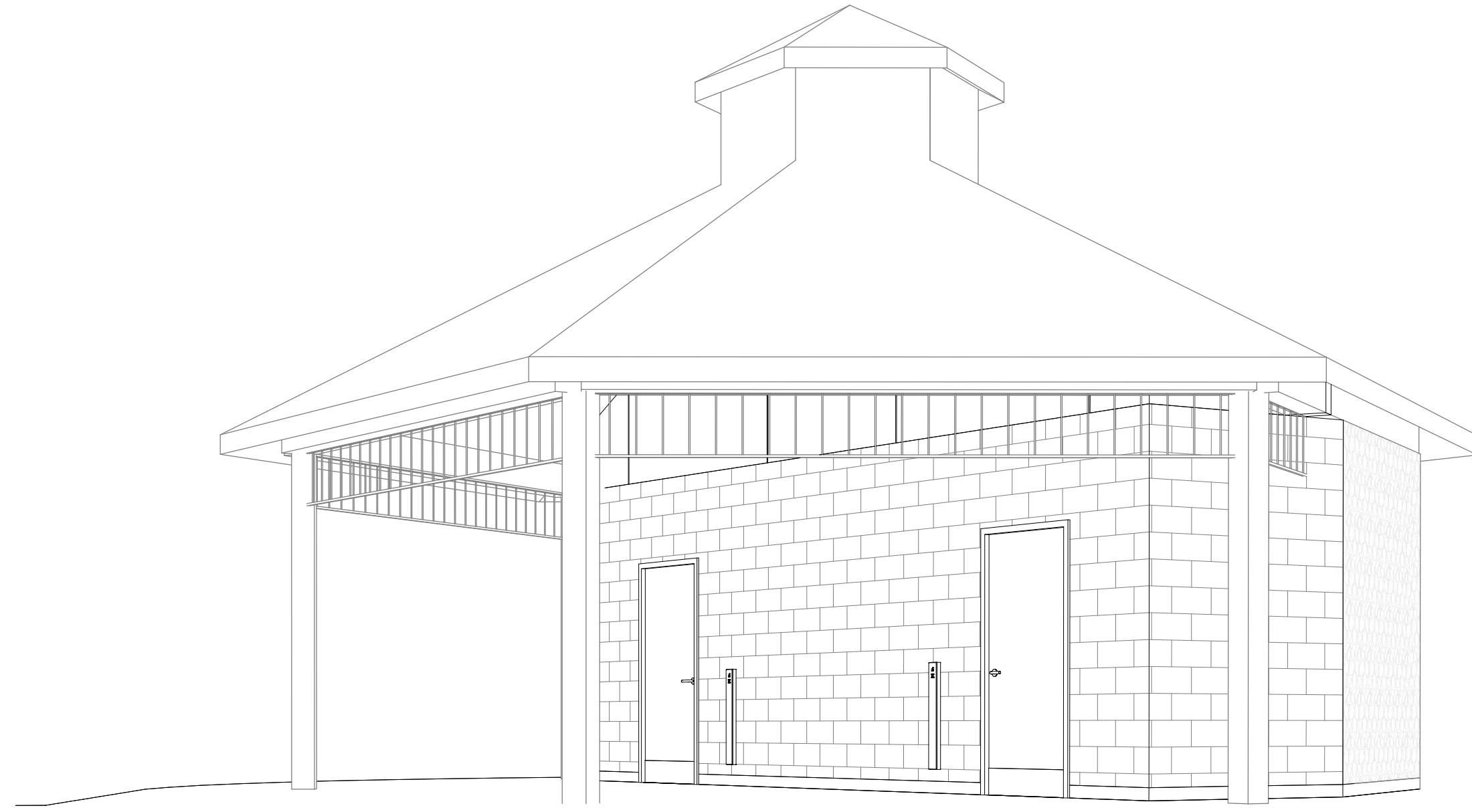


# DENNISON PARK WASHROOMS

70 LEARMONT AVENUE, CALEDON ON L7C 3P2



## LIST OF DRAWINGS:

### ARCHITECTURAL

- A-001 COVER SHEET
- A-002 PROJECT GENERAL NOTES AND CODE MATRIX
- A-100 SITE PLAN, HOARDING AND DEMOLITION PLANS
- A-101 FLOOR PLAN, CEILING PLAN, AND ROOF PLAN
- A-102 FINISHES PLAN AND NOTES
- A-200 EXTERIOR ELEVATIONS
- A-300 BUILDING SECTIONS
- A-301 WALL SECTIONS
- A-400 PLAN & SECTION DETAILS
- A-500 INTERIOR ELEVATIONS

### ELECTRICAL AND MECHANICAL

- E1 ELECTRICAL LEGEND & SPECIFICATION
- E2 ELECTRICAL PLAN
- M1 MECHANICAL LEGEND & SPECIFICATION
- M2 PLUMBING PLAN
- M3 HVAC PLAN

### STRUCTURAL

- S0.0 GENERAL NOTES
- S1.0 FOUNDATION PLAN, FRAMING PLANS & SECTIONS

### CIVIL

- 16185-1 SITE DEVELOPMENT PLAN

## CLIENT:

TOWN OF CALEDON  
6311 OLD CHURCH ROAD  
CALEDON ON, L7J 1J6

## CONSULTANTS:

### ARCHITECTURAL

FABRIK ARCHITECTS  
58 Grand Avenue South, Unit 201  
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E. info@fabrikarchitects.ca  
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ROOT3 ENGINEERING  
1920 Yonge St, Suite 200  
Toronto, ON M4S 3E2  
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E. info@root3.ca

### STRUCTURAL

WITZELDYCE  
826 King St. N., Unit 20  
Waterloo ON< N2J 4G8  
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E. bdyce@witzeldyce.com  
www.witzeldyce.com

### CIVIL

J H COHOON ENGINEERING  
LIMITED  
440 Hardy Road, Unit 1  
Brantford ON, N3T 5L8  
T. 519-753-2656

ISSUED FOR TENDER R1

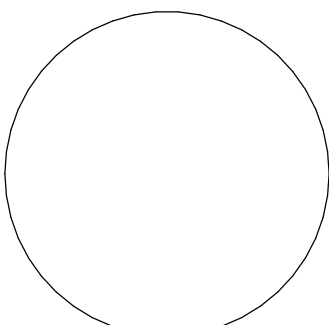
2024.09.10

Inspired design - for everyone.

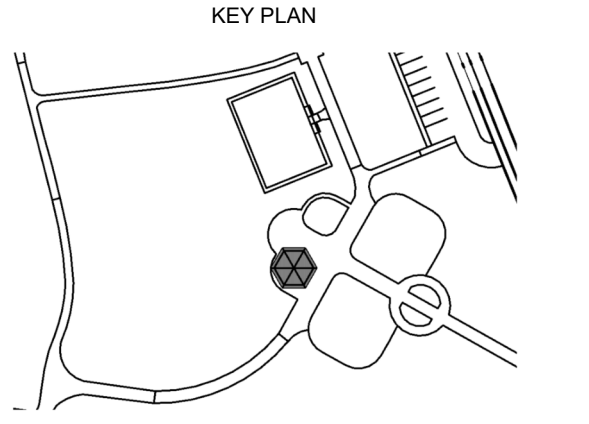
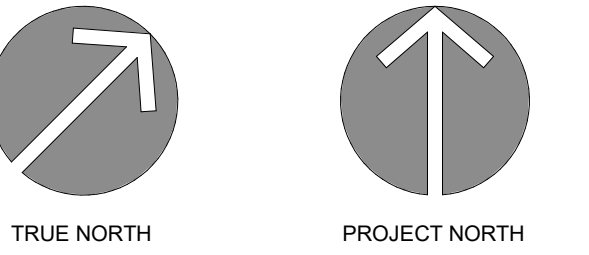
PROJECT NAME <b>DENNISON PARK WASHROOMS</b>	
CLIENT <b>TOWN OF CALEDON</b>	
ARCHITECT www.fabrikarchitects.ca 58 Grand Avenue South, Unit 201, Cambridge ON, N1S 5C3 T. 519-743-0608   info@fabrikarchitects.ca	
<b>fabrik</b> ARCHITECTS	
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SHEET TITLE <b>COVER SHEET</b>	
PROJECT No.	22023
SHEET SIZE	22"x34"
DATE ISSUED	2024.09.10
	SHEET No.
DATE DRAWN 2024-09-10 11:34:54 AM	<b>A-001</b>

**GENERAL PROJECT NOTES**

- THE FOLLOWING GENERAL NOTES SHALL APPLY TO ALL DRAWINGS AND GOVERN UNLESS OTHERWISE NOTED OR SPECIFIED.
- ANY DISAGREEMENTS, CONFLICTS AND DISCREPANCIES BETWEEN CONSULTANT'S DOCUMENTS SHALL BE REPORTED TO FABRIK ARCHITECTS INC FOR CLARIFICATION AND INTERPRETATION PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS ON SITE AND ON DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. FAILURE TO DO SO WILL BE AT THE CONTRACTOR'S EXPENSE.
- REQUEST ANY ADDITIONAL INFORMATION REQUIRED TO PROPERLY COMPLETE THE WORK. ALL REQUESTS FOR INFORMATION SHALL BE IN WRITING AND FORWARDED TO THE ARCHITECT.
- THE WORK DELINEATED IN THESE DRAWINGS SHALL CONFORM TO CODES, STANDARDS AND REGULATIONS THAT HAVE JURISDICTION IN THE PROVINCE OF ONTARIO AND CITY OF CAMBRIDGE.
- THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL COMPLY WITH THE APPROPRIATE MUNICIPAL AND REGULATORY AGENCIES, SHALL BE RESPONSIBLE FOR FILING FOR AND SECURING NECESSARY PERMITS AND APPROVALS FOR ALL TRADES, AND SHALL COMPLY WITH THE INSTRUCTIONS OF THE CONSTRUCTION DOCUMENTS.
- SUBMIT ALL NECESSARY SHOP DRAWINGS PRIOR TO FABRICATION FOR APPROVAL BY ARCHITECT AND ENGINEERS. NO INFORMATION OR DETAILS ON THESE SHEETS MAY BE USED ON OTHER PROJECTS WITHOUT THE PERMISSION OF ARCHITECT.
- ALL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ARCHITECT PRIOR TO ORDER PLACEMENT.
- IN CASE OF AMBIGUITIES, DISCREPANCIES, OR IRREGULARITIES IN THE CONSTRUCTION DOCUMENTS, MANUFACTURER'S INSTRUCTIONS, SITE CONDITIONS, OR APPLICABLE CODES AND STANDARDS; REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING. THE COST OF WORK DONE AS A RESULT OF PROCEEDING WITHOUT OBTAINING CLARIFICATION WILL BE BORNE SOLELY BY THE CONTRACTOR.
- DO NOT SCALE OFF OF DRAWINGS. CONTACT ARCHITECT FOR ADDITIONAL INFORMATION IF REQUIRED.
- THE CONTRACTOR SHALL SUPPLY AND MAINTAIN A COPY OF THE LATEST SET OF CONSTRUCTION DRAWINGS AT THE JOB SITE AT ALL TIMES.
- UNLESS OTHERWISE SHOWN OR NOTED, TYPICAL DETAILS SHALL BE USED WHERE APPLICABLE.
- SAFETY MEASURES: THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF THE PERSONS AND PROPERTY AND FOR INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. THE ARCHITECT'S OR ENGINEER'S SITE REVIEW IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- ALL WORK IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE TERM "CONTRACTOR" AND "G.C." REFER TO THE OWNER'S GENERAL CONTRACTOR. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DETERMINE DIVISION OF WORK AMONG SUB-CONTRACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS, ADDENDUMS, RFI RESPONSES, CHANGE ORDER REQUESTS, ETC. TO ALL TRADES UNDER HIS/HER JURISDICTION.
- THE OWNER RESERVES THE RIGHT TO MAKE CHANGES IN THE DRAWINGS AND SPECIFICATIONS AS THE WORK PROGRESSES. CHANGE ORDERS, DRAWINGS, SPECIFICATIONS, OR INSTRUCTIONS COVERING USCH CHANGES WILL BE ISSUED TO THE CONTRACTOR WHOSE RESPONSIBILITY WILL BE TO DISTRIBUTE TO TRADES FOR PRICING. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL TRADES WITH WORK RELATED TO A CHANGE PROVIDE PRICING PRIOR TO SENDING TOTAL COST TO OWNER AND ARCHITECT FOR REVIEW AND APPROVAL.
- ALL CONSTRUCTION LABORERS PERFORMING UNDER THIS WORK SHALL BE SKILLED WORKERS WITHIN THEIR RESPECTIVE TRADES.
- REGARDING CONTRACTOR'S USE OF PREMISES. TIME RESTRICTIONS FOR PERFORMING WORK ARE TO BE VERIFIED WITH THE OWNER AND ALL UTILITY OUTAGES AND SHUTDOWNS SHALL BE COORDINATED WITH THE OWNER.
- COMMENCEMENT OF WORK IMPLIES ACCEPTANCE OF THE EXISTING CONDITIONS AND NO EXTRA CLAIMS BASED ON THESE CONDITIONS WILL BE PERMITTED.
- THE CONTRACTOR IS RESPONSIBLE TO CLEAN UP AND REMOVE FROM THE PREMISES ALL WASTE MATERIALS, RUBBISH, WRAPPINGS, AND SALVAGES AS GENERATED BY THE CONSTRUCTION, DEMOLITION AND/OR DELIVERY AND INSTALLATION OF ANY PRODUCTS, MATERIALS, OR EQUIPMENT WHICH IS PART OF THEIR CONTRACT ON A REGULAR BASIS THROUGHOUT THE COURSE OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING PROFESSIONAL CLEANERS TO CLEAN THE SPACE PRIOR TO SUBSTANTIAL COMPLETION REVIEW UNLESS OTHERWISE NOTED.
- ALL MATERIALS AND EQUIPMENT SPECIFIED SHALL BE SUPPLIED, INSTALLED, CONNECTED, REECTED, CLEANED, AND CONDITIONED AS DIRECTED BY THE SUPPLIER / MANUFACTURER, IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARD PRACTICE AND IN COMPLIANCE WITH PRODUCT WARRANTY.
- CONTRACTOR SHALL REVIEW DSS REPORT SUPPLIED BY CLIENT AND PROVIDE ABATEMENT SERVICES AS INDICATED IN DRAWINGS AND SPECIFICATIONS AS REQUIRED AND IN CONFORMANCE WITH ALL APPLICABLE CODES AND STANDARDS.

<b>Name of Practice:</b> Fabrik Architects Inc. 135 George Street N., Suite 101 Cambridge Ontario <b>Name of Project:</b>		
<b>Location:</b>		
<b>Date:</b>		
<b>Ontario's Building Code Data Matrix</b> <b>Part 11 - Renovation of Existing Buildings</b>		<b>Building Code Reference</b>
11.00	Building Code Version: O.Reg. 332/12 Last Amendment : 563/17	
11.01	Project Type: <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input checked="" type="checkbox"/> Addition and Renovation <input type="checkbox"/> Change of Use Description:	[A]1.1.2.
11.02	Major Occupancy Classification: Occupation: Use GROUP A, DIV 3	3.1.2.1.(1)
11.03	Superimposed Major Occupancies: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A Description:	3.2.2.7.
11.04	Building Area (m²): Existing 18.2 m² New 15.7 m² Total 33.9 m²	[A]1.4.1.2.
11.05	Building Height: 1 Storeys Above Grade 7.03 (m) Above Grade Storeys Below Grade	[A]1.4.1.2. & 3.2.1.1.
11.06	Number of Streets/Firefighter access: 1 Street(s)	3.2.2.10. & 3.2.5.
11.07	Building Size: <input checked="" type="checkbox"/> Small <input type="checkbox"/> Medium <input type="checkbox"/> Large <input type="checkbox"/> ≥ Large	T.11.2.1.1.B-N.
11.08	Existing Building Classification: Construction in Major Occupancy: <input type="checkbox"/> Yes <input type="checkbox"/> N/A (no change of major occupancy) Construction Index: _____ Hazard Index: _____ Importance Category: <input type="checkbox"/> Low <input type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Post-Disaster	11.2.1.1. T.11.2.1.1A T.11.2.1.1B to N 4.2.1.(3) & 5.2.2.1.(2)
11.09	Renovation Type: <input type="checkbox"/> Basic Renovation <input type="checkbox"/> Extensive Renovation	11.3.3.1. & 11.3.3.2.
11.10	Occupant Load: Floor Level / Area Occupancy Based On Occupancy Load (Persons) LEVEL 1	3.1.17.
11.11	Plumbing Fixture Requirements: Ratio : Male/Female = 50 : 50, except as noted otherwise Floor Level / Area Occupant Load OBC Reference Fixtures Required Fixtures Provided LEVEL 1	9.31. & 3.7.4.
11.12	Barrier-free Design: <input checked="" type="checkbox"/> YES Explanation: <input type="checkbox"/> NO	11.3.3.2.(2)
11.13	Reduction in Performance level: Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By Increase In Occupant Load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By Change of Major Occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage System: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Extension of combustible Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.1. 11.4.2.2. 11.4.2.3. 11.4.2.4. 11.4.2.5. 11.4.2.6.
11.14	Compensating Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By Increase In Occupant Load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By Change of Major Occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage System: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Extension of combustible Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.3.1. 11.4.3.2. 11.4.3.3. 11.4.3.4. 11.4.3.5. 11.4.3.6. 11.4.3.7.
11.15	Compliance Alternative Proposed: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (list numbers and describe) (list numbers and describe) (list numbers and describe)	11.5.1.
11.16	Notes:	11.5.1.

1 All references are to Division B of the OBC unless preceded by [A] for Division A and [C] for Division C.



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4	PERMIT R1
3	TENDER & PERMIT R1
2	TENDER & PERMIT
1	CLIENT REVIEW
DATE	ISSUED

PROJECT NAME  
**DENNISON PARK WASHROOMS**  
 CLIENT  
**TOWN OF CALEDON**  
 ARCHITECT  
 www.fabrikarchitects.ca  
 58 Grand Avenue South, Unit 201, Cambridge ON, N1S 5C3  
 T. 519-743-0608 | info@fabrikarchitects.ca




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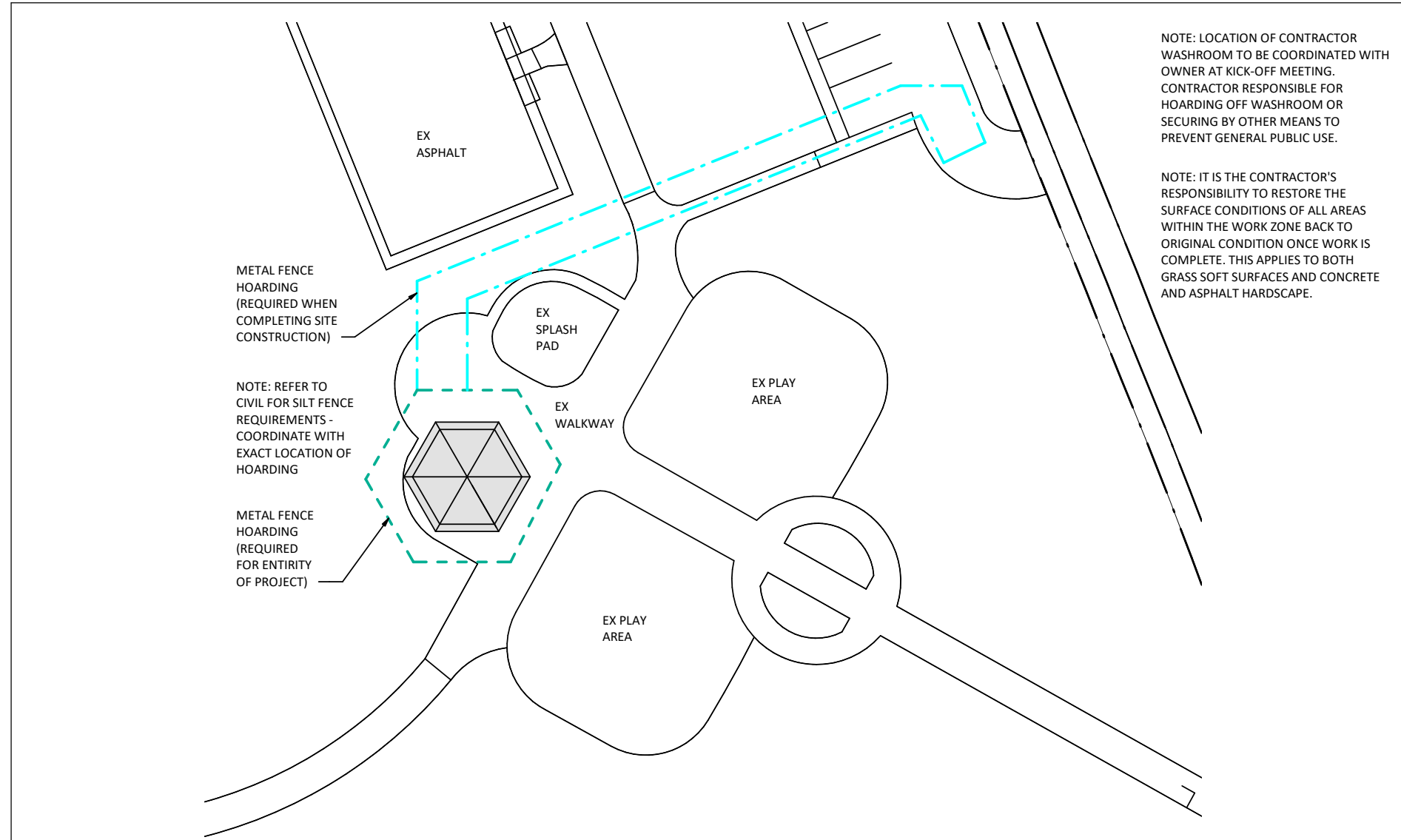
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SHEET TITLE  
**PROJECT GENERAL NOTES AND CODE MATRIX**

PROJECT No.	22023	SCALE	12" = 1'-0"
DRAWN	Author	CHECKED	Approver



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### TEMPORARY CONSTRUCTION FENCING

1. WORK UNDER THIS PROVISIONAL ITEM SHALL INCLUDE THE SUPPLY, INSTALLATION, AND MAINTENANCE OF 1.2M HIGH TEMPORARY ORANGE PLASTIC FENCING AND "T"-BARS FOR DELINEATION OF PEDESTRIAN WALKWAY AREAS FROM AREAS OF ACTIVE CONSTRUCTION, TO SEPARATE CONTRACTOR WORK AREAS. NEW OR SALVAGED PLASTIC FENCE MATERIAL MAY BE USED FOR THE TEMPORARY WORKING FENCE PROVIDED IT IS FREE OF RIPS, TEARS, HOLES OR MISSING SEGMENTS. IF SALVAGED MATERIAL IS USED, IT SHALL BE IN REASONABLE CONDITION PRIOR TO ERECTION AND ACCEPTABLE TO THE CONSULTANT.
2. TEMPORARY CONSTRUCTION FENCING SHALL BE PLACED IN A VERTICAL ORIENTATION WITH A MAXIMUM SPACING OF 4M BETWEEN "T"-BARS AND INSTALLED WITH THE MESH MATERIAL FACING THE PUBLIC SIDE (NON-WORK AREA) AND COMPLETE 2X4 WOODEN BRACING TO ENSURE THAT THE FENCING MATERIALS REMAIN IN A VERTICAL CONDITION. FENCING SHALL BE INSTALLED SO AS TO DIRECT PEDESTRIANS AND OTHERS AWAY FROM OPEN EXCAVATIONS AND/OR TOWARD CROSSINGS OF THE CONSTRUCTION SITE.
3. ALL TEMPORARY FENCING PLACED ON THE PROJECT WILL BE THE PROPERTY OF THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION.

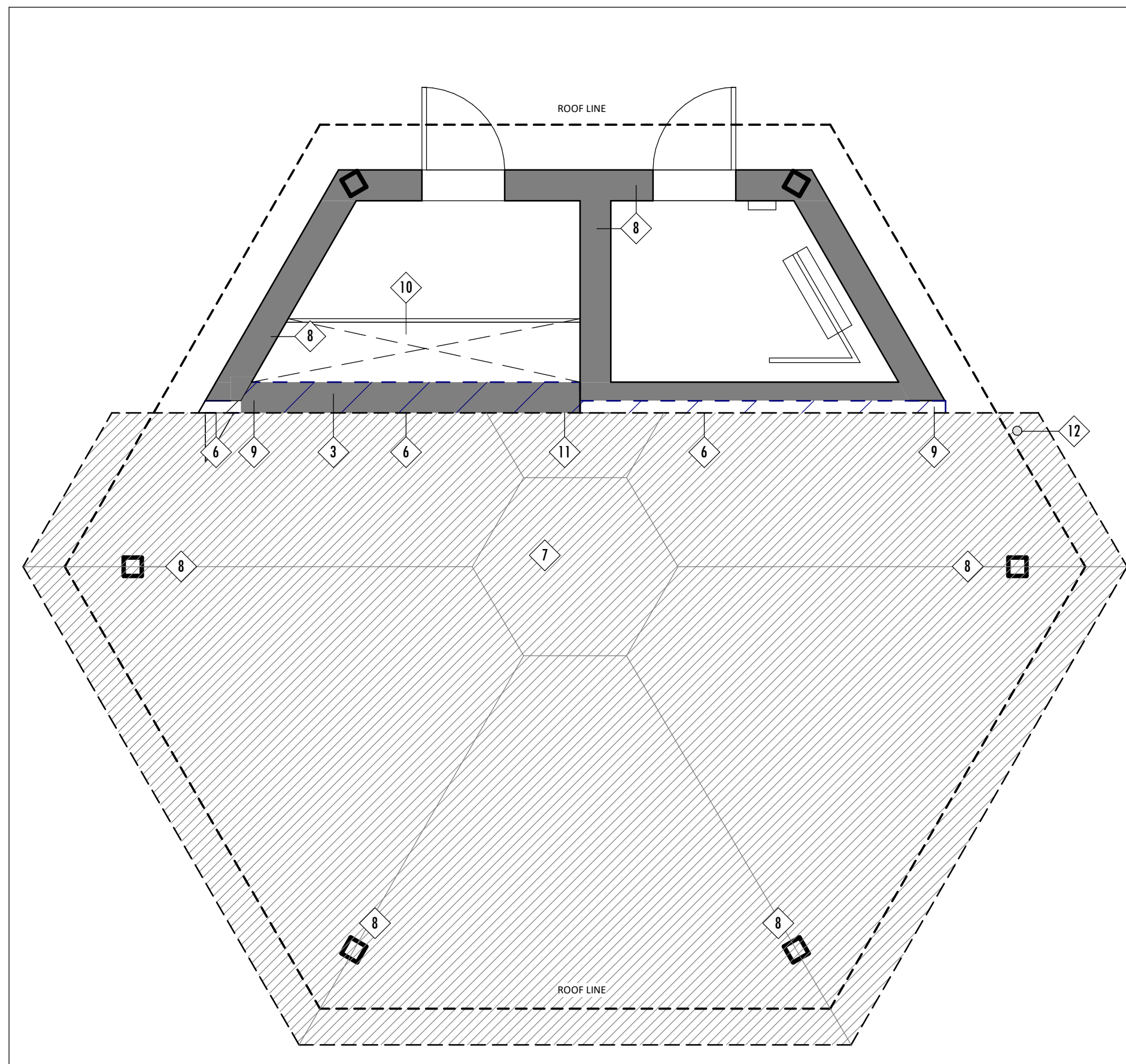
### GENERAL DEMOLITION NOTES

1. REPORT ANY/ALL DISCREPANCIES OR CONFLICTS TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
2. CARRY OUT ALL DEMOLITION, REMOVAL AND DISPOSAL IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND PROVINCIAL REGULATIONS.
3. EXECUTE DEMOLITION IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR ADJACENT STRUCTURES AND FINISHES TO REMAIN.
4. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO GUARD AGAINST MOVEMENT OR SETTLEMENT OF REMAINING STRUCTURE, INCLUDING ALL NECESSARY BRACING OR SHORING THAT IS REQUIRED.
5. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS, SPECIFICATIONS, AND / OR DEMOLITION NOTES FOR DETAILS OF SCOPE RELATED TO MECHANICAL ELECTRICAL DEMOLITIONS.
6. LOCATE AND DISCONNECT, CAP AND PLUG ALL GAS, WATER, SERVER, HYDRO, TELEPHONE AND OTHER SERVICES AS REQUIRED. COORDINATE WITH OWNER FOR SERVICES TO REMAIN LIVE DURING CONSTRUCTION. PREARRANGE WITH CONSTRUCTION PROJECT TEAM (CONSULTANT AND OWNER) PRIOR TO ANY SERVICE SHUTDOWNS.
7. ALL ITEMS NOT IDENTIFIED IN DRAWINGS, SPECIFICATIONS OR TAGGED BY OWNER TO REMAIN ARE TO BE REMOVED AND DISPOSED OF.
8. WHEN PERFORMING CONCRETE SLAB REMOVALS AND EXCAVATIONS FOR MECHANICAL / ELECTRICAL SERVICE CONNECTIONS, CONTRACTOR SHALL TAKE CARE NOT TO UNDERMINE EXISTING BLOCK WALLS AND CONCRETE SLABS. PROVIDE TEMPORARY SHORING OR LEAN CONCRETE FILL AS REQUIRED.

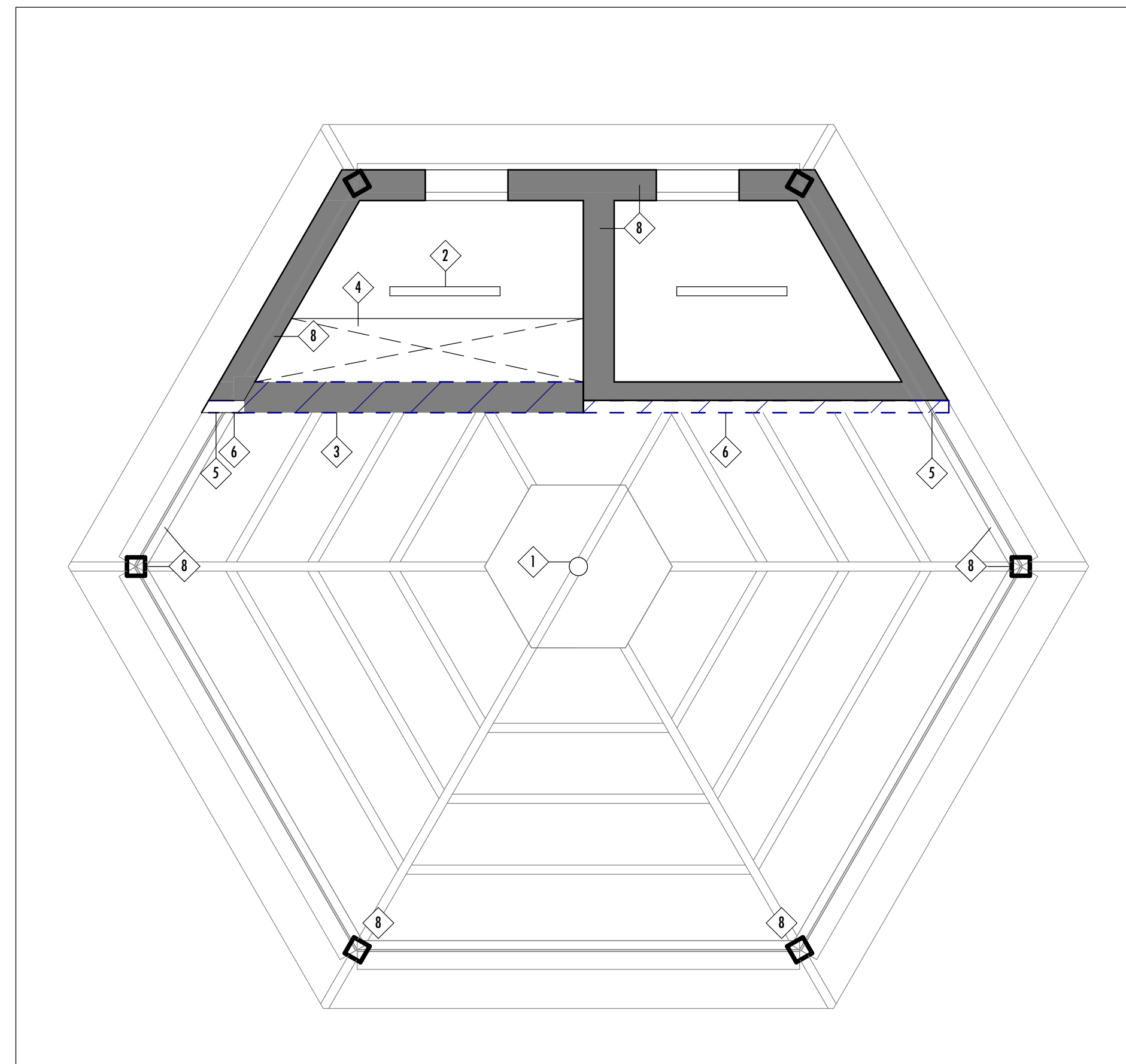
**1** A-100 SITE PLAN AND HOARDING PLAN  
SCALE: 1 : 500

### DEMOLITION NOTES

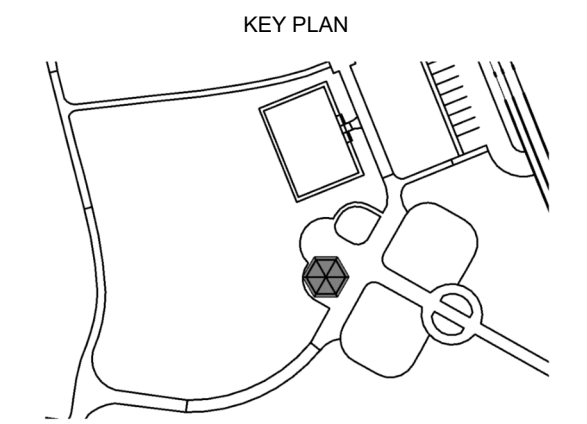
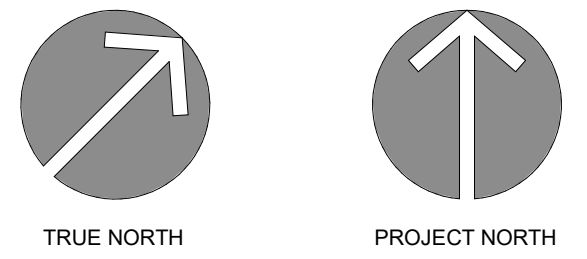
- |   |  |  |
|---|--|--|
| 1 REMOVE EXISTING LIGHTS  | 5 CUT END OF EXISTING DECORATIVE UPPER FASCIA AS REQUIRED TO END AT NEW WALLS. PROVIDE NEW CONTINUOUS VERTICAL AT END TO MATCH EXISTING CONDITIONS. REFER TO DRAWING 3 AND 4 ON SHEET A200.  | 8 PROTECT EXISTING STRUCTURE TO REMAIN (TYP.)  |
| 2 REMOVE EXISTING LIGHT - SALVAGE FOR REINSTALLATION - SEE REFLECTED CEILING PLAN | 6 REMOVE EXISTING STONE VENEER - SALVAGE - COORDINATE STORAGE AND / OR REMOVAL WITH OWNER. EXISTING MASONRY BACKUP TO REMAINING. CLEAN AND PREP FOR NEW SURFACE FINISH.  | 9 EXISTING CONCRETE STUB WALL. EXISTING TO REMAIN SHALL BE CLEANED AND COORDINATE WITH NEW WORK. CONCRETE STUB WALL SHALL BE REMOVED AT EXTERIOR CORNERS AND ALONG LENGTH OF REMOVED WALL AS REQUIRED FOR COMPLETION OF NEW WORK. COORDINATE IN THE FIELD. |
| 3 REMOVE PORTION OF EXISTING WALL AND FOUNDATION                                  | 7 REMOVE EXISTING CONCRETE SLAB ON GRADE AND SOIL AS REQUIRED TO COMPLETE NEW WORK SAFELY AND EFFICIENTLY. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF WASTE OFF SITE IN ACCORDANCE WITH PROVINCIAL AND AHJ STANDARDS. SLAB CUTS SHALL BE STRAIGHT AND SHALL BE LOCATED SYMMETRICALLY FOR CLEAN VISUAL APPEARANCE. COORDINATE WITH ARCHITECT. | 10 REMOVE PORTION OF EXISTING CONCRETE FLOOR AS REQUIRED FOR NEW WALL AND FOUNDATION WORK.   |
| 4 REMOVE PORTION OF EXISTING CEILING  |  | 11 REMOVE EXISTING SIGNAGE. TEMPORARILY INSTALL OUTSIDE OF CONSTRUCTION AREA ADJACENT TO SPLASH PAD IN PUBLICLY VISIBLE LOCATION. REINSTALL ON BUILDING CONSTRUCTION IS COMPLETE. REFER TO DRAWING 1/A200.   |
|   |  | 12 EXISTING TOWN OF CALEDON BENCHMARK. PROTECT DURING PROJECT. REPAIR IF DAMAGED DURING CONSTRUCTION.  |



