

Upper Yonge Village Daycare Centre

14 St. Clements Avenue

Toronto, Ontario

BUILDING RENOVATION

PRIME CONSULTANT
STRUCTURAL ENGINEER/CONSULTANT
BUILDING ENVELOPE CONSULTANT
(BELOW-GRADE AND ROOFING)

rjc Creative Thinking
Practical Results

Read Jones Christoffersen Ltd.
Engineers
rjc.ca

100 University Avenue, North Tower, Suite 400
Toronto, ON M5J 1V6 Canada
tel 416-977-5335
email toronto@rjc.ca

ARCHITECT
BUILDING ENVELOPE CONSULTANT

WORKSHOP
architecture

WORKSHOP architecture
workshoparchitecture.ca

1157 Davenport Road,
Toronto, ON M5H 2G4 Canada
tel 416-901-8055

MECHANICAL ENGINEER/CONSULTANT
ELECTRICAL ENGINEER/CONSULTANT
SECURITY & TELECOMMUNICATIONS CONSULTANT
FIRE PROTECTION SYSTEMS CONSULTANT

RIMKUS

RIMKUS
rimkus.com

1700 Langstaff Road,
Vaughan, ON L4K 3S3 Canada
tel 416-250-7222

ELEVATOR CONSULTANT

Soberman Engineering ▼
Vertical Transportation Consulting

Soberman Engineering Inc.
Vertical Transportation Engineers
sobermanengineering.com

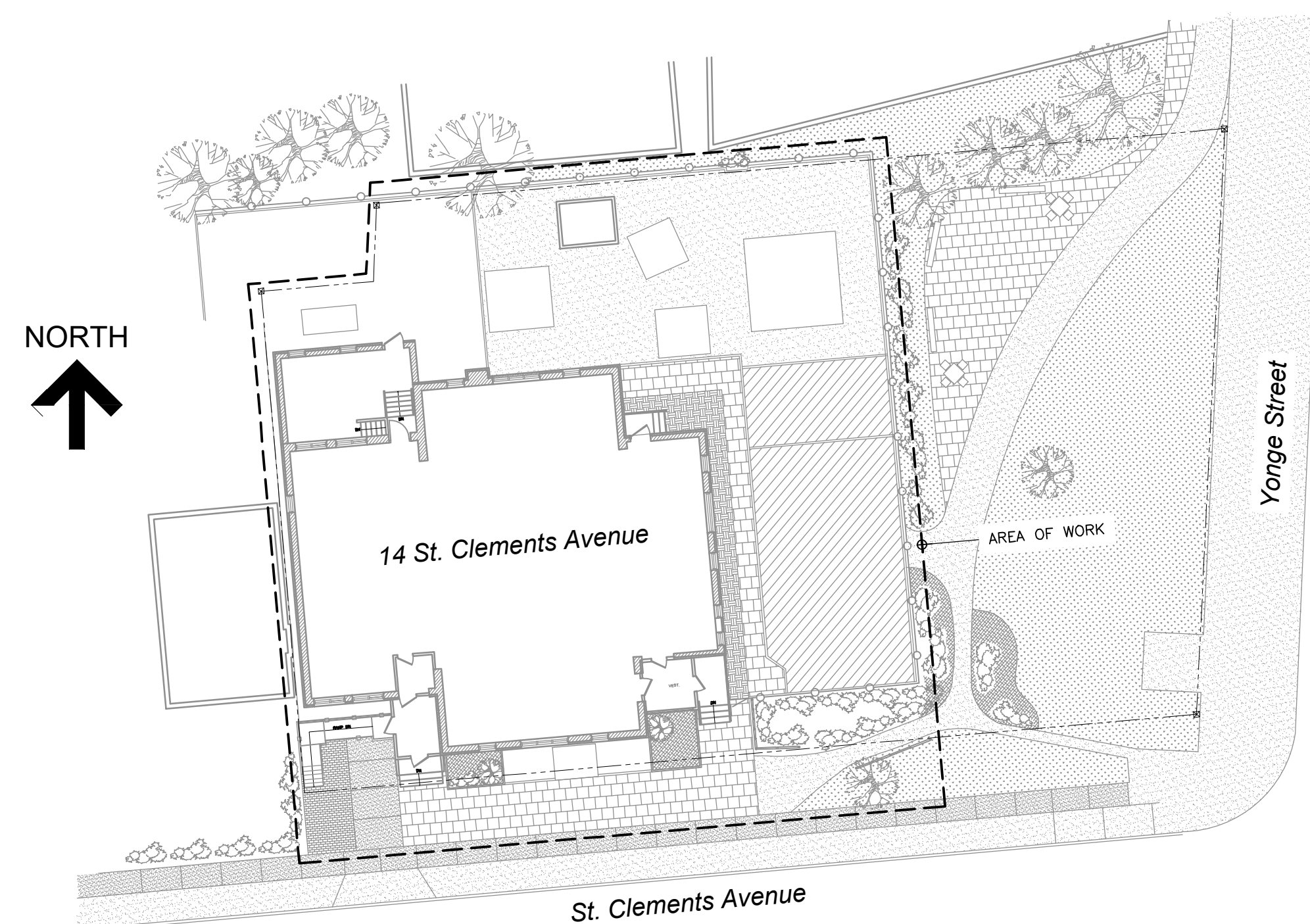
55 St. Clair Avenue West, Suite 205
Toronto, ON M4V 2Y7 Canada
tel 416-323-2133
fax 416-323-8152

EXTERIOR LANDSCAPING CONSULTANT

FFLA Forest and Field
Landscape Architecture Inc.

Forest and Field Landscape Architecture Inc.
sforestandfield.ca

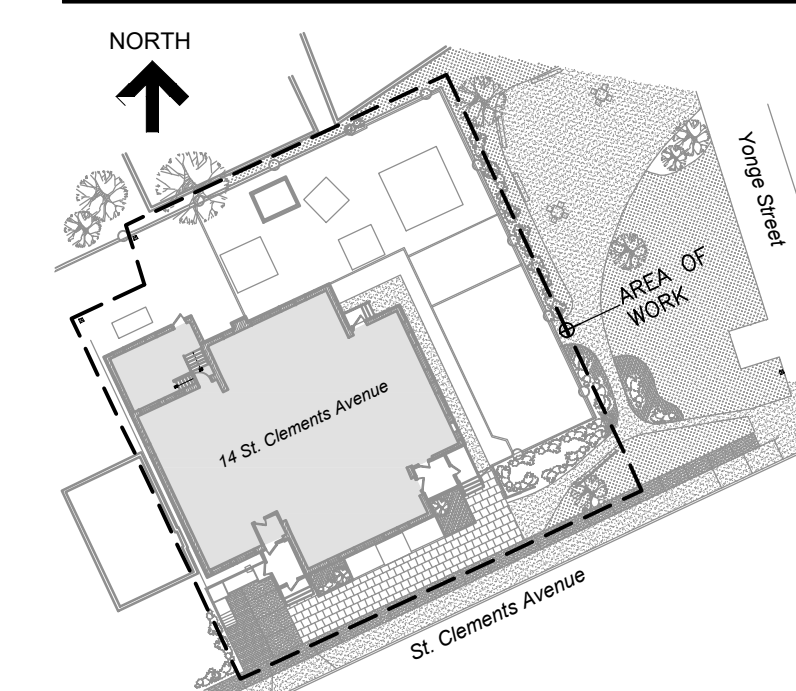
864 College Street, Unit 5
Toronto, ON M5H 1A3 Canada
tel 647-933-1152
fax 647-693-9258



ISSUED FOR PERMIT/TENDER REVISION - Sept 20, 2024
ISSUED FOR BUILDING PERMIT - June 12, 2024
ISSUED FOR TENDER - May 13, 2024
ISSUED FOR CLIENT REVIEW - May 13, 2024
ISSUED FOR 95% CLIENT REVIEW - April 17, 2024

LIST OF DRAWINGS :	
GN0.1 PROJECT GENERAL NOTES	M-1 MECHANICAL SPECIFICATIONS
P0.0 SITE SURVEY	M-2 LEVEL 1 & BASEMENT PROPOSED PLAN PLUMBING LAYOUT
P0.1 SITE PHASING PLAN	M-3 LEVEL 1 & BASEMENT PROPOSED PLAN COOLING/HEATING HEAT PUMP WATER CIRCULATING PIPING
A0.0 OBC MATRIX, LIFE SAFETY PLAN, KEY PLAN	M-4 LEVEL 1 & BASEMENT PROPOSED PLAN HVAC LAYOUT
A0.1 SCHEDULES	M-5 ROOF PLAN
A1.0 DEMOLITION PLANS	M-6 DETAILS
A1.1 DEMOLITION RCPS	M-7A SCHEDULES
A1.2 PROPOSED PLANS	M-7B SCHEDULES
A1.3 PROPOSED RCPS	M-8 LEVEL 1 & BASEMENT PROPOSED PLAN GEOTHERMAL LAYOUT
A2.0 EXTERIOR ELEVATIONS & ROOF PLAN	M-9 LEVEL 1 & BASEMENT PROPOSED PLAN GEOTHERMAL RISER DIAGRAM & DETAILS
A3.0 BUILDING SECTIONS	E-1A ELECTRICAL SPECIFICATION
A3.1 WALL SECTIONS & DETAILS	E-1B LEGENDS AND GENERAL NOTES
A3.2 WALL SECTIONS & DETAILS	E-2 BASEMENT FLOOR DEMOLITION ELECTRICAL LAYOUT
A3.3 EXTERIOR DETAILS	E-3 MAIN FLOOR DEMOLITION ELECTRICAL LAYOUT
A4.0 DETAILED PLANS & INTERIOR ELEVATIONS - WASHROOMS	E-4 BASEMENT FLOOR NEW POWER AND FIRE ALARM LAYOUT
A4.1 DETAILED PLANS & INTERIOR - CLASSROOMS, CORRIDORS, & SERVERY	E-5 MAIN FLOOR NEW POWER AND FIRE ALARM LAYOUT
A5.0 MILLWORK	E-6 BASEMENT FLOOR NEW LIGHTING LAYOUT
A5.1 MILLWORK	E-7 MAIN FLOOR NEW LIGHTING LAYOUT
R1.1 ROOF PLAN	E-8 BASEMENT FLOOR NEW SECURITY LAYOUT
R2.1 SECTIONS AND DETAILS	E-9 MAIN FLOOR NEW SECURITY LAYOUT
R2.2 SECTIONS AND DETAILS	E-10 ROOF PLAN SOLAR PANELS
R2.3 SECTIONS AND DETAILS	E-11 POWER, SNOW MELTING, SOLAR SYSTEMS SINGLE LINE DIAGRAM
S0.1 GENERAL NOTES	E-12 SECURITY SYSTEMS SINGLE LINE DIAGRAM
S0.2 GENERAL NOTES	E-13 PANEL SCHEDULE
S1.1 BASEMENT LEVEL DEMOLITION PLAN	E-14 FIRE ALARM RISER DIAGRAM
S1.2 GROUND FLOOR DEMOLITION PLAN	E-15 LIGHTING CONTROL DETAILS (1)
S1.3 GROUND FLOOR REFLECTED CEILING DEMOLITION PLAN	E-16 LIGHTING CONTROL DETAILS (2)
S1.4 ROOF LEVEL DEMOLITION PLAN	L0.0 COVER
S2.1 BASEMENT LEVEL RESTORATION PLAN	L1.0 TREE REMOVALS AND PROTECTION PLAN
S2.2 GROUND FLOOR RESTORATION PLAN	L1.1 EXISTING CONDITIONS AND DEMOLITION
S2.3 GROUND FLOOR REFLECTED CEILING RESTORATION PLAN	L2.0 MATERIALS PLAN
S2.4 ROOF LEVEL RESTORATION PLAN	L2.1 LAYOUT PLAN
S3.1 SECTIONS AND DETAILS	L2.2 GRADING PLAN
S3.2 SECTIONS AND DETAILS	L2.3 PLANTING PLAN
S3.3 SECTIONS AND DETAILS	L3.0 DETAILS
S3.4 SECTIONS AND DETAILS	L3.1 DETAILS
S3.5 SECTIONS AND DETAILS	L3.2 DETAILS
S3.6 SECTIONS AND DETAILS	L3.3 DETAILS
S3.7 SECTIONS AND DETAILS	L3.4 DETAILS
S3.8 SECTIONS AND DETAILS	L3.5 DETAILS
S3.9 SECTIONS AND DETAILS	L3.6 DETAILS
	L3.7 DETAILS
	L3.8 DETAILS





KEY PLAN

No.	Revision	Date	By
5.	ISSUED FOR PERMIT/TENDER REVISION	Sept. 20, 24	S.P.
4.	ISSUED FOR BUILDING PERMIT	June 12, 24	S.P.
3.	ISSUED FOR TENDER	May 13, 24	S.P.
2.	ISSUED FOR CLIENT REVIEW	May 13, 24	S.P.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr. 17, 24	S.P.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal	
------	--

Project Name
Upper Yonge Village Daycare Centre
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title

PROJECT GENERAL NOTES

Drawn By **T.S.** Scale **N.T.S.**
Designed By **S.P.** Date **September, 2024**
RJC Project Number **TOR.122940.0001**

