



MUNICIPAL PROPERTY ASSESSMENT CORPORATION
SOCIÉTÉ D'ÉVALUATION FONCIÈRE DES MUNICIPALITÉS

Addendum # 1

**Bid Opportunity: RFP-549-2024 - General
Contractor Renovation MPAC Pickering, 10th
Floor**

Closing Date: Friday, September 20, 2024 8:00 PM

Introduction

This Addendum is issued in accordance with the RFP Documents and amends the RFP Documents for the above noted Project. The information contained in this Addendum shall form an integral part of the RFP Documents.

All capitalized terms used in this Addendum have the meaning given in the RFP Documents.

Amendments to the RFP Documents

Question 1:

Please be advised that bids and tenders portal states closing time at 8:00 PM and tender documents states that closing time is 2:00 PM.

Answer 1:

Submission deadline is 8:00pm Friday, September 20, 2024.

Question 2:

Kindly advise if the site meeting is mandatory.

Answer 2:

RFP SECTION REFERENCE AND DESCRIPTION	ITEM																		
RFP Section 6.1(1) – Evaluation of Proposals	<p>Evaluation will be conducted in two (2) phases.</p> <p>A minimum score of 100% in phase 1 is required for a Respondent to be evaluated for phase 2 of the evaluation process.</p> <p>Respondents who score 100% in phase 1 will be considered for phase 2 evaluation.</p> <p>The Evaluation Criteria and weightings to be applied are as follows:</p> <table border="1" data-bbox="548 617 1349 732"><thead><tr><th data-bbox="548 617 1151 674">EVALUATION CRITERIA</th><th data-bbox="1151 617 1349 674">WEIGHT</th></tr></thead><tbody><tr><td data-bbox="548 674 1151 732">Site Visit & Agreement to Bond</td><td data-bbox="1151 674 1349 732">100%</td></tr></tbody></table> <table border="1" data-bbox="548 789 1349 1192"><thead><tr><th data-bbox="548 789 1151 846">EVALUATION CRITERIA</th><th data-bbox="1151 789 1349 846">WEIGHT</th></tr></thead><tbody><tr><td data-bbox="548 846 1151 903">Project Management (Summary & Table)</td><td data-bbox="1151 846 1349 903">10%</td></tr><tr><td data-bbox="548 903 1151 959">General Requirements (Table)</td><td data-bbox="1151 903 1349 959">10%</td></tr><tr><td data-bbox="548 959 1151 1016">Project Construction Schedule</td><td data-bbox="1151 959 1349 1016">30%</td></tr><tr><td data-bbox="548 1016 1151 1073">Company Profile & Qualifications</td><td data-bbox="1151 1016 1349 1073">20%</td></tr><tr><td data-bbox="548 1073 1151 1129">Pricing</td><td data-bbox="1151 1073 1349 1129">30%</td></tr><tr><td data-bbox="548 1129 1151 1192">TOTAL</td><td data-bbox="1151 1129 1349 1192">100%</td></tr></tbody></table>	EVALUATION CRITERIA	WEIGHT	Site Visit & Agreement to Bond	100%	EVALUATION CRITERIA	WEIGHT	Project Management (Summary & Table)	10%	General Requirements (Table)	10%	Project Construction Schedule	30%	Company Profile & Qualifications	20%	Pricing	30%	TOTAL	100%
EVALUATION CRITERIA	WEIGHT																		
Site Visit & Agreement to Bond	100%																		
EVALUATION CRITERIA	WEIGHT																		
Project Management (Summary & Table)	10%																		
General Requirements (Table)	10%																		
Project Construction Schedule	30%																		
Company Profile & Qualifications	20%																		
Pricing	30%																		
TOTAL	100%																		
RFP Section 6.1(2) – Minimum Passing Score	<p>A minimum score of 100% in phase 1 is required for a Respondent to be evaluated for phase 2 of the evaluation process.</p> <p>Respondents who score 100% in phase 1 will be considered for phase 2 evaluation.</p>																		

Question 3:

Please advise if arrangement of the site visit is feasible for this project.

Answer 3:

Walkthrough was 10:30am September 4th, 2024.

Question 4:

Please advise if submittal review process was already integrated into the schedule and consultants will fast-track the review of submittals on their end.

Answer 4:

Refer to Bennett Design's AD-01

Question 5:

Elevation 2 on drawing I-1008.1, there are 4 elevations with this heading. For the elevations with the shelves and 2 doors (below Plan: Area) , Are there any details for these shelves and doors ? Elevation 3/I-1008.1 lower left corner, what are the 2F 6 Inch x 5 F-4 Inch panels? Which columns are to receive what look like coat hooks?

Answer 5:

Refer to Bennett Design's AD-01

Question 6:

- a. Please provide names and contact of security and sprinkler contractors servicing the building.
- b. Who is the manufacturer of the fire alarm system?
- c. Who is the manufacturer of the HVAC control system?
- d. Can you confirm if you are requiring draperies or blinds?
- e. Notes ask for a stacking diagram for break up of panels.

Answer 6:

- a. **Refer to RFP 549-2024, Section Mandatory Trades**
- b. **Edwards EST-3**
- c. **METASYS Johnson Controls**
- d. **Refer to Bennett Design's AD-01**
- e. **Refer to Bennett Design's AD-01**

Question 7:

Bids and Tenders is showing an 8pm closing but the Addendum is showing 2pm. Kindly confirm.

Answer 7:

Please see Answer 1.

Question 8:

We kindly request the bid validity to be changed to 60 days.

Answer 8:

Validity to be changed to 60 days.

Question 9:

Please confirm the start and completion date for this project. Bids and tenders states Completion Oct 28 while the RFP-549-2024 states Nov 8.

Answer 9:

Confirmed: November 8, 2024.

Question 10:

Is Troy Life and Fire Safety listed as the Mandatory trade for Fire Alarm, Sprinkler or both?

Answer 10:

Both Fire Alarm and Sprinkler.

Question 11:

Data cabling is noted on the drawings as "by other", but is listed on the bid sheet. Please confirm if the cost on the bid sheet is limited to the conduit, or if the Data cabling should actually be included in the electrical pricing.

Answer 11:

Refer to Bennett Design's AD-01.

Question 12:

Please confirm the extent of signage.

Answer 12:

Signage is by MPAC. Coordination only, if required.

Question 13:

Film FL1/2 is noted on the glazing in 2 new HM doors, but I cannot find any specifications for this product.

Answer 13:

Refer to Bennett Design's AD-01.

Question 14:

Please provide an elevation and material requirements for sidelight SC1001.

Answer 14:

Refer to Bennett Design's AD-01.

Question 15:

Was the site visit mandatory? If not, is it possible to post pictures of site?

Answer 15:

Please see Answer 2.

Question 16:

Referencing I-1001: Please provide specification/details for SC.1001.

Answer 16:

Refer to Bennett Design's AD-01.

Question 17:

Referencing note 7 on I-1001: Please confirm the phasing that we need to allow or any hoarding that we need to allow.

Answer 17:

Refer to Bennett Design's AD-01.

Question 18:

May I request an extension of the bid closing deadline?

Answer 18:

The bid closing deadline will not be extended.

Question 19:

Referencing I-1008: There is a new millwork in Cafe 1001, do we remove the existing kitchen cabinet and island? Demo plan does not have this scope. Please confirm.

Answer 19:

Refer to Bennett Design's AD-01.

Question 20:

Referencing I-1007: Please provide details and spec for Door type C.

Answer 20:

Refer to Bennett Design's AD-01.

Question 21:

Referencing I-1007: Please confirm if there is any door type B

Answer 21:

Refer to Bennett Design's AD-01.

Question 22:

Referencing I-1002: Please confirm if there is new bulkhead required in cafe as shown on the plan.

Answer 22:

Refer to Bennett Design's AD-01.

Question 23:

RFP documents states Non binding, but there is also agreement to bond form provided. Please clarify, if bonding is required.

Answer 23:

Please see Answer 2.

Question 24:

For clarification, please confirm if data with cabling will be provided by GC or GC will be responsible for conduits only and network cabling will be done by client (AVG) per note 2 on I-1003.

Answer 24:

Refer to Bennett Design's AD-01.

Question 25:

Referencing I-1002: Please provide the specification for the ACT tiles and also confirm percentage of ACT tiles that has to be replaced.

Answer 25:

Refer to Bennett Design's AD-01.

Question 26:

Referencing I-1002: Please provide more details and section where and how exactly the new Drapery on grid line F and the other side will be installed.

Answer 26:

Refer to Bennett Design's AD-01.

Question 27:

Referencing note 24, I-1003: Please confirm if we need to carry price for Voice & Data - AVG. or is it directly by owner?!

Answer 27:

Refer to Bennett Design's AD-01.

Question 28:

- a) Please provide the make/model of the existing emergency exit if we need to provide new exits to match base build.
- b) Please provide base build fire alarm contractor. If there isn't one please provide make/model of the existing fire alarm control panel and devices.
- c) For the emergency fixtures please confirm if we are just connecting the selected fixtures on drawings E210 and that they are existing and not new. If they are new please provide lighting spec for them.

Answer 28:

- a) Refer to Bennett Design's AD-01**
- b) Refer to Bennett Design's AD-01**
- c) Refer to Bennett Design's AD-01**

Question 29:

Please provide the make/model of the existing emergency exit if we need to provide new exits to match base build.

Answer 29:

Refer to Bennett Design's AD-01.

Question 30:

For the emergency fixtures please confirm if we are just connecting the selected fixtures on drawings E210 and that they are existing and not new. If they are new please provide lighting spec for them

Answer 30:

Refer to Bennett Design's AD-01.

Question 31:

Referencing I-1008.1 Detail 2: Please confirm how many of the columns we have to clad?

Answer 31:

Refer to Bennett Design's AD-01.

Question 32:

Referencing I-1008.1 Detail 3: Please advise what is this elevation and provide more details and information.

Answer 32:

Refer to Bennett Design's AD-01.

Question 33:

- a. Please provide the make/model of the existing emergency exit if we need to provide new exits to match base build.
- b. Please provide base build fire alarm contractor. If there isn't one please provide make/model of the existing fire alarm control panel and devices.
- c. For the emergency fixtures please confirm if we are just connecting the selected fixtures on drawings E210 and that they are existing and not new. If they are new please provide lighting spec for them.

Answer 33:

- a) Refer to Bennett Design's AD-01
- b) Refer to RFP 549-2024, Mandatory Trades

c) Refer to Bennett Design's AD-01

Question 34:

Is The AV Equipment Supply and Installation not GC scope?

Answer 34:

Coordination only, if required.

Question 35:

Is Com part of the project? All I see is conduit requirements. If yes, please provide spec; a. Type of cables , Type of rack. patch cords size.

Answer 35:

Coordination only, if required.

Question 36:

On the Demolition drawing I-1000 Note 7 It is written that we need to replace the Carpet. But in the Flooring drawing Carpet C-1 shall be separate price not sure if we are doing flooring work in base bid or separate item

Answer 36:

Refer to Bennett Design's AD-01.

Question 37:

Is it Regular working hours or after hours work”.

Answer 37:

Refer to RFP 549-2024, Section Access to Property, Working Hours, Service Shutdown.

TO:	PROJECT INFORMATION:
Municipal Property Assessment Corporation 1340 Pickering Parkway, Suite 101 Pickering, ON L1V 0C4	Municipal Property Assessment Corporation (MPAC) 10 th Floor, 1340 Pickering Parkway Pickering
ATTENTION:	PROJECT NUMBER
WENDY SCOTT	24-1008
	DATE OF ISSUE
	12 th September 2024

The following clarifications, additions, deletions and amendments are hereby made a part of the Drawing and Specifications for the above project.

ITEM:	DESCRIPTION:
1.0	Please advise if submittal review process was already integrated into the schedule and consultants will fast-track the review of submittals on their end
	Answer: Consultants will review submittals as best as they can within 1 business day of submission, however contractors should allow a minimum of 48 hours for response in their schedules.
2.0	Elevation 2 on drawing I-1008.1, there are 4 elevations with this heading. For the elevations with the shelves and 2 doors (below Plan: Area) , Are there any details for these shelves and doors ? Elevation 3/I-1008.1 lower left corner, what are the 2F 6 Inch x 5 F-4 Inch panels? Which columns are to receive what look like coat hooks?
	Answer: Drawing numbering has been redlined and attached with this addendum response. 1-1/2” thick shelves to be adjustable on recessed pilasters, PL1 interior. Doors PL-1 finish. Hardware PULL-2 Column with Coat hooks noted on partition plan issued with this Addendum. Refer I-1001
3.0	d. Can you confirm if you are requiring draperies or blinds? e. Notes ask for a stacking diagram for break up of panels.
	Answer: Dual Roller shades are required. (Blackout & Glare Reduction) To be mounted at glazing frames similar to existing. Stacking diagram note is obsolete and has been removed. Refer mark up on I-1002 issued with this Addendum.
4.0	Data cabling is noted on the drawings as “by other”, but is listed on the bid sheet. Please confirm if the cost on the bid sheet is limited to the conduit, or if the Data cabling should actually be included in the electrical pricing.
	Answer: conduit only to be provided. Cabling to be provided by AVG.



5.0	Film FL1/2 is noted on the glazing in 2 new HM doors, but I cannot find any specifications for this product
	Answer: Film specification added to I-1007 issued with this Addendum
6.0	Please provide an elevation and material requirements for sidelight SC1001.
	Answer: SC1001 is to match existing construction and materiality of side light at existing meeting room to be removed. (i.e wired glass, metal frame). Provide shop drawings for approval based on existing side light construction.
7.0	Referencing note 7 on I-1001: Please confirm the phasing that we need to allow or any hoarding that we need to allow.
	Answer: This will need to be coordinated with the tenant and the landlord.
8.0	Referencing I-1008: There is a new millwork in Cafe 1001, do we remove the existing kitchen cabinet and island? Demo plan does not have this scope. Please confirm.
	Answer: All existing millwork at Café is to be removed.
9.0	Referencing I-1007: Please provide details and spec for Door type C.
	Answer: No door type C, Schedule updated to note door type B to match details.
10.0	Referencing I-1002: Please confirm if there is new bulkhead required in cafe as shown on the plan.
	Answer: No Bulkhead – existing ceiling to remain.
11.0	Referencing I-1002: Please provide the specification for the ACT tiles and also confirm percentage of ACT tiles that has to be replaced.
	Answer: Specification to be confirmed on site. Percentage of damaged tiles for replacement to be determined by contractor on completion of demolition.
12.0	a) Please provide the make/model of the existing emergency exit if we need to provide new exits to match base build. b) Please provide base build fire alarm contractor. If there isn't one please provide make/model of the existing fire alarm control panel and devices.



	c) For the emergency fixtures please confirm if we are just connecting the selected fixtures on drawings E210 and that they are existing and not new. If they are new please provide lighting spec for them.
	Answer: a) Exit signs to be green running man, specific model number to be confirmed by contractor once on site. b) Refer to RFP 549-2024, Mandatory Trades c) Fixtures are existing and are being reconnected as per plans.
13.0	Referencing I-1008.1 Detail 2: Please confirm how many of the columns we have to clad?
	Answer: No cladding required, mark up of location of coat hooks provided with this Addendum, Refer I-1001, Note 5.
14.0	Referencing I-1008.1 Detail 3: Please advise what is this elevation and provide more details and information.
	Answer: This elevation is a living wall to be procured by the owner. The elevation is for coordination purposes only. Detail has been updated to number 9, and elevation tag added to wall finishes plan. Reference 1/ I-1005.
15.0	On the Demolition drawing I-1000 Note 7 It is written that we need to replace the Carpet. But in the Flooring drawing Carpet C-1 shall be separate price not sure if we are doing flooring work in base bid or separate item
	Answer: All flooring should be a separate price item.

