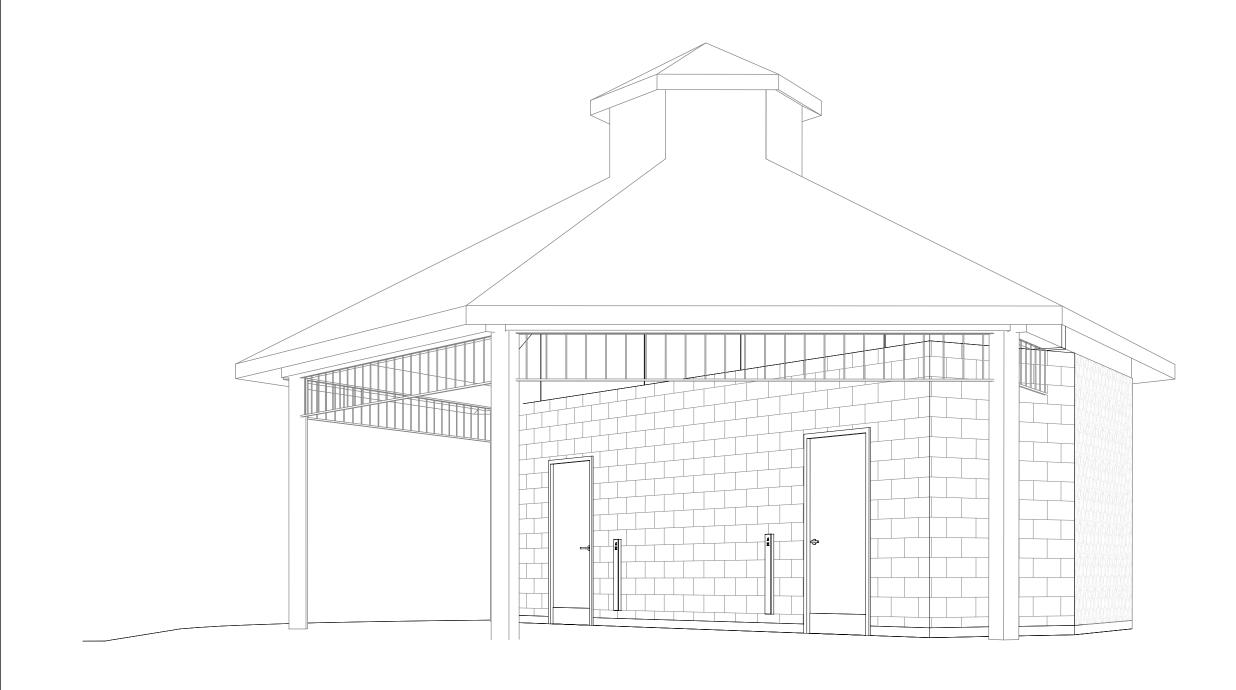
DENNISON PARK WASHROOMS

70 LEARMONT AVENUE, CALEDON ON L7C 3P2



LIST OF DRAWINGS:

ARCHITECTURAL

A-001 COVER SHEET

2 PROJECT GENERAL NOTES AND CODE MATRIX

100 SITE PLAN, HOARDING AND DEMOLITION PLANS

101 FLOOR PLAN, CEILING PLAN, AND ROOF PLAN

ROOF PLAN
A-102 FINISHES PLAN AND NOTES

A-200 EXTERIOR ELEVATIONS
A-300 BUILDING SECTIONS

A-301 WALL SECTIONS
A-400 PLAN & SECTION DETAILS

-500 INTERIOR ELEVATIONS

ELECTRICAL AND MECHANICAL

ELECTRICAL LEGEND & SPECIFICATION

E2 ELECTRICAL PLAN
M1 MECHANICAL LEGEND &

SPECIFICATION
M2 PLUMBING PLAN

M3 HVAC PLAN

STRUCTURAL

GENERAL NOTES 16185-1 SITE DEVELOPMENT PLAN

CIVIL

FOUNDATION PLAN, FRAMING PLANS & SECTIONS

CLIENT:

TOWN OF CALEDON 6311 OLD CHURCH ROAD CALEDON ON, L7J 1J6

CONSULTANTS:

ARCHITECTURAL

FABRIK ARCHITECTS
58 Grand Avenue South, Unit 201
Cambridge ON, N1S 5C3
T. 519-743-0608
E. info@fabrikarchitects.ca
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ELECTRICAL AND MECHANICAL

ROOT3 ENGINEERING 1920 Yonge St, Suite 200 Toronto, ON M4S 3E2 T. 437-562-6772 E. info@root3.ca

STRUCTURAL

WITZELDYCE 826 King St. N., Unit 20 Waterloo ON< N2J 4G8 T. 519-594-0182 Ext. 216 E. bdyce@witzeldyce.com www.witzeldyce.com

CIVIL

J H COHOON ENGINEERING LIMITED 440 Hardy Road, Unit 1 Brantford ON, N3T 5L8 T. 519-753-2656



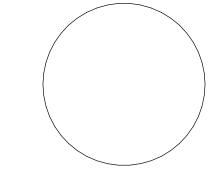
GENERAL PROJECT NOTES

- 1. THE FOLLOWING GENERAL NOTES SHALL APPLY TO ALL DRAWINGS AND GOVERN UNLESS OTHERWISE NOTED OR SPECIFIED.
- 2. ANY DISAGREEMENTS, CONFLICTS AND DISCREPANCIES BETWEEN CONSULTANT'S DOCUMENTS SHALL BE REPORTED TO FABRIK ARCHITECTS INC FOR CLARIFICATION AND INTERPRETATION PRIOR TO COMMENCEMENT OF WORK.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS ON SITE AND ON DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. FAILURE TO DO SO WILL BE AT THE CONTRACTOR'S EXPENSE.
- 4. REQUEST ANY ADDITIONAL INFORMATION REQUIRED TO PROPERLY COMPLETE THE WORK. ALL REQUESTS FOR INFORMATION SHALL BE IN WRITING AND FORWARDED TO THE ARCHITECT.
- 5. THE WORK DELINEATED IN THESE DRAWINGS SHALL CONFORM TO CODES, STANDARDS AND REGULATIONS THAT HAVE JURISDICTION IN THE PROVINCE OF ONTARIO AND CITY OF CAMBRIDGE.
- 6. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL COMPLY WITH THE APPROPRIATE MUNICIPAL AND REGULATORY AGENCIES, SHALL BE RESPONSIBLE FOR FILING FOR AND SECURING NECESSARY PERMITS AND APPROVALS FOR ALL TRADES, AND SHALL COMPLY WITH THE INSTRUCTIONS OF THE CONSTRUCTION DOCUMENTS.
- 7. SUBMIT ALL NECESSARY SHOP DRAWINGS PRIOR TO FABRICATION FOR APPROVAL BY ARCHITECT AND ENGINEERS. NO INFORMATION OR DETAILS ON THESE SHEETS MAY BE USED ON OTHER PROJECTS WITHOUT THE PERMISSION OF ARCHITECT.
- 8. ALL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ARCHITECT PRIOR TO ORDER PLACEMENT.
- 9. IN CASE OF AMBIGUITIES, DISCREPANCIES, OR IRREGULARITIES IN THE CONSTRUCTION DOCUMENTS, MANUFACTURER'S INSTRUCTIONS, SITE CONDITIONS, OR APPLICABLE CODES AND STANDARDS; REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING. THE COST OF WORK DONE AS A RESULT OF PROCEEDING WITHOUT OBTAINING CLARIFICATION WILL BE BORNE SOLELY BY THE CONTRACTOR.
- 10. DO NOT SCALE OFF OF DRAWINGS. CONTACT ARCHITECT FOR ADDITIONAL INFORMATION IF REQUIRED.
- 11. THE CONTRACTOR SHALL SUPPLY AND MAINTAIN A COPY OF THE LATEST SET OF CONSTRUCTION DRAWINGS AT THE JOB SITE AT ALL TIMES.
- 12. UNLESS OTHERWISE SHOWN OR NOTED, TYPICAL DETAILS SHALL BE USED WHERE APPLICABLE.
- 13. SAFETY MEASURES: THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF THE PERSONS AND PROPERTY AND FOR INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. THE ARCHITECT'S OR ENGINEER'S SITE REVIEW IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- 14. ALL WORK IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- 15. THE TERM "CONTRACTOR" AND "G.C." REFER TO THE OWNER'S GENERAL CONTRACTOR. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DETERMINE DIVISION OF WORK AMONG SUB-CONTRACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS, ADDENDUMS, RFI RESPONSES, CHANGE ORDER REQUESTS, ETC. TO ALL TRADES UNDER HIS/HER JURISDICTION.
- 16. THE OWNER RESERVES THE RIGHT TO MAKE CHANGES IN THE DRAWINGS AND SPECIFICATIONS AS THE WORK PROGRESSES. CHANGE ORDERS, DRAWINGS, SPECITIATIONS, OR INSTRUCTIONS COVERING USCH CHANGES WILL BE ISSUED TO THE CONTRACTOR WHOSE RESPONSIBILITY WILL BE TO DISTRIBUTRE TO TRADES FOR PRICING. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL TRADES WITH WORK RELATED TO A CHANGE PROVIDE PRICING PRIOR TO SENDING TOTAL COST TO OWNER AND ARCHITECT FOR REVIEW AND APPROVAL.
- 17. ALL CONSTRUCTION LABORERS PERFORMING UNDER THIS WORK SHALL BE SKILLED WORKERS WITHIN THEIR RESPECTIVE TRADES.
- 18. REGARDING CONTRACTOR'S USE OF PREMISES. TIME RESTRICTIONS FOR PERFORMING WORK ARE TO BE VERIFIED WITH THE OWNER AND ALL UTILITY OUTAGES AND SHUTDOWNS SHALL BE
- 19. COMMENCEMENT OF WORK IMPLIES ACCEPTANCE OF THE EXISTING CONDITIONS AND NO EXTRA CLAIMS BASED ON THESE CONDITIONS WILL BE PERMITTED.
- 20. THE CONTRACTOR IS RESPONSIBLE TO CLEAN UP AND REMOVE FROM THE PREMISES ALL WASTE MATERIALS, RUBBISH, WRAPPINGS, AND SALVAGES AS GENERATED BY THE CONSTRUCTION, DEMOLITION AND/OR DELIVERY AND INSTALLATION OF ANY PRODUCTS, MATERIALS, OR EQUIPMENT WHICH IS PART OF THEIR CONTRACT ON A REGULAR BASIS THROUGHOUT THE COURSE OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING PROFESSIONAL CLEANERS TO CLEAN THE SPACE PRIOR TO SUBSTAINTIAL COMPLETION REVIEW UNLESS OTHERWISE NOTED.
- 21. ALL MATERIALS AND EQUIPMENT SPECIFIED SHALL BE SUPPLIED, INSTALLED, CONNECTED, REECTED, CLEANED, AND CONDITIONED AS DIRECTED BY THE SUPPLIER / MANUFACTURER, IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARD PRACTICE AND IN COMPLIANCE WITH PRODUCT WARRANTY.
- 22. CONTRACTOR SHALL REVIEW DSS REPORT SUPPLIED BY CLIENT AND PROVIDE ABATEMENT SERVICES AS INDICATED IN DRAWINGS AND SPECIFICATIONS AS REQUIRED AND IN CONFORMANCE WITH ALL APPLICABLE CODES AND STANDARDS.

Name of Practice: Fabrik Architects Inc. 135 George Street N., Suite 101 Cambridge Ontario

Name of Project:

Location:



		Ontario's Building Code Data Matrix Part 11 - Renovation of Existing Buildings	Buil Co Refe
11.00	Building Code Version:	O.Reg. 332/12	
11.01	Project Type:	☐ Addition ☐ Renovation ■ Addition and Renovation ☐ Change of Use Description:	[A]1.1.2.
11.02	Major Occupancy Classification:	Occupancy: Use GROUP A, DIV 3	3.1.2.1.(
11.03	Superimposed Major Occupancies:	■ No □ Yes □ N/A Description:	3.2.2.7.
11.04	Building Area (m²)	Existing New Total 18.2 m ² 15.7 m ² 33.9 m ²	[A]1.4.1.
11.05	Building Height	Storeys Above Grade (m) Above Grade Storeys Below Grade	[A]1.4.1. 3.2.1.1.
11.06	Number of Streets/ Firefighter access	1 Street(s)	3.2.2.10
11.07	Building Size	■ Small □ Medium □ Large □ ≥ Large	T.11.2.1
11.08	Existing Building Classification:	Construction in Major Occupancy: Yes N/A (no change of major occupancy) Construction Index: Hazard Index: Importance Category: Low Normal High Post-Disaster	11.2.1.1. T.11.2.1. T.11.2.1. 4.2.1.(3) 5.2.2.1.(
11.09	Renovation Type:	☐ Basic Renovation ☐ Extensive Renovation	11.3.3.1
		Type (Persons)	
11.11	Plumbing Fixture Requirements	Ratio : Male/Female = 50 : 50, except as noted otherwise Floor Level / Area Occupant OBC Fixtures Fixtures Load Reference Required Provided	9.31. & 3
		LEVEL 1	
11.12	Barrier-free Design:	·	11.3.3.2.
11.12		LEVEL 1 YES Explanation:	11.3.3.2. 11.4.2.1. 11.4.2.2. 11.4.2.3. 11.4.2.4. 11.4.2.5. 11.4.2.6.
	Design: Reduction in	LEVEL 1 YES Explanation: NO Structrural: By Increase In Occupant Load: By Change of Major Occupancy: Plumbing: No Yes Plumbing: No Yes No Yes Plumbing: No Yes No Yes Plumbing: No Yes	11.4.2.1. 11.4.2.2. 11.4.2.3. 11.4.2.4. 11.4.2.5. 11.4.2.6. 11.4.3.1. 11.4.3.2. 11.4.3.3. 11.4.3.4. 11.4.3.5. 11.4.3.6.
11.13	Design: Reduction in Performance level: Compensating	VES Explanation:	11.4.2.1. 11.4.2.2. 11.4.2.3. 11.4.2.4. 11.4.2.5.





KEY PLAN

2024.09.10 | 5 | TENDER R1 2024.09.05 4 PERMIT R1 2024.03.06 | 3 | TENDER & PERMIT_R1 2023.07.28 2 TENDER & PERMIT 2023.05.17 | 1 | CLIENT REVIEW DATE ISSUED

> PROJECT NAME **DENNISON PARK**

TOWN OF CALEDON

WASHROOMS

www.fabrikarchitects.ca 58 Grand Avenue South, Unit 201, Cambridge ON, N1S 5C3 T. 519-743-0608 | info@fabrikarchitects.ca



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SHEET TITLE

PROJECT GENERAL NOTES AND CODE MATRIX

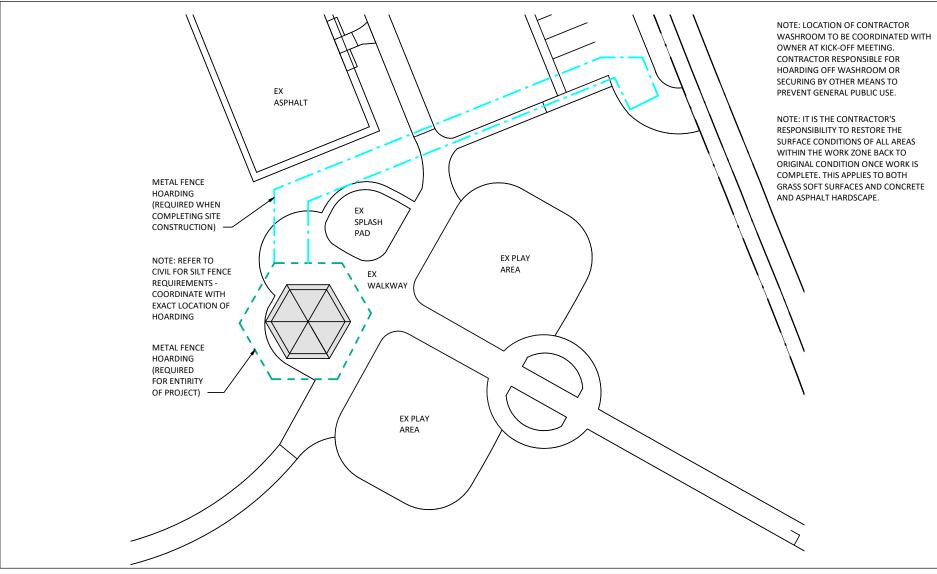
PROJECT No. 22023 SCALE O ARCHITECTS 2 Elisia Reves. ELISIA M. G. NEVES LICENCE 8599

CHECKED Approver

DRAWN

12" = 1'-0"

Author

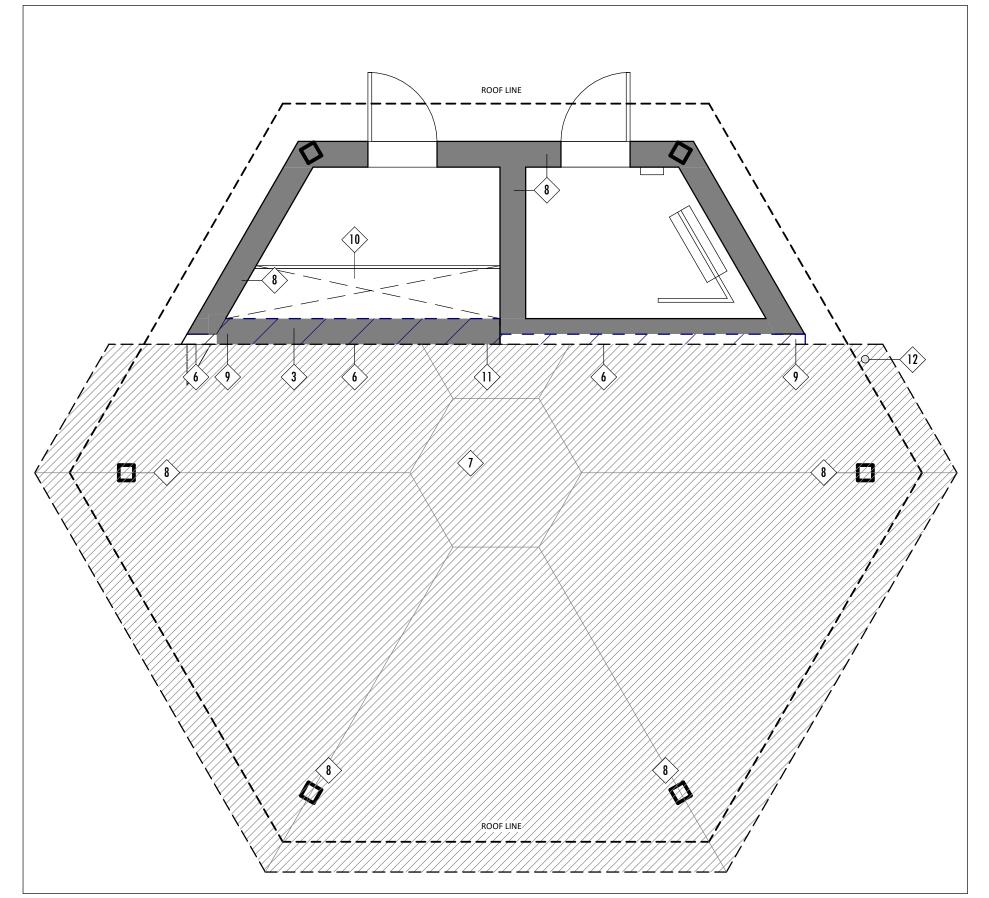


SITE PLAN AND HOARDING PLAN

SCALE: 1 : 500

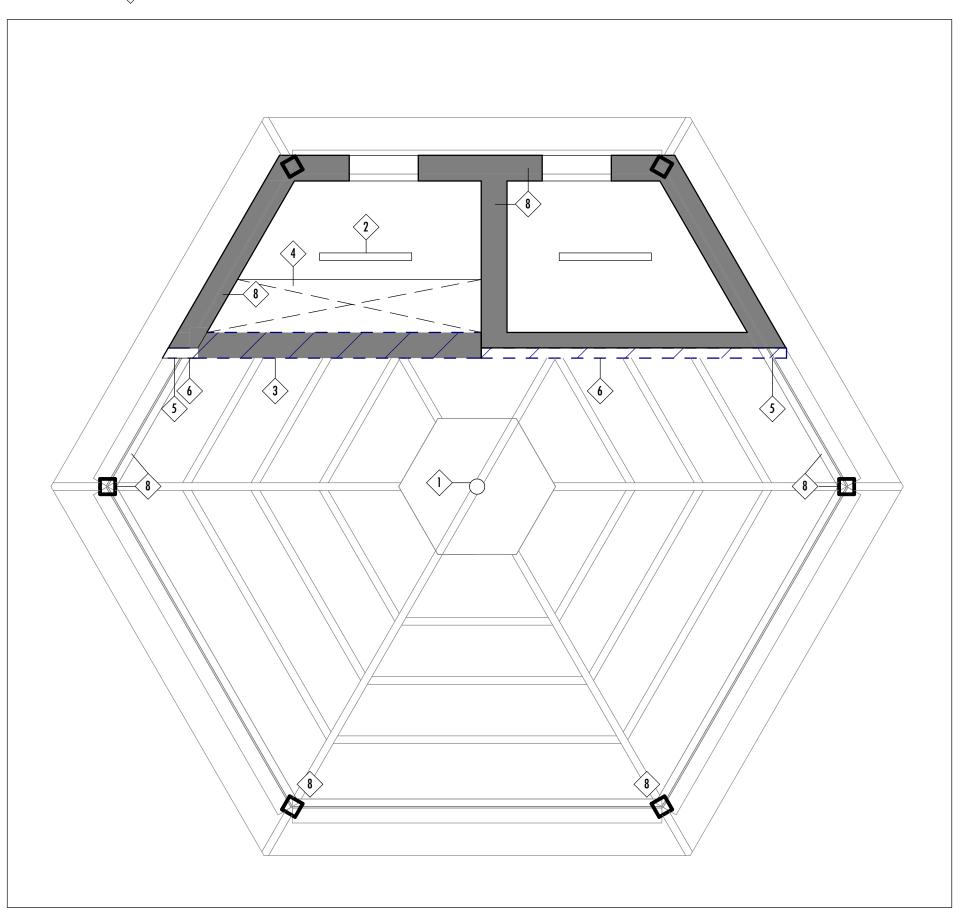
DEMOLITION NOTES

- (1) REMOVE EXISTING LIGHTS
- 2 REMOVE EXISTING LIGHT SALVAGE FOR REINSTALLATION SEE REFLECTED CEILING PLAN
- REMOVE PORTION OF EXISTING WALL AND FOUNDATION
- REMOVE PORTION OF EXISTING CEILING
- CUT END OF EXISTING DECORATIVE UPPER FASCIA AS REQUIRED TO END AT NEW WALLS. PROVIDE NEW CONTINUOUS VERTICAL AT END TO MATCH EXISTING CONDITIONS. REFER TO DRAWING 3 AND 4 ON SHEET A200.
- REMOVE EXISTING STONE VENEER SALVAGE COORDINATE STORAGE AND / OR REMOVAL WITH OWNER. EXISTING MASONRY BACKUP TO REMAINING. CLEAN AND PREP FOR NEW SURFACE FINISH.
- REMOVE EXISTING CONCRETE SLAB ON GRADE AND SOIL AS REQUIRED TO COMPLETE NEW WORK SAFELY AND EFFICIENTLY. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF WASTE OFF SITE IN ACCORDANCE WITH PROVINCIAL AND AHJ STANDARDS. SLAB CUTS SHALL BE STRAIGHT AND SHALL BE LOCATED SYMMETICALLY FOR CLEAN VISUAL APPEARANCE. COORDINATE WITH ARCHITECT.
- 8 PROTECT EXISTING STRUCTURE TO REMAIN (TYP.)
 - 9 EXISTING CONCRETE STUB WALL. EXISTING TO REMAIN SHALL BE CLEANED AND COORDINATE WITH NEW WORK. CONCRETE STUB WALL SHALL BE REMOVED AT EXTERIOR CORNERS AND ALONG LENGTH OF REMOVED WALL AS REQUIRED FOR COMPLETION OF NEW WORK. COORDINATE IN THE FIELD.
 - (10) REMOVE PORTION OF EXISTING CONCRETE FLOOR AS REQUIRED FOR NEW WALL AND FOUNDATION WORK.
 - REMOVE EXISTING SIGNAGE. TEMPORARILY INSTALL OUTSIDE OF CONSTRUCTION AREA ADJACENT TO SPLASH PAD IN PUBLICLY VISIBLE LOCATION. REINSTALL ON BUILDING CONSTRUCTION IS COMPLETE. REFER TO DRAWING 1/A200.
 - (12) EXISTING TOWN OF CALEDON BENCHMARK. PROTECT DURING PROJECT. REPAIR IF DAMAGED DURING CONSTRUCTION.



2 DEMOLITION FLOOR PLAN

SCALE: 1:50



3 DEMOLITION REFLECTED CEILING PLAN

5 ₹ SCALE: 1 : 50

TEMPORARY CONSTRUCTION FENCING

- 1. WORK UNDER THIS PROVISIONAL ITEM SHALL INCLUDE THE SUPPLY, INSTALLATION, AND MAINTENANCE OF 1.2M HIGH TEMPORARY ORANGE PLASTIC FENCING AND "T"-BARS FOR DELINEATION OF PEDESTRIAN WALKWAY AREAS FROM AREAS OF ACTIVE CONSTRUCTION, TO SEPARATE CONTRACTOR WORK AREAS. NEW OR SALVAGED PLASTIC FENCE MATERIAL MAY BE USED FOR THE TEMPORARY WORKING FENCE PROVIDED IT IS FREE OF RIPS, TEARS, HOLES OR MISSING SEGMENTS. IF SALVAGED MATERIAL IS USED, IT SHALL BE IN REASONABLE CONDITION PRIOR TO ERECTION AND ACCEPTABLE TO THE CONSULTANT.
- 2. TEMPORARY CONSTRUCTION FENCING SHALL BE PLACED IN A VERTICAL ORIENTATION WITH A MAXIMUM SPACING OF 4M BETWEEN "T"-BARS AND INSTALLED WITH THE MESH MATERIAL FACING THE PUBLIC SIDE (NON-WORK AREA) AND COMPLETE 2X4 WOODEN BRACING TO ENSURE THAT THE FENCING MATERIALS REMAIN IN A VERTICAL CONDITION. FENCING SHALL BE INSTALLED SO AS TO DIRECT PEDESTRIANS AND OTHERS AWAY FROM OPEN EXCAVATIONS AND/OR TOWARD CROSSINGS OF THE CONSTRUCTION SITE.
- 3. ALL TEMPORARY FENCING PLACED ON THE PROJECT WILL BE THE PROPERTY OF THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION.

GENERAL DEMOLITION NOTES

- 1. REPORT ANY/ALL DISCREPANCIES OR CONFLICTS TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
- 2. CARRY OUT ALL DEMOLITION, REMOVAL AND DISPOSAL IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND PROVINCIAL REGULATIONS.
- 3. EXECTURE DEMOLITION IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR ADJACENT STRUCTURES AND FINISHES TO REMAIN.
- 4. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO GUARD AGAINST MOVEMENT OR SETTLEMENT OF REMAINING STRUCTURE, INCLUDING ALL NECESSARY BRACING OR SHORING THAT IS REQUIRED.
- 5. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS, SPECIFICATIONS, AND / OR DEMOLITION NOTES FOR DETAILS OF SSCOPE RELATED TO MECHANICAL ELECTRICAL DEMOLITIONS.
- 6. LOCATE AND DISCONNECT, CAP AND PLUG ALL GAS, WATER, SERVER, HYDRO, ETLEPHONE AND OTHER SERVICES AS REQUIRED. COORDINATE WITH OWNER FOR SERVICES TO REMAIN LIVE DURING CONSTRUCTION. PREARRANCE WITH CONSTRUCTION PROJECT TEAM (CONSULTANT AND OWNER) PRIOR TO ANY SERVICE SHUTDOWNS.
- 7. ALL ITEMS NOT IDENTIFIED IN DRAWINGS, SPECIFICATIONS OR TAGGED BY OWNER TO REMAIN ARE TO BE REMOVED AND DISPOSED OF.
- 8. WHEN PERFORMING CONCRETE SLAB REMOVALS AND EXCAVATIONS FOR MECHANICAL / ELECTRICAL SERVICE CONNECTIONS, CONTRACTOR SHALL TAKE CARE NOT TO UNDERMINE EXISTING BLOCK WALLS AND CONCRETE SLABS. PROVIDE TEMPORARY SHORING OR LEAN CONCRETE FILL AS REQUIRED.