Sheet Number **GN0.1** Revision

1.0 GENERAL NOTES
(THESE NOTES APPLY TO ALL PHASES/AREAS OF WORK/ASPECTS OF THE PROJECT)

1. DEFINITIONS

- "GENERAL CONTRACTOR"**, FOR THE PURPOSES OF THESE DRAWINGS, THE USE OF THE TERM "CONTRACTOR" OR "GENERAL CONTRACTOR" SHALL REFER TO THE PRIME PERSON OR COMPANY RESPONSIBLE FOR CONSTRUCTION OF THE PROJECT AND THE COORDINATION OF TRADES AND SUBCONTRACTORS. THIS MAY BE THE GENERAL CONTRACTOR, OR A CONSTRUCTION MANAGER.
- "SPECIALTY STRUCTURAL ENGINEER"**: A STRUCTURAL ENGINEER REGISTERED AND LICENSED TO PRACTICE BY THE PROFESSIONAL ENGINEERING ASSOCIATION HAVING JURISDICTION IN THE AREA WHERE THE STRUCTURE IS TO BE BUILT AND WHO IS RESPONSIBLE FOR THE DESIGN AND FIELD REVIEW OF:
 - STRUCTURAL ELEMENTS DESIGNED BY THE CONTRACTOR OR SUBCONTRACTORS, SUCH AS STRUCTURAL SHORING, FORMWORK, UNDERPINNING, CONNECTIONS, ETC.
 - SECONDARY STRUCTURAL ELEMENTS AND NON-STRUCTURAL ELEMENTS. SEE ALSO "TEMPORARY WORKS" GENERAL NOTES.
- THIS SET OF DRAWINGS IS TO PROVIDE A SCHEMATIC REPRESENTATION OF THE APPROXIMATE LAYOUT OF THE BUILDING IN THE AREA OF WORK.
- THE CONTRACTOR MUST REVIEW AND CONFIRM THE EXTENT OF EXISTING SITE CONDITIONS THAT WILL AFFECT OR WILL REQUIRE ADJUSTMENT IN ORDER TO COMPLETE THE WORK AS SHOWN IN THE DOCUMENTS PRIOR TO BIDDING.
- DISCREPANCIES, AMBIGUITIES OR OMISSIONS IN THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE CONSULTANT TEAM IMMEDIATELY, AND PRIOR TO BIDDING.
- THESE DRAWINGS ARE BASED ON THE ORIGINAL CONSTRUCTION DRAWINGS AVAILABLE AT THE TIME OF DESIGN AND LIMITED REVIEW UNDERTAKEN BY THE CONSULTANT TEAM. DO NOT SCALE FROM THIS DRAWING OR RELY ON ANY DRAWINGS AS ACCURATELY REFLECTING THE AS-BUILT CONDITION. PARTIAL COPIES OF THE ORIGINAL CONSTRUCTION DRAWINGS ARE AVAILABLE FOR VIEWING AND REFERENCE PURPOSES ONLY.
- THE EXTENT OF WORK IS AS SHOWN ON THE DRAWINGS.
- HOARDING, DUST PROTECTION, SITE PROTECTION AND CONSTRUCTION SIGNAGE IS TO BE INSTALLED AROUND THE SITE AND AREAS OF WORK IN ACCORDANCE WITH SPECIFICATION SECTION 01 56 00, THESE NOTES AND THE DRAWINGS PRIOR TO COMMENCING THE WORK.
- THIS SET OF DRAWINGS DOES NOT INCLUDE COMPONENTS THAT MAY BE NECESSARY FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY IN AND AROUND THE JOB SITE DURING CONSTRUCTION, AND FOR THE DESIGN AND ERECTION OF ALL TEMPORARY STRUCTURES REQUIRED TO COMPLETE THE WORK.
- THE USE OF THESE DRAWINGS IS LIMITED TO THE EXTENT IDENTIFIED IN THE REVISIONS COLUMNS. DO NOT CONSTRUCT FROM THESE DRAWINGS UNLESS MARKED "ISSUED FOR CONSTRUCTION" BY THE ISSUING CONSULTANT.
- ALL DIMENSIONS TAKEN FROM THE DRAWINGS SHALL BE CHECKED ON SITE PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SUCH MEASUREMENTS AND REPORT TO THE CONSULTANT TEAM IN WRITING ALL DISCREPANCIES BETWEEN THE MEASUREMENTS AT THE BUILDING AND THOSE SHOWN ON THE DRAWINGS PRIOR TO COMMENCING THE WORK.
- THE CONTRACTOR SHALL REVIEW ALL THE DRAWINGS AND CHECK THE DIMENSIONS BEFORE CONSTRUCTION. REPORT ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE SITE CONDITION TO THE CONSULTANT TEAM IMMEDIATELY.
- SECTION MARK SHOWN THUS $\textcircled{1}$ DENOTES SECTION 1 ON DRAWING S3.1.
- THE CONTRACTOR WILL BE RESPONSIBLE TO REPAIR/RESTORE/REPAINT/REPLACE ALL STRUCTURAL ELEMENTS, BUILDING ENVELOPE ELEMENTS, FINISHES, LANDSCAPING, ETC. TO REMAIN THAT HAVE BEEN DAMAGED AS A RESULT OF CONSTRUCTION OR REMOVED IN ORDER TO ALLOW CONSTRUCTION TO BE UNDERTAKEN.
- PROVIDE SIGNAGE AS REQUIRED TO ENSURE VEHICLE AND PEDESTRIAN TRAFFIC FLOW AROUND WORK AREAS IS MAINTAINED AND THE PUBLIC IS INFORMED OF CONSTRUCTION ACTIVITY. ENSURE BUILDING AND SITE ENTRANCES HAVE PROPER SIGNAGE DURING CONSTRUCTION. REFER TO SPECIFICATION SECTION 01 56 00 AND SIGNAGE NOTES. THE CONTRACTOR IS TO PROVIDE APPROPRIATE DIRECTIONAL ARROW WITH EACH SIGN WHERE REQUIRED.
- FOR A GENERAL DESCRIPTION OF BUILDING CONSTRUCTION, REFER TO SPECIFICATION SECTION 01 11 00.
- THIS SET OF DRAWINGS ALONG WITH THE PROJECT SPECIFICATIONS FORM THE CONTRACT DOCUMENTS AND MUST BE READ AND INTERPRETED IN CONJUNCTION WITH ONE ANOTHER.
- THE CONTRACTOR IS REQUIRED TO LOCATE ALL BURIED SERVICES (I.E. ELECTRICAL, IRRIGATION, PLUMBING, GAS, ETC.) BELOW GRADE AND AFFECTED BY THE WORK PRIOR TO PERFORMING REMOVALS. CARE IS TO BE TAKEN NOT TO DAMAGE SERVICES DURING REMOVAL. COST OF REPAIRS IS TO BE PAID THROUGH THE CONTINGENCY ALLOWANCE PROVIDED THE DAMAGES ARE NOT A RESULT OF CONTRACTOR NEGLIGENCE.
- PROVIDE MEANS FOR PROTECTING INTERIOR AREAS FROM WATER, MEMBRANE, ETC. LEAKAGE BETWEEN REMOVAL AND REPLACEMENT OF BUILDING ENVELOPE AND ROOFING ELEMENTS. CONTRACTOR TO SUBMIT METHOD OF PROTECTION TO BE USED TO THE CONSULTANT TEAM FOR REVIEW PRIOR TO REMOVAL OF EXISTING SYSTEMS.
- ALL WORK IS TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.

2.0 DESIGN LOADS

1. ASSUMED SPECIFIED UNIFORM LOAD kPa	LIVE LOAD	SNOW LOAD
A. GROUND FLOOR -----	2.4	
B. NEW ROOF LEVEL -----	1.0	1.29

CONTRACTORS' CONSTRUCTION LOADS MUST NOT EXCEED THE ABOVE DESIGN LOADS. DESIGN LOADS MAY ONLY BE APPLIED AFTER STRUCTURAL WORK IS COMPLETE AND CONCRETE REACHES ITS DESIGN STRENGTH, UNLESS OTHERWISE ACCOMMODATED THROUGH CONTRACTOR'S TEMPORARY WORK DESIGN. SUPERIMPOSED DEAD LOADS (S.D.L.) ARE NON-STRUCTURE DEAD LOADS DUE TO ARCHITECTURAL, FINISHES, PARTITIONS, ETC. STRUCTURAL DEAD LOADS (D.L.) ARE DUE TO THE WEIGHT OF THE STRUCTURE ITSELF. THEY VARY WITH THE STRUCTURAL SYSTEM.

3.0 GENERAL SCOPE OF WORK

- IN GENERAL, THIS RENOVATION PROGRAM INCLUDES THE WHOLESALE RENOVATION OF THE UPPER YONGE VILLAGE DAYCARE CENTRE BUILDING LOCATED AT 14 ST. CLEMENTS AVENUE IN TORONTO, ON. REFER TO SECTION 01 11 00 - SUMMARY OF WORK FOR A MORE DETAILED DESCRIPTION OF THE SCOPE OF WORK.

4.0 RENOVATIONS AND EXISTING CONDITIONS

- THE CONTRACT DOCUMENTS ARE BASED ON ASSUMED AS-BUILT DIMENSIONS FOR THE EXISTING BUILDING STRUCTURE AND ASSUMPTIONS IN ACCORDANCE WITH DETAILING AND PLACING PRACTICE. THESE ASSUMPTIONS MAY VARY FROM THE ACTUAL ON-SITE CONDITIONS. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE CONSULTANT TEAM OF ANY ACTUAL VARIATIONS FROM THE ASSUMED CONDITIONS.
- MINOR MODIFICATIONS WILL BE REQUIRED TO THE WORK INDICATED ON THESE DRAWINGS TO REFLECT ACTUAL SITE CONDITIONS. THE CONTRACTOR WILL COOPERATE WITH THE CONSULTANT TEAM IN THIS REGARD. MINOR MODIFICATIONS WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR AND WILL NOT RESULT IN A CHANGE IN THE CONTRACT PRICE.
- ENSURE THAT ALL NECESSARY JOB DIMENSIONS ARE TAKEN AND ALL TRADES ARE COORDINATED FOR THE PROPER EXECUTION OF THE WORK. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS OF SUCH DIMENSIONS, AND FOR COORDINATION.
- PRIOR TO CONSTRUCTION OF ANY STRUCTURAL ELEMENTS, THE CONTRACTOR SHALL COMPLETE THEIR SITE REVIEW OF CRITICAL "TIE-IN" DIMENSIONS AND CONFIRM ALL DIMENSIONS TO ENSURE PROPER FIT OF NEW WORK TO EXISTING. REPORT ANY DISCREPANCIES TO THE CONSULTANT TEAM PRIOR TO STARTING WORK.
- COMMENCEMENT OF CONSTRUCTION OR ANY PART THEREOF CONSTITUTES ACCEPTANCE OF EXISTING CONDITIONS AND MEANS DIMENSIONS AND ELEVATIONS HAVE BEEN CONSIDERED, VERIFIED AND ARE ACCEPTABLE.
- CONTRACTOR TO ENSURE THAT SOFFIT-MOUNTED ELECTRICAL AND MECHANICAL OR EMBEDDED OR BURIED SERVICES NOT TO BE REPLACED WITH NEW BY THIS PROJECT ARE IDENTIFIED AND NOT DAMAGED THROUGH DEMOLITION, SAWCUTTING, OR OTHER CONSTRUCTION ACTIVITIES.
- CONTRACTOR TO ATTAIN UTILITY AND PRIVATE LOCATES AND PROTECT EXISTING UTILITIES, SERVICES, ETC. THAT ARE NOT TO BE REPLACED AS PART OF THIS PROJECT. DAMAGES TO EXISTING UTILITIES, SERVICES, ETC. TO REMAIN WILL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AT NO ADDITIONAL COST TO THE CONTRACT.

5.0 STAGING NOTES

- THE CONTRACTOR IS TO PROVIDE SAFE ACCESS TO EXECUTE THE WORK SPECIFIED IN THE CONTRACT DOCUMENTS. ACCESS MAY BE COMPRISED OF SCAFFOLDING, STAGING, SWING STAGES, FALSE WORK, COMBINATIONS OF THE PROCEEDING OR OTHER METHODS APPROVED BY THE WORKERS' COMPENSATION BOARD OF ONTARIO.
- ALL ACCESS SHALL BE SUITABLE FOR THE SAFE AND EFFICIENT PERFORMANCE OF THE WORK. THE CONTRACTOR IS TO SUBMIT A PLAN OF THE BUILDING (PROVIDED) INDICATING THE TYPE OF ACCESS TO BE IMPLEMENTED ON EACH PORTION OF THE BUILDING.
- ALL ACCESS SHALL BE CAPABLE OF RESISTING ITS DEAD LOAD AND THE LIVE LOAD OF THE WORKERS AND STORED MATERIALS. LIVE LOADING IS TO CONFORM TO CAN/CSA S269.2 M87, ACCESS SCAFFOLD FOR CONSTRUCTION PURPOSES, CLAUSE 5.2.1.(b).
- PHASING OF ACCESS IS ACCEPTABLE, HOWEVER, SPECIFIED CONSTRUCTION SCHEDULE MUST BE MAINTAINED.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ACCESS TO NEIGHBOURING PROPERTIES TO UNDERTAKE THE WORK, IF REQUIRED, ALL PROJECT REQUIREMENTS REMAIN APPLICABLE AND ARE TO BE CONFIRMED TO WHEN ACCESSING AND PERFORMING WORK ON NEIGHBOURING PROPERTIES.

6.0 PHASING NOTES

- IN GENERAL, THE WORK IS TO BE UNDERTAKEN IN ONE (1) MAJOR PHASE, WITH THE BUILDING COMPLETELY UNOCCUPIED DURING CONSTRUCTION.
- NOTES APPLY TO ALL AREAS AND PHASES OF THE WORK. REFER TO THE GENERAL NOTES DRAWINGS AND SECTIONS 01 11 00 AND 01 11 01 FOR ADDITIONAL REQUIREMENTS.
- PROVIDE AND MAINTAIN HOARDING, DUST PROTECTION, SITE PROTECTION, AND CONSTRUCTION SIGNAGE AROUND THE SITE AND AREA OF WORK AS INDICATED ON THE DRAWINGS AND DESCRIBED IN SECTION 01 56 00.
- HOARDING IS TO BE ADJUSTED TO PROVIDE ADEQUATE ROOM FOR VEHICULAR AND PEDESTRIAN TRAFFIC TO SAFELY NAVIGATE AROUND THE WORK AREAS.
- PROVIDE AND MAINTAIN CONSTRUCTION SIGNAGE AROUND THE SITE AND AREAS OF THE WORK TO IDENTIFY CONSTRUCTION ACTIVITY AND DIRECT PEDESTRIANS AROUND THE WORK AREAS. REFER TO THE PHASING DRAWINGS, SECTION 01 56 00 AND THE SIGNAGE NOTES.
- PROVIDE AND MAINTAIN TEMPORARY LIGHTING WITHIN THE BUILDING AND PUBLIC THOROUGHFARES WHERE LIGHTING LEVELS ARE AFFECTED BY THE WORK.
- ACCESS THROUGH PUBLIC THOROUGHFARES IS TO BE MAINTAINED AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR FLAGMEN, SIGNAGE, AND TRAFFIC CONTROL THROUGHOUT THE COURSE OF THE WORK.
- THE CONTRACTOR IS TO ENSURE ACCESS TO THE SITE AND THE WORK AREAS IS RESTRICTED TO THE CONTRACTOR'S STAFF, OWNER AND CONSULTANTS.
- THE CONTRACTOR SHALL PRODUCE A 2-WEEK LOOK AHEAD SCHEDULE EACH WEEK, NOTIFYING THE CONSULTANT, OWNER AND SITE STAFF OF WORK TO BE UNDERTAKEN AND PHASE TURNSOVERS.

7.0 HOARDING NOTES

- THE CONTRACTOR IS TO INSTALL AND MAINTAIN HOARDING, DUST PROTECTION, AND SITE PROTECTION AROUND THE PROPERTY AND THE AREAS OF WORK AS OUTLINED IN SPECIFICATION SECTION 01 56 00 AND THESE DRAWINGS.
- POSITION HOARDING TO MAINTAIN VEHICLE AND PEDESTRIAN TRAFFIC FLOW AROUND THE SITE. DO NOT IMPEDE PUBLIC PATHS OF TRAVEL.
- TEMPORARY WALKWAYS AND PROTECTION MEASURES SHALL BE CONSTRUCTED TO MAINTAIN SAFE TRAFFIC FLOW THROUGH PUBLIC PATHS OF TRAVEL WHERE AFFECTED BY THE WORK SO AS TO PROTECT PEDESTRIANS USING SUCH PATHS OF TRAVEL.
- WHERE NECESSARY, PROVIDE FLAGMEN WHEN REQUIRED TO MAINTAIN SAFE VEHICLE ACCESS/EGRESS THROUGH THE WORK AREAS.
- MAKE GOOD ALL FINISHES DAMAGED BY THE INSTALLATION OF HOARDING, DUST PROTECTION AND CONSTRUCTION SIGNAGE.
- INSTALL TREE PROTECTION PER ARBORIST'S REPORT AND MUNICIPAL REQUIREMENTS PRIOR TO COMMENCING WORK.

8.0 SHORING NOTES

- BEFORE STARTING REMOVALS, REVIEW WITH THE STRUCTURAL CONSULTANT AND CONTRACTOR'S RETAINED SPECIALTY STRUCTURAL ENGINEER THE EFFECT OF DEMOLITION ON STRUCTURAL INTEGRITY. PROVIDE SHORING AND BRACING OF STRUCTURAL MEMBERS AS REQUIRED TO FACILITATE THE WORK.
- THE CONTRACTOR IS TO SUBMIT SHORING DESIGN TO THE STRUCTURAL CONSULTANT FOR TO REVIEW PRIOR TO INSTALLATION. ALL REQUIRED SHORING AND BRACING SYSTEMS MUST BE INSTALLED PRIOR TO PERFORMING REMOVALS.