Related Documents:

MPAC Tender Addendum #1

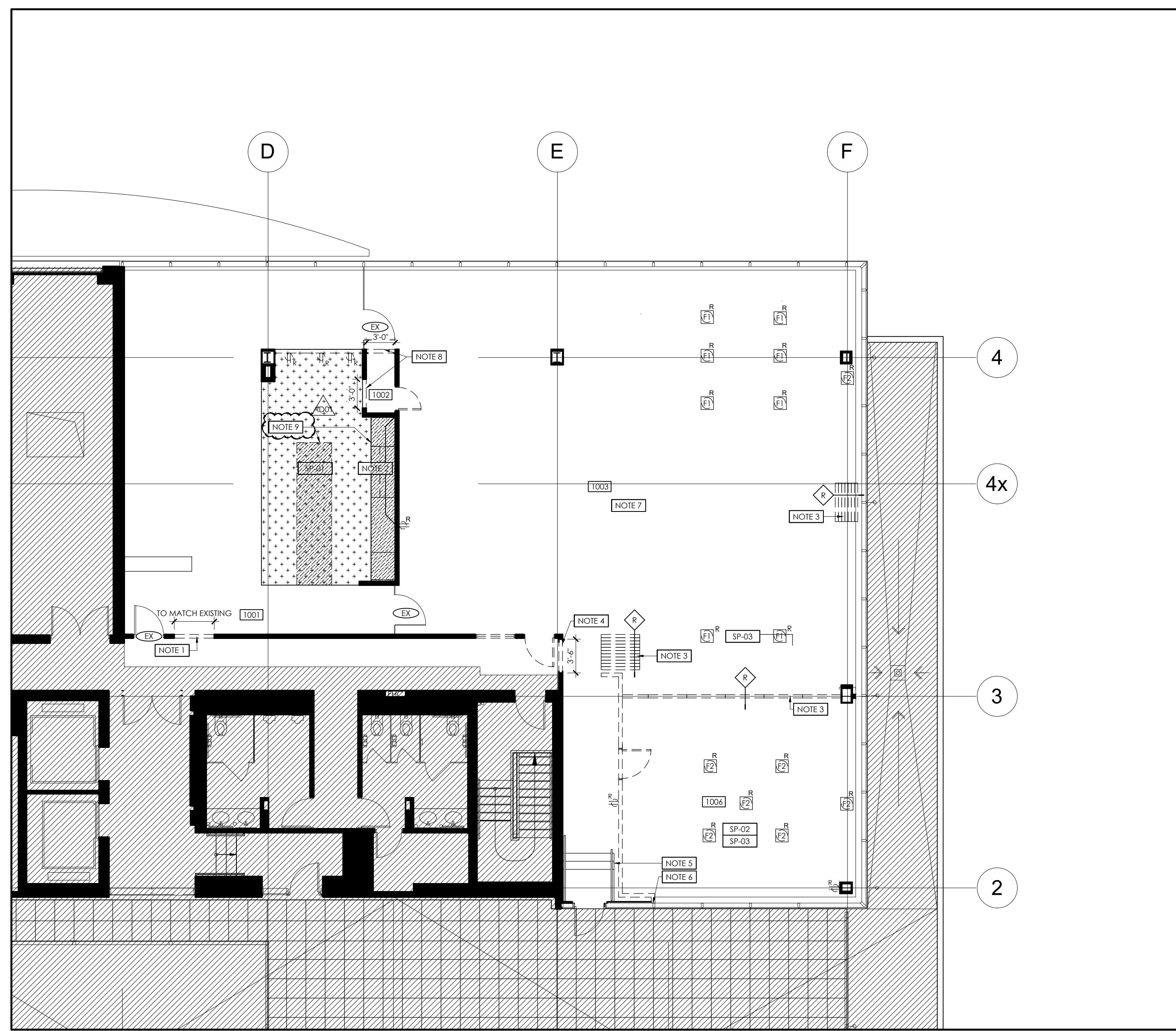
Drawings: I-1000, I-1001, I-1002, I-1005, I-1007, I-1008.1

Total Pages in this Addendum: 9

End of Addendum Number: AD-01

PREPARED BY BENNETT DESIGN	CC:
	BRITTANY DEMPSEY, BENNETT DESIGN ASSOCIATES NICOLE LAFETE, MPAC
SIGNATURE: AMANDA HUGESSEN	





DEMOLITION LEGEND

SYMBOL	DESCRIPTION
	DENOTES EXISTING PARTITION TO REMAIN
	DENOTES EXISTING PARTITION TO BE REMOVED
	DENOTES EXISTING OPERABLE PARTITION AND SYSTEM TO BE REMOVED.
	DENOTES EXISTING DOOR AND FRAME TO REMAIN
	DENOTES EXISTING DOOR AND FRAME TO BE REMOVED AND/OR RELOCATED AS INDICATED ON PARTITION PLAN AND DOOR SCHEDULE
	DENOTES EXISTING GLAZING SCREEN/SIDEWALL AND FRAME TO BE REMOVED AND/OR RELOCATED AS INDICATED ON PARTITION PLAN AND SCREEN SCHEDULE
	DENOTES EXISTING MILLWORK TO BE REMOVED.
	DENOTES EXISTING WALL MOUNTED DUPLEX OUTLET TO BE REMOVED
	DENOTES EXISTING FLOOR MONUMENT TO BE REMOVED. CAP & FILL EXISTING PENETRATION TO ENSURE FIRE SEPARATION OF THE FLOOR
	AREA NOT IN CONTRACT (INIC)

DRAWING NOTES

SYMBOL	DESCRIPTION
NOTE 1	PARTITION TO BE PARTIALLY REMOVED FOR NEW SIDELITE. CONTRACTOR TO MATCH OPENING SIZE TO EXISTING SIDELITE AT DOOR TO MEETING ROOM 1003 FROM CORRIDOR.
NOTE 2	EXISTING WALL TILE TO BE REMOVED. CONTRACTOR TO PATCH AND REPAIR DRYWALL. MAKE READY TO ACCEPT NEW FINISH.
NOTE 3	CONTRACTOR TO REMOVE ALL OPERABLE PARTITION INFRASTRUCTURE.
NOTE 4	PARTITION TO BE PARTIALLY REMOVED FOR NEW ENTRANCE DOOR. CONTRACTOR TO MATCH OPENING SIZE TO EXISTING DOOR.
NOTE 5	CONTRACTOR TO PATCH AND REPAIR EDGE OF STAIRS AND LANDING WITH NEW GWB. MAKE READY TO ACCEPT NEW FINISH.
NOTE 6	CONTRACTOR TO PATCH AND REPAIR EXISTING PARTITION. MAKE READY TO ACCEPT NEW FINISH.
NOTE 7	CONTRACTOR TO REMOVE EXISTING CARPET IN ROOM 1003. MAKE GOOD TO RECEIVE NEW FLOOR FINISH.
NOTE 8	REMOVE EXISTING WALL TO EXTENT SHOWN TO ACCOMMODATE NEW ACCESS DOORS. CONTRACTOR TO MAKE GOOD FOR NEW FINISH.
NOTE 9	REMOVE EXISTING KITCHEN ISLAND AND MILLWORK

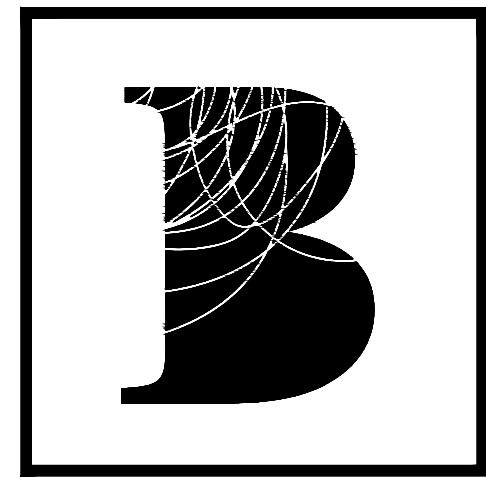
SEPARATE PRICE ITEMS

SYMBOL	DESCRIPTION
SP-01	SEPARATE PRICE - ITEM 1 CONTRACTOR TO PROVIDE PRICE TO REMOVE FLOORING AT EXTENT SHOWN. PREPARE FLOOR TO RECEIVE NEW FLOOR FINISH. REFER TO I-1004 FOR FINISH SPECIFICATIONS.
SP-02	SEPARATE PRICE - ITEM 2 CONTRACTOR TO PROVIDE PRICE TO REMOVE EXISTING CARPET FINISH AND BASE AT EXTENT SHOWN. PREPARE FLOOR TO RECEIVE NEW FLOOR FINISH. PREPARE WALL TO RECEIVE NEW BASE. REFER TO I-1004 FOR FINISH SPECIFICATIONS.
SP-03	SEPARATE PRICE - ITEM 3 CONTRACTOR TO PROVIDE PRICE TO REMOVE AND DECOMMISSION EXISTING FLOOR BOXES. CAP AND FIRE RATE THE PENETRATION.

REFER TO I-1000 FOR COMPLETE SEPARATE PRICING LIST

DEMOLITION NOTES

- THIS DRAWINGS & NOTES TO BE READ IN CONJUNCTION WITH GENERAL NOTES, REFER TO DRAWING #I-000.
- THE ENTIRE DRAWING PACKAGE TO BE REFERENCED AND REVIEWED AS A WHOLE.
- THIS DRAWING TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL ENGINEER'S DRAWINGS AND SPECIFICATIONS.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL CONSTRUCTION SPECIFICATIONS AND DOCUMENTS.
- ALL PARTITIONS DESIGNATED TO BE DEMOLISHED SHALL BE REMOVED FROM SLAB TO SLAB UNLESS NOTED OTHERWISE.
- WHERE DEMOLISHED PARTITIONS PENETRATED SUSPENDED T-BAR CEILING GRID. REPAIRS SHALL BE MADE TO MAKE GOOD A CONTINUOUS CEILING GRID.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE GOOD ALL AREAS AFFECTED BY DEMOLITION.
- DISCONNECT AND CAP ALL PLUMBING WHICH IS TO BE REMOVED.
- DEMOLITION AND NEW CONSTRUCTION SHALL BE DONE IN PHASES AS REQUIRED. DURING EACH PHASE, THE AREA UNDER CONSTRUCTION SHALL BE COMPLETELY SEALED OFF, MAINTAINING EXIST WITHIN ACCORDANCE WITH BUILDING CODE.
- THE CONTRACTOR SHALL SALVAGE ALL ELEMENTS OF THE BASE BUILDING, SUCH AS (BUT NOT LIMITED TO) CEILING COMPONENTS, LIGHT FIXTURES, SPEAKERS, ETC. ALL ELEMENTS REMAIN THE PROPERTY OF AND SHALL BE TURNED OVER TO THE LANDLORD/CLIENT AND STORED WHERE DIRECTED UNLESS SCHEDULED FOR REUSE AND/OR SHOWN TO BE REMOVED AND RELOCATED UNDER THIS CONTRACT.
- ALL DEBRIS AND MATERIALS RESULTING FROM THE DEMOLITION AND NOT CLAIMED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES AND BE LEGALLY DISPOSED OF.
- THE CONTRACTOR SHALL COORDINATE THE LIFTING AND REMOVAL OF ALL EXISTING FLOOR COVERING AND BASE FINISHES, WITHIN THE CONTRACT AREA, WITH THE FLOOR COVERING CONTRACTOR.
- CARPET AND OTHER FLOOR FINISHES REMAINING SHALL BE PROTECTED BY THE CONTRACTOR WITH 6 MIL. CONTINUOUS POLYETHYLENE FILM SHEET.
- CONTRACTOR TO REMOVE ALL FLOORING AND BASE, UNLESS NOTED OTHERWISE. MAKE GOOD ALL FLOORS, BASE, WALLS, COLUMNS AND CEILING AFTER DEMOLITION SUITABLE FOR APPLICATION OF NEW FINISH. REFER TO FLOOR AND WALL FINISH PLANS, NOTES AND LEGENDS I-1004 AND I-1005.
- ANY WIRING ETC. WITHIN PARTITIONS SLATED FOR DEMOLITION IS TO BE REMOVED AND/OR TERMINATED AND IS TO CONFORM TO ALL APPLICABLE STANDARDS AND BY-LAWS.
- DISCONNECT ALL ELECTRICAL SERVICES FROM PARTITIONS TO BE DEMOLISHED AND CAP ABOVE CEILING HEIGHT.
- IN PARTITIONS BEING REMOVED, ELECTRICAL OUTLETS, CONDUIT, ETC. ARE TO BE REMOVED BACK TO FIRST JUNCTION BOX AND TERMINATED, OR AS DIRECTED BY ELECTRICAL DRAWINGS/SPECIFICATIONS. REFER TO CONSULTANT ENGINEER'S DRAWINGS.
- WHERE FLOOR MONUMENTS ARE REMOVED, FLOOR DRILLINGS ARE TO BE FILLED WITH CONCRETE. LEVEL TO THE UNFINISHED FLOOR SLAB. ALL WIRING FOR SAME TO BE MADE SAFE.
- EXISTING CEILING TILES AND FIXTURES ARE TO BE REMOVED AND SALVAGED FOR REUSE. NEW TILES AS REQUIRED TO MATCH. ALL DISCOLOURED TILES TO BE SEGREGATED IN SPECIFIC AREAS TO ACHIEVE AN EVEN COLOUR WITHIN ONE AREA. REFER TO REFLECTED CEILING PLAN I-1002.
- CONFIRM THAT DEMOLITION DRAWINGS ACCURATELY REFLECT THE EXTENT OF ABOVE CEILING GWB BAFFLING TO BE REMOVED AND REMOVE ANY REDUNDANT BAFFILES ABOVE THE CEILING.
- THE CONTRACTOR IS TO BE RESPONSIBLE FOR ALL DAMAGES TO FINISHES, SURFACES, MATERIALS ETC., DUE TO WORK PERFORMED UNDER THIS CONTRACT AND BEARS ALL COSTS INCURRED TO MAKE GOOD, REPAIR OR REPLACE SAME TO DESIGNER'S SATISFACTION.
- THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD, PROPER AND SAFE MEANS OF FIRE EXIT SHALL BE PROVIDED FROM ALL ZONES OF THE BUILDING AT ALL TIMES TO THE APPROVAL OF THE AUTHORITIES HAVING JURISDICTION.
- PROTECT EXISTING PERIMETER WINDOW BLINDS DURING CONSTRUCTION BY SUITABLE METHODS TO THE APPROVAL OF THE LANDLORD/TENANT AND THOROUGHLY CLEAN BLINDS UPON COMPLETION OF WORK. IF NO PRACTICAL MEANS OF PROTECTION CAN BE FOUND, THE CONTRACTOR SHALL REMOVE THE EXISTING BLINDS AND STORE WHERE DIRECTED AND REINSTALL WHEN CONSTRUCTION IS COMPLETE.
- ALL REMOVED CARPET AND UNDER PAD IS TO BE RECYCLED. CONTACT WIKING RECYCLING, KELLY MC CAIG @ 416.452.2873 OR KELLY@WIKINGRECYCLING.CA FOR COORDINATION OF CARPET RECLAMATION.
- CONTRACTOR TO CONTACT WIKING RECYCLING TO COORDINATE RECLAMATION OF DEMOLISHED CONSTRUCTION MATERIALS SUCH AS BUT NOT LIMITED TO: CEILING TILES, LIGHTING, ELECTRONICS, FLOOR FINISHES.



BENNETT
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 Uxbridge, ON. L9P 1S9
 Tel. 905.852.4617
 bennettdesign.ca

GENERAL NOTES

- THIS DRAWING IS THE PROPERTY OF BENNETT DESIGN ASSOCIATES INC. AND CANNOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.
- ALL MEASUREMENTS MUST BE VERIFIED ON SITE BY CONTRACTOR AND REPORT ANY DISCREPANCIES TO BENNETT DESIGN ASSOCIATES INC. BEFORE PROCEEDING WITH THE WORK.
- DO NOT SCALE DRAWINGS.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under 2.17.5.1 of the building code.

J. J. TOROK *Jennifer Torok* BCIN/BCDN 25552
 Name Signature BCIN/BCDN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C - 3.2.4.1 of the 2012 Ontario Building Code.

BENNETT DESIGN ASSOCIATES INC. BCIN 30635
 Firm Name BCIN/BCDN

no.	date	by	description
01	12SEP24	AH	ISSUED FOR TENDER ADDENDUM

REVISIONS

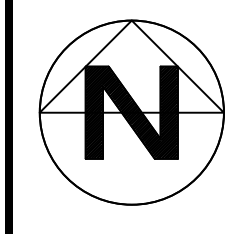
no.	date	by	description
04	29AUG24	AH	ISSUED FOR PERMIT
03	16AUG24	AH	ISSUED FOR TENDER
02	08AUG24	AH	ISSUED FOR 90% REVIEW
01	08JUL24	AH	ISSUED FOR COORDINATION

