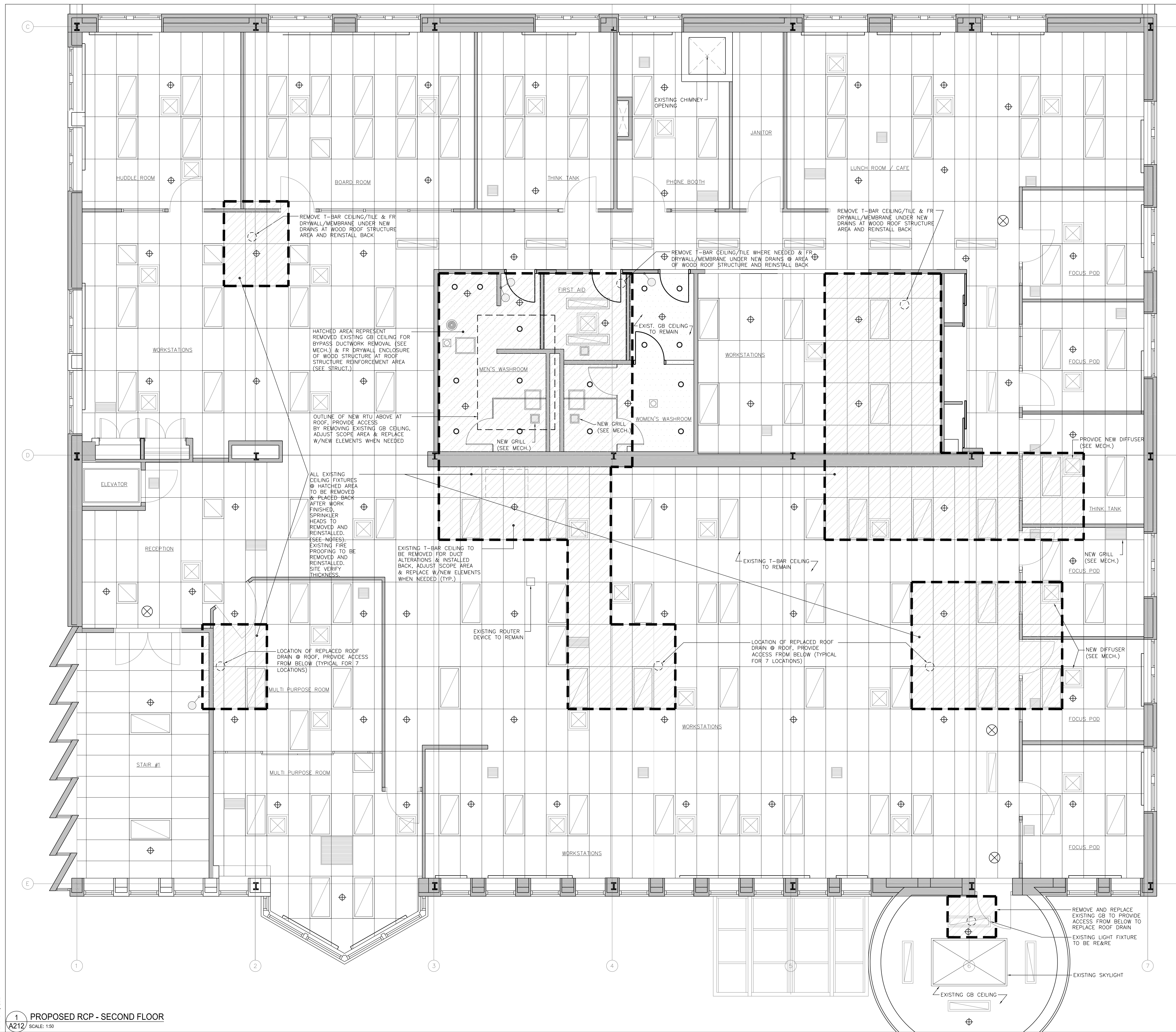
222 Islington Ave., Suite 260
Toronto, Ontario, M8V 3W7
E-mail: pda@pdaarch.com W: www.pdaarch.com
T-416 928 1041 F-416 928 1051

project architect PD project designer PD

sheet title **PROPOSED ENTRANCE GROUND FLOOR AND PARTIAL SECOND FLOOR**

scale AS NOTED	drawn by NH/HP	checked by PD	drawing no. A210
project no. 22312	plot date: 2024-07-04		

PRINT DATE: MAY 20, 2024



- RCP LEGENDS:**
- EXISTING LIGHT FIXTURE
 - EXISTING T-BAR CEILING
 - EXISTING GYPSUM BOARD CEILING
 - CEILING AREA TO REMOVE & INSTALL BACK
 - EXISTING SQUARE DIFFUSER
 - EXISTING ROUND DIFFUSER
 - EXISTING EMERGENCY LIGHTING HEAD(S)
 - EXISTING EXIT SIGN
 - EXISTING SPRINKLER HEAD
 - EXISTING FIRE ALARM BELL
 - ACCESS PANEL
 - EMERGENCY BATTERY LIGHTING
 - ROOF DRAIN ABOVE

- RCP NOTES:**
1. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDED INFORMATION ON LAYOUT.
 2. CEILING HEIGHT TO MATCH EXISTING.
 3. ALL EXISTING LIGHT FIXTURES, DIFFUSERS, EMERGENCY LIGHTING, ACCESS PANELS, GRILLS ETC. @ AREA OF DUCTWORK/CEILING REMOVAL TO BE RE&RE UNLESS OTHERWISE NOTED.
 4. AREA OF T-BAR CEILING REMOVAL TO BE ADJUSTED ACCORDING TO EXISTING T-BAR GRID SPAN.
 5. FOR ROOF DRAIN REPLACEMENT WORK MUST BE CARRIED OUT FROM THE INSIDE OF SECOND FLOOR.
 6. HATCHED AREA INDICATE T-BAR/CB CEILING TEMPORARY REMOVAL. ALL CEILING TILE/T-BAR TO BE PLACED BACK. ANY DAMAGED ITEMS TO BE REPLACED W/NEW BY GC.
 7. ALL SPRINKLER HEADS AFFECTED BY CB & T-BAR CEILING REMOVAL TO BE REPLACED W/NEW (REFER TO MECH. NOTES).
 8. PRIOR TO ANY WORK BEING DONE, COORDINATE SCHEDULING WITH THE CITY PROJECT MANAGER FOR THE MOVE AND REINSTALLATION OF OFFICE FURNITURE, AND RELOCATION OF OFFICE STAFF.
 9. PROVIDE ADEQUATE HEALTH AND SAFETY DELINEATION AND/OR HOARDING IN OFFICE SPACES TO UNDERTAKE THE WORK.
 10. ADDITIONAL DESIGNATED SUBSTANCES SURVEY TESTING AS REQUIRED THROUGH CASH ALLOWANCE.
 11. DURING DEMOLITION OF SECOND FLOOR WASHROOM, PROTECT FLOOR FINISHES, VANITIES, TOILET PARTITIONS, WASHROOM PLUMBING FIXTURES, AND PROTECT OR REMOVE AND REINSTALL ALL WALL HUNG ACCESSORIES.
 12. PROVIDE FLOOR PROTECTION IN ALL CARPETED OFFICE AREAS WHEN UNDERTAKING WORK. TARP FOR DUST CONTROL, AND PROVIDE PL-WOOD PROTECTION WHEN USING LIFTS.
 13. PROVIDE FLOOR TO CEILING DUST TIGHT PARTITION TO COMPLETELY CLOSE OFF THE AREA OF WORK.
 14. CONTRACTOR IS TO CLEAN AND REMOVE DUST AND DEBRIS AT ALL AREAS OF THE WORK AT THE END OF THE WORK SHIFT.
 15. COMPLETELY REMOVE BARRIERS WHEN THE WORKS ARE FINISHED AND REMOVE AND MAKE GOOD ALL FINISHES.
 16. MAINTAIN WALKING ISLES AND ACCESS TO EXISTING EXIT STAIRS AT ALL TIMES.
 17. CONTRACTOR TO LIMIT IMPACT AND DOWNTIME TO OFFICE AREAS. DEMOLITION OR START UP TO OCCUR ONLY WHEN EQUIPMENT AND SUPPLIES ARE AVAILABLE ON-SITE.
 18. DEMOLITION WORK IN WASHROOMS TO OCCUR ONLY WHEN ROOFTOP UNIT SHIPPING DATES ARE CONFIRMED AND COORDINATED WITH CITY PROJECT MANAGER.
 19. TO LIMIT DOWNTIME, CONTRACTOR TO COORDINATE AND PHASE INTERIOR INSTALLATION WORK OF:
 - a. ROOF DRAINS WITH ROOFING, AND
 - b. DUCTWORK WITH DELIVERY OF ROOFTOP UNITS

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CITY OF MISSISSAUGA

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consultant:

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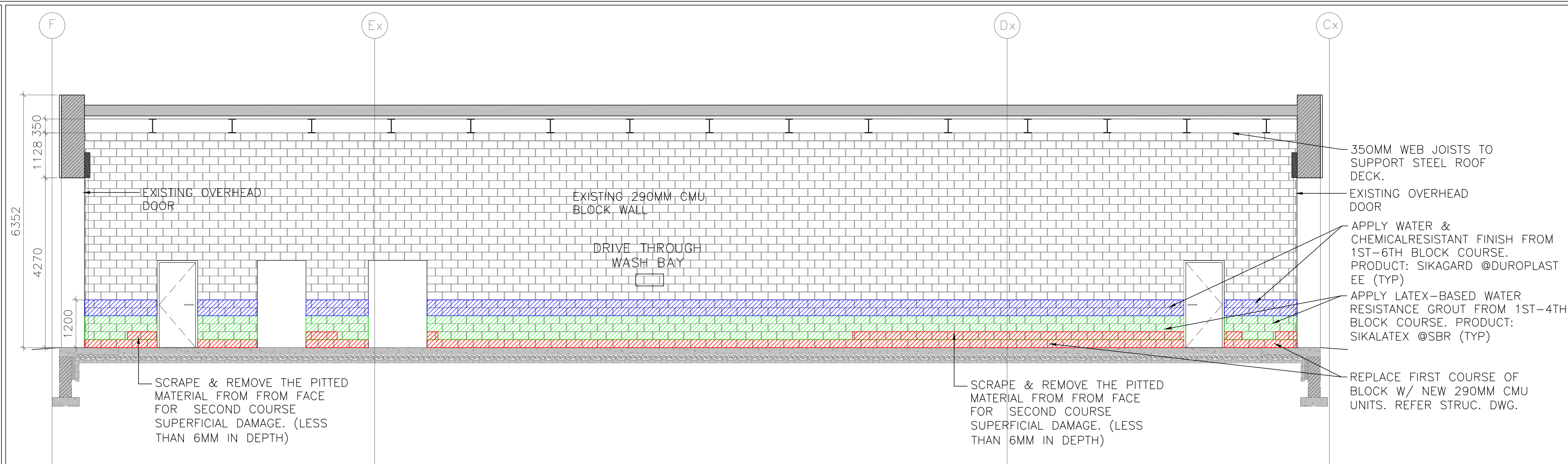
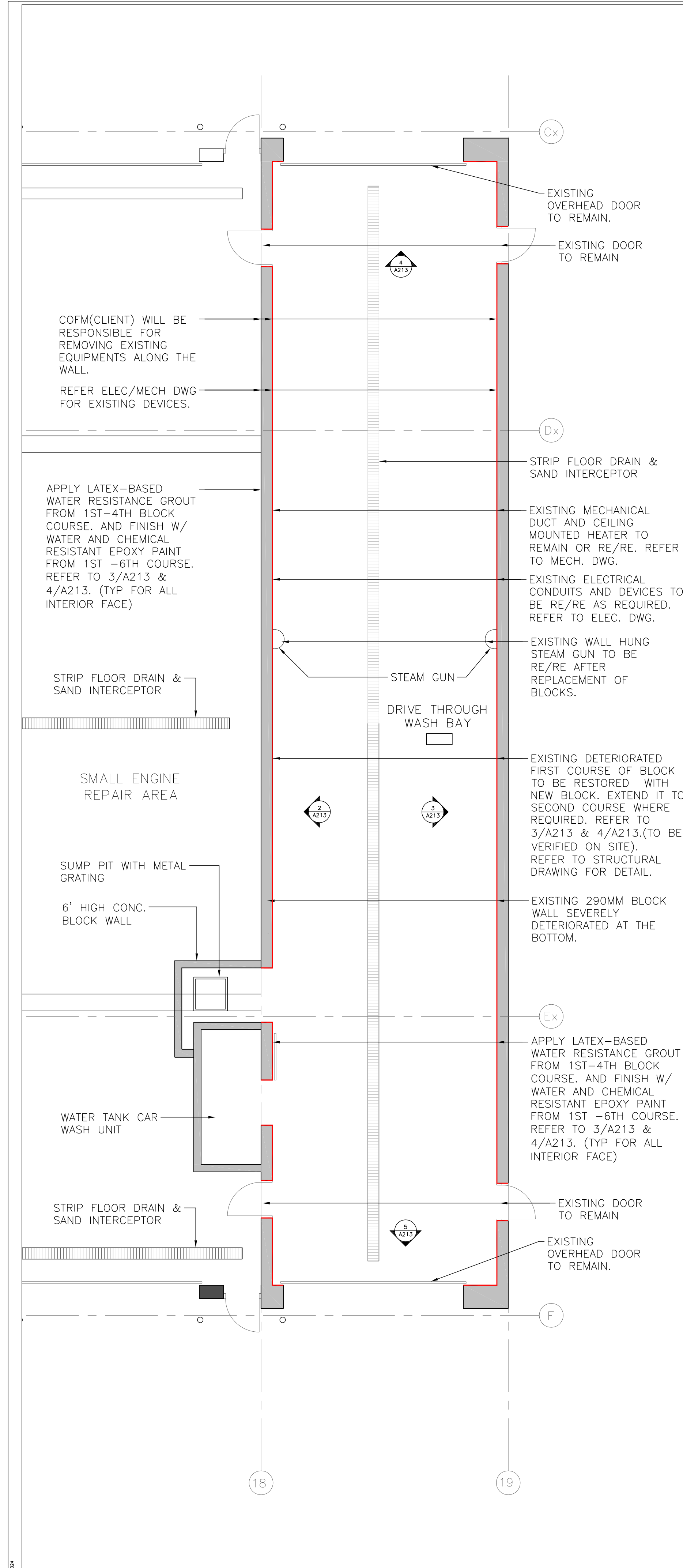
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project architect PD project designer PD

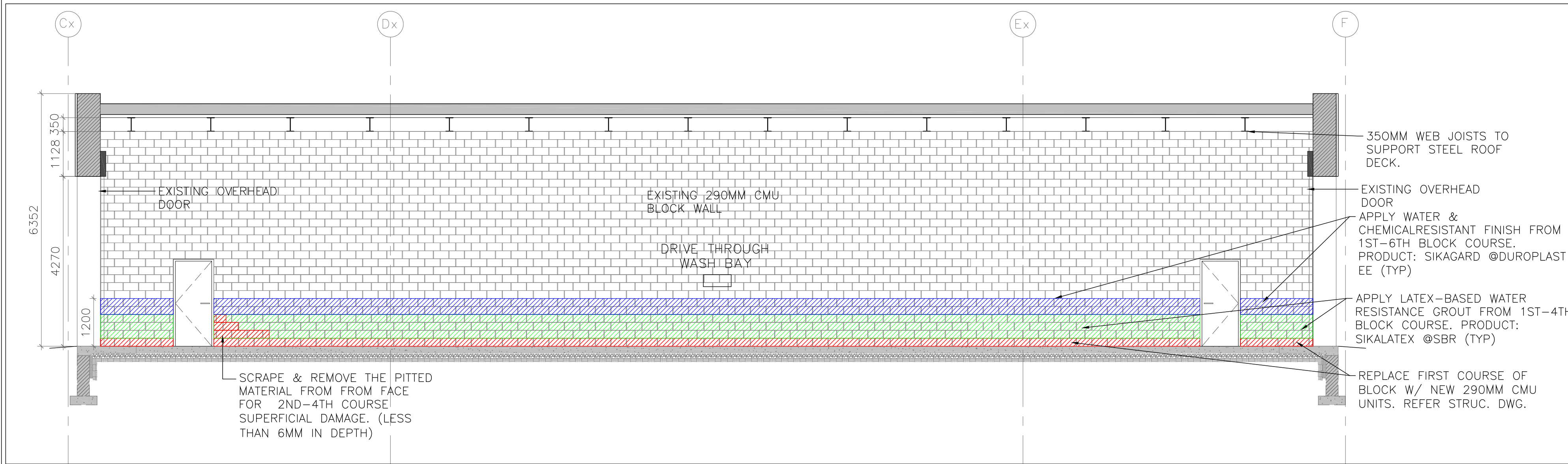
sheet title **PROPOSED RCP @ SECOND FLOOR**