TRUE NORTH



KEY PLAN

10 9 8 8 7 6 6 2024.09.10 5 TENDER R1 2024.03.06 3 TENDER & PERMIT_R1 2023.07.28 2023.05.17 DATE ISSUED

DENNISON PARK
WASHROOMS

CLIENT

TOWN OF CALEDON

ARCHITECT

www.fabrikarchitects.ca 58 Grand Avenue South, Unit 201, Cambridge ON, N1S 5C3 T. 519-743-0608 | info@fabrikarchitects.ca



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SHEET TITLE

SITE PLAN, HOARDING AND DEMOLITION PLANS

PROJECT No. 220

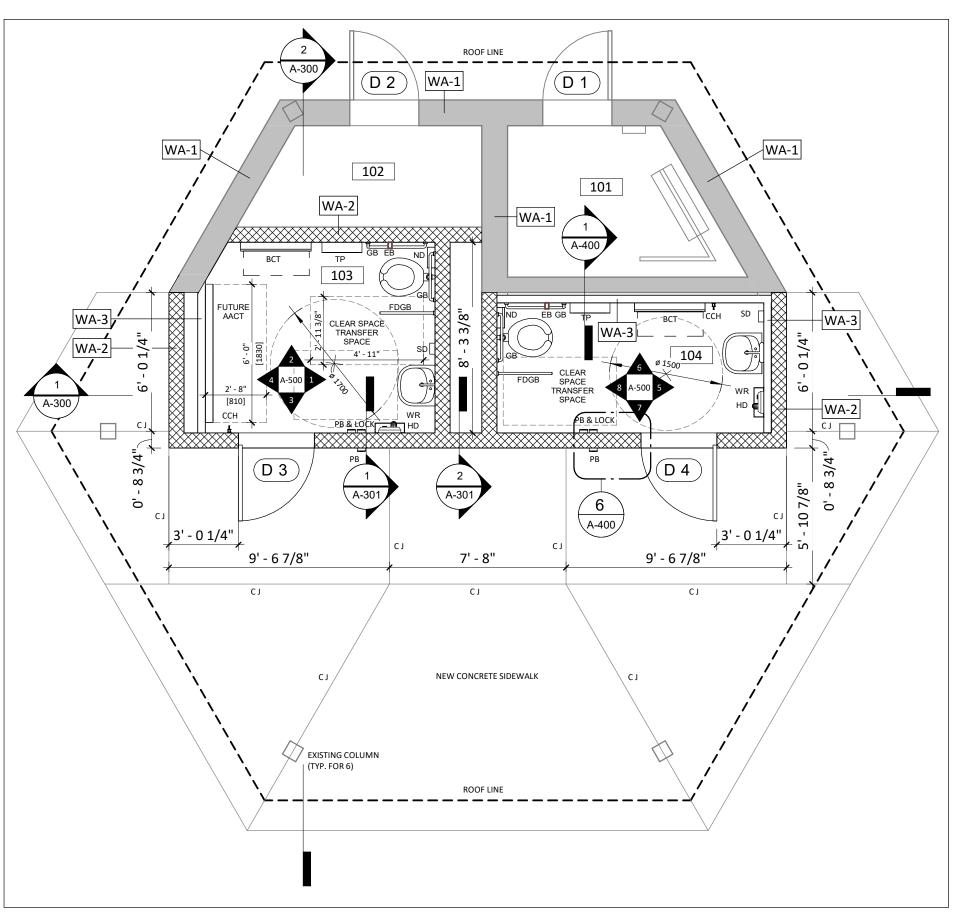
ASSOCIATION
OF ARCHITECTS
ELISIA DEVES
LICENCE
8599
LICENCE

DRAWN LK

CHECKED EN

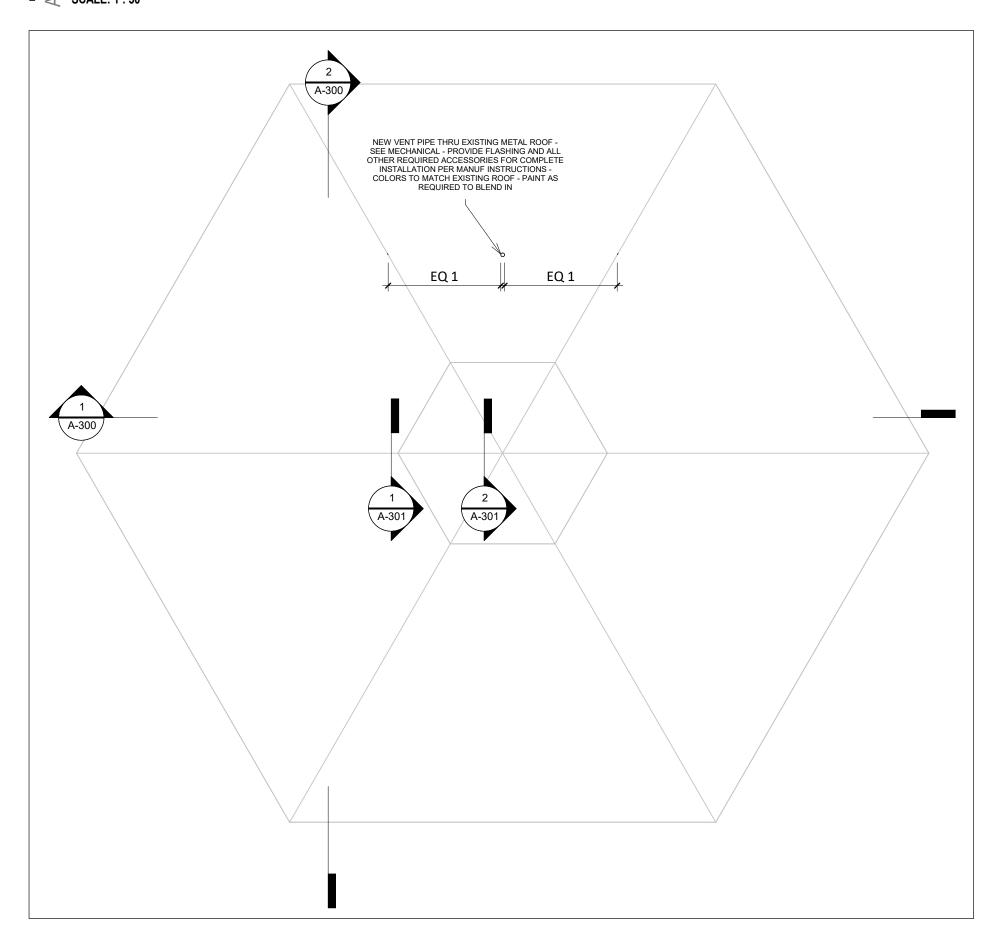
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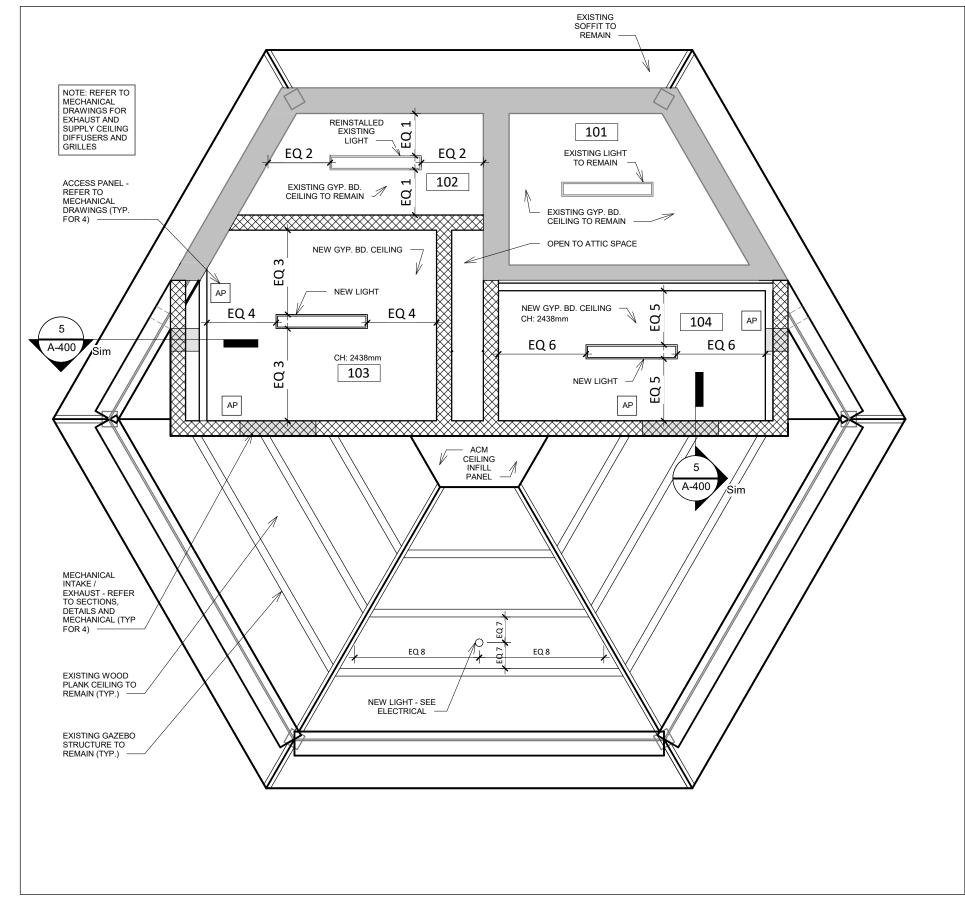
A-10C



5 CONSTRUCTION FLOOR PLAN

SCALE: 1 : 50





↑ ■ REFLECTED CEILING PLAN SCALE: 1:50

GENERAL REFLECTED CEILING NOTES

- 1. REPORT ANY/ALL DISCREPANCIES OR CONFLICTS TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
- 2. GENERAL CONTRACTOR SHALL VERIFY ON SITE, LIGHTING FIXTURE HEIGHTS ON ELEVATIONS AND LIGHTING PLAN WITH CLIENT REPRESENTATIVE/PROJECT MANAGER PRIOR TO
- 3. PROVIDE NECESSARY BLOCKING AND REINFORCING WITHIN CEILING WHERE LOADING IS ANTICIPATED. ALL WOOD PANELS AND BLOCKING TO BE FIRE RETARDANT TREATED MATERIALS AS PER CODE REQUIREMENTS.
- 4. ALL FIXTURES INSTALLED MUST BE PER JOB SPECIFICATIONS. ANY SUBSTITUTIONS WHICH MAY BE REQUIRED DUE TO EXTENDED DELIVER DATES ETC., MUST BE SUBMITTED TO ARCHITECT FOR WRITTEN APPROVAL PRIOR TO ORDER OR INSTALLING THE SUBSTITUTIVE
- 5. ALL NEW LIGHT FIXTURES, INCLUDING SURFACE MOUNTED FIXTURES EXCEEDING 20LBS SHALL BE INDEPENDENTLY CHAINED & SECURED INTO STRUCTURE ABOVE FOR SEISMIC
- 6. PROVIDE ADDITIONAL SUPPORTS, HANGERS, ETC., AS REQUIRED TO SUPPORT FIXTURES MOUNTED UNDER DUCTWORK. THE FIXTURE SUPPORT SHALL NOT BE ATTACHED TO EITHER THE DUCTWORK OR THE DUCTWORK SUPPORTS.
- 7. ALL NEW LIGHT FIXTURES TO BE SUPPLIED WITH ADDITIONAL LAMPS, BALLAST AS REQUIRED, HOUSINGS, TRIMS, LENSES, AND ALL FITTINGS REQUIRED TO MAKE A COMPLETE
- 8. ALL FIXTURES TO BE CONFIRMED BY OWNER PRIOR TO INSTALLATION.
- 9. REFER TO MECHANICAL / ELECTRICAL DRAWINGS FOR COORDINATION OF FIRE PROTECTION / ALARM COMPONENTS, LIGHT FIXTURES, EXHAUST FANS, MECHANICAL DUCTING ETC.
- 10. FRAMER & DRYWALL CONTRACTOR TO COORDINATE SIZES AND LOCATIONS OF ALL BULKHEADS. BULKHEADS ARE REQUIRED AT ALL SERVICES (DUCTWORK, PIPING, CONDUITS, WIRES ETC.) AND AT KITCHEN UPPER CABINETS, REFER TO MECHANICAL AND ELECTRICAL PLANS FOR SERVICE LOCATIONS. COORDINATE CONSTRUCTION OF ALL BULKHEADS WITH THE NECESSARY MECHANICAL, ELECTRICAL AND MILLWORK CONTRACTORS.
- 11. SERVICE PENETRATIONS THAT CROSS EXIT SPACES. IF THIS IS NECESSARY, CONSTRUCT FIRE-RATED BULKHEADS WITH THE APPROPRIATE 1hr FIRE RESISTANCE CONSTRUCTION.

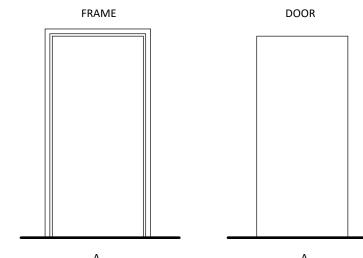
| Rating | Ext/Int | Width | Height | Thickness | Type | Material | Core

12. ALL FLAME SPREAD RATINGS, COMPLY WITH 9.10.7. OF THE OBC.

RCP LEGEND

LIGHT FIXTURE - REFER TO ELECTRICAL

DOOR AND DOOR FRAME LEGEND



104 EXTERIOR (none) Exterior 3'-2" 7'-0" 0'-2" A HM PSC PNT (none) A HM PNT (none) LH Yes Yes COS Yes Yes Yes Yes No Yes Yes Yes

DOOR LEGEND

WD - Wood

GL - Glass

MDF - MDF

AL - Aluminum

HM - Hollow Metal

SLWC - Structural Laminated

ST - Stained FF - Factory Finished GV - Galvanized

TSG - Tempered Safety Glass

TG - Tempered Glass

FRG - Fire Rated Glass

PHG - Pin Hole Glass

CG - Clear Glass

PNT - Painted

IG - Insulated Glass

WALL LEGEND

WA-1 EXISTING WALL

AND COLOUR

WA-4 38mm x 89mm WOOD STUD

ROOM LEGEND

101 MECH ROOM 102 STORAGE

103 UNIVERSAL WASHROOM

104 BARRIER FREE WASHROOM

WA-2 196mm CMU BLOCK - 6 RIB SPLIT STYLE

38mm x 89mm WOOD STUD

WEATHER RESISTIVE BARRIER

INTEGRAL COLOR AS SELECTED BY ARCHITECT FROM

15.9mm PLYWOOD SHEATHING - PRESSURE TREATED

R-14 BATT INSULATION SECURED IN FRAMING CAVITY

15.9mm PLYWOOD SHEATHING - PRESSURE TREATED

ACM WALL PANEL CLADDING - REFER TO SPECIFICATIONS AND DETAILS - REFER TO SPECIFICATION FOR PROVISIONAL PRICE

* INTERIOR BLOCK WALLS MAY BE STANDARD BLOCK PROFILE

- REFER TO SPECIFICATION FOR PROVISIONAL PRICE ALTERNATE

MANUFACTURER'S STANDARD FULL RANGE

SEE STRUCTURAL FOR REINFORCEMENT

EXTEND TO UNDERSIDE OF NEW CEILINGS

ACCESSORIES

MIRROR SHELF SLV

ABBREVIATION LEGEND

CCH COLLAPSIBLE COAT HOOK LOCK BUTTON POWER BUTTON OPERATOR

EMERGENCY BUTTON GRAB BAR HAND DRYER

FDGB FOLD DOWN GRAB BAR AACT ADJUSTABLE ADULT CHANGE TABLE BCT BABY CHANGE TABLE

WASTE RECEPTACLE BIOMEDICAL SHARPS DISPOSAL SOAP DISPENSER

TOILET PAPER (DISPENSER) NAPKIN DISPOSAL CHILDREN'S TOILET

AUTO SENSOR

OTHER

HDPE HIGH DENSITY POLYETHYLENE FD FLOOR DRAIN

CLEAN OUT NOT IN CONTRACT

ABOVE FINISHED FLOOR MOISTURE RESISTANT C J CONTROL JOINT

GENERAL CONSTRUCTION NOTES

1. PERFORM ALL WORK IN ACCORDANCE WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE 2012. HEREIN REFERRED TO AS O.B.C. AS WELL AS LOCAL BY-LAWS AND HEALTH & SAFETY REGULATIONS.

2. DO NOT SCALE DRAWINGS, SITE VERIFY ALL DIMENSIONS, ANY DISCREPANCIES TO BE CLARIFIED WITH THE

3. ALL INTERIOR DIMENSIONS ARE TO FINISHED SURFACES, UNLESS OTHERWISE NOTED.

4. LAYOUT ALL PARTITIONS AND DOORS (CHALK LINE). NOTIFY ARCHITECT AT ONCE SHOULD ANY PROBLEMS ARISE FROM THE SITE CONDITIONS OR OTHER CAUSES. OBTAIN ARCHITECT'S APPROVAL FOR ANY DEVIATIONS PRIOR TO CONTINUING WORK.

5. CONTRACTOR TO MAKE GOOD ALL DAMAGED SURFACES RESULTING FROM THIS WORK AND MAKE GOOD SUCH DAMAGES IN PROJECT SPACE WHERE MECHANICAL, PLUMBING, POWER AND DATA PASS THROUGH.

6. WHERE POWER AND COMMUNICATIONS OUTLETS HAVE BEEN REMOVED PATCH AND REPAIR WALL TO MATCH EXISTING. BLANK COVER PLATES WILL NOT BE ACCEPTED.

7. REFER TO WALL FINISHES PLAN AND IDENTIFY ALL PREPARATION WORK REQUIRED. PATCH ANY HOLES, FILL CRACKS, REMOVE ANY BUMPS OR PROTRUSIONS AND SAND SMOOTH. SKIM COAT AS REQUIRED. PATCH AND MAKE GOOD ALL EXISTING WALLS PRIOR TO PAINTING.

8. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING CONTINUITY OF FIRE SEPARATION OF ALL WALLS AND FLOOR AND CEILING ASSEMBLY ABOVE AND BELOW.

9. CONTRACTOR TO BE RESPONSIBLE FOR ALL CHASES, OPENINGS AND PATCHING AS MAY BE REQUIRED BY MECHANICAL, PLUMBING OR CABLING TRADES. REFER TO RCP, POWER AND DATA PLANS, AND REVIEW THE REQUIREMENTS WITH THESE TRADES.

10. ALL ELECTRICAL MECHANICAL & EMERGENCY FIXTURE WORK TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES & REGULATIONS.

11. GENERAL CONTRACTOR TO PROVIDE HVAC, AND ELECTRICAL SUB-TRADES, AS REQUIRED.

DOOR NOTES

- 1. ALL HOLLOW METAL AND SOLID WOOD MINIMUM 3 HEAVY DUTY HINGES.
- 2. ALL DOORS WITHIN A BARRIER-FREE PATH OF TRAVEL (PUBLIC SPACES, BUILDING CODE, SUITE DOORS AND ACCESSIBLE SUITES) SHALL HAVE LEVER-STYLE PASSAGE AND LOCK SETS AS PER OBC 3.8.3.3.(7).
- 3. THE CONTRACTOR SHALL PROVIDE ENGINEERED SHOP DRAWINGS FOR ALL DOORS TO CERTIFY COMPLIANCE WITH THE ONTARIO BUILDING CODE.

BARRIER FREE NOTES

HANDLE TYPE

LHL - Lever lock

KHL - Knob Lock

SPH - Short Pull

LPH - Long Pull LPHL - Long Pull Lock

SPHL - Short Pull Lock

APH - Architectural Pull

APHL - Architectural Pull Lock

PDH - Pocket Door Hardware

PDHL - Pocket Door Lock

GDHL - Glass Door Lock

GDH - Glass Door Hardware

LH - Lever

KH - Knob

- 1. EXTERIOR WALKWAYS SHALL HAVE A SLIP RESISTANT FINISH (e.g., HEAVY BROOM FINISH ON CONCRETE). EXTERIOR WALKS THAT ARE FLUSH WITH ADJACENT LEVELS SHALL HAVE A TEXTURED SURFACE TO DIFFERENTIATE THE WALKWAY FROM SURROUNDING AREAS. MAX. GRADE ON WALKWAYS SHALL BE NOT MORE THAN 1: 20 (5%SLOPE).
- SIGNS INCORPORATING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE INSTALLED WHERE NECESSARY TO INDICATE LOCATION OF THE ENTRANCE, ACCESSIBILITY WASHROOM, PARKING AREA, MEANS OF EGRESS. SIGN IF MOUNTED SHALL BE LOCATED NOT LESS THAN 48 INCHES (1200MM) AND NOT MORE THAN 60 INCHES (1500MM) AFF. (AS PER OBC 3.8.3.1.(5))
- ALL BARRIER-FREE DOORS TO BE LOCATED 1'-0" (305mm) ON THE PUSH SIDE AND 2'-0" (610mm) ON THE LATCH SIDE FROM AN ADJACENT WALL.
- 4. PROVIDE SOLID BLOCKING IN WALLS FOR FUTURE GRAB BARS AT ALL SHOWERS
 - TOWN OF CALEDON AND W.C. AS PER OBC 3.2.3.8.(1)(d) & 3.8.3.13.(1)(f).

PROJECT NAME

DENNISON PARK

WASHROOMS

TRUE NORTH

2024.09.10 | 5 | TENDER R1 2024.09.05 | 4 | PERMIT R1

2024.03.06 | 3 | TENDER & PERMIT_R1

ISSUED

2023.07.28 2 TENDER & PERMIT

2023.05.17 | 1 | CLIENT REVIEW

DATE

KEY PLAN

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SHEET TITLE

FLOOR PLAN, CEILING PLAN, AND ROOF PLAN

PROJECT No. 22023 SCALE OF O ARCHITECTS Z Elisia Reves. ELISIA M. G. NEVES LICENCE 8599

As indicated DRAWN CHECKED SHEET No.

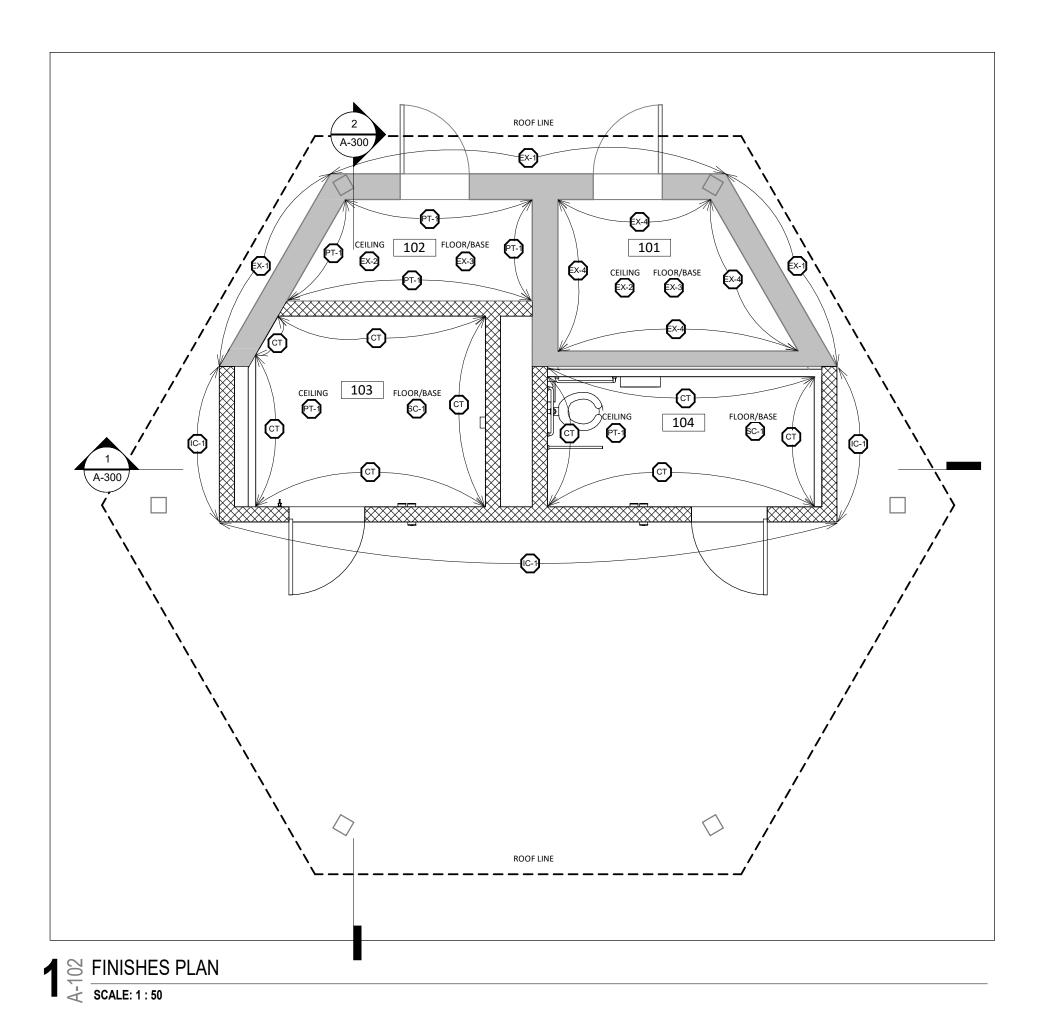
FG - Fiber Glass FP - Fiber Plastic SC - Solid Core HC - Honeycomb Core PSC - Polystyrene Core PUC - Polyurethane Core SSC - Steel Stiffened Core MC - Mineral Core

PBC - Particleboard Core

DOOR STOP N/A - None COS - Concealed Overhead Stop WS - Wall Stop

FS - Floor Stop

DOOR SCHEDULE
 EXTERIOR
 (none)
 Exterior
 3' - 0"
 6' - 8"
 0' - 2"
 A
 (none)
 (none)
 (none)
 (none)
 Existing to remain - Repaint Door and Frame EXTERIOR (none) Exterior 3' - 0" 6' - 8" 0' - 2" A (none) (none) (none) (none) A (none) (none) (none) Existing to remain - Repaint Door and Frame 103 EXTERIOR (none) Exterior 3'-2" 7'-0" 0'-2" A HM PSC PNT (none) A HM PNT (none) LH Yes Yes COS Yes Yes Yes Yes No Yes Yes Yes



GENERAL FINISHING NOTES

- 1. FIELD VERIFICATION IS REQUIRED FOR QUANTITIES OF ALL MATERIALS PRIOR TO ORDERING AND INSTALLING.
- 2. ALL MATERIALS LISTED TO BE AS SPECIFIED OR APPROVED ALTERNATIVES, ANY PROPOSED ALTERNATIVES TO BE SUBMITTED TO ARCHITECT FOR REVIEW OF COLOUR AND QUALITY PRIOR TO ORDERING MATERIAL.
- 3. PRIOR TO ORDERING, ALL FINISHES NEED TO BE CONFIRMED AND APPROVED BY CLIENT AND ARCHITECT. DO NOT ORDER WITHOUT WRITTEN CONFIRMATION; SUPPLY SAMPLES TO DESIGNER/PROJECT MANAGER FOR APPROVAL.
- 4. G.C. TO SUPPLY AND INSTALL ALL MATERIALS ABOVE AS LISTED AND INDICATED ON PLANS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- 5. ALL MATERIALS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS AND INSTRUCTIONS FOR THE INTENDED
- 6. PREPARE A PACK OF SIGNIFICANT SIZE LEFTOVERS WHICH WILL REMAIN ON SITE FOR FUTURE REPAIRS AND PATCHING. (CONFIRM QUANTITY WITH CLIENT, 10% OVERAGE IS STANDARD).
- 7. REPAIR ALL EXISTING FINISHES TO REMAIN WHICH ARE AFFECTED BY NEW CONSTRUCTION.
- 8. ALL DOOR FRAMES AND BASE MUST BE PROTECTED WITH APPROPRIATE MATERIAL TO AVOID DAMAGE DURING INSTALLATION OF FLOORING MATERIALS. THE PROTECTION MATERIALS AND METHOD OF ADHESION SHOULD NOT DAMAGE THE FINISH WHEN REMOVED. DAMAGE DONE TO COMPLETED WORK TO BE REPAIRED AT NO COST TO THE
- 9. WALL PAINT TO BE APPLIED WITH 1 COAT PRIMER AND TWO COATS PAINT. ALL GENERAL WALLS TO BE PAINTED AS PER SPECIFICATIONS.
- 10. REMOVE ALL SIGNS, COVER PLATES, ESCUTCHEON PLATES AND ANY LOOSE FIXTURES ON WALL PRIOR TO PAINTING/ WALL COVERING. UPON COMPLETION, REINSTALL.
- 11. MASK OFF HINGES FROM EXISTING DOORS PRIOR TO PAINTING AND REINSTALL UPON COMPLETION.
- 12. ENSURE FLOOR IS PROPERLY PREPARED FOR INSTALLATION OF SPECIFIED FLOOR FINISH.
- 13. ALL FLOORING MATERIAL TO HAVE MANUFACTURERS RECOMMENDED FINISH APPLIED AFTER INSTALLATION AND PROPER CARE AND MAINTENANCE INSTRUCTIONS TO BE ISSUED TO THE CLIENT.
- 14. WHEN A CHANGE IN FLOOR FINISH OCCURS AT DOORWAY, THE SEAM IS TO BE CENTERED UNDER THE DOOR IN THE CLOSED POSITION, UNLESS OTHERWISE INDICATED.
- 15. ALL FLOOR FINISHES TO BE PROTECTED FROM DAMAGE BY TRADES AFTER INSTALLATION. ANY DAMAGE TO BE REPAIRED AT NO COST TO THE CLIENT.

FINISHES LEGEND

- CEILING & INTERIOR WALL PAINT DULUX COMMERCIAL WHITE DLX 1025 - 1
- DO1-O4 DOOR FRAME PAINT (BOTH SIDES) & DOOR PAINT (BOTH SIDES) MANUF: DULUX OR EQUAL COLOR: AS SELECTED BY ARCHITECT SHEEN: AS SELECTED BY ARCHITECT

EX-1 EXISTING STONE VENEER

EXISTING CONCRETE TO REMAIN

EXISTING GYPSUM BOARD WALL PAINT

EXISTING CEILING TO REMAIN (SEE DEMO PLAN)

PATCH AS REQ'D TO ALIGN WITH NEW WORK

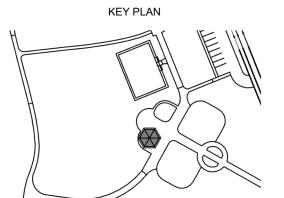
- SEALED CONCRETE MANUF: DULUX OR APPROVED EQUAL PRODUCT: REFER TO SPECIFICATIONS
- INTEGRATED COLOR CMU BLOCK REFER TO PLANS, WALL TYPES AND SPECIFICATIONS COLOR: AS SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE OF OPTIONS
 - REFER TO SPECIFICATIONS FOR PROVISIONAL PRICE ALTERNATE.
- FIELD CERAMIC TILE CENTURA - RAINBOW COLOR: AS SELECTED BY ARCHITECT FROM FULL RANGE 4 inch x 16 inch SEE INTERIOR ELEVATIONS FOR EXTENTS
- ACCENT CERAMIC TILE CENTURA - RAINBOW COLOR: AS SELECTED BY ARCHITECT FROM FULL RANGE 4 inch x 16 inch SEE INTERIOR ELEVATIONS FOR EXTENTS
- WALL BASE CERAMIC TILE CENTURA - RAINBOW COLOR: AS SELECTED BY ARCHITECT FROM FULL RANGE 4 inch x 16 inch SEE INTERIOR ELEVATIONS FOR EXTENTS

ROOM LEGEND

- 101 MECH ROOM
- 102 STORAGE
- 103 UNIVERSAL WASHROOM
- 104 BARRIER FREE WASHROOM







2024.09.10 | 5 | TENDER R1 2024.09.05 4 PERMIT R1 2024.03.06 3 TENDER & PERMIT_R1 2023.07.28 2 TENDER & PERMIT

2023.05.17 1 CLIENT REVIEW DATE ISSUED

> PROJECT NAME **DENNISON PARK**

TOWN OF CALEDON

WASHROOMS

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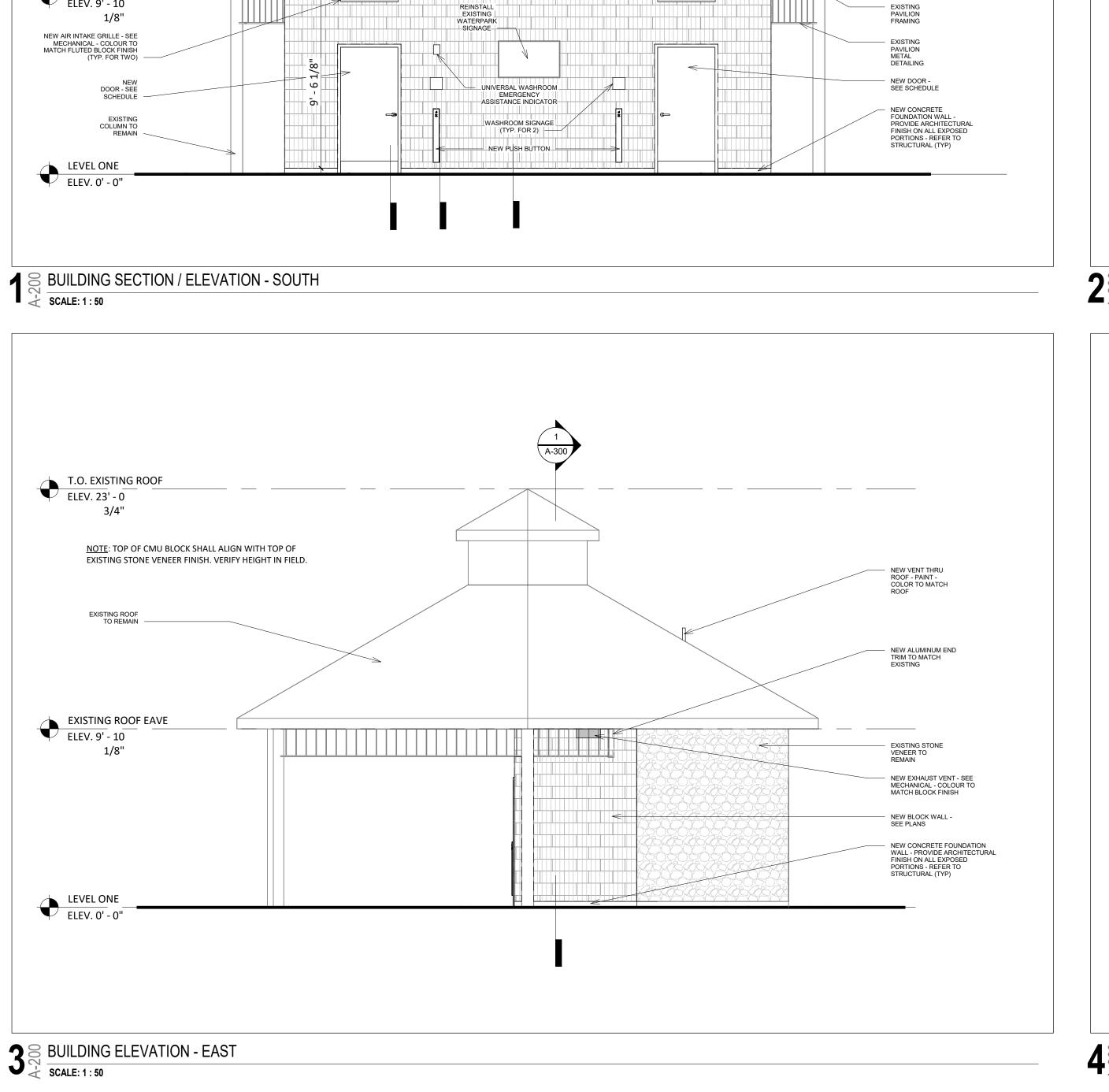
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FINISHES PLAN AND NOTES