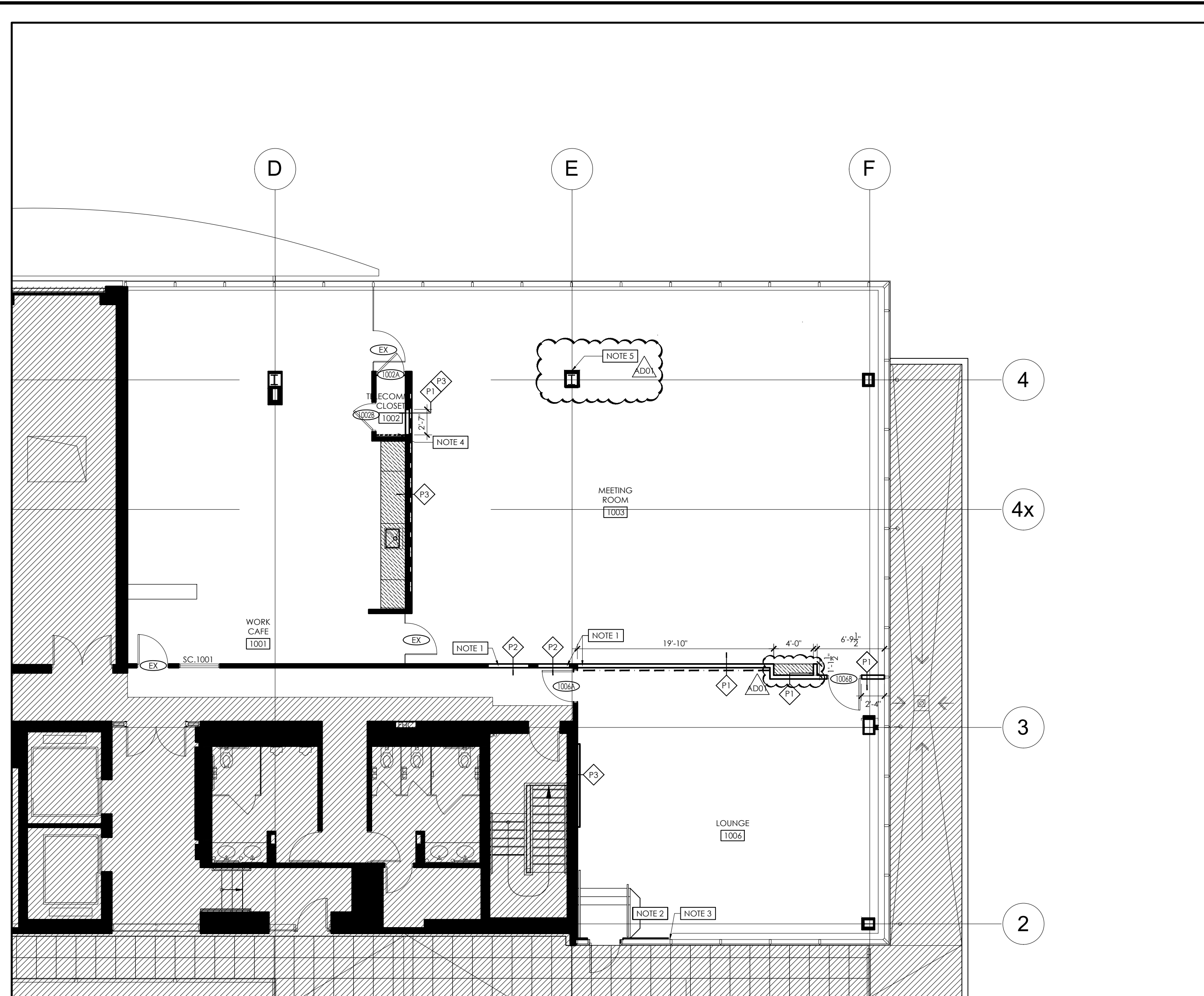


Project title
MPAC
 1340 PICKERING PKWY
 10TH FLOOR
 PICKERING, ON

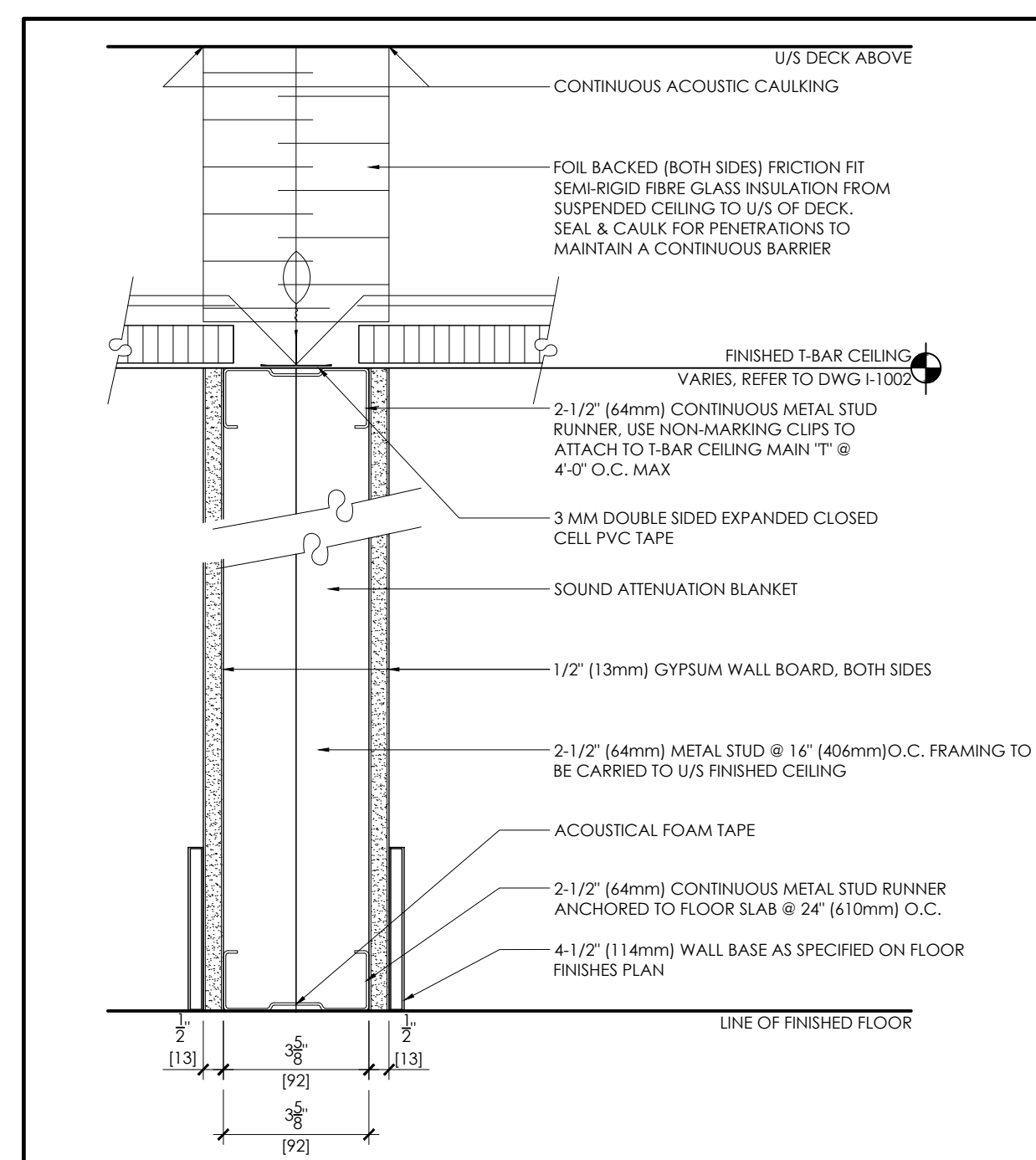
drawing title
DEMOLITION PLAN

date	22APR24	project no.	24-1008
drawn by	JC	cad file:	24-1008_1-1000
checked by	AH	drawing no.	
scale	1/8" = 1'-0"		I-1000

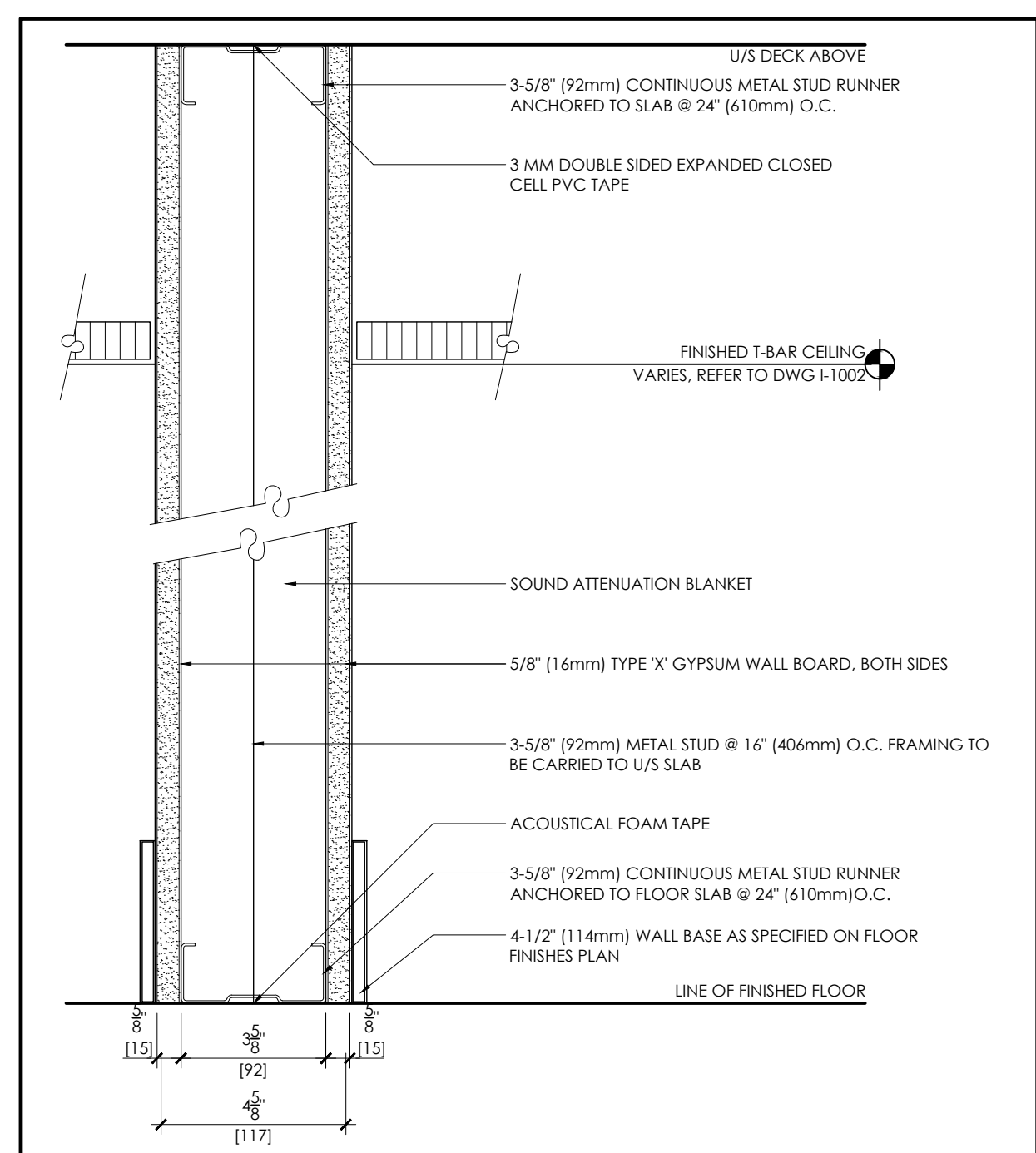




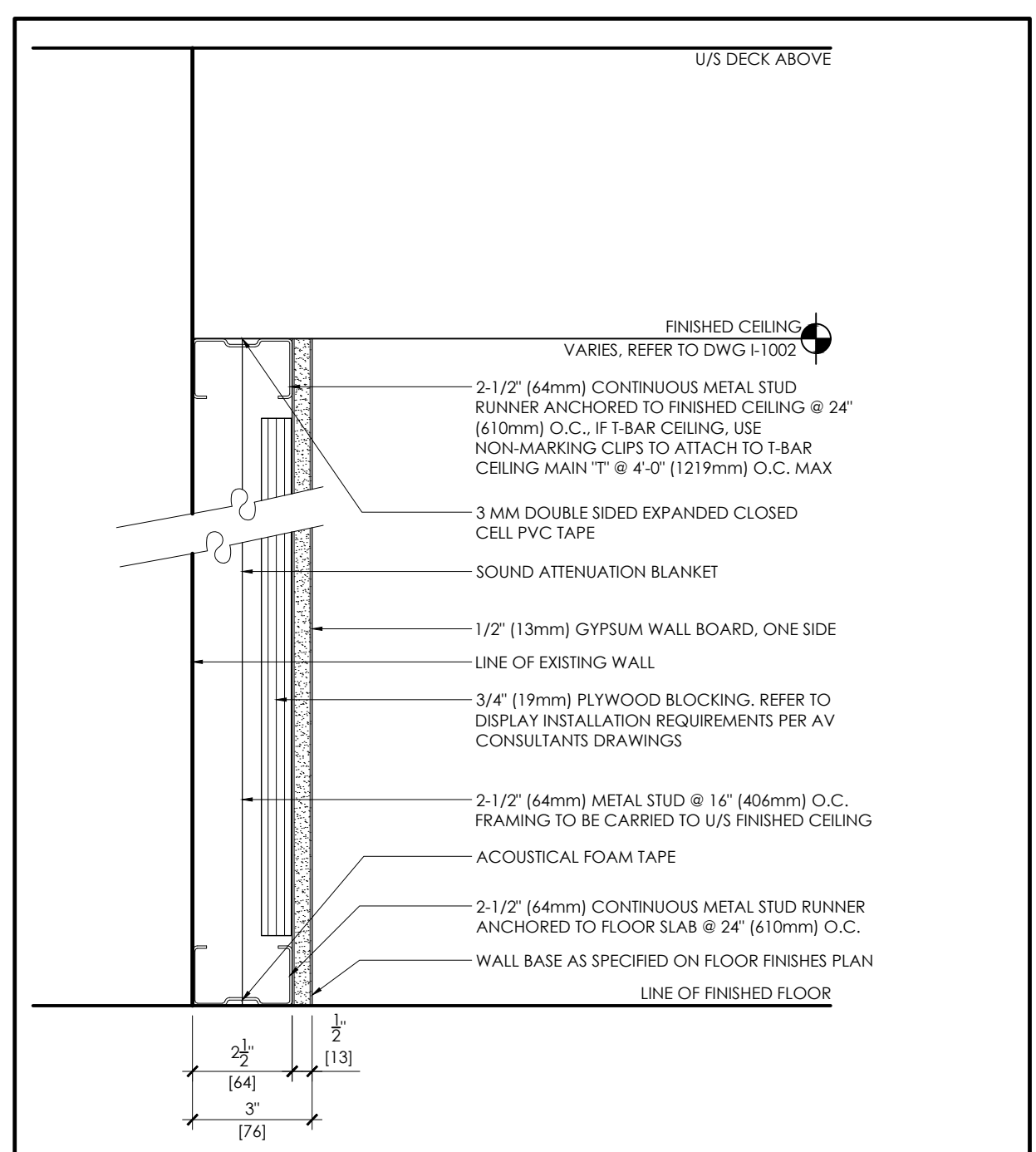
1 PARTITION PLAN
1/8" = 1'-0"



2 PARTITION TYPE 'P1'
3" = 1'-0"



3 PARTITION TYPE 'P2'
3" = 1'-0"



4 PARTITION TYPE 'P3'
3" = 1'-0"

PARTITION LEGEND

SYMBOL	DETAIL	DESCRIPTION
---		DENOTES EXISTING PARTITION TO REMAIN
⊥	2 (1/101)	NEW PARTITION ASSEMBLY "P1" - 3-5/8" METAL STUDS AT 16" O.C. - ONE LAYER 1/2" BOTH SIDES - SOUND ATTENUATION BLANKET - SLAB TO U/S OF CEILING - FOIL BACKED (BOTH SIDES) RIGID INSULATION ABOVE CEILING TO U/S OF DECK (CERTAPRO THERMAL FOIL FACED BATTS BY CERTAINTED CORP. OR EQUAL)
⊥	3 (1/101)	NEW PARTITION ASSEMBLY "P2" DEMISING PARTITION - 3-5/8" METAL STUDS AT 16" O.C. (U.N.O.) - ONE LAYER 1/2" TYPE 'X' GWB, BOTH SIDES - SOUND ATTENUATION BLANKET - SLAB TO SLAB - TO MATCH EXISTING NOTES: EXISTING F.R.R. TO BE MAINTAINED VERIFY CONSTRUCTION ON SITE.
⊥	4 (1/101)	NEW FURRING PARTITION ASSEMBLY "P3" - 2-1/2" METAL STUDS AT 16" O.C. - ONE LAYER 1/2" ONE SIDE - SLAB TO U/S OF CEILING - BLOCKING REQUIRED FOR MOUNTED DISPLAYS, CONTRACTOR TO REFER TO INSTALLATION REQUIREMENTS AS PER AV CONSULTANTS SPECIFICATIONS
⊥		EXISTING DOOR & FRAME TO REMAIN
⊥		NEW DOOR & FRAME REFER TO DOOR SCHEDULE 1-1007 PROVIDE DOOR HEADERS AS REQUIRED FOR ALL DOORS NOT FULL HEIGHT
⊥		NEW GLAZING ASSEMBLY REFER TO SCREEN SCHEDULE 1-1007 GLAZING C/W VISION STRIP: 3M FILM, DUSTED CRYSTAL - 772558-314
⊥		DENOTES NEW MILLWORK, REFER TO 1-1008.
---		DENOTES BLOCKING INSIDE NEW PARTITIONS FOR WALL MOUNTED FIXTURES, DISPLAY SCREENS AND SIGNAGE.
FE		FIRE EXTINGUISHER
FHC		FIRE HOSE CABINET
JSM		JOB SITE MEASUREMENT
AF		ABOVE FINISHED FLOOR
CCD		CRITICAL CLEAR DIMENSION
---		AREA NOT IN CONTRACT (NIC)

REFER TO FURNITURE PLAN 1-1006 FOR LOCATION WHITEBOARDS, TV'S ETC.

DRAWING NOTES

SYMBOL	DESCRIPTION
NOTE 1	ALIGN FINISHED FACE OF WALL WITH EXISTING (BOTH CORRIDOR AND WITHIN SUITE).
NOTE 2	CONTRACTOR TO APPLY GWB ON SIDES OF EXISTING STAIRS. REFER TO ELEVATION X/1-100X.
NOTE 3	CONTRACTOR TO PATCH AND REPAIR PARTITION, MAKE READY TO ACCEPT NEW FINISH.
NOTE 4	ADHERE PLYWOOD BACKER BOARD TO EXISTING WALL COORDINATE SIZE OF BACKER BOARD WITH AV GROUP DRAWING
NOTE 5	COAT HOOK MILLWORK, REFER TO DRAWING 7/1-1008.1