**2** A-100 DEMOLITION FLOOR PLAN  
SCALE: 1 : 50



**3** A-100 DEMOLITION REFLECTED CEILING PLAN  
SCALE: 1 : 50



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5	TENDER R1
4	PERMIT R1
3	TENDER & PERMIT R1
2	TENDER & PERMIT
1	CLIENT REVIEW
DATE	ISSUED

PROJECT NAME  
**DENNISON PARK WASHROOMS**

CLIENT  
**TOWN OF CALEDON**

ARCHITECT  
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SHEET TITLE  
**SITE PLAN, HOARDING AND DEMOLITION PLANS**

PROJECT No. 22023 SCALE As indicated

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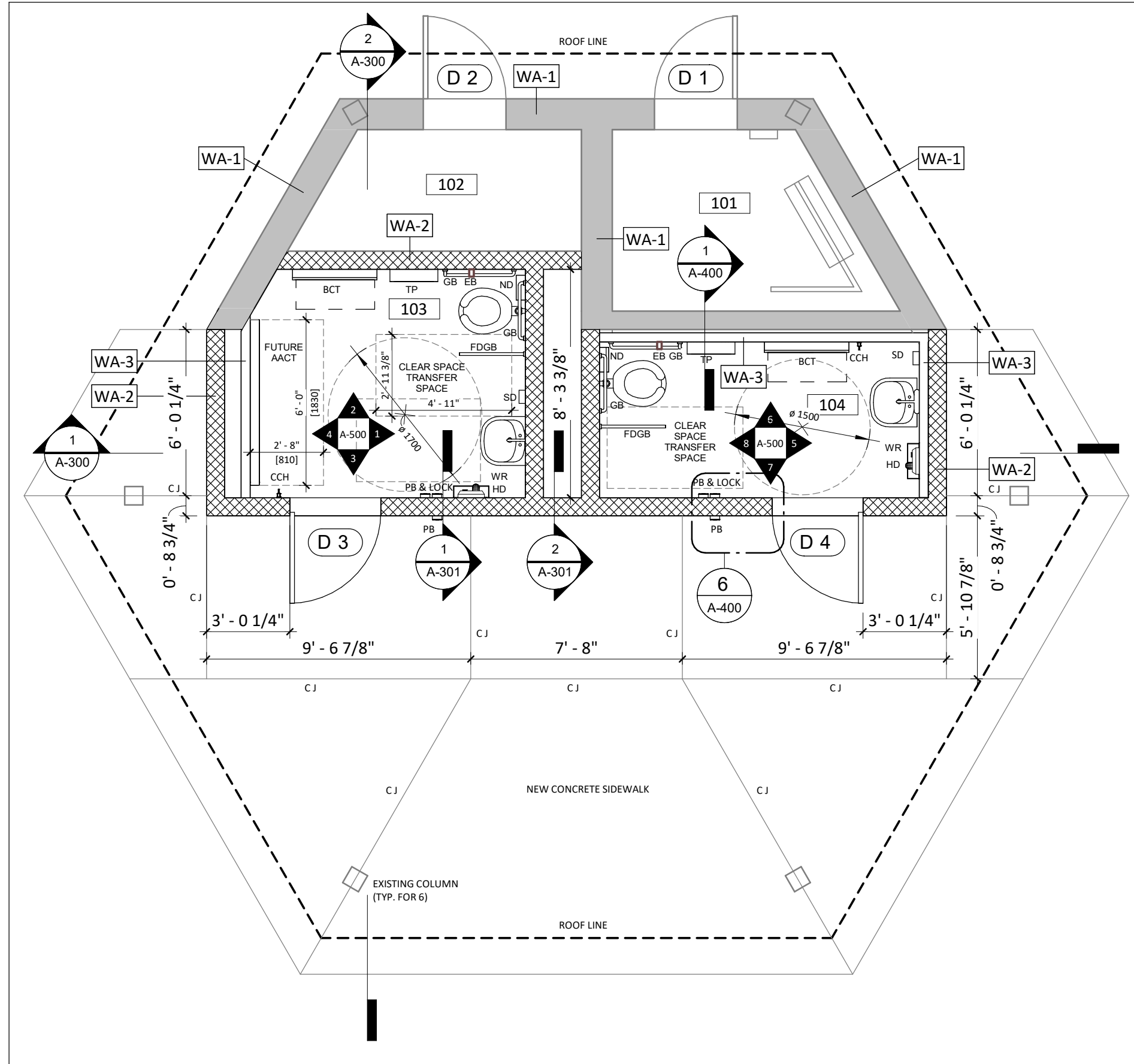
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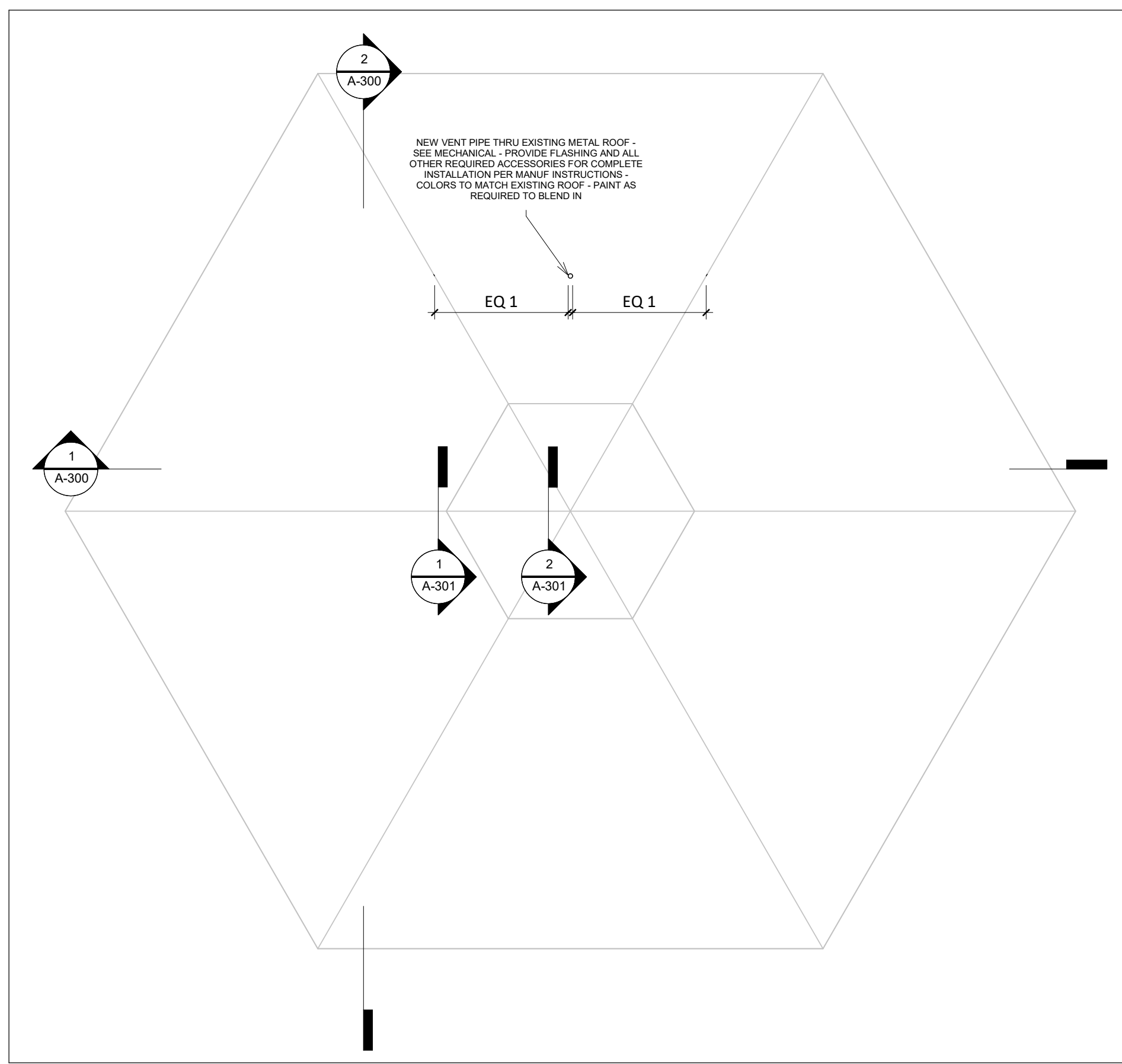
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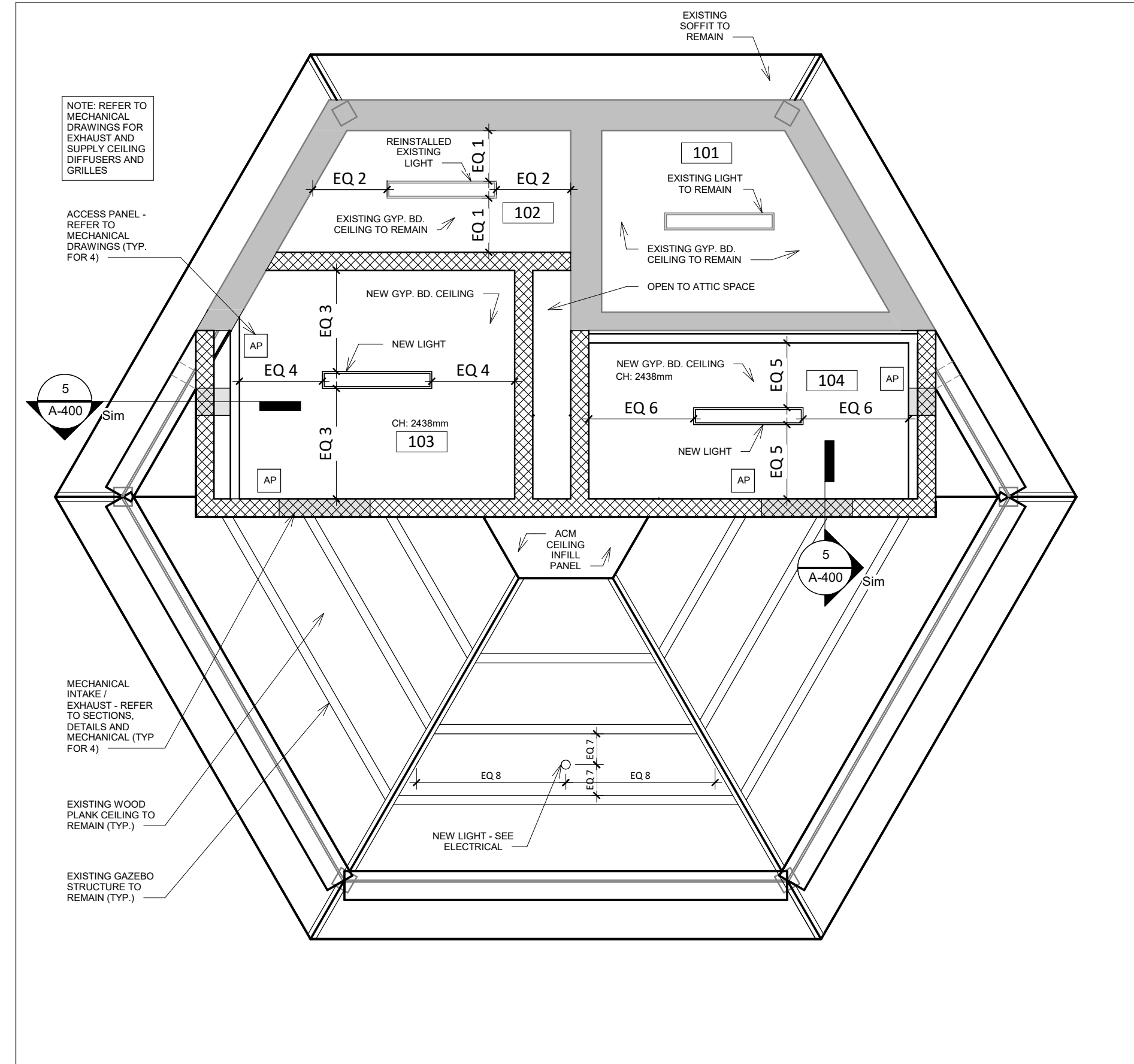




**1 A-101 CONSTRUCTION FLOOR PLAN**  
SCALE: 1 : 50



**3 A-101 ROOF PLAN**  
SCALE: 1 : 50

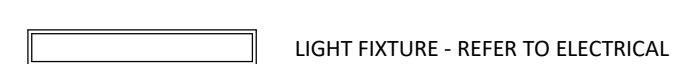


**2 A-101 REFLECTED CEILING PLAN**  
SCALE: 1 : 50

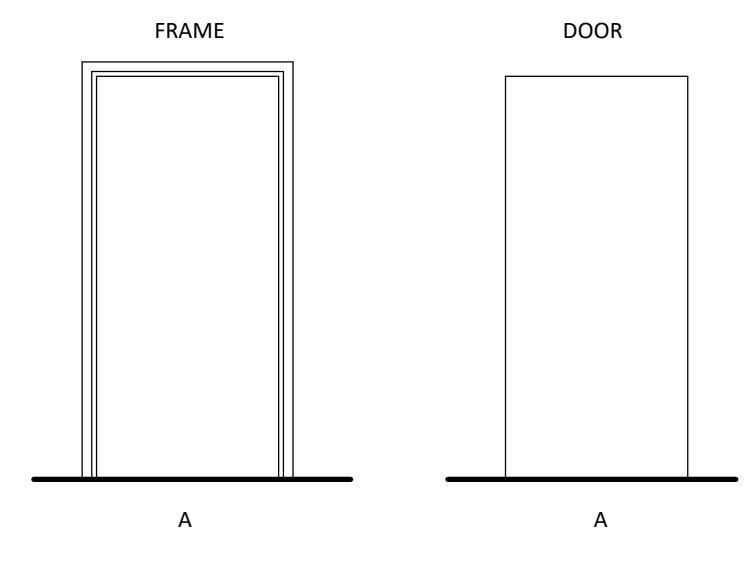
**GENERAL REFLECTED CEILING NOTES**

- REPORT ANY/ALL DISCREPANCIES OR CONFLICTS TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
- GENERAL CONTRACTOR SHALL VERIFY ON SITE, LIGHTING FIXTURE HEIGHTS ON ELEVATIONS AND LIGHTING PLAN WITH CLIENT REPRESENTATIVE/PROJECT MANAGER PRIOR TO INSTALLATION ON SITE.
- PROVIDE NECESSARY BLOCKING AND REINFORCING WITHIN CEILING WHERE LOADING IS ANTICIPATED. ALL WOOD PANELS AND BLOCKING TO BE FIRE RETARDANT TREATED MATERIALS AS PER CODE REQUIREMENTS.
- ALL FIXTURES INSTALLED MUST BE PER JOB SPECIFICATIONS. ANY SUBSTITUTIONS WHICH MAY BE REQUIRED DUE TO EXTENDED DELIVER DATES ETC., MUST BE SUBMITTED TO ARCHITECT FOR WRITTEN APPROVAL PRIOR TO ORDER OR INSTALLING THE SUBSTITUTIVE FIXTURES.
- ALL NEW LIGHT FIXTURES, INCLUDING SURFACE MOUNTED FIXTURES EXCEEDING 20LBS SHALL BE INDEPENDENTLY CHAINED & SECURED INTO STRUCTURE ABOVE FOR SEISMIC CONSIDERATIONS.
- PROVIDE ADDITIONAL SUPPORTS, HANGERS, ETC., AS REQUIRED TO SUPPORT FIXTURES MOUNTED UNDER DUCTWORK. THE FIXTURE SUPPORT SHALL NOT BE ATTACHED TO EITHER THE DUCTWORK OR THE DUCTWORK SUPPORTS.
- ALL NEW LIGHT FIXTURES TO BE SUPPLIED WITH ADDITIONAL LAMPS, BALLAST AS REQUIRED, HOUSINGS, TRIMS, LENSES, AND ALL FITTINGS REQUIRED TO MAKE A COMPLETE JOB.
- ALL FIXTURES TO BE CONFIRMED BY OWNER PRIOR TO INSTALLATION.
- REFER TO MECHANICAL / ELECTRICAL DRAWINGS FOR COORDINATION OF FIRE PROTECTION / ALARM COMPONENTS, LIGHT FIXTURES, EXHAUST FANS, MECHANICAL DUCTING ETC.
- FRAMER & DRYWALL CONTRACTOR TO COORDINATE SIZES AND LOCATIONS OF ALL BULKHEADS. BULKHEADS ARE REQUIRED AT ALL SERVICES (DUCTWORK, PIPING, CONDUITS, WIRES ETC.) AND AT KITCHEN UPPER CABINETS, REFER TO MECHANICAL AND ELECTRICAL PLANS FOR SERVICE LOCATIONS. COORDINATE CONSTRUCTION OF ALL BULKHEADS WITH THE NECESSARY MECHANICAL, ELECTRICAL AND MILLWORK CONTRACTORS.
- SERVICE PENETRATIONS THAT CROSS EXIT SPACES. IF THIS IS NECESSARY, CONSTRUCT FIRE-RATED BULKHEADS WITH THE APPROPRIATE 1hr FIRE RESISTANCE CONSTRUCTION.
- ALL FLAME SPREAD RATINGS, COMPLY WITH 9.10.7. OF THE OBC.

**RCP LEGEND**



**DOOR AND DOOR FRAME LEGEND**



**ABBREVIATION LEGEND**

- ACCESSORIES**
- MI MIRROR
  - SLV SHELF
  - CCH COLLAPSIBLE COAT HOOK
  - LB LOCK BUTTON
  - PB POWER BUTTON OPERATOR
  - EB EMERGENCY BUTTON
  - GB GRAB BAR
  - HD HAND DRYER
  - FDGB FOLD DOWN GRAB BAR
  - AACT ADJUSTABLE ADULT CHANGE TABLE
  - BCT BABY CHANGE TABLE
  - WR WASTE RECEPTACLE
  - BSD BIOMEDICAL SHARPS DISPOSAL
  - SD SOAP DISPENSER
  - TP TOILET PAPER (DISPENSER)
  - ND NAPKIN DISPOSAL
  - CT CHILDREN'S TOILET
  - AS AUTO SENSOR
- OTHER**
- HDPE HIGH DENSITY POLYETHYLENE
  - FD FLOOR DRAIN
  - CO CLEAN OUT
  - EXT EXISTING
  - NIC NOT IN CONTRACT
  - AFF ABOVE FINISHED FLOOR
  - MR MOISTURE RESISTANT
  - C J CONTROL JOINT

**WALL LEGEND**

- WA-1** EXISTING WALL
- WA-2** 196mm CMU BLOCK - 6 RIB SPLIT STYLE  
INTEGRAL COLOR AS SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD FULL RANGE  
SEE STRUCTURAL FOR REINFORCEMENT  
\* INTERIOR BLOCK WALLS MAY BE STANDARD BLOCK PROFILE AND COLOUR  
- REFER TO SPECIFICATION FOR PROVISIONAL PRICE ALTERNATE
- WA-3** 38mm x 89mm WOOD STUD  
15.9mm PLYWOOD SHEATHING - PRESSURE TREATED  
EXTEND TO UNDERSIDE OF NEW CEILING
- WA-4** 38mm x 89mm WOOD STUD  
R-14 BATT INSULATION SECURED IN FRAMING CAVITY  
15.9mm PLYWOOD SHEATHING - PRESSURE TREATED  
WEATHER RESISTIVE BARRIER  
ACM WALL PANEL CLADDING - REFER TO SPECIFICATIONS AND DETAILS - REFER TO SPECIFICATION FOR PROVISIONAL PRICE ALTERNATE

**ROOM LEGEND**

- 101** MECH ROOM
- 102** STORAGE
- 103** UNIVERSAL WASHROOM
- 104** BARRIER FREE WASHROOM

**GENERAL CONSTRUCTION NOTES**

- PERFORM ALL WORK IN ACCORDANCE WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE 2012. HEREIN REFERRED TO AS O.B.C. AS WELL AS LOCAL BY-LAWS AND HEALTH & SAFETY REGULATIONS.
- DO NOT SCALE DRAWINGS, SITE VERIFY ALL DIMENSIONS, ANY DISCREPANCIES TO BE CLARIFIED WITH THE ARCHITECT.
- ALL INTERIOR DIMENSIONS ARE TO FINISHED SURFACES, UNLESS OTHERWISE NOTED.
- LAYOUT ALL PARTITIONS AND DOORS (CHALK LINE). NOTIFY ARCHITECT AT ONCE SHOULD ANY PROBLEMS ARISE FROM THE SITE CONDITIONS OR OTHER CAUSES. OBTAIN ARCHITECT'S APPROVAL FOR ANY DEVIATIONS PRIOR TO CONTINUING WORK.
- CONTRACTOR TO MAKE GOOD ALL DAMAGED SURFACES RESULTING FROM THIS WORK AND MAKE GOOD SUCH DAMAGES IN PROJECT SPACE WHERE MECHANICAL, PLUMBING, POWER AND DATA PASS THROUGH.
- WHERE POWER AND COMMUNICATIONS OUTLETS HAVE BEEN REMOVED PATCH AND REPAIR WALL TO MATCH EXISTING. BLANK COVER PLATES WILL NOT BE ACCEPTED.
- REFER TO WALL FINISHES PLAN AND IDENTIFY ALL PREPARATION WORK REQUIRED. PATCH ANY HOLES, FILL CRACKS, REMOVE ANY BUMPS OR PROTRUSIONS AND SAND SMOOTH. SKIM COAT AS REQUIRED. PATCH AND MAKE GOOD ALL EXISTING WALLS PRIOR TO PAINTING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING CONTINUITY OF FIRE SEPARATION OF ALL WALLS AND FLOOR AND CEILING ASSEMBLY ABOVE AND BELOW.
- CONTRACTOR TO BE RESPONSIBLE FOR ALL CHASES, OPENINGS AND PATCHING AS MAY BE REQUIRED BY MECHANICAL, PLUMBING OR CABLING TRADES. REFER TO RCP, POWER AND DATA PLANS, AND REVIEW THE REQUIREMENTS WITH THESE TRADES.
- ALL ELECTRICAL MECHANICAL & EMERGENCY FIXTURE WORK TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES & REGULATIONS.
- GENERAL CONTRACTOR TO PROVIDE HVAC, AND ELECTRICAL SUB-TRADES, AS REQUIRED.

**DOOR NOTES**

- ALL HOLLOW METAL AND SOLID WOOD DOORS ARE TO BE INSTALLED WITH MINIMUM 3 HEAVY DUTY HINGES.
- ALL DOORS WITHIN A BARRIER-FREE PATH OF TRAVEL (PUBLIC SPACES, BUILDING CODE, SUITE DOORS AND ACCESSIBLE SUITES) SHALL HAVE LEVER-STYLE PASSAGE AND LOCK SETS AS PER OBC 3.8.3.3.(7).
- THE CONTRACTOR SHALL PROVIDE ENGINEERED SHOP DRAWINGS FOR ALL DOORS TO CERTIFY COMPLIANCE WITH THE ONTARIO BUILDING CODE.

**BARRIER FREE NOTES**

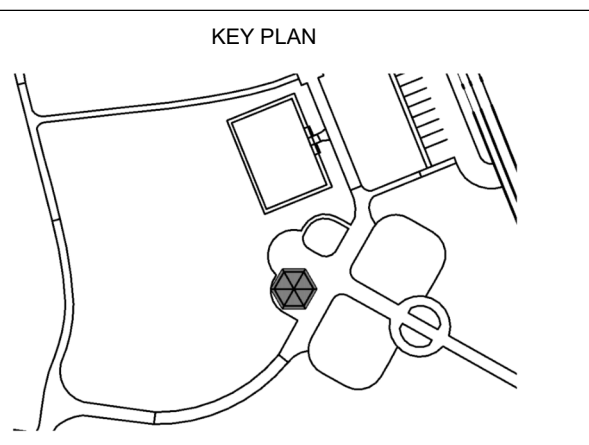
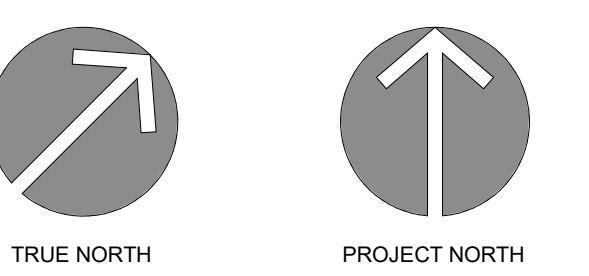
- EXTERIOR WALKWAYS SHALL HAVE A SLIP RESISTANT FINISH (e.g., HEAVY BROOM FINISH ON CONCRETE). EXTERIOR WALKS THAT ARE FLUSH WITH ADJACENT LEVELS SHALL HAVE A TEXTURED SURFACE TO DIFFERENTIATE THE WALKWAY FROM SURROUNDING AREAS. MAX. GRADE ON WALKWAYS SHALL BE NOT MORE THAN 1:20 (5% SLOPE).
- SIGNS INCORPORATING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE INSTALLED WHERE NECESSARY TO INDICATE LOCATION OF THE ENTRANCE, ACCESSIBILITY WASHROOM, PARKING AREA, MEANS OF EGRESS. SIGN IF MOUNTED SHALL BE LOCATED NOT LESS THAN 48 INCHES (1200MM) AND NOT MORE THAN 60 INCHES (1500MM) AFF. (AS PER OBC 3.8.3.1.(5))
- ALL BARRIER-FREE DOORS TO BE LOCATED 1'-0" (305mm) ON THE PUSH SIDE AND 2'-0" (610mm) ON THE LATCH SIDE FROM AN ADJACENT WALL.
- PROVIDE SOLID BLOCKING IN WALLS FOR FUTURE GRAB BARS AT ALL SHOWERS AND W.C. AS PER OBC 3.2.3.8.(1)(d) & 3.8.3.13.(1)(f).

**DOOR LEGEND**

- |                                       |                               |                                |
|---------------------------------------|-------------------------------|--------------------------------|
| <b>MATERIAL</b>                       | <b>GLASS</b>                  | <b>HANDLE TYPE</b>             |
| WD - Wood                             | TSG - Tempered Safety Glass   | LH - Lever                     |
| AL - Aluminum                         | TG - Tempered Glass           | LHL - Lever lock               |
| HM - Hollow Metal                     | FRG - Fire Rated Glass        | KH - Knob                      |
| GL - Glass                            | PHG - Pin Hole Glass          | KHL - Knob Lock                |
| MDF - MDF                             | CG - Clear Glass              | SPH - Short Pull               |
| FG - Fiber Glass                      | IG - Insulated Glass          | SPHL - Short Pull Lock         |
| FP - Fiber Plastic                    |                               | LPH - Long Pull                |
|                                       |                               | LPHL - Long Pull Lock          |
|                                       |                               | APH - Architectural Pull       |
| <b>CORE</b>                           | <b>FINISH</b>                 | APHL - Architectural Pull Lock |
| SC - Solid Core                       | PNT - Painted                 | PDH - Pocket Door Hardware     |
| HC - Honeycomb Core                   | ST - Stained                  | PDHL - Pocket Door Lock        |
| PSC - Polystyrene Core                | FF - Factory Finished         | GDH - Glass Door Hardware      |
| PUC - Polyurethane Core               | GV - Galvanized               | GDHL - Glass Door Lock         |
| SSC - Steel Stiffened Core            |                               |                                |
| MC - Mineral Core                     | <b>DOOR STOP</b>              |                                |
| PBC - Particleboard Core              | N/A - None                    |                                |
| SLWC - Structural Laminated Wood Core | COS - Concealed Overhead Stop |                                |
|                                       | WS - Wall Stop                |                                |
|                                       | F5 - Floor Stop               |                                |

**DOOR SCHEDULE**

Mark	From Room	To Room	Fire Rating	Ext/Int	DOOR											HARDWARE														Comments
					Width	Height	Thickness	Type	Material	Core	Finish	Glass	Type	Material	Finish	Glass	Handle Type	Deadbolt	Kickplate	Stop	Threshold	Sweep	Weatherstrip	Closer	Panic	ElectricStrike	PowerDoorOp	MagneticLock		
1	101	EXTERIOR	(none)	Exterior	3'-0"	6'-8"	0'-2"	A	(none)	(none)	(none)	(none)	A	(none)	(none)	(none)	LH	Yes	Yes	COS	Yes	Yes	Yes	Yes	No	Yes	Yes	Yes	Existing to remain - Repair Door and Frame	
2	102	EXTERIOR	(none)	Exterior	3'-0"	6'-8"	0'-2"	A	(none)	(none)	(none)	(none)	A	(none)	(none)	(none)	LH	Yes	Yes	COS	Yes	Yes	Yes	Yes	No	Yes	Yes	Yes	Existing to remain - Repair Door and Frame	
3	103	EXTERIOR	(none)	Exterior	3'-2"	7'-0"	0'-2"	A	HM	PSC	PNT	(none)	A	HM	PNT	(none)	LH	Yes	Yes	COS	Yes	Yes	Yes	Yes	No	Yes	Yes	Yes		
4	104	EXTERIOR	(none)	Exterior	3'-2"	7'-0"	0'-2"	A	HM	PSC	PNT	(none)	A	HM	PNT	(none)	LH	Yes	Yes	COS	Yes	Yes	Yes	Yes	No	Yes	Yes	Yes		



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5	2024.09.10	5 TENDER R1
4	2024.09.05	4 PERMIT_R1
3	2024.03.06	3 TENDER & PERMIT_R1
2	2023.07.28	2 TENDER & PERMIT
1	2023.05.17	1 CLIENT REVIEW
	DATE	ISSUED

PROJECT NAME  
**DENNISON PARK WASHROOMS**

CLIENT  
**TOWN OF CALEDON**

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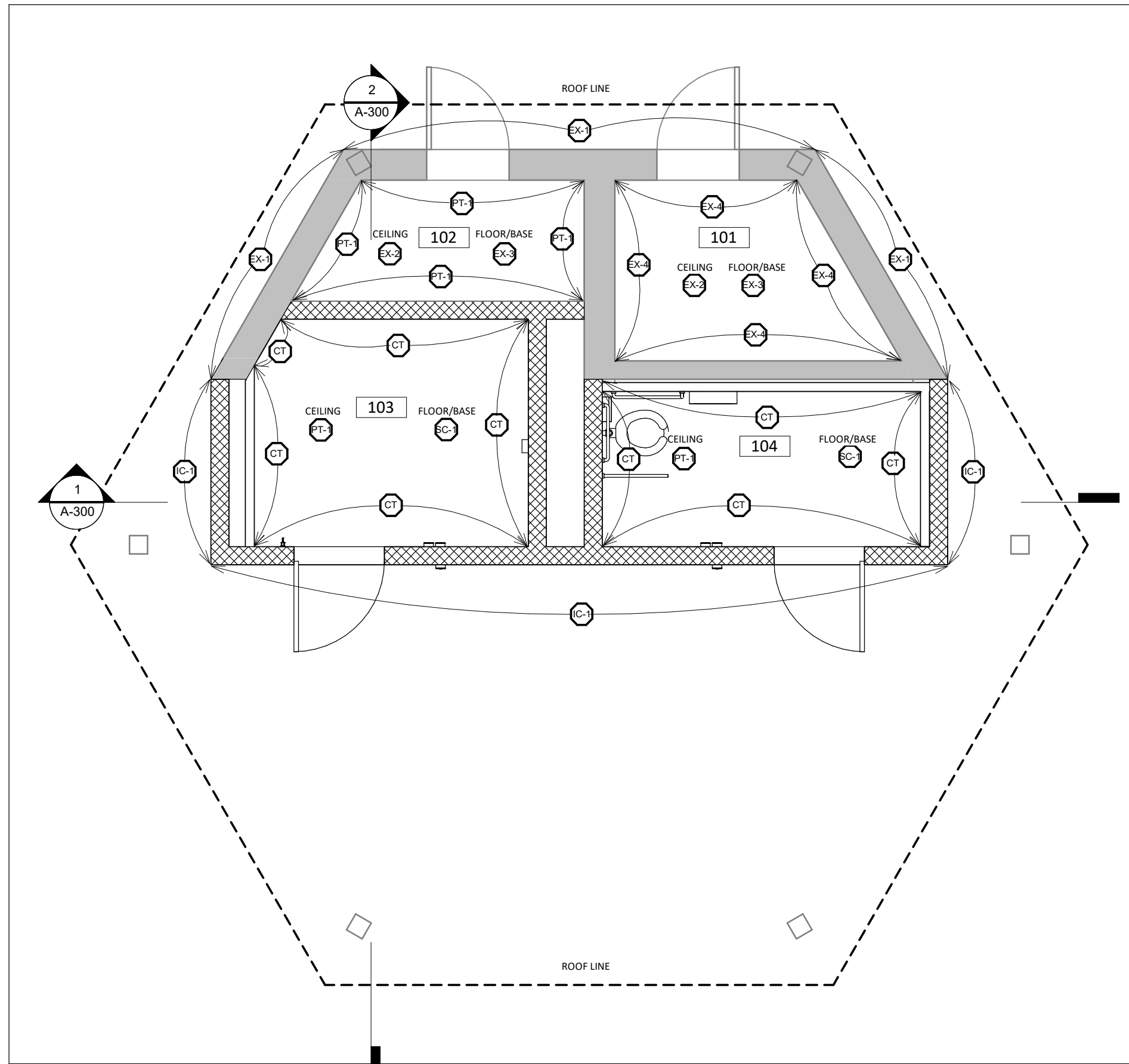


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SHEET TITLE  
FLOOR PLAN, CEILING PLAN, AND ROOF PLAN

PROJECT No.	22023	SCALE	As indicated
		DRAWN	LK
		CHECKED	EN
		SHEET No.	<b>A-101</b>
			2024-09-10 11:38:40 AM



**1** A-102 FINISHES PLAN  
SCALE: 1 : 50

**GENERAL FINISHING NOTES**

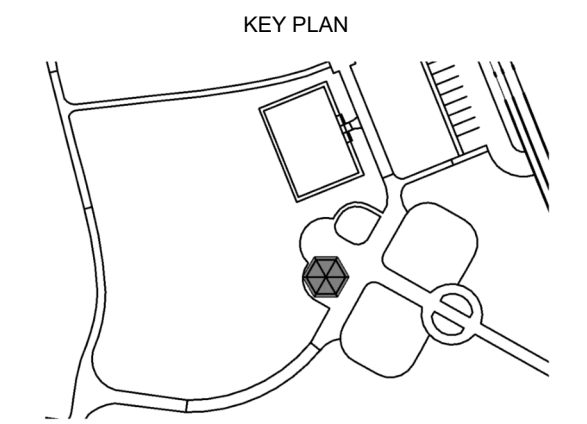
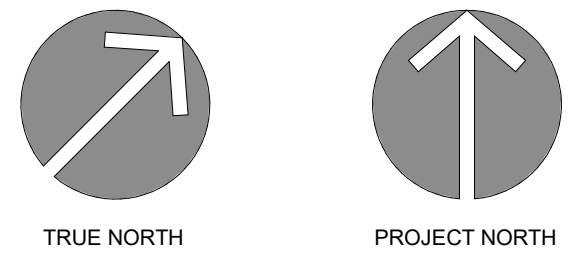
1. FIELD VERIFICATION IS REQUIRED FOR QUANTITIES OF ALL MATERIALS PRIOR TO ORDERING AND INSTALLING.
2. ALL MATERIALS LISTED TO BE AS SPECIFIED OR APPROVED ALTERNATIVES. ANY PROPOSED ALTERNATIVES TO BE SUBMITTED TO ARCHITECT FOR REVIEW OF COLOUR AND QUALITY PRIOR TO ORDERING MATERIAL.
3. PRIOR TO ORDERING, ALL FINISHES NEED TO BE CONFIRMED AND APPROVED BY CLIENT AND ARCHITECT. DO NOT ORDER WITHOUT WRITTEN CONFIRMATION; SUPPLY SAMPLES TO DESIGNER/PROJECT MANAGER FOR APPROVAL.
4. G.C. TO SUPPLY AND INSTALL ALL MATERIALS ABOVE AS LISTED AND INDICATED ON PLANS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
5. ALL MATERIALS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS AND INSTRUCTIONS FOR THE INTENDED USAGE.
6. PREPARE A PACK OF SIGNIFICANT SIZE LEFTOVERS WHICH WILL REMAIN ON SITE FOR FUTURE REPAIRS AND PATCHING. (CONFIRM QUANTITY WITH CLIENT, 10% OVERAGE IS STANDARD).
7. REPAIR ALL EXISTING FINISHES TO REMAIN WHICH ARE AFFECTED BY NEW CONSTRUCTION.
8. ALL DOOR FRAMES AND BASE MUST BE PROTECTED WITH APPROPRIATE MATERIAL TO AVOID DAMAGE DURING INSTALLATION OF FLOORING MATERIALS. THE PROTECTION MATERIALS AND METHOD OF ADHESION SHOULD NOT DAMAGE THE FINISH WHEN REMOVED. DAMAGE DONE TO COMPLETED WORK TO BE REPAIRED AT NO COST TO THE CLIENT.
9. WALL PAINT TO BE APPLIED WITH 1 COAT PRIMER AND TWO COATS PAINT. ALL GENERAL WALLS TO BE PAINTED AS PER SPECIFICATIONS.
10. REMOVE ALL SIGNS, COVER PLATES, ESCUTCHEON PLATES AND ANY LOOSE FIXTURES ON WALL PRIOR TO PAINTING/WALL COVERING. UPON COMPLETION, REINSTALL.
11. MASK OFF HINGES FROM EXISTING DOORS PRIOR TO PAINTING AND REINSTALL UPON COMPLETION.
12. ENSURE FLOOR IS PROPERLY PREPARED FOR INSTALLATION OF SPECIFIED FLOOR FINISH.
13. ALL FLOORING MATERIAL TO HAVE MANUFACTURERS RECOMMENDED FINISH APPLIED AFTER INSTALLATION AND PROPER CARE AND MAINTENANCE INSTRUCTIONS TO BE ISSUED TO THE CLIENT.
14. WHEN A CHANGE IN FLOOR FINISH OCCURS AT DOORWAY, THE SEAM IS TO BE CENTERED UNDER THE DOOR IN THE CLOSED POSITION, UNLESS OTHERWISE INDICATED.
15. ALL FLOOR FINISHES TO BE PROTECTED FROM DAMAGE BY TRADES AFTER INSTALLATION. ANY DAMAGE TO BE REPAIRED AT NO COST TO THE CLIENT.

