

SERVICE COUNTERS AT GORE MEADOWS & CASSIE CAMPBELL RENOVATIONS



Moffet & Duncan Architects Inc.

Moffet & Duncan Architects Inc.
Architectural

ARCHITECTURAL DRAWINGS

- A0.1 GENERAL NOTES & OBC MATRIX
- A1.0 DEMOLITION & PROPOSED FLOOR PLAN, DEMOLITION & PROPOSED RCP
- A1.1 MILLWORK ELEVATIONS, PROPOSED FLOOR PLAN, DOOR & FRAME SCHEDULE
- A1.2 MILLWORK SECTIONS
- A0.2 GENERAL NOTES & OBC MATRIX
- A2.0 DEMOLITION & PROPOSED FLOOR PLAN
- A2.1 DEMOLITION & PROPOSED RCP
- A2.2 ELEVATIONS AND PROPOSED PLANS
- A2.3 MILLWORK SECTIONS, DOOR AND FRAME SCHEDULE

DEI Consulting Engineers
Mechanical Engineers

MECHANICAL DRAWINGS

- M1.1 KEYPLAN, LEGEND & SCHEDULES
- M2.1 GROUND FLOOR PART PLAN - DEMOLITION & RENOVATION
- M3.1 GROUND FLOOR PART PLAN - FIRE PROTECTION, DEMOLITION & RENOVATION
- M4.1 MECHANICAL SPECIFICATIONS

DEI Consulting Engineers
Electrical Engineers

ELECTRICAL DRAWINGS

- E1.1 KEY PLAN AND LEGEND
- E1.2 ELECTRICAL DETAILS AND PANEL SCHEDULES
- E1.3 SPECIFICATIONS
- E2.1 DEMOLITION AND RENOVATION PLAN
- E1.1 KEY PLAN, LEGEND AND DETAILS
- E1.2 SPECIFICATIONS
- E2.1 DEMOLITION PLAN
- E3.1 RENOVATION PLAN

***** SEPARATE PRICE:**
.1 Provide Separate Price for scope of work for service counter and all associated work at Cassie Campbell Community Centre.
Separate Price shall be inserted where indicated on the Request for Tender documents.

.2 The Contract shall be subject to the requirements of the General Conditions of Stipulated Price Contract CCDC 2 - 2020 and the City's Supplementary General Conditions.

SERVICE COUNTERS
AT GORE MEADOWS & CASSIE CAMPBELL RENOVATIONS
Architectural , Mechanical, Electrical

GENERAL NOTES

HOURS OF WORK:
ALL WORK INCLUDED IN THE CONTRACT TO BE CARRIED OUT AFTER HOURS, AS PER CITY OF BRAMPTON SCHEDULE: - 11PM TO 6AM

- 1) ACCESS TO THE SITE MATERIALS, WORK FORCES AND FOR GARBAGE REMOVAL TO BE COORDINATED THROUGH PROJECT LEAD:
PROJECT LEAD: ANITHA RASURATNAM
- 2) FIRE ALARMS SYSTEMS:
COMPLEX SYSTEMS LTD
MAIN CONTACT:
DOUG BIRNIE, SERVICE COORDINATOR
905-212-1474 OR 1888-870-8666
DBIRNIE@COM-PLEX.NET

ALL SPRINKLER SYSTEM WORK, IF CARRIED OUT BY A CONTRACTOR OTHER THAN THE BASE BUILDING SPRINKLER CONTRACTOR, MUST BE VERIFIED BY THE BASE BUILDING SPRINKLER CONTRACTOR. THE COST OF ALL SUCH VERIFICATION SHALL BE INCLUDED IN GENERAL CONTRACTOR'S SCOPE.
- 3) SECURITY CONTRACTOR (M&R SECURITY: Contact: Amy Martinez
Email: amy@mnrsecurity.ca
Phone: (905) 216-6424)
GC RO REFER TO SPECIFICATIONS FOR SECURITY CONTRACTOR'S SCOPE OF WORK.
- 4) GENERAL CONTRACTOR TO CARRY BASE BUILDING BAS CONTRACTOR CONTACT:
MARY ANNE DOLBAN, SERVICE COORDINATOR, AUTOMATED LOGIC
647-232-7147
AutomatedLogic.ServiceCanada@carrier.com
- 5) GENERAL CONTRACTOR TO CARRY BASE BUILDING LOCKSMITH CONTACT:
ROYAL SECURITY SOLUTIONS INC
LAWRENCE VRBANEK JR.
905-840-0522 EXT 251 OR 416-896-5799
- 6) GENERAL CONTRACTOR TO CARRY IT VENDOR (DATA & COMMUNICATION WORK). THE VENDORS MUST BE SYSTIMAX CERTIFIED.
- 7) GENERAL CONTRACTOR TO CARRY SUBTRADE/VENDOR/INSTALLER CERTIFIED TO WORK WITH MARCH NETWORKS FOR CCTV SYSTEM.
- 8) INSTALL HOARDING, DUST CONTROL/PROTECTION, COVERED WALKWAYS IN ACCORDANCE WITH ONTARIO BUILDING CODE, CANADIAN CONSTRUCTION SAFETY REQUIREMENTS, ALL MUNICIPAL BY-LAWS, STANDARDS, OCCUPATIONAL HEALTH AND SAFETY ACT AND THESE DOCUMENTS / SPECIFICATIONS.

KEEP THE SITE THROUGHOUT THE WORK AREA IN A CLEAN AND ORDERLY CONDITION AT ALL TIMES TO THE SATISFACTION OF THE OWNER.
- 9) ALL INTERIOR FINISHES MUST MEET FLAME SPREAD AND SMOKE DEVELOPED CLASSIFICATIONS AS REQUIRED BY THE ONTARIO BUILDING CODE.
- 10) NOTIFY THE OWNER SHOULD ANY HAZARDOUS CONDITION BECOME APPARENT.
- 11) PROVIDE SAFEGUARD AND PROTECTION AGAINST FIRE IN ACCORDANCE WITH THE CURRENT FIRE CODES AND REGULATIONS.
- 12) OBEY ALL FEDERAL, PROVINCIAL AND MUNICIPAL LAWS, ACTS, STATUTES, REGULATIONS, ORDINANCES AND BY-LAWS WHICH COULD IN ANY WAY PERTAIN TO THE WORK OUTLINED IN THE CONTRACT, OR TO ANY EMPLOYEE OF THE CONTRACTOR. SATISFY ALL STATUTORY REQUIREMENTS IMPOSED BY THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS MADE THEREUNDER.
- 13) THE CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS BY AUTHORITIES. THESE INSPECTIONS ARE TO BE ARRANGED IN A TIMELY MANNER WHICH WILL NOT DISRUPT THE PROGRESS TO THE WORK SCHEDULED.
- 14) CONTRACTOR SHALL PROVIDE ALL WOOD BLOCKING AS REQUIRED FOR THE ATTACHMENT OF MISCELLANEOUS EQUIPMENT INCLUDING BUT NOT LIMITED TO, TOILET ACCESSORIES, DOOR HARDWARE, ELECTRICAL DEVICES, EQUIPMENT INDICATED, GRAB BARS, HANDRAILS AND CASEWORK.
- 15) ALL PENETRATIONS THROUGH FIRE RATED CONSTRUCTION SHALL BE FIRE STOPPED WITH ULC APPROVED MATERIAL.
- 16) GYPSUM BOARD JOINT TAPING AND FINISHING TO LEVEL 5 GRADE IS REQUIRED.
- 17) THE CONTRACTOR SHALL ENSURE THAT ALL TRANSITIONS BETWEEN MATERIALS TO BE SMOOTH.
- 18) WHERE 2 DIFFERENT FLOORINGS MEET, FLOOR SURFACE IS TO BE FEATHERED TO ACHIEVE FLUSH TRANSITION, UNLESS OTHERWISE NOTED.
- 19) TRANSITION OF DIFFERENT FLOORING MATERIALS AT DOORWAYS SHALL OCCUR AT CENTER LINE OF DOORS.
- 20) DEFECTIVE WORK WHETHER THE RESULT OF POOR WORKMANSHIP, USE OF DEFECTIVE PRODUCTS, OR DAMAGES THROUGH CARELESSNESS OR OTHER ACTS OR OMISSIONS OF THE CONTRACTOR WHICH HAS BEEN REJECTED BY THE CONSULTANT SHALL BE CORRECTED IN A TIMELY MANNER IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS AT THE EXPENSE OF THE CONTRACTOR.
- 21) WASHROOMS TO BE IDENTIFIED FOR USE OF WORKMEN AT KICK OFF MEETING.
- 22) CONTRACTOR TO REPORT ANY PROBLEMS OR DELAYS RELATING TO THE WORK TO THE CONSULTANT.
- 23) PROVIDE TO OWNER THROUGH CONSULTANT CURRENT MATERIAL SAFETY DATA SHEET (MSDS) FOR EACH CONTROLLED PRODUCT THEY HAVE, OR WILL HAVE AT PLACE OF WORK AND RETAIN A COPY OF CONTRACTORS OWN USE.
- 24) IN THE EVENT OF SUSPICION, OR UPON DISCOVERY OF BANNED OR CONTROLLED MATERIALS ON SITE, IMMEDIATELY CEASE OPERATION AND NOTIFY CONSULTANT AND THE PROJECT MANAGER. STOP WORK IN THE AREA AND ENSURE THAT ALL REQUIREMENTS ARE MET IN ACCORDANCE WITH ALL THE RULES AND REGULATIONS OF OCCUPATIONAL HEALTH AND SAFETY ACT.

- 26) SECURE PLACE OF WORK DURING COURSE OF THE WORK, BE RESPONSIBLE FOR PREVENTING ACCESS BY NON-WORKERS. THE OWNER ACCEPTS NO RESPONSIBILITY FOR LOSSES, DAMAGES OR THEFT OF CONTRACTORS TOOLS, EQUIPMENT, ETC.
- 27) MAINTAIN AND MAKE ACCESSIBLE ALL REQUIRED EXITS. ACCESS TO EXITS AND OTHER FIREFIGHTING MEANS AND EQUIPMENT. DO NOT BLOCK EXITS OR ACCESS TO EXITS.
- 28) WHEN A FIRE WATCH IS REQUIRED, IT SHALL BE AT THE COST OF THE CONTRACTOR. ANY TIME THE ALARM NEEDS TO BE TAKEN OFF LINE (I.E. FIRE ALARM WORK, SANDING, DUSTY CONDITIONS, ETC). CONTRACTOR TO INCLUDE THE COST FOR ALL NECESSARY FIRE WATCH BY CITY SECURITY WITH A MINIMUM OF FOUR (4) HOURS DEDICATED FOR THE DURATION OF THE FIRE WATCH.
HIRING CITY SECURITY FOR FIRE WATCH IS MANDATORY, 48-HOUR NOTICE IS REQUIRED FOR FIRE WATCH.
- 29) DO NOT OVERLOAD FLOOR BEYOND LOADING CAPACITY OF THE FLOOR SYSTEM.
- 30) SUPERVISE DELIVERY, HANDLING AND STORAGE ON THE SITE OF ANY MATERIALS AND EQUIPMENT TO BE INCORPORATED INTO THE WORK. FACILITY SERVICES WILL NOT ACCEPT DELIVERIES.
- 31) STORE IN A MANNER TO PROTECT THEM AGAINST DAMAGE, HARM, LOST IN WHOLE OR PART AND CONTAMINATION FROM ANY CAUSE.
- 32) PROVIDE LIST OF ALL SUBCONTRACTORS NAMES TO OWNER WHO WILL BE ON THE PREMISES, AS THEY WILL BE REQUIRED TO SIGN IN AND OUT EACH TIME THEY ENTER OR LEAVE THE BUILDING WITH SECURITY. NO ACCESS WILL BE GIVEN UNLESS PRE-APPROVED.
- 33) A FACILITIES SERVICES STAFF MEMBER, PROJECT MANAGER OR SECURITY GUARD MUST BE PRESENT WHILE WORK IS PERFORMED IN SENSITIVE AREAS. AREAS WILL BE IDENTIFIED BY CITY REPRESENTATIVES.
- 34) NOTHING SET FORTH IN THESE DRAWINGS SHALL RELEASE THE CONTRACTOR FROM RESPONSIBILITY TO PROVIDE APPROPRIATE QUANTITIES, FIELD MANAGEMENT, DIMENSIONAL STABILITY, INSTALLATION, ANCHORAGE AND COORDINATION WITH OTHER TRADES, OR WAIVE THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY AND RESOLVE DEVIATIONS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, OR WAIVE THE CONTRACTOR'S RESPONSIBILITY TO ALERT THE CONSULTANT TO DISCREPANCIES THEREIN.
- 35) THE CONTRACTOR SHALL CONTACT THE BUILDING OWNER TO BE ADVISED OF ALL OF THE RULES OF THE BUILDING WITH RESPECT TO CONSTRUCTION SPECIFICALLY.
- 36) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION WITH WALL TRADES. THE CONTRACTOR SHALL REFER TO ALL ASPECTS OF THE DRAWINGS AND SPECIFICATION INCLUDING BUT NOT LIMITED TO ARCHITECTURAL DRAWINGS, MECHANICAL DRAWINGS AND ELECTRICAL DRAWINGS AS WELL AS RELATED SPECIFICATIONS FOR COORDINATION ISSUES. COORDINATE ALL DIAGRAMMATIC DRAWINGS WITH ALL TRADES TO ENSURE FIT AND COMPATIBILITY.
- 37) SUBMISSION OF A SUBSTITUTE REQUEST BY THE CONTRACTOR, WHERE PERMITTED ON THE CONTRACT DOCUMENTS, SHALL CONSTITUTE A REPRESENTATION BY THE CONTRACTOR THAT THEY HAVE INVESTIGATED THE PROPOSED PRODUCT OR CONDITIONS AND DETERMINED THAT IT IS EQUAL OR BETTER THAN THE SPECIFIED PRODUCT OR CONDITION, INCLUDING WARRANTY COVERAGE AND THAT THEY WILL COORDINATE THE INSTALLATION AND MAKE OTHER CHANGES, INCLUDING MODIFICATION AND COORDINATION OF OTHER WORK AFFECTED BY THE CHANGE, WHICH MAY BE REQUIRED FOR THEIR WORK TO BE COMPLETE IN ALL ASPECTS.
- 38) PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ALL SURFACES AND FINISHES AT INTERIOR AND EXTERIOR OF BUILDING, DAMAGED SURFACES AND FINISHES RESULTING FROM THE PERFORMANCE OF THE WORK SHALL BE REPAIRED AT NO COST TO THE OWNER. CONTRACTOR TO MATCH ADJACENT FINISHES.
- 39) THE CONTRACTOR SHALL CEASE OPERATIONS IF SAFETY OR STRUCTURE APPEARS TO BE ENDANGERED, TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- 40) ALL CONTRACTORS SHALL USE DROP SHEETS AND STICKY MATTING WHERE NECESSARY IN THE CONSTRUCTION AREA TO MINIMIZE DUST, DIRT AND CONSTRUCTION MATERIAL ACCUMULATING IN THE BUILDING.

DEMOLITION NOTES

- 1) REFER TO DEMOLITION PLAN FOR ADDITIONAL NOTES AND CEILING INFORMATION.
- 2) CITY SINKS AND JANITOR SINKS CANNOT BE USED FOR EQUIPMENT AND TOOL CLEAN UP AT ANY TIME. NO POURING OF LIQUIDS OR DISPOSAL OF BUILDING MATERIALS INTO CITY SANITARY SYSTEM AT ANY TIME. REFER TO CITY OF BRAMPTON PROJECT MANAGER FOR ADDITION INSTRUCTIONS.
- 3) SUPERVISE DELIVERY, HANDLING AND STORAGE ON THE SITE OF ALL MATERIALS AND EQUIPMENT TO BE INCORPORATED INTO THE WORK. FACILITIES OPERATIONS WILL NOT ACCEPT DELIVERIES.
- 4) CONTRACTOR TO SUPPLY ALL CONSTRUCTION BINS TO SEPARATE THE CONSTRUCTION DEBRIS AS PER CONSTRUCTION DEMOLITION. ONTARIO REGULATION 102/94 CRITERIA. PROVIDE WAY BILLS AND COMPLETED FORMS AS REQUIRED BY OWNER. LOCATION OF BINS TO BE APPROVED BY CITY OF BRAMPTON PROJECT MANAGER.
- 5) ALL MATERIALS / ITEMS FOR DEMOLITION (SUCH AS P.LAM, DOORS, FRAMES, G.W.B., CARPET, ETC.) TO BE DISPOSED OF BY WAY OF RECYCLING PROGRAM WHENEVER POSSIBLE. FOR MORE GREENING INFORMATION REGARDING CONTRACTOR / SPECIFIER RESOURCES FOR PICK UP / DELIVERY / DISPOSAL OF RECYCLABLE MATERIALS REFER TO WWW.CBWASTE.COM. WASTE PAINT TO BE DISPOSED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AT NO ADDITIONAL COSTS TO THE PROJECT.
- 6) ALL DEMOLITION DEBRIS MUST BE REMOVED AFTER NORMAL BUSINESS HOURS. FACILITY SERVICES TO DETERMINE LOCATION AND TOTAL QUANTITY OF BINS PERMITTED AFTER AWARD OF TENDER.

CONSTRUCTION NOTES

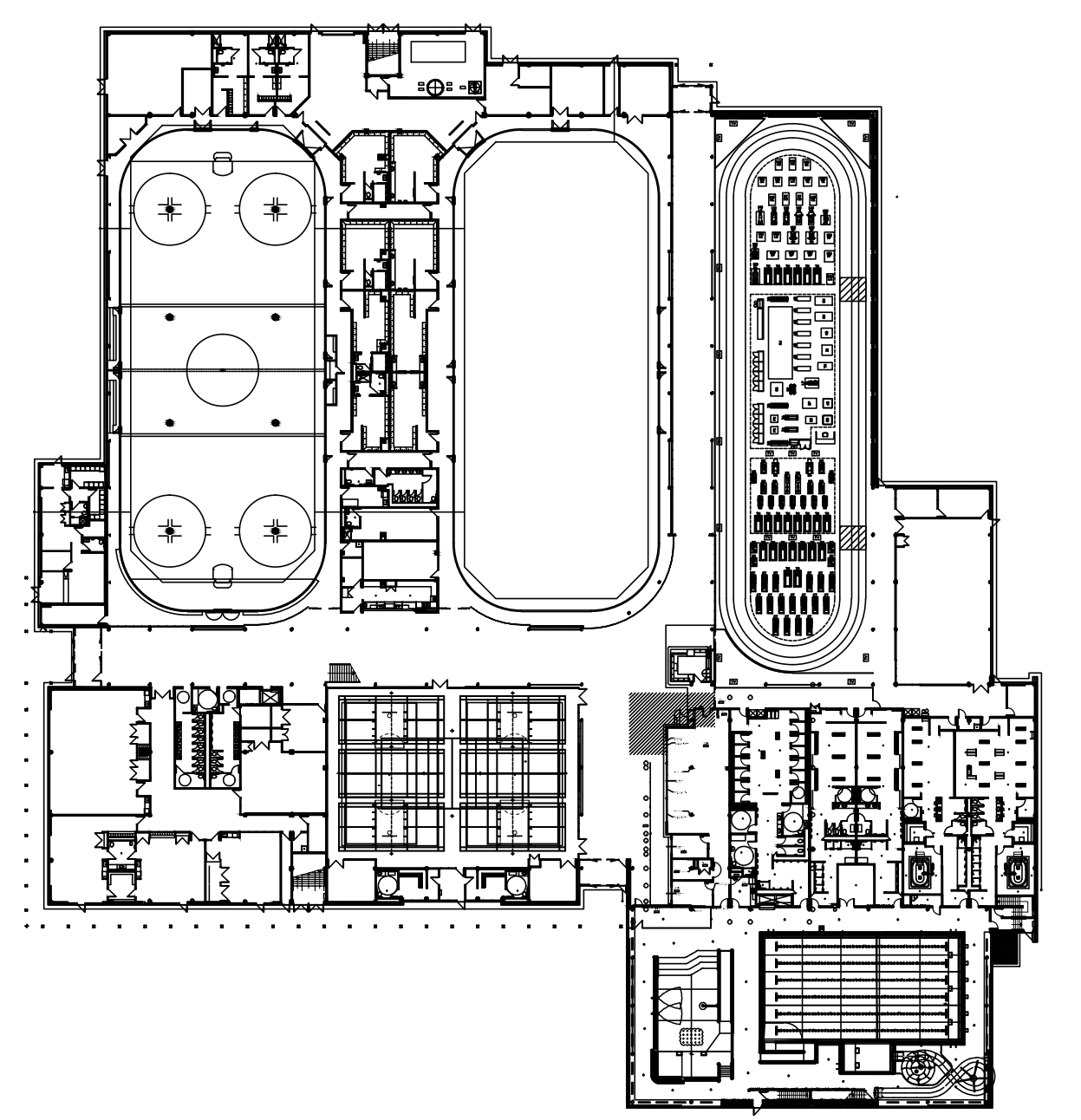
- 1) ALL INTERIOR WALLS SHALL EXTEND TO UNDER- SIDE OF CONCRETE SLABS & STEEL DECK FOR FIRE AND SOUND REASONS. WHERE WALLS RUN PARALLEL AND UNDER OWSJ'S AND BEAMS, THE OWSJ'S AND BEAMS SHALL BE ENCLOSED ALL- AROUND W/ 16MM GYPSUM BOARD AND 100MM THICK BATT INSULATION.
- 2) FIRE STOPPING SHALL BE PROVIDED AS SPECIFIED AND DETAILED, AT TOPS OF ALL WALLS FORMING FIRE SEPARATIONS AND AROUND ALL PIPE, CONDUIT, AND DUCT PENETRATIONS OF FIRE SEPARATIONS.
- 3) ALL NEW WALLS AND INFILLS SHALL BE GYPSUM BOARD ON STEEL STUDS TO THICKNESS INDICATED.
- 4) OPENINGS IN WALLS AND CEILING SPACES, WILL BE REQUIRED FOR AIR MOVEMENT. REFER TO MECHANICAL DRAWINGS FOR EXACT DIMENSIONS AND LOCATIONS.
- 5) REFER TO SHEET A2.0 FOR ROOM AND DOOR SCHEDULE AND DETAILS.

CONSTRUCTION FACILITIES

- 1) PROVIDE CONSTRUCTION IN ORDER TO EXECUTE THE WORK EXPEDITIOUSLY. REMOVE, RESTORE SITE AND SURFACES AFTER USE.
- 2) PROVIDE AND MAINTAIN REQUIRED ACCESS TO PROJECT SITE AND ADJACENT AREAS AS REQUIRED BY THE OWNER.
- 3) HEIGHT, WIDTH AND WEIGHT RESTRICTIONS MUST BE VERIFIED PRIOR TO BRINGING EQUIPMENT INTO THE WORK AREA.
- 4) PROVIDE NECESSARY SCREENS, COVERS AND HOARDING.
- 5) OBEY AND ENFORCE ALL PARKING AND VEHICLE RESTRICTION AND SPEED LIMITS.
- 6) BE RESPONSIBLE FOR THE SECURITY OF SITE, EQUIPMENT, TOOLS AND MATERIALS.
- 7) MAINTAIN THE BUILDING IN A SECURE CONDITION AT ALL TIMES DURING CONSTRUCTION.

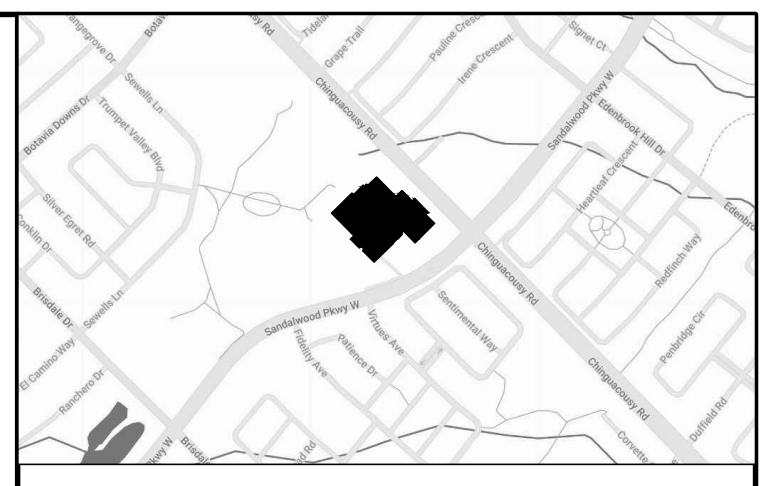
NOTES: TO ALL SUB-TRADES AND VENDORS

- 1) GENERAL CONTRACTOR TO ENSURE THAT ANY AND ALL ATTACHMENTS TO CONCRETE SLAB ARE SCANNED OR X-RAYED. SCANNING IS ACCEPTABLE FOR DRILLING UNDER 38mm DEPTH. ALL DRILLING MORE THAN 38mm REQUIRES X-RAYING PRIOR TO DRILLING. THE CONTRACTOR IS TO MARK THE LOCATIONS OF ALL HARDWARE ATTACHMENTS REQUIRING DRILLING OR SCREWING TO THE SLAB AT ONE TIME BEFORE ATTACHING ANY ITEMS TO THE SLAB. THE OWNER WILL NOT ALLOW ANY TYPE OF FORCE NAILS OR ATTACHMENTS TO BE USED IN CITY HALL.
- 2) X-RAY, SCANNING, CORE DRILLING, BANGING ON FLOORS, AND CEILINGS MUST BE DONE OUTSIDE OF REGULAR HOURS AND WORK TO BE COORDINATED WITH THE FACILITIES OPERATIONS OFFICE 3 TO 5 DAYS IN ADVANCE.
- 3) REPORT SUSPECTED HAZARDOUS MATERIALS (I.E. ASBESTOS) TO THE GENERAL CONTRACTOR, DESIGN CONSULTANT, AND PROJECT LEAD IMMEDIATELY AND CEASE WORK.



1 GROUND FLOOR KEY PLAN
A0.1 1:800

Name of Practice: Moffet & Duncan Architects Inc. 2052 Dundas Street West Toronto, Ontario M9A 1B9		
Name of Project: City of Brampton - Service Counter at Cassie Campbell Renovations		
Location: 1050 Sandalwood Pkwy W, Brampton, ON L7A 0K9		
Date: December 14 2023		
Ontario Building Code Data Matrix - Part 11 - Renovation of Existing Building OBC Reference		
11.00 Building Code Version:	0, Reg. 332/12 Last Amendment: 0, Reg. 191/14	
11.01 Project Type:	<input type="checkbox"/> Addition <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Addition and renovation Description: _____	[A]1.1.2
11.02 Major Occupancy Classification:	Occupancy: _____ Use: ASSEMBLY	3.1.2.(1)
11.03 Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Description: _____	3.2.7
11.04 Building Area (m ²):	Description: NO CHANGE Existing Renovated Total Total 1,1,527 SQM.	[A]1.4.1.2
11.05 Building Height:	1 Storeys above grade 14.4 (m) Above grade 0 Storeys below grade	[A]1.4.1.2 & 3.2.1.1
11.06 Number of Streets/Firefighter access:	3 Streets	3.2.2.10 & 3.2.5
11.07 Building Size:	<input type="checkbox"/> Small <input type="checkbox"/> Medium <input checked="" type="checkbox"/> Large <input type="checkbox"/> > Large	1.1.1.2.1.B
11.08 Existing Building Classification:	Change in major occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy) Construction Index: _____ Hazard Index: _____ Importance Category: <input type="checkbox"/> Low <input type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Post-disaster	11.2.1.1 1 11.2.1.1A 1 11.2.1.1B to N 4.2.1.(2) 6.2.2.1(2)
11.09 Renovation type:	Basic Renovation <input checked="" type="checkbox"/> Extensive Renovation <input type="checkbox"/>	11.3.3.1 11.3.3.2
11.10 Occupant Load:	Floor Level/Area Occupancy Type Based On Occupant Load (Persons) NOT COMPLIANT (EXISTING)	3.1.17
11.11 Plumbing Fixture Requirements:	Ratio: M/F = 1/1 Except as otherwise noted Floor Level/Area Occupant Load OBC Reference Fixtures Required Fixtures Provided NO CHANGE IN OCCUPANT LOAD & NUMBER OF PLUMBING FIXTURES	3.7.4
11.12 Barrier-free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Explanation: Construction of a barrier-free reception counter	11.3.3.2(2)
11.13 Reduction in Performance Level:	Structure: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (Describe) _____ By increase in occupant load: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (Describe) _____ By change in major occupancy: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (Describe) _____ Plumbing: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (Describe) _____ Sewage-system: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (Describe) _____ Extension of Combustible Construction: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (Describe) _____	11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5 11.4.2.6
11.14 Compensating Construction:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Structure: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (Describe) _____ Increase in occupant load: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (Describe) _____ Change in major occupancy: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (Describe) _____ Plumbing: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (Describe) _____ Sewage-system: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (Describe) _____ Extension of Combustible Construction: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (Describe) _____	11.4.3.1 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6 11.4.3.7
11.15 Compliance Alternatives Proposed:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES _____	11.5.1
11.16 Notes:	_____	11.5.1



LOCATION PLAN

MAR 14, 2024	ISSUED FOR TENDER
FEB 29, 2024	ISSUED FOR 90% DRAWINGS
DEC 14, 2023	ISSUED FOR 60% DRAWINGS
DATE	REVISIONS

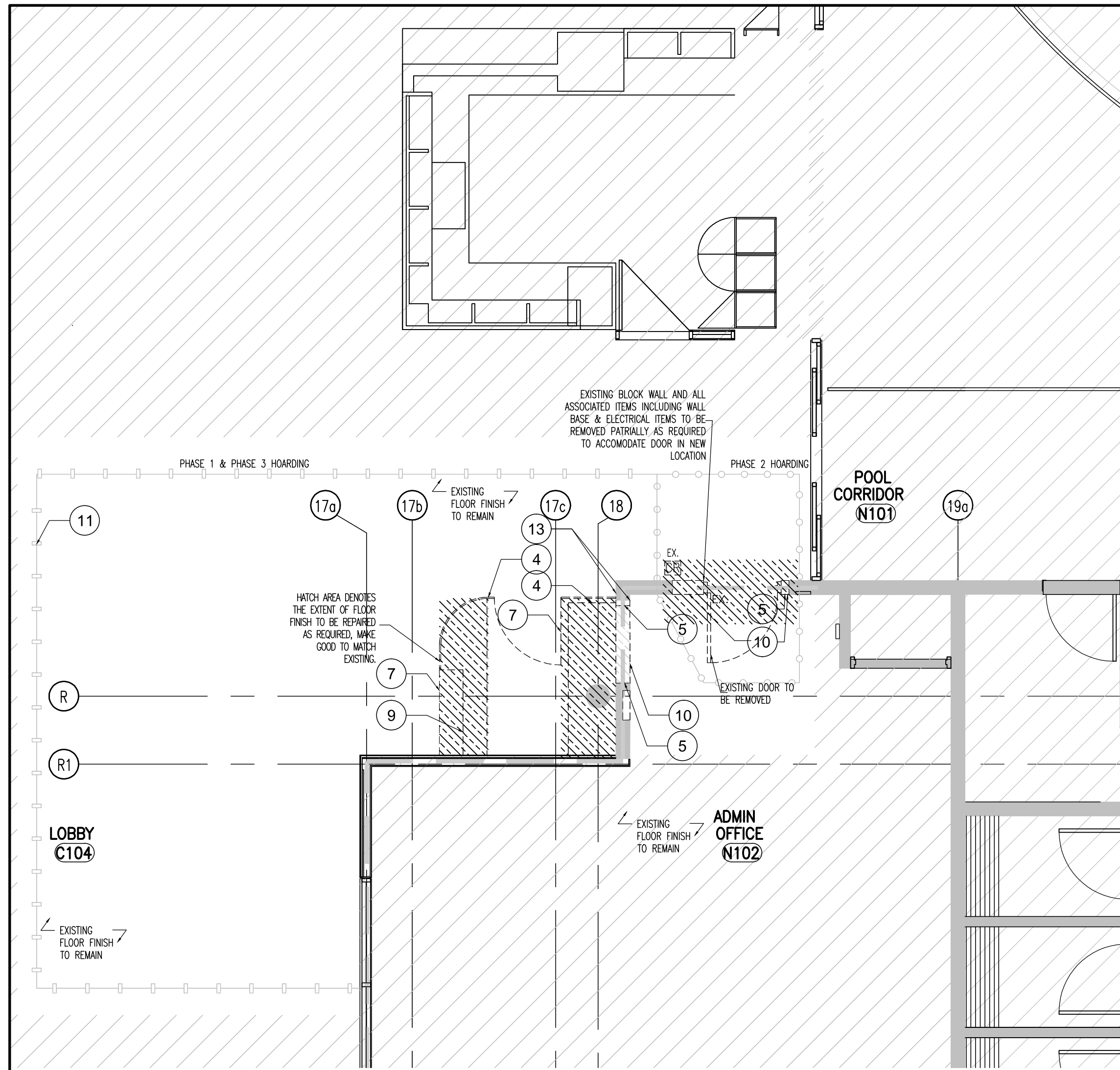
Service Counter at Cassie Campbell Renovations
1050 Sandalwood Pkwy W, Brampton, ON L7A 0K9



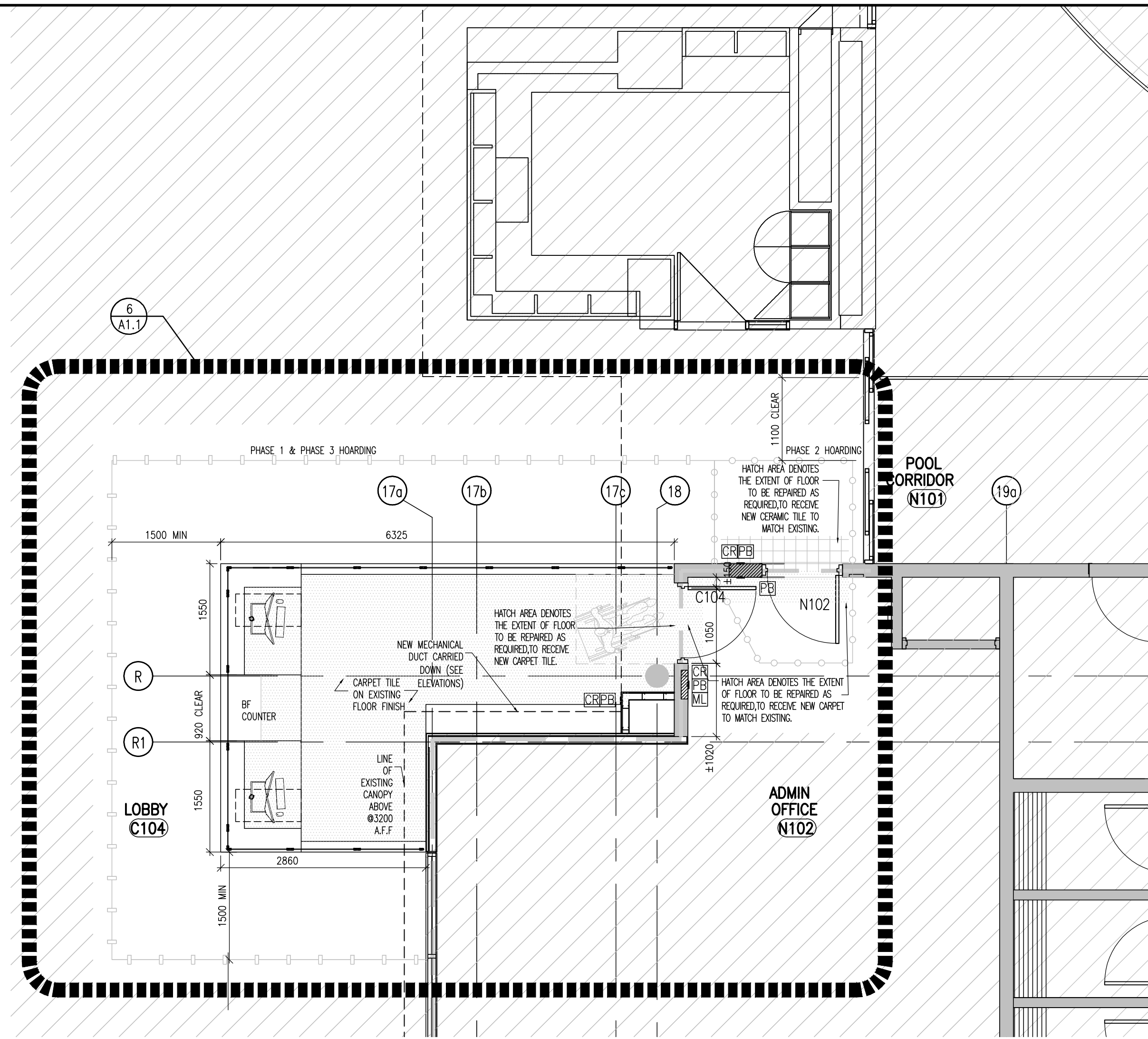
GENERAL NOTES & OBC MATRIX

	TRUE NORTH	DWG. NORTH
	2336	JOB NO.
	AS NOTED	SCALE
		DATE
		PRINTED
	July 15, 2024	DWG. NO.
		A0.1

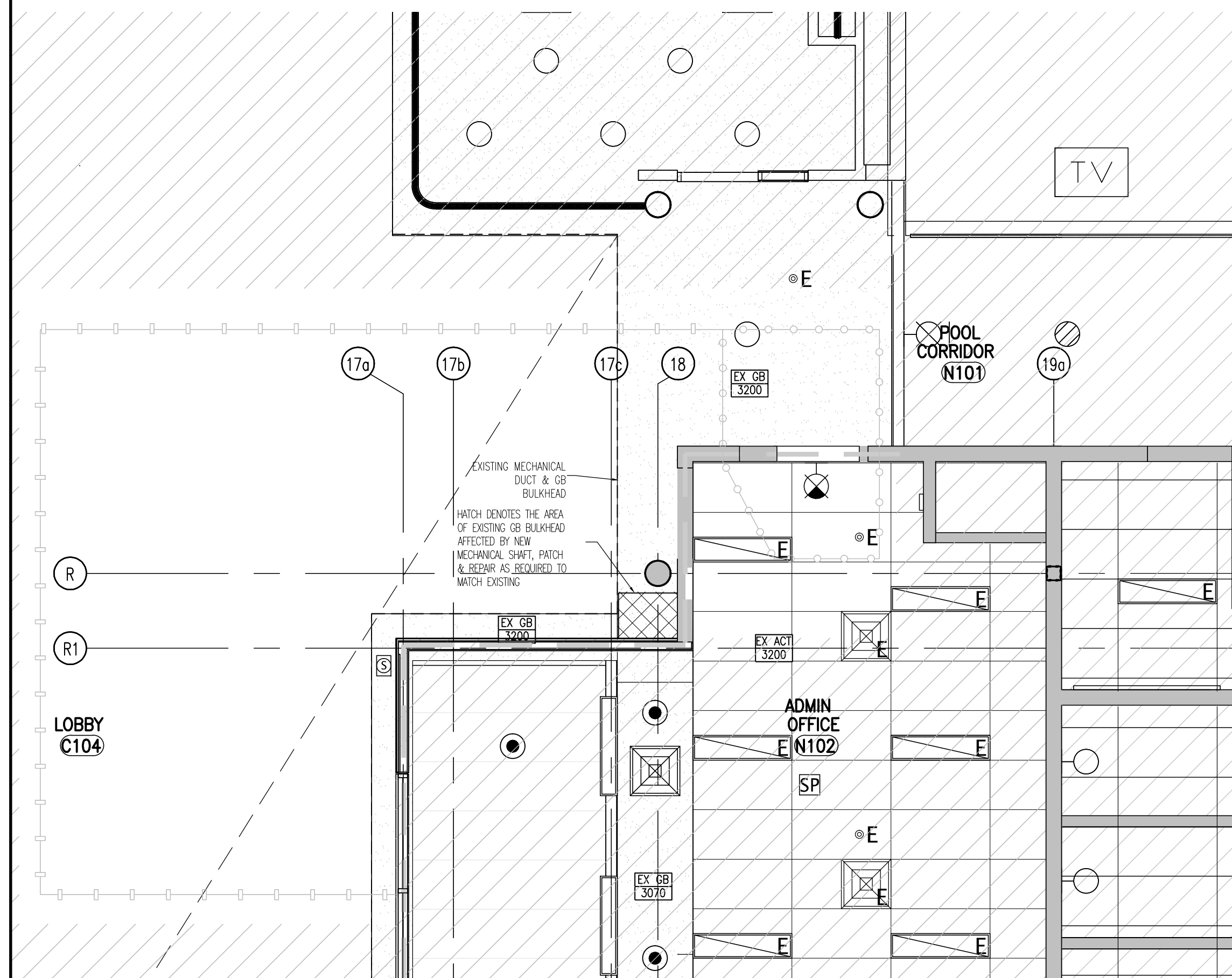
MOFFET & DUNCAN
architects inc.
5052 DUNDAS ST. WEST
TORONTO, ONT. M9A 1B9
TEL: (416) 239-2775
(416) 239-6729
FAX: (416) 239-6729
EMAIL: mdarch@mdarch.ca