9.0 TEMPORARY WORK

- THE CONTRACTOR SHALL DESIGN, PROVIDE, ERECT, MAINTAIN, REMOVE AND ASSUME FULL AND SOLE RESPONSIBILITY FOR ALL TEMPORARY WORK REQUIRED FOR THE SAFE AND COMPLETE EXECUTION OF THE WORK.
- IN THE EXECUTION OF THE TEMPORARY WORK AND FOR THE DURATION OF THE CONTRACT, THE CONTRACTOR SHALL MAKE ADEQUATE PROVISION FOR ALL LIKELY CONSTRUCTION LOADING AND PROVIDE SUFFICIENT BRACING AND PROPS TO KEEP THE WORK PLUMB, ALIGNED AND FREE FROM EXCESSIVE DEFLECTION.
- ACCESS OF HEAVY CONSTRUCTION EQUIPMENT AND ACCUMULATION OF CONSTRUCTION MATERIALS ON THE FLOORS AND ROOFS ARE NOT PERMITTED, UNLESS SUCH HAVE BEEN CATERED FOR IN THE CONTRACTOR'S TEMPORARY WORK DESIGN TO THE SATISFACTION OF THE ENGINEER.
- COSTS OF ALL TEMPORARY WORK IS TO BE INCLUDED IN THE CONTRACT PRICE.
- SUBMIT SHOP DRAWINGS FOR ALL TEMPORARY WORK FOR REVIEW BEFORE FABRICATION COMMENCES. SHOP DRAWINGS SHALL BE SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
- ANY CONSTRUCTION SEQUENCES SHOWN ON THE DRAWINGS SHALL BE PART OF TEMPORARY WORKS AND ARE FOR THE CONTRACTOR'S CONSIDERATION ONLY. THE CONTRACTOR IS AT LIBERTY TO USE ANY OTHER SEQUENCE AS HE DEEMS APPROPRIATE, BUT AT NO TIME SHALL THE SAFETY AND INTEGRITY OF THE WORKS AND THE STRUCTURE BE COMPROMISED, IF THE CONTRACTOR ADAPTS THE SUGGESTED SEQUENCE, SUCH SEQUENCE SHALL BE DEEMED AS THE CONTRACTOR'S OWN SELECTION OF METHOD, AND THE CONTRACTOR SHALL ASSUME FULL AND SOLE RESPONSIBILITY FOR IT, AS STATED IN (1) ABOVE. THE CONTRACTOR SHALL INFORM THE CONSULTANT TEAM IF HE WISHES TO DEVIATE FROM ANY SUGGESTED SEQUENCE.

10.0 FIELD REVIEW BY CONSULTANT TEAM

- THE CONSULTANT TEAM PROVIDES FIELD REVIEW ONLY FOR THE WORK SHOWN ON THESE DRAWINGS. THIS REVIEW IS NOT A "FULL TIME" REVIEW BUT IS A PERIODIC REVIEW AT THE SOLE DISCRETION OF THE CONSULTANT TEAM IN ORDER TO ASCERTAIN THAT THE WORK IS IN GENERAL CONFORMANCE WITH THE PLANS AND SUPPORTING DOCUMENTS PREPARED BY THE CONSULTANT TEAM. FIELD REVIEW BY THE CONSULTANT TEAM IS NOT CARRIED OUT FOR THE CONTRACTOR'S BENEFIT, NOR DOES IT MAKE THE CONSULTANT TEAM GUARANTORS OF THE CONTRACTOR'S WORK. IT REMAINS THE CONTRACTOR'S RESPONSIBILITY TO BUILD THE WORK IN CONFORMANCE WITH THE DOCUMENTS. THE CONSULTANT TEAM SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- PROVIDE 48 HOURS ADVANCE NOTICE OF EACH REQUIRED FIELD REVIEW. FIELD REVIEWS SHALL BE SCHEDULED TO BE CARRIED OUT DURING NORMAL BUSINESS HOURS UNLESS SPECIAL ARRANGEMENTS ARE MADE WITH THE CONSULTANT TEAM.
- THE WORK TO BE REVIEWED SHALL BE GENERALLY COMPLETE.

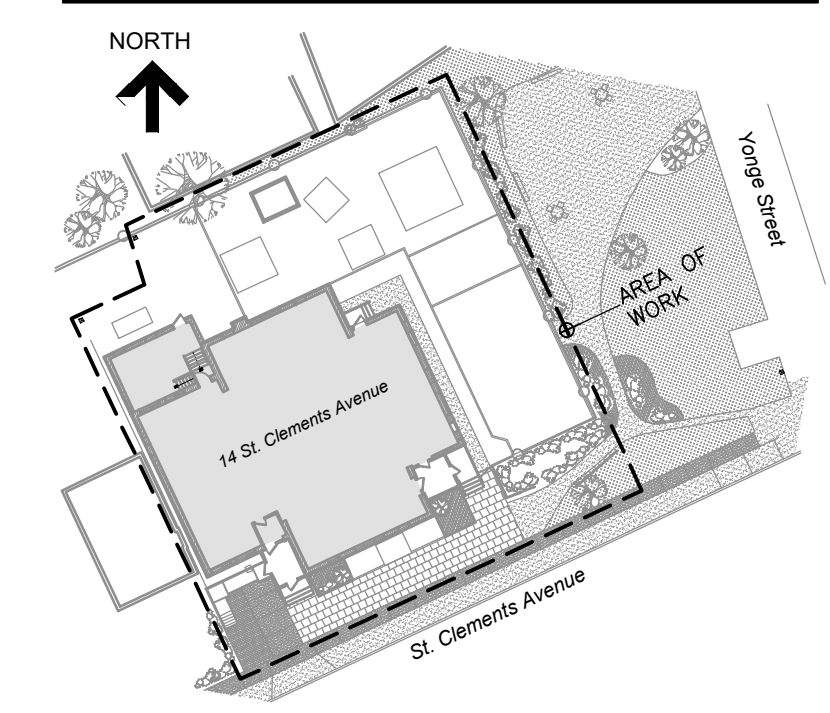
11.0 SHOP DRAWING REVIEW RESPONSIBILITIES

- AS PART OF FIELD SERVICES, THE CONSULTANT TEAM WILL REVIEW SHOP DRAWINGS PERTAINING TO WORK SHOWN ON THE REVIEWING PARTY'S DRAWINGS BY MEANS OF APPROPRIATE RATIONAL SAMPLING PROCEDURES AND COMMENT ON THE ACCURACY WITH WHICH THE CONTRACTOR PREPARED THE DRAWINGS. REVIEW OF SHOP DRAWINGS IS FOR THE SOLE PURPOSE OF ASCERTAINING GENERAL CONFORMANCE WITH THE GENERAL DESIGN CONCEPT AND IS NOT AN APPROVAL OF THE DETAIL DESIGN INHERENT IN THE SHOP DRAWINGS. RESPONSIBILITY FOR WHICH SHALL REMAIN WITH THE CONTRACTOR SUBMITTING THEM. SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR ERRORS AND OMISSIONS IN THE SHOP DRAWINGS OR FOR MEETING ALL REQUIREMENTS OF THE DESIGN DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR INFORMATION PERTAINING TO THE FABRICATION PROCESS TECHNIQUES OF CONSTRUCTION AND INSTALLATION AND FOR COORDINATION OF THE WORK OF ALL SUB-TRADES.

12.0 SIGNAGE NOTES

"X" DENOTES CONSTRUCTION SIGN LOCATION

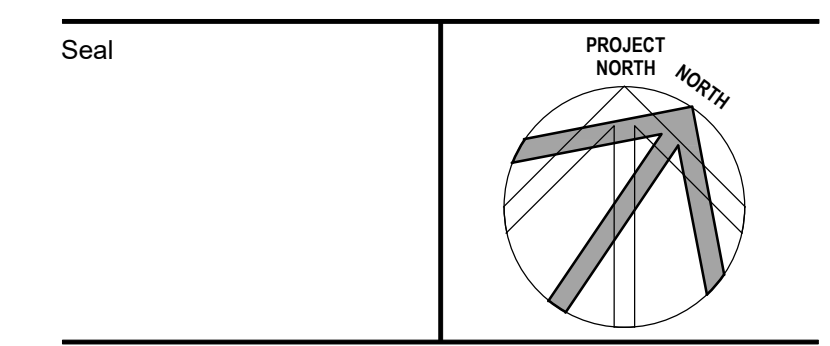
- THE CONTRACTOR SHALL PROVIDE ALL REQUIRED SIGNAGE NECESSARY TO PROTECT THE PUBLIC FROM THE CONSTRUCTION. CONTROL TRAFFIC FLOW AROUND THE SITE AND THE WORK AREA, AND TO INFORM THE PUBLIC THAT CONSTRUCTION ACTIVITY IS IN PROGRESS.
- ADDITIONAL SIGNS MAY BE REQUIRED AT THE DISCRETION OF THE OWNER OR THE CONSULTANT TEAM AS CONSTRUCTION PROGRESSES TO ENSURE VEHICLE AND PEDESTRIAN TRAFFIC FLOW IS MAINTAINED. NO EXTRAS WILL BE ENTERTAINED FOR SIGNAGE REQUIREMENTS AFTER TENDER CLOSES.
- SIGNAGE WILL BE REQUIRED AT ALL ENTRANCES TO THE SITE AND BUILDING. THIS SIGNAGE SHALL CONSIST OF THE STANDARD "DANGER - WORK IN PROGRESS" SIGN WITH AN ADDITIONAL SIGN (SPECIAL ORDER) INDICATING THAT THE "DAYCARE IS TEMPORARILY CLOSED FOR CONSTRUCTION" AND "SORRY FOR THE INCONVENIENCE".
 - "DAYCARE IS TEMPORARILY UNDER CONSTRUCTION - SORRY FOR THE INCONVENIENCE"
 - "PROCEED WITH CAUTION" (WITH DIRECTIONAL ARROW)
 - "DO NOT ENTER - CLOSED FOR REPAIRS"
 - "SLOW-10 km/hr MAX"
 - "NO PARKING" (WITH DIRECTIONAL ARROW)
- THE LOCATION AND TYPE OF SITE SPECIFIC CONSTRUCTION SIGNAGE IS INDICATED ON THE PHASING DRAWINGS WHICH INCLUDES, BUT IS NOT NECESSARY LIMITED TO THE FOLLOWING:



KEY PLAN

No.	Revision	Date	By
5.	ISSUED FOR PERMIT/ TENDER REVISION	Sept. 20, 24	S.P.
4.	ISSUED FOR BUILDING PERMIT	June 12, 24	S.P.
3.	ISSUED FOR TENDER	May 13, 24	S.P.
2.	ISSUED FOR CLIENT REVIEW	May 13, 24	S.P.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr. 17, 24	S.P.

- Drawing Notes**
- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
 - These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
 - Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

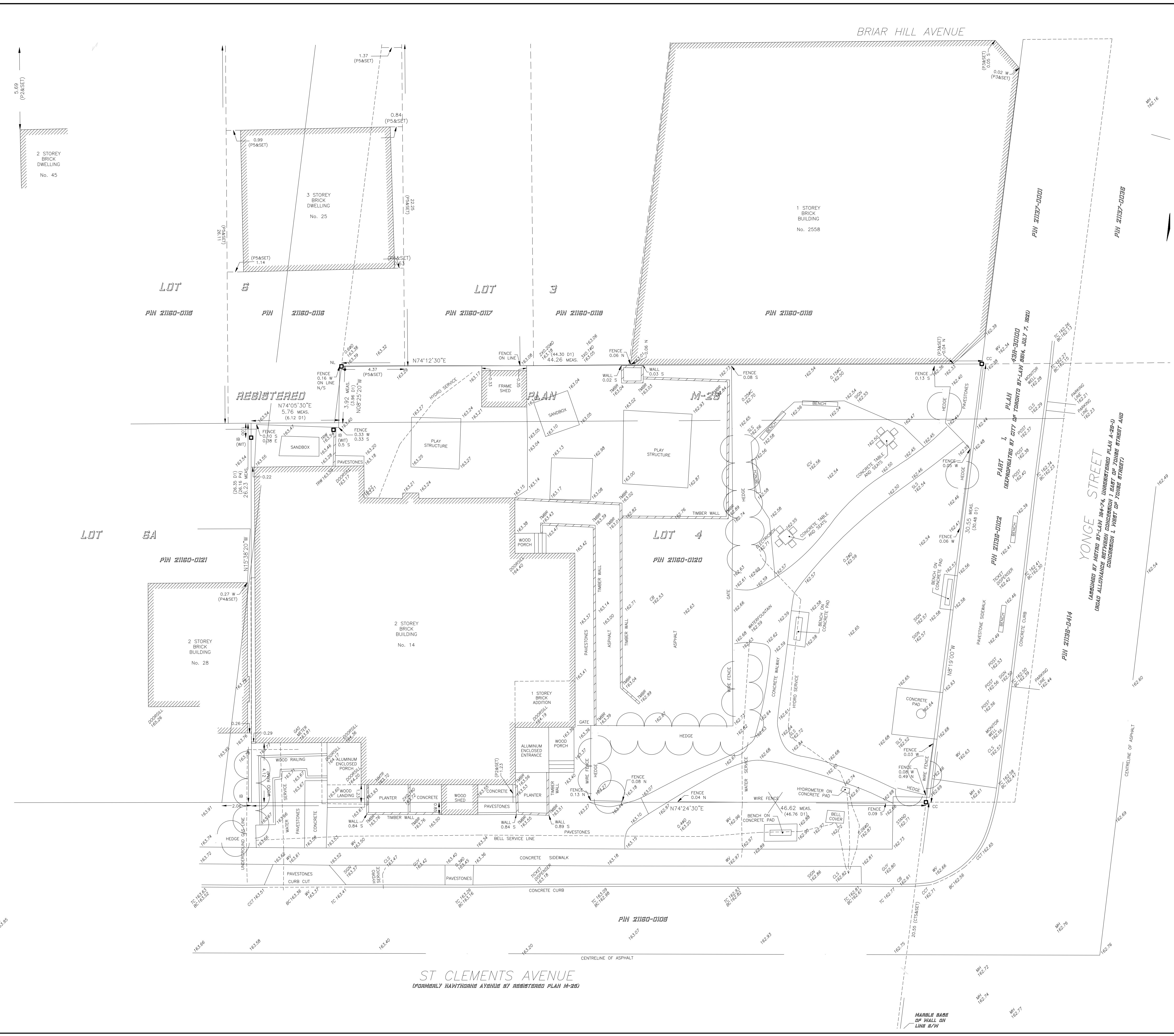
BUILDING RENOVATION

Sheet Title

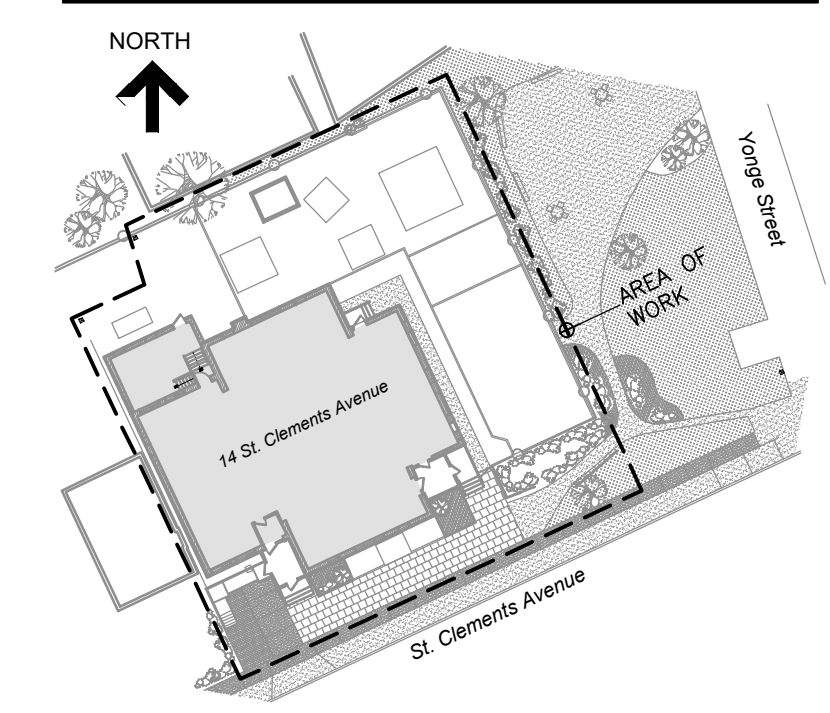
SITE SURVEY

Drawn By T.S. Scale 1:125
Designed By S.P. Date September, 2024
RJC Project Number TOR.122940.0001
Sheet Number _____ Revision _____