PARTITION NOTES

1. THIS DRAWINGS & NOTES TO BE READ IN CONJUNCTION WITH GENERAL NOTES, REFER TO DRAWING #1-000.
2. THE ENTIRE DRAWING PACKAGE TO BE REFERENCED AND REVIEWED AS A WHOLE.
3. THIS DRAWING TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL ENGINEER'S DRAWINGS AND SPECIFICATIONS.
4. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL CONSTRUCTION SPECIFICATIONS AND DOCUMENTS.
5. THE CONTRACTOR IS TO READ REFLECTED CEILING PLAN 1-1002 IN CONJUNCTION WITH PARTITION PLAN TO ESTABLISH EXACT LOCATION OF PARTITIONS.
6. REFER TO REFLECTED CEILING PLAN DRAWING 1-1002 FOR DRYWALL CEILING AND FLUSH (MUD-IN) LIGHT FIXTURE DETAILS.
7. REFER TO ELECTRICAL AND MECHANICAL ENGINEER'S DRAWINGS FOR FURTHER SPECIFICATIONS, DISCREPANCIES BETWEEN THE DESIGNERS' AND ENGINEERS' DRAWINGS ARE TO BE REPORTED TO THE DESIGNER IN WRITING.
8. THE CONTRACTOR IS TO COORDINATE WITH THE TENANT'S CABLING CONSULTANTS, REFER TO DRAWING 1-1003.
9. THE CONTRACTOR IS TO CHECK ALL SITE CONDITIONS PRIOR TO SUBMITTING QUOTATION.
10. THE CONTRACTOR IS TO VERIFY ALL JOB DIMENSIONS, ALL DRAWING DETAILS, ALL SPECIFICATIONS, AND REPORT ANY DISCREPANCIES IN WRITING TO THE DESIGNER PRIOR TO INSTALLATION.
11. ALL TEMPORARY BUILDING SHUTDOWNS ARE TO BE COORDINATED BY THE CONTRACTOR WITH LANDLORD.
12. FINAL CLEANING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR INCLUDING CLEANING OF FLOORS, WALLS, CONVECTORS, BLINDS, ALL GLAZING AND CEILING, PROFESSIONALLY STEAM CLEAN OF CARPET AND WAXING OF HARD SURFACES.
13. PRIOR TO FABRICATION AND ORDERING OF MATERIALS, THE CONTRACTOR IS TO SUBMIT SHOP DRAWINGS TO THE DESIGNER FOR APPROVAL OF ALL MILLWORK ITEMS, DOOR ASSEMBLIES & HARDWARE AND WASHROOM FIXTURES & ACCESSORIES.
14. THE CONTRACTOR IS TO PROVIDE ELEVATOR CAB BLANKET PROTECTION AND FLOORING PROTECTION DURING CONSTRUCTION PERIOD.
15. ALL PARTITIONS TO BE MARKED ON THE FLOOR AND APPROVED BY DESIGNER PRIOR TO INSTALLATION OF STUDS.
16. THE CONTRACTOR IS TO MAKE GOOD ALL FLOORS, BASES, WALLS, CORE PARTITIONS, COLUMNS AND CEILING SUITABLE TO ACCEPT NEW FINISHES OR MATERIALS. THE CONTRACTOR IS TO VISIT SITE TO EVALUATE EXTENT OF WORK PRIOR TO BID SUBMISSION.
17. WHERE NEW WORK CONNECTS WITH EXISTING AND/OR WHERE EXISTING WORK IS ALTERED, ENSURE NECESSARY CUTTING, FITTING AND TIE-INS REQUIRED TO BE SATISFACTORY AND PERFORMED UNDER THIS CONTRACT.
18. PROVIDE WOOD BLOCKING WHERE NECESSARY WITHIN PARTITIONS AND WITHIN CEILING SPACE WHEREVER SHELVING, CABINETS, TV'S, WHITEBOARDS, EQUIPMENT OR WALL AND CEILING FIXTURES AND ACCESSORIES MAY GO.
19. THE CONTRACTOR IS TO CONSULT WITH MECHANICAL CONSULTANT TO ENSURE READY ACCESS FOR MAINTENANCE TO ALL MECHANICAL UNITS BEFORE NEW PARTITIONS AND CEILING ARE ERECTED AND INSTALLED.
20. SOUND ATTENUATION BLANKET IN PARTITIONS TO BE CONTINUOUS BEHIND ALL POWER AND COMMUNICATION WALL OUTLETS AND ACROSS DOOR/WINDOW HEADERS WITHOUT INTERRUPTION TO PREVENT SOUND TRANSFER.
21. MAINTAIN CONTINUOUS SOUND ATTENUATION AT PERIMETER CONVECTOR UNIT CAVITIES AND AT SOUND ATTENUATED PARTITION CONNECTIONS.
22. COMPLETE INSTALLATION TO BE SMOOTH, LEVEL OR PLUMB, FREE FROM WAVES AND OTHER DEFECTS AND READY TO ACCEPT SPECIFIED FINISH.
23. ALL WOOD SOLIDS AND VENEERS TO BE FIRE TREATED AS NECESSARY TO MEET BUILDING CODE REQUIREMENTS.
24. ALL EXPOSED EDGES OF GWB TO BE TRIMMED WITH J-MOULD OR CORNER BEAD OR AS OTHERWISE DETAILED.
25. DO NOT APPLY GWB UNTIL BUCKS, ANCHORS AND BLOCKING, ELECTRICAL AND MECHANICAL WORK HAVE BEEN INSPECTED AND APPROVED BY DESIGNER.
26. MAINTAIN REQUIRED FIRE RATING AROUND MECHANICAL AND ELECTRICAL EQUIPMENT AND OTHER PENETRATIONS AT ALL TIMES.
27. ERECT ACCESSORIES STRAIGHT, PLUMB OR LEVEL, RIGID AND AT THE PROPER PLANE.
28. PARTITIONS NOT DIMENSIONED ARE TO BE TYPICALLY LOCATED ON THE CENTER OF THE CEILING GRID.
29. DIMENSIONS FOR NEW PARTITIONS ARE TO BE ESTABLISHED FROM THE CENTERLINE OR FINISHED FACE, UNLESS OTHERWISE NOTED.
30. ENSURE THAT ALL OPENINGS FOR GLAZING ARE SQUARE AND SOLID FOR RECEIVING GLASS OR GLAZING FRAMES. REFER TO DOOR & SCREEN SCHEDULE FOR DETAILS.
31. WHERE MULTIPLE GLAZING PANELS ARE SHOWN, ALL SECTIONS TO BE EQUAL, UNLESS NOTED OTHERWISE. REFER TO DOOR & SCREEN SCHEDULE FOR DETAILS.
32. UNLESS NOTED OTHERWISE, PARTITIONS SHOWN ON WINDOW MULLIONS TO BE INSTALLED CENTERED ON WINDOW MULLIONS. CAULKING FOR SOUND ATTENUATION TO BE PROVIDED FROM FLOOR TO CEILING.
33. WHERE NEW PARTITIONS MEET A WINDOW MULLION, CLEARLY BUILD USING LANDLORD APPROVED FINISH DETAILS.
34. FILLER PANELS TO BE PROVIDED BETWEEN COLUMNS AND MULLIONS AS REQUIRED.
35. WHERE EXISTING PARTITIONS ARE TO BE PAINTED AND/OR RECEIVE NEW WALLCOVERING, REMOVE EXISTING WALL FINISH, FILL AND SAND AS REQUIRED.
36. PROVIDE DOUBLE SIDED FOAM ACOUSTICAL TAPE OR GASKET WHERE PARTITIONS MEET WITH CORE WALLS, COLUMNS, CONVECTORS, COVERS, SLAB AND CEILING.
37. ALL DOORS TO BE 6" AWAY FROM PARTITIONS ON HINGED SIDE OF DOOR UNLESS NOTED OTHERWISE.
38. UNDERCUT DOORS TO ALLOW FOR 1/8" CLEARANCE ABOVE FINISHED FLOOR WHERE REQUIRED.
39. WHERE STRUCTURAL MEMBERS PENETRATE FULL HEIGHT PARTITIONS, PROVIDE ACOUSTICAL SEAL AND FINISH OPENING TO BE APPROVED BY LANDLORD/OWNER.
40. PLUMBING FIXTURES TO BE AS SPECIFIED WITH THE REQUIRED SUPPORT, ACCESSORIES AND ALL DRAINAGE VENT AND WATER CONNECTIONS AS REQUIRED. REFER TO ENGINEERING DRAWINGS.
41. REFER TO POWER & COMMUNICATIONS DRAWING 1-1003 FOR LOCATIONS OF NEW OUTLETS AND CONDUITS. ALLOW FOR CUTTING AND PATCHING OF ON EXISTING PERIMETER WALLS.
42. DESIGNER TO APPROVE ACCESS PANEL LOCATION(S) PRIOR TO INSTALLATION.
43. REFER TO 1-1004 FOR WALL BASE DETAILS.

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- DO NOT SCALE DRAWINGS.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 17.5.1 of the building code.

J. J. TOROK *Jennifer Torok* BCIN 25552
Name Signature BCIN/BCDN

REGISTRATION INFORMATION
Required unless design is exempt under Division C - 3.2.4.1 of the 2012 Ontario Building Code.

BENNETT DESIGN ASSOCIATES INC. BCIN 30635
Firm Name BCIN/BCDN

no.	date	by	description
01	12SEP24	AH	ISSUED FOR TENDER ADDENDUM

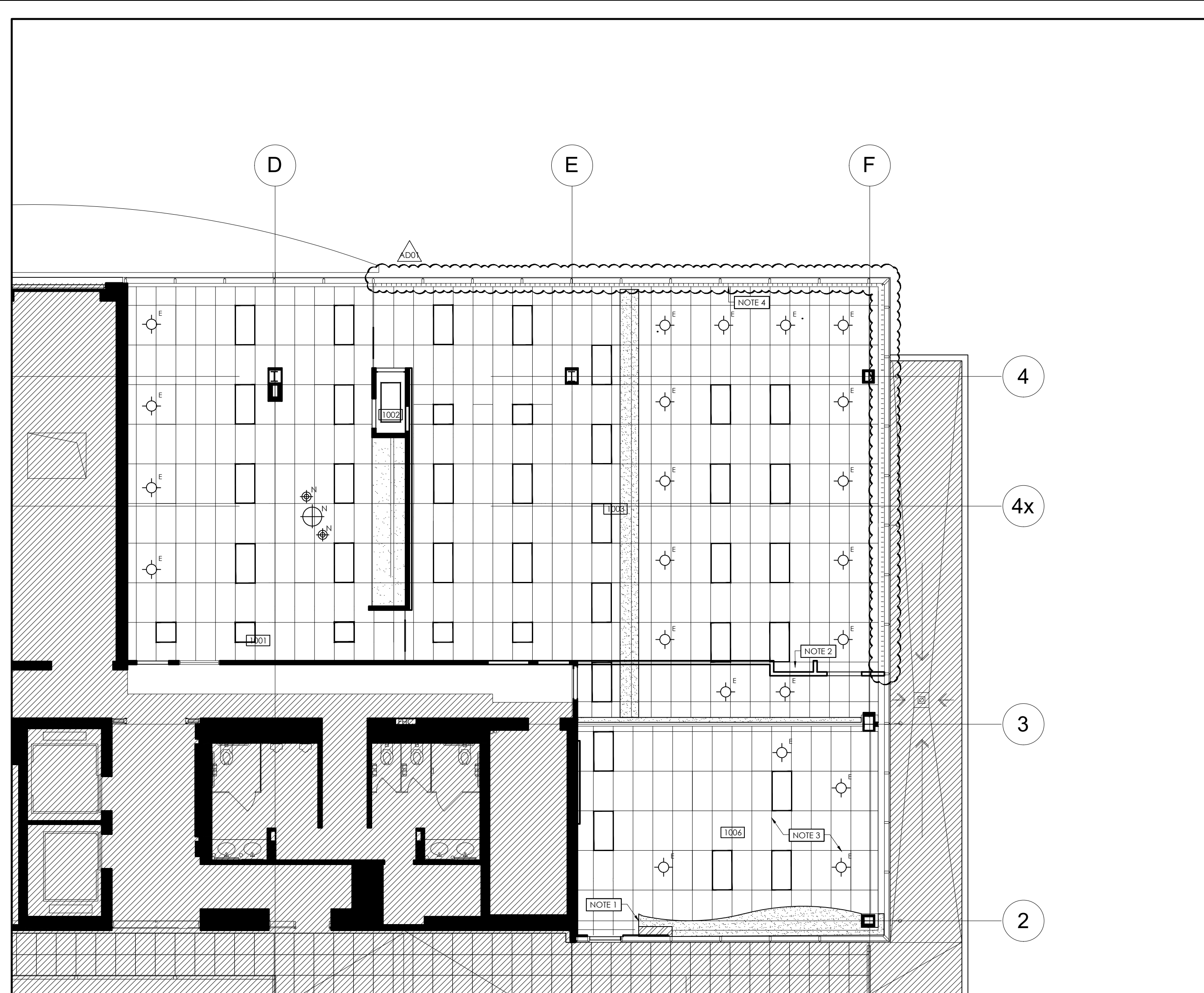
REVISIONS

no.	date	by	description
04	29AUG24	AH	ISSUED FOR PERMIT
03	16AUG24	AH	ISSUED FOR TENDER
02	08AUG24	AH	ISSUED FOR 90% REVIEW
01	08JUL24	AH	ISSUED FOR COORDINATION

Project title
MPAC
1340 PICKERING PKWY
10TH FLOOR
PICKERING, ON

Drawing title
PARTITION PLAN

date	project no.
22APR24	24-1008
drawn by JC	cad file 24-1008_1-1001
checked by AH	drawing no. I-1001
scale 1/8" = 1'-0"	



LIGHTING LEGEND

SYMBOL	DESCRIPTION
	DENOTES EXISTING PARTITION TO REMAIN
	DENOTES NEW PARTITION
	DENOTES EXISTING BASE BUILDING STANDARD LUMINAIRES TO REMAIN (BUILDING STANDARD, RECESSED, SEMI-RECESSED, SURFACE MOUNTED, AIR HANDLING), SPEC. LAMP TYPE.
	DENOTES EXISTING BASE BUILDING STANDARD LUMINAIRES TO REMAIN (BUILDING STANDARD, RECESSED, SEMI-RECESSED, SURFACE MOUNTED, AIR HANDLING), SPEC. LAMP TYPE.
	DENOTES EXISTING LUMINAIRES TO BE REMOVED. NOTE: CONTRACTOR TO REMOVE AND REPLACE EXISTING CEILING TILE WHERE REMOVED FROM.
	DENOTES EXISTING LUMINAIRES TO REMAIN
	NEW PENDANT LIGHT - SMALL MANUFACTURER: BLUDOT SERIES: PERIMETER PENDANT LIGHT TYPE: PENDANT FINISH: WHITE SIZE: 11" DIAMETER NOTE: TO BE SUPPLIED BY POI, INSTALLED BY GC.
	NEW PENDANT LIGHT - LARGE MANUFACTURER: BLUDOT SERIES: PERIMETER PENDANT LIGHT TYPE: PENDANT FINISH: WHITE SIZE: 22" DIAMETER NOTE: TO BE SUPPLIED BY POI, INSTALLED BY GC.
	NEW ROLLER SHADES: DP-1 MFR: LEGRAND SERIES: ES SERIES SHADE SYSTEM TRACK: SURFACE MOUNTED, MOTORIZED FABRIC: DUAL ROLLER-GLARE REDUCTION & BLACKOUT COLOUR: RD PRODUCT CODE: SF-ESS NOTES: ENSURE DRAPERY TRACK IS MOUNTED SO AS NOT TO OBSTRUCT MECHANICAL DIFFUSERS AT WINDOW. ADVISE HOW MANY MOTORS REQUIRED FOR EXTENT OF ROLLER SHADES.
	AREA NOT IN CONTRACT (NIC)

CEILING LEGEND

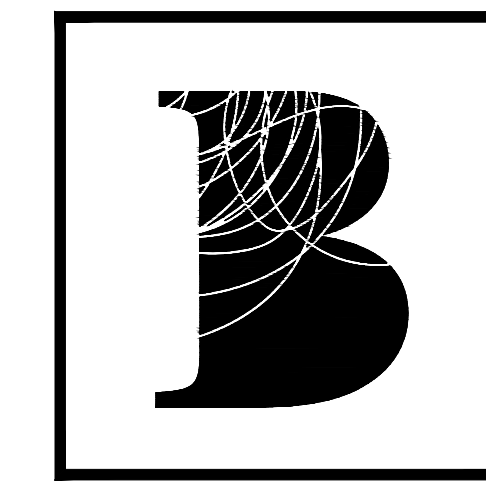
SYMBOL	DESCRIPTION
	EXISTING T-BAR GRID AND CEILING TILES TO REMAIN 24" x 48" T-BAR CEILING GRID AND TILES TO REMAIN HEIGHT: 9'-0" A.F.F. NOTE: CONTRACTOR TO REPLACE ANY DAMAGED OR STAINED CEILING TILES WITH NEW. MANUFACTURER: TO BE VERIFIED ON SITE, EXISTING TO REMAIN
	EXISTING GWB BULKHEAD TO REMAIN HEIGHT: 8'-0" A.F.F. NOTE: CONTRACTOR TO PATCH AND REPAIR, MAKE LIKE NEW READY TO ACCEPT NEW FINISH. REFER TO I-1005 FOR FINISH DETAILS.

DRAWING NOTES

SYMBOL	DESCRIPTION
NOTE 1	CONTRACTOR TO CAP BULKHEAD AND REPAIR GRID AND CEILING TILES WHERE PARTITION WAS REMOVED FROM.
NOTE 2	CONTRACTOR TO ADD GRILLES IN CLOSET FOR VENTILATION
NOTE 3	EXISTING LOUNGE CEILING SPEAKERS TO BE RETAINED AND ZONED SEPARATELY FROM MEETING ROOM
NOTE 4	CONTRACTOR TO REFER TO A/C DRAWINGS FOR POWER REQUIREMENTS FOR POWERED BLINDS

