# SERVICE COUNTERS AT GORE MEADOWS & CASSIE CAMPBELL RENOVATIONS



# Moffet & Duncan Architects Inc.

# Moffet & Duncan Architects Inc. Architectural

## ARCHITECTURAL DRAWINGS

A0.1 GENERAL NOTES & OBC MATRIX

A1.0 DEMOLITION & PROPOSED FLOOR PLAN, DEMOLITION & PROPOSED RCP

A1.1 MILLWORK ELEVATIONS, PROPOSED FLOOR PLAN, DOOR & FRAME SCHEDULE

A1.2 MILLWORK SECTIONS

A0.2 GENERAL NOTES & OBC MATRIX

A2.0 DEMOLITION & PROPOSED FLOOR PLAN

A2.1 DEMOLITION & PROPOSED RCP
A2.2 ELEVATIONS AND PROPOSED PLANS

A2.3 MILLWORK SECTIONS, DOOR AND FRAME SCHEDULE

# DEI Consulting Engineers Mechanical Engineers

# **MECHANICAL DRAWINGS**

M1.1 KEYPLAN, LEGEND & SCHEDULES

M2.1 GROUND FLOOR PART PLAN - DEMOLITION & RENOVATION

M3.1 GROUND FLOOR PART PLAN - FIRE PROTECTION, DEMOLITION & RENOVATION

M4.1 MECHANICAL SPECIFICATIONS

# DEI Consulting Engineers Electrical Engineers

# **ELECTRICAL DRAWINGS**

E1.1 KEY PLAN AND LEGEND

E1.2 ELECTRICAL DETAILS AND PANEL SCHEDULES

E1.3 SPECIFICATIONS

E2.1 DEMOLITION AND RENOVATION PLAN E1.1 KEY PLAN, LEGEND AND DETAILS

E1.2 SPECIFICATIONS

E2.1 DEMOLITION PLAN

E3.1 RENOVATION PLAN

# \*\*\* SEPARATE PRICE:

.1 Provide Separate Price for scope of work for service counter and all associated work at Cassie Campbell Community Centre.

Separate Price shall be inserted where indicated on the Request for Tender documents.

.2 The Contract shall be subject to the requirements of the General Conditions of Stipulated Price Contract CCDC 2 - 2020 and the City's Supplementary General Conditions.

Issued For TENDER
Project Number 2336

#### GENERAL NOTES

- HOURS OF WORK:
  ALL WORK INCLUDED IN THE CONTRACT TO BE CARRIED OUT
  AFTER HOURS, AS PER CITY OF BRAMPTON SCHEDULE:

   11PM TO 6AM
- 1) ACCESS TO THE SITE MATERIALS, WORK FORCES AND FOR GARBAGE REMOVAL TO BE COORDINATED THROUGH PROJECT LEAD: PROJECT LEAD: ANITHA RASURATNAM
- 2) FIRE ALARMS SYSTEMS:
  COMPLEX SYSTEMS LTD
  MAIN CONTACT:
  DOUG BIRNIE, SERVICE COORDINATOR
  905-212-1474 OR 1888-870-8666
  DBIRNIE@COM-PLEX.NET
- ALL SPRINKLER SYSTEM WORK, IF CARRIED OUT BY A CONTRACTOR OTHER THAN THE BASE BUILDING SPRINKLER CONTRACTOR, MUST BE VERFIED BY THE BASE BUILDING SPRINKLER CONTRACTOR. THE COST OF ALL SUCH VERIFICATION SHALL BE INCLUDED IN GENERAL CONTRACTOR'S SCOPE.
- 3) SECURITY CONTRACTOR (M&R SECURITY: Contact: Amy Martinez Email: amy@mnrsecurity.ca
- Phone: (905) 216-6424)
  GC RO REFER TO SPECIFICATIONS FOR SECURITY CONTRACTOR'S SCOPE OF WORK.
- 4) GENERAL CONTRACTOR TO CARRY BASE BUILDING BAS CONTRACTOR CONTACT:
  MARY ANNE DOLBAN, SERVICE COORDINATOR, AUTOMATED LOGIC 647-232-7147
  AutomatedLogic.ServiceCanada@carrier.com
- GENERAL CONTRACTOR TO CARRY BASE BUILDING LOCKSMITH
  5) CONTACT:
  ROYAL SECURITY SOLUTIONS INC
- LAWRENCE VRBANEK JR. 905-840-0522 EXT 251 OR 416-896-5799
- GENERAL CONTRACTOR TO CARRY IT VENDOR (DATA & COMMUNICATION 6) WORK). THE VENDORS MUST BE SYSTIMAX CERTIFIED.
- 7) GENERAL CONTRACTOR TO CARRY SUBTRADE/VENDOR/INSTALLER CERTIFIED TO WORK WITH MARCH NETWORKS FOR CCTV SYSTEM.
- 8) INSTALL HOARDING, DUST CONTROL/PROTECTION, COVERED WALKWAYS IN ACCORDANCE WITH ONTARIO BUILDING CODE, CANADIAN CONSTRUCTION SAFETY REQUIREMENTS, ALL MUNICIPAL BY—LAWS, STANDARDS, OCCUPATIONAL HEALTH AND SAFETY ACT AND THESE DOCUMENTS / SPECIFICATIONS.
- KEEP THE SITE THROUGHOUT THE WORK AREA IN A CLEAN AND 9) ORDERLY CONDITION AT ALL TIMES TO THE SATISFACTION OF THE
- 10) ALL INTERIOR FINISHES MUST MEET FLAME SPREAD AND SMOKE DEVELOPED CLASSIFICATIONS AS REQUIRED BY THE ONTARIO BUILDING CODE.
- 11) NOTIFY THE OWNER SHOULD ANY HAZARDOUS CONDITION BECOME APPARENT.
- 12) PROVIDE SAFEGUARD AND PROTECTION AGAINST FIRE IN ACCORDANCE WITH THE CURRENT FIRE CODES AND REGULATIONS.
- OBEY ALL FEDERAL, PROVINCIAL AND MUNICIPAL LAWS, ACTS, STATUTES, REGULATIONS, ORDINANCES AND BY—LAWS WHICH COULD IN ANY WAY PERTAIN TO THE WORK OUTLINED IN THE CONTRACT, OR TO ANY EMPLOYEE OF THE CONTRACTOR. SATISFY ALL STATUTORY REQUIREMENTS IMPOSED BY THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS MADE THEREUNDER.
- 14) THE CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS BY AUTHORITIES. THESE INSPECTIONS ARE TO BE ARRANGED IN A TIMELY MANNER WHICH WILL NOT DISRUPT THE PROGRESS TO THE WORK SCHEDULED.
- 15) CONTRACTOR SHALL PROVIED ALL WOOD BLOCKING AS REQUIRED FOR THE ATTACHMENT OF MISCELLANEOUS EQUIPMENT INCLUDING BUT NOT LIMITED TO, TOILET ACCESSORIES, DOOR HARDWARE, ELECTRICAL DEVICES, EQUIPMENT INDICATED, GRAB BARS, HANDRAILS AND CASEWORK.
- 16) ALL PENETRATIONS THROUGH FIRE RATED CONSTRUCTION SHALL BE FIRE STOPPED WITH ULC APPROVED MATERIAL.
- 17) GYPSUM BOARD JOINT TAPING AND FINISHING TO LEVEL 5 GRADE IS REQUIRED.
- 18) THE CONTRACTOR SHALL ENSURE THAT ALL TRANSITIONS BETWEEN MATERIALS TO BE SMOOTH.
- 19) WHERE 2 DIFFERENT FLOORINGS MEET, FLOOR SURFACE IS TO BE FEATHERED TO ACHIEVE FLUSH TRANSITION, UNLESS OTHERWISE NOTED.
- 20) TRANSITION OF DIFFERENT FLOORING MATERIALS AT DOORWAYS SHALL OCCUR AT CENTER LINE OF DOORS.
- DEFECTIVE WORK WHETHER THE RESULT OF POOR WORKMANSHIP, USE OF DEFECTIVE PRODUCTS, OR DAMAGES THROUGH CARELESSNESS OR OTHER ACTS OR OMISSIONS OF THE CONTRACTOE WHICH HAS BEEN REJECTED BY THE CONSULTANT SHALL BE CORRECTED IN A TIMELY MANNER IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS AT THE EXPENSE OF THE CONTRACTOR.
- $^{22)}$  Washrooms to be identified for use of workmen at kick off Meeting.
- CONTRACTOR TO REPORT ANY PROBLEMS OR DELAYS RELATING TO THE 23) WORK TO THE CONSULTANT.
- PROVIDE TO OWNER THROUGH CONSULTANT CURRENT MATERIAL SAFETY DATA SHEET (MSDS) FOR EACH CONTROLLED PRODUCT THEY HAVE, OR WILL HAVE AT PLACE OF WORK AND RETAIN A COPY OF CONTRACTORS OWN USE.
- 25) IN THE EVENT OF SUSPICION, OR UPON DISCOVERY OF BANNED OR CONTROLLED MATERIALS ON SITE, IMMEDIATELY CEASE OPERATION AND NOTIFY CONSULTANT AND THE PROJECT MANAGER. STOP WORK IN THE AREA AND ENSURE THAT ALL REQUIREMENTS ARE MET IN ACCORDANCE WITH ALL THE RULES AND REGULATIONS OF OCCUPATIONAL HEALTH AND SAFETY ACT.

- 26) SECURE PLACE OF WORK DURING COURSE OF THE WORK, BE RESPONSIBLE FOR PREVENTING ACCESS BY NON-WORKERS. THE OWNER ACCEPTS NO RESPONSIBILITY FOR LOSSES, DAMAGES OR THEFT OF CONTRACTORS TOOLS, EQUIPMENT, ETC.
- 27) MAINTAIN AND MAKE ACCESSIBLE ALL REQUIRED EXITS. ACCESS TO EXITS AND OTHER FIREFIGHTING MEANS AND EQUIPMENT. DO NOT BLOCK EXITS OR ACCESS TO EXITS.
- 28) WHEN A FIRE WATCH IS REQUIRED, IT SHALL BE AT THE COST OF THE CONTRACTOR. ANY TIME THE ALARM NEEDS TO BE TAKEN OFF LINE (I.E. FIRE ALARM WORK, SANDING, DUSTY CONDITIONS, ETC). CONTRACTOR TO INCLUDE THE COST FOR ALL NECESSARY FIRE WATCH BY CITY SECURITY WITH A MINIMUM OF FOUR (4) HOURS DEDICATED FOR THE DURATION OF THE FIRE WATCH.

  HIRING CITY SECURITY FOR FIRE WATCH IS MANDATORY, 48—HOUR NOTICE IS REQUIRED FOR FIRE WATCH.
- 29) DO NOT OVERLOAD FLOOR BEYOND LOADING CAPACITY OF THE FLOOR SYSTEM.
- 30) SUPERVISE DELIVERY, HANDLING AND STORAGE ON THE SITE OF ANY MATERIALS AND EQUIPMENT TO BE INCORPORATED INTO THE WORK. FACILITY SERVICES WILL NOT ACCEPT DELIVERIES.
- 31) STORE IN A MANNER TO PROTECT THEM AGAINST DAMAGE, HARM, LOST IN WHOLE OR PART AND CONTAMINATION FROM ANY CAUSE.
- 32) PROVIDE LIST OF ALL SUBCONTRACTORS NAMES TO OWNER WHO WILL BE ON THE PREMISES, AS THEY WILL BE REQUIRED TO SIGN IN AND OUT EACH TIME THEY ENTER OR LEAVE THE BUILDING WITH SECURITY. NO ACCESS WILL BE GIVEN UNLESS PRE—APPROVED.
- 33) A FACILITIES SERVICES STAFF MEMBER, PROJECT MANAGER OR SECURITY GUARD MUST BE PRESENT WHILE WORK IS PERFORMED IN SENSITIVE AREAS. AREAS WILL BE IDENTIFIED BY CITY REPRESENTATIVES.
- 34) NOTHING SET FORTH IN THESE DRAWINGS SHALL RELEASE THE CONTRACTOR FROM RESPONSIBILITY TO PROVIDE APPROPRIATE QUANTITIES, FIELD MANAGEMENT, DIMENSIONAL STABILITY, INSTALLATION, ANCHORAGE AND COORDINATION WITH OTHER TRADES, OR WAIVE THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY AND RESOLVE DEVIATIONS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, OR WAIVE THE CONTRACTOR'S RESPONSIBILITY TO ALERT THE CONSULTANT TO DISCREPANCIES THEREIN.
- 35) THE CONTRACTOR SHALL CONTACT THE BUILDING OWNER TO BE ADVISED OF ALL OF THE RULES OF THE BUILDING WITH RESPECT TO CONSTRUCTION SPECIFICALLY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION WITH WALL TRADES. THE CONTRACTOR SHALL REFER TO ALL ASPECTS OF THE DRAWINGS AND SPECIFICATION INCLUDING BUT NOT LIMITED TO ARCHITECTURAL DRAWINGS, MECHANICAL DRAWINGS AND ELECTRICAL DRAWINGS AS WELL AS RELATED SPECIFICATIONS FOR COORDINATION ISSUES. COORDINATE ALL DIAGRAMMATIC DRAWINGS WITH ALL TRADES TO ENSURE FIT AND COMPATIBILITY.
- 37) SUBMISSION OF A SUBSTITUTE REQUEST BY THE CONTRACTOR, WHERE PERMITTED ON THE CONTRACT DOCUMENTS, SHALL CONSTITUTE A REPRESENTATION BY THE CONTRACTOR THAT THEY HAVE INVESTIGATED THE PROPOSED PRODUCT OR CONDITIONS AND DETERMINED THAT IT IS EQUAL OR BETTER THAN THE SPECIFIED PRODUCT OR CONDITION, INCLUDING WARRANTY COVERAGE AND THAT THEY WILL COORDINATE THE INSTALLATION AND MAKE OTHER CHANGES, INCLUDING MODIFICATION AND COORDINATION OF OTHER WORK AFFECTED BY THE CHANGE, WHICH MAY BE REQUIRED FOR THEIR WORK TO BE COMPLETE IN ALL ASPECTS.
- 38) PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ALL SURFACES AND FINISHES AT INTERIOR AND EXTERIOR OF BUILDING, DAMAGED SURFACES AND FINISHES RESULTING FROM THE PERFORMANCE OF THE WORK SHALL BE REPAIRED AT NO COST TO THE OWNER. CONTRACTOR TO MATCH ADJACENT FINISHES.
- 39) THE CONTRACTOR SHALL CEASE OPERATIONS IF SAFETY OR STRUCTURE APPEARS TO BE ENDANGERED, TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- 40) ALL CONTRACTORS SHALL USE DROP SHEETS AND STICKY MATTING WHERE NECESSARY IN THE CONSTRUCTION AREA TO MINIMIZE DUST, DIRT AND CONSTRUCTION MATERAIL ACCUMULATING IN THE BUILDING.

#### DEMOLITION NOTES

- 1) REFER TO DEMOLITION PLAN FOR ADDITIONAL NOTES AND CEILING INFORMATION.
- 2) CITY SINKS AND JANITOR SINKS CANNOT BE USED FOR EQUIPMENT AND TOOL CLEAN UP AT ANY TIME. NO POURING OF LIQUIDS OR DISPOSAL OF BUILDING MATERIALS INTO CITY SANITARY SYSTEM AT ANY TIME. REFER TO CITY OF BRAMPTON PROJECT MANAGER FOR ADDITION INSTRUCTIONS.
- 3) SUPERVISE DELIVERY, HANDLING AND STORAGE ON THE SITE OF ALL MATERIALS AND EQUIPMENT TO BE IN INCORPORATED INTO THE WORK. FACILITIES OPERATIONS WILL NOT ACCEPT DELIVERIES.
- 4) CONTRACTOR TO SUPPLY ALL CONSTRUCTION BINS TO SEPARATE THE CONSTRUCTION DEBRIS AS PER CONSTRUCTION DEMOLITION. ONTARIO REGULATION 102/94 CRITERIA. PROVIDE WAY BILLS AND COMPLETED FORMS AS REQUIRED BY OWNER. LOCATION OF BINS TO BE APPROVED BY CITY OF BRAMPTON PROJECT MANAGER.
- 5) ALL MATERIALS / ITEMS FOR DEMOLITION (SUCH AS P.LAM, DOORS, FRAMES, G.W.B., CARPET, ETC.) TO BE DISPOSED OF BY WAY OF RECYCLING PROGRAM WHENEVER POSSIBLE. FOR MORE GREENING INFORMATION REGARDING CONTRACTOR / SPECIFIER RESOURCES FOR PICK UP / DELIVERY / DISPOSAL OF RECYCLABLE MATERIALS REFER TO WWW.CBWASTE.COM. WASTE PAINT TO BE DISPOSED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AT NO ADDITIONAL COSTS TO THE PROJECT.
- 6) ALL DEMOLITION DEBRIS MUST BE REMOVED AFTER NORMAL BUSINESS HOURS. FACILITY SERVICES TO DETERMINE LOCATION AND TOTAL QUANTITY OF BINS PERMITTED AFTER AWARD OF TENDER.

#### CONSTRUCTION NOTES

- 1) ALL INTERIOR WALLS SHALL EXTEND TO UNDER— SIDE OF CONCRETE SLABS & STEEL DECK FOR FIRE AND SOUND REASONS. WHERE WALLS RUN PARALLEL AND UNDER OWSJ'S AND BEAMS, THE OWSJ'S AND BEAMS SHALL BE ENCLOSED ALL— AROUND W/ 16MM GYPSUM BOARD AND 100MM THICK BATT INSULATION.
- 2) FIRE STOPPING SHALL BE PROVIDED AS SPECIFIED AND DETAILED, AT TOPS OF ALL WALLS FORMING FIRE SEPARATIONS AND AROUND ALL PIPE, CONDUIT, AND DUCT PENETRATIONS OF FIRE SEPARATIONS.
- 3) ALL NEW WALLS AND INFILLS SHALL BE GYPSUM BOARD ON STEEL STUDS TO THICKNESS INDICATED.
- 4) OPENINGS IN WALLS AND CEILING SPACES, WILL BE REQUIRED FOR AIR MOVEMENT. REFER TO MECHANICAL DRAWINGS FOR EXACT DIMENSIONS AND LOCATIONS.
- 5) REFER TO SHEET A2.0 FOR ROOM AND DOOR SCHEDULE AND DETAILS.

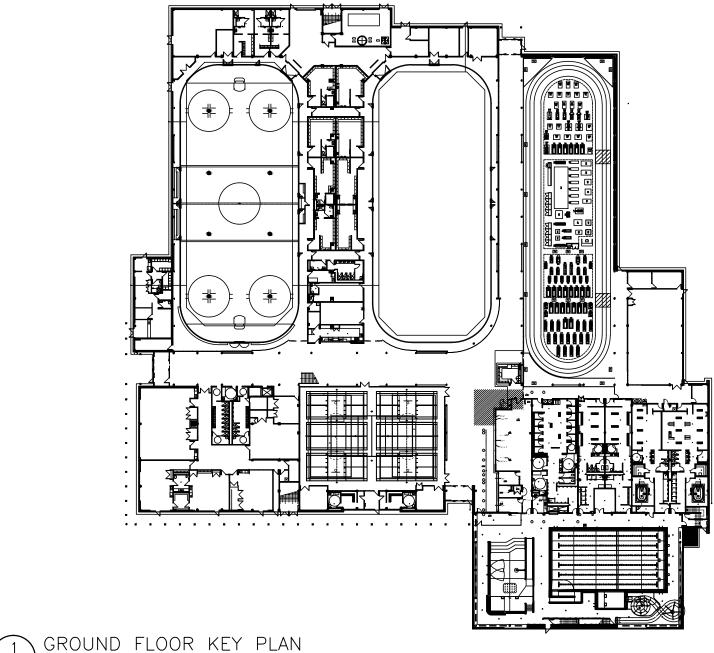
#### CONSTRUCTION FACILITIES

- 1) PROVIDE CONSTRUCTION IN ORDER TO EXECUTE THE WORK EXPEDITIOUSLY. REMOVE, RESTORE SITE AND SURFACES AFTER
- 2) PROVIDE AND MAINTAIN REQUIRED ACCESS TO PROJECT SITE AND ADJACENT AREAS AS REQUIRED BY THE OWNER.
- 3) HEIGHT, WIDTH AND WEIGHT RESTRICTIONS MUST BE VERIFIED PRIOR TO BRINGING EQUIPMENT INTO THE WORK AREA.
- 4) PROVIDE NECESSARY SCREENS, COVERS AND HOARDING.
- 5) OBEY AND ENFORCE ALL PARKING AND VEHICLE RESTRICTION AND SPEED LIMITS.
- 6) BE RESPONSIBLE FOR THE SECURITY OF SITE, EQUIPMENT, TOOLS AND MATERIALS.
- 7) MAINTAIN THE BUILDING IN A SECURE CONDITION AT ALL TIMES DURING CONSTRUCTION.

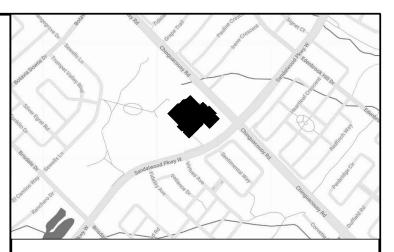
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#### NOTES: TO ALL SUB-TRADES AND VENDORS

- 1) GENERAL CONTRACTOR TO ENSURE THAT ANY AND ALL ATTACHMENTS TO CONCRETE SLAB ARE SCANNED OR X-RAYED. SCANNING IS ACCEPTABLE FOR DRILLING UNDER 38mm DEPTH. ALL DRILLING MORE THAN 38mm REQUIRES X-RAYING PRIOR TO DRILLING. THE CONTRACTOR IS TO MARK THE LOCATIONS OF ALL HARDWARE ATTACHMENTS REQUIRING DRILLING OR SCREWING TO THE SLAB AT ONE TIME BEFORE ATTACHING ANY ITEMS TO THE SLAB. THE OWNER WILL NOT ALLOW ANY TYPE OF FORCE NAILS OR ATTACHMENTS TO BE USED IN CITY HALL.
- 2) X-RAY, SCANNING, CORE DRILLING, BANGING ON FLOORS, AND CEILINGS MUST BE DONE OUTSIDE OF REGULAR HOURS AND WORK TO BE COORDINATED WITH THE FACILITIES OPERATIONS OFFICE 3 TO 5 DAYS IN ADVANCE.
- 3) REPORT SUSPECTED HAZARDOUS MATERIALS (I.E. ASBESTOS) TO THE GENERAL CONTRACTOR, DESIGN CONSULTANT, AND PROJECT LEAD IMMEDIATELY AND CEASE WORK.







LOCATION PLAN

| Moffet 5052   Toronte M9A 11   Name of City of Location 1050 Sc Date: | of Project:<br>Brampton — Service<br>n:    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | OF O ARCHITECT  KEN MACSPORR  LICENCE  4751        | nos                                                                              |  |  |
|-----------------------------------------------------------------------|--------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------|----------------------------------------------------------------------------------|--|--|
|                                                                       | Ontario Buildi                             | ng Code Data Matrix — Part 11 — Renovation                                                                                                                                                                                                                                                                                                                                                                                                                                                               | of Existing Building                               | OBC<br>Reference                                                                 |  |  |
| 11.00                                                                 | Building Code<br>Version:                  | O. Reg. 332/12 Last Amendment: O.                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | Reg. 191/14                                        |                                                                                  |  |  |
| 11.01                                                                 | Project Type:                              | ☐ Addition         ☒ Renovation           ☐ Change of Use         Description:                                                                                                                                                                                                                                                                                                                                                                                                                           | ☐ Addition and renovation                          | [A]1.1.2                                                                         |  |  |
| 11.02                                                                 | Major<br>Occupancy<br>Classification       | Occupancy: Use: A2 ASSEMBLY                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                    | 3.1.2.1.(1)                                                                      |  |  |
| 11.03                                                                 | Superimposed<br>Major<br>Occupancies:      | ☑ No ☐ Yes Description:                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                    | 3.2.2.7                                                                          |  |  |
| 11.04                                                                 | Building Area<br>(m²)                      | NO CHANGE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | isting Renovated Total  1,527 SQM                  | [A]1.4.1.2                                                                       |  |  |
| 11.05                                                                 | Building Height                            | 1                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | (m) Above grade                                    | [A]1.4.1.2<br>& 3.2.1.1                                                          |  |  |
| 11.06                                                                 | Number of<br>Streets/ Firefighte<br>access | 3 Streets                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                    |                                                                                  |  |  |
| 11.07                                                                 | Building Size                              | □ Small □ Medium ☒ Large □ > Large                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                                                    |                                                                                  |  |  |
| 11.08                                                                 | Existing Building<br>Classification        | Change in major occupancy:  Yes  Not Applicable ( Construction Index  Not Applicable ( Hazard Index  Normal  Importance Category:  Low  Normal  High Post-disaster                                                                                                                                                                                                                                                                                                                                       | no change of major occupancy)                      | 11.2.1,1<br>T 11.2.1.1A<br>T 11.2.1.1B<br>to N<br>4.2.1.(3)<br>5.2.2.1.(2)       |  |  |
| 11.09                                                                 | Renovation type:                           | Basic Renovation ☑ Extensive Renovation □                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                    | 11.3.3.1<br>11.3.3.2                                                             |  |  |
| 11.10                                                                 | Occupant Load:                             | Floor Level/Area Occupancy Type Based On  NOT COMPLIANT (EXISTING)                                                                                                                                                                                                                                                                                                                                                                                                                                       | Occupant Load<br>(Persons)                         | 3.1.17                                                                           |  |  |
| 11.11                                                                 | Plumbing Fixture<br>Requirements:          | Ratio: M/F = 1/1 Except as otherwise noted  Floor Level/Area Occupant Load OBC Reference Fixture  NO CHANGE IN OCCUPANT LOAD & NUMBER OF                                                                                                                                                                                                                                                                                                                                                                 | s Required Fixtures Provided PLUMBING FIXTURES     | 3.7.4                                                                            |  |  |
| 11.12                                                                 | Barrier-free Desig                         | □ No Explanation: Construction of a barrier—free reception                                                                                                                                                                                                                                                                                                                                                                                                                                               | on counter                                         | 11.3.3.2.(2)                                                                     |  |  |
| 11.13                                                                 | Reduction in<br>Performance Level:         | Structural:   By increase in occupant load:   By change in major occupancy:   NO Plumbing:   Sewage—system:   Extension of Combustible Construction:   NO  NO                                                                                                                                                                                                                                                                                                                                            | ☐ YES<br>☐ YES<br>☐ YES<br>☐ YES<br>☐ YES<br>☐ YES | 11.4.2.1<br>11.4.2.2<br>11.4.2.3<br>11.4.2.4<br>11.4.2.5<br>11.4.2.6             |  |  |
| 11.14                                                                 | Compensating<br>Construction:              | Structural:         ⋈ NO         □ YES         (Describe)           Increase in occupant load:         ⋈ NO         □ YES         (Describe)           Change in major occupancy:         ⋈ NO         □ YES         (Describe)           Plumbing:         ⋈ NO         □ YES         (Describe)           Sewage—system:         ⋈ NO         □ YES         (Describe)           Extension of Combustibl ⋈ NO         □ YES         (Describe)           Construction         □ YES         (Describe) |                                                    | 11.4.3.1<br>11.4.3.2<br>11.4.3.3<br>11.4.3.4<br>11.4.3.5<br>11.4.3.6<br>11.4.3.7 |  |  |
| 11.15                                                                 | Compliance<br>Alternatives<br>Proposed:    | ⊠ NO □YES                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                    | 11.5.1                                                                           |  |  |
| 11.16                                                                 | Notes:                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                                    | 11.5.1                                                                           |  |  |

MAR 14, 2024 ISSUED FOR TENDER

FEB 29, 2024 ISSUED FOR 90% DRAWINGS

DEC 14, 2023 ISSUED FOR 60% DRAWINGS

DATE

REVISIONS

Service Counter at Cassie Campbell Renovations
1050 Sandalwood Pkwy W, Brampton, ON L7A 0K9



GENERAL NOTES & OBC MATRIX



TRUE NORTH DWG. NORTH

2336

2336

SCALE

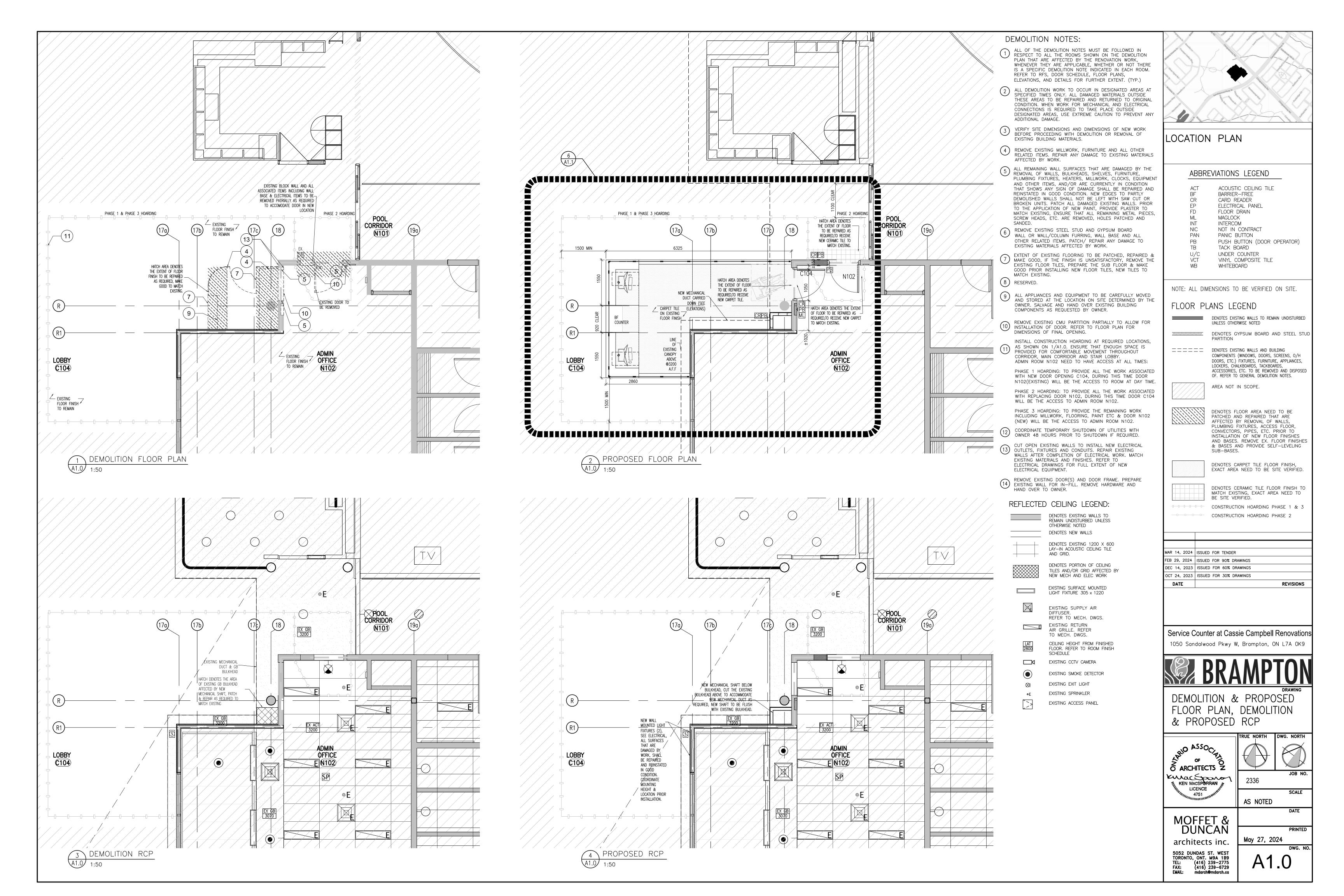
AS NOTED

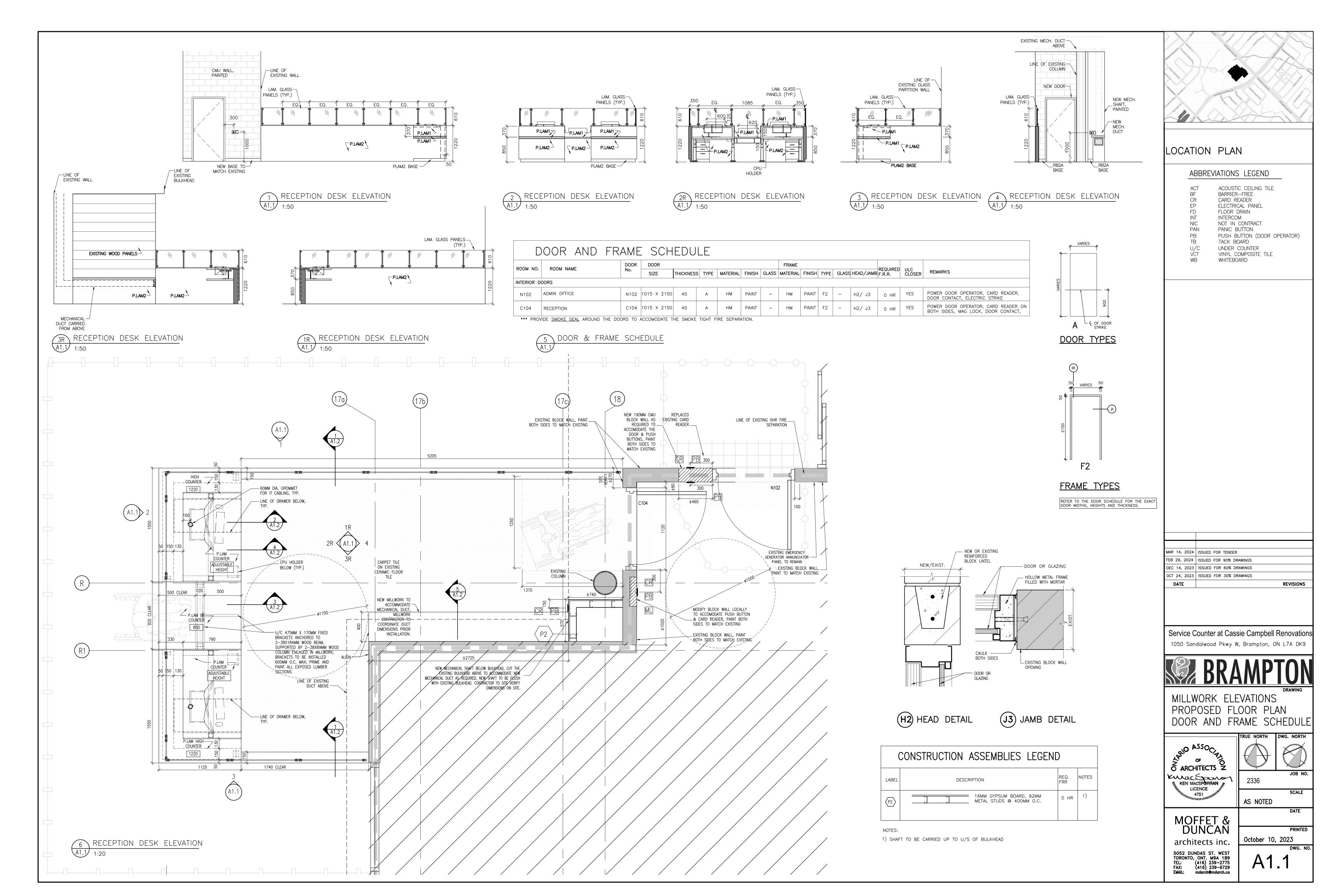
MOFFET & DUNCAN architects inc.