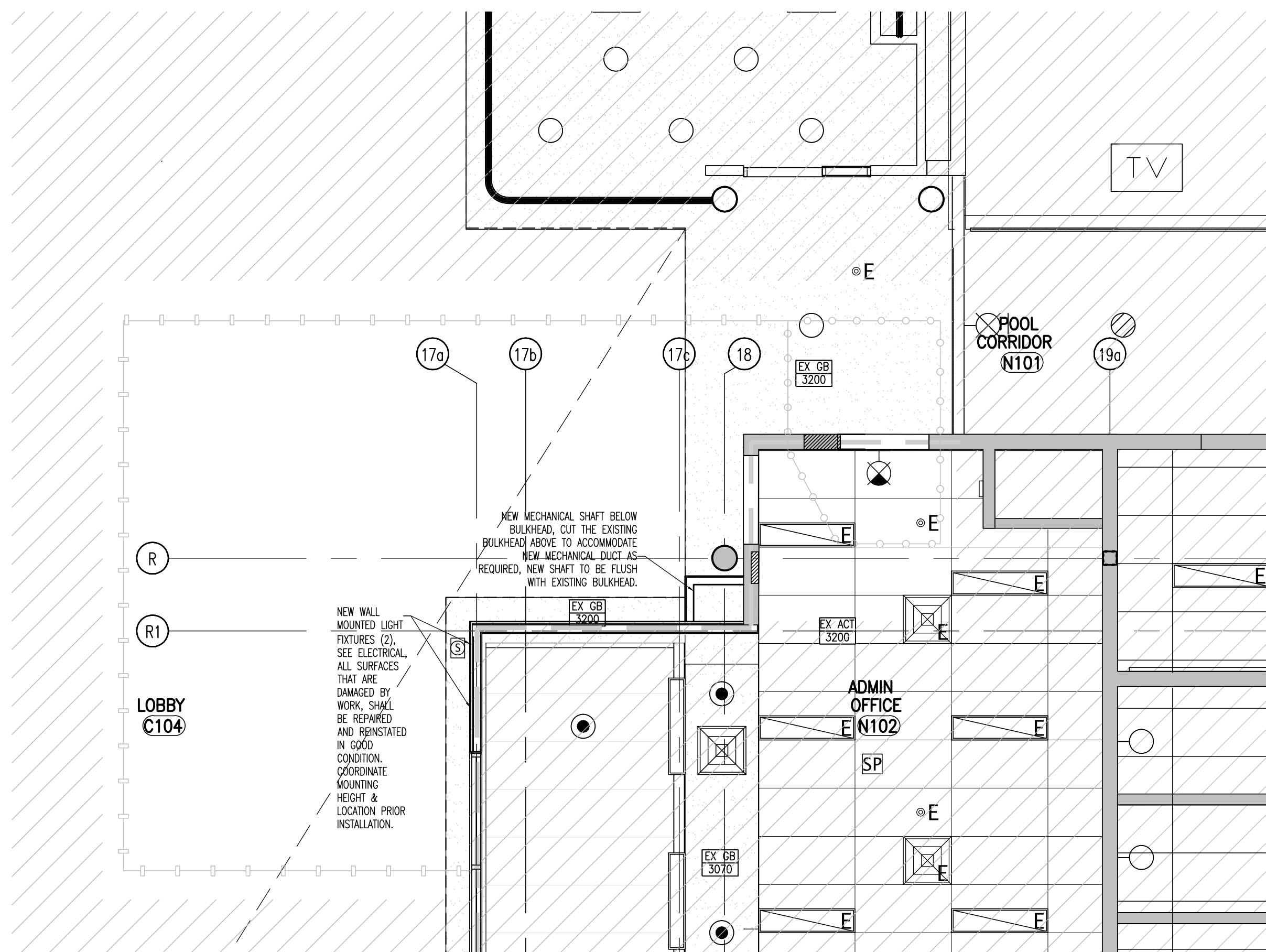
1 DEMOLITION FLOOR PLAN
A1.0 1:50



2 PROPOSED FLOOR PLAN
A1.0 1:50



3 DEMOLITION RCP
A1.0 1:50



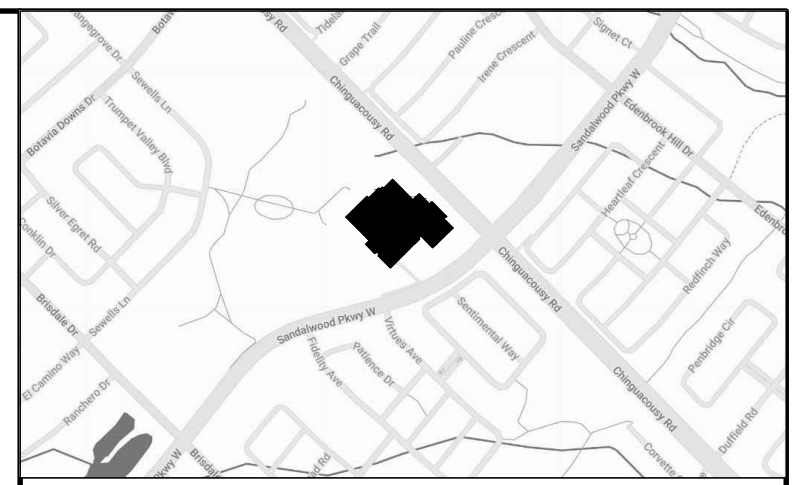
4 PROPOSED RCP
A1.0 1:50

DEMOLITION NOTES:

- ALL OF THE DEMOLITION NOTES MUST BE FOLLOWED IN RESPECT TO ALL THE ROOMS SHOWN ON THE DEMOLITION PLAN THAT ARE AFFECTED BY THE RENOVATION WORK, WHENEVER THEY ARE APPLICABLE, WHETHER OR NOT THERE IS A SPECIFIC DEMOLITION NOTE INDICATED IN EACH ROOM. REFER TO RFS, DOOR SCHEDULE, FLOOR PLANS, ELEVATIONS, AND DETAILS FOR FURTHER EXTENT. (TYP.)
- ALL DEMOLITION WORK TO OCCUR IN DESIGNATED AREAS AT SPECIFIED TIMES ONLY. ALL DAMAGED MATERIALS OUTSIDE THESE AREAS TO BE REPAIRED AND RETURNED TO ORIGINAL CONDITION. WHEN WORK FOR MECHANICAL AND ELECTRICAL CONNECTIONS IS REQUIRED TO TAKE PLACE OUTSIDE DESIGNATED AREAS, USE EXTREME CAUTION TO PREVENT ANY ADDITIONAL DAMAGE.
- VERIFY SITE DIMENSIONS AND DIMENSIONS OF NEW WORK BEFORE PROCEEDING WITH DEMOLITION OR REMOVAL OF EXISTING BUILDING MATERIALS.
- REMOVE EXISTING MILLWORK, FURNITURE AND ALL OTHER RELATED ITEMS. REPAIR ANY DAMAGE TO EXISTING MATERIALS AFFECTED BY WORK.
- ALL REMAINING WALL SURFACES THAT ARE DAMAGED BY THE REMOVAL OF WALLS, BULKHEADS, SHELVES, FURNITURE, PLUMBING FIXTURES, HEATERS, MILLWORK, CLOCKS, EQUIPMENT AND OTHER ITEMS, AND/OR ARE CURRENTLY IN CONDITION THAT SHOWS ANY SIGN OF DAMAGE SHALL BE REPAIRED AND REINSTATED IN GOOD CONDITION. NEW EDGES TO PARTLY DEMOLISHED WALLS SHALL NOT BE LEFT WITH SAW CUT OR BROKEN UNITS. PATCH ALL DAMAGED EXISTING WALLS. PRIOR TO THE APPLICATION OF NEW PAINT, PROVIDE PLASTER TO MATCH EXISTING, ENSURE THAT ALL REMAINING METAL PIECES, SCREW HEADS, ETC. ARE REMOVED, HOLES PATCHED AND SANDED.
- REMOVE EXISTING STEEL STUD AND GYPSUM BOARD WALL OR WALL/COLUMN FURRING, WALL BASE AND ALL OTHER RELATED ITEMS. PATCH/ REPAIR ANY DAMAGE TO EXISTING MATERIALS AFFECTED BY WORK.
- EXTENT OF EXISTING FLOORING TO BE PATCHED, REPAIRED & MAKE GOOD, IF THE FINISH IS UNSATISFACTORY. REMOVE THE EXISTING FLOOR TILES, PREPARE THE SUB FLOOR & MAKE GOOD PRIOR INSTALLING NEW FLOOR TILES, NEW TILES TO MATCH EXISTING.
- RESERVED.
- ALL APPLIANCES AND EQUIPMENT TO BE CAREFULLY MOVED AND STORED AT THE LOCATION ON SITE DETERMINED BY THE OWNER. SALVAGE AND HAND OVER EXISTING BUILDING COMPONENTS AS REQUESTED BY OWNER.
- REMOVE EXISTING CMU PARTITION PARTIALLY TO ALLOW FOR INSTALLATION OF DOOR. REFER TO FLOOR PLAN FOR DIMENSIONS OF FINAL OPENING.
- INSTALL CONSTRUCTION HOARDING AT REQUIRED LOCATIONS, AS SHOWN ON 1/A1.0. ENSURE THAT ENOUGH SPACE IS PROVIDED FOR COMFORTABLE MOVEMENT THROUGHOUT CORRIDOR, MAIN CORRIDOR AND STAIR LOBBY. ADMIN ROOM N102 NEED TO HAVE ACCESS AT ALL TIMES:
PHASE 1 HOARDING: TO PROVIDE ALL THE WORK ASSOCIATED WITH NEW DOOR OPENING C104, DURING THIS TIME DOOR N102(EXISTING) WILL BE THE ACCESS TO ROOM AT DAY TIME.
PHASE 2 HOARDING: TO PROVIDE ALL THE WORK ASSOCIATED WITH REPLACING DOOR N102, DURING THIS TIME DOOR C104 WILL BE THE ACCESS TO ADMIN ROOM N102.
PHASE 3 HOARDING: TO PROVIDE THE REMAINING WORK INCLUDING MILLWORK, FLOORING, PAINT ETC & DOOR N102 (NEW) WILL BE THE ACCESS TO ADMIN ROOM N102.
- COORDINATE TEMPORARY SHUTDOWN OF UTILITIES WITH OWNER 48 HOURS PRIOR TO SHUTDOWN IF REQUIRED.
- CUT OPEN EXISTING WALLS TO INSTALL NEW ELECTRICAL OUTLETS, FIXTURES AND CONDUITS. REPAIR EXISTING WALLS AFTER COMPLETION OF ELECTRICAL WORK. MATCH EXISTING MATERIALS AND FINISHES. REFER TO ELECTRICAL DRAWINGS FOR FULL EXTENT OF NEW ELECTRICAL EQUIPMENT.
- REMOVE EXISTING DOOR(S) AND DOOR FRAME. PREPARE EXISTING WALL FOR IN-FILL. REMOVE HARDWARE AND HAND OVER TO OWNER.

REFLECTED CEILING LEGEND:

- DENOTES EXISTING WALLS TO REMAIN UNDISTURBED UNLESS OTHERWISE NOTED
- DENOTES NEW WALLS
- DENOTES EXISTING 1200 X 600 LAY-IN ACOUSTIC CEILING TILE AND GRID.
- DENOTES PORTION OF CEILING TILES AND/OR GRID AFFECTED BY NEW MECH AND ELEC WORK
- EXISTING SURFACE MOUNTED LIGHT FIXTURE 305 x 1220
- EXISTING SUPPLY AIR DIFFUSER. REFER TO MECH. DWGS.
- EXISTING RETURN AIR GRILLE. REFER TO MECH. DWGS.
- CEILING HEIGHT FROM FINISHED FLOOR. REFER TO ROOM FINISH SCHEDULE
- EXISTING CCTV CAMERA
- EXISTING SMOKE DETECTOR
- EXISTING EXIT LIGHT
- EXISTING SPRINKLER
- EXISTING ACCESS PANEL



LOCATION PLAN

ABBREVIATIONS LEGEND

ACT	ACOUSTIC CEILING TILE
BF	BARRIER-FREE
CR	CARD READER
EP	ELECTRICAL PANEL
FD	FLOOR DRAIN
ML	MAGLOCK
INT	INTERCOM
NIC	NOT IN CONTRACT
PAN	PANIC BUTTON
PB	PUSH BUTTON (DOOR OPERATOR)
TB	TACK BOARD
U/C	UNDER COUNTER
VCT	VINYL COMPOSITE TILE
WB	WHITEBOARD

NOTE: ALL DIMENSIONS TO BE VERIFIED ON SITE.

FLOOR PLANS LEGEND

- DENOTES EXISTING WALLS TO REMAIN UNDISTURBED UNLESS OTHERWISE NOTED
- DENOTES GYPSUM BOARD AND STEEL STUD PARTITION
- DENOTES EXISTING WALLS AND BUILDING COMPONENTS (WINDOWS, DOORS, SCREENS, O/H DOORS, ETC.) FIXTURES, FURNITURE, APPLIANCES, LOCKERS, CHALKBOARDS, TACKBOARDS, ACCESSORIES, ETC. TO BE REMOVED AND DISPOSED OF. REFER TO GENERAL DEMOLITION NOTES.
- AREA NOT IN SCOPE.
- DENOTES FLOOR AREA NEED TO BE PATCHED AND REPAIRED THAT ARE AFFECTED BY REMOVAL OF WALLS, PLUMBING FIXTURES, ACCESS FLOOR, CONNECTORS, PIPES, ETC. PRIOR TO INSTALLATION OF NEW FLOOR FINISHES AND BASES. REMOVE EX. FLOOR FINISHES & BASES AND PROVIDE SELF-LEVELING SUB-BASES.
- DENOTES CARPET TILE FLOOR FINISH, EXACT AREA NEED TO BE SITE VERIFIED.
- DENOTES CERAMIC TILE FLOOR FINISH TO MATCH EXISTING, EXACT AREA NEED TO BE SITE VERIFIED.
- CONSTRUCTION HOARDING PHASE 1 & 3
- CONSTRUCTION HOARDING PHASE 2

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FEB 29, 2024	ISSUED FOR 90% DRAWINGS
DEC 14, 2023	ISSUED FOR 60% DRAWINGS
OCT 24, 2023	ISSUED FOR 30% DRAWINGS

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1050 Sandalwood Pkwy W, Brampton, ON L7A 0K9

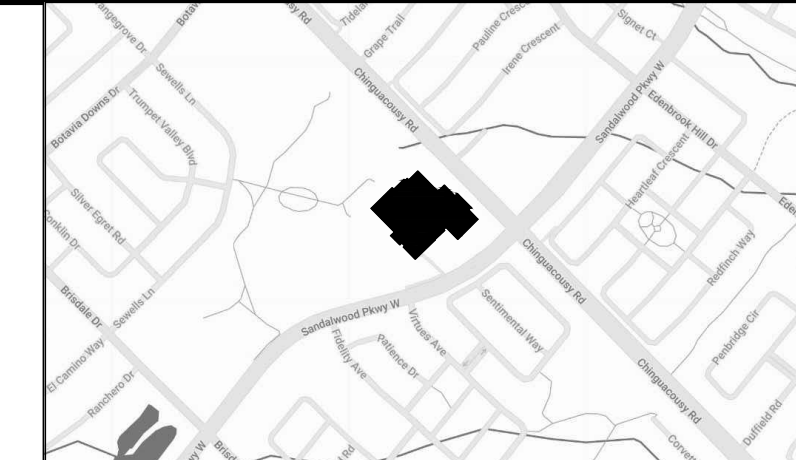


DEMOLITION & PROPOSED FLOOR PLAN, DEMOLITION & PROPOSED RCP

ONTARIO ASSOCIATION OF ARCHITECTS	TRUE NORTH	DWG. NORTH
Ken MacSparran KEN MACSPARRAN LICENCE 4751	2336	JOB NO.
	AS NOTED	SCALE
		DATE
		PRINTED
	May 27, 2024	DWG. NO.

MOFFET & DUNCAN architects inc.
5052 DUNDAS ST. WEST
TORONTO, ONT. M9A 1B9
TEL: (416) 239-2775
FAX: (416) 239-8729
EMAIL: mdrch@mdrch.ca

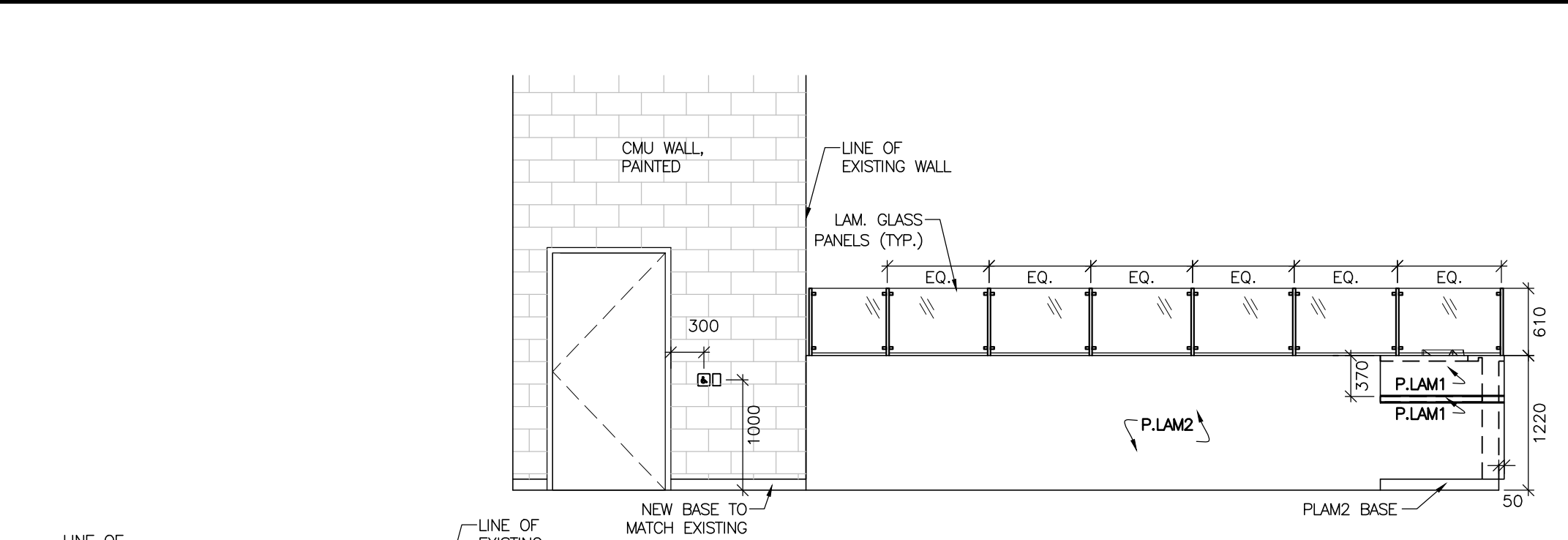
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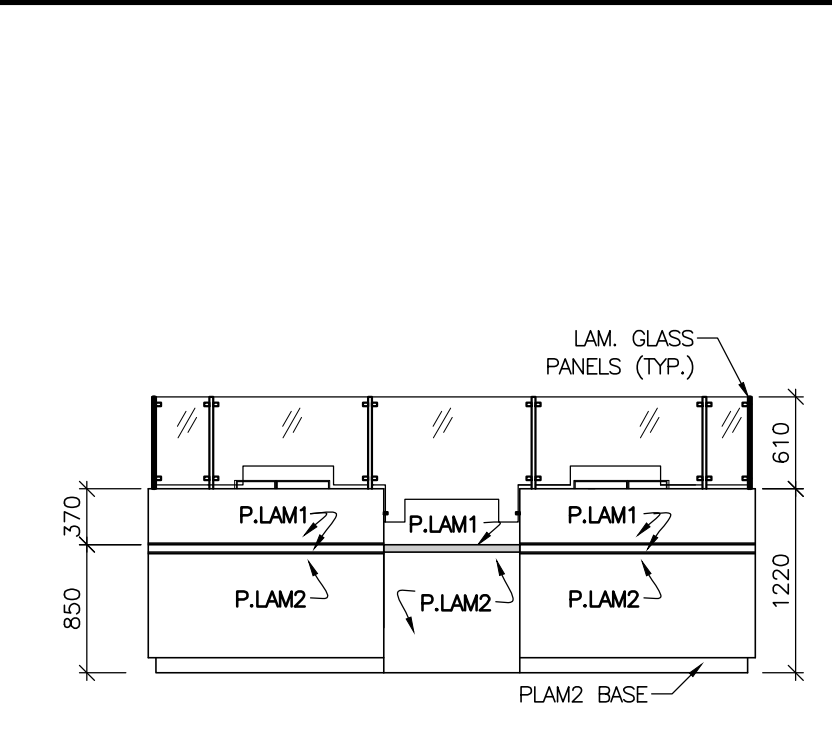
LOCATION PLAN

ABBREVIATIONS LEGEND

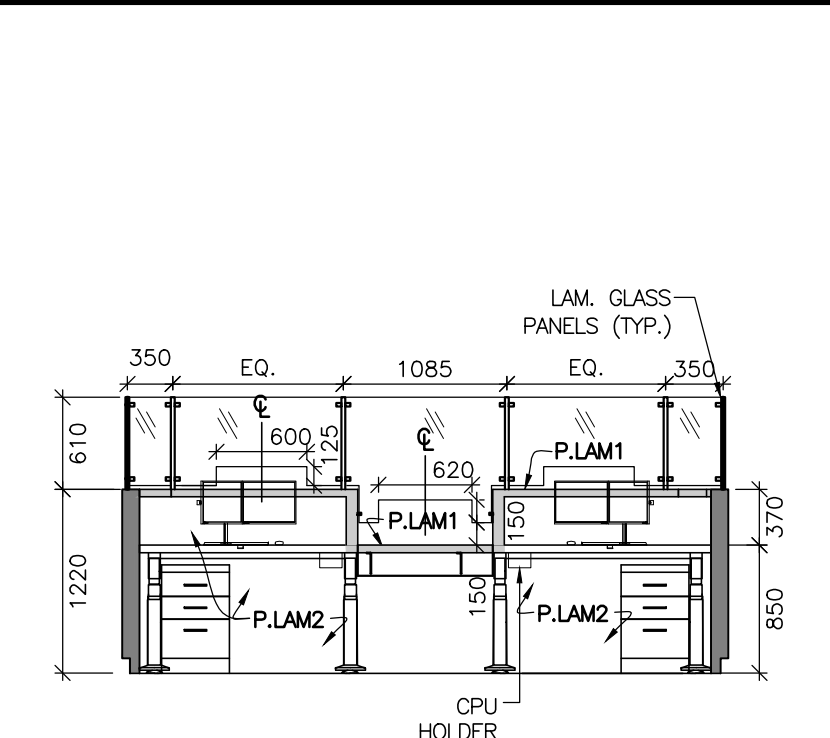
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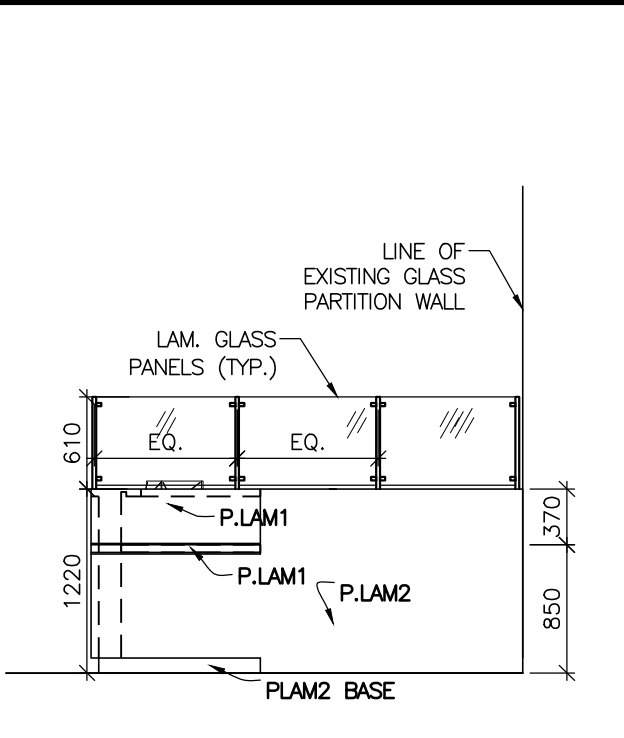
1 RECEPTION DESK ELEVATION
A1.1 1:50



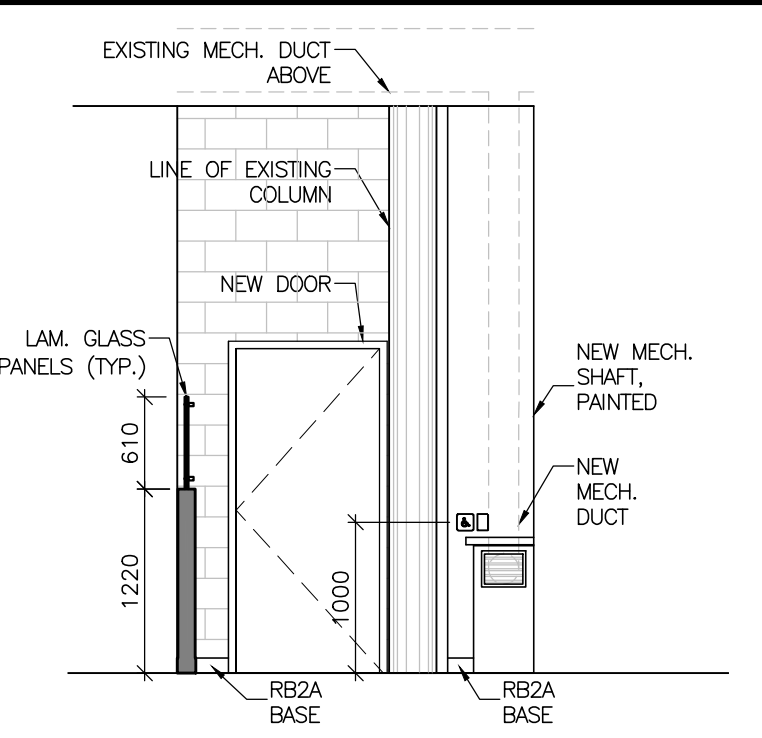
2 RECEPTION DESK ELEVATION
A1.1 1:50



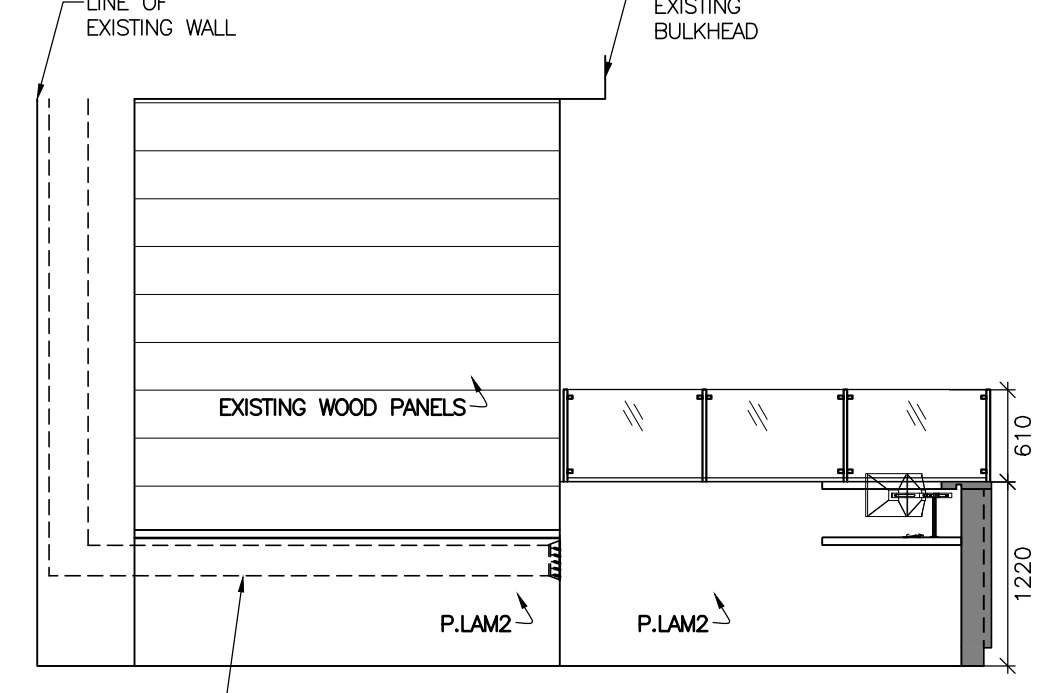
2R RECEPTION DESK ELEVATION
A1.1 1:50



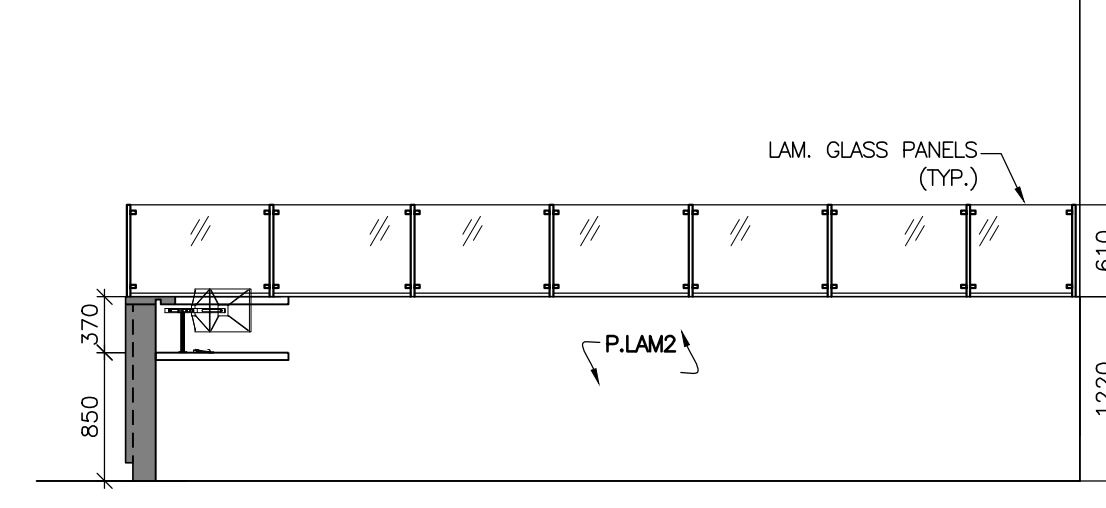
3 RECEPTION DESK ELEVATION
A1.1 1:50



4 RECEPTION DESK ELEVATION
A1.1 1:50



3R RECEPTION DESK ELEVATION
A1.1 1:50



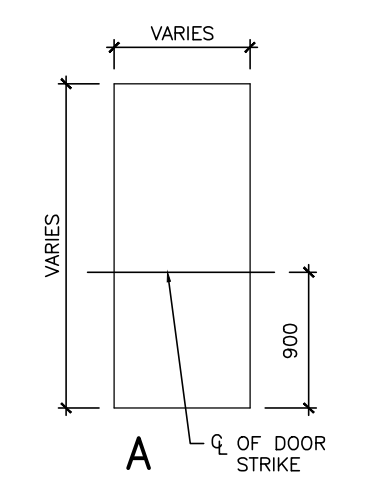
1R RECEPTION DESK ELEVATION
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DOOR AND FRAME SCHEDULE

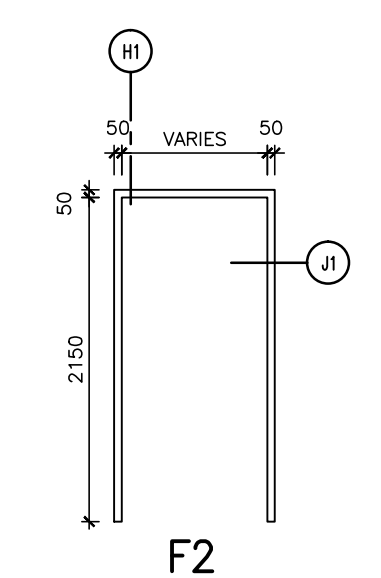
ROOM NO.	ROOM NAME	DOOR No.	DOOR SIZE	THICKNESS	TYPE	MATERIAL	FINISH	GLASS	FRAME MATERIAL	FINISH	TYPE	GLASS HEAD/JAMB	REQUIRED F.R.R.	ULC CLOSER	REMARKS	
INTERIOR DOORS																
N102	ADMIN OFFICE	N102	1015 X 2150	45	A	HM	PAINT	-	HM	PAINT	F2	-	H2/ J3	0 HR	YES	POWER DOOR OPERATOR, CARD READER, DOOR CONTACT, ELECTRIC STRIKE
C104	RECEPTION	C104	1015 X 2150	45	A	HM	PAINT	-	HM	PAINT	F2	-	H2/ J3	0 HR	YES	POWER DOOR OPERATOR, CARD READER ON BOTH SIDES, MAG LOCK, DOOR CONTACT,

*** PROVIDE SMOKE SEAL AROUND THE DOORS TO ACCOMMODATE THE SMOKE TIGHT FIRE SEPARATION.

5 DOOR & FRAME SCHEDULE
A1.1

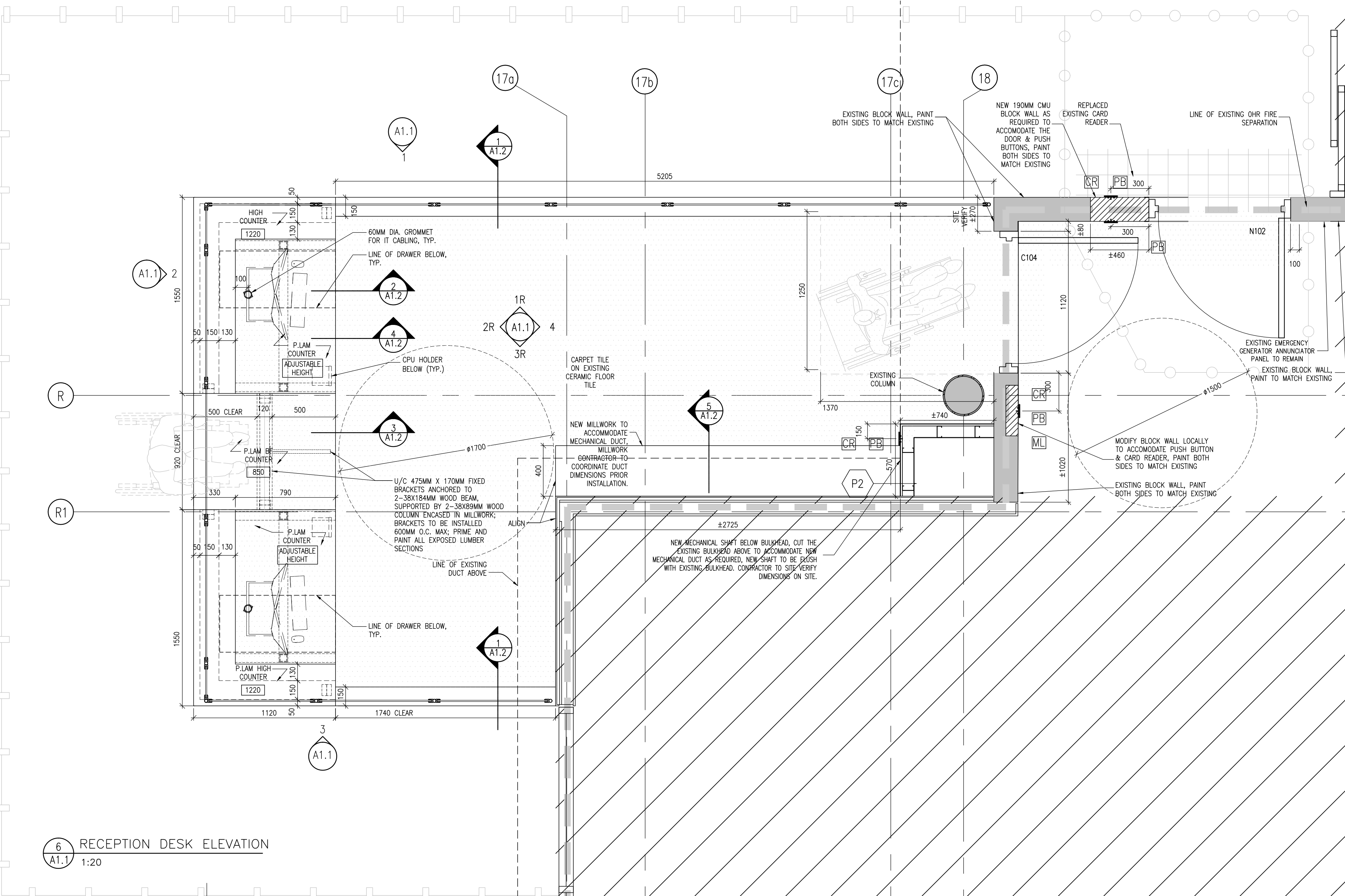


A DOOR TYPES

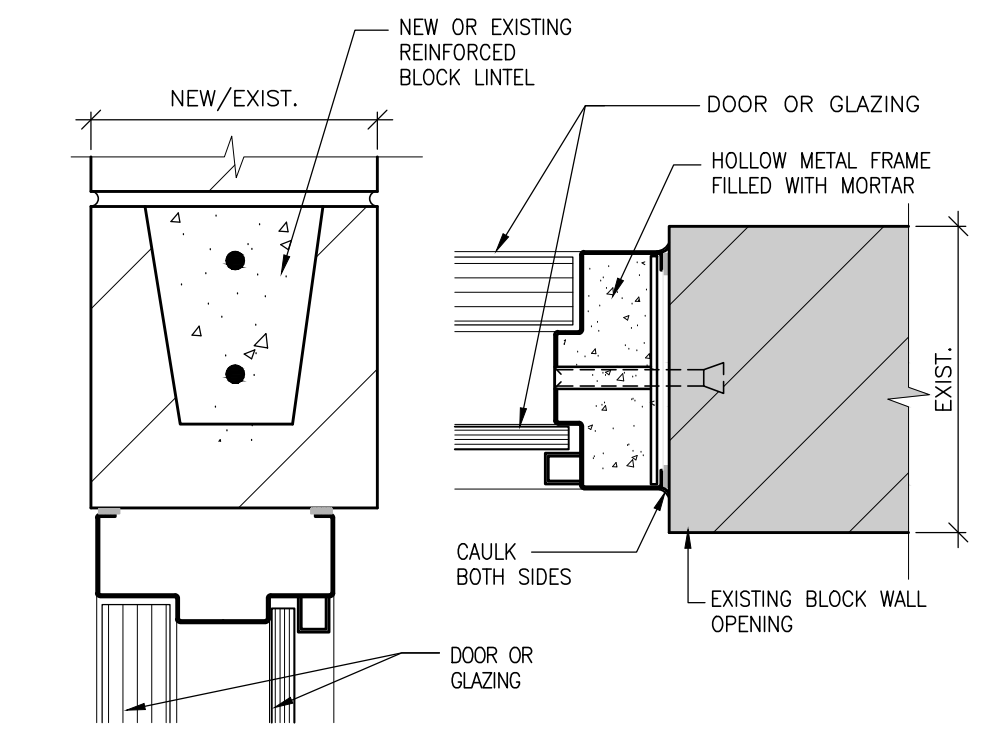


F2 FRAME TYPES

REFER TO THE DOOR SCHEDULE FOR THE EXACT DOOR WIDTHS, HEIGHTS AND THICKNESS.