scale AS NOTED drawing by NH/HP checked by PD drawing no. A212

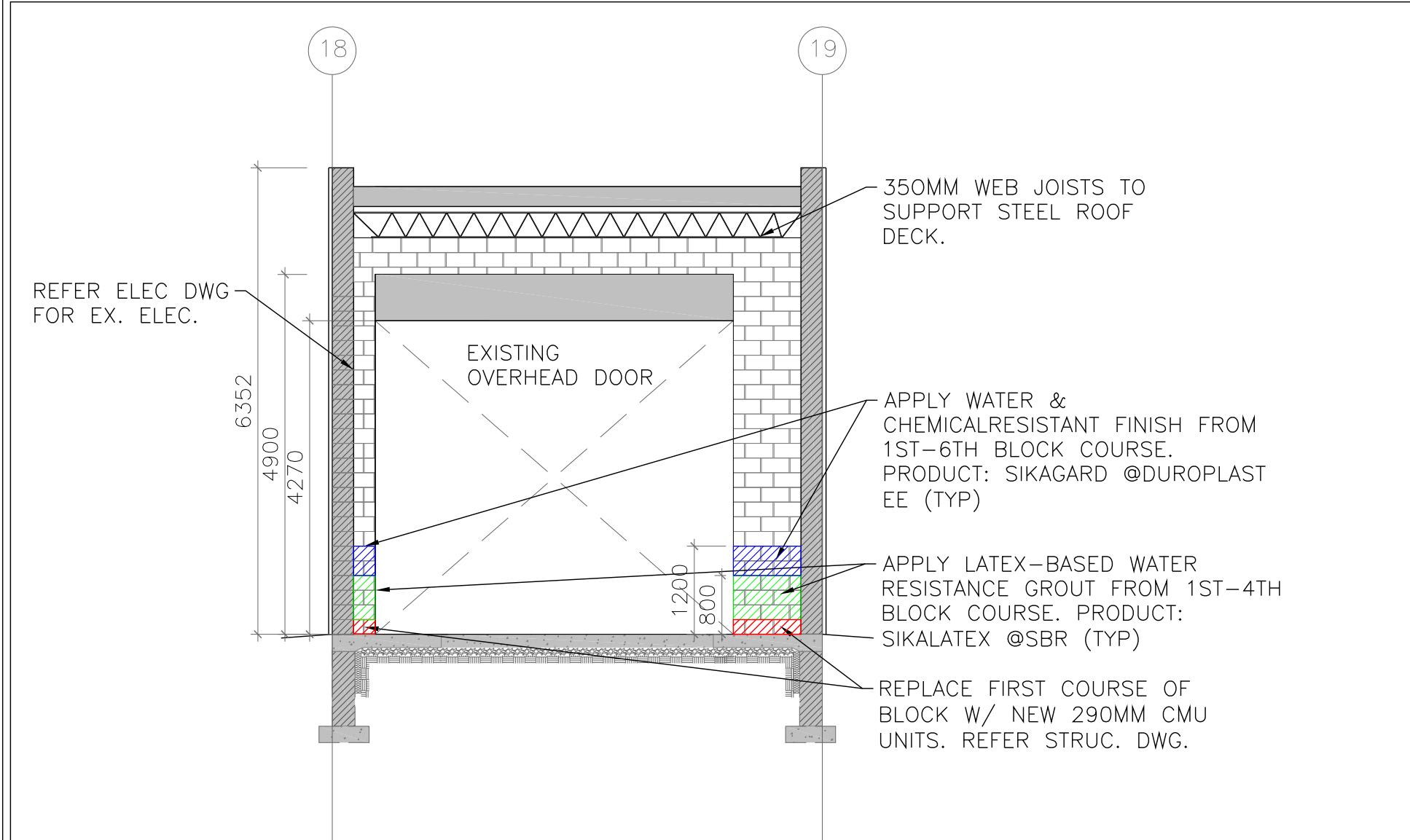
project no. 22312 plot date: 2024-07-04



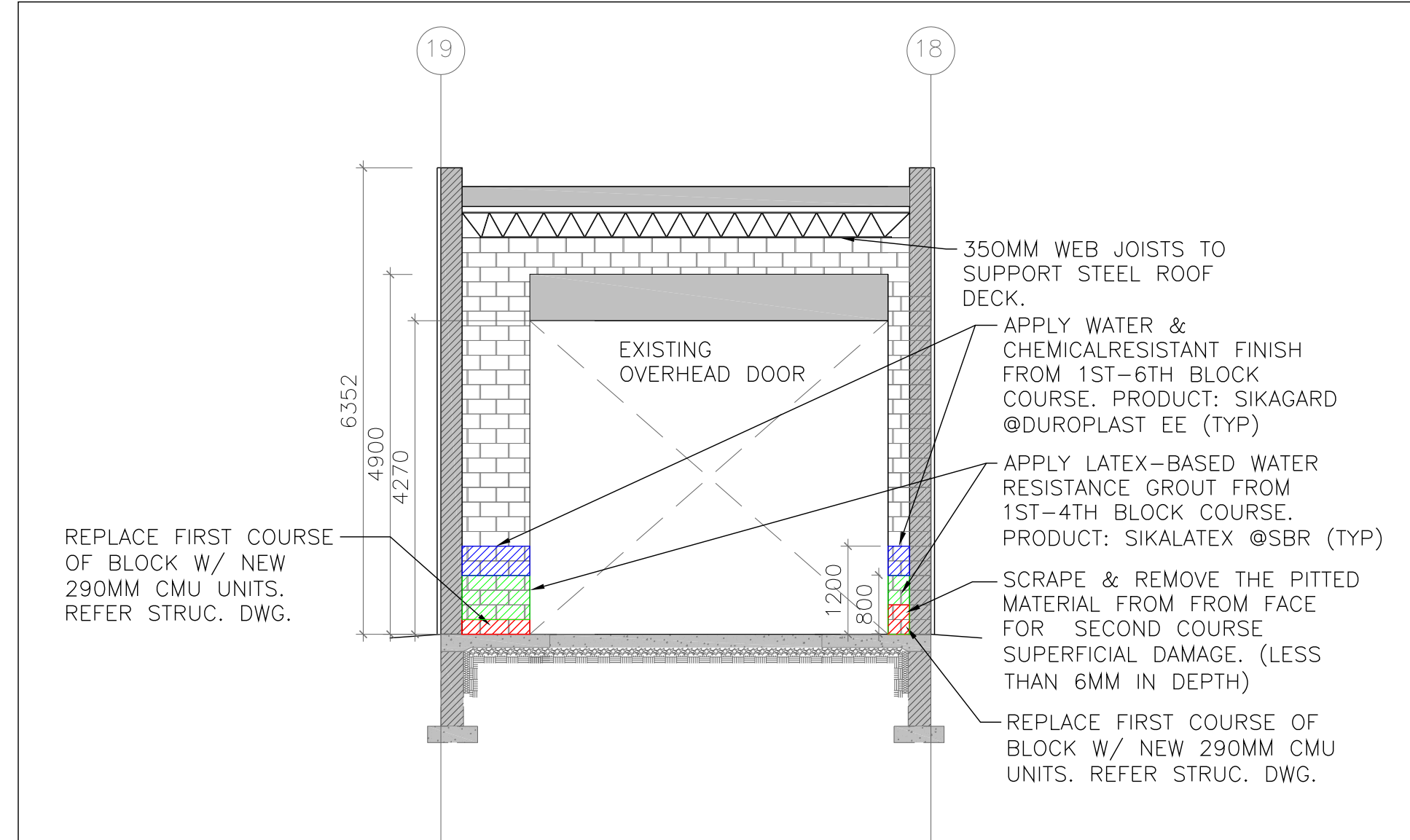
2 CMU REPAIR- INTERIOR ELEVATION
A213 SCALE: 1/75



3 CMU REPAIR - INTERIOR ELEVATION
A213 SCALE: 1/75



4 CMU REPAIR- INTERIOR ELEVATION
A213 SCALE: 1/75



5 CMU REPAIR- INTERIOR ELEVATION
A213 SCALE: 1/75

1 TRUCK WASH BAY - CMU REPAIR- FLOOR PLAN
A213 SCALE: 1/75

#	DATE	REVISION
1	2024-08-27	ISSUED FOR TENDER
#	DATE	ISSUED

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CITY OF MISSISSAUGA

3185 MAVIS RD, MISSISSAUGA, ON L5C 1T7

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ONTARIO ASSOCIATION OF ARCHITECTS
PAUL DIDUR
LICENCE 3572

pda Paul Didur Architect Inc.
BCDN No. 2033

222 Islington Ave., Suite 260
Toronto, Ontario, M8V 3W7
E-mail: pda@pdaarchitect.com W: www.pdaarchitect.com
T: 416 928 1041 F: 416 928 1051

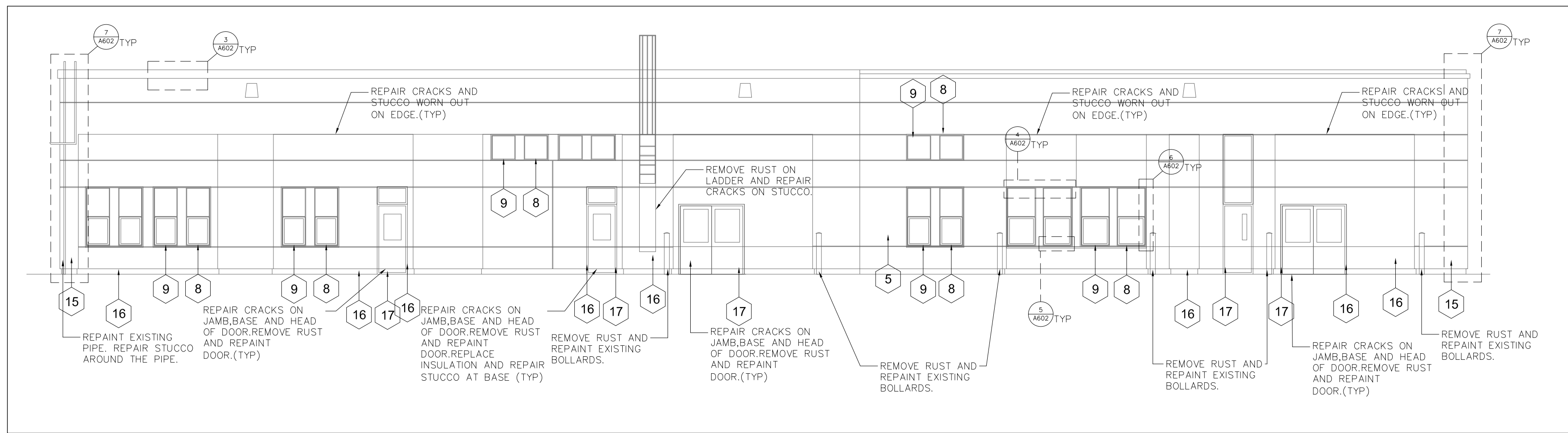
project architect PD project designer PD

sheet title

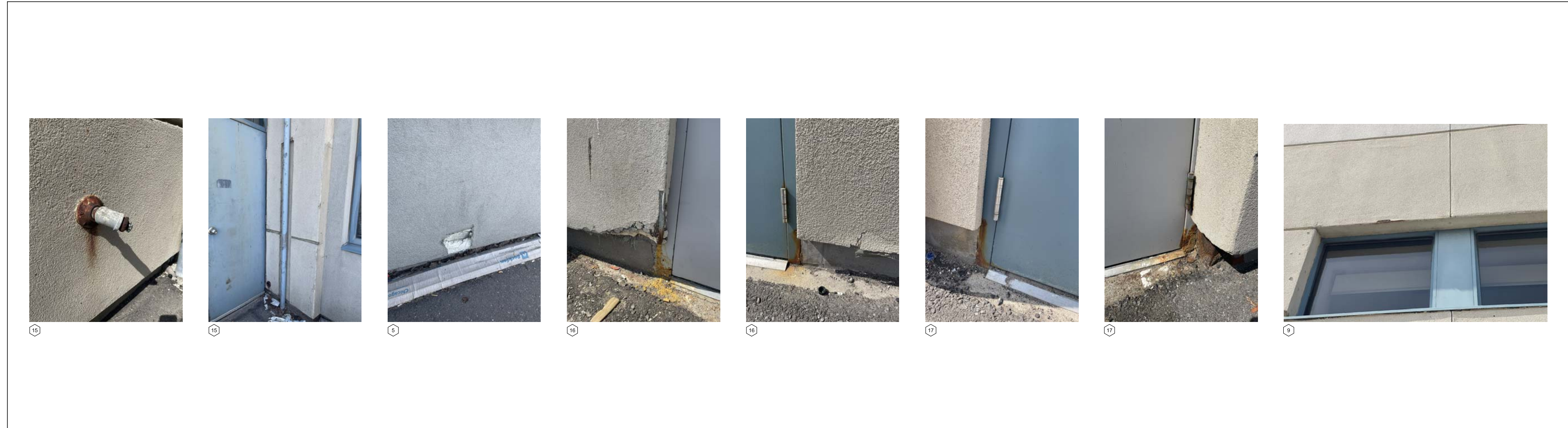
COMPONENT PRICE NO.1
TRUCK WASH BAY
CMU REPAIRS

scale AS NOTED drawn by HP checked by PD drawing no. A213

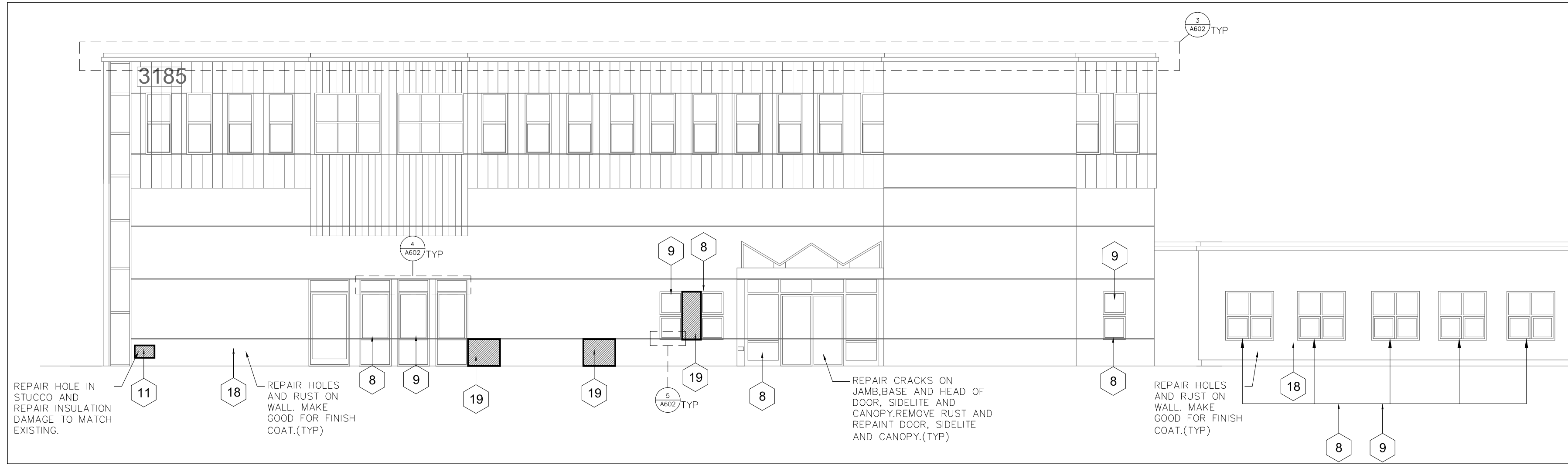
project no. 22312 plot date: 2024-08-27



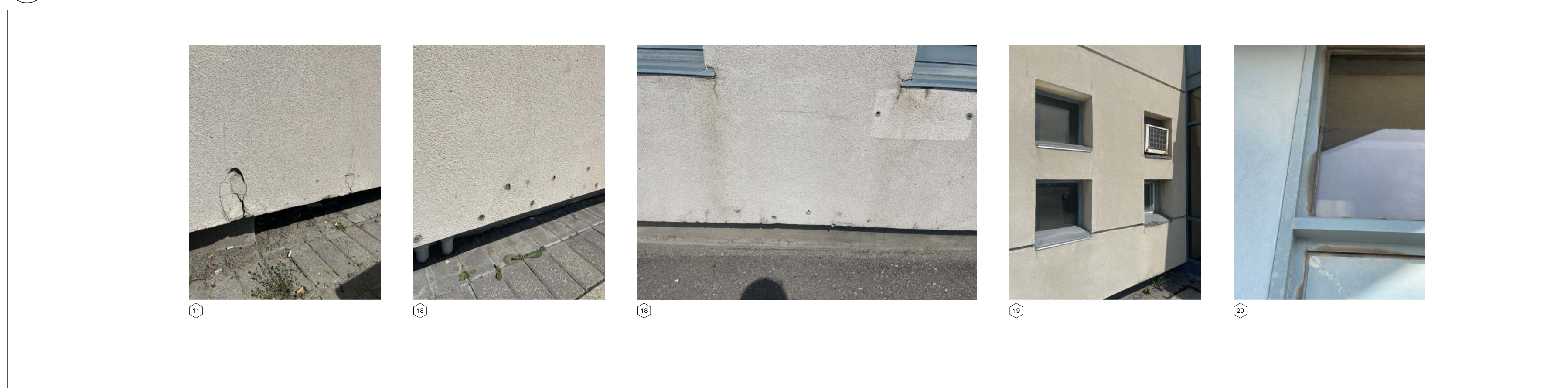
1 ELEVATION - EAST
A301 SCALE: 1:100



2 EX CONDITION - EAST ELEVATION
A301 SCALE: NTS



3 ELEVATION - SOUTH
A301 SCALE: 1:100



4 EX CONDITION - SOUTH ELEVATION
A301 SCALE: 1:100

NOTE: REFER TO STUCCO REPAIR TYPICAL DETAILS ON A602.

- ① FRONT ENTRANCE. REPAIR EXISTING CANOPY.
- ② REPLACE DAMAGED DOOR W/ NEW DOOR AS SPECIFIED.
- ③ REPAIR STUCCO CRACKS AT CORNERS AND WALL EDGE.
- ④ FILL GAP BETWEEN CONCRETE PAD AND STUCCO WALL. PROVIDE CAULKING AS REQUIRED.
- ⑤ 3-5 SQ.MT REPAIR STUCCO, PATCH HOLES AND WORN OUT ON EXISTING STUCCO, MAKE GOOD TO RECEIVE FINAL COAT.
- ⑥ REPAIR STUCCO AT BASE AND REPAIR/REPLACE FLASHING.
- ⑦ REPAIR STUCCO CRACKS AND REMOVE RUST ON DOOR FRAMES AND REPAIR DOOR AND CANOPY.
- ⑧ REPAIR CRACKS (IF ANY) AT WINDOW SILL, JAMB & HEAD BY MAINTAINING TYPICAL WINDOW TREATMENT. (TYP FOR ALL WINDOWS)
- ⑨ REMOVE EXISTING GLASS CAULKING AND APPLY NEW CAULKING. CLEAN GLASS PANELS AFTER COMPLETION OF WORK. (TYP FOR ALL WINDOWS)
- ⑩ REPAIR STUCCO CRACKS AT CORNER. REFER DETAIL (TYP)
- ⑪ REPAIR STUCCO DAMAGE AND REPLACE DAMAGED INSULATION LAYER IF NEEDED.
- ⑫ REPLACE STUCCO DAMAGE AT BOTTOM EDGE OF WALL AND REPLACE DAMAGED INSULATION IF REQUIRED. MAKE GOOD FOR NEW STUCCO.
- ⑬ REMOVE RUST FROM GRILL, REPAIR CRACKS AROUND THE GRILL AND REPLACE CAULKING.
- ⑭ REMOVE CAULKING AT JOINTS AND RE-CAULK AS NEEDED AND REPAIR JOINTS / STUCCO REVEALS AND MAKE GOOD TO RECEIVE FINAL COAT.
- ⑮ REMOVE RUST AROUND THE PIPE, REPAIR CRACKS ON WALL AND MAKE GOOD TO RECEIVE NEW STUCCO.
- ⑯ REMOVE RUST, REPAIR CRACKS AND STUCCO WORN AND INSULATION AND MAKE GOOD.
- ⑰ REMOVE RUST FROM METAL FRAME AND REPAIR THE DOOR.
- ⑱ REMOVE RUST FROM REINFORCEMENT BARS AND CLEAN THE WALL TO APPLY FINAL COAT.
- ⑲ REPAIR CRACKS AND HOLES AROUND THE WINDOWS AND DOORS. (TYP)