PROJECT No. 22023 SCALE SARBIO ASSOCIATION OF ARCHITECTS Z Elisia Reves. ELISIA M. G. NEVES LICENCE 8599

CHECKED 2024-09-10 11:34:58 AM

As indicated



NEW ACM FINISH ON
NEW WALL
CONTINUOUS UP TO
UNDERSIDE OF
EXISTING ROOF REFER TO
SPECIFICATION FOR
PROVISIONAL PRICE
ALTERNATE

6' - 4"

+/- 26' - 9 3/4"

8'-1" 2'-17/8"

I _2' - 1 7/8" <u>8' - 1"</u>

- NEW ACM CLOSURE PANEL BEYOND -REFER TO PARTIAL 3D EXTERIOR VIEW 4 / A200

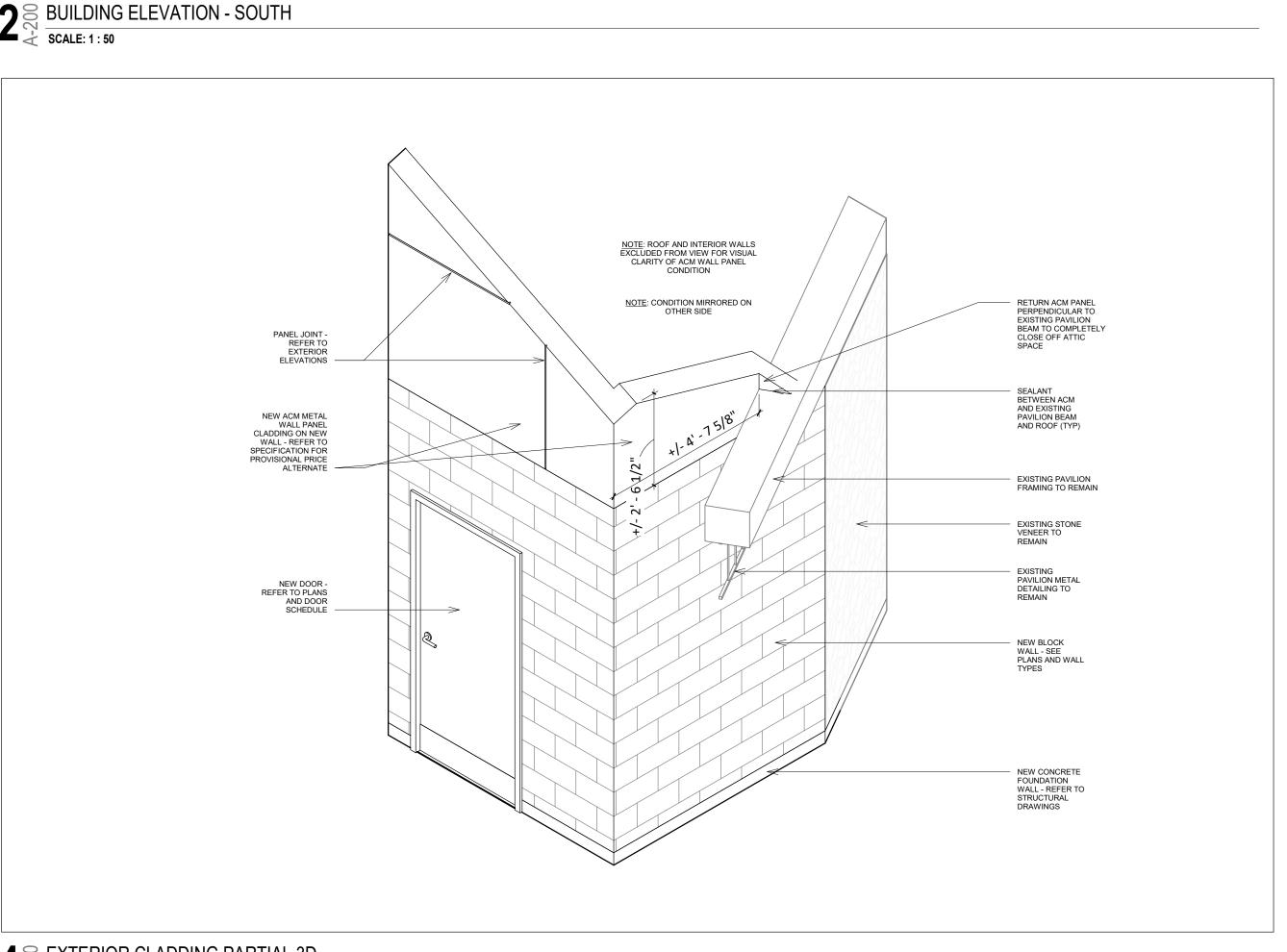
- EXISTING WOOD SLAT CEILING TO REMAIN

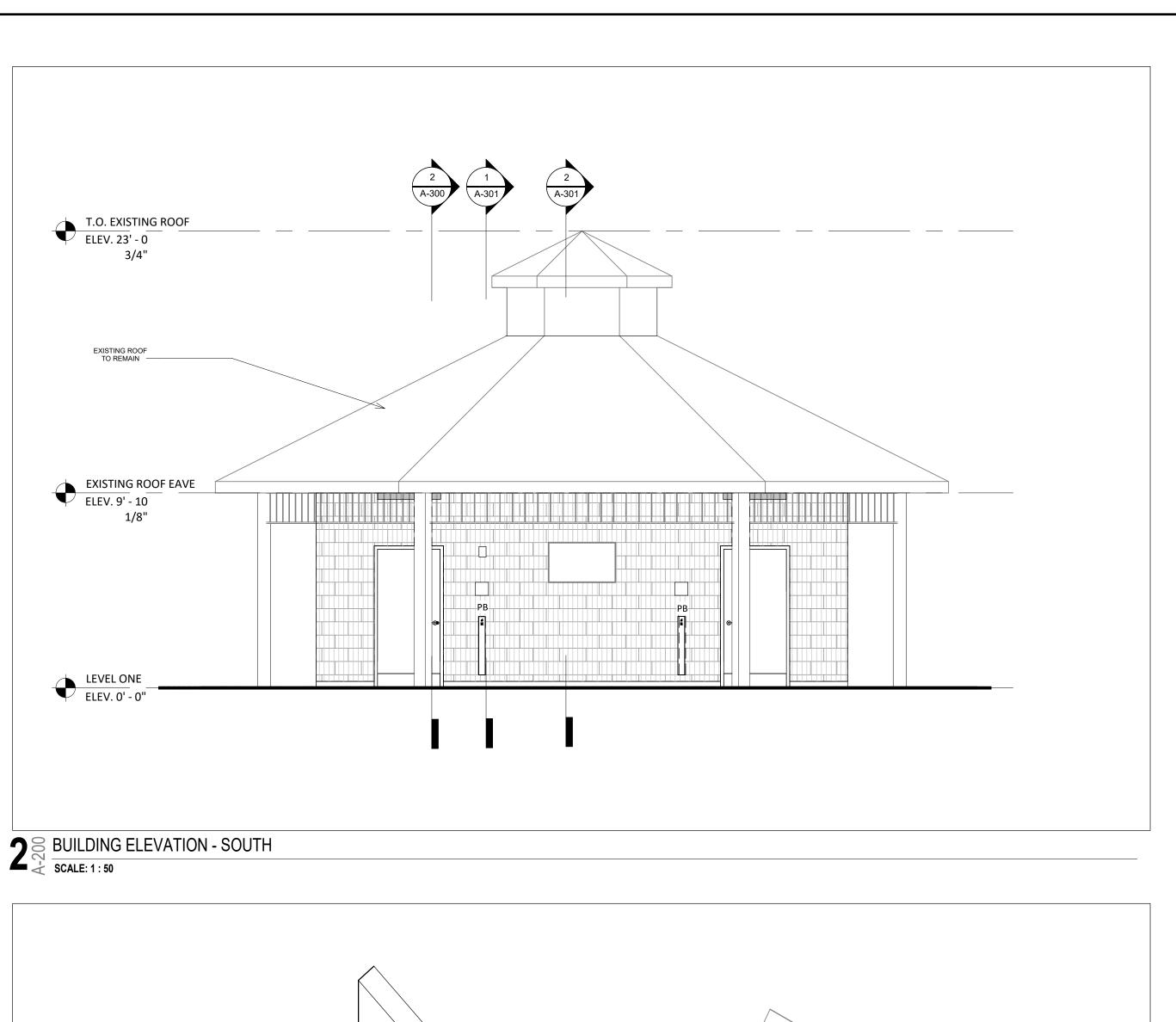
T.O. EXISTING ROOF ELEV. 23' - 0

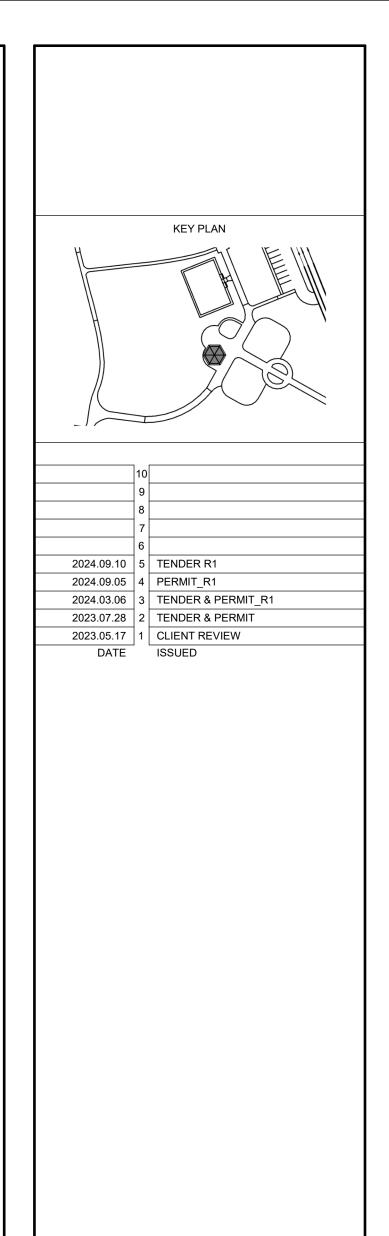
3/4"

EXISTING ROOF EAVE

ELEV. 9' - 10









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SHEET TITLE

EXTERIOR ELEVATIONS

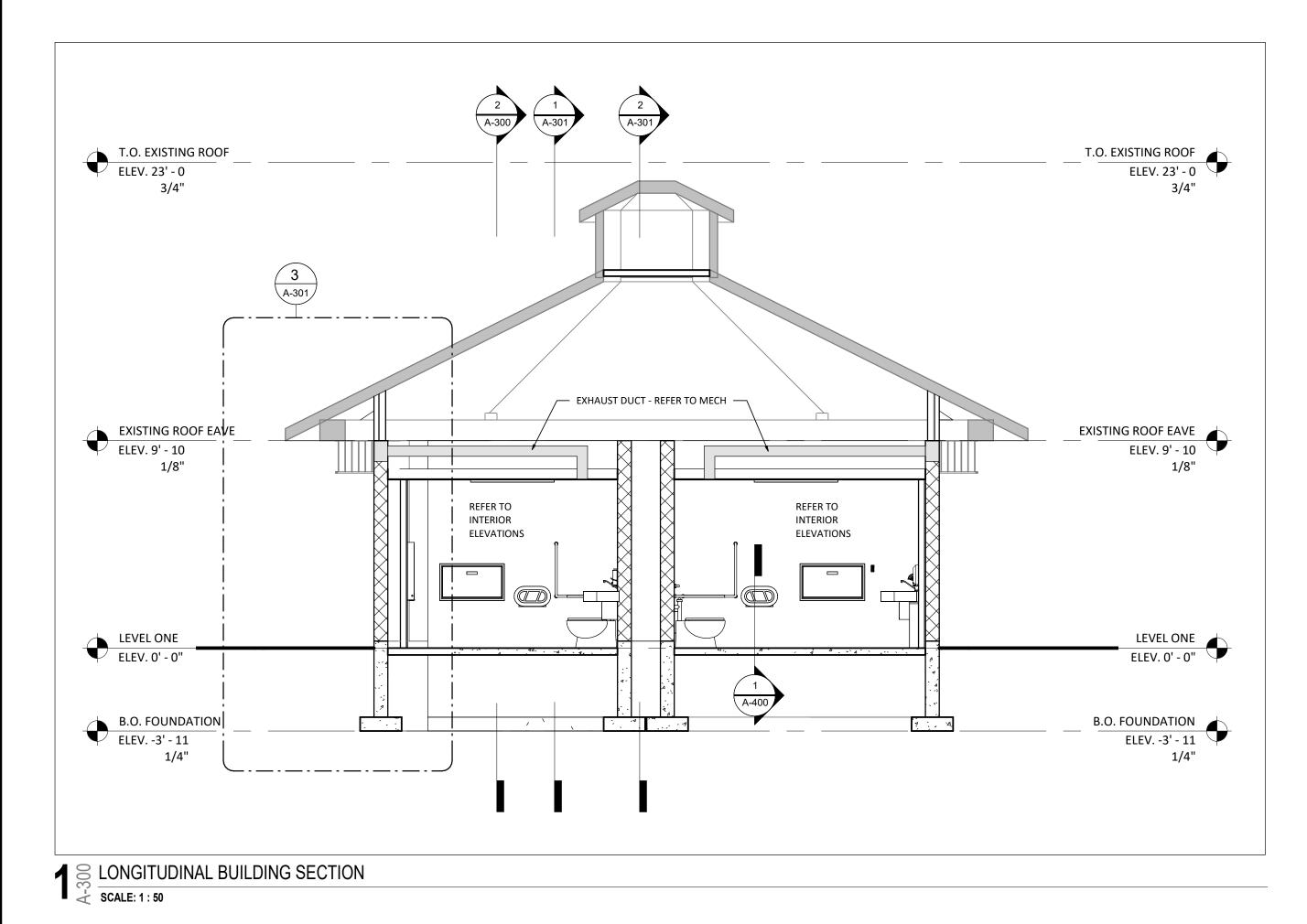
PROJECT No. 22023 SCALE

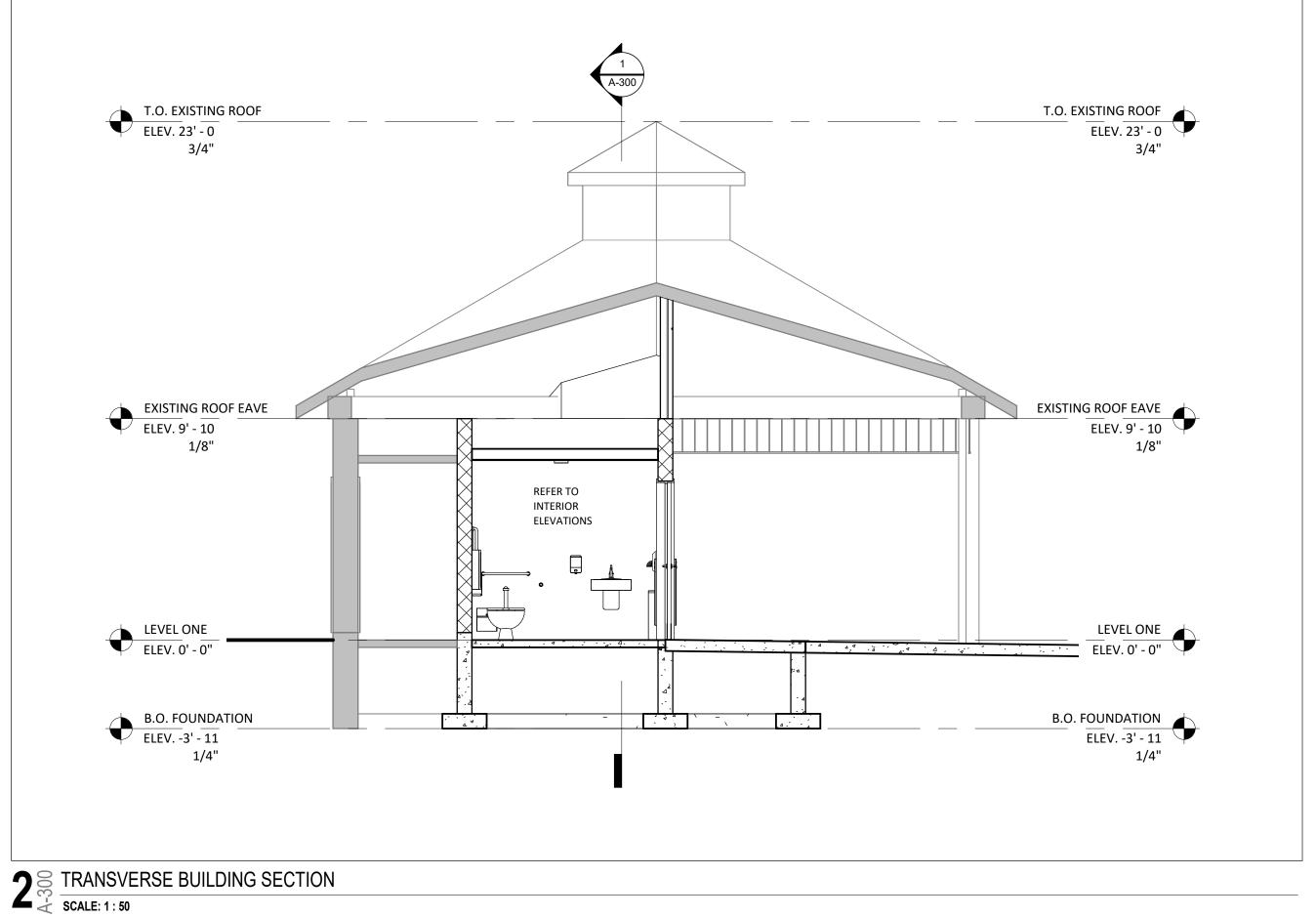
As indicated DRAWN CHECKED S ARCHITECTS 2 Elisia Newsy ELISIA M. G. NEVES LICENCE 8599

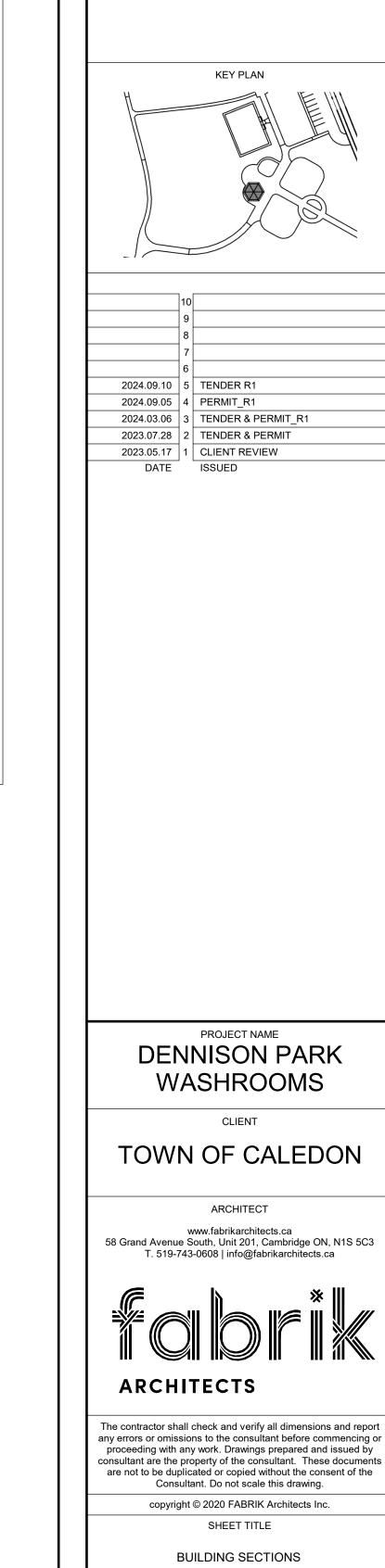
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EXTERIOR CLADDING PARTIAL 3D scale:







PROJECT No.

OF ARCHITECTS Z
ELISIA M. G. NEVES
LICENCE
8599

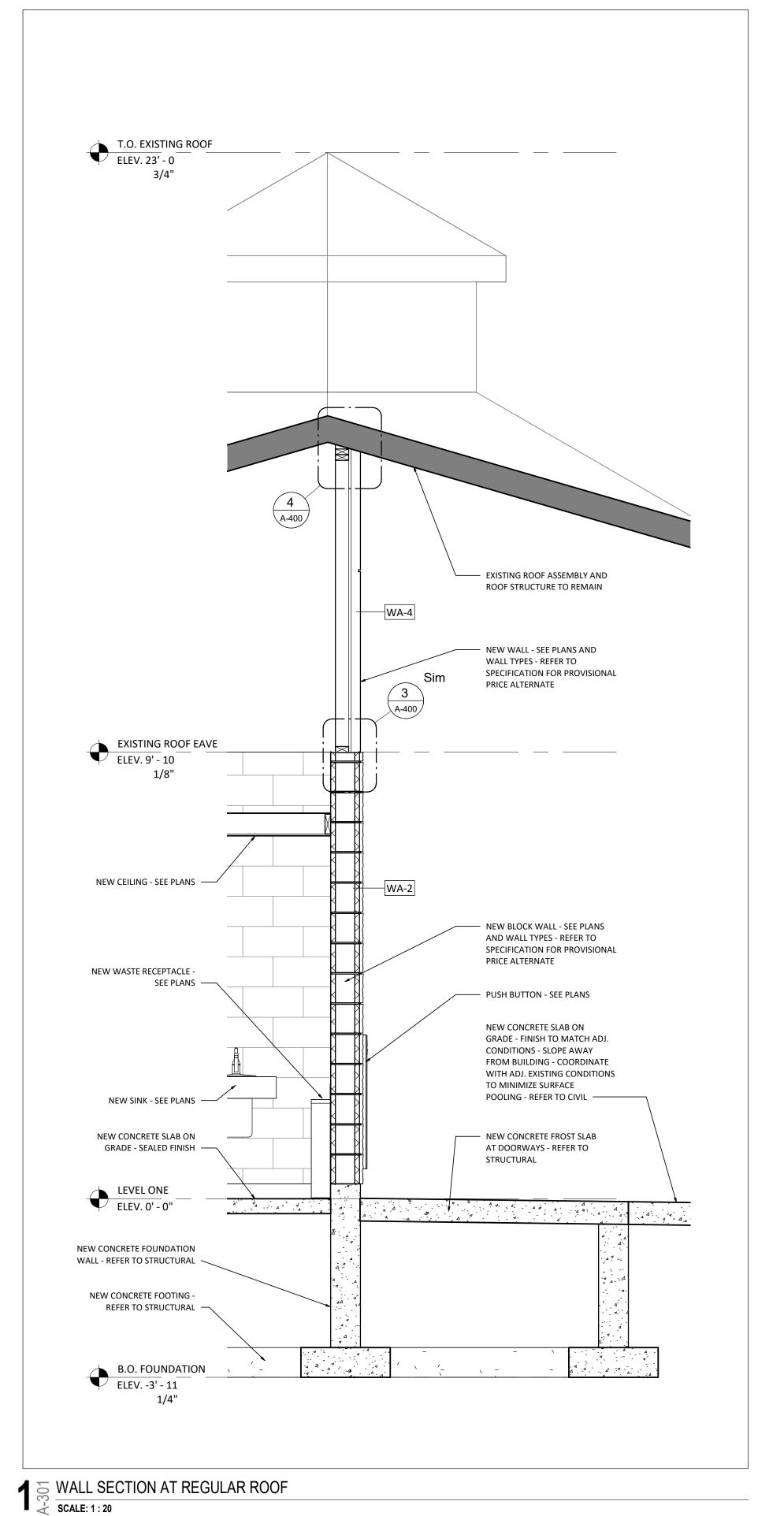
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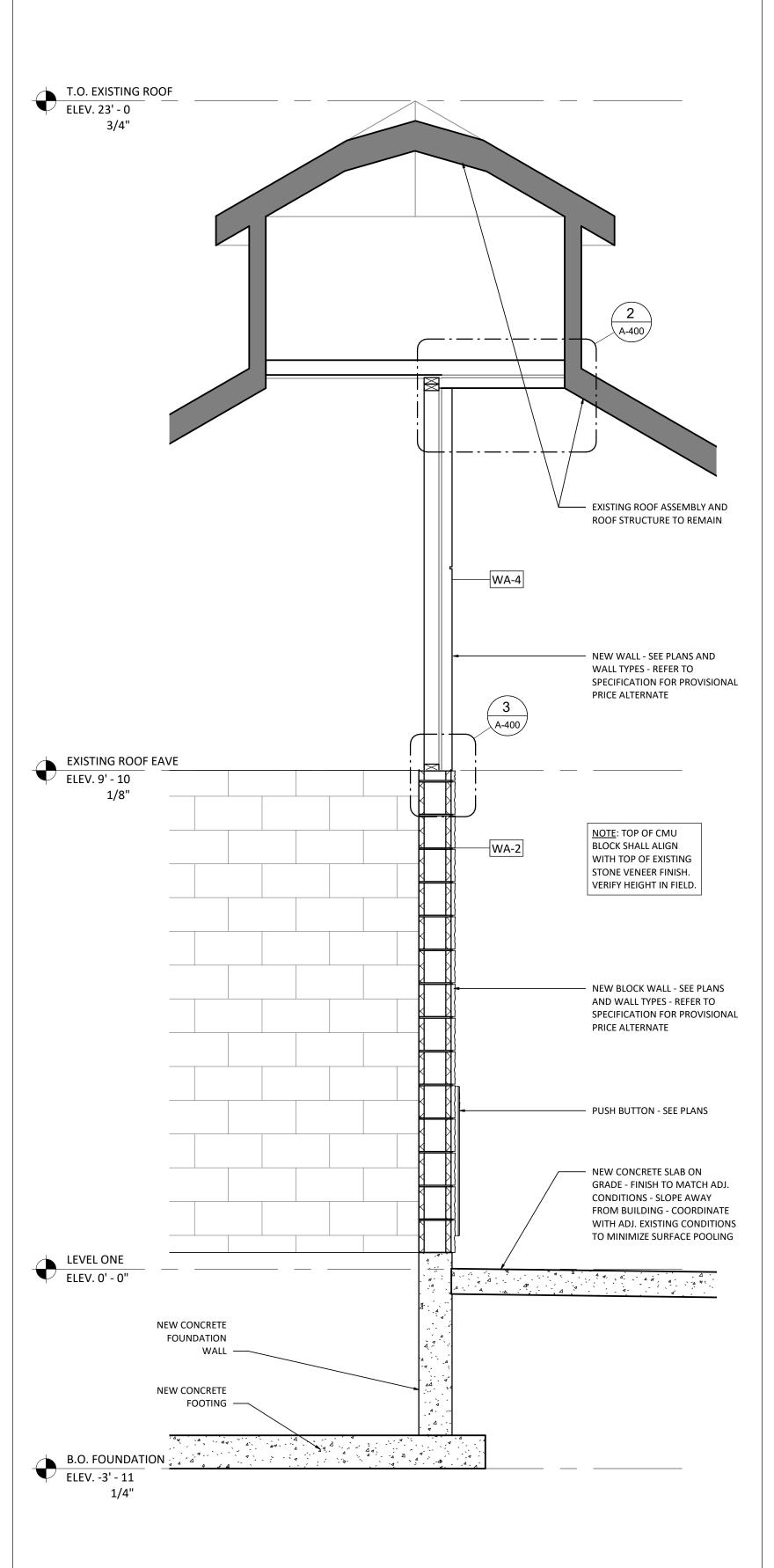
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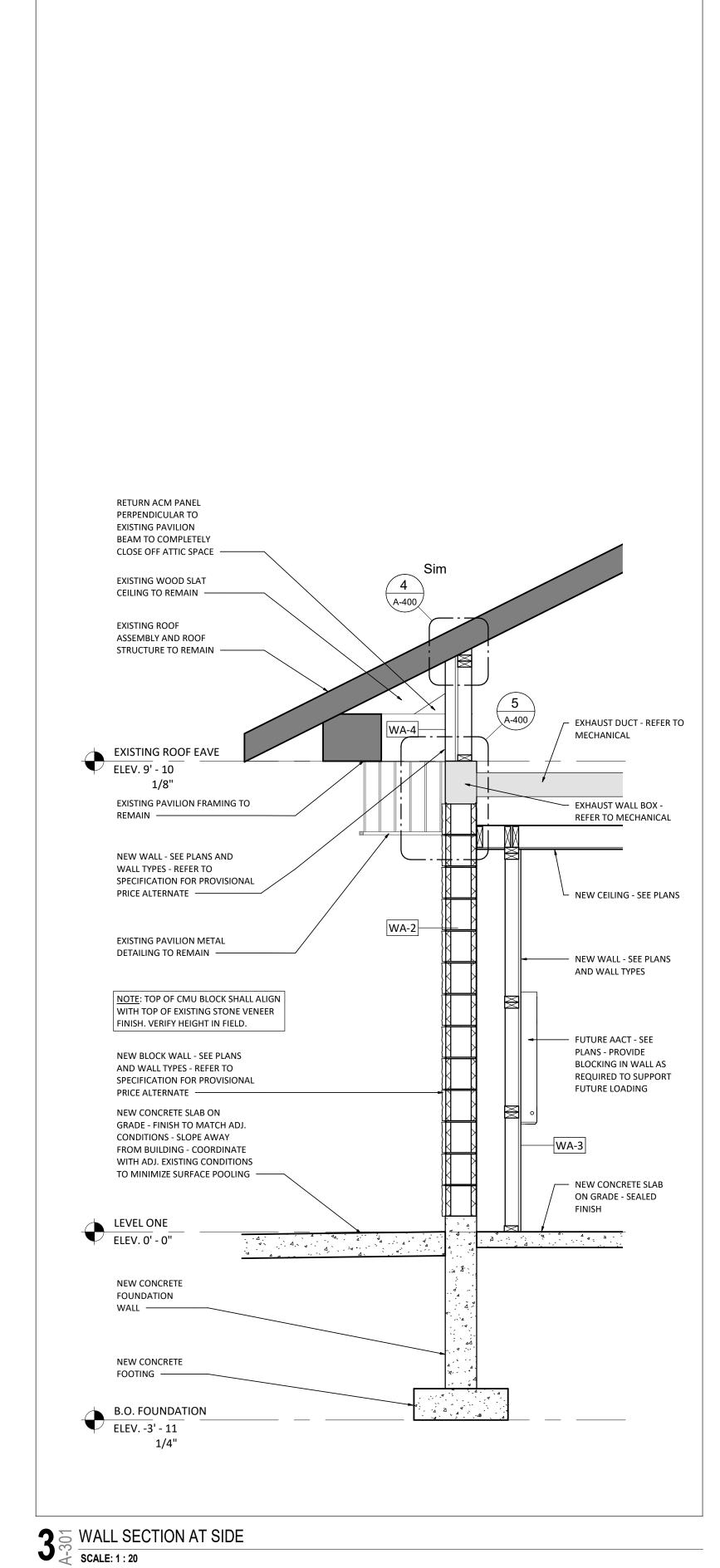
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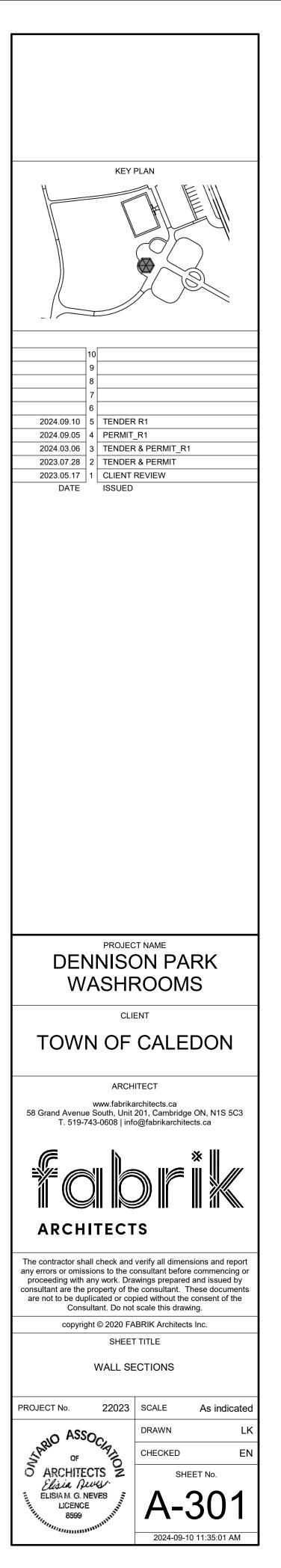