P0.0



ST CLEMENTS AVENUE
(FORMERLY HAYTHORNE AVENUE BY REGISTERED PLAN M-29)

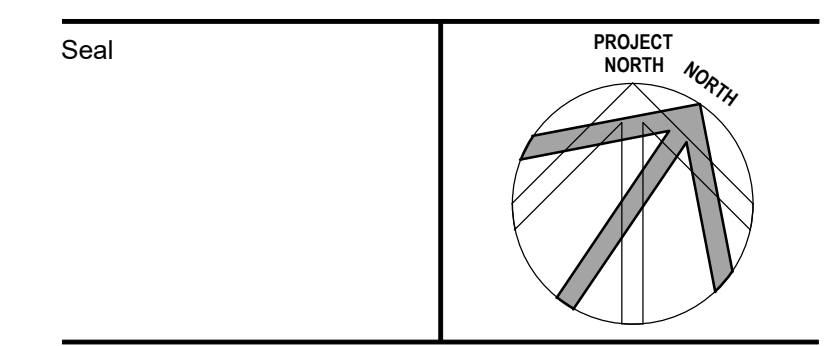


KEY PLAN

No.	Revision	Date	By
5.	ISSUED FOR PERMIT/ TENDER REVISION	Sept. 20, 24	S.P.
4.	ISSUED FOR BUILDING PERMIT	June 12, 24	S.P.
3.	ISSUED FOR TENDER	May 13, 24	S.P.
2.	ISSUED FOR CLIENT REVIEW	May 13, 24	S.P.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr. 17, 24	S.P.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



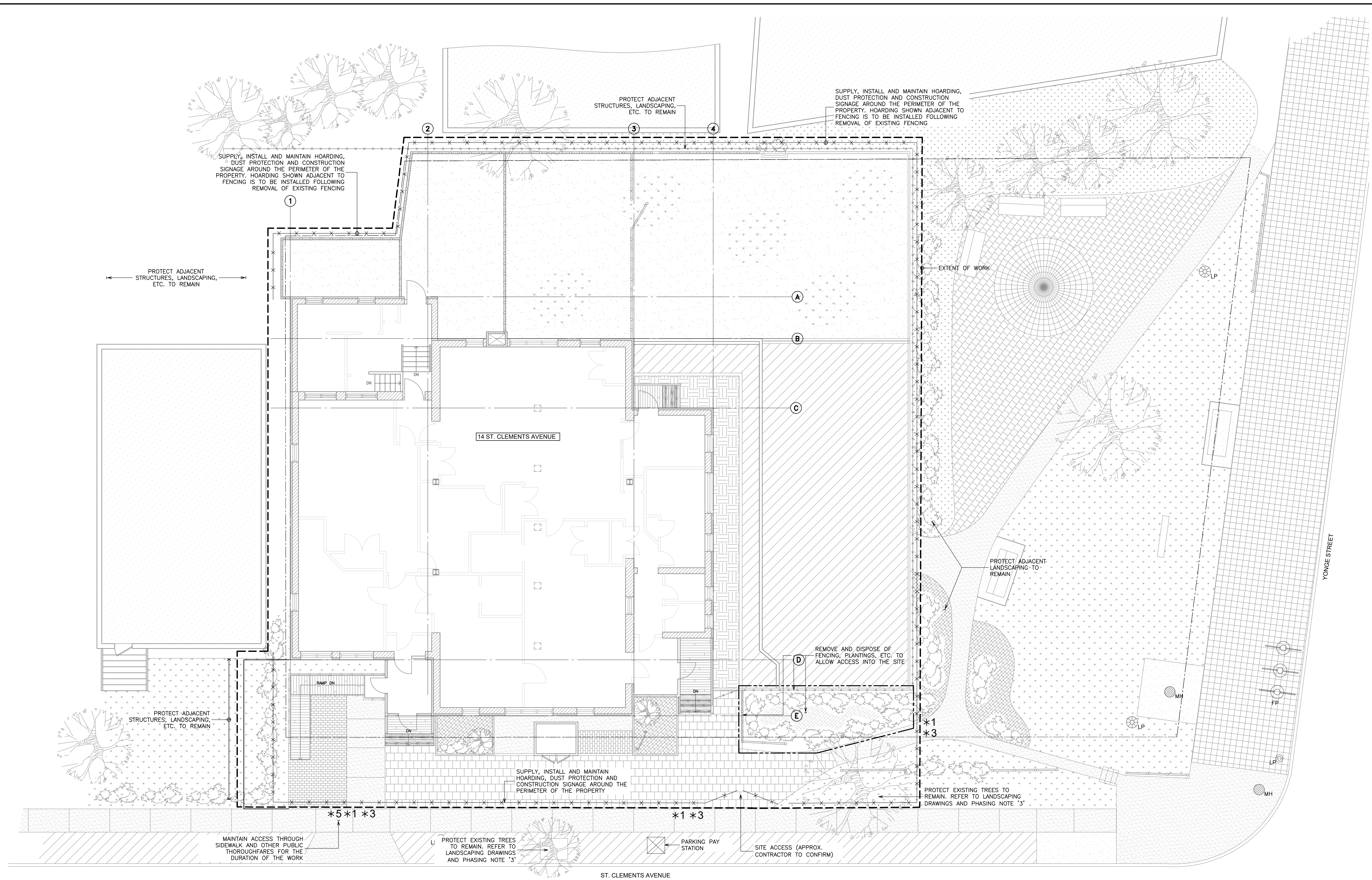
Project Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title
SITE PHASING PLAN

Drawn By T.S. Scale 1:100
Designed By S.P. Date September, 2024
RJC Project Number **TOR.122940.0001**
Sheet Number Revision

P0.1



SIGNAGE NOTES :

" * " DENOTES CONSTRUCTION SIGN LOCATION

- REFER TO GENERAL NOTES AND SECTION 01 56 00 FOR ADDITIONAL SIGNAGE REQUIREMENTS.
- THE LOCATION AND TYPE OF SITE SPECIFIC CONSTRUCTION SIGNAGE IS INDICATED ON THE DRAWINGS WHICH INCLUDES, BUT IS NOT NECESSARY LIMITED TO THE FOLLOWING:
 - "DAYCARE IS TEMPORARILY UNDER CONSTRUCTION - SORRY FOR THE INCONVENIENCE"
 - "PROCEED WITH CAUTION" (WITH DIRECTIONAL ARROW)
 - "DO NOT ENTER - CLOSED FOR REPAIRS"
 - "SLOW-10 km/hr MAX"
 - "NO PARKING" (WITH DIRECTIONAL ARROW)

PHASING NOTES :

- NOTES APPLY TO ALL AREAS AND PHASES OF THE WORK. REFER TO THE DRAWING GNO.1 AND SECTIONS 01 11 00 AND 01 11 01 FOR ADDITIONAL REQUIREMENTS.
- PROVIDE AND MAINTAIN HOARDING, DUST PROTECTION, SITE PROTECTION, AND CONSTRUCTION SIGNAGE AROUND THE SITE AND AREAS OF WORK AS INDICATED ON THE DRAWINGS AND DESCRIBED IN SECTION 01 56 00.
- PROVIDE AND MAINTAIN TREE PROTECTION AROUND EXISTING TREES TO REMAIN. REFER TO LANDSCAPING DRAWINGS.
- HOARDING IS TO BE ADJUSTED TO PROVIDE ADEQUATE ROOM FOR VEHICULAR AND PEDESTRIAN TRAFFIC TO SAFELY NAVIGATE THROUGH PUBLIC AREAS AND AROUND THE WORK AREAS.
- PROVIDE AND MAINTAIN CONSTRUCTION SIGNAGE AROUND THE SITE AND AREAS OF THE WORK AS SHOWN TO IDENTIFY CONSTRUCTION ACTIVITY AND DIRECT PEDESTRIANS AROUND THE WORK AREAS. REFER TO SECTION 01 56 00 AND THE SIGNAGE NOTES.
- SECURE THE WORK AREAS AT THE END OF EACH DAY'S WORK. DAMAGES OR LOSSES DUE TO FAILURE TO SECURE THE WORK AREAS SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- COORDINATE ALL TEMPORARY POWER, WATER, GAS, ETC. SHUTDOWNS AND RECOMMISSIONING WITH THE OWNER, SUPPLIERS, AND WITH AUTHORITIES HAVING JURISDICTION, WHERE NECESSARY.
- PROVIDE AND MAINTAIN TEMPORARY LIGHTING WITHIN THE BUILDING AND AT PUBLIC THOROUGHFARES WHERE LIGHTING LEVELS ARE AFFECTED BY THE WORK AND HOARDING.
- WHERE EXISTING SERVICES ARE AFFECTED BY THE WORK, PROVIDE AND MAINTAIN TEMPORARY SERVICES (I.E. POWER, WATER, GAS, ETC.) AS REQUIRED TO FACILITATE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
- CONSTRUCTION WORK SHALL NOT IMPEDE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW AND REGULAR USE OF NEARBY STREETS, SIDEWALKS, BUILDINGS, ETC. THE CONTRACTOR AND THEIR TRADES, DELIVERIES, EQUIPMENT, MATERIALS, ETC. SHALL NOT BLOCK NEARBY STREETS, SIDEWALKS, BUILDINGS, PARKING AREAS, ETC. AT ANY TIME WITHOUT THE APPROPRIATE CLOSURE PERMITS AND TRAFFIC CONTROL PLANS IN PLACE. CONTRACTOR MAY BE PENALIZED FOR BLOCKING THOSE ELEMENTS, AT THE DISCRETION OF THE CONSULTANT.
- THE CONTRACTOR IS RESPONSIBLE FOR FLAGMEN, SIGNAGE, AND TRAFFIC CONTROL THROUGHOUT THE COURSE OF THE WORK.
- CONSTRUCTION WORK MAY REQUIRE REMOVALS, EXCAVATION, ACCESS, ETC. TO BE PERFORMED ON THE ADJACENT PROPERTIES. CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS, COORDINATION, ETC. AS REQUIRED TO FACILITATE THE WORK. HOARDING LINES TO BE ADJUSTED AS REQUIRED AT NO EXTRA COST TO THE CONTRACT.

LEGEND:

	CONCRETE CURB		INTERLOCKING PAVERS		PLANTING BED		PAVERS
	EXISTING MASONRY WALL		INTERLOCKING PAVERS		WOOD DECKING		HOARDING (APPROX. LOCATION)
	WINDOWS		SOFT LANDSCAPING		PICKET FENCING		MAN HOLE
	CONCRETE SIDEWALK/ TOPPING		WOOD FENCING		*1 LOCATION AND TYPE OF TEMPORARY CONSTRUCTION SIGNAGE (REFER TO SECTION 01 56 00)		FLAG POLE
	ASPHALT PAVEMENT		EXISTING FENCING		LP LIGHT POLE		EXTENT OF WORK
	TREES AND SHRUBS		CB CATCH BASIN		PROPERTY LINE		

FIRM NAME: WORKSHOP ARCHITECTURE 6 SOUSA MENDES ST Toronto, ON M6P 0A8 tel. 416.901.8055 fax 416.849.0383		LOCATION: 14 St. Clements Avenue Toronto, ON M4R 1G9	
NAME OF PROJECT: Upper Yonge Village Daycare Centre - Building Renovation		Project Area 373m ² (renovation/addition)	
ITEM		OBC REFERENCE References are to Division B unless noted [A] for Division A or [C] for Division C	
ONTARIO'S 2012 BUILDING CODE DATA MATRIX PARTS 3 & 9			
1	PROJECT DESCRIPTION:	<input type="checkbox"/> NEW <input checked="" type="checkbox"/> PART 11 <input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9 <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> ADDITION <input checked="" type="checkbox"/> ALTERATION	1.1.2 [A] & 9.10.1.3
2	MAJOR OCCUPANCY(S): A2 (Daycare)		3.1.2.1(1) 9.10.2
3	BUILDING AREA (M ²) EXISTING 428m ² NEW TOTAL 425m ²		1.4.1.2.[A] 1.4.1.2.[A]
4	GROSS AREA EXISTING 381m ² NEW TOTAL 373m ²		1.4.1.2.[A] 1.4.1.2.[A]
5	NUMBER OF STOREYS ABOVE GRADE 1 BELOW GRADE 1		1.4.1.2.[A] & 3.2.1.1. 1.4.1.2.[A] & 9.10.4
6	NUMBER OF STREETS / FIRE FIGHTER ACCESS 1 (EXISTING UNCHANGED)		3.2.2.10 & 3.2.5 9.10.20
7	BUILDING CLASSIFICATION 3.2.2.25		3.2.2.20-83 9.10.2
8	SPRINKLER SYSTEM (PROPOSED) <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> SELECTED FLOOR AREAS <input checked="" type="checkbox"/> NOT REQUIRED		3.2.2.20-83 9.10.8.2. 3.2.1.5 3.2.2.17 INDEX INDEX
9	STANDPIPE REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.9 N/A
10	FIRE ALARM REQUIRED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		3.2.4 9.10.18
11	WATERSERVICE/SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		3.2.5.7 N/A
12	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.6 N/A
13	CONSTRUCTION RESTRICTIONS <input checked="" type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH		3.2.2.20-83 9.10.6
14	MEZZANINE(S) AREA M ² NA		3.2.1.1.(3)-(8) 9.10.4.1
15	OCCUPANT LOAD BASED ON <input type="checkbox"/> M.SQ./PERSON <input type="checkbox"/> DESIGN OF BUILDING OCCUPANCY <input checked="" type="checkbox"/> LOAD 57 children PERSONS + 10 staff		3.1.17 9.9.1.3
16	BARRIER-FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)		3.8 9.5.2
17	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.3.1.2. & 3.3.1.19 9.10.1.3(4)
18	REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS) LISTED DESIGN NO. OR DESCRIPTION (SG-2)	3.2.2.20-83 & 3.2.1.4 9.10.8 9.10.9
	FLOORS no change HOURS 45 min		NO CHANGE
	ROOF no change HOURS 45 min		NO CHANGE
	MEZZANINE NA HOURS	NA	NO CHANGE
	FRR OF SUPPORTING MEMBERS	LISTED DESIGN NO. OR DESCRIPTION (SG-2)	NO CHANGE
	FLOORS no change HOURS		
	ROOF no change HOURS		
	MEZZANINE NA HOURS		
19	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS NA		3.2.3 9.10.14
20	OTHER-DESCRIBE UNEXCAVATED CRAWLSPACE AT EXISTING BUILDING DOES NOT REQUIRE FRR TO MAIN FLOOR ABOVE - OBC 3.2.2.9(2)		

Project Summary
Existing building consists of a 2-storey 381 m² Gross Floor Area. Existing use is a Daycare as permitted under City of Toronto Zoning By-Law 569-2013.