5 GENERAL NOTES
A301 SCALE: NTS

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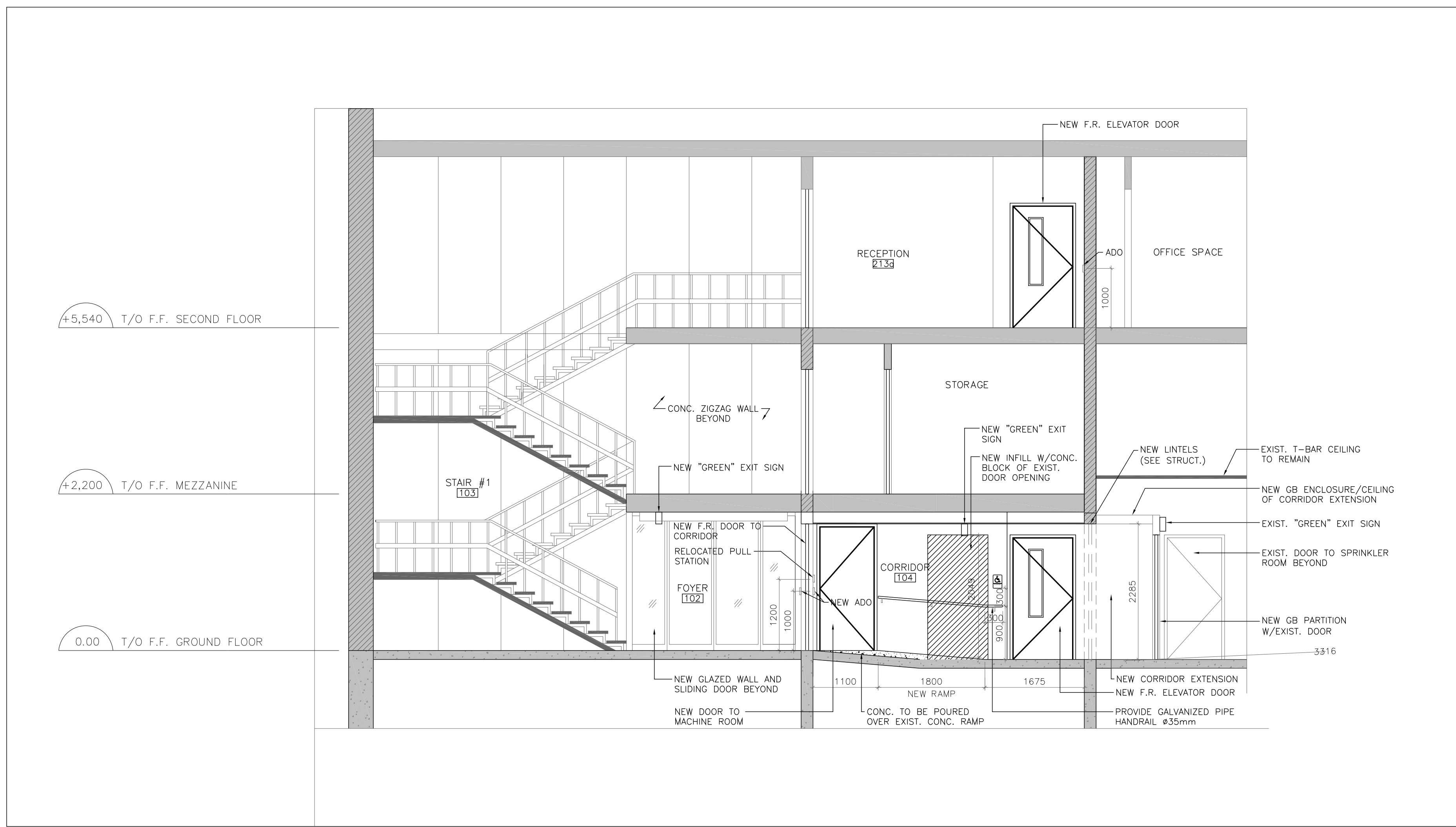
project architect PD project designer PD

sheet title

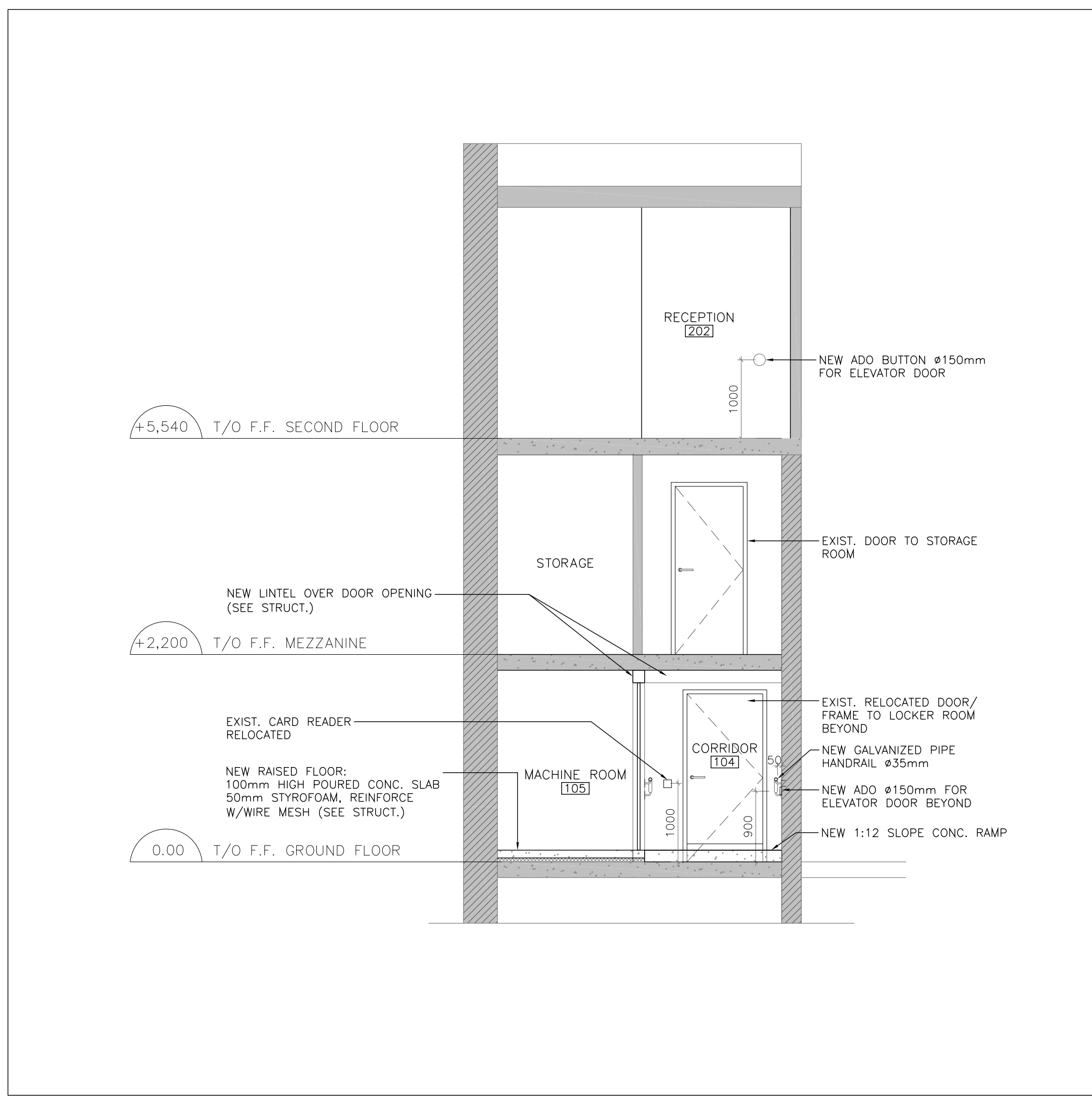
**ELEVATIONS
STUCCO REPAIR**

scale AS NOTED	drawn by NH/HP	checked by PD	drawing no. A301
project no. 22312	plot date: 2024-07-04		

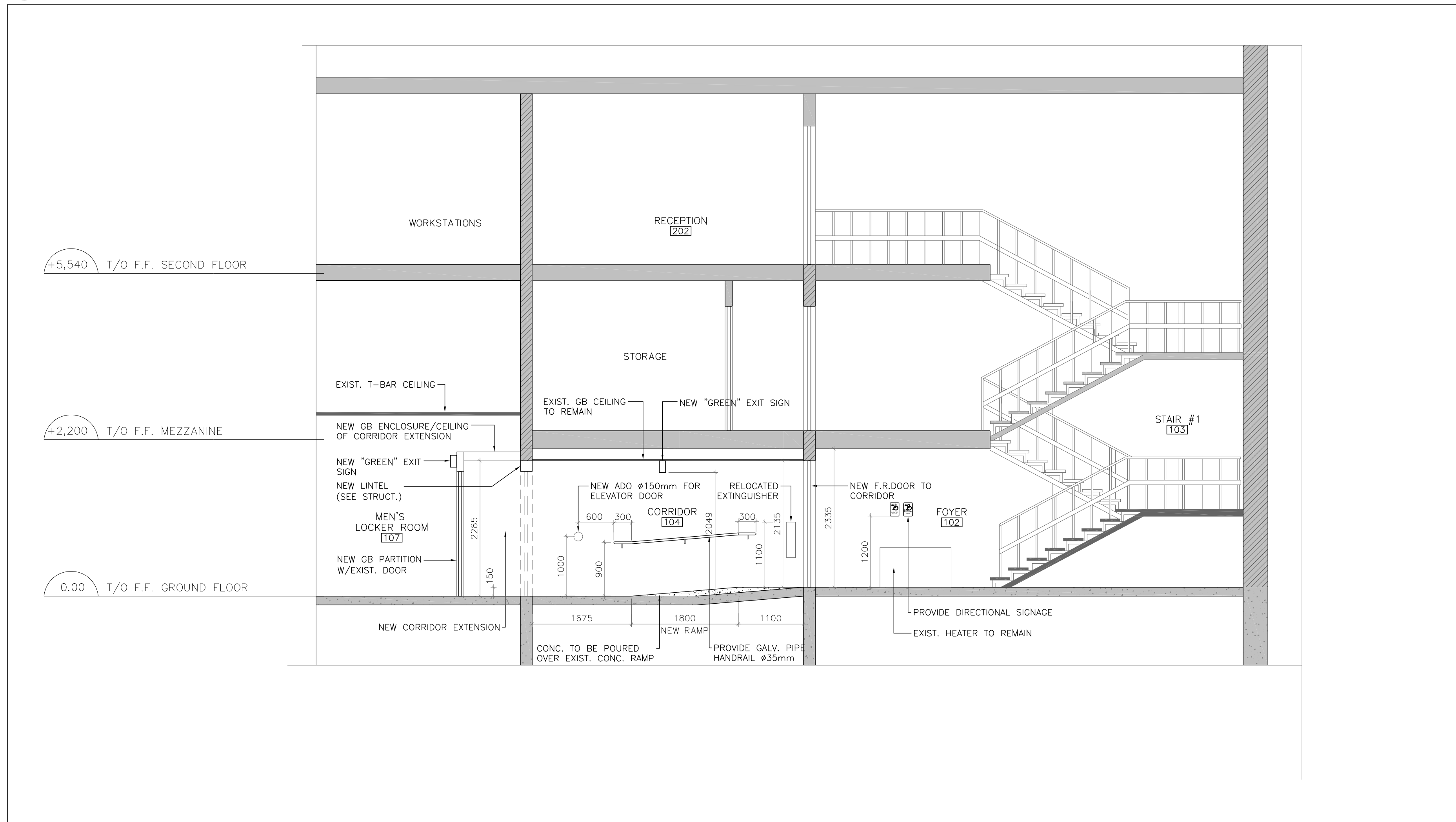
PRINT DATE: 2024-07-04



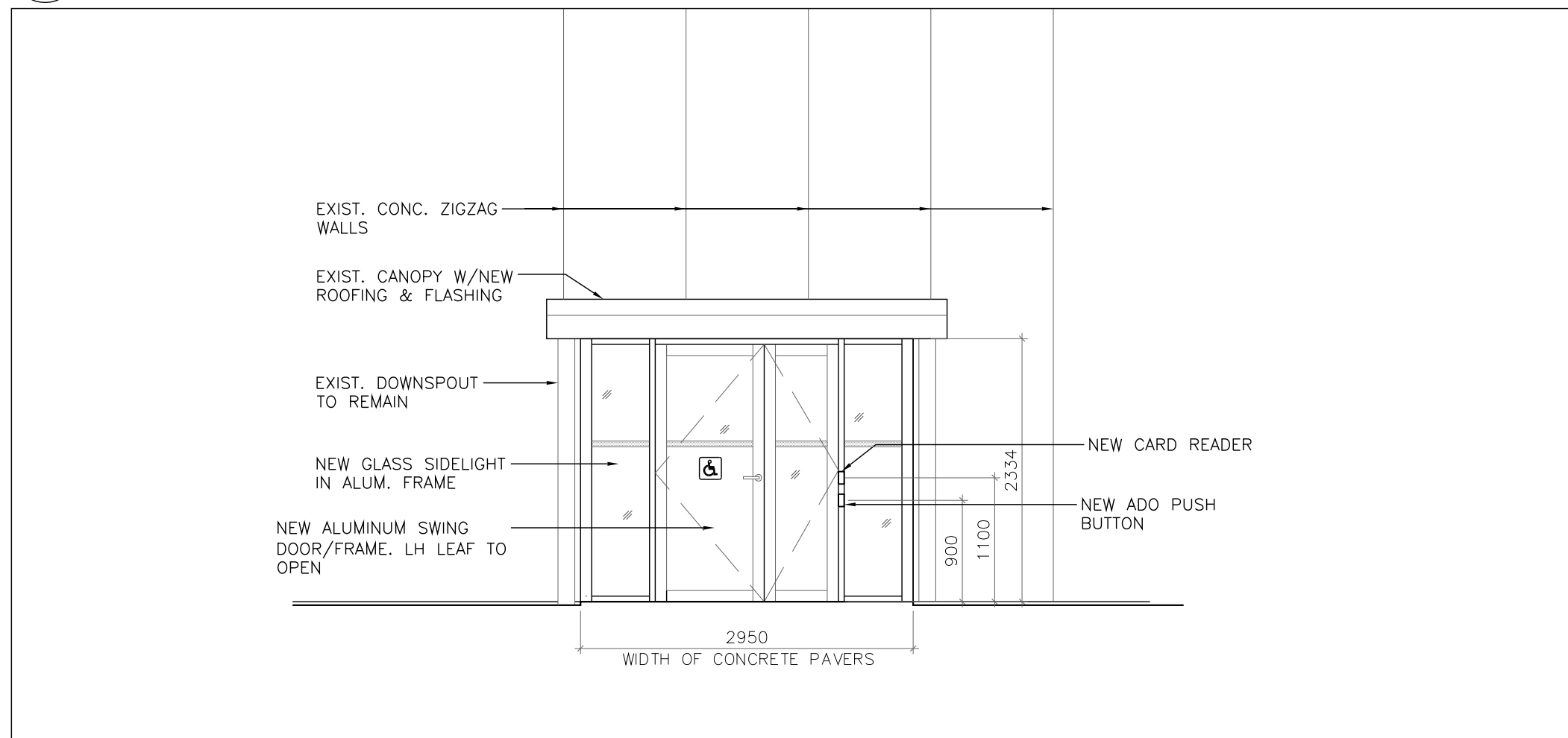
1 SECTION THRU PROPOSED ENTRANCE
A400 SCALE: 1:50



3 SECTION THRU PROPOSED ENTRANCE
A400 SCALE: 1:50



2 SECTION THRU PROPOSED ENTRANCE
A400 SCALE: 1:50



4 PROPOSED ELEVATION OF MAIN ENTRANCE
A400 SCALE: 1:50

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2	2024-05-15	ISSUED FOR BUILDING PERMIT
1	2024-01-18	ISSUED FOR CLIENT REVIEW

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ISSUED FOR CONSTRUCTION

SIGNATURE _____

DATE _____

client:
MISSISSAUGA

client project no.
--

project:
MAVIS S. MECH. & ROOF RENEWAL
CITY OF MISSISSAUGA

3185 MAVIS RD, MISSISSAUGA, ON L5C 1T7

consultant:

north

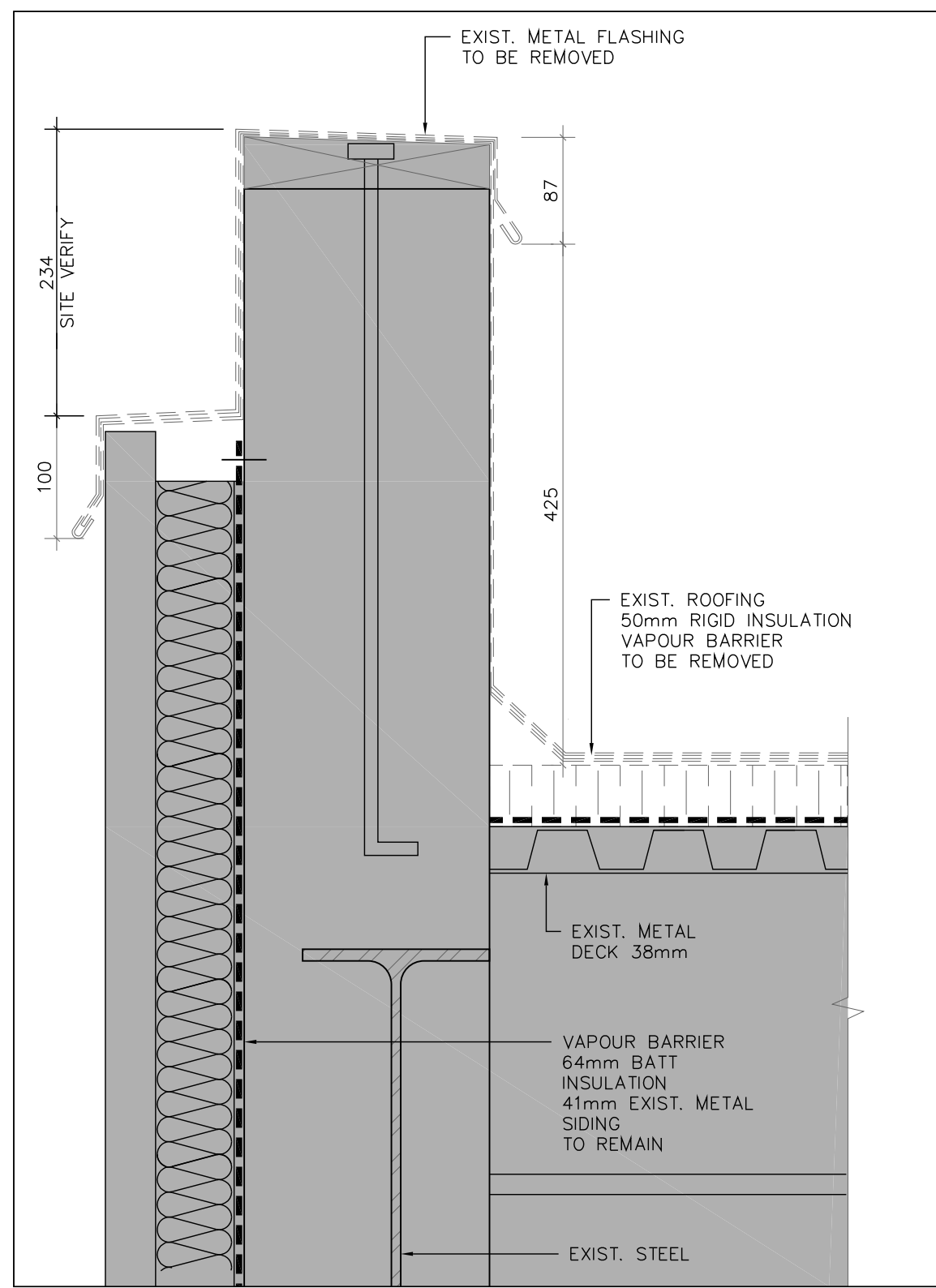
seal
ONTARIO ASSOCIATION OF ARCHITECTS
PAUL DIDUR
LICENSE: 3572

pda Paul Didur Architect Inc.
BCDN No. 2033
222 Islington Ave., Suite 260
Toronto, Ontario, M8V 3W7
E-mail: pda@pdaarchitect.com W: www.pdaarchitect.com
T: 416 928 1041 F: 416 928 1051