REFLECTED CEILING NOTES

1. THIS DRAWINGS & NOTES TO BE READ IN CONJUNCTION WITH GENERAL NOTES, REFER TO DRAWING #1000.
2. THE ENTIRE DRAWING PACKAGE TO BE REFERENCED AND REVIEWED AS A WHOLE.
3. THIS DRAWING TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL ENGINEER'S DRAWINGS AND SPECIFICATIONS.
4. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL CONSTRUCTION SPECIFICATIONS AND DOCUMENTS.
5. REFER TO POWER AND COMMUNICATION LEGEND AND NOTES.
6. CEILING HEIGHT: 9'-0" A.F.F., UNLESS NOTED OTHERWISE.
7. CONTINUE CEILING AS REQUIRED WHERE PARTITIONS HAVE BEEN REMOVED.
8. MECHANICAL AND ELECTRICAL CONSULTANTS TO EXAMINE SITE BEFORE PROCEEDING WITH THE NECESSARY DRAWINGS.
9. ELECTRICAL ENGINEERING CONSULTANT IS RESPONSIBLE FOR CALCULATING AND SPECIFYING THE APPROPRIATE LIGHT LEVELS FOR THE DESIGN OF THE SPACE IN ACCORDANCE WITH THE LOCAL BUILDING CODE.
10. THE CONTRACTOR SHALL USE THIS DRAWING FOR THE LOCATION OF FIXTURES AND FITTINGS AND INCLUDE ITEMS AS MECHANICAL CONSULTANT DRAWINGS AND SPECIFICATIONS FOR TECHNICAL INFORMATION INCLUDING: CIRCUITRY, POWER REQUIREMENTS, NIGHT LIGHTS, EMERGENCY LIGHTING AND FIRE PROTECTION EQUIPMENT AS REQUIRED BY THE LOCAL BUILDING CODE.
11. EXCEPT FOR LOCATION OF FIXTURES, SUCH AS LIGHTING, POWER AND COMMUNICATION OUTLETS, ELECTRICAL AND MECHANICAL CONSULTANTS PLANS SHALL GOVERN.
12. THE CONSULTING ENGINEER AND CONTRACTOR SHALL INCLUDE ITEMS OR FIXTURES AS CALLED FOR BY NAME, NUMBER AND MANUFACTURER ON THE BOX DRAWINGS. APPROVAL IS REQUIRED BY THE DESIGNER BEFORE PROCEEDING WITH A CHANGE IN SPECIFICATION.
13. THE CONTRACTOR SHALL INCLUDE CUTTING AND REPAIRING OF CEILING TILES AND GWB TO ALLOW FOR DESIGNATED MECHANICAL OR ELECTRICAL WORK.
14. ALL DAMAGED TILES AND T-BAR SHALL BE REPLACED. CONTRACTOR SHALL VERIFY QUANTITY AND ESTIMATE IN CONTRACT TO SUPPLY NEW AS REQUIRED TO MATCH EXISTING, IN STYLE, COLOUR AND FINISH.
15. ALL DISCOLOURED TILES TO BE SEGREGATED IN SPECIFIC AREAS TO ACHIEVE AN EVEN COLOUR WITHIN AREA.
16. CONTRACTOR TO SUPPLY ADDITIONAL NEW CEILING TILES AS REQUIRED TO MATCH EXISTING.
17. WHERE EXISTING T-BAR CEILING HAS BEEN ALTERED, ALL NECESSARY CUTTING AND FITTING REQUIRED TO MAKE SATISFACTORY SHALL BE PERFORMED UNDER THIS CONTRACT.
18. THE CONTRACTOR IS TO CONFIRM WITH MECHANICAL CONSULTANT TO ENSURE READY ACCESS FOR MAINTENANCE OF EXISTING AND/OR NEW MECHANICAL UNITS BEFORE NEW PARTITIONS AND CEILINGS ARE INSTALLED.
19. THE CONTRACTOR SHALL REUSE EXISTING FIXTURES, DIFFUSERS, SPRINKLER HEADS ETC. WHERE APPLICATION PERMITS.
20. ALL LOCATIONS OF SPRINKLERS, SPEAKERS, DIFFUSERS, RETURN AIR GRILLES AND ACCESS PANELS TO BE REVIEWED AND APPROVED BY THE DESIGNER BEFORE INSTALLATION.
21. CONTRACTOR TO INCLUDE FIRE DAMPERS FOR ALL RELOCATED AND/OR NEW LIGHT FIXTURES, DIFFUSERS AND RETURN AIR GRILLES TO CONFORM WITH ALL FIRE AND LOCAL BUILDING CODES (FOR PROJECTS WHERE APPLICABLE).
22. WHERE FIXTURES PENETRATE A FIRE RATED CEILING, THEY SHALL BE ENCLOSED WITH A SUITABLE FIRE RATED ENCLOSURE ABOVE THE CEILING AND MATCH THE FIRE RATED ASSEMBLY REQUIRED BY THE LOCAL BUILDING CODE REQUIREMENTS.
23. CONTRACTOR TO CLEAN AND INSPECT ALL EXISTING LIGHT FIXTURES, INCLUDING ONES DENOTED TO BE REMOVED AND/OR RELOCATED, FOR PROPER OPERATION AND REPAIR AND RE-LAMP AS NECESSARY TO MAKE FULLY FUNCTIONAL PRIOR TO BEING PUT BACK INTO SERVICE. REPLACE ALL DAMAGED LENSES AS NECESSARY.
24. THE CONTRACTOR IS TO PROVIDE EMERGENCY AND EXIT LIGHTS AS REQUIRED BY THE LOCAL BUILDING CODE REQUIREMENTS. REFER TO ELECTRICAL CONSULTANT DRAWINGS FOR LOCATION AND SPECIFICATIONS.
25. WHERE POWER IS SUPPLIED TO A FURNITURE SYSTEM VIA POWER POLE, THE CONTRACTOR SHALL PROVIDE A JUNCTION BOX ABOVE THE CEILING AS REQUIRED FOR NEW AND RELOCATED. REFERENCE THIS DRAWING IN CONJUNCTION WITH THE POWER & COMMUNICATIONS PLAN (I-1003) FOR ALL LOCATIONS OF POWER POLES.
26. THE GENERAL CONTRACTOR IS TO INCLUDE ALL ELECTRICAL REQUIREMENTS FOR ALL MECHANICAL WORK.
27. FOR CEILING HUNG WINDOW TREATMENTS, BULKHEADS, PROJECTION SCREEN ETC., CONTRACTOR SHALL PROVIDE ADEQUATE STRUCTURAL BLOCKING AND FRAMING WITHIN THE CEILING CAVITY TO ENSURE SAFETY AND STABILITY OF INSTALLED ITEM.
28. A REMAINING CEILING THAT IS NOT CONTINUOUS WHERE PARTITIONS AND WALLS ARE DEMOLISHED IS TO BE REPLACED TO PROVIDE A CONTINUOUS GRID.
29. UNLESS OTHERWISE INDICATED WITH DIMENSIONS, ALL POT LIGHTS AND WALL WASHERS SHALL BE LOCATED AT CENTER OF CEILING TILES OR GWB BULKHEAD.
30. ALL GWB CEILINGS IN WET AREAS SHALL BE CONSTRUCTED WITH WATER RESISTANT GWB AND WATERPROOFING TREATMENTS TO CONTRACTOR'S SPECIFICATION.
31. UNLESS OTHERWISE SPECIFIED AS SWITCHES WITH INDIVIDUAL CONTROL SWITCHES AND CIRCUITS, ALL LIGHT FIXTURES SHALL BE CONTROLLED FROM BASE BUILDING ZONED SWITCHES.
32. ALL SWITCHES INDICATE LOCATION ONLY. REFER TO ELECTRICAL CONSULTANT'S DRAWINGS FOR CIRCUITRY OF SWITCHES AND RELATED SPECIFICATIONS.
33. ALL SWITCHES TO BE LOCATED 900mm-1100mm AFF.
34. ALL EXISTING EXPOSED BULKHEADS AND/OR DUCTS NOT BEING USED FOR MECHANICAL OR ELECTRICAL SERVICES SHALL BE REMOVED WHERE INDICATED.
35. THE CONTRACTOR IS TO ARRANGE AND COORDINATE ALL TEMPORARY SHUTDOWNS AS REQUIRED WITH THE LANDLORD AND/OR TENANT.
36. THE CONTRACTOR IS TO PROVIDE ZONE CONDUIT IN THE CEILINGS AND WALLS FOR POWER AND COMMUNICATION CABLES IN ACCORDANCE WITH THE LOCAL BUILDING CODE REQUIREMENTS.
37. ELECTRICAL CONSULTANT TO SPECIFY A MINIMUM QUANTITY AND SIZE FOR ALL ACCESS PANELS.
38. ANY DISCREPANCIES BETWEEN DESIGN AND ENGINEERING DRAWINGS TO BE REPORTED TO DESIGNER IMMEDIATELY.
39. CONTRACTOR TO REFER TO WALL FINISH PLAN #I-1005 FOR PAINT FINISHES ALL CEILING DETAIL.
40. FOR ALL MUD-IN CEILING FINISH RECESSED LIGHT FIXTURES, CONTRACTOR TO ENSURE SMOOTH FINISH. REFER TO RECESSED LIGHT FIXTURE DETAIL(S) #I-1002.
41. CONTRACTOR TO LAYOUT ALL ACCENT LIGHTING LOCATIONS FOR DESIGNER'S REVIEW / APPROVAL PRIOR TO INSTALLATION. CONTRACTOR TO ADVISE CONSULTANT IMMEDIATELY UPON DISCOVERY OF ANY INTERFERENCES WITH STRUCTURAL MEMBERS, DUCTS, PIPES OR OTHER BUILDING SERVICES THAT WILL AFFECT LIGHTING LAYOUT.



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QUALIFICATION INFORMATION
 Required unless design is exempt under 2.17.5.1 of the building code.

J. J. TOROK *Jennifer Torok* BCIN 25552
 Name Signature BCIN/BCDN
REGISTRATION INFORMATION
 Required unless design is exempt under Division C - 3.2.4.1 of the 2012 Ontario Building Code.
 BENNETT DESIGN ASSOCIATES INC. BCIN 30635
 Firm Name BCIN/BCDN

01 12SEP24 AH ISSUED FOR TENDER ADDENDUM

REVISIONS

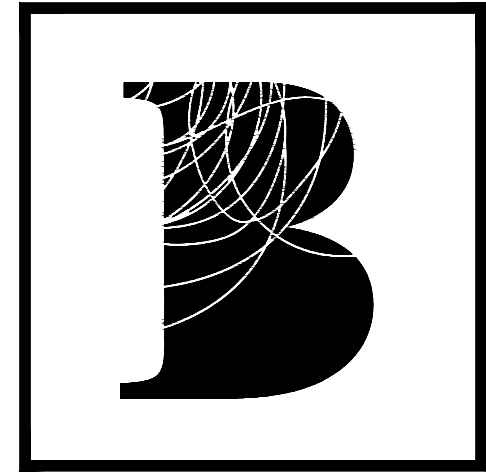
no.	date	by	description
04	29AUG24	AH	ISSUED FOR PERMIT
03	16AUG24	AH	ISSUED FOR TENDER
02	08AUG24	AH	ISSUED FOR 90% REVIEW
01	08JUL24	AH	ISSUED FOR COORDINATION



Project title
MPAC
 1340 PICKERING PKWY
 10TH FLOOR
 PICKERING, ON

REFLECTED CEILING PLAN

date	14FEB24	project no.	24-1008
drawn by	JC	cad file	24-1008_1-1002
checked by	AH	drawing no.	
scale	1/8" = 1'-0"		I-1002



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J. J. TOROK *Jennifer Torok* BCIN 25552
 Name Signature BCIN/BCDN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C - 3.2.4.1 of the 2012 Ontario Building Code.

BENNETT DESIGN ASSOCIATES INC. BCIN 30635
 Firm Name BCIN/BCDN

no.	date	by	description
01	12SEP24	AH	ISSUED FOR TENDER ADDENDUM

REVISIONS

no.	date	by	description
04	29AUG24	AH	ISSUED FOR PERMIT
03	16AUG24	AH	ISSUED FOR TENDER
02	08AUG24	AH	ISSUED FOR 90% REVIEW
01	08JUL24	AH	ISSUED FOR COORDINATION



Project title
MPAC
 1340 PICKERING PKWY
 10TH FLOOR
 PICKERING, ON

Drawing title
WALL FINISHES PLAN

date	project no.
14FEB24	24-1008
drawn by JC	cad file: 24-1008_1-1002
checked by AH	drawing no. I-1005
scale 1/8"=1'-0"	

WALL FINISH LEGEND

SYMBOL	DESCRIPTION
—	DENOTES EXISTING PARTITION TO REMAIN
==	DENOTES NEW PARTITION
(PT1)	FIELD PAINT: PT1 (OFF WHITE) MANUFACTURER: BENJAMIN MOORE COLOUR: OC-28 COLLINGWOOD FINISH: EGGSHELL
(PT2)	ACCENT PAINT: PT2 (BLUE) MANUFACTURER: BENJAMIN MOORE COLOUR: 2129-30 BLUE NOTE FINISH: EGGSHELL
(PT3)	ACCENT PAINT: PT3 (CHARCOAL) MANUFACTURER: BENJAMIN MOORE COLOUR: 2134-30 IRON MOUNTAIN FINISH: EGGSHELL
(PT4)	DOOR & FRAME PAINT: PT4 (BLUE) MANUFACTURER: BENJAMIN MOORE COLOUR: 2129-30 BLUE NOTE FINISH: SEMI-GLOSS
(PT5)	DOOR & FRAME PAINT: PT5A (CHARCOAL) MANUFACTURER: BENJAMIN MOORE COLOUR: 2134-30 IRON MOUNTAIN FINISH: SEMI-GLOSS NOTE: ALL FIRE RATED DOORS AND FRAMES TO BE PAINTED WITH INTIMESCENT PAINT
(PT6)	BULKHEADS TO BE PAINTED AS PER WALL FINISH PLAN
(AP1)	ACOUSTIC PANEL: AP1 MANUFACTURER: ACCOUFELT COLOUR: GREY - GR03 SERIES: SOLID PANEL THICKNESS: 12MM CONTACT: ROBIN WARD T: 447.244.0381 E: robin.ward@accoufelt.com
(AP2)	ACOUSTIC PANEL: AP2 MANUFACTURER: ACCOUFELT COLOUR: SHIRAZ - SH63 SERIES: SOLID PANEL THICKNESS: 12MM CONTACT: ROBIN WARD T: 447.244.0381 E: robin.ward@accoufelt.com
(WT1)	WALL TILE: WT1 - KITCHEN BACKSPLASH MANUFACTURER: OLYMPIA TILE SERIES: COLOUR & DIMENSION COLOUR: TENDER GREY BRIGHT SIZE: 5.3 CM X 21.8 CM PRODUCT CODE: QT.CD.TGR.0208.BR GROUT SPEC: MAPES TBC INSTALL METHOD: FROM TOP OF COUNTER TO U/S OF CEILING. REFER TO MILLWORK ELEVATIONS SUPPLIER/TEL:
(NIC)	AREA NOT IN CONTRACT (NIC)

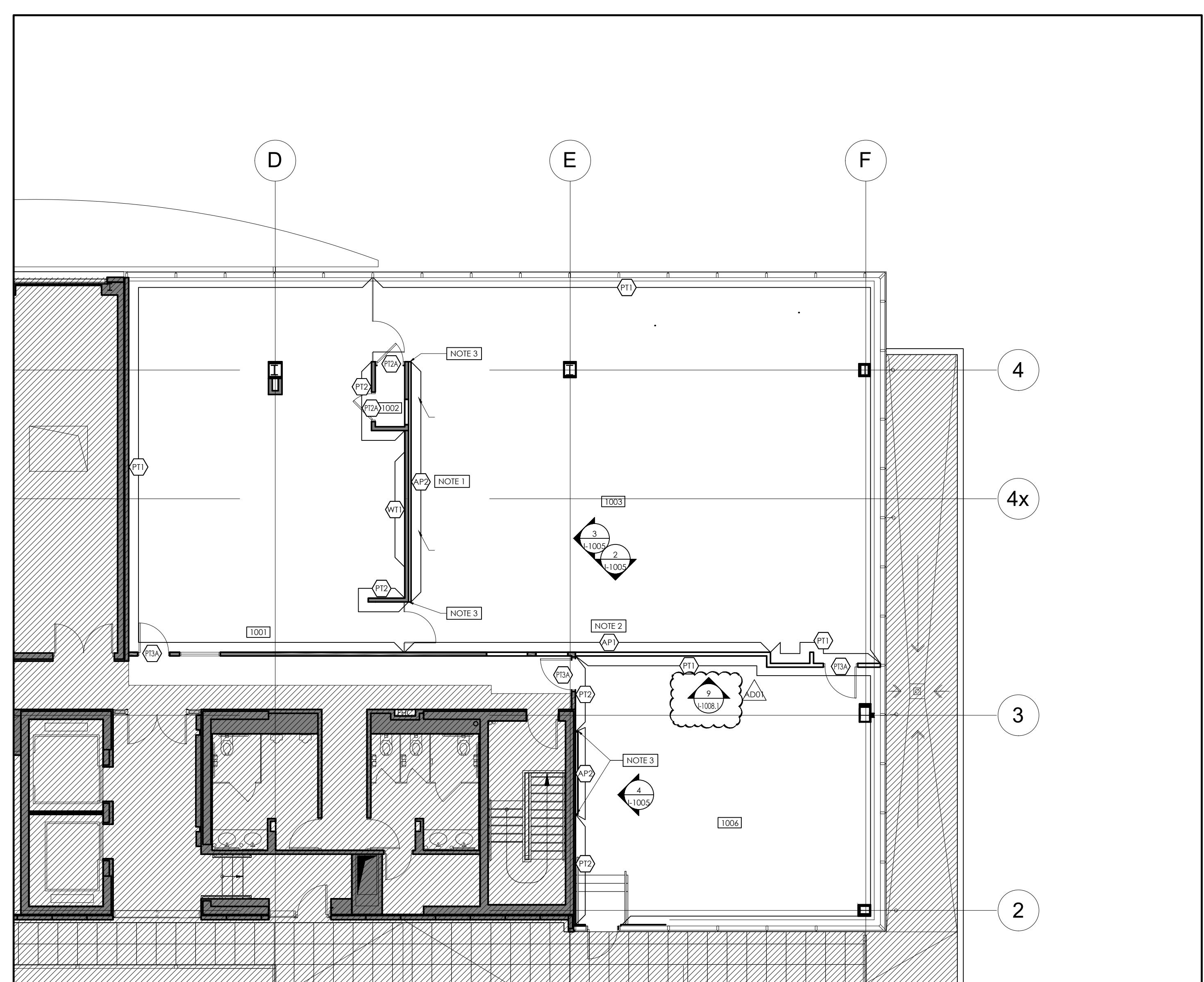
DRAWING NOTES

SYMBOL	DESCRIPTION
(NOTE 1)	CONTRACTOR TO COORDINATE EXTENT OF ACOUSTIC PANEL WITH AV CONSULTANT DRAWINGS. PROVIDE OPENING IN PANELS FOR INSTALLATION OF DISPLAY, BRACKETS AND OUTLETS.
(NOTE 2)	CONTRACTOR TO COORDINATE EXTENT OF ACOUSTIC PANEL WITH GLASSBOARD INSTALLATION. REFER TO ELEVATION 2/1007 FOR DIMENSIONS.
(NOTE 3)	CONTRACTOR TO ADD 1/2" X 1/2" BLACK CORNER ANGLE TO GUARD FROM DAMAGE.