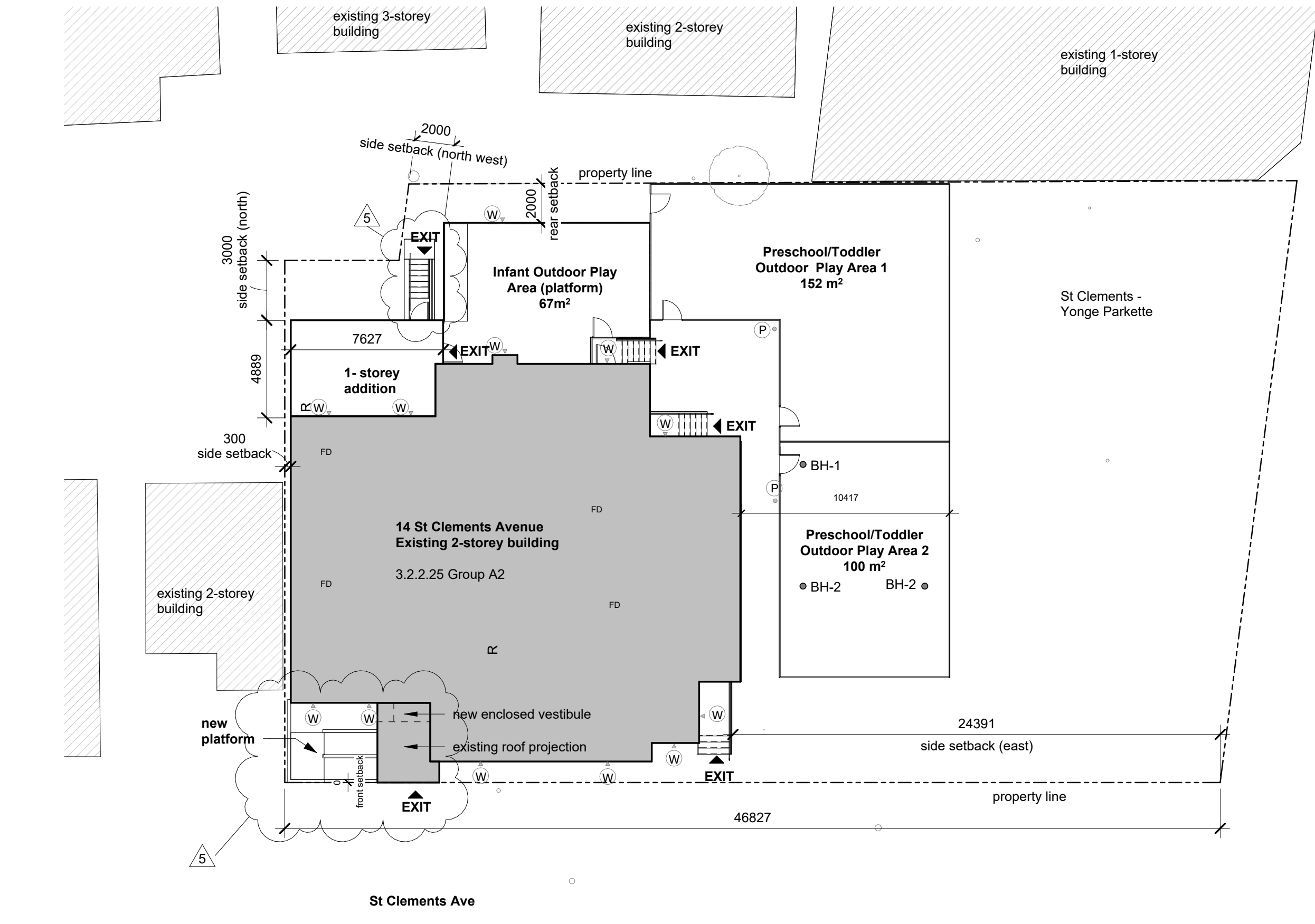
Scope of Proposed Work:
Renovation of Basement 1 to include laundry and IT services. Renovations throughout Level 1 with new elevator, stair, universal washroom and addition to the north west corner. Changes to existing structure, plumbing, HVAC and electrical services. No changes to occupant load and proposed use.

Proposed gross floor area:
381 m² existing - 11m² (elevator & stair) + 3m² (Level 1 addition) = 373m²

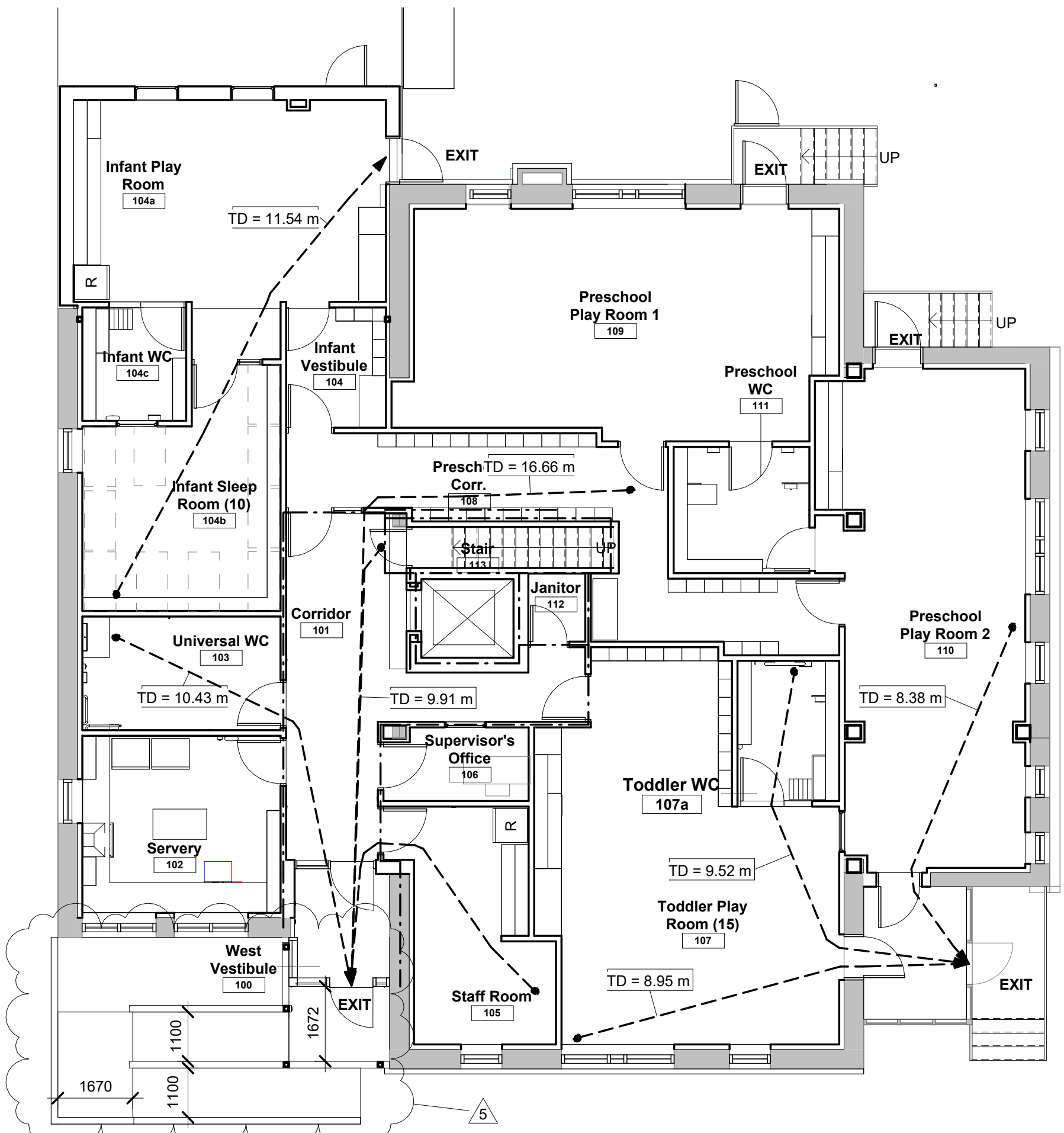
Committee of Adjustment Minor Variance File No. A0345/23NY
Zoning Certificate 20 167007 ZC 00 ZR

Zoning Summary	
Zoning: OR (x80)	Lot 4 & Part of Lots 3 and 6A, Registered Plan M-25 Average Grade: 163.4m
Lot Area: 1443.9 m ²	Frontage: 46.7m Depth: 30.2m
Gross Floor Area	Existing 381 m ² Proposed 373 m ²
Floor Space Index	Existing 0.26 Proposed 0.26
Front Setback	Existing 0m Proposed 0m
Side Setback (East)	Existing 24.2 (unchanged)
Side Setback (West)	Existing 0.3m (unchanged)
Side Setback (North)	Existing 3m Proposed 3m
Side Setback (North West)	Existing N/A Proposed 2m
Rear Setback	Existing 3m Proposed 2m
Building Height	Existing 10m (unchanged)
Vehicular Parking	Existing 0 (unchanged)

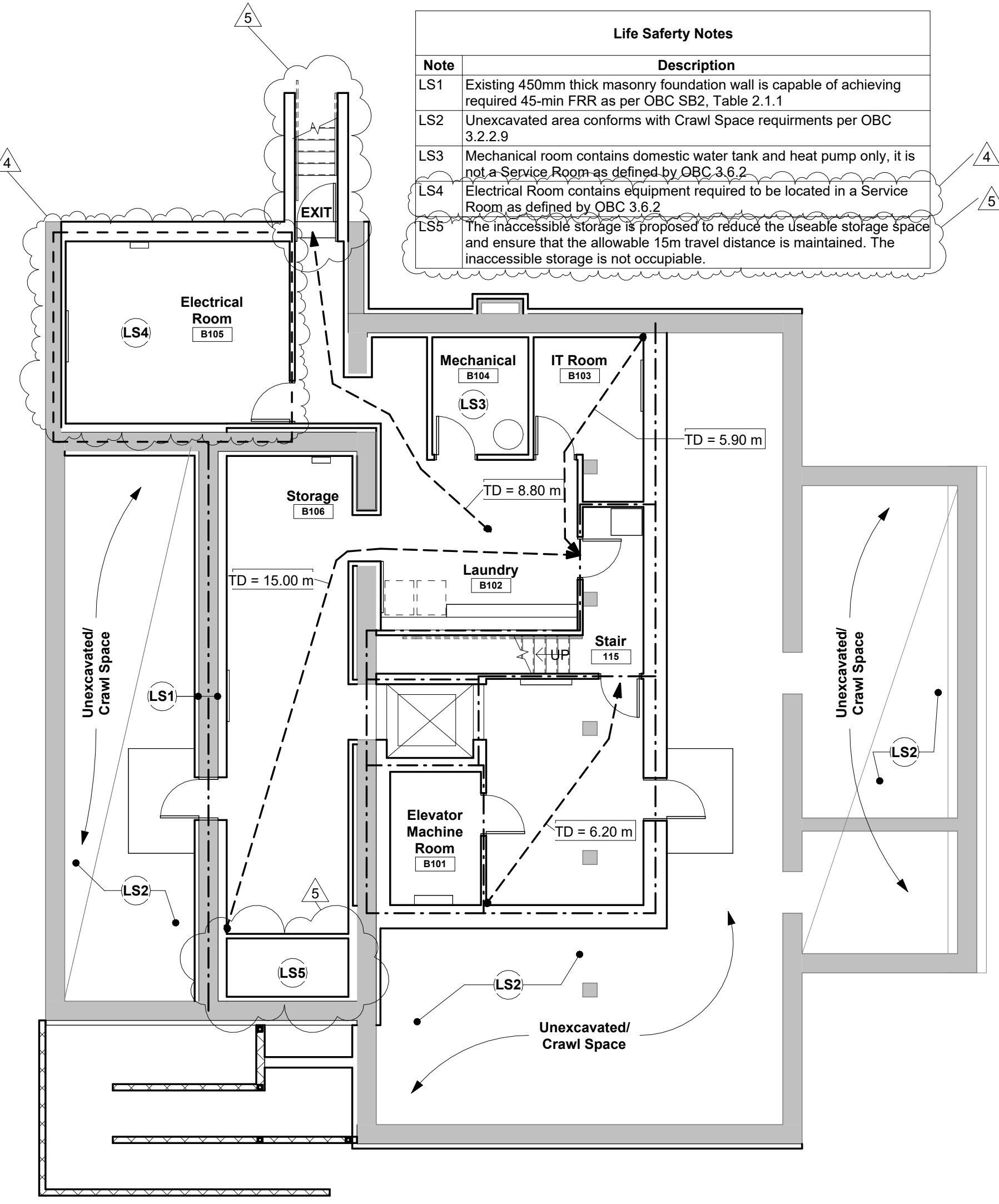
- General Notes:**
- Drawings are to be read in conjunction with project specifications.
 - Make good all surfaces/areas/finishes damaged during demolition. Prepare existing surfaces to accept new finishes as scheduled/specified.
 - All dimensions are to face of partition unless noted otherwise.
 - Angles are 90 degrees unless noted otherwise.
 - Contractor to measure and verify all site dimensions and verify existing conditions affecting new work. Notify consultant of any discrepancies before proceeding with new work.
 - General Contractor to provide adequate blocking for all millwork, signage, grab bars, equipment, etc mounted to walls/ceilings.
 - General Contractor shall be responsible for all mechanical, electrical and plumbing work. The General Contractor shall be responsible for all chases, cutting, openings (including scanning/x-ray where required) and patching as required by mechanical, electrical, plumbing and IT cabling trades. Review requirements with these trades.
 - Site access, including working hours, for material delivery, work forces and for refuse removal is to be coordinated with the Owner, as per terms outline in Specification Section 01 11 01 - Use of Site.
 - General Contractor is to co-ordinate and co-operate with trades retained directly by Owner as applicable (eg: security contractor, IT sub trades, etc).
 - General Contractor shall be responsible for scheduling the trades identified in item 9, where such work affects the progress of the job.
 - Any temporary shoring required, including excavation support systems, shall be coordinated and provided by General Contractor within bid price. Refer also to Structural drawings, details and specification for additional requirements.
 - Building Permit shall be obtained by Owner. All other permits/fees (including but not limited to ESA, Municipal road closure permits, service connection fees, sign permits, etc) to be obtained by the Contractor as necessary to complete the Work. All costs for these permits (Municipal Inspections, traffic direction costs, etc) shall be included in bid price and provided at no additional cost to the Owner.
 - Reinstatement of any adjacent paving/sidewalks/roadways/asphalt within the Municipal Right of Way or adjacent properties disturbed during construction to be carried out according to applicable Municipal Standards. Refer also to Landscape/Structural drawings.