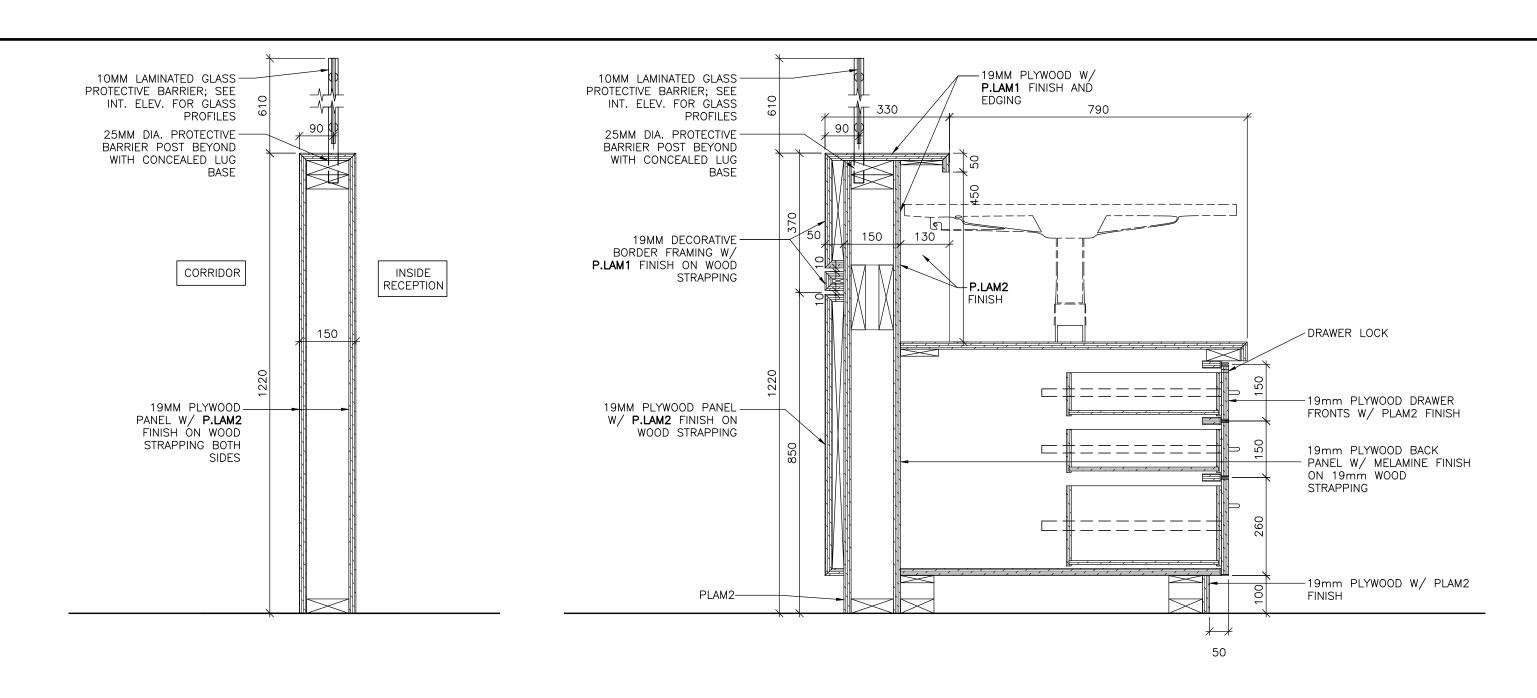
5052 DUNDAS ST. WEST TORONTO, ONT. M9A 1B9 TEL: (416) 239-2775 FAX: (416) 239-6729

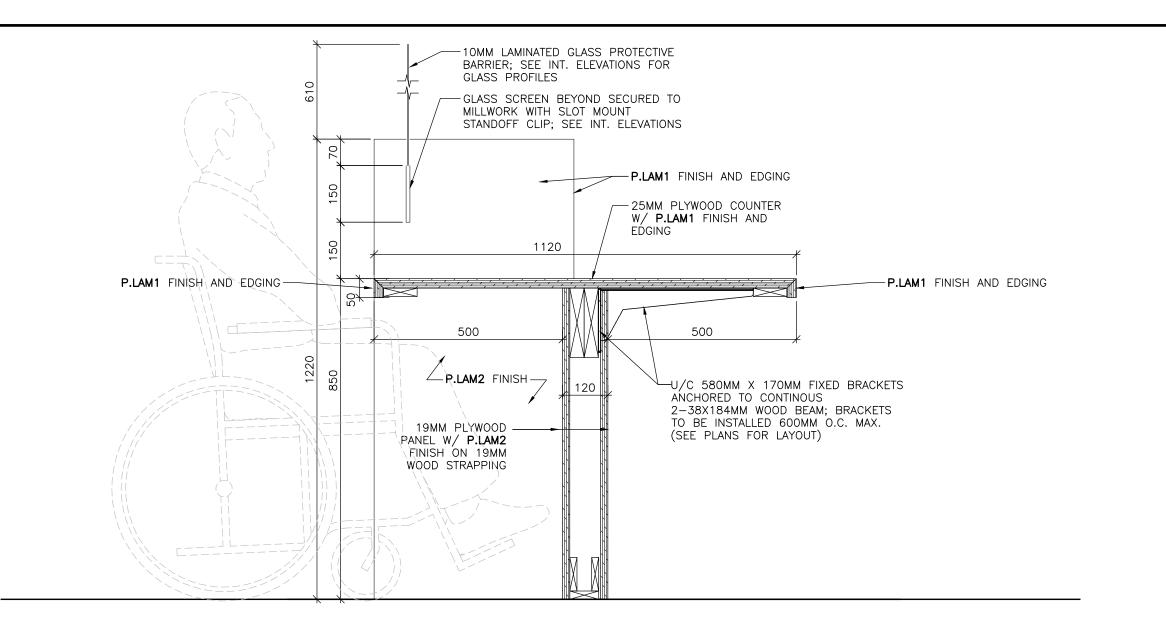
July 15, 2024

A0.1









LOCATION PLAN

CR

ABBREVIATIONS LEGEND

ACOUSTIC CEILING TILE BARRIER-FREE CARD READER ELECTRICAL PANEL FLOOR DRAIN

FD INTERCOM NIC NOT IN CONTRACT PAN PANIC BUTTON PUSH BUTTON (DOOR OPERATOR) TACK BOARD U/C UNDER COUNTER

WHITEBOARD

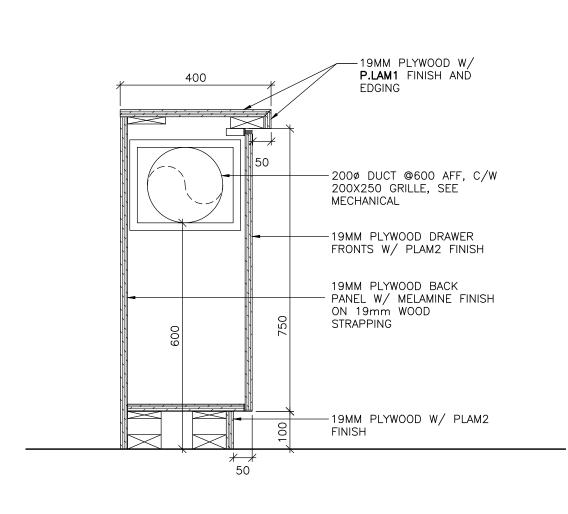
VINYL COMPOSITE TILE

RECEPTION DESK @ PARTITION SECTION A1.2 1:10

2 RECEPTION DESK @ DRAWER SECTION A1.2 1:10

RECEPTION DESK @ACCESSIBLE COUNTER SECTION A1.2 1:10

-19MM PLYWOOD W/ 10MM LAMINATED GLASS-P.LAM1 FINISH ANĎ PROTECTIVE BARRIER; SEE EDGING INT. ELEV. FOR GLASS PROFILES 25MM DIA. PROTECTIVE -BARRIER POST BEYOND WITH CONCEALED LUG /---19MM DECORATIVE — BORDER FRAMING W/ \_GROMMET P.LAM1 FINISH ON WOOD BEYOND; SEE STRAPPING PLANS CPU HOLDER-19MM PLYWOOD PANEL ---P.LAM2 FINISH W/ P.LAM2 FINISH ON WOOD STRAPPING PLAM2 BASE-



| ROOM NO. ROOM NAME                                                                                                                                                                                       | FLOOR                                                             |                            | WALLS                                                     |                                                                                                                                                                    | NOTES                                                                                           | LEGEND:                                                                                                                                                                                                                       |  |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------|----------------------------|-----------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| ROOM NO. ROOM NAME                                                                                                                                                                                       | MATERIAL                                                          | FINISH                     | BASE                                                      | MATERIAL FINISH                                                                                                                                                    |                                                                                                 | PLAM - PLASTIC LAMINATE                                                                                                                                                                                                       |  |
| C104 LOBBY/CORRIDOR                                                                                                                                                                                      | LOBBY/CORRIDOR EX. CONC. EX/ PCT2 MATCH EX./ CONC. BLOCK PAINT P1 |                            |                                                           | CPT — CARPET TILE<br>PCT — PORCELAIN FLOOR TILE                                                                                                                    |                                                                                                 |                                                                                                                                                                                                                               |  |
| C104 RECEPTION                                                                                                                                                                                           | EX. CONC.                                                         | CPT2 ON<br>EXISTING FINISH | RB2A                                                      | EX./ PAINT CONC. BLOCK P1                                                                                                                                          | * SEE BELOW FOR MILLWORK FINISHES.                                                              | CONC- CONCRETE BLOCK ACT - ACOUSTIC CEILING TILES  RB - RESILIENT WALL BASE/                                                                                                                                                  |  |
| N102 ADMIN OFFICE                                                                                                                                                                                        | EX. CONC.                                                         | EX/ CPT2                   | RB2A                                                      | EX./ PAINT P1, P2                                                                                                                                                  |                                                                                                 | FLOORING<br>EX — EXISTING                                                                                                                                                                                                     |  |
| *** NOTE: CONTRACTOR TO MATCH PLAM COLORS, PAINT C                                                                                                                                                       |                                                                   | COLORS, PAINT CO           | LORS, BAS                                                 | ES WITH EXISTING AND                                                                                                                                               | SEND SAMPLES TO CONSULTANT PRIOR ORDERING.                                                      | WD – WOOD<br>HM – HOLLOW METAL                                                                                                                                                                                                |  |
| ROOM FINISH MATERIALS:  CPT2 MANUFACTURER: PATCRAFT COMMERCIAL CARPET STYLE: BROADLOOM NAME: JUST BEAUTIFUL COLOUR: GREAT SAND DUNES NUMBER: 10091-91517 DYE METHOD: SOLUTION DYED  P1 MANUFACTURER: ICI |                                                                   |                            | SERIE<br>COLOI<br>NUMB<br>SIZE:<br>PCT3<br>SERIE<br>COLOI | MANUFACTURER: OLYMP S: DISCOVERY JR: ATACAMA (SAND) ER: BC.DC.AMC.0606 150 x 150 (6" x 6")  MANUFACTURER: OLYMP S: DISCOVERY JR: ATACAMA (SAND) ER: BC.DC.AMC.0606 | P.LAM1 MANUFACTURER: PIONITE, COLOUR: ROCK OF AGES, NUMBER: AW141  P.LAM2 MANUFACTURER: OCTOLAM | *** NOTES:  1. SAND/ STRIP PAINT FINISH FROM SURFACES. PATCH AND REPAIF ANY DAMAGE AFTER REMOVAL OF ELECTRICAL ITEMS. MAKE GOOD SURFACES AND PREPARE FOR NEW FINISH.  2. ANY EXISTING SURFACES IMPACTED BY THE WORK SHOULD BE |  |
| COLOUR: CANVAS CLOTH (GENERAL WALL COLOUR) NUMBER: 716  P2 MANUFACTURER: ICI COLOUR: WILTON BLUE                                                                                                         |                                                                   |                            | SIZE:<br>PCT2<br>RB2A                                     | 600 x 100 HIGH (24" FLOOR  MANUFACTURER: JOHNS                                                                                                                     |                                                                                                 | REPAIRED, IN-FILLED AND MADE GOOD BEFORE NEW PAINT, OR OTHER FINISH IS APPLIED                                                                                                                                                |  |

TYPE: RESILIENT BASE

SIZE: 101(4")

COLOUR: MOON ROCK 29

RECEPTION DESK @ WORK STATION SECTION A1.2 1:10

75 RECEPTION DESK @ WORK STATION SECTION A1.2 1:10

ROOM FINISH SCHEDULE

P3 MANUFACTURER: GENERAL PAINTS

COLOUR: TUDOR HOUSE (INTERIOR PAINTED HM DOOR &

NUMBER: 1349

NUMBER: 8806N

Service Counter at Cassie Campbell Renovations 1050 Sandalwood Pkwy W, Brampton, ON L7A 0K9

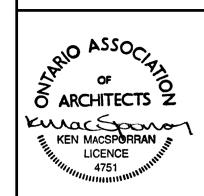


MILLWORK SECTIONS,

MAR 14, 2024 ISSUED FOR TENDER

DATE

FEB 29, 2024 ISSUED FOR 90% DRAWINGS



REVISIONS

2336

SCALE AS NOTED

DATE

PRINTED

MOFFET & DUNCAN architects inc. 5052 DUNDAS ST. WEST TORONTO, ONT. M9A 1B9 TEL: (416) 239–2775 FAX: (416) 239–6729 EMAIL: mdarch@mdarch.ca

October 10, 2023 A1.2

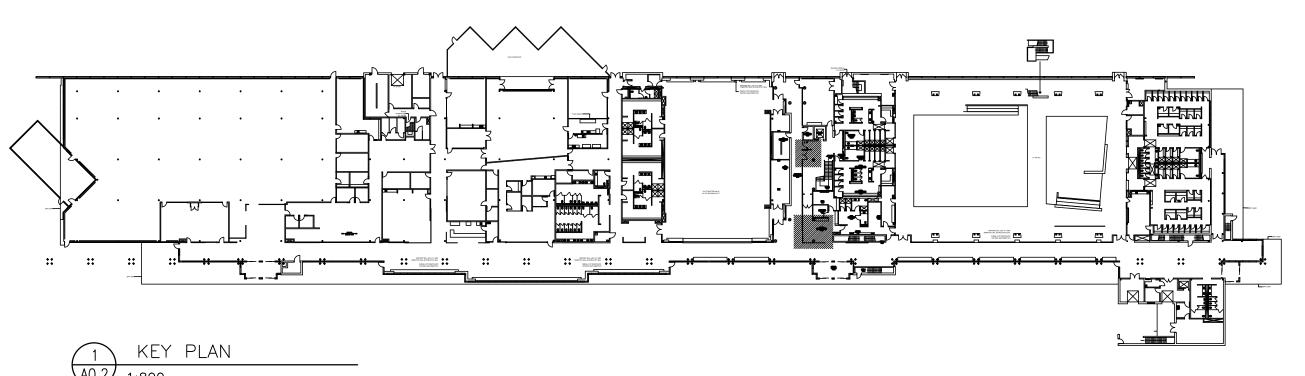
#### GENERAL NOTES

- HOURS OF WORK: ALL WORK INCLUDED IN THE CONTRACT TO BE CARRIED OUT AFTER HOURS, AS PER CITY OF BRAMPTON SCHEDULE: 10PM TO 5AM
- 1) ACCESS TO THE SITE MATERIALS, WORK FORCES AND FOR GARBAGE REMOVAL TO BE COORDINATED THROUGH PROJECT LEAD: PROJECT LEAD: ANITHA RASURATNAM
- 2) FIRE ALARM SYSTEMS COM-PLEX SYSTEMS LTD 5466 GORVAN DRIVE L4W 3E8 MISSISSAUGA, ONTARIO, Canada L4W 3E8 (905) 212-1474 or (905) 212-1478 INFO@COM-PLEX.NET
- ALL SPRINKLER SYSTEM WORK, IF CARRIED OUT BY A CONTRACTOR OTHER THAN THE BASE BUILDING SPRINKLER CONTRACTOR, MUST BE VERFIED BY THE BASE BUILDING SPRINKLER CONTRACTOR. THE COST OF ALL SUCH VERIFICATION SHALL BE INCLUDED IN GENERAL CONTRACTOR'S SCOPE.
- 3) SECURITY CONTRACTOR (M&R SECURITY: Contact: Amy Martinez Email: amy@mnrsecurity.ca Phone: (905) 216-6424)
- GC RO REFER TO SPECIFICATIONS FOR SECURITY CONTRACTOR'S SCOPE
- 4) GENERAL CONTRACTOR TO CARRY BASE BUILDING BAS CONTRACTOR RAY KAMPEN. JOHNSON CONTROLS CANADA LP 289-313-3974 OR 905-730-9695 RAYMOND.A.KAMPEN@JCI.COM
- 5) GENERAL CONTRACTOR TO CARRY BASE BUILDING LOCKSMITH CONTACT: ROYAL SECURITY SOLUTIONS INC LAWRENCE VRBANEK JR. 905-840-0522 EXT 251 OR 416-896-5799
- GENERAL CONTRACTOR TO CARRY IT VENDOR (DATA & COMMUNICATION 6) WORK). THE VENDORS MUST BE SYSTIMAX CERTIFIED.
- 7) GENERAL CONTRACTOR TO CARRY SUBTRADE/VENDOR/INSTALLER CERTIFIED TO WORK WITH MARCH NETWORKS FOR CCTV SYSTEM.
- 8) INSTALL HOARDING, DUST CONTROL/PROTECTION, COVERED WALKWAYS IN ACCORDANCE WITH ONTARIO BUILDING CODE, CANADIAN CONSTRUCTION SAFETY REQUIREMENTS, ALL MUNICIPAL BY-LAWS, STANDARDS OCCUPATIONAL HEALTH AND SAFETY ACT AND THESE DOCUMENTS / SPECIFICATIONS.
- 9) KEEP THE SITE THROUGHOUT THE WORK AREA IN A CLEAN AND ORDERLY CONDITION AT ALL TIMES TO THE SATISFACTION OF THE
- 10) ALL INTERIOR FINISHES MUST MEET FLAME SPREAD AND SMOKE DEVELOPED CLASSIFICATIONS AS REQUIRED BY THE ONTARIO BUILDING
- 11) NOTIFY THE OWNER SHOULD ANY HAZARDOUS CONDITION BECOME APPARENT.
- 12) PROVIDE SAFEGUARD AND PROTECTION AGAINST FIRE IN ACCORDANCE WITH THE CURRENT FIRE CODES AND REGULATIONS.
- 13) OBEY ALL FEDERAL, PROVINCIAL AND MUNICIPAL LAWS, ACTS, STATUTES, REGULATIONS, ORDINANCES AND BY-LAWS WHICH COULD IN ANY WAY PERTAIN TO THE WORK OUTLINED IN THE CONTRACT, OR TO ANY EMPLOYEE OF THE CONTRACTOR. SATISFY ALL STATUTORY REQUIREMENTS IMPOSED BY THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS MADE THEREUNDER.
- 14) THE CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS BY AUTHORITIES. THESE INSPECTIONS ARE TO BE ARRANGED IN A TIMELY MANNER WHICH WILL NOT DISRUPT THE PROGRESS TO THE WORK SCHEDULED.
- 15) CONTRACTOR SHALL PROVIED ALL WOOD BLOCKING AS REQUIRED FOR THE ATTACHMENT OF MISCELLANEOUS EQUIPMENT INCLUDING BUT NOT LIMITED TO, TOILET ACCESSORIES, DOOR HARDWARE, ELECTRICAL DEVICES, EQUIPMENT INDICATED, GRAB BARS, HANDRAILS AND CASEWORK.
- 16) ALL PENETRATIONS THROUGH FIRE RATED CONSTRUCTION SHALL BE FIRE STOPPED WITH ULC APPROVED MATERIAL.
- 17) GYPSUM BOARD JOINT TAPING AND FINISHING TO LEVEL 5 GRADE IS REQUIRED.
- 18) THE CONTRACTOR SHALL ENSURE THAT ALL TRANSITIONS BETWEEN MATERIALS TO BE SMOOTH.
- 19) WHERE 2 DIFFERENT FLOORINGS MEET, FLOOR SURFACE IS TO BE FEATHERED TO ACHIEVE FLUSH TRANSITION, UNLESS OTHERWISE NOTED.
- 20) TRANSITION OF DIFFERENT FLOORING MATERIALS AT DOORWAYS SHALL OCCUR AT CENTER LINE OF DOORS.
- 21) DEFECTIVE WORK WHETHER THE RESULT OF POOR WORKMANSHIP, USE OF DEFECTIVE PRODUCTS, OR DAMAGES THROUGH CARELESSNESS OR OTHER ACTS OR OMISSIONS OF THE CONTRACTOE WHICH HAS BEEN REJECTED BY THE CONSULTANT SHALL BE CORRECTED IN A TIMELY MANNER IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS AT THE EXPENSE OF THE CONTRACTOR.
- 22) WASHROOMS TO BE IDENTIFIED FOR USE OF WORKMEN AT KICK OFF MEETING.
- 23) CONTRACTOR TO REPORT ANY PROBLEMS OR DELAYS RELATING TO THE WORK TO THE CONSULTANT.
- 24) PROVIDE TO OWNER THROUGH CONSULTANT CURRENT MATERIAL SAFETY DATA SHEET (MSDS) FOR EACH CONTROLLED PRODUCT THEY HAVE, OR WILL HAVE AT PLACE OF WORK AND RETAIN A COPY OF CONTRACTORS OWN USE.
- 25) IN THE EVENT OF SUSPICION, OR UPON DISCOVERY OF BANNED OR CONTROLLED MATERIALS ON SITE, IMMEDIATELY CEASE OPERATION AND NOTIFY CONSULTANT AND THE PROJECT MANAGER. STOP WORK IN THE AREA AND ENSURE THAT ALL REQUIREMENTS ARE MET IN ACCORDANCE WITH ALL THE RULES AND REGULATIONS OF OCCUPATIONAL HEALTH AND SAFETY ACT.

- 26) SECURE PLACE OF WORK DURING COURSE OF THE WORK, BE RESPONSIBLE FOR PREVENTING ACCESS BY NON-WORKERS. THE OWNER ACCEPTS NO RESPONSIBILITY FOR LOSSES, DAMAGES OR THEFT OF CONTRACTORS TOOLS, EQUIPMENT, ETC.
- 27) MAINTAIN AND MAKE ACCESSIBLE ALL REQUIRED EXITS. ACCESS TO EXITS AND OTHER FIREFIGHTING MEANS AND EQUIPMENT. DO NOT BLOCK EXITS OR ACCESS TO EXITS.
- 28) WHEN A FIRE WATCH IS REQUIRED, IT SHALL BE AT THE COST OF THE CONTRACTOR. ANY TIME THE ALARM NEEDS TO BE TAKEN OFF LINE (I.E. FIRE ALARM WORK, SANDING, DUSTY CONDITIONS, ETC). CONTRACTOR TO INCLUDE THE COST FOR ALL NECESSARY FIRE WATCH BY CITY SECURITY WITH A MINIMUM OF FOUR (4) HOURS DEDICATED FOR THE DURATION OF THE FIRE WATCH. HIRING CITY SECURITY FOR FIRE WATCH IS MANDATORY, 48-HOUR NOTICE IS REQUIRED FOR FIRE WATCH.
- 29) DO NOT OVERLOAD FLOOR BEYOND LOADING CAPACITY OF THE FLOOR
- 30) SUPERVISE DELIVERY, HANDLING AND STORAGE ON THE SITE OF ANY MATERIALS AND EQUIPMENT TO BE INCORPORATED INTO THE WORK. FACILITY SERVICES WILL NOT ACCEPT DELIVERIES.
- 31) STORE IN A MANNER TO PROTECT THEM AGAINST DAMAGE, HARM, LOST IN WHOLE OR PART AND CONTAMINATION FROM ANY CAUSE.
- 32) PROVIDE LIST OF ALL SUBCONTRACTORS NAMES TO OWNER WHO WILL BE ON THE PREMISES, AS THEY WILL BE REQUIRED TO SIGN IN AND OUT EACH TIME THEY ENTER OR LEAVE THE BUILDING WITH SECURITY. NO ACCESS WILL BE GIVEN UNLESS PRE-APPROVED.
- 33) A FACILITIES SERVICES STAFF MEMBER, PROJECT MANAGER OR SECURITY GUARD MUST BE PRESENT WHILE WORK IS PERFORMED IN SENSITIVE AREAS. AREAS WILL BE IDENTIFIED BY CITY REPRESENTATIVES.
- 34) NOTHING SET FORTH IN THESE DRAWINGS SHALL RELEASE THE CONTRACTOR FROM RESPONSIBILITY TO PROVIDE APPROPRIATE QUANTITIES, FIELD MANAGEMENT, DIMENSIONAL STABILITY, INSTALLATION, ANCHORAGE AND COORDINATION WITH OTHER TRADES, OR WAIVE THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY AND RESOLVE DEVIATIONS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, OR WAIVE THE CONTRACTOR'S RESPONSIBILITY TO ALERT THE CONSULTANT TO DISCREPANCIES THEREIN.
- 35) THE CONTRACTOR SHALL CONTACT THE BUILDING OWNER TO BE ADVISED OF ALL OF THE RULES OF THE BUILDING WITH RESPECT TO CONSTRUCTION SPECIFICALLY.
- 36) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION WITH WALL TRADES. THE CONTRACTOR SHALL REFER TO ALL ASPECTS OF THE DRAWINGS AND SPECIFICATION INCLUDING BUT NOT LIMITED TO ARCHITECTURAL DRAWINGS, MECHANICAL DRAWINGS AND ELECTRICAL DRAWINGS AS WELL AS RELATED SPECIFICATIONS FOR COORDINATION ISSUES. COORDINATE ALL DIAGRAMMATIC DRAWINGS WITH ALL TRADES TO ENSURE FIT AND COMPATIBILITY.
- 37) SUBMISSION OF A SUBSTITUTE REQUEST BY THE CONTRACTOR. WHERE PERMITTED ON THE CONTRACT DOCUMENTS, SHALL CONSTITUTE A REPRESENTATION BY THE CONTRACTOR THAT THEY HAVE INVESTIGATED THE PROPOSED PRODUCT OR CONDITIONS AND DETERMINED THAT IT IS EQUAL OR BETTER THAN THE SPECIFIED PRODUCT OR CONDITION, INCLUDING WARRANTY COVERAGE AND THAT THEY WILL COORDINATE THE INSTALLATION AND MAKE OTHER CHANGES, INCLUDING MODIFICATION AND COORDINATION OF OTHER WORK AFFECTED BY THE CHANGE. WHICH MAY BE REQUIRED FOR THEIR WORK TO BE COMPLETE IN ALL ASPECTS.
- 38) PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ALL SURFACES AND FINISHES AT INTERIOR AND EXTERIOR OF BUILDING, DAMAGED SURFACES AND FINISHES RESULTING FROM THE PERFORMANCE OF THE WORK SHALL BE REPAIRED AT NO COST TO THE OWNER. CONTRACTOR TO MATCH ADJACENT FINISHES.
- 39) THE CONTRACTOR SHALL CEASE OPERATIONS IF SAFETY OR STRUCTURE APPEARS TO BE ENDANGERED, TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- 40) ALL CONTRACTORS SHALL USE DROP SHEETS AND STICKY MATTING WHERE NECESSARY IN THE CONSTRUCTION AREA TO MINIMIZE DUST, DIRT AND CONSTRUCTION MATERAIL ACCUMULATING IN THE BUILDING.

#### DEMOLITION NOTES

- 1) REFER TO DEMOLITION PLAN FOR ADDITIONAL NOTES AND CEILING INFORMATION.
- 2) CITY SINKS AND JANITOR SINKS CANNOT BE USED FOR EQUIPMENT AND TOOL CLEAN UP AT ANY TIME. NO POURING OF LIQUIDS OR DISPOSAL OF BUILDING MATERIALS INTO CITY SANITARY SYSTEM AT ANY TIME. REFER TO CITY OF BRAMPTON PROJECT MANAGER FOR ADDITION INSTRUCTIONS.
- SUPERVISE DELIVERY, HANDLING AND STORAGE ON THE SITE OF ALL MATERIALS AND EQUIPMENT TO BE IN INCORPORATED INTO THE WORK. FACILITIES OPERATIONS WILL NOT ACCEPT DELIVERIES.
- 4) CONTRACTOR TO SUPPLY ALL CONSTRUCTION BINS TO SEPARATE THE CONSTRUCTION DEBRIS AS PER CONSTRUCTION DEMOLITION. ONTARIO REGULATION 102/94 CRITERIA. PROVIDE WAY BILLS AND COMPLETED FORMS AS REQUIRED BY OWNER. LOCATION OF BINS TO BE APPROVED BY CITY OF BRAMPTON PROJECT MANAGER.
- 5) ALL MATERIALS / ITEMS FOR DEMOLITION (SUCH AS P.LAM, DOORS, FRAMES, G.W.B., CARPET, ETC.) TO BE DISPOSED OF BY WAY OF RECYCLING PROGRAM WHENEVER POSSIBLE. FOR MORE GREENING INFORMATION REGARDING CONTRACTOR / SPECIFIER RESOURCES FOR PICK UP / DELIVERY / DISPOSAL OF RECYCLABLE MATERIALS REFER TO WWW.CBWASTE.COM. WASTE PAINT TO BE DISPOSED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AT NO ADDITIONAL COSTS TO THE
- 6) ALL DEMOLITION DEBRIS MUST BE REMOVED AFTER NORMAL BUSINESS HOURS. FACILITY SERVICES TO DETERMINE LOCATION AND TOTAL QUANTITY OF BINS PERMITTED AFTER AWARD OF TENDER.



#### CONSTRUCTION NOTES

- 1) ALL INTERIOR WALLS SHALL EXTEND TO UNDER- SIDE OF CONCRETE SLABS & STEEL DECK FOR FIRE AND SOUND REASONS. WHERE WALLS RUN PARALLEL AND UNDER OWSJ'S AND BEAMS, THE OWSJ'S AND BEAMS SHALL BE ENCLOSED ALL- AROUND W/ 16MM GYPSUM BOARD AND 100MM THICK BATT INSULATION.
- 2) FIRE STOPPING SHALL BE PROVIDED AS SPECIFIED AND DETAILED, AT TOPS OF ALL WALLS FORMING FIRE SEPARATIONS AND AROUND ALL PIPE, CONDUIT, AND DUCT PENETRATIONS OF FIRE SEPARATIONS.
- 3) ALL NEW WALLS AND INFILLS SHALL BE GYPSUM BOARD ON STEEL STUDS TO THICKNESS INDICATED.
- 4) OPENINGS IN WALLS AND CEILING SPACES, WILL BE REQUIRED FOR AIR MOVEMENT. REFER TO MECHANICAL DRAWINGS FOR EXACT DIMENSIONS AND LOCATIONS.

# CONSTRUCTION FACILITIES

- 1) PROVIDE CONSTRUCTION IN ORDER TO EXECUTE THE WORK EXPEDITIOUSLY. REMOVE, RESTORE SITE AND SURFACES AFTER
- 2) PROVIDE AND MAINTAIN REQUIRED ACCESS TO PROJECT SITE AND ADJACENT AREAS AS REQUIRED BY THE OWNER.
- 3) HEIGHT, WIDTH AND WEIGHT RESTRICTIONS MUST BE VERIFIED PRIOR TO BRINGING EQUIPMENT INTO THE WORK AREA.
- 4) PROVIDE NECESSARY SCREENS, COVERS AND HOARDING.
- 5) OBEY AND ENFORCE ALL PARKING AND VEHICLE RESTRICTION AND SPEED LIMITS.
- 6) BE RESPONSIBLE FOR THE SECURITY OF SITE, EQUIPMENT, TOOLS AND MATERIALS.
- 7) MAINTAIN THE BUILDING IN A SECURE CONDITION AT ALL TIMES DURING CONSTRUCTION.

# NOTES: TO ALL SUB-TRADES AND VENDORS

- 1) GENERAL CONTRACTOR TO ENSURE THAT ANY AND ALL ATTACHMENTS TO CONCRETE SLAB ARE SCANNED OR X-RAYED. SCANNING IS ACCEPTABLE FOR DRILLING UNDER 38mm DEPTH. ALL DRILLING MORE THAN 38mm REQUIRES X-RAYING PRIOR TO DRILLING. THE CONTRACTOR IS TO MARK THE LOCATIONS OF ALL HARDWARE ATTACHMENTS REQUIRING DRILLING OR SCREWING TO THE SLAB AT ONE TIME BEFORE ATTACHING ANY ITEMS TO THE SLAB. THE OWNER WILL NOT ALLOW ANY TYPE OF FORCE NAILS OR ATTACHMENTS TO BE USED IN CITY HALL.
- 2) X-RAY, SCANNING, CORE DRILLING, BANGING ON FLOORS, AND CEILINGS MUST BE DONE OUTSIDE OF REGULAR HOURS AND WORK TO BE COORDINATED WITH THE FACILITIES OPERATIONS OFFICE 3 TO 5 DAYS IN ADVANCE.
- 3) REPORT SUSPECTED HAZARDOUS MATERIALS (I.E. ASBESTOS) TO THE GENERAL CONTRACTOR, DESIGN CONSULTANT, AND PROJECT LEAD IMMEDIATELY AND CEASE WORK.