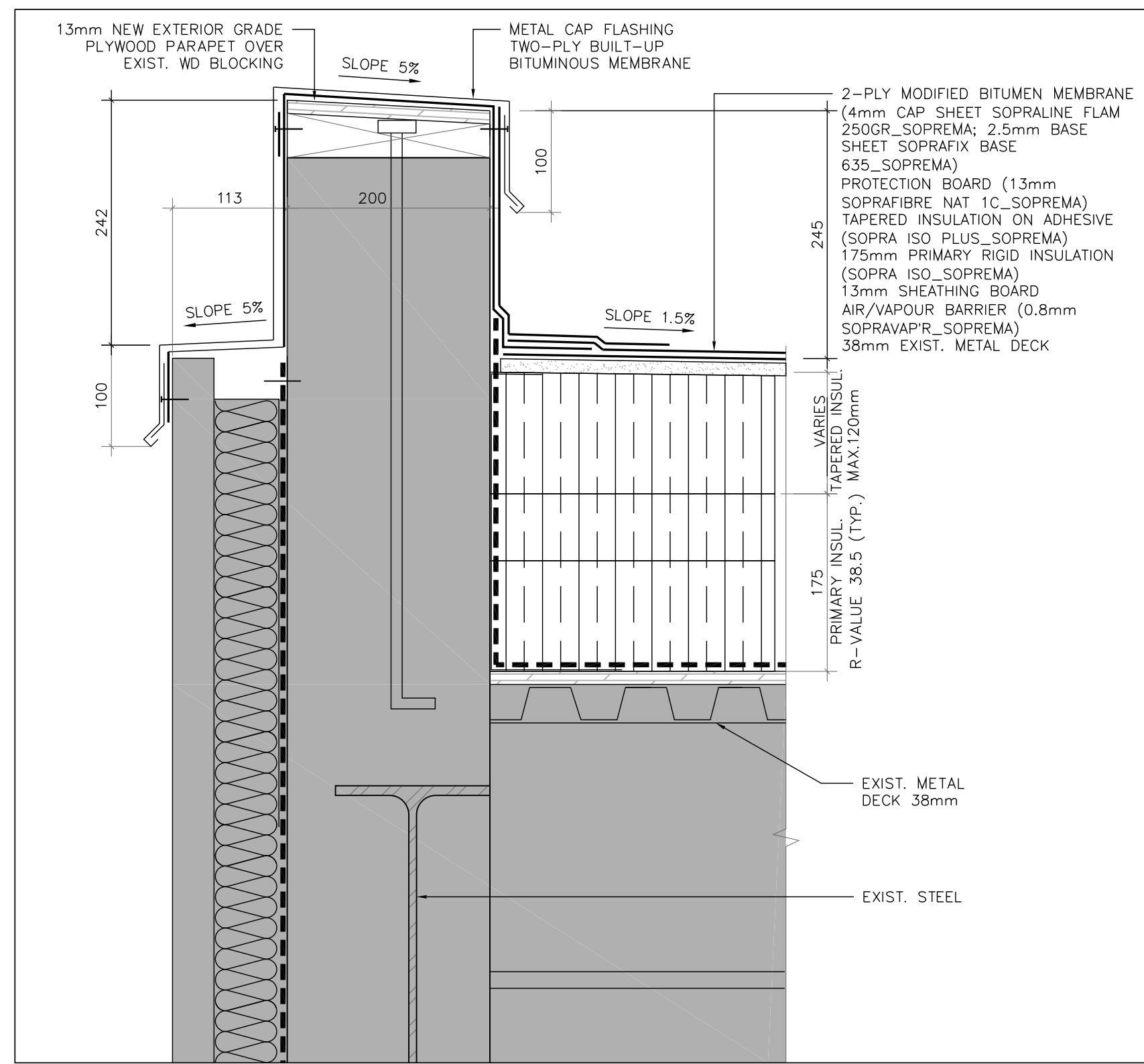
project architect PD project designer PD

sheet title
PROPOSED SECTIONS THRU ENTRANCE, ELEVATION OF MAIN ENTRANCE

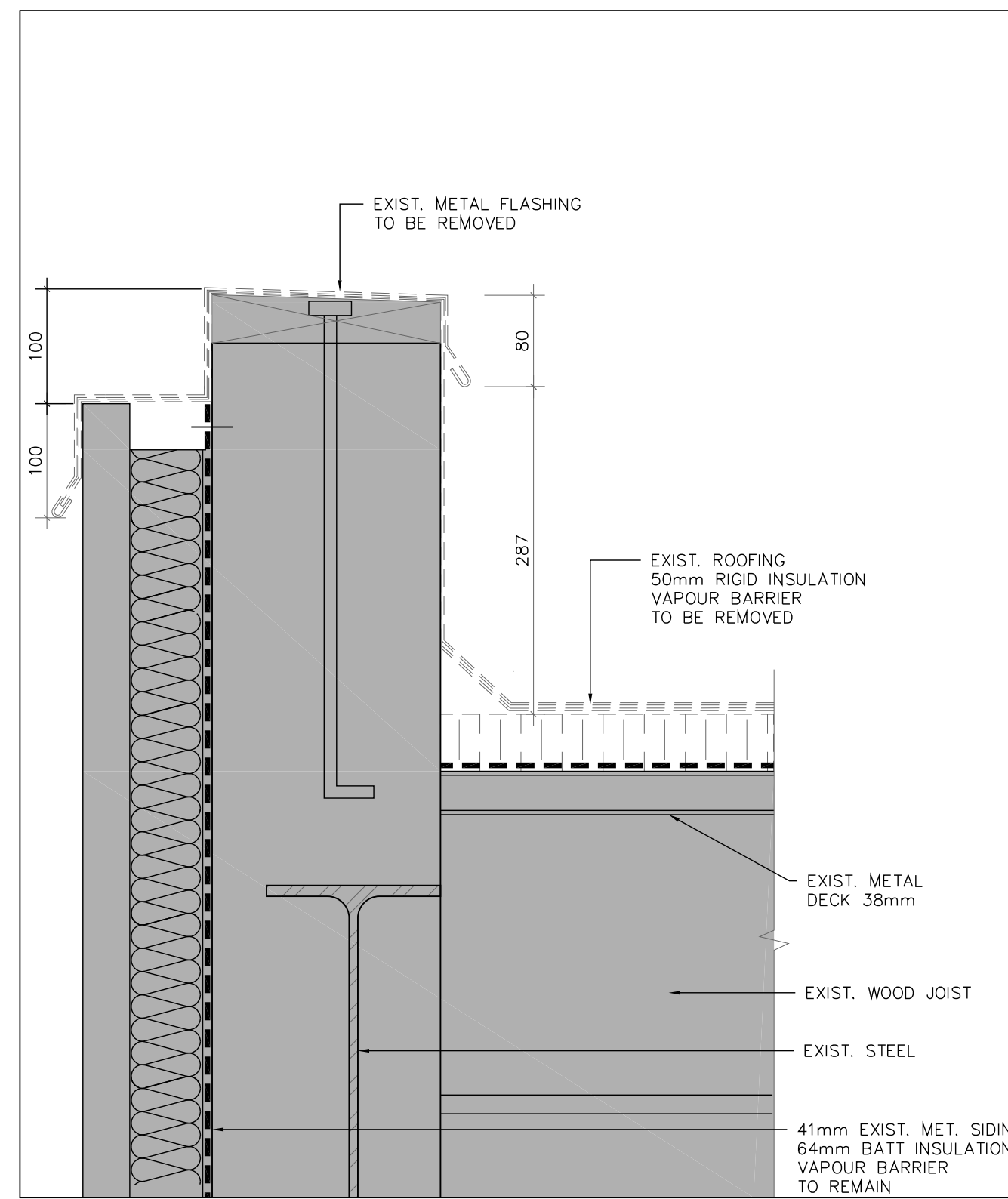
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project no. 22312 plot date: 2024-07-04



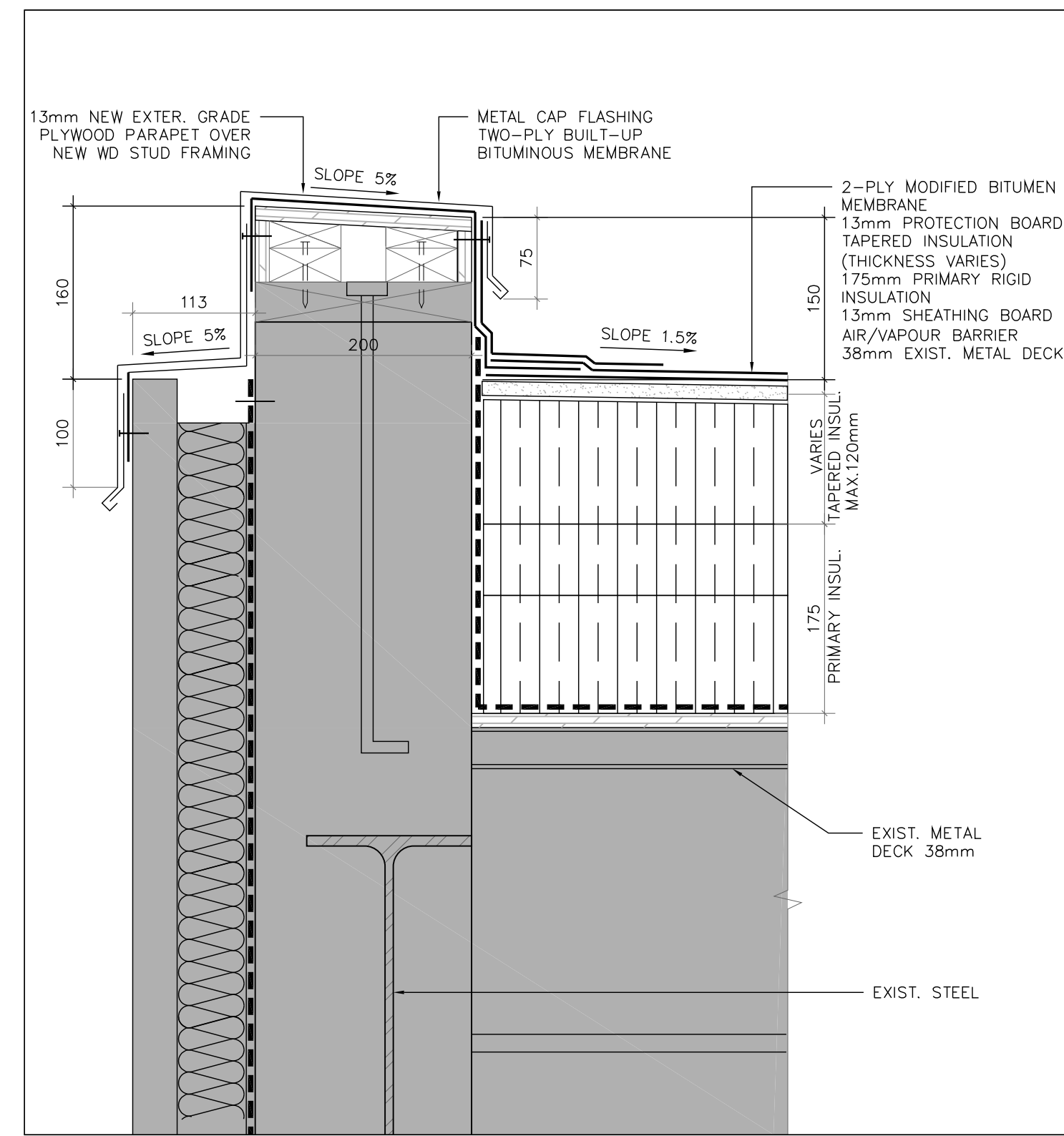
1 DEMO PARAPET SECTION DETAIL-ROOF B1
A600 SCALE: 1:5