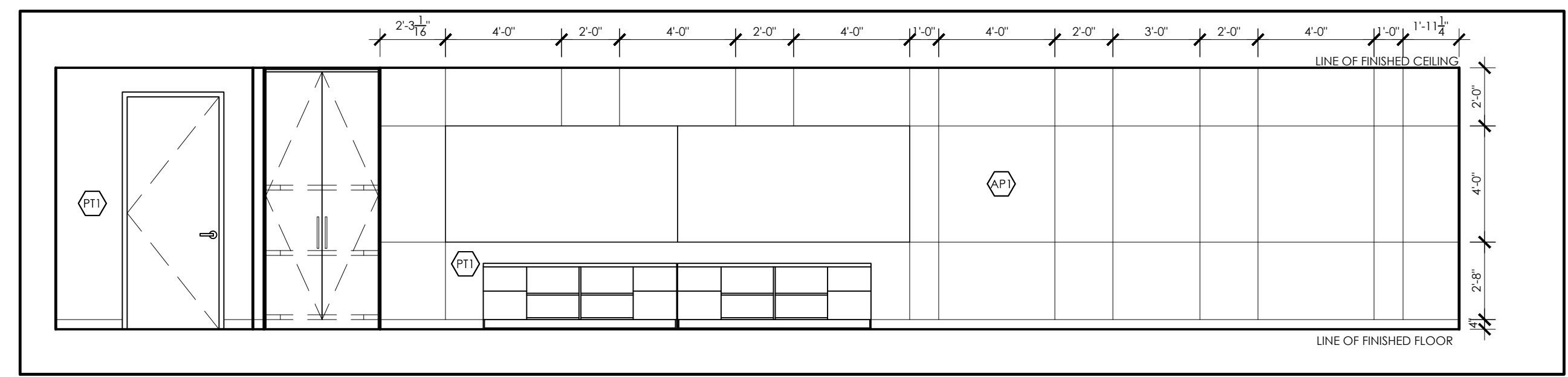
- WALL FINISH NOTES**
- CEILING HEIGHT: 9'-0"
 - THIS DRAWING & NOTES TO BE READ IN CONJUNCTION WITH GENERAL NOTES, REFER TO DRAWING #I-000.
 - THE ENTIRE DRAWING PACKAGE TO BE REFERENCED AND REVIEWED AS A WHOLE.
 - THIS DRAWING TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL ENGINEERS DRAWINGS AND SPECIFICATIONS.
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL CONSTRUCTION SPECIFICATIONS AND DOCUMENTS.
 - THE CONTRACTOR IS TO PROVIDE ALL MATERIALS, LABOUR, EQUIPMENT AND SERVICES AS NECESSARY FOR A SOLID INSTALLATION TO COMPLETE WORK AS INDICATED ON PLANS.
 - STORE ALL MATERIALS ON SITE IN A SPACE DESIGNATED BY THE LANDLORD, SUCH STORAGE SPACE TO BE KEPT CLEAN. REMOVE ANY OIL RAGS, WASTE ETC. FROM THE BUILDING EVERY NIGHT TO TAKE EVERY PRECAUTION TO AVOID THE DANGER OF FIRE. IN NO CASE SHALL AMOUNT OF MATERIALS EXCEED THAT PERMITTED BY LOCAL LAW.
 - ALL MATERIALS ARE TO BE AS SPECIFIED OR EQUAL. ANY ALTERNATIVES TO HAVE A FLAME SPREAD RATING AS REQUIRED BY LOCAL BUILDING CODE AND ARE SUBJECT TO APPROVAL BY DESIGNER/CLIENT.
 - THE CONTRACTOR IS TO CONFIRM ALL COLOURS, FINISHES AND MATERIALS SPECIFIED.
 - CONTRACTOR TO REMOVE ANY EXISTING WALL COVERING AND PREPARE FOR APPLICATION OF NEW FINISHES.
 - CONTRACTOR TO REMOVE ALL EXISTING APPLIED SIGNS, COVER PLATES, ETC., BEFORE PREPARING SURFACE FOR APPLICATION OF NEW FINISHES. REINSTALL SAME AS REQUIRED.
 - ALL SURFACES TO BE SANDED, FILLED AND PREPARED AS REQUIRED TO ACCEPT NEW FINISH.
 - IF PATCHING OF GWB OCCURS, ENTIRE WALL TO RECEIVE NEW SPECIFIED FINISH.
 - FINISHED WORK TO BE UNIFORM, OF APPROVED COLOUR, SMOOTH AND FREE FROM RUNS, SAGS, CLOGGING AND EXCESS FLOODING. MAKE EDGE OF PAINT ADJOINING OTHER COLOURS OR MATERIALS SHARP AND CLEAN WITH NO OVERLAPPING. WHERE GLASS ENAMEL IS USED, LIGHTLY SAND UNDERCOAT TO OBTAIN A SMOOTH FINISH.
 - AT COMPLETION CONTRACTOR TO PROVIDE TOUCH UP, RESTORE SURFACES WHERE DAMAGED AND LEAVE FINISHED SURFACES IN GOOD CONDITION.
 - WHEN ONE WALL FINISH IS INDICATED WITHIN ENCLOSED AREA, THIS FINISH MUST BE APPLIED TO ALL WALLS, INCLUDING VERTICAL BULKHEADS, PERIMETER WALLS AND COLUMNS, UNLESS NOTED OTHERWISE.
 - ALL WALLS TO BE P1, EGGSHELL FINISH, UNLESS NOTED OTHERWISE.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES TO SURFACES, FINISHES AND MATERIALS DUE TO THE WORK UNDER THIS CONTRACT, AND WILL BEAR ALL COSTS INCURRED TO MAKE GOOD, REPAIR OR REPLACE SAME TO DESIGNER'S SATISFACTION.
 - THE CONTRACTOR IS TO INCLUDE PAINTING OF METAL DOORS AND FRAMES. REFER TO DOOR SCHEDULE FOR SPECIFICATIONS.
 - PERIMETER CONVECTOR COVERS AND LINEAR DIFFUSER SURROUNDS TO BE PAINTED TO MATCH PTT FINISH UNLESS OTHERWISE NOTED.
 - INTERIOR FINISHES TO COMPLY WITH MAXIMUM THICKNESS, FLAME SPREAD RATINGS AND SMOKE DEVELOPED CLASSIFICATIONS AS IDENTIFIED IN SUBSECTIONS 3.1.5., 3.1.12, AND 3.1.13 OF DIVISION B OF 2012 OBC, INCLUDING BEING BASED ON TRIPPLICATE TESTING TO CAN/ULC S102 OR CAN/ULC S102.2 AS APPLICABLE. SUBMIT DOCUMENTATION TO BUILDING INSPECTOR UPON REQUEST.

- TILE WALL FINISH NOTES:**
- ALL SEAMS IN WALL TILE BASE ARE TO ALIGN WITH SEAMS IN FLOOR TILES. IF VARIANCE OCCURS, DISCUSS WITH THE DESIGNER ON SITE PRIOR TO INSTALLATION.
 - ALL GROUTING COMPOUND FOR FLOOR TILE APPLICATION ARE TO BE MADE WATERPROOF AS REQUIRED FOR INTENDED USAGE. REFER TO FLOOR FINISH LEGEND FOR GROUT COLOR.
 - THE CONTRACTOR IS TO REMOVE GROUT FROM TILE FACE BEFORE IT SETS. SEAL GROUT IMMEDIATELY AFTER SETTING TO PREVENT ANY STAINING.
- GREEN INITIATIVES:**
- ALL ADHESIVE AND SEALANTS MUST COMPLY WITH VOC LIMITS (AS PER SCAQMP RULE 11.68).
- SUGGESTED ZERO VOC LINES:
 BENJAMIN MOORE - AURA, BEN
 SHERWIN WILLIAMS - PROMAR 200 ZERO VOC, HARMONY, ECOSELECT ZERO VOC
 DULUX - ULTRA ZERO VOC
 BEHR - PREMIUM PLUS LOW VOC
 CL - PREMIUM
 OLYMPIC - PREMIUM
 SICO - PRO ZERO VOC
 PABA - PREMIUM ZERO
 PITTSBURGH - PURE PERFORMANCE ZERO VOC

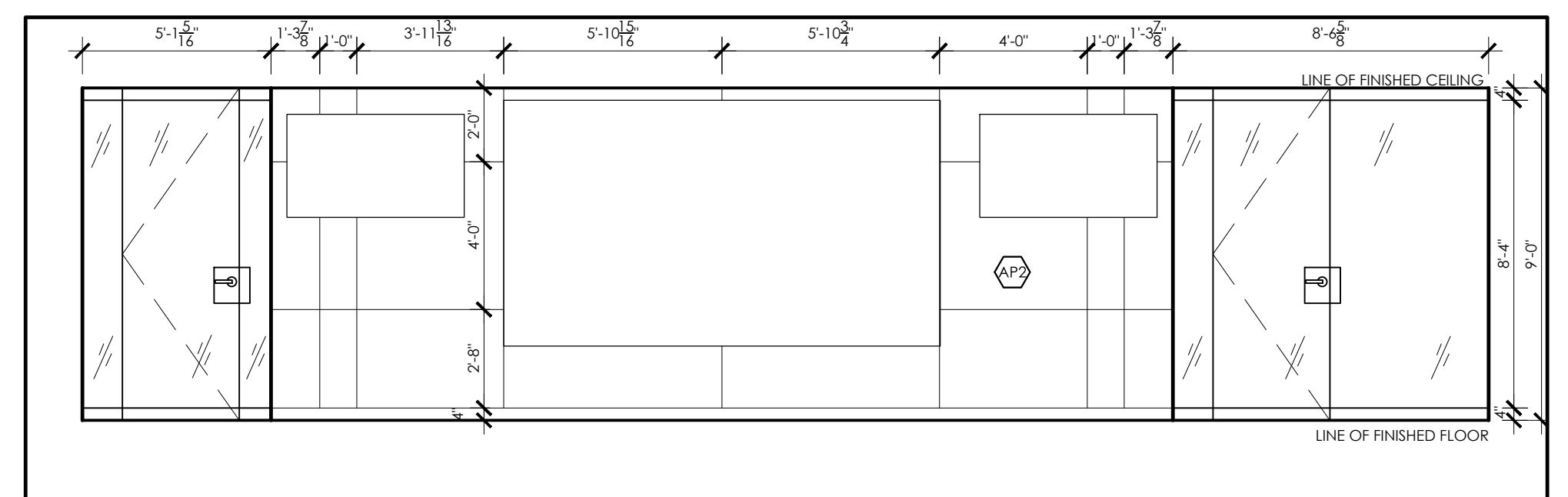
- ACOUSTIC PANEL:**
- GENERAL CONTRACTOR TO:
- BE RESPONSIBLE FOR DEFECTIVE ACOUSTIC PANEL APPLICATION DUE TO UNSATISFACTORY WALL SURFACE PREPARATION.
 - ENSURE SAME DYE LOT FOR ALL ACOUSTIC PANEL.
 - ROLL OUT WALL COVERING PRIOR TO INSTALLATION. CHECK FOR FLAWS AND INFORM DESIGNER IMMEDIATELY IF AN ALTERNATIVE IS REQUIRED.
 - INDICATE FLAME SPREAD AND FLAMMABILITY STANDARDS FOR ALL ACOUSTIC PANEL.
 - REMOVE DUST, DIRT AND GREASE AND SAND SURFACES SMOOTH BEFORE APPLYING ACOUSTIC PANEL.
- PAINT:**
- DELIVER ALL PAINT TO SITE IN THE MANUFACTURER'S LABELED AND SEALED CONTAINERS. LABELS ARE TO GIVE THE MANUFACTURER'S NAME BRAND, BATCH NUMBER, COLOUR OR PAINT WITH PRINTED INSTRUCTIONS FOR REPRODUCING. TRIM PAINT ONLY IN ACCORDANCE WITH PRINTED INSTRUCTIONS FROM MANUFACTURER.
 - ALL NEW SURFACES TO BE CLEAN, SMOOTH AND DRY. ALL WALLS TO RECEIVE MINIMUM ONE (1) COAT OF PRIMER AND TWO (2) COATS OF PAINT, MEDIUM AND/OR DARK COLOURED WALLS TO RECEIVE MINIMUM (1) COAT OF PRIMER AND FOUR (4) COATS OF PAINT. CONTRACTOR TO ALLOW FOR PROPER DRYING TIME FOR ALL COATS OF PAINT BEFORE APPLYING NEXT COAT OF PAINT.
- ALL GWB SURFACES: EGGSHELL FINISH
 PAINT TYPE: LATEX
 UNLESS NOTED OTHERWISE.
- ALL WOOD AND METAL SURFACES: SEMI-GLOSS FINISH
 PAINT TYPE: LATEX
- GENERAL CONTRACTOR TO ENSURE:
- ALL CLOSETS, INCLUDING SHELVES TO BE "P1" UNLESS NOTED OTHERWISE.
 - ALL CONVECTORS TO BE PAINTED (SPRAYED) WITH AN OIL BASED PAINT AS PER WALL FINISH PLAN. CONVECTOR UNIT COVERS TO BE REMOVED PRIOR TO PAINTING.
 - ALL BASE BUILDING FIRE HOSE CABINETS, ELECTRICAL PANELS ETC. TO BE PAINTED TO MATCH THE WALL FINISH ON WHICH THEY OCCUR.
 - ALL EXPOSED WALL GRILLES, PLATES, CONDUIT, ETC. TO BE PAINTED TO MATCH THE WALL FINISH ON WHICH IT OCCURS.
 - ALL REVEALS TO BE PAINTED AS PER WALL FINISH PLAN.
 - ALL NEW PRESSED STEEL FRAMES AND HOLLOW METAL DOORS TO BE AS PER WALL FINISH LEGEND.
 - ALL DOORS WITH TIMELY PRE-FINISHED FRAMES TO BE PAINTED SHOP FINISH
 - ALLOW FOR PAINT TOUCH-UPS AFTER MILLWORK AND FURNITURE INSTALLATION.



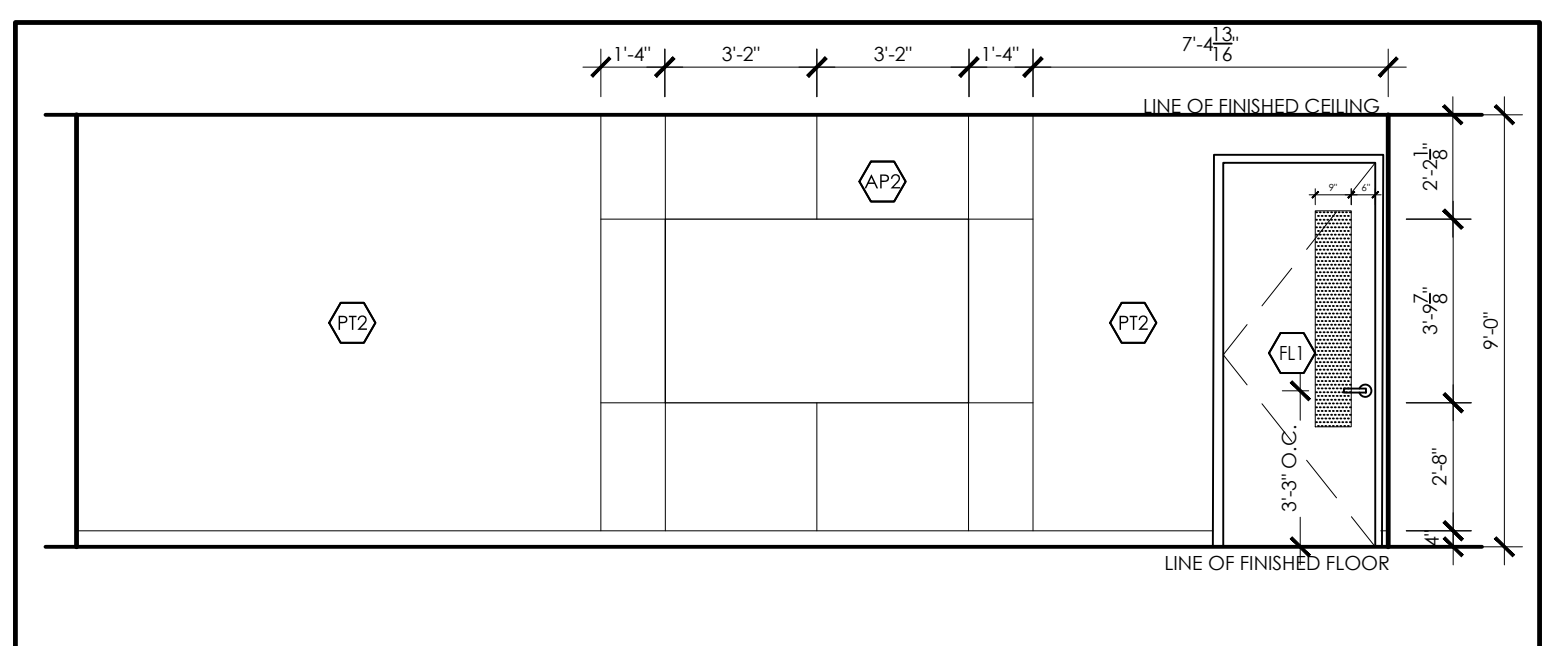
1 WALL FINISHES PLAN
 1/8" = 1'-0"



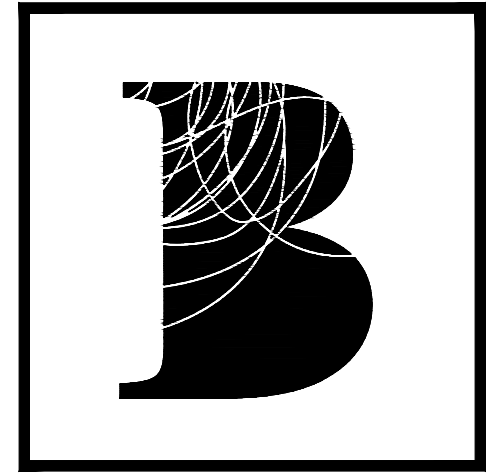
2 ACOUSTIC PANEL ELEVATION
 1/4" = 1'-0"



3 ACOUSTIC PANEL ELEVATION
 1/4" = 1'-0"



4 ACOUSTIC PANEL ELEVATION
 1/4" = 1'-0"



BENNETT

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10 Douglas Road
Uxbridge, ON. L9P 1S9
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bennettdesign.ca

GENERAL NOTES
THIS DRAWING IS THE PROPERTY OF BENNETT DESIGN ASSOCIATES INC. AND CANNOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.
ALL MEASUREMENTS MUST BE VERIFIED ON SITE BY CONTRACTOR AND REPORT ANY DISCREPANCIES TO BENNETT DESIGN ASSOCIATES INC. BEFORE PROCEEDING WITH THE WORK.
DO NOT SCALE DRAWINGS.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code.

J. J. TOROK Signature BCIN 25552
Name Signature BCIN/BCDN

REGISTRATION INFORMATION
Required unless design is exempt under Division C - 3.2.4.1 of the 2012 Ontario Building Code.