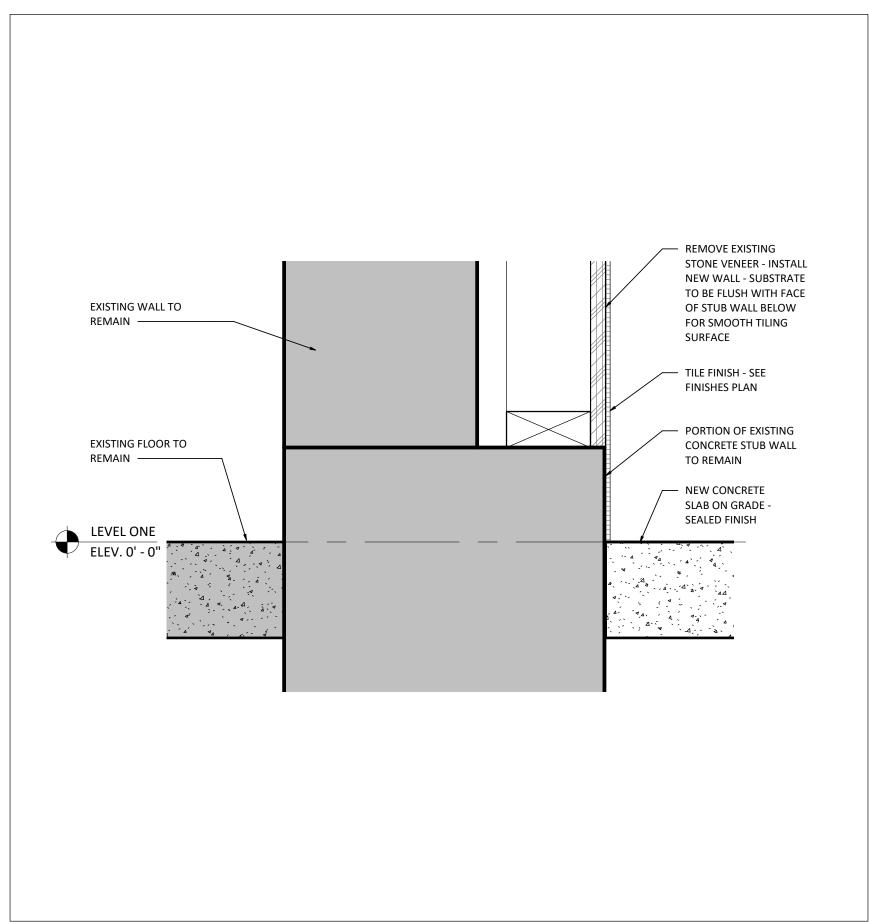


2 WALL SECTION AT HIGH ROOF

SCALE: 1: 20

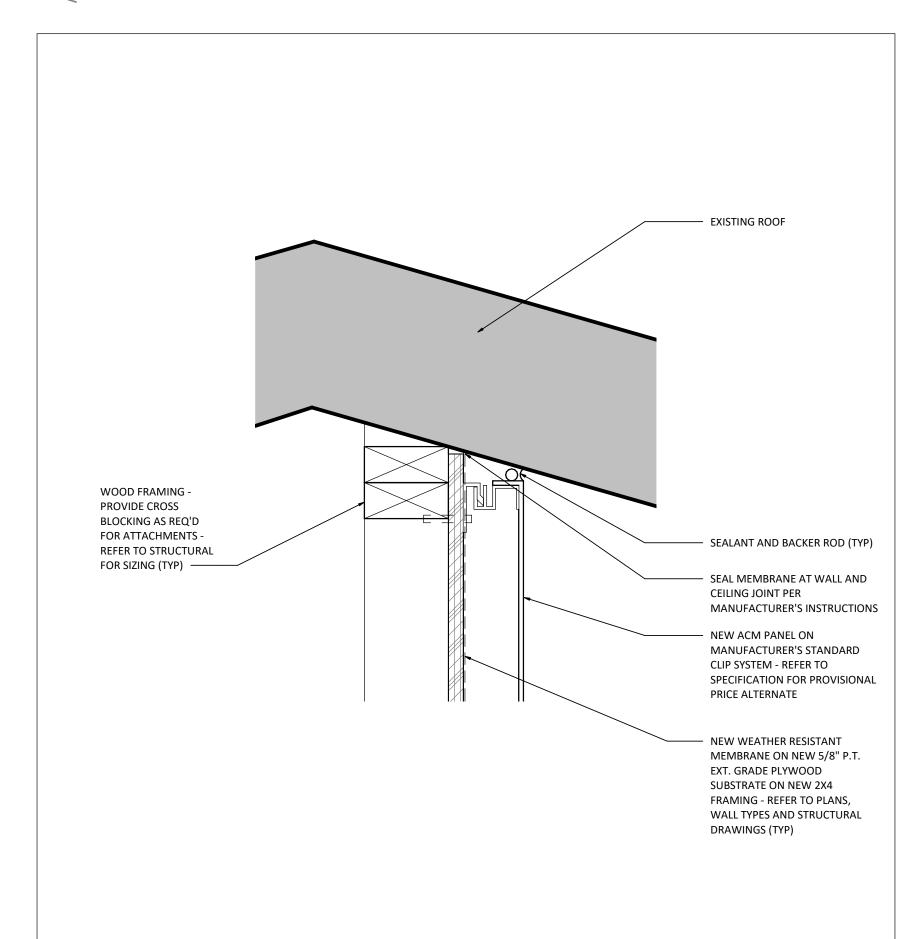


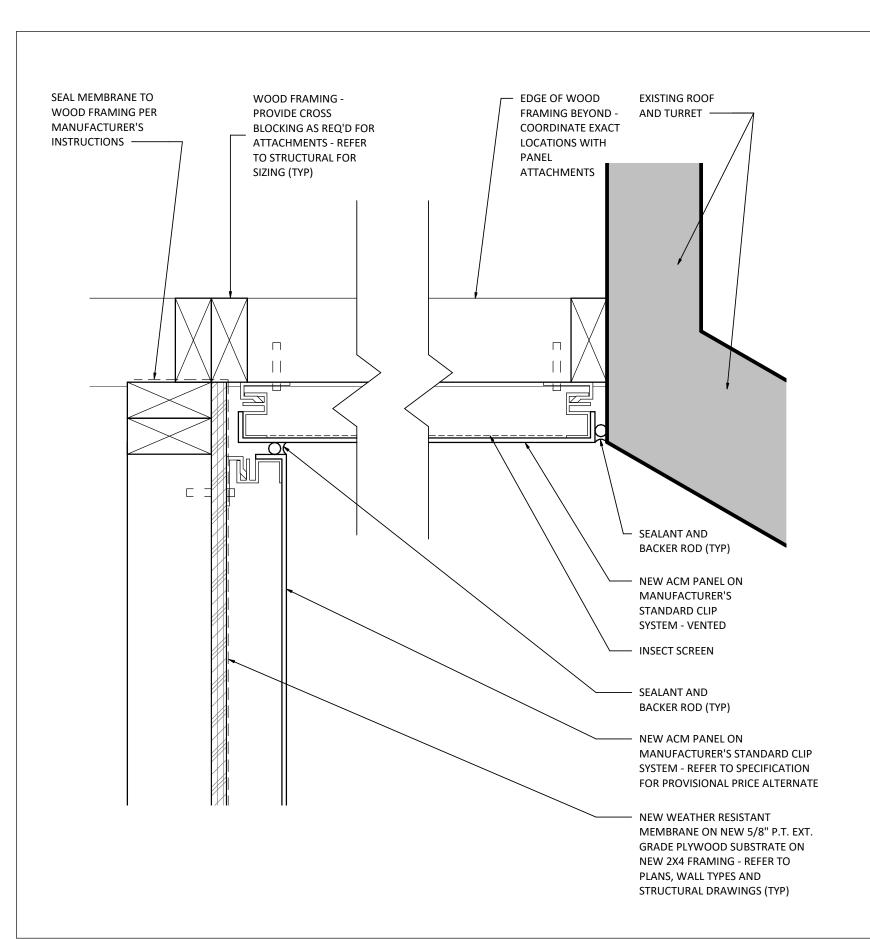




SECTION DETAIL AT REMAINING STUB WALL SCALE: 3" = 1'-0"

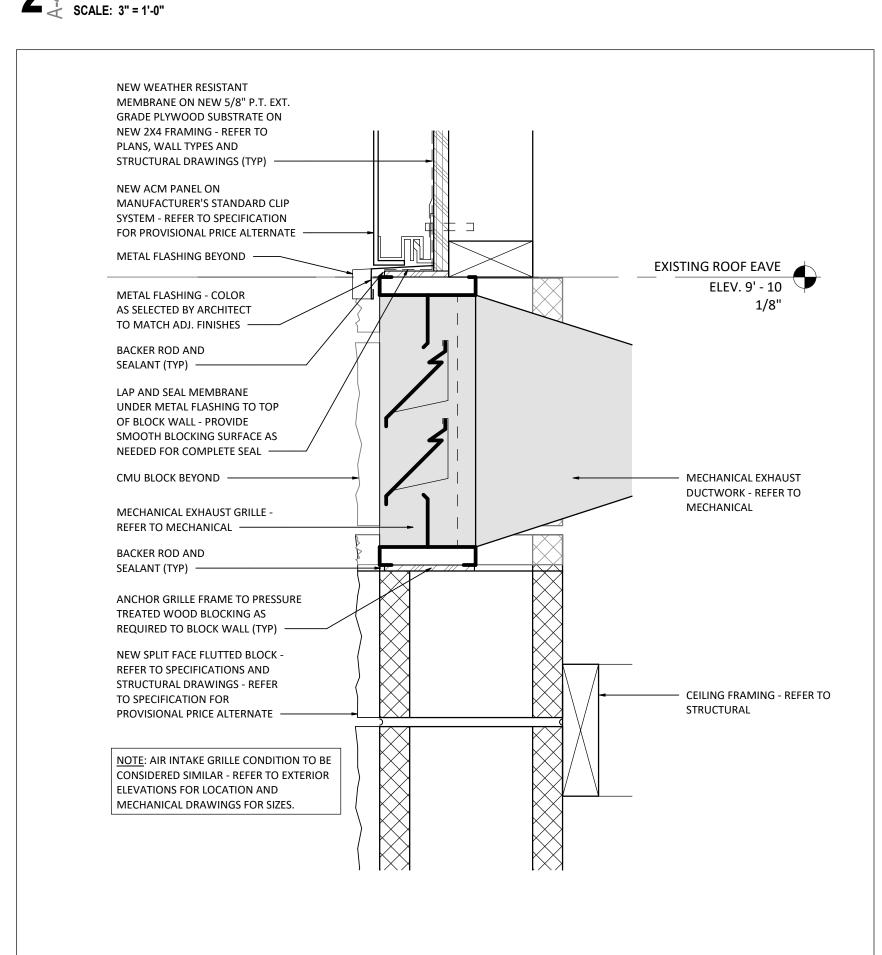
SECTION DETAIL AT METAL PANEL TO ROOF





2 SECTION DETAIL AT TURRENT CEILING INFILL

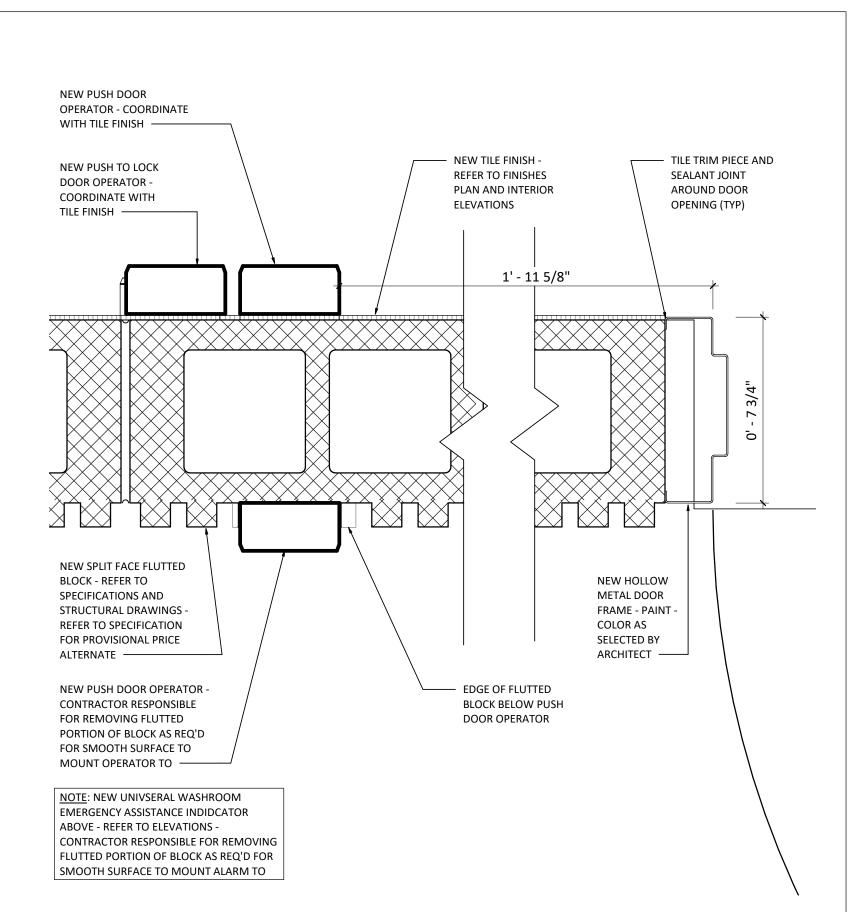
SCALE: 3" = 1'-0"



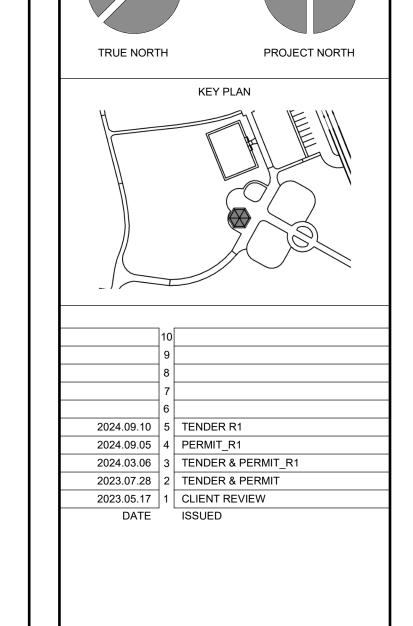
5 SECTION DETAIL AT MECH EXAUST SCALE: 3" = 1'-0"

NEW ACM PANEL ON MANUFACTURER'S STANDARD CLIP SYSTEM - REFER TO EDGE OF WOOD SPECIFICATION FOR FRAMING BEYOND -PROVISIONAL PRICE ALTERNATE NEW WEATHER RESISTANT WOOD FRAMING -MEMBRANE ON NEW 5/8" P.T. PROVIDE CROSS EXT. GRADE PLYWOOD BLOCKING AS REQ'D SUBSTRATE ON NEW 2X4 FOR ATTACHMENTS -FRAMING - REFER TO PLANS, REFER TO STRUCTURAL WALL TYPES AND FOR SIZING (TYP) -STRUCTURAL DRAWINGS (TYP) EXISTING ROOF EAVE ELEV. 9' - 10 TOP OF BLOCK WALL NEW METAL FLASHING - COLOR BEYOND -AS SELECTED BY ARCHITECT TO MATCH ADJACENT FINISHES SELF-ADHERED WEATHER RESISTIVE MEMBRANE BELOW METAL FLASHING AND UP WALL MIN. 4 INCHES - TAPE OVERLAP WITH MEMBRANE ABOVE NEW SPLIT FACE FLUTTED BLOCK - REFER TO SPECIFICATIONS AND STRUCTURAL DRAWINGS

3 SECTION DETAIL AT BLOCK TO METAL PANEL WALL SCALE: 3" = 1'-0"







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SHEET TITLE
PLAN & SECTION DETAILS

PROJECT No. 22023 SCALE

OF ARCHITECTS Z
Elisia News

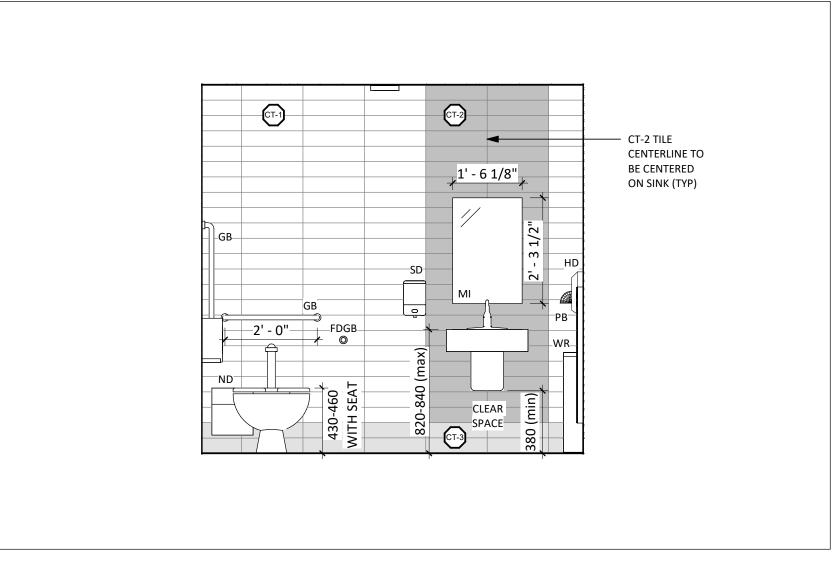
ELISIAM. G. NEVES
LICENCE
B599
LICENCE

DRAWN LK

CHECKED EN

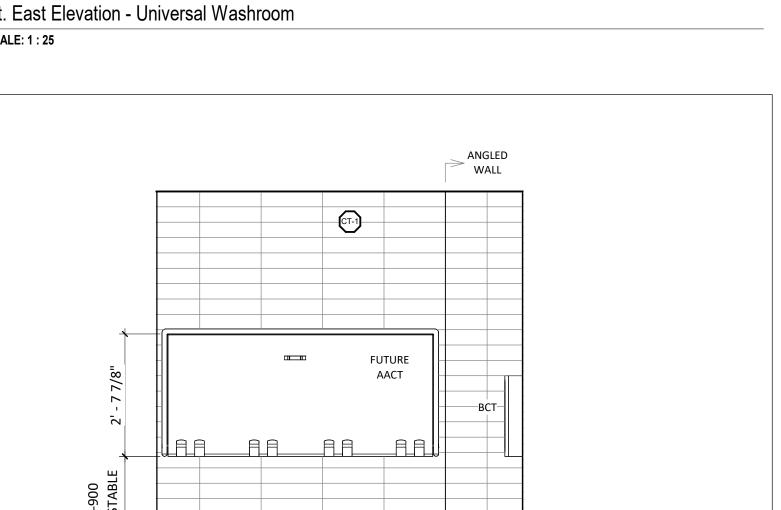
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A-400

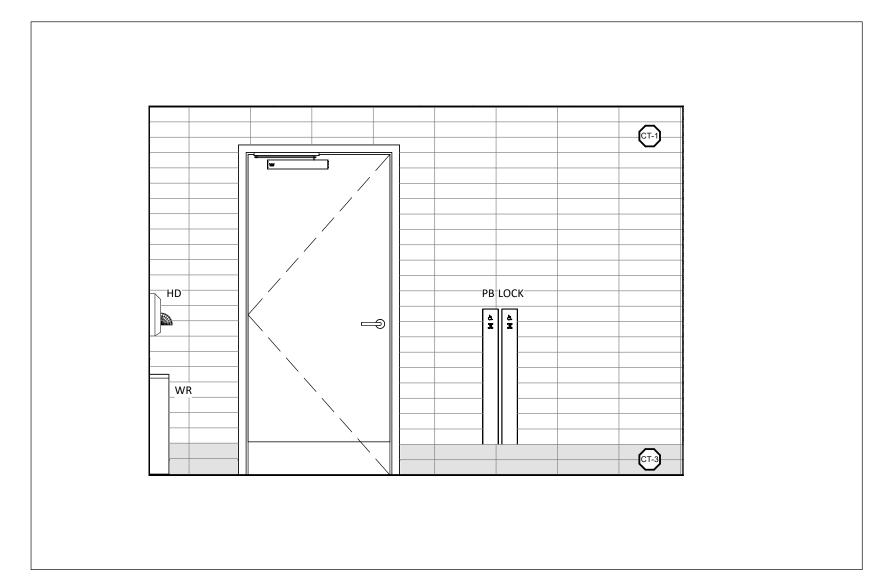


Int. East Elevation - Universal Washroom

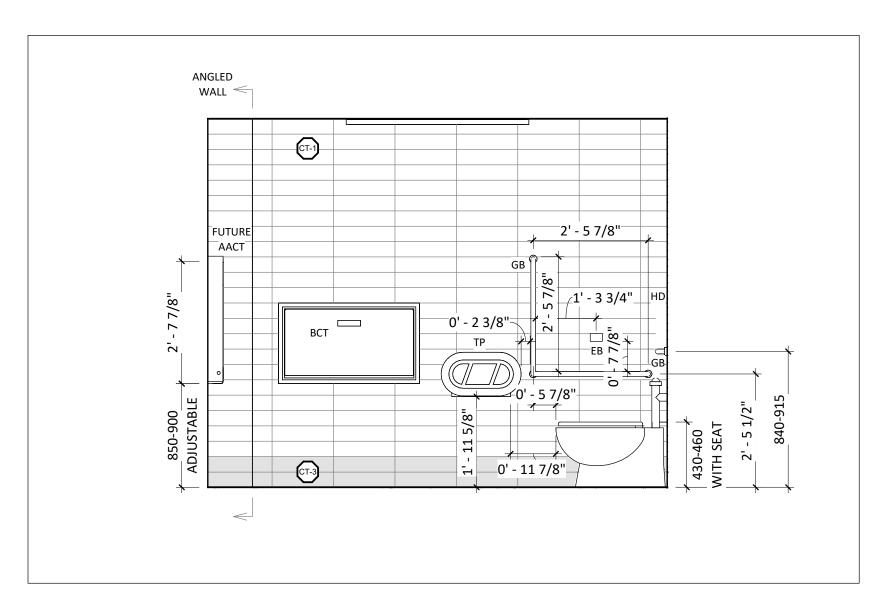
SCALE: 1:25



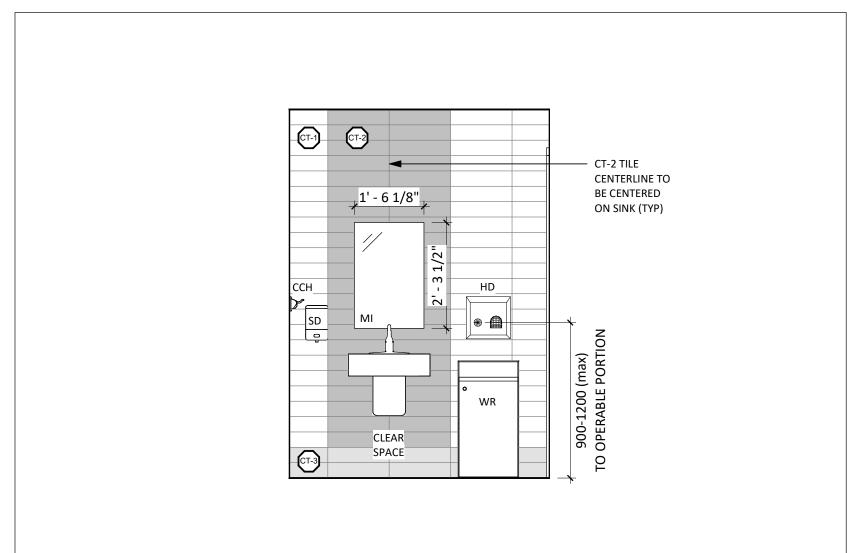
Int. West Elevation - Universal Washroom SCALE: 1:25



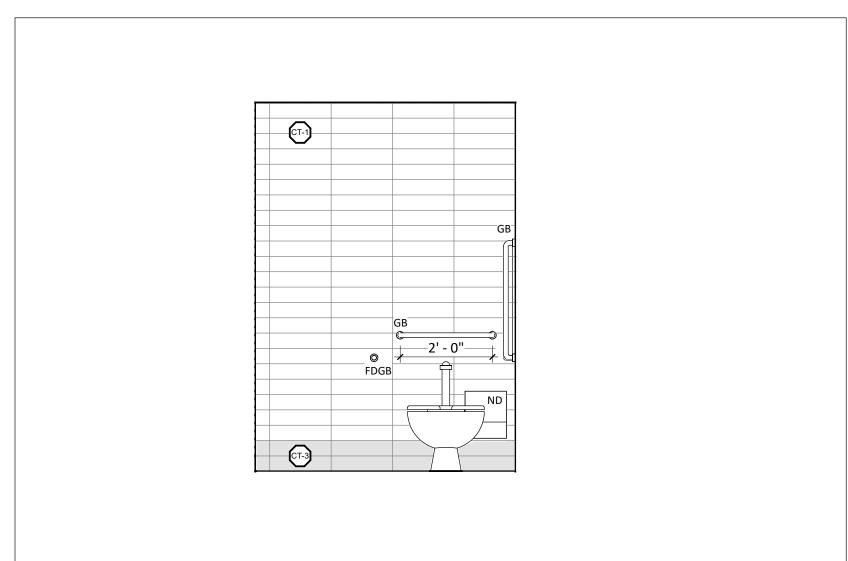
7 Int. South Elevation - Barrier Free Washroom SCALE: 1 : 25



2 Int. North Elevation - Universal Washroom SCALE: 1:25

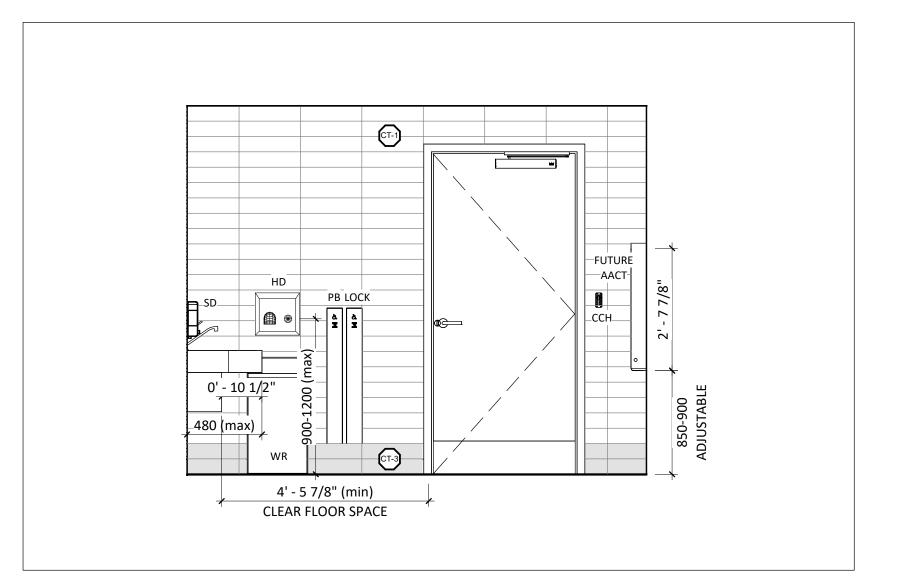


5 Int. East Elevation - Barrier Free Washroom SCALE: 1:25

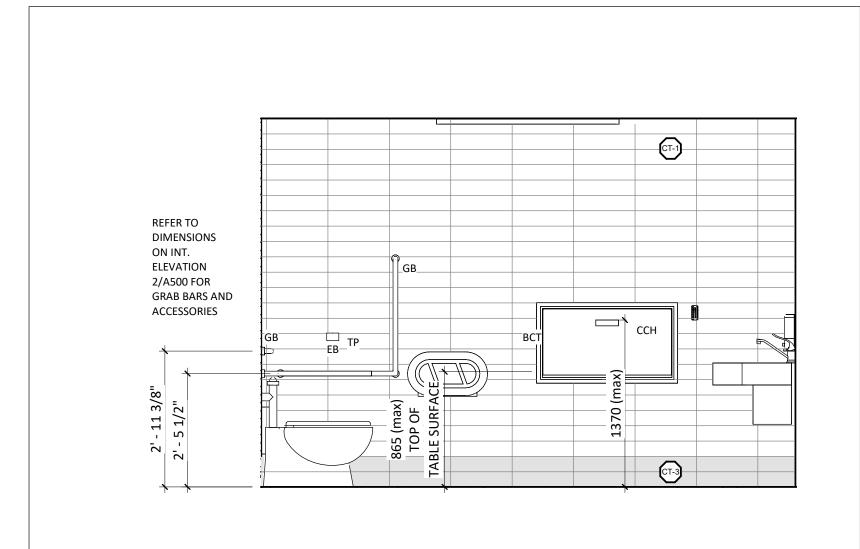


Int. West Elevation - Barrier Free Washroom

SCALE: 1: 25



3 Int. South Elevation - Universal Washroom SCALE: 1:25



6 Int. North Elevation - Barrier Free Washroom SCALE: 1:25

MI MIRROR SLV SHELF CCH COLLAPSIBLE COAT HOOK LB LOCK BUTTON PB POWER BUTTON OPERATOR EB EMERGENCY BUTTON GB GRAB BAR HD HAND DRYER FDGB FOLD DOWN GRAB BAR AACT ADJUSTABLE ADULT CHANGE TABLE BCT BABY CHANGE TABLE

ABBREVIATION LEGEND

ACCESSORIES

OTHER HDPE HIGH DENSITY POLYETHYLENE FD FLOOR DRAIN CO CLEAN OUT

WR WASTE RECEPTACLE

SD SOAP DISPENSER

ND NAPKIN DISPOSAL

CT CHILDREN'S TOILET AS AUTO SENSOR

BSD BIOMEDICAL SHARPS DISPOSAL

TP TOILET PAPER (DISPENSER)

EXT EXISTING NIC NOT IN CONTRACT AFF ABOVE FINISHED FLOOR MR MOISTURE RESISTANT C J CONTROL JOINT

ADJUSTABLE ADULT CHANGE TABLE: NOT INSTALLED AS PART OF THIS PROJECT.

WASHROOM ACCESSORY SPECIFICATIONS AND NOTES

CONTRACTOR IS RESPONSIBLE FOR PROVIDING BLOCKING IN WALL FOR EASE OF FUTURE INSTALLATION. NOTE: ALL ALTERNATES MUST BE OF EQUAL QUALITY AND APPEARANCE. CONTRACTOR TO SUBMIT ALL PROPOSED ALTERNATES TO

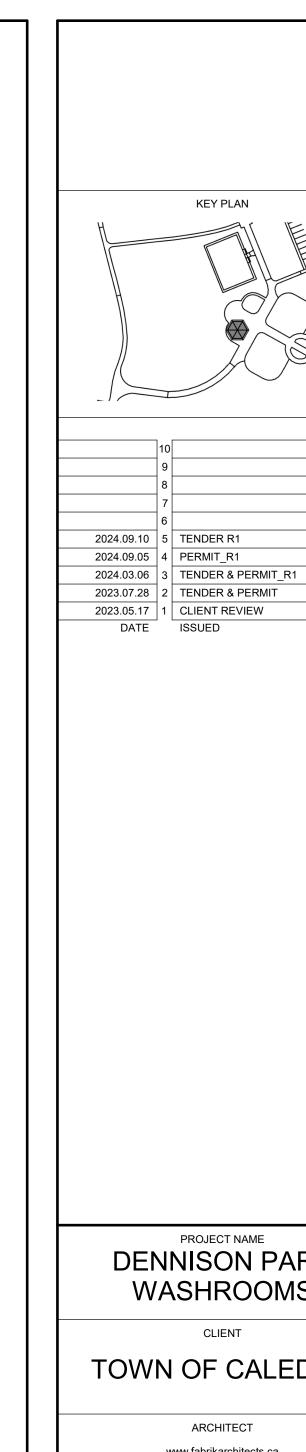
ARCHITECT FOR REVIEW AND APPROVAL PRIOR

REFER TO SPECIFICATIONS.