6 RECEPTION DESK ELEVATION
A1.1 1:20



H2 HEAD DETAIL J3 JAMB DETAIL

CONSTRUCTION ASSEMBLIES LEGEND

LABEL	DESCRIPTION	REQ. FRR	NOTES
P2	16MM GYPSUM BOARD, 92MM METAL STUDS @ 400MM O.C.	0 HR	1)

NOTES:
1) SHAFT TO BE CARRIED UP TO U/S OF BULKHEAD

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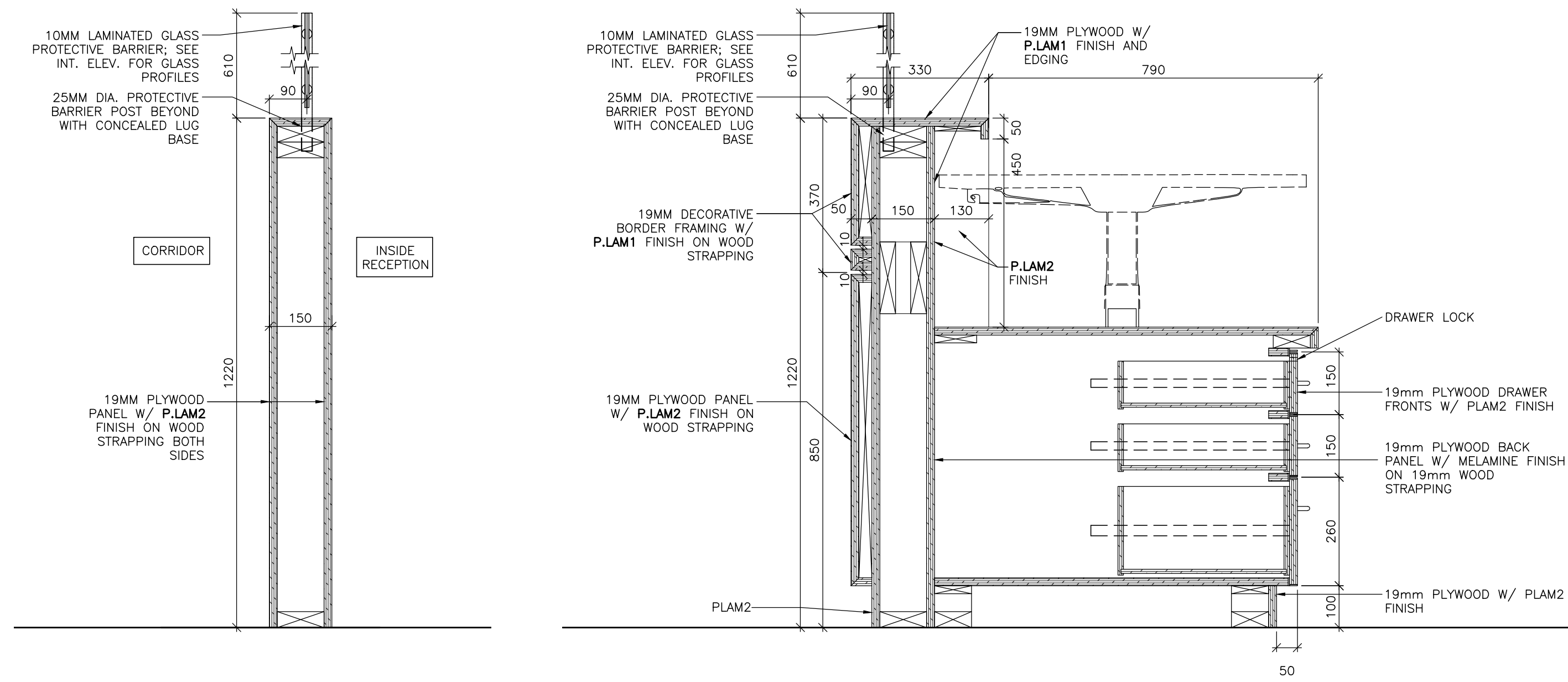
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MILLWORK ELEVATIONS
PROPOSED FLOOR PLAN
DOOR AND FRAME SCHEDULE

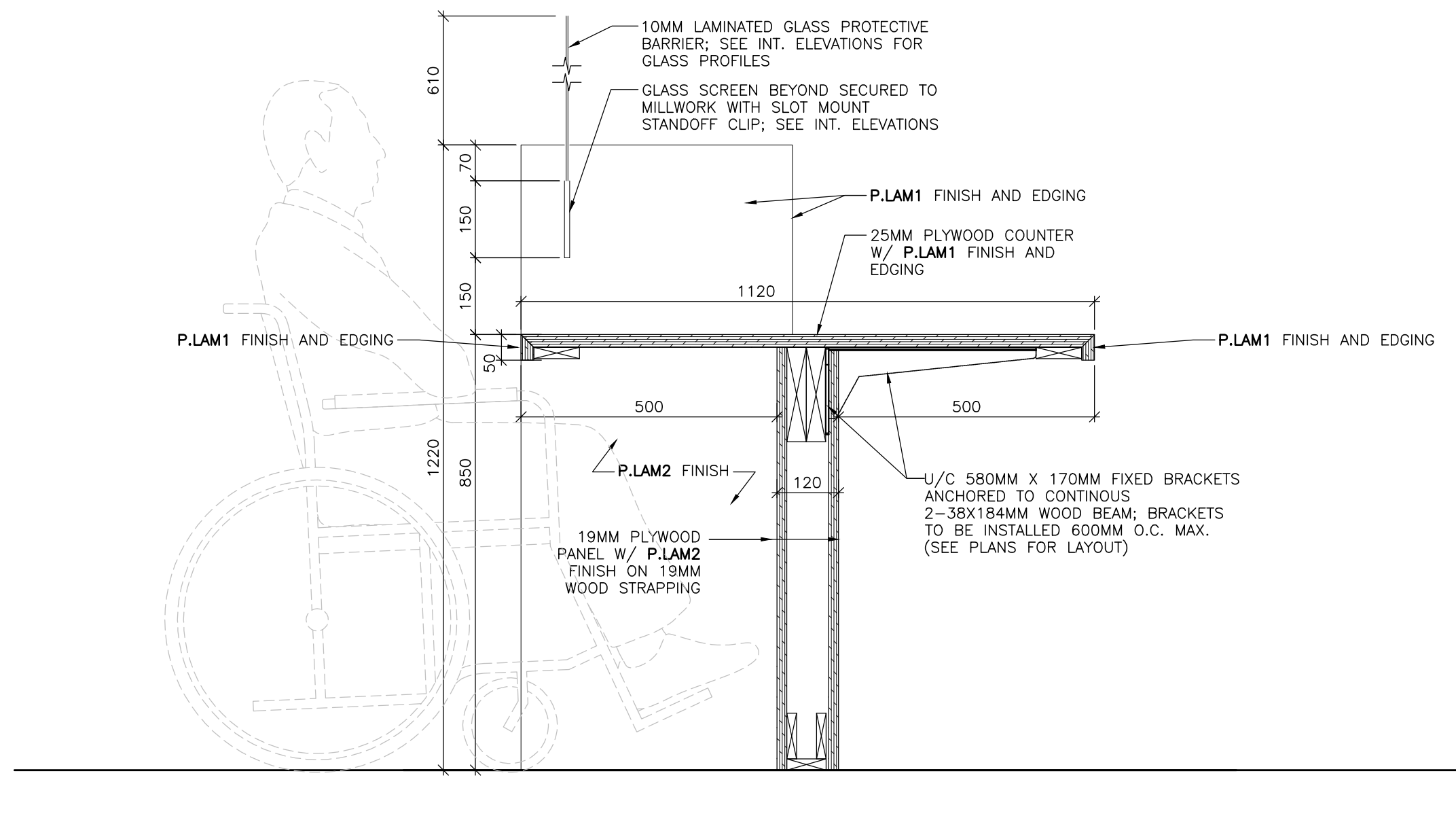
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October 10, 2023	DWG. NO.
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MOFFET & DUNCAN
architects inc.
5052 DUNDAS ST. WEST
TORONTO, ONT. M9A 1B9
TEL: (416) 239-2775
FAX: (416) 239-6729
EMAIL: moffet@moffetandduncan.ca

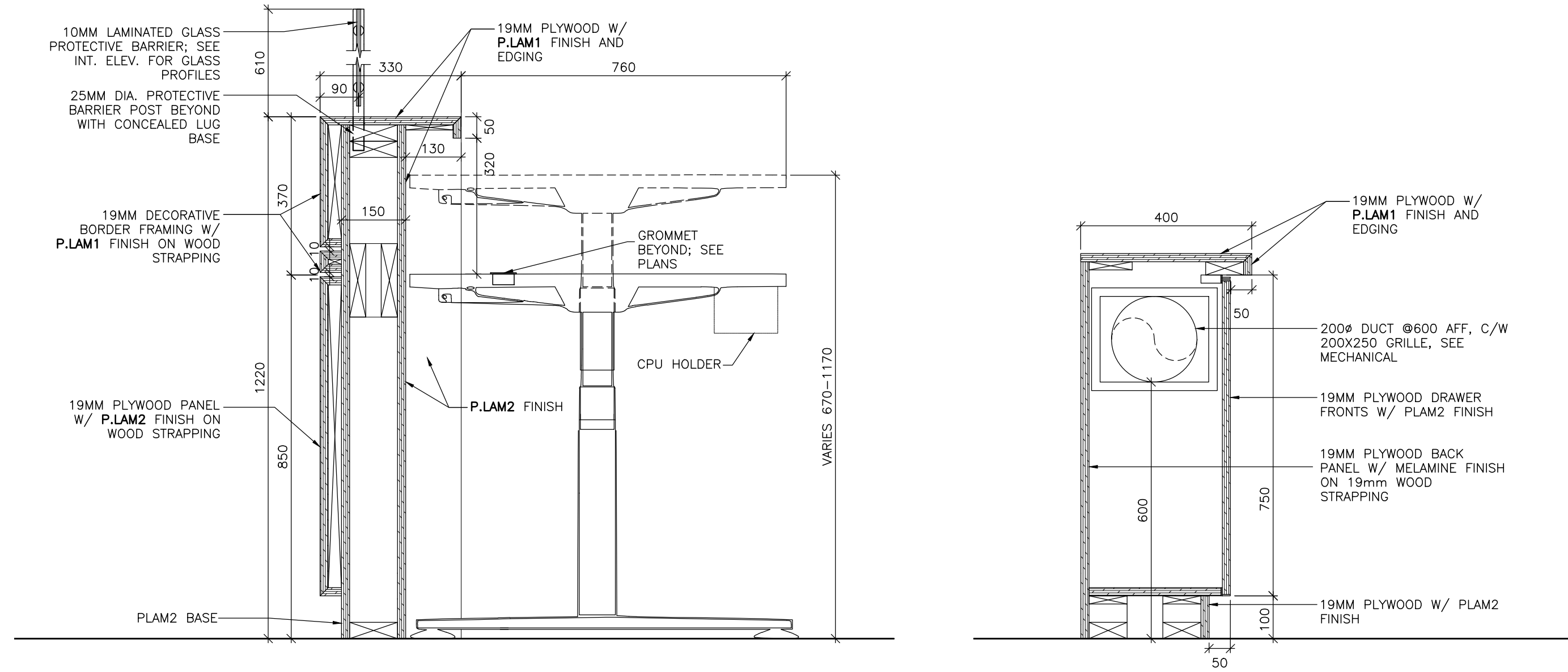


1 RECEPTION DESK @ PARTITION SECTION
A1.2 1:10

2 RECEPTION DESK @ DRAWER SECTION
A1.2 1:10



3 RECEPTION DESK @ ACCESSIBLE COUNTER SECTION
A1.2 1:10



4 RECEPTION DESK @ WORK STATION SECTION
A1.2 1:10

5 RECEPTION DESK @ WORK STATION SECTION
A1.2 1:10

ROOM FINISH SCHEDULE						
ROOM NO.	ROOM NAME	FLOOR		WALLS		NOTES
		MATERIAL	FINISH	BASE	MATERIAL	
C104	LOBBY/CORRIDOR	EX. CONC.	EX/ PCT2	MATCH EX PCT3	EX./ CONC. BLOCK	PAINT P1
C104	RECEPTION	EX. CONC.	CPT2 ON EXISTING FINISH	RB2A	EX./ CONC. BLOCK	PAINT P1
N102	ADMIN OFFICE	EX. CONC.	EX/ CPT2	RB2A	EX./ CONC. BLOCK	PAINT P1, P2

*** NOTE: CONTRACTOR TO MATCH PLAM COLORS, PAINT COLORS, BASES WITH EXISTING AND SEND SAMPLES TO CONSULTANT PRIOR ORDERING.

<p>ROOM FINISH MATERIALS:</p> <p>CPT2 MANUFACTURER: PATCRAFT COMMERCIAL CARPET STYLE: BROADLOOM NAME: JUST BEAUTIFUL COLOUR: GREAT SAND DUNES NUMBER: 10091-91517 DYE METHOD: SOLUTION DYED</p> <p>P1 MANUFACTURER: ICI COLOUR: CANVAS CLOTH (GENERAL WALL COLOUR) NUMBER: 716</p> <p>P2 MANUFACTURER: ICI COLOUR: WILTON BLUE NUMBER: 1349</p> <p>P3 MANUFACTURER: GENERAL PAINTS COLOUR: TUDOR HOUSE (INTERIOR PAINTED HM DOOR & FRAME) NUMBER: 8806N</p>	<p>PCT2 MANUFACTURER: OLYMPIA TILE SERIES: DISCOVERY COLOUR: ATACAMA (SAND) NUMBER: BC.DC.AMC.0606 SIZE: 150 x 150 (6' x 6')</p> <p>PCT3 MANUFACTURER: OLYMPIA TILE SERIES: DISCOVERY COLOUR: ATACAMA (SAND) NUMBER: BC.DC.AMC.0606 SIZE: 600 x 100 HIGH (24' x 4' HIGH BASE AT PCT2 FLOOR</p> <p>RB2A MANUFACTURER: JOHNSONITE TYPE: RESILIENT BASE COLOUR: MOON ROCK 29 SIZE: 101(4")</p>	<p>MILLWORK MATERIALS:</p> <p>P.LAM1 MANUFACTURER: PIONITE, COLOUR: ROCK OF AGES, NUMBER: AW141</p> <p>P.LAM2 MANUFACTURER: OCTOLAM, COLOUR: CORTEZA MOON ROCK, NUMBER: 551, SATIN FINISH</p>	<p>*** NOTES :</p> <p>1. SAND/ STRIP PAINT FINISH FROM SURFACES. PATCH AND REPAIR ANY DAMAGE AFTER REMOVAL OF ELECTRICAL ITEMS. MAKE GOOD SURFACES AND PREPARE FOR NEW FINISH.</p> <p>2. ANY EXISTING SURFACES IMPACTED BY THE WORK SHOULD BE REPAIRED, IN-FILLED AND MADE GOOD BEFORE NEW PAINT, OR OTHER FINISH IS APPLIED</p>
--	---	--	---

LEGEND:

PLAM - PLASTIC LAMINATE
CPT - CARPET TILE
PCT - PORCELAIN FLOOR TILE
CONC - CONCRETE BLOCK
ACT - ACOUSTIC CEILING TILES
RB - RESILIENT WALL BASE/
FLOORING
EX - EXISTING
WB - WOOD
HM - HOLLOW METAL

6 ROOM FINISH SCHEDULE
A1.2



LOCATION PLAN

ABBREVIATIONS LEGEND

ACT	ACOUSTIC CEILING TILE
BF	BARRIER-FREE
CR	CARD READER
EP	ELECTRICAL PANEL
FD	FLOOR DRAIN
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MILLWORK SECTIONS,

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	2336	JOB NO.
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	AS NOTED	
	DATE	

MOFFET & DUNCAN
architects inc.

5052 DUNDAS ST. WEST
TORONTO, ONT. M9A 1B9
TEL: (416) 239-2775
FAX: (416) 239-8729
EMAIL: mdarch@mdarch.ca

October 10, 2023
DWG. NO.
A1.2

GENERAL NOTES

HOURS OF WORK:
ALL WORK INCLUDED IN THE CONTRACT TO BE CARRIED OUT
AFTER HOURS, AS PER CITY OF BRAMPTON SCHEDULE:
- 10PM TO 5AM

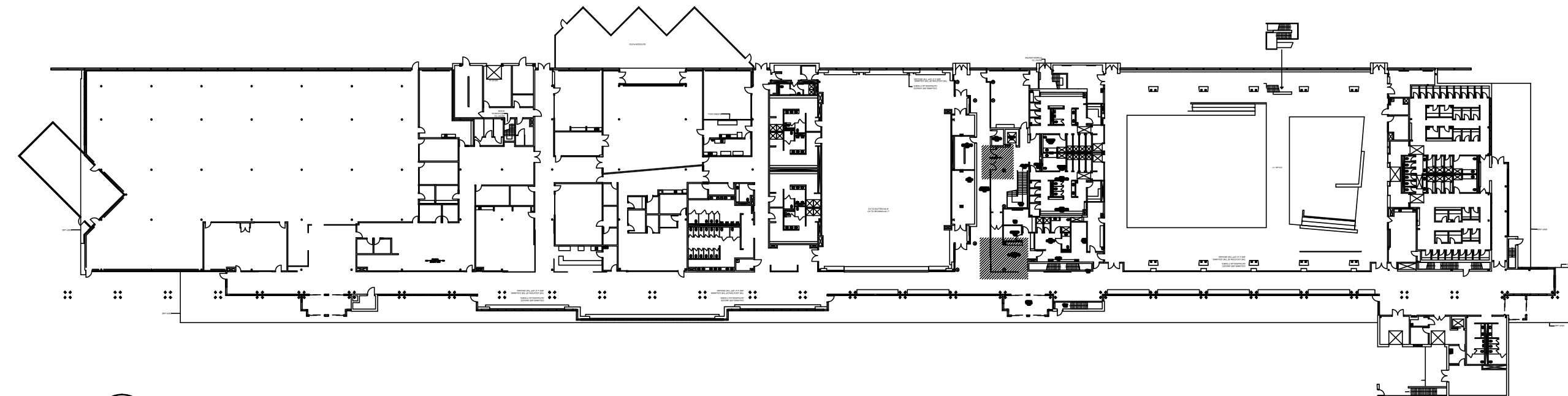
- 1) ACCESS TO THE SITE MATERIALS, WORK FORCES AND FOR GARBAGE REMOVAL TO BE COORDINATED THROUGH PROJECT LEAD: PROJECT LEAD: ANITHA RASURATNAM
- 2) FIRE ALARM SYSTEMS
COM-PLEX SYSTEMS LTD
5466 GORVAN DRIVE L4W 3E8
MISSISSAUGA, ONTARIO,
Canada L4W 3E8
(905) 212-1474 or (905) 212-1478
INFO@COM-PLEX.NET

ALL SPRINKLER SYSTEM WORK, IF CARRIED OUT BY A CONTRACTOR OTHER THAN THE BASE BUILDING SPRINKLER CONTRACTOR, MUST BE VERIFIED BY THE BASE BUILDING SPRINKLER CONTRACTOR. THE COST OF ALL SUCH VERIFICATION SHALL BE INCLUDED IN GENERAL CONTRACTOR'S SCOPE.
- 3) SECURITY CONTRACTOR (M&R SECURITY: Contact: Amy Martinez
Email: amy@mnrsecurity.ca
Phone: (905) 216-6424)
GC RO REFER TO SPECIFICATIONS FOR SECURITY CONTRACTOR'S SCOPE OF WORK.
- 4) GENERAL CONTRACTOR TO CARRY BASE BUILDING BAS CONTRACTOR CONTACT:
RAY KAMPEN, JOHNSON CONTROLS CANADA LP
289-313-3974 OR 905-730-9695
RAYMOND.A.KAMPEN@JCI.COM
- 5) GENERAL CONTRACTOR TO CARRY BASE BUILDING LOCKSMITH CONTACT:
ROYAL SECURITY SOLUTIONS INC
LAWRENCE VRBANEK JR.
905-840-0522 EXT 251 OR 416-896-5799
- GENERAL CONTRACTOR TO CARRY IT VENDOR (DATA & COMMUNICATION 6) WORK). THE VENDORS MUST BE SYSTIMAX CERTIFIED.
- 7) GENERAL CONTRACTOR TO CARRY SUBTRADE/VENDOR/INSTALLER CERTIFIED TO WORK WITH MARCH NETWORKS FOR CCTV SYSTEM.
- 8) INSTALL HOARDING, DUST CONTROL/PROTECTION, COVERED WALKWAYS IN ACCORDANCE WITH ONTARIO BUILDING CODE, CANADIAN CONSTRUCTION SAFETY REQUIREMENTS, ALL MUNICIPAL BY-LAWS, STANDARDS, OCCUPATIONAL HEALTH AND SAFETY ACT AND THESE DOCUMENTS / SPECIFICATIONS.
- 9) KEEP THE SITE THROUGHOUT THE WORK AREA IN A CLEAN AND ORDERLY CONDITION AT ALL TIMES TO THE SATISFACTION OF THE OWNER.
- 10) ALL INTERIOR FINISHES MUST MEET FLAME SPREAD AND SMOKE DEVELOPED CLASSIFICATIONS AS REQUIRED BY THE ONTARIO BUILDING CODE.
- 11) NOTIFY THE OWNER SHOULD ANY HAZARDOUS CONDITION BECOME APPARENT.
- 12) PROVIDE SAFEGUARD AND PROTECTION AGAINST FIRE IN ACCORDANCE WITH THE CURRENT FIRE CODES AND REGULATIONS.
- 13) OBEY ALL FEDERAL, PROVINCIAL AND MUNICIPAL LAWS, ACTS, STATUTES, REGULATIONS, ORDINANCES AND BY-LAWS WHICH COULD IN ANY WAY PERTAIN TO THE WORK OUTLINED IN THE CONTRACT, OR TO ANY EMPLOYEE OF THE CONTRACTOR. SATISFY ALL STATUTORY REQUIREMENTS IMPOSED BY THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS MADE THEREUNDER.
- 14) THE CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS BY AUTHORITIES. THESE INSPECTIONS ARE TO BE ARRANGED IN A TIMELY MANNER WHICH WILL NOT DISRUPT THE PROGRESS TO THE WORK SCHEDULED.
- 15) CONTRACTOR SHALL PROVIDE ALL WOOD BLOCKING AS REQUIRED FOR THE ATTACHMENT OF MISCELLANEOUS EQUIPMENT INCLUDING BUT NOT LIMITED TO, TOILET ACCESSORIES, DOOR HARDWARE, ELECTRICAL DEVICES, EQUIPMENT INDICATED, GRAB BARS, HANDRAILS AND CASEWORK.
- 16) ALL PENETRATIONS THROUGH FIRE RATED CONSTRUCTION SHALL BE FIRE STOPPED WITH ULC APPROVED MATERIAL.
- 17) GYPSUM BOARD JOINT TAPING AND FINISHING TO LEVEL 5 GRADE IS REQUIRED.
- 18) THE CONTRACTOR SHALL ENSURE THAT ALL TRANSITIONS BETWEEN MATERIALS TO BE SMOOTH.
- 19) WHERE 2 DIFFERENT FLOORINGS MEET, FLOOR SURFACE IS TO BE FEATHERED TO ACHIEVE FLUSH TRANSITION, UNLESS OTHERWISE NOTED.
- 20) TRANSITION OF DIFFERENT FLOORING MATERIALS AT DOORWAYS SHALL OCCUR AT CENTER LINE OF DOORS.
- 21) DEFECTIVE WORK WHETHER THE RESULT OF POOR WORKMANSHIP, USE OF DEFECTIVE PRODUCTS, OR DAMAGES THROUGH CARELESSNESS OR OTHER ACTS OR OMISSIONS OF THE CONTRACTOR WHICH HAS BEEN REJECTED BY THE CONSULTANT SHALL BE CORRECTED IN A TIMELY MANNER IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS AT THE EXPENSE OF THE CONTRACTOR.
- 22) WASHROOMS TO BE IDENTIFIED FOR USE OF WORKMEN AT KICK OFF MEETING.
- 23) CONTRACTOR TO REPORT ANY PROBLEMS OR DELAYS RELATING TO THE WORK TO THE CONSULTANT.
- 24) PROVIDE TO OWNER THROUGH CONSULTANT CURRENT MATERIAL SAFETY DATA SHEET (MSDS) FOR EACH CONTROLLED PRODUCT THEY HAVE, OR WILL HAVE AT PLACE OF WORK AND RETAIN A COPY OF CONTRACTORS OWN USE.
- 25) IN THE EVENT OF SUSPICION, OR UPON DISCOVERY OF BANNED OR CONTROLLED MATERIALS ON SITE, IMMEDIATELY CEASE OPERATION AND NOTIFY CONSULTANT AND THE PROJECT MANAGER. STOP WORK IN THE AREA AND ENSURE THAT ALL REQUIREMENTS ARE MET IN ACCORDANCE WITH ALL THE RULES AND REGULATIONS OF OCCUPATIONAL HEALTH AND SAFETY ACT.

- 26) SECURE PLACE OF WORK DURING COURSE OF THE WORK, BE RESPONSIBLE FOR PREVENTING ACCESS BY NON-WORKERS. THE OWNER ACCEPTS NO RESPONSIBILITY FOR LOSSES, DAMAGES OR THEFT OF CONTRACTORS TOOLS, EQUIPMENT, ETC.
- 27) MAINTAIN AND MAKE ACCESSIBLE ALL REQUIRED EXITS. ACCESS TO EXITS AND OTHER FIREFIGHTING MEANS AND EQUIPMENT. DO NOT BLOCK EXITS OR ACCESS TO EXITS.
- 28) WHEN A FIRE WATCH IS REQUIRED, IT SHALL BE AT THE COST OF THE CONTRACTOR. ANY TIME THE ALARM NEEDS TO BE TAKEN OFF LINE (I.E. FIRE ALARM WORK, SANDING, DUSTY CONDITIONS, ETC). CONTRACTOR TO INCLUDE THE COST FOR ALL NECESSARY FIRE WATCH BY CITY SECURITY WITH A MINIMUM OF FOUR (4) HOURS DEDICATED FOR THE DURATION OF THE FIRE WATCH. HIRING CITY SECURITY FOR FIRE WATCH IS MANDATORY, 48-HOUR NOTICE IS REQUIRED FOR FIRE WATCH.
- 29) DO NOT OVERLOAD FLOOR BEYOND LOADING CAPACITY OF THE FLOOR SYSTEM.
- 30) SUPERVISE DELIVERY, HANDLING AND STORAGE ON THE SITE OF ANY MATERIALS AND EQUIPMENT TO BE INCORPORATED INTO THE WORK. FACILITY SERVICES WILL NOT ACCEPT DELIVERIES.
- 31) STORE IN A MANNER TO PROTECT THEM AGAINST DAMAGE, HARM, LOST IN WHOLE OR PART AND CONTAMINATION FROM ANY CAUSE.
- 32) PROVIDE LIST OF ALL SUBCONTRACTORS NAMES TO OWNER WHO WILL BE ON THE PREMISES, AS THEY WILL BE REQUIRED TO SIGN IN AND OUT EACH TIME THEY ENTER OR LEAVE THE BUILDING WITH SECURITY. NO ACCESS WILL BE GIVEN UNLESS PRE-APPROVED.
- 33) A FACILITIES SERVICES STAFF MEMBER, PROJECT MANAGER OR SECURITY GUARD MUST BE PRESENT WHILE WORK IS PERFORMED IN SENSITIVE AREAS. AREAS WILL BE IDENTIFIED BY CITY REPRESENTATIVES.
- 34) NOTHING SET FORTH IN THESE DRAWINGS SHALL RELEASE THE CONTRACTOR FROM RESPONSIBILITY TO PROVIDE APPROPRIATE QUANTITIES, FIELD MANAGEMENT, DIMENSIONAL STABILITY, INSTALLATION, ANCHORAGE AND COORDINATION WITH OTHER TRADES, OR WAIVE THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY AND RESOLVE DEVIATIONS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, OR WAIVE THE CONTRACTOR'S RESPONSIBILITY TO ALERT THE CONSULTANT TO DISCREPANCIES THEREIN.
- 35) THE CONTRACTOR SHALL CONTACT THE BUILDING OWNER TO BE ADVISED OF ALL OF THE RULES OF THE BUILDING WITH RESPECT TO CONSTRUCTION SPECIFICALLY.
- 36) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION WITH WALL TRADES: THE CONTRACTOR SHALL REFER TO ALL ASPECTS OF THE DRAWINGS AND SPECIFICATION INCLUDING BUT NOT LIMITED TO ARCHITECTURAL DRAWINGS, MECHANICAL DRAWINGS AND ELECTRICAL DRAWINGS AS WELL AS RELATED SPECIFICATIONS FOR COORDINATION ISSUES. COORDINATE ALL DIAGRAMMATIC DRAWINGS WITH ALL TRADES TO ENSURE FIT AND COMPATIBILITY.
- 37) SUBMISSION OF A SUBSTITUTE REQUEST BY THE CONTRACTOR, WHERE PERMITTED ON THE CONTRACT DOCUMENTS, SHALL CONSTITUTE A REPRESENTATION BY THE CONTRACTOR THAT THEY HAVE INVESTIGATED THE PROPOSED PRODUCT OR CONDITIONS AND DETERMINED THAT IT IS EQUAL OR BETTER THAN THE SPECIFIED PRODUCT OR CONDITION, INCLUDING WARRANTY COVERAGE AND THAT THEY WILL COORDINATE THE INSTALLATION AND MAKE OTHER CHANGES, INCLUDING MODIFICATION AND COORDINATION OF OTHER WORK AFFECTED BY THE CHANGE, WHICH MAY BE REQUIRED FOR THEIR WORK TO BE COMPLETE IN ALL ASPECTS.
- 38) PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ALL SURFACES AND FINISHES AT INTERIOR AND EXTERIOR OF BUILDING, DAMAGED SURFACES AND FINISHES RESULTING FROM THE PERFORMANCE OF THE WORK SHALL BE REPAIRED AT NO COST TO THE OWNER. CONTRACTOR TO MATCH ADJACENT FINISHES.
- 39) THE CONTRACTOR SHALL CEASE OPERATIONS IF SAFETY OR STRUCTURE APPEARS TO BE ENDANGERED, TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- 40) ALL CONTRACTORS SHALL USE DROP SHEETS AND STICKY MATTING WHERE NECESSARY IN THE CONSTRUCTION AREA TO MINIMIZE DUST, DIRT AND CONSTRUCTION MATERIAL ACCUMULATING IN THE BUILDING.

DEMOLITION NOTES

- 1) REFER TO DEMOLITION PLAN FOR ADDITIONAL NOTES AND CEILING INFORMATION.
- 2) CITY SINKS AND JANITOR SINKS CANNOT BE USED FOR EQUIPMENT AND TOOL CLEAN UP AT ANY TIME. NO POURING OF LIQUIDS OR DISPOSAL OF BUILDING MATERIALS INTO CITY SANITARY SYSTEM AT ANY TIME. REFER TO CITY OF BRAMPTON PROJECT MANAGER FOR ADDITION INSTRUCTIONS.
- 3) SUPERVISE DELIVERY, HANDLING AND STORAGE ON THE SITE OF ALL MATERIALS AND EQUIPMENT TO BE INCORPORATED INTO THE WORK. FACILITIES OPERATIONS WILL NOT ACCEPT DELIVERIES.
- 4) CONTRACTOR TO SUPPLY ALL CONSTRUCTION BINS TO SEPARATE THE CONSTRUCTION DEBRIS AS PER CONSTRUCTION DEMOLITION. ONTARIO REGULATION 102/94 CRITERIA. PROVIDE WAY BILLS AND COMPLETED FORMS AS REQUIRED BY OWNER. LOCATION OF BINS TO BE APPROVED BY CITY OF BRAMPTON PROJECT MANAGER.
- 5) ALL MATERIALS / ITEMS FOR DEMOLITION (SUCH AS P-LAM, DOORS, FRAMES, G.W.B., CARPET, ETC.) TO BE DISPOSED OF BY WAY OF RECYCLING PROGRAM WHENEVER POSSIBLE. FOR MORE GREENING INFORMATION REGARDING CONTRACTOR / SPECIFIER RESOURCES FOR PICK UP / DELIVERY / DISPOSAL OF RECYCLABLE MATERIALS REFER TO WWW.CBWASTE.COM. WASTE PAINT TO BE DISPOSED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AT NO ADDITIONAL COSTS TO THE PROJECT.
- 6) ALL DEMOLITION DEBRIS MUST BE REMOVED AFTER NORMAL BUSINESS HOURS. FACILITY SERVICES TO DETERMINE LOCATION AND TOTAL QUANTITY OF BINS PERMITTED AFTER AWARD OF TENDER.



1 KEY PLAN
A0.2 1:800

CONSTRUCTION NOTES

- 1) ALL INTERIOR WALLS SHALL EXTEND TO UNDER- SIDE OF CONCRETE SLABS & STEEL DECK FOR FIRE AND SOUND REASONS, WHERE WALLS RUN PARALLEL AND UNDER OWSJ'S AND BEAMS, THE OWSJ'S AND BEAMS SHALL BE ENCLOSED ALL- AROUND W/ 16MM GYPSUM BOARD AND 100MM THICK BATT INSULATION.
- 2) FIRE STOPPING SHALL BE PROVIDED AS SPECIFIED AND DETAILED, AT TOPS OF ALL WALLS FORMING FIRE SEPARATIONS AND AROUND ALL PIPE, CONDUIT, AND DUCT PENETRATIONS OF FIRE SEPARATIONS.
- 3) ALL NEW WALLS AND INFILLS SHALL BE GYPSUM BOARD ON STEEL STUDS TO THICKNESS INDICATED.
- 4) OPENINGS IN WALLS AND CEILING SPACES, WILL BE REQUIRED FOR AIR MOVEMENT. REFER TO MECHANICAL DRAWINGS FOR EXACT DIMENSIONS AND LOCATIONS.

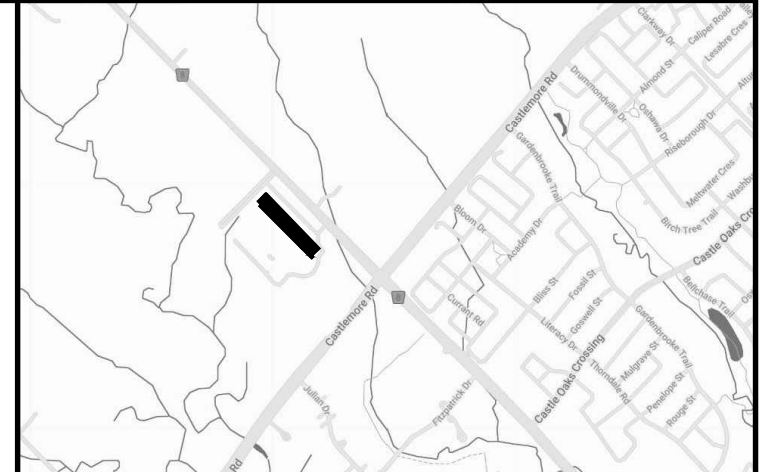
CONSTRUCTION FACILITIES

- 1) PROVIDE CONSTRUCTION IN ORDER TO EXECUTE THE WORK EXPEDITIOUSLY. REMOVE, RESTORE SITE AND SURFACES AFTER USE.
- 2) PROVIDE AND MAINTAIN REQUIRED ACCESS TO PROJECT SITE AND ADJACENT AREAS AS REQUIRED BY THE OWNER.
- 3) HEIGHT, WIDTH AND WEIGHT RESTRICTIONS MUST BE VERIFIED PRIOR TO BRINGING EQUIPMENT INTO THE WORK AREA.
- 4) PROVIDE NECESSARY SCREENS, COVERS AND HOARDING.
- 5) OBEY AND ENFORCE ALL PARKING AND VEHICLE RESTRICTION AND SPEED LIMITS.
- 6) BE RESPONSIBLE FOR THE SECURITY OF SITE, EQUIPMENT, TOOLS AND MATERIALS.
- 7) MAINTAIN THE BUILDING IN A SECURE CONDITION AT ALL TIMES DURING CONSTRUCTION.

NOTES: TO ALL SUB-TRADES AND VENDORS

- 1) GENERAL CONTRACTOR TO ENSURE THAT ANY AND ALL ATTACHMENTS TO CONCRETE SLAB ARE SCANNED OR X-RAYED. SCANNING IS ACCEPTABLE FOR DRILLING UNDER 38mm DEPTH. ALL DRILLING MORE THAN 38mm REQUIRES X-RAYING PRIOR TO DRILLING. THE CONTRACTOR IS TO MARK THE LOCATIONS OF ALL HARDWARE ATTACHMENTS REQUIRING DRILLING OR SCREWING TO THE SLAB AT ONE TIME BEFORE ATTACHING ANY ITEMS TO THE SLAB. THE OWNER WILL NOT ALLOW ANY TYPE OF FORCE NAILS OR ATTACHMENTS TO BE USED IN CITY HALL.
- 2) X-RAY, SCANNING, CORE DRILLING, BANCING ON FLOORS, AND CEILINGS MUST BE DONE OUTSIDE OF REGULAR HOURS AND WORK TO BE COORDINATED WITH THE FACILITIES OPERATIONS OFFICE 3 TO 5 DAYS IN ADVANCE.
- 3) REPORT SUSPECTED HAZARDOUS MATERIALS (I.E. ASBESTOS) TO THE GENERAL CONTRACTOR, DESIGN CONSULTANT, AND PROJECT LEAD IMMEDIATELY AND CEASE WORK.

Name of Practice: Moffet & Duncan Architects Inc. 5052 Dundas Street West Toronto, Ontario M8A 1B9		
Name of Project: City of Brampton - Service Counter at Gore Meadows Renovations		
Location: 10150 The Gore Rd, Brampton, ON L6P 0A6		
Date: December 14 2023		
Ontario Building Code Data Matrix - Part 11 - Renovation of Existing Building		
Building Code Version: 11.0.0	O. Reg. 332/12 Last Amendment: O. Reg. 191/14	OBC Reference
Project Type: <input type="checkbox"/> Addition <input type="checkbox"/> Change of Use Description: _____	<input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Addition and renovation	[A]1.1.2
Major Occupancy Classification: Occupancy: _____ Use: _____ A2 ASSEMBLY		3.1.2.1(1)
Superimposed Major Occupancies: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Description: _____		3.2.2.7
Building Area (m²): Description: _____ Existing _____ Renovated _____ Total _____ NO CHANGE		[A]1.4.1.2
Building Height: _____ 1 Storeys above grade _____ 0 Storeys below grade	13.390 (m) Above grade	[A]1.4.1.2 & 3.2.1.1
Number of Streets/ Firefighter access: _____ 1 Streets		3.2.2.10 & 3.2.5
Building Size: <input type="checkbox"/> Small <input type="checkbox"/> Medium <input checked="" type="checkbox"/> Large <input type="checkbox"/> > Large		T.11.2.1.B -N
Existing Building Classification: Change in major occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy) Construction Index _____ Hazard Index _____ Importance Category: <input type="checkbox"/> Low <input type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Post-disaster		11.2.1.1 11.2.1.1A 11.2.1.1B to N 4.2.1.2(3) 5.2.2.1(2)
Renovation type: Basic Renovation <input checked="" type="checkbox"/> Extensive Renovation <input type="checkbox"/>		11.3.3.1 11.3.3.2
Occupant Load: Floor Level/Area _____ Occupancy Type _____ Based On _____ Occupant Load (Persons) _____ NOT COMPLIANT (EXISTING)		3.1.17
Plumbing Fixture Requirements: Ratio: M/F = 1/1 Except as otherwise noted Floor Level/Area _____ Occupant Load _____ OBC Reference _____ Fixtures Required _____ Fixtures Provided _____ NO CHANGE IN OCCUPANT LOAD & NUMBER OF PLUMBING FIXTURES		3.7.4
Barrier-free Design: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Explanation: Construction of a barrier-free reception counter		11.3.3.2(2)
Reduction in Performance Level: Structural: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (Describe) _____ Increase in occupant load: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (Describe) _____ Change in major occupancy: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (Describe) _____ Plumbing: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (Describe) _____ Sewage-system: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (Describe) _____ Extension of Combustible Construction: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (Describe) _____		11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5 11.4.2.6
Compensating Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Structural: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (Describe) _____ Increase in occupant load: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (Describe) _____ Change in major occupancy: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (Describe) _____ Plumbing: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (Describe) _____ Sewage-system: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (Describe) _____ Extension of Combustible Construction: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (Describe) _____		11.4.3.1 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6 11.4.3.7
Compliance Alternative Proposed: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES _____		11.5.1
Notes: _____ _____		11.5.1



LOCATION PLAN

MAR 14, 2024 FEB 29, 2024 DEC 14, 2023	ISSUED FOR TENDER ISSUED FOR 90% DRAWINGS ISSUED FOR 60% DRAWINGS
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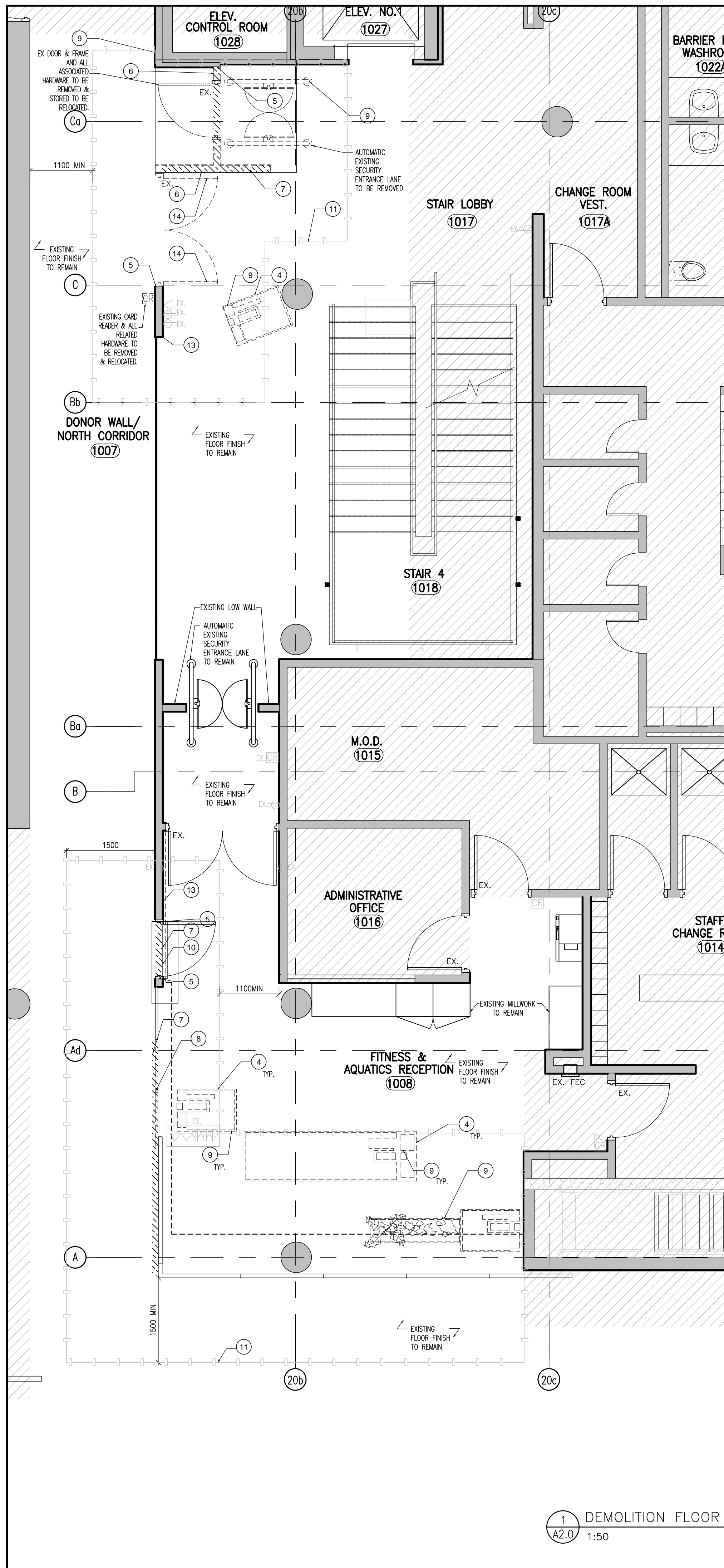
DATE	REVISIONS
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Service Counter at Gore Meadows Renovations
10150 The Gore Rd, Brampton, ON L6P 0A6