**FINISHES LEGEND**

- CEILING & INTERIOR WALL PAINT  
DULUX COMMERCIAL WHITE  
DLX 1025 - 1
- DO1-O4 DOOR FRAME PAINT (BOTH SIDES) & DOOR PAINT (BOTH SIDES)  
MANUF: DULUX OR EQUAL  
COLOR: AS SELECTED BY ARCHITECT  
SHEEN: AS SELECTED BY ARCHITECT
- SEALED CONCRETE  
MANUF: DULUX OR APPROVED EQUAL  
PRODUCT: REFER TO SPECIFICATIONS
- INTEGRATED COLOR CMU BLOCK  
REFER TO PLANS, WALL TYPES AND SPECIFICATIONS  
COLOR: AS SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE OF OPTIONS  
REFER TO SPECIFICATIONS FOR PROVISIONAL PRICE ALTERNATE.
- FIELD CERAMIC TILE  
CENTURA - RAINBOW  
COLOR: AS SELECTED BY ARCHITECT FROM FULL RANGE  
4 inch x 16 inch  
SEE INTERIOR ELEVATIONS FOR EXTENTS
- ACCENT CERAMIC TILE  
CENTURA - RAINBOW  
COLOR: AS SELECTED BY ARCHITECT FROM FULL RANGE  
4 inch x 16 inch  
SEE INTERIOR ELEVATIONS FOR EXTENTS
- WALL BASE CERAMIC TILE  
CENTURA - RAINBOW  
COLOR: AS SELECTED BY ARCHITECT FROM FULL RANGE  
4 inch x 16 inch  
SEE INTERIOR ELEVATIONS FOR EXTENTS
- EXISTING STONE VENEER
- EXISTING CEILING TO REMAIN (SEE DEMO PLAN)  
PATCH AS REQ'D TO ALIGN WITH NEW WORK PAINT
- EXISTING CONCRETE TO REMAIN
- EXISTING GYPSUM BOARD WALL PAINT

**ROOM LEGEND**

- 101 MECH ROOM
- 102 STORAGE
- 103 UNIVERSAL WASHROOM
- 104 BARRIER FREE WASHROOM



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5	TENDER R1
4	PERMIT_R1
3	TENDER & PERMIT_R1
2	TENDER & PERMIT
1	CLIENT REVIEW
DATE	ISSUED

PROJECT NAME  
**DENNISON PARK WASHROOMS**

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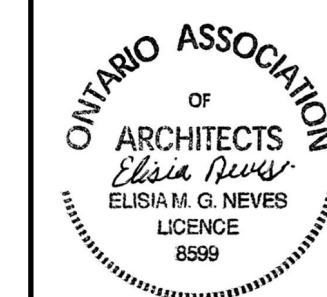


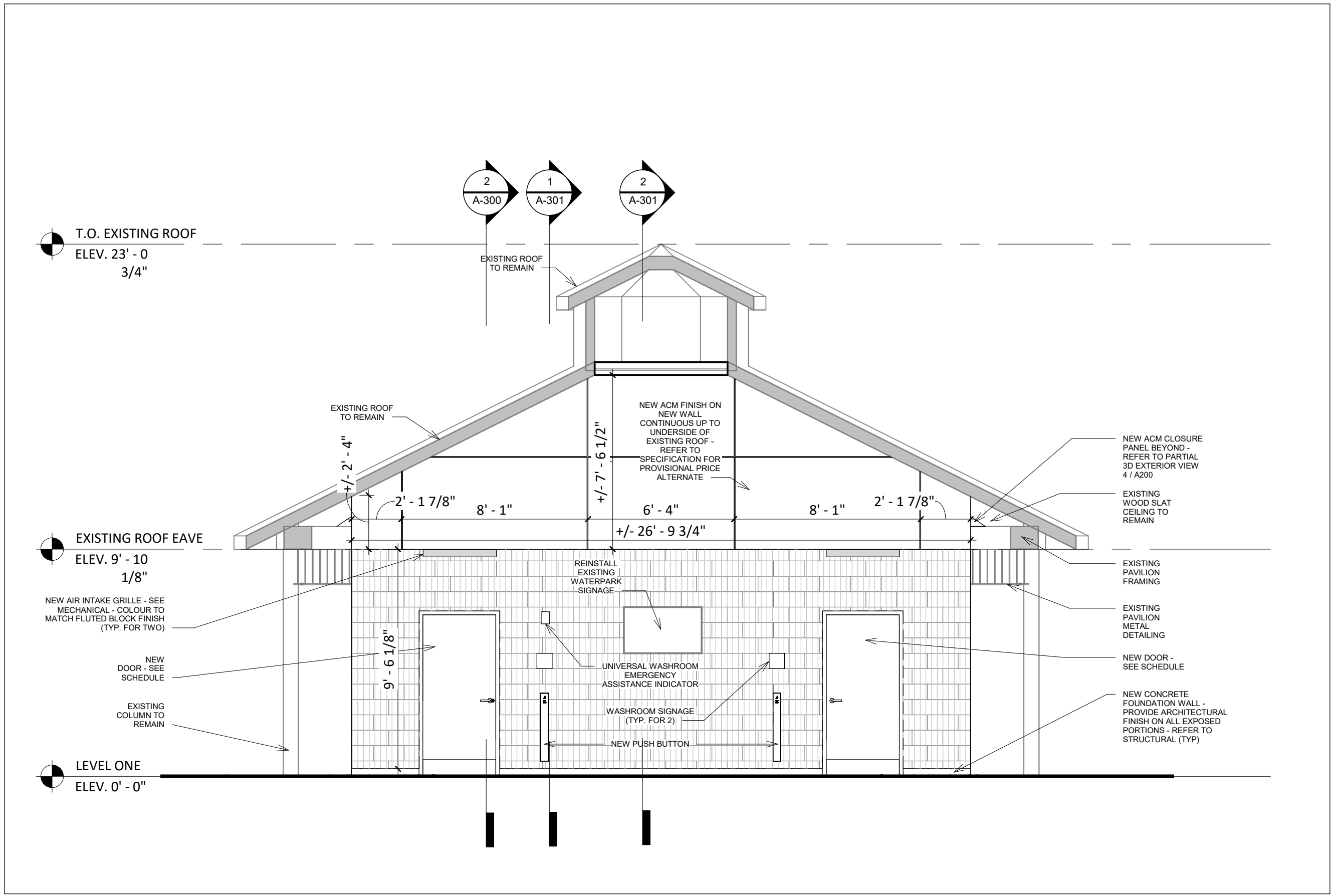
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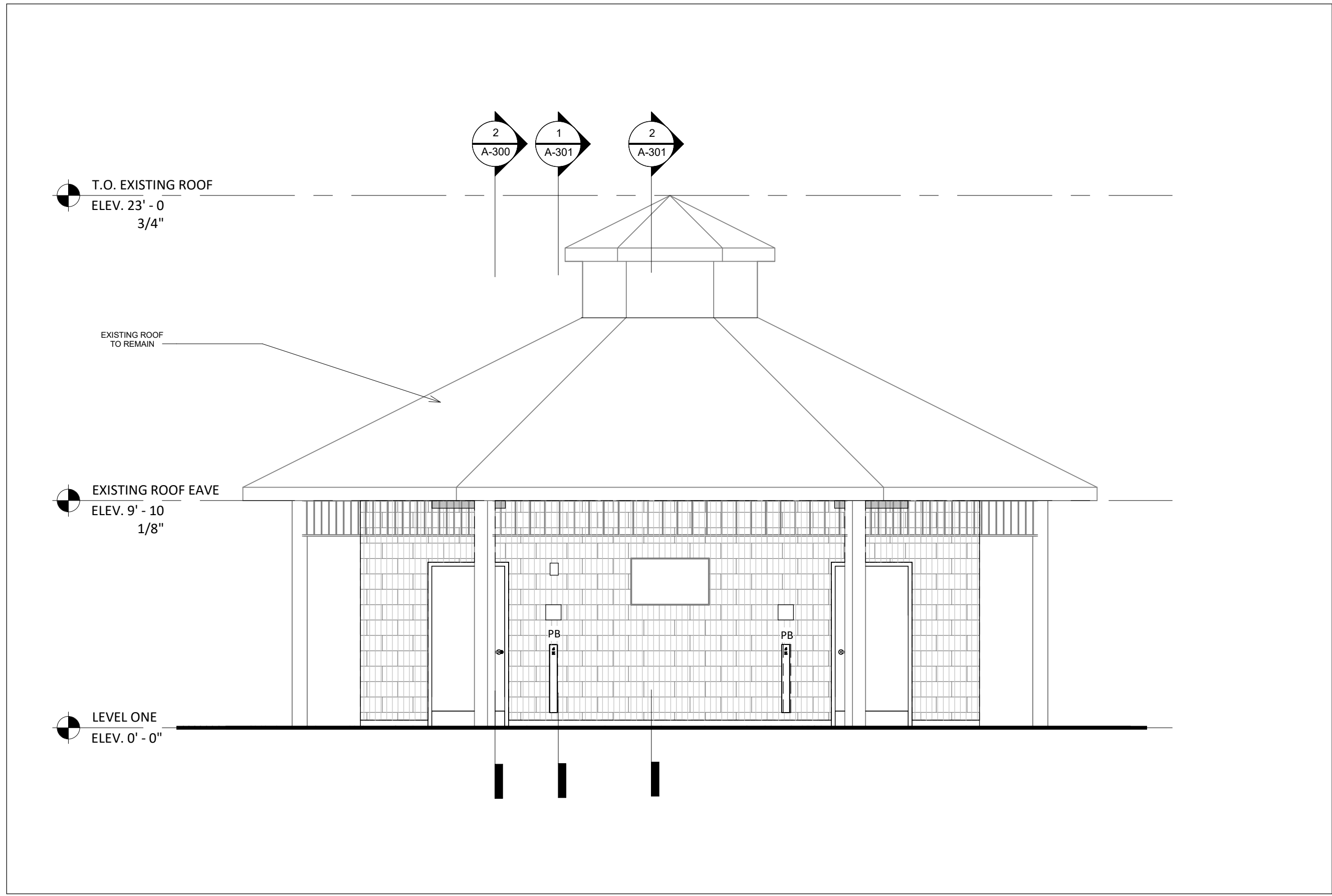
SHEET TITLE  
**FINISHES PLAN AND NOTES**

PROJECT No.	22023	SCALE	As indicated
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		CHECKED	EN
		SHEET No.	<b>A-102</b>
			2024-09-10 11:34:58 AM

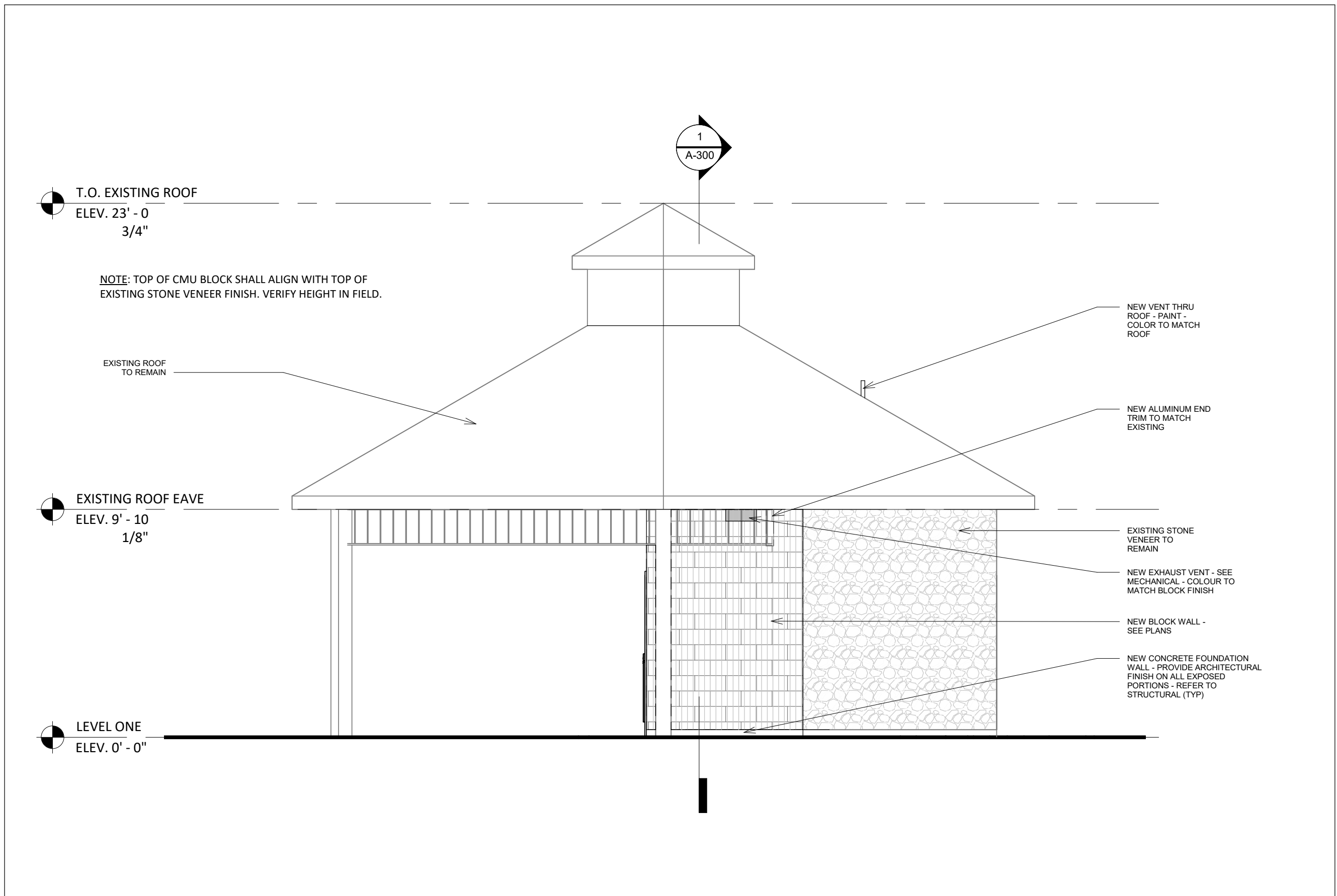




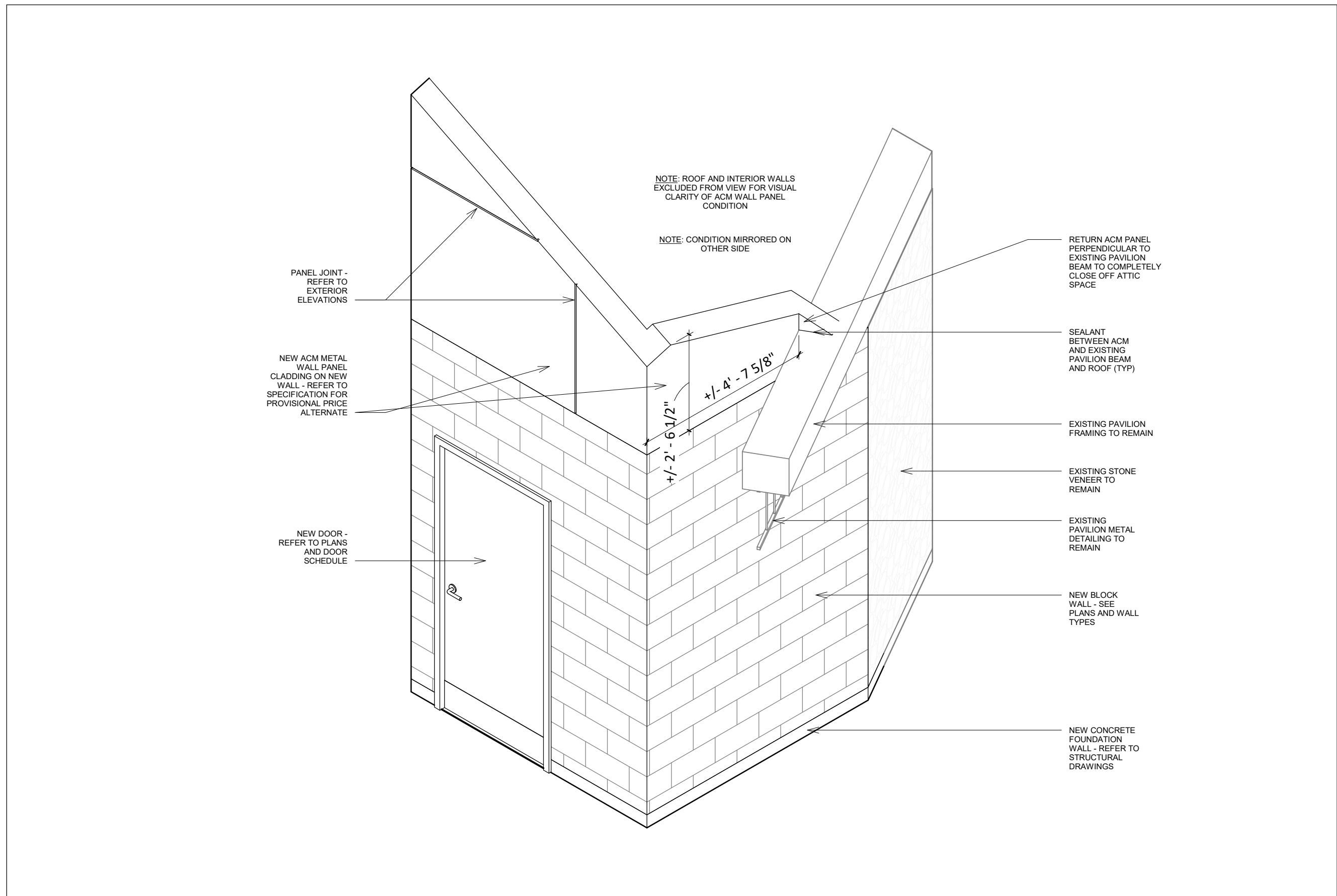
1 A-200 BUILDING SECTION / ELEVATION - SOUTH  
SCALE: 1 : 50



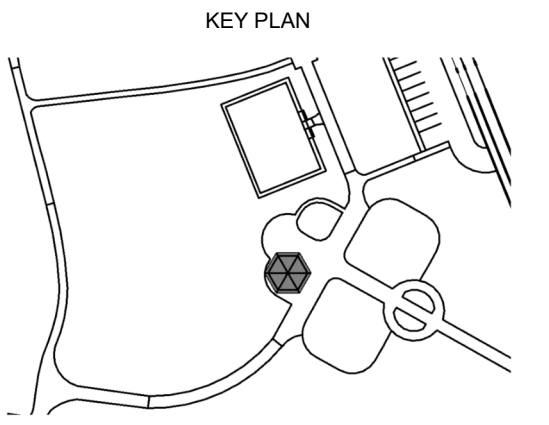
2 A-200 BUILDING ELEVATION - SOUTH  
SCALE: 1 : 50



3 A-200 BUILDING ELEVATION - EAST  
SCALE: 1 : 50



4 A-200 EXTERIOR CLADDING PARTIAL 3D  
SCALE:



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5	2024.09.10	TENDER R1
4	2024.09.05	PERMIT R1
3	2024.03.06	TENDER & PERMIT R1
2	2023.07.28	TENDER & PERMIT
1	2023.05.17	CLIENT REVIEW
	DATE	ISSUED

PROJECT NAME  
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SHEET TITLE  
**EXTERIOR ELEVATIONS**

PROJECT No. 22023 SCALE As indicated

DRAWN LK

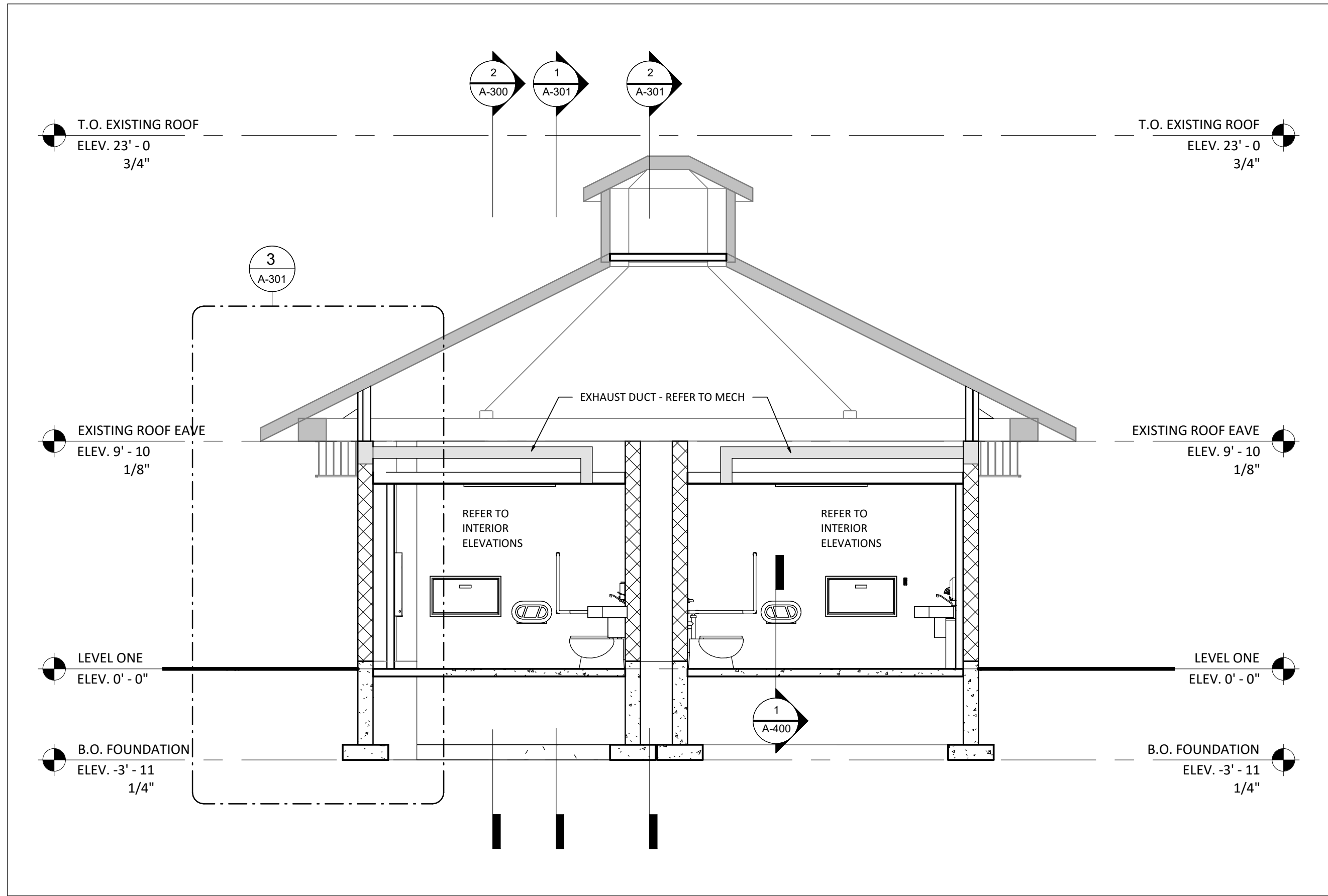
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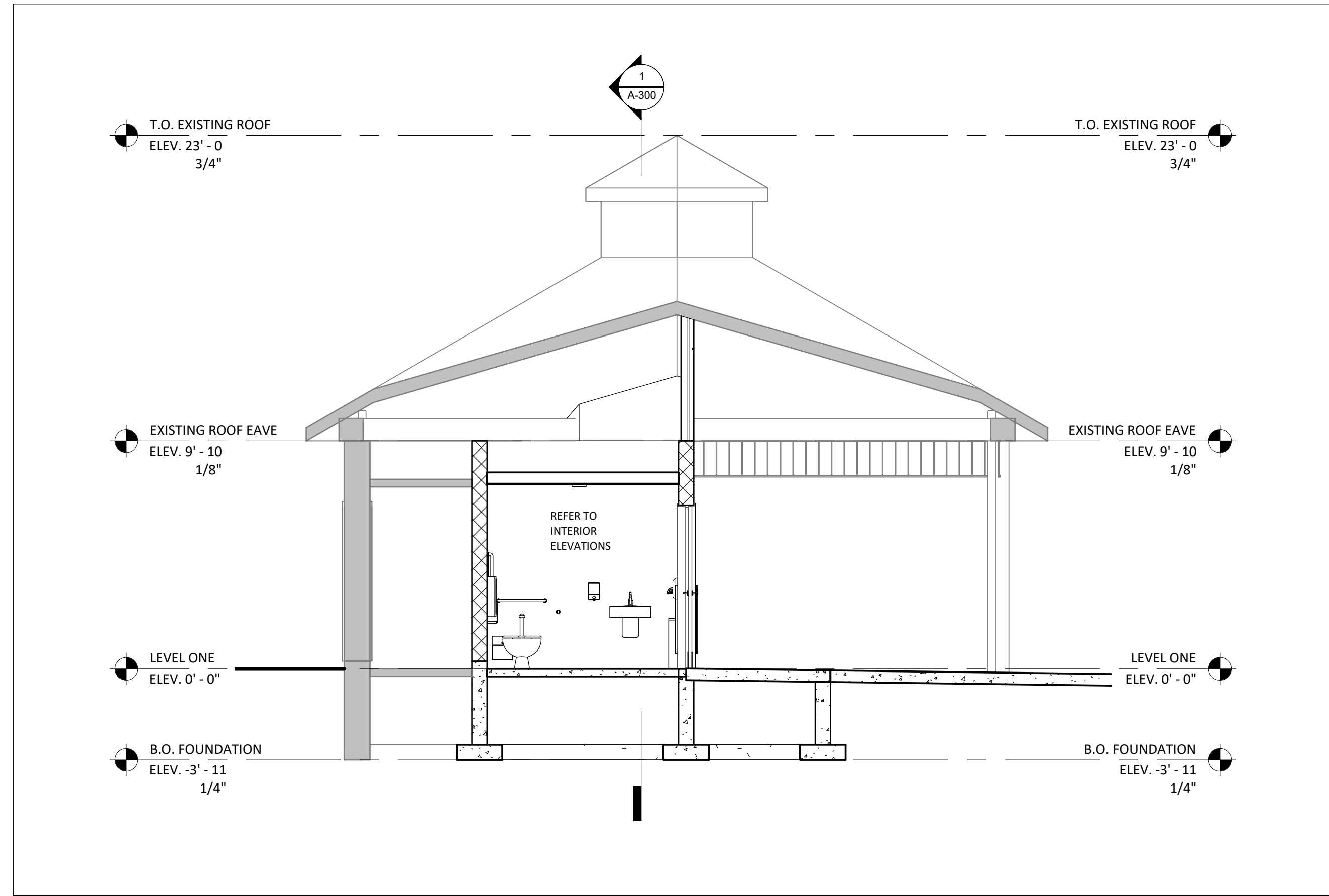
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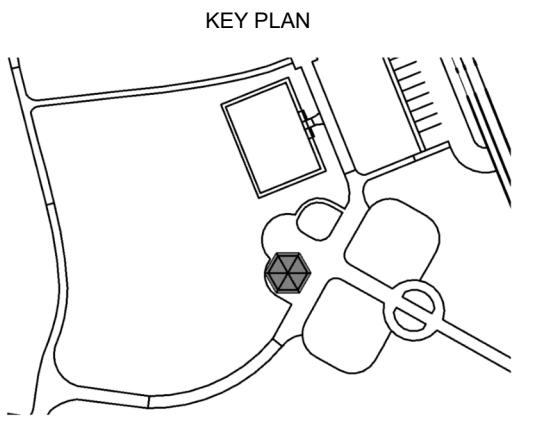




**1** A-300 LONGITUDINAL BUILDING SECTION  
SCALE: 1 : 50



**2** A-300 TRANSVERSE BUILDING SECTION  
SCALE: 1 : 50



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5	2024.09.10 5 TENDER R1
4	2024.09.05 4 PERMIT R1
3	2024.03.06 3 TENDER & PERMIT R1
2	2023.07.28 2 TENDER & PERMIT
1	2023.05.17 1 CLIENT REVIEW
DATE	ISSUED