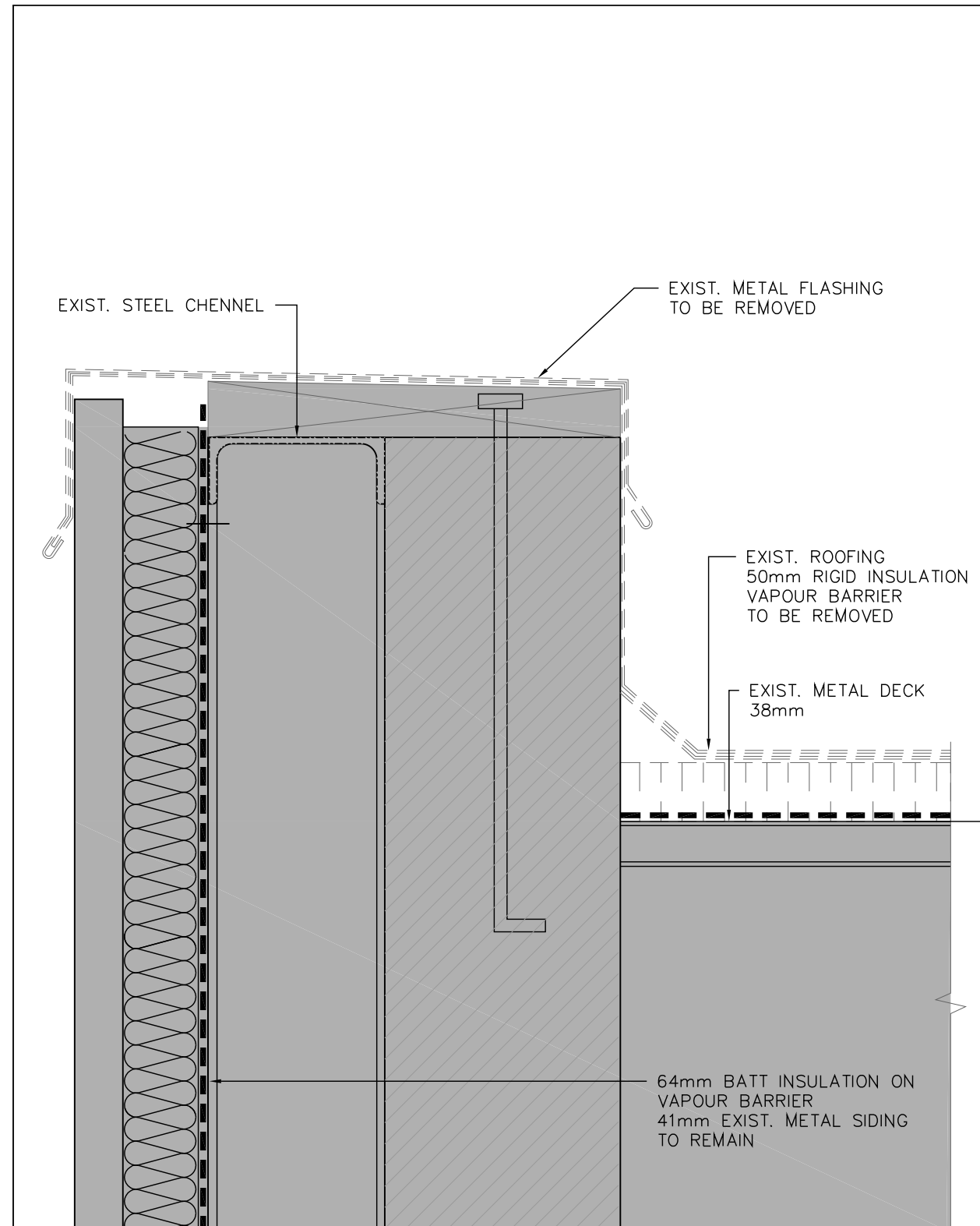
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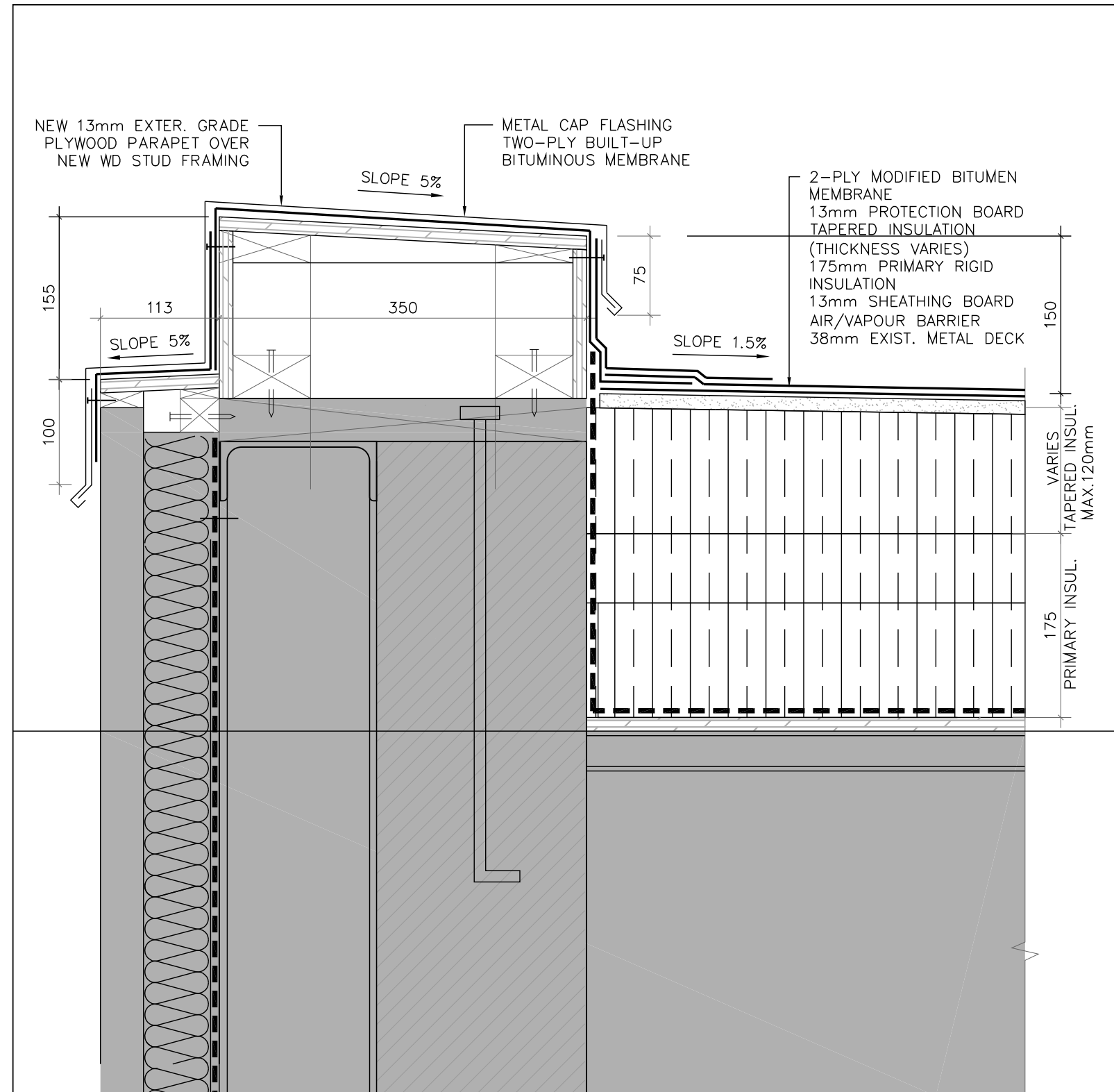
2 DEMO PARAPET SECTION DETAIL-ROOF B1
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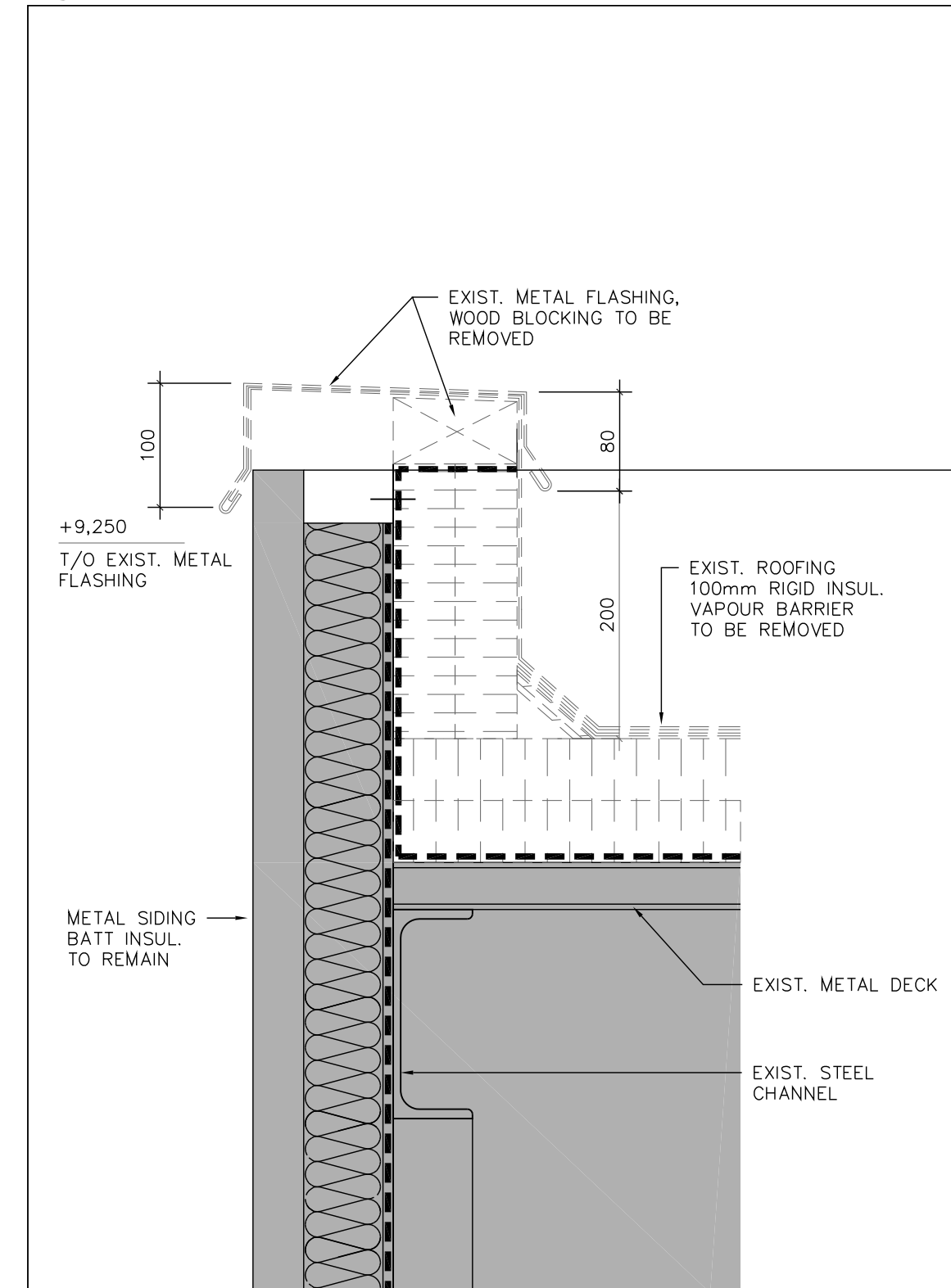
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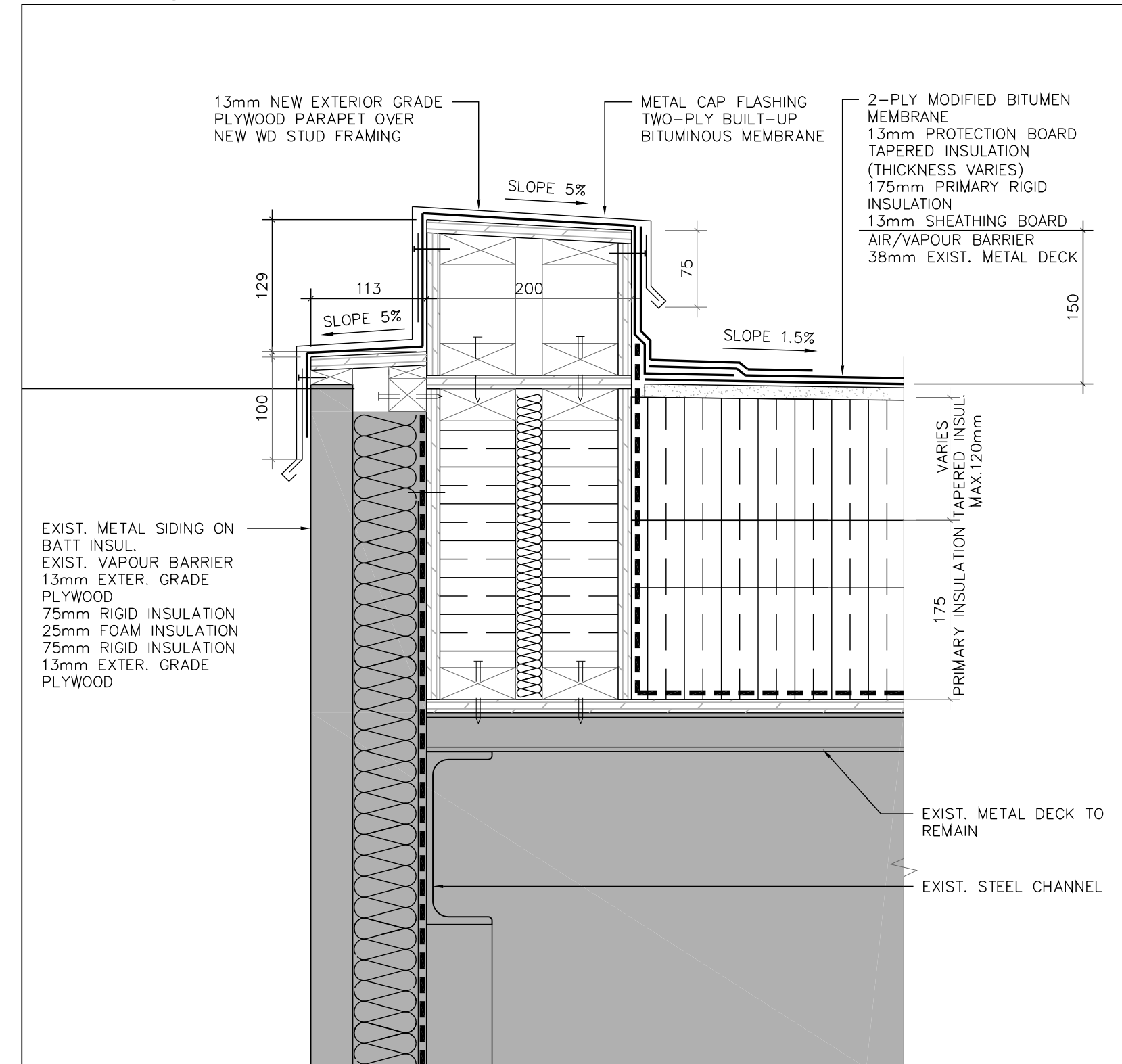
3 DEMO PARAPET SECTION DETAIL-ROOF B1
A600 SCALE: 1:5



3 PROPOSED PARAPET SECTION DETAIL-ROOF B1
A600 SCALE: 1:5



4 DEMO PARAPET SECTION DETAIL-ROOF B1
A600 SCALE: 1:5



4 PROPOSED PARAPET SECTION DETAIL-ROOF B1
A600 SCALE: 1:5

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SIGNATURE _____

DATE _____

client:

client project no. _____

project: **MAVIS S. MECH. & ROOF RENEWAL**
CITY OF MISSISSAUGA

3185 MAVIS RD, MISSISSAUGA, ON L5C 1T7

consultant:

north

Paul Didur
LICENSEE
3572

pda Paul Didur Architect Inc.
BCDN No. 2033

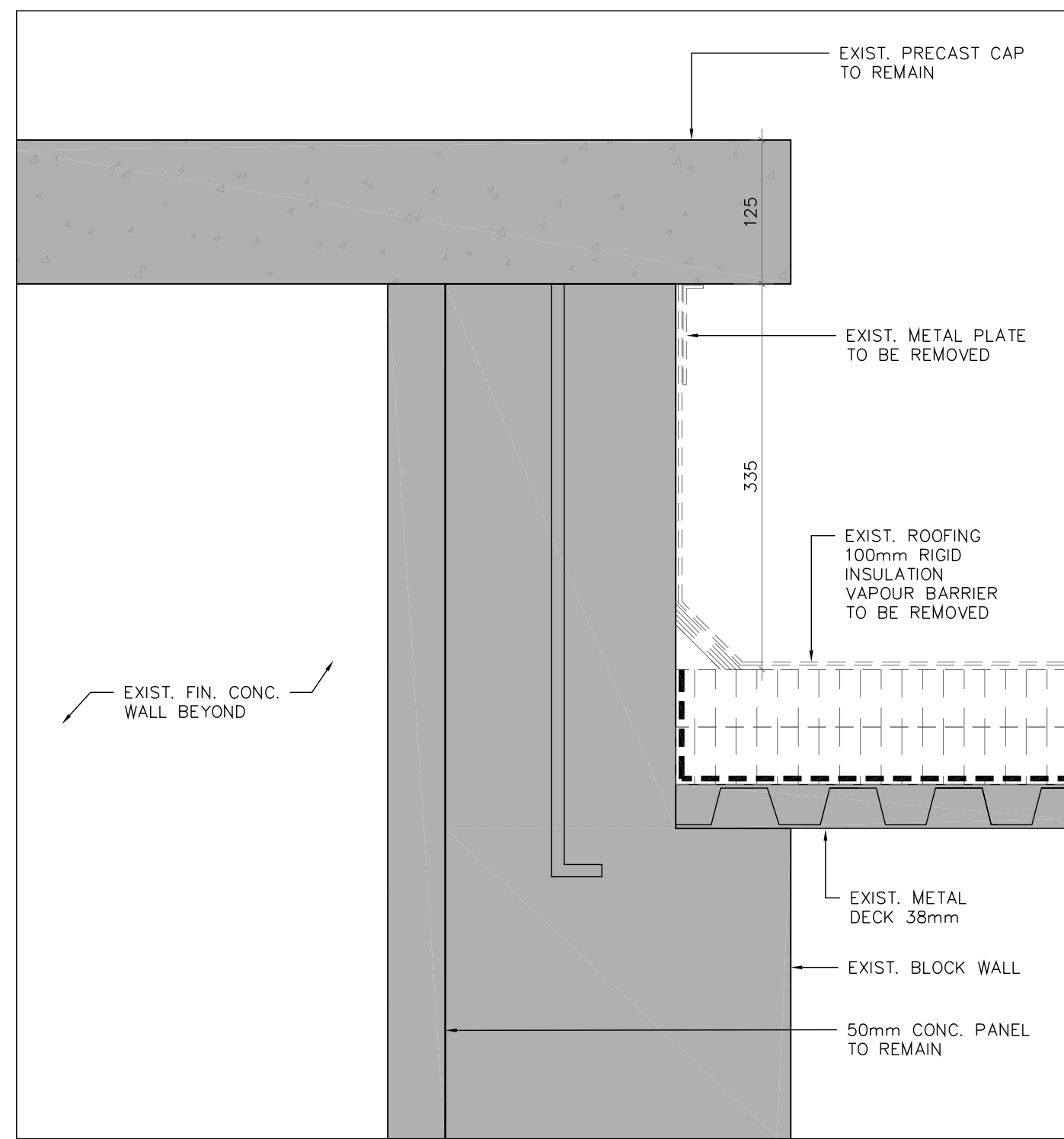
222 Islington Ave., Suite 260
Toronto, Ontario, M8V 3W7
E-mail: pda@pdaarch.com W: www.pdaarch.com
T-416 928 1041 F-416 928 1051