BENNETT DESIGN ASSOCIATES INC. BCIN 30635
Firm Name BCIN/BCDN

01 12SEP24 AH ISSUED FOR TENDER ADDENDUM

REVISIONS

03 29AUG24 AH ISSUED FOR PERMIT

02 16AUG24 AH ISSUED FOR TENDER

01 08AUG24 AH ISSUED FOR 90% REVIEW

ISSUED

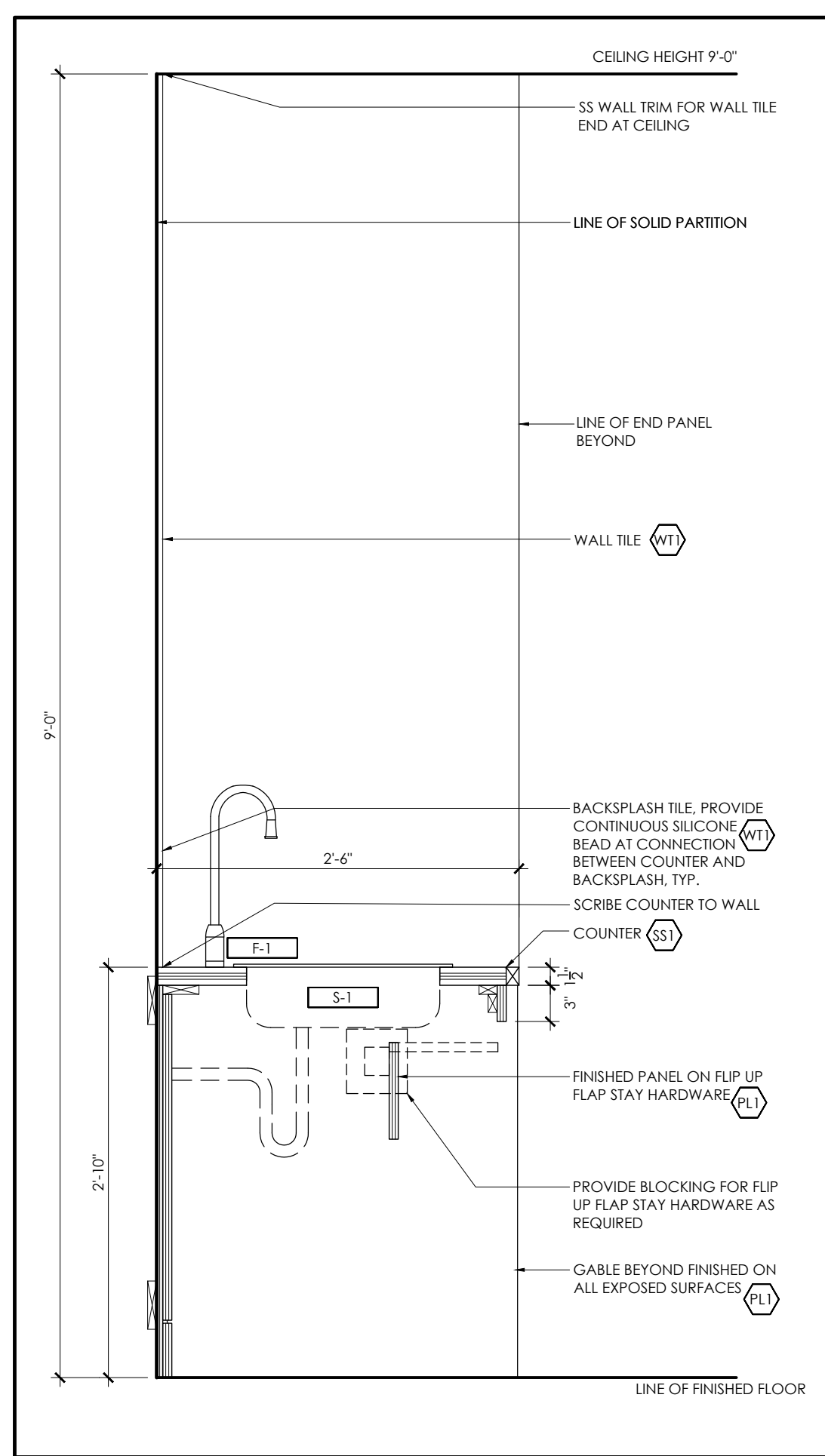


Project title
MPAC
1340 PICKERING PKWY
10TH FLOOR
PICKERING, ON

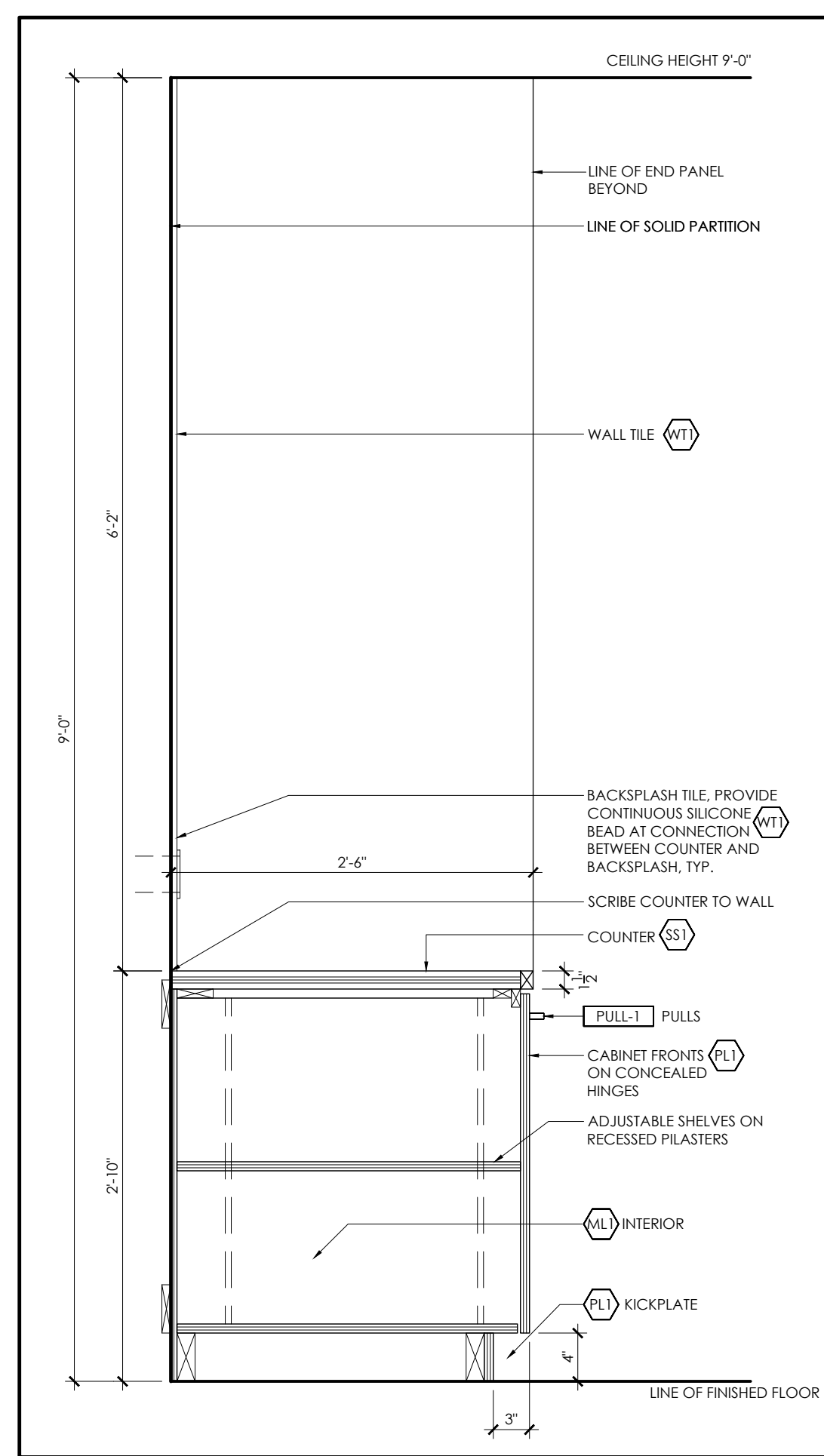
Drawing title

MILLWORK DETAILS

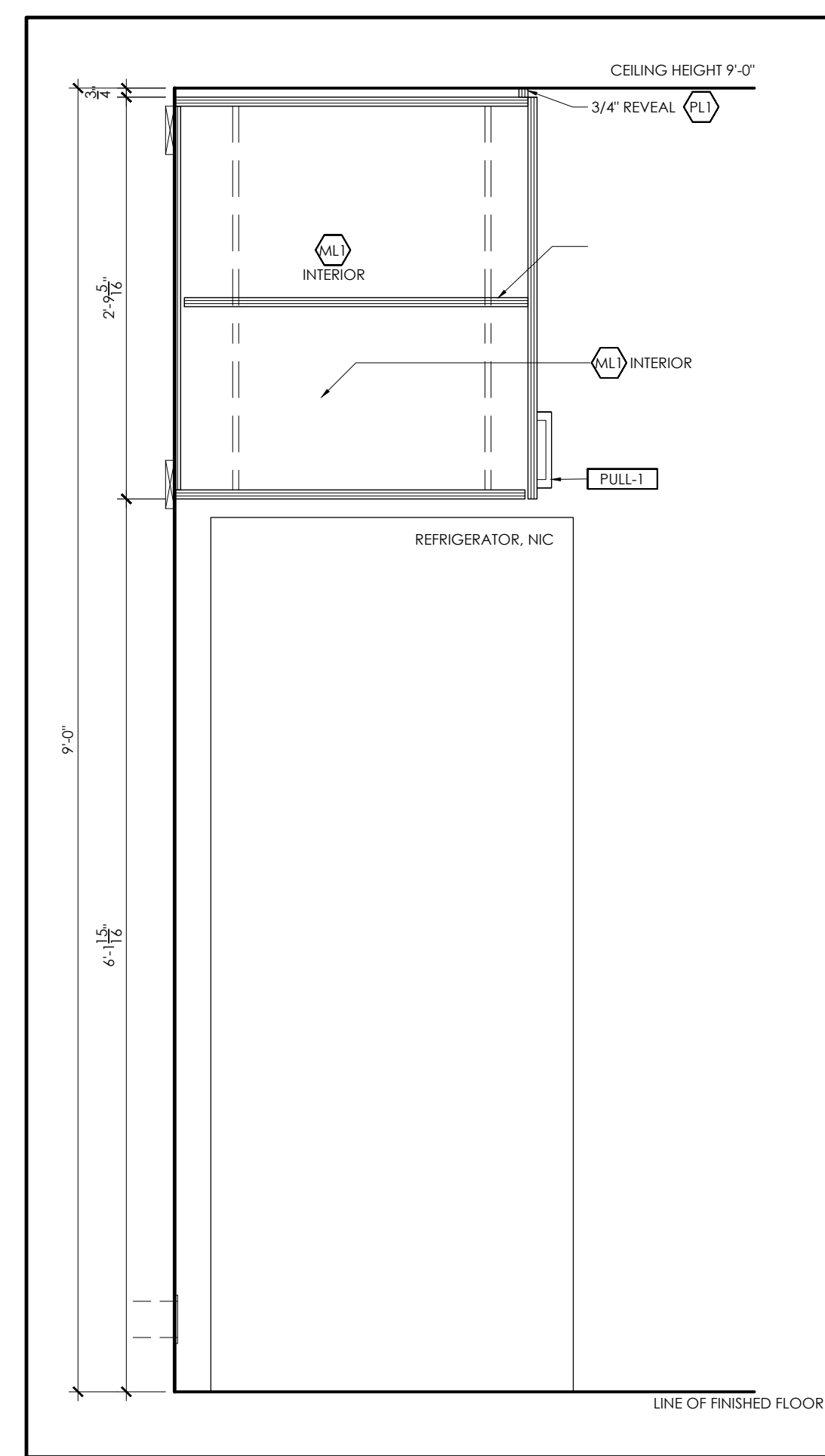
date 14FEB24 project no. 24-1008
drawn by JC cad file: 24-1008_1-1008
checked by AH drawing no.
scale 1/8"=1'-0" I-1008.1



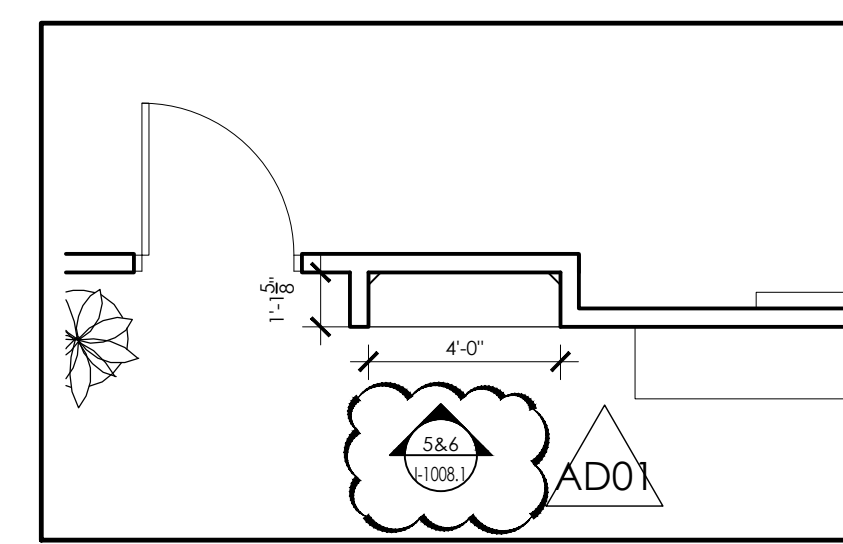
1 SECTION:
1/4" = 1'-0"



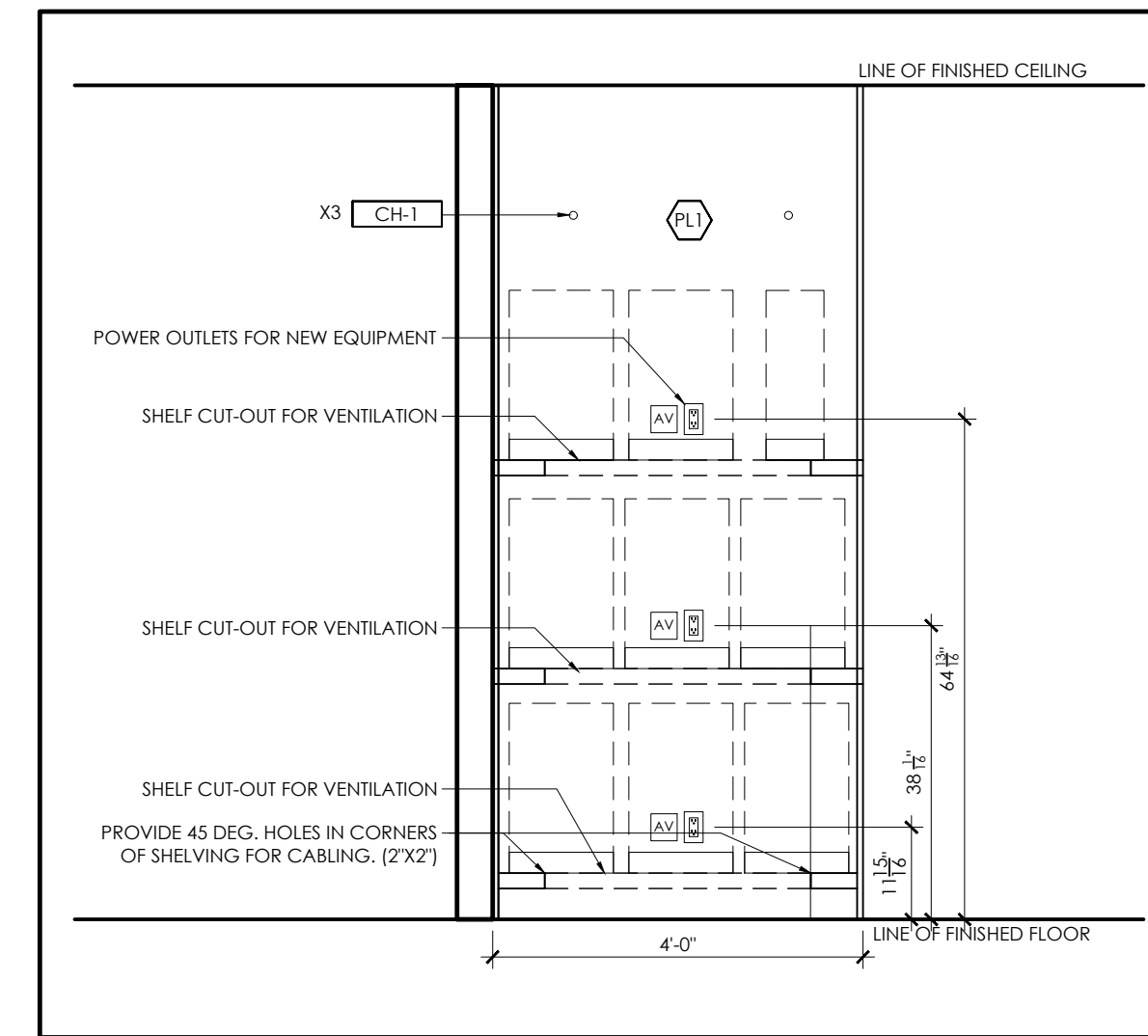
2 SECTION:
1" = 1'-0"



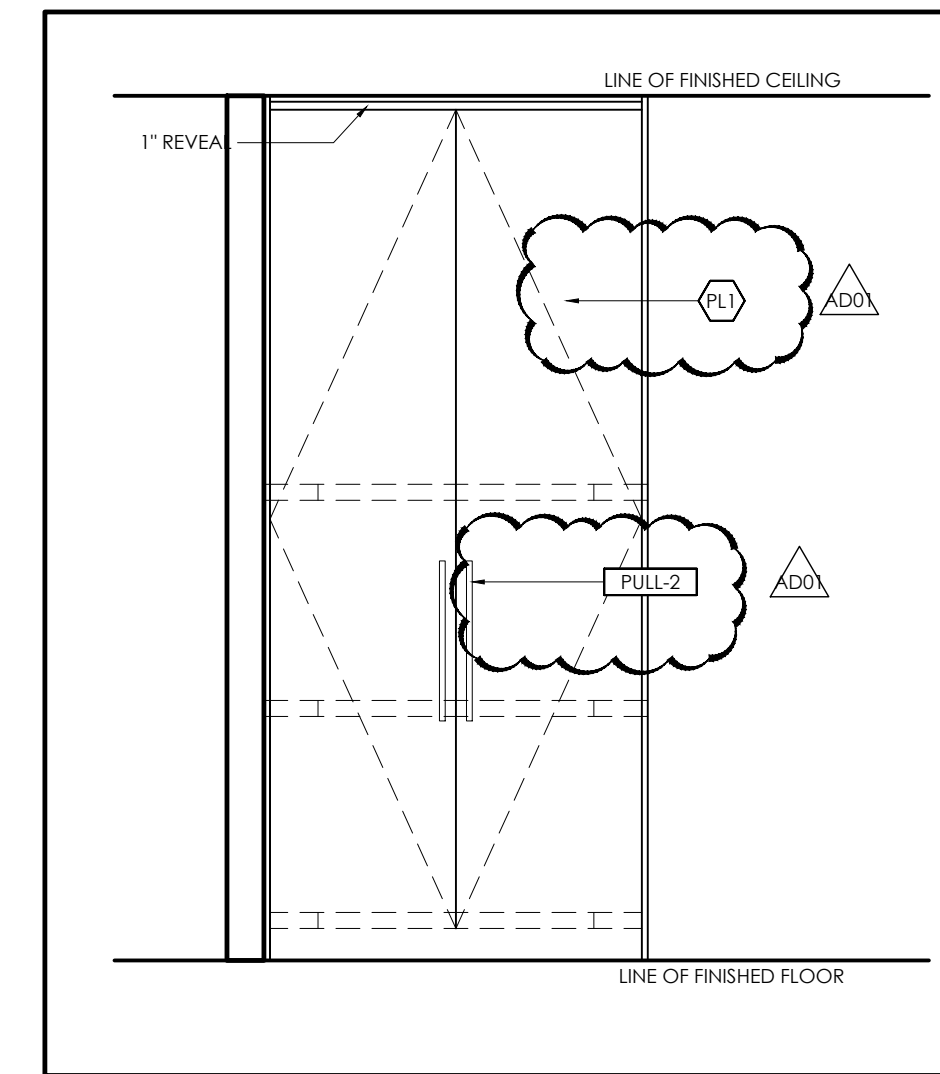
3 SECTION:
1" = 1'-0"