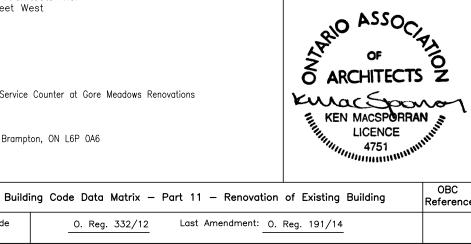


Name of Project: City of Brampton - Service Counter at Gore Meadows Renovations

0150 The Gore Rd, Brampton, ON L6P 0A6

December 14 2023

ronto, Ontario



|       | Ontario Build                              | ing Code Data Matrix — Part 11 — Renovation of Existing Building                                                                                                                                                                                                                         | OBC<br>Reference                                                     |
|-------|--------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------|
| 11.00 | Building Code<br>Version:                  | 0. Reg. 332/12 Last Amendment: 0. Reg. 191/14                                                                                                                                                                                                                                            |                                                                      |
| 11.01 | Project Type:                              | ☐ Addition ☐ Renovation ☐ Addition and renovation ☐ Change of Use Description:                                                                                                                                                                                                           | [A]1.1.2                                                             |
| 11.02 | Major<br>Occupancy<br>Classification       | Occupancy: Use: A2 ASSEMBLY                                                                                                                                                                                                                                                              | 3.1.2.1.(1)                                                          |
| 11.03 | Superimposed<br>Major<br>Occupancies:      | ☑ No ☐ Yes  Description:                                                                                                                                                                                                                                                                 | 3.2.2.7                                                              |
| 11.04 | Building Area<br>(m²)                      | Description Existing Renovated Total NO CHANGE                                                                                                                                                                                                                                           | [A]1.4.1.2                                                           |
|       |                                            | Total 6523 SQM                                                                                                                                                                                                                                                                           |                                                                      |
| 11.05 | Building Height                            | 1 Storeys above grade13.390 (m) Above grade0 Storeys below grade                                                                                                                                                                                                                         | [A]1.4.1.2<br>& 3.2.1.1                                              |
| 11.06 | Number of<br>Streets/ Firefighte<br>access | 1 Streets                                                                                                                                                                                                                                                                                | 3.2.2.10<br>3.2.5                                                    |
| 11.07 | Building Size                              | □ Small □ Medium ☑ Large □ > Large                                                                                                                                                                                                                                                       | T.11.2.1.E<br>-N                                                     |
| 11.08 | Existing Building<br>Classification        | Change in major occupancy: ☐ Yes ☐ Not Applicable (no change of major occupancy)  Construction Index ☐ Hazard Index ☐ Not Applicable (no change of major occupancy)                                                                                                                      | 11.2.1,1<br>T 11.2.1.1/<br>T 11.2.1.1/<br>to N                       |
|       |                                            | Importance Category: □ Low □ Normal □ High □ Post-disaster                                                                                                                                                                                                                               | 4.2.1.(3)<br>5.2.2.1.(2)                                             |
| 11.09 | Renovation type:                           | Basic Renovation ☑ Extensive Renovation □                                                                                                                                                                                                                                                | 11.3.3.1<br>11.3.3.2                                                 |
|       |                                            | NOT COMPLIANT (EXISTING)                                                                                                                                                                                                                                                                 |                                                                      |
| 11.11 | Plumbing Fixture<br>Requirements:          | Ratio: M/F = 1/1 Except as otherwise noted  Floor Level/Area Occupant Load OBC Reference Fixtures Required Fixtures Provided  NO CHANGE IN OCCUPANT LOAD & NUMBER OF PLUMBING FIXTURES                                                                                                   | 3.7.4                                                                |
| 11.12 | Barrier—free Desig                         | n⊠ Yes Explanation: Construction of a barrier—free reception counter □ No                                                                                                                                                                                                                | 11.3.3.2.(2)                                                         |
| 11.13 | Reduction in<br>Performance Level:         | Structural:              □ NO                                                                                                                                                                                                                                                            | 11.4.2.1<br>11.4.2.2<br>11.4.2.3<br>11.4.2.4<br>11.4.2.5<br>11.4.2.6 |
| 11.14 | Compensating<br>Construction:              | ⊠ No       □ Yes         Structural:       ⊠ NO       □ YES       (Describe)         Increase in occupant load:       ⊠ NO       □ YES       (Describe)                                                                                                                                  | 11.4.3.1<br>11.4.3.2<br>11.4.3.3                                     |
|       |                                            | Change in major occupancy: ☒ NO ☐ YES (Describe)  Plumbing: ☒ NO ☐ YES (Describe)  Sewage—system: ☒ NO ☐ YES (Describe)  Extension of Combustibl☒ NO ☐ YES (Describe)  Construction                                                                                                      | 11.4.3.4<br>11.4.3.5<br>11.4.3.6<br>11.4.3.7                         |
| 11.15 | Compliance<br>Alternatives<br>Proposed:    | Change in major occupancy:         ☒ NO         ☐ YES         (Describe)           Plumbing:         ☒ NO         ☐ YES         (Describe)           Sewage—system:         ☒ NO         ☐ YES         (Describe)           Extension of Combustibl☒ NO         ☐ YES         (Describe) | 11.4.3.4<br>11.4.3.5<br>11.4.3.6                                     |



LOCATION PLAN

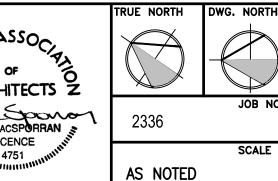
MAR 14, 2024 ISSUED FOR TENDER FEB 29, 2024 ISSUED FOR 90% DRAWINGS DEC 14, 2023 ISSUED FOR 60% DRAWINGS DATE **REVISIONS** 

Service Counter at Gore Meadows Renovations 10150 The Gore Rd, Brampton, ON L6P 0A6



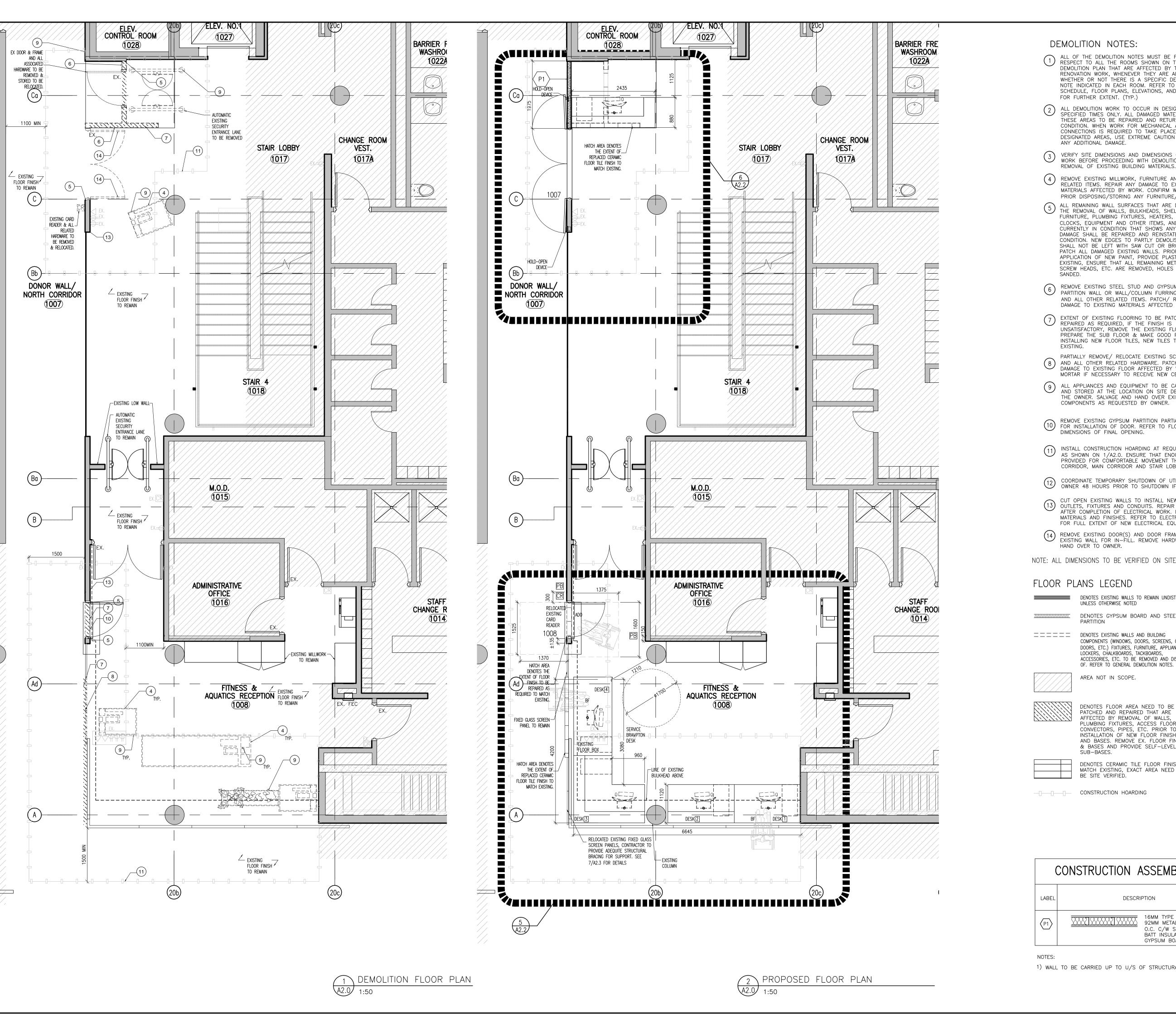
GENERAL NOTES & OBC MATRIX





**MOFFET &** DUNCAN architects inc. 5052 DUNDAS ST. WEST TORONTO, ONT. M9A 1B9 (416) 239-2775 (416) 239-6729

July 15, 2024



#### DEMOLITION NOTES:

- ALL OF THE DEMOLITION NOTES MUST BE FOLLOWED IN RESPECT TO ALL THE ROOMS SHOWN ON THE DEMOLITION PLAN THAT ARE AFFECTED BY THE RENOVATION WORK, WHENEVER THEY ARE APPLICABLE WHETHER OR NOT THERE IS A SPECIFIC DEMOLITION NOTE INDICATED IN EACH ROOM. REFER TO RFS, DOOR SCHEDULE, FLOOR PLANS, ELEVATIONS, AND DETAILS FOR FURTHER EXTENT. (TYP.)
- 2) ALL DEMOLITION WORK TO OCCUR IN DESIGNATED AREAS AT SPECIFIED TIMES ONLY. ALL DAMAGED MATERIALS OUTSIDE THESE AREAS TO BE REPAIRED AND RETURNED TO ORIGINAL CONDITION. WHEN WORK FOR MECHANICAL AND ELECTRICAL CONNECTIONS IS REQUIRED TO TAKE PLACE OUTSIDE DESIGNATED AREAS, USE EXTREME CAUTION TO PREVENT ANY ADDITIONAL DAMAGE.
- WERIFY SITE DIMENSIONS AND DIMENSIONS OF NEW WORK BEFORE PROCEEDING WITH DEMOLITION OR REMOVAL OF EXISTING BUILDING MATERIALS.
- 4 REMOVE EXISTING MILLWORK, FURNITURE AND ALL OTHER RELATED ITEMS. REPAIR ANY DAMAGE TO EXISTING MATERIALS AFFECTED BY WORK. CONFIRM WITH CLIENT PRIOR DISPOSING/STORING ANY FURNITURE/MILLWORK.
- ALL REMAINING WALL SURFACES THAT ARE DAMAGED BY THE REMOVAL OF WALLS, BULKHEADS, SHELVES, FURNITURE, PLUMBING FIXTURES, HEATERS, MILLWORK, CLOCKS, EQUIPMENT AND OTHER ITEMS, AND/OR ARE CURRENTLY IN CONDITION THAT SHOWS ANY SIGN OF DAMAGE SHALL BE REPAIRED AND REINSTATED IN GOOD CONDITION. NEW EDGES TO PARTLY DEMOLISHED WALLS SHALL NOT BE LEFT WITH SAW CUT OR BROKEN UNITS PATCH ALL DAMAGED EXISTING WALLS. PRIOR TO THE APPLICATION OF NEW PAINT, PROVIDE PLASTER TO MATCH EXISTING, ENSURE THAT ALL REMAINING METAL PIECES, SCREW HEADS, ETC. ARE REMOVED, HOLES PATCHED AND
- 6 REMOVE EXISTING STEEL STUD AND GYPSUM BOARD PARTITION WALL OR WALL (OCCUPANT) PARTITION WALL OR WALL/COLUMN FURRING, WALL BASE AND ALL OTHER RELATED ITEMS. PATCH/ REPAIR ANY DAMAGE TO EXISTING MATERIALS AFFECTED BY WORK.
- 7 EXTENT OF EXISTING FLOORING TO BE PATCHED, REPAIRED AS REQUIRED IF THE EINIGH IS REPAIRED AS REQUIRED, IF THE FINISH IS UNSATISFACTORY, REMOVE THE EXISTING FLOOR TILES, PREPARE THE SUB FLOOR & MAKE GOOD PRIOR INSTALLING NEW FLOOR TILES, NEW TILES TO MATCH
- PARTIALLY REMOVE/ RELOCATE EXISTING SCREEN, WALL BASE 8) AND ALL OTHER RELATED HARDWARE. PATCH/ REPAIR ANY DAMAGE TO EXISTING FLOOR AFFECTED BY WORK. INFILL WITH MORTAR IF NECESSARY TO RECEIVE NEW CERAMIC TILE.
- 9 ALL APPLIANCES AND EQUIPMENT TO BE CAREFULLY MOVED AND STORED AT THE LOCATION ON SITE DETERMINED BY AND STORED AT THE LOCATION ON SITE DETERMINED BY THE OWNER. SALVAGE AND HAND OVER EXISTING BUILDING COMPONENTS AS REQUESTED BY OWNER.
- REMOVE EXISTING GYPSUM PARTITION PARTIALLY TO ALLOW FOR INSTALLATION OF DOOR. REFER TO FLOOR PLAN FOR DIMENSIONS OF FINAL OPENING.
- (11) INSTALL CONSTRUCTION HOARDING AT REQUIRED LOCATIONS, AS SHOWN ON 1/A2.0. ENSURE THAT ENOUGH SPACE IS PROVIDED FOR COMFORTABLE MOVEMENT THROUGHOUT CORRIDOR, MAIN CORRIDOR AND STAIR LOBBY.
- COORDINATE TEMPORARY SHUTDOWN OF UTILITIES WITH OWNER 48 HOLDS PRIOR TO SHUTDOWN IN THE TEMPORARY OWNER 48 HOURS PRIOR TO SHUTDOWN IF REQUIRED.
- CUT OPEN EXISTING WALLS TO INSTALL NEW ELECTRICAL OUTLETS, FIXTURES AND CONDUITS. REPAIR EXISTING WALLS AFTER COMPLETION OF ELECTRICAL WORK. MATCH EXISTING MATERIALS AND FINISHES. REFER TO ELECTRICAL DRAWINGS FOR FULL EXTENT OF NEW ELECTRICAL EQUIPMENT.
- REMOVE EXISTING DOOR(S) AND DOOR FRAME. PREPARE EXISTING WALL FOR IN-FILL. REMOVE HARDWARE AND EXISTING WALL FOR IN-FILL. REMOVE HARDWARE AND HAND OVER TO OWNER.

NOTE: ALL DIMENSIONS TO BE VERIFIED ON SITE.

# FLOOR PLANS LEGEND

DENOTES EXISTING WALLS TO REMAIN UNDISTURBED UNLESS OTHERWISE NOTED

DENOTES GYPSUM BOARD AND STEEL STUD PARTITION

\_\_\_\_ DENOTES EXISTING WALLS AND BUILDING COMPONENTS (WINDOWS, DOORS, SCREENS, O/H DOORS, ETC.) FIXTURES, FURNITURE, APPLIANCES, LOCKERS, CHALKBOARDS, TACKBOARDS, ACCESSORIES, ETC. TO BE REMOVED AND DISPOSED

AREA NOT IN SCOPE.

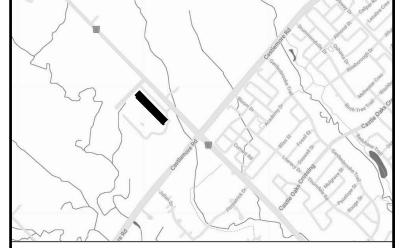
DENOTES FLOOR AREA NEED TO BE PATCHED AND REPAIRED THAT ARE AFFECTED BY REMOVAL OF WALLS, PLUMBING FIXTURES, ACCESS FLOOR CONVECTORS, PIPES, ETC. PRIOR TO INSTALLATION OF NEW FLOOR FINISHES AND BASES. REMOVE EX. FLOOR FINISHES & BASES AND PROVIDE SELF-LEVELING

DENOTES CERAMIC TILE FLOOR FINISH TO MATCH EXISTING, EXACT AREA NEED TO BE SITE VERIFIED.

# CONSTRUCTION ASSEMBLIES LEGEND

| LABEL | DESCRIPTION |                                                                                                                                     | REQ.<br>FRR | NOT |
|-------|-------------|-------------------------------------------------------------------------------------------------------------------------------------|-------------|-----|
| (P1)  |             | 16MM TYPE X GYPSUM BOARD,<br>92MM METAL STUDS @ 400MM<br>O.C. C/W SOUND ATTENUATING<br>BATT INSULATION, 16MM TYPE X<br>GYPSUM BOARD | 1 HR        | 1)  |

1) WALL TO BE CARRIED UP TO U/S OF STRUCTURAL DECK.



LOCATION PLAN

CR

NIC

PAN

U/C

#### ABBREVIATIONS LEGEND

ACOUSTIC CEILING TILE BARRIER-FREE CARD READER ELECTRICAL PANEL FLOOR DRAIN INTERCOM NOT IN CONTRACT PANIC BUTTON PUSH BUTTON (DOOR OPERATOR) TACK BOARD UNDER COUNTER VINYL COMPOSITE TILE

AUTOMATIC DOOR OPERATOR

MAR 14, 2024 ISSUED FOR TENDER FEB 29, 2024 ISSUED FOR 90% DRAWINGS DEC 14, 2023 | ISSUED FOR 60% DRAWINGS OCT 24, 2023 ISSUED FOR 30% DRAWINGS REVISIONS

Service Counter at Gore Meadows Renovations 10150 The Gore Rd, Brampton, ON L6P 0A6



DEMOLITION & PROPOSED FLOOR PLAN,



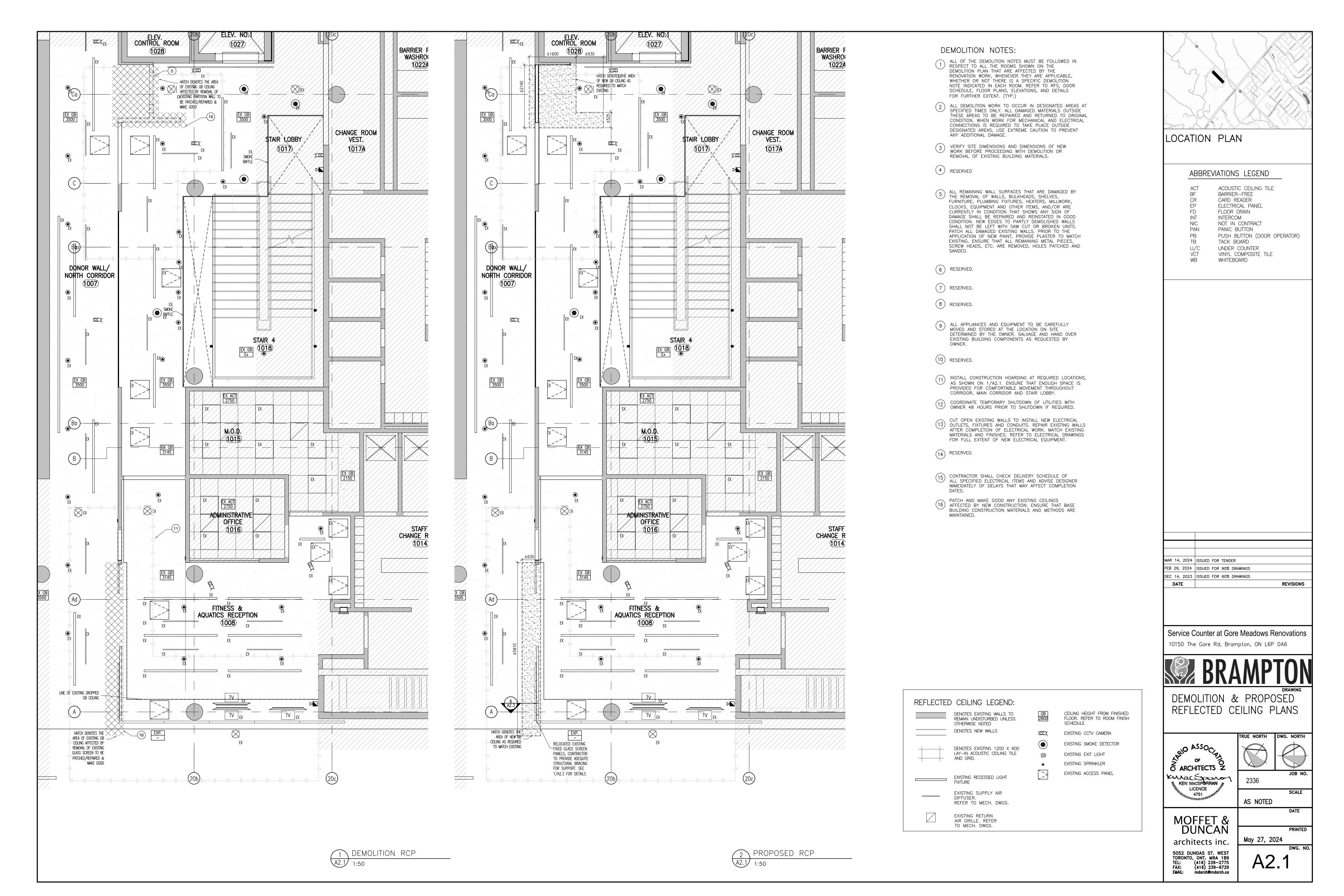
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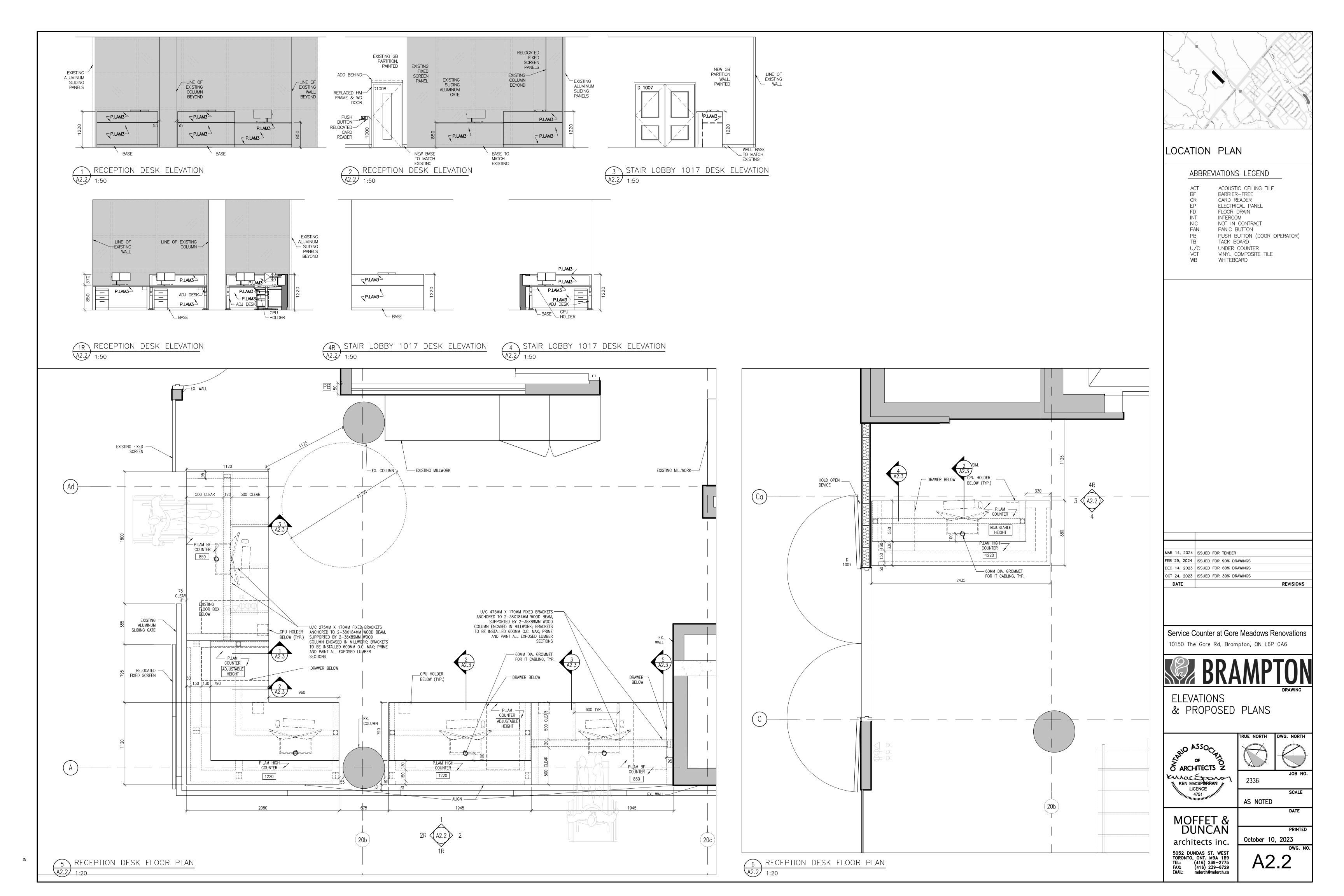
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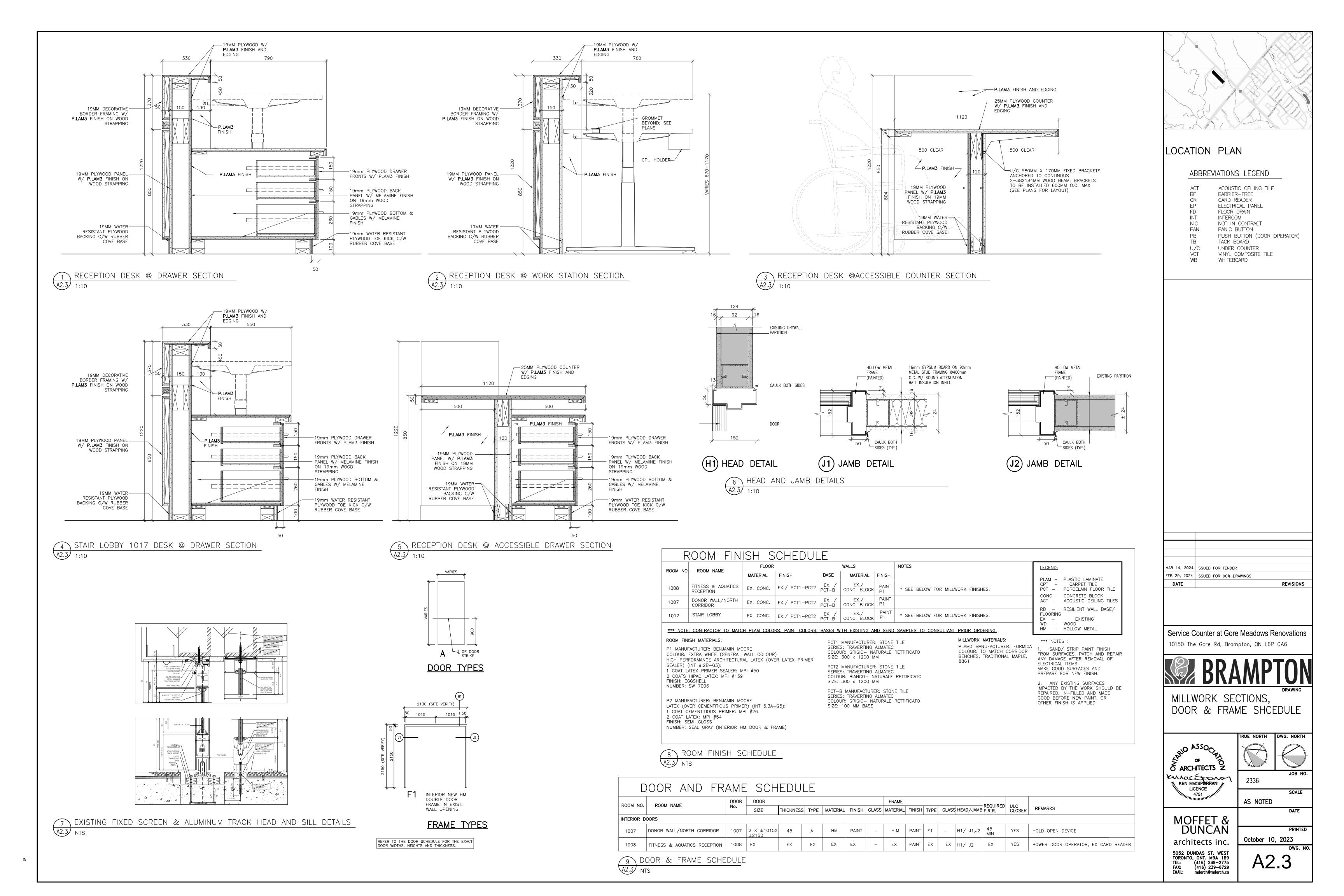
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**MOFFET &** DUNCAN architects inc. 5052 DUNDAS ST. WEST TORONTO, ONT. M9A 1B9 TEL: (416) 239-2775 FAX: (416) 239-6729

May 27, 2024 A2.0







| <u>GRIL</u> | <u>LE SCHEDULE</u> |                    |                  |                            | SPECIFICATION FOR CONSTRUCTION STANDARDS, ACCESSORIES AND ADDITIONAL INFORMATION.                                                          |
|-------------|--------------------|--------------------|------------------|----------------------------|--------------------------------------------------------------------------------------------------------------------------------------------|
| Item        | Туре               | Equalizing<br>Grid | Volume<br>Damper | Acceptable<br>Manufacturer | Description                                                                                                                                |
| S1          | SUPPLY GRILLE      | NO                 | NONE             | EH PRICE 520-FLA           | DOUBLE DEFLECTION, 3/4" SPACING, STEEL BLADES PARALLEL TO LONG DIMENSION, C/W 1 1/4" FLAT BORDER & SCREWED FASTENING FOR SURFACE MOUNTING. |

GENERAL DIFFUSER/GRILLE NOTES:
1. ACCEPTABLE MANUFACTURERS: EH PRICE, NAILOR, TITUS, KRUEGER, CARNES, METALAIRE, TUTTLE & BAILEY

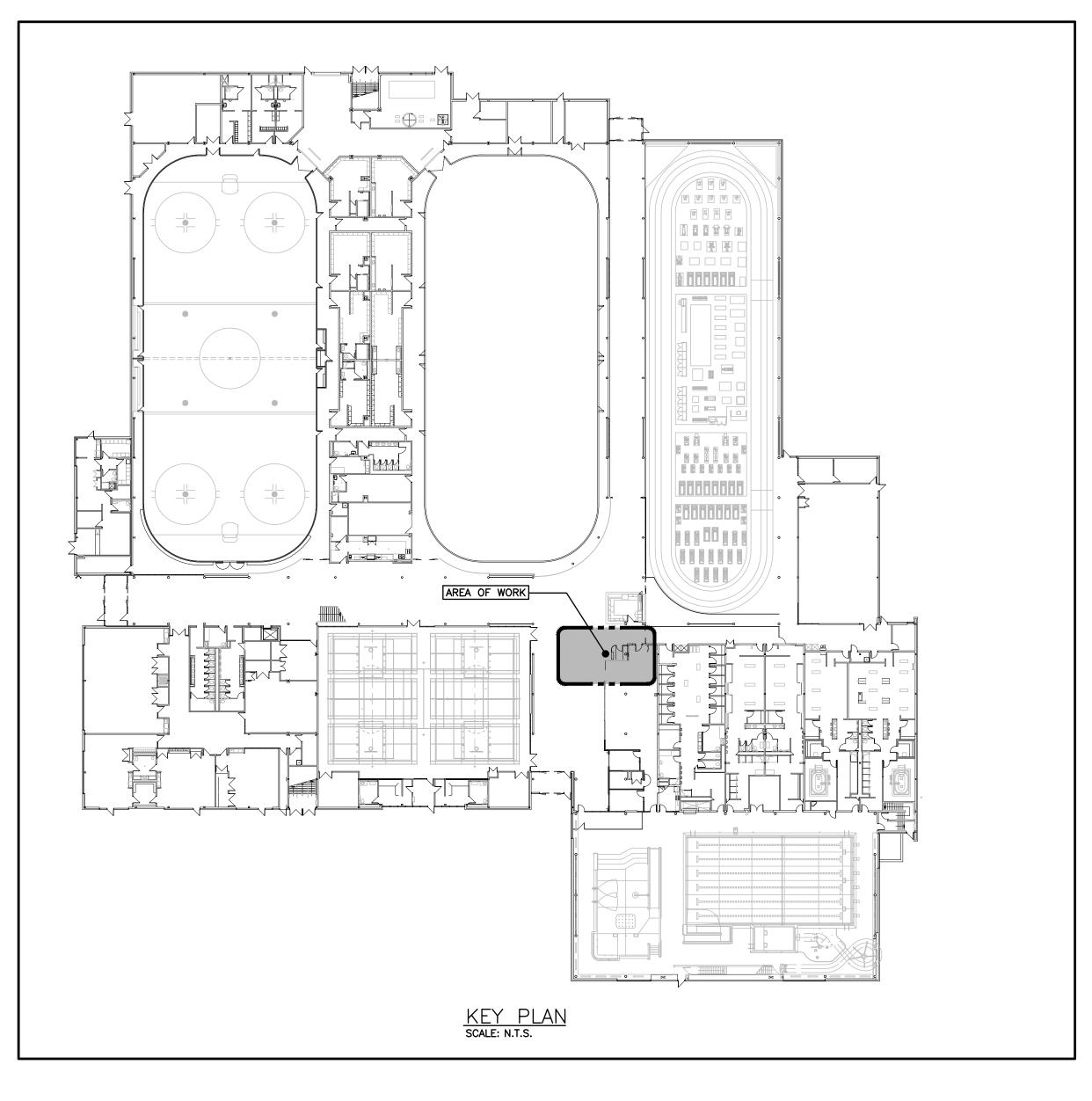
2. GRILLE COLOURS ARE SELECTED BY ARCHITECT FROM STANDARD COLOUR CHART, UNLESS OTHERWISE NOTED. 3. PAINT INTERIOR OF DUCTWORK BEHIND GRILLE MATT BLACK (WHERE VISIBLE THRU GRILLE).

GENERAL NOTES

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PREPARED SPECIFICATION.

CAPACITY INDICATED ON SCHEDULE REFER TO

| MECHA                       | NICAL LEGEND                                         |
|-----------------------------|------------------------------------------------------|
| Item                        | Description                                          |
| <del></del>                 | CUT EXISTING & CONNECT<br>NEW PIPING                 |
| <b>-</b>                    | FLOW DIRECTION                                       |
| © <sub>□</sub>              | THERMOSTAT (WITH OR WITHOUT GUARD)                   |
| <b>&gt;&gt;&gt;&gt;</b>     | TURNING VANES                                        |
|                             | SUPPLY AIR DUCT                                      |
|                             | RETURN/EXHAUST AIR DUCT                              |
|                             | BRANCH LINE SPIN-IN COLLAR<br>C/W BALANCING DAMPER   |
| <b>—</b> BD                 | BALANCING DAMPER                                     |
|                             | FLEXIBLE ROUND DUCT                                  |
|                             | RIGID ROUND DUCT                                     |
| Type Size Cap.              | DIFFUSER/GRILLE SIZE (imp),<br>TYPE & CAPACITY (cfm) |
| Type Size 1 Size 2 Capacity | HYDRONIC HEATING SIZE,<br>TYPE & CAPACITY            |
| RIC                         | RETURN IN CABINET                                    |
| AFF                         | ABOVE FINISHED FLOOR                                 |
| AFR                         | ABOVE FINISHED ROOF                                  |
| ——ЕХ——                      | EXISTING DUCT (SIZE AS INDICATED)                    |



The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.