2 Site Plan
1 : 200



3 Level 01 - Life Safety Plan
1 : 100



4 Basement - Life Safety Plan
1 : 100

Sheet List	
Sheet Number	Sheet Name
A0.0	OBC Matrix, Life Safety Plan, Key Plan
A0.1	Schedules
A1.0	Demolition Plans
A1.1	Demolition RCPs
A1.2	Proposed Plans
A1.3	Proposed RCPs
A2.0	Exterior Elevations & Roof Plan
A3.0	Building Sections
A3.1	Wall Sections & Details - Addition and Existing
A3.2	Wall Sections & Details - West Vestibule
A3.3	Detailed Plans, Interior and Exterior Details
A4.0	Detailed Plans & Interior Elevations - Washrooms
A4.1	Detailed Plans & Interior Elevations - Playrooms, Corridors, & Servery
A5.0	Millwork
A5.1	Millwork

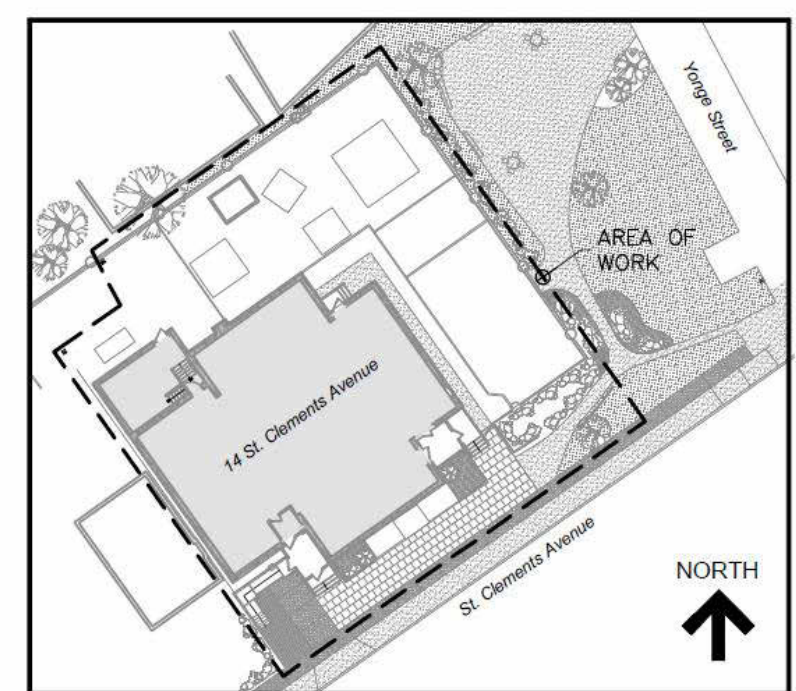
Site & Life Safety Plan Legend

- Travel Distance Max Allowable = 15m
- 45min FRR
- 1 HR FRR
- Property Line
- Entrance/Exit
- Existing (E)
- BH-X Geothermal Bore Hole - see mechanical site plan
- P Pole light - see electrical
- W Wall light - see electrical
- Proposed Tree - see landscape
- Existing Tree - see landscape

Life Safety Notes

Note	Description
LS1	Existing 450mm thick masonry foundation wall is capable of achieving required 45-min FRR as per OBC SB2, Table 2.1.1
LS2	Unexcavated area conforms with Crawl Space requirements per OBC 3.2.2.9
LS3	Mechanical room contains domestic water tank and heat pump only, it is not a Service Room as defined by OBC 3.6.2
LS4	Electrical Room contains equipment required to be located in a Service Room as defined by OBC 3.6.2
LS5	The inaccessible storage is proposed to reduce the useable storage space and ensure that the allowable 15m travel distance is maintained. The inaccessible storage is not occupiable.

WORKSHOP
WORKSHOP is an architecture studio.
6 SOUSA MENDES STREET
Toronto Ontario M6P 0A8
T 416.901.8055 F 416.849.8383
www.workshoparchitecture.ca

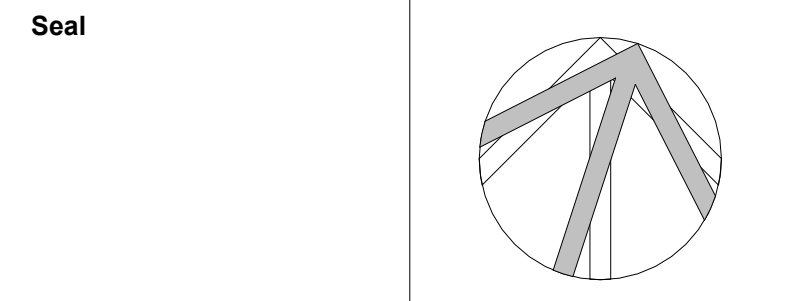


KEY PLAN

No.	Revision	Date	By
5.	PERMIT/TENDER REVISION	Sept 20/24	E.C.
4.	ISSUED FOR BUILDING PERMIT	May 28/24	E.C.
3.	ISSUED FOR TENDER	May 13/24	E.C.
2.	ISSUED FOR CLIENT REVIEW	May 13/24	E.C.
1.	ISSUED FOR 95% CLIENT REVIEW	April 17/24	E.C.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tendering" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
Upper Yonge Village Daycare Centre
14 St. Clements Avenue, Toronto, ON

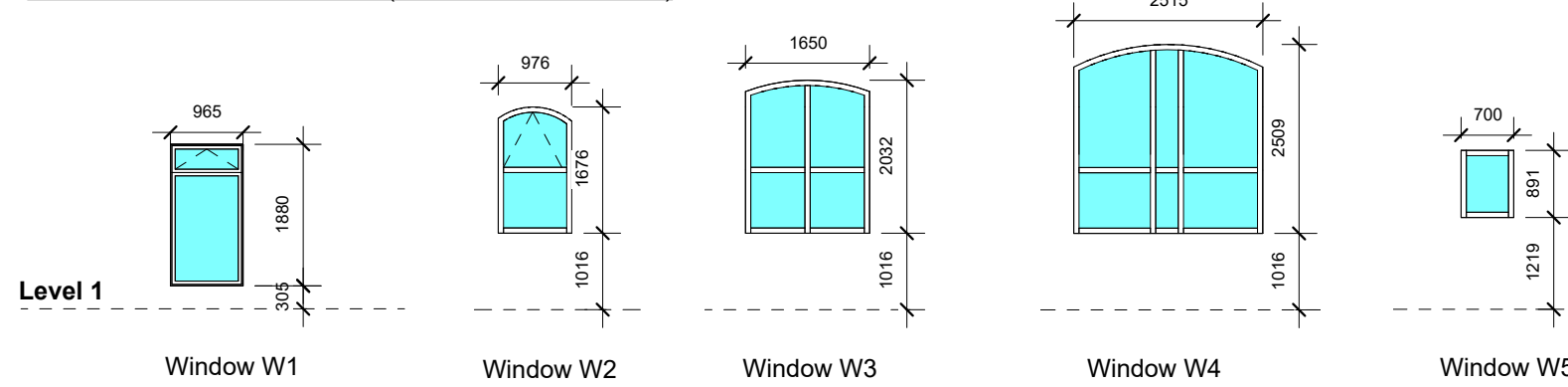
BUILDING RENOVATION
Sheet Title: OBC Matrix, Life Safety Plan, Key Plan

Drawn By: E.C. Scale: As indicated
Designed By: E.C. Date: May 2024
RJC Project Number: TOR.122940.0001
Sheet Number: A0.0 Revision

A0.0

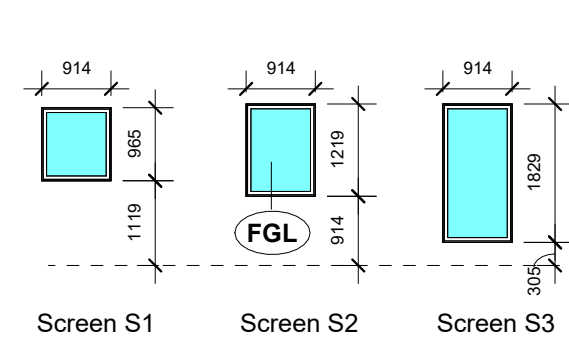
WINDOW SCHEDULE

Aluminum Clad Wood Windows (Passive House Certified)



NOTE: Provide rollershades at all windows
 NOTE: Provide window contact and glass break sensor at all windows - see electrical.
 NOTE: Provide fire shutters where indicated on plan.

INTERIOR HOLLOW METAL SCREEN SCHEDULE

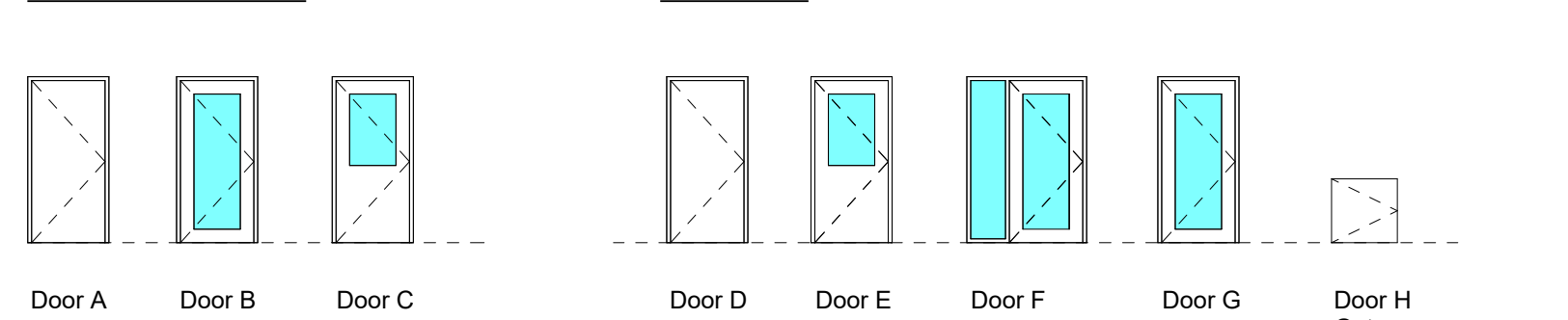


NOTE: All screen glazing to be TGL
 NOTE: All fire rated assemblies to be FGL
 NOTE: Glazing film GF at 1219mm AFF
 NOTE: Provide rollershades at all screens

DOOR SCHEDULE

Exterior Aluminum Doors

Interior Doors

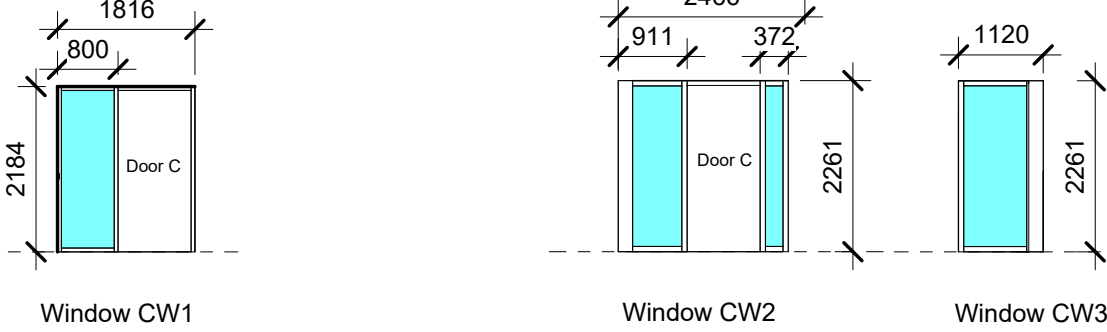


NOTE: Glazing as scheduled - IGU-01/02, FGL, TGL
 NOTE: Frames as scheduled - ALUM, HM
 NOTE: Glazing film GF at 1219mm AFF
 NOTE: Provide rollershades at all glazed lites and screens

CURTAIN WALL SCHEDULE

Glazed Timber Curtain Wall (Passive House Certified)

Glazed Aluminum Curtain Wall



NOTE: All passive house curtain wall glazing to be IGU-01
 NOTE: All aluminum curtain wall glazing to be IGU-02
 NOTE: Glazing film GF at 1219mm AFF

Door Schedule

Level	Door No.	Room	Type Mark	Height	Width	Sidelight Width	Door Mat	Finish	Frame Material	Frame Fin.	Fire Rating	Power Operator	Card Reader	Maglock	Door Contact	Comments
Basement	DB100	Lobby	A	1219	914		ALUM	ALUM	ALUM	ALUM	45min					Passive House door - crawlspace access
Basement	DB101	Elevator Machine Room	D	2032	914		HM	PT	HM	PT	45min					
Basement	DB102	Laundry	D	2032	914		HM	PT	HM	PT	45min					
Basement	DB103	IT Room	D	2032	914		HM	PT	HM	PT						
Basement	DB104	Mechanical Room	D	2032	914		HM	PT	HM	PT						
Basement	DB105	Electrical Room	D	2032	914		HM	PT	HM	PT	1HR					
Basement	DB105a	Electrical Room	A	2032	914		ALUM	ALUM	ALUM	ALUM	1HR				Yes	Passive House door
Basement	DB106	Storage	A	1219	914		ALUM	ALUM	ALUM	ALUM	45min					Passive House door - crawlspace access
Basement	DB115	Stair 115	D	2032	914		HM	PT	HM	PT	45min					
Level 1	D100	West Vestibule	C	2191	965		ALUM/IGU-02	ALUM/IGU-02	ALUM	ALUM		Yes	Yes		Yes	Aluminum curtain wall door
Level 1	D100a	West Vestibule	B	2134	965		ALUM/IGU-01	ALUM/IGU-01	ALUM	ALUM		Yes	Yes		Yes	Passive House door in passive house curtain wall
Level 1	D101	Corridor 101	F	2134	965	610	HM/FGL	PT	HM	PT	45min					
Level 1	D102	Servery	E	2134	965		HM/FGL	PT	HM	PT	45min					DELETE
Level 1	D103	Universal WC	D	2134	965		HM	PT	HM	PT	45min	Yes	Yes			Full Universal WC kit, complete with emergency alarm
Level 1	D104	Infant Vestibule	G	2134	965		HM/TGL	PT	HM	PT						
Level 1	D104a	Infant Play Room	B	2134	965		ALUM/IGU-01	ALUM/IGU-01	ALUM	ALUM					Yes	Passive House door
Level 1	D104b	Infant Sleep Room	F	2134	965	460	HM/TGL	PT	HM	PT						
Level 1	D105	Staff Room	E	2134	965		HM/FGL	PT	HM	PT	45min	Yes	Yes			
Level 1	D106	Supervisor's Office	E	2134	965		HM/FGL	PT	HM	PT	45min					Lock on separate keyway
Level 1	D107	Toddler Play Room	G	2134	965		HM/FGL	PT	HM	PT	45min					
Level 1	D107a	Toddler Play Room	B	2134	914		ALUM/IGU-01	ALUM/IGU-01	ALUM	ALUM				Yes	Yes	Passive House door in existing opening.
Level 1	D109	Preschool Playroom 1	G	2134	965		HM/TGL	PT	HM	PT						
Level 1	D109a	Preschool Playroom 1	B	2134	965		ALUM/IGU-02	ALUM/IGU-02	ALUM	ALUM				Yes	Yes	Passive House door in enlarged existing opening.
Level 1	D110	Preschool Playroom 2	G	2134	965		HM/TGL	PT	HM	PT						
Level 1	D110a	Preschool Playroom 2	B	2134	914		ALUM/IGU-02	ALUM/IGU-02	ALUM	ALUM				Yes	Yes	Passive House door in existing opening.
Level 1	D110b	Preschool Playroom 2	B	2134	1016		ALUM/IGU-02	ALUM/IGU-02	ALUM	ALUM				Yes	Yes	Passive House door in existing opening.
Level 1	D112	Janitor	D	2134	813		HM	PT	HM	PT	45min					
Level 1	D113	Stair	D	2134	813		HM	PT	HM	PT	45min					
Level 1	ED114	East Vestibule	C	2317	922		EXIST	EXIST	EXIST	EXIST					Yes	Add door contact to existing curtain wall door
Level 1	G104	Infant Play Room	H	840	965		SCW	PLAM	WD-01	PT						Gate
Level 1	G104c	Infant WC	H	840	965		SCW	PLAM	WD-01	PT						Gate
Level 1	G107a	Toddler WC	H	840	965		SCW	PLAM	WD-01	PT						Gate
Level 1	G111a	Preschool WC	H	840	965		SCW	PLAM	WD-01	PT						Gate
Level 1	G111b	Preschool WC	H	840	965		SCW	PLAM	WD-01	PT						Gate