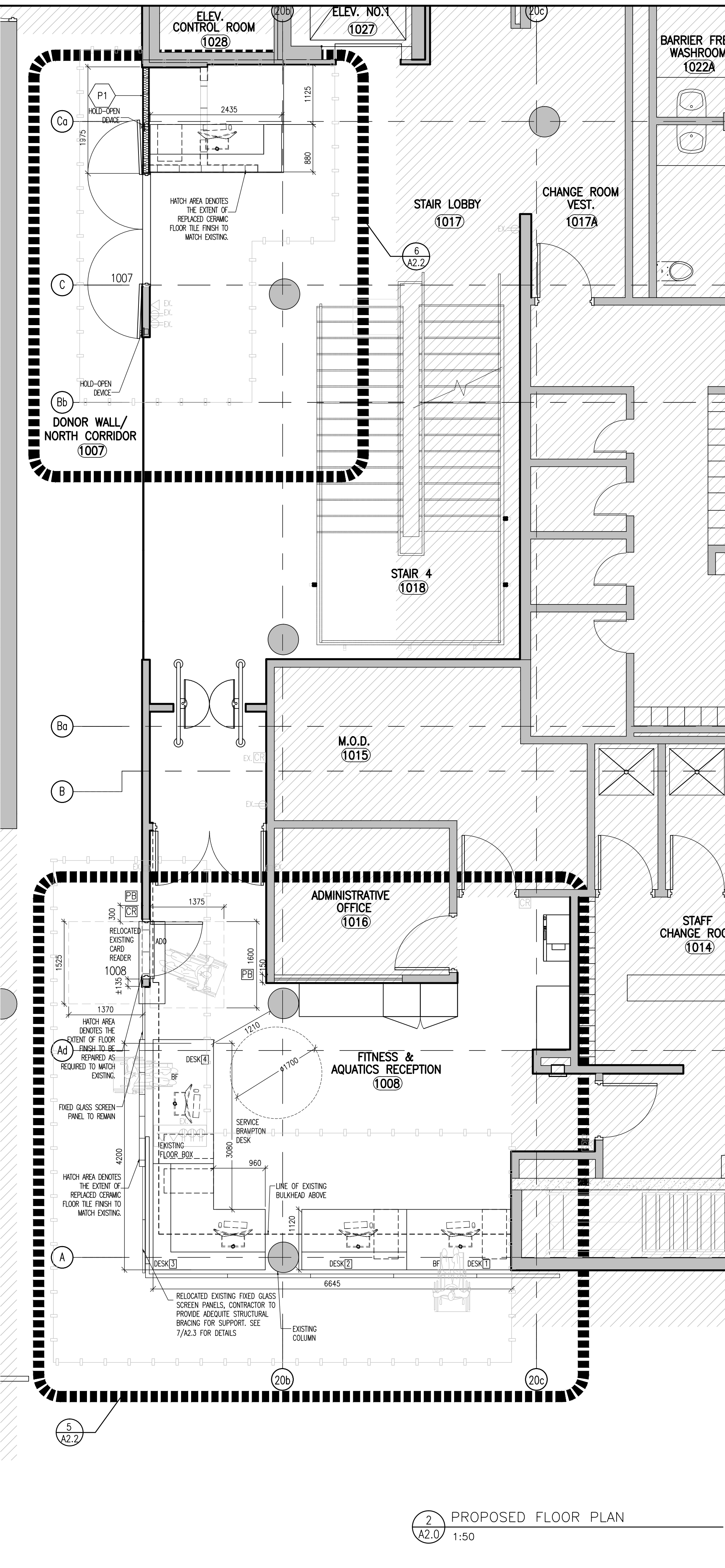
BRAMPTON
DRAWING
GENERAL NOTES & OBC MATRIX

	TRUE NORTH 	DWG. NORTH
2336	JOB NO.	
AS NOTED	SCALE	
DATE	PRINTED	
July 15, 2024	DWG. NO.	
A0.2		

MOFFET & DUNCAN
 architects inc.
 5052 DUNDAS ST. WEST
 TORONTO, ONT. M8A 1B9
 TEL: (416) 239-2775
 FAX: (416) 239-6729
 EMAIL: mdcarch@mdarch.ca



1 DEMOLITION FLOOR PLAN
A2.0 1:50



2 PROPOSED FLOOR PLAN
A2.0 1:50

DEMOLITION NOTES:

- ALL OF THE DEMOLITION NOTES MUST BE FOLLOWED IN RESPECT TO ALL THE ROOMS SHOWN ON THE DEMOLITION PLAN THAT ARE AFFECTED BY THE RENOVATION WORK, WHENEVER THEY ARE APPLICABLE, WHETHER OR NOT THERE IS A SPECIFIC DEMOLITION NOTE INDICATED IN EACH ROOM. REFER TO RFS, DOOR SCHEDULE, FLOOR PLANS, ELEVATIONS, AND DETAILS FOR FURTHER EXTENT. (TYP.)
- ALL DEMOLITION WORK TO OCCUR IN DESIGNATED AREAS AT SPECIFIED TIMES ONLY. ALL DAMAGED MATERIALS OUTSIDE THESE AREAS TO BE REPAIRED AND RETURNED TO ORIGINAL CONDITION. WHEN WORK FOR MECHANICAL AND ELECTRICAL CONNECTIONS IS REQUIRED TO TAKE PLACE OUTSIDE DESIGNATED AREAS, USE EXTREME CAUTION TO PREVENT ANY ADDITIONAL DAMAGE.
- VERIFY SITE DIMENSIONS AND DIMENSIONS OF NEW WORK BEFORE PROCEEDING WITH DEMOLITION OR REMOVAL OF EXISTING BUILDING MATERIALS.
- REMOVE EXISTING MILLWORK, FURNITURE AND ALL OTHER RELATED ITEMS. REPAIR ANY DAMAGE TO EXISTING MATERIALS AFFECTED BY WORK. CONFIRM WITH CLIENT PRIOR DISPOSING/STORING ANY FURNITURE/MILLWORK.
- ALL REMAINING WALL SURFACES THAT ARE DAMAGED BY THE REMOVAL OF WALLS, BULKHEADS, SHELVES, FURNITURE, PLUMBING FIXTURES, HEATERS, MILLWORK, CLOCKS, EQUIPMENT AND OTHER ITEMS, AND/OR ARE CURRENTLY IN CONDITION THAT SHOWS ANY SIGN OF DAMAGE SHALL BE REPAIRED AND REINSTATED IN GOOD CONDITION. NEW EDGES TO PARTLY DEMOLISHED WALLS SHALL NOT BE LEFT WITH SAW CUT OR BROKEN UNITS. PATCH ALL DAMAGED EXISTING WALLS. PRIOR TO THE APPLICATION OF NEW PAINT, PROVIDE PLASTER TO MATCH EXISTING, ENSURE THAT ALL REMAINING METAL PIECES, SCREW HEADS, ETC. ARE REMOVED, HOLES PATCHED AND SANDED.
- REMOVE EXISTING STEEL STUD AND GYPSUM BOARD PARTITION WALL OR WALL/COLUMN FURRING, WALL BASE AND ALL OTHER RELATED ITEMS. PATCH/ REPAIR ANY DAMAGE TO EXISTING MATERIALS AFFECTED BY WORK.
- EXTENT OF EXISTING FLOORING TO BE PATCHED, REPAIRED AS REQUIRED, IF THE FINISH IS UNSATISFACTORY. REMOVE THE EXISTING FLOOR TILES. PREPARE THE SUB FLOOR & MAKE GOOD PRIOR INSTALLING NEW FLOOR TILES, NEW TILES TO MATCH EXISTING.
- PARTIALLY REMOVE/ RELOCATE EXISTING SCREEN, WALL BASE AND ALL OTHER RELATED HARDWARE. PATCH/ REPAIR ANY DAMAGE TO EXISTING FLOOR AFFECTED BY WORK. INFILL WITH MORTAR IF NECESSARY TO RECEIVE NEW CERAMIC TILE.
- ALL APPLIANCES AND EQUIPMENT TO BE CAREFULLY MOVED AND STORED AT THE LOCATION ON SITE DETERMINED BY THE OWNER. SALVAGE AND HAND OVER EXISTING BUILDING COMPONENTS AS REQUESTED BY OWNER.
- REMOVE EXISTING GYPSUM PARTITION PARTIALLY TO ALLOW FOR INSTALLATION OF DOOR. REFER TO FLOOR PLAN FOR DIMENSIONS OF FINAL OPENING.
- INSTALL CONSTRUCTION HOARDING AT REQUIRED LOCATIONS, AS SHOWN ON 1/A2.0. ENSURE THAT ENOUGH SPACE IS PROVIDED FOR COMFORTABLE MOVEMENT THROUGHOUT CORRIDOR, MAIN CORRIDOR AND STAIR LOBBY.
- COORDINATE TEMPORARY SHUTDOWN OF UTILITIES WITH OWNER 48 HOURS PRIOR TO SHUTDOWN IF REQUIRED.
- CUT OPEN EXISTING WALLS TO INSTALL NEW ELECTRICAL OUTLETS, FIXTURES AND CONDUITS. REPAIR EXISTING WALLS AFTER COMPLETION OF ELECTRICAL WORK. MATCH EXISTING MATERIALS AND FINISHES. REFER TO ELECTRICAL DRAWINGS FOR FULL EXTENT OF NEW ELECTRICAL EQUIPMENT.
- REMOVE EXISTING DOOR(S) AND DOOR FRAME. PREPARE EXISTING WALL FOR IN-FILL. REMOVE HARDWARE AND HAND OVER TO OWNER.

NOTE: ALL DIMENSIONS TO BE VERIFIED ON SITE.

FLOOR PLANS LEGEND

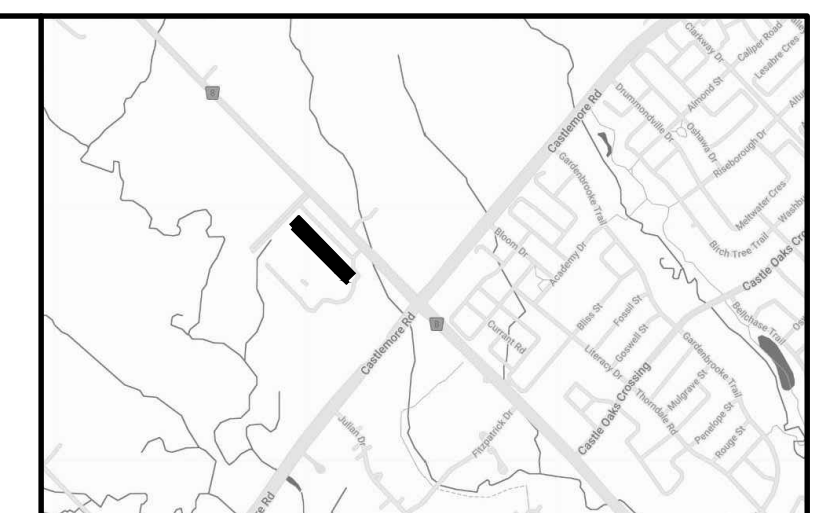
- DENOTES EXISTING WALLS TO REMAIN UNDISTURBED UNLESS OTHERWISE NOTED
- DENOTES GYPSUM BOARD AND STEEL STUD PARTITION
- DENOTES EXISTING WALLS AND BUILDING COMPONENTS (WINDOWS, DOORS, SCREENS, O/H DOORS, ETC.) FIXTURES, FURNITURE, APPLIANCES, LOCKERS, CHALKBOARDS, TAGBOARDS, ACCESSORIES, ETC. TO BE REMOVED AND DISPOSED OF. REFER TO GENERAL DEMOLITION NOTES.
- AREA NOT IN SCOPE.
- DENOTES FLOOR AREA NEED TO BE PATCHED AND REPAIRED THAT ARE AFFECTED BY REMOVAL OF WALLS, PLUMBING FIXTURES, ACCESS FLOOR, CONNECTORS, PIPES, ETC. PRIOR TO INSTALLATION OF NEW FLOOR FINISHES AND BASES. REMOVE EX. FLOOR FINISHES & BASES AND PROVIDE SELF-LEVELING SUB-BASES.
- DENOTES CERAMIC TILE FLOOR FINISH TO MATCH EXISTING, EXACT AREA NEED TO BE SITE VERIFIED.
- CONSTRUCTION HOARDING

CONSTRUCTION ASSEMBLIES LEGEND

LABEL	DESCRIPTION	REQ. FRR	NOTES
P1	16MM TYPE X GYPSUM BOARD, 92MM METAL STUDS @ 400MM O.C. C/W SOUND ATTENUATING BATT INSULATION, 16MM TYPE X GYPSUM BOARD	1 HR	1)

NOTES:

- WALL TO BE CARRIED UP TO U/S OF STRUCTURAL DECK.



LOCATION PLAN

ABBREVIATIONS LEGEND

ACT	ACOUSTIC CEILING TILE
BF	BARRIER-FREE
CR	CARD READER
EP	ELECTRICAL PANEL
FD	FLOOR DRAIN
INT	INTERCOM
NIC	NOT IN CONTRACT
PAN	PANIC BUTTON
PB	PUSH BUTTON (DOOR OPERATOR)
TB	TACK BOARD
U/C	UNDER COUNTER
VCT	VINYL COMPOSITE TILE
ADO	AUTOMATIC DOOR OPERATOR

DATE	REVISIONS
MAR 14, 2024	ISSUED FOR TENDER
FEB 29, 2024	ISSUED FOR 90% DRAWINGS
DEC 14, 2023	ISSUED FOR 60% DRAWINGS
OCT 24, 2023	ISSUED FOR 30% DRAWINGS

Service Counter at Gore Meadows Renovations
10150 The Gore Rd, Brampton, ON L6P 0A6

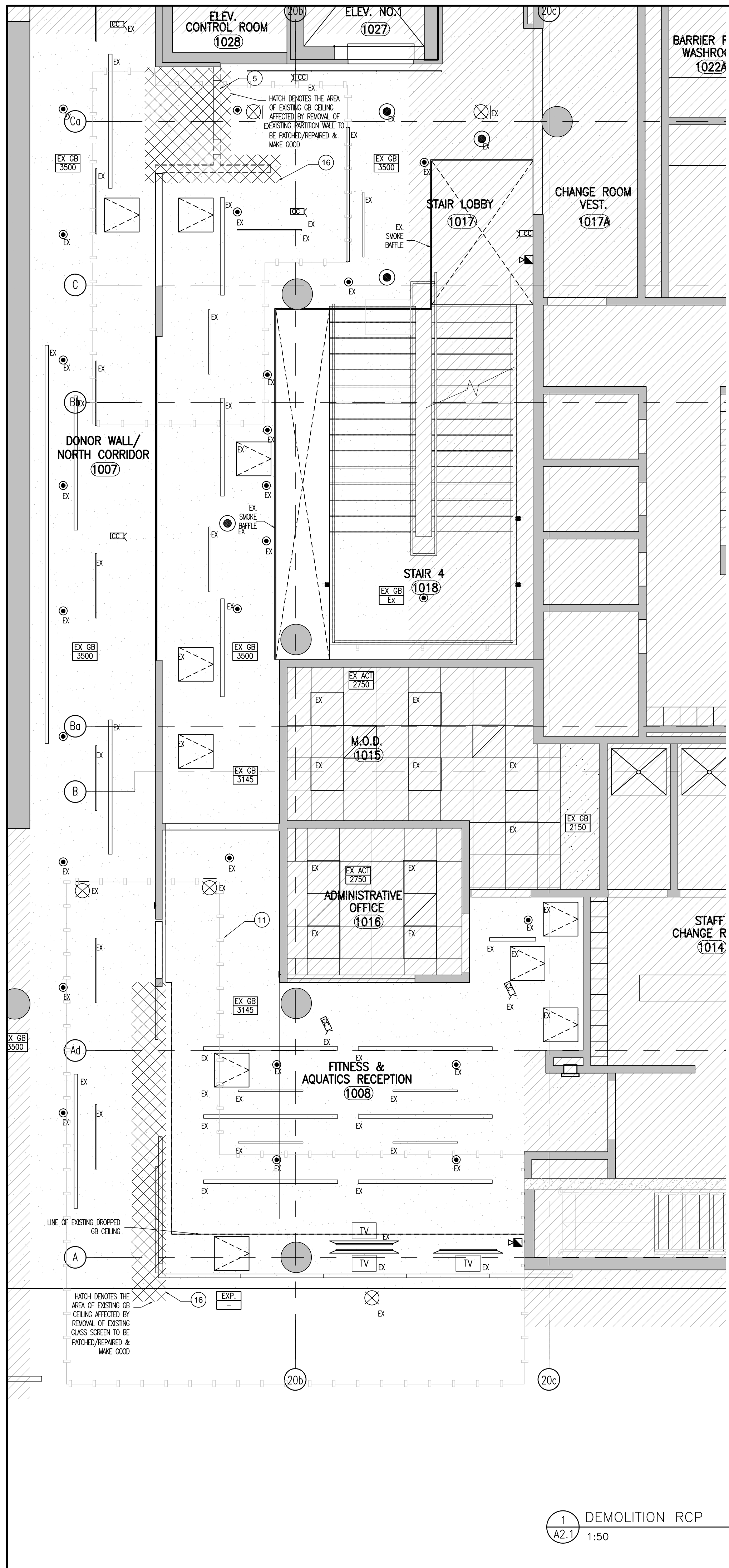


DEMOLITION & PROPOSED FLOOR PLAN,

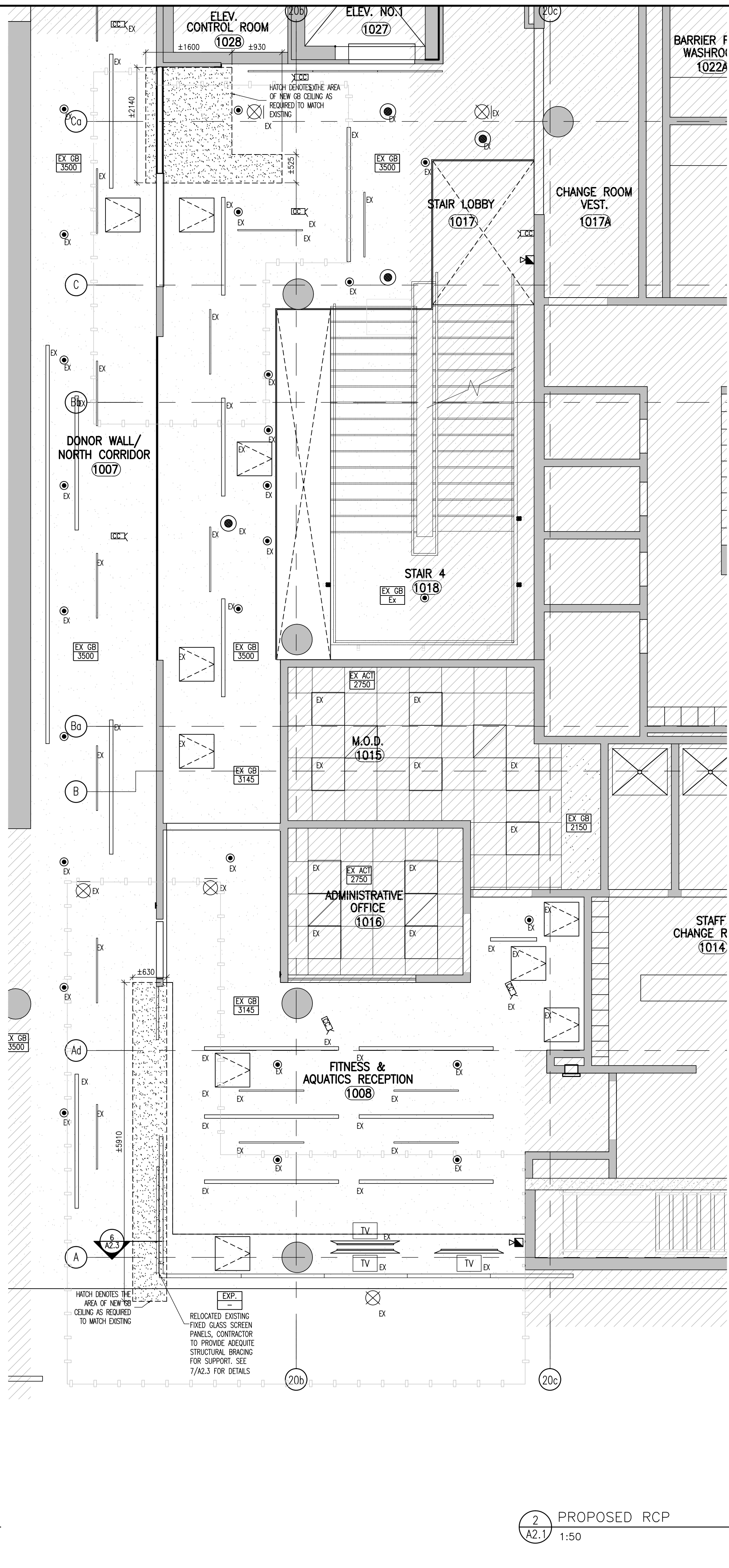
ONTARIO ASSOCIATION OF ARCHITECTS KEMAC SPORN KEN MACSPORN LICENCE 4751	TRUE NORTH DWG. NORTH
2336	JOB NO.
AS NOTED	SCALE
	DATE
May 27, 2024	PRINTED
	DWG. NO.

MOFFET & DUNCAN
architects inc.
5052 DUNDAS ST. WEST
TORONTO, ONT. M9A 1B9
TEL: (416) 239-2775
FAX: (416) 239-8729
EMAIL: mdrarch@mdrarch.ca

A2.0



1 DEMOLITION RCP
A2.1 1:50



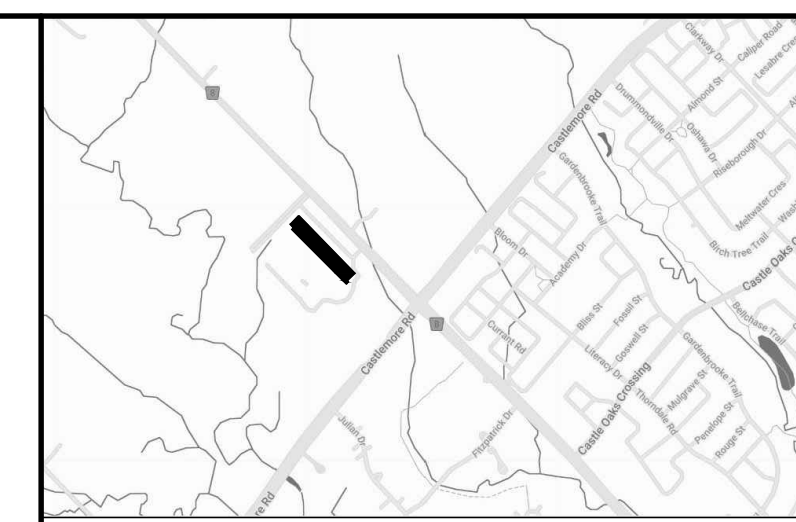
2 PROPOSED RCP
A2.1 1:50

DEMOLITION NOTES:

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- 3 VERIFY SITE DIMENSIONS AND DIMENSIONS OF NEW WORK BEFORE PROCEEDING WITH DEMOLITION OR REMOVAL OF EXISTING BUILDING MATERIALS.
- 4 RESERVED.
- 5 ALL REMAINING WALL SURFACES THAT ARE DAMAGED BY THE REMOVAL OF WALLS, BULKHEADS, SHELVES, FURNITURE, PLUMBING FIXTURES, HEATERS, MILLWORK, CLOCKS, EQUIPMENT AND OTHER ITEMS, AND/OR ARE CURRENTLY IN CONDITION THAT SHOWS ANY SIGN OF DAMAGE SHALL BE REPAIRED AND REINSTATED IN GOOD CONDITION. NEW EDGES TO PARTLY DEMOLISHED WALLS SHALL NOT BE LEFT WITH SAW CUT OR BROKEN UNITS. PATCH ALL DAMAGED EXISTING WALLS, PRIOR TO THE APPLICATION OF NEW PAINT, PROVIDE PLASTER TO MATCH EXISTING. ENSURE THAT ALL REMAINING METAL PIECES, SCREW HEADS, ETC. ARE REMOVED, HOLES PATCHED AND SANDED.
- 6 RESERVED.
- 7 RESERVED.
- 8 RESERVED.
- 9 ALL APPLIANCES AND EQUIPMENT TO BE CAREFULLY MOVED AND STORED AT THE LOCATION ON SITE DETERMINED BY THE OWNER, SALVAGE AND HAND OVER EXISTING BUILDING COMPONENTS AS REQUESTED BY OWNER.
- 10 RESERVED.
- 11 INSTALL CONSTRUCTION HOARDING AT REQUIRED LOCATIONS, AS SHOWN ON 1/A2.1. ENSURE THAT ENOUGH SPACE IS PROVIDED FOR COMFORTABLE MOVEMENT THROUGHOUT CORRIDOR, MAIN CORRIDOR AND STAIR LOBBY.
- 12 COORDINATE TEMPORARY SHUTDOWN OF UTILITIES WITH OWNER 48 HOURS PRIOR TO SHUTDOWN IF REQUIRED.
- 13 CUT OPEN EXISTING WALLS TO INSTALL NEW ELECTRICAL OUTLETS, FIXTURES AND CONDUITS. REPAIR EXISTING WALLS AFTER COMPLETION OF ELECTRICAL WORK. MATCH EXISTING MATERIALS AND FINISHES. REFER TO ELECTRICAL DRAWINGS FOR FULL EXTENT OF NEW ELECTRICAL EQUIPMENT.
- 14 RESERVED.
- 15 CONTRACTOR SHALL CHECK DELIVERY SCHEDULE OF ALL SPECIFIED ELECTRICAL ITEMS AND ADVISE DESIGNER IMMEDIATELY OF DELAYS THAT MAY AFFECT COMPLETION DATES.
- 16 PATCH AND MAKE GOOD ANY EXISTING CEILING AFFECTED BY NEW CONSTRUCTION. ENSURE THAT BASE BUILDING CONSTRUCTION MATERIALS AND METHODS ARE MAINTAINED.

REFLECTED CEILING LEGEND:

- | | |
|--|---|
| | CEILING HEIGHT FROM FINISHED FLOOR. REFER TO ROOM FINISH SCHEDULE |
| | EXISTING CCTV CAMERA |
| | EXISTING SMOKE DETECTOR |
| | EXISTING EXIT LIGHT |
| | EXISTING SPRINKLER |
| | EXISTING ACCESS PANEL |
| | EXISTING RECESSED LIGHT FIXTURE |
| | EXISTING SUPPLY AIR DIFFUSER. REFER TO MECH. DWGS. |
| | EXISTING RETURN AIR GRILLE. REFER TO MECH. DWGS. |



LOCATION PLAN

ABBREVIATIONS LEGEND

- | | |
|-----|-----------------------------|
| ACT | ACOUSTIC CEILING TILE |
| BF | BARRIER-FREE |
| CR | CARD READER |
| EP | ELECTRICAL PANEL |
| FD | FLOOR DRAIN |
| INT | INTERCOM |
| NIC | NOT IN CONTRACT |
| PAN | PANIC BUTTON |
| PB | PUSH BUTTON (DOOR OPERATOR) |
| TB | TACK BOARD |
| U/C | UNDER COUNTER |
| VCT | VINYL COMPOSITE TILE |
| WB | WHITEBOARD |

DATE	REVISIONS
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Service Counter at Gore Meadows Renovations
10150 The Gore Rd, Brampton, ON L6P 0A6



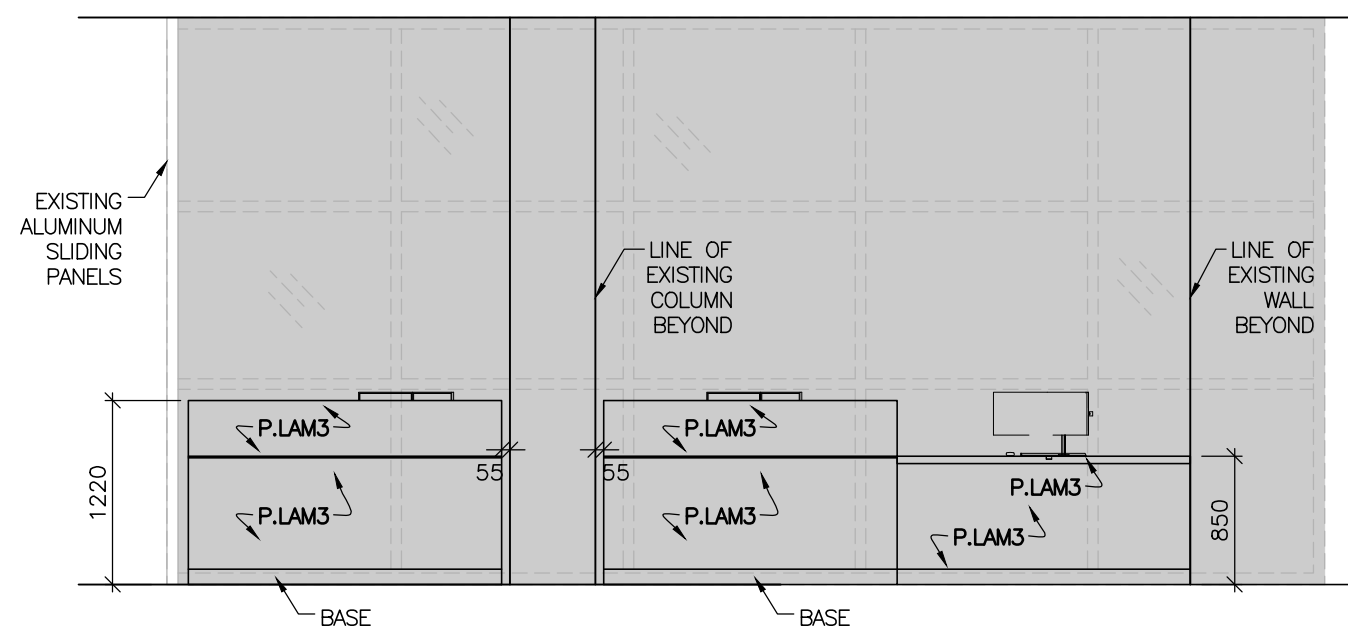
DEMOLITION & PROPOSED REFLECTED CEILING PLANS

 KENNETH MACSPORRAN LICENCE 4751	TRUE NORTH	DWG. NORTH
	2336	JOB NO.
AS NOTED		SCALE
DATE		DATE

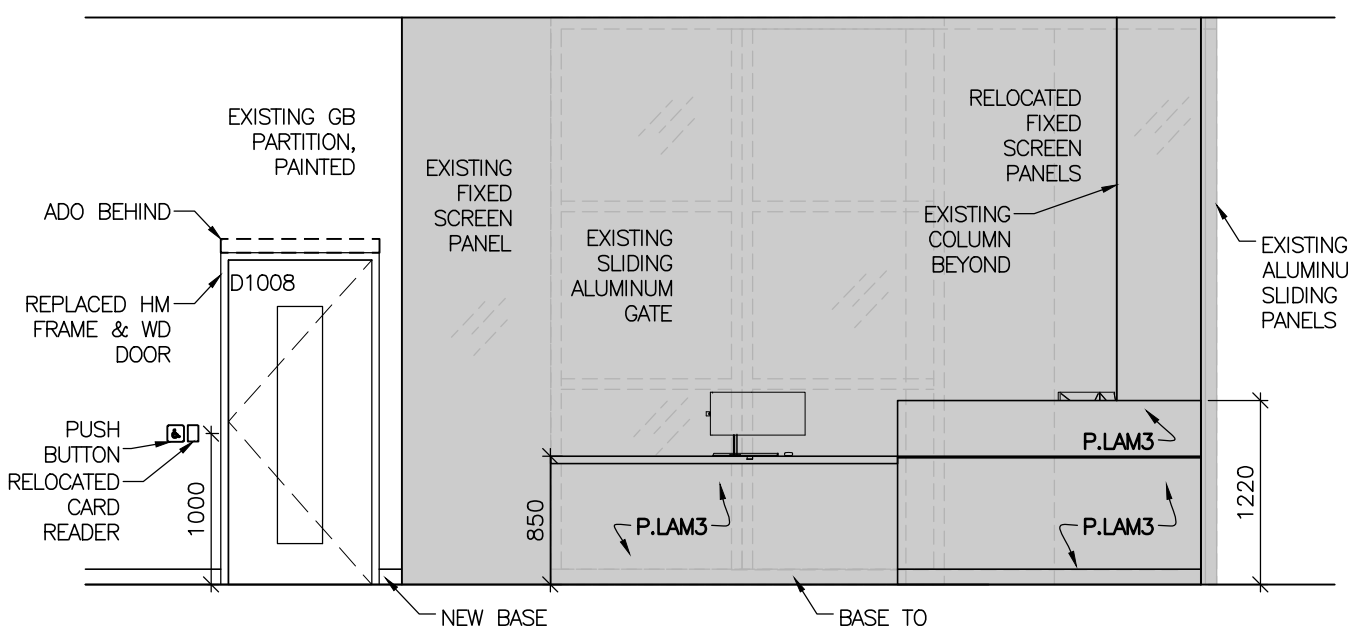
MOFFET & DUNCAN
architects inc.

5052 DUNDAS ST. WEST
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TEL: (416) 239-2775
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EMAIL: mdrch@mndarch.ca