TO ORDERING.

FINISHES LEGEND

REFER TO FINISHES PLAN FOR FULL FINISHES LEGEND



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> > INTERIOR ELEVATIONS

PROJECT No.

22023 SCALE As indicated DRAWN

2024-09-10 11:35:02 AM

CHECKED SHEET No.

OF ARCHITECTS Z LICENCE 8599

ELISIA M. G. NEVES

ELECTRICAL SPECIFICATION

ELECTRICAL CONTRACTOR'S EXPENSE.

GENERAL CONDITIONS

- THE CANADIAN STANDARD FORM OF CONSTRUCTION CONTRACT AND GENERAL CONDITIONS GOVERNING THE SAME CCDC PARTS 1 TO 12 INCLUSIVE ARE HEREBY MADE PART OF THIS SPECIFICATION. ALL WORK SHALL BE IN FULL ACCORDANCE WITH THE REQUIREMENTS OF THE 2018 ONTARIO ELECTRICAL
- SAFETY CODE, ELECTRICAL SAFETY AUTHORITY (ESA), AND THE LOCAL BUILDING INSPECTION DEPARTMENT REQUIREMENTS.
- ELECTRICAL CONTRACTOR SHALL INCLUDE FOR ESA INSPECTION FEES.
- THIS CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE AS REQUIRED. ALL WORKMANSHIP SHALL BE EXECUTED TO A STANDARD DETERMINED BY GOOD PRACTICE. THE ELECTRICAL CONTRACTOR SHALL GUARANTEE THE EQUIPMENT & INSTALLATION FOR ONE YEAR FROM SUBSTANTIAL COMPLETION.
- THE ELECTRICAL CONTRACTOR SHALL SUBMIT ONE SET OF ELECTRONIC PDF SHOP DRAWINGS OR SIX HARD COPIES OF SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW. MATERIALS **SHALL NOT BE ORDERED** UNTIL REVIEW HAS BEEN COMPLETED. APPROVAL IS FOR GENERAL DESIGN COMPLIANCE ONLY.
- THE OWNERS RESERVE THE RIGHT TO ALTER THE LOCATION OF ANY ITEM UP TO TEN FEET (3m) WITHOUT
- INCURRING EXTRA COSTS, PROVIDED THE REQUEST IS MADE PRIOR TO INSTALLATION. ALL MATERIAL AND EQUIPMENT USED ON THIS PROJECT SHALL BE C.S.A. APPROVED, ESA FIELD EVALUATED,
- OR MUST BEAR AN ESA RECOGNIZED CERTIFICATION MARK. CUTTING AND PATCHING FOR ELECTRICAL WORK SHALL BE DONE BY THE GENERAL CONTRACTOR AT THE
- 0. THE CONTRACTOR SHALL VISIT THE SITE AND EXAMINE THE EXISTING CONDITIONS AND THEN MAKE NECESSARY ALLOWANCES IN THEIR TENDER PRICE FOR REMOVAL, RELOCATION, REROUTING AND/OR RECONNECTION OF EXISTING ELECTRICAL EQUIPMENT AND WIRING, AS MAY BE NECESSARY FOR THE EXECUTION AND COMPLETION OF THIS PROJECT. EXTRA CHARGES FOR PREMIUM TIME LABOUR SHALL BE INCLUDED IN THE TENDER PRICE, ALLOWING FOR AFTER HOURS, WEEKEND AND HOLIDAY LABOUR REQUIREMENTS.
- . THE DRAWINGS AND SPECIFICATIONS SHALL BE READ IN CONJUNCTION WITH THE ARCHITECTURAL AND MECHANICAL DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES OR CONTRADICTIONS SHALL BE
- BROUGHT TO THE CONSULTANT'S ATTENTION. 12. THE ELECTRICAL REQUIREMENTS OF ALL MECHANICAL EQUIPMENT IS TO BE CONFIRMED WITH
- MECHANICAL DRAWINGS & SCHEDULES PRIOR TO RELATED WORK. 13. ALL TEMPORARY LIGHTING AND POWER DURING CONSTRUCTION SHALL BE BY THE GENERAL CONTRACTOR AFTER AGREEMENT WITH THE ELECTRICAL CONTRACTOR. POWER SHALL BE PROVIDED FROM PANELS WITH REQUIRED SUPPLY AND CAPACITY.
- 4. TENDER SHALL BE BASED UPON THE SPECIFIED EQUIPMENT AND MATERIAL. REQUESTS FOR CONSIDERATION OF ALTERNATES TO THE SPECIFIED MATERIALS SHALL BE MADE TO THE CONSULTANT ONE WEEK PRIOR TO TENDER CLOSING AND SHALL INCLUDE MANUFACTURER, MODEL, AND COST MODIFICATION. COSTS OF ANY CHANGE REQUIRED TO OTHER TRADES AS A RESULT OF USING ALTERNATE EQUIPMENT ARE TO BE INCURRED BY THE ELECTRICAL CONTRACTOR.
- . ALL CLAIMS FOR EXTRA WORK NOT COVERED IN THE CONTRACT TO BE SUBMITTED WITH A COMPLETE BREAKDOWN OF MATERIALS AND LABOUR.
- 6. DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS ARE TO BE TAKEN FROM THE ARCHITECTURAL DRAWINGS AND CONFIRMED ON SITE.
- . PROVIDE FIRE STOPPING PROTECTION FOR OPENINGS THROUGH ALL FIRE RATED ASSEMBLIES. ULC LISTED ASSEMBLY NUMBERS ARE TO BE USED.

MOUNTING HEIGHTS

1.	DEVICE MOUNTING HEIGHT TO CENTRE OF DEVICE	Œ IS AS FOLLOWS:	
	 LIGHT SWITCHES 	1070mm	
	• RECEPTACLE	400mm	
	 THERMOSTATS 	1200mm	
	 POWER DOOR OPERATORS 	1000mm	
	 UNIVERSAL WASHROOM CONTROL 	1000mm	
	 UNIVERSAL WASHROOM AUDIBLE/VISUAL 	2300mm	
	OTHER BUILDING CONTROLS	1000mm	

ELECTRICAL EQUIPMENT, DEVICES & MATERIAL

- ALL EQUIPMENT, DEVICES & MATERIAL TO BE INSTALLED AS PER MANUFACTURERS INSTRUCTIONS. ALL BRANCH CIRCUIT WIRING SHALL BE RUN IN ELECTRICAL METALLIC TUBING (E.M.T.) OR FLEXIBLE ARMOURED CABLE (AC90) RECESSED IN WALLS OR CEILINGS EXCEPT WHERE SPECIFICALLY NOTED ON THE PLANS. ALL WIRING TO BE COPPER AND MINIMUM #12 AWG UNLESS STATED OTHERWISE. ALL SURFACE WIRING SHALL BE T90/RW90 COPPER IN EMT CONDUIT HERE WIRING AND CONDUIT CANNOT
- ALL BELOW GRADE WIRING SHALL BE RW90 COPPER IN RIGID PVC CONDUIT UNLESS OTHERWISE NOTED.
- ALL ELECTRICAL DEVICES AND LIGHTING CONTROLS, TO HAVE **TYPED CIRCUIT LABEL** ON DEVICE COVER PLATE. LABEL TO BE BLACK LETTERING ON CLEAR BACKING
- ELECTRICAL PANELS TO HAVE BOLT ON CIRCUIT BREAKERS. PANELS SHALL HAVE TYPED DIRECTORIES.
- ALL JUNCTION AND PULLING BOXES ARE TO BE ACCESSIBLE AND BE PROVIDED WITH SCREWED PLATES COLOUR MATCHED TO ADJACENT WALL OR CEILING FINISHES.
- PULL BOXES SHALL BE PROVIDED EVERY 30m AND EVERY THREE 90° BENDS.
- ALL WIRING SHALL BE PARALLEL WITH ARCHITECTURAL LINES AND DESIGN.
- PROVIDE A NYLON PULL STRING IN ALL EMPTY CONDUIT.
- 1. ALL NEW SWITCH AND RECEPTACLE DEVICES & PLATES SHALL BE WHITE. ALL DEVICES TO BE COMMERCIAL GRADE DECORA SERIES OR EQUAL UNLESS OTHERWISE STATED. DO NOT MOUNT WALL OUTLETS BACK TO BACK IN WALLS, STAGGER TO PREVENT SOUND TRANSFER. WIRING TO FIXTURES IN SUSPENDED CEILINGS IS TO CONSIST OF AC90 'DROPS' WITH A MAXIMUM LENGTH
- OF 4.5m (15 FT) AND T90 WIRING IN EMT CONDUIT BACK TO SOURCE PANEL. ALL CONDUITS TO BE SECURELY FASTENED WITH APPROVED CLIPS AND SCREWS. NAILS OR TIE WIRES ARE
- NOT ACCEPTABLE.
- 14. ALL ELECTRICAL EQUIPMENT, DEVICES, AND WIRING ARE TO BE INDEPENDENTLY SUPPORTED. KEEP CLEAR
- OF MECHANICAL PIPING WHERE POSSIBLE. WIRING FOR MECHANICAL EQUIPMENT SHALL BE AS DETAILED ON THE PLANS.
- 16. PROVIDE 21mm (3/4") CONDUIT RACEWAY BETWEEN MECHANICAL EQUIPMENT AND CONTROLS AS PER
- MECHANICAL AND ELECTRICAL PLANS. . PROVIDE EQUIPOTENTIAL BONDING OF NON-ELECTRICAL EQUIPMENT AS PER OESC 10-700. REFER TO
- MECHANICAL AND ARCHITECTURAL PLANS.

COMMUNICATION SYSTEM

- THE ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL A COMPLETE EMPTY CONDUIT SYSTEM FOR COMMUNICATION OUTLETS AS SHOWN ON THE PLANS.
- PROVIDE CONDUIT AS PER LOW-VOLTAGE DEVICE SCHEDULE.
- PROVIDE NYLON PULL STRING IN ALL EMPTY CONDUITS.
- EMPTY CONDUITS PENETRATING FIRE SEPARATIONS TO BE FIRE STOPPED.

LIGHTING

- SUPPLY AND INSTALL LIGHTING FIXTURES AND DEVICES AS NOTED ON THE PLANS AS PER THE
- MANUFACTURERS INSTALLATION INSTRUCTIONS.
- INSTALL ALL FIXTURES PARALLEL WITH BUILDING LINES UNLESS INDICATED OTHERWISE.
- FOR RECESSED FIXTURES (LED PUCK LIGHTS EXEMPTED) WITHIN SUSPENDED CEILINGS, PROVIDE EITHER: A. SAFETY 'JACK CHAIN' TO BUILDING STRUCTURE, OR
- B. MANUFACTURER APPROVED FASTENING DEVICES OR 'EARTHQUAKE CLIPS' FASTENED TO T-BAR. INSTALL A SEPARATE NEUTRAL CONDUCTOR FOR EACH LIGHTING BRANCH CIRCUIT.

LIGHTING CONTROL WIRING NOT RUN WITHIN CONDUIT SHALL BE PLENUM RATED (FT6).

- **EXISTING CONDITIONS**
- ELECTRICAL WORK AFFECTING OTHER TENANTS SHALL BE PERFORMED AFTER BUSINESS HOURS (EVENINGS AND WEEKENDS). COORDINATE WITH LANDLORD.
- SERVICE AND DISTRIBUTION SYSTEM POWER INTERRUPTIONS SHALL BE KEPT TO A MINIMUM. POWER INTERRUPTIONS MUST BE COORDINATED WITH THE OWNER AND ALL OTHER TRADES BY THIS CONTRACTOR. WRITTEN APPROVAL FOR ELECTRICAL INTERRUPTIONS MUST BE RECEIVED FROM THE OWNER INDICATING THE DATE, TIME AND ESTIMATED DURATION OF THE INTERRUPTION. APPLICATION FOR APPROVAL OF THE POWER INTERRUPTIONS MUST BE SUBMITTED TO THE OWNERS AND/OR ARCHITECTS AT LEAST TWO WEEKS PRIOR TO THE REQUESTED SHUTDOWN DATE.
- EXISTING ELECTRICAL EQUIPMENT, REMOVED AND INDICATED FOR REUSE, SHALL BE CLEANED BEFORE RE-
- WIRING LOCATED IN AREAS BEING ALTERED OR DEMOLISHED, BUT FEEDING OUTLETS OR EQUIPMENT REQUIRED TO REMAIN IN SERVICE, MUST BE REWORKED IN ORDER TO MAINTAIN THE CONTINUITY OF THE EXISTING WIRING.
- REPAIRS TO EXISTING WALLS, FLOORS, AND CEILINGS ARE TO BE PERFORMED BY THE GENERAL
- CONTRACTOR TO MEET THE EXISTING CONDITIONS. SEQUENCE OF REMOVAL AND RELOCATION OF EXISTING EQUIPMENT AND WIRING SHALL BE COORDINATED WITH THE OTHER TRADES AND SHALL CONFORM TO THE REQUIREMENTS AND CONDITIONS OUTLINED.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION TO EXISTING WIRING AND EQUIPMENT THROUGHOUT THE PROJECT, PARTICULARLY WHERE WIRING AND ELECTRICAL EQUIPMENT HAVE BECOME EXPOSED TO MECHANICAL DAMAGE OR MOISTURE IN THE COURSE OF ALTERATIONS OR NEW
- CONSTRUCTION. NEW OUTLETS AND EQUIPMENT SHOWN IN THE SAME LOCATION AS EXISTING OUTLETS MAY BE FED THROUGH THE EXISTING CONDUITS/WIRING, PROVIDED THAT THEY ARE IN GOOD CONDITION AND ARE ACCEPTABLE TO THE ESA INSPECTION DEPARTMENT.

DEMOLITION

- ALL EXISTING ELECTRICAL EQUIPMENT, WIRING, AND ROUGH-IN DEVICES ARE TO BE REMOVED COMPLETE TO SUIT THE DEMOLITION AND RENOVATION OF THE SPACES. ALL EXISTING ELECTRICAL EQUIPMENT, NOT BEING REUSED, SHALL BECOME THE PROPERTY OF THE OWNER. ELECTRICAL CONTRACTOR SHALL PROPERLY DISPOSE OF EQUIPMENT NOT DESIRED BY OWNER.
- ALL DEVICES & EQUIPMENT MADE OBSOLETE SHALL BE REMOVED FROM THE CONSTRUCTION SITE.

GENERAL CLOSE OUT PROCEDURES

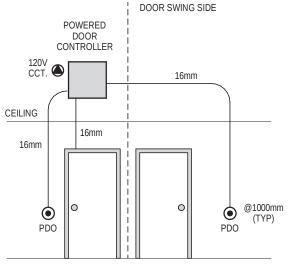
- **DOCUMENTS:** ELECTRICAL CONTRACTOR TO SUBMIT:
- ESA CERTIFICATE OF INSPECTIONS;
- SIGNED COPY OF EMERGENCY LIGHTING TEST REPORT. EMERGENCY LIGHTING TEST REPORT TO INDICATE TOTAL RUNTIME OF EMERGENCY LIGHTING ONCE NORMAL POWER IS LOST FOR EACH
- TRAINING: ELECTRICAL CONTRACTOR SHALL PROVIDE TRAINING SESSIONS TO THE OWNER ON ALL MAJOR
- **COMMISSIONING:** ALL MAJOR SYSTEMS ARE TO BE COMMISSIONED BY THE MANUFACTURERS
- REPRESENTATIVE INCLUDING FIRE ALARM, LIGHTING CONTROL SYSTEMS.
- RECORD DRAWINGS: ELECTRICAL CONTRACTOR SHALL PROVIDE RECORD DRAWINGS OF ACTUAL INSTALLATION TO OWNERS WITHIN 30 DAYS OF SYSTEM ACCEPTANCE. DRAWINGS ARE TO INCLUDE SINGLE LINE DIAGRAM OF DISTRIBUTION SYSTEM; FLOOR PLANS SHOWING THE LOCATION OF DISTRIBUTION EQUIPMENT AND THE AREAS SERVED BY THAT EQUIPMENT; CHANGES TO LIGHTING, LIGHTING CONTROLS & CIRCUITING.

INSPECTIONS BY CONSULTANT

- CONTRACTOR SHALL NOTIFY CONSULTANTS WHEN INSPECTIONS ARE REQUIRED. ALLOW FOR MINIMUM OF THREE BUSINESS DAYS OF NOTICE PRIOR TO INSPECTION.
- INSPECTIONS ARE REQUIRED AT THE FOLLOWING MILESTONES:
- A. FINAL INSPECTION

All Sheet Notes

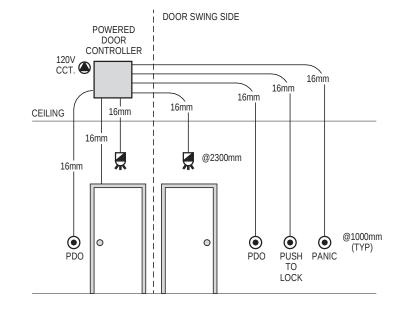
L1 Rework existing circuit LP-1,3 to feed exterior lighting fixtures type W1. To be controlled by a local switch.



PROVIDE BACKING BOX & 16mm EMT FROM EACH DEVICE TO POWER DOOR CONTROLLER. COORDINATE WITH CONTROLLER PROVIDER.

- 16mm EMT TO DOOR HEADER, PULL STRING TO ELECTRIC STRIKE.
- PDO BUTTON OUTSIDE DOOR SWING AS SHOWN
- PDO BUTTON ON DOOR SWING SIDE, BETWEEN 600mm & 1500mm FROM DOOR SWING
- PULL STRING IN ALL CONDUITS





PROVIDE BACKING BOX & 16mm EMT FROM EACH DEVICE TO POWER DOOR CONTROLLER. COORDINATE WITH CONTROLLER PROVIDER.

- 16mm EMT TO DOOR HEADER, PULL STRING TO ELECTRIC
- PDO BUTTON OUTSIDE DOOR SWING AS SHOWN ON
- PDO BUTTON ON DOOR SWING SIDE, BETWEEN 600mm & 1500mm FROM DOOR SWING
- ASSISTANCE REQUESTED SOUNDER, OUTSIDE & INSIDE PUSH TO LOCK
- EMERGENCY PANIC BUTTON
- PULL STRING IN ALL CONDUITS



DEVICE OPTIONS & TAGS

?	SHEET NOTE LABEL - REFER TO SHEET NOTES
CL	CEILING MOUNT
FL	FLOOR MOUNT
GFI	DEVICE WIRED TO LOAD SIDE OF GFCI RECEPTACLE/BREAKER

NEW DEVICE/EQUIPMENT TO BE REMOVED EXISTING TO REMAIN



RS-2 EQUIPMENT TYPE ID (AS PER MECHANICAL EQUIPMENT SCHEDULE) @1800mm AFF — EQUIPMENT SPECIFIC DETAILS. M☐→ EQUIPMENT SYMBOL (VARIES)

Tags - Mechanical Equipment 27S DEVICE TYPE ID (AS PER LOW VOLTAGE DEVICE SCHEDULE) TV@1800mm — DEVICE SPECIFIC MOUNTING INSTRUCTIONS

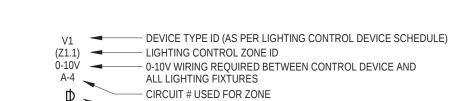
DEVICE SYMBOL (VARIES)

DEVICES WITH UNIQUE SYMBOL & TYPE MAY NOT HAVE A TYPE ID. DEVICES MOUNTED BESIDE COUNTER HEIGHT ELECTRICAL DEVICES ARE TO ALSO BE MOUNTED AT COUNTER HEIGHT.

Tags - Low Voltage Devices

A-4 — DEVICE CIRCUIT TV@1800mm — DEVICE SPECIFIC DETAILS DEVICE SYMBOL (VARIES)

DEVICES WITH UNIQUE SYMBOL & TYPE MAY NOT HAVE A TYPE ID Tags - Electrical Devices



—— DEVICE SYMBOL (VARIES) Tags - Lighting Devices

Electrical Sheet List

Electrical Legend & Specification

Electrical Plan

Sheet Name

ELECTRICAL LEGEND

CHEDULE (x = TYPE)	EXISTING	DEMO	NEW	DESCRIPTION
,	\$	\$	\$ _x	LIGHT SWITCH
-	Ф	\$	Φ _x	DIMMER SWITCH
G ES	MS	(MS)	₩S x	LIGHTING MOTION SENSOR
LIGHTING DEVICE SCHEDULES	PP	PP	PP x	LIGHTING POWER PACK
SCH	TC	тс	TC x	LIGHTING TIME CLOCK
-	CNT	(CNT)	(CNT) x	LIGHTING CONTACTOR
-	PC	PC	PC x	LIGHTING PHOTOCELL
	₹	### ###	ಕ== x	EMERGENCY LIGHT, BATTERY UNIT
	Ÿ,¾º	¥,255	료 ^১ রফ ×	EMERGENCY LIGHT, REMOTE HEAD
TING	Ò	X)O(x	LIGHTING FIXTURE
LIGHTING FIXTURE SCHEDULES	ĻO(HX	⊢,O(×	WALL MOUNTED LIGHTING FIXTURE
0,			x	LIGHTING FIXTURE
	<u>)</u> O(>	<u>)</u> (())O(>x	POST TOP LIGHTING FIXTURE, ARROW INDICATED DIRECTION
CAL		7////		ELECTRICAL POWER PANEL
ELECTRICAL EQUIPMENT SCHEDULES				
EQL SCP	\boxtimes		\bowtie	ELECTRICAL EQUIPMENT - MISCELLANEOUS
	M	(M)	(M) x	MECHANICAL EQUIPMENT CONTROL
J L .	(M)	(<u>\$</u>)	⊚ x	MECHANICAL EQUIPMENT - HARDWIRE CONNECTION
MECHANICAL EQUIPMENT SCHEDULES	6	Ŵ.T.	∯¤x	MECHANICAL EQUIPMENT c/w LOCAL DISCONNECT
1ECH/	Мф	МШ	Мфх	MECHANICAL EQUIPMENT - DUPLEX RECEPTACLE 15A
≥ ш •,	М	M∰	Мфх	MECHANICAL EQUIPMENT - DUPLEX RECEPTACLE 20A
		IE::::BI	×	MECHANICAL EQUIPMENT - CONTRACTOR SUPPLIED ELECTRIC HEATER
CAL E LES		(A)	● _X	HARDWIRE CONNECTION
ELECTRICAL DEVICE SCHEDULES	\oplus	€:-	⊕x	DUPLEX RECEPTACLE 15A
SCF	=	{ }:	⊕ х	DUPLEX RECEPTACLE 15A - COUNTER (100mm ABOVE BACKSPLASH)
rage e LES	•	(1)	•	PUSHBUTTON (BOX & 16mm EMT TO ACCESSIBLE CEILING SPACE)
LOW VOLTAGE DEVICE SCHEDULES				
≥ 100 P		ZI.€	X	UNIVERSAL WASHROOM: ASSISTANCE REQUESTED AUDIBLE VISUAL SIGNA



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THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY

PROCEEDING WITH THE WORK.

DRAWINGS ARE NOT TO BE SCALED.

ENGINEERING LTD.

Issued For Tender R1 Sep 10, 2024 Issued For Permit/Tender Jul 10, 2023 Issued For Review Jan 03, 2023 DESCRIPTION **REVISION SCHEDULE**



TORONTO, ON, M4S 3E2 PROJECT NAME

Dennison Park WR

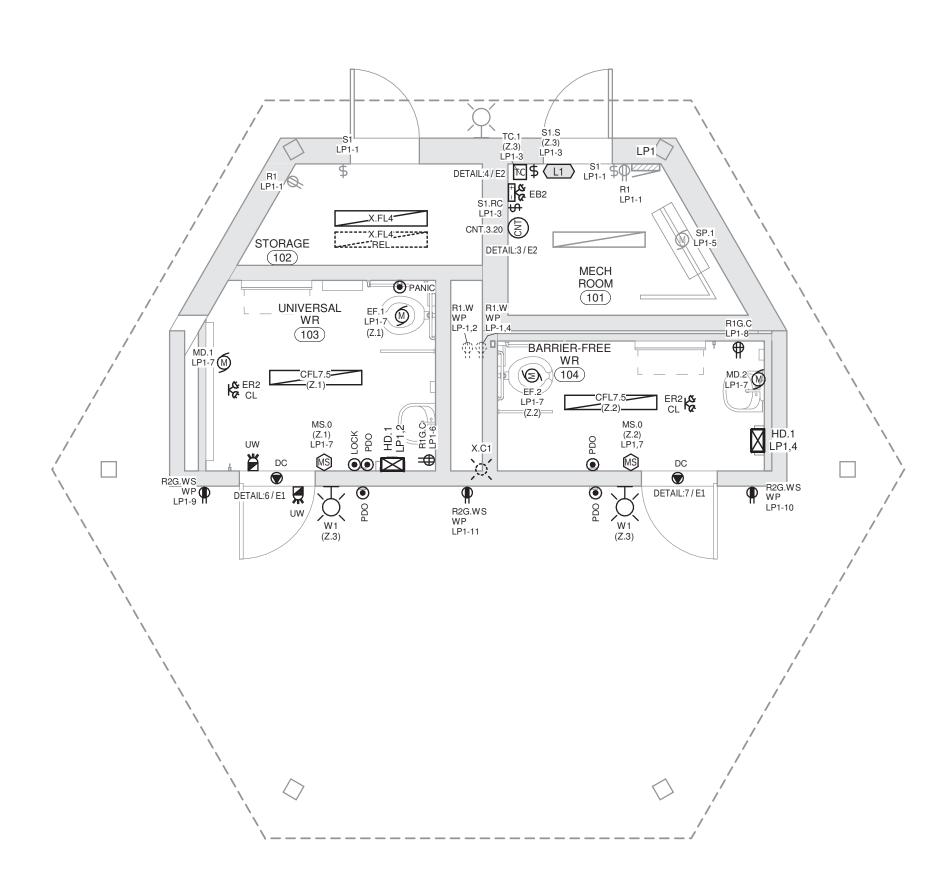
70 Learmont Ave.

Caledon, ON

Electrical Legend & Specification

1:1 HEET SIZE 24"x36" ROJECT NUMBER

RAWING NUMBER



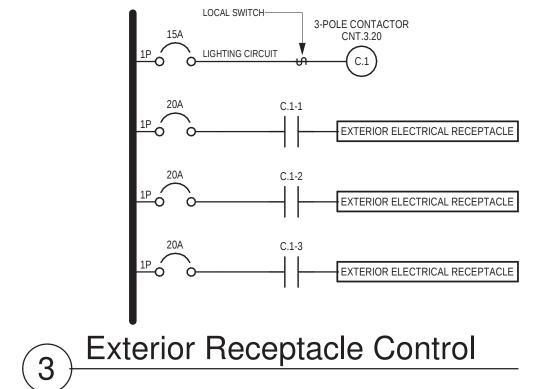
Proposed - Washroom - Power, Lighting & Life Safety

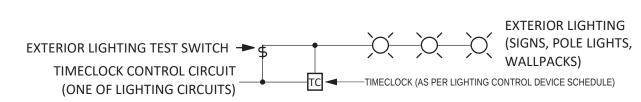
1:50

Supp M	ocation: ly From: ounting: Surface closure: Type 1	Volts: 240/120 1Ø Phases: 1 Wires: 3					A.I.C. Rating: 10kAIC Mains Type: C.B Mains Rating: 100 A MCB Rating:		
Notes: Existing	SQUARE D QOC12UC. Ha	atch indi	cates ex	xist	ing	J.			
СКТ	Circuit Description	Trip	Poles	A	В	Poles	Trip	Circuit Description	CK.
	Circuit Description Building Lights & Rec	Trip 15 A	Poles		В		Trip 15 A	Circuit Description Xlerator - Hand Dryer	CKT
LP1-1					В	Poles		<u> </u>	
LP1-1 LP1-3	Building Lights & Rec	15 A	1		В	Poles	15 A	Xlerator - Hand Dryer	LP1-
LP1-1 LP1-3 LP1-5	Building Lights & Rec Gazebo Lights	15 A 15 A	1		В	Poles 1 1	15 A 15 A	Xlerator - Hand Dryer Xlerator - Hand Dryer	LP1-
	Building Lights & Rec Gazebo Lights Splash Pad	15 A 15 A 15 A	1 1 1		В	Poles 1 1 1	15 A 15 A 15 A	Xlerator - Hand Dryer Xlerator - Hand Dryer WR Rec	LP1- LP1- LP1-

?	Sheet Notes
#	NOTE
L1	Rework existing circuit LP-1,3 to feed exterior lighting fixtures type W1. To be controlled by a local switch.

PANEL LP-1 240V 100A 1Ø 3W			
15A 1P	LIGHTING CIRCUIT	3-POLE CONTACTOR CNT.3.20	





1. REFER TO LIGHTING CONTROL DEVICE SCHEDULE FOR LIGHTING CONTACTORS REQUIRED.

3. LIGHTING CONTROLS MOUNTED REMOTELY (NOT WITHIN SIGHT OF CONTROLLED LIGHTING), SHALL BE CLEARLY LABELLED WITH A TYPED LABEL ON THE DEVICE FACEPLATE INDICATING THE AREA OF THE LIGHTING CONTROLLED.