project architect: PD project designer: PD

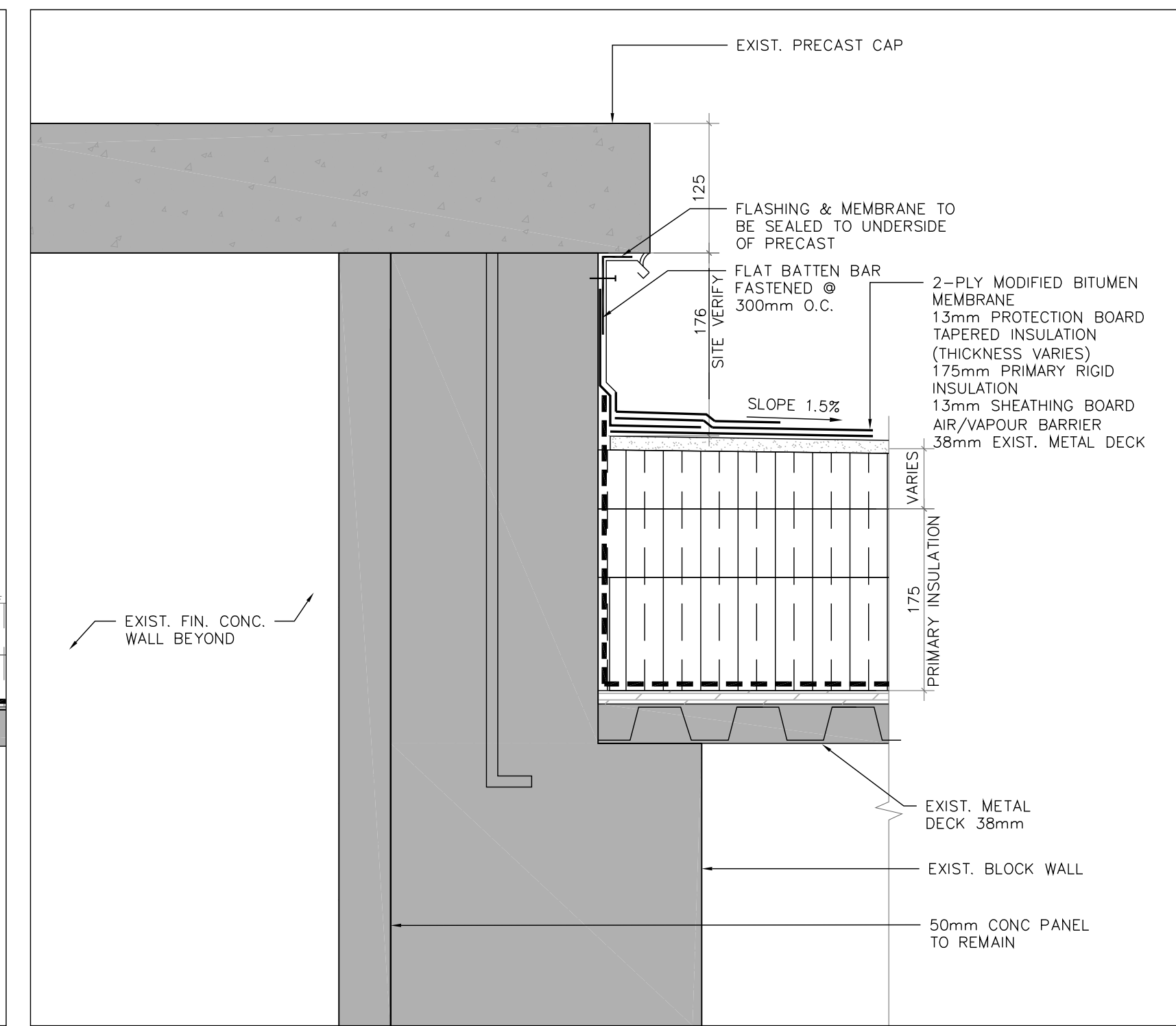
sheet title: **PARAPET DETAILS**

scale: AS NOTED drawn by: NH/HP checked by: PD drawing no.: A600

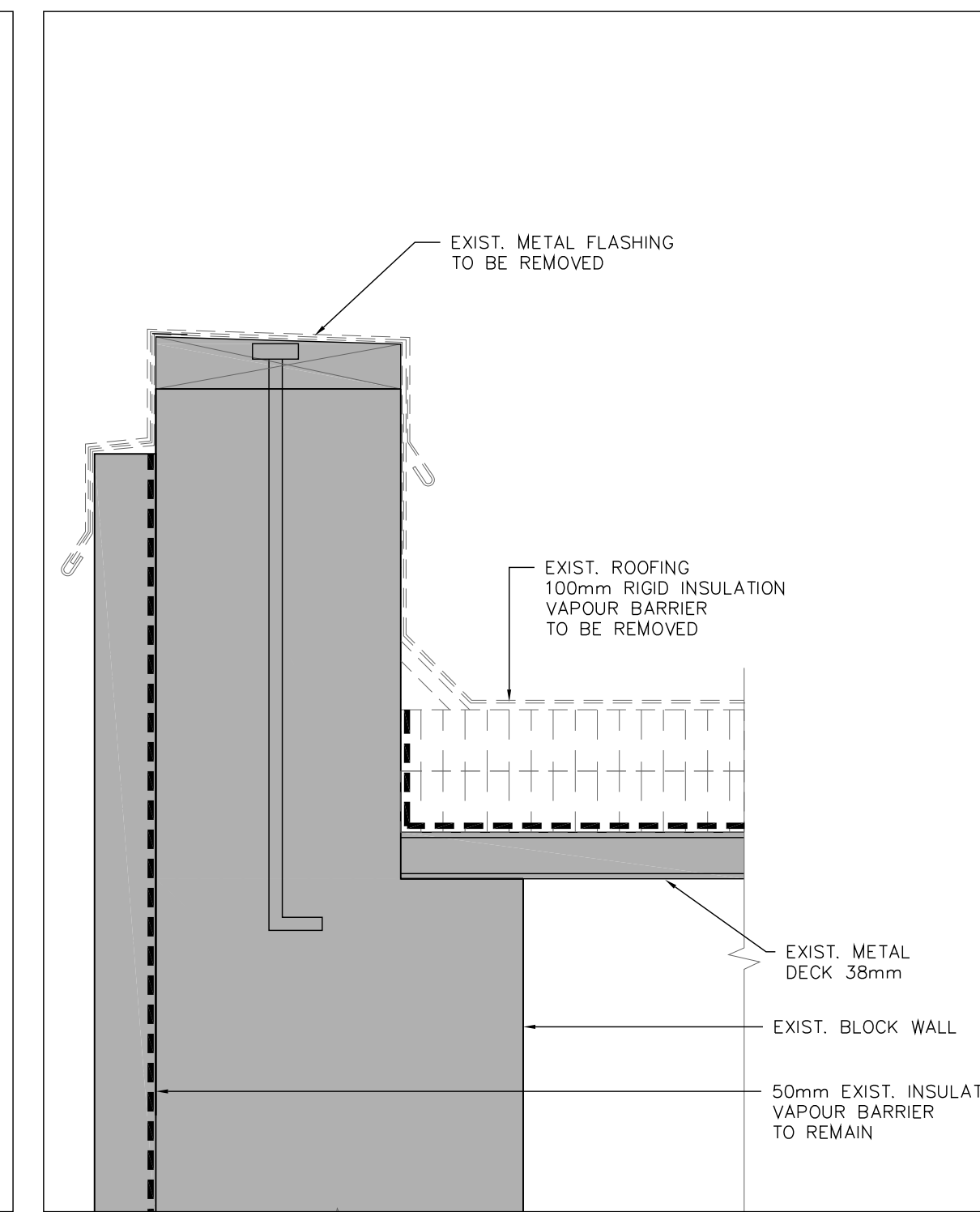
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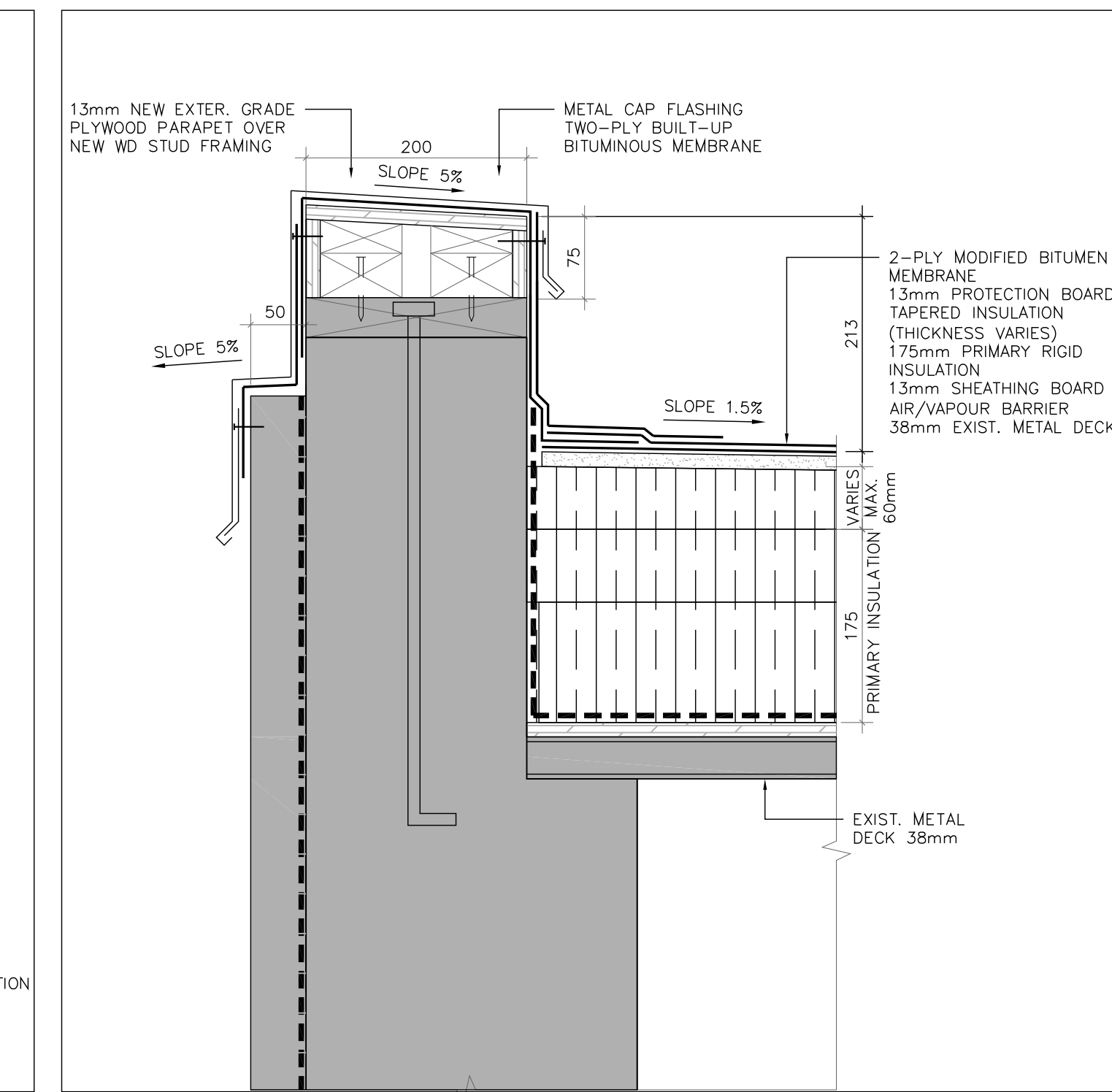
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A601 SCALE: 1:5



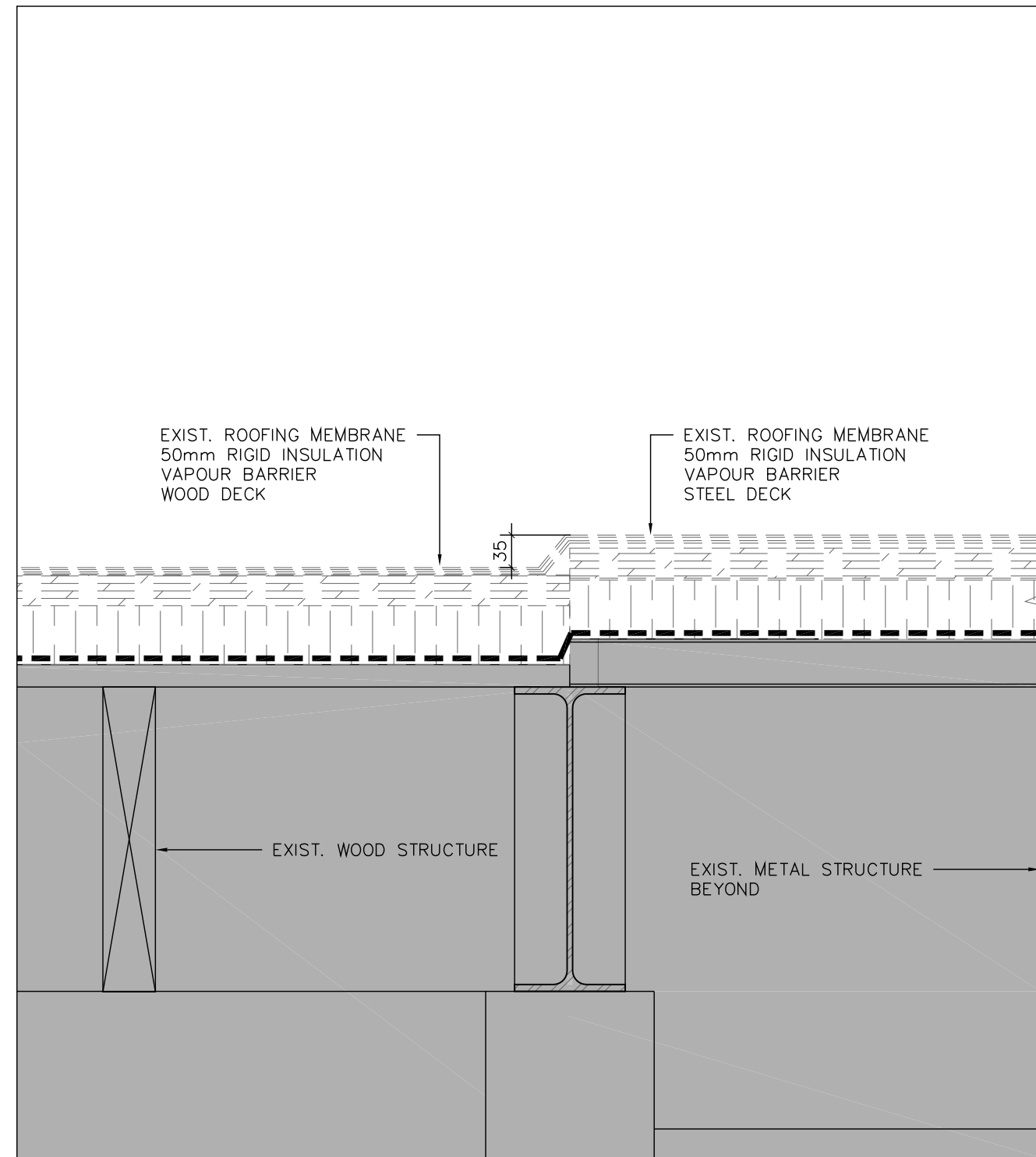
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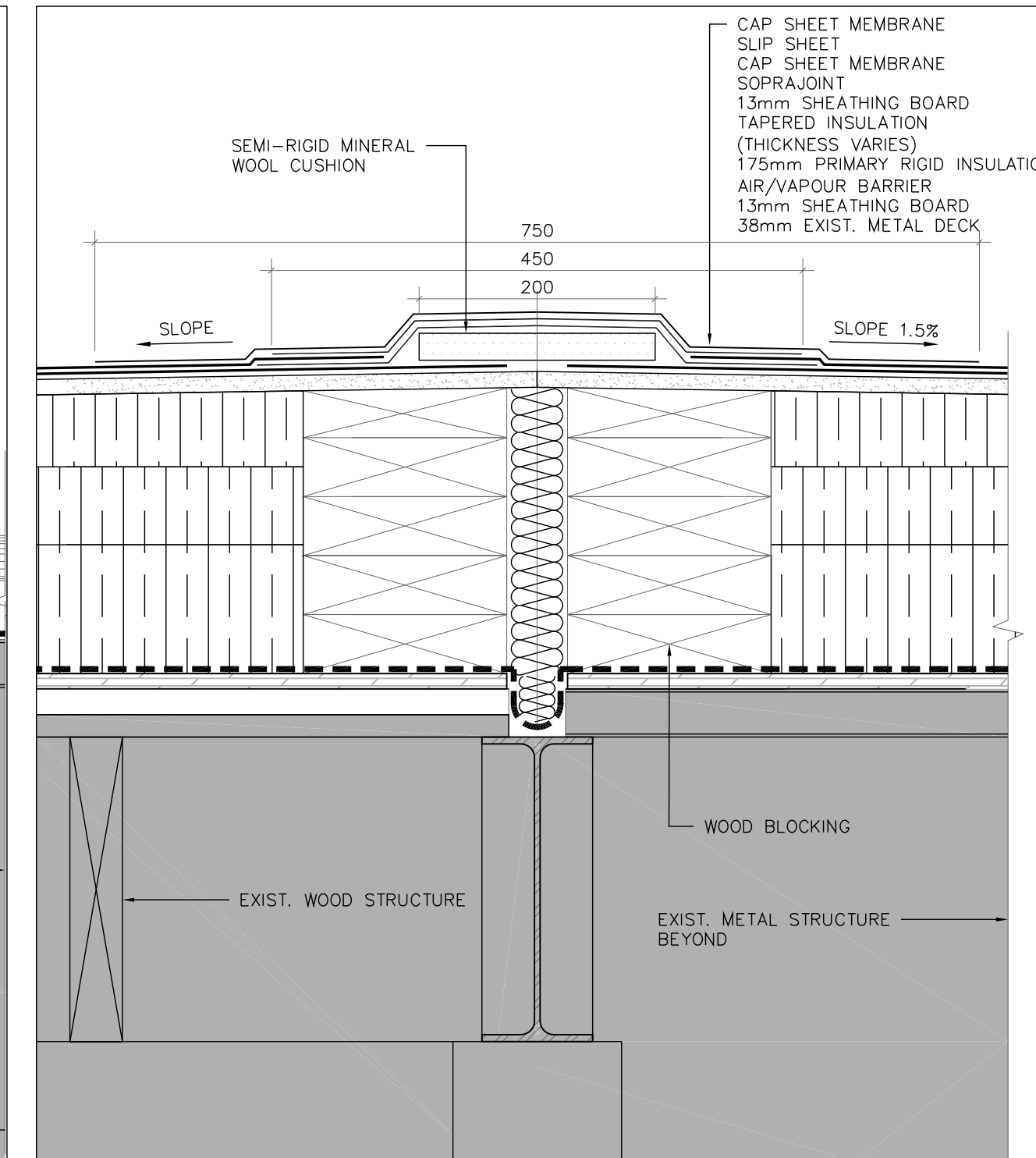
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A601 SCALE: 1:5



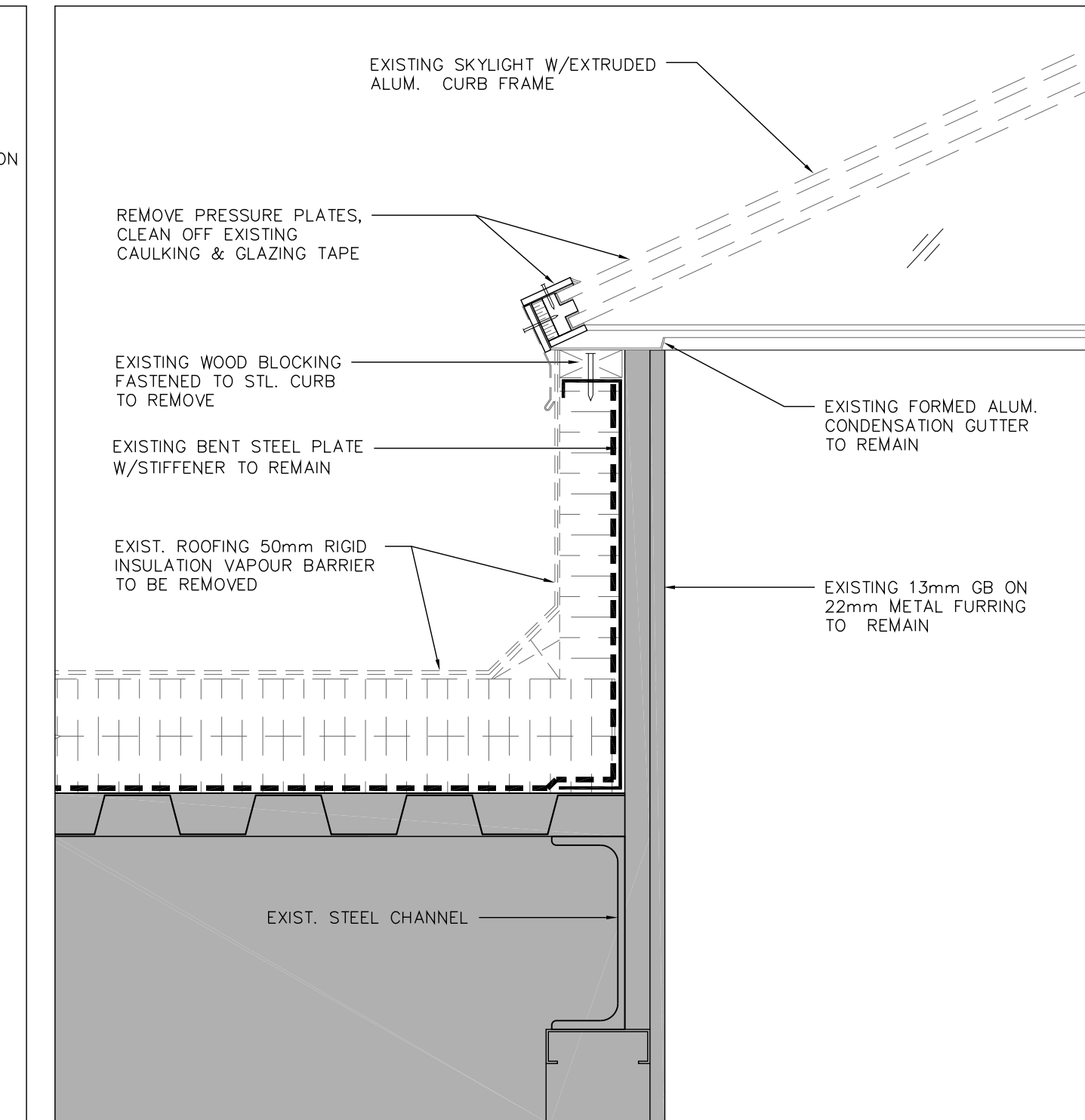
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A601 SCALE: 1:5