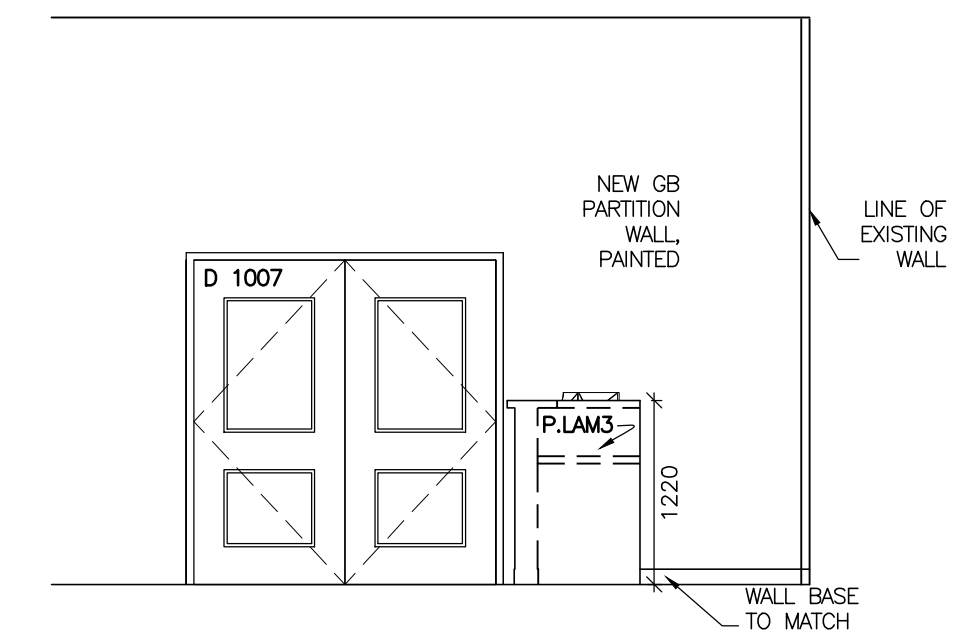
May 27, 2024
DWG. NO. A2.1



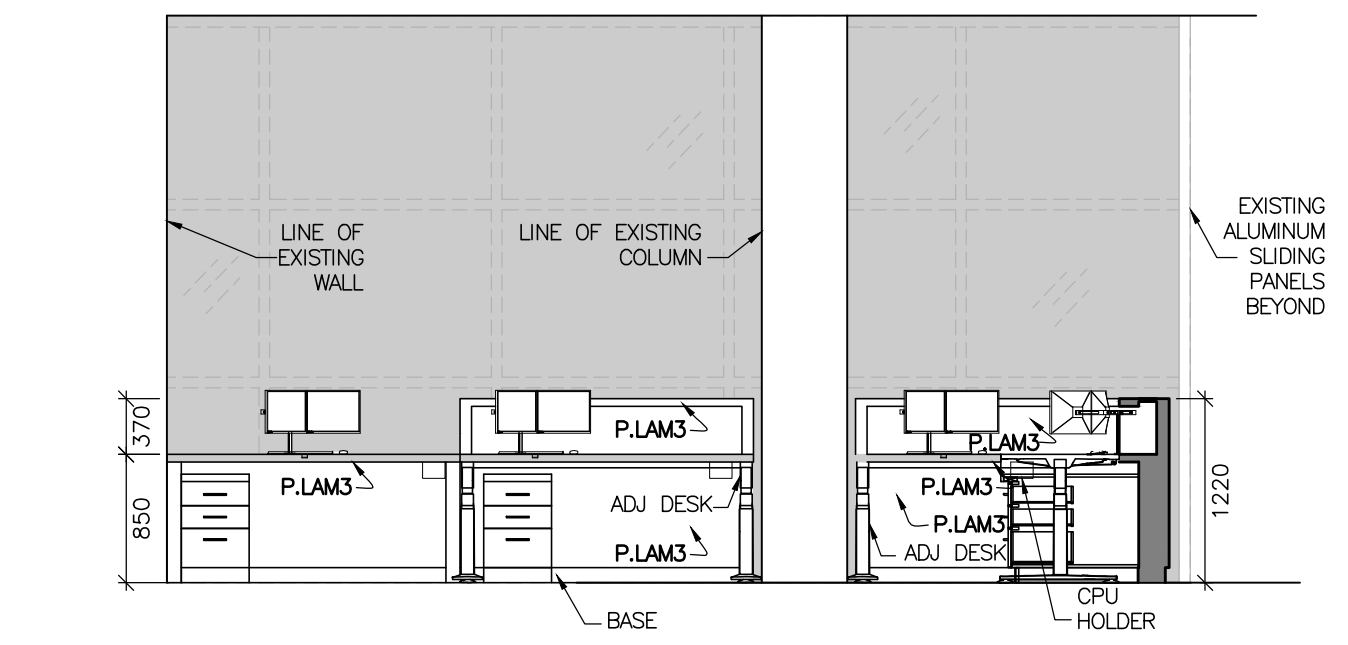
1 RECEPTION DESK ELEVATION
A2.2 1:50



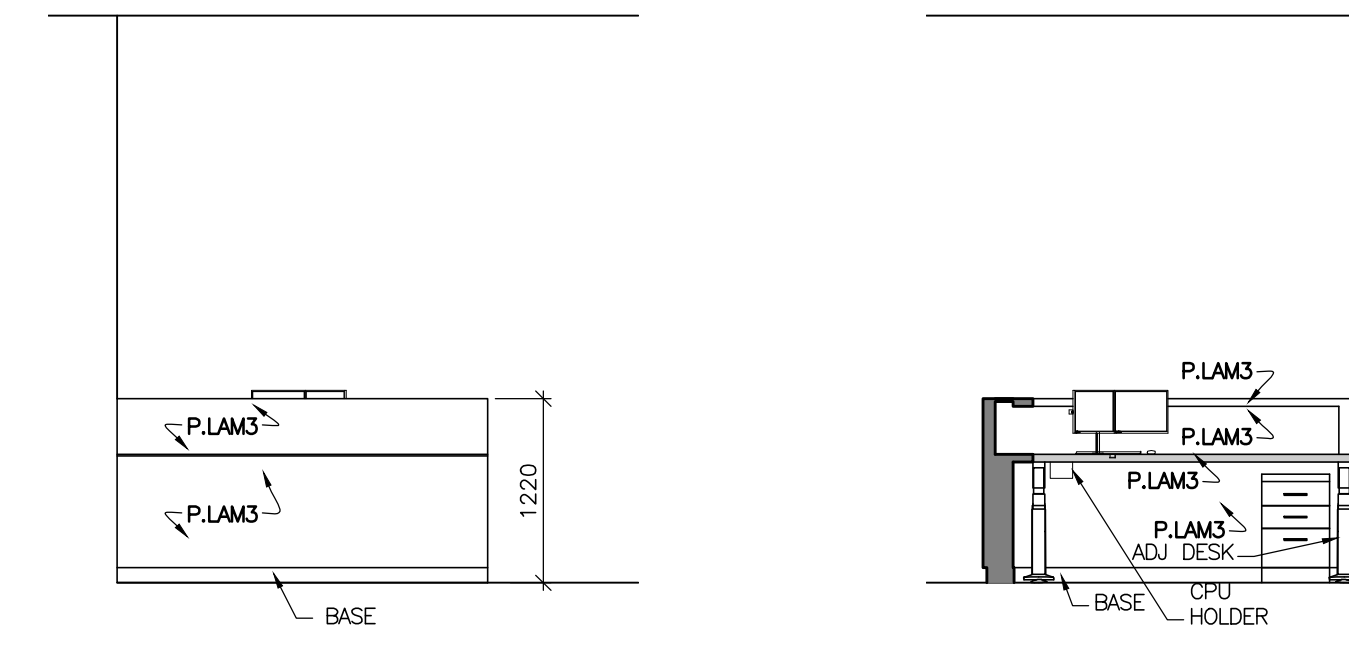
2 RECEPTION DESK ELEVATION
A2.2 1:50



3 STAIR LOBBY 1017 DESK ELEVATION
A2.2 1:50

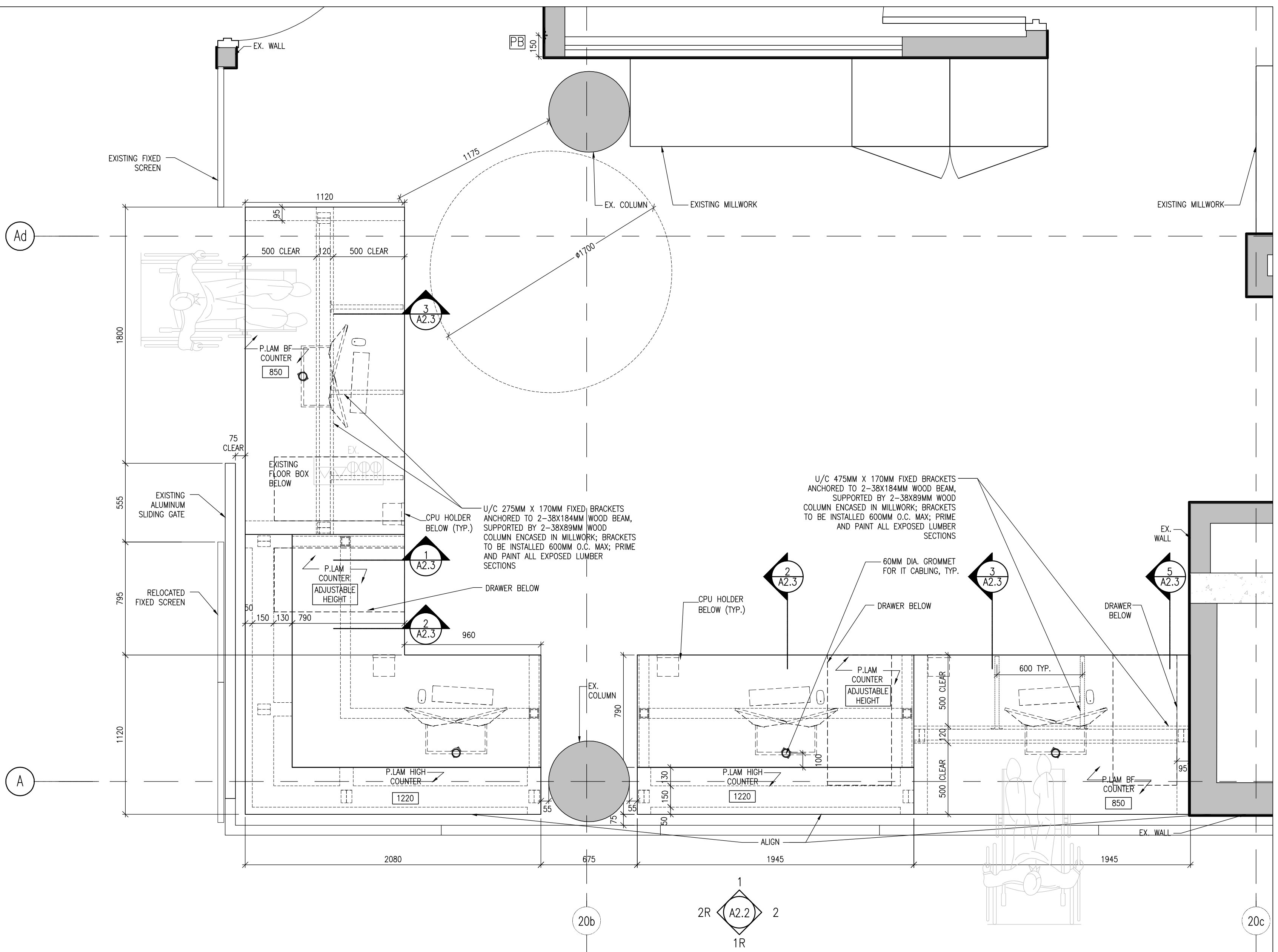


1R RECEPTION DESK ELEVATION
A2.2 1:50

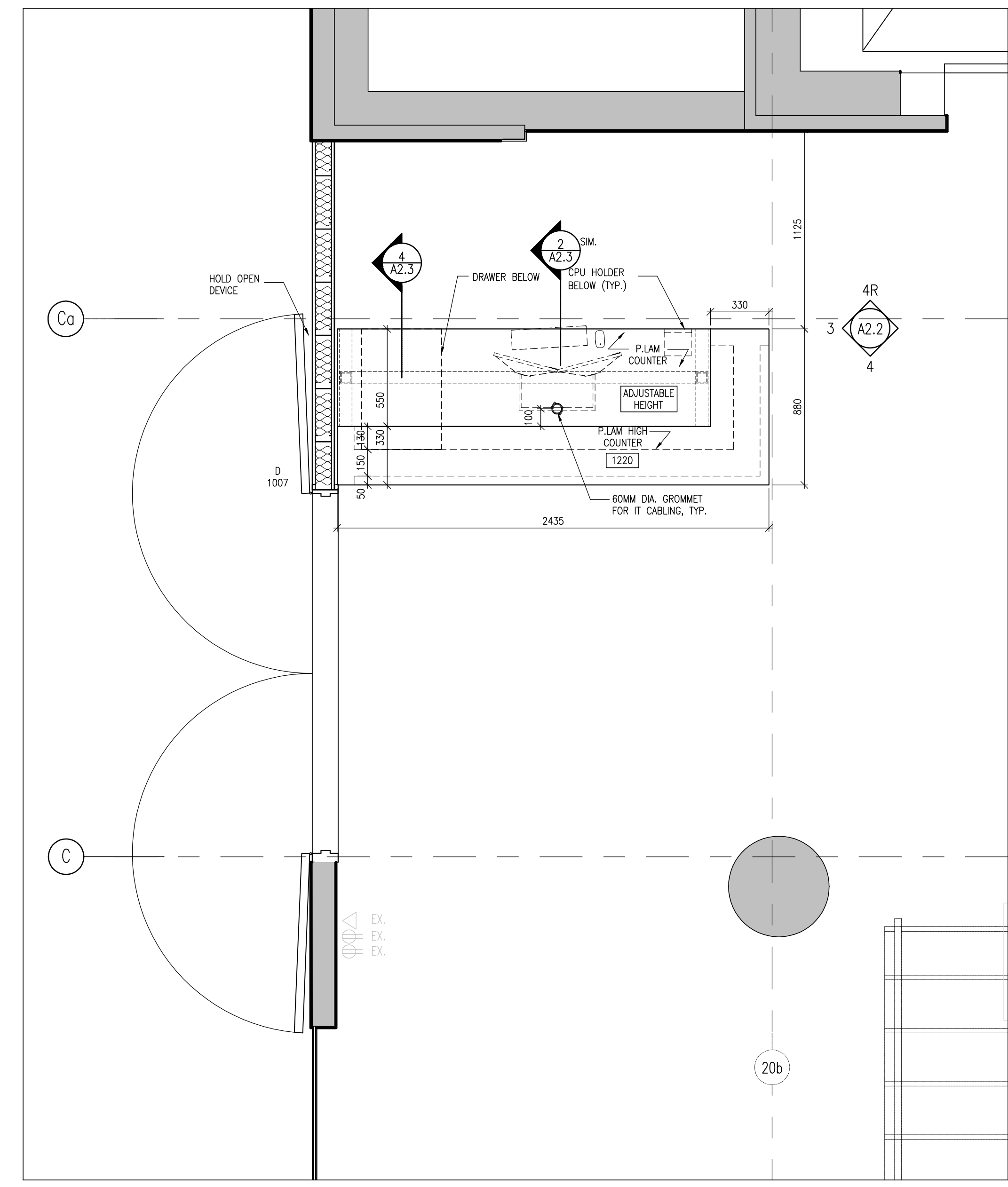


4R STAIR LOBBY 1017 DESK ELEVATION
A2.2 1:50

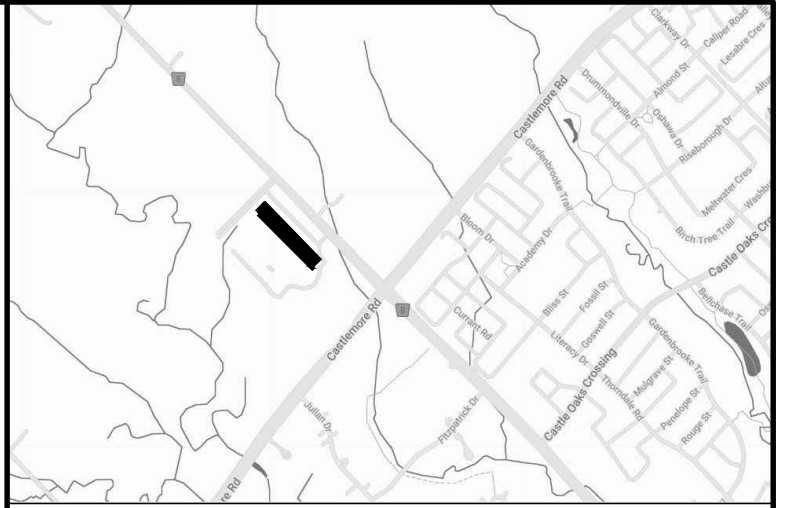
4 STAIR LOBBY 1017 DESK ELEVATION
A2.2 1:50



5 RECEPTION DESK FLOOR PLAN
A2.2 1:20



6 RECEPTION DESK FLOOR PLAN
A2.2 1:20



LOCATION PLAN

ABBREVIATIONS LEGEND

ACT	ACOUSTIC CEILING TILE
BF	BARRIER-FREE
CR	CARD READER
EP	ELECTRICAL PANEL
FD	FLOOR DRAIN
INT	INTERCOM
NIC	NOT IN CONTRACT
PAN	PANIC BUTTON
PB	PUSH BUTTON (DOOR OPERATOR)
TB	TACK BOARD
U/C	UNDER COUNTER
VCT	VINYL COMPOSITE TILE
WB	WHITEBOARD

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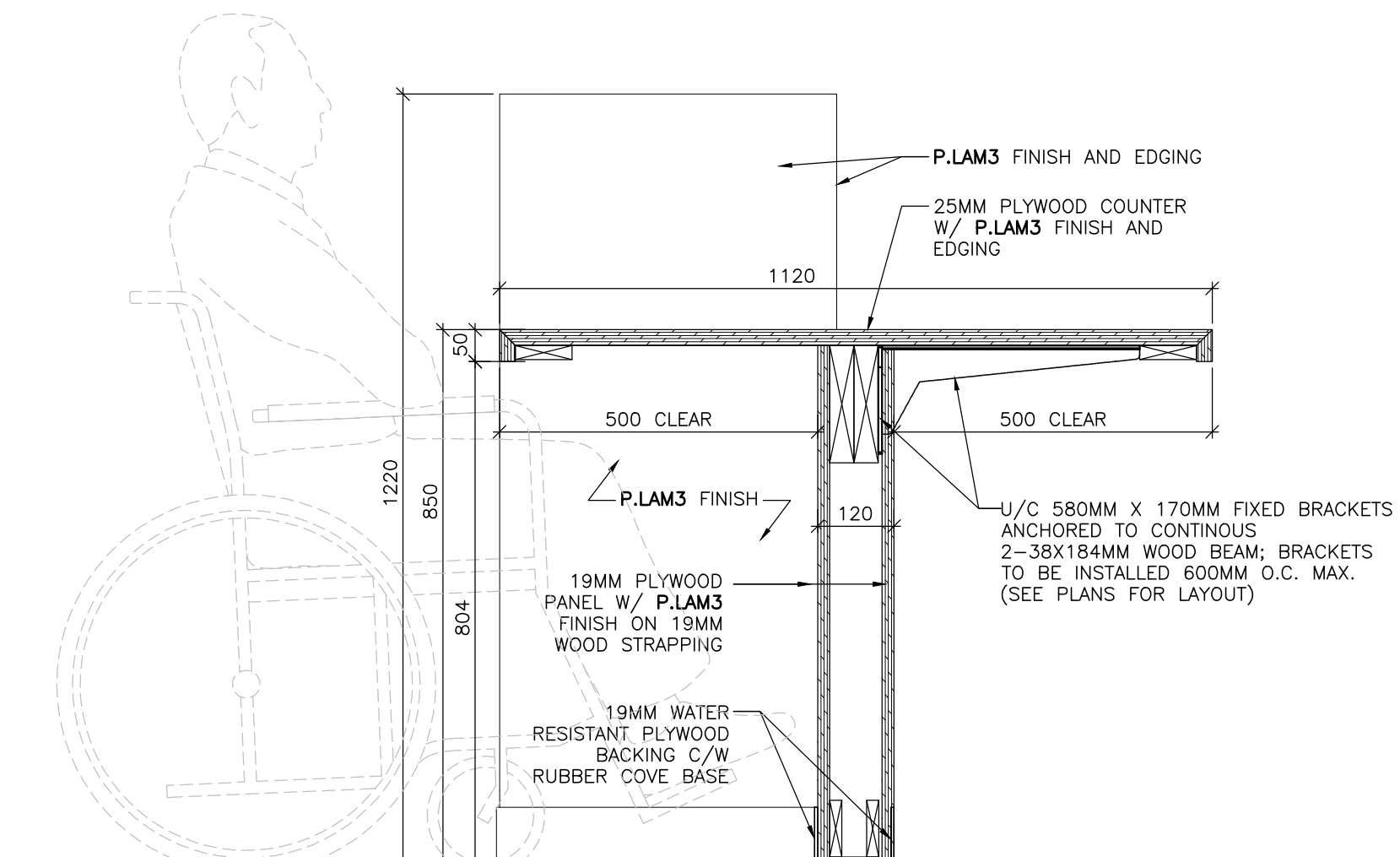
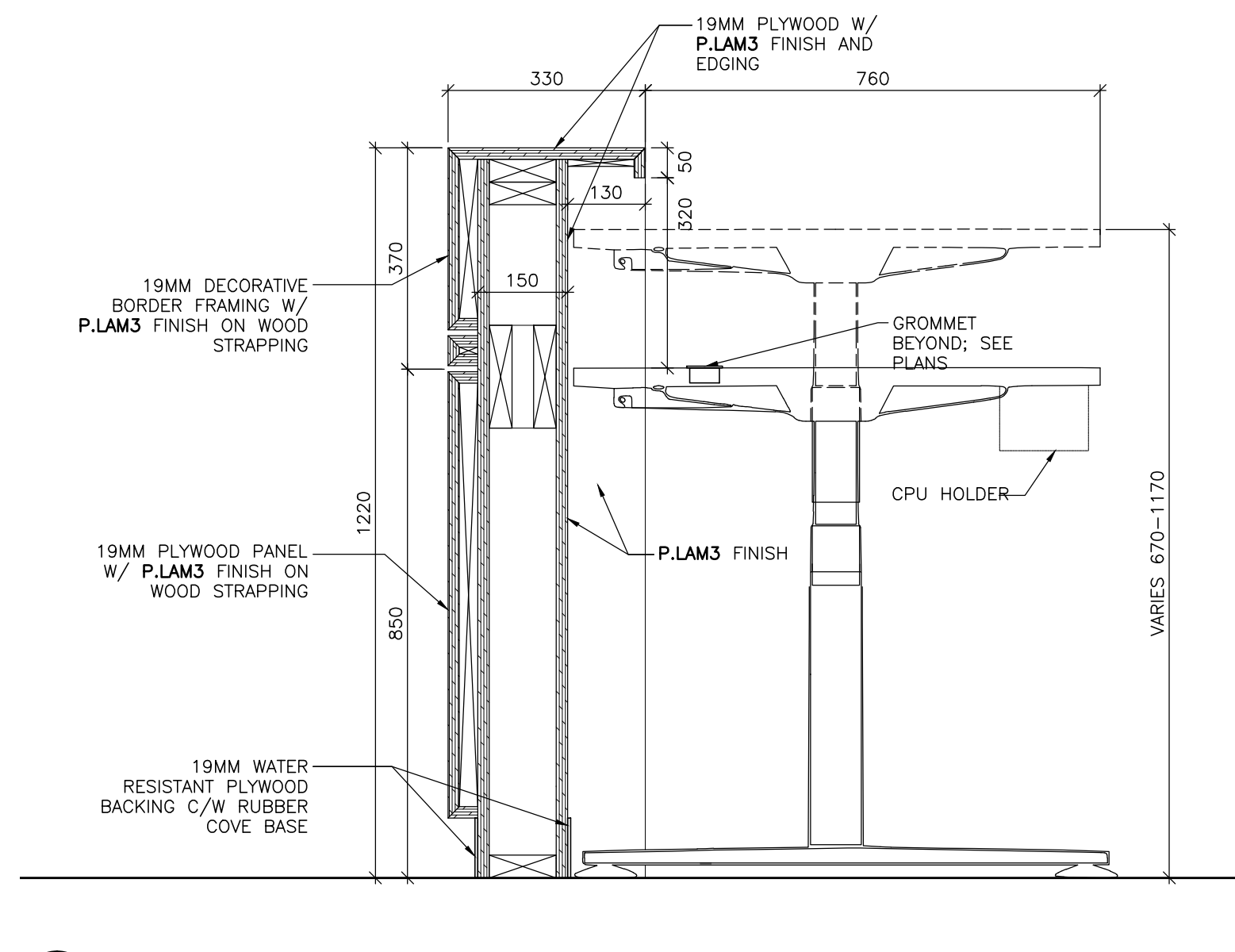
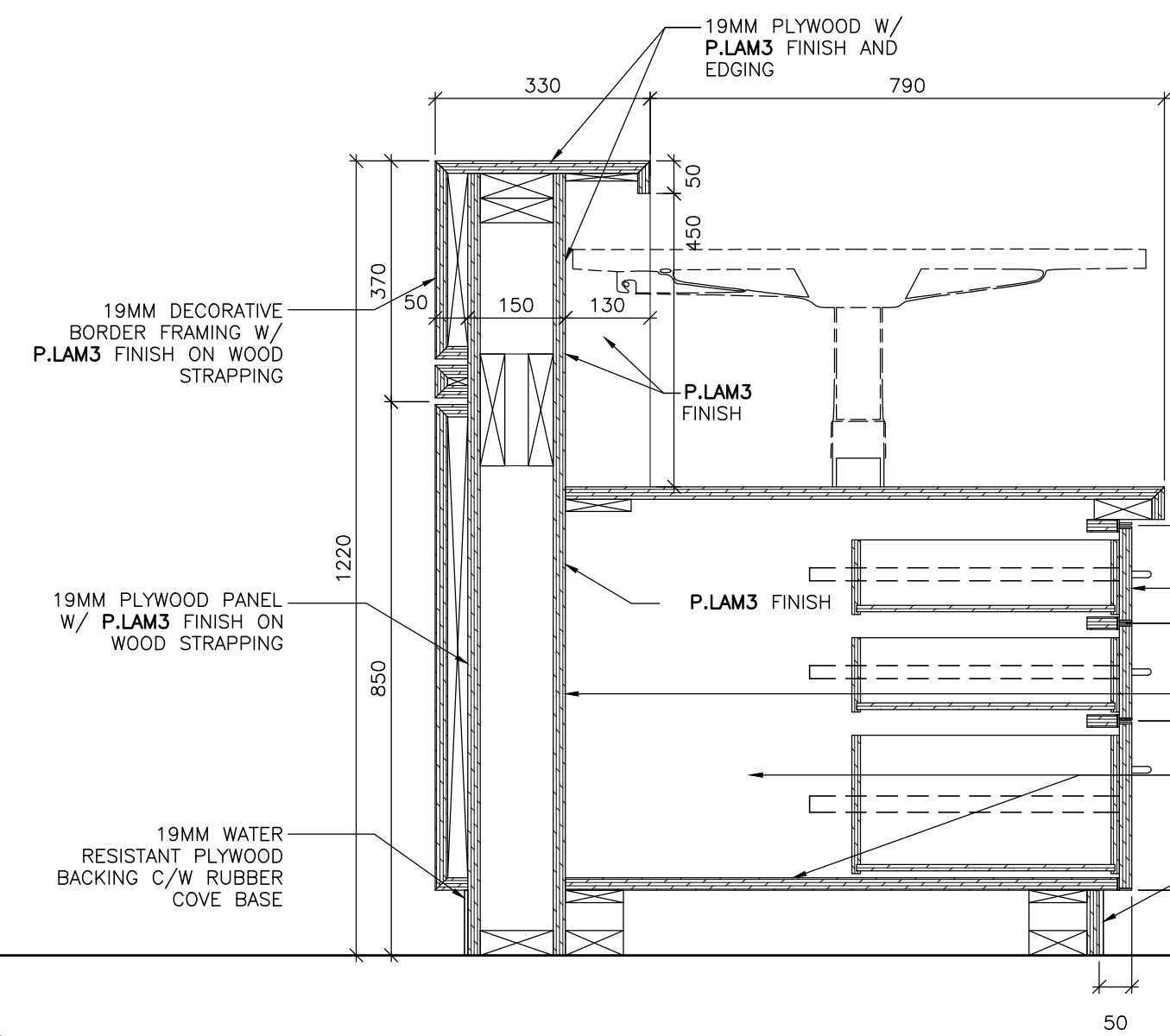
ELEVATIONS & PROPOSED PLANS

TRUE NORTH	DWG. NORTH
2336	JOB NO.
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MOFFET & DUNCAN
architects inc.

5052 DUNDAS ST. WEST
TORONTO, ONT. M9A 1B9
TEL: (416) 239-2775
FAX: (416) 239-5729
EMAIL: moffet@moffetduncan.ca

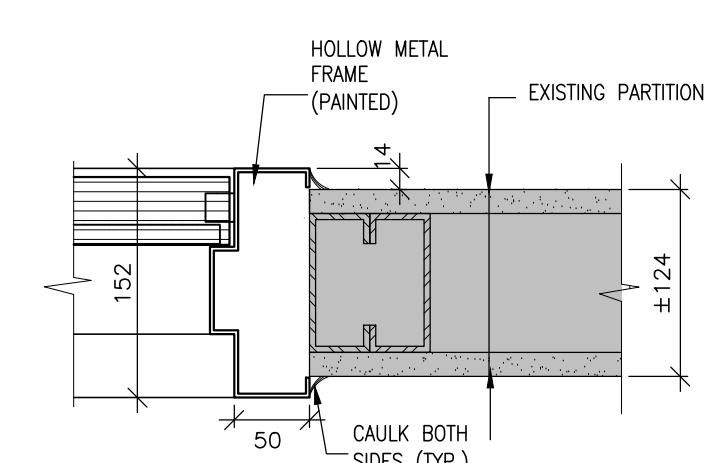
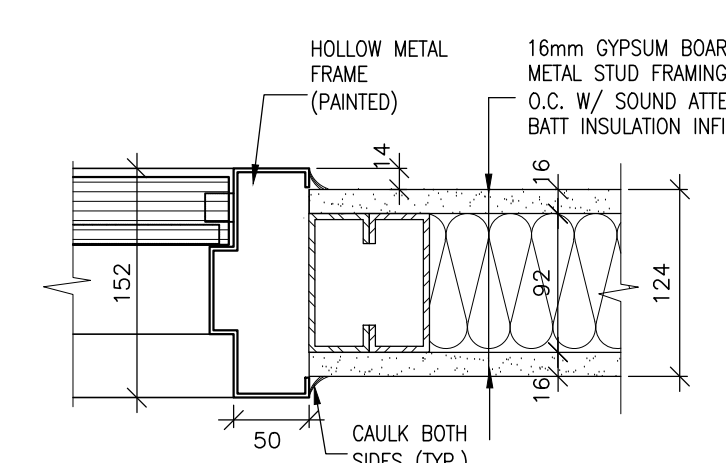
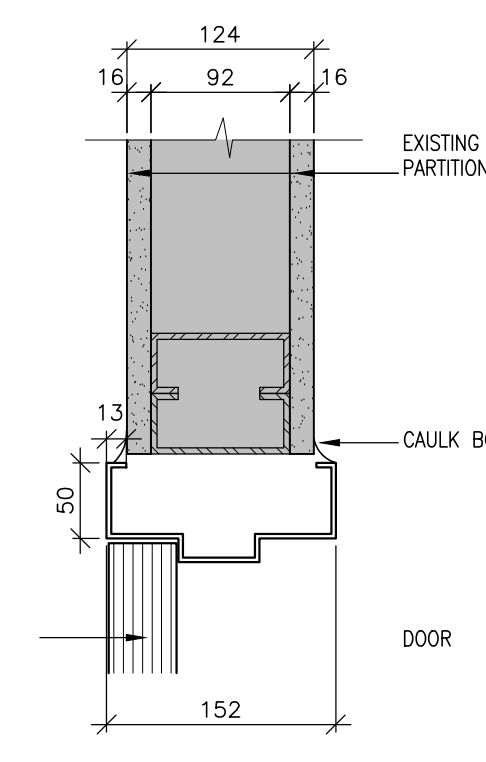
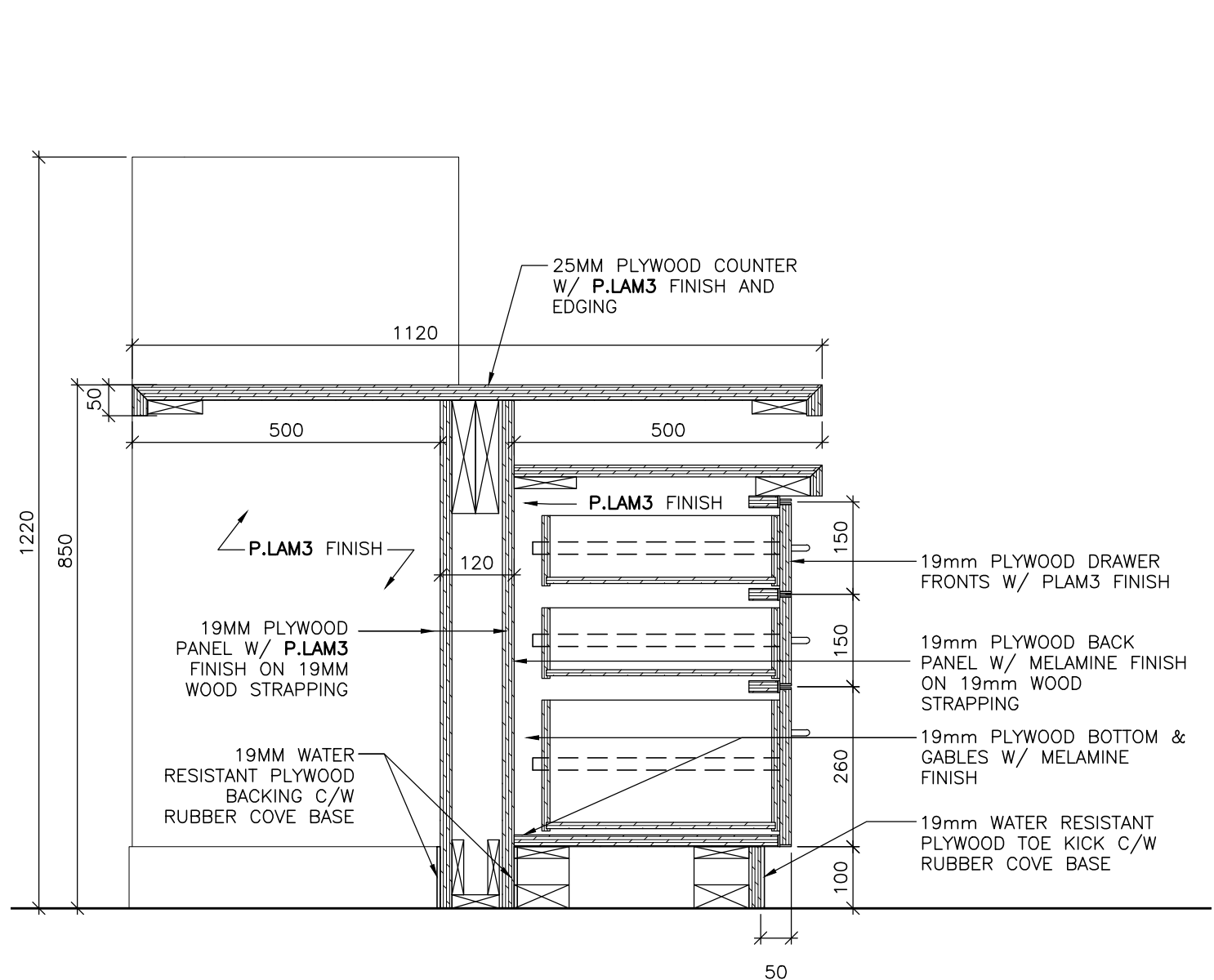
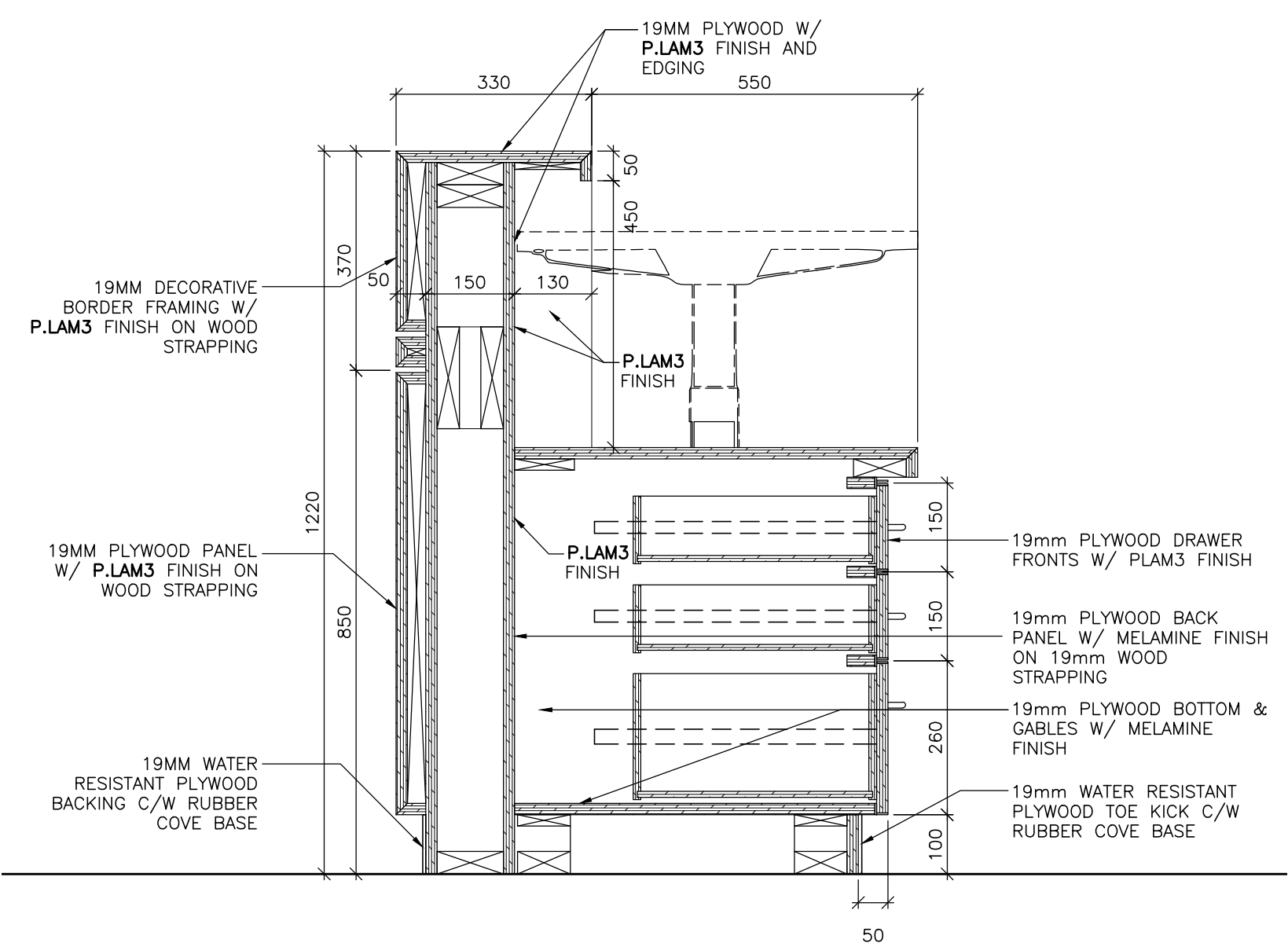
October 10, 2023
DWG. NO. **A2.2**



1 RECEPTION DESK @ DRAWER SECTION
A2.3 1:10

2 RECEPTION DESK @ WORK STATION SECTION
A2.3 1:10

3 RECEPTION DESK @ ACCESSIBLE COUNTER SECTION
A2.3 1:10



H1 HEAD DETAIL
J1 JAMB DETAIL
J2 JAMB DETAIL
6 HEAD AND JAMB DETAILS
A2.3 1:10

4 STAIR LOBBY 1017 DESK @ DRAWER SECTION
A2.3 1:10

5 RECEPTION DESK @ ACCESSIBLE DRAWER SECTION
A2.3 1:10

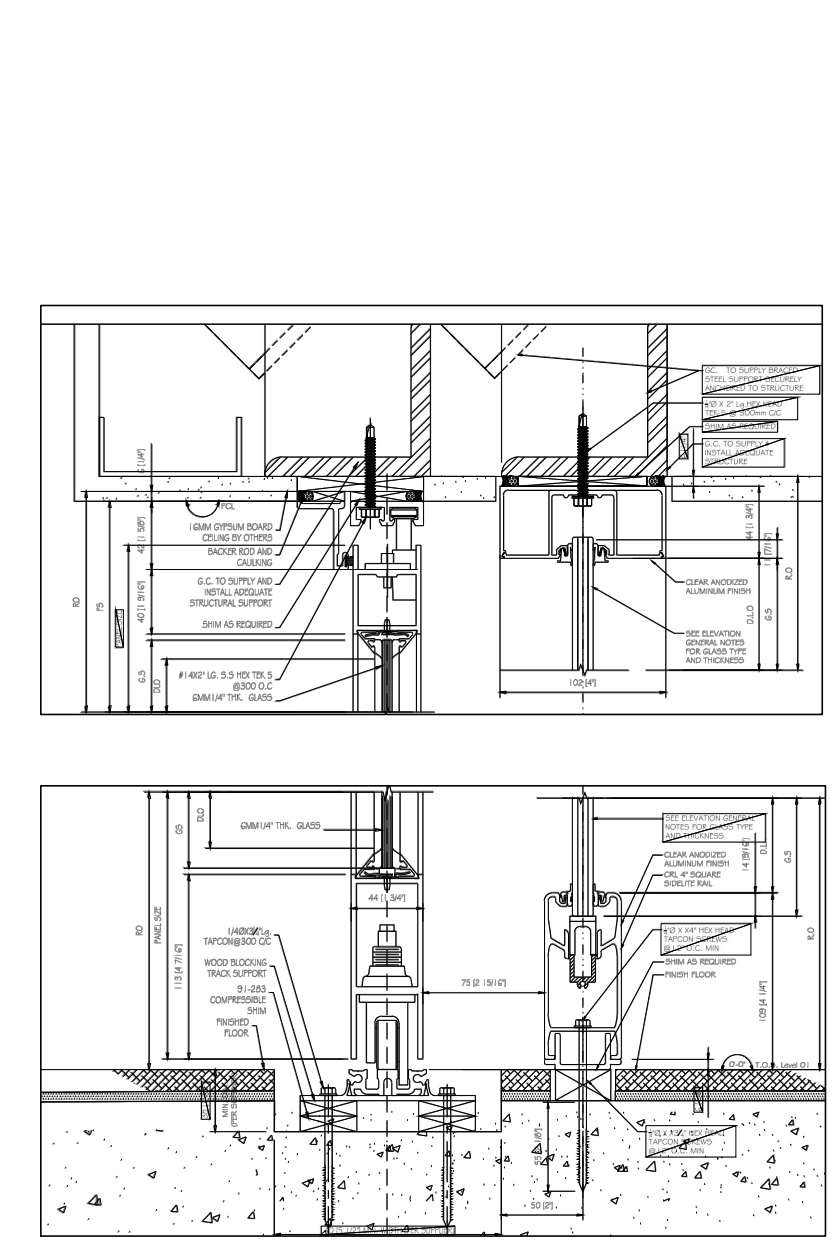
ROOM FINISH SCHEDULE							
ROOM NO.	ROOM NAME	FLOOR		WALLS			NOTES
		MATERIAL	FINISH	BASE	MATERIAL	FINISH	
1008	FITNESS & AQUATICS RECEPTION	EX. CONC.	EX./ PCT1-PCT2	EX./ PCT-B	EX./ CONC. BLOCK	EX./ PAINT P1	* SEE BELOW FOR MILLWORK FINISHES.
1007	DONOR WALL/NORTH CORRIDOR	EX. CONC.	EX./ PCT1-PCT2	EX./ PCT-B	EX./ CONC. BLOCK	EX./ PAINT P1	
1017	STAIR LOBBY	EX. CONC.	EX./ PCT1-PCT2	EX./ PCT-B	EX./ CONC. BLOCK	EX./ PAINT P1	* SEE BELOW FOR MILLWORK FINISHES.

*** NOTE: CONTRACTOR TO MATCH PLAM COLORS, PAINT COLORS, BASES WITH EXISTING AND SEND SAMPLES TO CONSULTANT PRIOR ORDERING.

ROOM FINISH MATERIALS:	MILLWORK MATERIALS:	*** NOTES:
P1 MANUFACTURER: BENJAMIN MOORE COLOUR: EXTRA WHITE (GENERAL WALL COLOUR) HIGH PERFORMANCE ARCHITECTURAL LATEX (OVER LATEX PRIMER SEALER) (NT 9.28-G3) 1 COAT LATEX PRIMER SEALER: MPI #50 2 COATS HIPAC LATEX: MPI #139 FINISH: EGGSHELL NUMBER: SW 7006	PCT1 MANUFACTURER: STONE TILE SERIES: TRAVERTINO ALMATEC COLOUR: GRIGIO - NATURALE RETTIFICATO SIZE: 300 x 1200 MM PCT2 MANUFACTURER: STONE TILE SERIES: TRAVERTINO ALMATEC COLOUR: BIANCO - NATURALE RETTIFICATO SIZE: 300 x 1200 MM PCT-B MANUFACTURER: STONE TILE SERIES: TRAVERTINO ALMATEC COLOUR: GRIGIO - NATURALE RETTIFICATO SIZE: 100 MM BASE	1. SAND/ STRIP PAINT FINISH FROM SURFACES. PATCH AND REPAIR ANY DAMAGE AFTER REMOVAL OF ELECTRICAL ITEMS. MAKE GOOD SURFACES AND PREPARE FOR NEW FINISH. 2. ANY EXISTING SURFACES IMPACTED BY THE WORK SHOULD BE REPAIRED, IN-FILLED AND MADE GOOD BEFORE NEW PAINT, OR OTHER FINISH IS APPLIED.

LEGEND:
PLAM - PLASTIC LAMINATE
CPT - CARPET TILE
PCT - PORCELAIN FLOOR TILE
CONC - CONCRETE BLOCK
ACT - ACOUSTIC CEILING TILES
RB - RESILIENT WALL BASE/
FLOORING
EX - EXISTING
WD - WOOD
HM - HOLLOW METAL

8 ROOM FINISH SCHEDULE
A2.3 NTS



DOOR TYPES

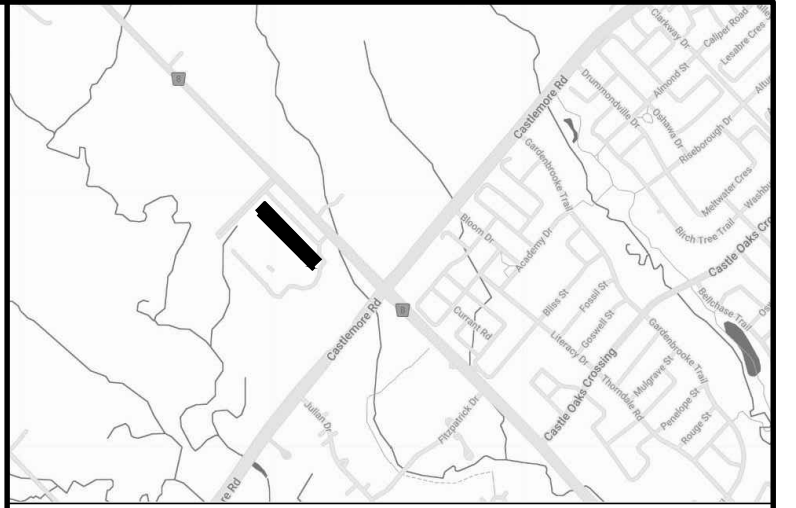
FRAME TYPES

REFER TO THE DOOR SCHEDULE FOR THE EXACT DOOR WIDTHS, HEIGHTS AND THICKNESS.