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SHEET TITLE

BUILDING SECTIONS

PROJECT No. 22023 SCALE 1 : 50

DRAWN LK

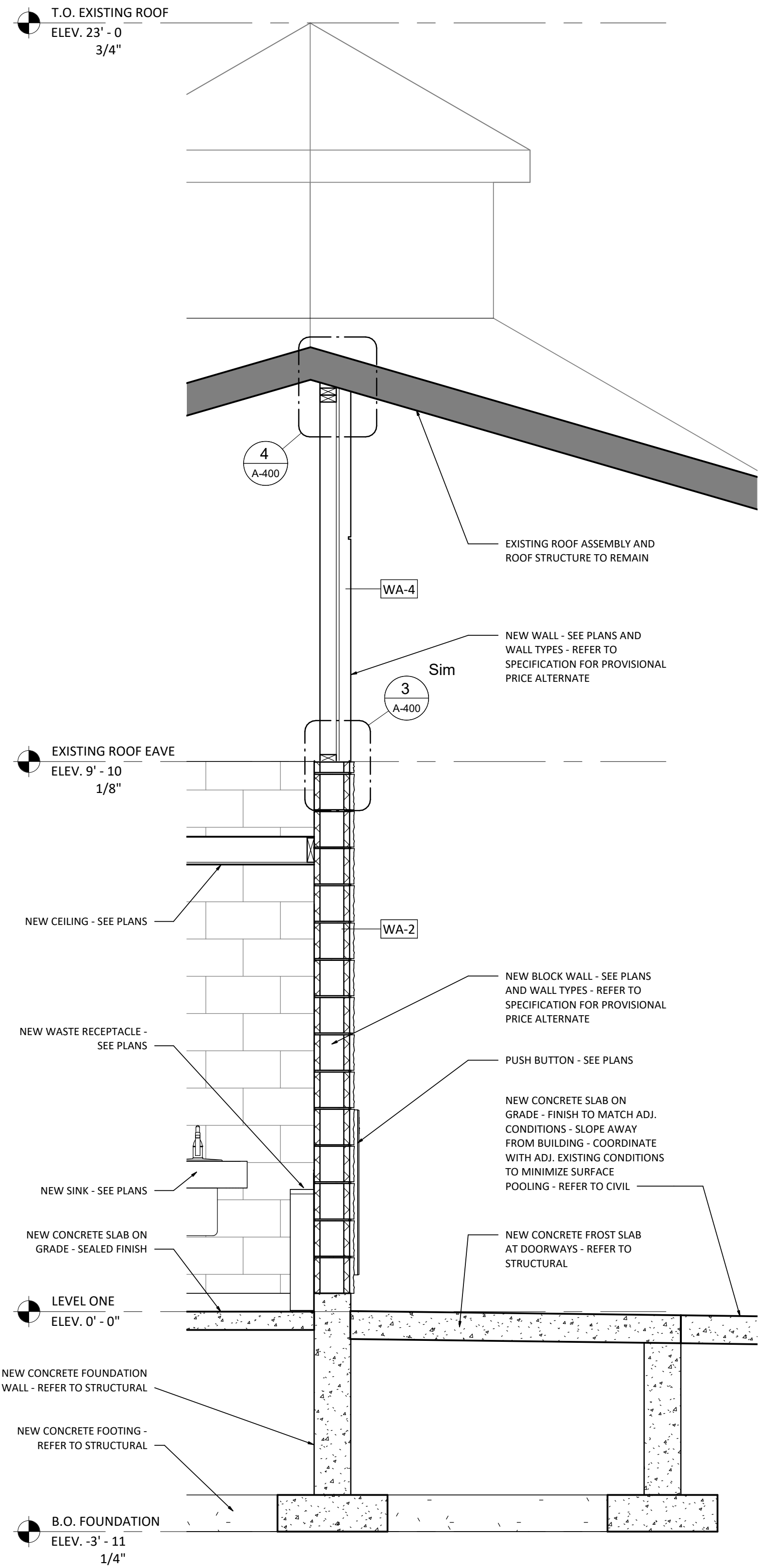
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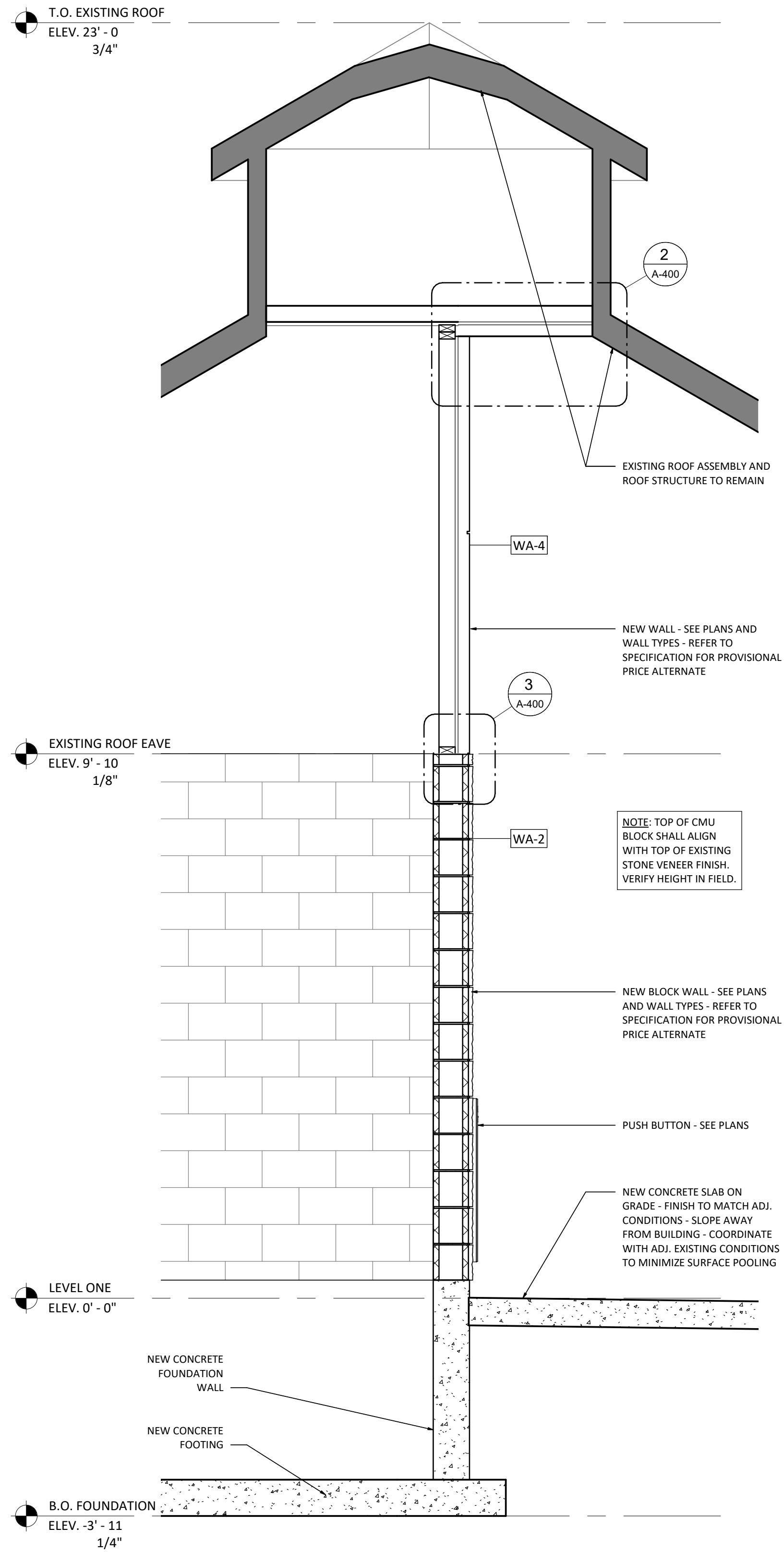
**A-300**

2024-09-10 11:35:00 AM

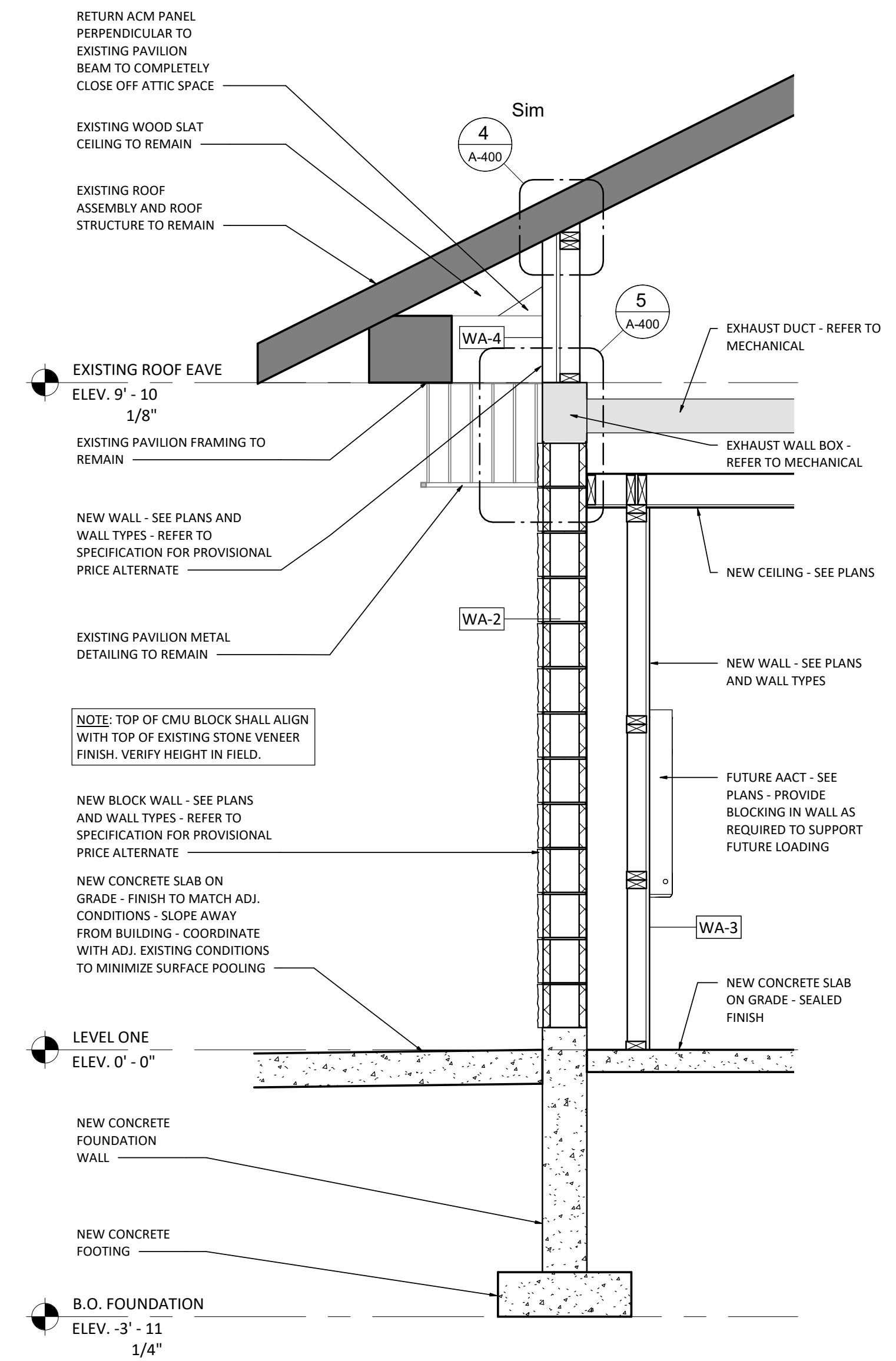




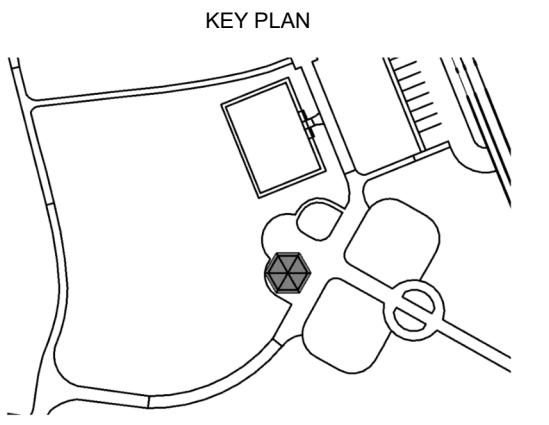
**1** A-301 WALL SECTION AT REGULAR ROOF  
SCALE: 1 : 20



**2** A-301 WALL SECTION AT HIGH ROOF  
SCALE: 1 : 20



**3** A-301 WALL SECTION AT SIDE  
SCALE: 1 : 20



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5	TENDER R1
4	PERMIT R1
3	TENDER & PERMIT R1
2	TENDER & PERMIT
1	CLIENT REVIEW
DATE	ISSUED

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SHEET TITLE  
**WALL SECTIONS**

PROJECT No.	22023	SCALE	As indicated
		DRAWN	LK
		CHECKED	EN

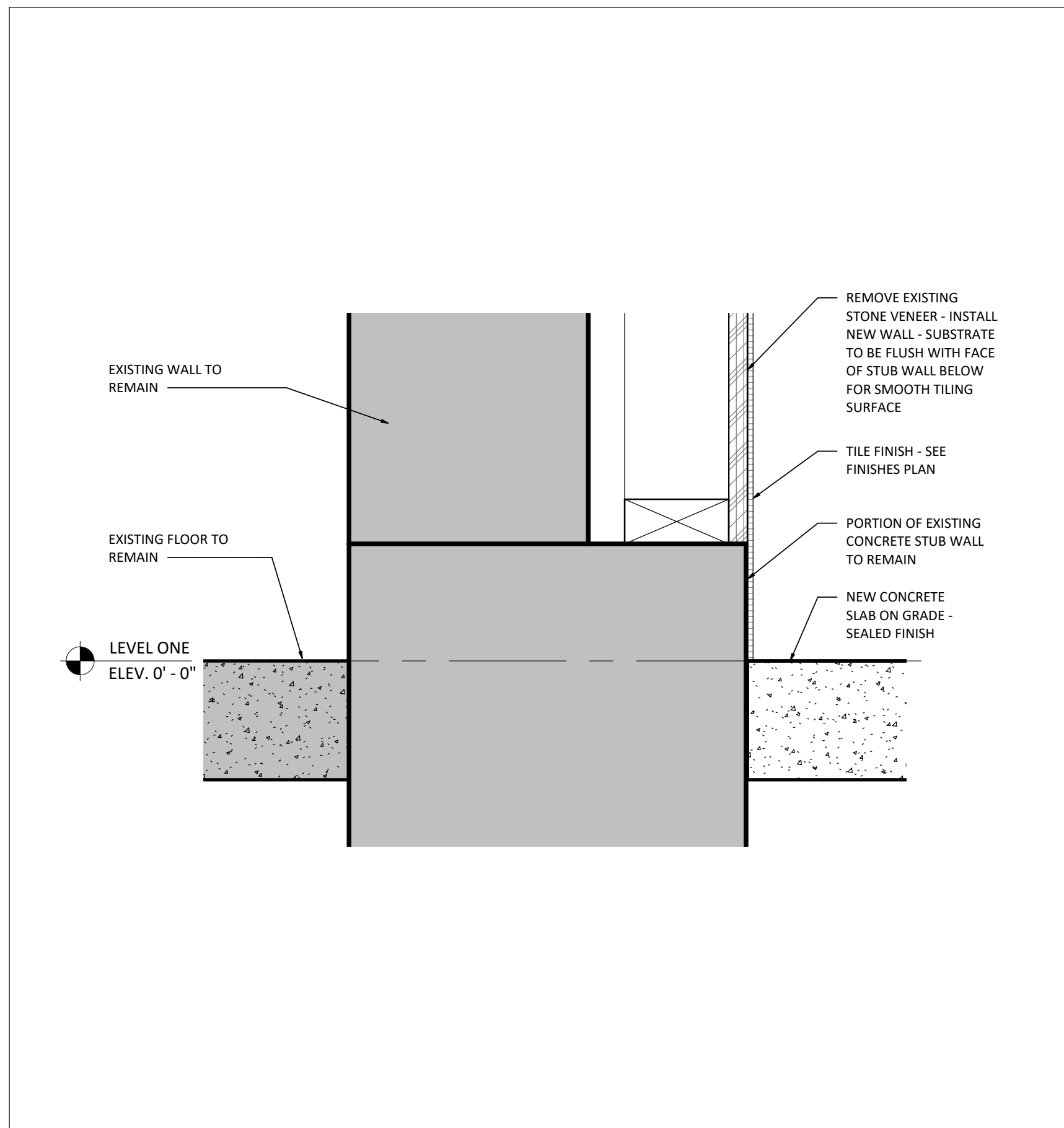


SHEET No.

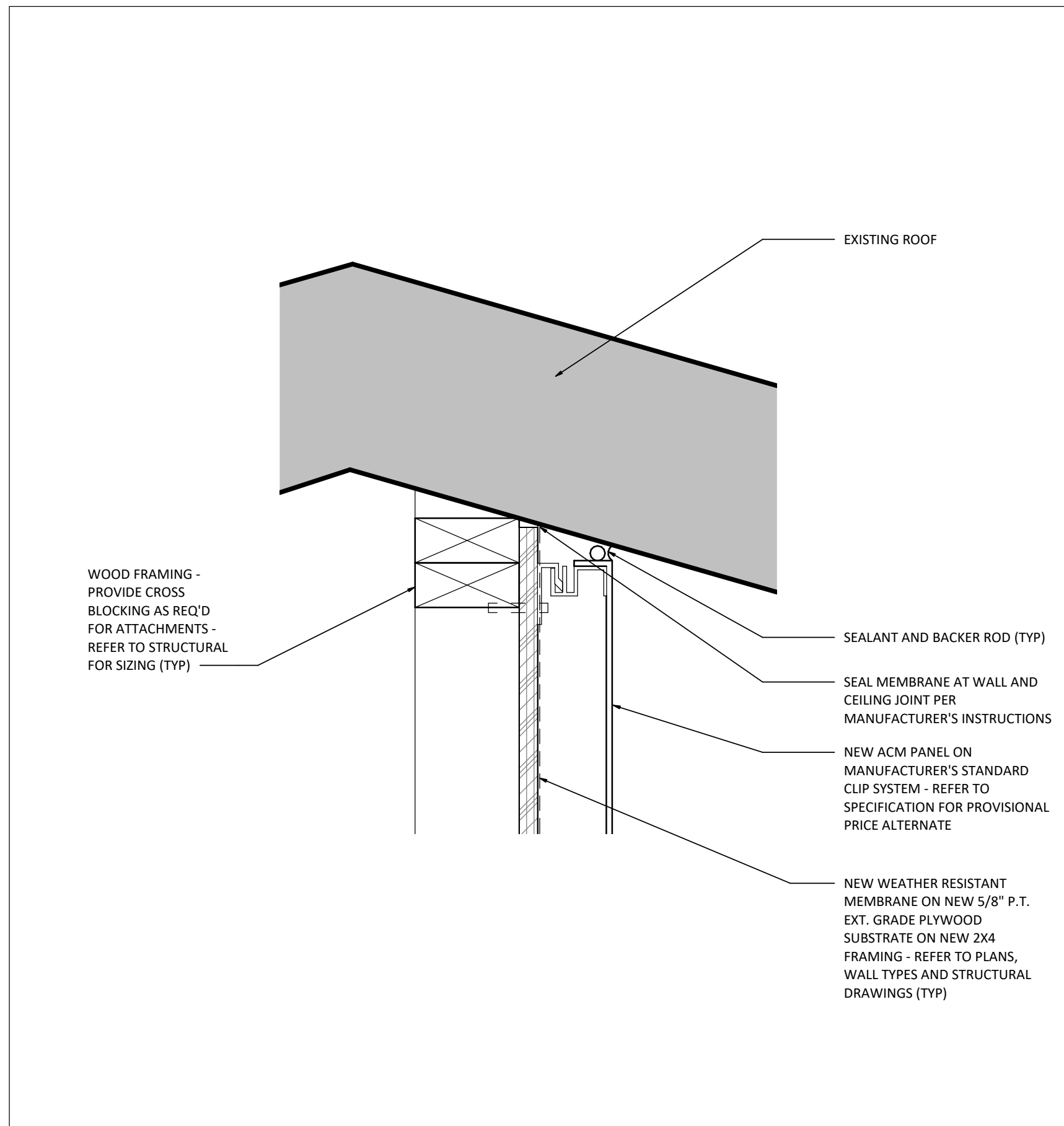
**A-301**

2024-09-10 11:35:01 AM

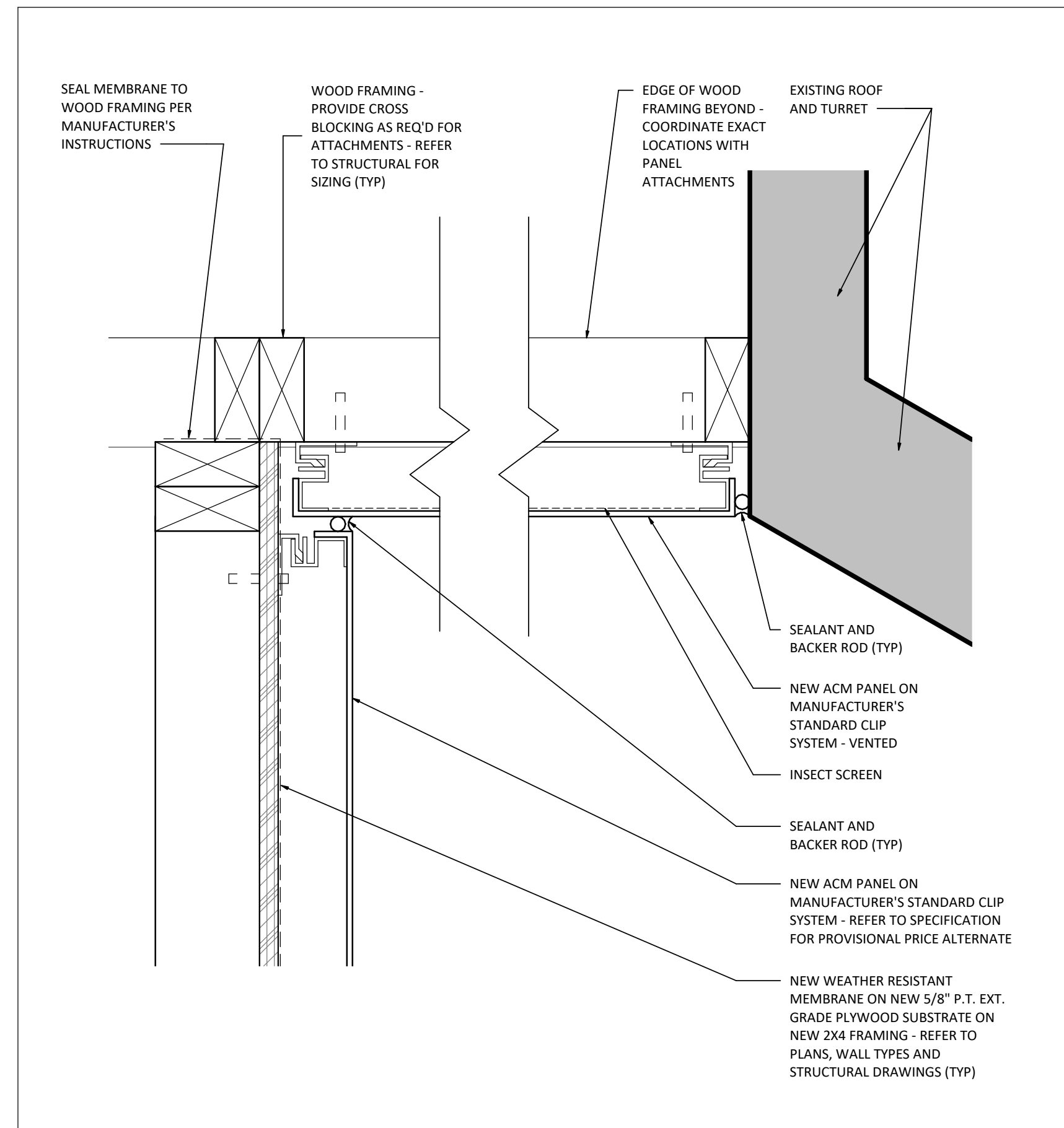




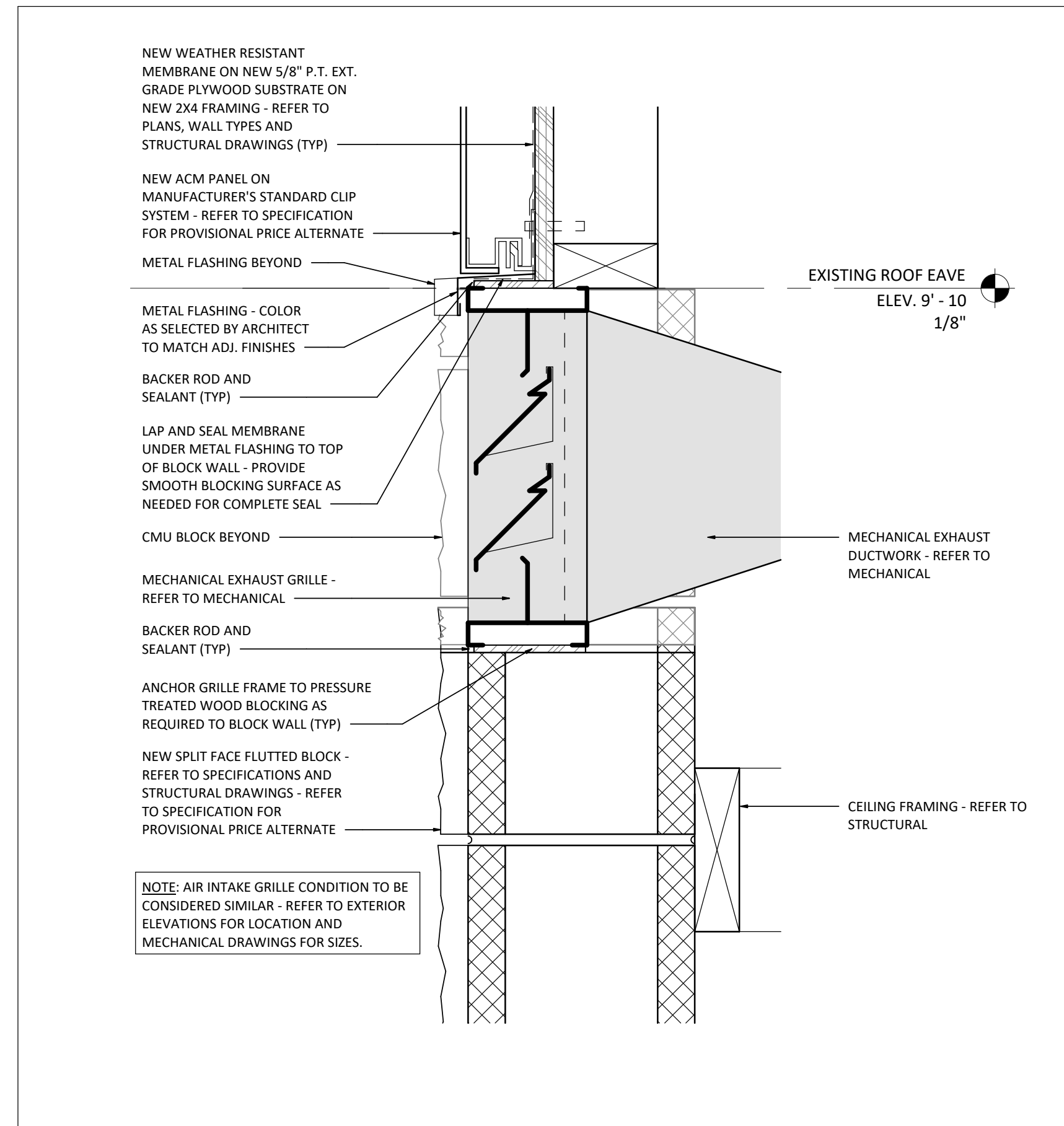
**1** SECTION DETAIL AT REMAINING STUB WALL  
SCALE: 3" = 1'-0"



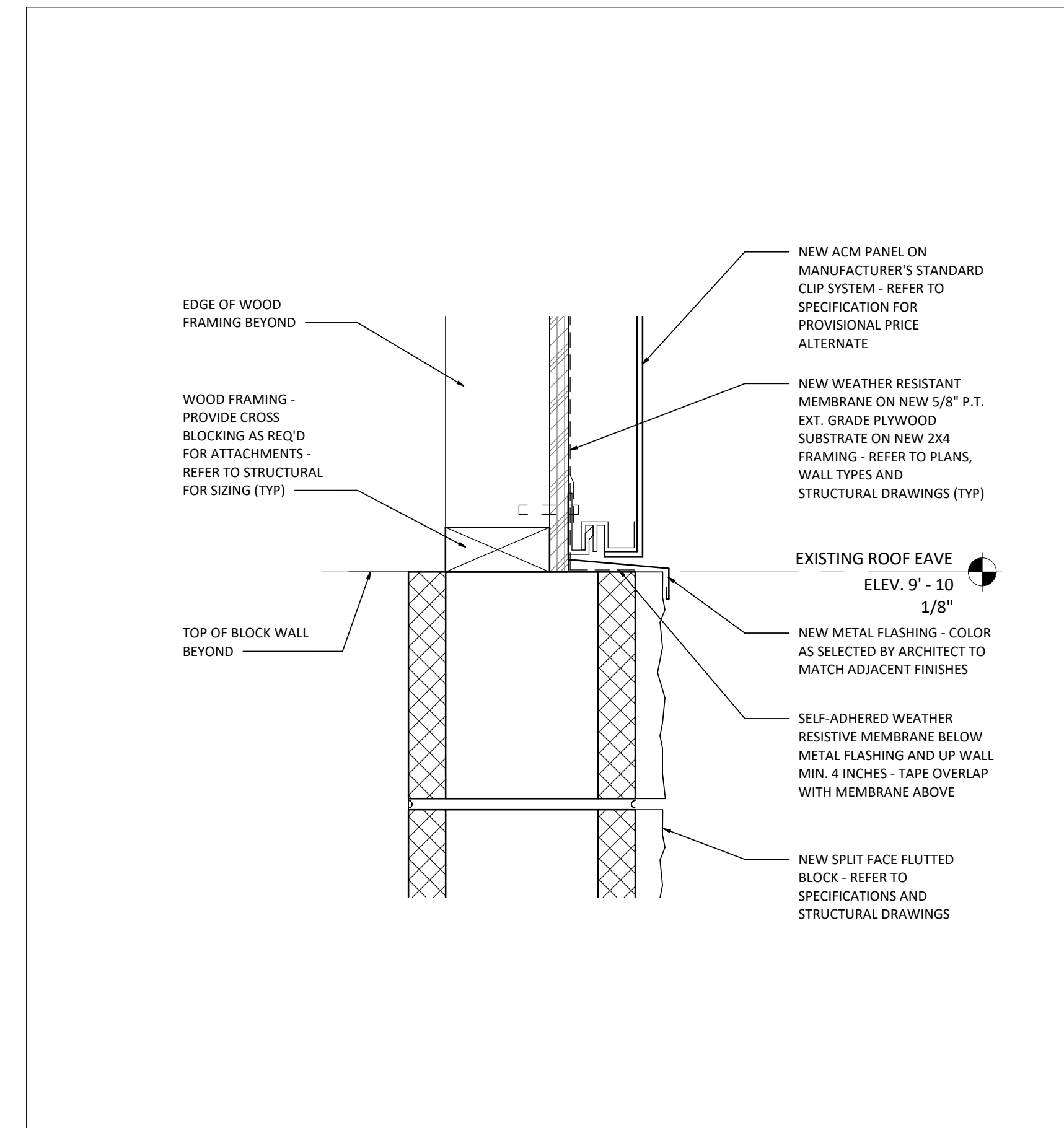
**4** SECTION DETAIL AT METAL PANEL TO ROOF  
SCALE: 3" = 1'-0"



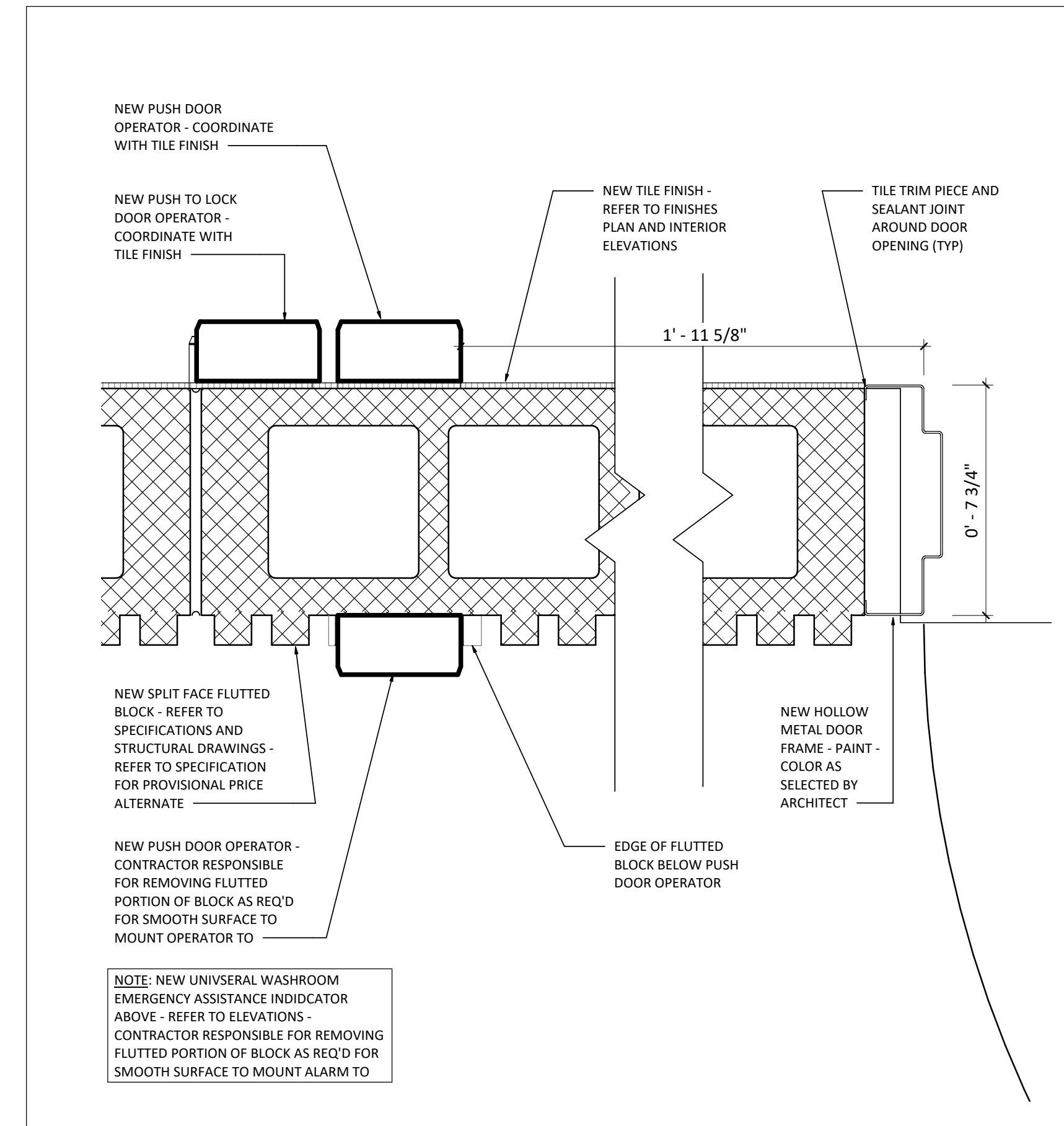
**2** SECTION DETAIL AT TURRENT CEILING INFILL  
SCALE: 3" = 1'-0"



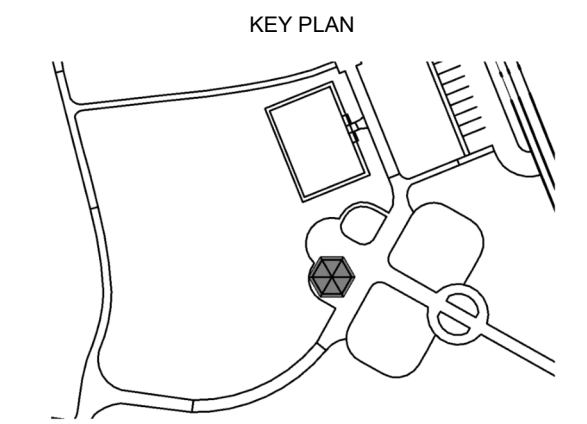
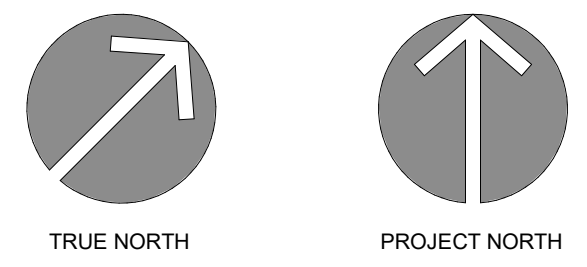
**5** SECTION DETAIL AT MECH EXHAUST  
SCALE: 3" = 1'-0"



**3** SECTION DETAIL AT BLOCK TO METAL PANEL WALL  
SCALE: 3" = 1'-0"



**6** PLAN DETAIL AT NEW DOOR AND PUSH DOOR OPERATOR  
SCALE: 3" = 1'-0"



10	
9	
8	
7	
6	
5	TENDER R1
4	PERMIT R1
3	TENDER & PERMIT R1
2	TENDER & PERMIT
1	CLIENT REVIEW
DATE	ISSUED

PROJECT NAME  
**DENNISON PARK WASHROOMS**

CLIENT  
**TOWN OF CALEDON**

ARCHITECT  
www.fabrikarchitects.ca  
58 Grand Avenue South, Unit 201, Cambridge ON, N1S 5C3  
T. 519-743-0608 | info@fabrikarchitects.ca



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SHEET TITLE

PLAN & SECTION DETAILS

PROJECT No. 22023 SCALE 3" = 1'-0"