Room Finish Schedule

Level	Room No.	Room Name	Wall Finish	Floor Finish	Base Finish	Ceiling Finish	Comments
Level 1	000	Elevator	SS/PLAM	RES	RB	SS	Floor and base finish by flooring contractor. Balance of finishes by elevator contractor
Level 1	100	West Vestibule	IGU-01/IGU-02	POR	CER	GWB-01	
Level 1	101	Corridor	PT	RES	RB	GWB-02	2-layer 16mm Type X GWB 45min FRR membrane ceiling
Level 1	102	Servery	CER/PT	POR	CER	GWB-01	CER to 4'-0" AFF at all walls
Level 1	103	Universal WC	CER/PT	POR	CER	GWB-01	CER to 4'-0" AFF at all walls
Level 1	104	Infant Vestibule	PT	RES	RB	GWB-01	
Level 1	104a	Infant Play Room	PT	RES	RB	ACT	
Level 1	104b	Infant Sleep Room (10)	PT	RES	RB	ACT	
Level 1	104c	Infant WC	CER/PT	POR	CER	ACT	CER to 4'-0" AFF at all walls
Level 1	105	Staff Room	PT	RES	RB	ACT	
Level 1	106	Supervisor's Office	PT	RES	RB	ACT	
Level 1	107	Toddler Play Room (15)	PT	RES	RB	ACT	
Level 1	107a	Toddler WC	CER/PT	POR	CER	GWB-01	CER to 4'-0" AFF at all walls
Level 1	108	Preschool Corr.	PT	RES	RB	GWB-01	
Level 1	109	Preschool Play Room 1	PT	RES	RB	ACT	
Level 1	110	Preschool Play Room 2	PT	RES	RB	ACT	
Level 1	111	Preschool WC	CER/PT	POR	CER	ACT	CER to 4'-0" AFF at all walls
Level 1	112	Janitor	PT	POR	RB	GWB-02	2-layer 16mm Type X GWB 45min FRR membrane ceiling
Level 1	113	Stair	PT	RES	RB	GWB-01	
Level 1	114	East Vestibule	EXIST	POR	CER	GWB-01	
Basement	115	Stair	PT	RES/EPO	RB/EPO	GWB-02	2-layer 16mm Type X GWB 45min FRR membrane ceiling
Basement	B100	Lobby	PT	EPO	EPO	Porcelain Tile	
Basement	B101	Elevator Machine Room	PT	EPO	EPO	GWB-02	2-layer 16mm Type X GWB 45min FRR membrane ceiling
Basement	B102	Laundry	PT	EPO	EPO	GWB-02	2-layer 16mm Type X GWB 45min FRR membrane ceiling
Basement	B103	IT Room	PT	EPO	EPO	GWB-02	2-layer 16mm Type X GWB 45min FRR membrane ceiling
Basement	B104	Mechanical	PT	EPO	EPO	GWB-02	2-layer 16mm Type X GWB 45min FRR membrane ceiling
Basement	B105	Electrical Room	PT	EPO	EPO	GWB-02	2-layer 16mm Type X GWB 45min FRR membrane ceiling
Basement	B106	Storage	PT	EPO	EPO	GWB-02	2-layer 16mm Type X GWB 45min FRR membrane ceiling

Materials Legend

ACT	Acoustic Ceiling Tile
ALUM	Aluminum
BB	Bulletin Board
CER	Ceramic Tile
CP	Exterior Concrete
EPO	Epoxy
EXIST	Existing
EXP	Exposed
FGL	Interior Fire Rated Glass
GF	Glazing Film - Safety
GFR	Glass Fibre Reinforced Cladding
GWB-01	Gypsum Wallboard (Painted)
GWB-02	Gypsum Wallboard (Type X)
IGU-01	Exterior Insulated Glass Unit (Passive House Frame)
IGU-02	Exterior Insulated Glass Unit
INS-01	Acoustic Fire Batt Insulation (Interior Wall)
INS-02	Spray Foam Insulation (Interior Wall)
INS-03	Spray Foam Insulation (Below Grade Walls, Crawlspace)
INS-04	Spray Foam Insulation (Below Floor)
INS-05	Spray Foam Insulation (Below Roof)
INS-06	Mineral Wool Insulation (Rainscreen Wall)
INS-07	XPS Insulation (Exterior Wall)
INS-08	XPS Insulation (Slab on Grade)
INS-09	XPS Insulation (Below Grade Walls, Exterior)
INS-10	Polystyrene Insulation (Exterior Roof)
INS-11	XPS Insulation (Below Grade Walls, Interior)
PB-01/02	Push Button (Wall mounted/Column mounted)
POR	Porcelain Tile
PLAM	Plastic Laminate
PT	Paint Finish
RB	Rubber Base
RES	Resilient Sheet Flooring
SCW	Solid Core Wood
SO	Solid Polymer Fabrications
SS	Stainless Steel (Brushed)
TGL	Interior Tempered Glass
WD	Solid Wood
WV	Wood Veneer

ASSEMBLY SCHEDULE

- USE WATER RESISTANT DRYWALL IN ALL WET AREAS - REFER TO SPECIFICATION 09 29 00
- PROVIDE CONTINUOUS PLYWOOD BLOCKING BEHIND ALL MILLWORK CABINETS, SUSPENDED ITEMS, TELEVISIONS ETC.
- ALL INTERNAL PARTITIONS EXTEND TO U/S DECK ABOVE UNLESS NOTED OTHERWISE.
- PROVIDE FIRE RESISTANCE RATINGS AS INDICATED ON DRAWINGS

INTERIOR PARTITIONS

Interior Partition PW1
 1 LAYER 16mm TYPE X GYPSUM WALLBOARD
 92mm STEEL STUDS @ MAX 400mm OC
 75mm ACOUSTICAL FIRE BATT INSULATION TO FILL CAVITY (INS-01)
 1 LAYER 16mm TYPE X GYPSUM WALLBOARD
 INTERIOR FINISHES AS SCHEDULED
 CAPABLE OF ACHIEVING 45 MIN FRR WHERE INDICATED
 PER ULC W453

Interior Partition PW2
 250mm CAST IN PLACE CONCRETE
 (SEE STRUCTURAL)
 CAPABLE OF ACHIEVING 45 MIN FRR WHERE INDICATED
 PER OBC SB2, TABLE 2.1.1

FURRED PARTITIONS

Furred Partition FW1 (existing exterior wall)
 EXISTING MASONRY EXTERIOR WALL
 38x89mm WOOD STUDS AT 406mm O.C.
 SPRAY FOAM INSULATION TO FILL FRAMING CAVITY (INS-02)
 1 LAYER 16mm TYPE X GYPSUM WALLBOARD
 TO U/S OF SLAB
 EFFECTIVE THERMAL RESISTANCE: 0.471 W/m²K

Furred Partition FW2
 65mm STEEL STUDS
 1 LAYER 16mm TYPE X GYPSUM WALLBOARD
 TO U/S OF SLAB

Furred Partition FW3
 92mm STEEL STUDS
 1 LAYER 16mm TYPE X GYPSUM WALLBOARD
 TO U/S OF SLAB

EXTERIOR WALLS

Exterior Wall EW1 (wall at addition)
 8mm GLASS FIBRE REINFORCED CLADDING (GFR)C
 25mm GALVANIZED SUB-FRAMING/VENTILATION CAVITY
 CONTINUOUS WEATHER BARRIER (WRB-01)
 100mm MINERAL WOOL INSULATION (INS-06)
 100mm THERMALLY BROKEN CLADDING CLIPS
 CONTINUOUS VAPOUR PERMEABLE AIR BARRIER (AB-01)
 1 LAYER 16mm TYPE X EXTERIOR GYPSUM SHEATHING
 38x140mm WOOD STUDS AT 406mm O.C.
 SPRAY FOAM INSULATION TO FILL FRAMING CAVITY (INS-02)
 1 LAYER 16mm TYPE X GYPSUM WALLBOARD
 EFFECTIVE THERMAL RESISTANCE: 0.165 W/m²K

Exterior Wall EW2 (walls at vestibules)
 92mm VENEER MASONRY TO MATCH EXISTING
 25mm AIR SPACE
 75mm XPS INSULATION (INS-07)
 CONTINUOUS VAPOUR PERMEABLE AIR BARRIER (AB-01)
 1 LAYER 15mm TYPE X EXTERIOR GYPSUM SHEATHING
 92mm STEEL STUDS AT 406mm O.C.
 SPRAY FOAM INSULATION TO FILL FRAMING CAVITY (INS-02)
 1 LAYER 13mm TYPE X GYPSUM WALLBOARD
 EFFECTIVE THERMAL RESISTANCE: 0.197 W/m²K

ROOF ASSEMBLIES

Roof R1
 2 PLY MODIFIED BITUMEN ROOFING
 TAPERED TO MAKE UP 2% SLOPE
 279mm EXTERIOR POLYISO INSULATION (INS-11)
 SELF-ADHERED VAPOUR BARRIER (VB-02)
 16mm GYPSUM SHEATHING
 38x286mm WOOD FRAMING (SEE STRUCTURAL)
 1 LAYER 16mm TYPE X GYPSUM WALLBOARD
 CEILING FINISH AS SCHEDULED
 EFFECTIVE THERMAL RESISTANCE: 0.083 W/m²K
 CAPABLE OF ACHIEVING 45 MIN FRR WHERE INDICATED
 PER OBC SB2, TABLES 2.3.4.B & 2.3.4.F

Roof R2a (thermal ceiling)
 ASPHALT SHINGLES (SEE ROOFING)
 NEW SELF-ADHERING ROOFING MEMBRANE (SEE ROOFING)
 EXISTING 38mmx140mm RAFTERS (SEE STRUCTURAL)
 1 LAYER 19mm PLYWOOD
 EXISTING 38mmx140mm WOOD FRAMING (SEE STRUCTURAL)
 SPRAY FOAM TO FILL FRAMING CAVITY (INS-05)
 1 LAYER 16mm TYPE X GYPSUM WALLBOARD
 CONTINUOUS 165mm SPRAY FOAM (INS-05)
 1 LAYER 16mm TYPE X GYPSUM WALLBOARD
 CEILING FINISH AS SCHEDULED
 EFFECTIVE THERMAL RESISTANCE: 0.096 W/m²K
 CAPABLE OF ACHIEVING 45 MIN FRR WHERE INDICATED
 PER OBC SB2, TABLES 2.3.4.B & 2.3.4.F

Roof R2b (thermal ceiling)
 ASPHALT SHINGLES (SEE ROOFING)
 NEW SELF-ADHERING ROOFING MEMBRANE (SEE ROOFING)
 NEW 19mm PLYWOOD SHEATHING (SEE ROOFING)
 EXISTING 38mmx140mm RAFTERS (SEE STRUCTURAL)
 SPRAY FOAM TO FILL FRAMING CAVITY (INS-05)
 1 LAYER 16mm TYPE X GYPSUM WALLBOARD
 CONTINUOUS 165mm SPRAY FOAM (INS-05)
 1 LAYER 16mm TYPE X GYPSUM WALLBOARD
 CEILING FINISH AS SCHEDULED
 EFFECTIVE THERMAL RESISTANCE: 0.096 W/m²K
 CAPABLE OF ACHIEVING 45 MIN FRR WHERE INDICATED
 PER OBC SB2, TABLES 2.3.4.B & 2.3.4.F

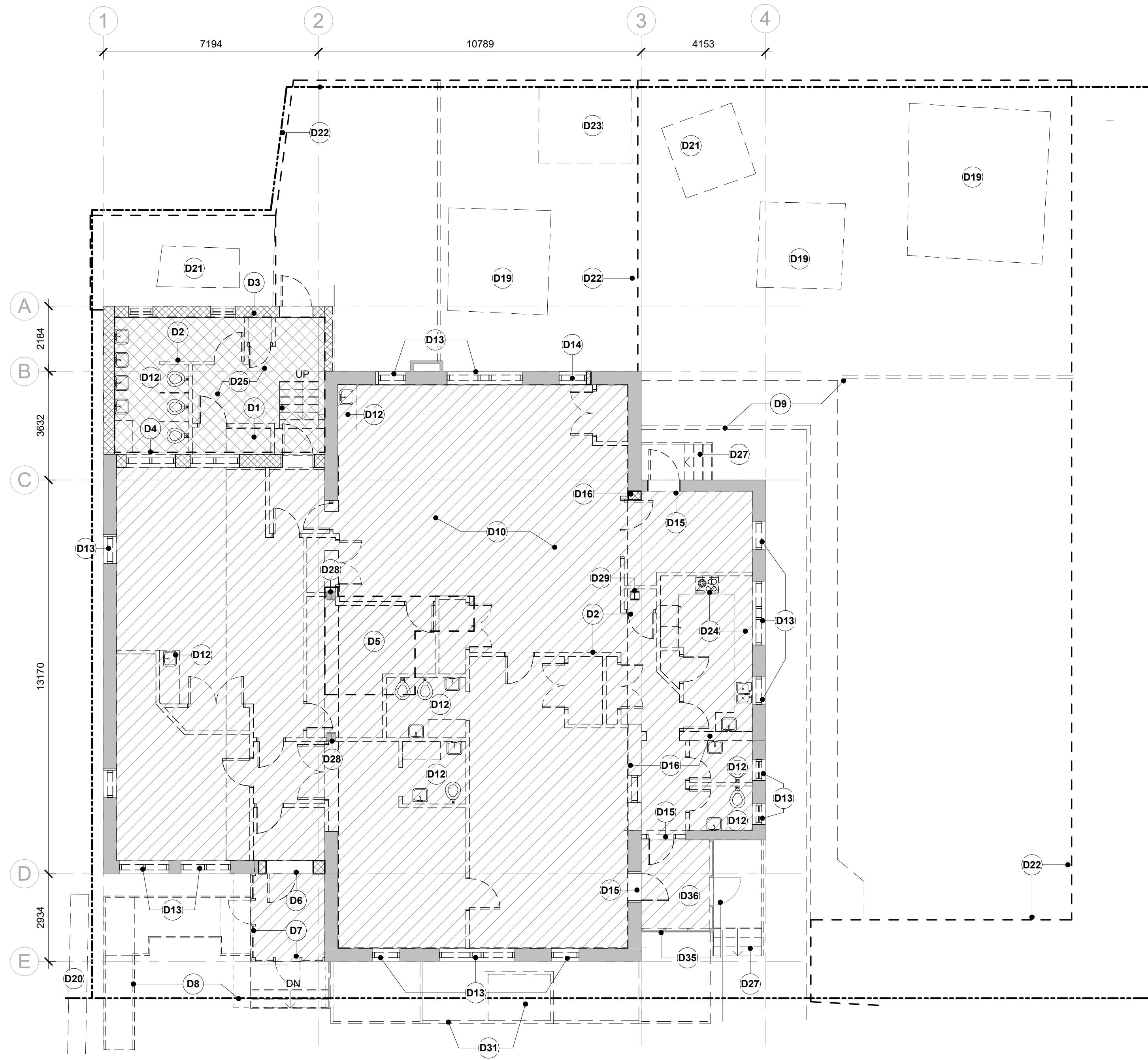
FOUNDATION/BELOW GRADE WALLS

Foundation Wall FD1
 13mm DRAINAGE BOARD
 100mm CONCRETE FACED XPS INSULATION (INS-09)
 AT BELOW-GRADE LOCATIONS
 COLD-APPLIED WATERPROOFING (WP-02)
 250mm CONCRETE FOUNDATION WALL (SEE STRUCTURAL)
 38x89mm WOOD STUDS AT 406mm O.C.
 SPRAY FOAM INSULATION TO FILL FRAMING CAVITY (INS-02)
 1 LAYER 16mm TYPE X GYPSUM WALLBOARD
 TO U/S OF SLAB
 EFFECTIVE THERMAL RESISTANCE: 0.471 W/m²K