DOOR AND FRAME SCHEDULE																
ROOM NO.	ROOM NAME	DOOR No.	DOOR			FRAME				REQUIRED ULC CLOSER	REMARKS					
			SIZE	THICKNESS	TYPE	MATERIAL	FINISH	GLASS	MATERIAL			FINISH	TYPE			
INTERIOR DOORS																
1007	DONOR WALL/NORTH CORRIDOR	1007	2 X ±1015X ±2150	45	A	HM	PAINT	-	H.M.	PAINT	F1	-	H1/ J1,J2	45 MIN	YES	HOLD OPEN DEVICE
1008	FITNESS & AQUATICS RECEPTION	1008	EX	EX	EX	EX	EX	-	EX	PAINT	EX	EX	H1/ J2	EX	YES	POWER DOOR OPERATOR, EX CARD READER

9 DOOR & FRAME SCHEDULE
A2.3 NTS

7 EXISTING FIXED SCREEN & ALUMINUM TRACK HEAD AND SILL DETAILS
A2.3 NTS



LOCATION PLAN

ABBREVIATIONS LEGEND

ACT	ACOUSTIC CEILING TILE
BF	BARRIER-FREE
CR	CARD READER
EP	ELECTRICAL PANEL
FD	FLOOR DRAIN
INT	INTERCOM
NIC	NOT IN CONTRACT
PAN	PANIC BUTTON
PB	PUSH BUTTON (DOOR OPERATOR)
TB	TACK BOARD
U/C	UNDER COUNTER
VCT	VINYL COMPOSITE TILE
WB	WHITEBOARD

MAR 14, 2024 ISSUED FOR TENDER
FEB 29, 2024 ISSUED FOR 90% DRAWINGS

Service Counter at Gore Meadows Renovations
10150 The Gore Rd, Brampton, ON L6P 0A6



MILLWORK SECTIONS,
DOOR & FRAME SCHEDULE

ONTARIO ASSOCIATION OF ARCHITECTS
Ken MacSparran
KEN MACSPARRAN
LICENCE 4751

TRUE NORTH DWG. NORTH
2336 JOB NO.
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MOFFET & DUNCAN architects inc.
5052 DUNDAS ST. WEST
TORONTO, ONT. M9A 1B9
TEL: (416) 239-2775
FAX: (416) 239-5729
EMAIL: moffet@moffetduncan.ca

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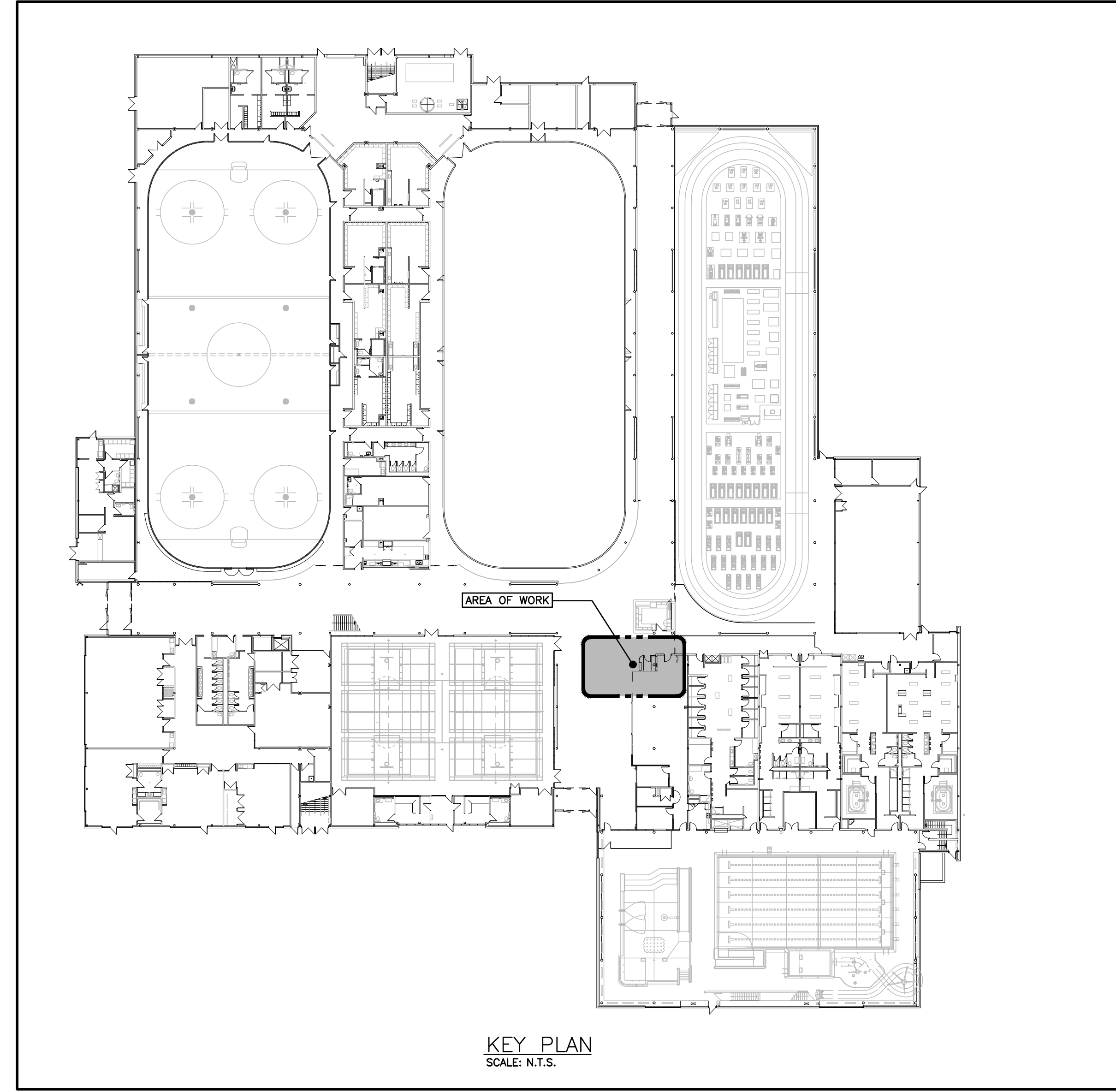
GRILLE SCHEDULE					CAPACITY INDICATED ON SCHEDULE REFER TO SPECIFICATION FOR CONSTRUCTION STANDARDS, ACCESSORIES AND ADDITIONAL INFORMATION.
Item	Type	Equalizing Grid	Volume Damper	Acceptable Manufacturer	Description
S1	SUPPLY GRILLE	NO	NONE	EH PRICE 520-FLA	DOUBLE DEFLECTION, 3/4" SPACING, STEEL BLADES PARALLEL TO LONG DIMENSION, C/W 1 1/4" FLAT BORDER & SCREWED FASTENING FOR SURFACE MOUNTING.

GENERAL DIFFUSER/GRILLE NOTES:
 1. ACCEPTABLE MANUFACTURERS: EH PRICE, NAILOR, TITUS, KRUEGER, CARNES, METALAIRE, TUTTLE & BAILEY
 2. GRILLE COLOURS ARE SELECTED BY ARCHITECT FROM STANDARD COLOUR CHART, UNLESS OTHERWISE NOTED.
 3. PAINT INTERIOR OF DUCTWORK BEHIND GRILLE MATT BLACK (WHERE VISIBLE THRU GRILLE).

GENERAL NOTES

- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PREPARED SPECIFICATION.

MECHANICAL LEGEND	
Item	Description
	CUT EXISTING & CONNECT NEW PIPING
	FLOW DIRECTION
	THERMOSTAT (WITH OR WITHOUT GUARD)
	TURNING VANES
	SUPPLY AIR DUCT
	RETURN/EXHAUST AIR DUCT
	BRANCH LINE SPIN-IN COLLAR C/W BALANCING DAMPER
	BALANCING DAMPER
	FLEXIBLE ROUND DUCT
	RIGID ROUND DUCT
	DIFFUSER/GRILLE SIZE (imp), TYPE & CAPACITY (cfm)
	HYDRONIC HEATING SIZE, TYPE & CAPACITY
	RETURN IN CABINET
	ABOVE FINISHED FLOOR
	ABOVE FINISHED ROOF
	EXISTING DUCT (SIZE AS INDICATED)



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55 Northland Road, Waterloo, ON N2V 1Y8
 Phone: 519-725-3555
 Website: deiassociates.ca
 Project Number: 23286

DATE	REVISIONS
MAR 19, 2024	ISSUED FOR TENDER
MAR 04, 2024	ISSUED FOR 90% REVIEW

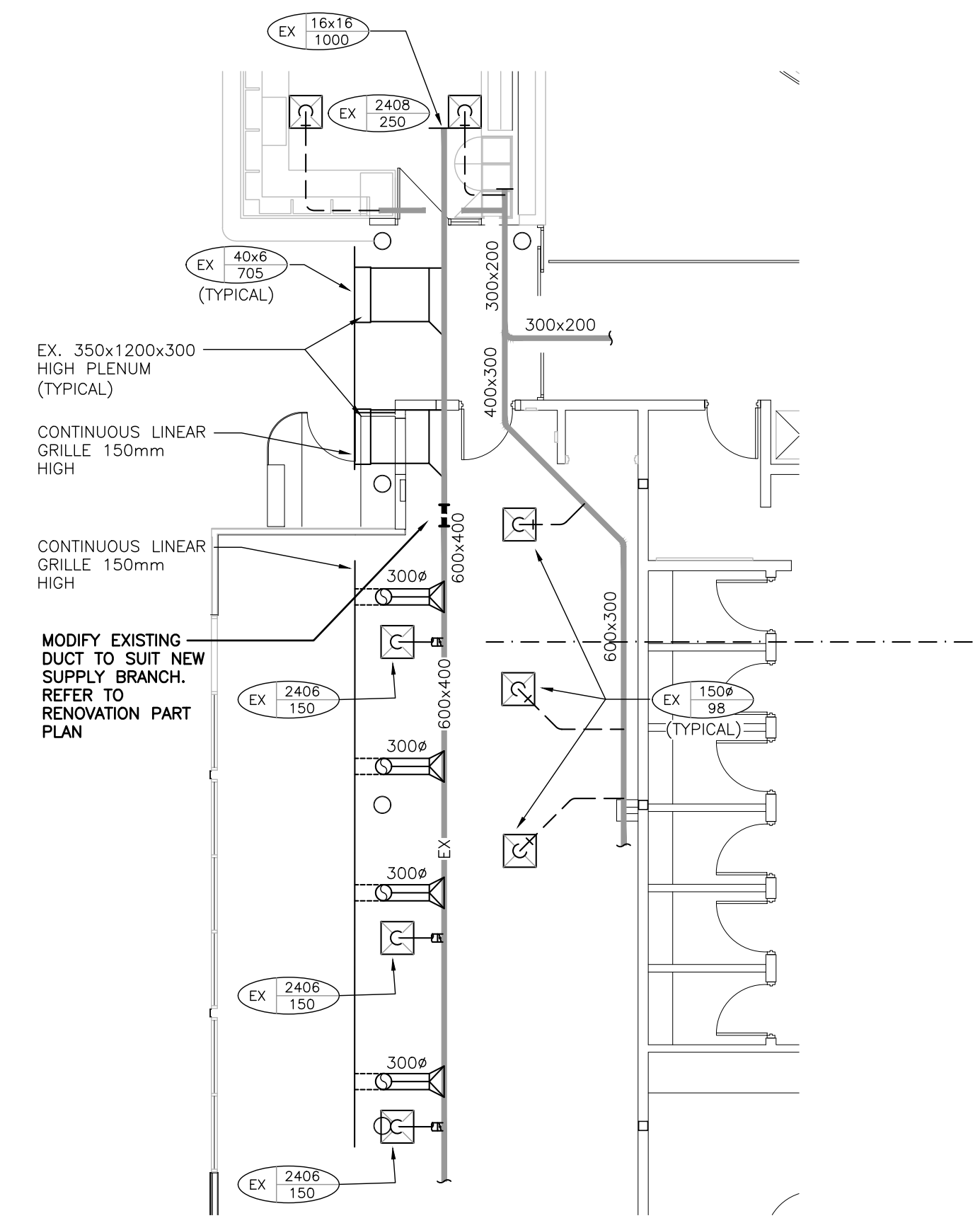
Service Counter at Cassie Campbell Renovations
 1050 Sandalwood Pkwy W, Brampton, On L74 0K9

DRAWING
KEYPLAN, LEGEND & SCHEDULES

	TRUE NORTH	DWG. NORTH
	2336	JOB NO.
	AS NOTED	SCALE
	MARCH 2024	DATE
	March 19, 2024	PRINTED
		DWG. NO.
MOFFET & DUNCAN architects inc. 5052 DUNDAS ST. WEST TORONTO, ONT. M9A 1B9 TEL: (416) 239-2775 FAX: (416) 239-6729 EMAIL: mdarch@mdarch.ca	M1.1	

GENERAL DEMOLITION NOTES

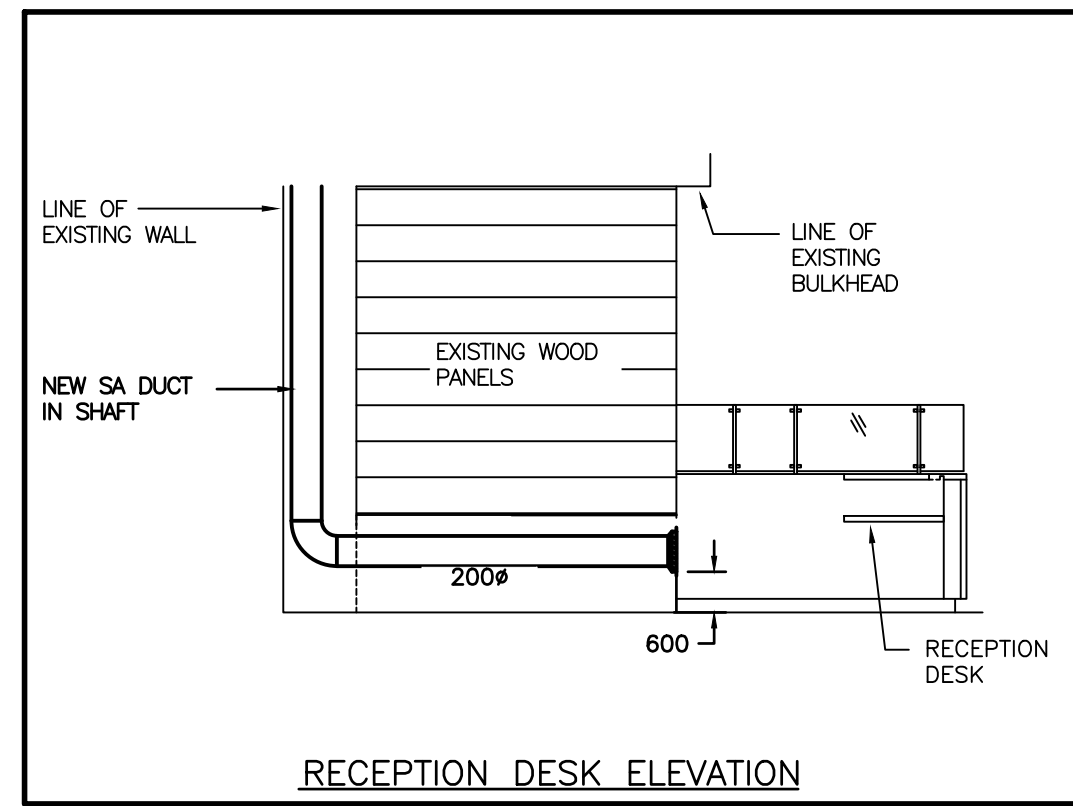
- EXISTING MECHANICAL ITEMS NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- EXISTING MECHANICAL ITEMS SHOWN BUT NOT NOTED AS BEING REMOVED OR RENOVATED SHALL REMAIN AS PRESENTLY INSTALLED AND OPERATING.
- THIS CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ON SITE ALL LOCATIONS AND SIZES OF ALL SERVICES & EQUIPMENT PRIOR TO THE COMMENCEMENT OF WORK.
- ALL OPENINGS THAT RESULT FROM THE REMOVAL OF EQUIPMENT OR SERVICES SHALL BE NEATLY PATCHED WITH SUITABLE NEW MATERIALS TO SUIT EXISTING CONSTRUCTION.
- PLUMBING VENTS ARE NOT INDICATED OR IDENTIFIED. REMOVE ALL REDUNDANT VENTS WHILE MAINTAINING INTEGRITY OF EXISTING SYSTEMS TO REMAIN.
- REMOVAL OF EXISTING PIPING, OR DUCT SYSTEMS INCLUDES REMOVAL OF ALL HANGERS, INSULATION, FITTINGS, ETC.
- MAINTAIN INTEGRITY OF EXISTING SYSTEMS THAT ARE TO REMAIN OR BE MODIFIED.
- INSTALL NEW SYSTEM OR SERVICES WHERE REQUIRED TO MAINTAIN SYSTEM OPERATION PRIOR TO DEMOLITION OF EXISTING SERVICES.
- THIS CONTRACTOR IS TO REMOVE & REPLACE CEILING AS REQUIRED FOR REMOVAL/REPLACEMENT OF SERVICES.
- CONTRACTOR TO CARRY IN THEIR PRICING TO DRAIN SYSTEM OR FREEZE PIPING TO COMPLETE WORK



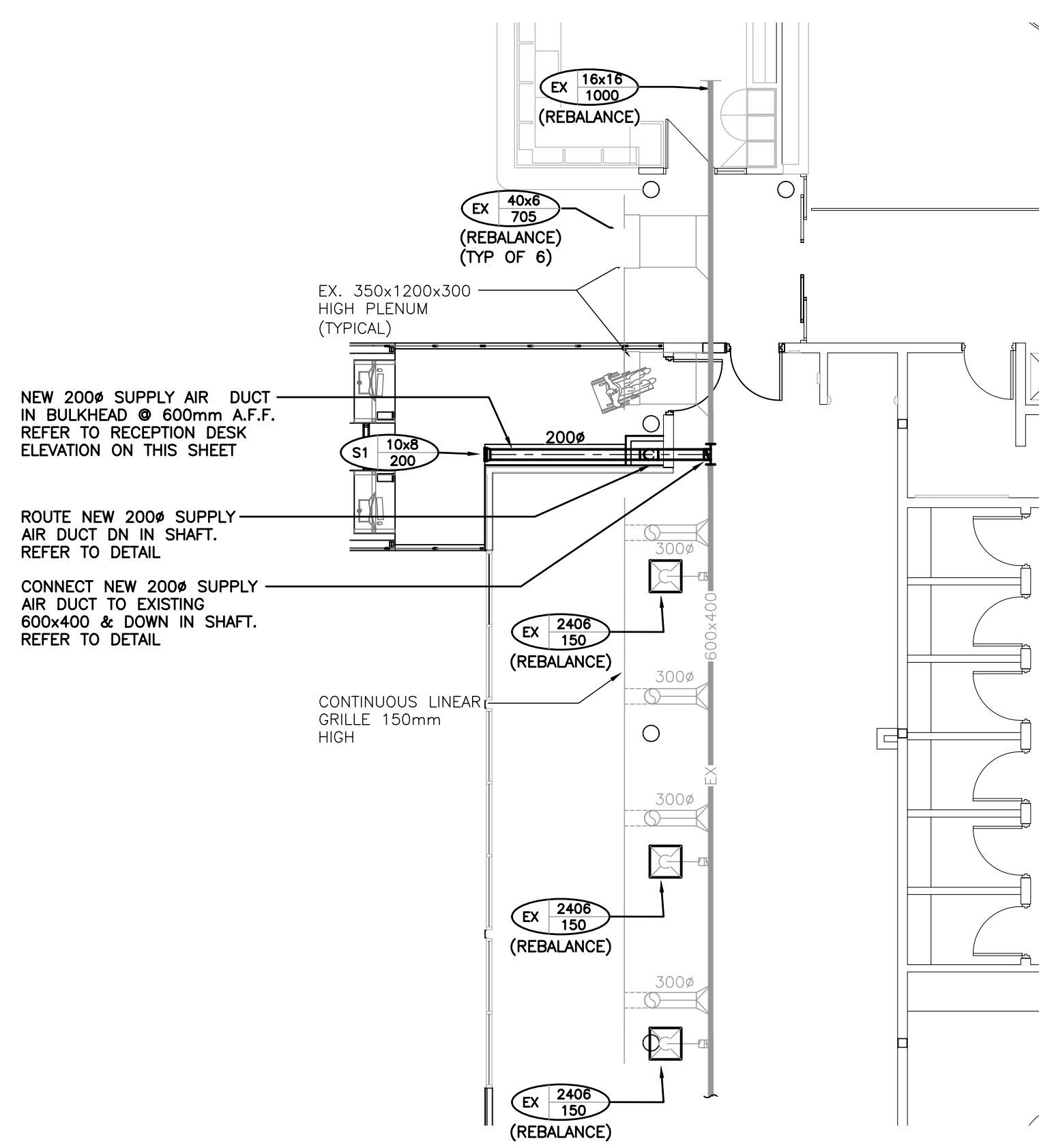
GROUND FLOOR PART PLAN – DEMOLITION
SCALE: 1:100

GENERAL RENOVATION NOTES

- CLEAN AND VACUUM EXISTING DUCTWORK ADJACENT TO NEW CONNECTIONS ± 10'-0" IN EACH DIRECTION.
- CO-ORDINATE ANY OWSI BRIDGING RELOCATION OR REMOVAL/REPLACEMENT WITH THE GENERAL CONTRACTOR. PAY ALL COSTS REQUIRED TO MODIFY BRIDGING FOR INSTALLATION OF DUCTWORK.
- REFER TO ARCHITECTURAL PLANS FOR GRILLE LOCATION. CO-ORDINATE FINAL LOCATION ON SITE.



RECEPTION DESK ELEVATION



GROUND FLOOR PART PLAN – RENOVATION
SCALE: 1:100

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MECHANICAL | ELECTRICAL | AQUATIC
55 Northland Road, Waterloo, ON N2V 1Y8
Phone: 519-725-3555
Website: deiassociates.ca
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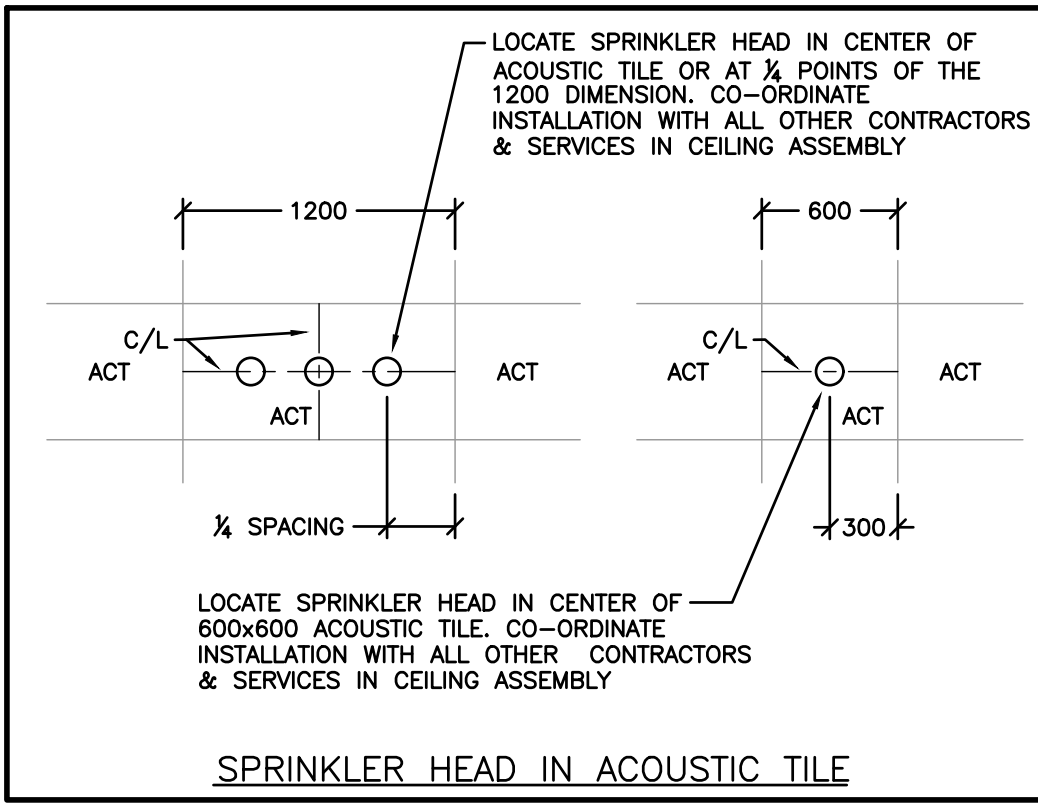
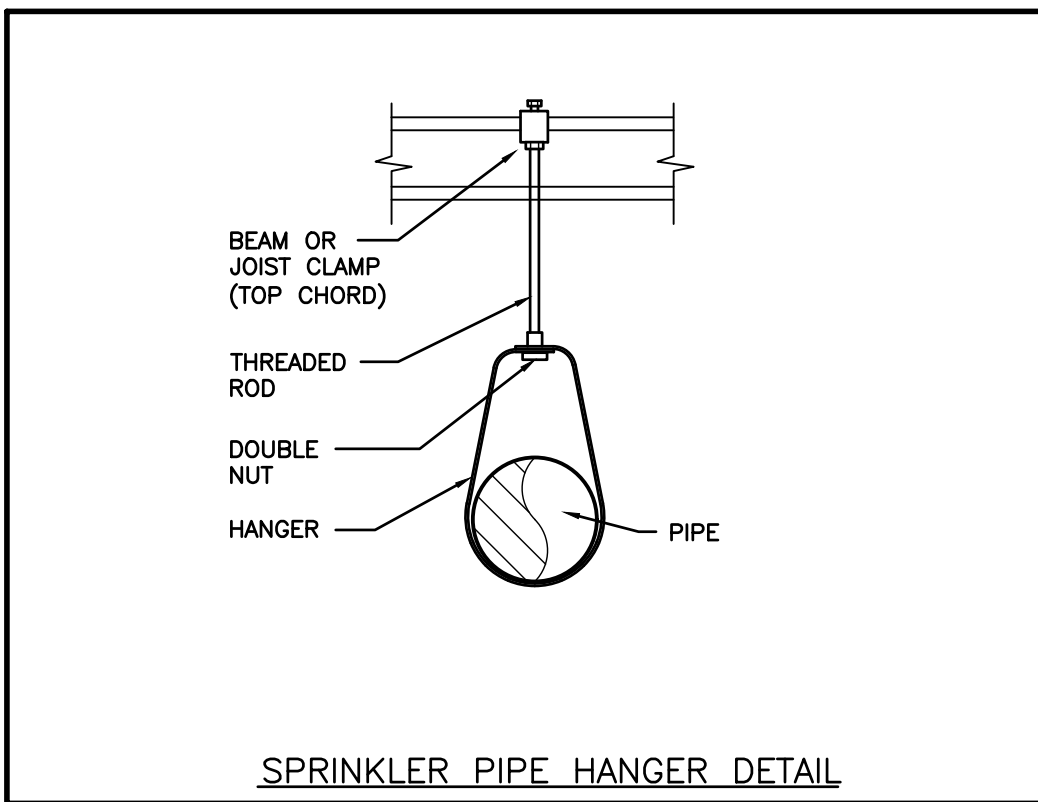
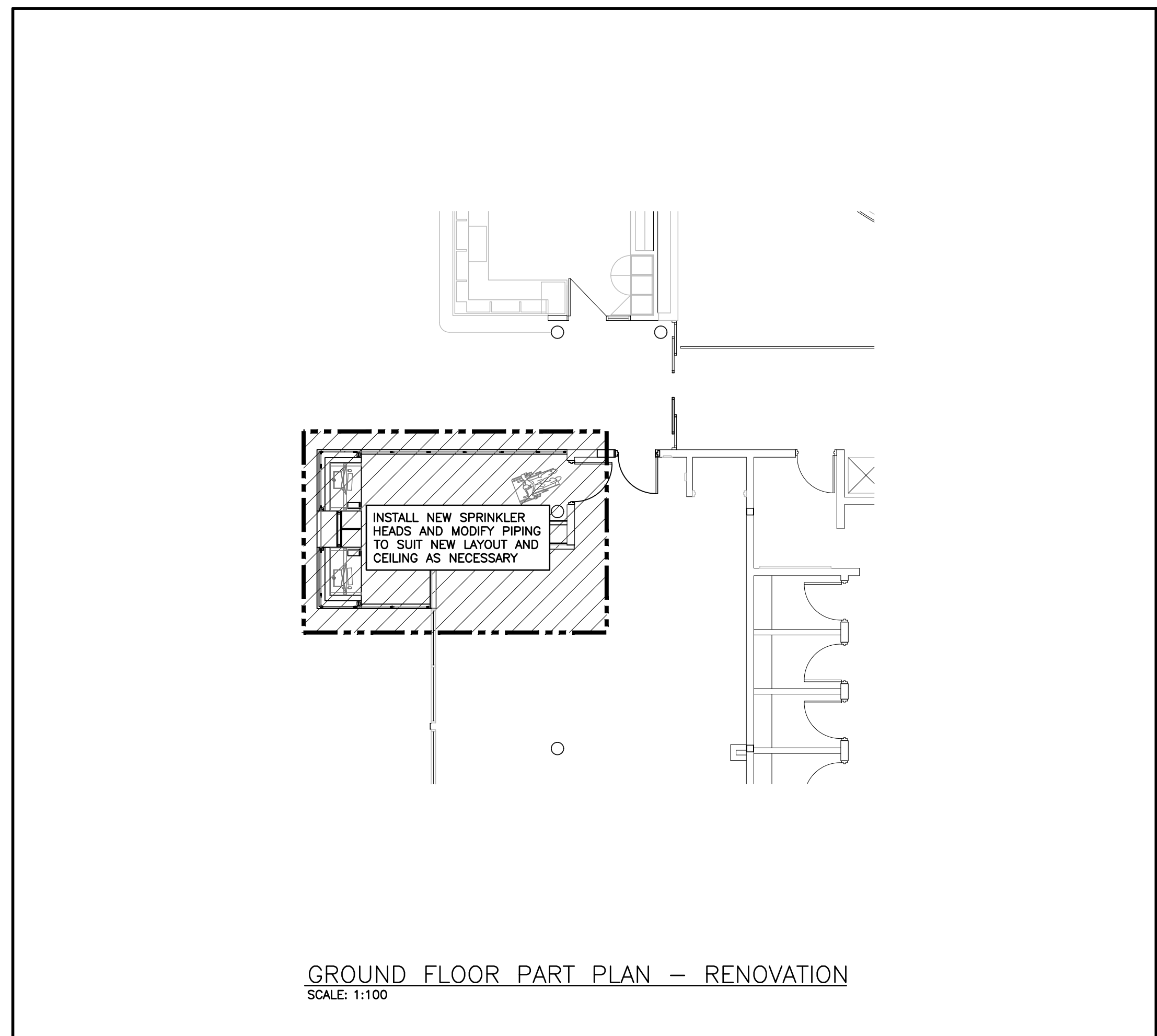
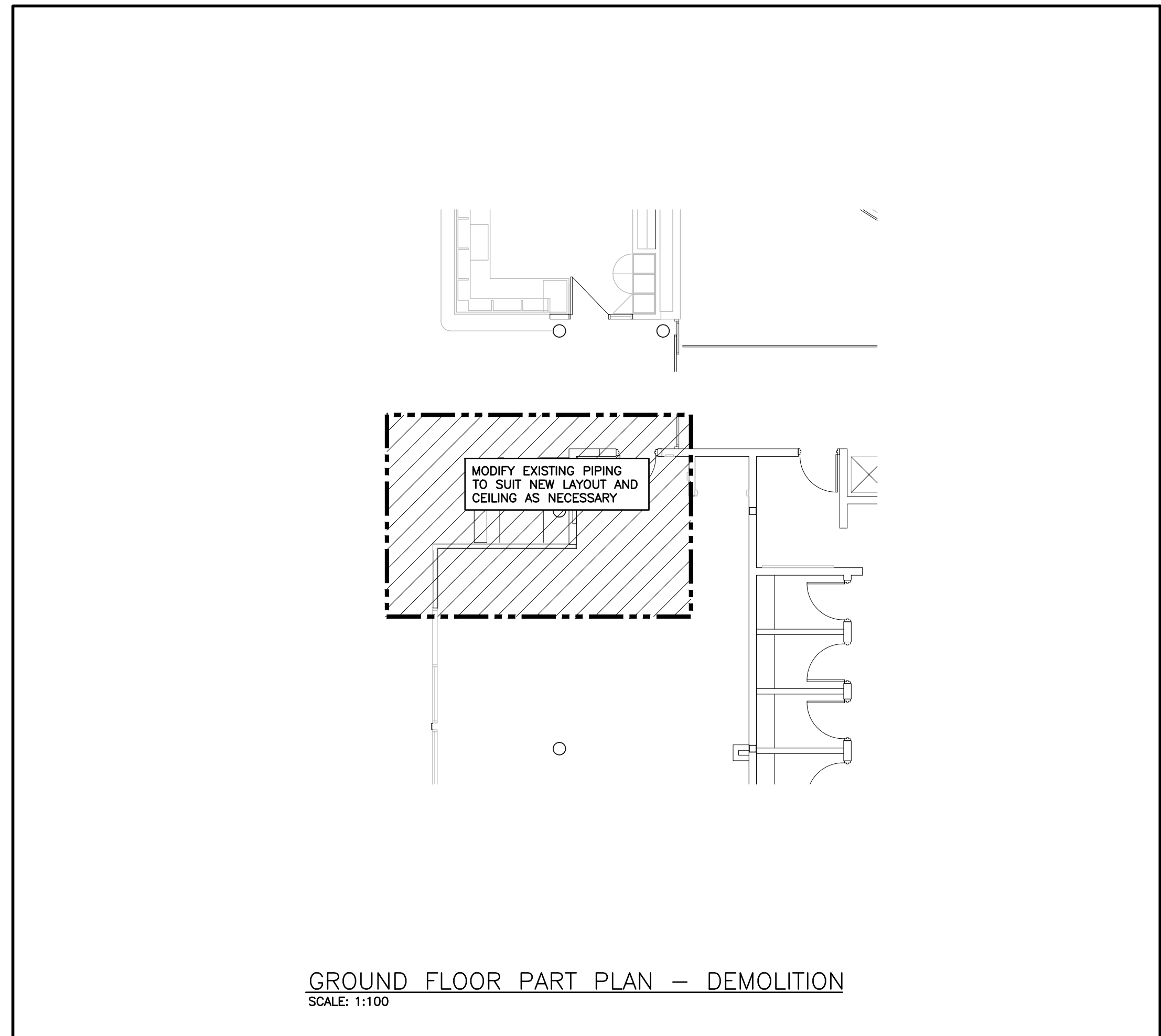
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MAR 04, 2024	ISSUED FOR 90% REVIEW
DATE	REVISIONS

Service Counter at Cassie Campbell Renovations
1050 Sandalwood Pkwy W, Brampton, On L74 0K9

GROUND FLOOR PART PLAN – DEMOLITION & RENOVATION

TRUE NORTH DWG. NORTH
19 Mar 24
M.B. WHITE
190143074
PROVINCE OF ONTARIO
2336
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MARCH 2024
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MOFFET & DUNCAN
architects inc.
5052 DUNDAS ST. WEST
TORONTO, ONT. M9A 1S9
TEL: (416) 239-2775
FAX: (416) 239-6729
EMAIL: mdarch@mdarch.ca



GENERAL SPRINKLER NOTES

- EXISTING SPRINKLER SYSTEM & STANDPIPE SYSTEM TO BE RENOVATED/MODIFIED TO SUIT NEW LAYOUT. CONTRACTOR IS RESPONSIBLE TO SURVEY EXISTING SYSTEMS FOR CREATION OF SHOP DWGS.
- SUBMIT PRELIMINARY DESIGN & HYDRAULIC CALCULATIONS STAMPED BY A PROFESSIONAL ENGINEER, AND MANUFACTURERS' PRODUCT SHEETS FOR SHOP DRAWING SUBMISSION AS SPECIFIED PRIOR TO COMMENCING WORK.
- ENSURE DESIGN MEETS OR EXCEEDS PRESENT NFPA 13 STANDARDS. ENSURE SPRINKLER SYSTEMS ARE INSTALLED TO NFPA 13 STANDARDS. UPON COMPLETION, SPRINKLER CONTRACTOR TO PROVIDE REPRODUCIBLE DRAWING (AT 1/8"=1'-0" SCALE) AND HYDRAULIC CALCULATIONS OF AS-BUILT CONDITION.
- SPRINKLER CONTRACTOR'S 'PROFESSIONAL ENGINEER' TO PROVIDE O.B.C. AND NFPA REQUIRED INSPECTION AND CERTIFICATION.
- REFER TO ARCHITECTURAL DRAWINGS FOR REFLECTED CEILING PLAN.
- PROVIDE SPRINKLER HEAD TYPES AS FOLLOWS:
 - PROVIDE UPRIGHT CONCEALED WHITE HEADS WITHIN 12" OF EXPOSED DECK THROUGHOUT EXPOSED STRUCTURE AREAS.
 - PROVIDE RECESSED HEADS IN CEILINGS OF OFFICE AREAS. COVER PLATE FINISH SELECTED BY CONSULTANT.
- PROVIDE SPRINKLER HEAD GUARDS IN ALL MECHANICAL, ELECTRICAL & STORAGE ROOMS.
- SPRINKLER HEADS TO BE IN CENTERLINE OF CEILING TILE. MINIMUM 150mm (6") FROM EDGE.
- FINAL NUMBER AND LOCATION OF SPRINKLER HEADS TO BE DETERMINED BY CONTRACTOR'S HYDRAULIC CALCULATIONS AND APPROVED DRAWINGS.
- SPRINKLER PIPING TO BE COORDINATED WITH OTHER SERVICES PRIOR TO INSTALLATION.
- COORDINATE LOCATION OF INSPECTOR'S TEST CONNECTION WITH CONSULTANT PRIOR TO INSTALLATION.
- SPRINKLER CONTRACTOR TO VISIT SITE AND EVALUATE EXISTING CONDITIONS PRIOR TO TENDER CLOSING. INCLUDE ALL MODIFICATIONS IN TENDER PRICE.
- PROVIDE SPRINKLER HEADS UNDER ALL DUCTWORK AND EQUIPMENT OVER 1200mm WIDE.
- COMMISSIONING OF INTEGRATED TESTING OF FIRE PROTECTION AND LIFE SAFETY SYSTEM.
 - SPRINKLER CONTRACTOR TO PROVIDE SERVICES WITH THE FIRE COMMISSIONING AGENT (FCA) TO MEET THEIR REQUIREMENTS OF ADMINISTRATION, VERIFICATION, AND FINAL SIGNOFF TO THE LOCAL AUTHORITIES AND CONSULTANT. THE FCA IS BEING RETAINED BY THE ELECTRICAL CONTRACTOR, HOWEVER, THIS CONTRACTOR'S WORK TO SATISFY THE FCA REQUIREMENTS SHALL BE INCLUDED IN THE TENDER PRICE.
 - CHECK/TEST: MOVEMENT OF ALL VALVES, CREATE WATER FLOW AT ALL DEVICES TO VERIFY DETECTION AT FIRE ALARM PANEL, OPERATION OF ALL PUMPS &/OR COMPRESSORS.
 - PERFORM ALL WORK IN ACCORDANCE WITH NFPA 13.
 - RETURN SPRINKLER/STANDPIPE SYSTEM TO NORMAL OPERATION ON COMPLETION OF TESTING.

SPRINKLER SYSTEM OUT OF COMMISSION

- THIS CONTRACTOR SHALL NOTIFY THE BUILDING DEPARTMENT AND THE AUTHORITY HAVING JURISDICTION IN WRITING SEVENTY TWO (72) HOURS IN ADVANCE OF ANY WORK. IT IS THE RESPONSIBILITY OF THE SPRINKLER CONTRACTOR TO PROVIDE A TWENTY FOUR (24) HOUR FIRE WATCH WHILE THE COMPLETE EXISTING SPRINKLER SYSTEM IS OUT OF COMMISSION. ALL COSTS ASSOCIATED WITH THE FIRE WATCH AND/OR ALL REQUIREMENTS BY THE BUILDING DEPARTMENT AND/OR AUTHORITY HAVING JURISDICTION WHILE THE EXISTING STANDPIPE & SPRINKLER SYSTEM IS OUT OF COMMISSION SHALL BE BORNE BY THIS CONTRACTOR.

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DRAWING

**GROUND FLOOR PART PLAN
FIRE PROTECTION
DEMOLITION & RENOVATION**

19 Mar 24
M.B. WHITE
19943074
PROVINCE OF ONTARIO

TRUE NORTH DWG. NORTH

JOB NO.
2336

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MOFFET & DUNCAN
architects inc.