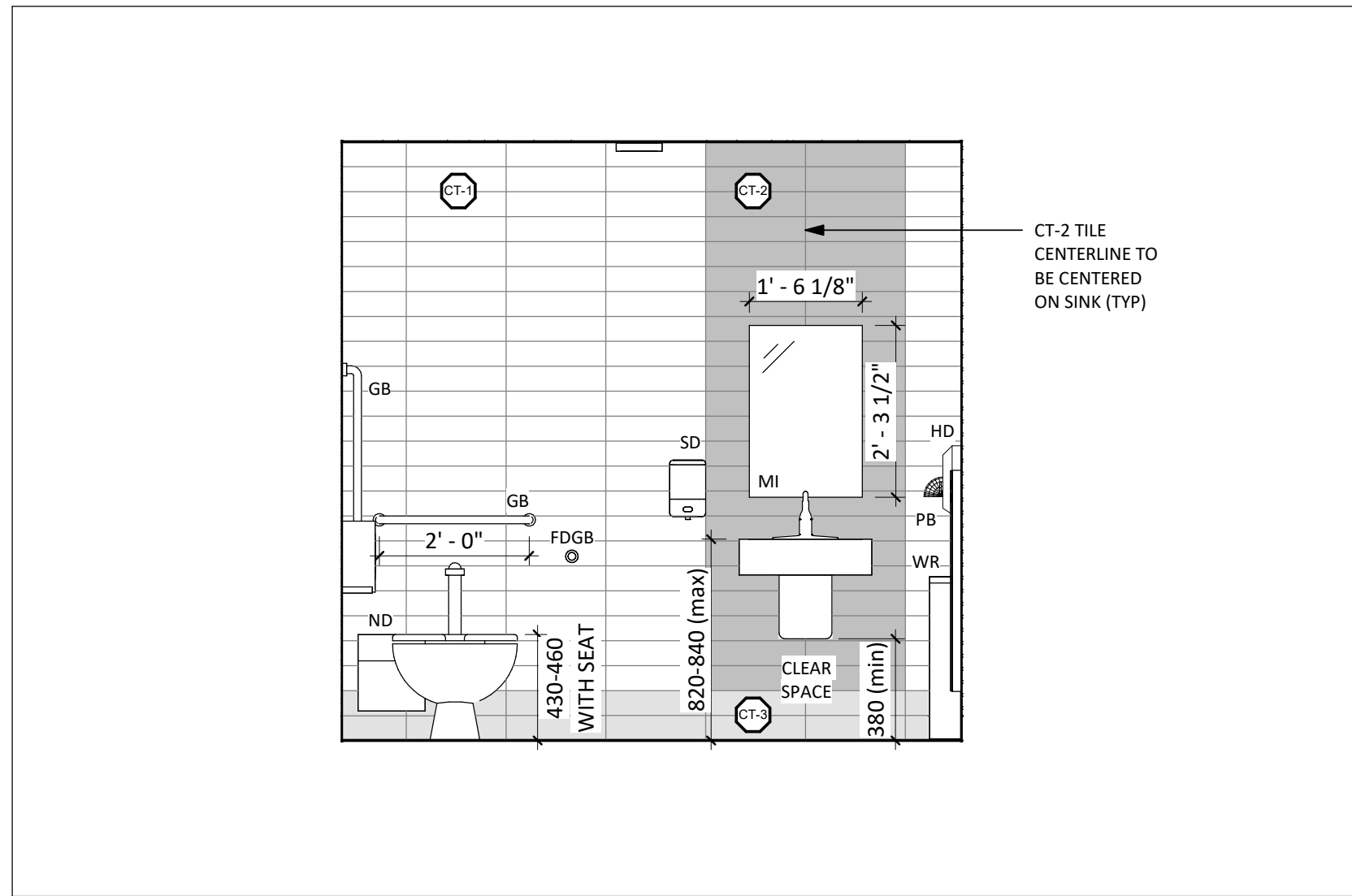
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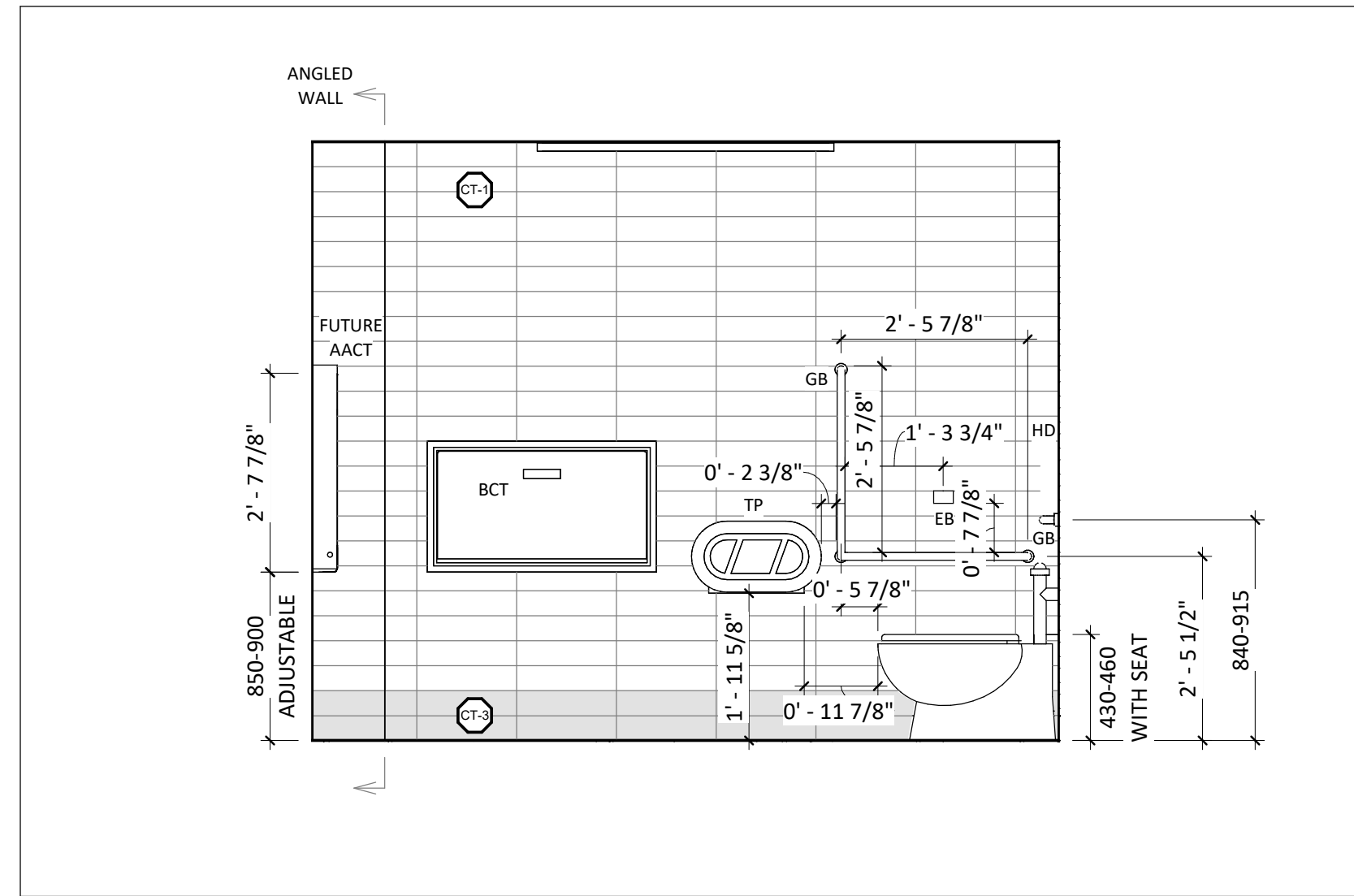
SHEET No.

**A-400**

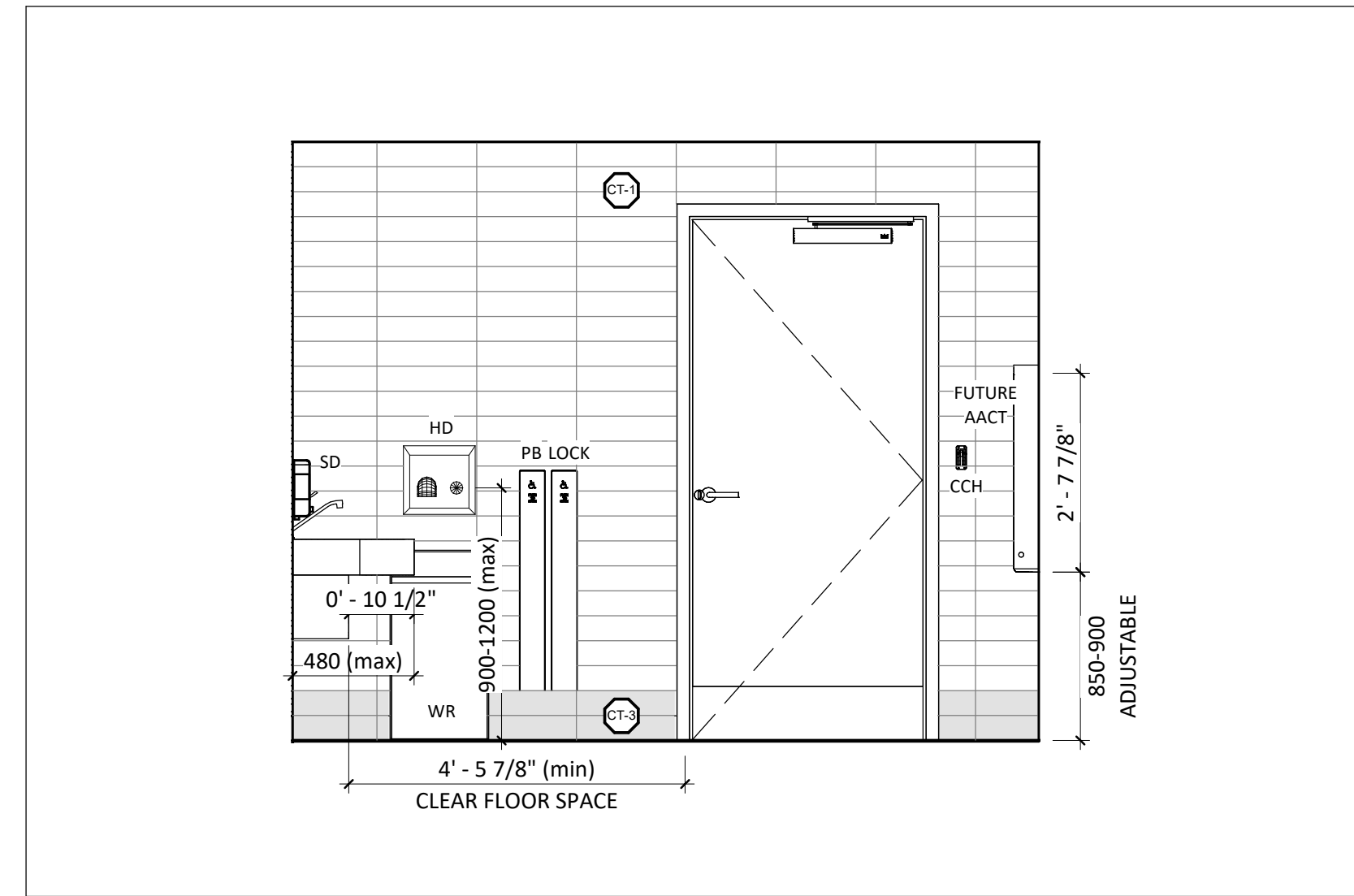
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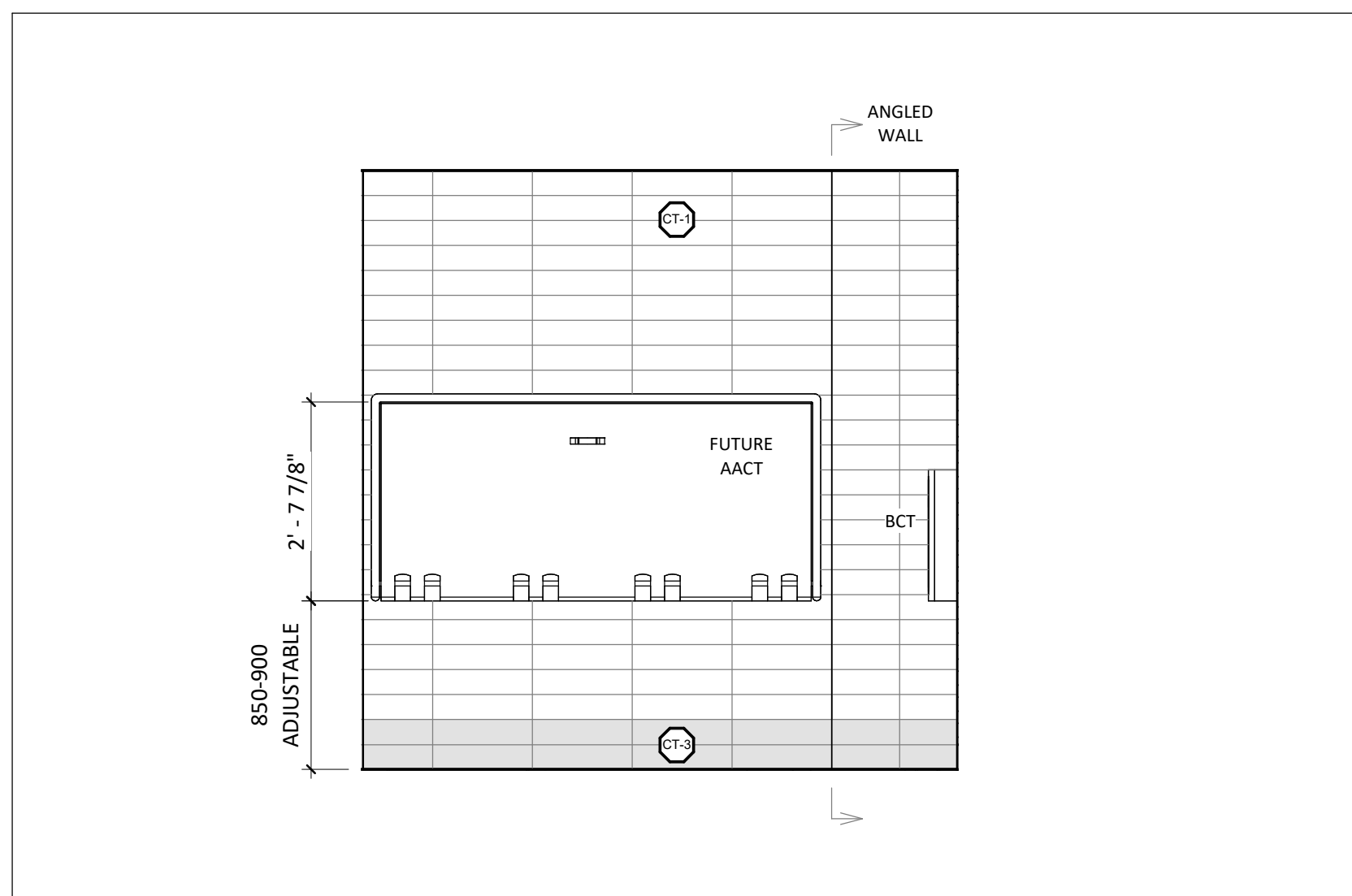
**1** A-500 Int. East Elevation - Universal Washroom  
SCALE: 1 : 25



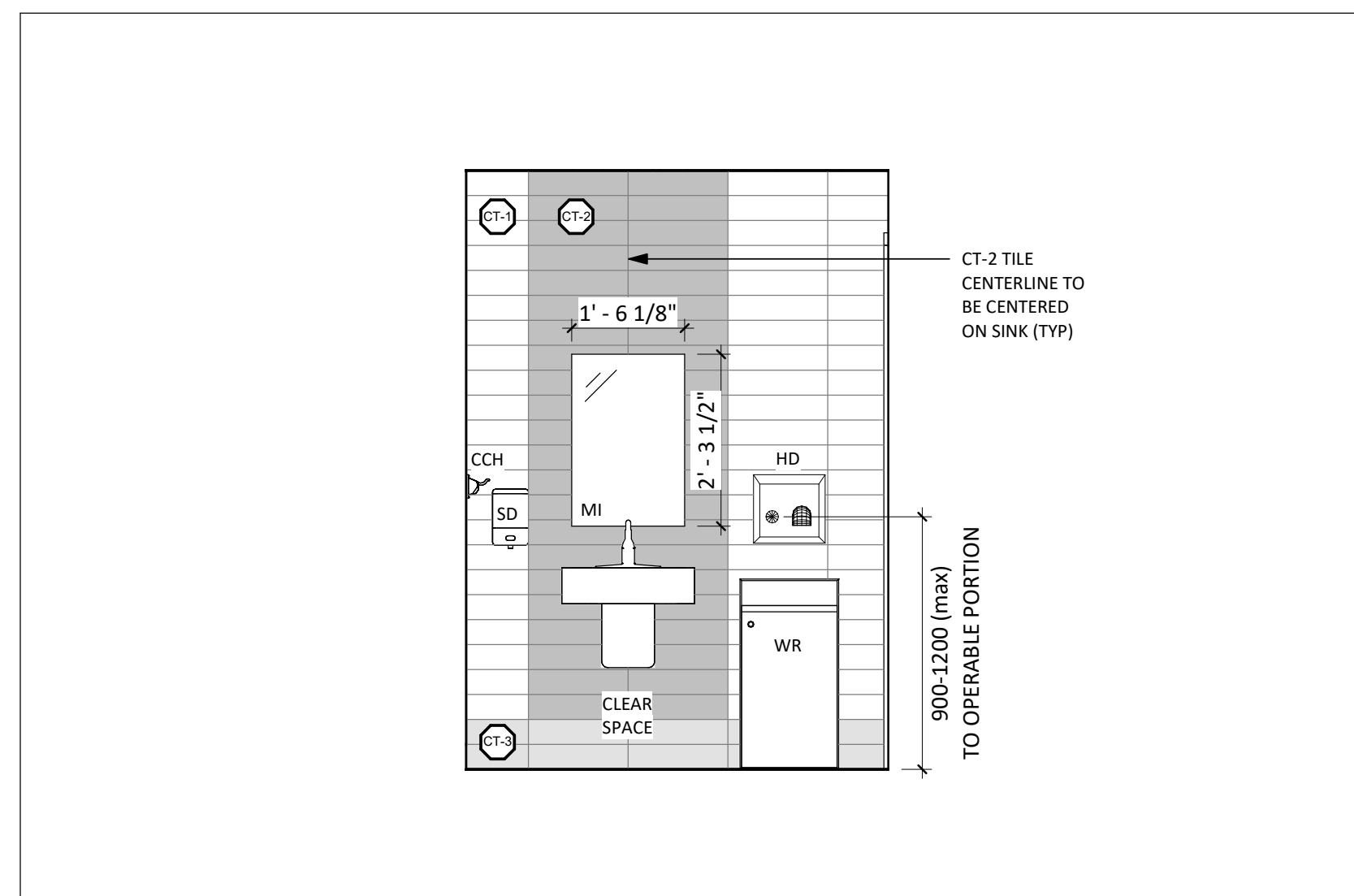
**2** A-500 Int. North Elevation - Universal Washroom  
SCALE: 1 : 25



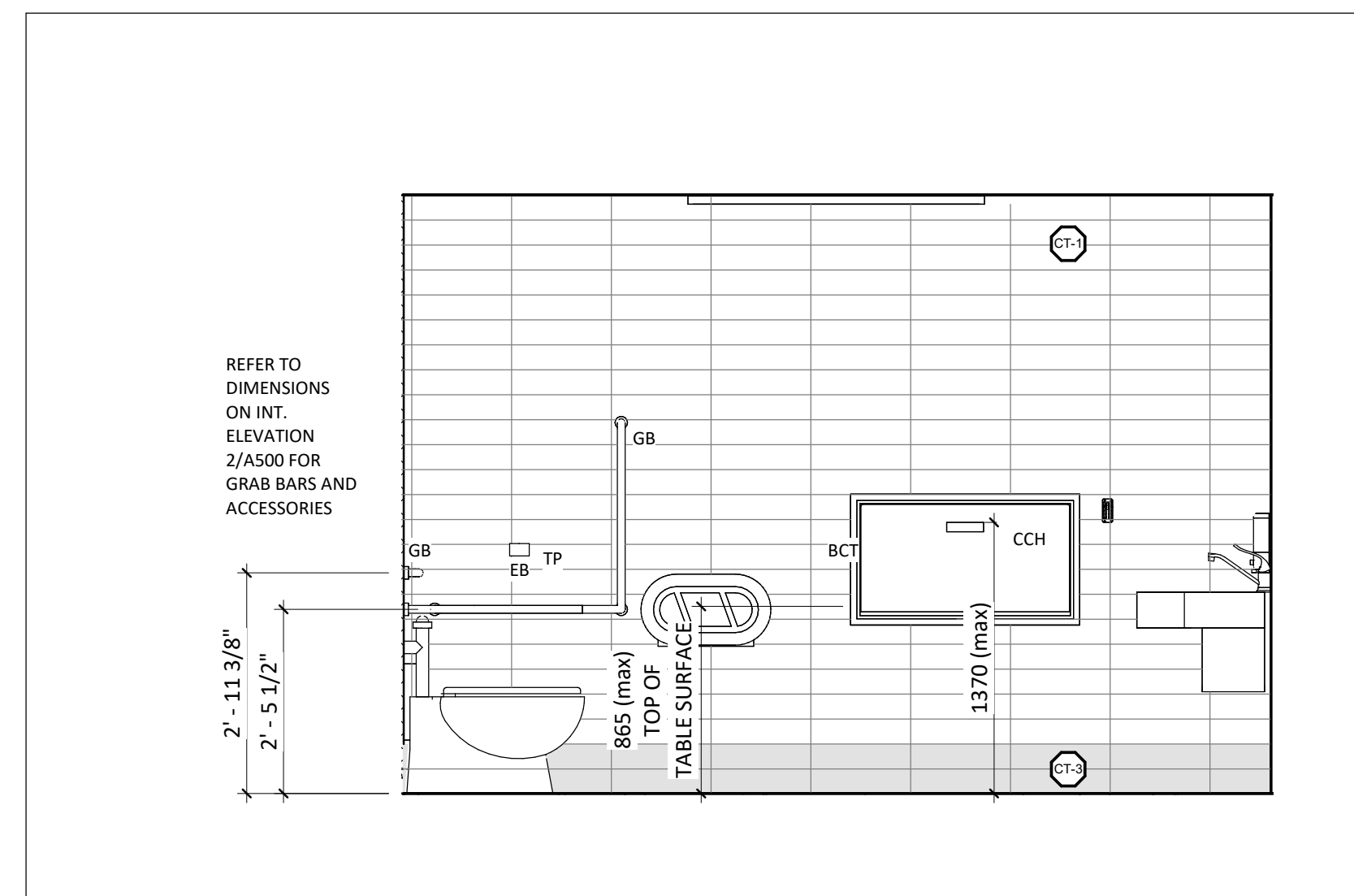
**3** A-500 Int. South Elevation - Universal Washroom  
SCALE: 1 : 25



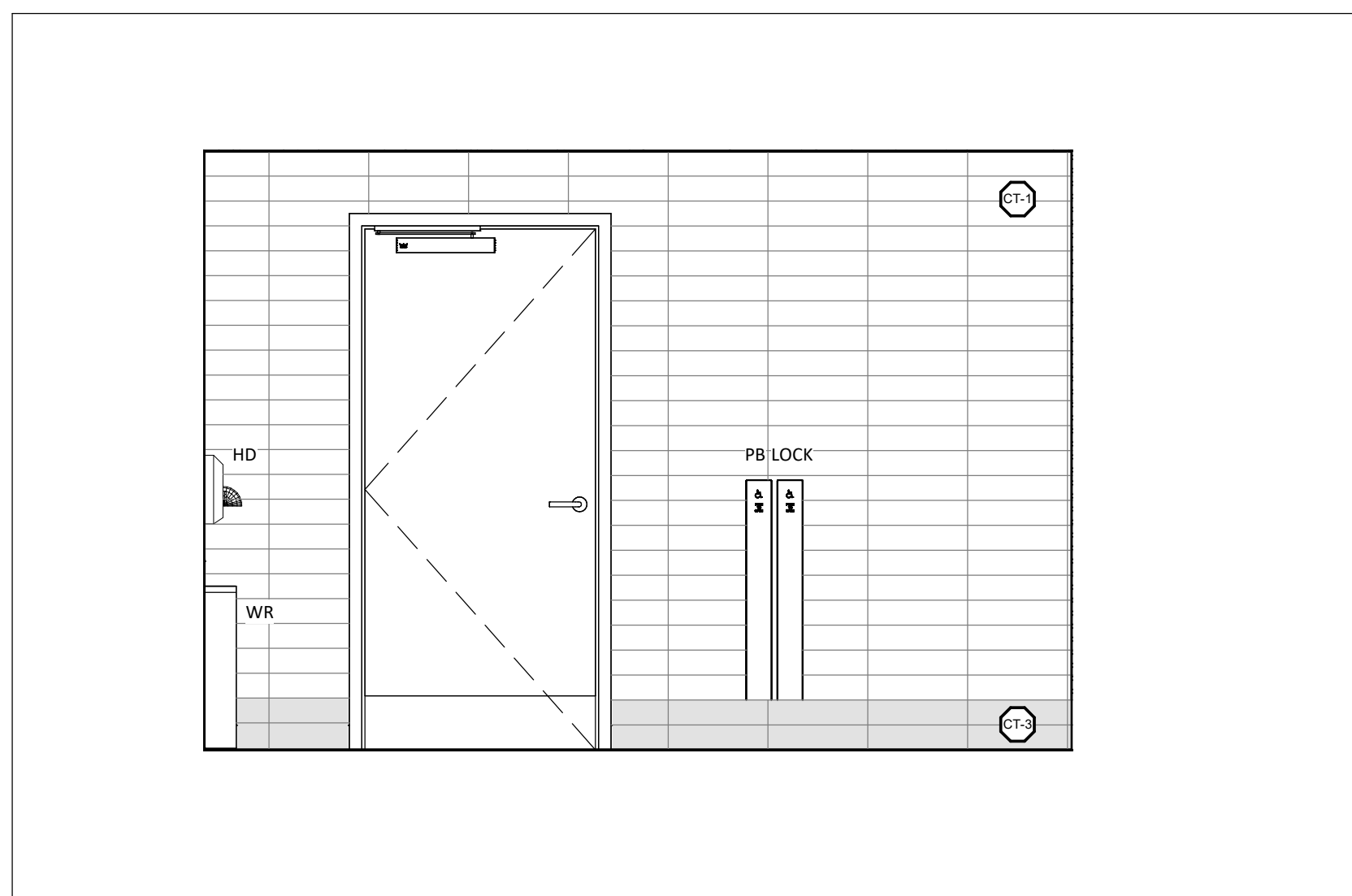
**4** A-500 Int. West Elevation - Universal Washroom  
SCALE: 1 : 25



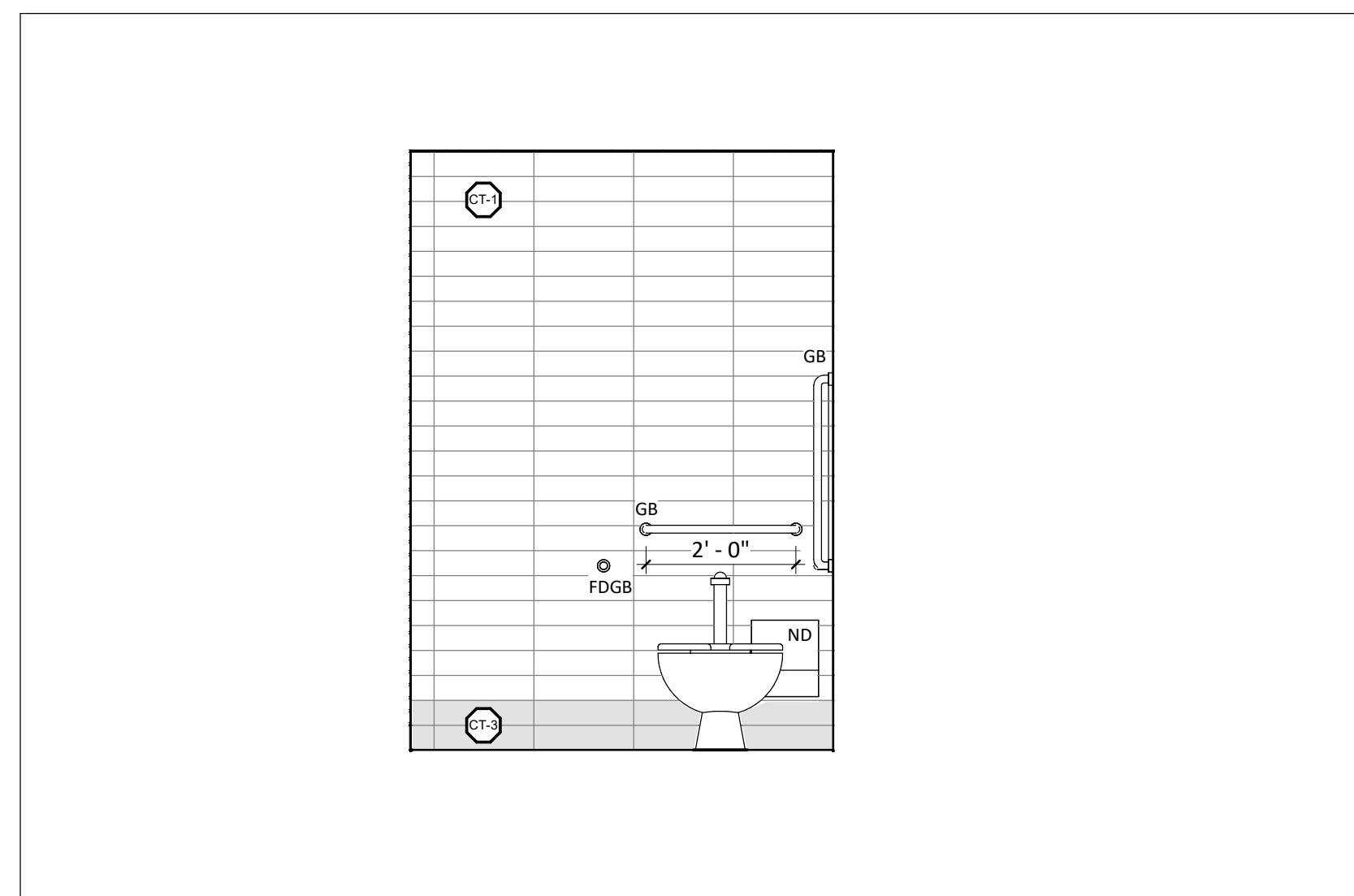
**5** A-500 Int. East Elevation - Barrier Free Washroom  
SCALE: 1 : 25



**6** A-500 Int. North Elevation - Barrier Free Washroom  
SCALE: 1 : 25



**7** A-500 Int. South Elevation - Barrier Free Washroom  
SCALE: 1 : 25



**8** A-500 Int. West Elevation - Barrier Free Washroom  
SCALE: 1 : 25

**ABBREVIATION LEGEND**

- ACCESSORIES
- MI MIRROR
  - SLV SHELF
  - CCH COLLAPSIBLE COAT HOOK
  - LB LOCK BUTTON
  - PB POWER BUTTON OPERATOR
  - EB EMERGENCY BUTTON
  - GB GRAB BAR
  - HD HAND DRYER
  - FDGB FOLD DOWN GRAB BAR
  - AACT ADJUSTABLE ADULT CHANGE TABLE
  - BCT BABY CHANGE TABLE
  - WR WASTE RECEPTACLE
  - BSD BIOMEDICAL SHARPS DISPOSAL
  - SD SOAP DISPENSER
  - TP TOILET PAPER (DISPENSER)
  - ND NAPKIN DISPOSAL
  - CT CHILDREN'S TOILET
  - AS AUTO SENSOR

- OTHER
- HDPE HIGH DENSITY POLYETHYLENE
  - FD FLOOR DRAIN
  - CO CLEAN OUT
  - EXT EXISTING
  - NIC NOT IN CONTRACT
  - AFF ABOVE FINISHED FLOOR
  - MR MOISTURE RESISTANT
  - C J CONTROL JOINT

**WASHROOM ACCESSORY SPECIFICATIONS AND NOTES**

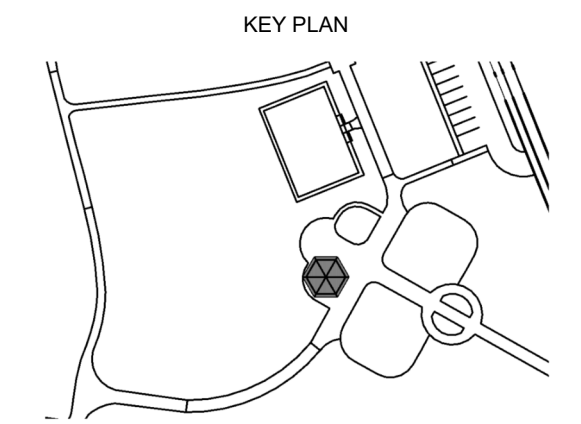
REFER TO SPECIFICATIONS.

ADJUSTABLE ADULT CHANGE TABLE:  
NOT INSTALLED AS PART OF THIS PROJECT.  
CONTRACTOR IS RESPONSIBLE FOR PROVIDING  
BLOCKING IN WALL FOR EASE OF FUTURE  
INSTALLATION.

NOTE: ALL ALTERNATES MUST BE OF EQUAL  
QUALITY AND APPEARANCE. CONTRACTOR TO  
SUBMIT ALL PROPOSED ALTERNATES TO  
ARCHITECT FOR REVIEW AND APPROVAL PRIOR  
TO ORDERING.

**FINISHES LEGEND**

REFER TO FINISHES PLAN  
FOR FULL FINISHES  
LEGEND



10	
9	
8	
7	
6	
5	TENDER R1
4	PERMIT R1
3	TENDER & PERMIT R1
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1	CLIENT REVIEW
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PROJECT NAME  
**DENNISON PARK WASHROOMS**

CLIENT  
**TOWN OF CALEDON**

ARCHITECT  
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**fabrik**  
ARCHITECTS

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SHEET TITLE  
**INTERIOR ELEVATIONS**

PROJECT No. 22023 SCALE As indicated

DRAWN LK

CHECKED EN

SHEET No.