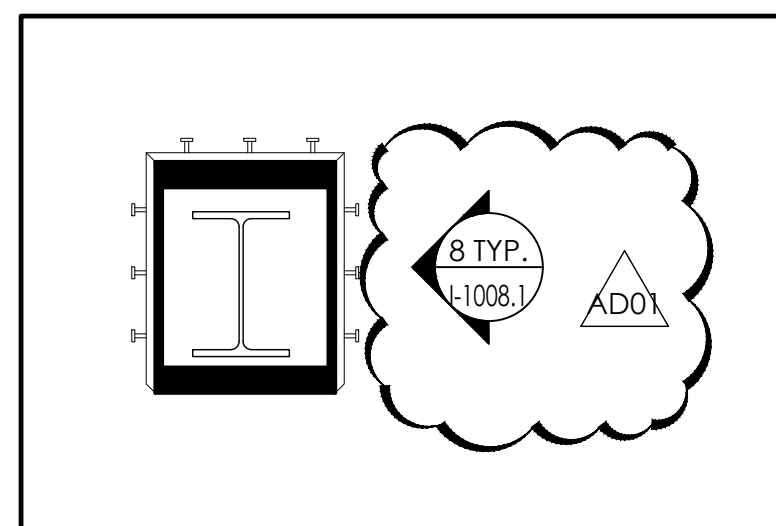
4 PLAN: AREA
1/4" = 1'-0"



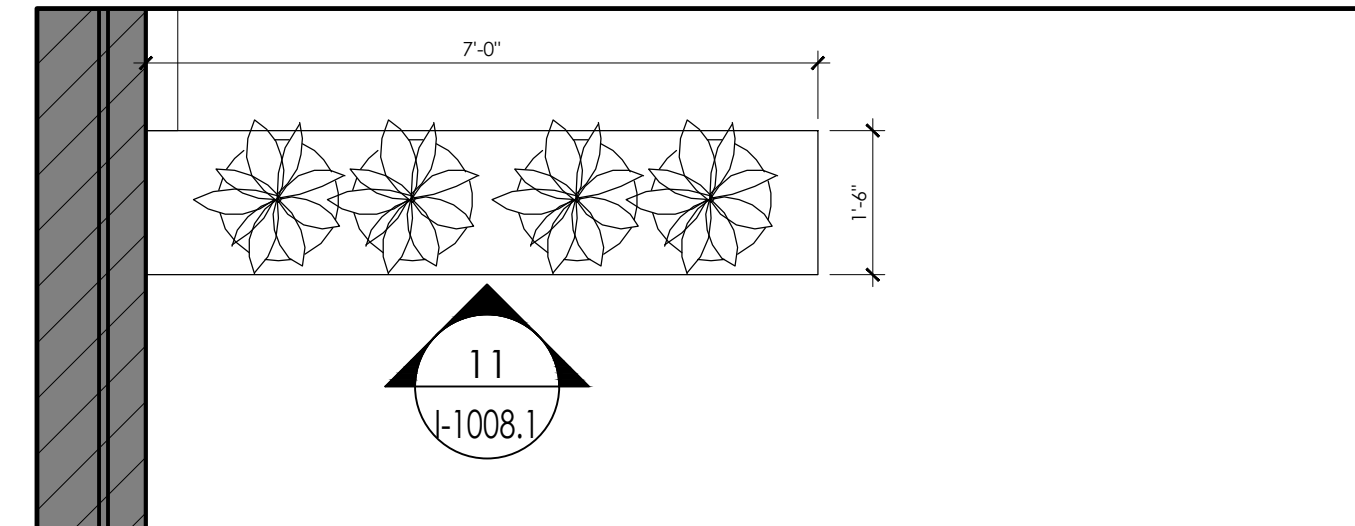
5 ELEVATION: DOOR OPEN
1/2" = 1'-0"



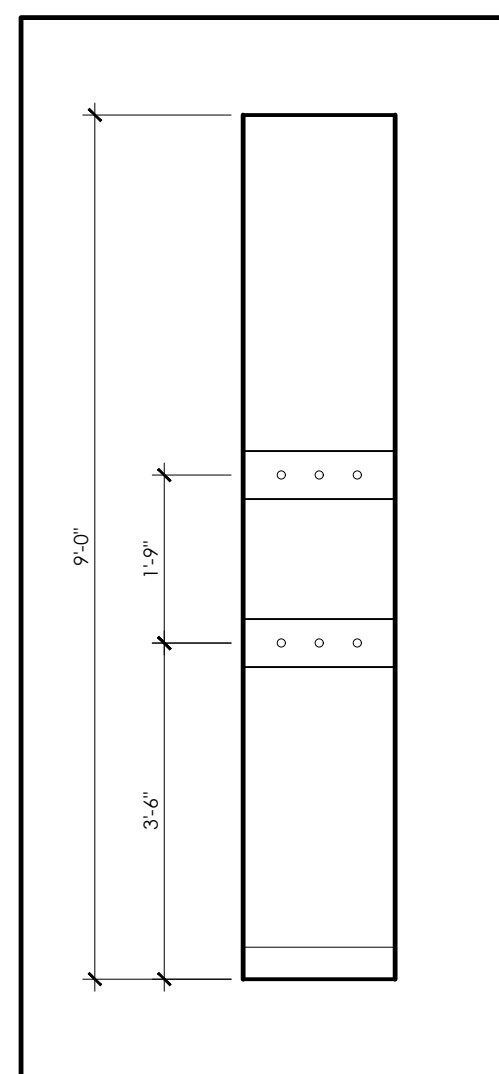
6 ELEVATION: DOOR CLOSED
1/2" = 1'-0"



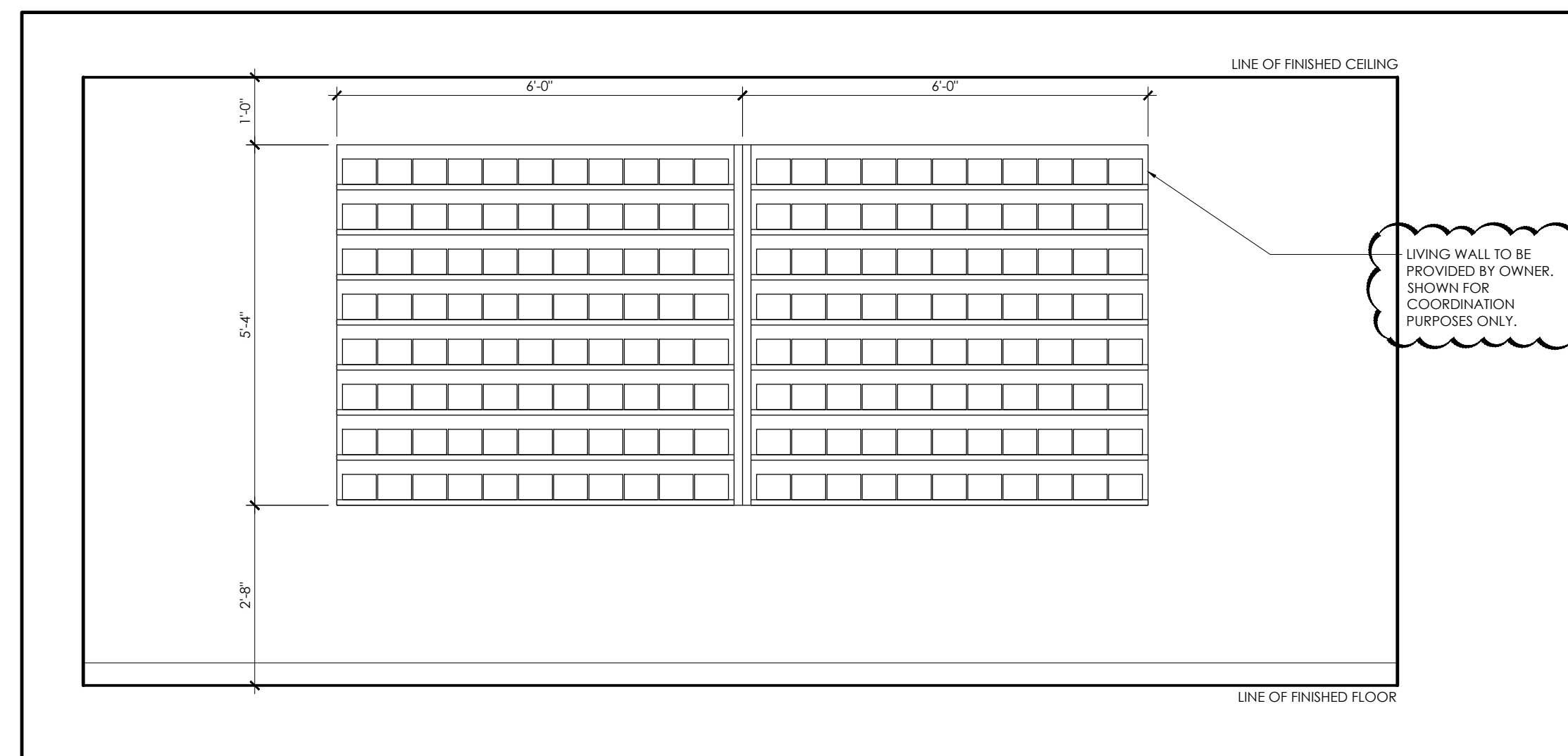
7 PLAN: AREA
1/4" = 1'-0"



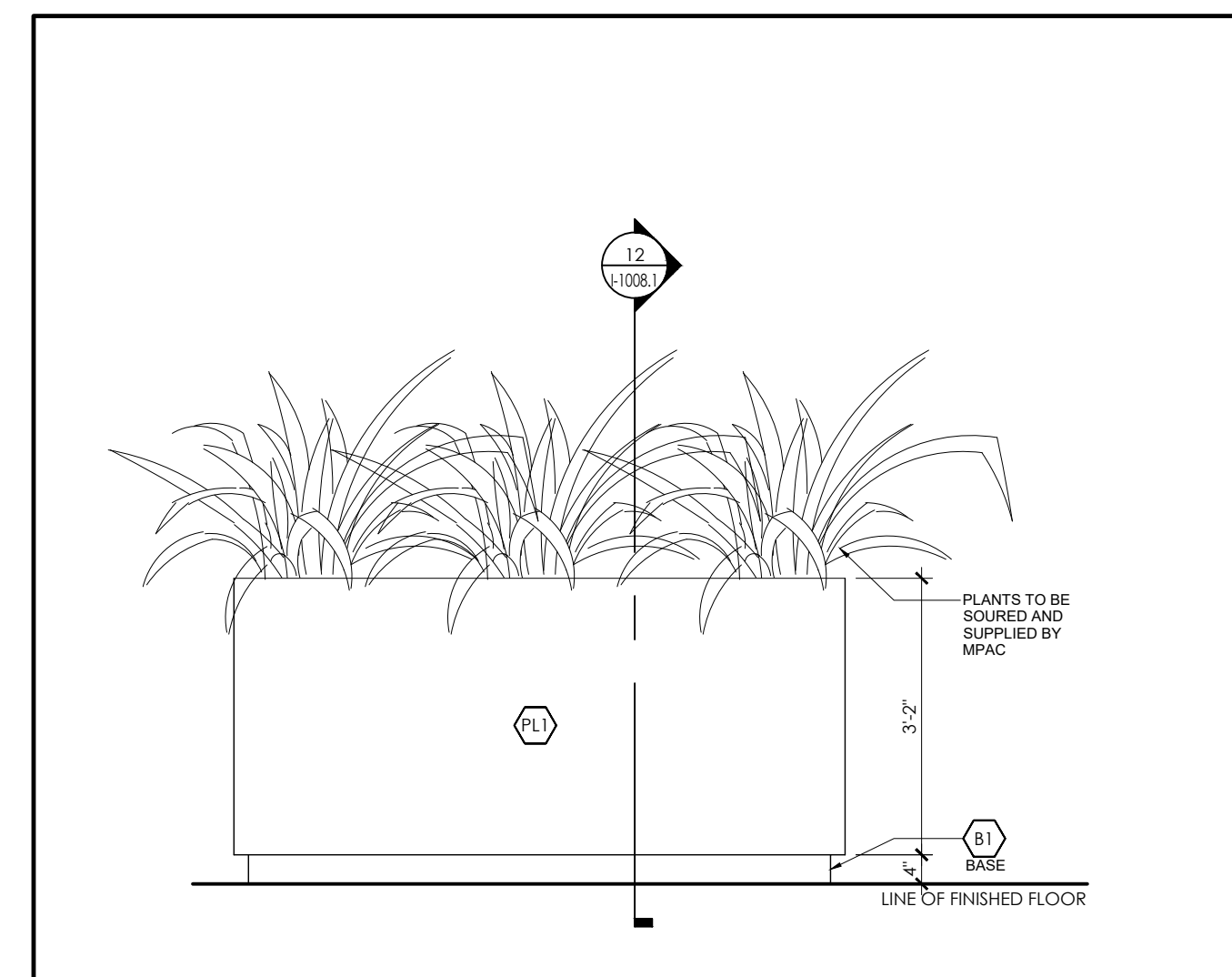
10 PLAN: AREA
1/4" = 1'-0"



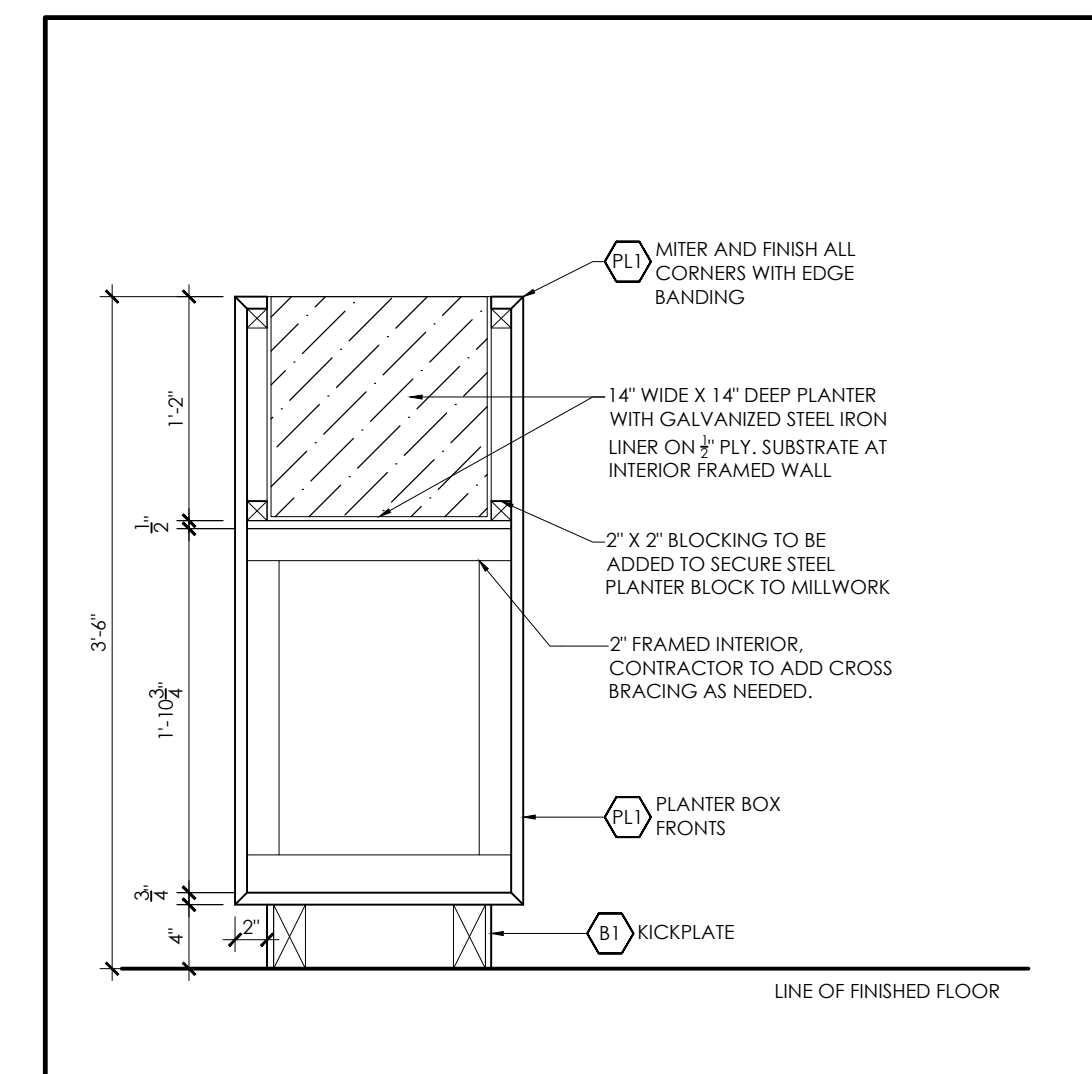
8 ELEVATION:
1/2" = 1'-0"



9 ELEVATION: LIVING WALL
1/2" = 1'-0"



11 ELEVATION:
1/2" = 1'-0"



12 SECTION:
1" = 1'-0"