5052 DUNDAS ST. WEST
TORONTO, ONT. M9A 1B9
TEL: (416) 239-2725
FAX: (416) 239-6729
EMAIL: mdarch@mdarch.ca

MECHANICAL SPECIFICATION

PART A GENERAL NOTES

1. PROVIDE LABOUR, MATERIAL AND EQUIPMENT REQUIRED TO PROVIDE A COMPLETE INSTALLATION WITH QUALITY WORKMANSHIP ACCEPTABLE TO OWNER AND CONSULTANT.
2. OBTAIN ALL PERMITS AND PAY ALL TAXES, FEES, AND OTHER COSTS INCURRED WITH THIS WORK. FILE ALL PLANS. OBTAIN ALL NECESSARY APPROVALS, CERTIFICATES, SUBMIT ALL FINAL CERTIFICATES TO THE CONSULTANT. COMPLY WITH RULES AND RECOMMENDATIONS OF THE BOARD OF FIRE UNDERWRITERS, THE CANADIAN GAS ASSOCIATION, THE LOCAL BUILDING CODE, AND ALL REQUIREMENTS OF THE LOCAL UTILITY COMPANY AND BY-LAWS. POST BUILDING PERMIT AT SITE IN ACCORDANCE WITH O.B.C. REQUIREMENTS.
3. VISIT THE SITE BEFORE SUBMITTING TENDERS TO EVALUATE ANY SITE CONDITIONS THAT MIGHT ARISE. INCLUDE ALL SITE CONDITIONS IN TENDER, EXTRAS WILL NOT BE ACCEPTED UNLESS BELIEVED TO BE REASONABLE BY THE OWNER AND CONSULTANT.
4. COORDINATE WITH OTHER CONTRACTOR INSTALLING EQUIPMENT OR MATERIAL AND ARRANGE EQUIPMENT IN PROPER RELATION WITH ALL OTHER TRADES. ENSURE SYSTEMS ARE SERVICEABLE.
5. CUTTING AND PATCHING SHALL BE BY THE CONTRACTOR REQUIRED TO INSTALL THE SERVICE.
6. THE DRAWINGS ARE DIAGRAMMATIC. THE SERVICES SHALL BE INSTALLED TO CONSERVE HEADROOM AND INTERFERE AS LITTLE AS POSSIBLE WITH THE FREE USE OF THE SPACES THROUGH WHICH THEY PASS.
7. PROVIDE TWO MARKED COPIES OF "RECORD DRAWINGS" SHOWING THE SYSTEM AS INSTALLED. THE CAD DRAWINGS FILES WILL BE PROVIDED TO THE OWNER AS PART OF THE MAINTENANCE MANUALS.
8. THE MECHANICAL SYSTEMS OF THIS BUILDING MUST ACHIEVE THE ENERGY EFFICIENCY LEVELS BY CONFORMING TO ANSI/ASHRAE/IESNA 90.1 "ENERGY STANDARD FOR BUILDINGS EXCEPT LOW-RISE RESIDENTIAL BUILDINGS" AND CHAPTER 2 OF DIVISION 3 OF SB-10 PRESCRIPTIVE METHOD FROM THE ONTARIO BUILDING CODE.
9. ALL EQUIPMENT AND MATERIAL SHALL BE NEW. REPLACE ALL DAMAGED EQUIPMENT.
10. MATERIAL AND EQUIPMENT ARE NAMED IN THE SPECIFICATION TO ESTABLISH AN ACCEPTABLE STANDARD OF MATERIALS AND THE QUALITY OF WORKMANSHIP BY WHICH TO ADHERE.
11. SUBMIT SIX (6) COPIES OF SHOP DRAWINGS FOR ALL EQUIPMENT. THESE WILL BE REVIEWED BY THE CONSULTANT. RESUBMIT AS OFTEN AS MAY BE FOUND NECESSARY.
12. PROVIDE ALL NECESSARY PROTECTION FOR FINISHED OR UNFINISHED WORK. ALL OPENINGS IN PIPES, DUCTS AND EQUIPMENT SHALL BE CAPPED TO ENSURE SERVICES ARE KEPT CLEAN WHEN NOT IN USE.
13. MAINTAIN INSURANCE TO FULLY PROTECT THE CONTRACTOR, OWNER AND CONSULTANT FROM ANY AND ALL CLAIMS SUCH AS UNDER THE WORKMEN'S COMPENSATION ACT, ETC. POST PROJECT NOTIFICATION AT THE SITE IN ACCORDANCE WITH THE MINISTRY OF LABOUR REQUIREMENTS.
14. EXCAVATION AND BACK FILLING SHALL BE BY THE TRADE INSTALLING THE SERVICE. PROVIDE COMPACTED 'A' GRAVEL FOR BEDDING AND BACKFILLING AS INDICATED. REMOVE SURPLUS MATERIAL FROM SITE.
15. PROVIDE STRUCTURAL SUPPORTS, PLATFORMS, SUPPORTING RODS, HANGERS, INSERTS AND BRACKETS FOR EQUIPMENT AND SERVICES. DO NOT SUPPORT SERVICES FROM STEEL DECK.
16. INSTRUCT THE OWNER'S STAFF IN THE CARE, MAINTENANCE AND OPERATION OF THE SYSTEMS.
17. SUBMIT THREE (3) COPIES OF OPERATING AND MAINTENANCE INSTRUCTIONS IN A 3 RING BINDER LABELED FOR THE PROJECT. PROVIDE ADDITIONAL ELECTRONIC COPY.
18. REMOVE ALL PROTECTIVE COVERINGS, CLEAN AND POLISH ALL EQUIPMENT, FREE ALL OBSTRUCTIONS, CLEAN AND REPLACE ALL FILTERS WITH NEW, AND LEAVE ALL KEYS AND WRENCHES WITH THE OWNER.
19. ALL SURPLUS AND WASTE MATERIALS SHALL BE PROMPTLY REMOVED FROM THE PREMISES.
20. ALL AREAS NOT AFFECTED BY RENOVATION OR DEMOLITION SHALL REMAIN AS PRESENTLY INSTALLED UNLESS NOTED OTHERWISE.
21. THE OWNER WILL DECIDE WHICH ITEMS OR EQUIPMENT SLATED FOR REMOVAL THAT THEY WISH TO RETAIN AS THEIR PROPERTY AND THIS CONTRACTOR SHALL REMOVE ALL OTHER MATERIALS FROM THE PREMISES.
22. PROVIDE LAMICOID TAGS FOR IDENTIFICATION OF NEW EQUIPMENT ADDED.
23. ALL ELECTRICAL LINE AND LOW VOLTAGE WIRING WHICH IS TO BE PROVIDED BY THE MECHANICAL CONTRACTOR AS SPECIFIED ELSEWHERE HEREIN SHALL BE RUN IN EMT CONDUIT TO STANDARDS OF THE ELECTRICAL DIVISION.
24. WARRANTY ALL MATERIAL AND EQUIPMENT FOR A PERIOD OF ONE (1) YEAR AFTER FINAL ACCEPTANCE OF SYSTEM.
25. DUCT SLEEVES
PROVIDE MINIMUM 20 GAUGE DUCT SLEEVES WHERE DUCTS PASS THROUGH MASONRY, CONCRETE OR FIRE RATED ASSEMBLIES. MAINTAIN MINIMUM 25 MM CLEARANCE ALL AROUND OR TO THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. SEAL AT WALL AS INDICATED. WHERE DUCTS PASS THROUGH FIRE RATED WALLS, FLOORS AND PARTITIONS, MAINTAIN FIRE RATING INTEGRITY.
26. ACCESS DOORS
PROVIDE ACCESS DOORS TO CONCEALED MECHANICAL EQUIPMENT FOR OPERATING, INSPECTING, ADJUSTING AND SERVICING. FLUSH MOUNTED 600 X 600 MM (24" X 24") FOR BODY ENTRY AND 300 X 300 MM (12" X 12") FOR HAND ENTRY UNLESS OTHERWISE NOTED. DOORS TO OPEN 180°, HAVE ROUNDED SAFETY CORNERS, CONCEALED HINGES, SCREWDRIVER LATCHES AND ANCHOR STRAPS.

MATERIAL: SPECIAL AREAS SUCH AS TILED OR MARBLE SURFACES: USE STAINLESS STEEL WITH BRUSHED SATIN OR POLISHED FINISH AS DIRECTED BY CONSULTANT. REMAINING AREAS: USE PRIME COATED STEEL. FIRE RATED AREAS: PROVIDE ULC LISTED ACCESS DOORS

INSTALLATION: LOCATE SO THAT CONCEALED ITEMS ARE ACCESSIBLE. LOCATE SO THAT HAND OR BODY ENTRY (AS APPLICABLE) IS ACHIEVED.

ACCEPTABLE MATERIALS:
LE HAGE
ZURN
ACUDOR
NALOR INDUSTRIES INC.

PART B DEMOLITION NOTES

1. THIS PROJECT IS ONE OF A RETROFIT NATURE IN PART, AND WHICH WILL REQUIRE SOME DEMOLITION. ALLOW FOR ALL REMEDIAL WORK IN AREAS INDICATED ON THE DRAWINGS AND AS GENERALLY DEFINED IN THE RELEVANT SECTIONS OF THE SPECIFICATIONS.

2. THE SCOPE OF WORK IS ESSENTIALLY THE SELECTED DISCONNECTION AND/OR REMOVAL OF SERVICES AND/OR EQUIPMENT, PIPING, DUCTWORK ETC. AS INDICATED OR REQUIRED TO COMPLETE THE WORK.
3. THIS DIVISION IS TO LIAISE WITH THE OWNERS OR CONSULTANT FOR EQUIPMENT BEING REMOVED THAT MAY BE SUITABLE FOR REUSE TO THAT SPECIFIED OR HANDED OVER TO THE OWNER.
4. THIS DIVISION TO TAKE FULL RESPONSIBILITY FOR ANY SPECIAL TOOLS OR EQUIPMENT REQUIRED TO DISASSEMBLE OR REMOVE MATERIAL FROM BUILDING.
5. THE GENERAL EXECUTION OF THE DEMOLITION IS TO BE CARRIED OUT IN A CLEAN AND EFFICIENT MANNER.
6. DEMOLITION OF EXISTING CEILING, WALLS ETC., TO FACILITATE REMOVAL OF EXISTING SERVICES OR EQUIPMENT OR INSTALLATION OF NEW TO BE KEPT TO A MINIMUM AND THEN RESTORED TO MATCH EXISTING.
7. ALL OPENINGS OR HOLES CREATED BY REMOVAL OF EXISTING MECHANICAL SYSTEMS WHICH ARE NOT BEING REUSED ARE TO BE PATCHED WITH THE SAME MATERIAL SURROUNDING SURFACES.
8. PROTECT ALL EXISTING FURNISHINGS, MATERIALS AND EQUIPMENT, ANY DAMAGE OCCURRING AS A RESULT OF THE WORK OF THIS DIVISION SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THIS DIVISION.
9. WHERE WORK INVOLVES BREAKING INTO OR CONNECTING TO EXISTING SERVICES, CARRY OUT WORK AT TIMES DIRECTED BY THE OWNERS IN AN EXPEDIENT MANNER WITH MINIMUM DISRUPTION TO THE FACILITY AND SYSTEMS DOWNTIME.
10. WHERE UNKNOWN SERVICES ARE ENCOUNTERED, IMMEDIATELY ADVISE CONSULTANT AND CONFIRM FINDINGS IN WRITING.
11. WHERE THE LOCATION OF ANY SERVICES HAS BEEN SHOWN ON THE PLANS, SUCH INFORMATION IS NOT GUARANTEED. IT IS THIS DIVISION'S RESPONSIBILITY TO VERIFY LOCATIONS, INVERT ELEVATIONS, ETC., IMMEDIATELY AFTER MOVING ON SITE. SHOULD FOR ANY REASON THE INFORMATION OBTAINED NECESSITATES CHANGES IN PROCEDURE OR DESIGN, ADVISE THE CONSULTANT AT ONCE. IF VERIFICATION OF EXISTING CONDITIONS IS NOT DONE AT THE OUTSET AND ANY PROBLEMS ARISE, THE RESPONSIBILITY FOR SAME IS ENTIRELY THIS DIVISION'S.
12. DISCONNECT AND/OR REMOVE EQUIPMENT PIPING, DUCTWORK, ETC. AS INDICATED.
13. CAP AND CONCEAL ALL REDUNDANT AND OBSOLETE CONNECTIONS.
14. PROVIDE A LIST OF EQUIPMENT TO BE REMOVED TO THE OWNER, FOR HIS ACCEPTANCE OF SAME. REMOVE ALL EQUIPMENT FROM SITE WHICH THE OWNER DOES NOT RETAIN.
15. MAINTAIN EQUIPMENT TO BE RETAINED BY OWNER ON SITE WHERE DIRECTED BY CONSULTANT.
16. DEMOLITION OF ALL PARTS OF THE WORK MUST BE COMPLETED WITHIN THE CONFINES OF THE WORK AREA AND IN SUCH A WAY AS THE DUST PRODUCED AND RISK TO INJURY OF WILL NOT ADVERSELY AFFECT THE BUILDING USERS.
17. DEMOLISHED AREAS OF THE EXISTING BUILDING WILL REMAIN IN THEIR CURRENT USE IN SOME CASES. DEMOLITION IN THESE AREAS MUST BE KEPT TO THE MINIMUM REQUIRED TO COMPLETE THE WORK.
18. DEMOLITION SHALL TAKE PLACE WITHIN AREAS ISOLATED FROM ALL OTHER AREAS WITH APPROPRIATE HOARDING, SCAFFOLDING, NETTING, FENCING OR OTHER MEANS OF SECURITY BETWEEN BUILDING USERS AND THE WORK.
19. CO-ORDINATE MAKING SAFE ELECTRICAL DEVICES, CAPPING PLUMBING AND REMOVAL OF FIXTURES PRIOR TO COMMENCEMENT OF DEMOLITION.
20. ALL PIPING AND EQUIPMENT TO BE REMOVED AND/OR ABANDONED SHALL BE DRAINED PRIOR TO CAPPING AND/OR ABANDONING. DISPOSAL OF ALL LIQUIDS SHALL BE TO THE APPROVAL OF AUTHORITY OF HAVING JURISDICTION AND/OR PROVINCIAL REGULATIONS.
21. DRAIN ALL EXISTING PIPING AND DRAINAGE SYSTEMS INCLUDING ALL RELATED EQUIPMENT AS REQUIRED TO FACILITATE SYSTEM RENOVATIONS.
22. DISPOSAL OF EXISTING SYSTEM SHALL BE TO THE REQUIREMENTS OF THE LOCAL AND/OR PROVINCIAL REGULATIONS.

PART C HEATING, AIR CONDITIONING, AND VENTILATION NOTES

1. DUCTWORK TO BE CONSTRUCTED TO SMACNA STANDARDS, MEDIUM STATIC PRESSURE WITH LEAKAGE RATE OF 5% MAXIMUM. FABRICATED IN ACCORDANCE WITH RECOMMENDATIONS OF SMACNA AND ASHRAE. SEAL ALL TRANSVERSE AND LONGITUDINAL JOINTS WITH DUCT SEALER.
2. DUCT CONSTRUCTION:
ROUND AND OVAL: DUCTS: FACTORY FABRICATED, SPIRAL WOUND, WITH MATCHING FITTINGS AND SPECIALS TO SMACNA. TRANSVERSE JOINTS UP TO 900 MM (36"); SLIP TYPE WITH TAPE AND SEALANTS.
3. SQUARE AND RECTANGULAR:
DUCT: TO SMACNA. TRANSVERSE JOINTS, LONGEST SIDE: UP TO AND INCLUDING 750 MM (30"); SMACNA PROPRIETARY DUCT JOINTS.
SHOWER EXHAUST ALUMINUM: TO ASHRAE AND SMACNA. ALUMINUM TYPE: 3003-H-14.
THICKNESS, FABRICATION AND REINFORCEMENT: TO ASHRAE AND SMACNA OR AS INDICATED.
JOINTS: TO ASHRAE AND SMACNA
ACCEPTABLE MATERIAL: DUCTMATE CANADA LTD.
4. DAMPERS
SPLITTER DAMPERS WITH CONTROL ROD WITH LOCKING DEVICE ON EXTERIOR OF DUCT. DAMPERS TO BE SINGLE THICKNESS ONE GAUGE HEAVIER THAN CUT AIRFLOW SHAPE DOUBLE THICKNESS ONE GAUGE HEAVIER THAN DUCT. BALANCING SINGLE BLADE BALANCING DAMPERS WITH LOCKING QUADRANT. ROUND BALANCING DAMPERS TO BE 1/16" THICK.
RECTANGULAR BALANCING DAMPERS TO BE 1/16" THICK. MULTI-LEAF OPPOSED BLADE DAMPERS DESIGNED TO SMACNA DETAILS WITH LOCKING QUADRANT. MANUFACTURED ADJUSTABLE EXTRACTORS TO BE WITH ADJUSTMENT ROD. ACCEPTABLE PRODUCTS: TITUS, NALOR APPROVED DAMPERS OF THICKNESS AND TYPES OF CONSTRUCTION IN ACCORDANCE WITH SMACNA DUCT CONSTRUCTION STANDARDS.

5. GRILLES/DIFFUSERS
GRILLES/DIFFUSERS SHALL BE THE SAME MANUFACTURER. TYPE AS SHOWN ON THE DRAWING.
ACCEPTABLE MATERIALS: KRUEGER, E.H. PRICE, TITUS, NALOR, TUTTLE & BAILEY, METALAIR.
6. ACOUSTIC DUCT LINER
RIGID DUCT LINER 1" THICK 36 KG/M WITH NEOPRENE LINER GLUED AND PINNED TO INSIDE SURFACE OF DUCTWORK. MINIMUM 3.0M (10') FROM ALL AIR HANDLERS AND WHERE SHOWN ON DRAWINGS. SEAL ALL EXPOSED EDGES. DUCT SIZING REPRESENTS CLEAR INSIDE DIMENSIONS.
7. DUCTWORK INSULATION
ON THE LAST 5'-0" OF ALL EXHAUST DUCTS, SUPPLY AIR DUCTS, PLENUM AND ALL AIR INTAKE DUCTWORK. FIBERGLASS FOIL FACED RIGID DUCT INSULATION 1" THICK TYPE PF-335-3/4 LB. DENSITY WITH RFRKC FACING. GLUE AND PIN AS PER MANUFACTURERS RECOMMENDATIONS.
8. SYSTEM BALANCING
BALANCE AIR AND WATER SYSTEMS USING NEBB CERTIFIED FIRM AND AS PER NEBB REQUIREMENTS TO WITHIN 5% OF TOTAL SYSTEM CAPACITY. PROVIDE 3 COPIES OF BALANCING REPORTS C/W SYSTEM SCHEMATICS.

PART D SPRINKLER NOTES

1. SERVICES
CONNECT TO EXISTING SERVICES WHERE SHOWN ON DRAWINGS.
2. CODES AND REGULATIONS
ALL SPRINKLER PIPING, SPACING AND EQUIPMENT SHALL CONFORM TO THE ONTARIO BUILDING CODE, NFPA-13 AND THE AUTHORITIES HAVING JURISDICTION.
3. TESTING
PIPING SHALL BE TESTED TO NFPA-13 REQUIREMENTS.
4. PRODUCTS
PIPE AND FITTINGS:
50 MM (2") AND SMALLER: SCHEDULE 40 STEEL PIPE WITH SCREWED FITTINGS.
65 MM (2 1/2") AND LARGER: SCHEDULE 10 STEEL PIPE WITH WCTAULIC FITTINGS.
PIPE HANGERS:
ULC LISTED FOR FIRE PROTECTION SERVICES.
5. SPRINKLER HEADS:
GENERAL: TO NFPA-13 AND ULC LISTED FOR FIRE SERVICES.
SPRINKLER HEADS SHALL BE FULLY CONCEALED WITH WHITE COVER. VIKING MODEL B-1 OR EQUAL. COORDINATE LOCATION WITH REFLECTED CEILING PLANS.
RELOCATE EXISTING SPRINKLER HEADS AS INDICATED. INSTALL IN EXISTING CEILING.
6. ENGINEERING DESIGN CRITERIA
DESIGN SYSTEM IN ACCORDANCE WITH ONTARIO FIRE MARSHALL, LOCAL AUTHORITY HAVING JURISDICTION, OWNERS, UNDERWRITERS AS REQUIRED, AND NFPA 13, USING FOLLOWING PARAMETERS:
HAZARD TO SUIT OCCUPANCY.
PIPE SIZE AND LAYOUT:
HYDRAULIC DESIGN OR PIPE SCHEDULE SIZING DESIGN.
SPRINKLER HEAD LAYOUT: TO NFPA 13 OR AS DIRECTED BY AUTHORITIES HAVING JURISDICTION, AND/OR AS INDICATED.
7. WATER SUPPLY:
CONDUCT FLOW AND PRESSURE TEST OF WATER SUPPLY IN VICINITY OF PROJECT TO OBTAIN CRITERIA FOR BASES OF DESIGN IN ACCORDANCE WITH NFPA 13. INDICATE LOCATION AND FLOW ON SHOP DRAWINGS.
8. ZONING:
SYSTEM ZONING AS INDICATED IN ACCORDANCE WITH NFPA 13.
9. PROVIDE COMPLETE DRAWINGS AND CALCULATIONS STAMPED BY A QUALIFIED PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF ONTARIO.
10. PROFESSIONAL ENGINEER SHALL PROVIDE ON SITE REVIEW AND CERTIFICATION FOR LOCAL BUILDING CODE REVIEW.
11. INSTALLATION
INSTALL, INSPECT AND TEST TO ACCEPTANCE IN ACCORDANCE WITH ANSI/NFPA-13. TESTING TO BE WITNESSED BY AUTHORITY HAVING JURISDICTION, SPACE HANGERS AND SUPPORT OF SPRINKLER PIPING IN ACCORDANCE WITH NFPA REGULATIONS. PROTECT EXPOSED WORK. DO NOT COVER OR CONCEAL PIPING ACCESSORIES OR WORK PRIOR TO INSPECTION AND APPROVAL BY AUTHORITIES HAVING JURISDICTION. ADJUST EQUIPMENT TO SATISFACTION OF AUTHORITY HAVING JURISDICTION AND CONSULTANT. PROTECT EQUIPMENT DURING PAINTING. REPLACE DAMAGED AND PAINTED COMPONENTS. COORDINATE THE SPRINKLER PIPING AND EQUIPMENT WITH THAT OF OTHER TRADES ON THE JOB. MAINS AND BRANCHES SHALL BE RUN SO AS NOT TO INTERFERE WITH BUILDING'S STRUCTURE, MECHANICAL OR ELECTRICAL INSTALLATIONS. GUARANTEE THAT THE SYSTEMS AND EQUIPMENT BE INSTALLED IN ACCORDANCE WITH ALL LOCAL AND PROVINCIAL BY-LAWS AND THE RULES AND REGULATIONS OF THE INSURANCE UNDERWRITERS AND THE BUILDING CODE OF ONTARIO.
12. WATER FLOW TEST
PROVIDE A FLOW TEST TO APPROVAL OF LOCAL FIRE DEPARTMENT AND LOCAL WATER COMMISSION AT NEAREST FIRE HYDRANT ADJACENT TO BUILDING TO DETERMINE WATER FLOW RATE AND PRESSURE. PROVIDE WRITTEN TEST RESULTS WITH SHOP DRAWING SUBMISSION.
PROVIDE A FORWARD FLOW TEST THRU THE BYPASS TO PROVE SYSTEM DEMAND CAN BE PROVIDED THRU THE BACKFLOW PREVENTOR.

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.
The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.
The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions.
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Consulting Engineers
MECHANICAL | ELECTRICAL | AQUATIC

55 Northland Road, Waterloo, ON N2V 1Y8
Phone: 519-725-3555
Website: deiassociates.ca
Project Number: 23286

MAR 19, 2024	ISSUED FOR TENDER
MAR 04, 2024	ISSUED FOR 90% REVIEW
DATE	REVISIONS

Service Counter at Cassie Campbell Renovations
1050 Sandalwood Pkwy W, Brampton, On L74 0K9

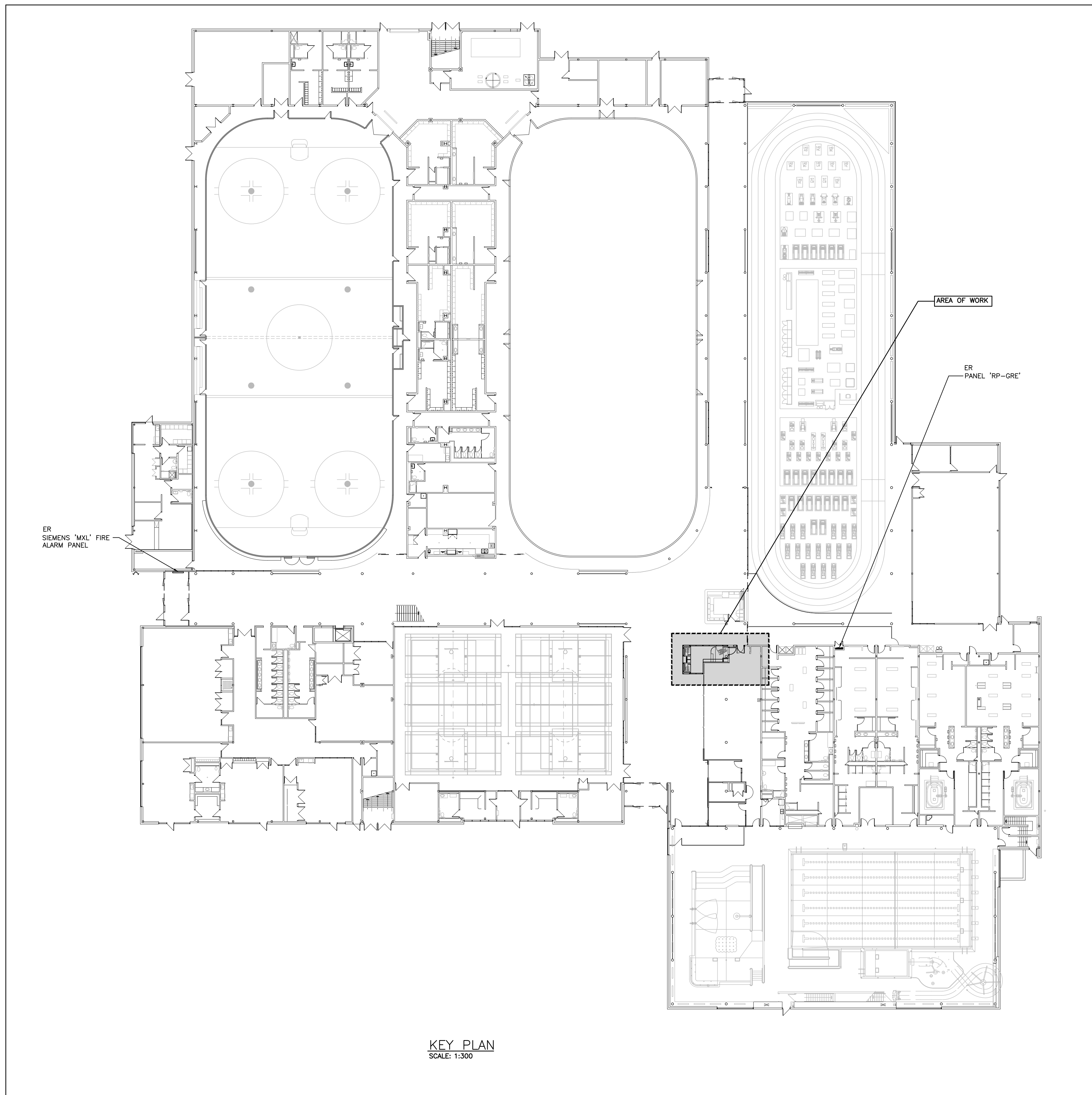
DRAWING

MECHANICAL SPECIFICATIONS

	TRUE NORTH	DWG. NORTH
	2336	JOB NO.
	AS NOTED	SCALE
		DATE

MOFFET & DUNCAN architects inc. 5052 DUNDAS ST. WEST TORONTO, ONT. M5A 1B9 TEL: (416) 239-2725 FAX: (416) 239-6729 EMAIL: mdarch@mdarch.ca	MARCH 2024	PRINTED
	March 19, 2024	
		DWG. NO.

M4.1



KEY PLAN
SCALE: 1:300

ELECTRICAL SYMBOLS NOTE: ALL SYMBOLS MAY NOT BE USED

LIGHTING		POWER	
	CEILING OR WALL MOUNTED LIGHT FIXTURE TYPE AS INDICATED		WALL MOUNTED RECEPTACLE (15A-120V)
	CEILING MOUNTED EXIT LIGHT ARROWS DENOTE DIRECTION SHADING INDICATES FACE		WALL MOUNTED T-SLOT RECEPTACLE (20A-120V)
	SINGLE OR TWIN EMERGENCY LIGHTING FIXTURE		T-SLOT RECEPTACLE MTD. ABOVE COUNTER (20A-120V)
	BATTERY UNIT WITH INTEGRAL EMERGENCY FIXTURE (EM-X INDICATES BATTERY UNIT TYPE, DC-X INDICATES DC CIRCUIT, AND AC-X INDICATES AC SOURCE CIRCUIT)		PANEL AS INDICATED
	FIRE ALARM PULLSTATION (RL DENOTES C/W RELAY BASE)		PUSH-BUTTON STATION (QUANTITY OF BUTTONS AS PER PLANS)
	FIRE ALARM PULLSTATION (RL DENOTES C/W RELAY BASE)		DIRECT CONNECTION
COMMUNICATIONS		SECURITY	
	COMBINATION SINGLE VOICE/SINGLE COMPUTER OUTLET UNLESS OTHERWISE NOTED C/W 1" (27mm) C TO CABLE MANAGEMENT SYSTEM # INDICATES THE QUANTITY OF ACTIVE PARTS. LEFT VALUE ALWAYS INDICATES VOICE.		CEILING MOUNTED CAMERA
	CEILING MOUNTED SPEAKER		DOOR CONTACT C/W 19mmC TO NEAREST SECURITY JUNCTION BOX (REFER TO DETAIL)
	MICROPHONE OUTLET C/W 1" (27mm) CONDUIT TO PA SYSTEM HEAD END EQUIPMENT.		HOLD-UP/PANIC PUSHBUTTON C/W 13mmC TO NEAREST SECURITY JUNCTION BOX.
	GENERAL		REQUEST TO EXIT DEVICE
	INDICATED EXISTING ITEM TO REMAIN		MAG LOCK
	INDICATED EXISTING ITEM TO BE DELETED		ELECTRIC STRIKE. CONFIRM ROUGHIN WITH DOOR HARDWARE.
	INDICATED EXISTING ITEM TO BE RELOCATED/IN RELOCATED POSITION		CARD/FOB READER ROUGH-IN AS A SINGLE GANG BOX AT 1100mm AFF
	CEILING MOUNTED		STANDARD CIRCUIT LABELING
	NOTE INDICATOR		POWER PANEL LABEL CIRCUIT INDICATION SWITCH LEG (IF APPLICABLE)
	MECHANICAL ITEM NO.		

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Consulting Engineers
MECHANICAL | ELECTRICAL | AQUATIC
55 Northland Road, Waterloo, ON N2V 1Y8
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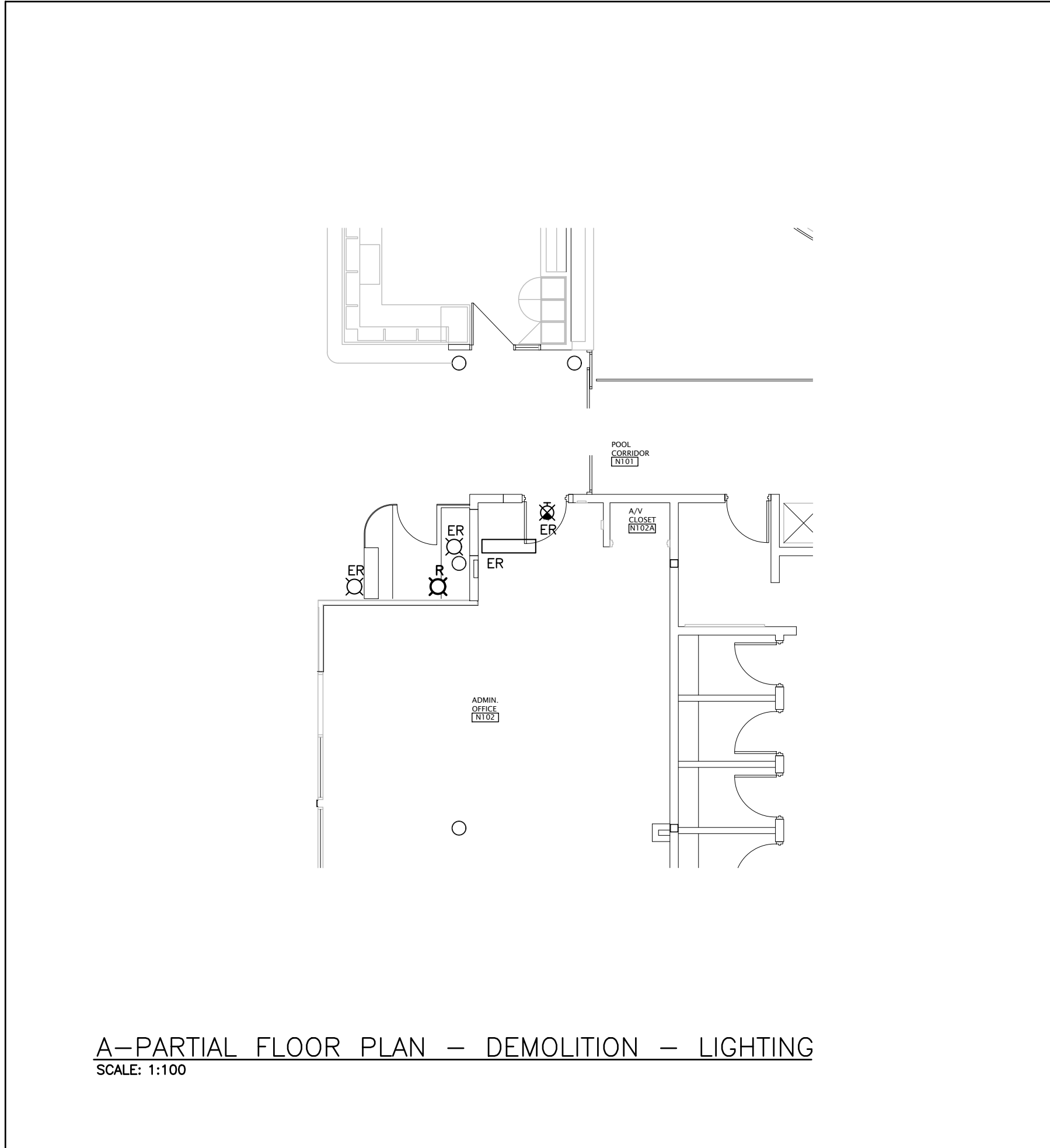
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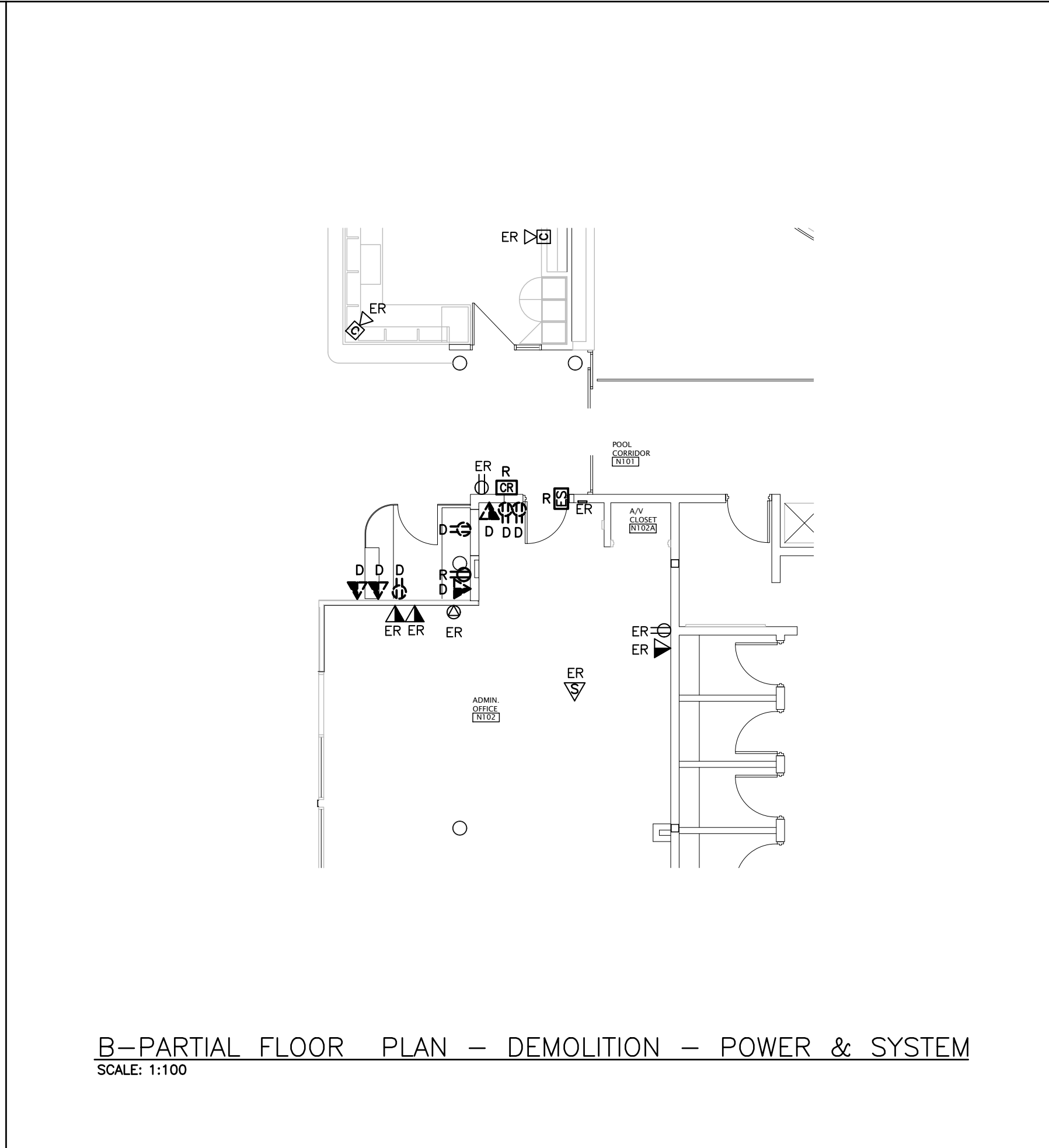
KEY PLAN AND LEGEND

	TRUE NORTH	DWG. NORTH
	JOB NO.	2336
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	DWG. NO.	E1.1

MOFFET & DUNCAN
architects inc.
5052 DUNDAS ST. WEST
TORONTO, ONT. M5A 1S9
TEL: (416) 238-2775
FAX: (416) 238-6729
EMAIL: mdarch@mdarch.ca



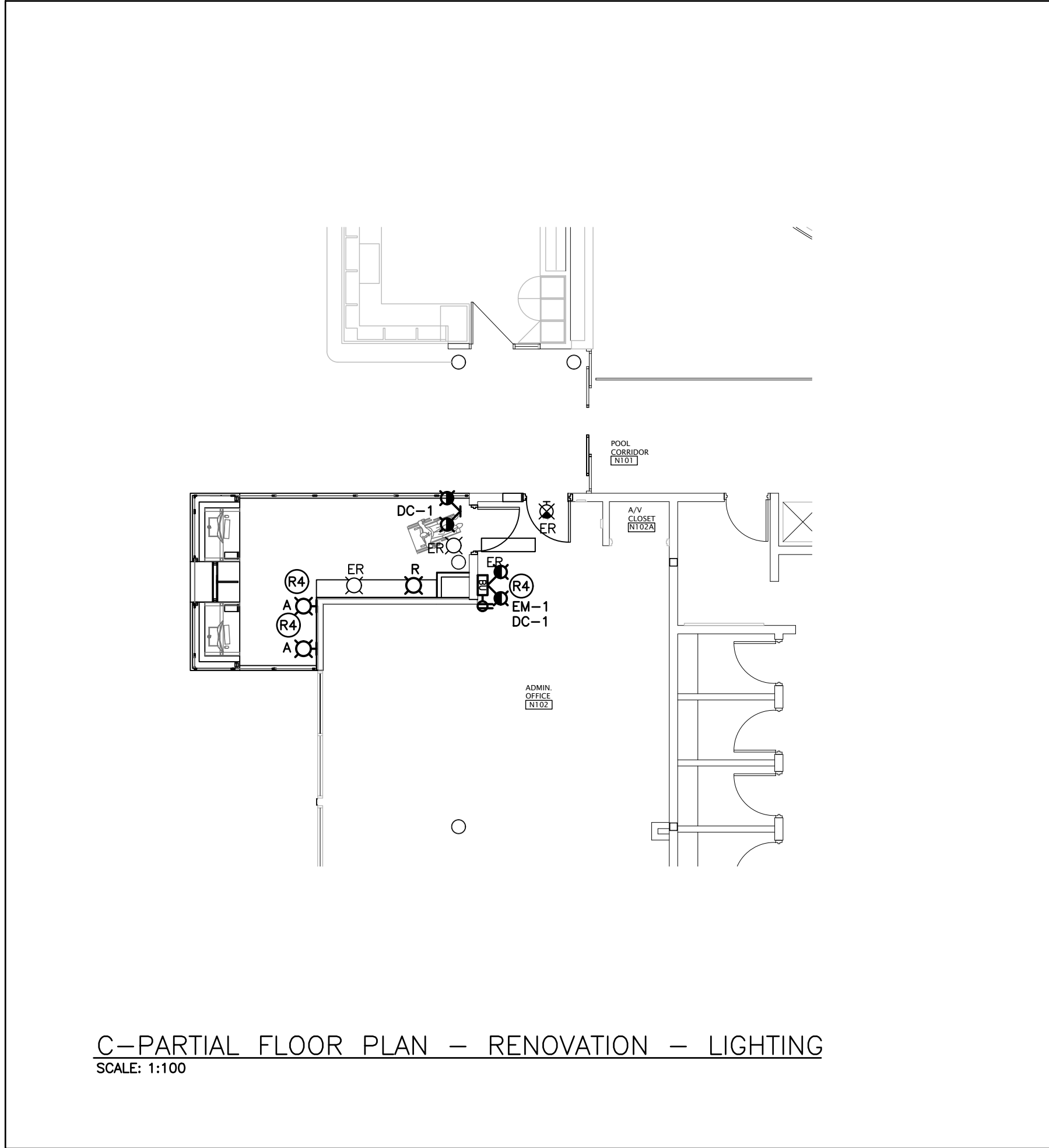
A-PARTIAL FLOOR PLAN - DEMOLITION - LIGHTING
SCALE: 1:100



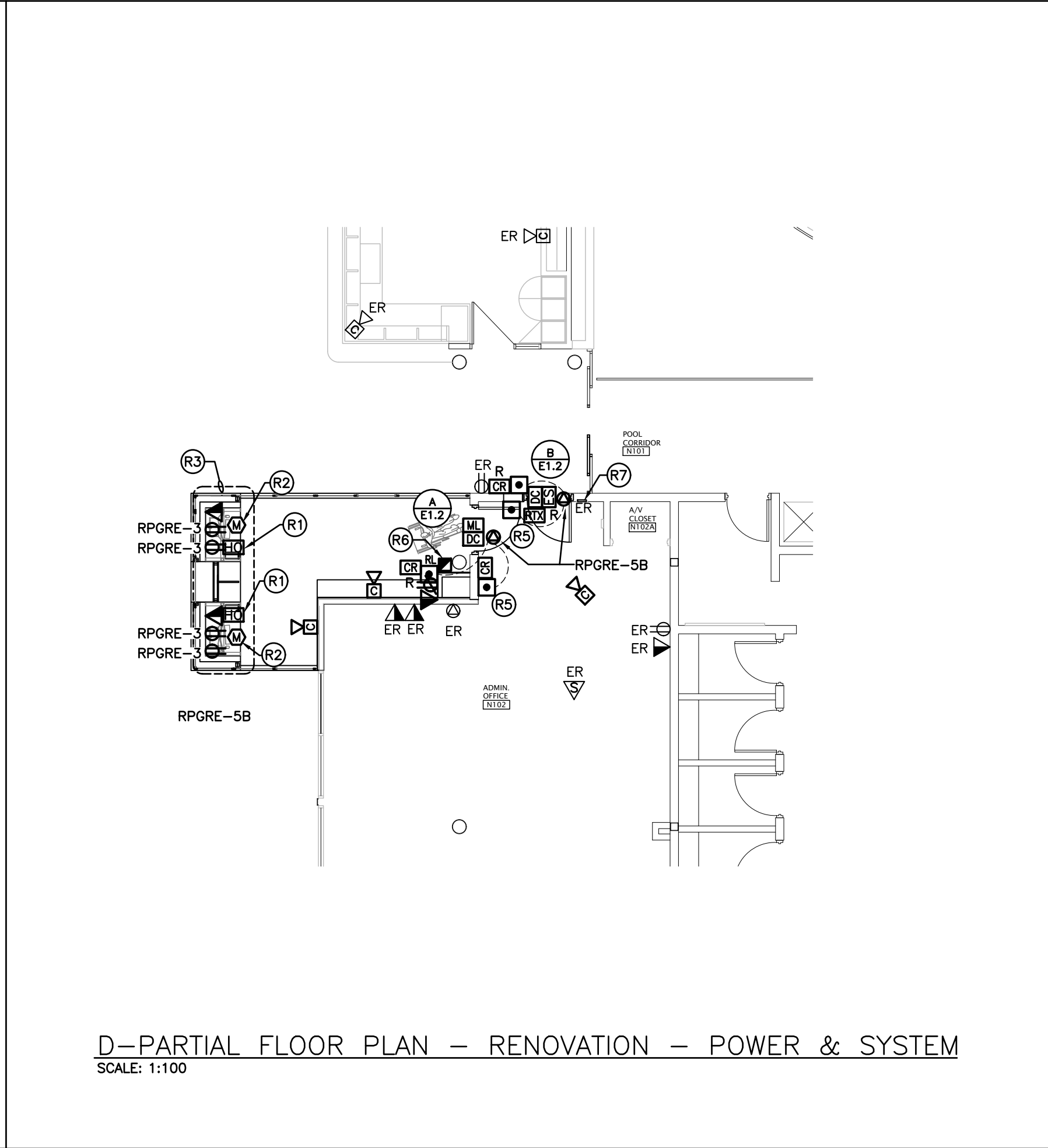
B-PARTIAL FLOOR PLAN - DEMOLITION - POWER & SYSTEM
SCALE: 1:100

GENERAL DEMOLITION NOTES

- 'ER' DENOTES EXISTING ITEM TO REMAIN.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- 'R' INDICATES EXISTING ITEM TO BE RELOCATED. REFER TO RENOVATION DRAWINGS AND RELOCATE DEVICE AND WIRING TO SUIT, UNLESS OTHERWISE NOTED.
- 'D' INDICATES EXISTING ITEM TO BE DELETED, UNLESS OTHERWISE NOTED DISCONNECT AND REMOVE, NOTED DEVICE AND WIRING BACK TO SOURCE.