Lighting Controls - Time Clock

	1 - Total New/Relocated - Low Voltage Device Schedule							
		CURRENT SCHEDULE PHASE: Tender SHOWING PHASE ITEMS: Show All						
уре	Conduit	Description	Phase Added					
<	16mm EMT	Universal Washroom Lock Button. Device box & conduit to Door controller.	Tender					
С	16mm EMT	Universal Washroom Panic Button. Device box & conduit to Door controller.						
	16mm EMT	Power Door Operator; Device box & conduit to Door controller.	Tender					
	16mm EMT	Universal Washroom AV Sounder; Device Box @ 2300mm; Conduit to Door Controller	Tender					

	2 - Total New/Relocated - Electrical Equipment Schedule									
	CURRENT SCHEDULE PHASE: Tender SHOWING PHASE ITEMS: Show All									
Qty	Equip ID	Description	Type Comments	Enclosure	Mounting	Phase Added				
2	HD.1	Hand Dryer	120V, 12.2A 1450W; White Thermoset Resin; 8 second PCR guideline drytime; 62-75dbA, 34-64 CFM; 32C to 67C; 322mm H x 170mm D x 290mm W; Mounted at 1140mm Mens, 1090mm Womens Washroom.	Type 1	Surface	Tender				
Total: 2										

	3 - Total New/Relocated - Electrical Device Schedule							
	CURRENT SCHEDULE PHASE: Tender SHOWING PHASE ITEMS: Show All							
Qty	Type ID	Description	Type Comments	Phase Added				
2	DC	Direct Hardwire Connection	wered Door Controller; Wired to line side of local lighting circuit. Estimated ~300W non-continuous load.					
2	R1.W	15A Duplex Receptacle	w Extra Duty While in Use Cover; Expandable low profile type TayMac ML500G or equal.					
2	R1G.C	15A Duplex Receptacle	ass A - GFI Receptacle; Mounted at Counter Height, 4" Above Backsplash.					
3	R2G.WS	20A Duplex Receptacle	class A - GFI Receptacle; c/w Extra Duty While in Use Cover; Expandable low profile type TayMac ML500G or qual. Suface mounted in cast aluminum. Wiring routed through back of device.					
Total:	9	-		'				

			CURRENT SC	HEDULE PHASE: Tender	SHOWING PHASE ITEMS: Show All	
Qty	Туре	Mfg.	Model	Description	Type Comments	Phase Added
1	CNT.3.20	TBD	TBD	Electrically Held Lighting Contactor, 3-Pole Normally Open	20A, 120V/120V; Provide Steel Junction box high on wall level. Wire all exterior electrical receptacle through contactor; Controlled by local master switch.	Tender
2	MS.0	Sensor Switch	WSX WH	PIR Wall Switch Occ Sensor	120V; Auto On/Off. Program to turn off lighting fixture and fans after 2.5 minutes of vacancy.	Tender
1	S1.RC	TBD	TBD	Switch, 1-Pole Architectural Decora Style. Surface mounted. Provide lamacoid label "EXTERIOR RECEPTACLE CONTROL" on device cover plate.		Tender
1	S1.S	TBD	TBD	Switch, 1-Pole Architectural Decora Style. Surface mounted	120V	Tender
1	TC.1	Intermatic	ET2805C	INTERMATIC (ET2805C) 7-DAY ASTRONOMICAL TIME CLOCK, 1 CIRCUIT	Circuit #1: Contractor to Program Time Clock: Set Astro Zone = North; Set Current Time; Set astro time as follows: Google ' <project city="" name=""> Sunrise Sunset' & Set sunup, sunset values. No Fixed Events, Lighting on Between Dusk and Dawn</project>	Tender

			CURRENT SCHE	DULE PHASE: Tender	SHOW	ING PHASE	ITEMS: Show All		
Qty	Image	Туре	Mfg.	Model#	Mounting	Height	Description	Remarks	Phase Adde
2	WALL / CELING LED	CFL7.5	Luminaire LED	CLF7 4FT 50W 35K NODIM MVOLT WHT	Recessed	2.4 m	Wall / Ceiling LED	120V, 50W, 5279LM, 35k; 4ft Length; Steel Housing; White Finish; Vandal Resistant	Tender
1		EB2	Stanpro	SLA12-2L	Wall	2300mm	Easy Out Steel Battery Unit, Emergency Light	12V, 72W for 30min, 2-2.5W Par18 LED Heads (2x183Im), White, Don't exceed battery capacity with additional remote lighting heads, Connect to Line Side of Local Lighting Circuit	Tender
2		ER2	Stanpro	SWN.2.06-24V.4W.LR.BK	Wall	2300mm	Weatherproof Remote Head	06-24V, 2-4W LR MR16 LED Heads (2x310lm), Weatherproof, Black, Connect to nearest battery unit without exceeding battery capacity	Tender
2		W1	Lithonia	WDGE1 LED-P2-30K-80CRI-VF-MVOL T-SRM-PE-DDBXD	Wall	2.7m	LED Wall Sconce	120V-277V; 15W; 1800 Lumens; 3000K Color Temp.; 80CRI; Visual comfort forward throw distribution. Button type photocell. Dark bronze finish.	Tender
1		X.FL4	TBD	Existing 4' Fluorescent Light			TBD	To be reinstalled	Tender

						cate	d - N			<u> </u>		Scricaare	E=Electrical, M=Mechanical
		CURRENT SCHE	DULE PH	ASE:	Tender			SHOWING	PHASE ITEM:	S: Show Pr	evious + N	New	
		EQUIPMENT			ELE	CTRICA	L		REM	OTE ITEM	S		
QTY	Type ID	Description	VOLTAGE	PHASE	hp - A - KW	MCA	MOCP	Interlock With	Isolation Switch By	Weather Proof	Wiring By:	Item Comments	Phase Added
1	EF.1	Exhaust Fan	120 V	1		2.5 A	15 A	MD.1					Tender
1	EF.2	Exhaust Fan	120 V	1		2.5 A	15 A	MD.2					Tender
1	MD.1	Motorized Damper	120 V	1		15 A	15 A	EF.1		No		Interlocked with Exhaust Fan EF	.1 Tender
1	MD.2	Motorized Damper	120 V	1		15 A	15 A	EF.2		No		Interlocked with Exhaust Fan EF	.2 Tender

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REVISION SCHEDULE								
NO.	DESCRIPTION	DATE						
		,						
1	Issued For Review	Jan 03, 2023						
2	Issued For Permit/Tender	Jul 10, 2023						
4	Issued For Tender R1	Sep 10, 2024						



Dennison Park WR

70 Learmont Ave. Caledon, ON

24"x36"

PROJECT NUMBER

Electrical Plan

DRAWING NUMBER As indicated SHEET SIZE

GENERAL MECHANICAL SPECIFICATION

GENERAL CONDITIONS

- A. THE CANADIAN STANDARD FORM OF CONSTRUCTION CONTRACT AND GENERAL CONDITIONS GOVERNING THE SAME CCDC PARTS 1 TO 12 INCLUSIVE ARE HEREBY MADE PART OF THIS SPECIFICATION.
- 3. ALL MECHANICAL WORK SHALL CONFORM TO THE LATEST VERSION OF THE ONTARIO BUILDING CODE (OBC)
 AND THE LATEST GOVERNING VERSION OF THE APPLICABLE STANDARDS/REGULATIONS OF THE FOLLOWING
- AUTHORITIES AS REFERENCED AND REQUIRED BY THE OBC: a. CGA CANADIAN GAS ASSOCIATION
- b. TSSA TECHNICAL STANDARDS AND SAFETY AUTHORITY
- D. ISSA TECHNICAL STANDARDS AND SAFETY AUTHOR
- c. NFPA NATIONAL FIRE PROTECTION ASSOCIATIONd. CSA CANADIAN STANDARDS ASSOCIATION
- e. OFC ONTARIO FIRE CODE
- f. OESC ONTARIO ELECTRICAL SAFETY CODE
- g. ASHRAE AMERICAN SOCIETY OF HEATING, REFRIGERATING, AND AIR CONDITIONING ENGINEERS
- h. AND ALL REGULATIONS OF MUNICIPALITIES, AND ANY OTHER AUTHORITIES HAVING JURISDICTION (AHJ).
- C. IN CASE OF COINCIDING GUIDELINES, THE STRICTER CRITERIA SHALL BE IMPLEMENTED, OR AS SPECIFIED OTHERWISE.
- D. THE CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE AS REQUIRED.
- E. THIS SET OF DRAWINGS AND SPECIFICATIONS SHALL BE READ IN COORDINATION WITH ARCHITECTURAL DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES OR UNCERTAINTIES SHALL BE RAISED TO ARCHITECT AND/OR ENGINEER PRIOR TO CLOSING OF TENDERS, ANY WORK, OR PRE-WORK. ANY UNCOORDINATED WORK NOT SHOWN ON PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- F. ALL QUESTIONS REGARDING TO THE WORK, AND OR THIS SET OF DRAWINGS AND SPECIFICATIONS SHALL BE RAISED TO THE CONSULTANT THROUGH A REQUEST FOR INFORMATION (RFI) SUBMISSION. THE CONTRACTOR SHALL ALLOW FOR UP TO TWO WEEKS FOR RESPONSES AND/OR APPROVALS FROM THE
- ENGINEER/CONSULTANT. CLAIMS FOR DELAY WITHIN THIS PERIOD WILL NOT BE ACCEPTED.

 G. THE CONTRACTOR SHALL PERFORM SITE INSPECTION PRIOR TO BIDDING TO VERIFY ALL EXISTING CONDITIONS AND INSTALLATIONS. THE CONTRACTOR SHALL INCLUDE ALL NECESSARY COSTS FOR ANY ADJUSTMENT OF INSTALLATIONS SHOWN ON THIS SET OF DRAWINGS AND SPECIFICATIONS AGAINST ACTUAL EXISTING CONDITIONS FOR THE COMPLETION OF WORK.
- H. THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL PERMITS, INSPECTIONS, AND OTHER DOCUMENTS/ACTIVITIES REQUIRED BY GOVERNING AUTHORITIES PRIOR TO CONSTRUCTION WORK AND THOSE REQUIRED AFTER SUBSTANTIAL COMPLETION OF PARTS AND SECTIONS OF THE CONTRACT. ALL APPLICABLE TAXES, AND ANY COSTS INCURRED BY RE-INSPECTION SHALL BE INCLUDED.
- I. THE CONTRACTOR SHALL CLOSELY COORDINATE WITH ALL CONCERNED TRADES IN ORDER TO CARRY OUT THE DESIGN AS INTENDED BY THIS SET OF DRAWINGS AND SPECIFICATIONS WITHIN THE APPROVED PROJECT TIMELINE.
- J. COPIES OF LATEST CONSTRUCTION DRAWINGS SHALL ALWAYS BE READILY AVAILABLE ON SITE. THE COPIES
- SHALL BE MARKED AND UPDATED REGULARLY TO SHOW PROGRESS OF CONSTRUCTION.

 K. THE CONTRACTOR SHALL SHOULDER ANY COST IMPLICATIONS OF IMPLEMENTATION OF ALTERNATIVE PRODUCTS INCLUDING ALL COSTS INCURRED BY OTHER TRADES, UNLESS OTHERWISE APPROVED AND
- AGREED UPON UNDER A SIGNED DOCUMENT BY THE OWNER OR THE OWNER'S REPRESENTATIVE.

 L. THE CONTRACTOR SHALL PROVIDE COMPLETE COST BREAKDOWN FOR ALL ADDITIONAL WORK OR ANY REMOVED SCOPE FROM CONTRACT.
- M. ALL WORK AFFECTING NORMAL OPERATION OF AREAS AND/OR UTILITIES OUTSIDE OF CONTRACT AND/OR OUTSIDE NORMAL WORKING HOURS SHALL BE COORDINATED WITH OWNER/LANDLORD FOR PROPER INSTRUCTION AND SCHEDULING. ALL COST IMPLICATIONS SHALL BE SHOULDERED BY THE CONTRACTOR.
- N. THE CONTRACTOR SHALL PROVIDE SLEEVES AND ACCESS DOORS OR OTHER APPROVED MEANS OF ACCESS TO MECHANICAL AND PLUMBING EQUIPMENT AND ACCESSORIES FOR SERVICING AS SHOWN ON PLANS AND/OR AS REQUIRED IN CEILINGS AND/OR WALLS. ALL ACCESS DOORS IN FIRE RATED ASSEMBLIES SHALL BE APPROVED FOR SUCH USE IN ITS ULC LISTING.
- O. THIS SET OF PLANS INCLUDES SCHEDULES FOR MATERIAL LENGTHS AND FITTINGS. THE QUANTITIES SHOWN IN THESE SCHEDULES ARE **APPROXIMATE VALUES** OF THE REQUIREMENTS ONLY. THE CONTRACTOR SHALL VERIFY ACTUAL QUANTITY OF MATERIALS TO BE USED BASED ON EXISTING SITE CONDITIONS IN THE FIELD.

 P. APPROPRIATE PIPE SLEEVES SHALL BE PROVIDED FOR PIPE PENETRATIONS. PROVIDE FIRESTOPPING AND/OR
- WEATHER-TIGHT SYSTEMS AS REQUIRED.

 Q. ALL OPENINGS AND PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES SHALL BE PROPERLY TREATED WITH AN APPROVED FIRESTOPPING MATERIAL AND METHOD.
- R. APPROPRIATE SCANNING, SUCH AS USE OF GROUND PENETRATING RADAR EQUIPMENT, OF BUILDING ELEMENTS (WALLS, FLOORS, CEILINGS) IS REQUIRED PRIOR TO ANY RELATED WORK AND SHALL BE INCLUDED IN TENDER PRICE. SCANNING WORK SHALL BE COORDINATED WITH OWNER/LANDLORD. CUTTING, DRILLING, AND OTHER SIMILAR WORK ON BUILDING ELEMENTS (WALLS, FLOORS, CEILINGS) SHALL BE APPROVED BY OWNER/LANDLORD PRIOR TO ANY RELATED WORK.

CUTTING, PATCHING & REFINISHING

- A. ALL CUTTING, PATCHING, AND REFINISHING WORKS ON ARCHITECTURAL AND STRUCTURAL ASSEMBLIES NECESSARY TO CARRY OUT THE DESIGN INTENDED BY THIS SET OF DRAWINGS AND SPECIFICATIONS SHALL BE DONE BY THE GENERAL CONTRACTOR AT THIS CONTRACTOR'S EXPENSE.
- PATCHING SHALL BE CARRIED OUT WHILE MAINTAINING THE INTEGRITY OF ANY FIRE-RATED MEMBRANES, NOISE MITIGATION SYSTEMS, VAPOR RETARDANT LAYERS, THERMAL INSULATION, AND ALL OTHER SYSTEMS AFFECTED BY THE WORK.

RENOVATION

- A. THE CONTRACTOR SHALL PERFORM SITE INSPECTION PRIOR TO BIDDING TO VERIFY ALL EXISTING CONDITIONS AND INSTALLATIONS. THE CONTRACTOR SHALL INCLUDE ALL NECESSARY COSTS FOR ANY ADJUSTMENT OF EXISTING UTILITIES AND EQUIPMENT ON SITE, AND FOR ANY ADJUSTMENT OF INSTALLATIONS SHOWN ON THIS SET OF DRAWINGS AND SPECIFICATIONS AGAINST ACTUAL EXISTING CONDITIONS FOR THE COMPLETION OF WORK.
- B. ALL ALTERATION AND DEMOLITION WORK OF EXISTING EQUIPMENT AND SERVICES SHALL BE COORDINATED WITH THE OWNER/LANDLORD TO MINIMIZE SYSTEM INTERRUPTIONS AND OPERATIONAL SETBACKS.
- C. ALL REMOVED AND DEMOLISHED EXISTING EQUIPMENT AND MATERIALS SHALL BE THE OWNER'S PROPERTY. ALL ITEMS TAGGED AS 'FOR DISPOSAL' BY THE OWNER OR THE OWNER'S REPRESENTATIVE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

MISCELLANEOUS

A. SEPARATION BETWEEN DISSIMILAR METALS SHALL BE PROVIDED THROUGH GASKETS OR SHIMS OF APPROVED MATERIAL TO PREVENT ELECTROLYTIC ACTION. DIELECTRIC UNIONS OR FLANGES SHALL BE PROVIDED WHERE PIPING OF DISSIMILAR METALS ARE CONNECTED. IN CASE OF CONNECTIONS BETWEEN COPPER AND STEEL PIPING, A BRASS FITTING OR VALVE MAY BE USED. COPPER PIPING AND CONCRETE OR MASONRY CONSTRUCTION SHALL NOT BE PERMITTED TO HAVE DIRECT CONTACT.

MOUNTING HEIGHTS

- A. ALL CONTROL DEVICES OF MECHANICAL SYSTEMS LOCATED IN A BARRIER-FREE PATH OF TRAVEL SHALL BE MOUNTED TO CENTRE OF DEVICE AT
- a. 1200MM AFF, IN CASE OF THERMOSTATS
- b. BETWEEN 900MM TO 1100MM AFF LEVEL FOR ALL OTHER CONTROLS
- ALL CONTROL DEVICES SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF LIGHT SWITCHES IN THE ROOM/SPACE AS APPLICABLE OR AS OTHERWISE NOTED IN THIS SET OF PLANS.

INSPECTIONS BY CONSULTANT

- A. CONTRACTOR SHALL NOTIFY CONSULTANTS WHEN INSPECTIONS ARE REQUIRED. ALLOW MINIMUM OF THREE (3) BUSINESS DAYS OF NOTICE PRIOR TO ACTUAL DATE OF INSPECTION.
- B. THE CONTRACTOR SHALL ENSURE THAT ALL UPDATED DRAWINGS AND OTHER RELEVANT DOCUMENTS
 REQUIRED FOR PROPER ANALYSIS AND/OR RESOLUTION ARE PROVIDED ON THE DAY OF INSPECTION.
 C. INSPECTIONS ARE REQUIRED AT THE FOLLOWING MILESTONES:
- a. MECHANICAL AND PLUMBING SYSTEM INSTALLATIONS PRIOR TO ARCHITECTURAL ENCLOSURE INCLUDING ROUGHINS PRIOR TO DRYWALL.
- b. FINAL INSPECTION.

CLOSE-OUT REQUIREMENTS

- A. DOCUMENTS:
 - a. TESTING, BALANCING, AND COMMISSIONING CERTIFICATES AND REPORTS OF ALL APPLICABLE MECHANICAL AND PLUMBING SYSTEMS UNDER CONTRACT APPROVED BY THE ENGINEER AND ALL GOVERNING AUTHORITIES INCLUDING BUT NOT LIMITED TO:
 - b. PRESSURE TEST REPORT USING AIR/WATER AT THE ROUGH-IN STAGE IN ACCORDANCE WITH OBC
 - 7.3.6.1.(1) FOR DRAINS AND VENTS

 c. FINAL TEST REPORT USING SMOKE OR AIR PRESSURE AFTER THE INSTALLATION OF ALL FIXTURES, IN
- ACCORDANCE WITH OBC 7.3.6.1.(2) FOR DRAINS AND VENTS

 d. BALL TESTS ON ALL BUILDING DRAINS AND BUILDING SEWERS IN ACCORDANCE WITH OBC 7.3.6.1.(5).
- e. PRESSURE TEST REPORT USING AIR/WATER ON THE COMPLETE SYSTEM AFTER THE INSTALLATION OF ALL FIXTURES, IN ACCORDANCE WITH OBC 7.3.7.1.(1) FOR POTABLE WATER SYSTEMS
- f. WRITTEN DOCUMENT AS WARRANTY FOR ALL INSTALLATIONS IN THIS CONTRACT FOR A PERIOD OF ONE YEAR FROM AN AGREED UPON DATE BY THE OWNER OR THE OWNER'S REPRESENTATIVE IN ACCEPTANCE OF CONSTRUCTION CONTRACT COMPLETION.
- g. THREE (3) SETS OF HARD-BOUND 'OPERATION AND MAINTENANCE MANUAL' CONTAINING ALL DATA SHEETS, BROCHURES, OPERATING AND MAINTENANCE MANUAL, RECOMMENDED SPARE PARTS, COMPLETE APPROVED SHOP DRAWINGS, AND OTHER RELEVANT DOCUMENTS, LABELED ACCORDINGLY, AND WITH MARKERS/DIVIDERS/INSERTS FOR LOGICAL ORGANIZATION, AND AN ELECTRONIC COPY (IN PDF) SAVED IN A USB FLASH DRIVE. A PRELIMINARY SET (IN PDF) SHALL BE SUBMITTED TO CONSULTANT FOR REVIEW AND APPROVAL PRIOR TO REPRODUCTION. REVISE AND
- RESUBMIT AS REQUIRED UPON REVIEW.

 B. TRAINING: THE CONTRACTOR SHALL CONDUCT ORIENTATION AND TRAINING SESSIONS TO THE OWNER AND/OR OWNER'S MAJOR PERSONNEL IN THE PROPER OPERATION AND MAINTENANCE OF ALL INSTALLED MECHANICAL AND PLUMBING EQUIPMENT UNDER CONTRACT. THE TRAINING SHALL BE OUTLINED AND CARRIED OUT REFERENCING THE 'OPERATION AND MAINTENANCE MANUAL' PROVIDED AS PART OF CLOSE-
- OUT DOCUMENTS.

 C. COMMISSIONING: ALL APPLICABLE MECHANICAL AND PLUMBING SYSTEMS SHALL UNDERGO TESTING, BALANCING, AND/OR COMMISSIONING BY CERTIFIED THIRD-PARTIES AND/OR MANUFACTURERS AS
- BALANCING, AND/OR COMMISSIONING BY CERTIFIED THIRD-PARTIES AND/OR MANUFACTURERS AS REQUIRED. ALL RELEVANT CERTIFICATES AND DOCUMENTS SHALL BE PROVIDED AS REQUIRED.

 D. RECORD DRAWINGS:
- a. WITHIN THIRTY (30) DAYS OF COMPLETION OF CONTRACT WORK, THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS FOR ALL COMPLETED DISCIPLINES UNDER SCOPE. THE AS-BUILT DRAWINGS SHALL REFLECT ALL ACTUAL CONSTRUCTION WORK, INCLUDING ALL DEVIATIONS FROM CONSTRUCTION DRAWINGS AND ALL APPROVED ALTERNATES IMPLEMENTED ON SITE. PROVIDE ONE (1) SET OF THE FINAL AS-BUILT DRAWINGS, CERTIFIED AND SIGNED, TO ENGINEER FOR REVIEW. THE ENGINEER'S REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY OF THE ACCURACY OF REFLECTED INFORMATION ON THE AS-BUILT DRAWINGS.
- b. IN THE EVENT OF ANY DISCREPANCIES AND ANOMALIES IN THE REFLECTED INFORMATION ON THE AS-BUILT DRAWINGS AND THE ACTUAL CONSTRUCTION ON SITE, THE CONTRACTOR SHALL SHOULDER ALL COST IMPLICATIONS OF RECTIFICATION OF ALL DEFICIENCIES AND PROBLEMS DISCOVERED WITHIN A PERIOD OF ONE (1) YEAR FROM AN AGREED UPON DATE BY THE OWNER OR THE OWNER'S REPRESENTATIVE.

ELECTRICAL

GENERAL CONDITIONS

- A. ALL POWER AND CONTROL WIRING SHALL BE BY ELECTRICAL. THIS DOES NOT INCLUDE WIRING, CONDUITS AND CONNECTIONS BELOW 50V RELATED TO AUTOMATIC CONTROL SYSTEMS WHICH SHALL BE BY CONTROLS CONTRACTOR.
- B. THE CONTRACTOR SHALL COORDINATE VOLTAGE WITH ELECTRICAL CONTRACTOR PRIOR TO ACQUISITION OF ANY EQUIPMENT.
- C. ALL CONTROL DEVICES, LOW VOLTAGE CONTROL WIRING (LESS THAN 50V), AND NECESSARY
 APPURTENANCES FOR COMPLETE AND OPERATIONAL SYSTEMS SHALL BE PROVIDED BY THE CONTRACTOR.
 D. ALL CONTROL WIRING AND TRANSFORMERS SHALL BE OF CLASS 1 OR 2 AS REQUIRED BY THE OESC FOR
- SYSTEM OPERATING VOLTAGES AND CURRENTS.

 E. WIRING SIZES AND TRANSFORMER CAPACITIES SHALL BE SIZED FOR ALL CONTROL EQUIPMENT SERVED.

PLUMBING

GENERAL CONDITIONS

- A. PIPING SHOWN ON PLANS ARE SCHEMATIC AND ARE SHOWN TO EMPHASIZE CONNECTIONS TO FIXTURES AND EQUIPMENT. ALL ACTUAL PIPING, HANGERS, AND OTHER RELATED WORK SHALL BE CARRIED OUT IN
- THE BEST WORKMANSHIP AND MANNER IN ACCORDANCE TO THE BEST PRACTICES OF THE INDUSTRY.

 B. ALL SANITARY, STORM AND WATER PIPING SHALL BE KEPT CLEAR OF OUTSIDE WALLS. THE RESPONSIBILITY OF ENSURING THAT FREEZING CONDITIONS WITHIN THE PLUMBING PIPING INSTALLED IS PREVENTED SHALL BE SHOULDERED BY THE CONTRACTOR.
- C. ALL PIPING AND ITS COMPONENTS INSTALLED IN A BUILDING OF NONCOMBUSTIBLE CLASSIFICATION SHALL HAVE FLAME SPREAD RATING OF 25 OR LESS. REFER TO MANUFACTURER'S DOCUMENTATION FOR APPLICABILITY.

DOMESTIC WATER

- A. ALL DOMESTIC WATER PIPING SHALL BE TYPE 'L' COPPER WITH CAST BRASS OR WROUGHT COPPER FITTINGS, PEX OR CPVC CONFORMING TO THE ONTARIO BUILDING CODE. WATER PIPE SIZING SHOWN ON THIS PLAN IS BASED ON COPPER PIPING. FOR PEX OR CPVC, SIZES MUST BE ADJUSTED TO MEET REQUIRED MINIMUM INSIDE DIAMETER, REFERRING TO MANUFACTURER'S DATA AS NECESSARY. EXPANSION LOOPS FOR CPVC HOT WATER AND HOT WATER RECIRCULATION MAINS SHALL BE INSTALLED ACCORDING TO
- MANUFACTURER'S RECOMMENDATION.

 B. PROVIDE ISOLATING VALVES ON MAIN AND/OR BRANCHES, AND FOR ALL EQUIPMENT SERVICED BY HOT AND COLD WATER LINES. ALL VALVES SHALL BE RATED FOR USE UNDER THE OPERATING PRESSURE OF THE SYSTEM IN WHICH THEY ARE INSTALLED.
- C. PROVIDE BALL VALVE AT LOWEST POINT OF INSTALLATION TO ALLOW DRAINING AND PURGING OF SYSTEM.

 D. ALL CLEANING AND FLUSHING OF THE DOMESTIC WATER SITE SERVICE PIPING SHALL BE BY THE SITE SERVICE CONTRACTOR. ALL ISOLATING VALVES SHALL BE MAINTAINED IN THE OPEN POSITION DURING FLUSHING AND CLEANING OPERATION.

SANITARY DRAIN & VENT

- A. INSTALL PLUMBING VENT LINES IN COMPLIANCE WITH OBC PART 7. DISTRIBUTION AND SIZING SHALL BE BY PLUMBING CONTRACTOR.
 B. FOR BELOW GROUND PIPING:
- a. FOR ALL SIZES INSIDE THE BUILDING: ABS DWV OR PVC SDR-35 PIPE WITH INJECTION-MOLDED SOCKET FITTINGS. OR
- FITTINGS, OR
 b. FOR PIPES 50MM OR SMALLER: TYPE "L" HARD COPPER WITH CAST BRASS OR WROUGHT COPPER
- b. FOR PIPES SOMM OR SMALLER: TYPE "L" HARD COPPER WITH CAST BRASS OR WROUGHT COPPER FITTINGS, OR
- c. FOR PIPES LARGER THAN 50MM: CAST IRON WITH "MJ" FITTINGS, ORd. FOR PIPES OUTSIDE THE BUILDING: PVC SDR-28 FOR PIPES 150MM OR SMALLER, COMPLETE WITH
- INJECTION-MOLDED GASKETED FITTINGS.

 FOR ABOVE GROUND PIPING:
- a. FOR PIPES 50MM OR SMALLER: TYPE DWV HARD DRAWN COPPER TUBE WITH CAST BRASS ALLOY DRAINAGE FITTINGS, OR
 b. FOR PIPES LARGER THAN 50MM: CAST IRON PIPE WITH "MJ" FITTINGS OR DWV COPPER TUBING WITH
- FOR PIPES LARGER THAN 50MM: CAST IRON PIPE WITH "MJ" FITTINGS OR DWV COPPER TUBING WITH CAST ALLOY DRAINAGE FITTINGS, OR
 FOR ALL SIZES: PVC DWV WITH INJECTION-MOLDED SOCKET FITTINGS. PIPE SHALL BE SUITABLE FOR

USE IN NON-COMBUSTIBLE BUILDING CONSTRUCTION (IPEX SYSTEM 15 OR APPROVED EQUAL). FOR

PIPING RUNNING THROUGH RETURN AIR CEILING PLENUMS, PIPING SHALL HAVE MAXIMUM SMOKE

DEVELOPMENT RATING OF 50 (IPEX SYSTEM XFR 15-50 OR APPROVED EQUAL).

D. TRAPS AND TRAP SEAL PRIMERS SHALL BE PROVIDED FOR ALL FLOOR DRAINS SHOWN IN THIS SET OF DRAWINGS ACCORDING TO THE REQUIREMENTS OF THE OBC.

TESTING & INSPECTION

- A. ALL PLUMBING SYSTEMS SHALL BE TESTED AND INSPECTED FOR THE ACCEPTANCE OF ALL GOVERNING AUTHORITIES.
- DRAINAGE, VENT, AND DOMESTIC WATER PIPING SHALL BE TESTED TO PLUMBING CODE REQUIREMENTS.
 ALL LEAKS AND OTHER DEFICIENCIES SHALL BE REPAIRED TO THE SATISFACTION OF THE INSPECTING
 AUTHORITY AND/OR THE CONSULTANT.
- ALL EQUIPMENT/DEVICES PRONE TO DAMAGE FROM TEST PRESSURES SHALL BE ISOLATED DURING TESTING PROCEDURES.

HEATING, VENTILATING & AIR CONDITIONING

GENERAL CONDITIONS

A. ALL DUCTWORK, HANGERS, AND OTHER RELATED WORK SHALL BE CARRIED OUT AND FABRICATED IN ACCORDANCE WITH THE LATEST ASHRAE AND SMACNA REGULATIONS. ALL WORK SHALL BE CARRIED OUT IN THE BEST WORKMANSHIP AND MANNER IN ACCORDANCE TO THE BEST PRACTICES OF THE INDUSTRY.

DUCTWORK

- A. ALL DUCTWORK SHALL BE G-60 GALVANIZED STEEL UNLESS OTHERWISE SPECIFIED, IN ACCORDANCE WITH ASTM A-653 AND A-294. THICKNESS AND FABRICATION SHALL BE IN ACCORDANCE TO ASHRAE AND SMACNA STANDARDS.
- B. ALL FINISHES OF AIR TERMINALS SHALL BE COORDINATED WITH AND APPROVED BY THE ARCHITECT.
 C. VOLUME DAMPERS, OR VOLUME CONTROL DEVICES SHALL BE PROVIDED AS SHOWN ON PLANS.
 D. ALL AIR TERMINALS SHALL BE EQUIPPED WITH CLOSE-OFF DAMPERS AND ADJUSTABLE DEFLECTION VANES
- WHERE INDICATED ON PLANS.

 ALL DUCT SIZES SHOWN ON PLANS MAY BE MODIFIED TO ADAPT TO SITE CONDITIONS, AS LONG AS THE INSIDE CROSS-SECTIONAL FREE AREA IS MAINTAINED AND DUCT ASPECT RATIO DOES NOT EXCEED 4:1.

EXHAUST TERMINATION

- EXHAUST THROUGH ROOF SHALL BE MINIMUM OF 12" ABOVE ROOF, SHALL DISCHARGE STRAIGHT UPWARDS, AND SHALL BE PROVIDED WITH 0.5IN GRILLE OR VERMIN GUARD. EXHAUST TERMINALS SHALL BE LOCATED AS FOLLOWS:
- a. MINIMUM OF 10FT ABOVE GRADE.
- b. MINIMUM OF 10FT HORIZONTALLY AWAY OR 2FT VERTICALLY ABOVE FROM ANY OPENINGS INTO THE BUILDING OR AIR INTAKE TERMINALS.