**A-500**

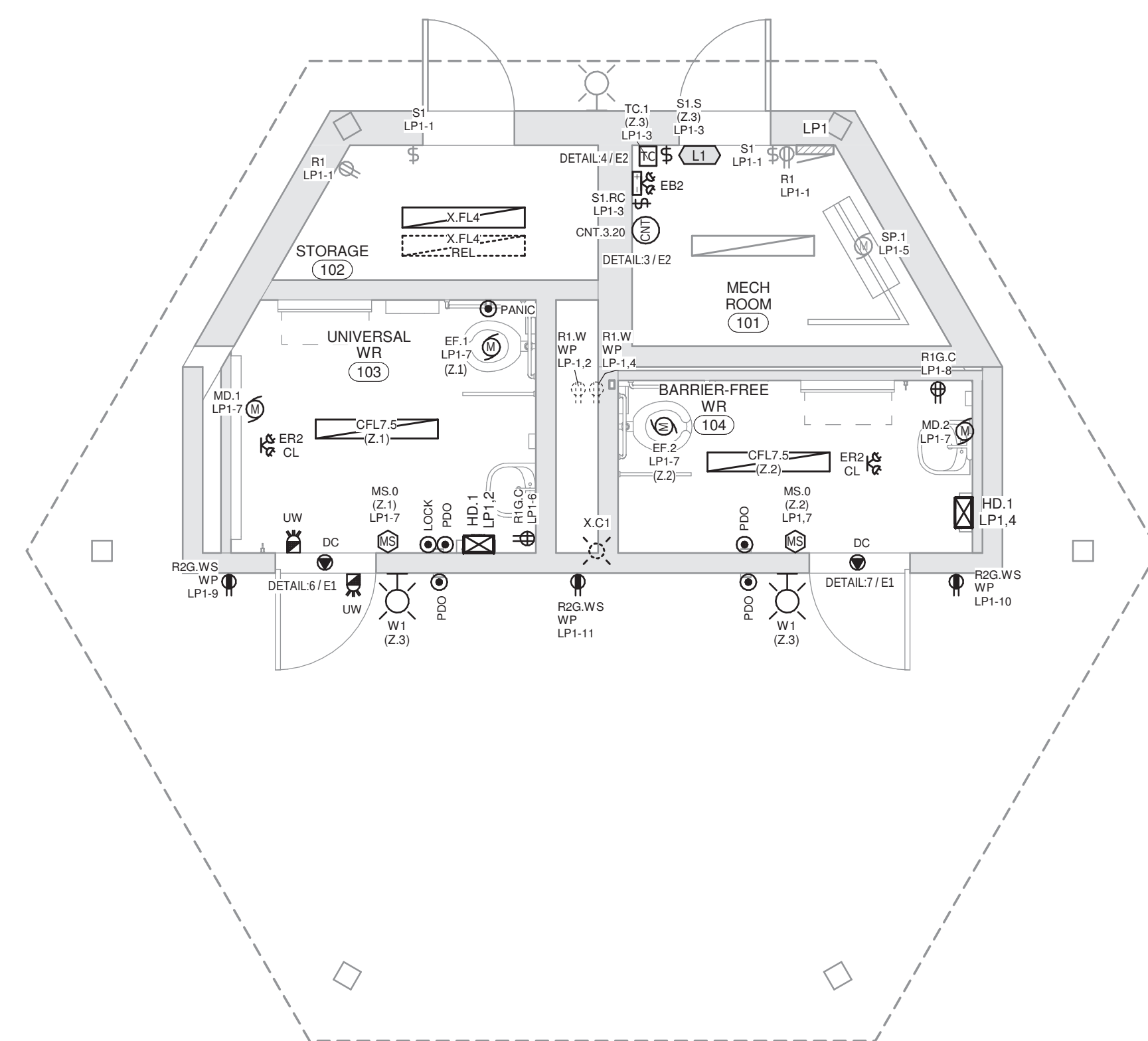
2024-09-10 11:35:02 AM



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### 1 - Total New/Relocated - Low Voltage Device Schedule

CURRENT SCHEDULE PHASE: Tender		SHOWING PHASE ITEMS: Show All		Phase Added
QTY	Type	Conduit	Description	
1	LOCK	16mm EMT	Universal Washroom Lock Button. Device box & conduit to Door controller.	Tender
1	PANIC	16mm EMT	Universal Washroom Panic Button. Device box & conduit to Door controller.	Tender
4	PDO	16mm EMT	Power Door Operator; Device box & conduit to Door controller.	Tender
2	LW	16mm EMT	Universal Washroom AV Sounder; Device Box @ 2300mm; Conduit to Door Controller	Tender
Total: 8				

### 2 - Total New/Relocated - Electrical Equipment Schedule

CURRENT SCHEDULE PHASE: Tender		SHOWING PHASE ITEMS: Show All		Enclosure	Mounting	Phase Added
Qty	Equip ID	Description	Type Comments			
2	HD.1	Hand Dryer	120V, 1.2-2A 1450W; White Thermoset Resin; 8 second PCR guideline drytime; 62-75dB(A), 34-64 CFM; 33C to 67C; 322mm H x 170mm D x 290mm W; Mounted at 1140mm Mens, 1090mm Womens Washroom.	Type 1	Surface	Tender
Total: 2						

### 3 - Total New/Relocated - Electrical Device Schedule

CURRENT SCHEDULE PHASE: Tender		SHOWING PHASE ITEMS: Show All		Phase Added
Qty	Type ID	Description	Type Comments	
2	DC	Direct Hardware Connection	Powered Door Controller; Wired to line side of local lighting circuit. Estimated ~300W non-continuous load.	Tender
2	R1.W	15A Duplex Receptacle	c/w Extra Duty While in Use Cover; Expandable low profile type TayMac ML500G or equal.	Tender
2	R1G.C	15A Duplex Receptacle	Class A - GFI Receptacle; Mounted at Counter Height, 4" Above Backsplash.	Tender
3	R2G.WS	20A Duplex Receptacle	Class A - GFI Receptacle; c/w Extra Duty While in Use Cover; Expandable low profile type TayMac ML500G or equal. Surface mounted in cast aluminum. Wiring routed through back of device.	Tender
Total: 9				

### 5 - Total New/Relocated - Lighting Control Device Schedule

CURRENT SCHEDULE PHASE: Tender		SHOWING PHASE ITEMS: Show All		Phase Added		
Qty	Type	Mfg.	Model	Description	Type Comments	
1	CNT.3.20	TBD	TBD	Electrically Held Lighting Contactor, 3-Pole Normally Open	20A, 120V/120V; Provide Steel Junction box high on wall level. Wire all exterior electrical receptacle through contactor; Controlled by local master switch.	Tender
2	MS.0	Sensor Switch	WSX WH	PIR Wall Switch Occ Sensor	120V; Auto On/Off. Program to turn off lighting fixture and fans after 2.5 minutes of vacancy.	Tender
1	S1.RC	TBD	TBD	Switch, 1-Pole Architectural Decora Style. Surface mounted. Provide lamacoid label "EXTERIOR RECEPTACLE CONTROL" on device cover plate.	120V	Tender
1	S1.S	TBD	TBD	Switch, 1-Pole Architectural Decora Style. Surface mounted	120V	Tender
1	TC.1	Intermatic	ET2805C	INTERMATIC (ET2805C) 7-DAY ASTRONOMICAL TIME CLOCK, 1 CIRCUIT	Circuit #1: Contractor to Program Time Clock: Set Astro Zone = North; Set Current Time; Set astro time as follows: Google <Project City Name> Sunrise Sunset & Set sunup, sunset values. No Fixed Events, Lighting on Between Dusk and Dawn	Tender
Total: 6						

### 6 - Total New/Relocated - Lighting Fixture Schedule

CURRENT SCHEDULE PHASE: Tender		SHOWING PHASE ITEMS: Show All		Phase Added					
Qty	Image	Type	Model#	Description	Mounting	Height	Remarks		
2		CFL7.5	Luminaire LED	CLF7 4FT 50W 35K NODIM MVOLT WHT	Recessed	2.4 m	Wall / Ceiling LED	120V, 50W, 5279LM, 35k; 4ft Length; Steel Housing; White Finish; Vandal Resistant	Tender
1		EB2	Stanpro	SLA12-2L	Wall	2300mm	Easy Out Steel Battery Unit, Emergency Light	12V, 72W for 30min, 2-2.5W Par18 LED Heads (2x183lm), White, Don't exceed battery capacity with additional remote lighting heads, Connect to Line Side of Local Lighting Circuit	Tender
2		ER2	Stanpro	SWN.2.06-24V-4W.LR.BK	Wall	2300mm	Weatherproof Remote Head	06-24V, 2-4W LR MR16 LED Heads (2x310lm), Weatherproof, Black, Connect to nearest battery unit without exceeding battery capacity	Tender
2		W1	Lithonia	LED-P2-30K-80CRI-VF-MVOL T-SRM-PE-DOBXD	Wall	2.7m	LED Wall Sconce	120V-277V; 15W; 1800 Lumens; 3000K Color Temp.; 80CRI; Visual comfort forward throw distribution. Button type photocell. Dark bronze finish.	Tender
1		X.FL4	TBD	Existing 4' Fluorescent Light			TBD	To be reinstalled	Tender
Total: 8									

### 7 - Total New/Relocated - Mechanical Equipment Schedule

CURRENT SCHEDULE PHASE: Tender		SHOWING PHASE ITEMS: Show Previous + New		E=Electrical, M=Mechanical										
QTY	Type ID	Description	VOLTAGE	ELECTRICAL				REMOTE ITEMS				Item Comments	Phase Added	
				PHASE	HP - A - KW	MCA	MOP	Interlock With	Isolation Switch By	Weather Proof	Wiring By:			
1	EF.1	Exhaust Fan	120 V	1	2.5 A	15 A	MD.1							Tender
1	EF.2	Exhaust Fan	120 V	1	2.5 A	15 A	MD.2							Tender
1	MD.1	Motorized Damper	120 V	1	15 A	15 A	EF.1			No		Interlocked with Exhaust Fan EF.1		Tender
1	MD.2	Motorized Damper	120 V	1	15 A	15 A	EF.2			No		Interlocked with Exhaust Fan EF.2		Tender
4														

## 1 Proposed - Washroom - Power, Lighting & Life Safety

### PANEL: LP1

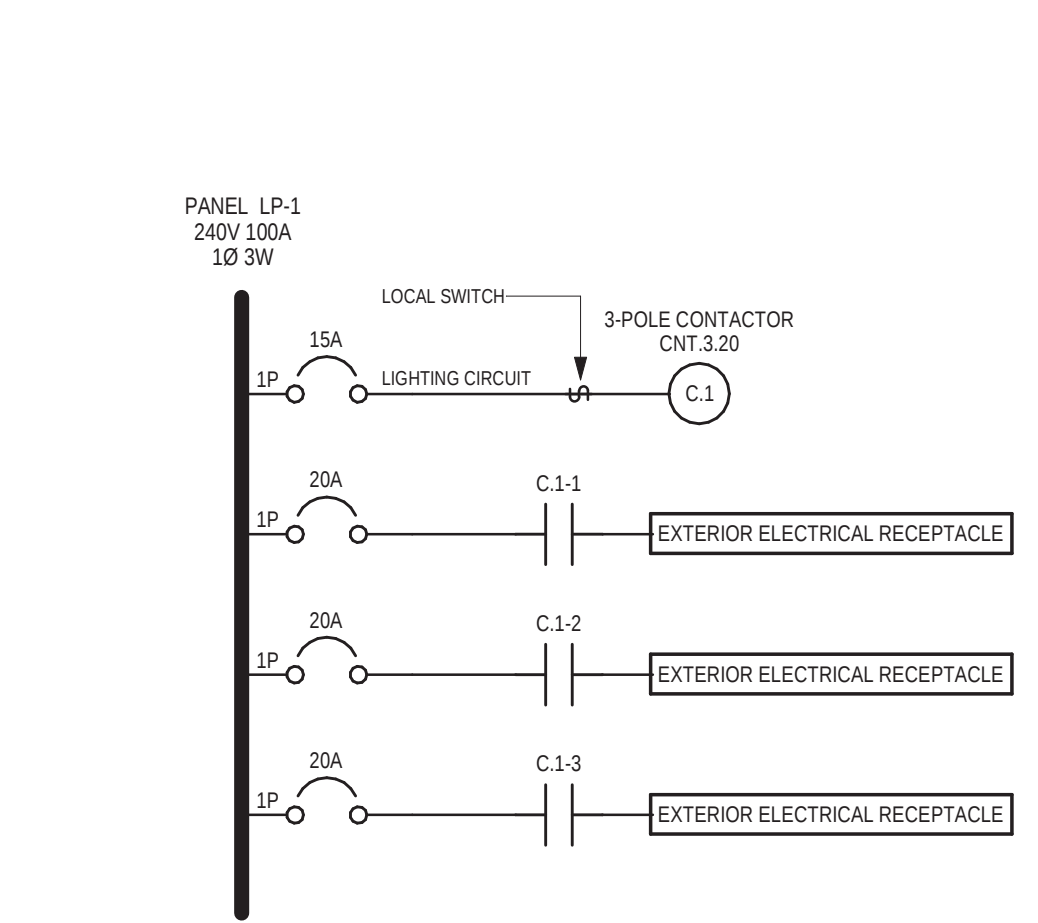
Location: Volts: 240/120 1Ø A.I.C. Rating: 10KAIC  
 Supply From: Phases: 1 Mains Type: C.B  
 Mounting: Surface Wires: 3 Mains Rating: 100 A  
 Enclosure: Type 1 MCB Rating:

Notes:  
Existing SQUARE D QOC12UC. Hatch indicates existing.

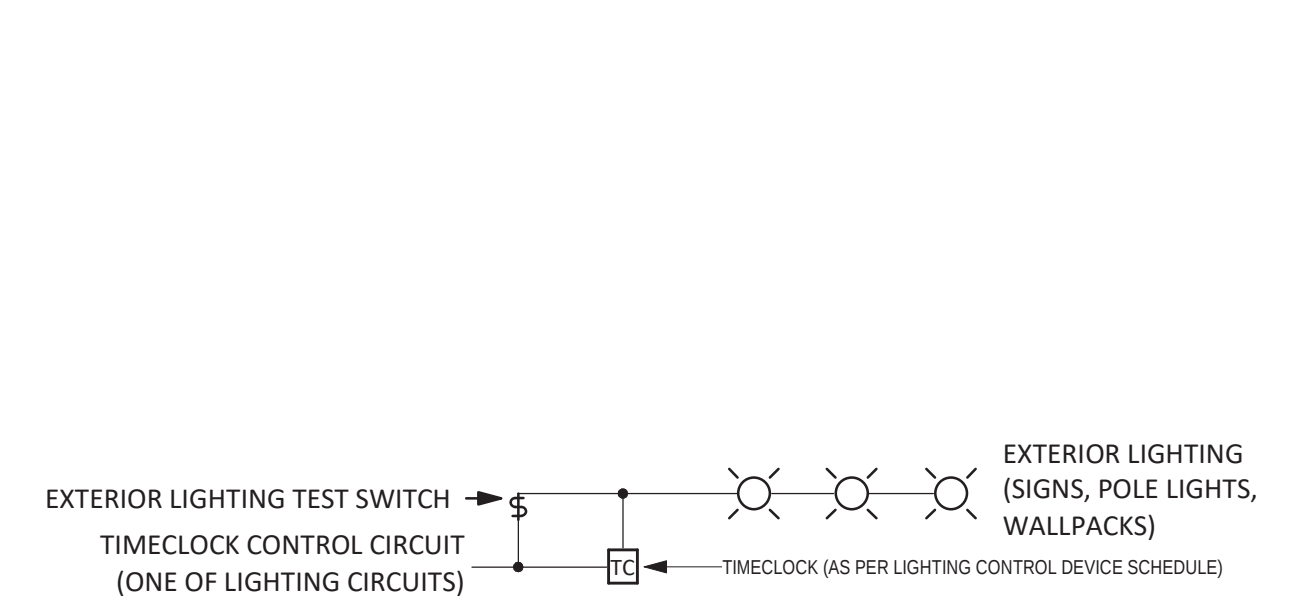
CKT	Circuit Description	Trip	Poles	A	B	Circuit Description	CKT
LP1-1	Building Lights & Rec	15 A	1	1	15 A	Xlerator - Hand Dryer	LP1-2
LP1-3	Gazebo Lights	15 A	1	1	15 A	Xlerator - Hand Dryer	LP1-4
LP1-5	Splash Pad	15 A	1	1	15 A	WR Rec	LP1-6
LP1-7	Exhaust Fan & Damper	15 A	1	1	15 A	WR Rec	LP1-8
LP1-9	Exterior Rec	20 A	1	1	20 A	Exterior Rec	LP1-10
LP1-11	Exterior Rec	20 A	1	1	20 A	Exterior Rec	LP1-12

### Sheet Notes

#	NOTE
L1	Rework existing circuit LP-1.3 to feed exterior lighting fixtures type W1. To be controlled by a local switch.



3 Exterior Receptacle Control



- NOTES:
- REFER TO LIGHTING CONTROL DEVICE SCHEDULE FOR LIGHTING CONTACTORS REQUIRED.
  - CONTRACTOR TO PROGRAM ASTRONOMICAL TIME CLOCK AS INDICATED IN LIGHTING CONTROL SCHEDULE.
  - LIGHTING CONTROLS MOUNTED REMOTELY (NOT WITHIN SIGHT OF CONTROLLED LIGHTING), SHALL BE CLEARLY LABELLED WITH A TYPED LABEL ON THE DEVICE FACEPLATE INDICATING THE AREA OF THE LIGHTING CONTROLLED.

4 Lighting Controls - Time Clock



NO.	DESCRIPTION	DATE
4	Issued For Tender R1	Sep 10, 2024
2	Issued For Permit/Tender	Jul 10, 2023
1	Issued For Review	Jan 03, 2023

### REVISION SCHEDULE



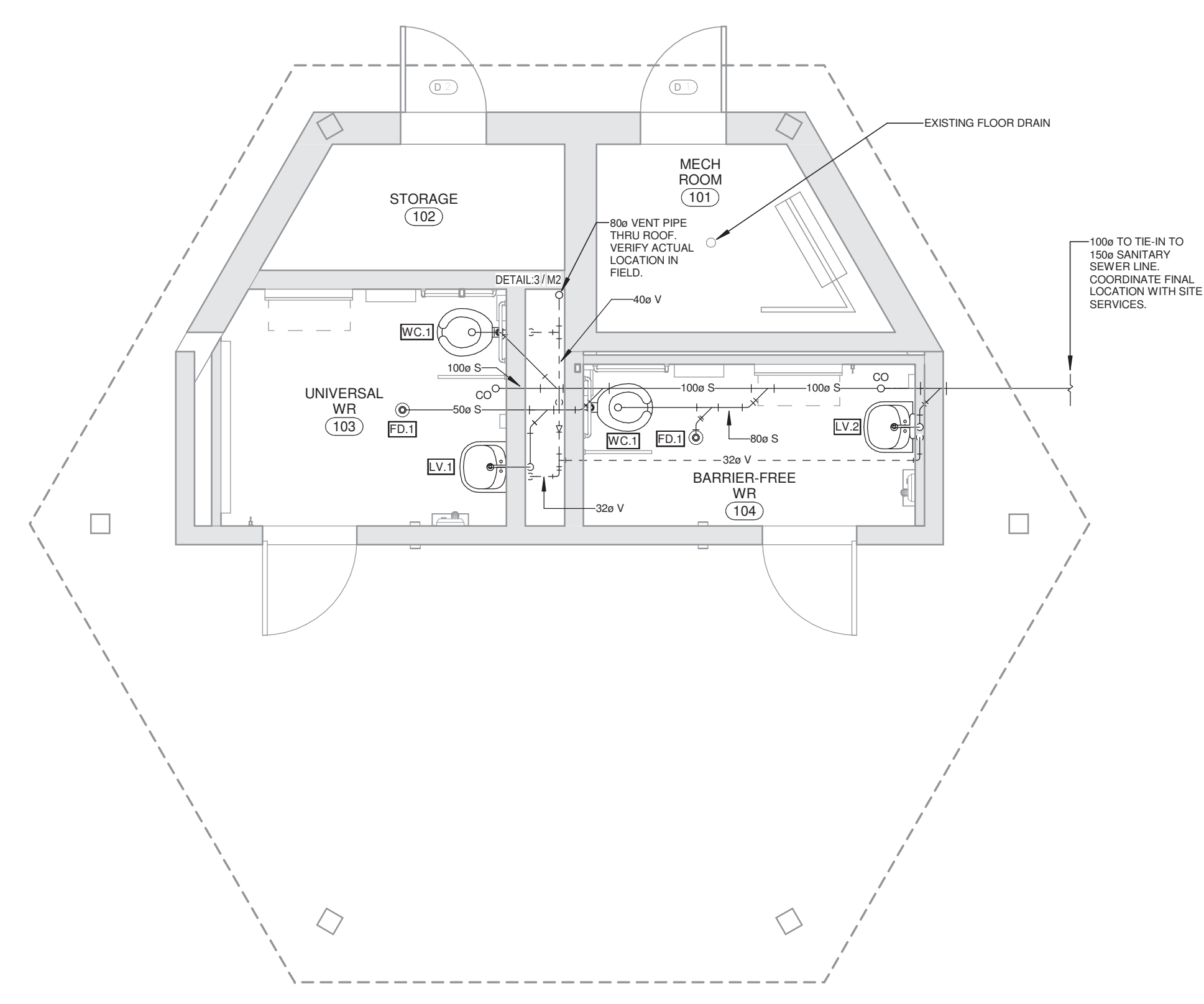
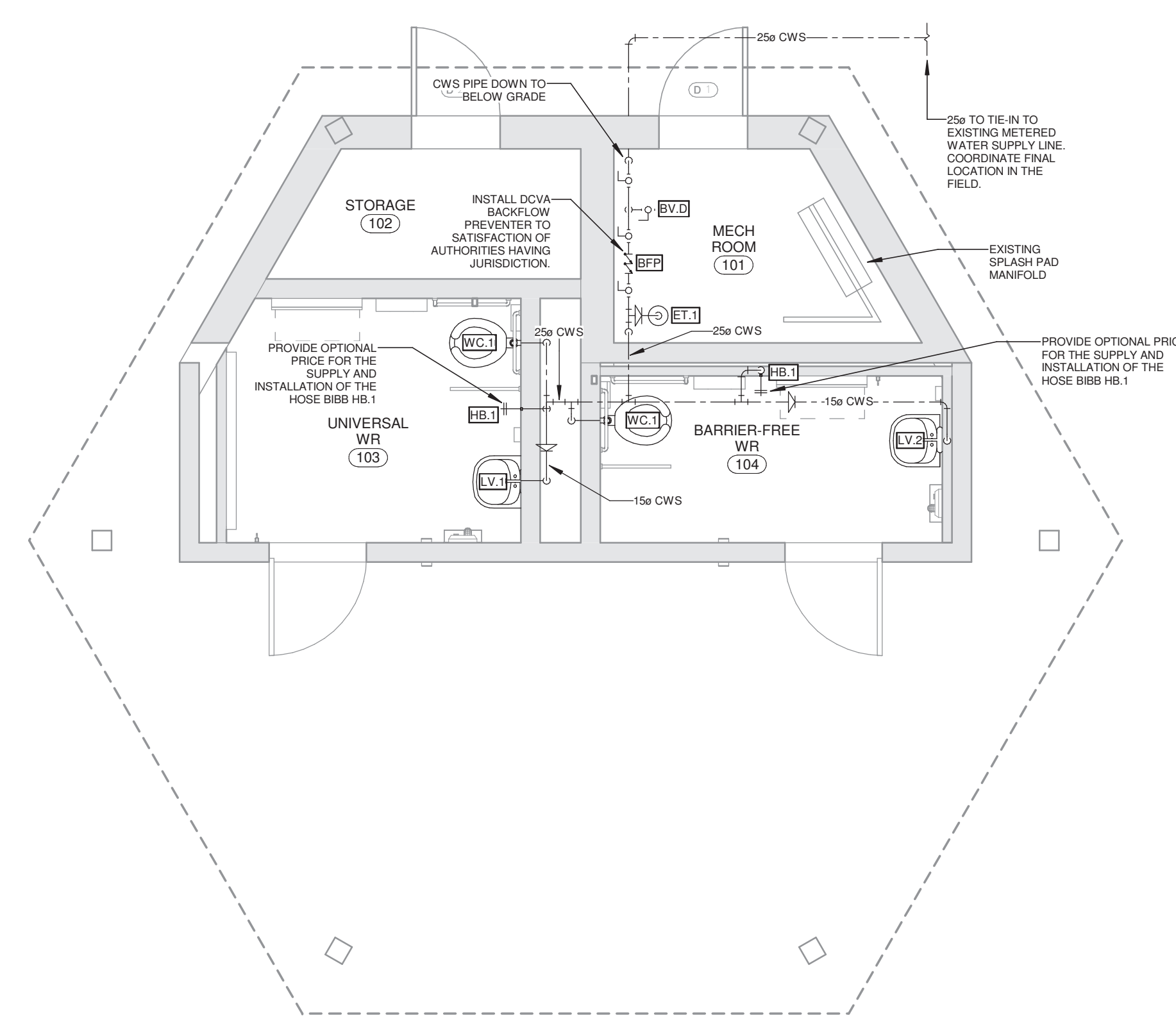
PROJECT NAME  
**Dennison Park WR**  
70 Leamont Ave. Caledon, ON

DRAWING TITLE  
**Electrical Plan**

SCALE	DRAWING NUMBER
As indicated	<b>E2</b>
SHEET SIZE 24"x36"	
PROJECT NUMBER 22083	



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1 Proposed - Washroom - Domestic Water Plan  
1 : 50

2 Proposed - Washroom - Sanitary & Vent Plan  
1 : 50

New Plumbing Fixture Schedule							
Mark	QTY	Description	Connections (mm)			Remarks	Phase Added
			CW	HW	D V		
FD.1	2	FLOOR DRAIN: WATTS 200-A OR APPROVED EQUAL	15	0	50 0	Cast iron body C/W adjustable strainer, trap priming system, trap.	Tender
LV.1	1	WALL HUNG LAVATORY - BARRIER FREE AMERICAN STANDARD MURRO 0955-001EC, White DELTA COMMERCIAL 59112250 CHROME, Electronic Battery-Operated Faucet w/ integral waterproof sensor and connector and control box	20	0	32 32	Maximum 1.9 Litres/minute (0.5 GPM). Install according to barrier free requirements. C/W wall carrier, 0059-020EC China shroud, offset trap, open grid strainer, flow restrictor supplies with stops, escutcheons.	Tender
LV.2	1	WALL HUNG LAVATORY - BARRIER FREE AMERICAN STANDARD MURRO 0955-001EC, White DELTA COMMERCIAL 59112250 CHROME, Electronic Battery-Operated Faucet w/ integral waterproof sensor and connector and control box	20	0	32 32	Maximum 1.9 Litres/minute (0.5 GPM). Install according to barrier free requirements. C/W wall carrier, 0059-020EC China shroud, offset trap, open grid strainer, flow restrictor supplies with stops, escutcheons.	Tender
WC.1	2	WATER CLOSET (FLUSHOMETER) - BARRIER FREE AMERICAN STANDARD Madera FloWise Elongated Flushometer Toilet 3463.001 Elongated bowl only, back spud, white Flushometer: Delta 1601T6203 Electronic Activated Battery-powered Flush Valve, back inlet, free standing, 1.5" spud, with integral sensor and frame	25	0	80 40	Maximum 6 Litres/flush (1.6 GPF). Install according to barrier free requirements. C/W White open front seat less cover, supply with stop.	Tender

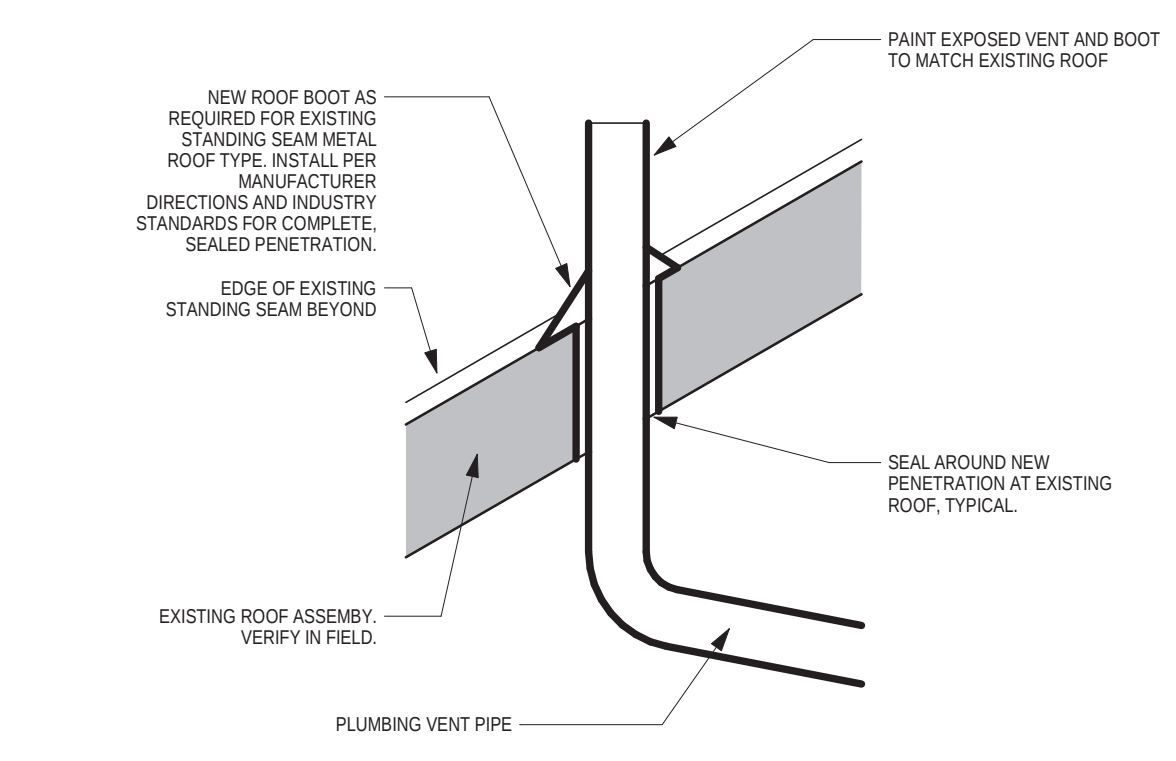
New Plumbing Equipment Schedule						
Mark	QTY	Description	Connections (mm)		Remarks	Phase Added
			CW	HW		
ET.1	1	POTABLE WATER EXPANSION TANK Model: AMTROL ST-5 THERM-X-TROL Capacity: 2.0 USG				Tender

New Pipe Accessory Schedule							
Mark	QTY	Description	Connections (mm)			Remarks	Phase Added
			CW	HW	D V		
BFP	1	BACKFLOW PREVENTER	25	25		Watts or approved equal.	Tender
BV.1	3	BALL VALVE	25	25		Watts or approved equal.	Tender
BV.D	1	BALL VALVE - DRAIN	15	15		Watts or approved equal. Shall be provided at lowest point of installation for draining and purging of system. Verify actual location in the field.	Tender

New Pipe Fitting Schedule							
Code	System	Name	Type	Size	QTY	Phase Added	
							CWS
CWS	Cold Water Supply	Elbow	20	20	1	Tender	
CWS	Cold Water Supply	Elbow	25	25	13	Tender	
CWS	Cold Water Supply	Tee	25	25-25	7	Tender	
CWS	Cold Water Supply	Reducer	25	15	3	Tender	
CWS	Cold Water Supply	Reducer	25	20	1	Tender	
S	Sanitary			100	100	1	Tender
S	Sanitary			100		2	Tender
S	Sanitary	Elbow		32	32	8	Tender
S	Sanitary	Elbow		50	50	4	Tender
S	Sanitary	Elbow		80	80	4	Tender
S	Sanitary	Elbow		100	100	1	Tender
S	Sanitary	Wye 45 Deg Reducing		50	50-32	1	Tender
S	Sanitary	Wye 45 Deg Reducing		80	80-50	1	Tender
S	Sanitary	Wye 45 Deg Reducing		100	100-32	1	Tender
S	Sanitary	Wye 45 Deg Reducing		100	100-50	1	Tender
S	Sanitary	Wye 45 Deg Reducing		100	100-80	2	Tender
S	Sanitary	Wye 45 Deg Reducing		100	100-100	1	Tender
V	Vent	Elbow		32	32	4	Tender
V	Vent	Elbow		40	40	2	Tender
V	Vent	Reducer		40	32	1	Tender
V	Vent	Reducer		80	40	1	Tender
V	Vent	Tee		32	32-32	1	Tender
V	Vent	Tee		40	40-40	2	Tender

New Pipe Schedule					
Code	System	Name	Size	Length (mm)	Phase Added
CWS	Cold Water Supply		20	526	Tender
CWS	Cold Water Supply		25	22662	Tender
S	Sanitary		32	2957	Tender
S	Sanitary		50	2705	Tender
S	Sanitary		80	2540	Tender
S	Sanitary		100	5339	Tender
V	Vent		32	9599	Tender
V	Vent		40	6082	Tender
V	Vent		80	2266	Tender

Optional Price Plumbing Fixture Schedule							
Mark	QTY	Description	Connections (mm)			Remarks	Phase Added
			CW	HW	D V		
HB.1	2	VANDAL RESISTANT HOSE BIBB Model: WATTS HY-430 Wall Hydrant	25	0	0 0	C/W chrome-plated face, integral vacuum breaker, loose key. PROVIDE OPTIONAL PRICE FOR THE SUPPLY AND INSTALLATION OF THE HOSE BIBB.	Tender



3 Vent Pipe Roof Detail



NO.	DESCRIPTION	DATE
4	Issued For Tender R1	Sep 10, 2024
3	Reissued For Permit/Tender	Sep 05, 2024
2	Issued For Permit/Tender	Jul 10, 2023
1	Issued For Review	Jan 03, 2023



PROJECT NAME  
**Dennison Park WR**  
 70 Leamont Ave.  
 Caledon, ON

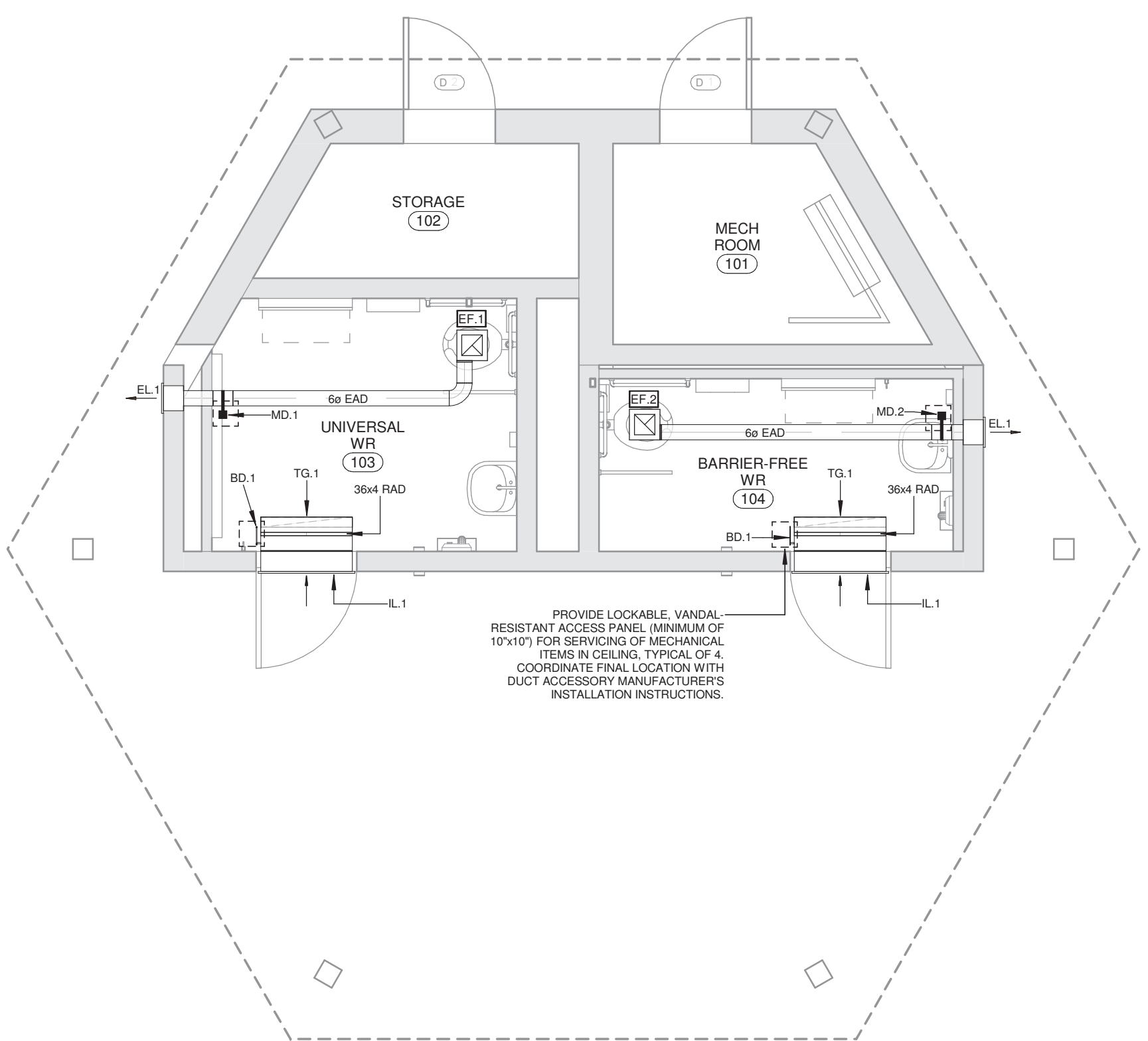
DRAWING TITLE  
**Plumbing Plan**

SCALE As indicated	DRAWING NUMBER <b>M2</b>
SHEET SIZE 24"x36"	
PROJECT NUMBER 22083	