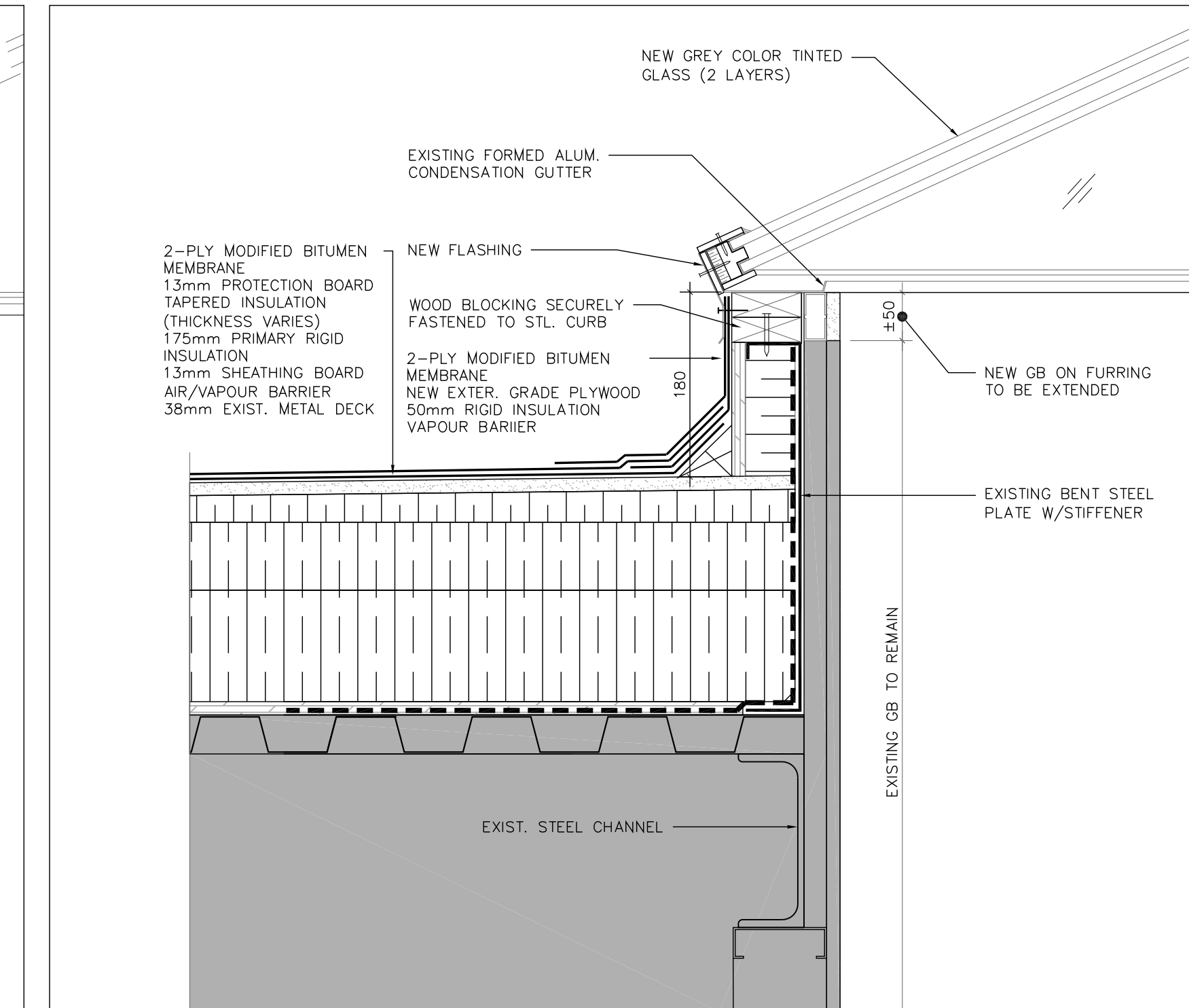
3 DEMO SECTION DETAIL-THRU EXPANSION JOINT-ROOF B1
A601 SCALE: 1:5



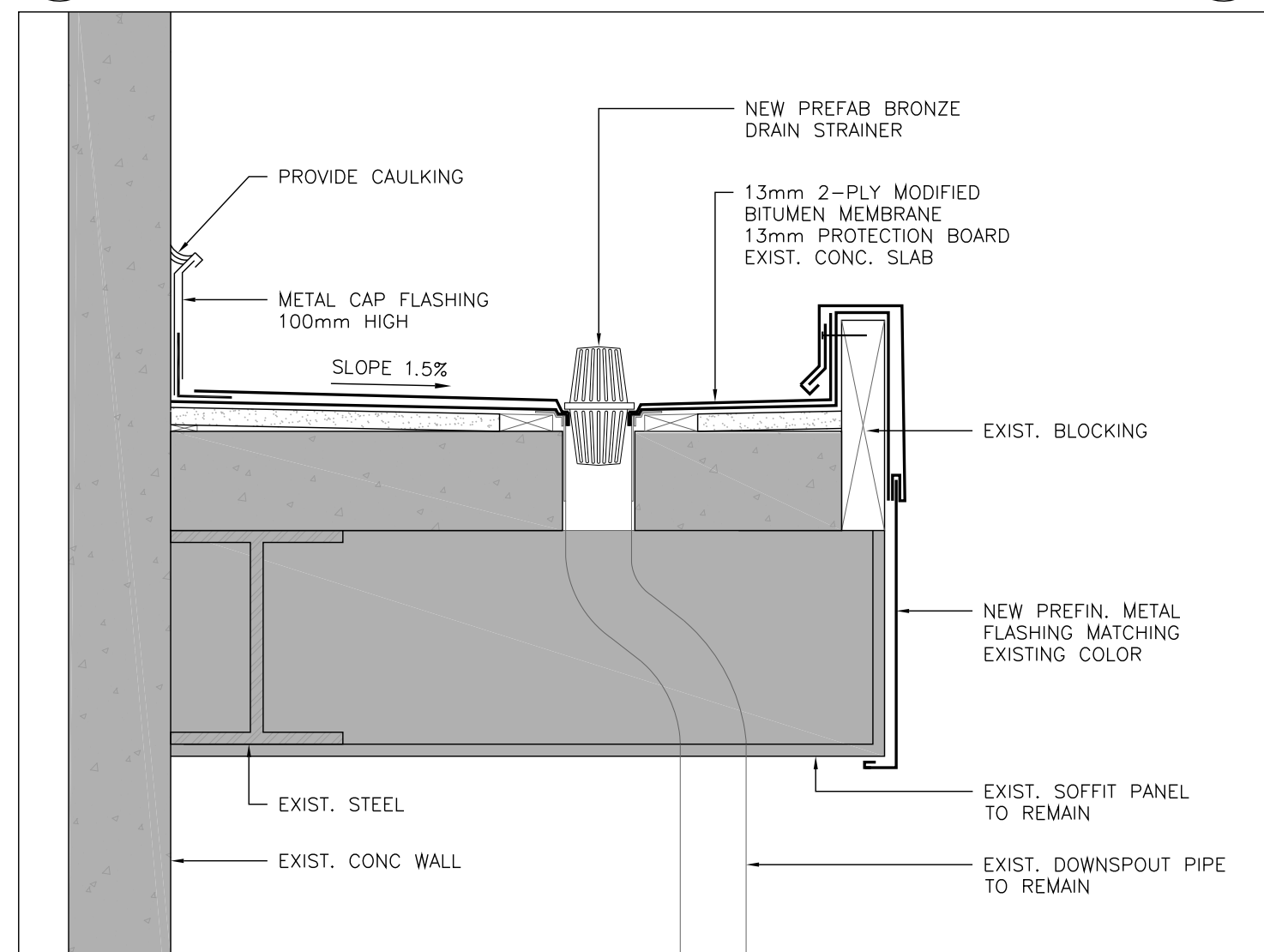
3 PROPOSED SECTION DETAIL-THRU EXPANSION JOINT-ROOF B1
A601 SCALE: 1:5



4 DEMO SECTION DETAIL THRU SKYLIGHT-ROOF B1
A601 SCALE: 1:5



4 PROPOSED SECTION DETAIL THRU SKYLIGHT-ROOF B1
A601 SCALE: 1:5



5 PROPOSED SECTION THRU CANOPY - ROOF A2
A601 SCALE: 1:5

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DATE _____

client: MISSISSAUGA

client project no. --

project: MAVIS S. MECH. & ROOF RENEWAL
CITY OF MISSISSAUGA

3185 MAVIS RD, MISSISSAUGA, ON L5C 1T7

consultant:

north

seal

ONTARIO ASSOCIATION OF ARCHITECTS
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LICENSEE
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T-416 928 1041 F-416 928 1051

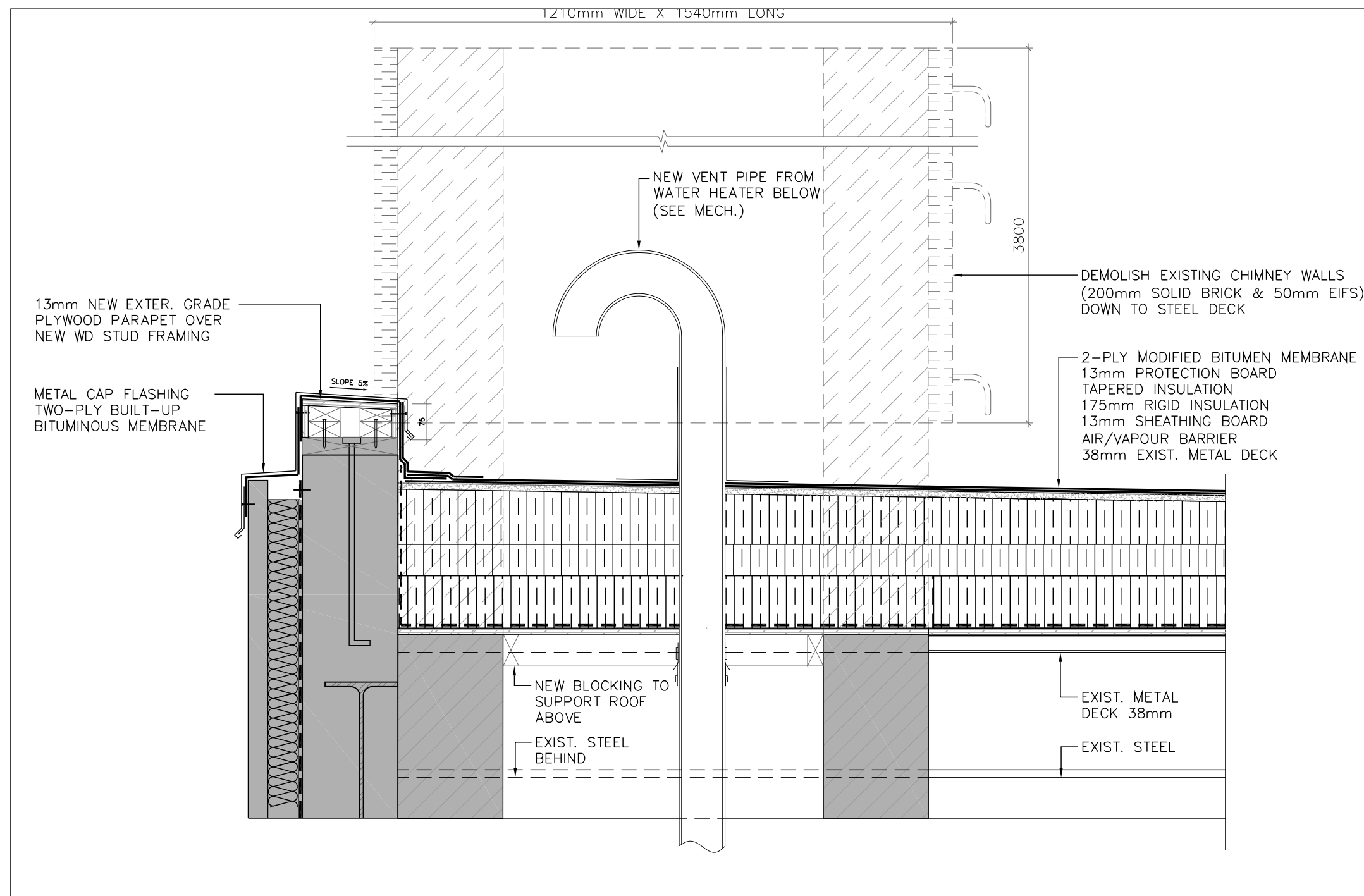
project architect PD project designer PD

sheet title SECTION DETAILS

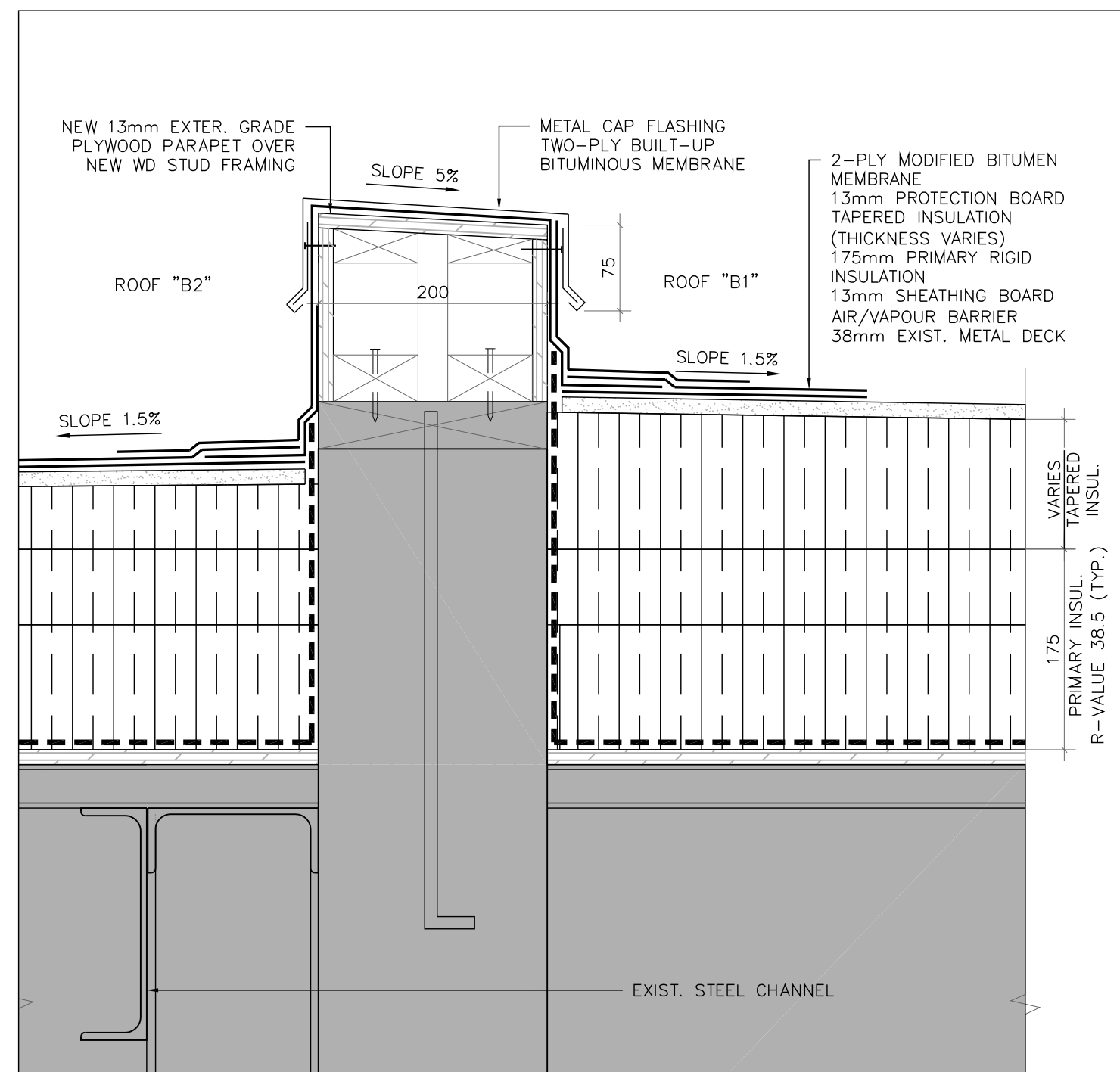
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project no. 22312 plot date: 2024-07-04

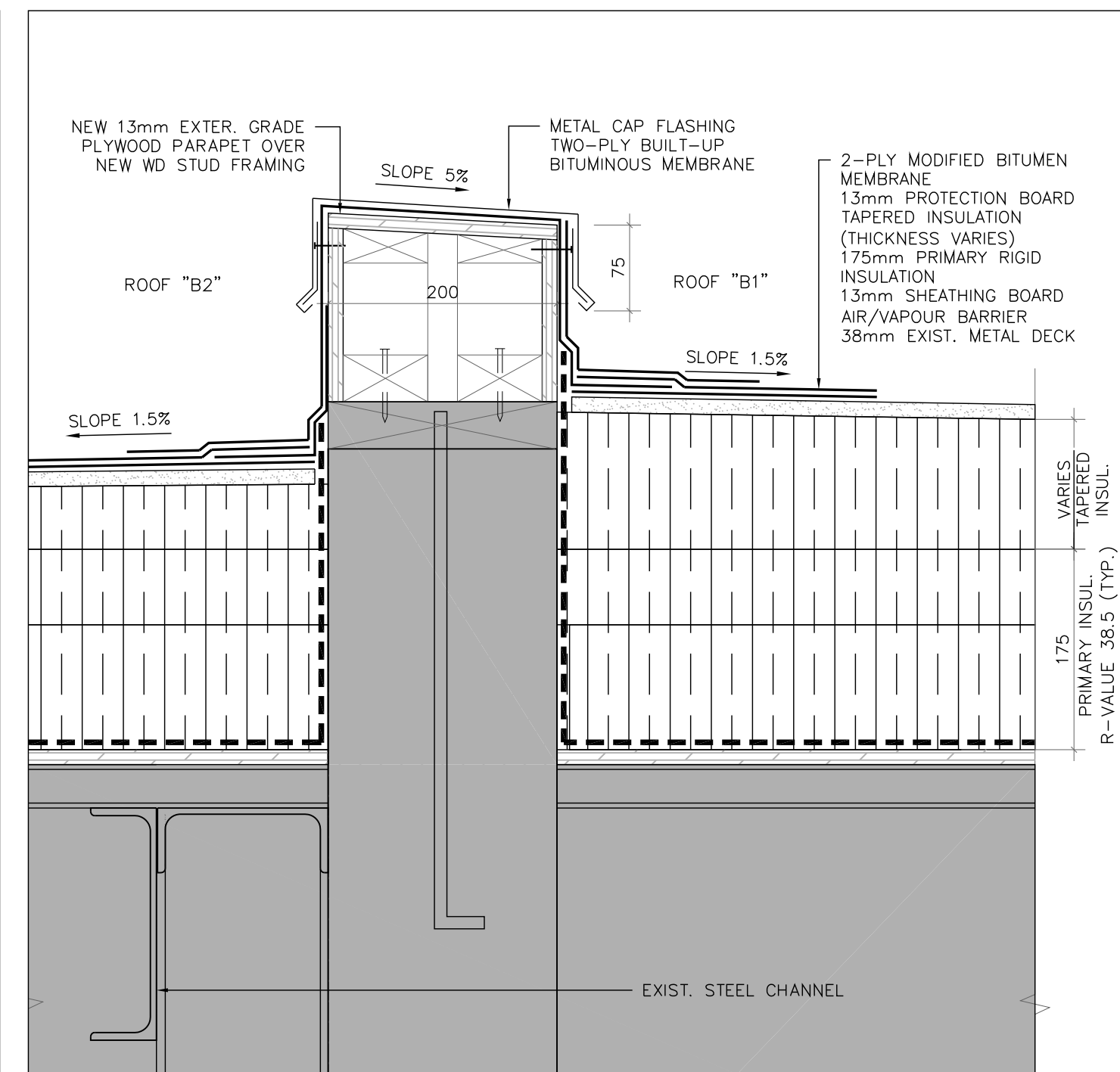
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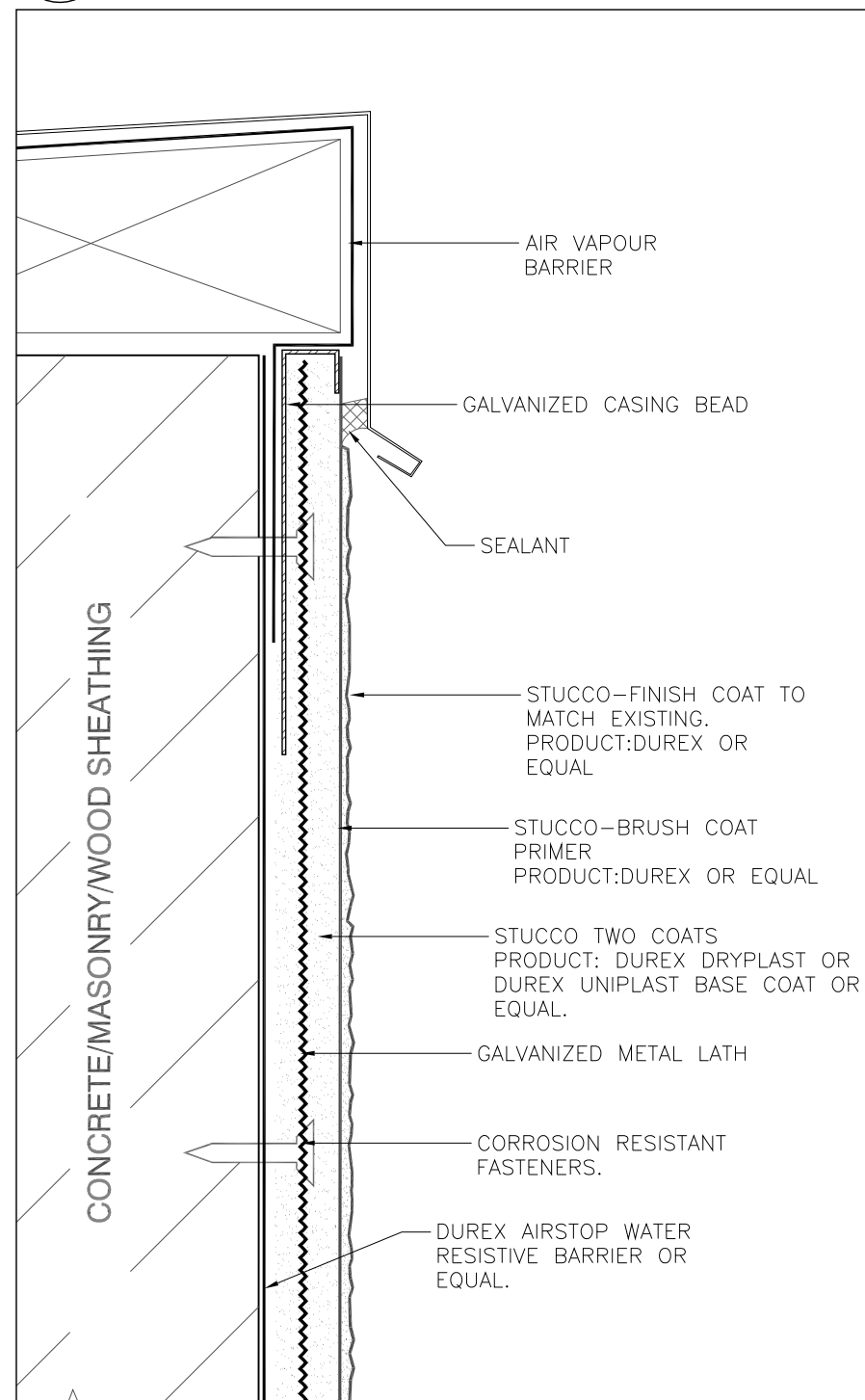
1 SECTION THRU CHIMNEY-ROOF B1
A602 SCALE: 1:10