PLUMBING SYSTEM LEGEND

SCHEDULE (x = TYPE)	EXISTING	DEMO	NEW	DESCRIPTION
	\boxtimes	t×1	X	GATE VALVE
	-6-	101	٦	BALL VALVE
	101	161	M	BUTTERFLY VALVE
	Z	***	Z	CHECK VALVE
	X	C#3	×	THREE-WAY VALVE
	N N	Σœ	図	MOTORIZED VALVE
)RY LES	丛	器	丛	MOTORIZED THREE-WAY VALVE
PIPE ACCESSORY SCHEDULES	N/A		Å	PRESSURE REDUCING VALVE
ACC SCF	NN NN		7	BACKFLOW PREVENTER
	11-		⊣⊢	COUPLING
	K	×	N	REDUCER
	-#	#-	-#	HOSE BIBB
	$\overline{\ }$	k yd	7	STRAINER
	WM	WM	WM	WATER METER
				PUMP

MECHANICAL LEGEND

SCHEDULE (x = TYPE)	EXISTING	DEMO	NEW	DESCRIPTION
		X 3		SUPPLY OR OUTDOOR AIR DUCTWORK UP
	\times		\times	SUPPLY OR OUTDOOR AIR DUCTWORK DOWN
				RETURN AIR DUCTWORK UP
				RETURN AIR DUCTWORK DOWN
				EXHAUST AIR DUCTWORK UP
	\geq		Σ	RETURN AIR DUCTWORK DOWN
	12Ø 16x12	12Ø 16x12	12Ø 16x12	ROUND (DIA) OR RECT (W x H) DUCT DIMENSIONS
				DUCT WITH INSIDE LINER
		- <i>7-7-7-7-7-7-7-7-7-7-7-7-7-7-7-7-7-7-7</i>		DUCT WITH INSULATION
	HHHHHH		 	FLEXIBLE DUCT
				SUPPLY AIR DIFFUSER (RECT OR ROUND NECK)
S				EXHAUST AIR GRILLE (RECT OR ROUND NECK)
HVAC SCHEDULES				RETURN AIR GRILLE (RECT OR ROUND NECK)
S H	T	$\langle \bar{1} \rangle$	T	THERMOSTAT
05	H	(H)	H	HUMIDISTAT
	T	(Ī)	Ţ	TEMPERATURE SENSOR
	P	(P)	Р	PRESSURE SENSOR
	<u>CO</u>	(00)	(3)	CARBON MONOXIDE SENSOR
	<u>CO2</u>	(502)		CARBON DIOXIDE SENSOR
	S	(s)	S	SPEED CONTROLLER
				MOTORIZED DAMPER
	FD 💮	FD •	FD •	FIRE DAMPER
	SD	SD •	SD •	SMOKE DAMPER
	CFSD •	CFSD •	CFSD •	COMBINATION FIRE & SMOKE DAMPER

DUCTWORK THICKNESS

Mechanical Legend & Specification

Plumbing Plan

HVAC Plan

Mechanical Sheet List

LARGER DUCT DIMENSION (IN)	THICKNESS (US GA #)
UP TO 12	26
13 TO 29	24
30 TO 53	22
54 TO 82	20
	DIMENSION (IN) UP TO 12 13 TO 29 30 TO 53

COPPER & PEX/CPVC PIPE SIZE

COLLEK & L	YCF VC FIFL 31Z	L
NOMINAL PIPE SIZE (IN / MM)	COPPER PIPE TYPE "L" INSIDE DIA (IN / MM)	PEX/CPVC INSIDE DIA (IN / MM)
3/8 / 10	0.430 / 10.922	0.360 / 9.144
1/2 / 15	0.545 / 13.843	0.485 / 12.319
5/8 / 18	0.666 / 16.916	0.584 / 14.834
3/4 / 20	0.785 / 19.939	0.681 / 17.297
1 / 25	1.025 / 26.035	0.875 / 22.225
1-1/4 / 32	1.265 / 32.131	1.069 / 27.153
1-1/2 / 40	1.505 / 38.227	1.263 / 32.080
2 / 50	1.985 / 50.419	1.653 / 41.986
2-1/2 / 65	2.465 / 62.611	2.041 / 51.841
3 / 80	2.945 / 74.803	2.431 / 61.747

CD.3 — MARK (AS PER AIR TERMINAL SCHEDULE)
250 CFM — AIRFLOW





RTU.3 CORRESPONDING MECHANICAL EQUIPMENT

CONTROL SYMBOL (VARIES, REFER TO LEGEND)

MECHANICAL LEGEND - PIPING

x = TYPE)	EXISTING	NEW	DESCRIPTION
			EXISTING PIPING TO BE DEMOLISHED
-	CWS-	— - — - — CWS-	COLD WATER SUPPLY LINE
-		— - — NPWS-	NONPOTABLE WATER SUPPLY LINE
-	PWS-	— - — - — PWS-	POTABLE WATER SUPPLY LINE
-	sw-	— - — - — SW-	SOFT WATER LINE
_	— — -HWS-	—	HOT WATER SUPPLY LINE
NG	HWR-		HOT WATER RETURN LINE
PLUMBING	S-	s-	SANITARY LINE
PLI SCF	S (U)-	——S (U)—	SANITARY LINE UNDER SLAB
_	S (C)-	S (C)-	SANITARY LINE IN CEILING
_	\-	— — -V-	VENT LINE
L-	D-	D-	DRAIN LINE
L-	D (U)-	D (U)-	DRAIN LINE UNDER SLAB
L-	D (C)_	D (C)-	DRAIN LINE IN CEILING
L-	— — SD-	————SD-	STORM DRAIN LINE
L-	— SD (U)-	— SD (U)-	STORM DRAIN LINE UNDER SLAB
	— SD (C)-	— SD (C)-	STORM DRAIN LINE IN CEILING
_	G_	G_	GAS LINE
_	CA	CA-	COMPRESSED AIR LINE
-	— — VA-	— — VA-	VACUUM LINE
AL S	— — HEWS-	— HEWS-	HEATING WATER SUPPLY LINE
IECHANICAL PIPING CHEDULES	—————HEWR—	———HEWR-	HEATING WATER RETURN LINE

--- CHWR- CHILLED WATER RETURN LINE

— LPC- LOW PRESSURE CONDENSATE LINE

CONDENSER WATER SUPPLY LINE

CONDENSER WATER RETURN LINE



THIS DRAWING IS AN INSTRUMENT OF SERVICE & IS THE PROPERTY OF ROOT3 ENGINEERING AND CANNOT BE MODIFIED AND/OR REPRODUCED

WITHOUT THE PERMISSION OF ROOT3

THE CONTRACTOR MUST VERIFY ALL
DIMENSIONS ON SITE AND REPORT ANY
DISCREPANCIES TO THE ENGINEER, BEFORE

PROCEEDING WITH THE WORK.

DRAWINGS ARE NOT TO BE SCALED.

ENGINEERING LTD.

4 Issued For Tender R1 Sep 10, 2024
3 Relssued For Permit/Tender Sep 05, 2024
2 Issued For Permit/Tender Jul 10, 2023
1 Issued For Review Jan 03, 2023

NO. DESCRIPTION DATE

REVISION SCHEDULE

POOT 3

Engineering

TORONTO, ON, M4S 3E2

Dennison Park WR

70 Learmont Ave.

Caledon, ON

Mechanical Legend & Specification

1 : 1

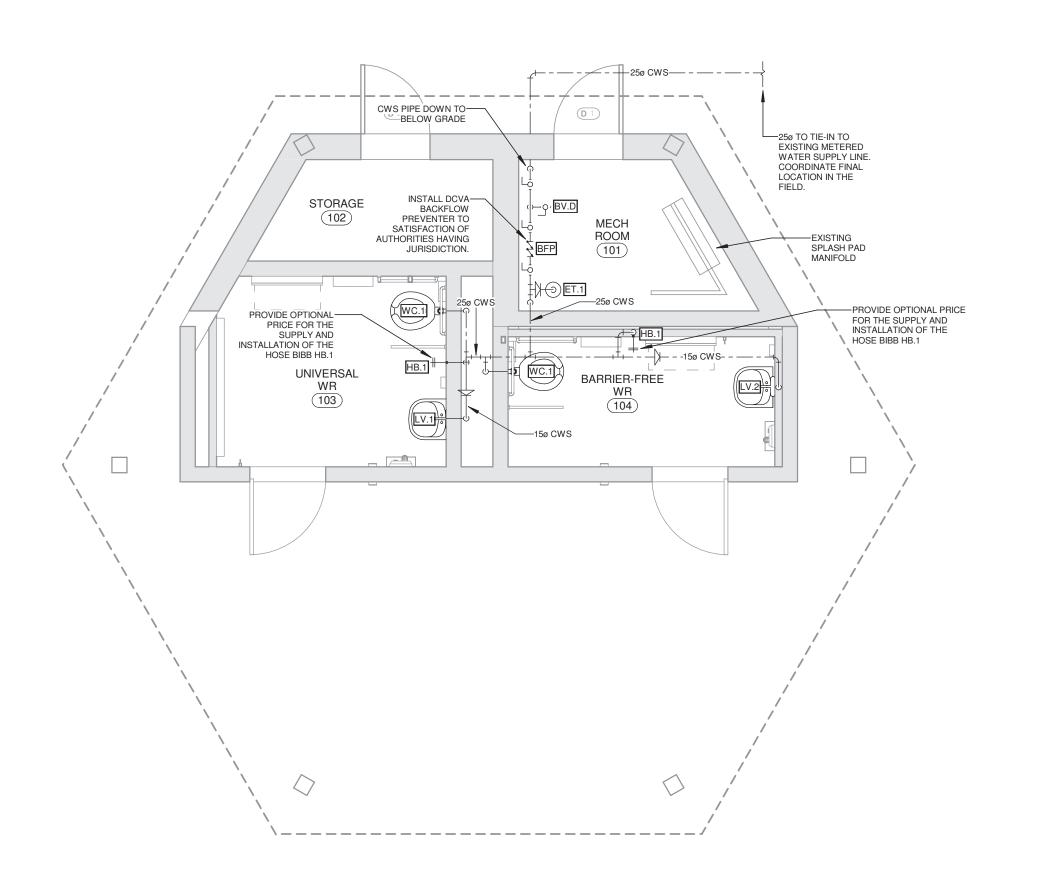
HEET SIZE

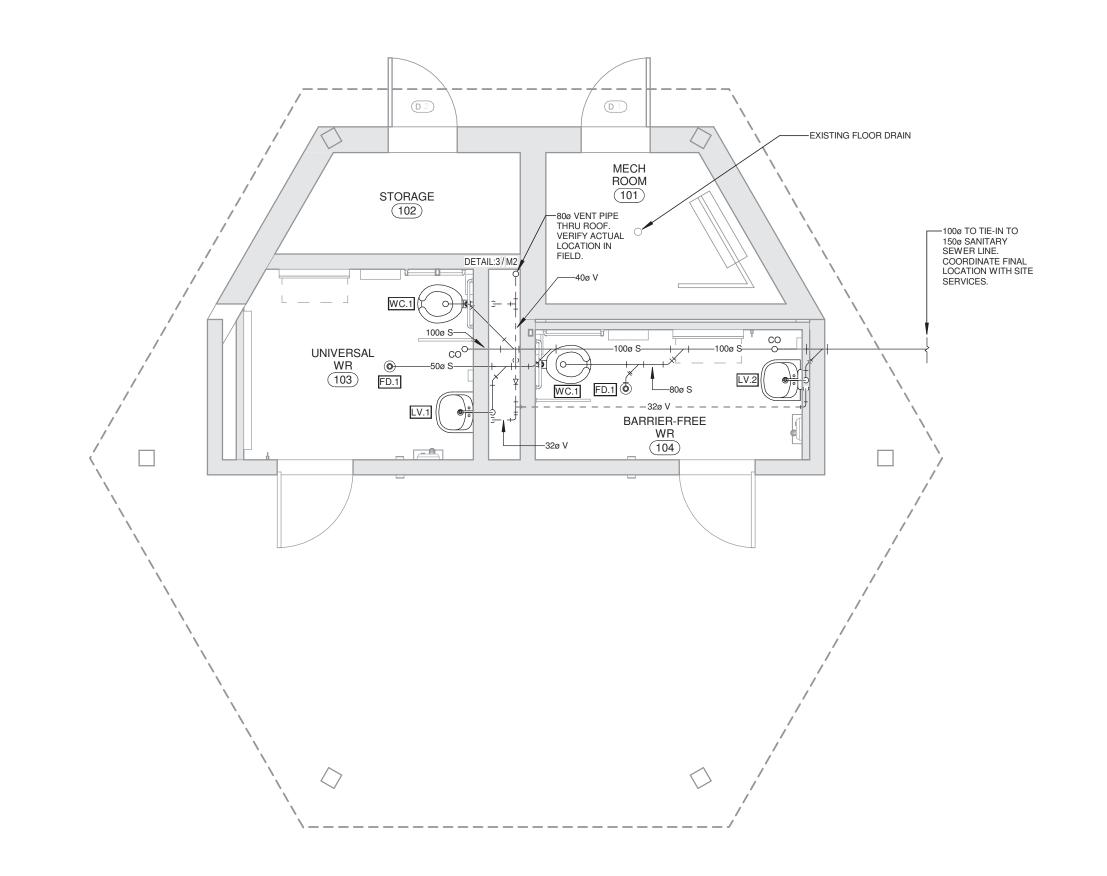
24"x36"

ROJECT NUMBER

M1

RAWING NUMBER





Proposed - Washroom - Domestic Water Plan 1:50

		CURRENT PHASE: Tender				CI	URRENT ITEMS: Show All	
	O.T.V		Con	necti	ons (
Mark	QTY	Description	CW	HW	D	V	Remarks	Phase Added
FD.1	2	FLOOR DRAIN: WATTS 200-A OR APPROVED EQUAL.	15	0	50	0	Cast iron body C/W adjustable strainer, trap priming system, trap.	Tender
LV.1	1	WALL HUNG LAVATORY - BARRIER FREE AMERICAN STANDARD MURRO 0955-001EC, White DELTA COMMERCIAL 591T12250 CHROME, Electronic Battery-Operated Faucet w/ integral waterproof sensor and connector and control box	20	0	32	32	Maximum 1.9 Litres/minute (0.5 GPM). Install according to barrier free requirements. C/W wall carrier, 0059-020EC China shroud, offset trap, open grid strainer, flow restrictor supplies with stops, escutcheons.	Tender
LV.2	1	WALL HUNG LAVATORY - BARRIER FREE AMERICAN STANDARD MURRO 0955-001EC, White DELTA COMMERCIAL 591T12250 CHROME, Electronic Battery-Operated Faucet w/ integral waterproof sensor and connector and control box	20	0	32	32	Maximum 1.9 Litres/minute (0.5 GPM). Install according to barrier free requirements. C/W wall carrier, 0059-020EC China shroud, offset trap, open grid strainer, flow restrictor supplies with stops, escutcheons.	Tender
WC.1	2	WATER CLOSET (FLUSHOMETER) - BARRIER FREE AMERICAN STANDARD Madera FloWise Elongated Flushometer Toilet 3463.001 Elongated bowl only, back spud, white Flushometer: Delta 1601T6203 Electronic Activated Battery-powered Flush Valve, back inlet, free standing, 1.5" spud, with integral sensor and frame	25	0	80	40	Maximum 6 Litres/flush (1.6 GPF). Install according to barrier free requirements. C/W White open front seat less cover, supply with stop.	Tender

New Plumbing Equipment Schedule								
		CURRENT PHASE: Tender	CURRENT ITEMS: Show All					
Mark	QTY	Description	Remarks	Phase Added				
ET.1	1	POTABLE WATER EXPANSION TANK Model: AMTROL ST-5 THERM-X-TROL		Tender				
		Capacity: 2.0 USG						

	New Pipe Accessory Schedule										
	CURRENT PHASE: Tender CURRENT ITEMS: Show All										
Mark	QTY	Description	Size	Remarks	Phase Added						
BFP	1	BACKFLOW PREVENTER	25ø-25ø	Watts or approved equal.	Tender						
BV.1	3	BALL VALVE	25ø-25ø	Watts or approved equal.	Tender						
BV.D	1	BALL VALVE - DRAIN	15ø-15ø	Watts or approved equal. Shall be provided at lowest point of installation for draining and purging of system. Verify actual location in the field.	Tender						

Proposed - Washroom - Sanitary & Vent Plan 1:50

Tender

CURRENT PHASE: Tender

New Pipe Fitting Schedule												
	CURRENT PHASE: Tender CURRENT ITEMS: Show All											
System		Tuno	Size	QTY	Phase Added							
Code	Name	Туре	Size	QII	Phase Added							
CWS	Cold Water Supply	Elbow	15ø-15ø	5	Tender							
CWS	Cold Water Supply	Elbow	20ø-20ø	1	Tender							
CWS	Cold Water Supply	Elbow	25ø-25ø	13	Tender							
CWS	Cold Water Supply	Tee	25ø-25ø-25ø	7	Tender							
CWS	Cold Water Supply	Reducer	25ø-15ø	3	Tender							
CWS	Cold Water Supply	Reducer	25ø-20ø	1	Tender							
S	Sanitary		100ø-100ø	1	Tender							
S	Sanitary		100ø	2	Tender							
S	Sanitary	Elbow	32ø-32ø	8	Tender							
S	Sanitary	Elbow	50ø-50ø	4	Tender							
S	Sanitary	Elbow	80ø-80ø	4	Tender							
S	Sanitary	Elbow	100ø-100ø	1	Tender							
S	Sanitary	Wye 45 Deg Reducing	50ø-50ø-32ø	1	Tender							
S	Sanitary	Wye 45 Deg Reducing	80ø-80ø-50ø	1	Tender							
S	Sanitary	Wye 45 Deg Reducing	100ø-100ø-32ø	1	Tender							
S	Sanitary	Wye 45 Deg Reducing	100ø-100ø-50ø	1	Tender							
S	Sanitary	Wye 45 Deg Reducing	100ø-100ø-80ø	2	Tender							
S	Sanitary	Wye 45 Deg Reducing	100ø-100ø-100ø	1	Tender							
V	Vent	Elbow	32ø-32ø	4	Tender							
V	Vent	Elbow	40ø-40ø	2	Tender							
V	Vent	Reducer	40ø-32ø	1	Tender							
V	Vent	Reducer	80ø-40ø	1	Tender							
V	Vent	Tee	32ø-32ø-32ø	1	Tender							
V	Vent	Tee	40ø-40ø-40ø	2	Tender							

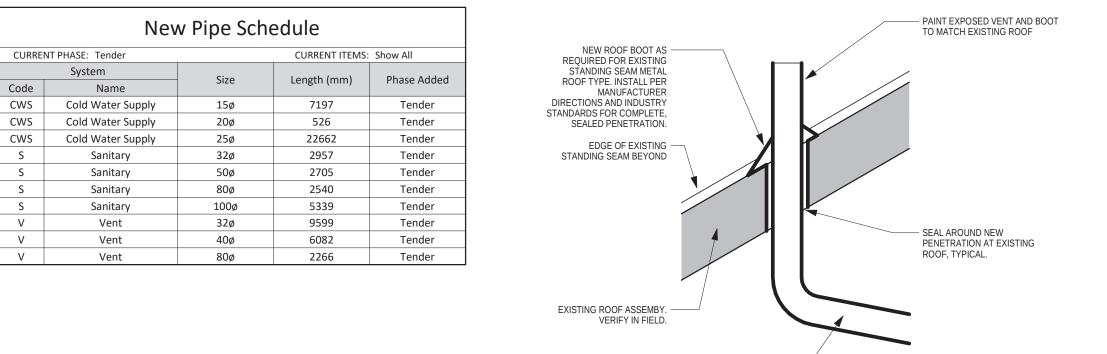
2 VANDAL RESISTANT HOSE BIBB

Model: WATTS HY-430 Wall Hydrant

	Samtai	y vyc +3 bcg neddenig	1000 1000 1000		_	render		
V	Vent	Elbow	32ø-32ø		4	Tender		
V	Vent	Elbow	40ø-40ø		2	Tender		
V	Vent	Reducer	40ø-32ø		1	Tender		
V	Vent	Reducer	80ø-40ø		1	Tender		
V	Vent	Tee	32ø-32ø-32ø		1	Tender		
V	Vent	Tee	40ø-40ø-40ø		2	Tender		
		Opti	onal Price Plu	ımbing	g Fi	xture Sche	dule	
		CURRENT	PHASE: Tender		CUI	RRENT ITEMS: Show A	II	
Mark	QTY	Description	Col	nnections (m	nm)		Remarks	Phase Ad
IVIAIN	QII	Description	CW	/ HW D	V		IVEITIGI NO	r iiase Aui

25 0 0 C/W chrome-plated face, integral vacuum breaker, loose key.

PROVIDE OPTIONAL PRICE FOR THE SUPPLY AND INSTALLATION OF THE HOSE BIB.



3 Vent Pipe Roof Detail

PLUMBING VENT PIPE -

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PROCEEDING WITH THE WORK.

DRAWINGS ARE NOT TO BE SCALED.



REVISION SCHEDULE						
NO.	NO. DESCRIPTION DATE					
1	Issued For Review	Jan 03, 2023				
2	Issued For Permit/Tender Jul 10, 2023					
3	Relssued For Permit/Tender Sep 05, 202					
4	Issued For Tender R1	Sep 10, 2024				



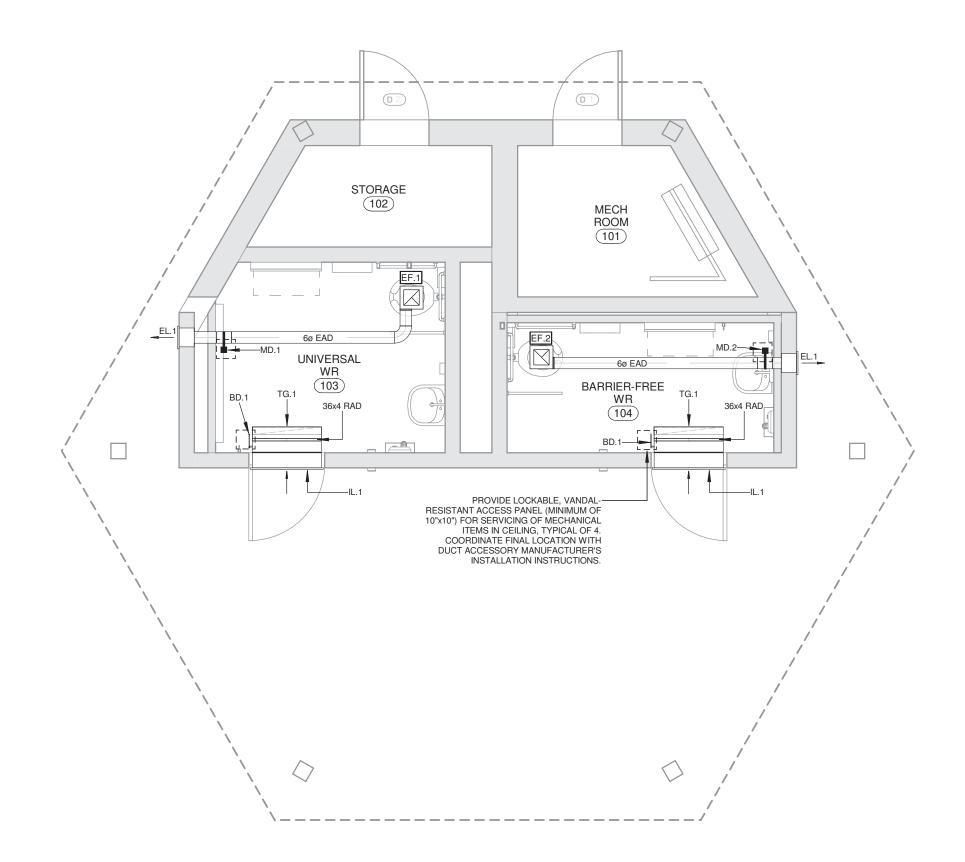
Dennison Park WR

70 Learmont Ave. Caledon, ON

Plumbing Plan

RAWING NUMBER As indicated SHEET SIZE 24"x36"

PROJECT NUMBER



Proposed - Washroom - HVAC Plan

1:50

	New Mechanical Equipment Schedule						
CURRENT PHASE: Tender CURRENT ITEMS: Show All							
Mark	QTY	Description	Remarks	Phase Added			
EF.1	1	WASHROOM CEILING EXHAUST FAN Model: Pennbarry Z5H Cabinet Ceiling Fan w/ Grille Specs: 128CFM @ 0.25" ESP, 2.8 sones, 1550 RPM Electrical: 120V/1Ph/60Hz, 1.0A	Shall be activated by motion sensor provided by Electrical. Timeout shall be set to 30s on vacancy.	Tender			
EF.2	1	WASHROOM CEILING EXHAUST FAN Model: Pennbarry Z5H Cabinet Ceiling Fan w/ Grille Specs: 128CFM @ 0.25" ESP, 2.8 sones, 1550 RPM Electrical: 120V/1Ph/60Hz, 1.0A	Shall be activated by motion sensor provided by Electrical. Timeout shall be set to 30s on vacancy.	Tender			

New Air Terminal Schedule								
CURRENT PHASE: Tender CURRENT ITEMS: Show All								
Mark	QTY	Type	Model	Face	Neck	Remarks	Phase Added	
EL.1	2	EXHAUST LOUVER WALL BOX	VENTEX 2425	300 x 300	150ø	4" depth, 4-7/8" blade centers, 45 deg blade angle complete with birdscreen.	Tender	
IL.1	2	INTAKE LOUVER	NAILOR 51DGS	38"x6"	36"x4"	Aluminum wall transfer louver. Single flange, inverted "V" louver. Shall be ready to receive paint coat in field.	Tender	
TG.1	2	TRANSFER GRILLE	PRICE 80	38"x6"	36"x4"	White. Order to mount to fit to drywall ceiling.	Tender	

CURRENT PHASE: Tender CURRENT ITEMS: Show All						
Mark	QTY	Туре	Size	Remarks	Phase Add	
BD.1	2	Balancing Damper - Rectangular	36x4-36x4	Nailor 1810 Parallel Blade Manual Balancing damper, stainless steel construction. Damper shall be closed prior to onset of non-occupancy during winter. Provide appropriately-sized hatch to access damper in ceiling space.	Tender	
MD.1	1	Motorized Damper	6ø-6ø	Motorized damper with actuator. Shall be low leakage type with pressure sensitive blade edge PVC seals, 2-position ON/OFF, with operator outside of airstream. Provide appropriately-sized hatch to access damper in ceiling space. Shall be interlocked with EF.1 and shall be in open position when EF.1 is operational. Electrical Data: 120V/1Ph/60Hz	Tender	
MD.2	1	Motorized Damper	6ø-6ø	Motorized damper with actuator. Shall be low leakage type with pressure sensitive blade edge PVC seals, 2-position ON/OFF, with operator outside of airstream. Provide appropriately-sized hatch to access damper in ceiling space. Shall be interlocked with EF.2 and shall be in open position when EF.2 is operational. Electrical Data: 120V/1Ph/60Hz	Tender	

	New Duct Schedule							
	CURRENT PHASE: Tender CURRENT ITEMS: Show All							
	System	Tuno	Size (in)	Longth (man)	Phase Added			
Code	Name	- Type	3120 (111)	Length (mm)	Pilase Added			
EAD	EAD Exhaust Air Round Duct		6ø	5465	Tender			
RAD	RAD Return Air Rectangular Duct		36x4	99	Tender			

New Duct Fitting Schedule							
CURRENT PHASE: Tender CURRENT ITEMS: Show All							
System		Tive	Cina	ОТУ	Dhana Addad		
Code Name		Туре	Size	QTY	Phase Added		
EAD Exhaust Air		Round Elbow	6ø-6ø	1	Tender		
RAD Return Air		Rectangular Elbow	4x36-4x36	2	Tender		

MECHANICAL ABBREVIATIONS

AIR CONDITIONER ACCESS DOOR

AFF	ABOVE FINISHED FLOOR
ASHRAE B/W	AMERICAN SOCIETY OF HEATING, REFRIGERATING, AND AIR CONDITIONING ENGINEERS BETWEEN
BBH	ELECTRIC BASEBOARD HEATER
BFP BT	BACKFLOW PREVENTER BATHTUB
BTU	BRITISH THERMAL UNIT
втин	BTU PER HOUR
BV C/W	BALL VALVE COMPLETE WITH
C/W	CLEANOUT
CTE	CONNECT TO EXISTING
DB DCVA	DRY BULB TEMPERATURE DOUBLE CHECK VALVE ASSEMBLY
DF	DRINKING FOUNTAIN
DG	DOOR GRILLE
DIA DN	DIAMETER DOWN
DPDT	DOUBLE POLE DOUBLE THROW
DTBS	DOWN TO BELOW SLAB
DTL EAD	DETAIL EXHAUST AIR DUCT
ECM	ELECTRICALLY COMMUTATED MOTOR
EDF EEW	ELECTRIC DRINKING FOUNTAIN EMERGENCY EYE WASH
EEWS	EMERGENCY EYE WASH AND SHOWER
EL	ELEVATION
EX EXP	EXISTING EXPANSION
FD	FLOOR DRAIN
FFD	FUNNEL FLOOR DRAIN
FFH FHC	ELECTRIC FAN FORCED HEATER FIRE HOSE CABINET
FLA	FULL LOAD AMPS
FPM GC	FEET PER MINUTE GENERAL CONTRACTOR
GPM	GALLONS PER MINUTE
НВ	HOSE BIBB
HD HP	HUB DRAIN HORSEPOWER
HPF	HIGH PASS FILTER
HZ ID	HERTZ INSIDE DIAMETER
KS	KITCHEN SINK
KW	KILOWATT
L LB	LAVATORY LAUNDRY BOX
LPH	LITERS PER HOUR
LPS	LITERS PER SECOND
MBH MCA	1000 BTUS PER HOUR MINIMUM CIRCUIT AMPACITY
MERV	MINIMUM EFFICIENCY REPORTING VALUE
MFR	MANUFACTURER NORMALLY GLOSED
NC NFHB	NORMALLY CLOSED NONFREEZE HOSE BIBB
NIC	NOT IN CONTRACT
NO NPS	NORMALLY OPEN NOMINAL PIPE SIZE
NTS	NOT TO SCALE
O/H	OVERHEAD OUTSIDE ALD
OA OAD	OUTSIDE AIR OUTSIDE AIR DUCT
OBVD	OPPOSED BLADE VOLUME DAMPER
OC OD	ON CENTER OUTSIDE DIAMETER
OER	OPEN ENDED RETURN
PH	PHASE PARTE PER MULLION
PPM PSI	PARTS PER MILLION POUNDS PER SQUARE INCH
RAD	RETURN AIR DUCT
RECT RH	RECTANGULAR ROOF HOPPER
RPM	REVOLUTIONS PER MINUTE
RV	RELIEF VENT
RWL S	RAIN WATER LEADER SINK
SAD	SUPPLY AIR DUCT
SH SHD	SHOWER SHOWER DRAIN
1	SHEET METAL AND AIR CONDITIONING CONTRACTORS' NATIONAL ASSOCIATION
SS	SERVICE SINK
SYMBOL T&P	MEANING TEMPERATURE AND PRESSURE
TD	TRANSFER DUCT
TR TYP	TONS OF REFRIGERATION TYPICAL
U	URINAL
U/C	UNDERCUT
ULC	UNDERWRITERS LABORATORIES UNDERWRITERS LABORATORIES CANADA
USG	US GALLONS
UV V	ULTRAVIOLET VOLTS
V VTR	VENT THROUGH ROOF
VVT	VARIABLE VOLUME & TEMPERATURE
W/O WB	WITHOUT WASH BASIN
WC	WATER CLOSET
WH WM	WATER HEATER WATER METER
WT	WEIGHT



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3	Relssued For Permit/Tender	Sep 05, 2024
4	Issued For Tender R1	Sep 10, 2024



REVISION SCHEDULE

Dennison Park WR

70 Learmont Ave. Caledon, ON

PROJECT NUMBER

HVAC Plan

DRAWING NUMBER As indicated SHEET SIZE 24"x36"

CONSTRUCTION NOTES:

A. <u>GENERAL</u>

- 1. ALL WORK SHALL CONFORM TO THE ONTARIO BUILDING CODE AND ALL STANDARDS REFERENCED WITHIN, LOCAL REGULATIONS AND BYLAWS, AND THE OCCUPATIONAL HEALTH AND SAFETY ACT FOR CONSTRUCTION PROJECTS. THE LATEST VERSIONS OF STANDARDS SHALL APPLY.
- READ THESE DRAWINGS IN CONJUNCTION WITH ALL RELATED CONTRACT DOCUMENTS AND CONSULTANT DRAWINGS.
- 3. THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL CONDITIONS WHICH MAY ADVERSELY AFFECT THE PROPER COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS IN RELATION TO THE DRAWINGS AND NOTIFY THE ENGINEER TO ALL DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.

 4. DRAWINGS ARE NOT TO BE SCALED.
- 5. THE DESIGN DOCUMENTS ARE PREPARED SOLELY FOR THE USE WITH THE PARTY WHOM THE ENGINEER HAS ENTERED INTO CONTRACT. THERE ARE NO REPRESENTATIONS MADE TO ANY PARTY WITH WHOM THE ENGINEER HAS NOT ENTERED INTO CONTRACT.
- ENTERED INTO CONTRACT.