The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions. Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the

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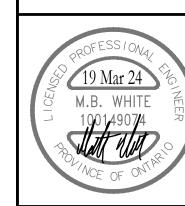
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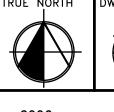
55 Northland Road, Waterloo, ON N2V 1Y8 Phone: 519-725-3555 Website: deiassociates.ca Project Number: 23286

MAR 19,2024 ISSUED FOR TENDER MAR 04,2024 ISSUED FOR 90% REVIEW REVISIONS

Service Counter at Cassie Campbell Renovations 1050 Sandalwood Pkwy W, Brampton, On L74 0K9

KEYPLAN, LEGEND & SCHEDULES





MARCH 2024

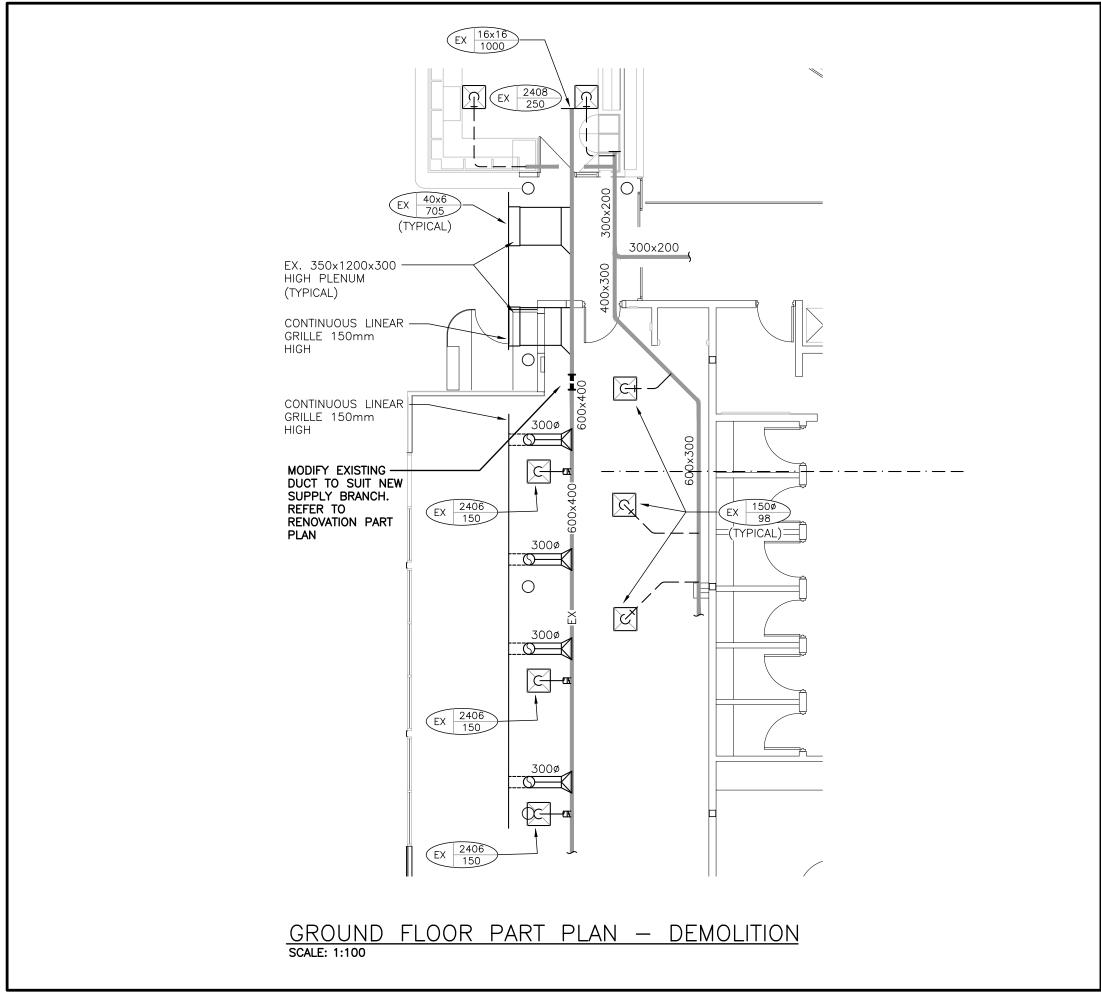
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## GENERAL DEMOLITION NOTES

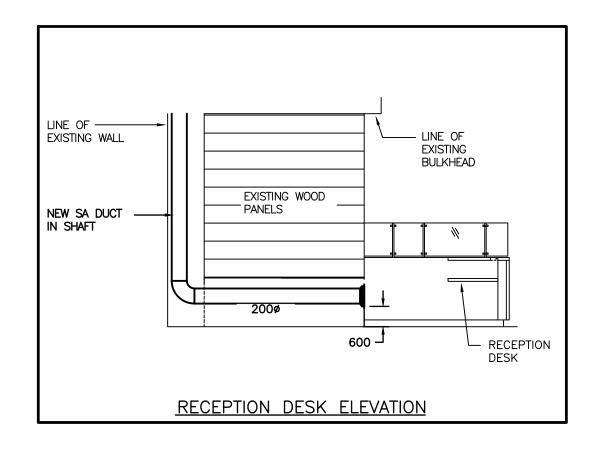
- EXISTING MECHANICAL ITEMS NOT SHOWN SHALL REMAIN UNLESS NOTED
- EXISTING MECHANICAL ITEMS SHOWN BUT NOT NOTED AS BEING REMOVED OR RENOVATED SHALL REMAIN AS PRESENTLY INSTALLED AND OPERATING.
- THIS CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ON SITE ALL LOCATIONS AND SIZES OF ALL SERVICES & EQUIPMENT PRIOR TO THE COMMENCEMENT OF WORK.
- ALL OPENINGS THAT RESULT FROM THE REMOVAL OF EQUIPMENT OR SERVICES SHALL BE NEATLY PATCHED WITH SUITABLE NEW MATERIALS TO SUIT EXISTING CONSTRUCTION.
- PLUMBING VENTS ARE NOT INDICATED OR IDENTIFIED. REMOVE ALL REDUNDANT VENTS WHILE MAINTAINING INTEGRITY OF EXISTING SYSTEMS
- REMOVAL OF EXISTING PIPING, OR DUCT SYSTEMS INCLUDES REMOVAL OF ALL HANGERS, INSULATION, FITTINGS, ETC.
- MAINTAIN INTEGRITY OF EXISTING SYSTEMS THAT ARE TO REMAIN OR BE MODIFIED.
- INSTALL NEW SYSTEM OR SERVICES WHERE REQUIRED TO MAINTAIN SYSTEM OPERATION PRIOR TO DEMOLITION OF EXISTING SERVICES.
- THIS CONTRACTOR IS TO REMOVE & REPLACE CEILINGS AS REQUIRED FOR REMOVAL/REPLACEMENT OF SERVICES.
- CONTRACTOR TO CARRY IN THEIR PRICING TO DRAIN SYSTEM OR FREEZE PIPING TO COMPLETE WORK

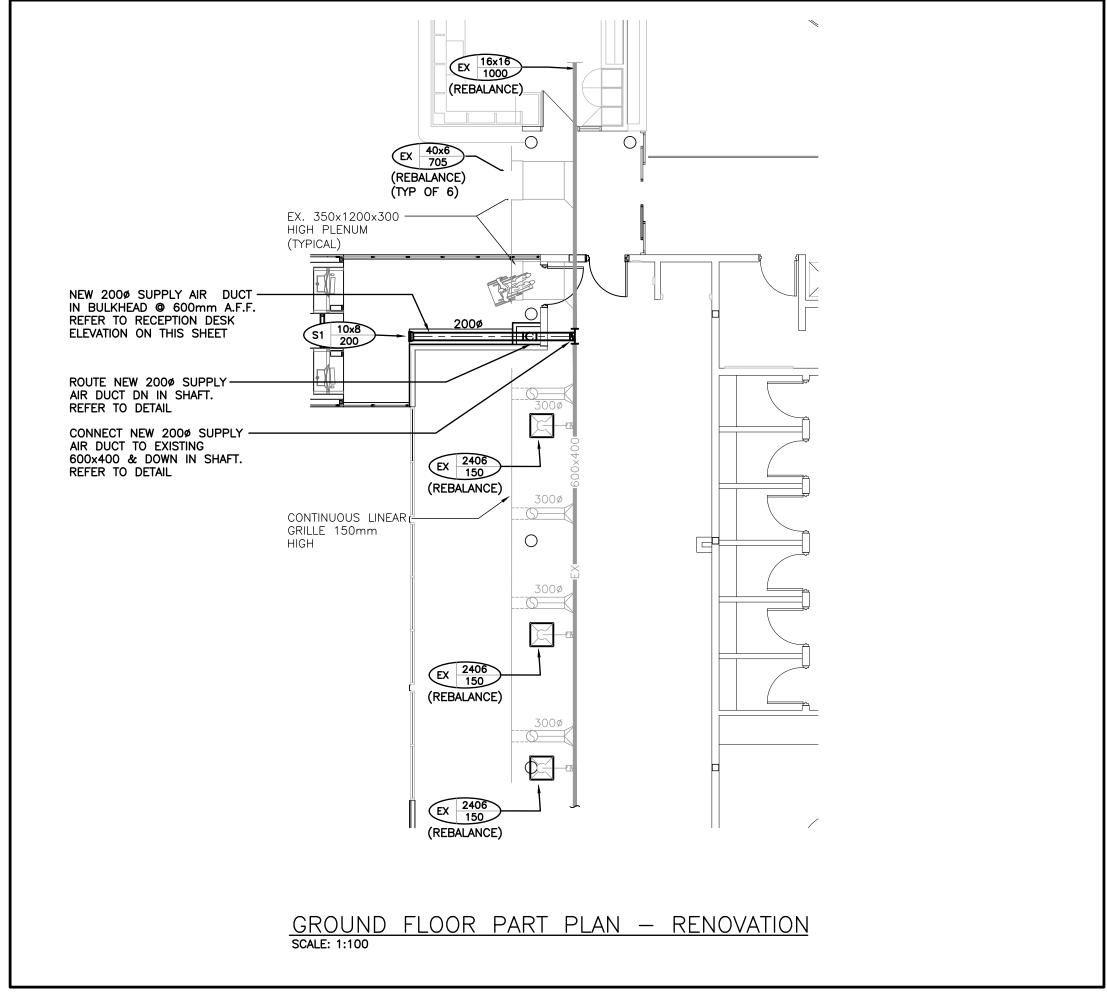


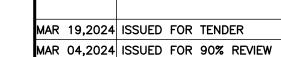
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#### **GENERAL RENOVATION NOTES**

- CLEAN AND VACUUM EXISTING DUCTWORK ADJACENT TO NEW CONNECTIONS ± 10'-0" IN EACH DIRECTION.
- CO-ORDINATE ANY OWSJ BRIDGING RELOCATION OR REMOVAL/REPLACEMENT WITH THE GENERAL CONTRACTOR. PAY ALL COSTS REQUIRED TO MODIFY BRIDGING FOR INSTALLATION OF DUCTWORK.
- REFER TO ARCHITECTURAL PLANS FOR GRILLE LOCATION. CO-ORDINATE FINAL LOCATION ON SITE.







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The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of

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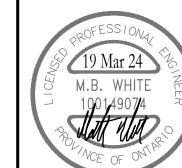
Project Number: 23286

the work.

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GROUND FLOOR PART PLAN - DEMOLITION &

**REVISIONS** 

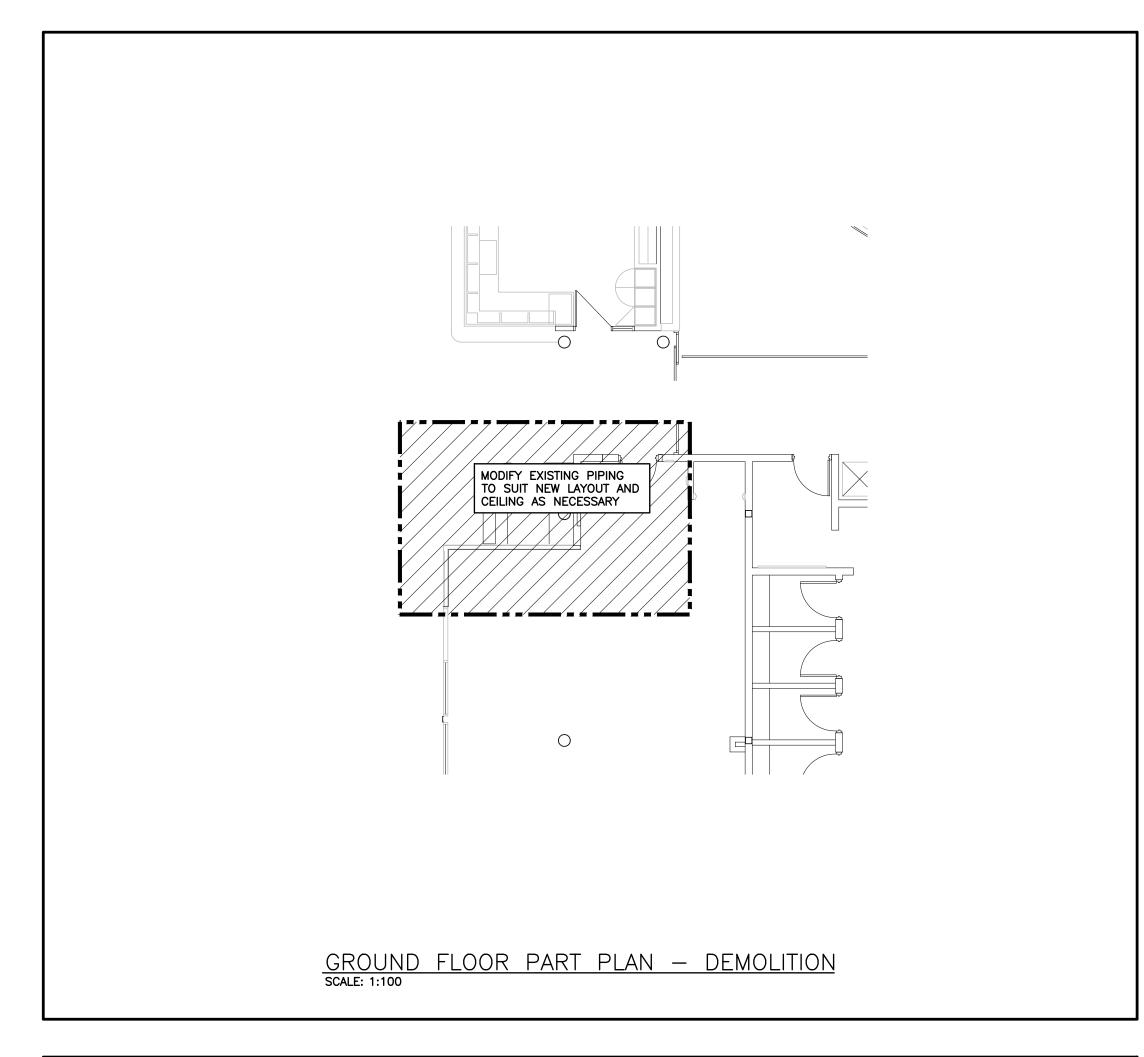


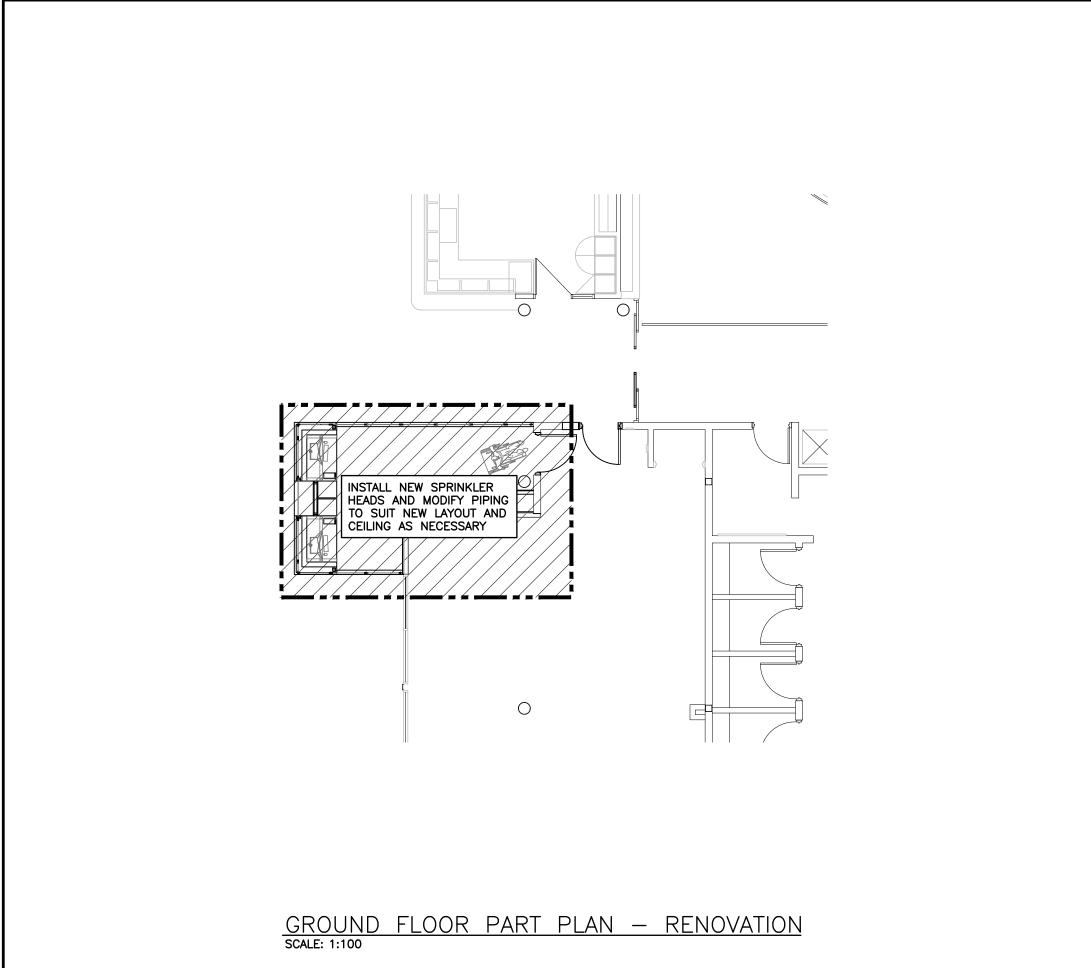
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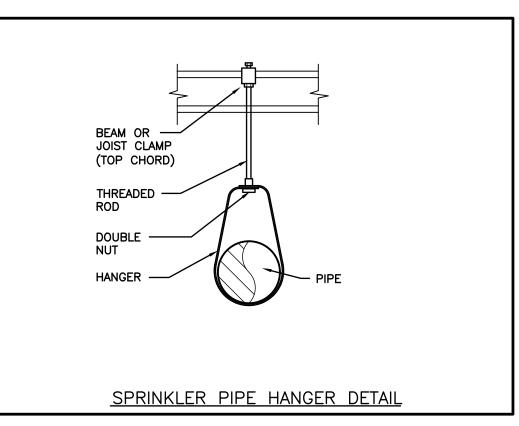
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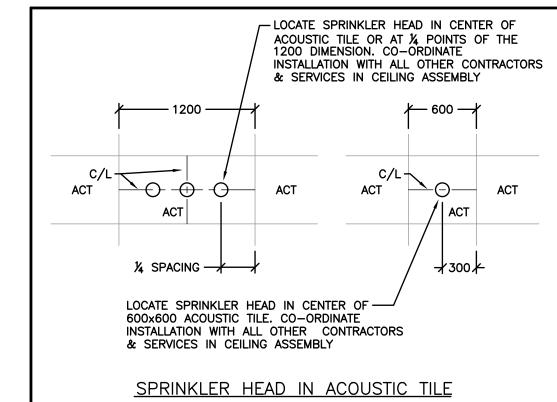
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MARCH 2024 March 19, 2024









#### **GENERAL SPRINKLER NOTES**

- EXISTING SPRINKLER SYSTEM & STANDPIPE SYSTEM TO BE RENOVATED/MODIFIED TO SUIT NEW LAYOUT. CONTRACTOR IS RESPONSIBLE TO SURVEY EXISTING SYSTEMS FOR CREATION OF SHOP DWGS.
- SUBMIT PRELIMINARY DESIGN & HYDRAULIC CALCULATIONS STAMPED BY A PROFESSIONAL ENGINEER, AND MANUFACTURERS' PRODUCT SHEETS FOR SHOP DRAWING SUBMISSION AS SPECIFIED PRIOR TO COMMENCING WORK.
- ENSURE DESIGN MEETS OR EXCEEDS PRESENT NFPA 13 STANDARDS. ENSURE SPRINKLER SYSTEMS ARE INSTALLED TO NFPA 13 STANDARDS. UPON COMPLETION, SPRINKLER CONTRACTOR TO PROVIDE REPRODUCIBLE DRAWING (AT 1/8"=1'-0" SCALE) AND HYDRAULIC CALCULATIONS OF
- SPRINKLER CONTRACTOR'S 'PROFESSIONAL ENGINEER' TO PROVIDE O.B.C. AND NFPA REQUIRED INSPECTION AND CERTIFICATION.
- REFER TO ARCHITECTURAL DRAWINGS FOR REFLECTED CEILING PLAN.
- PROVIDE SPRINKLER HEAD TYPES AS FOLLOWS:

STORAGE ROOMS.

INSTALLATION

- •• PROVIDE UPRIGHT CONCEALED WHITE HEADS WITHIN 12" OF EXPOSED DECK THROUGHOUT EXPOSED STRUCTURE AREAS. •• PROVIDE RECESSED HEADS IN CEILINGS OF OFFICE AREAS. COVER PLATE FINISH SELECTED BY CONSULTANT.
- PROVIDE SPRINKLER HEAD GUARDS IN ALL MECHANICAL, ELECTRICAL &
- SPRINKLER HEADS TO BE IN CENTERLINE OF CEILING TILE. MINIMUM 150mm (6") FROM EDGE.
- FINAL NUMBER AND LOCATION OF SPRINKLER HEADS TO BE DETERMINED
- BY CONTRACTOR'S HYDRAULIC CALCULATIONS AND APPROVED DRAWINGS. SPRINKLER PIPING TO BE COORDINATED WITH OTHER SERVICES PRIOR TO
- COORDINATE LOCATION OF INSPECTOR'S TEST CONNECTION WITH CONSULTANT PRIOR TO INSTALLATION.
- SPRINKLER CONTRACTOR TO VISIT SITE AND EVALUATE EXISTING CONDITIONS
- PRIOR TO TENDER CLOSING. INCLUDE ALL MODIFICATIONS IN TENDER
- PROVIDE SPRINKLER HEADS UNDER ALL DUCTWORK AND EQUIPMENT OVER 1200mm WIDE. COMMISSIONING OF INTEGRATED TESTING OF FIRE PROTECTION AND LIFE
- SAFETY SYSTEM. • SPRINKLER CONTRACTOR TO PROVIDE SERVICES WITH THE FIRE COMMISSIONING AGENT (FCA) TO MEET THEIR REQUIREMENTS OF ADMINISTRATION, VERIFICATION, AND FINAL SIGNOFF TO THE LOCAL AUTHORITIES AND CONSULTANT. THE FCA IS BEING RETAINED BY THE ELECTRICAL CONTRACTOR, HOWEVER, THIS CONTRACTOR'S WORK TO SATISFY THE FCA REQUIREMENTS SHALL BE INCLUDED IN THE TENDER
- •• CHECK/TEST: MOVEMENT OF ALL VALVES, CREATE WATER FLOW AT ALL DEVICES TO VERIFY DETECTION AT FIRE ALARM PANEL, OPERATION OF ALL PUMPS &/OR COMPRESSORS.
- •• PERFORM ALL WORK IN ACCORDANCE WITH NFPA 13. •• RETURN SPRINKLER/STANDPIPE SYSTEM TO NORMAL OPERATION ON COMPLETION OF TESTING

#### SPRINKLER SYSTEM OUT OF COMMISSION

 THIS CONTRACTOR SHALL NOTIFY THE BUILDING DEPARTMENT AND THE AUTHORITY HAVING JURISDICTION IN WRITING SEVENTY TWO (72) HOURS IN ADVANCE OF ANY WORK. IT IS THE RESPONSIBILITY OF THE SPRINKLER CONTRACTOR TO PROVIDE A TWENTY FOUR (24) HOUR FIRE WATCH WHILE THE COMPLETE EXISTING SPRINKLER SYSTEM IS OUT OF COMMISSION. ALL COSTS ASSOCIATED WITH THE FIRE WATCH AND/OR ALL REQUIREMENTS BY THE BUILDING DEPARTMENT AND OR AUTHORITY HAVING JURISDICTION WHILE THE EXISTING STANDPIPE & SPRINKLER SYSTEM IS OUT OF COMMISSION SHALL BE BORNE BY THIS CONTRACTOR.

and discrepancies to the Consultant before commencement of the work. The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work. The drawings do not indicate all offsets fitting and accessor which may be required. Provide the same to meet the required conditions. Drawings and specifications, etc., prepared and issued by the

The contractor shall verify all dimensions and report all errors

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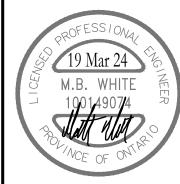
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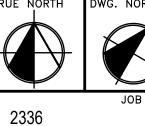
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# GROUND FLOOR PART PLAN FIRE PROTECTION DEMOLITION & RENOVATION





SCALE AS NOTED

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March 19, 2024 EMAIL: mdarch@mdarch.ca

MARCH 2024

#### MECHANICAL SPECIFICATION

#### PART A GENERAL NOTES

- 1. PROVIDE LABOUR, MATERIAL AND EQUIPMENT REQUIRED TO PROVIDE A COMPLETE INSTALLATION WITH QUALITY WORKMANSHIP ACCEPTABLE TO OWNER AND CONSULTANT.
- 2. OBTAIN ALL PERMITS AND PAY ALL TAXES, FEES, AND OTHER COSTS INCURRED WITH THIS WORK. FILE ALL PLANS. OBTAIN ALL NECESSARY APPROVALS, CERTIFICATES. SUBMIT ALL FINAL CERTIFICATES TO THE CONSULTANT. COMPLY WITH RULES AND RECOMMENDATIONS OF THE BOARD OF FIRE UNDERWRITERS, THE CANADIAN GAS ASSOCIATION, THE LOCAL BUILDING CODE, AND ALL REQUIREMENTS OF THE LOCAL UTILITY COMPANY AND BY-LAWS. POST BUILDING PERMIT AT SITE IN ACCORDANCE WITH O.B.C. REQUIREMENTS.
- 3. VISIT THE SITE BEFORE SUBMITTING TENDERS TO EVALUATE ANY SITE CONDITIONS THAT MIGHT ARISE. INCLUDE ALL SITE CONDITIONS IN TENDER, EXTRAS WILL NOT BE ACCEPTED UNLESS BELIEVED TO BE REASONABLE BY THE OWNER AND
- 4. COORDINATE WITH OTHER CONTRACTOR INSTALLING EQUIPMENT OR MATERIAL AND ARRANGE EQUIPMENT IN PROPER RELATION WITH ALL OTHER TRADES. ENSURE SYSTEMS ARE SERVICEABLE.
- 5. CUTTING AND PATCHING SHALL BE BY THE CONTRACTOR REQUIRED TO INSTALL THE SERVICE.
- 6. THE DRAWINGS ARE DIAGRAMMATIC. THE SERVICES SHALL BE INSTALLED TO CONSERVE HEADROOM AND INTERFERE AS LITTLE AS POSSIBLE WITH THE FREE USE OF THE SPACES THROUGH WHICH THEY PASS.
- 7. PROVIDE TWO MARKED COPIES OF "RECORD DRAWINGS" SHOWING THE SYSTEM AS INSTALLED. THE CAD DRAWINGS FILES WILL BE PROVIDED TO THE OWNER AS PART OF THE MAINTENANCE MANUALS.
- 8. THE MECHANICAL SYSTEMS OF THIS BUILDING MUST ACHIEVE THE ENERGY EFFICIENCY LEVELS BY CONFORMING TO ANSI/ASHRAE/IESNA 90.1 "ENERGY STANDARD FOR BUILDINGS EXCEPT LOW-RISE RESIDENTIAL BUILDINGS" AND CHAPTER 2 OF DIVISION 3 OF SB-10 PRESCRIPTIVE METHOD FROM THE ONTARIO BUILDING CODE.
- 9. ALL EQUIPMENT AND MATERIAL SHALL BE NEW. REPLACE ALL DAMAGED EQUIPMENT.
- 10. MATERIAL AND EQUIPMENT ARE NAMED IN THE SPECIFICATION TO ESTABLISH AN ACCEPTABLE STANDARD OF MATERIALS AND THE
- 11. SUBMIT SIX (6) COPIES OF SHOP DRAWINGS FOR ALL EQUIPMENT. THESE WILL BE REVIEWED BY THE CONSULTANT. RESUBMIT AS OFTEN AS MAY BE FOUND NECESSARY.
- 12. PROVIDE ALL NECESSARY PROTECTION FOR FINISHED OR UNFINISHED WORK. ALL OPENINGS IN PIPES, DUCTS AND EQUIPMENT SHALL BE CAPPED TO ENSURE SERVICES ARE KEPT CLEAN WHEN NOT IN USE.
- 13. MAINTAIN INSURANCE TO FULLY PROTECT THE CONTRACTOR, OWNER AND CONSULTANT FROM ANY AND ALL CLAIMS SUCH AS UNDER THE WORKMEN'S COMPENSATION ACT, ETC. POST PROJECT NOTIFICATION AT THE SITE IN ACCORDANCE WITH THE MINISTRY OF LABOUR REQUIREMENTS.
- 14. EXCAVATION AND BACK FILLING SHALL BE BY THE TRADE INSTALLING THE SERVICE. PROVIDE COMPACTED 'A' GRAVEL FOR
- BEDDING AND BACKFILLING AS INDICATED. REMOVE SURPLUS MATERIAL FROM SITE. 15. PROVIDE STRUCTURAL SUPPORTS, PLATFORMS, SUPPORTING RODS, HANGERS, INSERTS AND BRACKETS FOR EQUIPMENT AND
- 16. INSTRUCT THE OWNER'S STAFF IN THE CARE, MAINTENANCE AND OPERATION OF THE SYSTEMS.
- 17. SUBMIT THREE (3) COPIES OF OPERATING AND MAINTENANCE INSTRUCTIONS IN A 3 RING BINDER LABELED FOR THE PROJECT.
- 18. REMOVE ALL PROTECTIVE COVERINGS, CLEAN AND POLISH ALL EQUIPMENT, FREE ALL OBSTRUCTIONS, CLEAN AND REPLACE ALL
- 19. ALL SURPLUS AND WASTE MATERIALS SHALL BE PROMPTLY REMOVED FROM THE PREMISES.

FILTERS WITH NEW, AND LEAVE ALL KEYS AND WRENCHES WITH THE OWNER.

- 20. ALL AREAS NOT AFFECTED BY RENOVATION OR DEMOLITION SHALL REMAIN AS PRESENTLY INSTALLED UNLESS NOTED OTHERWISE.
- 21. THE OWNER WILL DECIDE WHICH ITEMS OR EQUIPMENT SLATED FOR REMOVAL THAT THEY WISH TO RETAIN AS THEIR PROPERTY AND THIS CONTRACTOR SHALL REMOVE ALL OTHER MATERIALS FROM THE PREMISES.
- 22. PROVIDE LAMICOID TAGS FOR IDENTIFICATION OF NEW EQUIPMENT ADDED.

SERVICES. DO NOT SUPPORT SERVICES FROM STEEL DECK.

- 23. ALL ELECTRICAL LINE AND LOW VOLTAGE WIRING WHICH IS TO BE PROVIDED BY THE MECHANICAL CONTRACTOR AS SPECIFIED ELSEWHERE HEREIN SHALL BE RUN IN EMT CONDUIT TO STANDARDS OF THE ELECTRICAL DIVISION.
- 24. WARRANTY ALL MATERIAL AND EQUIPMENT FOR A PERIOD OF ONE (1) YEAR AFTER FINAL ACCEPTANCE OF SYSTEM.
- PROVIDE MINIMUM 20 GAUGE DUCT SLEEVES WHERE DUCTS PASS THROUGH MASONRY, CONCRETE OR FIRE RATED ASSEMBLIES. MAINTAIN MINIMUM 25 MM CLEARANCE ALL AROUND OR TO THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. SEAL AT WALL AS INDICATED. WHERE DUCTS PASS THROUGH FIRE RATED WALLS, FLOORS AND PARTITIONS, MAINTAIN FIRE RATING
- 26. ACCESS DOORS PROVIDE ACCESS DOORS TO CONCEALED MECHANICAL EQUIPMENT FOR OPERATING, INSPECTING, ADJUSTING AND SERVICING. FLUSH MOUNTED 600 X 600 MM (24" X 24") FOR BODY ENTRY AND 300 X 300 MM (12" X 12") FOR HAND ENTRY UNLESS OTHERWISE NOTED. DOORS TO OPEN 180°, HAVE ROUNDED SAFETY CORNERS, CONCEALED HINGES, SCREWDRIVER LATCHES AND ANCHOR STRAPS.
- MATERIAL: SPECIAL AREAS SUCH AS TILED OR MARBLE SURFACES: USE STAINLESS STEEL WITH BRUSHED SATIN OR POLISHED FINISH AS DIRECTED BY CONSULTANT. REMAINING AREAS: USE PRIME COATED STEEL. FIRE RATED AREAS: PROVIDE ULC LISTED
- INSTALLATION: LOCATE SO THAT CONCEALED ITEMS ARE ACCESSIBLE. LOCATE SO THAT HAND OR BODY ENTRY (AS APPLICABLE)
- ACCEPTABLE MATERIALS:
- LE HAGE ZURN

IS ACHIEVED.

ACUDOR NAILOR INDUSTRIES INC.

#### PART B DEMOLITION NOTES

1. THIS PROJECT IS ONE OF A RETROFIT NATURE IN PART, AND WHICH WILL REQUIRE SOME DEMOLITION. ALLOW FOR ALL REMEDIAL WORK IN AREAS INDICATED ON THE DRAWINGS AND AS GENERALLY DEFINED IN THE RELEVANT SECTIONS OF THE

- 2. THE SCOPE OF WORK IS ESSENTIALLY THE SELECTED DISCONNECTION AND/OR REMOVAL OF SERVICES AND/OR EQUIPMENT, PIPING, DUCTWORK ETC. AS INDICATED OR REQUIRED TO COMPLETE THE WORK.
- 3. THIS DIVISION IS TO LIAISE WITH THE OWNERS OR CONSULTANT FOR EQUIPMENT BEING REMOVED THAT MAY BE SUITABLE FOR REUSE TO THAT SPECIFIED OR HANDED OVER TO THE OWNER.
- 4. THIS DIVISION TO TAKE FULL RESPONSIBILITY FOR ANY SPECIAL TOOLS OR EQUIPMENT REQUIRED TO DISASSEMBLE OR REMOVE MATERIAL FROM BUILDING.
- 5. THE GENERAL EXECUTION OF THE DEMOLITION IS TO BE CARRIED OUT IN A CLEAN AND EFFICIENT MANNER.
- 6. DEMOLITION OF EXISTING CEILING, WALLS ETC., TO FACILITATE REMOVAL OF EXISTING SERVICES OR EQUIPMENT OR INSTALLATION OF NEW TO BE KEPT TO A MINIMUM AND THEN RESTORED TO MATCH EXISTING.
- 7. ALL OPENINGS OR HOLES CREATED BY REMOVAL OF EXISTING MECHANICAL SYSTEMS WHICH ARE NOT BEING REUSED ARE TO BE
- PATCHED WITH THE SAME MATERIAL SURROUNDING SURFACES.
- 9. WHERE WORK INVOLVES BREAKING INTO OR CONNECTING TO EXISTING SERVICES, CARRY OUT WORK AT TIMES DIRECTED BY THE OWNERS IN AN EXPEDIENT MANNER WITH MINIMUM DISRUPTION TO THE FACILITY AND SYSTEMS DOWNTIME.

8. PROTECT ALL EXISTING FURNISHINGS MATERIALS AND EQUIPMENT. ANY DAMAGE OCCURRING AS A RESULT OF THE WORK OF THIS

- 10. WHERE UNKNOWN SERVICES ARE ENCOUNTERED, IMMEDIATELY ADVISE CONSULTANT AND CONFIRM FINDINGS IN WRITING.
- 11. WHERE THE LOCATION OF ANY SERVICES HAS BEEN SHOWN ON THE PLANS, SUCH INFORMATION IS NOT GUARANTEED. IT IS THIS DIVISION'S RESPONSIBILITY TO VERIFY LOCATIONS, INVERT ELEVATIONS, ETC., IMMEDIATELY AFTER MOVING ON SITE. SHOULD FOR ANY REASON THE INFORMATION OBTAINED NECESSITATES CHANGES IN PROCEDURE OR DESIGN, ADVISE THE CONSULTANT AT ONCE. IF VERIFICATION OF EXISTING CONDITIONS IS NOT DONE AT THE OUTSET AND ANY PROBLEMS ARISE, THE RESPONSIBILITY FOR SAME IS ENTIRELY THIS DIVISION'S.
- 12. DISCONNECT AND/OR REMOVE EQUIPMENT PIPING, DUCTWORK, ETC. AS INDICATED.

DIVISION SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THIS DIVISION.

- 13. CAP AND CONCEAL ALL REDUNDANT AND OBSOLETE CONNECTIONS.
- 14. PROVIDE A LIST OF EQUIPMENT TO BE REMOVED TO THE OWNER, FOR HIS ACCEPTANCE OF SAME. REMOVE ALL EQUIPMENT FROM SITE WHICH THE OWNER DOES NOT RETAIN.
- 15. MAINTAIN EQUIPMENT TO BE RETAINED BY OWNER ON SITE WHERE DIRECTED BY CONSULTANT.
- 16. DEMOLITION OF ALL PARTS OF THE WORK MUST BE COMPLETED WITHIN THE CONFINES OF THE WORK AREA AND IN SUCH A WAY AS THE DUST PRODUCED AND RISK TO INJURY OF WILL NOT ADVERSELY AFFECT THE BUILDING USERS.
- 17. DEMOLISHED AREAS OF THE EXISTING BUILDING WILL REMAIN IN THEIR CURRENT USE IN SOME CASES. DEMOLITION IN THESE AREAS MUST BE KEPT TO THE MINIMUM REQUIRED TO COMPLETE THE WORK.
- 18. DEMOLITION SHALL TAKE PLACE WITHIN AREAS ISOLATED FROM ALL OTHER AREAS WITH APPROPRIATE HOARDING, SCAFFOLDING, NETTING, FENCING OR OTHER MEANS OF SECURITY BETWEEN BUILDING USERS AND THE WORK.
- 19. CO-ORDINATE MAKING SAFE ELECTRICAL DEVICES, CAPPING PLUMBING AND REMOVAL OF FIXTURES PRIOR TO COMMENCEMENT OF
- 20. ALL PIPING AND EQUIPMENT TO BE REMOVED AND/OR ABANDONIED SHALL BE DRAINED PRIOR TO CAPPING AND/OR ABANDONING.

DISPOSAL OF ALL LIQUIDS SHALL BE TO THE APPROVAL OF AUTHORITY OF HAVING JURISDICTION AND/OR PROVÍNCIAL

21. DRAIN ALL EXISTING PIPING AND DRAINAGE SYSTEMS INCLUDING ALL RELATED EQUIPMENT AS REQUIRED TO FACILITATE SYSTEM

# PART C HEATING, AIR CONDITIONING, AND VENTILATION NOTES

1. DUCTWORK TO BE CONSTRUCTED TO SMACNA STANDARDS, MEDIUM STATIC PRESSURE WITH LEAKAGE RATE OF 5% MAXIMUM. FABRICATED IN ACCORDANCE WITH RECOMMENDATIONS OF SMACNA AND ASHRAE. SEAL ALL TRANSVERSE AND LONGITUDINAL JOINTS WITH DUCT SEALER.

22. DISPOSAL OF EXISTING SYSTEM SHALL BE TO THE REQUIREMENTS OF THE LOCAL AND/OR PROVINCIAL REGULATIONS.

- 2. DUCT CONSTRUCTION:
- ROUND AND OVAL: DUCTS: FACTORY FABRICATED, SPIRAL WOUND, WITH MATCHING FITTINGS AND SPECIALS TO SMACNA. TRANSVERSE JOINTS UP TO 900 MM (36"): SLIP TYPE WITH TAPE AND SEALANTS.
- 3. SQUARE AND RECTANGULAR:
- DUCT: TO SMACNA. TRANSVERSE JOINTS, LONGEST SIDE:UP TO AND INCLUDING 750 MM (30"): SMACNA PROPRIETARY DUCT SHOWER EXHAUST ALUMINUM: TO ASHRAE AND SMACNA. ALUMINUM TYPE: 3003-H-14.
- THICKNESS, FABRICATION AND REINFORCEMENT: TO ASHRAE AND SMACNA OR AS INDICATED. JOINTS: TO ASHRAE AND SMACNA
- ACCEPTABLE MATERIAL: DUCTMATE CANADA LTD.
- 4. DAMPERS
  - SPLITTER DAMPERS WITH CONTROL ROD WITH LOCKING DEVICE ON EXTERIOR OF DUCT. DAMPERS TO BE SINGLE THICKNESS ONE GAUGE HEAVIER THAN CUT AIRFOIL SHAPE DOUBLE THICKNESS ONE GAUGE HEAVIER THAN DUCT. BALANCING SINGLE BLADE BALANCING DAMPERS WITH LOCKING QUADRANT. ROUND BALANCING DAMPERS TO BE 1/16" THICK. RECTANGULAR BALANCING DAMPERS TO BE 1/16" THICK. MULTI-LEAF OPPOSED BLADE DAMPERS DESIGNED TO SMACNA DETAILS WITH LOCKING QUADRANT. MANUFACTURED ADJUSTABLE EXTRACTORS TO BE WITH ADJUSTMENT ROD. ACCEPTABLE PRODUCTS: TITUS, NAILOR APPROVED DAMPERS OF THICKNESS' AND TYPES OF CONSTRUCTION IN ACCORDANCE WITH SMACNA DUCT CONSTRUCTION STANDARDS.