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New Mechanical Equipment Schedule				
CURRENT PHASE: Tender			CURRENT ITEMS: Show All	
Mark	QTY	Description	Remarks	Phase Added
EF.1	1	WASHROOM CEILING EXHAUST FAN Model: Pennbarry ZSH Cabinet Ceiling Fan w/ Grille Specs: 128CFM @ 0.25" ESP, 2.8 soles, 1550 RPM Electrical: 120V/1Ph/60Hz, 1.0A	Shall be activated by motion sensor provided by Electrical. Timeout shall be set to 30s on vacancy.	Tender
EF.2	1	WASHROOM CEILING EXHAUST FAN Model: Pennbarry ZSH Cabinet Ceiling Fan w/ Grille Specs: 128CFM @ 0.25" ESP, 2.8 soles, 1550 RPM Electrical: 120V/1Ph/60Hz, 1.0A	Shall be activated by motion sensor provided by Electrical. Timeout shall be set to 30s on vacancy.	Tender

New Air Terminal Schedule							
CURRENT PHASE: Tender			CURRENT ITEMS: Show All				
Mark	QTY	Type	Model	Face	Neck	Remarks	Phase Added
EL.1	2	EXHAUST LOUVER WALL BOX	VENTEX 2425	300 x 300	150ø	4" depth, 4-7/8" blade centers, 45 deg blade angle complete with birdscreen.	Tender
IL.1	2	INTAKE LOUVER	NAILOR 51DG5	38"x6"	36"x4"	Aluminum wall transfer louver. Single flange, inverted "v" louver. Shall be ready to receive paint coat in field.	Tender
TG.1	2	TRANSFER GRILLE	PRICE 80	38"x6"	36"x4"	White. Order to mount to fit to drywall ceiling.	Tender

New Duct Accessory Schedule					
CURRENT PHASE: Tender			CURRENT ITEMS: Show All		
Mark	QTY	Type	Size	Remarks	Phase Added
BD.1	2	Balancing Damper - Rectangular	36x4-36x4	Nailor 1810 Parallel Blade Manual Balancing damper, stainless steel construction. Damper shall be closed prior to onset of non-occupancy during winter. Provide appropriately-sized hatch to access damper in ceiling space.	Tender
MD.1	1	Motorized Damper	6ø-6ø	Motorized damper with actuator. Shall be low leakage type with pressure sensitive blade edge PVC seals, 2-position ON/OFF, with operator outside of airstream. Provide appropriately-sized hatch to access damper in ceiling space. Shall be interlocked with EF.1 and shall be in open position when EF.1 is operational. Electrical Data: 120V/1Ph/60Hz.	Tender
MD.2	1	Motorized Damper	6ø-6ø	Motorized damper with actuator. Shall be low leakage type with pressure sensitive blade edge PVC seals, 2-position ON/OFF, with operator outside of airstream. Provide appropriately-sized hatch to access damper in ceiling space. Shall be interlocked with EF.2 and shall be in open position when EF.2 is operational. Electrical Data: 120V/1Ph/60Hz.	Tender

New Duct Schedule						
CURRENT PHASE: Tender			CURRENT ITEMS: Show All			
Code	System	Name	Type	Size (in)	Length (mm)	Phase Added
EAD	Exhaust Air		Round Duct	6ø	5465	Tender
RAD	Return Air		Rectangular Duct	36x4	99	Tender

New Duct Fitting Schedule						
CURRENT PHASE: Tender			CURRENT ITEMS: Show All			
Code	System	Name	Type	Size	QTY	Phase Added
EAD	Exhaust Air		Round Elbow	6ø-6ø	1	Tender
RAD	Return Air		Rectangular Elbow	4x36-4x36	2	Tender

**MECHANICAL ABBREVIATIONS**

- AC AIR CONDITIONER
- AD ACCESS DOOR
- AFF ABOVE FINISHED FLOOR
- ASHRAE AMERICAN SOCIETY OF HEATING, REFRIGERATING, AND AIR CONDITIONING ENGINEERS
- B/W BETWEEN
- BBH ELECTRIC BASEBOARD HEATER
- BFP BACKFLOW PREVENTER
- BT BATHTUB
- BTU BRITISH THERMAL UNIT
- BTUH BTU PER HOUR
- BV BALL VALVE
- C/W COMPLETE WITH
- CO CLEANOUT
- CTE CONNECT TO EXISTING
- DB DRY BULB TEMPERATURE
- DCVA DOUBLE CHECK VALVE ASSEMBLY
- DF DRINKING FOUNTAIN
- DG DOOR GRILLE
- DIA DIAMETER
- DN DOWN
- DPDT DOUBLE POLE DOUBLE THROW
- DTBS DOWN TO BELOW SLAB
- DTL DETAIL
- EAD EXHAUST AIR DUCT
- ECM ELECTRICALLY COMMUTATED MOTOR
- EDF ELECTRIC DRINKING FOUNTAIN
- EEW EMERGENCY EYE WASH
- EEWS EMERGENCY EYE WASH AND SHOWER
- EL ELEVATION
- EX EXISTING
- EXP EXPANSION
- FD FLOOR DRAIN
- FFD FUNNEL FLOOR DRAIN
- FFH ELECTRIC FAN FORCED HEATER
- FHC FIRE HOSE CABINET
- FLA FULL LOAD AMPS
- FPM FEET PER MINUTE
- GC GENERAL CONTRACTOR
- GPM GALLONS PER MINUTE
- HB HOSE BIBB
- HD HUB DRAIN
- HP HORSEPOWER
- HPF HIGH PASS FILTER
- HZ HERTZ
- ID INSIDE DIAMETER
- KS KITCHEN SINK
- KW KILOWATT
- L LAVATORY
- LB LAUNDRY BOX
- LPH LITERS PER HOUR
- LPS LITERS PER SECOND
- MBH 1000 BTUS PER HOUR
- MCA MINIMUM CIRCUIT AMPACITY
- MERV MINIMUM EFFICIENCY REPORTING VALUE
- MFR MANUFACTURER
- NC NORMALLY CLOSED
- NFHB NONFREEZE HOSE BIBB
- NIC NOT IN CONTRACT
- NO NORMALLY OPEN
- NPS NOMINAL PIPE SIZE
- NTS NOT TO SCALE
- O/H OVERHEAD
- OA OUTSIDE AIR
- OAD OUTSIDE AIR DUCT
- OBVD OPPOSED BLADE VOLUME DAMPER
- OC ON CENTER
- OD OUTSIDE DIAMETER
- OER OPEN ENDED RETURN
- PH PHASE
- PPM PARTS PER MILLION
- PSI POUNDS PER SQUARE INCH
- RAD RETURN AIR DUCT
- RECT RECTANGULAR
- RH ROOF HOPPER
- RPM REVOLUTIONS PER MINUTE
- RV RELIEF VENT
- RWL RAIN WATER LEADER
- S SINK
- SAD SUPPLY AIR DUCT
- SH SHOWER
- SHD SHOWER DRAIN
- SMACNA SHEET METAL AND AIR CONDITIONING CONTRACTORS' NATIONAL ASSOCIATION
- SS SERVICE SINK
- SYMBOL MEANING
- T&P TEMPERATURE AND PRESSURE
- TD TRANSFER DUCT
- TR TONS OF REFRIGERATION
- TYP TYPICAL
- U URINAL
- U/C UNDERCUT
- UL UNDERWRITERS LABORATORIES
- ULC UNDERWRITERS LABORATORIES CANADA
- USG US GALLONS
- UV ULTRAVIOLET
- V VOLTS
- VTR VENT THROUGH ROOF
- VTV VARIABLE VOLUME & TEMPERATURE
- W/O WITHOUT
- WB WASH BASIN
- WC WATER CLOSET
- WH WATER HEATER
- WM WATER METER
- WT WEIGHT

1 Proposed - Washroom - HVAC Plan  
1 : 50



4	Issued For Tender R1	Sep 10, 2024
3	Reissued For Permit/Tender	Sep 05, 2024
2	Issued For Permit/Tender	Jul 10, 2023
1	Issued For Review	Jan 03, 2023

NO.	DESCRIPTION	DATE
REVISION SCHEDULE		



1920 YONGE ST., SUITE 200  
TORONTO, ON, M4S 3E2

PROJECT NAME  
**Dennison Park WR**  
70 Leamont Ave.  
Caledon, ON

DRAWING TITLE  
**HVAC Plan**

SCALE As indicated	DRAWING NUMBER <b>M3</b>
SHEET SIZE 24"x36"	PROJECT NUMBER 22083

CONSTRUCTION NOTES:

A. GENERAL

- 1. ALL WORK SHALL CONFORM TO THE ONTARIO BUILDING CODE AND ALL STANDARDS REFERENCED WITHIN LOCAL REGULATIONS AND BYLAWS, AND THE OCCUPATIONAL HEALTH AND SAFETY ACT FOR CONSTRUCTION PROJECTS. THE LATEST VERSIONS OF STANDARDS SHALL APPLY.
2. READ THESE DRAWINGS IN CONJUNCTION WITH ALL RELATED CONTRACT DOCUMENTS AND CONSULTANT DRAWINGS.
3. THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL CONDITIONS WHICH MAY ADVERSELY AFFECT THE PROPER COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS IN RELATION TO THE DRAWINGS AND NOTIFY THE ENGINEER TO ALL DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
4. DRAWINGS ARE NOT TO BE SCALED.
5. THE DESIGN DOCUMENTS ARE PREPARED SOLELY FOR THE USE WITH THE PARTY WHOM THE ENGINEER HAS ENTERED INTO CONTRACT. THERE ARE NO REPRESENTATIONS MADE TO ANY PARTY WITH WHOM THE ENGINEER HAS NOT ENTERED INTO CONTRACT.
6. THE CONTRACTOR SHALL RETAIN AN INDEPENDENT TESTING AND INSPECTION COMPANY TO ENSURE THAT THE WORK IS DONE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS INCLUDING COMPACTION TESTING, REINFORCING STEEL PLACEMENT, CONCRETE TESTING AND STRUCTURAL STEEL.
7. THE ENGINEER SHALL BE GIVEN MINIMUM 24 HOURS NOTICE BY THE CONTRACTOR FOR ALL CONSTRUCTION REVIEWS, SITE VISITS AND REVIEWS BY THE ENGINEER OR THEIR REPRESENTATIVES ARE INTENDED FOR THE SOLE PURPOSE OF ASCERTAINING CONFORMANCE WITH THE GENERAL DESIGN CONCEPT. THE REVIEWS SHALL NOT MEAN THAT THE ENGINEER HAS SEEN ALL CONSTRUCTION PROCEDURES. REVIEW BY THE ENGINEER SHALL NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY FOR ERRORS AND OMISSIONS AND FOR MEETING ALL THE REQUIREMENTS OF THE CONSTRUCTION AND CONTRACT DOCUMENTS.
8. THE CONTRACTOR SHALL MAKE ADEQUATE PROVISIONS FOR CONSTRUCTION LOADS AND TEMPORARY BRACING TO ENSURE SAFETY AND THE BUILDING IS PLUMB AND IN TRUE ALIGNMENT AT ALL PHASES OF CONSTRUCTION AS PER O.REG 21(91). ALL BRACING MEMBERS SHOWN ON THE DRAWINGS ARE DESIGNED FOR THE FINISHED STRUCTURE AND MAY NOT BE SUFFICIENT FOR ERECTION PURPOSES. SHORING AND BRACING IS REQUIRED UNTIL PROPOSED STRUCTURE IS PROPERLY IN PLACE. SHORING AND BRACING SHALL BE DESIGNED, REVIEWED AND APPROVED BY A PROFESSIONAL ENGINEER. SHOP DRAWINGS SHALL BE SUBMITTED WITH P.ENG'S STAMP FOR OUR REVIEW PRIOR TO CONSTRUCTION.
9. NO SUBSTITUTIONS FROM THE SPECIFIED PRODUCTS AND MATERIALS ARE PERMITTED WITHOUT THE APPROVAL OF THE ENGINEER.

TESTING REQUIREMENTS

Table with 2 columns: TEST and COMMENTS. Rows include SOIL BEARING CAPACITY, SOIL COMPACTION, REINFORCING STEEL PLACEMENT, CONCRETE COMPRESSIVE TESTS, CONCRETE SLUMP, and STRUCTURAL STEEL CONNECTIONS.

B. DESIGN PARAMETERS

- 1. REFERENCE FRAMING PLANS FOR DESIGN LOADS OF FLOORS AND ROOFS.
2. BUILDING IMPORTANCE CATEGORY: NORMAL
3. CLIMATIC DESIGN DATA: SNOW/WIND, EARTHQUAKE
4. ADDITIONAL DEAD LOAD ALLOWANCE SHALL BE INCLUDED IN ADDITION TO THE LOADS SPECIFIED ON THE DRAWINGS FOR PIPING IN EXCESS OF 3" (76mm) CARRYING FLUIDS (SPRINKLERS), ROOF TOP MECHANICAL UNITS AND ROOF TOP PATIO SLABS.
5. ALL ROOF FRAMING ELEMENTS INCLUDING JOISTS, OWSJ AND TRUSSES ARE TO BE DESIGNED FOR WIND UPLIFT IN ACCORDANCE WITH OBC 2012 AND NBC 2015 STRUCTURAL COMMENTARIES USING THE ABOVE NOTED DESIGN PARAMETERS.
C. FOUNDATIONS
1. FOUNDATIONS ARE TO BEAR DIRECTLY ON UNDISTURBED SOIL OR COMPACTED FILL WITH A MINIMUM BEARING CAPACITY OF 150 kPa SLS AND 225 kPa ULS.
2. REMOVE ALL TOP SOIL, ORGANIC MATERIAL, LOOSE FILL AND OTHER DELETERIOUS MATERIAL FROM THE BUILDING AREA PRIOR TO CONSTRUCTION.
3. PROOF ROLL EXISTING FILL MATERIALS. SOFT AREAS UNCOVERED DURING EXCAVATION SHALL BE SUB-EXCAVATED TO SOUND MATERIAL AND REPLACED WITH CLEAN, FREE DRAINING FILL COMPACTED TO 100% STANDARD PROCTOR MAXIMUM DRY DENSITY (SPMDD).
4. COMPACTED FILL BENEATH FOOTINGS AND FLOOR SLABS SHALL BE COMPACTED IN MAXIMUM 6" (152mm) LAYERS.
5. PLACE ALL FOOTINGS EXPOSED TO FREEZING WEATHER MINIMUM 4'-0" (1220mm) BELOW GRADE UNLESS OTHERWISE PROTECTED. PROTECT SOIL BELOW AND ADJACENT TO ALL FOOTINGS FROM FREEZING DURING CONSTRUCTION.
6. NECESSARY PRECAUTIONS SHALL BE TAKEN TO ENSURE EXISTING FOOTINGS ARE NOT DISTURBED OR UNDERMINED DURING CONSTRUCTION.
7. BACKFILL AGAINST FOUNDATION WALLS IN SUCH A MANNER THAT THE LEVEL OF BACKFILLING ON ONE SIDE OF THE WALL IS NEVER MORE THAN 20" (508mm) HIGHER THAN THE LEVEL ON THE LOWER SIDE OF THE WALL EXCEPT WHERE TEMPORARY SUPPORT FOR THE WALL IS PROVIDED OR THE WALLS ARE DESIGNED FOR SUCH UNEVEN PRESSURES.
8. HORIZONTAL CONSTRUCTION JOINTS SHALL NOT OCCUR IN CONCRETE WALLS UNLESS APPROVED BY THE ENGINEER.

D. CONCRETE

- 1. CONCRETE WORK SHALL CONFORM TO THE LATEST VERSION OF CAN/CSA-A23.1, A23.2 AND A23.3.
2. CONCRETE PROPERTIES: (MINIMUM COMPRESSIVE STRENGTH MEASURED AT 28 DAYS UNLESS NOTED)
a) ALL CONCRETE UNLESS NOTED OTHERWISE - 20 MPa
b) SEE CHART FOR CONCRETE TYPES

Table titled 'CONCRETE PROPERTIES' with columns for CSA CLASS, MAX. COMP. STRENGTH (MPa), MAX. W/C RATIO, AIR CONTENT %, MAX. AGGREGATE (mm), and SLUMP (mm). Rows include FOOTINGS, SLAB ON GRADE, and FOUNDATION WALLS.

- 3. CONCRETE DESIGN IS BASED ON COMPRESSIVE STRENGTH. PHYSICAL PROPERTIES (SLUMP, AGGREGATE SIZE, ETC.) TO SUIT INSTALLATION (BY OTHERS) NOT TO AFFECT STRENGTH SPECIFIED.
4. ALL CONCRETE SHALL BE TESTED BY A CSA CERTIFIED CONCRETE TESTING LABORATORY. CONTRACTOR TO PROVIDE COPIES OF TESTING REPORTS TO THE ENGINEER. NOT LESS THAN ONE TEST SHALL BE MADE FOR EACH 100m³ OF CONCRETE WITH AT LEAST ONE TEST FOR EACH CLASS OF CONCRETE USED. A MINIMUM OF THREE TESTS IS REQUIRED FOR EACH CLASS.
5. SLUMP OF CONCRETE TO BE 80mm ±30mm PRIOR TO SUPER PLASTICIZERS BEING ADDED.
6. ALL CONCRETE FORMS ARE TO BE WET THOROUGHLY PRIOR TO PLACING CONCRETE. WATER CURING OF CONCRETE IS RECOMMENDED.
7. DO NOT ADD WATER TO THE CONCRETE.
8. ALL CONCRETE EXCEPT FOR CONCRETE SLABS 6" (152mm) OR LESS SHALL BE MECHANICALLY VIBRATED.
9. CONTROL JOINTS IN CONCRETE SLABS ON GRADE ARE TO BE SPACED AT MAXIMUM 30 TIMES THE SLAB THICKNESS NOT TO EXCEED 15'-0" (4570mm) AND A DEPTH OF 1/3 THE THICKNESS OF THE SLAB. CUT 50% OF THE REINFORCING STEEL AT CONTROL JOINT LOCATIONS.
10. REINFORCING STEEL SHALL CONFORM TO THE LATEST VERSIONS OF CAN/CSA-G30.18, REINFORCING BARS SHALL BE DEFORMED, GRADE 400 MPa.
11. MAINTAIN THE FOLLOWING CONCRETE CLEAR COVER TO REINFORCING:
a) 3" (76mm) FOR CONCRETE CAST AGAINST EARTH
b) 1 1/2" (38mm) FOR CONCRETE CAST AGAINST FORMWORK
c) 2 1/2" (64mm) FOR CONCRETE EXPOSED TO DE-ICING CHEMICALS
12. ALL REINFORCING STEEL, DOWELS AND ANCHOR BOLTS ARE TO BE CLEAN AND FREE OF RUST, DIRT, FORM RELEASE AGENT, ETC. PRIOR TO POURING CONCRETE.
13. LAP ALL REINFORCING AS PER REINFORCING STEEL CHART BELOW (MIN). LAP ALL HORIZONTAL BARS AT CORNERS WITH BENT DOWELS MEETING THE MINIMUM LAP REQUIREMENTS IN BOTH DIRECTIONS. SHOP FABRICATE ALL REINFORCING STEEL TO INCLUDE HOOKS AND BENDS.
14. REINFORCING STEEL, DOWELS AND ANCHOR BOLTS ARE TO BE SECURELY TIED PRIOR TO PLACING CONCRETE. REINFORCING STEEL REINFORCERS AND SUPPORTS SHALL BE MADE OF CONCRETE BLOCKS, PLASTIC OR WIRE.
15. DOWELS SHALL MATCH REINFORCING UNLESS NOTED OTHERWISE.
16. INSTALLATION OF ALL PROPRIETARY ANCHORS IS TO BE COMPLETED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION REQUIREMENTS. SPECIALIZED TRAINING MAYBE REQUIRED DEPENDING ON THE PRODUCT. CONTRACTOR IS TO CONTACT THE MANUFACTURER/SUPPLIER TO ARRANGE THE REQUIRED TRAINING.

REINFORCING STEEL MINIMUM LAP LENGTHS

Table with 5 columns: CONCRETE, TENSION SPLICE, COMPRESSION EMBEDMENT, REINFORCED MASONRY, and BAR SIZE. Rows show lap lengths for 10M, 15M, 20M, 25M, 30M, and 35M bars under various conditions.

NOTE: INCREASE HORIZONTAL SPLICE LENGTHS IN TABLE BY 1.5 WHERE MORE THAN 300mm (12") SPLICE. WHERE CONCRETE IS CAST BELOW THE SPLICE.

E. MASONRY

- 1. MASONRY TO CONFORM TO THE LATEST VERSION OF CAN/CSA-S304.1 AND CSA A371.
2. STRENGTH OF LOAD-BEARING MASONRY UNITS TO BE MINIMUM 15 MPa FOR HOLLOW UNITS BASED ON NET AREA.
3. TYPE 'S' MORTAR SHALL BE USED FOR CONCRETE BLOCK. TYPE 'N' MORTAR SHALL BE USED FOR BRICK AND DECORATIVE BLOCK. GROUT STRENGTH SHALL BE 20 MPa UNLESS NOTED OTHERWISE. MORTAR AND GROUT TO CONFORM TO THE LATEST VERSION OF CSA A179.
4. ALL MASONRY WALLS SHALL BE CONSTRUCTED WITH FULL MORTAR JOINTS. VERTICAL CONTROL JOINTS SHALL BE INSTALLED AT 8000mm (20'-0") SPACING MAXIMUM. REINFORCING SHALL NOT CROSS A CONTROL JOINT. PROVIDE FOAM BACKING ROD AND CAULKING AT CONTROL JOINTS AND ENSURE MORTAR DOES NOT FILL THE JOINT.
5. REINFORCE ALL MASONRY WITH HOT DIP GALVANIZED NO. 9 TRUSS TYPE WIRE REINFORCING @ 16" (406mm). PROVIDE FULL OVERLAP AT ALL INTERSECTIONS AND CORNERS.
6. INSTALLATION OF ALL PROPRIETARY ANCHORS IS TO BE COMPLETED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION REQUIREMENTS. SPECIALIZED TRAINING MAYBE REQUIRED DEPENDING ON THE PRODUCT. CONTRACTOR IS TO CONTACT THE MANUFACTURER/SUPPLIER TO ARRANGE THE REQUIRED TRAINING. ADHESIVE ANCHORS INTO HOLLOW CONCRETE BLOCK ARE TO BE INSTALLED WITH SCREEN TUBES.
7. ALL STEEL BEAMS AND JOISTS SHALL BE SUPPORTED BY BEARING PLATES DESIGNED TO THE LATEST VERSION OF CAN/CSA S16. BEARING PLATES SHALL HAVE MINIMUM (2) 1/2" (13mm) DIAMETER x 16" (406mm) LONG ANCHORS WITH 2" (51mm) HOOK.
8. ALL MASONRY UNDER CONCENTRATED LOADS SHALL BE FILLED SOLID WITH GROUT FOR A WIDTH AND DEPTH EQUAL TO 3 TIMES THE LENGTH OF BEARING WHERE OPEN WEB STEEL JOISTS OR BEAMS BEAR ON UNREINFORCED MASONRY WALLS PROVIDE (1) 15M VERTICAL x 48" (1220mm) LONG UNDER BEARING PLATE. ALL MASONRY WALLS ARE TO BE ADEQUATELY BRACED DURING CONSTRUCTION UNTIL THE FLOOR AND ROOF STRUCTURES ARE IN PLACE. BRACING SHALL BE DESIGNED, REVIEWED AND APPROVED BY CONTRACTOR'S ENGINEER. SHOP DRAWINGS SHALL BE SUBMITTED WITH ENGINEERING'S STAMP FOR OUR REVIEW PRIOR TO CONSTRUCTION.
9. REINFORCE ALL MASONRY WITH HOT DIP GALVANIZED NO. 9 TRUSS TYPE WIRE REINFORCING @ 16" (406mm). PROVIDE FULL OVERLAP AT ALL INTERSECTIONS AND CORNERS.
10. FOR MASONRY OPENINGS NOT SHOWN ON THE FRAMING PLANS UP TO 48" (1220mm) WIDE, PROVIDE ONE L3.5x3.5x0.25 (L89x89x6.4) FOR EACH 3 1/2" (89mm) THICKNESS OF MASONRY.
11. PROVIDE BOWELS FROM THE FOUNDATION WALL TO MASONRY WALLS TO MATCH VERTICAL REINFORCING SPACING AND SIZE.
12. REINFORCED MASONRY
a) GROUT ALL REINFORCED CELLS SOLID AS PER NOTE 3. REINFORCED CELLS TO BE KEPT CLEAR OF MORTAR.
b) PROVIDE (1) FULL HEIGHT VERTICAL BAR EACH SIDE OF CONTROL JOINTS, OPENINGS, INTERSECTIONS AND ENDS OF WALLS.
c) LAP ALL REINFORCING AS PER REINFORCING STEEL CHART ABOVE (MIN).

F. STRUCTURAL STEEL

- 1. STRUCTURAL STEEL SHALL CONFORM TO THE LATEST VERSION OF CAN/CSA-S16 AND THE CISC CODE OF STANDARD PRACTICE.
2. STRUCTURAL STEEL SHALL CONFORM TO THE LATEST VERSION OF CAN/CSA G40.20, G40.21 GRADE 350W CLASS C FOR H.S.S., G40.21 GRADE 350W FOR W SHAPE SECTIONS AND G40.21 GRADE 300W FOR CHANNELS, ANGLES AND MISCELLANEOUS METAL.
3. WELDING SHALL CONFORM TO CSA W59 AND CSA W47 DIVISION 1 OR DIVISION 2.1 BY THE CANADIAN WELDING BUREAU. WELDING SHALL BE COMPLETED BY CWB CERTIFIED FABRICATOR AND ERECTOR TO THE CSA STANDARDS W178.1 AND W178.2.
4. WHERE FORCES ARE NOT SHOWN ON THE DRAWINGS BEAM REACTIONS SHALL BE 1/2 THE TOTAL UNIFORM DISTRIBUTED FACTORED LOADS NOTED IN THE BEAM LOAD TABLES OF PART 5 OF THE CISC'S HANDBOOK OF STEEL CONSTRUCTION.
5. STRUCTURAL STEEL MEMBERS SHALL NOT BE SPLICED WITHOUT THE APPROVAL OF THE ENGINEER.
6. STEEL BEAMS AND LINTELS SHALL HAVE MINIMUM 8" (203mm) BEARING ON MASONRY UNLESS OTHERWISE NOTED. WELD BEAMS AND LINTELS TO BEARING PLATES WHERE PROVIDED WITH MINIMUM 3/16"x2" (4.8mmx51mm) FILLET WELD EACH SIDE.
7. ALL STRUCTURAL STEEL IS TO BE SHOP PRIME PAINTED UNLESS NOTED OTHERWISE. STRUCTURAL STEEL WHICH IS TO BE PROTECTED WITH SPRAY APPLIED FIREPROOFING IS TO BE KEPT CLEAN AND UNCOATED. STRUCTURAL STEEL EXPOSED TO WEATHER IS TO BE HOT DIP GALVANIZED CONFORMING TO THE LATEST VERSION OF CAN/CSA-G164. ALL COATINGS ARE TO BE TOUCHED UP ON SITE WITH APPROVED PAINT FOR PRIMED STEEL AND ZINC RICH PAINT FOR GALVANIZED STEEL.
8. LUMBER
1. WOOD FRAMING DESIGN AND CONSTRUCTION SHALL CONFORM TO THE LATEST VERSION OF CSA 086.
2. SAWN LUMBER SHALL CONFORM TO CSA STANDARD O141 AND BE S-P-F GRADE NO. 2 OR BETTER.
3. NAILS SHALL CONFORM TO STEEL WIRE NAILS AND SPIKES AS DEFINED IN CSA B111 UNLESS NOTED OTHERWISE.
4. ALL NAILS AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD ARE TO BE HOT DIP GALVANIZED OR STAINLESS STEEL.

NAILING REQUIREMENTS

Table with 3 columns: MEMBER CONNECTION, NAIL LENGTH, NUMBER OF NAILS. Rows include STUD TO WALL PLATE and BOTTOM WALL PLATE TO FLOOR JOISTS.

SHOP DRAWINGS REQUIRED

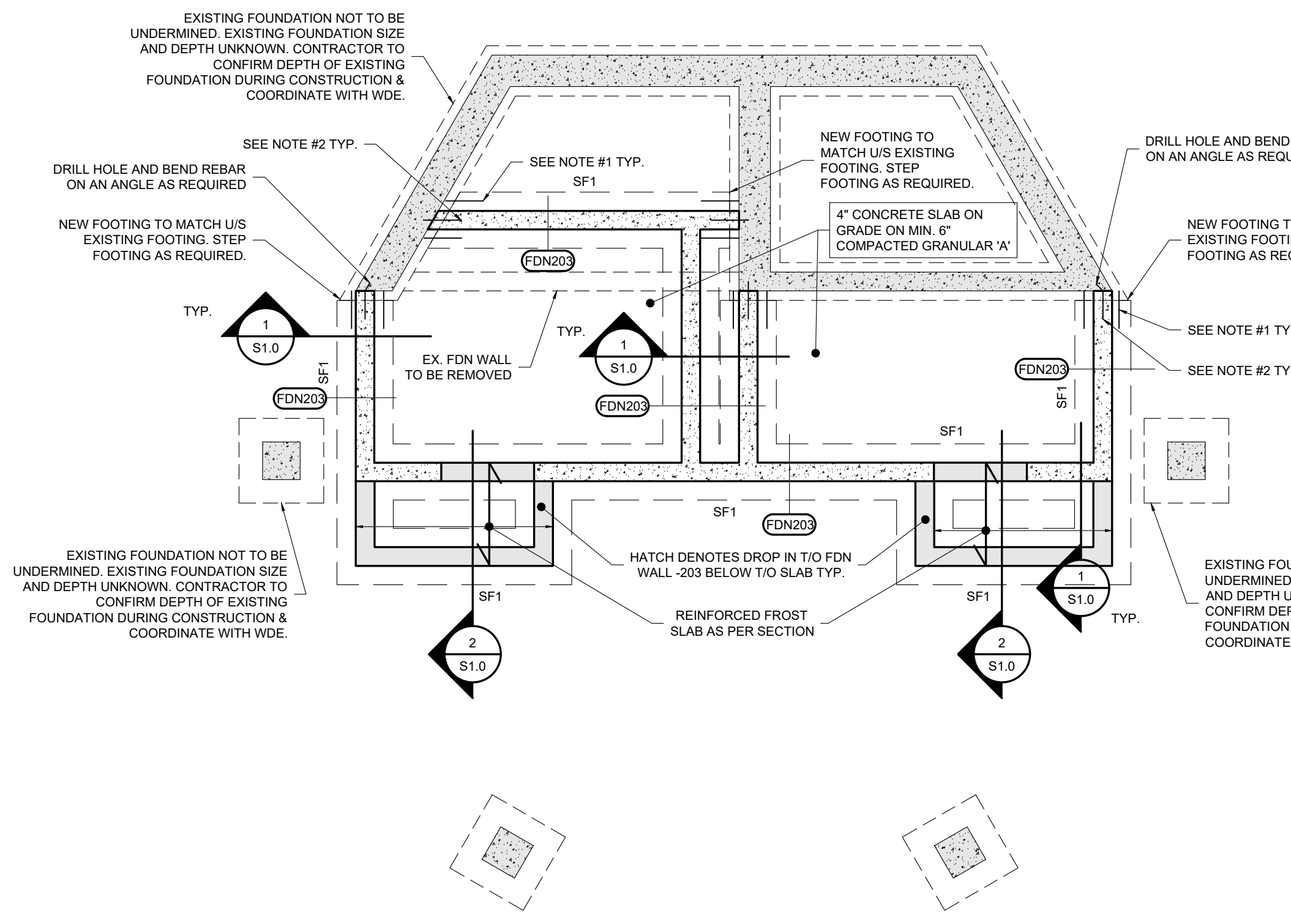
Table with 4 columns: NAME, REQ'D, P.ENG. STAMP, MINIMUM CERTIFICATION REQUIREMENTS. Rows include CONCRETE MIX DESIGN and REBAR.

Table with 4 columns: NO., DATE, REVISION. Includes entries for 4 (2024/09/10) ISSUED FOR TENDER R1, 3 (2024/08/28) RE-ISSUED FOR PERMIT, 2 (2023/06/20) ISSUED FOR PERMIT/TENDER, 1 (2022/01/09) ISSUED FOR COORDINATION.