 6. THE CONTRACTOR SHALL RETAIN AN INDEPENDENT TESTING AND INSPECTION COMPANY TO ENSURE THAT THE WORK IS DONE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS INCLUDING COMPACTION TESTING, REINFORCING STEEL PLACEMENT, CONCRETE TESTING AND STRUCTURAL STEEL.
- THE ENGINEER SHALL BE GIVEN MINIMUM 24 HOURS NOTICE BY THE CONTRACTOR FOR ALL CONSTRUCTION REVIEWS. SITE VISITS AND REVIEWS BY THE ENGINEER OR THEIR REPRESENTATIVES ARE INTENDED FOR THE SOLE PURPOSE OF ASCERTAINING CONFORMANCE WITH THE GENERAL DESIGN CONCEPT. THE REVIEWS SHALL NOT MEAN THAT THE ENGINEER HAS SEEN ALL CONSTRUCTION PROCEDURES. REVIEW BY THE ENGINEER SHALL NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY FOR ERRORS AND OMISSIONS AND FOR MEETING ALL THE REQUIREMENTS OF THE CONSTRUCTION AND CONTRACT DOCUMENTS.
- 8. THE CONTRACTOR SHALL MAKE ADEQUATE PROVISIONS FOR CONSTRUCTION LOADS AND TEMPORARY BRACING TO ENSURE SAFETY AND THE BUILDING IS PLUMB AND IN TRUE ALIGNMENT AT ALL PHASES OF CONSTRUCTION AS PER O.REG 213/91. ALL BRACING MEMBERS SHOWN ON THE DRAWINGS ARE DESIGNED FOR THE FINISHED STRUCTURE AND MAY NOT BE SUFFICIENT FOR ERECTION PURPOSES. SHORING AND BRACING IS REQUIRED UNTIL PROPOSED STRUCTURE IS PROPERLY IN PLACE. SHORING AND BRACING SHALL BE DESIGNED, REVIEWED AND APPROVED BY A PROFESSIONAL ENGINEER. SHOP DRAWINGS SHALL BE SUBMITTED WITH P.ENG'S STAMP FOR OUR REVIEW PRIOR TO CONSTRUCTION.
- 9. NO SUBSTITUTIONS FROM THE SPECIFIED PRODUCTS AND MATERIALS ARE
 PERMITTED WITHOUT THE APPROVAL OF THE ENGINEER.

TERMITTED WITHOUT THE ATTROVAL OF THE ENGINEER.					
TESTING REQUIREMENTS					
TEST	COMMENTS				
SOIL BEARING CAPACITY	BY GEOTECH.				
SOIL COMPACTION	BY GEOTECH.				
REINFORCING STEEL PLACEMENT	FINAL PLACEMENT				
CONCRETE COMPRESSIVE TESTS	MIN. 1 SETS PER 100 m ³				
CONCRETE SLUMP					
STRUCTURAL STEEL CONNECTIONS INSPECT ALL FIELD WELDS					
ALL TESTING TO BE COMPLETED BY A CERTIFIED INDEPENDENT TESTING AND INSPECTION COMPANY. COPIES OF ALL REPORTS ARE TO BE FORWARDED TO THE ENGINEER FOR REVIEW.					

B. <u>DESIGN PARAMETERS</u>

1. REFERENCE FRAMING PLANS FOR DESIGN LOADS OF FLOORS AND ROOFS.

BUILDING IMPORTANCE	CATEGORY: NORWAL
CLIMACTIC DESIGN DAT	A:
SNOW/WIND	EARTHQUAKE
Ss = 1.3 kPa	Sa (0.2) = 0.168
Sr = 0.4 kPa	Sa (0.5) = 0.096
Cb = 0.8	Sa (1.0) = 0.052
Cw = 1.0	Sa (2.0) = 0.026
Cs = 1.0	Sa (5.0) = 0.0064
Ca = 1.0	Sa (10.0) = 0.0025
Q50 = 0.44 kPa	PGA = 0.106
CATEGORY 2	SITE CLASS "D"
lw = 1.0	Rd = 1.5
	Ro = 1.3

- IeFaSa(0.20) = 0.208

 4. ADDITIONAL DEAD LOAD ALLOWANCE SHALL BE INCLUDED IN ADDITION TO THE LOADS SPECIFIED ON THE DRAWINGS FOR PIPING IN EXCESS OF 3" (76mm) CARRYING FLUIDS (SPRINKLERS), ROOF TOP MECHANICAL UNITS AND ROOF TOP PATIO SLABS.
- PATIO SLABS.

 5. ALL ROOF FRAMING ELEMENTS INCLUDING JOISTS, OWSJ AND TRUSSES ARE TO BE DESIGNED FOR WIND UPLIFT IN ACCORDANCE WITH OBC 2012 AND NBC 2015 STRUCTURAL COMMENTARIES USING THE ABOVE NOTED DESIGN PARAMETERS.

C. FOUNDATIONS

- FOUNDATIONS ARE TO BEAR DIRECTLY ON UNDISTURBED SOIL OR COMPACTED FILL WITH A MINIMUM BEARING CAPACITY OF 150 kPa SLS AND 225 kPa ULS.
- REMOVE ALL TOP SOIL, ORGANIC MATERIAL, LOOSE FILL AND OTHER DELETERIOUS MATERIAL FROM THE BUILDING AREA PRIOR TO CONSTRUCTION.
- MATERIAL FROM THE BUILDING AREA PRIOR TO CONSTRUCTION.

 3. PROOF ROLL EXISTING FILL MATERIALS. SOFT AREAS UNCOVERED DURING EXCAVATION SHALL BE SUB-EXCAVATED TO SOUND MATERIAL AND REPLACED WITH CLEAN, FREE DRAINING FILL COMPACTED TO 100% STANDARD PROCTOR MAXIMUM DRY DENSITY (SPMDD).
- 4. COMPACTED FILL BENEATH FOOTINGS AND FLOOR SLABS SHALL BE COMPACTED IN MAXIMUM 6" (152mm) LAYERS.
- 5. PLACE ALL FOOTINGS EXPOSED TO FREEZING WEATHER MINIMUM 4'-0" (1220mm)
 BELOW GRADE UNLESS OTHERWISE PROTECTED. PROTECT SOIL BELOW AND
- ADJACENT TO ALL FOOTINGS FROM FREEZING DURING CONSTRUCTION.

 6. NECESSARY PRECAUTIONS SHALL BE TAKEN TO ENSURE EXISTING FOOTINGS ARE
- NOT DISTURBED OR UNDERMINED DURING CONSTRUCTION.

 7. BACKFILL AGAINST FOUNDATION WALLS IN SUCH A MANNER THAT THE LEVEL OF BACKFILLING ON ONE SIDE OF THE WALL IS NEVER MORE THAN 20" (508mm) HIGHER THAN THE LEVEL ON THE LOWER SIDE OF THE WALL EXCEPT WHERE TEMPORARY

SUPPORT FOR THE WALL IS PROVIDED OR THE WALLS ARE DESIGNED FOR SUCH

UNEVEN PRESSURES.

8. HORIZONTAL CONSTRUCTION JOINTS SHALL NOT OCCUR IN CONCRETE WALLS UNLESS APPROVED BY THE ENGINEER.

D. CONCRET

FOUNDATION WALLS

REQUIRED TRAINING.

- 1. CONCRETE WORK SHALL CONFORM TO THE LATEST VERSION OF CAN/CSA-A23.1,
- A23.2 AND A23.3.
 CONCRETE PROPERTIES: (MINIMUM COMPRESSIVE STRENGTH MEASURED AT 28 DAYS UNLESS NOTED)
 a) ALL CONCRETE UNLESS NOTED OTHERWISE 20 MPa

b) SEE CHART FOR CONCRETE TYPES								
CONCRETE PROPERTIES	CSA CLASS	3 DAY COMP. TRENGTH MPa	MAX. W/C RATIO	AIR CONTENT %	AX. GGREGATE mm	SLUMP mm		
LOCATION	Ö	28 ST	≥ 3	₹	A A	SI		
FOOTINGS	N	20	NA	NA	20	80 ±30		
SLAB ON GRADE	C-2	32	0.45	5-8	20	80 ±30		

C-1 35 0.40 5-8 20 80 ±30

- 3. CONCRETE DESIGN IS BASED ON COMPRESSIVE STRENGTH. PHYSICAL PROPERTIES (SLUMP, AGGREGATE SIZE, ETC.) TO SUIT INSTALLATION (BY OTHERS)
- NOT TO AFFECT STRENGTH SPECIFIED.

 4. ALL CONCRETE SHALL BE TESTED BY A CSA CERTIFIED CONCRETE TESTING LABORATORY. CONTRACTOR TO PROVIDE COPIES OF TESTING REPORTS TO THE ENGINEER. NOT LESS THAN ONE TEST SHALL BE MADE FOR EACH 100m³ OF CONCRETE WITH AT LEAST ONE TEST FOR EACH CLASS OF CONCRETE USED. A
- MINIMUM OF THREE TESTS IS REQUIRED FOR EACH CLASS.

 5. SLUMP OF CONCRETE TO BE 80mm ±30mm PRIOR TO SUPER PLASTICIZERS BEING
- ALL CONCRETE FORMS ARE TO BE WET THOROUGHLY PRIOR TO PLACING CONCRETE. WATER CURING OF CONCRETE IS RECOMMENDED.
- DO NOT ADD WATER TO THE CONCRETE.
 ALL CONCRETE EXCEPT FOR CONCRETE SLABS 6" (152mm) OR LESS SHALL BE MECHANICALLY VIBRATED.
- 9. CONTROL JOINTS IN CONCRETE SLABS ON GRADE ARE TO BE SPACED AT MAXIMUM 30 TIMES THE SLAB THICKNESS NOT TO EXCEED 15'-0 (4570mm) AND A DEPTH OF 1/3 THE THICKNESS OF THE SLAB. CUT 50% OF THE REINFORCING STEEL AT CONTROL JOINT LOCATIONS.
- 10. REINFORCING STEEL SHALL CONFORM TO THE LATEST VERSIONS OF CAN/CSA-G30.18. REINFORCING BARS SHALL BE DEFORMED, GRADE 400 MPa.
- 11. MAINTAIN THE FOLLOWING CONCRETE CLEAR COVER TO REINFORCING:

 a) 3" (76mm) FOR CONCRETE CAST AGAINST EARTH

 b) 4 4(3" (29mm) FOR CONCRETE CAST AGAINST FORMAUCRIC
- b) 1 1/2" (38mm) FOR CONCRETE CAST AGAINST FORMWORK
 c) 2 1/2" (64mm) FOR CONCRETE EXPOSED TO DE-ICING CHEMICALS
 12. ALL REINFORCING STEEL, DOWELS AND ANCHOR BOLTS ARE TO BE CLEAN AND
- FREE OF RUST, DIRT, FORM RELEASE AGENT, ETC. PRIOR TO POURING CONCRETE.

 13. LAP ALL REINFORCING AS PER REINFORCING STEEL CHART BELOW (MIN). LAP ALL HORIZONTAL BARS AT CORNERS WITH BENT DOWELS MEETING THE MINIMUM LAP REQUIREMENTS IN BOTH DIRECTIONS. SHOP FABRICATE ALL REINFORCING STEEL
- TO INCLUDE HOOKS AND BENDS.

 14. REINFORCING STEEL, DOWELS AND ANCHOR BOLTS ARE TO BE SECURELY TIED PRIOR TO PLACING CONCRETE. REINFORCING STEEL CHAIRS AND SUPPORTS
- SHALL BE MADE OF CONCRETE BLOCKS, PLASTIC OR WIRE.

 15. DOWELS SHALL MATCH REINFORCING UNLESS NOTED OTHERWISE.

 16. INSTALLATION OF ALL PROPRIETARY ANCHORS IS TO BE COMPLETED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION REQUIREMENTS.

 SPECIALIZED TRAINING MAYBE REQUIRED DEPENDING ON THE PRODUCT.

 CONTRACTOR IS TO CONTACT THE MANUFACTURER/SUPPLIER TO ARRANGE THE

REINFURUING STEEL	MINIMUM LAP LENGTHS

CONCRETE	TENSION SPLICE		COMPRESSION EMBEDMENT	REINFORCED MASONRY	N 12")	
AR SIZE	25 MPa	30 MPa	35 MPa	20 MPa	20 MPa GROUT	CE LENGTHS IN THAN 300mm (12") T BELOW THE
10M	406 (16")	406 (16")	406 (16")	457 (18")	508 (20")	SPLICE ORE THA S CAST E
15M	610 (24")	610 (24")	610 (24")	660 (26")	762 (30")	AL MC E IS
20M	813 (32")	813 (32")	813 (32")	914 (36")	914 (36")	HORIZONTAL: 3.3 WHERE MC CONCRETE IS
25M	1220 (48")	1118 (44")	1016 (40")	1372 (54")	1372 (54")	
30M	1420 (56")	1320 (52")	1220 (48")	1625 (64")	N/A	TE: REASE 3LE BY FRESH LICE
35M	1670 (66")	1524 (60")	1420 (56")	1880 (74")	N/A	NOTE: INCREA TABLE I OF FRE SPLICE

E. MASONRY

- 1. MASONRY TO CONFORM TO THE LATEST VERSION OF CAN/CSA-S304.1 AND CSA
- 2. STRENGTH OF LOAD-BEARING MASONRY UNITS TO BE MINIMUM 15 MPa FOR HOLLOW UNITS BASED ON NET AREA.
- 3. TYPE 'S' MORTAR SHALL BE USED FOR CONCRETE BLOCK. TYPE 'N' MORTAR SHALL BE USED FOR BRICK AND DECORATIVE BLOCK. GROUT STRENGTH SHALL BE 20 MPa UNLESS NOTED OTHERWISE. MORTAR AND GROUT TO CONFORM TO THE LATEST VERSION OF CSA A179.
- ALL MASONRY WALLS SHALL BE CONSTRUCTED WITH FULL MORTAR JOINTS.
 VERTICAL CONTROL JOINTS SHALL BE INSTALLED AT 6000mm (20'-0") SPACING MAXIMUM. REINFORCING SHALL NOT CROSS A CONTROL JOINT. PROVIDE FOAM BACKING ROD AND CAULKING AT CONTROL JOINTS AND ENSURE MORTAR DOES NOT FILL THE JOINT.
- REINFORCE ALL MASONRY WITH HOT DIP GALVANIZED NO. 9 TRUSS TYPE WIRE REINFORCING @ 16" (406mm). PROVIDE FULL OVERLAP AT ALL INTERSECTIONS AND
- CORNERS.

 7. INSTALLATION OF ALL PROPRIETARY ANCHORS IS TO BE COMPLETED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION REQUIREMENTS. SPECIALIZED TRAINING MAYBE REQUIRED DEPENDING ON THE PRODUCT. CONTRACTOR IS TO CONTACT THE MANUFACTURER/SUPPLIER TO ARRANGE THE REQUIRED TRAINING. ADHESIVE ANCHORS INTO HOLLOW CONCRETE BLOCK ARE TO BE INSTALLED WITH SCREEN TUBES.
- 8. ALL STEEL BEAMS AND JOISTS SHALL BE SUPPORTED BY BEARING PLATES DESIGNED TO THE LATEST VERSION OF CAN/CSA S16. BEARING PLATES SHALL HAVE MINDUM (2) 1/2" (13mm) DIAMETER x18" (457mm) LONG ANCHORS WITH 2"
- (51mm) HOOK.
 9. ALL MASONRY UNDER CONCENTRATED LOADS SHALL BE FILLED SOLID WITH GROUT FOR A WIDTH AND DEPTH EQUAL TO 3 TIMES THE LENGTH OF BEARING. WHERE OPEN WEB STEEL JOISTS OR BEAMS BEAR ON UNREINFORCED MASONRY WALLS PROVIDE (1) 15M VERTICAL x48" (1220mm) LONG UNDER BEARING PLATE.
- 10. ALL MASONRY WALLS ARE TO BE ADEQUATELY BRACED DURING CONSTRUCTION UNTIL THE FLOOR AND ROOF STRUCTURES ARE IN PLACE. BRACING SHALL BE DESIGNED, REVIEWED AND APPROVED BY CONTRACTOR'S ENGINEER. SHOP DRAWINGS SHALL BE SUBMITTED WITH ENGINEERING'S STAMP FOR OUR REVIEW PRIOR TO CONSTRUCTION.
- 11. ALL MASONRY INSTALLED ABOVE PARAPETS OR BELOW GRADE ARE TO BE FULLY GROUTED.
- 12. FOR MASONRY OPENINGS NOT SHOWN ON THE FRAMING PLANS UP TO 48" (1220mm) WIDE, PROVIDE ONE L3.5x3.5x0.25 (L89x89x6.4) FOR EACH 3 1/2" (89mm)
- THICKNESS OF MASONRY.

 13. PROVIDE DOWELS FROM THE FOUNDATION WALL TO MASONRY WALLS TO MATCH VERTICAL REINFORCING SPACING AND SIZE.
- 14. REINFORCED MASONRY
- a) GROUT ALL REINFORCED CELLS SOLID AS PER NOTE 3. REINFORCED CELLS TO BE KEPT CLEAR OF MORTAR.
 b) PROVIDE (1) FULL HEIGHT VERTICAL BAR EACH SIDE OF CONTROL
- b) PROVIDE (1) FULL HEIGHT VERTICAL BAR EACH SIDE OF CONTROL
 JOINTS, OPENINGS, INTERSECTIONS AND ENDS OF WALLS.
 c) LAP ALL REINFORCING AS PER REINFORCING STEEL CHART ABOVE (MIN).

F. STRUCTURAL STEEL

- 1. STRUCTURAL STEEL SHALL CONFORM TO THE LATEST VERSION OF CAN/CSA-S16
- AND THE CISC CODE OF STANDARD PRACTICE.

 2. STRUCTURAL STEEL SHALL CONFORM TO THE LATEST VERSION OF CAN/CSA G40.20, G40.21 GRADE 350W CLASS C FOR H.S.S., G40.21 GRADE 350W FOR W SHAPE SECTIONS AND G40.21 GRADE 300W FOR CHANNELS, ANGLES AND MISCELLANEOUS METAL.
- 3. WELDING SHALL CONFORM TO CSA W59 AND CSA W47 DIVISION 1 OR DIVISION 2.1 BY THE CANADIAN WELDING BUREAU. WELDING SHALL BE COMPLETED BY CWB CERTIFIED FABRICATOR AND ERECTOR TO THE CSA STANDARDS W178.1 AND
- 4. WHERE FORCES ARE NOT SHOWN ON THE DRAWINGS BEAM REACTIONS SHALL BE
 1/2 THE TOTAL UNIFORM DISTRIBUTED FACTORED LOADS NOTED IN THE BEAM
 LOAD TABLES OF PART 5 OF THE CISC'S HANDBOOK OF STEEL CONSTRUCTION.

 5. STRUCTURAL STEEL MEMBERS SHALL NOT BE SPLICED WITHOUT THE APPROVAL
- OF THE ENGINEER.
 6. STEEL BEAMS AND LINTELS SHALL HAVE MINIMUM 8" (203mm) BEARING ON MASONRY UNLESS OTHERWISE NOTED. WELD BEAMS AND LINTELS TO BEARING PLATES WHERE PROVIDED WITH MINIMUM 3/16"x2" (4.8mmx51mm) FILLET WELD
- EACH SIDE.

 7. ALL STRUCTURAL STEEL IS TO BE SHOP PRIME PAINTED UNLESS NOTED OTHERWISE. STRUCTURAL STEEL WHICH IS TO BE PROTECTED WITH SPRAY APPLIED FIREPROOFING IS TO BE KEPT CLEAN AND UNCOATED. STRUCTURAL STEEL EXPOSED TO WEATHER IS TO BE HOT DIP GALVANIZED CONFORMING TO THE LATEST VERSION OF CAN/CSA-G164. ALL COATINGS ARE TO BE TOUCHED UP ON SITE WITH APPROVED PAINT FOR PRIMED STEEL AND ZINC RICH PAINT FOR GALVANIZED STEEL.

8. G. <u>LUMBER</u>

- WOOD FRAMING DESIGN AND CONSTRUCTION SHALL CONFORM TO THE LATEST
- VERSION OF CSA 086.
 2. SAWN LUMBER SHALL CONFORM TO CSA STANDARD 0141 AND BE S-P-F GRADE NO.
- 2 OR BETTER.

 3. NAILS SHALL CONFORM TO STEEL WIRE NAILS AND SPIKES AS DEFINED IN CSA B111
- UNLESS NOTED OTHERWISE.

 4. ALL NAILS AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD ARE TO

BE HOT DIP GALVANIZED OR STAINLESS STEEL.

NAILING REQUIREMENTS					
MEMBER CONNECTION	NAIL LENGTH	NUMBER OF NAILS			
STUD TO WALL PLATE	83mm (3 1/4")	2			
BOTTOM WALL PLATE TO FLOOR JOISTS	83mm (3 1/4")	406mm (16") O.C.			

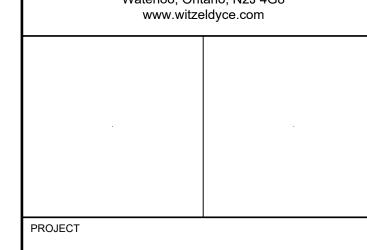
GENERAL CONTRACTOR PRIOR TO ISSUING TO THE ENGINEER FOR REVIEW.

SHOP DRAWINGS REQUIRED			
NAME	REQ'D	P.ENG. STAMP	MINIMUM CERTIFICATION REQUIREMENTS:
CONCRETE MIX DESIGN	YES	NO	
REBAR YES NO			
SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION. SHOP DRAWINGS MUST BE REVIEWED AND STAMPED BY THE			

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2024/09/10	ISSUED FOR TENDER R1
2024/08/28	RE-ISSUED FOR PERMIT
2023/06/20	ISSUED FOR PERMIT/TENDER
2022/01/09	ISSUED FOR COORDINATION
DATE	REVISION
	2024/08/28 2023/06/20 2022/01/09





DENNISON PARK WASHROOMS

70 LEARMONT AVE.
DRAWING

CENEDAL NOTES

GENERAL NOTES

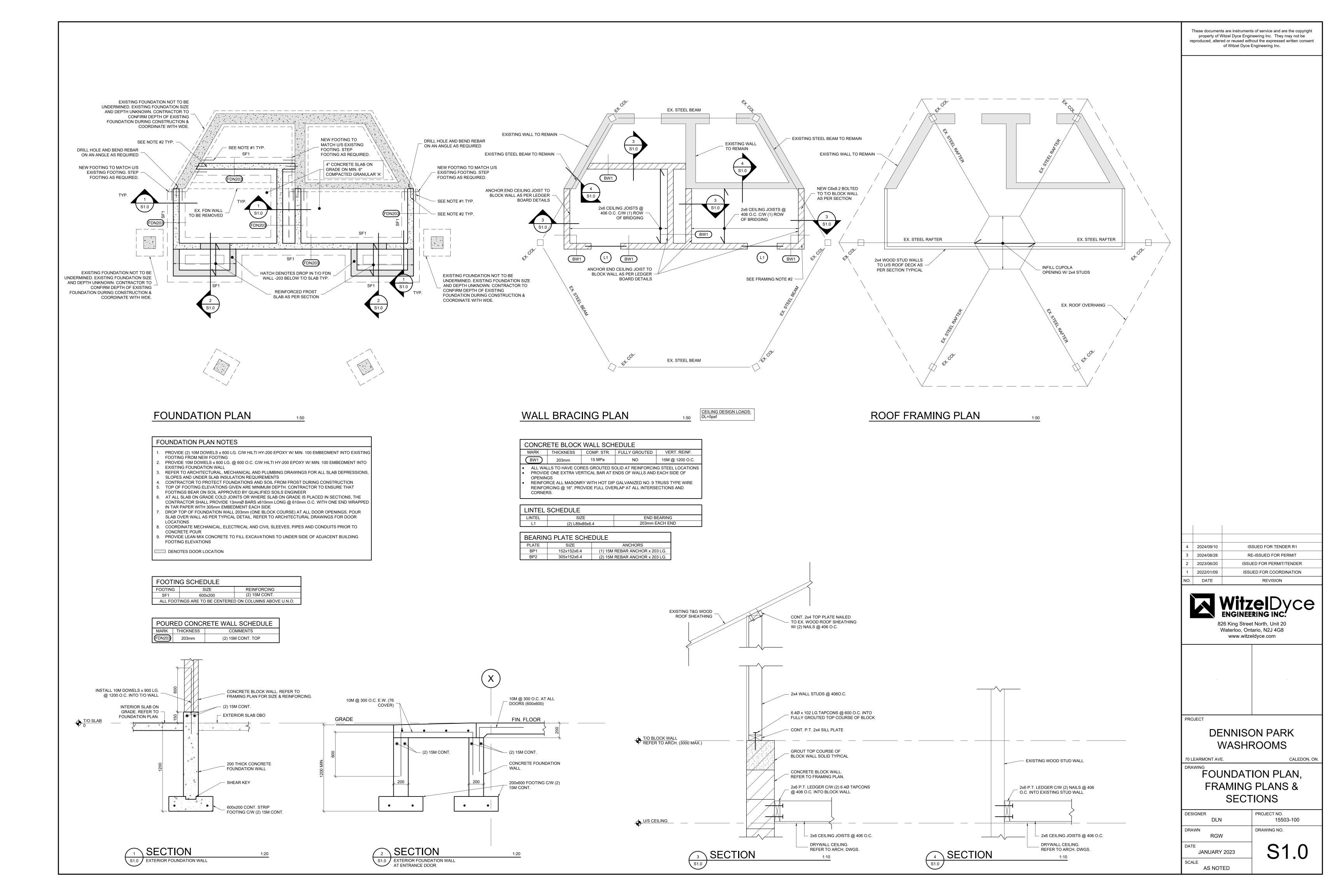
DESIGNER
DLN
PROJECT NO.
15503-100

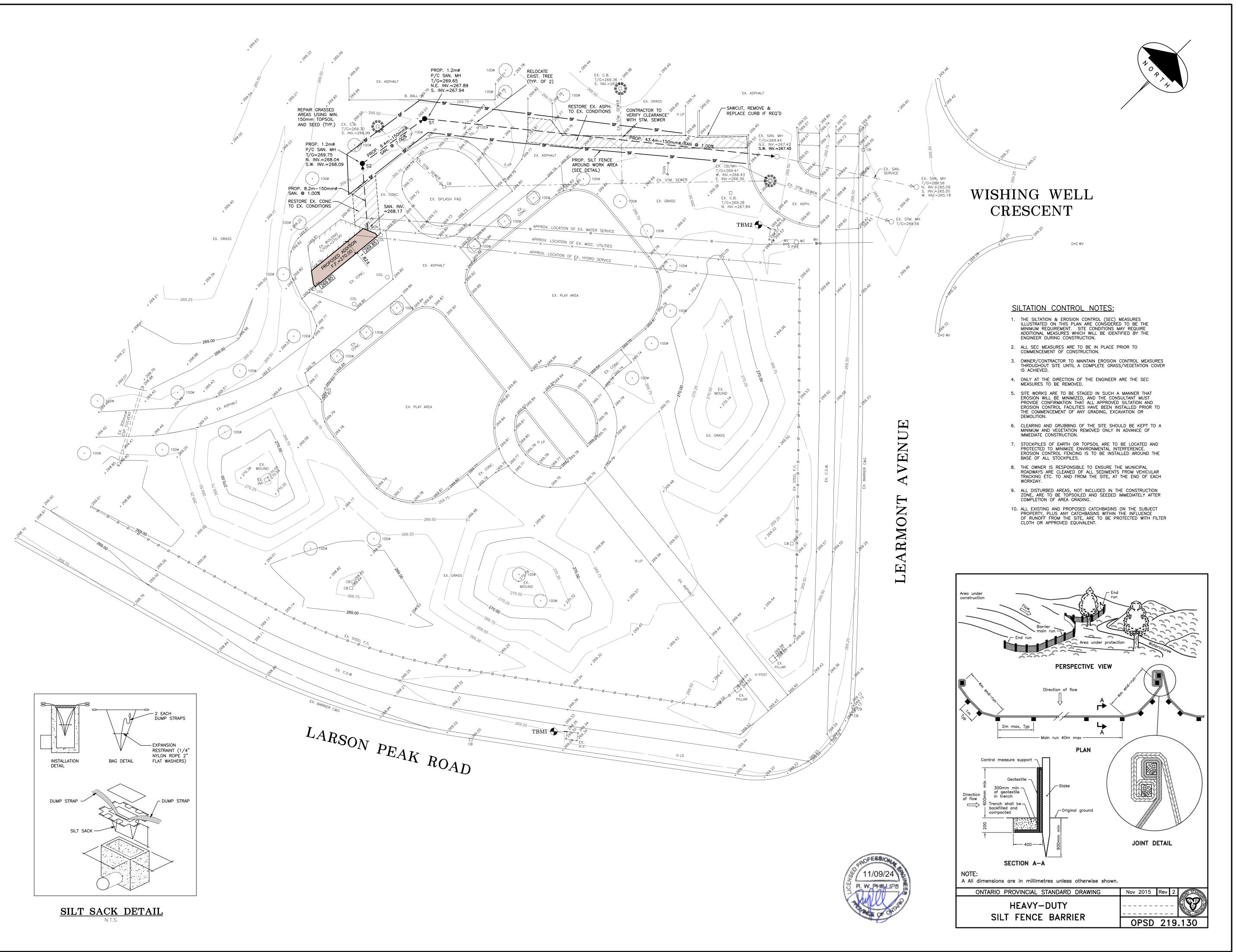
DRAWN
DRAWING NO.

DATE
JANUARY 2023

SCALE
AS NOTED

S0.0





LEGEND:

EXISTING ELEVATIONS 200.00 PROPOSED ELEVATIONS PROPOSED SWALE ELEVATIONS PROPOSED SWALE

> GENERAL DRAINAGE SILTATION FENCE

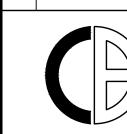
SILT SACK AS SHOWN

- 1. ALL ELEVATIONS SHOWN ARE METRIC.
- BUILDER/OWNER TO VERIFY COMPLIANCE WITH ZONING BYLAWS (ie. SIDEYARDS, SETBACKS, REARYARDS ETC.)
- ALL MATERIALS AND CONSTRUCTION METHODS HAVE TO COMPLY WITH THE LATEST VERSION OF THE TOWN OF CALEDON
- CONTRACTOR TO VERIFY EXISTING STORM AND SANITARY INVERTS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- SANITARY SEWERS TO BE CSA B182.2 SDR35 PVC PIPE.
- 6. 1200mmø PRECAST MANHOLES AS PER OPSD 701.010
- 1200mmø PRECAST MANHOLE COMPONENTS AS PER OPSD
- MANHOLE BENCHING AS PER OPSD 701.021
- 9. PRECAST CONCRETE ADJUSTMENT UNITS AS PER OPSD 704.010 10. MANHOLE FRAME AND GRATE AS PER OPSD 401.010
- 1. ALL STORM & SANITARY MANHOLES AND CATCHBASINS TO BE PRECAST CONCRETE STRUCTURES MANUFACTURED IN PRE QUALIFIED PLANTS IN ACCORDANCE WITH THE LATEST APPLICABLE
- O.P.S. DRAWINGS AND SPECIFICATIONS. 2. COVER AND BEDDING MATERIAL FOR PVC PIPE AS PER OPSD
- 802.010 TYPE 2 TRENCH. BEDDING SHALL BE GRANULAR 'A' MATERIAL UNLESS OTHERWISE INDICATED. 13. FULL PUBLIC SERVICES ARE TO BE CONSTRUCTED, OR REPLACED IF DAMAGED (SIDEWALK, BOULEVARDS, DRIVEWAY APPROACHES ETC.)

T.B.M. No. 1 ELEV. = **269.35m** TOP WEST CORNER OF CONCRETE HYDRO VAULT BASE ON THE NORTH SIDE OF LARSON PEAK ROAD AS SHOWN. T.B.M. No. 2 ELEV. = 269.60 m

TOP WEST CORNER OF CONCRETE PAD ON WEST SIDE OF LEARMONT AVENUE NEAR WISHING WELL CRESCENT AS SHOWN. ISSUED FOR "TENDER R1" 09/11/24 S.L.M. DATE (MM/DD/YY)

REVISION



J.H. COHOON **ENGINEERING** LIMITED CONSULTING ENGINEERS

440 HARDY ROAD , UNIT #1 , BRANTFORD - ONTARIO , N3T 5L8 TEL. (519) 753-2656 FAX. (519) 753-4263 www.cohooneng.com

PROPOSED WASHROOM **FACILITIES** DENNISON PARK TOWN OF CALEDON

FABRIK ARCHITECTS

SITE DEVELOPMENT PLAN

ESIGN:	R.W.P.	SCALE: 1:200
RAWN:	K.P.B.	JOB No:
HECKED:	R.W.P.	16185
HEET:	1 of 1	DWG. No:
ATE:	JULY 4/23	16185-1