- 5. GRILLES/DIFFUSERS
- GRILLES/DIFFUSERS SHALL BE THE SAME MANUFACTURER. TYPE AS SHOWN ON THE DRAWING ACCEPTABLE MATERIALS: KRUEGER, E.H. PRICE, TITUS, NAILOR, TUTTLE & BAILEY, METALAIR.
- RIGID DUCT LINER 1" THICK 36 KG/M WITH NEOPRENE LINER GLUED AND PINNED TO INSIDE SURFACE OF DUCTWORK. MINIMUM 3.0M (10') FROM ALL AIR HANDLERS AND WHERE SHOWN ON DRAWINGS. SEAL ALL EXPOSED EDGES. DUCT SIZING REPRESENTS CLEAR INSIDE DIMENSIONS.
- 7. DUCTWORK INSULATION
- ON THE LAST 5'-0" OF ALL EXHAUST DUCTS, SUPPLY AIR DUCTS, PLENUM AND ALL AIR INTAKE DUCTWORK. FIBERGLASS FOIL FACED RIGID DUCT INSULATION 1" THICK TYPE PF-335-3/4 LB. DENSITY WITH RFFRK FACING. GLUE AND PIN AS PER MANUFACTURERS RECOMMENDATIONS.
- 8. SYSTEM BALANCING
- BALANCE AIR AND WATER SYSTEMS USING NEBB CERTIFIED FIRM AND AS PER NEBB REQUIREMENTS TO WITHIN 5% OF TOTAL SYSTEM CAPACITY. PROVIDE 3 COPIES OF BALANCING REPORTS C/W SYSTEM SCHEMATICS.

#### PART D SPRINKLER NOTES

- CONNECT TO EXISTING SERVICES WHERE SHOWN ON DRAWINGS
- 2. CODES AND REGULATIONS
- ALL SPRINKLER PIPING, SPACING AND EQUIPMENT SHALL CONFORM TO THE ONTARIO BUILDING CODE, NFPA-13 AND THE AUTHORITIES HAVING JURISDICTION.
- PIPING SHALL BE TESTED TO NFPA-13 REQUIREMENTS.
- PRODUCTS
- PIPE AND FITTINGS: 50 MM (2") AND SMALLER: SCHEDULE 40 STEEL PIPE WITH SCREWED FITTINGS.
- 65 MM (2 1/2") AND LARGER: SCHEDULE 10 STEEL PIPE WITH VICTAULIC FITTINGS.
- ULC LISTED FOR FIRE PROTECTION SERVICES.
- SPRINKLER HEADS:
- GENERAL: TO NFPA-13 AND ULC LISTED FOR FIRE SERVICES.
- SPRINKLER HEADS SHALL BE FULLY CONCEALED WITH WHITE COVER. VIKING MODEL B-1 OR EQUAL. COORDINATE LOCATION WITH REFLECTED CEILING PLANS. RELOCATE EXISTING SPRINKLER HEADS AS INDICATED. INSTALL IN EXISTING CEILING.
- 6. ENGINEERING DESIGN CRITERIA
- DESIGN SYSTEM IN ACCORDANCE WITH ONTARIO FIRE MARSHALL, LOCAL AUTHORITY HAVING JURISDICTION, OWNERS, UNDERWRITERS AS REQUIRED, AND NFPA 13, USING FOLLOWING PARAMETERS: HAZARD TO SUIT OCCUPANCY.
- PIPE SIZE AND LAYOUT: HYDRAULIC DESIGN OR PIPE SCHEDULE SIZING DESIGN.
- SPRINKLER HEAD LAYOUT: TO NFPA 13 OR AS DIRECTED BY AUTHORITIES HAVING JURISDICTION, AND/OR AS INDICATED.
- CONDUCT FLOW AND PRESSURE TEST OF WATER SUPPLY IN VICINITY OF PROJECT TO OBTAIN CRITERIA FOR BASES OF DESIGN IN ACCORDANCE WITH NFPA 13. INDICATE LOCATION AND FLOW ON SHOP DRAWINGS.
- SYSTEM ZONING AS INDICATED IN ACCORDANCE WITH NFPA 13.
- 9. PROVIDE COMPLETE DRAWINGS AND CALCULATIONS STAMPED BY A QUALIFIED PROFESSIONAL ENGINEER REGISTERED IN THE
- 10. PROFESSIONAL ENGINEER SHALL PROVIDE ON SITE REVIEW AND CERTIFICATION FOR LOCAL BUILDING CODE REVIEW.
- 11. INSTALLATION
- INSTALL, INSPECT AND TEST TO ACCEPTANCE IN ACCORDANCE WITH ANSI/NFPA-13. TESTING TO BE WITNESSED BY AUTHORITY HAVING JURISDICTION. SPACE HANGERS AND SUPPORT OF SPRINKLER PIPING IN ACCORDANCE WITH NFPA REGULATIONS. PROTECT EXPOSED WORK. DO NOT COVER OR CONCEAL PIPING ACCESSORIES OR WORK PRIOR TO INSPECTION AND APPROVAL BY AUTHORITIES HAVING JURISDICTION. ADJUST EQUIPMENT TO SATISFACTION OF AUTHORITY HAVING JURISDICTION AND CONSULTANT. PROTECT EQUIPMENT DURING PAINTING. REPLACE DAMAGED AND PAINTED COMPONENTS. COORDINATE THE SPRINKLER PIPING AND EQUIPMENT WITH THAT OF OTHER TRADES ON THE JOB. MAINS AND BRANCHES SHALL BE RUN SO AS NOT TO INTERFERE WITH BUILDING'S STRUCTURE, MECHANICAL OR ELECTRICAL INSTALLATIONS, GUARANTEE THAT THE SYSTEMS AND EQUIPMENT BE INSTALLED IN ACCORDANCE WITH ALL LOCAL AND PROVINCIAL BY-LAWS AND THE RULES AND REGULATIONS OF THE INSURANCE UNDERWRITERS AND THE BUILDING CODE OF ONTARIO.
- 12. WATER FLOW TEST

PRFVFNTOR

PROVIDE A FLOW TEST TO APPROVAL OF LOCAL FIRE DEPARTMENT AND LOCAL WATER COMMISSION AT NEAREST FIRE HYDRANT ADJACENT TO BUILDING TO DETERMINE WATER FLOW RATE AND PRESSURE. PROVIDE WRITTEN TEST RESULTS WITH SHOP DRAWING PROVIDE A FORWARD FLOW TEST THRU THE BYPASS TO PROVE SYSTEM DEMAND CAN BE PROVIDED THRU THE BACKFLOW

The drawings show general arrangement of services. Follow a closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work. The drawings do not indicate all offsets fitting and accesso which may be required. Provide the same to meet the

The contractor shall verify all dimensions and report all erro and discrepancies to the Consultant before commencement (

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MECHANICAL | ELECTRICAL | AQUATIC

55 Northland Road, Waterloo, ON N2V 1Y8 Phone: 519-725-3555 Website: deiassociates.ca

Project Number: 23286

Service Counter at Cassie Campbell Renovations

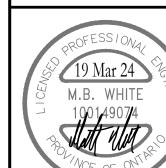
1050 Sandalwood Pkwy W, Brampton, On L74 0K9

**MECHANICAL SPECIFICATIONS** 

MAR 19,2024 ISSUED FOR TENDER

DATE

MAR 04,2024 ISSUED FOR 90% REVIEW



JOB NO. 2336

AS NOTED

MARCH 2024

REVISIONS

DRAWING

SCALE

MOFFET 8 DUNCAN

FAX:

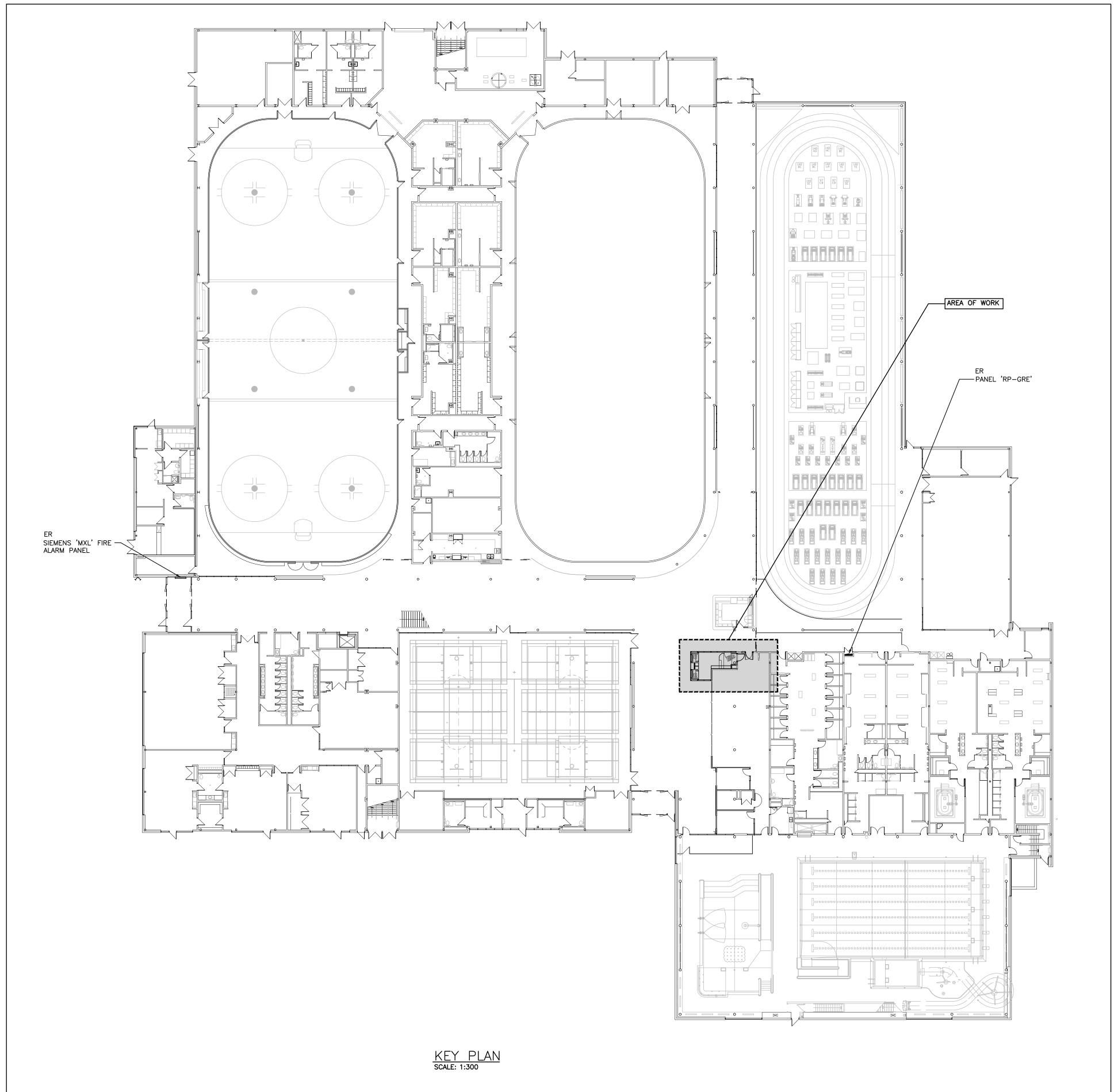
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mdarch@mdarch.ca

March 19, 2024



|                                                                 | LIGHTING                                                                        | POWER                                                  |                                                                                |  |
|-----------------------------------------------------------------|---------------------------------------------------------------------------------|--------------------------------------------------------|--------------------------------------------------------------------------------|--|
| Ø Ø                                                             | CEILING OR WALL MOUNTED LIGHT<br>FIXTURE TYPE AS INDICATED                      | P                                                      | WALL MOUNTED RECEPTACLE (15A-120V)                                             |  |
| 199(1                                                           | CEILING MOUNTED EXIT LIGHT<br>ARROWS DENOTE DIRECTION SHADING<br>INDICATES FACE | •                                                      | WALL MOUNTED T-SLOT RECEPTA<br>(20A-120V)                                      |  |
| a a                                                             | SINGLE OR TWIN EMERGENCY<br>LIGHTING FIXTURE                                    | #                                                      | T-SLOT RECEPTACLE MTD. ABOV<br>COUNTER (20A-120V)                              |  |
| <b>22</b> 54_4                                                  | BATTERY UNIT WITH INTEGRAL EMERGENCY FIXTURE (EM-X INDICATES BATTERY UNIT       |                                                        | PANEL AS INDICATED                                                             |  |
| EM-X<br>DC-X<br>X-X                                             | TYPE, DC-X INDICATES DC CIRCUIT, AND X-X INDICATES AC SOURCE CIRCUIT)           | •                                                      | PUSH-BUTTON STATION (QUANTIT<br>OF BUTTONS AS PER PLANS)                       |  |
|                                                                 | FIRE ALARM                                                                      | <b>©</b>                                               | DIRECT CONNECTION                                                              |  |
| RL                                                              | PULLSTATION (RL DENOTES C/W<br>RELAY BASE)                                      | SECURITY                                               |                                                                                |  |
|                                                                 | COMMUNICATIONS                                                                  | \sqrt{C}                                               | CEILING MOUNTED CAMERA                                                         |  |
| <b>V</b> #/#                                                    | MANAGEMENT SYSTEM. # INDICATES THE                                              |                                                        | DOOR CONTACT C/W 19mmC TO<br>NEAREST SECURITY JUNCTION BO<br>(REFER TO DETAIL) |  |
| VOICE                                                           |                                                                                 |                                                        | HOLD-UP/PANIC PUSHBUTTON C<br>13mmC TO NEAREST SECURITY<br>JUNCTION BOX.       |  |
| 8                                                               | CEILING MOUNTED SPEAKER                                                         | RTX                                                    | REQUEST TO EXIT DEVICE                                                         |  |
| M                                                               | MICROPHONE OUTLET C/W 1" (27mm) CONDUIT TO PA SYSTEM HEAD END EQUIPMENT.        |                                                        | ACCESS CONTROL                                                                 |  |
|                                                                 | GENERAL                                                                         | ML                                                     | MAG LOCK                                                                       |  |
| ER                                                              | INDICATED EXISTING ITEM TO REMAIN                                               | ES                                                     | ELECTRIC STRIKE. CONFIRM ROUG<br>WITH DOOR HARDWARE.                           |  |
| D                                                               | D INDICATES EXISTING ITEM TO BE DELETED                                         |                                                        | CARD/FOB READER ROUGH-IN AS<br>SINGLE GANG BOX AT 1100mm                       |  |
| R INDICATES EXISTING ITEM TO BE RELOCATED/IN RELOCATED POSITION |                                                                                 | ST                                                     | ANDARD CIRCUIT LABELING                                                        |  |
| CLG                                                             | CLG CEILING MOUNTED                                                             |                                                        | PANEL LABEL                                                                    |  |
| X                                                               | NOTE INDICATOR                                                                  | POWER PANEL LABEL ———————————————————————————————————— |                                                                                |  |

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and discrepancies to the Consultant before commencement of the work.

The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.

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# Consulting Engineers MECHANICAL | ELECTRICAL | AQUATIC

55 Northland Road, Waterloo, ON N2V 1Y8 Phone: 519-725-3555 Website: deiassociates.ca Project Number: 23286

MAR 19,2024 ISSUED FOR TENDER

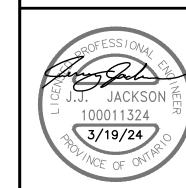
MAR 04,2024 ISSUED FOR 90% REVIEW

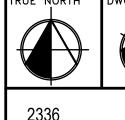
Service Counter at Cassie Campbell Renovations

REVISIONS

KEY PLAN AND LEGEND

1050 Sandalwood Pkwy W, Brampton, On L74 0K9





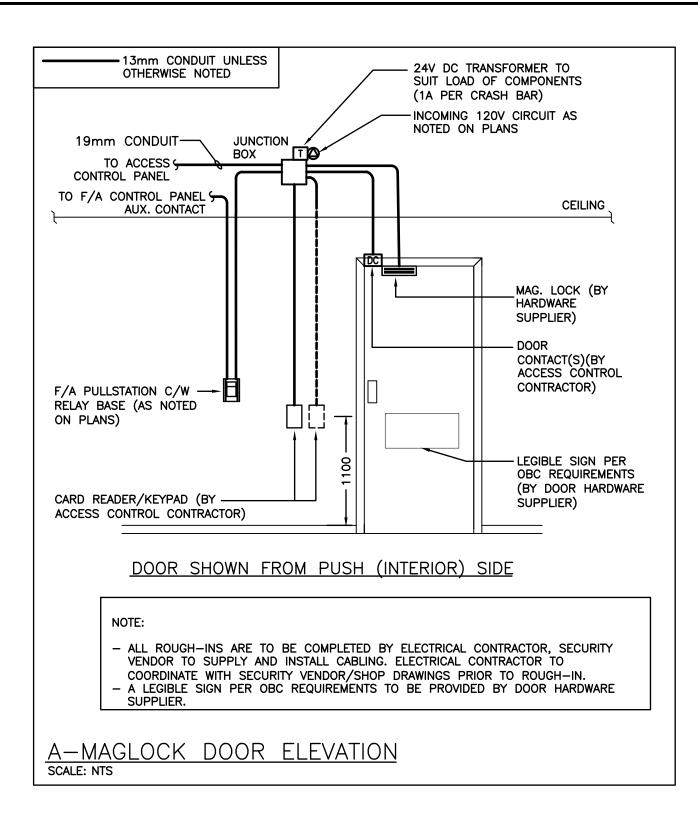
MARCH 2024

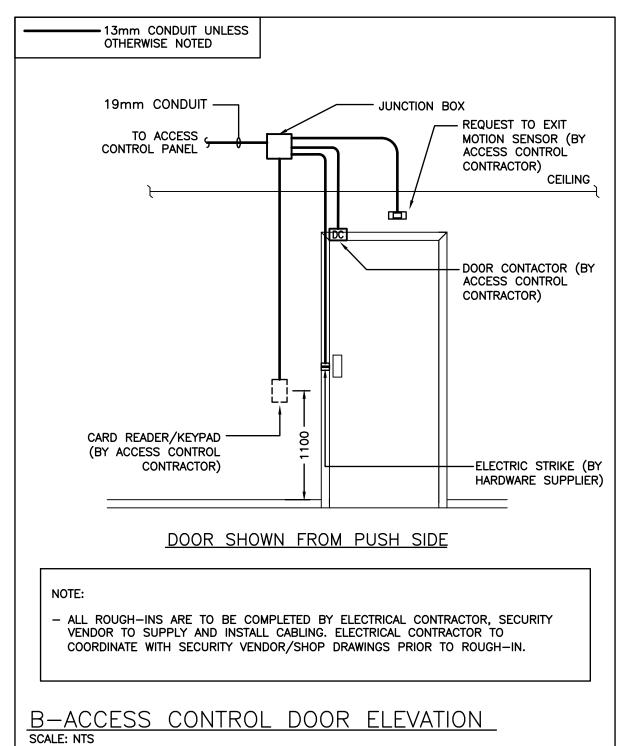
March 19, 2024

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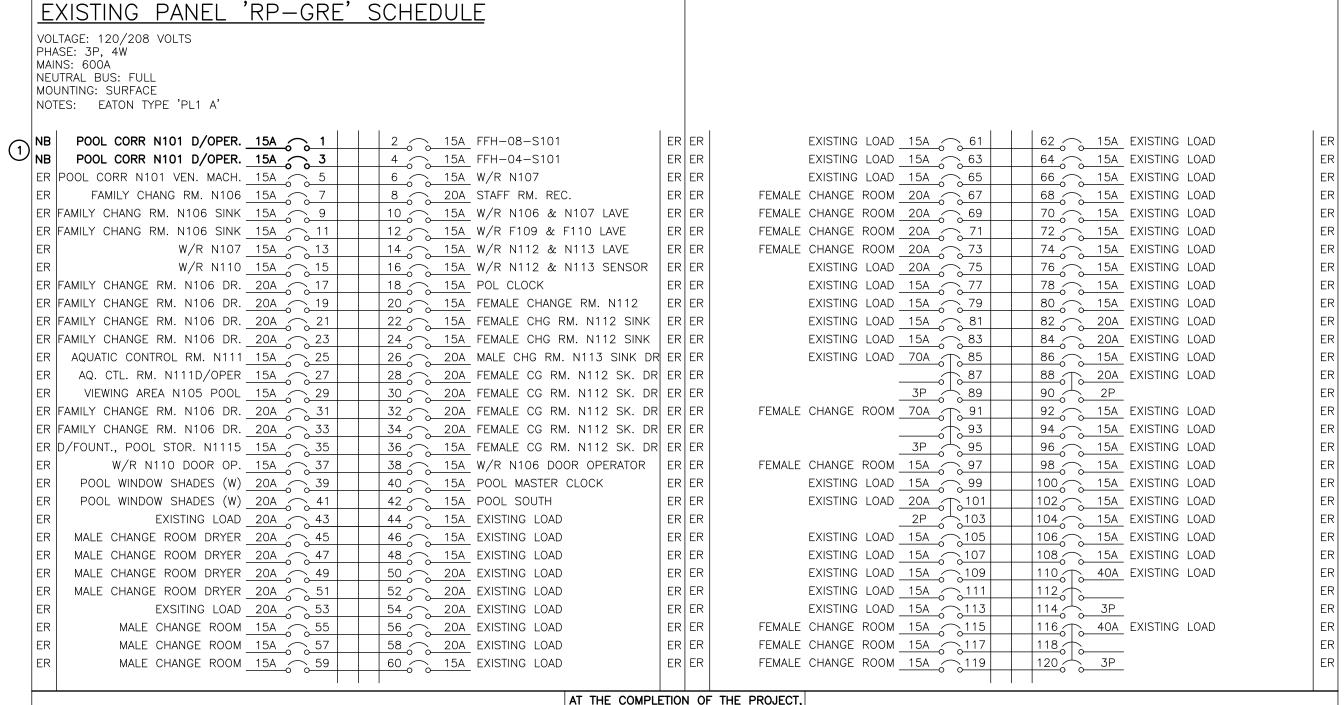
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| LIC              | GHT FIXTURE SCHEDULE                                                                                                                                     |          |                     |          |     |          |                                                                                                                                                                           |
|------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------|----------|---------------------|----------|-----|----------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Item             | Manufacturer/Catalog Number                                                                                                                              | Voltage  | Lamp                | Mounting | CRI | Listings | Description                                                                                                                                                               |
| A                | KUZCO LIGHTING CAT. #WV342105MWHL                                                                                                                        | 120V     | E26<br>60W          | WALL     | N/A | N/A      | WIDTH 5-5/8" X HEIGHT 11-1/2" AND 29 1/4" EXTENSION E26 LAMP BASE WALL MOUNTED LIGHT FIXTURE C/W STEEL SPUN SHADE.                                                        |
| EMERG.<br>LIGHTS | AIMLITE CAT. #RMSM212V4WLJWHT<br>STANPRO CAT. #N2-06-12V4WLJWH<br>LUMACELL CAT. #MQM2LD7                                                                 | 12V      | LED<br>2-4W<br>MR16 | SURFACE  | N/A | N/A      | TWIN HEAD LED REMOTE MR16 FIXTURE C/W COMPACT DESIGN, THERMOPLASTIC CONSTRUCTION, WHITE COLOUR, FULL AIMING ADJUSTMENT, AND 360° ROTATION.                                |
| EMERG.<br>BATT.  | AIMLITE #EBST12 SERIES: EM-1 #EBST12036-2SM4WLRWHT-ATD STANPRO CAT. #SLX12 SERIES EM-1 #SLA12036-2N4LJ/AT LUMACELL CAT. #RGS SERIES EM-1 #RG12S361LD7ATN | 12V/120V | LED<br>2-4W<br>MR16 | SURFACE  | N/A | N/A      | LONG LIFE, SEALED RECHARGABLE BATTERY PROVIDING MINIMUM EMERGENCY WATAGE AS NOTED BY THE CATALOGUE NUMBER C/W MICRO SIZE 12V 4W (MINIMUM) LED HEADS AND AUTOTEST FEATURE. |



PROVIDE A NEW TYPEWRITTEN PANEL

DIRECTORY AND INCLUDE A COPY IN THE MAINTENANCE MANUALS

PROPOSED PANEL 'RP-GRE' SCHEDULE

'ER' INDICATES EXISTING SERVICE AND BREAKER THAT SHOULD REMAIN UNTOUCHED

'SB' INDICATES SPARE BREAKER TO BE USED FOR NEW SERVICE INDICATED.

'SP' INDICATES EXISTING BREAKER THAT MAY BECOME SPARE DUE TO DEMOLITION. (CONFIRM ON SITE)
'RW' INDICATES EXISTING BREAKER THAT SHOULD BE REWIRED TO SERVICE DEVICES INDICATED ON PLAN

'NB' INDICATES NEW BREAKER AND WIRING TO SERVICE INDICATED. PROVIDE MOUNTING HARDWARE AS

'D' INDICATES EXISTING BREAKER TO BE REMOVED COMPLETE. PROVIDE FILLER PLATES AS REQUIRED.

EXISTING LOAD 15A 61 62 15A EXISTING LOAD POOL CORR N101 D/OPER. 15A 1A 2 15A FFH-08-S101 POOL CORR N101 D/OPER. 15A 1B EXISTING LOAD 15A 63 64 15A EXISTING LOAD COUNTER REC 15A 3 ER ER EXISTING LOAD 15A 65 66 15A EXISTING LOAD 4 15A FFH-04-S101 NB POOL CORR N101 VEN. MACH. 15A 5 6 15A W/R N107
ADMIN DOOR OPER. 15A 5B l er l er l FEMALE CHANGE ROOM 20A 67 68 15A EXISTING LOAD ADMIN DOOR OPER. 15A 5B FAMILY CHANG RM. N106 15A 7 FEMALE CHANGE ROOM 20A 69 | 70 15A EXISTING LOAD 8 20A STAFF RM. REC. ER ER ER FAMILY CHANG RM. N106 SINK 15A 9 10 15A W/R N106 & N107 LAVE ER ER FEMALE CHANGE ROOM 20A 71 72 15A EXISTING LOAD FEMALE CHANGE ROOM 20A 73 74 15A EXISTING LOAD EXISTING LOAD 20A 75 76 15A EXISTING LOAD 

 ER FAMILY CHANG RM. N106 SINK
 15A
 11
 12
 15A
 W/R F109 & F110 LAVE

 ER
 W/R N107
 15A
 13
 14
 15A
 W/R N112 & N113 LAVE

 ER ER ER ER W/R N110 15A 15 | 16 15A W/R N112 & N113 SENSOR | ER | ER | EXISTING LOAD 15A 77 78 15A EXISTING LOAD ER ER ER FAMILY CHANGE RM. N106 DR. 20A 17 18 15A POL CLOCK EXISTING LOAD 15A 79 80 15A EXISTING LOAD ER FAMILY CHANGE RM. N106 DR. 20A 19 20 15A FEMALE CHANGE RM. N112 ER ER FAMILY CHANGE RM. N106 DR. 20A 21 22 15A FEMALE CHG RM. N112 SINK ER ER EXISTING LOAD 15A 81 82 20A EXISTING LOAD EXISTING LOAD 15A 83 84 20A EXISTING LOAD ER FAMILY CHANGE RM. N106 DR. 20A 23 | 24 15A FEMALE CHG RM. N112 SINK ER ER EXISTING LOAD 70A 85 86 15A EXISTING LOAD ER | AQUATIC CONTROL RM. N111 15A 25 | 26 20A MALE CHG RM. N113 SINK DR ER ER 87 88 20A EXISTING LOAD 89 90 2P ER AQ. CTL. RM. N111D/OPER 15A 27 28 20A FEMALE CG RM. N112 SK. DR ER ER VIEWING AREA N105 POOL 15A 29 30 20A FEMALE CG RM. N112 SK. DR ER ER FEMALE CHANGE ROOM 70A 91 92 15A EXISTING LOAD ER FAMILY CHANGE RM. N106 DR. 20A 31 32 20A FEMALE CG RM. N112 SK. DR ER ER 93 94 15A EXISTING LOAD ER FAMILY CHANGE RM. N106 DR. 20A 33 34 20A FEMALE CG RM. N112 SK. DR ER ER 95 96 15A EXISTING LOAD FEMALE CHANGE ROOM 15A 97 98 15A EXISTING LOAD EXISTING LOAD 15A 99 100 15A EXISTING LOAD 

 ER D/FOUNT., POOL STOR. N1115
 15A
 35
 36
 15A
 FEMALE CG RM. N112 SK. DR ER ER

 ER
 W/R N110 DOOR OP.
 15A
 37
 38
 15A
 W/R N106 DOOR OPERATOR ER ER

 EXISTING LOAD 20A 101 102 15A EXISTING LOAD ER POOL WINDOW SHADES (W) 20A 39 40 15A POOL MASTER CLOCK ER ER ER ER ER POOL WINDOW SHADES (W) 20A 41 42 15A POOL SOUTH 2P 103 104 15A EXISTING LOAD EXISTING LOAD 15A 105 106 15A EXISTING LOAD EXISTING LOAD 15A 107 108 15A EXISTING LOAD EXISTING LOAD 15A 109 110 40A EXISTING LOAD ER EXISTING LOAD 20A 43 44 15A EXISTING LOAD ER MALE CHANGE ROOM DRYER 20A 45 46 15A EXISTING LOAD ER ER ER ER ER ER ER MALE CHANGE ROOM DRYER 20A 47 48 15A EXISTING LOAD ER ER ER MALE CHANGE ROOM DRYER 20A 49 50 20A EXISTING LOAD EXISTING LOAD 15A 111 112 ER MALE CHANGE ROOM DRYER 20A 51 52 20A EXISTING LOAD EXSITING LOAD 20A 53 54 20A EXISTING LOAD EXISTING LOAD 15A 113 114 3P

FEMALE CHANGE ROOM 15A 115 116 40A EXISTING LOAD ER ER ER ER FEMALE CHANGE ROOM 15A 117 118 ER ER MALE CHANGE ROOM 15A 55 56 20A EXISTING LOAD ER ER MALE CHANGE ROOM 15A 57 58 20A EXISTING LOAD FEMALE CHANGE ROOM 15A 119 120 3P MALE CHANGE ROOM 15A 59 60 15A EXISTING LOAD ER ER NOTES: THIS CONTRACTOR IS TO INVESTIGATE BREAKERS AND REVISE PANEL SCHEDULES TO SUIT **DESIGNATION** 

RENOVATION, NOTING ANY BREAKERS THAT BECOME SPARE DUE TO DEMOLITION. THIS CONTRACTOR IS ALSO TO NOTIFY THE CONSULTANT OF ANY BREAKERS THAT ARE INDICATED TO BE DEMOLISHED OR REUSED, BUT WHICH ARE IN USE BY OTHER DEVICES OR SERVICES.

1. REMOVE EXISTING BREAKER AND PROVIDE NEW 1/2 HEIGHT STYLE BREAKERS TO SUIT.

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.

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The drawings do not indicate all offsets fitting and accessorie which may be required. Provide the same to meet the required conditions.

required conditions.

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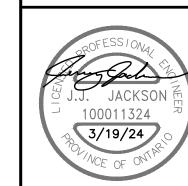
ELECTRICAL DETAILS AND PANEL SCHEDULES

Service Counter at Cassie Campbell Renovations

1050 Sandalwood Pkwy W, Brampton, On L74 0K9

MAR 19,2024 ISSUED FOR TENDER

MAR 04,2024 ISSUED FOR 90% REVIEW



JOB NO.
2336
SCALE

**REVISIONS** 

MOFFET & DUNCAN architects inc.

MARCH 2024

March 19, 2024

AS NOTED

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FAX: (416) 239-6729
EMAIL: mdarch@mdarch.ca

#### **ELECTRICAL SPECIFICATION**

#### GENERAL NOTES

- .1 PROVIDE LABOUR MATERIAL AND EQUIPMENT REQUIRED TO PROVIDE A COMPLETE INSTALLATION WITH QUALITY WORKMANSHIP ACCEPTABLE TO THE OWNER, ARCHITECT AND CONSULTANT.
- .2 OBTAIN ALL PERMITS AND PAY ALL TAXES, FEES AND OTHER COSTS INCURRED WITH THIS WORK. FILE ALL PLANS. OBTAIN NECESSARY APPROVALS, CERTIFICATES AND INSPECTIONS. SUBMIT ALL FINAL CERTIFICATES TO THE CONSULTANT.
- .3 COMPLY WITH RULES AND RECOMMENDATIONS OF THE BOARD OF UNDERWRITERS, ELECTRICAL SAFETY AUTHORITY, THE CANADIAN STANDARDS ASSOCIATION AND ALL REQUIREMENTS OF THE LOCAL UTILITY.
- .4 VISIT THE SITE BEFORE SUBMITTING TENDERS TO EVALUATE ANY SITE CONDITIONS THAT MIGHT ARISE. INCLUDE ALL SITE CONDITIONS IN TENDER, EXTRAS WILL NOT BE ACCEPTED UNLESS BELIEVED TO BE REASONABLE BY THE OWNER AND
- .5 CUTTING AND PATCHING SHALL BE BY THE CONTRACTOR REQUIRING TO INSTALL THE SERVICE.
- THE DRAWINGS ARE DIAGRAMMATIC, THE SERVICES SHALL BE INSTALLED TO CONSERVE HEADROOM AND INTERFERE AS LITTLE AS POSSIBLE WITH THE FREE USE OF THE SPACES THROUGH WHICH THEY PASS.
- SUBMIT COPIES OF SHOP DRAWINGS AS PDF FILES VIA EMAIL FOR ALL MAJOR EQUIPMENT. THESE WILL BE REVIEWED BY THE CONSULTANT. RESUBMIT AS OFTEN AS MAY BE FOUND NECESSARY.
- .8 PROVIDE ALL NECESSARY PROTECTION FOR FINISHED OR UNFINISHED WORK. ALL OPENINGS IN CONDUITS, DUCTS AND EQUIPMENT
- .9 MAINTAIN INSURANCE TO FULLY PROTECT THE CONTRACTOR, OWNER AND CONSULTANT FROM ANY AND ALL CLAIMS SUCH AS UNDER THE WORKMEN'S COMPENSATION ACT, ETC. POST PROJECT NOTIFICATION AT THE SITE IN ACCORDANCE WITH THE MINISTRY
- .10 PROVIDE STRUCTURAL SUPPORTS, PLATFORMS, SUPPORTING RODS, HANGERS, INSERTS AND BRACKETS FOR EQUIPMENT AND SERVICES. DO NOT SUPPORT SERVICES FROM STEEL DECK.
- .11 INSTRUCT THE OWNER'S STAFF IN THE CARE, MAINTENANCE AND OPERATION OF THE SYSTEMS.

SHALL BE CAPPED TO ENSURE SERVICES ARE KEPT CLEAN WHEN NOT IN USE.