C-PARTIAL FLOOR PLAN - RENOVATION - LIGHTING
SCALE: 1:100



D-PARTIAL FLOOR PLAN - RENOVATION - POWER & SYSTEM
SCALE: 1:100

GENERAL RENOVATION NOTES

- 'ER' INDICATES EXISTING ITEM TO REMAIN.
- 'R' INDICATES EXISTING ITEM IN RELOCATED POSITION.
- ALL DEVICES SHOWN ARE NEW UNLESS OTHERWISE NOTED.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS OTHERWISE NOTED.
- MAINTAIN SERVICE TO ALL EXISTING DEVICES TO REMAIN.
- REVISE PANEL DIRECTORIES TO SUIT CHANGES (TYPED).

SPECIFIC RENOVATION NOTES

- R1 INDICATED PANIC DEVICE SHALL BE INSTALLED TO UNDERSIDE OF MILLWORK. COORDINATE EXACT LOCATION WITH MILLWORK VENDOR PRIOR TO INSTALLATION.
- R2 INDICATED MICROPHONES TO BE CONNECTED TO EXISTING PUBLIC ADDRESS SPEAKER SYSTEM.
- R3 INDICATED DEVICES TO BE MOUNTED BENEATH MILLWORK. COORDINATE EXACT LOCATION WITH MILLWORK VENDOR PRIOR TO INSTALLATION. CONDUIT AND CABLING SHALL BE RUN HORIZONTALLY THROUGH MILLWORK BACK TO NEAREST PARTITION AND RISE UP WITHIN PARTITION TO CEILING SPACE.
- R4 CONNECT INDICATED DEVICE TO THE LINE SIDE OF THE LOCAL LIGHTING CIRCUIT.
- R5 DOOR OPERATOR IS TO BE COORDINATED WITH SECURITY TO ENSURE THAT THE OPERATOR DOES NOT FUNCTION UNLESS THE ELECTRIC STRIKE IS RELEASED.
- R6 INDICATED DEVICE IS TO BE COMPLETE WITH RELAY BASE FOR MAG LOCK. CONNECT TO LOCAL INITIATING CIRCUIT. ALL WIRING MUST BE SUPERVISED.
- R7 INDICATES EXISTING GENERATOR ANNUNCIATOR PANEL TO REMAIN AS PRESENTLY INSTALLED.

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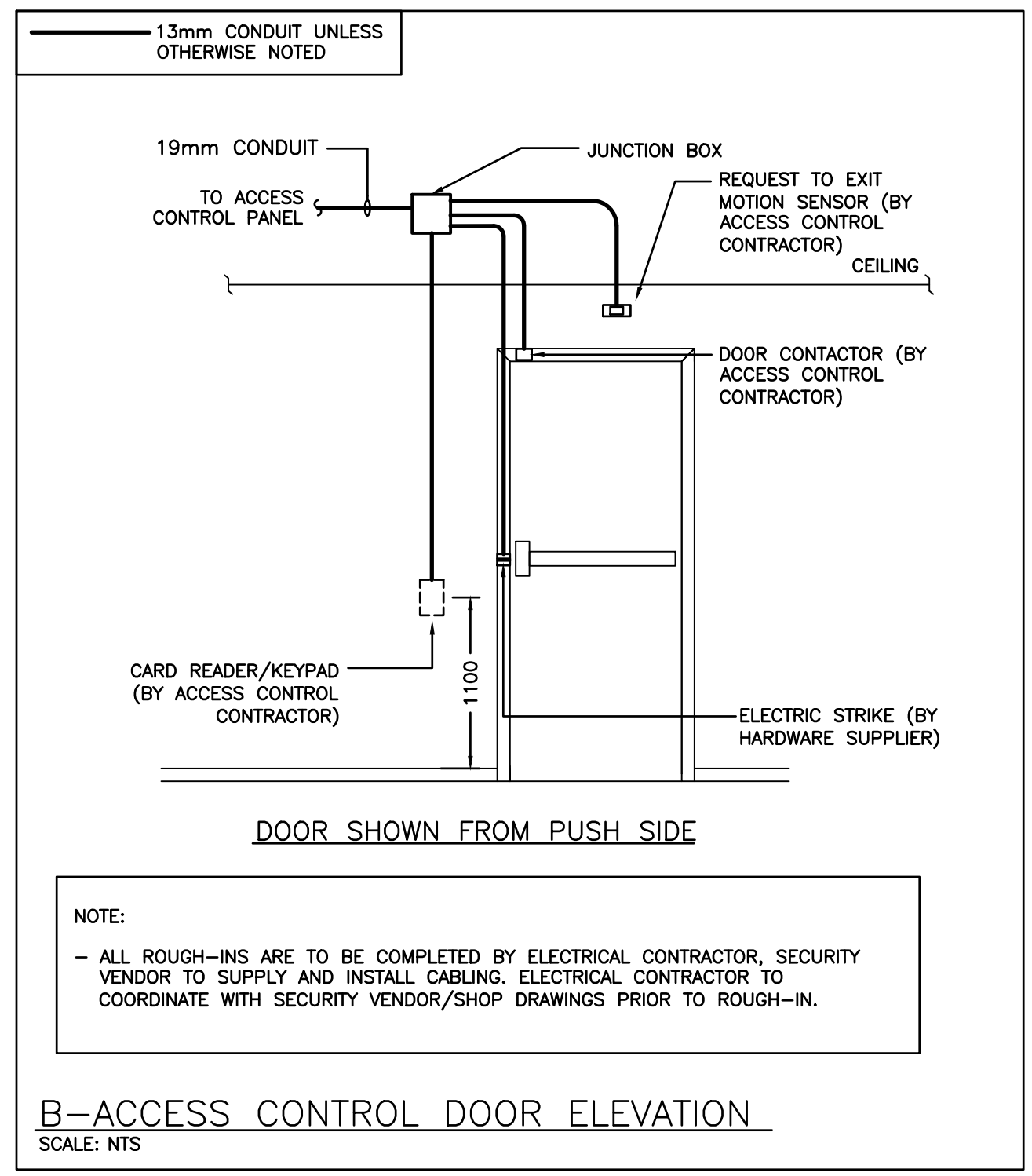
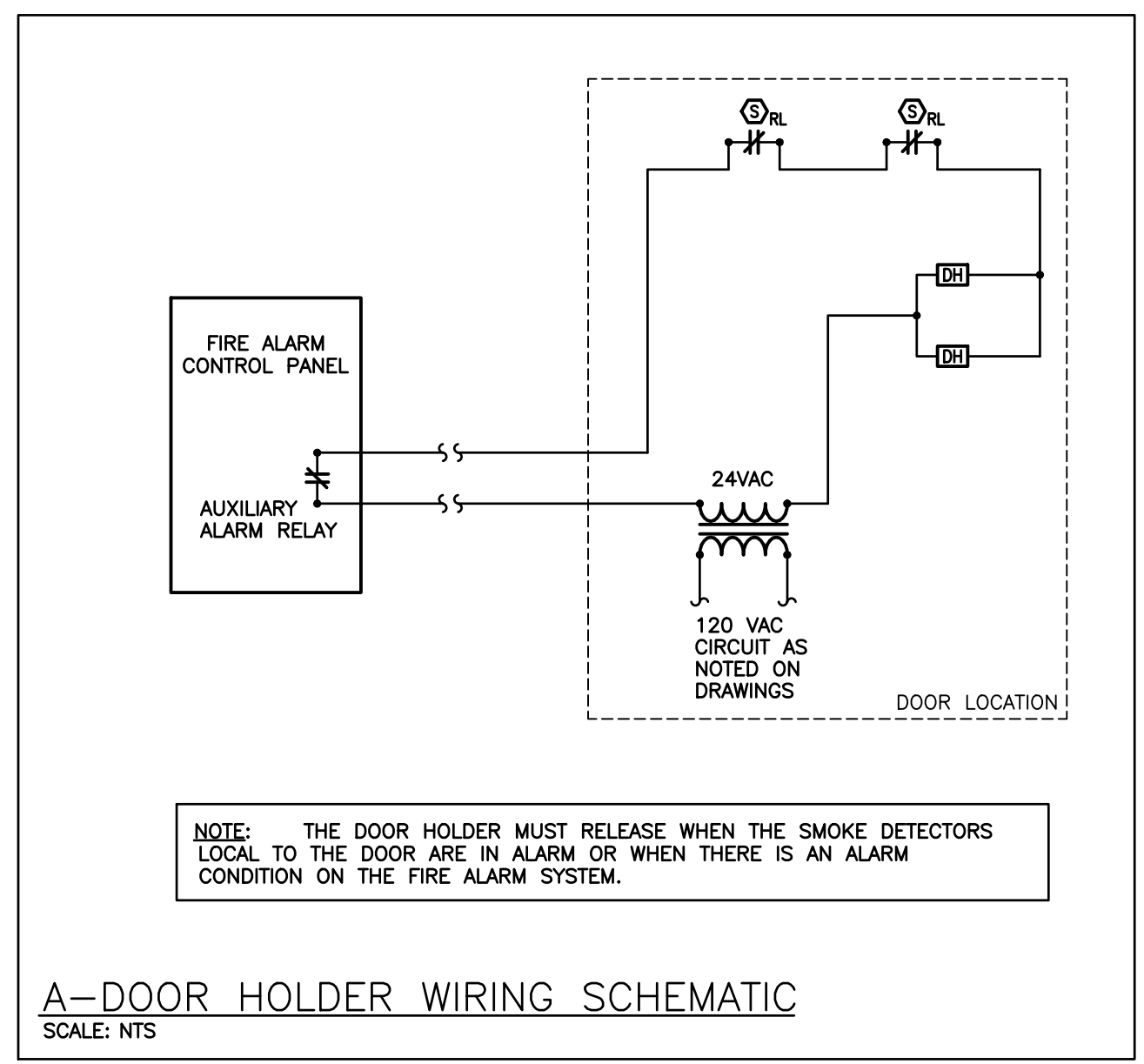
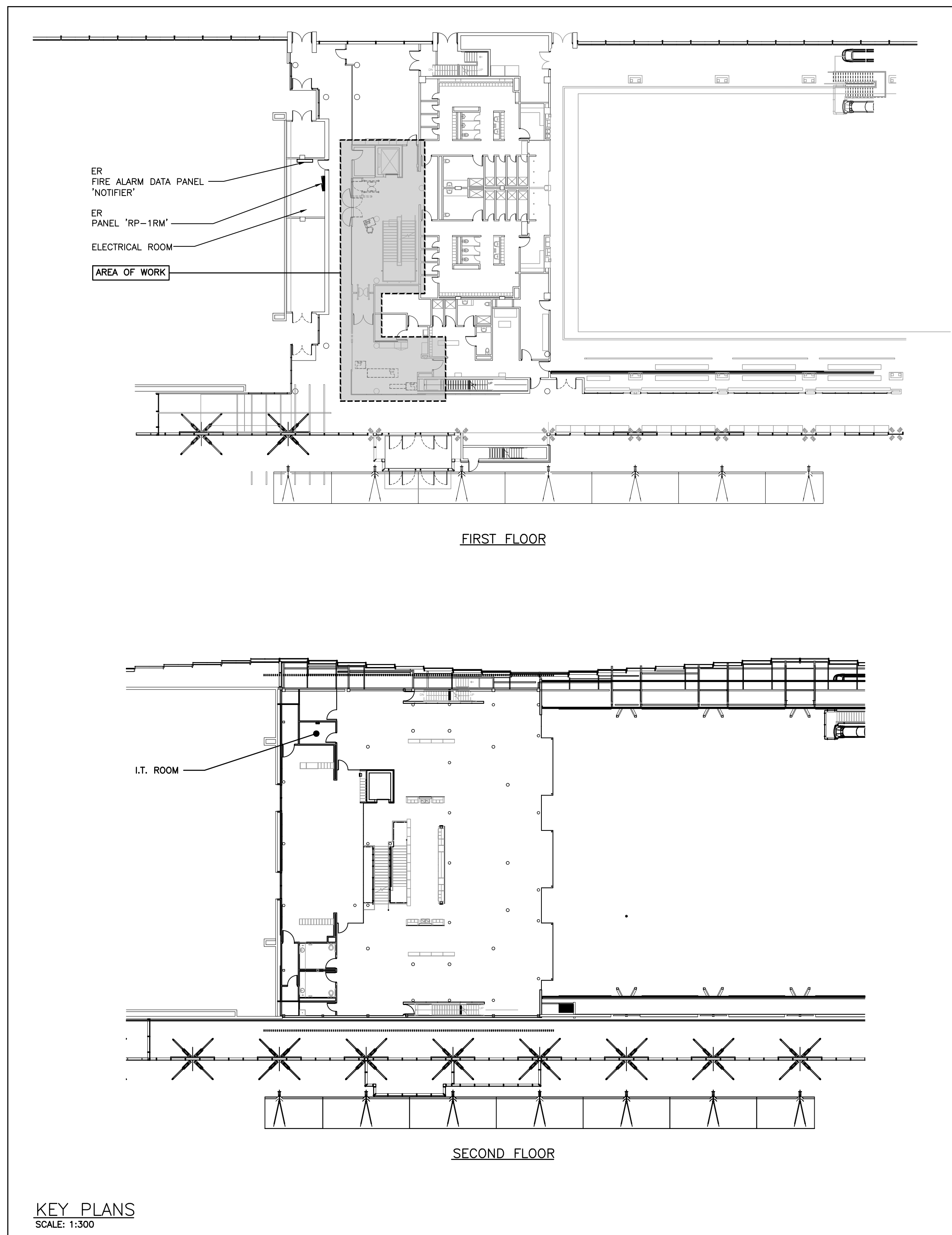
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DEMOLITION AND RENOVATION PLAN

MOFFET & DUNCAN architects inc.
5052 DUNDAS ST. WEST
TORONTO, ONT. M5A 1S9
TEL: (416) 239-2775
FAX: (416) 239-6729
EMAIL: mdarch@mdarch.ca

TRUE NORTH DWG. NORTH
J.J. JACKSON
100011324
3/19/24
PROVINCE OF ONTARIO

2336
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SCALE
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DATE
MARCH 2024
PRINTED
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E2.1



Item	Manufacturer/Catalog Number	Voltage	Lamp	Mounting	CRI	Listings	Description
A	KUZCO LIGHTING CAT. #WV342105MWHL	120V	E26 60W	WALL	N/A	N/A	WIDTH 5-5/8" X HEIGHT 11-1/2" AND 29 1/4" EXTENSION E26 LAMP BASE WALL MOUNTED LIGHT FIXTURE C/W STEEL SPUN SHADE.

ELECTRICAL SYMBOLS		NOTE: ALL SYMBOLS MAY NOT BE USED	
LIGHTING		POWER	
[Symbol]	LIGHT FIXTURE TYPE AS INDICATED	[Symbol]	WALL MOUNTED RECEPTACLE (15A-120V)
[Symbol]	CEILING OR WALL MOUNTED LIGHT FIXTURE TYPE AS INDICATED	[Symbol]	WALL MOUNTED T-SLOT RECEPTACLE (20A-120V)
[Symbol]	CEILING MOUNTED EXIT LIGHT ARROWS DENOTE DIRECTION SHADING INDICATES FACE	[Symbol]	T-SLOT RECEPTACLE MTD. ABOVE COUNTER (20A-120V)
FIRE ALARM		SECURITY	
[Symbol]	SMOKE DETECTOR	[Symbol]	QUAD RECEPTACLE
[Symbol]	PULLSTATION	[Symbol]	DIRECT CONNECTION
[Symbol]	COMBINATION HORN/STROBE	[Symbol]	FLOOR BOX C/W DEVICES AS NOTED (REFER TO SPECIFICATIONS)
[Symbol]	SMOKE DETECTOR (RL=RELAY BASE)	[Symbol]	PANEL AS INDICATED
[Symbol]	DOOR HOLD OPEN DEVICE	[Symbol]	PUSH-BUTTON STATION (QUANTITY OF BUTTONS AS PER PLANS)
[Symbol]	FIRE ALARM INPUT DEVICE	[Symbol]	JUNCTION BOX
COMMUNICATIONS		SECURITY	
[Symbol]	COMBINATION SINGLE VOICE/ SINGLE COMPUTER OUTLET UNLESS OTHERWISE NOTED C/W 1" (27mm) C TO CABLE MANAGEMENT SYSTEM. # INDICATES THE QUANTITY OF ACTIVE PARTS. LEFT VALUE ALWAYS INDICATES VOICE.	[Symbol]	CEILING MOUNTED CAMERA
[Symbol]	CEILING MOUNTED SPEAKER	[Symbol]	DOOR CONTACT C/W 19mmC TO NEAREST SECURITY JUNCTION BOX (REFER TO DETAIL)
[Symbol]	MICROPHONE OUTLET C/W 1" (27mm) CONDUIT TO PA SYSTEM HEAD END EQUIPMENT.	[Symbol]	HOLD-UP/PANIC PUSHBUTTON C/W 13mmC TO NEAREST SECURITY JUNCTION BOX.
GENERAL		ACCESS CONTROL	
[Symbol]	INDICATED EXISTING ITEM TO REMAIN	[Symbol]	ELECTRIC STRIKE. CONFIRM ROUGH-IN WITH DOOR HARDWARE.
[Symbol]	INDICATES EXISTING ITEM TO BE DELETED	[Symbol]	CARD/FOB READER ROUGH-IN AS A SINGLE GANG BOX AT 1100mm AFF
[Symbol]	INDICATES EXISTING ITEM TO BE RELOCATED/IN RELOCATED POSITION	STANDARD CIRCUIT LABELING	
[Symbol]	CEILING MOUNTED	POWER PANEL LABEL A-1-1	
[Symbol]	NOTE INDICATOR	CIRCUIT INDICATION	
[Symbol]	MECHANICAL ITEM NO.	SWITCH LEG (IF APPLICABLE)	

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work. The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work. The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions. Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant. Do not scale this drawing. © 2024 DEI Consulting Engineers Inc.

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Consulting Engineers
MECHANICAL | ELECTRICAL | AQUATIC
55 Northland Road, Waterloo, ON N2V 1Y8
Phone: 519-725-3555
Website: deiassociates.ca
Project Number: 23286

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DATE	REVISIONS

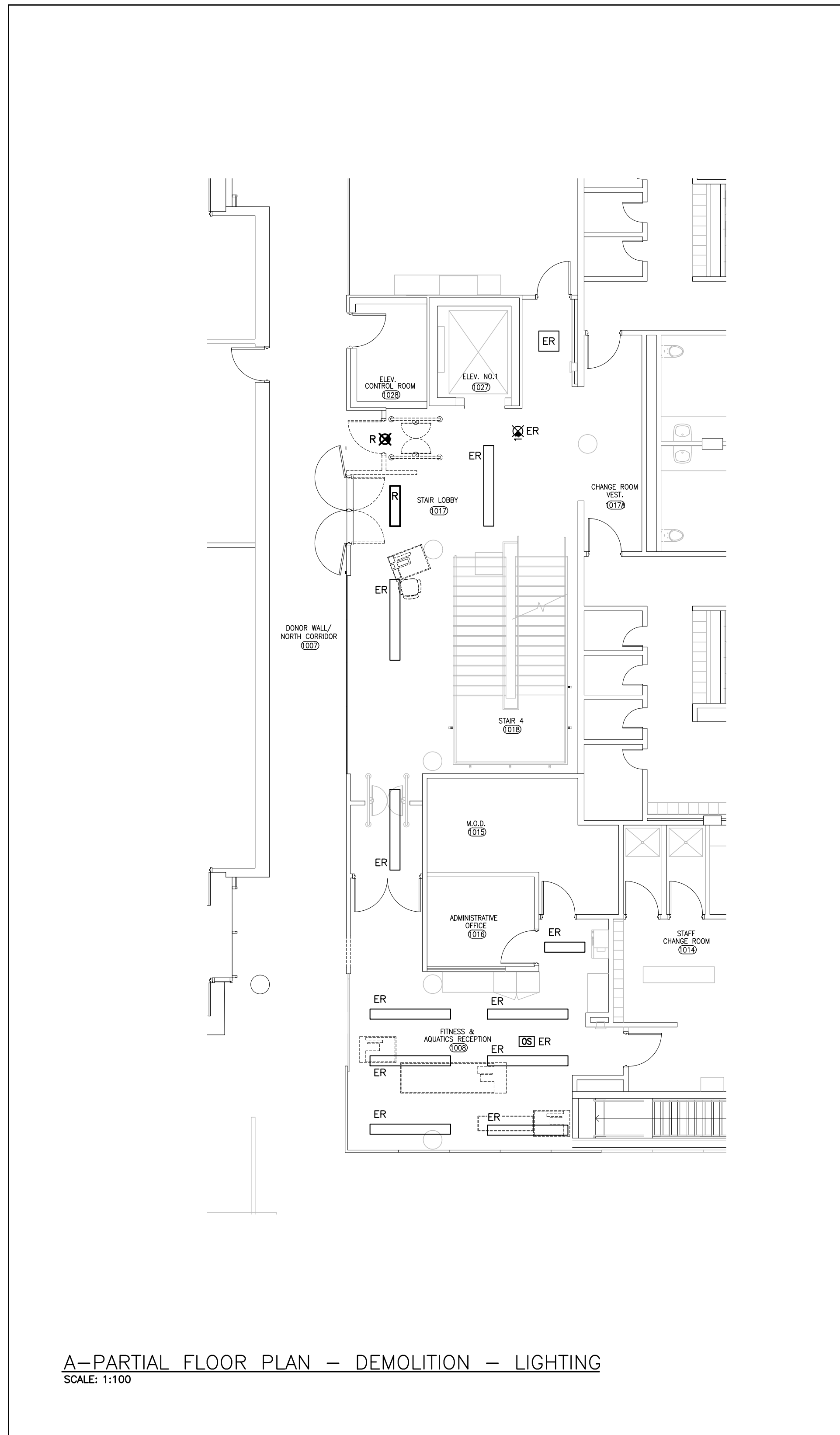
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KEY PLAN, LEGEND AND DETAILS

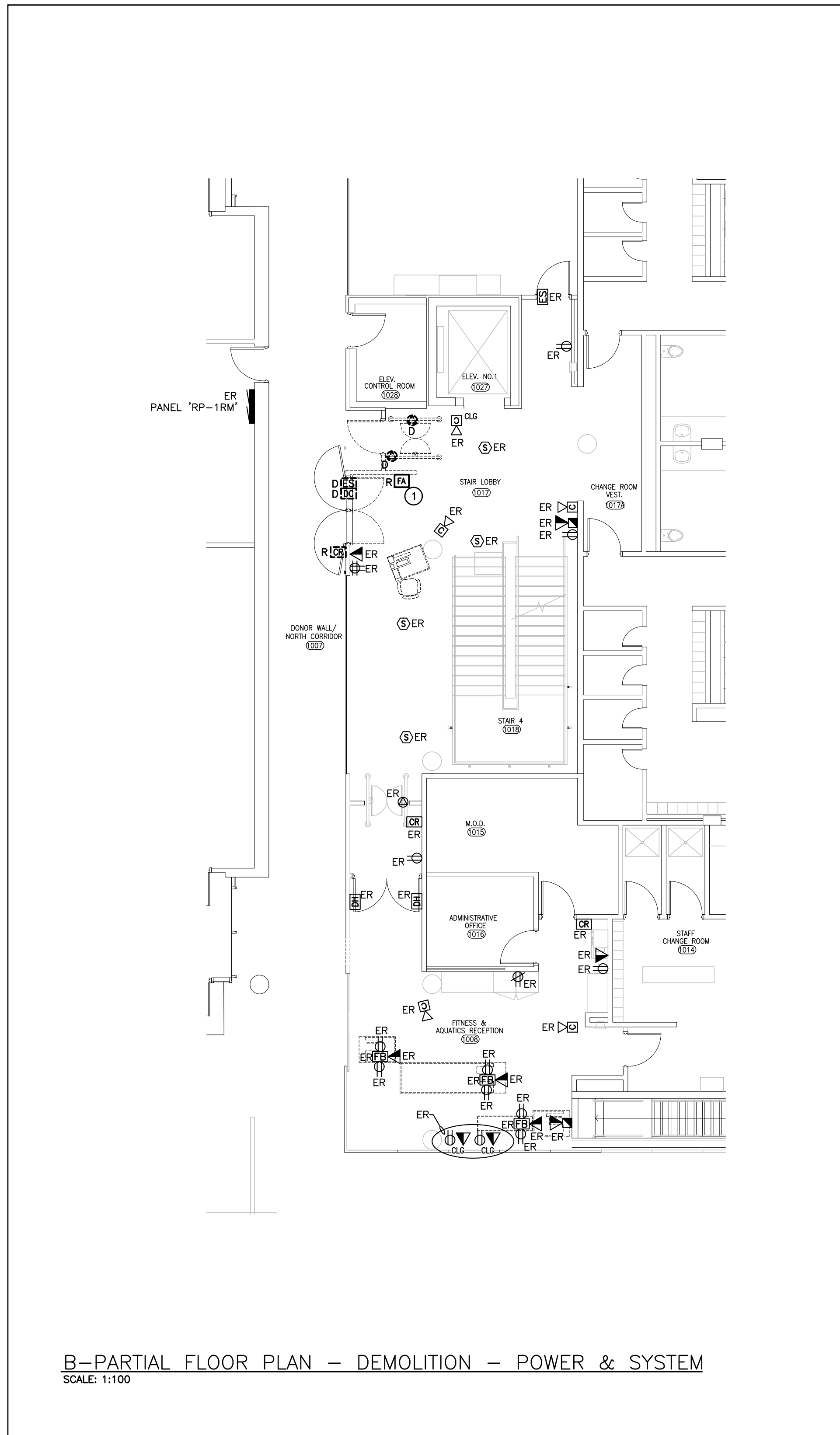
PROFESSIONAL ENGINEER
J.J. JACKSON
100011324
3/19/24
PROVINCE OF ONTARIO

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MOFFET & DUNCAN
architects inc.
5052 DUNDAS ST. WEST
TORONTO, ONT. M9A 1S9
TEL: (416) 239-2775
FAX: (416) 239-6729
EMAIL: mdarch@mdarch.ca



A-PARTIAL FLOOR PLAN – DEMOLITION – LIGHTING
SCALE: 1:100



B-PARTIAL FLOOR PLAN – DEMOLITION – POWER & SYSTEM
SCALE: 1:100

GENERAL DEMOLITION NOTES

- 'ER' DENOTES EXISTING ITEM TO REMAIN.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- 'R' INDICATES EXISTING ITEM TO BE RELOCATED. REFER TO RENOVATION DRAWINGS AND RELOCATE DEVICE AND WIRING TO SUIT, UNLESS OTHERWISE NOTED.
- 'D' INDICATES EXISTING ITEM TO BE DELETED, UNLESS OTHERWISE NOTED DISCONNECT AND REMOVE NOTED DEVICE AND WIRING BACK TO SOURCE.
- ALL LIGHTING FIXTURES BEING RELOCATED SHALL BE CLEANED AND CHECKED PRIOR TO BEING REINSTALLED.

SPECIFIC DEMOLITION NOTES

- 1 INDICATES EXISTING FIRE ALARM DEVICE TO BE REMOVED AND REINSTALLED IN RENOVATION PHASE. REFER RENOVATION PLAN FOR MORE INFORMATION.

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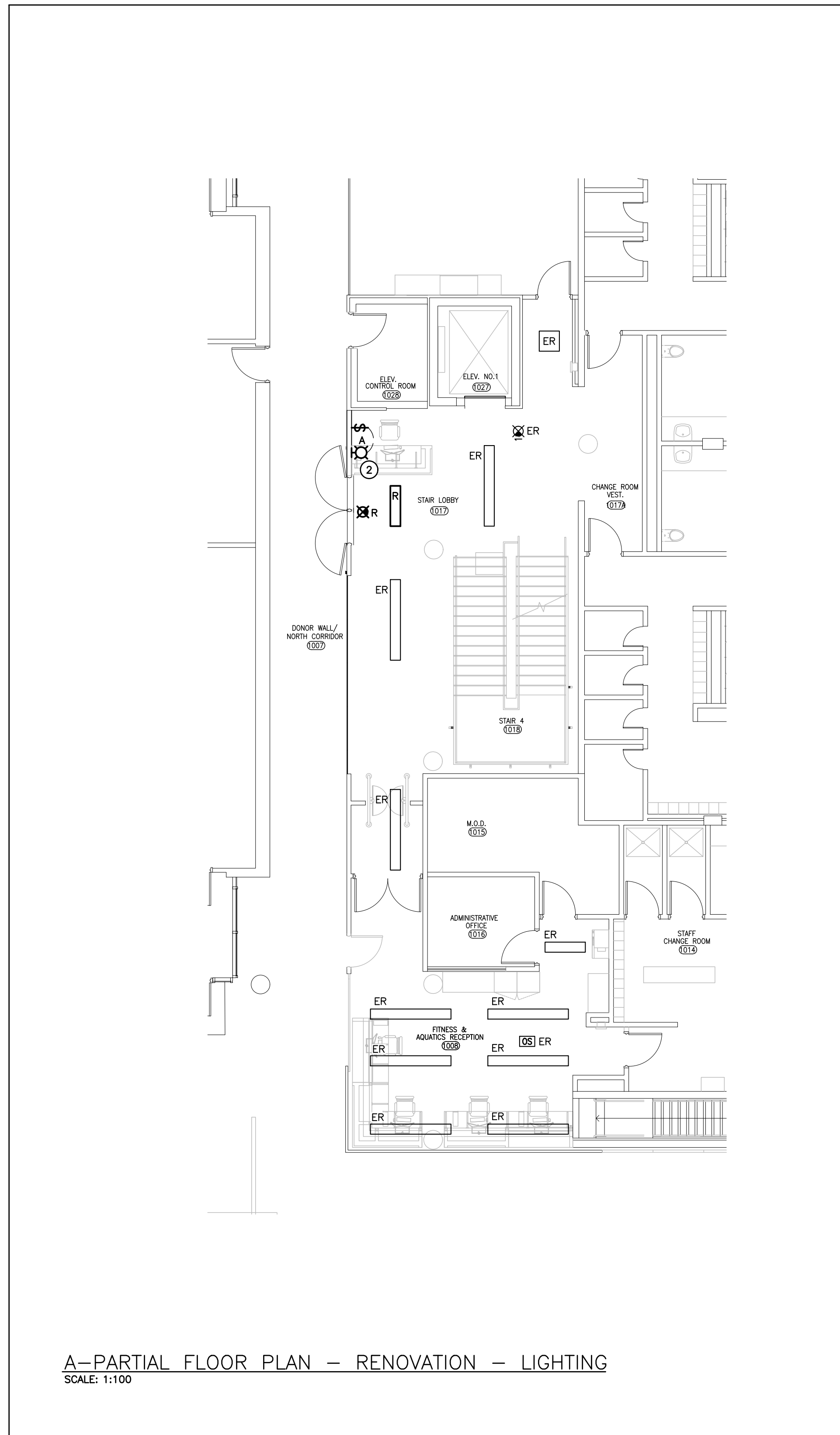
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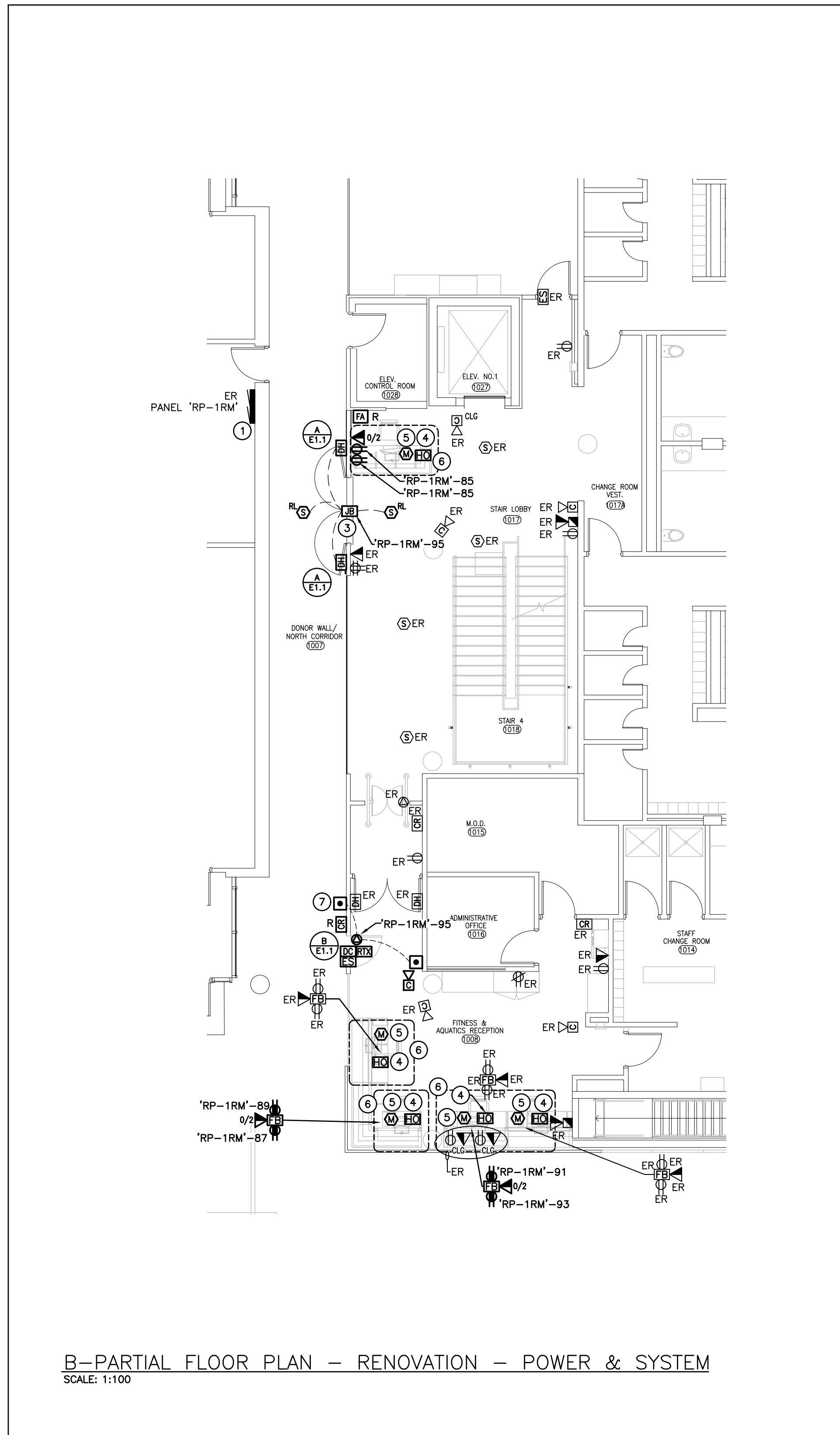
DRAWING
DEMOLITION PLAN

	TRUE NORTH	DWG. NORTH
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MOFFET & DUNCAN
architects inc.
5052 DUNDAS ST. WEST
TORONTO, ONT. M5A 1S9
TEL: (416) 239-2775
FAX: (416) 239-6729
EMAIL: mofarch@mdarch.ca



A-PARTIAL FLOOR PLAN – RENOVATION – LIGHTING
SCALE: 1:100



B-PARTIAL FLOOR PLAN – RENOVATION – POWER & SYSTEM
SCALE: 1:100

GENERAL RENOVATION NOTES

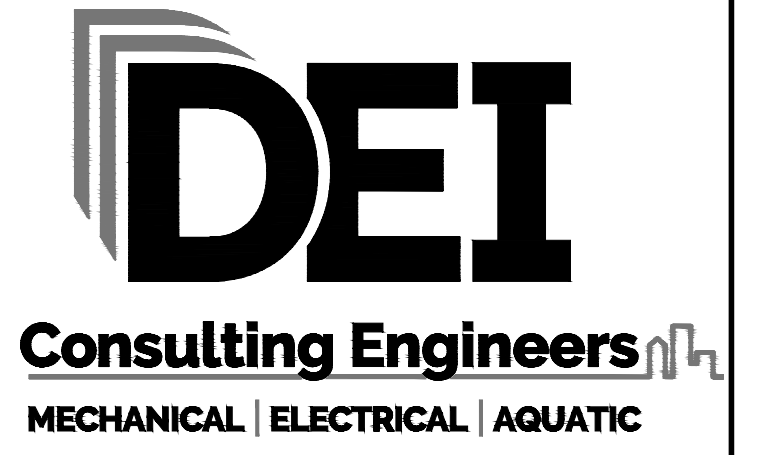
- 'ER' INDICATES EXISTING ITEM TO REMAIN.
- 'R' INDICATES EXISTING ITEM IN RELOCATED POSITION.
- ALL DEVICES SHOWN ARE NEW UNLESS OTHERWISE NOTED.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS OTHERWISE NOTED.
- MAINTAIN SERVICE TO ALL EXISTING DEVICES TO REMAIN.
- REVISE PANEL DIRECTORIES TO SUIT CHANGES (TYPED).

SPECIFIC RENOVATION NOTES

- 1 INDICATED DEVICE TO BE FED FROM PANEL 'RP-1RM'. EXISTING PANEL IS LOCATED IN AUX. ELECTRICAL ROOM '1030'. EXISTING PANEL 'RP-1RM' IS A SQUARE D TYPE 'NQ' PANELBOARD. THIS CONTRACTOR SHALL PROVIDE THE FOLLOWING TO SUIT INTERIOR FEEDS AND UPDATE TYPEWRITTEN PANEL SCHEDULE.

BREAKER	FEED	DEVICE
15A-1P CCT-#85	2#12 T90 CU IN 21mmC	STAR LOBBY '1017' DESK REC.
20A-1P CCT-#87	2#12 T90 CU IN 21mmC	FIT. & RECPT. '1008' DESK REC.
20A-1P CCT-#89	2#12 T90 CU IN 21mmC	FIT. & RECPT. '1008' DESK REC.
20A-1P CCT-#91	2#12 T90 CU IN 21mmC	FIT. & RECPT. '1008' DESK REC.
20A-1P CCT-#93	2#12 T90 CU IN 21mmC	FIT. & RECPT. '1008' DESK REC.
15A-1P CCT-#95	2#12 T90 CU IN 21mmC	DOOR JUNCTION BOX/OPERATOR
- 2 CONNECT INDICATED DEVICE TO THE LINE SIDE OF THE LOCAL LIGHTING CIRCUIT.
- 3 WITHIN CEILING SPACE PROVIDE STEPDOWN TRANSFORMER (120-240V). REFER TO DETAIL A/E1.1 AND RUN NOTED CIRCUIT THROUGH TRANSFORMER, THEN RUN 24V CIRCUIT THROUGH AUXILIARY CONTACTS IN FIRE ALARM CONTROL PANEL THEN ONTO RELAY BASE OF SMOKE DETECTOR.
- 4 INDICATED PANIC DEVICE SHALL BE INSTALLED TO UNDERSIDE OF MILLWORK. COORDINATE EXACT LOCATION WITH MILLWORK VENDOR PRIOR TO INSTALLATION.
- 5 INDICATED MICROPHONES TO BE CONNECTED TO EXISTING PUBLIC ADDRESS SPEAKER SYSTEM.
- 6 INDICATED DEVICES TO BE MOUNTED BENEATH MILLWORK. COORDINATE EXACT LOCATION WITH MILLWORK VENDOR PRIOR TO INSTALLATION. CONDUIT AND CABLING SHALL BE RUN HORIZONTALLY THROUGH MILLWORK BACK TO NEAREST PARTITION. AND RISE UP WITHIN PARTITION TO CEILING SPACE.
- 7 DOOR OPERATOR IS TO BE COORDINATED WITH SECURITY TO ENSURE THAT THE OPERATOR DOES NOT FUNCTION UNLESS THE ELECTRIC STRIKE IS RELEASED.

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DRAWING

RENOVATION PLAN

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architects inc.
5052 DUNDAS ST. WEST
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TEL: (416) 239-2775
FAX: (416) 239-6729
EMAIL: mdarch@mdarch.ca