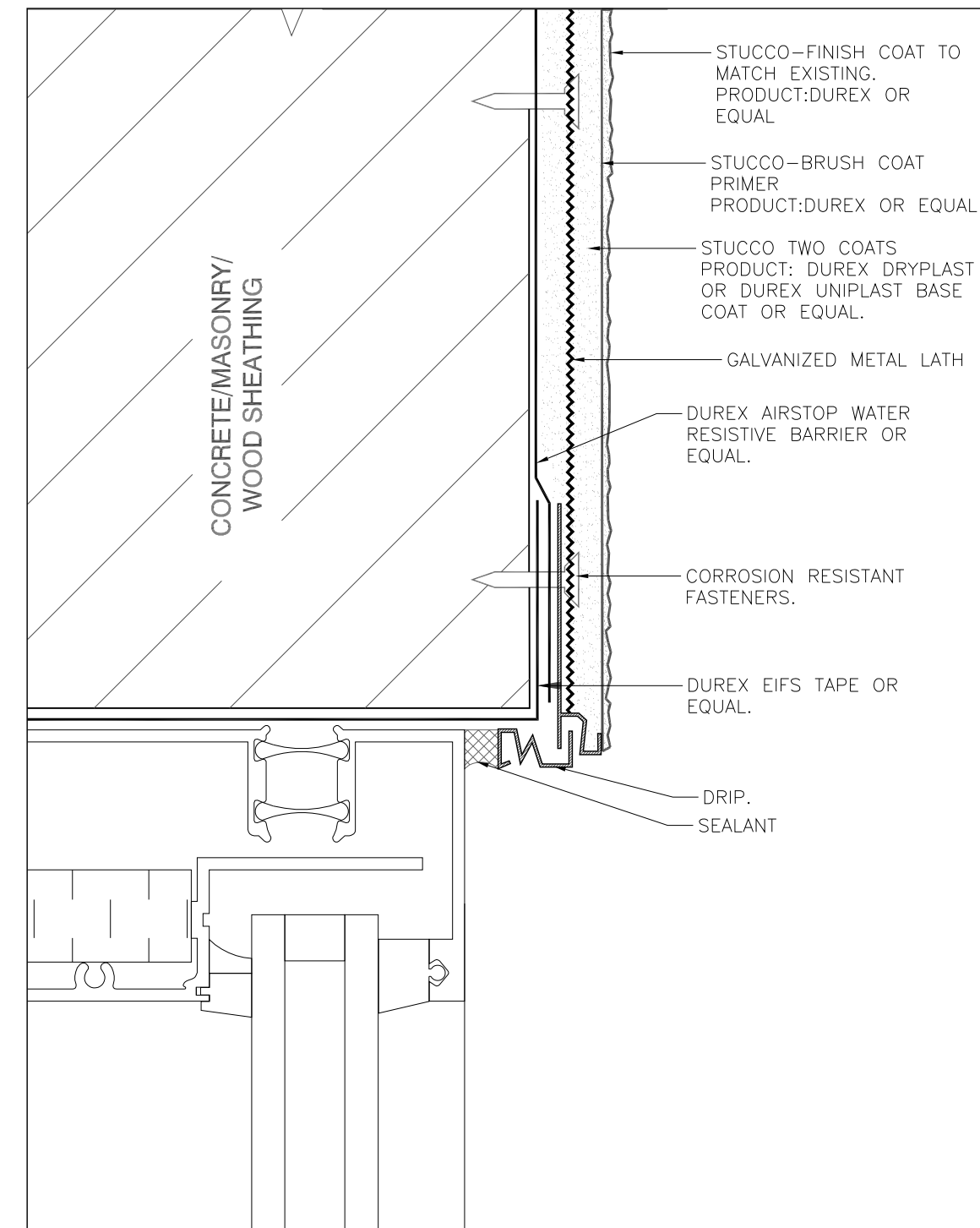
2 PROPOSED SECTION THRU PARAPET @ ROOF B1 & B2
A602 SCALE: 1:5



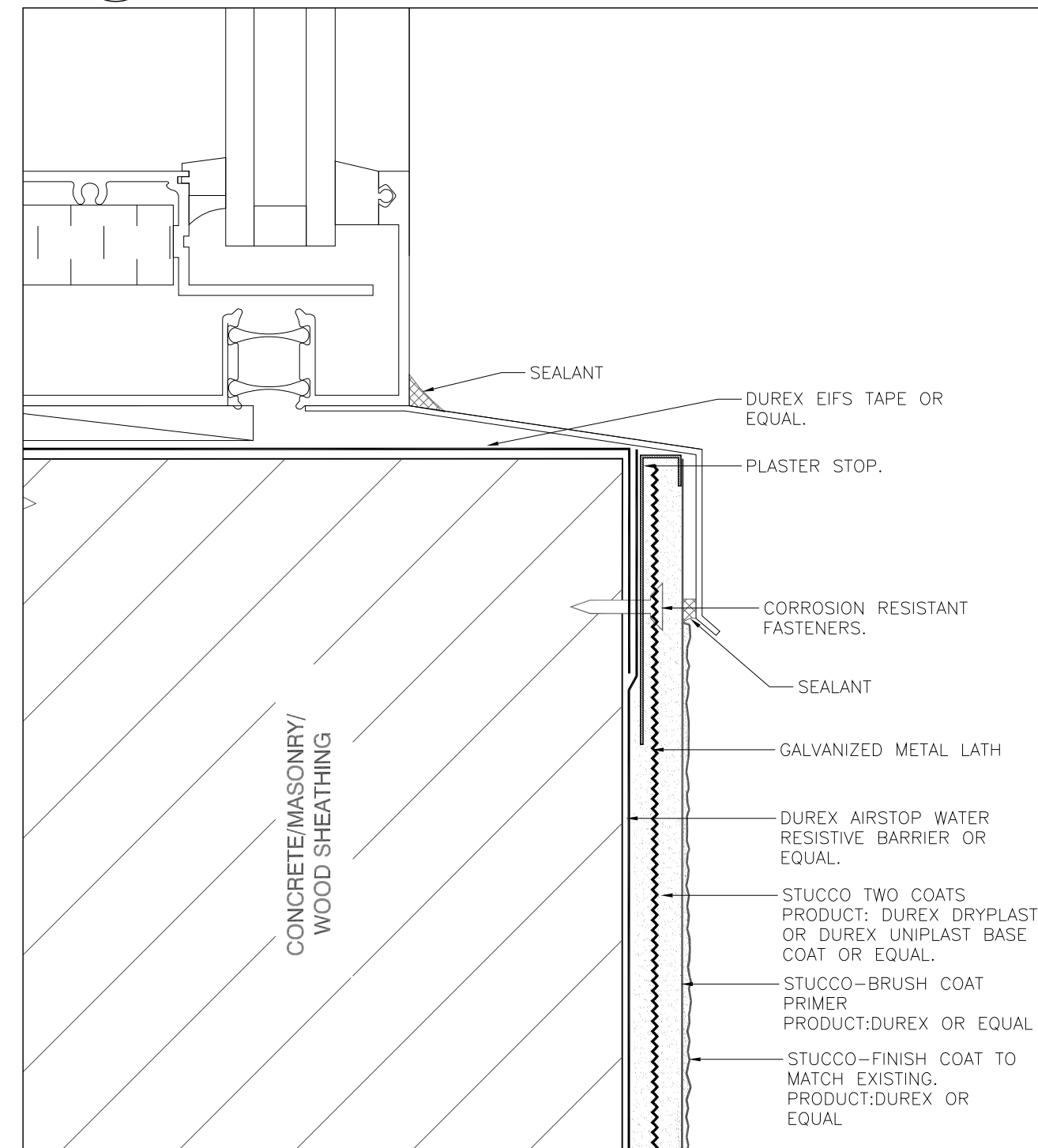
8 PROPOSED SECTION THRU PARAPET @ ROOF B1 & B2
A602 SCALE: 1:5



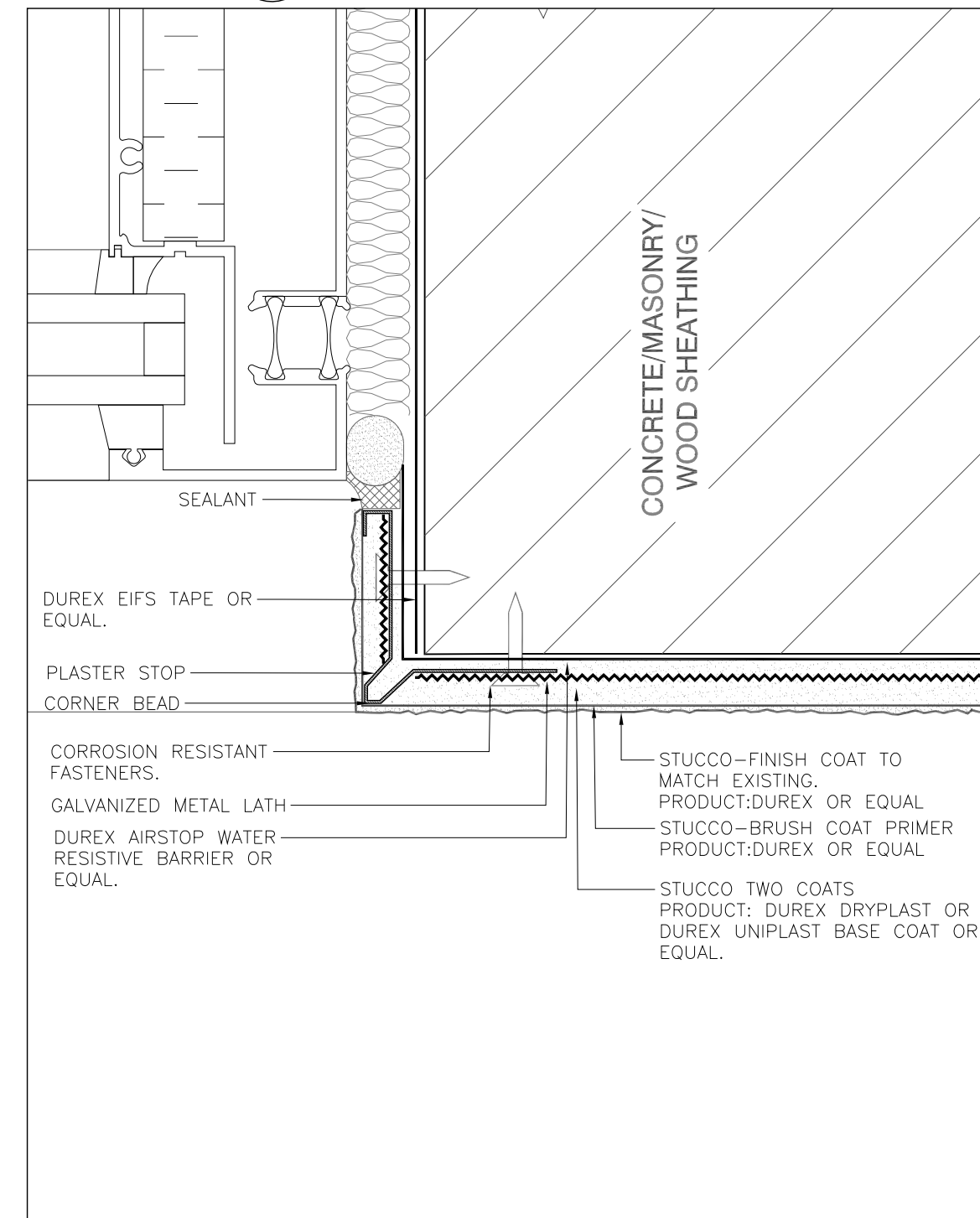
3 STUCCO DETAIL-TYPICAL ROOF PARAPET
A602 SCALE: 1:5



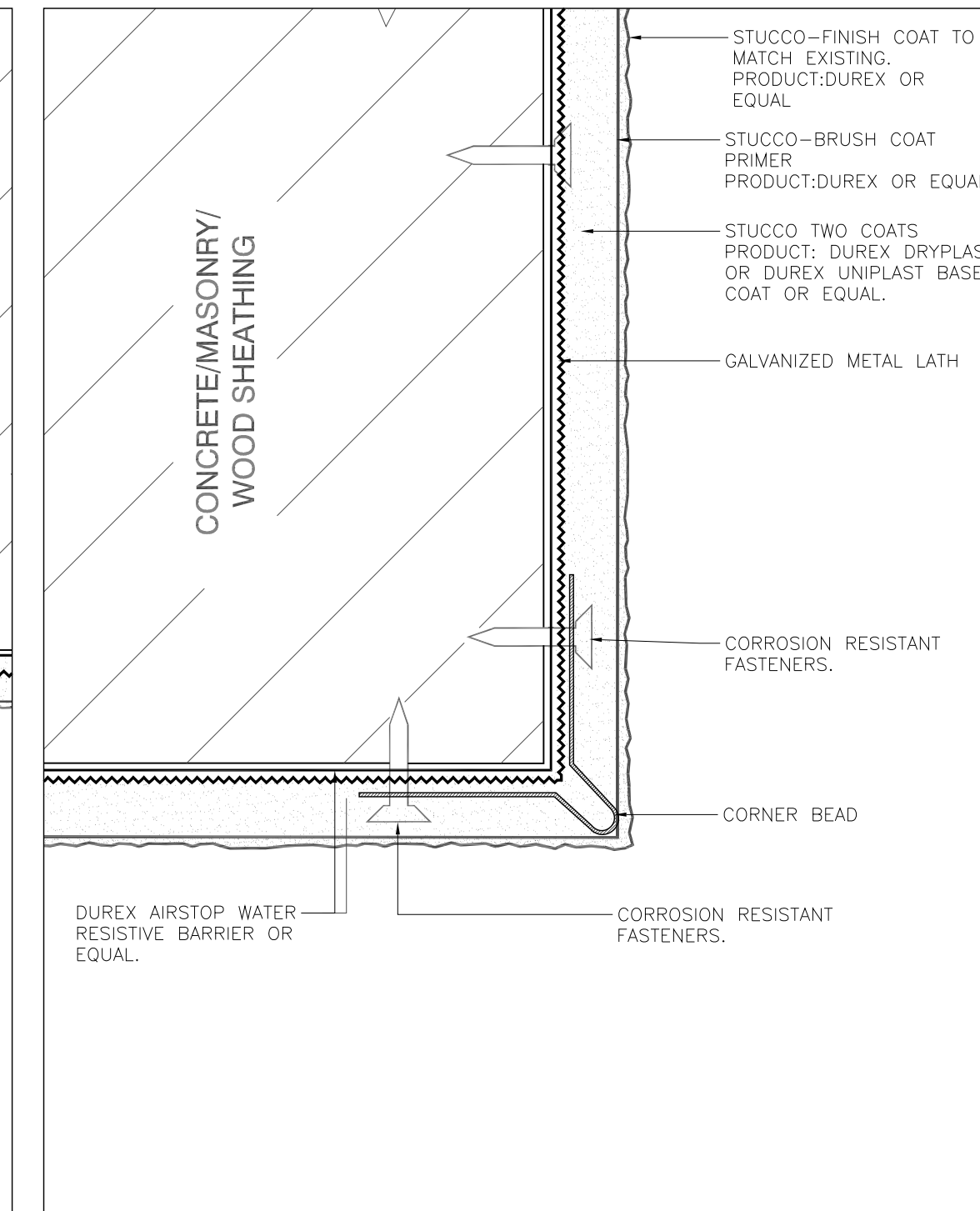
4 STUCCO DETAIL-TYPICAL WINDOW HEAD
A602 SCALE: 1:5



5 STUCCO DETAIL-TYPICAL WINDOW SEAL
A602 SCALE: 1:5



6 STUCCO DETAIL-TYPICAL WINDOW JAMB
A602 SCALE: 1:5



7 STUCCO DETAIL-TYPICAL OUTSIDE CORNER
A602 SCALE: 1:5

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CITY OF MISSISSAUGA

3185 MAVIS RD, MISSISSAUGA, ON L5C 1T7

consultant:

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E-mail: pda@pdaarchitect.com W: www.pdaarchitect.com
T-416 928 1041 F-416 928 1051

project architect PD project designer PD

sheet title
ROOF SECTION DETAILS,
STUCCO REPAIR DETAILS

scale AS NOTED	drawn by NH/HP	checked by PD	drawing no. A602
project no. 22312	plot date: 2024-07-04		