- .12 WARRANTY ALL LABOUR, MATERIAL AND EQUIPMENT FOR A PERIOD OF ONE (1) YEAR AFTER FINAL ACCEPTANCE OF SYSTEM.
- .13 COORDINATE WITH OTHER CONTRACTORS INSTALLING EQUIPMENT OR MATERIAL AND ARRANGE EQUIPMENT IN PROPER RELATION WITH APPARATUS OF ALL OTHER TRADES.
- .14 PROVIDE LAMICOID TAGS FOR IDENTIFICATION OF NEW EQUIPMENT ADDED.
- .15 MOUNTING HEIGHTS SHALL BE AS FOLLOWS FROM FINISHED FLOOR TO CENTERLINE OF DEVICE/EQUIPMENT (UNLESS OTHERWISE
- WALL RECEPTACLES:
- GENERAL: 400mm (16")
- ABOVE TOP OF COUNTERS: 100mm (4") TELEPHONE OUTLETS: 400mm (16")
- VOICE/DATA OUTLETS: 400mm (16")
- FIRE ÁLARM STATIONS: 1200mm (48") FIRE ALARM SIGNAL DEVICES: 2250mm (7'-6")
- FIRE ALARM STROBES: 2250mm (7'-6")
- .16 ALL AREAS NOT AFFECTED BY RENOVATION OR DEMOLITION SHALL REMAIN AS PRESENTLY INSTALLED UNLESS OTHERWISE NOTED.
- .17 ALL EXISTING ELECTRICAL DEVICES, OUTLET BOXES, ETC., NOT SHOWN ON DRAWINGS OR MENTIONED IN THE FOLLOWING NOTES
- AND INSTALLED IN WALLS SLATED FOR DEMOLITION, SHALL BE DISCONNECTED AND REMOVED COMPLETELY IN ALL RESPECTS. .18 SUBMIT ONE COPY OF OPERATING AND MAINTENANCE INSTRUCTIONS IN A THREE RING BINDER LABELED FOR THE PROJECT
- COMPLETE WITH ITEMIZED SECTIONS CONTAINING PROJECT DATA, SHOP DRAWINGS, ETC. UPON ACCEPTANCE OF THE OPERATION AND MAINTENANCE MANUAL BY THE CONSULTANT PROVIDE TWO ADDITIONAL COPIES BOUND IN SEPARATE THREE RING BINDERS. A PDF FILE OF THE ENTIRE MANUAL IS TO BE PROVIDED ON A USB STICK. ONLY ONE USB STICK IS TO BE PROVIDED CONTAINING BOTH THE APPROVED MANUALS AND RECORD DRAWINGS.
- .19 CONTRACTOR SHALL PROVIDE 2 SETS OF REPRODUCIBLE ELECTRICAL DRAWINGS. MARK THEREON ALL CHANGES AS WORK PROGRESSES AND AS CHANGES OCCUR. THIS SHALL INCLUDE FIELD AND CONTRACT CHANGES TO ELECTRICAL SYSTEMS. IDENTIFY EACH DRAWING IN LOWER RIGHT HAND CORNER IN LETTERS AT LEAST 3mm (1/8") HIGH AS FOLLOWS: - "RECORD DRAWINGS: THIS DRAWING HAS BEEN REVISED TO SHOW ELECTRICAL SYSTEMS AS INSTALLED. (SIGNATURE OF CONTRACTOR)(DATE)". SUBMIT HARD COPY TO CONSULTANT FOR APPROVAL. WHEN RETURNED, MAKE CORRECTIONS (IF ANY) AS DIRECTED. ONCE APPROVED, SUBMIT COMPLETED REPRODUCIBLE PAPER RECORD DRAWINGS AS WELL AS A SCANNED PDF COPY FILE ON USB STICK WITH OPERATING AND MAINTENANCE MANUALS.
- .20 CONTRACTOR SHALL PROVIDE RED LINE RECORD DRAWINGS OF EACH AND EVERY ELECTRICAL DRAWING FOR DEI CONSULTING ENGINEERS TO CAD THE RECORD DRAWINGS. THE CAD DRAWING FILES WILL BE PROVIDED TO THE OWNER AS PART OF THE
- .21 THE CONTRACTOR IS TO DETERMINE GENERAL INSPECTION FEES WITH THE ELECTRICAL SAFETY AUTHORITY AND INCLUDE AS PART OF TENDER.

#### **BASIC MATERIALS**

- .1 JUNCTION, OUTLET AND PULL BOXES MUST BE APPROVED TO SUIT INSTALLATION METHODS AND ENVIRONMENT.
- .2 CONDUIT MUST BE CONCEALED UNLESS INSTALLED IN SERVICE OR STORAGE ROOMS.
- .3 CONDUIT MUST BE INSTALLED PARALLEL AND PERPENDICULAR TO BUILDING LINES IN A NEAT AND WORKMANLIKE MANNER.
- ALL FEEDER AND BRANCH CIRCUIT WIRING MUST BE COPPER, T90 RATING/STYLE RUN IN EMT CONDUIT WITH INTERNAL INSULATED GREEN GROUND WIRE UNLESS NOTED OTHERWISE. MINIMUM WIRE SIZE SHALL BE #12 AND MINIMUM CONDUIT SIZE SHALL BE
- .5 AC90 CABLE MAY BE USED FOR BRANCH CIRCUIT WIRING IN STEEL STUD WALLS AND "DROPS" IN T-BAR CEILING AREAS TO LIGHT FIXTURES AND FIRE ALARM DEVICES. LENGTH OF DROP MUST BE LIMITED TO 8'-0" (2400mm).
- WHERE DEVICES ARE TO BE INSTALLED ON EXISTING WALLS IN FINISHED AREA, WHICH CANNOT BE FISHED, INSTALL FEEDS IN A SURFACE METAL RACEWAY EQUAL TO WIREMOLD V700 SERIES.
- .7 COLOUR CODE CONDUITS, BOXES AND METALLIC SHEATHED CABLES.
- .8 CODE WITH PLASTIC TAPE OR PAINT AT POINTS WHERE CONDUIT OR CABLE ENTERS WALL, CEILING, OR FLOOR, AND AT 15m(45')
- .9 COLOUR BANDS MUST BE 25mm(1") WIDE AND CODED AS FOLLOWS FOR NOTED SYSTEMS.
- FIRE ALARM
- .10 THIS CONTRACTOR MUST PAINT ALL SYSTEM JUNCTION BOXES AND COVERS IN CONFORMANCE WITH THE ABOVE SCHEDULE.

# DRAW BREAKDOWN

- .1 THIS CONTRACTOR MUST SUBMIT A BREAKDOWN OF THE TENDER PRICE INTO CLASSIFICATIONS TO THE SATISFACTION OF THE CONSULTANT, WITH THE AGGREGATE OF THE BREAKDOWN TOTALING THE TOTAL CONTRACT AMOUNT. EACH ITEM MUST BE BROKEN OUT INTO MATERIAL AND LABOUR COSTS. PROGRESS CLAIMS, WHEN SUBMITTED ARE TO BE ITEMIZED AGAINST EACH ITEM OF THE DRAW BREAKDOWN. THIS SHALL BE DONE IN TABLE FORM SHOWING CONTRACT AMOUNT, AMOUNT THIS DRAW, TOTAL TO DATE, % COMPLETE AND BALANCE.
- .2 BREAKDOWN SHALL BE AS FOLLOWS:
- PERMITS AND FEES MOBILIZATION (MAXIMUM 1%)
- DEMOLITION **BRANCH CONDUITS**
- BRANCH WIRING LIGHTING FIXTURES FIRE ALARM SYSTEM
- VOICE/DATA SYSTEM COMMISSIONING (MINIMUM 3%)
- .3 THE BREAKDOWN MUST BE APPROVED BY THE CONSULTANT PRIOR TO SUBMISSION OF THE FIRST DRAW.
- .4 BREAKDOWNS NOT COMPLYING TO THE ABOVE WILL NOT BE APPROVED
- .5 BREAKDOWN MUST INDICATE TOTAL CONTRACT AMOUNT.
- .6 MOBILIZATION AMOUNT MAY ONLY BE DRAWN WHEN ALL REQUIRED SHOP DRAWINGS HAVE BEEN REVIEWED BY THE CONSULTANT. SHOP DRAWINGS AND PRODUCT DATA
- .1 FURNISH COMPLETE CATALOG DATA FOR MANUFACTURED ITEMS OF EQUIPMENT TO BE USED IN THE WORK TO CONSULTANT FOR REVIEW WITHIN 30 DAYS AFTER AWARD OF CONTRACT.
- .2 IF MATERIAL OR EQUIPMENT IS NOT AS SPECIFIED OR SUBMITTAL IS NOT COMPLETE, IT WILL BE REJECTED BY CONSULTANT.
- ADDITIONAL SHOP DRAWINGS REQUIRED BY THE CONTRACTOR FOR MAINTENANCE MANUALS, SITE COPIES ETC., SHALL E PHOTOCOPIES OF THE "REVIEWED" SHOP DRAWINGS. ALL COSTS TO PROVIDE ADDITIONAL COPIES OF SHOP DRAWINGS SHALL BE BORNE BY THE CONTRACTOR.
- .4 PARTIAL SUBMITTALS WILL NOT BE ACCEPTED.
- CATALOG DATA OR SHOP DRAWINGS FOR EQUIPMENT, WHICH ARE NOTED AS BEING REVIEWED BY CONSULTANT OR HIS ENGINEER SHALL NOT SUPERSEDE CONTRACT DOCUMENTS.
- REVIEW COMMENTS OF CONSULTANT SHALL NOT RELIEVE THIS DIVISION FROM RESPONSIBILITY FOR DEVIATIONS FROM CONTRACT DOCUMENTS UNLESS CONSULTANT'S ATTENTION HAS BEEN CALLED TO SUCH DEVIATIONS IN WRITING AT TIME OF SUBMISSION, NOR SHALL THEY RELIEVE THIS DIVISION FROM RESPONSIBILITY FOR ERRORS IN ITEMS SUBMITTED.

- .7 CHECK WORK DESCRIBED BY CATALOG DATA WITH CONTRACT DOCUMENTS FOR DEVIATIONS AND ERRORS.
- .8 SHOP DRAWINGS AND PRODUCT DATA SHALL SHOW:
- MOUNTING ARRANGEMENTS. OPERATING AND MAINTENANCE CLEARANCES. E.G. ACCESS DOOR SWING SPACES.
- .9 SHOP DRAWINGS AND PRODUCT DATA SHALL BE ACCOMPANIED BY: DETAILED DRAWINGS OF BASES, SUPPORTS, AND ANCHOR BOLTS.
- MANUFACTURER TEST DATA WHERE REQUESTED. MANUFACTURER TO CERTIFY AS TO CURRENT MODEL PRODUCTION.
- CERTIFICATION OF COMPLIANCE TO APPLICABLE CODES.
- .10 STATE SIZES, CAPACITIES, BRAND NAMES, MOTOR HP, ACCESSORIES, MATERIALS, GAUGES, DIMENSIONS, AND OTHER PERTINENT INFORMATION. LIST ON CATALOG COVERS PAGE NUMBERS OF SUBMITTED ITEMS. UNDERLINE APPLICABLE DATA.
- .11 ONCE THESE SHOP DRAWINGS ARE RETURNED "REVIEWED" OR "REVIEWED AS NOTED" FABRICATION, PRODUCTION, AND INSTALLATION MAY COMMENCE. NOTE: IF A SHOP DRAWING IS RETURNED "REVIEWED AS NOTED" THIS CONTRACTOR MUST PROVIDE WRITTEN INDICATION THAT THE COMMENTS HAVE BEEN COMPLIED WITH.
- .12 A PARTIAL LIST OF SHOP DRAWINGS INCLUDES:
- FIRE ALARM SYSTEM LUMINAIRES EMERGENCY BATTERY UNITS AND FIXTURES
- FIRESTOPPING MATERIALS SURFACE RACEWAYS
- WIRING DEVICES OCCUPANCY SENSORS

#### <u>FIRESTOPPING</u>

- .1 FIRESTOPPING MATERIAL AND INSTALLATION WITHIN ANNULAR SPACE BETWEEN CONDUITS, DUCTS, AND ADJACENT FIRE SEPARATION.
- .2 PROVIDE MATERIALS AND SYSTEMS CAPABLE OF MAINTAINING EFFECTIVE BARRIER AGAINST FLAME, SMOKE, AND GASES.
- .3 COMPLY WITH THE REQUIREMENTS OF CAN4-S115-M35, AND DO NOT EXCEED OPENING SIZED FOR WHICH THEY HAVE BEEN
- .4 SYSTEMS TO HAVE AN F OR FT RATING (AS APPLICABLE) NOT LESS THAN THE FIRE PROTECTION RATING REQUIRED FOR CLOSURES IN A FIRE SEPARATION.
- .5 THE FIRESTOPPING MATERIALS ARE NOT TO SHRINK, SLUMP OR SAG AND BE FREE OF ASBESTOS, HALOGENS AND VOLATILE
- .6 FIRESTOPPING MATERIALS ARE TO CONSIST OF A COMPONENT SEALANT APPLIED WITH A CONVENTIONAL CAULKING GUN AND
- .7 FIRESTOP MATERIALS ARE TO BE CAPABLE OF RECEIVING FINISH MATERIALS IN THOSE AREAS, WHICH ARE EXPOSED AND SCHEDULED TO RECEIVE FINISHES.
- .8 FIRESTOPPING SHALL BE INSPECTED AND APPROVED BY LOCAL AUTHORITY PRIOR TO CONCEALMENT OR ENCLOSURE. .9 INSTALL MATERIAL AND COMPONENTS IN ACCORDANCE WITH ULC CERTIFICATION, MANUFACTURERS INSTRUCTIONS AND LOCAL
- .10 SUBMIT PRODUCT LITERATURE AND INSTALLATION MATERIAL ON FIRESTOPPING IN SHOP DRAWING AND PRODUCT DATA MANUAL
- .11 ACCEPTABLE MANUFACTURERS
- RECTORSEAL CORPORATION (METACAULK) PROSET SYSTEMS
- HILTI
- STI FIRESTOP
- NOTE: FIRE STOP MATERIAL MUST CONFORM TO REQUIREMENTS OF LOCAL AUTHORITIES HAVING JURISDICTION. CONTRACTOR TO CONFIRM PRIOR TO APPLICATION AND ENSURE MATERIAL USED IS COMPATIBLE WITH THAT USED BY OTHER TRADES ON SITE.
- .12 ENSURE FIRESTOP MANUFACTURER REPRESENTATIVE PERFORMS ON SITE INSPECTIONS AND CERTIFIES INSTALLATION. SUBMIT INSPECTION REPORTS/CERTIFICATION AT TIME OF SUBSTANTIAL COMPLETION.

- .1 GENERAL PURPOSE AC SWITCHES MUST CONFORM TO CSA C22.2 NO. 111 (LATEST EDITION).
- .2 15 OR 20 A, 120 V, SINGLE POLE, DOUBLE POLE, THREE-WAY, OR FOUR-WAY SWITCHES.
- MANUALLY-OPERATED GENERAL PURPOSE AC SWITCHES WITH THE FOLLOWING FEATURES:
- TERMINAL HOLES APPROVED FOR NO. 10 AWG WIRE.
- SILVER ALLOY CONTACTS. UREA OR MELAMINE MOLDING FOR PARTS SUBJECT TO CARBON TRACKING. SUITABLE FOR BACK AND SIDE WIRING
- TOGGLE COLOUR AS SELECTED BY ARCHITECT. .4 ACCEPTABLE MATERIALS:
- SINGLE POLE: HUBBELL CAT. #1201 OR EQUAL
- .5 INSTALL SINGLE THROW SWITCHES WITH HANDLE IN "UP" POSITION WHEN SWITCH IS CLOSED.
- .6 RECEPTACLES, PLUGS, AND OTHER SIMILAR WIRING DEVICES MUST CONFORM TO CSA C22.2 NO. 42 (LATEST EDITION).
- .7 DUPLEX RECEPTACLES, CSA TYPE 5-15 R, 125 V, 15 A, U GROUND, WITH THE FOLLOWING FEATURES: UREA MOLDED HOUSING WITH COLOUR AS SELECTED BY ARCHITECT.
- SUITABLE FOR NO. 10 AWG FOR BACK AND SIDE WIRING. BREAK-OFF LINKS FOR USE AS SPLIT RECEPTACLES.
- EIGHT BACK WIRED ENTRANCES, FOUR SIDE WIRING SCREWS TRIPLE WIRE CONTACTS AND RIVETED GROUNDING CONTACTS.
- .1 STANDARD DUPLEX RECEPTACLE: HUBBELL CAT. #HBL5252CN
- .9 OTHER RECEPTACLES WITH AMPACITY AND VOLTAGE AS INDICATED. COLOUR BY ARCHITECT.
- .10 ACCEPTABLE ALTERNATE MANUFACTURERS INCLUDE:
- PASS & SEYMOUR
- .11 INSTALL DEVICES IN GANG TYPE OUTLET BOX WHEN MORE THAN ONE DEVICE IS REQUIRED IN ONE LOCATION.
- .12 STAINLESS STEEL, THICKNESS 2.5mm, COVER PLATES FOR WIRING DEVICES MOUNTED IN FLUSH-MOUNTED OUTLET BOXES.
- .13 SHEET METAL COVER PLATES FOR WIRING DEVICES MOUNTED IN SURFACE-MOUNTED FS OR FD TYPE CONDUIT BOXES.
- .14 PROTECT STAINLESS STEEL COVER PLATE FINISH WITH PAPER OR PLASTIC FILM UNTIL PAINTING AND OTHER WORK IS FINISHED. SURFACE RACEWAY
- .1 THE TWO COMPARTMENT SURFACE RACEWAY SHALL BE COMPLETE WITH THE FOLLOWING FEATURES: .1 SURFACE NON-METALLIC RACEWAY IS TO BE UTILIZED IN DRY INTERIOR LOCATIONS ONLY.
- .2 THE SURFACE NON-METALLIC RACEWAY SYSTEM SHALL BE EQUAL TO WIREMOLD 5400 SERIES
- .3 THE RACEWAY AND ALL SYSTEM COMPONENTS MUST BE UL LISTED AND EXHIBIT NON-FLAMMABLE SELF-EXTINGUISHING CHARACTERISTICS TESTED TO COMPARABLE SPECIFICATIONS OF UL94V-O. THE RACEWAY BASE AND COVER SHALL BE
- MANUFACTURED BY RIGID COMPOUND, AVAILABLE IN COLOUR / FINISH AS SELECTED BY OWNER .4 THE RACEWAY SHALL BE A TWO-PIECE DESIGN WITH A BASE AND A SNAP-ON COVER. TOTAL WIDTH SHALL BE 133mm (5-1/4") BY 44.5mm (1-3/4") DEEP WITH AN APPROXIMATE THICKNESS OF 2.4mm (1/12"). THE BASE AND COVER SHALL E AVAILABLE IN 2400mm (8') LENGTHS. THE RACEWAY SHALL BE AVAILABLE WITH TWO MULTIPLE WIRING CHANNELS
- FORMED BY INTEGRAL BARRIERS IN THE BASE. .5 THE COVER SHALL SPAN THE ENTIRE WIDTH OF THE BASE CONCEALING ALL OF THE WIRING CHANNELS.
- .6 A FULL COMPLIMENT OF FITTINGS MUST BE AVAILABLE INCLUDING, BUT NOT LIMITED TO FLAT, INTERNAL AND EXTERNAL ELBOWS, TEES, ENTRANCE FITTINGS, COVER CLIPS AND END CAPS. THEY SHALL BE MANUFACTURED OF A RIGID PVC COMPOUND. THE FITTINGS SHALL HAVE A MATTE TEXTURE TO MATCH THE BASE AND COVER. THEY SHALL OVERLAP THE COVER AND BASE TO HIDE UNEVEN CUTS. ALL FITTINGS SHALL BE SUPPLIED WITH A BASE WHERE APPLICABLE TO ELIMINATE
- .7 DEVICE BRACKETS SHALL BE AVAILABLE FOR MOUNTING STANDARD DEVICES IN-LINE WITH THE RACEWAY. FACEPLATES SHALL MATCH AND FIT FLUSH IN THE DEVICE PLATE. THEY SHALL BE MANUFACTURED OF RIGID PVC COMPOUND, THEY SHALL HAVE COLOUR AS SELECTED BY OWNER. CONTRACTOR IS TO PROVIDE DEVICES AS NOTED.
- .8 THE RACEWAY MANUFACTURER WILL PROVIDE A COMPLETE LINE OF CONNECTIVITY OUTLETS AND MODULAR INSERTS FOR UTP (INCLUDING CATEGORY 5e AND 6), STP (150 OHM) FIBRE OPTIC, COAXIAL AND OTHER CABLING TYPES WITH FACE PLATES AND BEZELS TO FACILITATE MOUNTING. THE ELECTRICAL CONTRACTOR IS TO PROVIDE ADAPTER PLATES FOR FACEPLATES TO BE PROVIDED BY THE VOICE/DATA SUB-CONTRACTOR. THE RECOMMENDED PLATE IS A DECO ADAPTER 3-PORT PLATE STYLE,
- CONFIRM WITH VOICE/DATA SUB-CONTRACTOR. .2 ACCEPTABLE ALTERNATE MANUFACTURERS INCLUDE:
  - HUBBELL BASE TRAK
- .3 INSTALL ALL COMPONENTS TO SUIT MANUFACTURERS RECOMMENDATIONS.

#### PANEL BOARDS

- .1 BREAKERS MUST BE RATED FOR 10KA (SYMMETRICAL) INTERRUPTING CAPACITY OR AS INDICATED.
- SEQUENCE PHASE BUSSING WITH ODD NUMBERED BREAKERS ON LEFT AND EVEN ON RIGHT, WITH EACH BREAKER IDENTIFIED BY PERMANENT NUMBER IDENTIFICATION AS TO CIRCUIT NUMBER AND PHASE.
- .3 BREAKERS WITH THERMAL AND MAGNETIC TRIPPING IN PANEL BOARD EXCEPT AS INDICATED OTHERWISE.
- .4 FOR EACH NEW AND EXISTING PANEL PROVIDE COMPLETE CIRCUIT DIRECTORY WITH TYPEWRITTEN LEGEND SHOWING LOCATION OF
- .5 CONNECT LOADS TO CIRCUITS.
- .6 CONNECT NEUTRAL CONDUCTORS TO COMMON NEUTRAL BUS.
- EXISTING PANELS MUST BE REVIEWED FOR LOOSE AND/OR FAULTY BREAKERS AND WIRING, ALL REQUIRED MODIFICATIONS MUST BE PERFORMED TO CORRECT ANY UNCOVERED PROBLEMS.

#### <u>EQUIPMENT</u>

- POKE THROUGH FLOOR BOXES
- .1 MULTI-SERVICE POKE-THRU ASSEMBLY SHALL HAVE THE FOLLOWING FEATURES:

COLOUR TO SUIT ARCHITECT C/W BRUSHED METAL FINISH.

- INCLUDE TWO PRE-WIRED 20A RECEPTACLES. INCLUDE ONE VOICE/DATA OUTLET ROUGH-IN.
- .2 ACCEPTABLE MANUFACTURER: .1 LEGRAND CAT. #6AT2PXX SERIES

#### FIRE ALARM SYSTEMS

- .1 INSTALLATION OF FIRE ALARM DEVICES MUST CONFORM TO ULC-S524 (LATEST EDITION).
- ALL WIRING MUST BE COLOUR CODED, SIZED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND CONFORM TO THE LATEST EDITION OF THE ELECTRICAL SAFETY CODE.
- .3 ALL NEW FIRE ALARM DETECTION AND SIGNALING DEVICES ADDED DUE TO RENOVATIONS AND ADDITIONS SHALL BE CONNECTED TO EXISTING LOCAL ZONE OR NEW ZONE AS INDICATED.
- .4 EQUIPMENT SHALL BE SUPPLIED AND INSTALLED AS FOLLOWS;
- .1 AUTOMATIC ALARM INITIATING DEVICES
- .1 MANUAL ALARM STATIONS: PULL LEVER STYLE, WALL MOUNTED SEMI-FLUSH TYPE, NON-CODED SINGLE POLE NORMALLY
- OPEN CONTACT FOR SINGLE STAGE, ENGLISH SIGNAGE. .2 SMOKE DETECTOR: CEILING MOUNTED, PHOTO ELECTRIC TYPE, VISUAL ALARM INDICATOR, COMPLETE WITH RELAY BASE
- .2 AUDIBLE/VISUAL SIGNAL DEVICES .1 HORN: FLUSH MOUNTED TEMPORAL HORN, 24VDC OPERATION, 94DBA RATING AT 3000mm (10'), RED FINISH, FM AND
  - .2 STROBE: SEMI-RECESSED, 24VDC OPERATION, COMPLETE WITH SELECTABLE 15/30/75/110 CANDELA OUTPUT (UNLESS OTHERWISE NOTED SET AT 75 CD), SYNCHRONIZED STROBE, RED FINISH, FM AND ULC LISTED. SUITABLE FOR
- MOUNTING ON A SINGLE GANG BOX. .3 MINI HORN/STROBE: FLUSH MOUNTED TEMPORAL COMBINATION MINI HORN/STROBE, 24VDC OPERATION, SELECTABLE HIGH/LOW SETTING 94.5DBA (HIGH)/89.8 DBA (LOW) AT 3m (10') SELECTABLE 15/30/75/110 CANDELA OUTLET (UNLESS OTHERWISE NOTED SET AT 75CD), SYNCHRONIZED STROBE, WHITE OR RED COVERPLATE, FM AND ULC LISTED. SUITABLE FOR MOUNTING ON A SINGLE GANG BOX
- ANY SURFACE MOUNTED SIGNAL DEVICES MUST BE PROVIDED WITH SUITABLE BACKBOXES SUPPLIED BY THE MANUFACTURER.
- .3 END-OF-LINE DEVICES .1 END-OF-LINE DEVICES TO CONTROL SUPERVISORY CURRENT IN ALARM CIRCUITS AND SIGNALING CIRCUITS, SIZED TO ENSURE CORRECT SUPERVISORY CURRENT FOR EACH CIRCUIT. OPEN, SHORT OR GROUND FAULT IN ANY CIRCUIT WILL
- AND REMOTELY AT ANNUNCIATORS. .5 ONCE INSTALLATION IS COMPLETE THE MANUFACTURER'S REPRESENTATIVE MUST MAKE AN INSPECTION OF THE DEVICES INSTALLED.

ALTER SUPERVISORY CURRENT IN THAT CIRCUIT, PRODUCING AUDIBLE AND VISIBLE ALARM AT MAIN CONTROL PANEL

- .6 THIS TEST MUST CONFORM TO THE ONTARIO BUILDING CODE AND THE LATEST EDITION OF ULC CAN4-S537
- ALL COSTS ASSOCIATED WITH THIS INSPECTION BY THE CONTRACTOR AND MANUFACTURER MUST BE CARRIED IN THE TENDER

.8 UPON SUCCESSFUL COMPLETION OF TESTING THE MANUFACTURER MUST SUBMIT TO THE CONTRACTOR AND CONSULTANT:

- A CERTIFICATE OF VERIFICATION FIELD TECHNICIAN VERIFICATION SHEETS FOR EACH DEVICE VERIFIED (INCLUDE COPIES OF SAME IN MAINTENANCE MANUALS) THE MANUFACTURER AND ELECTRICAL CONTRACTOR ARE TO ALLOW IN THEIR TENDER THE COST TO ADD TWO (2) ADDITIONAL SIGNALING DEVICES TO BE INSTALLED AND VERIFIED IN LOCATIONS AS DIRECTED BY THE CONSULTANT. NOTE: THIS INSTALLATION
- AND VERIFICATION WILL BE OCCURRING AFTER THE AUDIBILITY TESTING IS COMPLETE. **AUDIBILITY TESTING:** .1 THE CONTRACTOR IS TO COORDINATE AN AUDIBILITY TEST PRIOR TO OCCUPANCY OF THE FACILITY. THE TEST IS TO BE
  - PERFORMED BY THE REPRESENTATIVES OF THE FIRE ALARM MANUFACTURER IN THE PRESENCE OF THE CONSULTANT. THE TEST REPORT IS TO BE IN CHART FORM INDICATING:
  - PROJECT DATE OF TEST
  - ROOM NAME AND NUMBER AMBIENT DB LEVEL ALARM DB LEVEL
- .6 NAME OF TESTING TECHNICIAN .11 THE TEST RESULTS ARE TO BE SUBMITTED TO THE CONSULTANT FOR REVIEW PRIOR TO ISSUING TO OWNER'S REPRESENTATIVES
- AND/OR AUTHORITIES HAVING JURISDICTION. .12 PROVIDE INTEGRATED TESTING OF THIS LIFE SAFETY SYSTEM IN CONFORMANCE WITH THE NOTED SPECIFICATION SECTION. INCLUDE
- ALL ASSOCIATED COSTS IN TENDER. .13 EQUIPMENT:

|    | •                                   |                         |
|----|-------------------------------------|-------------------------|
|    | <u>DEVICE</u>                       | NOTIFIER                |
|    | INTELLIGENT<br>DEVICES:             |                         |
| 10 | MANUAL ALARM<br>STATIONS<br>1-STAGE | NBG 12LX                |
| 16 | SMOKE<br>DETECTORS                  | FSI-851A                |
|    | AUXILIARY<br>DEVICES:               |                         |
| 23 | STROBE                              | SRA (SYSTEM<br>SENSOR)  |
| 24 | HORN                                | MT SERIES               |
| 25 | MINI-HORN<br>STROBE<br>COMBINATION  | P2RA (SYSTEM<br>SENSOR) |
| 26 | DOOR HOLDER                         | DH150 SERIES            |

#### INTEGRATED TESTING OF LIFE SAFETY AND FIRE PROTECTION SYSTEMS

- LIFE SAFETY AND FIRE PROTECTION SYSTEMS ARE TO BE INSTALLED TO COMPLY WITH THE PROVISIONS OF THE CURRENT ONTARIO BUILDING AND FIRE CODES. AS A RESULT, COMMISSIONING OF THESE INTEGRATED SYSTEMS MUST BE PERFORMED AS A WHOLE
- TO ENSURE THE PROPER OPERATION AND INTER-RELATIONSHIP BETWEEN SYSTEMS. .2 THESE SYSTEMS AS APPLICABLE TO ANY GIVEN PROJECT INCLUDE BUT ARE NOT LIMITED TO DOOR HOLDERS.
- .3 ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH CAN/ULC S1001-2011. SPECIAL CONSIDERATION IS TO BE GIVEN TO THE SEQUENCE OF OPERATIONS. THE WORK TO BE PERFORMED BY THIS CONTRACTOR IS ALSO DESCRIBED IN CAN/ULC \$1001-2011.
- .4 ALL APPLICABLE CONTRACTORS, SUB-CONTRACTORS, TESTING AGENTS, AND SUPPLIERS ARE TO INCLUDE ALL REQUIRED COSTS IN THEIR RESPECTIVE TENDER COSTS. THIS TESTING AGENT MUST BE A THIRD PARTY FIRM NOT ASSOCIATED WITH THIS PROJECT IN ANY WAY AND BE UNDER CONTRACT WITH THE ELECTRICAL SUB-CONTRACTOR NOT THE FIRE ALARM SUPPLIER.

The contractor shall verify all dimensions and report all error and discrepancies to the Consultant before commencement o The drawings show general arrangement of services. Follow a closely as actual building construction will permit. Obtain

approval for relocation of service from Consultant before commencement of the work. The drawings do not indicate all offsets fitting and accesso which may be required. Provide the same to meet the required conditions.

Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant. Do not scale this drawing. © 2024 DEI Consulting Engineers Inc.



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MECHANICAL | ELECTRICAL | AQUATIC

MAR 04,2024 ISSUED FOR 90% REVIEW **REVISIONS** Service Counter at Cassie Campbell Renovations 1050 Sandalwood Pkwy W, Brampton, On L74 OK9

**SPECIFICATIONS** 

MAR 19.2024 ISSUED FOR TENDER

|                | TRUE | NORTH | DWG. | NORTH  |
|----------------|------|-------|------|--------|
| J.J. JACKSON A |      |       |      |        |
| 3/19/24        | 23   | 336   |      | JOB NO |
| NCE OF ONTE    |      |       |      | SCALE  |

AS NOTED

MARCH 2024

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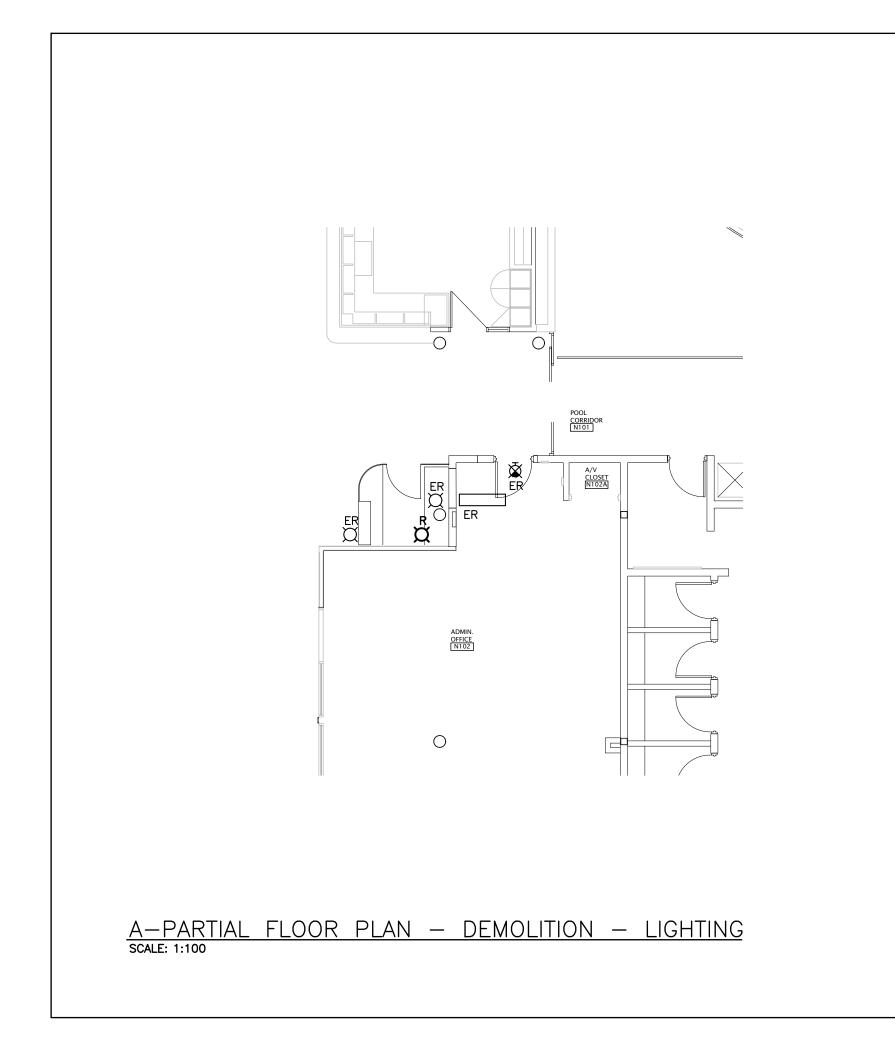
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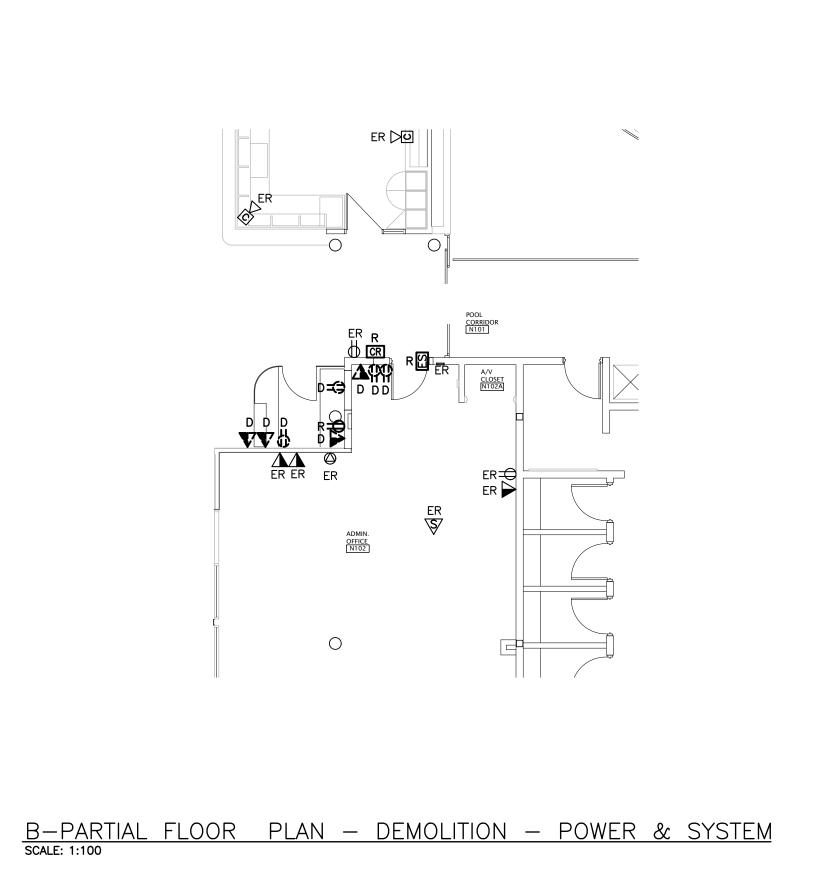
March 19, 2024

DRAWING

DATE

**PRINTED** 





## GENERAL DEMOLITION NOTES

- 'ER' DENOTES EXISTING ITEM TO REMAIN.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- 'R' INDICATES EXISTING ITEM TO BE RELOCATED. REFER TO RENOVATION DRAWINGS AND RELOCATE DEVICE AND WIRING TO SUIT. UNLESS OTHERWISE NOTED.
- 'D' INDICATES EXISTING ITEM TO BE DELETED. UNLESS OTHERWISE NOTED DISCONNECT AND REMOVE NOTED DEVICE AND WIRING BACK TO SOURCE.

required conditions. Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant. Do not scale this drawing.
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The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of

the work.

The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.

The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions.

the work.



MECHANICAL | ELECTRICAL | AQUATIC 55 Northland Road, Waterloo, ON N2V 1Y8 Phone: 519-725-3555 Website: deiassociates.ca

Project Number: 23286



'ER' INDICATES EXISTING ITEM TO REMAIN.