PROJECT: DENNISON PARK WASHROOMS
DRAWING: 70 LEARMONT AVE, CALEDON, ON.
GENERAL NOTES
DESIGNER: DLN PROJECT NO: 15503-100
DRAWN: RGW DRAWING NO.
DATE: JANUARY 2023
SCALE: AS NOTED
S0.0





**FOUNDATION PLAN** 1:50

**FOUNDATION PLAN NOTES**

- PROVIDE (2) 10M DOWELS x 600 LG. C/W HILTI HY-200 EPOXY W/ MIN. 100 EMBEDMENT INTO EXISTING FOOTING FROM NEW FOOTING
- PROVIDE 10M DOWELS x 600 LG. @ 600 O.C. C/W HILTI HY-200 EPOXY W/ MIN. 100 EMBEDMENT INTO EXISTING FOUNDATION WALL
- REFER TO ARCHITECTURAL, MECHANICAL AND PLUMBING DRAWINGS FOR ALL SLAB DEPRESSIONS, SLOPES AND UNDER SLAB INSULATION REQUIREMENTS
- CONTRACTOR TO PROTECT FOUNDATIONS AND SOIL FROM FROST DURING CONSTRUCTION
- TOP OF FOOTING ELEVATIONS GIVEN ARE MINIMUM DEPTH. CONTRACTOR TO ENSURE THAT FOOTINGS BEAR ON SOIL APPROVED BY QUALIFIED SOILS ENGINEER
- AT ALL SLAB ON GRADE COLD JOINTS OR WHERE SLAB ON GRADE IS PLACED IN SECTIONS, THE CONTRACTOR SHALL PROVIDE 13mmØ BARS x 10mm LONG @ 610mm O.C. WITH ONE END WRAPPED IN TAR PAPER WITH 35mm EMBEDMENT EACH SIDE
- DROP TOP OF FOUNDATION WALL 203mm (ONE BLOCK COURSE) AT ALL DOOR OPENINGS. POUR SLAB OVER WALL AS PER TYPICAL DETAIL. REFER TO ARCHITECTURAL DRAWINGS FOR DOOR LOCATIONS
- COORDINATE MECHANICAL, ELECTRICAL AND CIVIL SLEEVES, PIPES AND CONDUITS PRIOR TO CONCRETE POUR
- PROVIDE LEAN MIX CONCRETE TO FILL EXCAVATIONS TO UNDER SIDE OF ADJACENT BUILDING FOOTING ELEVATIONS

□ DENOTES DOOR LOCATION

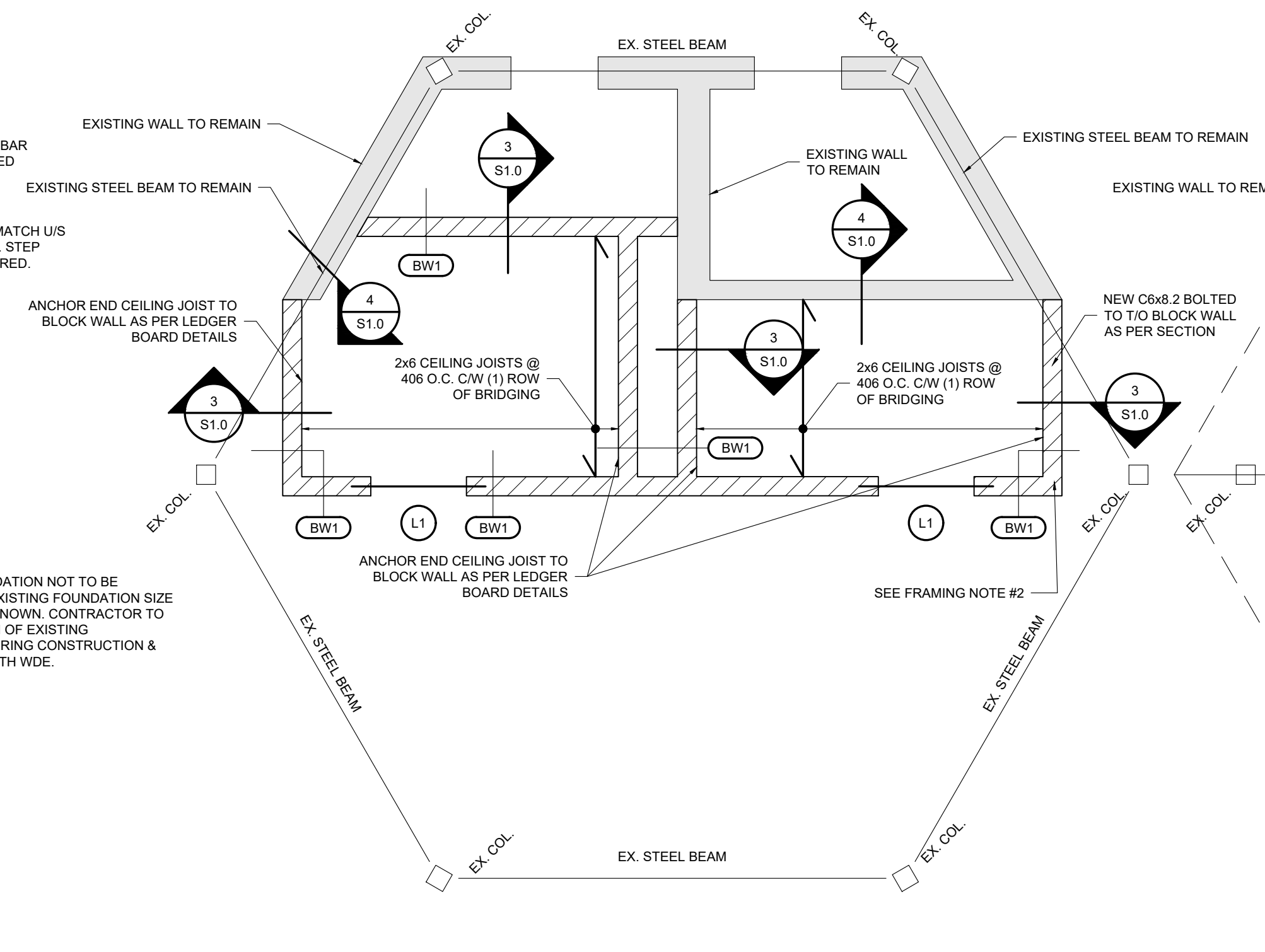
**FOOTING SCHEDULE**

FOOTING	SIZE	REINFORCING
SF1	600x200	(2) 15M CONT.

ALL FOOTINGS ARE TO BE CENTERED ON COLUMNS ABOVE U.N.O.

**POURED CONCRETE WALL SCHEDULE**

MARK	THICKNESS	COMMENTS
FDN203	203mm	(2) 15M CONT. TOP



**WALL BRACING PLAN** 1:50

**CONCRETE BLOCK WALL SCHEDULE**

MARK	THICKNESS	COMP. STR.	FULLY GROUTED	VERT. REINF.
BW1	203mm	15 MPa	NO	15M @ 1200 O.C.

- ALL WALLS TO HAVE CORES GROUTED SOLID AT REINFORCING STEEL LOCATIONS
- PROVIDE ONE EXTRA VERTICAL BAR AT ENDS OF WALLS AND EACH SIDE OF OPENINGS
- REINFORCE ALL MASONRY WITH HOT DIP GALVANIZED NO. 9 TRUSS TYPE WIRE REINFORCING @ 16'. PROVIDE FULL OVERLAP AT ALL INTERSECTIONS AND CORNERS.

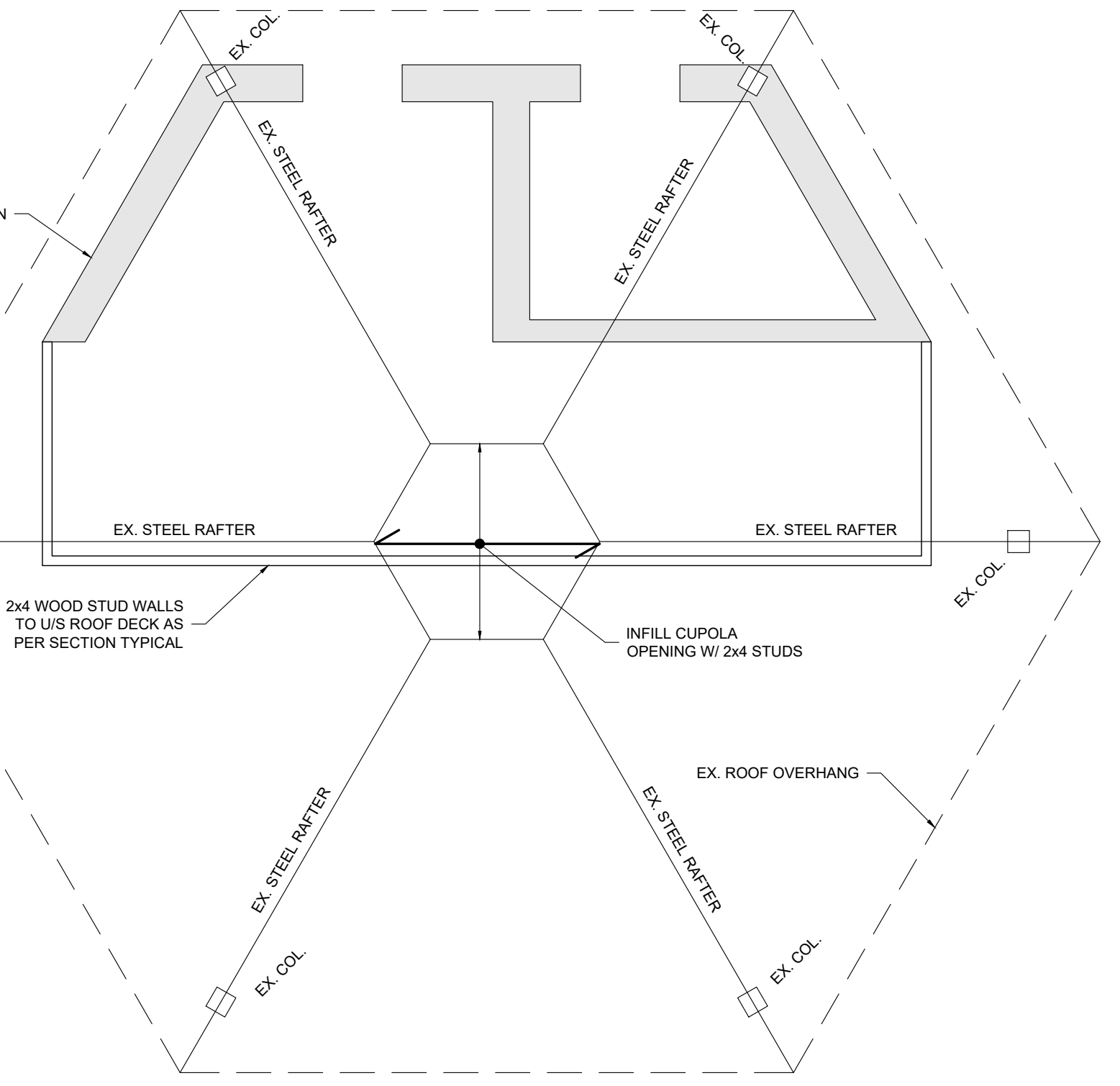
**LINTEL SCHEDULE**

LINTEL	SIZE	END BEARING
L1	(2) L89x89x6.4	203mm EACH END

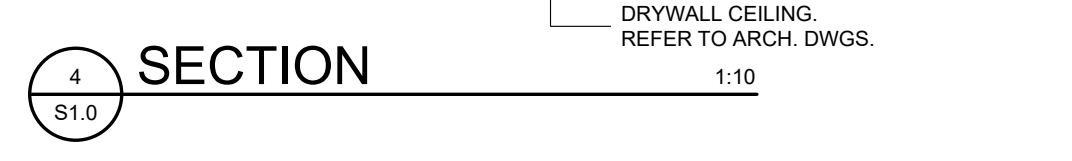
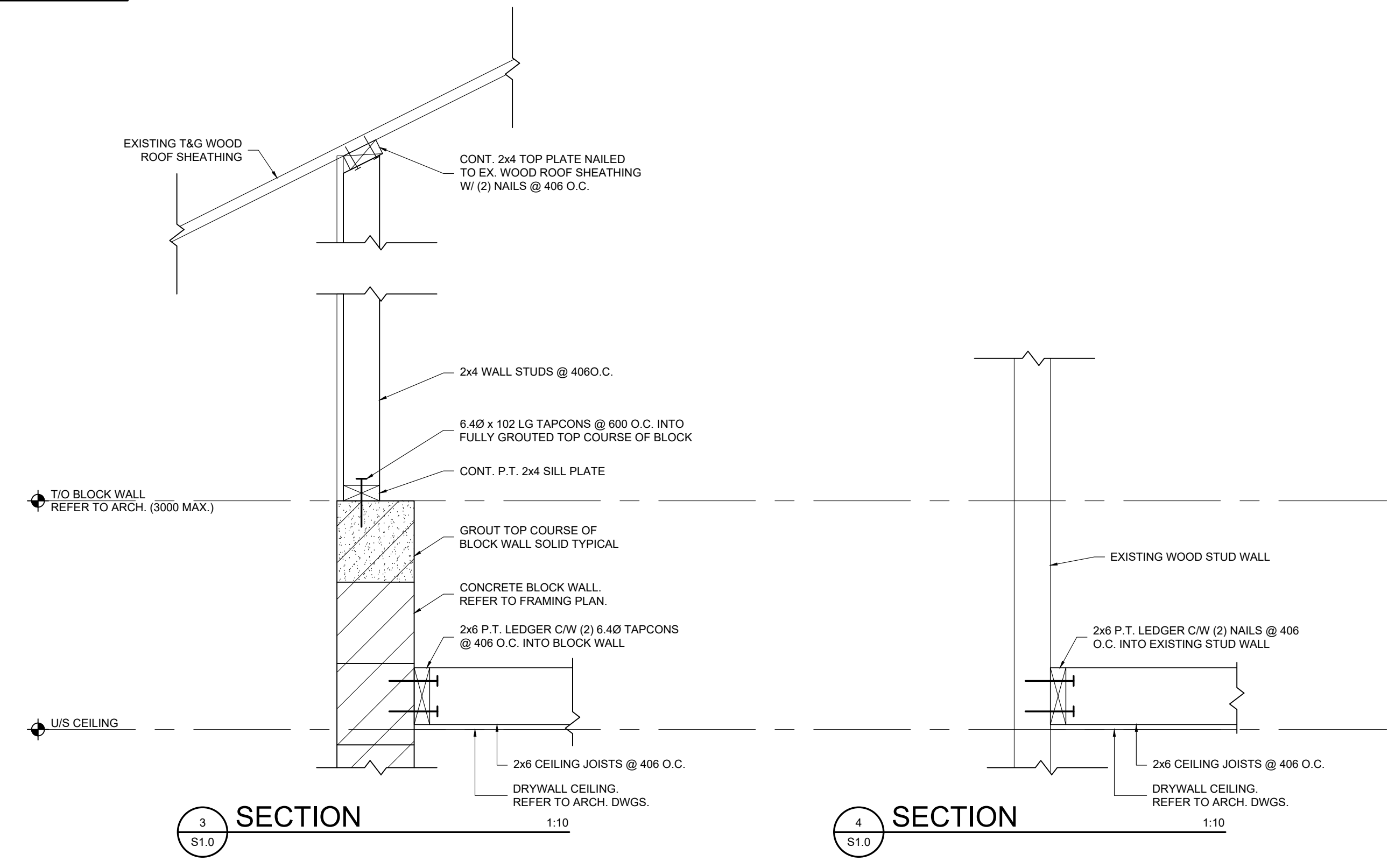
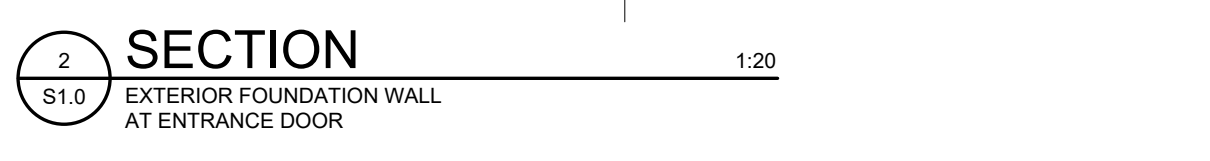
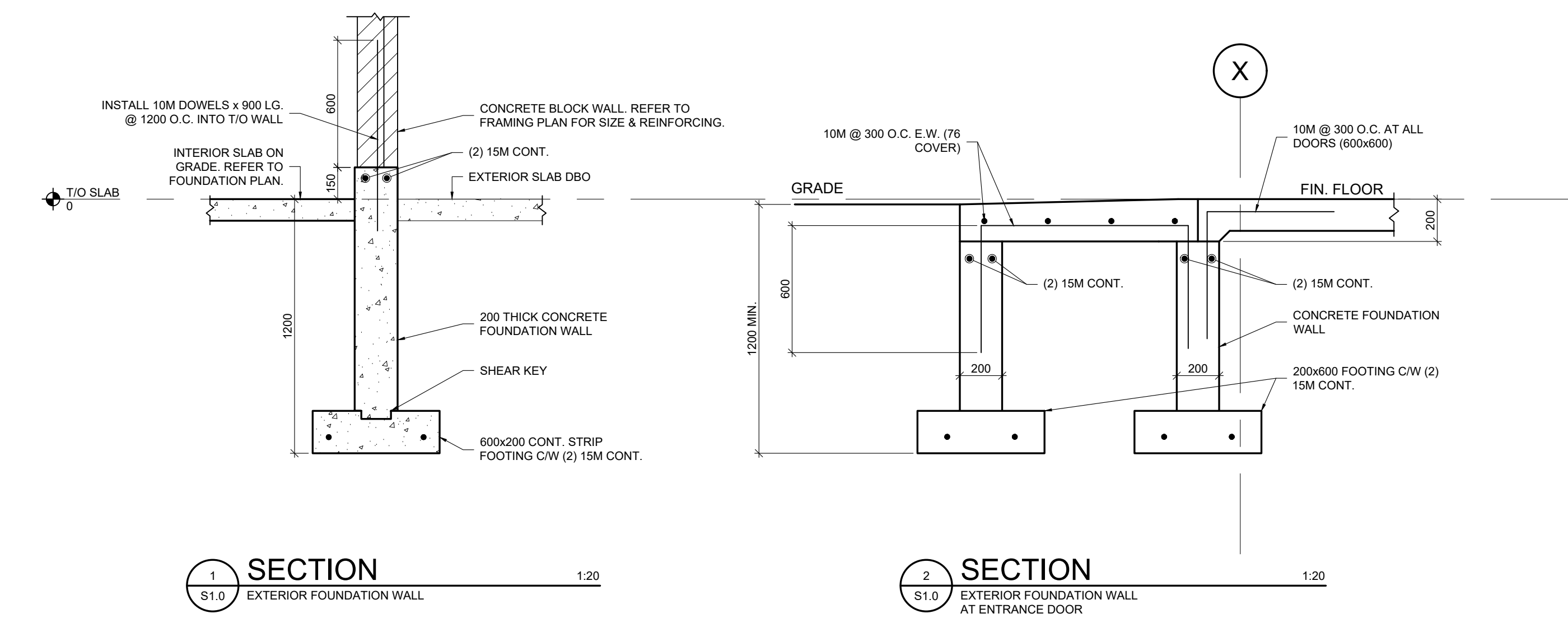
**BEARING PLATE SCHEDULE**

PLATE	SIZE	ANCHORS
BP1	152x152x6.4	(1) 15M REBAR ANCHOR x 203 LG.
BP2	305x152x6.4	(2) 15M REBAR ANCHOR x 203 LG.

CEILING DESIGN LOADS:  
DL=5psf



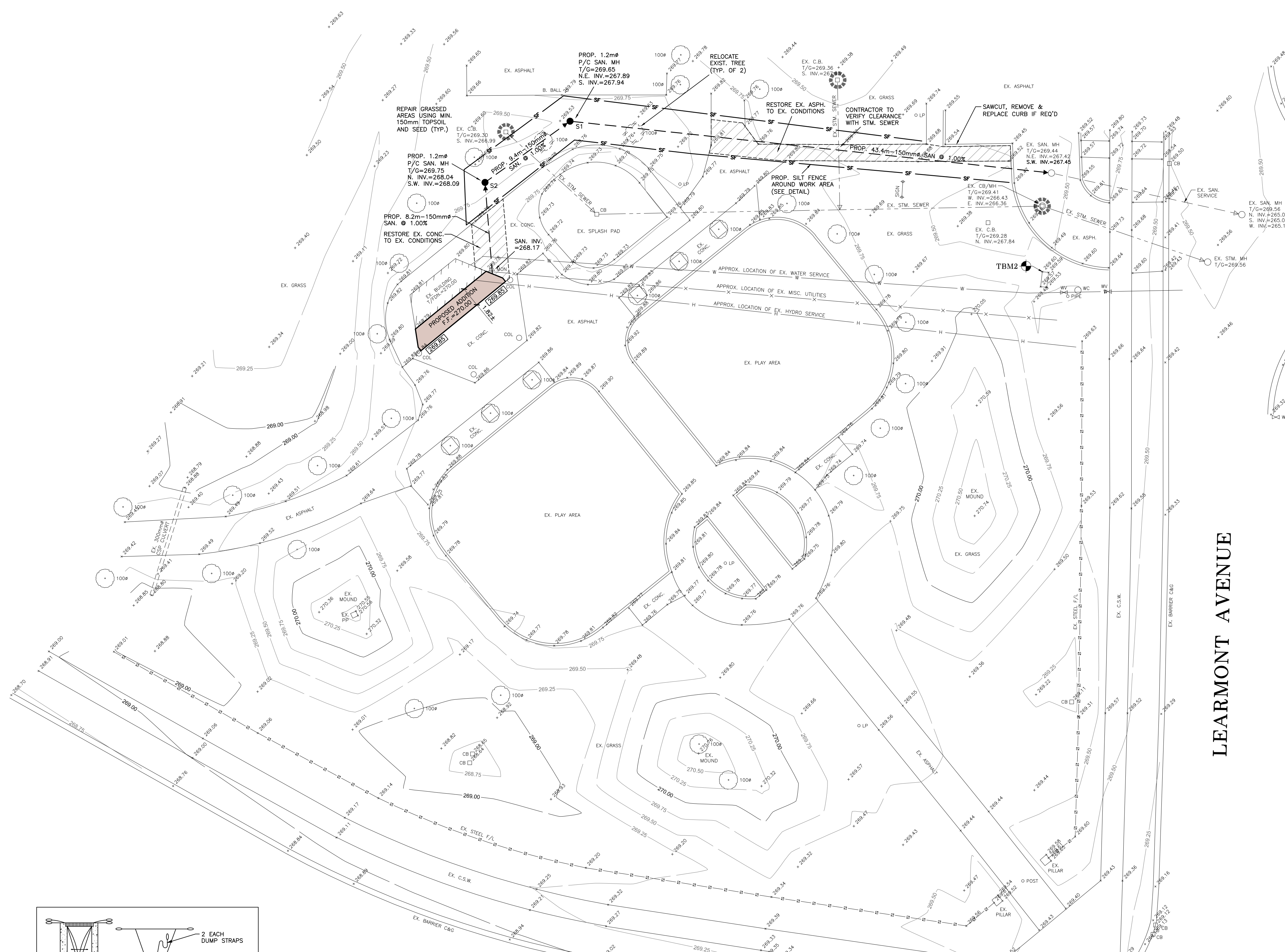
**ROOF FRAMING PLAN** 1:50



NO.	DATE	REVISION
4	2024/09/10	ISSUED FOR TENDER R1
3	2024/08/28	RE-ISSUED FOR PERMIT
2	2023/06/20	ISSUED FOR PERMIT/TENDER
1	2022/01/09	ISSUED FOR COORDINATION

**WitzelDyce ENGINEERING INC.**  
826 King Street North, Unit 20  
Waterloo, Ontario, N2J 4G6  
www.witzeldyce.com

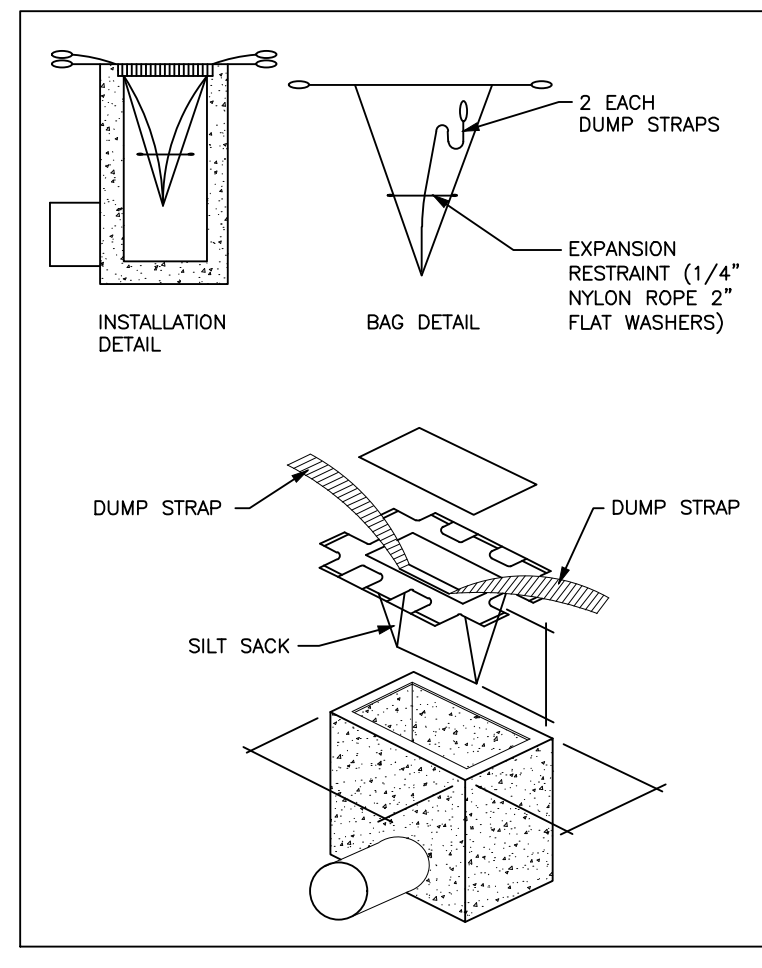
PROJECT: 70 LEARMONT AVE. CALEDON, ON.  
**DENNISON PARK WASHROOMS**  
DRAWING: **FOUNDATION PLAN, FRAMING PLANS & SECTIONS**  
DESIGNER: DLN PROJECT NO: 15503-100  
DRAWN: RGW DRAWING NO:  
DATE: JANUARY 2023  
SCALE: AS NOTED  
**S1.0**



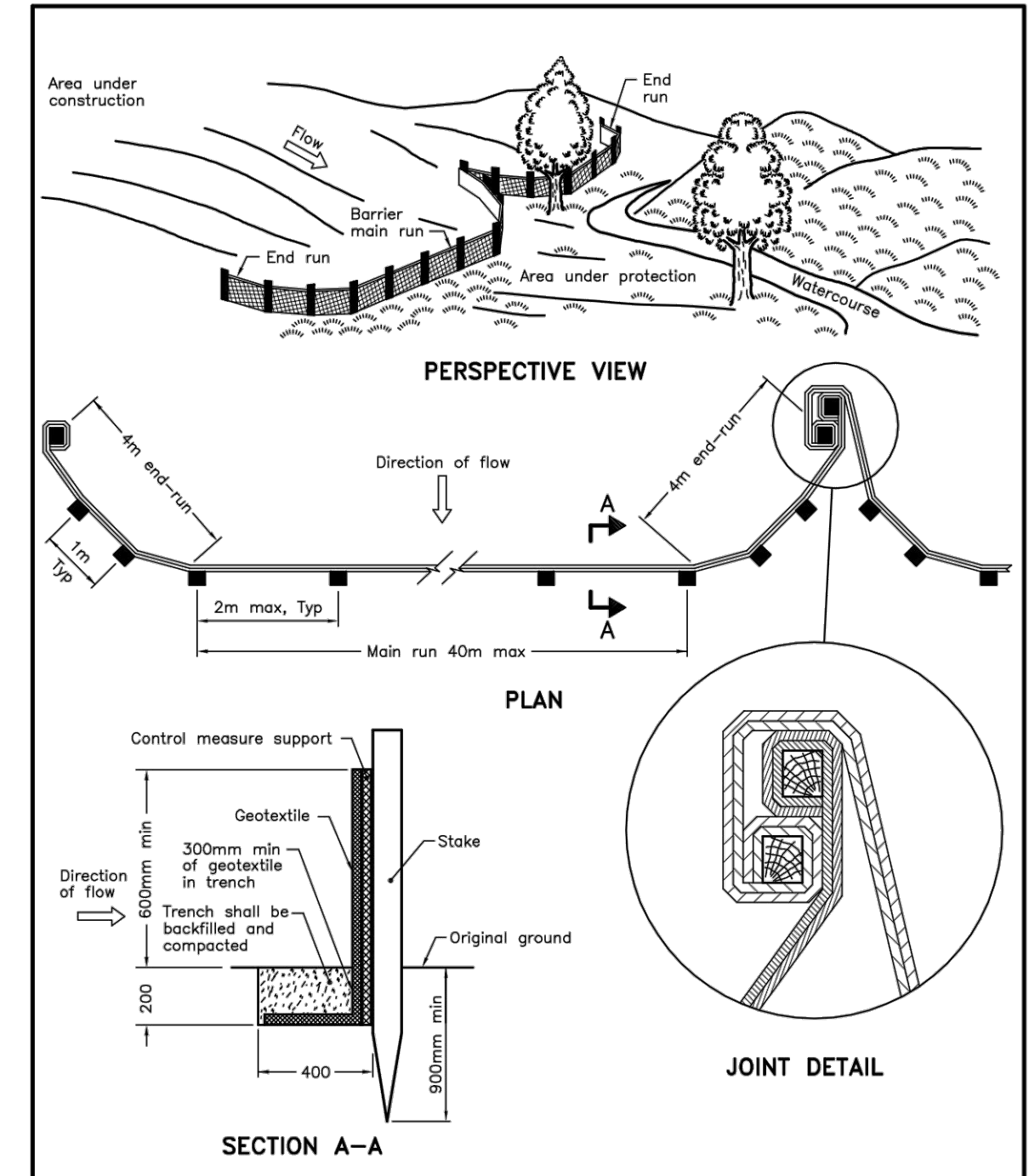
# WISHING WELL CRESCENT

LEARMONT AVENUE

LARSON PEAK ROAD



**SILT SACK DETAIL**  
N.T.S.

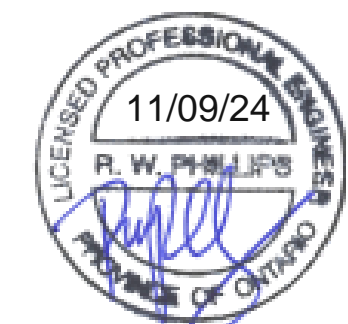


NOTE:  
A All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING  
Nov 2015 Rev 2

**HEAVY-DUTY  
SILT FENCE BARRIER**

OPSD 219.130



**LEGEND:**

	EXISTING ELEVATIONS
	PROPOSED ELEVATIONS
	PROPOSED SWALE ELEVATIONS
	GENERAL DRAINAGE
	SILTATION FENCE
	SILT SACK AS SHOWN

- NOTES:**
- ALL ELEVATIONS SHOWN ARE METRIC.
  - BUILDER/OWNER TO VERIFY COMPLIANCE WITH ZONING BYLAWS (i.e. SIDEYARDS, SETBACKS, REARYARDS ETC.)
  - ALL MATERIALS AND CONSTRUCTION METHODS HAVE TO COMPLY WITH THE LATEST VERSION OF THE TOWN OF CALEDON STANDARDS.
  - CONTRACTOR TO VERIFY EXISTING TORM AND SANITARY INVERTS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
  - SANITARY SEWERS TO BE CSA B182.2 SDR35 PVC PIPE.
  - 1200mm# PRECAST MANHOLES AS PER OPSD 701.010
  - 1200mm# PRECAST MANHOLE COMPONENTS AS PER OPSD 701.030
  - MANHOLE BENCHING AS PER OPSD 701.021
  - PRECAST CONCRETE ADJUSTMENT UNITS AS PER OPSD 704.010
  - MANHOLE FRAME AND GRATE AS PER OPSD 401.010
  - ALL STORM & SANITARY MANHOLES AND CATCHBASINS TO BE PRECAST CONCRETE STRUCTURES MANUFACTURED IN PRE QUALIFIED PLANTS IN ACCORDANCE WITH THE LATEST APPLICABLE O.P.S. DRAWINGS AND SPECIFICATIONS.
  - COVER AND BEDDING MATERIAL FOR PVC PIPE AS PER OPSD 802.010 TYPE 2 TRENCH. BEDDING SHALL BE GRANULAR AT MATERIAL UNLESS OTHERWISE INDICATED.
  - FULL PUBLIC SERVICES ARE TO BE CONSTRUCTED, OR REPLACED IF DAMAGED (SIDEWALK, BOULEVARDS, DRIVEWAY APPROACHES ETC.)

**SILTATION CONTROL NOTES:**

- THE SILTATION & EROSION CONTROL (SEC) MEASURES ILLUSTRATED ON THIS PLAN ARE CONSIDERED TO BE THE MINIMUM REQUIREMENT. SITE CONDITIONS MAY REQUIRE ADDITIONAL MEASURES WHICH WILL BE IDENTIFIED BY THE ENGINEER DURING CONSTRUCTION.
- ALL SEC MEASURES ARE TO BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- OWNER/CONTRACTOR TO MAINTAIN EROSION CONTROL MEASURES THROUGHOUT SITE UNTIL A COMPLETE GRASS/VEGETATION COVER IS ACHIEVED.
- ONLY AT THE DIRECTION OF THE ENGINEER ARE THE SEC MEASURES TO BE REMOVED.
- SITE WORKS ARE TO BE STAGED IN SUCH A MANNER THAT EROSION WILL BE MINIMIZED, AND THE CONSULTANT MUST PROVIDE CONFIRMATION THAT ALL APPROVED SILTATION AND EROSION CONTROL FACILITIES HAVE BEEN INSTALLED PRIOR TO THE COMMENCEMENT OF ANY GRADING, EXCAVATION OR DEMOLITION.
- CLEARING AND GRUBBING OF THE SITE SHOULD BE KEPT TO A MINIMUM AND VEGETATION REMOVED ONLY IN ADVANCE OF IMMEDIATE CONSTRUCTION.
- STOCKPILES OF EARTH OR TOPSOIL ARE TO BE LOCATED AND PROTECTED TO MINIMIZE ENVIRONMENTAL INTERFERENCE. EROSION CONTROL FENCING IS TO BE INSTALLED AROUND THE BASE OF ALL STOCKPILES.
- THE OWNER IS RESPONSIBLE TO ENSURE THE MUNICIPAL ROADWAYS ARE CLEANED OF ALL SEDIMENTS FROM VEHICULAR TRACKING ETC. TO AND FROM THE SITE, AT THE END OF EACH WORKDAY.
- ALL DISTURBED AREAS, NOT INCLUDED IN THE CONSTRUCTION ZONE, ARE TO BE TOPSOILED AND SEEDING IMMEDIATELY AFTER COMPLETION OF AREA GRADING.
- ALL EXISTING AND PROPOSED CATCHBASINS ON THE SUBJECT PROPERTY, PLUS ANY CATCHBASINS WITHIN THE INFLUENCE OF RUNOFF FROM THE SITE, ARE TO BE PROTECTED WITH FILTER CLOTH OR APPROVED EQUIVALENT.

T.B.M. No. 1 ELEV. = 269.35m  
TOP WEST CORNER OF CONCRETE HYDRO VAULT BASE ON THE NORTH SIDE OF LARSON PEAK ROAD AS SHOWN.

T.B.M. No. 2 ELEV. = 269.60m (GEO)  
TOP WEST CORNER OF CONCRETE PAD ON WEST SIDE OF LEARMONT AVENUE NEAR WISHING WELL CRESCENT AS SHOWN.

1	ISSUED FOR "TENDER R1"	08/11/24	S.L.M.
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**J.H. COHOON ENGINEERING LIMITED**  
CONSULTING ENGINEERS

440 HARDY ROAD UNIT #1 BRANTFORD - ONTARIO N3T 5L8  
TEL (519) 753-2656 FAX (519) 753-4263 www.cohooneng.com

PROJECT:  
**PROPOSED WASHROOM FACILITIES DENNISON PARK TOWN OF CALEDON**

CLIENT:  
FABRIK ARCHITECTS

**SITE DEVELOPMENT PLAN**

DESIGN:	R.W.P.	SCALE:	1:200
DRAWN:	K.P.B.	JOB No:	<b>16185</b>
CHECKED:	R.W.P.	DWG. No:	<b>16185-1</b>
SHEET:	1 of 1	DATE:	JULY 4/23