PARTITION TO CEILING SPACE.

- 'R' INDICATES EXISTING ITEM IN RELOCATED POSITION.
- ALL DEVICES SHOWN ARE NEW UNLESS OTHERWISE NOTED.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS OTHERWISE NOTED.
- MAINTAIN SERVICE TO ALL EXISTING DEVICES TO REMAIN.
- REVISE PANEL DIRECTORIES TO SUIT CHANGES (TYPED).

## SPECIFIC RENOVATION NOTES

- R1 INDICATED PANIC DEVICE SHALL BE INSTALLED TO UNDERSIDE OF MILLWORK. COORDINATE EXACT LOCATION WITH MILLWORK VENDOR PRIOR TO INSTALLATION.
- R2 INDICATED MICROPHONES TO BE CONNECTED TO EXISTING PUBLIC ADDRESS SPEAKER
- R3 INDICATED DEVICES TO BE MOUNTED BENEATH MILLWORK. COORDINATE EXACT LOCATION WITH MILLWORK VENDOR PRIOR TO INSTALLATION. CONDUIT AND CABLING SHALL BE RUN HORIZONTALLY THROUGH MILLWORK BACK TO NEAREST PARTITION AND RISE UP WITHIN
- R4 CONNECT INDICATED DEVICE TO THE LINE SIDE OF THE LOCAL LIGHTING CIRCUIT.
- R5 DOOR OPERATOR IS TO BE COORDINATED WITH SECURITY TO ENSURE THAT THE OPERATOR DOES NOT FUNCTION UNLESS THE ELECTRIC STRIKE IS RELEASED.
- R6 INDICATED DEVICE IS TO BE COMPLETE WITH RELAY BASE FOR MAG LOCK. CONNECT TO LOCAL INITIATING CIRCUIT. ALL WIRING MUST BE SUPERVISED.
- R7 INDICATES EXISTING GENERATOR ANNUNCIATOR PANEL TO REMAIN AS PRESENTLY INSTALLED.

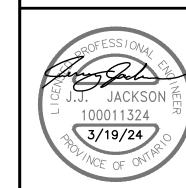
MAR 19,2024 ISSUED FOR TENDER

MAR 04,2024 ISSUED FOR 90% REVIEW

Service Counter at Cassie Campbell Renovations 1050 Sandalwood Pkwy W, Brampton, On L74 0K9

**REVISIONS** 

# DEMOLITION AND RENOVATION PLAN

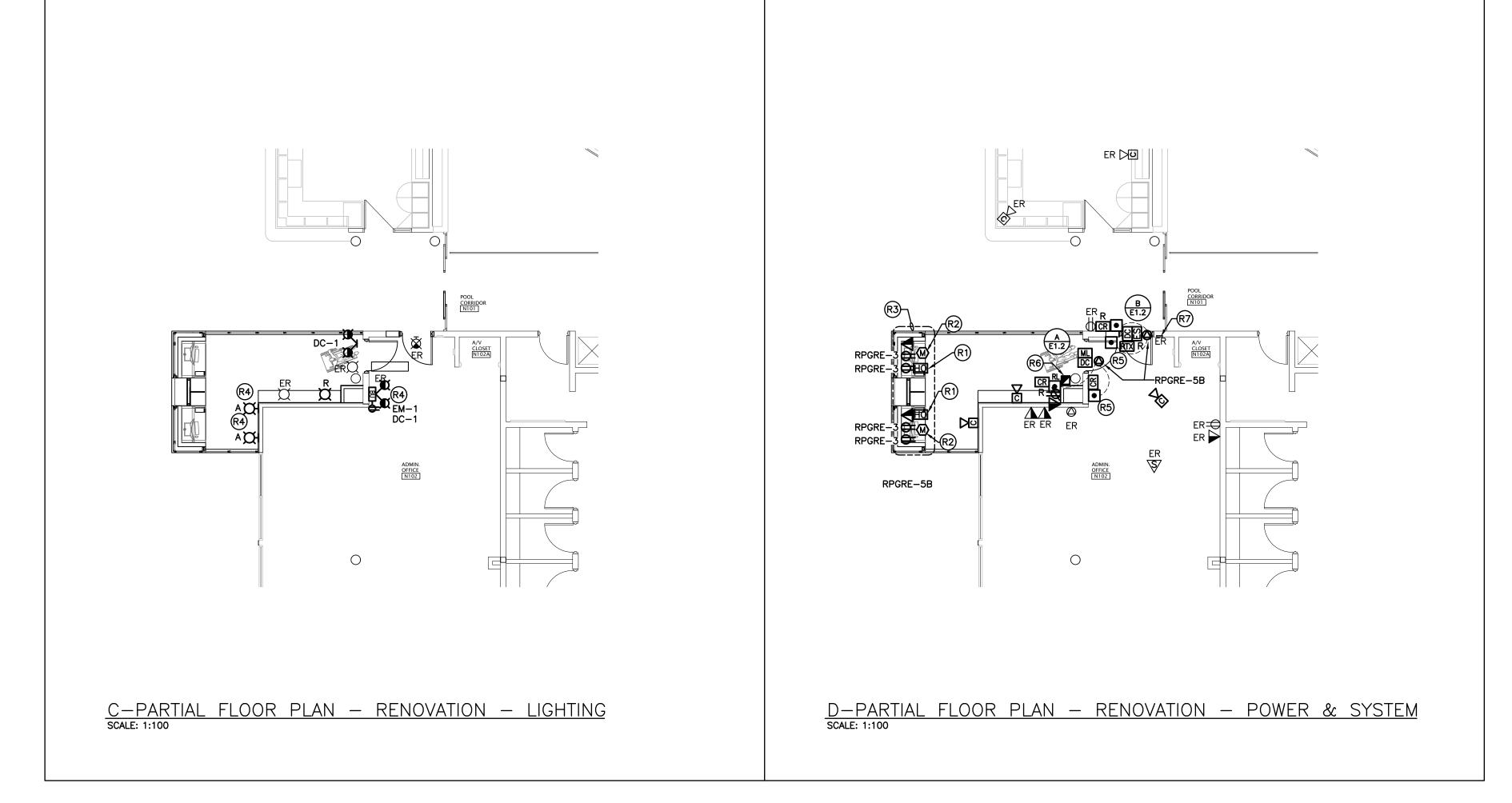


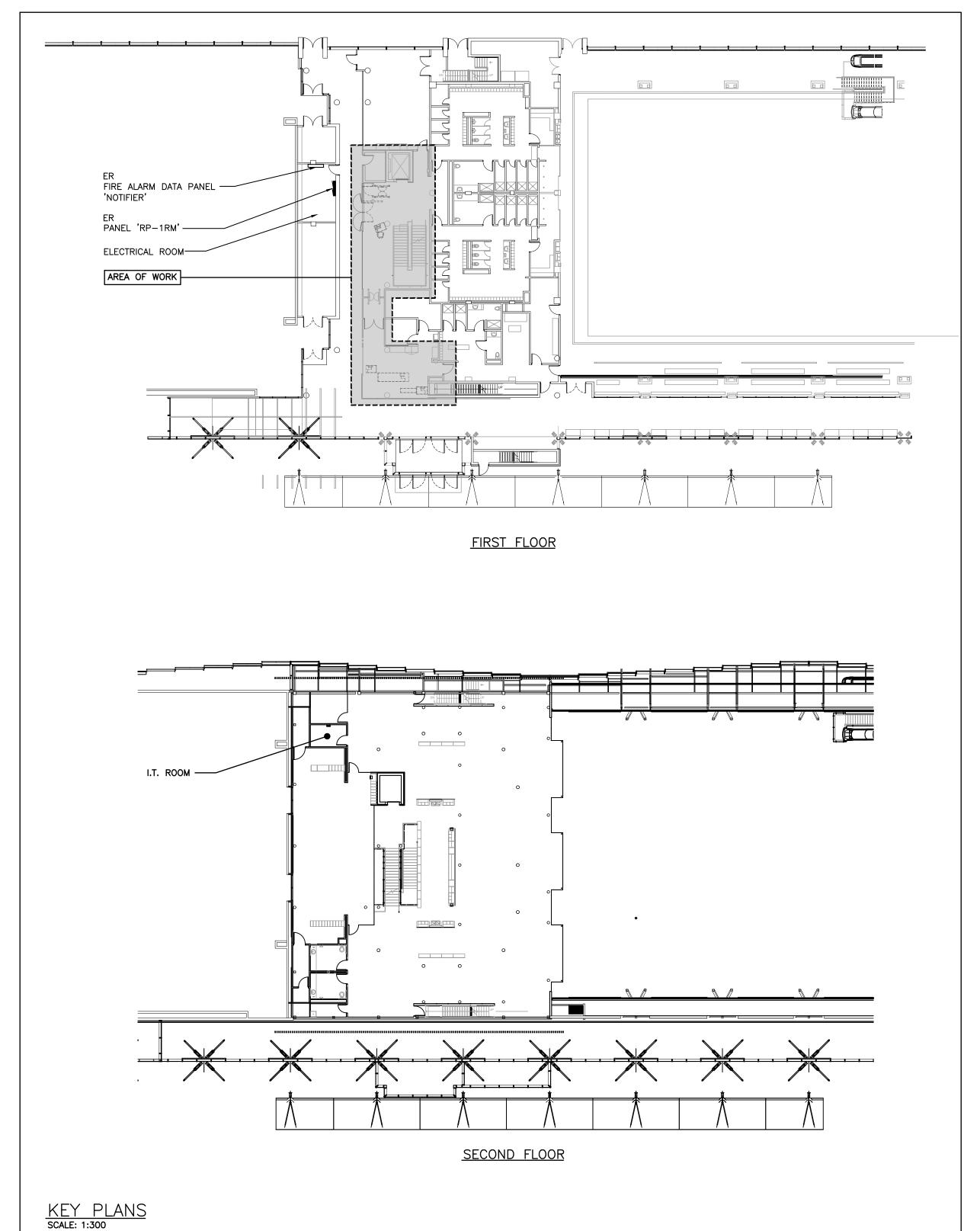
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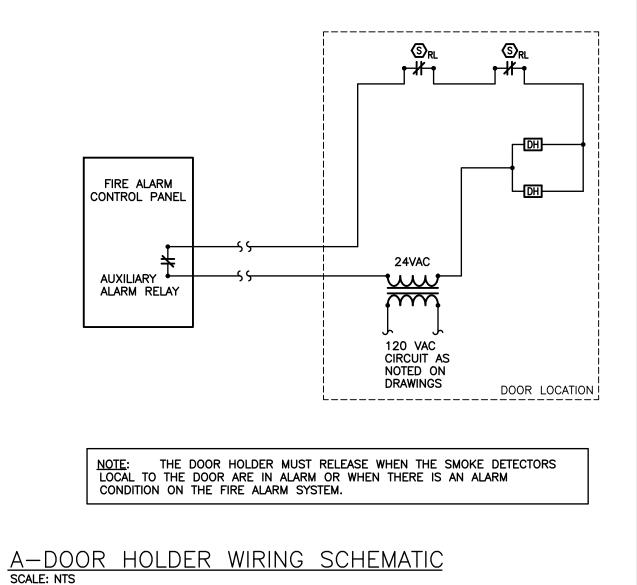
MARCH 2024 March 19, 2024

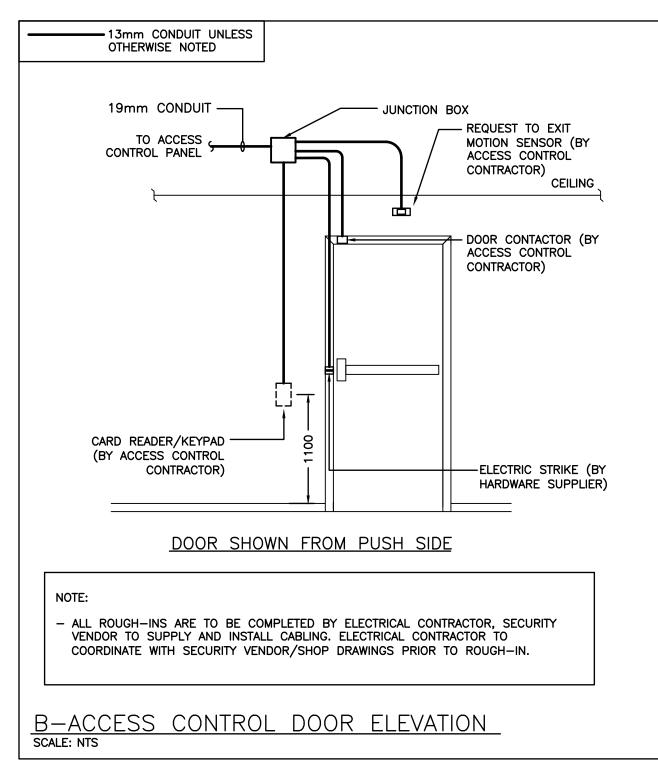
DUNCAN architects inc. 5052 DUNDAS ST. WEST TORONTO, ONT. M9A 1B9 TEL: (416) 239-2775 FAX: (416) 239-6729

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CRI Listings

Voltage Lamp

120V E26

Mounting

Description

WIDTH 5-5/8" X HEIGHT 11-1/2" AND 29 1/4" EXTENSION E26 LAMP BASE WALL MOUNTED LIGHT FIXTURE C/W STEEL SPUN SHADE.

LIGHT FIXTURE SCHEDULE

Manufacturer/Catalog Number

A KUZCO LIGHTING CAT. #WV342105MWHL

|                                                                           | LIGHTING                                                                                                            |                                                     | POWER                                                                        |  |
|---------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------|------------------------------------------------------------------------------|--|
| X                                                                         | LIGHT FIXTURE<br>TYPE AS INDICATED                                                                                  | φ                                                   | WALL MOUNTED RECEPTACLE (15A-120V)                                           |  |
| CEILING OR WALL MOUNTED LIGHT FIXTURE TYPE AS INDICATED                   |                                                                                                                     | •                                                   | WALL MOUNTED T-SLOT RECEP<br>(20A-120V)                                      |  |
| CEILING MOUNTED EXIT LIGHT ARROWS DENOTE DIRECTION SHADING INDICATES FACE |                                                                                                                     | #                                                   | T-SLOT RECEPTACLE MTD. ABO<br>COUNTER (20A-120V)                             |  |
| FIRE ALARM                                                                |                                                                                                                     | #                                                   | QUAD RECEPTACLE                                                              |  |
| <b>⑤</b>                                                                  | SMOKE DETECTOR                                                                                                      | <b>©</b>                                            | DIRECT CONNECTION                                                            |  |
|                                                                           | PULLSTATION                                                                                                         |                                                     | FLOOR BOX C/W DEVICES AS I<br>(REFER TO SPECIFICATIONS)                      |  |
| Z                                                                         | COMBINATION HORN/STROBE                                                                                             |                                                     | PANEL AS INDICATED                                                           |  |
| <b>⑤</b>                                                                  | SMOKE DETECTOR (RL=RELAY BASE)                                                                                      | PUSH-BUTTON STATION (QUA<br>OF BUTTONS AS PER PLANS |                                                                              |  |
| DH DOOR HOLD OPEN DEVICE                                                  |                                                                                                                     | JB JUNCTION BOX                                     |                                                                              |  |
| FA FIRE ALARM INPUT DEVICE                                                |                                                                                                                     | SECURITY                                            |                                                                              |  |
| COMMUNICATIONS                                                            |                                                                                                                     |                                                     | SECURITY                                                                     |  |
| <b>V</b> #/#                                                              | COMBINATION SINGLE VOICE/ SINGLE COMPUTER OUTLET UNLESS OTHERWISE NOTED C/W 1" (27mm) C TO CABLE MANAGEMENT SYSTEM. | Z<br>C                                              | CEILING MOUNTED CAMERA                                                       |  |
| VOICE—                                                                    | # INDICATES THE QUANTITY OF ACTIVE PARTS. LEFT VALUE ALWAYS INDICATES VOICE.                                        | DC                                                  | DOOR CONTACT C/W 19mmC 1<br>NEAREST SECURITY JUNCTION E<br>(REFER TO DETAIL) |  |
| \$                                                                        | CEILING MOUNTED SPEAKER                                                                                             | НО                                                  | HOLD-UP/PANIC PUSHBUTTON<br>13mmC TO NEAREST SECURITY<br>JUNCTION BOX.       |  |
| <b>(M)</b>                                                                | MICROPHONE OUTLET C/W 1" (27mm)<br>CONDUIT TO PA SYSTEM HEAD END<br>EQUIPMENT.                                      | RTX                                                 | REQUEST TO EXIT DEVICE                                                       |  |
|                                                                           | GENERAL                                                                                                             |                                                     | ACCESS CONTROL                                                               |  |
| ER                                                                        | INDICATED EXISTING ITEM TO REMAIN                                                                                   | ES ELECTRIC STRIKE. CONFIRM ROWITH DOOR HARDWARE.   |                                                                              |  |
| D                                                                         | INDICATES EXISTING ITEM TO BE DELETED                                                                               | CARD/FOB READER ROUGH—IN SINGLE GANG BOX AT 1100mm  |                                                                              |  |
| R INDICATES EXISTING ITEM TO BE RELOCATED/IN RELOCATED POSITION           |                                                                                                                     | STA                                                 | NDARD CIRCUIT LABELING                                                       |  |
| CLG CEILING MOUNTED                                                       |                                                                                                                     | POWER                                               | A-1-1 PANEL LABEL ————————————————————————————————————                       |  |
| X                                                                         | NOTE INDICATOR                                                                                                      | CIRCUIT                                             | INDICATION ————————————————————————————————————                              |  |
| <b>(</b> xx-x <b>)</b>                                                    | MECHANICAL ITEM NO.                                                                                                 |                                                     |                                                                              |  |

|   | the work. The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work. The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions. Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant. Do not scale this drawing.  © 2024 DEI Consulting Engineers Inc. |
|---|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|   | Consulting Engineers                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| - | MECHANICAL   ELECTRICAL   AQUATIC                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
|   | 55 Northland Road, Waterloo, ON N2V 1Y8<br>Phone: 519-725-3555<br>Website: deiassociates.ca<br>Project Number: 23286                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| 1 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| _ |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
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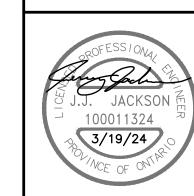
The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of

MAR 04,2024 ISSUED FOR 90% REVIEW Service Counter at Gore Meadows Renovations

MAR 19,2024 ISSUED FOR TENDER

KEY PLAN, LEGEND AND

10150 The Gore Rd, Brampton, ON L6P 0A6



**DETAILS** 

REVISIONS

SCALE AS NOTED

MARCH 2024

March 19, 2024

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#### **ELECTRICAL SPECIFICATION**

#### GENERAL NOTES

- .1 PROVIDE LABOUR MATERIAL AND EQUIPMENT REQUIRED TO PROVIDE A COMPLETE INSTALLATION WITH QUALITY WORKMANSHIP ACCEPTABLE TO THE OWNER, ARCHITECT AND CONSULTANT.
- .2 OBTAIN ALL PERMITS AND PAY ALL TAXES, FEES AND OTHER COSTS INCURRED WITH THIS WORK. FILE ALL PLANS. OBTAIN NECESSARY APPROVALS, CERTIFICATES AND INSPECTIONS. SUBMIT ALL FINAL CERTIFICATES TO THE CONSULTANT.
- .3 COMPLY WITH RULES AND RECOMMENDATIONS OF THE BOARD OF UNDERWRITERS, ELECTRICAL SAFETY AUTHORITY, THE CANADIAN STANDARDS ASSOCIATION AND ALL REQUIREMENTS OF THE LOCAL UTILITY.
- .4 VISIT THE SITE BEFORE SUBMITTING TENDERS TO EVALUATE ANY SITE CONDITIONS THAT MIGHT ARISE. INCLUDE ALL SITE CONDITIONS IN TENDER, EXTRAS WILL NOT BE ACCEPTED UNLESS BELIEVED TO BE REASONABLE BY THE OWNER AND
- .5 CUTTING AND PATCHING SHALL BE BY THE CONTRACTOR REQUIRING TO INSTALL THE SERVICE.
- THE DRAWINGS ARE DIAGRAMMATIC, THE SERVICES SHALL BE INSTALLED TO CONSERVE HEADROOM AND INTERFERE AS LITTLE AS POSSIBLE WITH THE FREE USE OF THE SPACES THROUGH WHICH THEY PASS.
- SUBMIT COPIES OF SHOP DRAWINGS AS PDF FILES VIA EMAIL FOR ALL MAJOR EQUIPMENT. THESE WILL BE REVIEWED BY THE CONSULTANT. RESUBMIT AS OFTEN AS MAY BE FOUND NECESSARY.
- .8 PROVIDE ALL NECESSARY PROTECTION FOR FINISHED OR UNFINISHED WORK. ALL OPENINGS IN CONDUITS, DUCTS AND EQUIPMENT
- .9 MAINTAIN INSURANCE TO FULLY PROTECT THE CONTRACTOR, OWNER AND CONSULTANT FROM ANY AND ALL CLAIMS SUCH AS UNDER THE WORKMEN'S COMPENSATION ACT, ETC. POST PROJECT NOTIFICATION AT THE SITE IN ACCORDANCE WITH THE MINISTRY
- .10 PROVIDE STRUCTURAL SUPPORTS, PLATFORMS, SUPPORTING RODS, HANGERS, INSERTS AND BRACKETS FOR EQUIPMENT AND SERVICES. DO NOT SUPPORT SERVICES FROM STEEL DECK.
- .11 INSTRUCT THE OWNER'S STAFF IN THE CARE, MAINTENANCE AND OPERATION OF THE SYSTEMS.

SHALL BE CAPPED TO ENSURE SERVICES ARE KEPT CLEAN WHEN NOT IN USE.

- .12 WARRANTY ALL LABOUR, MATERIAL AND EQUIPMENT FOR A PERIOD OF ONE (1) YEAR AFTER FINAL ACCEPTANCE OF SYSTEM.
- .13 COORDINATE WITH OTHER CONTRACTORS INSTALLING EQUIPMENT OR MATERIAL AND ARRANGE EQUIPMENT IN PROPER RELATION WITH APPARATUS OF ALL OTHER TRADES.
- .14 PROVIDE LAMICOID TAGS FOR IDENTIFICATION OF NEW EQUIPMENT ADDED.
- .15 MOUNTING HEIGHTS SHALL BE AS FOLLOWS FROM FINISHED FLOOR TO CENTERLINE OF DEVICE/EQUIPMENT (UNLESS OTHERWISE
- WALL RECEPTACLES:
- GENERAL: 400mm (16")
- ABOVE TOP OF COUNTERS: 100mm (4") TELEPHONE OUTLETS: 400mm (16")
- VOICE/DATA OUTLETS: 400mm (16")
- FIRE ÁLARM STATIONS: 1200mm (48")
- FIRE ALARM SIGNAL DEVICES: 2250mm (7'-6") FIRE ALARM STROBES: 2250mm (7'-6")
- .16 ALL AREAS NOT AFFECTED BY RENOVATION OR DEMOLITION SHALL REMAIN AS PRESENTLY INSTALLED UNLESS OTHERWISE NOTED.
- .17 ALL EXISTING ELECTRICAL DEVICES, OUTLET BOXES, ETC., NOT SHOWN ON DRAWINGS OR MENTIONED IN THE FOLLOWING NOTES
- AND INSTALLED IN WALLS SLATED FOR DEMOLITION, SHALL BE DISCONNECTED AND REMOVED COMPLETELY IN ALL RESPECTS.
- .18 SUBMIT ONE COPY OF OPERATING AND MAINTENANCE INSTRUCTIONS IN A THREE RING BINDER LABELED FOR THE PROJECT COMPLETE WITH ITEMIZED SECTIONS CONTAINING PROJECT DATA, SHOP DRAWINGS, ETC. UPON ACCEPTANCE OF THE OPERATION AND MAINTENANCE MANUAL BY THE CONSULTANT PROVIDE TWO ADDITIONAL COPIES BOUND IN SEPARATE THREE RING BINDERS. A PDF FILE OF THE ENTIRE MANUAL IS TO BE PROVIDED ON A USB STICK. ONLY ONE USB STICK IS TO BE PROVIDED CONTAINING BOTH THE APPROVED MANUALS AND RECORD DRAWINGS.
- .19 CONTRACTOR SHALL PROVIDE 2 SETS OF REPRODUCIBLE ELECTRICAL DRAWINGS. MARK THEREON ALL CHANGES AS WORK PROGRESSES AND AS CHANGES OCCUR. THIS SHALL INCLUDE FIELD AND CONTRACT CHANGES TO ELECTRICAL SYSTEMS. IDENTIFY EACH DRAWING IN LOWER RIGHT HAND CORNER IN LETTERS AT LEAST 3mm (1/8") HIGH AS FOLLOWS: - "RECORD DRAWINGS: THIS DRAWING HAS BEEN REVISED TO SHOW ELECTRICAL SYSTEMS AS INSTALLED. (SIGNATURE OF CONTRACTOR)(DATE)". SUBMIT HARD COPY TO CONSULTANT FOR APPROVAL. WHEN RETURNED, MAKE CORRECTIONS (IF ANY) AS DIRECTED. ONCE APPROVED, SUBMIT COMPLETED REPRODUCIBLE PAPER RECORD DRAWINGS AS WELL AS A SCANNED PDF COPY FILE ON USB STICK WITH OPERATING AND MAINTENANCE MANUALS.
- .20 CONTRACTOR SHALL PROVIDE RED LINE RECORD DRAWINGS OF EACH AND EVERY ELECTRICAL DRAWING FOR DEI CONSULTING ENGINEERS TO CAD THE RECORD DRAWINGS. THE CAD DRAWING FILES WILL BE PROVIDED TO THE OWNER AS PART OF THE
- .21 THE CONTRACTOR IS TO DETERMINE GENERAL INSPECTION FEES WITH THE ELECTRICAL SAFETY AUTHORITY AND INCLUDE AS PART OF TENDER.

#### **BASIC MATERIALS**

- .1 JUNCTION, OUTLET AND PULL BOXES MUST BE APPROVED TO SUIT INSTALLATION METHODS AND ENVIRONMENT.
- .2 CONDUIT MUST BE CONCEALED UNLESS INSTALLED IN SERVICE OR STORAGE ROOMS.
- .3 CONDUIT MUST BE INSTALLED PARALLEL AND PERPENDICULAR TO BUILDING LINES IN A NEAT AND WORKMANLIKE MANNER.
- ALL FEEDER AND BRANCH CIRCUIT WIRING MUST BE COPPER, T90 RATING/STYLE RUN IN EMT CONDUIT WITH INTERNAL INSULATED GREEN GROUND WIRE UNLESS NOTED OTHERWISE. MINIMUM WIRE SIZE SHALL BE #12 AND MINIMUM CONDUIT SIZE SHALL BE
- .5 AC90 CABLE MAY BE USED FOR BRANCH CIRCUIT WIRING IN STEEL STUD WALLS AND "DROPS" IN T-BAR CEILING AREAS TO LIGHT FIXTURES AND FIRE ALARM DEVICES. LENGTH OF DROP MUST BE LIMITED TO 8'-0" (2400mm).
- WHERE DEVICES ARE TO BE INSTALLED ON EXISTING WALLS IN FINISHED AREA, WHICH CANNOT BE FISHED, INSTALL FEEDS IN A SURFACE METAL RACEWAY EQUAL TO WIREMOLD V700 SERIES.
- .7 COLOUR CODE CONDUITS, BOXES AND METALLIC SHEATHED CABLES.
- .8 CODE WITH PLASTIC TAPE OR PAINT AT POINTS WHERE CONDUIT OR CABLE ENTERS WALL, CEILING, OR FLOOR, AND AT 15m(45')
- COLOUR BANDS MUST BE 25mm(1") WIDE AND CODED AS FOLLOWS FOR NOTED SYSTEMS.
- FIRE ALARM
- .10 THIS CONTRACTOR MUST PAINT ALL SYSTEM JUNCTION BOXES AND COVERS IN CONFORMANCE WITH THE ABOVE SCHEDULE. DRAW BREAKDOWN
- .1 THIS CONTRACTOR MUST SUBMIT A BREAKDOWN OF THE TENDER PRICE INTO CLASSIFICATIONS TO THE SATISFACTION OF THE CONSULTANT, WITH THE AGGREGATE OF THE BREAKDOWN TOTALING THE TOTAL CONTRACT AMOUNT. EACH ITEM MUST BE BROKEN OUT INTO MATERIAL AND LABOUR COSTS. PROGRESS CLAIMS, WHEN SUBMITTED ARE TO BE ITEMIZED AGAINST EACH ITEM OF
- THE DRAW BREAKDOWN. THIS SHALL BE DONE IN TABLE FORM SHOWING CONTRACT AMOUNT, AMOUNT THIS DRAW, TOTAL TO DATE, % COMPLETE AND BALANCE.
- .2 BREAKDOWN SHALL BE AS FOLLOWS:
- PERMITS AND FEES
  - MOBILIZATION (MAXIMUM 1%) DEMOLITION
- BRANCH CONDUITS BRANCH WIRING LIGHTING FIXTURES
- FIRE ALARM SYSTEM VOICE/DATA SYSTEM
- COMMISSIONING (MINIMUM 3%)
- .3 THE BREAKDOWN MUST BE APPROVED BY THE CONSULTANT PRIOR TO SUBMISSION OF THE FIRST DRAW.
- .4 BREAKDOWNS NOT COMPLYING TO THE ABOVE WILL NOT BE APPROVED
- .5 BREAKDOWN MUST INDICATE TOTAL CONTRACT AMOUNT.
- .6 MOBILIZATION AMOUNT MAY ONLY BE DRAWN WHEN ALL REQUIRED SHOP DRAWINGS HAVE BEEN REVIEWED BY THE CONSULTANT. SHOP DRAWINGS AND PRODUCT DATA
- .1 FURNISH COMPLETE CATALOG DATA FOR MANUFACTURED ITEMS OF EQUIPMENT TO BE USED IN THE WORK TO CONSULTANT FOR REVIEW WITHIN 30 DAYS AFTER AWARD OF CONTRACT.
- .2 IF MATERIAL OR EQUIPMENT IS NOT AS SPECIFIED OR SUBMITTAL IS NOT COMPLETE, IT WILL BE REJECTED BY CONSULTANT.
- ADDITIONAL SHOP DRAWINGS REQUIRED BY THE CONTRACTOR FOR MAINTENANCE MANUALS, SITE COPIES ETC., SHALL E PHOTOCOPIES OF THE "REVIEWED" SHOP DRAWINGS. ALL COSTS TO PROVIDE ADDITIONAL COPIES OF SHOP DRAWINGS SHALL BE BORNE BY THE CONTRACTOR.
- .4 PARTIAL SUBMITTALS WILL NOT BE ACCEPTED.
- CATALOG DATA OR SHOP DRAWINGS FOR EQUIPMENT, WHICH ARE NOTED AS BEING REVIEWED BY CONSULTANT OR HIS ENGINEER SHALL NOT SUPERSEDE CONTRACT DOCUMENTS.
- REVIEW COMMENTS OF CONSULTANT SHALL NOT RELIEVE THIS DIVISION FROM RESPONSIBILITY FOR DEVIATIONS FROM CONTRACT DOCUMENTS UNLESS CONSULTANT'S ATTENTION HAS BEEN CALLED TO SUCH DEVIATIONS IN WRITING AT TIME OF SUBMISSION, NOR SHALL THEY RELIEVE THIS DIVISION FROM RESPONSIBILITY FOR ERRORS IN ITEMS SUBMITTED.

- .7 CHECK WORK DESCRIBED BY CATALOG DATA WITH CONTRACT DOCUMENTS FOR DEVIATIONS AND ERRORS.
- .8 SHOP DRAWINGS AND PRODUCT DATA SHALL SHOW:
- MOUNTING ARRANGEMENTS. OPERATING AND MAINTENANCE CLEARANCES. E.G. ACCESS DOOR SWING SPACES.
- .9 SHOP DRAWINGS AND PRODUCT DATA SHALL BE ACCOMPANIED BY: DETAILED DRAWINGS OF BASES, SUPPORTS, AND ANCHOR BOLTS.
- MANUFACTURER TEST DATA WHERE REQUESTED. MANUFACTURER TO CERTIFY AS TO CURRENT MODEL PRODUCTION.
- CERTIFICATION OF COMPLIANCE TO APPLICABLE CODES.
- .10 STATE SIZES, CAPACITIES, BRAND NAMES, MOTOR HP, ACCESSORIES, MATERIALS, GAUGES, DIMENSIONS, AND OTHER PERTINENT INFORMATION. LIST ON CATALOG COVERS PAGE NUMBERS OF SUBMITTED ITEMS. UNDERLINE APPLICABLE DATA.
- .11 ONCE THESE SHOP DRAWINGS ARE RETURNED "REVIEWED" OR "REVIEWED AS NOTED" FABRICATION, PRODUCTION, AND INSTALLATION MAY COMMENCE. NOTE: IF A SHOP DRAWING IS RETURNED "REVIEWED AS NOTED" THIS CONTRACTOR MUST PROVIDE WRITTEN INDICATION THAT THE COMMENTS HAVE BEEN COMPLIED WITH.
- .12 A PARTIAL LIST OF SHOP DRAWINGS INCLUDES:
- FIRE ALARM SYSTEM LUMINAIRES
- EMERGENCY BATTERY UNITS AND FIXTURES
- FIRESTOPPING MATERIALS SURFACE RACEWAYS WIRING DEVICES
- OCCUPANCY SENSORS

#### <u>FIRESTOPPING</u>

- .1 FIRESTOPPING MATERIAL AND INSTALLATION WITHIN ANNULAR SPACE BETWEEN CONDUITS, DUCTS, AND ADJACENT FIRE SEPARATION.
- .2 PROVIDE MATERIALS AND SYSTEMS CAPABLE OF MAINTAINING EFFECTIVE BARRIER AGAINST FLAME, SMOKE, AND GASES.
- .3 COMPLY WITH THE REQUIREMENTS OF CAN4-S115-M35, AND DO NOT EXCEED OPENING SIZED FOR WHICH THEY HAVE BEEN
- .4 SYSTEMS TO HAVE AN F OR FT RATING (AS APPLICABLE) NOT LESS THAN THE FIRE PROTECTION RATING REQUIRED FOR CLOSURES IN A FIRE SEPARATION.
- .5 THE FIRESTOPPING MATERIALS ARE NOT TO SHRINK, SLUMP OR SAG AND BE FREE OF ASBESTOS, HALOGENS AND VOLATILE
- .6 FIRESTOPPING MATERIALS ARE TO CONSIST OF A COMPONENT SEALANT APPLIED WITH A CONVENTIONAL CAULKING GUN AND
- .7 FIRESTOP MATERIALS ARE TO BE CAPABLE OF RECEIVING FINISH MATERIALS IN THOSE AREAS, WHICH ARE EXPOSED AND SCHEDULED TO RECEIVE FINISHES.
- .8 FIRESTOPPING SHALL BE INSPECTED AND APPROVED BY LOCAL AUTHORITY PRIOR TO CONCEALMENT OR ENCLOSURE.
- .9 INSTALL MATERIAL AND COMPONENTS IN ACCORDANCE WITH ULC CERTIFICATION, MANUFACTURERS INSTRUCTIONS AND LOCAL

.10 SUBMIT PRODUCT LITERATURE AND INSTALLATION MATERIAL ON FIRESTOPPING IN SHOP DRAWING AND PRODUCT DATA MANUAL

- .11 ACCEPTABLE MANUFACTURERS RECTORSEAL CORPORATION (METACAULK)
- PROSET SYSTEMS
- HILTI
- STI FIRESTOP

NOTE: FIRE STOP MATERIAL MUST CONFORM TO REQUIREMENTS OF LOCAL AUTHORITIES HAVING JURISDICTION. CONTRACTOR TO CONFIRM PRIOR TO APPLICATION AND ENSURE MATERIAL USED IS COMPATIBLE WITH THAT USED BY OTHER TRADES ON SITE.

.12 ENSURE FIRESTOP MANUFACTURER REPRESENTATIVE PERFORMS ON SITE INSPECTIONS AND CERTIFIES INSTALLATION. SUBMIT INSPECTION REPORTS/CERTIFICATION AT TIME OF SUBSTANTIAL COMPLETION.

- .1 GENERAL PURPOSE AC SWITCHES MUST CONFORM TO CSA C22.2 NO. 111 (LATEST EDITION).
- .2 15 OR 20 A, 120 V, SINGLE POLE, DOUBLE POLE, THREE-WAY, OR FOUR-WAY SWITCHES.
- MANUALLY-OPERATED GENERAL PURPOSE AC SWITCHES WITH THE FOLLOWING FEATURES: TERMINAL HOLES APPROVED FOR NO. 10 AWG WIRE.
- SILVER ALLOY CONTACTS. UREA OR MELAMINE MOLDING FOR PARTS SUBJECT TO CARBON TRACKING.
- TOGGLE COLOUR AS SELECTED BY ARCHITECT.

SURFACE RACEWAY

.4 ACCEPTABLE MATERIALS: SINGLE POLE: HUBBELL CAT. #1201 OR EQUAL

SUITABLE FOR BACK AND SIDE WIRING

- .5 INSTALL SINGLE THROW SWITCHES WITH HANDLE IN "UP" POSITION WHEN SWITCH IS CLOSED.
- .6 RECEPTACLES, PLUGS, AND OTHER SIMILAR WIRING DEVICES MUST CONFORM TO CSA C22.2 NO. 42 (LATEST EDITION).
- .7 DUPLEX RECEPTACLES, CSA TYPE 5-15 R, 125 V, 15 A, U GROUND, WITH THE FOLLOWING FEATURES: UREA MOLDED HOUSING WITH COLOUR AS SELECTED BY ARCHITECT.
  - SUITABLE FOR NO. 10 AWG FOR BACK AND SIDE WIRING. BREAK-OFF LINKS FOR USE AS SPLIT RECEPTACLES.
- EIGHT BACK WIRED ENTRANCES, FOUR SIDE WIRING SCREWS TRIPLE WIRE CONTACTS AND RIVETED GROUNDING CONTACTS.
- .1 STANDARD DUPLEX RECEPTACLE: HUBBELL CAT. #HBL5252CN
- .9 OTHER RECEPTACLES WITH AMPACITY AND VOLTAGE AS INDICATED. COLOUR BY ARCHITECT.
- .10 ACCEPTABLE ALTERNATE MANUFACTURERS INCLUDE: PASS & SEYMOUR
- .11 INSTALL DEVICES IN GANG TYPE OUTLET BOX WHEN MORE THAN ONE DEVICE IS REQUIRED IN ONE LOCATION.
- .12 STAINLESS STEEL, THICKNESS 2.5mm, COVER PLATES FOR WIRING DEVICES MOUNTED IN FLUSH-MOUNTED OUTLET BOXES.
- .13 SHEET METAL COVER PLATES FOR WIRING DEVICES MOUNTED IN SURFACE-MOUNTED FS OR FD TYPE CONDUIT BOXES.
- .14 PROTECT STAINLESS STEEL COVER PLATE FINISH WITH PAPER OR PLASTIC FILM UNTIL PAINTING AND OTHER WORK IS FINISHED.
- .1 THE TWO COMPARTMENT SURFACE RACEWAY SHALL BE COMPLETE WITH THE FOLLOWING FEATURES:
  - .1 SURFACE NON-METALLIC RACEWAY IS TO BE UTILIZED IN DRY INTERIOR LOCATIONS ONLY. .2 THE SURFACE NON-METALLIC RACEWAY SYSTEM SHALL BE EQUAL TO WIREMOLD 5400 SERIES
  - .3 THE RACEWAY AND ALL SYSTEM COMPONENTS MUST BE UL LISTED AND EXHIBIT NON-FLAMMABLE SELF-EXTINGUISHING CHARACTERISTICS TESTED TO COMPARABLE SPECIFICATIONS OF UL94V-0. THE RACEWAY BASE AND COVER SHALL BE
  - .4 THE RACEWAY SHALL BE A TWO-PIECE DESIGN WITH A BASE AND A SNAP-ON COVER. TOTAL WIDTH SHALL BE 133mm (5-1/4") BY 44.5mm (1-3/4") DEEP WITH AN APPROXIMATE THICKNESS OF 2.4mm (1/12"). THE BASE AND COVER SHALL E AVAILABLE IN 2400mm (8') LENGTHS. THE RACEWAY SHALL BE AVAILABLE WITH TWO MULTIPLE WIRING CHANNELS
  - FORMED BY INTEGRAL BARRIERS IN THE BASE. .5 THE COVER SHALL SPAN THE ENTIRE WIDTH OF THE BASE CONCEALING ALL OF THE WIRING CHANNELS.

MANUFACTURED BY RIGID COMPOUND, AVAILABLE IN COLOUR / FINISH AS SELECTED BY OWNER

- .6 A FULL COMPLIMENT OF FITTINGS MUST BE AVAILABLE INCLUDING, BUT NOT LIMITED TO FLAT, INTERNAL AND EXTERNAL ELBOWS, TEES, ENTRANCE FITTINGS, COVER CLIPS AND END CAPS. THEY SHALL BE MANUFACTURED OF A RIGID PVC COMPOUND. THE FITTINGS SHALL HAVE A MATTE TEXTURE TO MATCH THE BASE AND COVER. THEY SHALL OVERLAP THE COVER AND BASE TO HIDE UNEVEN CUTS. ALL FITTINGS SHALL BE SUPPLIED WITH A BASE WHERE APPLICABLE TO ELIMINATE
- .7 DEVICE BRACKETS SHALL BE AVAILABLE FOR MOUNTING STANDARD DEVICES IN-LINE WITH THE RACEWAY. FACEPLATES SHALL MATCH AND FIT FLUSH IN THE DEVICE PLATE. THEY SHALL BE MANUFACTURED OF RIGID PVC COMPOUND, THEY SHALL HAVE COLOUR AS SELECTED BY OWNER. CONTRACTOR IS TO PROVIDE DEVICES AS NOTED.
- .8 THE RACEWAY MANUFACTURER WILL PROVIDE A COMPLETE LINE OF CONNECTIVITY OUTLETS AND MODULAR INSERTS FOR UTP (INCLUDING CATEGORY 5e AND 6), STP (150 OHM) FIBRE OPTIC, COAXIAL AND OTHER CABLING TYPES WITH FACE PLATES AND BEZELS TO FACILITATE MOUNTING. THE ELECTRICAL CONTRACTOR IS TO PROVIDE ADAPTER PLATES FOR FACEPLATES TO BE PROVIDED BY THE VOICE/DATA SUB-CONTRACTOR. THE RECOMMENDED PLATE IS A DECO ADAPTER 3-PORT PLATE STYLE,
- CONFIRM WITH VOICE/DATA SUB-CONTRACTOR. .2 ACCEPTABLE ALTERNATE MANUFACTURERS INCLUDE:
  - HUBBELL BASE TRAK
- .3 INSTALL ALL COMPONENTS TO SUIT MANUFACTURERS RECOMMENDATIONS.

#### PANEL BOARDS

- .1 BREAKERS MUST BE RATED FOR 10KA (SYMMETRICAL) INTERRUPTING CAPACITY OR AS INDICATED.
- SEQUENCE PHASE BUSSING WITH ODD NUMBERED BREAKERS ON LEFT AND EVEN ON RIGHT, WITH EACH BREAKER IDENTIFIED BY PERMANENT NUMBER IDENTIFICATION AS TO CIRCUIT NUMBER AND PHASE.
- .3 BREAKERS WITH THERMAL AND MAGNETIC TRIPPING IN PANEL BOARD EXCEPT AS INDICATED OTHERWISE.
- .4 FOR EACH NEW AND EXISTING PANEL PROVIDE COMPLETE CIRCUIT DIRECTORY WITH TYPEWRITTEN LEGEND SHOWING LOCATION OF
- .5 CONNECT LOADS TO CIRCUITS.
- .6 CONNECT NEUTRAL CONDUCTORS TO COMMON NEUTRAL BUS.
- EXISTING PANELS MUST BE REVIEWED FOR LOOSE AND/OR FAULTY BREAKERS AND WIRING, ALL REQUIRED MODIFICATIONS MUST BE PERFORMED TO CORRECT ANY UNCOVERED PROBLEMS.

#### <u>EQUIPMENT</u>

- POKE THROUGH FLOOR BOXES
- .1 MULTI-SERVICE POKE-THRU ASSEMBLY SHALL HAVE THE FOLLOWING FEATURES: INCLUDE TWO PRE-WIRED 20A RECEPTACLES.
- INCLUDE ONE VOICE/DATA OUTLET ROUGH-IN. COLOUR TO SUIT ARCHITECT C/W BRUSHED METAL FINISH.
- .2 ACCEPTABLE MANUFACTURER: .1 LEGRAND CAT. #6AT2PXX SERIES

#### FIRE ALARM SYSTEMS

- .1 INSTALLATION OF FIRE ALARM DEVICES MUST CONFORM TO ULC-S524 (LATEST EDITION).
- ALL WIRING MUST BE COLOUR CODED, SIZED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND CONFORM TO THE LATEST EDITION OF THE ELECTRICAL SAFETY CODE.
- .3 ALL NEW FIRE ALARM DETECTION AND SIGNALING DEVICES ADDED DUE TO RENOVATIONS AND ADDITIONS SHALL BE CONNECTED TO EXISTING LOCAL ZONE OR NEW ZONE AS INDICATED.
- .4 EQUIPMENT SHALL BE SUPPLIED AND INSTALLED AS FOLLOWS;
  - .1 AUTOMATIC ALARM INITIATING DEVICES
  - .1 MANUAL ALARM STATIONS: PULL LEVER STYLE, WALL MOUNTED SEMI-FLUSH TYPE, NON-CODED SINGLE POLE NORMALLY
  - OPEN CONTACT FOR SINGLE STAGE, ENGLISH SIGNAGE. .2 SMOKE DETECTOR: CEILING MOUNTED, PHOTO ELECTRIC TYPE, VISUAL ALARM INDICATOR, COMPLETE WITH RELAY BASE
  - .2 AUDIBLE/VISUAL SIGNAL DEVICES
  - .1 HORN: FLUSH MOUNTED TEMPORAL HORN, 24VDC OPERATION, 94DBA RATING AT 3000mm (10'), RED FINISH, FM AND .2 STROBE: SEMI-RECESSED, 24VDC OPERATION, COMPLETE WITH SELECTABLE 15/30/75/110 CANDELA OUTPUT (UNLESS
  - OTHERWISE NOTED SET AT 75 CD), SYNCHRONIZED STROBE, RED FINISH, FM AND ULC LISTED. SUITABLE FOR MOUNTING ON A SINGLE GANG BOX. .3 MINI HORN/STROBE: FLUSH MOUNTED TEMPORAL COMBINATION MINI HORN/STROBE, 24VDC OPERATION, SELECTABLE HIGH/LOW SETTING 94.5DBA (HIGH)/89.8 DBA (LOW) AT 3m (10') SELECTABLE 15/30/75/110 CANDELA OUTLET (UNLESS OTHERWISE NOTED SET AT 75CD), SYNCHRONIZED STROBE, WHITE OR RED COVERPLATE, FM AND ULC LISTED. SUITABLE FOR MOUNTING ON A SINGLE GANG BOX

ANY SURFACE MOUNTED SIGNAL DEVICES MUST BE PROVIDED WITH SUITABLE BACKBOXES SUPPLIED BY THE MANUFACTURER.

.3 END-OF-LINE DEVICES .1 END-OF-LINE DEVICES TO CONTROL SUPERVISORY CURRENT IN ALARM CIRCUITS AND SIGNALING CIRCUITS, SIZED TO ENSURE CORRECT SUPERVISORY CURRENT FOR EACH CIRCUIT. OPEN, SHORT OR GROUND FAULT IN ANY CIRCUIT WILL

.6 THIS TEST MUST CONFORM TO THE ONTARIO BUILDING CODE AND THE LATEST EDITION OF ULC CAN4-S537

- ALTER SUPERVISORY CURRENT IN THAT CIRCUIT, PRODUCING AUDIBLE AND VISIBLE ALARM AT MAIN CONTROL PANEL AND REMOTELY AT ANNUNCIATORS. .5 ONCE INSTALLATION IS COMPLETE THE MANUFACTURER'S REPRESENTATIVE MUST MAKE AN INSPECTION OF THE DEVICES INSTALLED.
- ALL COSTS ASSOCIATED WITH THIS INSPECTION BY THE CONTRACTOR AND MANUFACTURER MUST BE CARRIED IN THE TENDER
- .8 UPON SUCCESSFUL COMPLETION OF TESTING THE MANUFACTURER MUST SUBMIT TO THE CONTRACTOR AND CONSULTANT: A CERTIFICATE OF VERIFICATION FIELD TECHNICIAN VERIFICATION SHEETS FOR EACH DEVICE VERIFIED (INCLUDE COPIES OF SAME IN MAINTENANCE MANUALS)
- THE MANUFACTURER AND ELECTRICAL CONTRACTOR ARE TO ALLOW IN THEIR TENDER THE COST TO ADD TWO (2) ADDITIONAL SIGNALING DEVICES TO BE INSTALLED AND VERIFIED IN LOCATIONS AS DIRECTED BY THE CONSULTANT. NOTE: THIS INSTALLATION AND VERIFICATION WILL BE OCCURRING AFTER THE AUDIBILITY TESTING IS COMPLETE.
- **AUDIBILITY TESTING:** .1 THE CONTRACTOR IS TO COORDINATE AN AUDIBILITY TEST PRIOR TO OCCUPANCY OF THE FACILITY. THE TEST IS TO BE PERFORMED BY THE REPRESENTATIVES OF THE FIRE ALARM MANUFACTURER IN THE PRESENCE OF THE CONSULTANT. THE
- TEST REPORT IS TO BE IN CHART FORM INDICATING: PROJECT DATE OF TEST
- ROOM NAME AND NUMBER AMBIENT DB LEVEL

ALARM DB LEVEL

- .6 NAME OF TESTING TECHNICIAN .11 THE TEST RESULTS ARE TO BE SUBMITTED TO THE CONSULTANT FOR REVIEW PRIOR TO ISSUING TO OWNER'S REPRESENTATIVES
- AND/OR AUTHORITIES HAVING JURISDICTION. .12 PROVIDE INTEGRATED TESTING OF THIS LIFE SAFETY SYSTEM IN CONFORMANCE WITH THE NOTED SPECIFICATION SECTION. INCLUDE
- ALL ASSOCIATED COSTS IN TENDER. .13 EQUIPMENT:

| <u>DEVICE</u> |                                     | NOTIFIER                |  |  |  |  |
|---------------|-------------------------------------|-------------------------|--|--|--|--|
|               | INTELLIGENT<br>DEVICES:             |                         |  |  |  |  |
| 10            | MANUAL ALARM<br>STATIONS<br>1-STAGE | NBG 12LX                |  |  |  |  |
| 16            | SMOKE<br>DETECTORS                  | FSI-851A                |  |  |  |  |
|               | AUXILIARY<br>DEVICES:               |                         |  |  |  |  |
| 23            | STROBE                              | SRA (SYSTEM<br>SENSOR)  |  |  |  |  |
| 24            | HORN                                | MT SERIES               |  |  |  |  |
| 25            | MINI-HORN<br>STROBE<br>COMBINATION  | P2RA (SYSTEM<br>SENSOR) |  |  |  |  |
| 26            | DOOR HOLDER                         | DH150 SERIES            |  |  |  |  |

#### INTEGRATED TESTING OF LIFE SAFETY AND FIRE PROTECTION SYSTEMS

- LIFE SAFETY AND FIRE PROTECTION SYSTEMS ARE TO BE INSTALLED TO COMPLY WITH THE PROVISIONS OF THE CURRENT ONTARIO BUILDING AND FIRE CODES. AS A RESULT, COMMISSIONING OF THESE INTEGRATED SYSTEMS MUST BE PERFORMED AS A WHOLE TO ENSURE THE PROPER OPERATION AND INTER-RELATIONSHIP BETWEEN SYSTEMS.
- .2 THESE SYSTEMS AS APPLICABLE TO ANY GIVEN PROJECT INCLUDE BUT ARE NOT LIMITED TO DOOR HOLDERS.
- .3 ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH CAN/ULC S1001-2011. SPECIAL CONSIDERATION IS TO BE GIVEN TO THE SEQUENCE OF OPERATIONS. THE WORK TO BE PERFORMED BY THIS CONTRACTOR IS ALSO DESCRIBED IN CAN/ULC \$1001-2011.
- .4 ALL APPLICABLE CONTRACTORS, SUB-CONTRACTORS, TESTING AGENTS, AND SUPPLIERS ARE TO INCLUDE ALL REQUIRED COSTS IN THEIR RESPECTIVE TENDER COSTS. THIS TESTING AGENT MUST BE A THIRD PARTY FIRM NOT ASSOCIATED WITH THIS PROJECT IN ANY WAY AND BE UNDER CONTRACT WITH THE ELECTRICAL SUB-CONTRACTOR NOT THE FIRE ALARM SUPPLIER.

The contractor shall verify all dimensions and report all error and discrepancies to the Consultant before commencement o The drawings show general arrangement of services. Follow a closely as actual building construction will permit. Obtain

approval for relocation of service from Consultant before commencement of the work. The drawings do not indicate all offsets fitting and accesso which may be required. Provide the same to meet the required conditions.

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DRAWING

DATE

PRINTED

**SPECIFICATIONS** 

MAR 19,2024 ISSUED FOR TENDER

MAR 04,2024 ISSUED FOR 90% REVIEW

| OROFESSIONAL<br>J.J. JACKSON A | TRUE | NORTH | DWG. | NORTH |
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MOFFET 8 **DUNCAN** architects inc. 5052 DUNDAS ST. WEST TORONTO, ONT, M9A 1B9 (416) 239-2775 TEL: FAX: (416) 239-6729

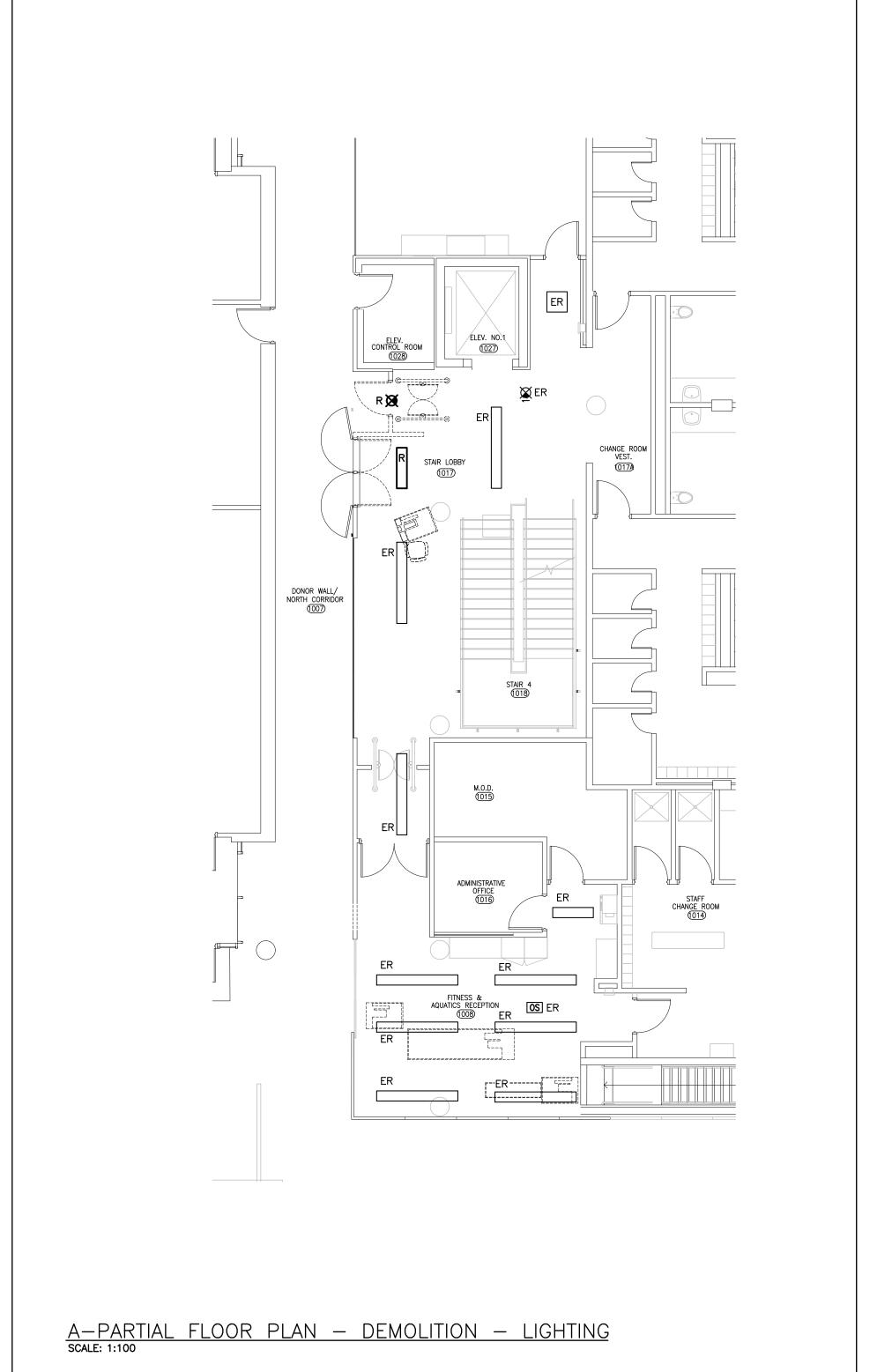
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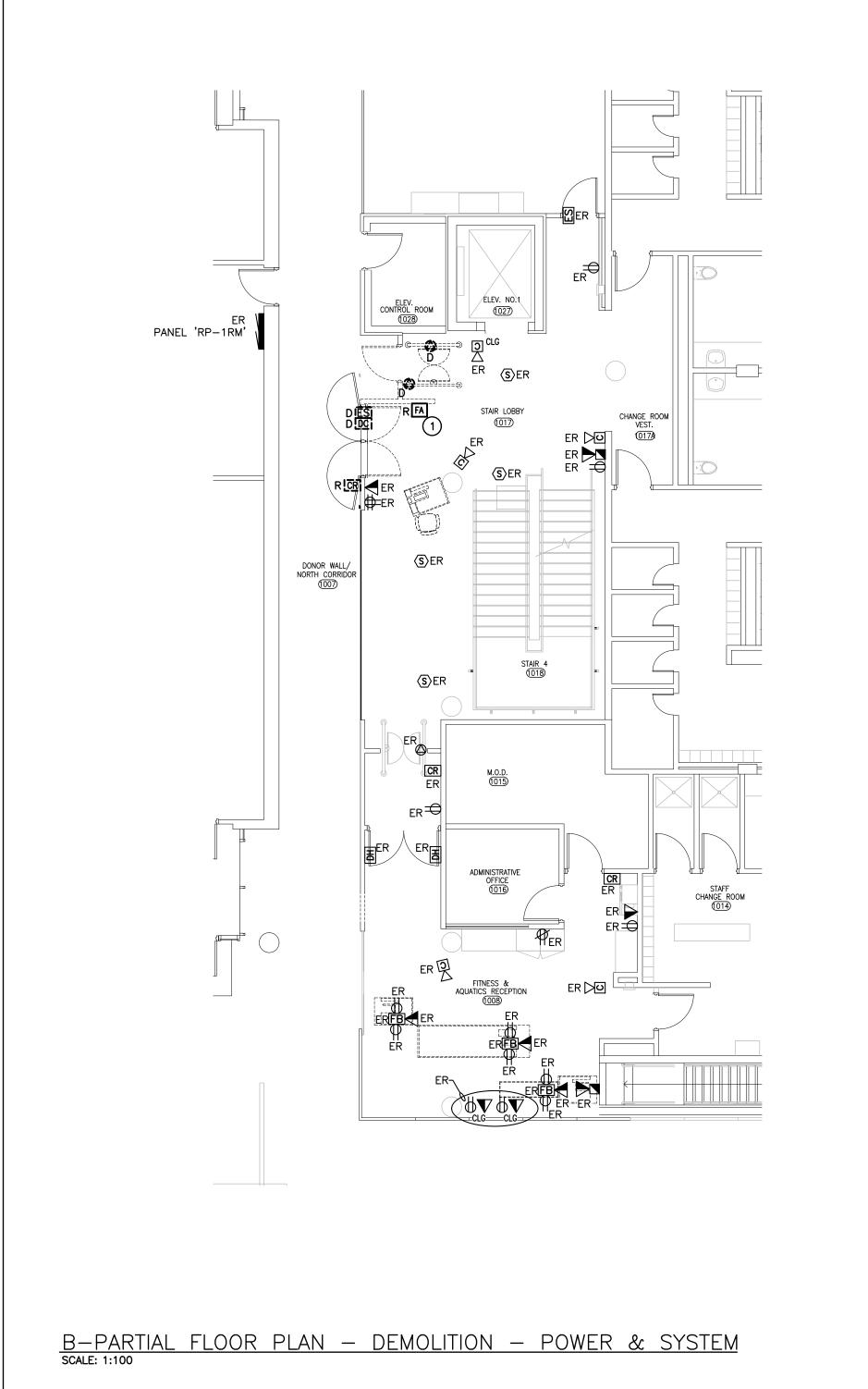
EMAIL:

March 19, 2024

AS NOTED

MARCH 2024





## GENERAL DEMOLITION NOTES

- 'ER' DENOTES EXISTING ITEM TO REMAIN.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- 'R' INDICATES EXISTING ITEM TO BE RELOCATED. REFER TO RENOVATION DRAWINGS AND RELOCATE DEVICE AND WIRING TO SUIT. UNLESS OTHERWISE NOTED.
- 'D' INDICATES EXISTING ITEM TO BE DELETED. UNLESS OTHERWISE NOTED DISCONNECT AND REMOVE NOTED DEVICE AND WIRING BACK TO SOURCE.
- ALL LIGHTING FIXTURES BEING RELOCATED SHALL BE CLEANED AND CHECKED PRIOR TO BEING REINSTALLED.

#### SPECIFIC DEMOLITION NOTES

INDICATES EXISTING FIRE ALARM DEVICE TO BE REMOVED AND REINSTALLED IN RENOVATION PHASE. REFER RENOVATION PLAN FOR MORE INFORMATION.

the work. the work.

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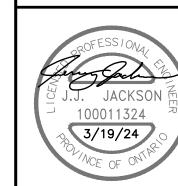
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**REVISIONS** 

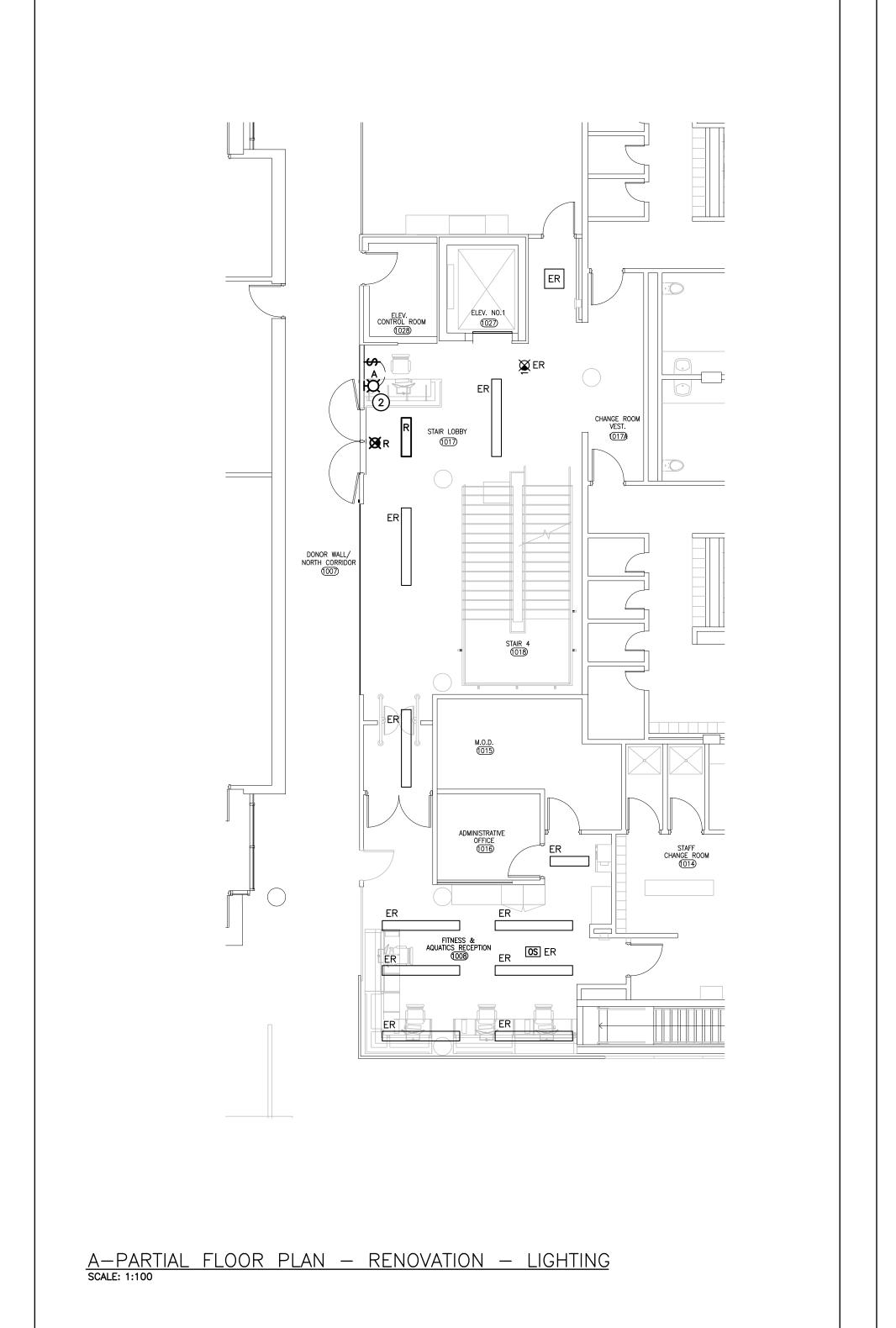
# DEMOLITION PLAN

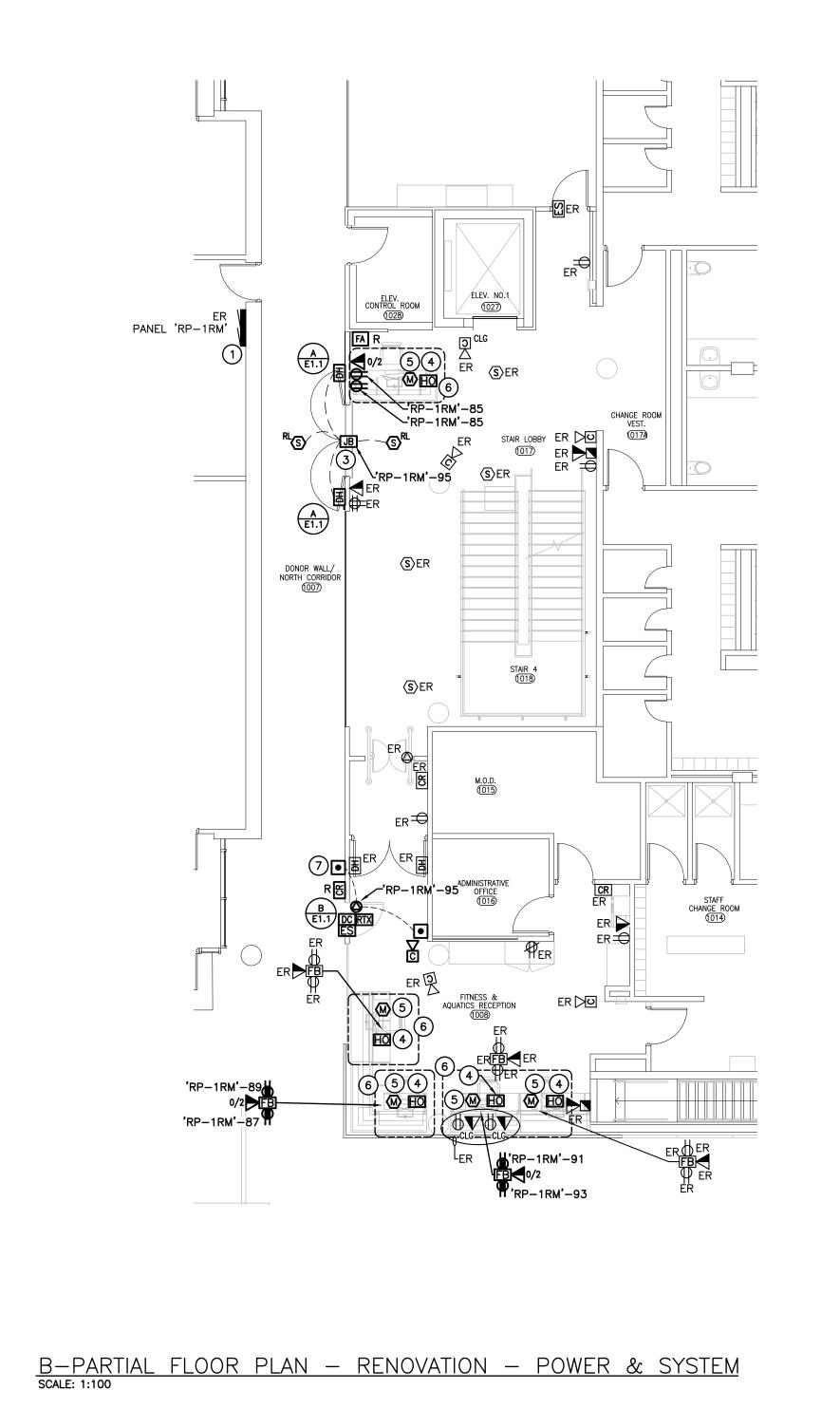


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#### GENERAL RENOVATION NOTES

- 'ER' INDICATES EXISTING ITEM TO REMAIN.
- 'R' INDICATES EXISTING ITEM IN RELOCATED POSITION.
- ALL DEVICES SHOWN ARE NEW UNLESS OTHERWISE NOTED.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS OTHERWISE NOTED.
- MAINTAIN SERVICE TO ALL EXISTING DEVICES TO REMAIN.
- REVISE PANEL DIRECTORIES TO SUIT CHANGES (TYPED).

#### SPECIFIC RENOVATION NOTES

INDICATED DEVICE TO BE FED FROM PANEL 'RP-1RM'. EXISTING PANEL IS LOCATED IN AUX. ELECTRICAL ROOM '1030'. EXISTING PANEL 'RP-1RM' IS A SQUARE D TYPE 'NQ' PANELBOATE. THIS CONTRACTOR SHALL PROVIDE THE FOLLOWING TO SUIT INTERIOR FEEDS AND UPDATE TYPEWRITTEN PANEL SCHEDULE.

BREAKER 15A-1P CCT-#85 20A-1P CCT-#87 DEVICE STAIR LOBBY '1017' DESK REC. FIT. & RECPT. '1008' DESK REC. FEED 2#12 T90 CU IN 21mmC 2#12 T90 CU IN 21mmC 2#12 T90 CU IN 21mmC FIT. & RECPT. '1008' DESK REC. FIT. & RECPT. '1008' DESK REC. FIT. & RECPT. '1008' DESK REC. DOOR JUNCTION BOX/OPERATOR 20A-1P CCT-#89 20A-1P CCT-#91 2#12 T90 CU IN 21mmC 2#12 T90 CU IN 21mmC 2#12 T90 CU IN 21mmC 20A-1P CCT-#93

- 2 CONNECT INDICATED DEVICE TO THE LINE SIDE OF THE LOCAL LIGHTING CIRCUIT.
- WITHIN CEILING SPACE PROVIDE STEPDOWN TRANSFORMER (120-240V). REFER TO DETAIL A/E1.1 AND RUN NOTED CIRCUIT THROUGH TRANSFORMER. THEN RUN 24V CIRCUIT THROUGH AUXILIARY CONTACTS IN FIRE ALARM CONTROL PANEL THEN ONTO RELAY BASE OF SMOKE DETECTOR.
- 4 INDICATED PANIC DEVICE SHALL BE INSTALLED TO UNDERSIDE OF MILLWORK. COORDINATE EXACT LOCATION WITH MILLWORK VENDOR PRIOR TO INSTALLATION.
- INDICATED MICROPHONES TO BE CONNECTED TO EXISTING PUBLIC ADDRESS SPEAKER
- INDICATED DEVICES TO BE MOUNTED BENEATH MILLWORK. COORDINATE EXACT LOCATION WITH MILLWORK VENDOR PRIOR TO INSTALLATION. CONDUIT AND CABLING SHALL BE RUN HORIZONTALLY THROUGH MILLWORK BACK TO NEAREST PARTITION. AND RISE UP WITHIN PARTITION TO CEILING SPACE.
- DOOR OPERATOR IS TO BE COORDINATED WITH SECURITY TO ENSURE THAT THE OPERATOR DOES NOT FUNCTION UNLESS THE ELECTRIC STRIKE IS RELEASED.

and discrepancies to the Consultant before commencement of the work. The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before

commencement of the work.

The drawings do not indicate all offsets fitting and accessoring which may be required. Provide the same to meet the required conditions.

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The contractor shall verify all dimensions and report all errors

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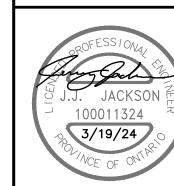
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# RENOVATION PLAN



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