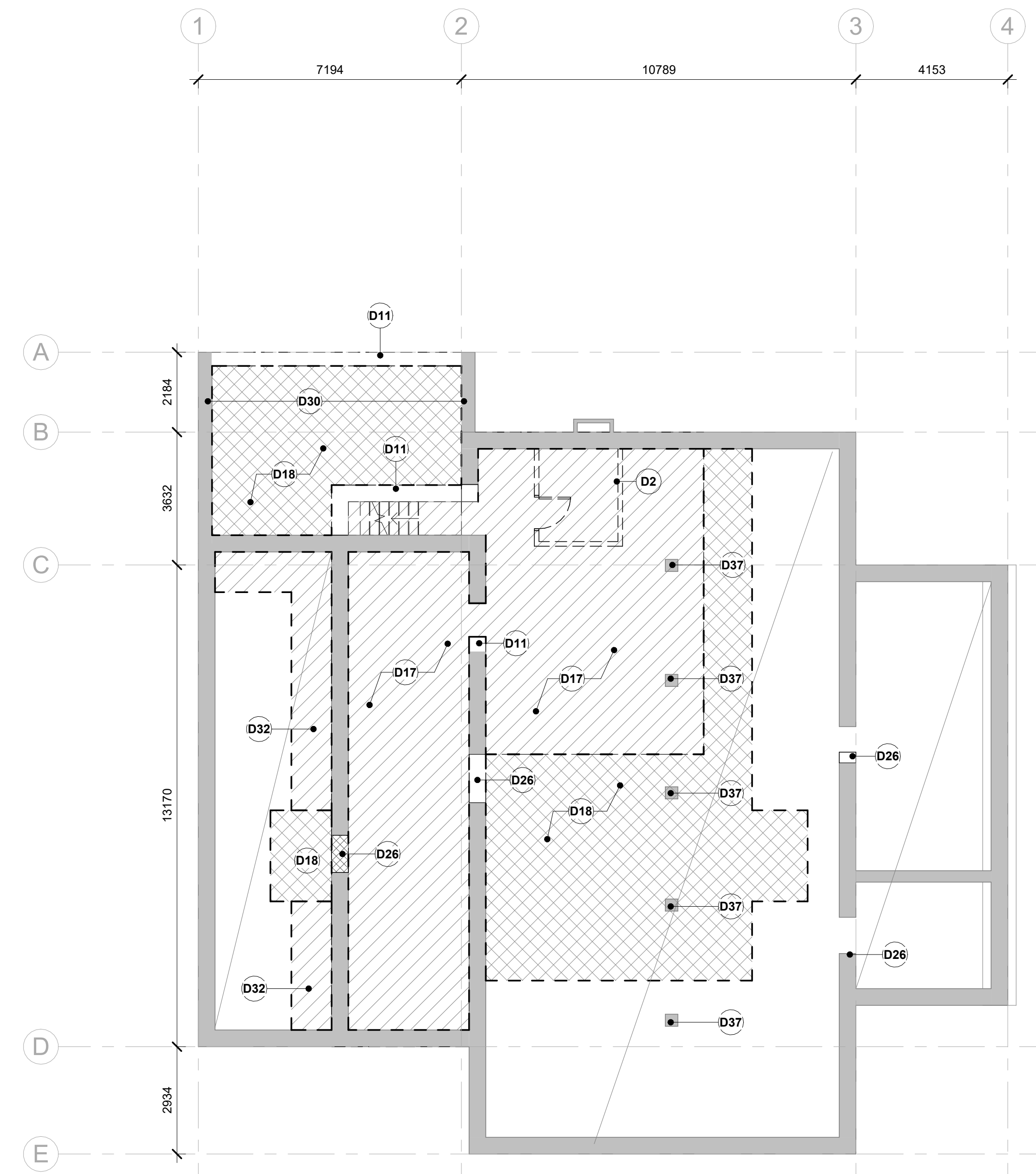
Foundation Wall FD2 (adjacent to unexcavated crawlspace)
 100mm SPRAY FOAM INSULATION (INS-03)
 250mm CAST IN PLACE CONCRETE
 100mm XPS INSULATION (INS-10)
 38x89mm WOOD STUDS AT 406mm O.C.
 1 LAYER 16mm TYPE X GYPSUM WALLBOARD
 TO U/S OF SLAB
 EFFECTIVE THERMAL RESISTANCE: 0.124 W/m²K

Foundation Wall FD3 (existing foundation wall)
 13mm DRAINAGE BOARD
 100mm CONCRETE FACED XPS INSULATION (INS-09)
 AT BELOW-GRADE LOCATIONS
 COLD-APPLIED WATERPROOFING (WP-02)
 EXISTING FOUNDATION WALL (SEE STRUCTURAL)
 38x89mm WOOD STUDS AT 406mm O.C.
 SPRAY FOAM INSULATION TO FILL FRAMING CAVITY (INS-02)
 TO U/S OF SLAB
 EFFECTIVE THERMAL RESISTANCE: 0.141 W/m²K

Foundation Wall FD3a
 CURTAIN INJECTION WATERPROOFING (WP-03)
 EXIST



1 Level 1 Demolition
1 : 100



2 Basement Demolition
1 : 100

Note	Description
D1	Demolish existing stairs and handrails.
D2	Demolish partition walls, doors, frames and screens.
D3	Demolish exterior wall, windows, and door. Make good adjacent exterior walls.
D4	Demolish portion of exterior wall to level of main slab. Remove windows and doors. Make good adjacent exterior walls.
D5	Cut floor slab as indicated to accommodate new elevator and staircase to the basement - see structural.
D6	Demolish door. Enlarge opening in masonry wall accommodate accessible entrance - see structural.
D7	Demolish existing entrance vestibule. Make good existing exterior wall.
D8	Demolish existing stairs and ramp.
D9	Demolish timber wall landscaping.
D10	Hatch indicates extent of flooring to be removed. Prepare to receive new subfloor and finish as scheduled.
D11	Demolish foundation wall - make good adjacent surfaces.
D12	Demolish plumbing fixture, accessories and millwork.
D13	Demolish window. Make good adjacent surfaces and prepare to receive new.
D14	Demolish window. Enlarge opening to accommodate new door - see structural.
D15	Demolish exterior door and frame. Prepare opening to receive new.
D16	Demolish block wall. Make good adjacent surface - see structural.
D17	Demolish basement floor slab and subgrade. Prepare to receive new slab-on-grade construction - see structural.

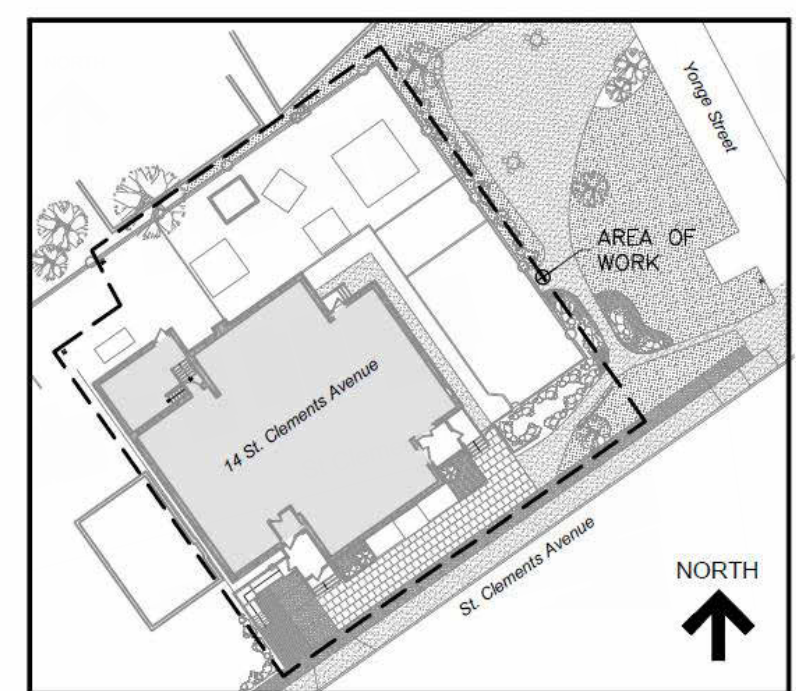
Note	Description
D18	Excavate area to level of adjacent subgrade. Prepare to receive new basement floor slab - see structural.
D19	Demolish play structures.
D20	Demolish hedge.
D21	Demolish sandbox.
D22	Demolish fence.
D23	Demolish wood frame structure.
D24	Demolish kitchen millwork. Dispose of all equipment and plumbing fixtures.
D25	Demolish floor structure. Make good adjacent surfaces.
D26	New opening in existing foundation wall - see structural.
D27	Demolish exterior stairs.
D28	Existing columns to remain - see structural.
D29	Demolish existing column - see structural.
D30	Existing foundation walls to remain.
D31	Demolish planting and stroller shed - see landscape for extent of removals.
D32	Excavation required to accommodate new insulation install - see structural.
D35	Existing vestibule floor and storefront framing to remain. Take care not to damage during demolition.
D36	Demolish vestibule floor finish. Prepare to receive subfloor and finish as scheduled.
D37	Existing masonry columns to remain - see structural.

Demolition Legend

- Existing masonry partition to be demolished
- Existing wall partition system to be demolished
- Existing element to be demolished
- Approximate extent of flooring to be removed
- Existing door leaf and frame to be demolished

WORKSHOP

WORKSHOP is an architecture studio:
 6 Sousa Mendes Street
 Toronto Ontario M6P 6A8
 T 416.991.8955 F 416.849.8383
 www.workshoparchitecture.ca

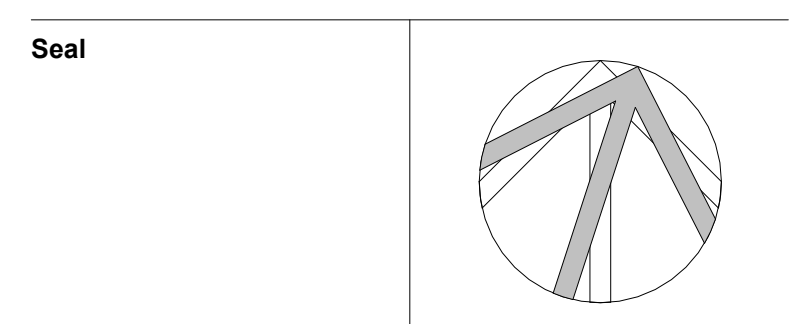


KEY PLAN

No.	Revision	Date	By
5.	PERMIT/TENDER REVISION	Sept 20/24	E.C.
4.	ISSUED FOR BUILDING PERMIT	May 28/24	E.C.
3.	ISSUED FOR TENDER	May 13/24	E.C.
2.	ISSUED FOR CLIENT REVIEW	May 13/24	E.C.
1.	ISSUED FOR 95% CLIENT REVIEW	April 17/24	E.C.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
Upper Yonge Village Daycare Centre
 14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title **Demolition Plans**

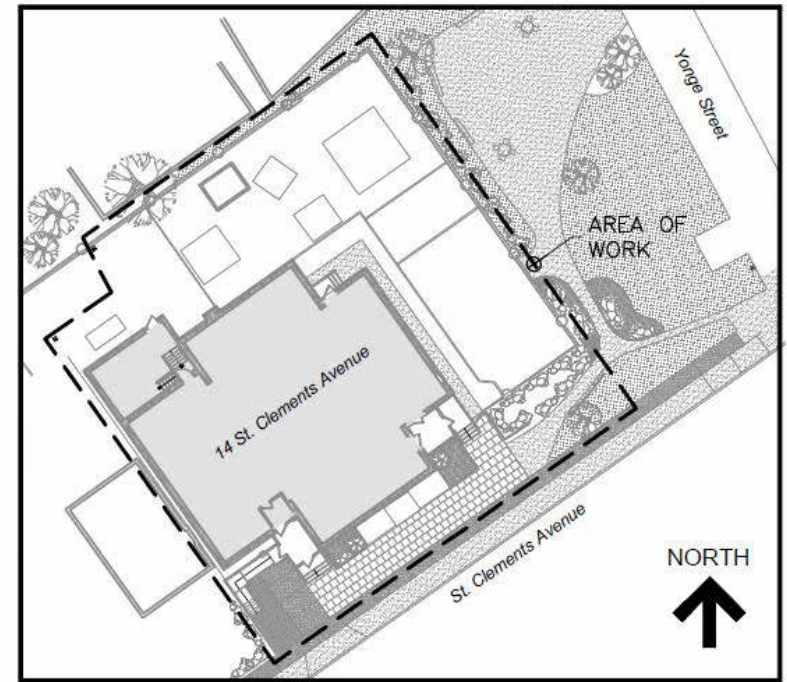
Drawn By E.C. Scale As indicated
 Designed By E.C. Date May 2024

RJC Project Number **TOR.122940.0001**

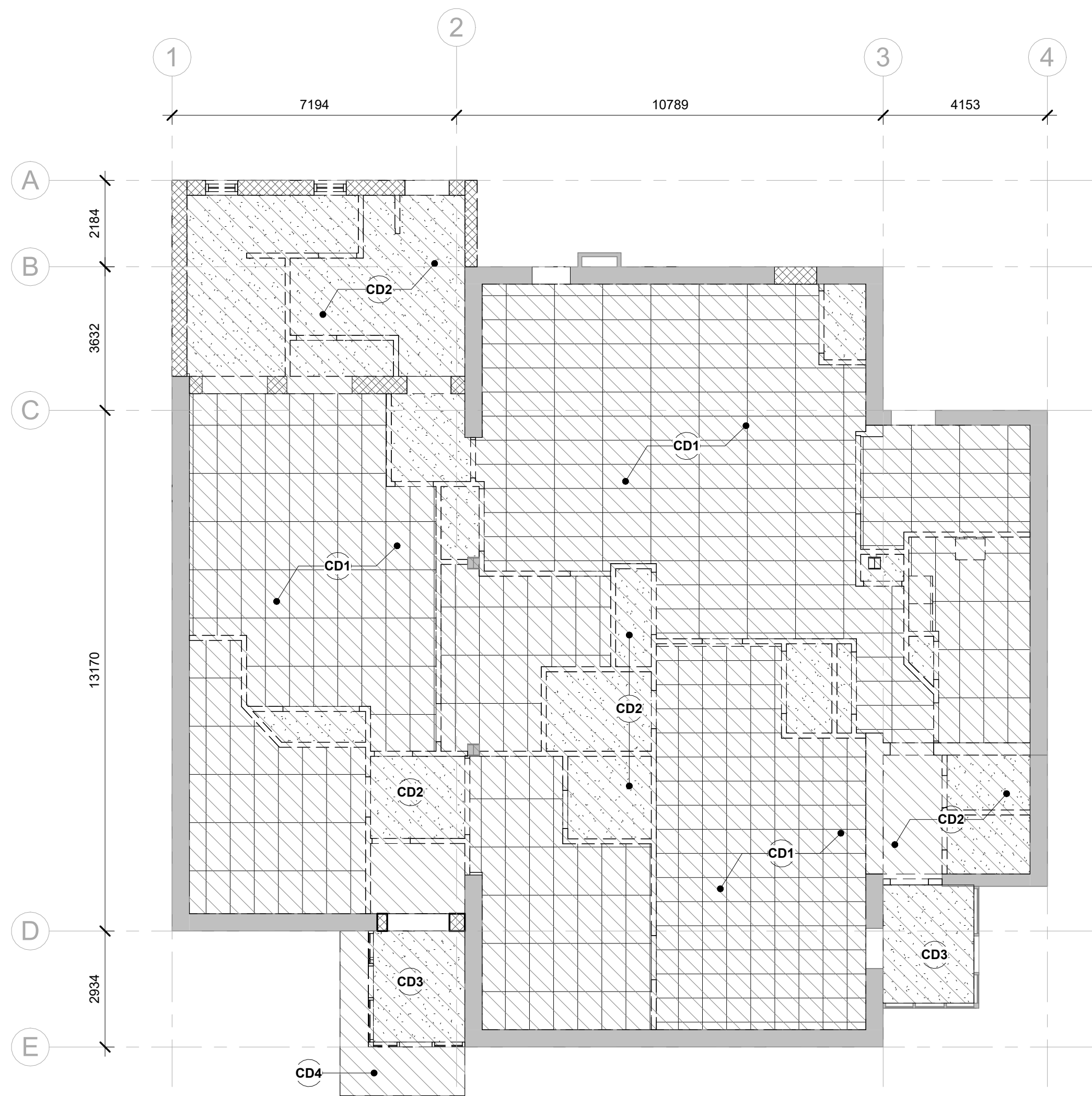
Sheet Number **A1.0** Revision

WORKSHOP

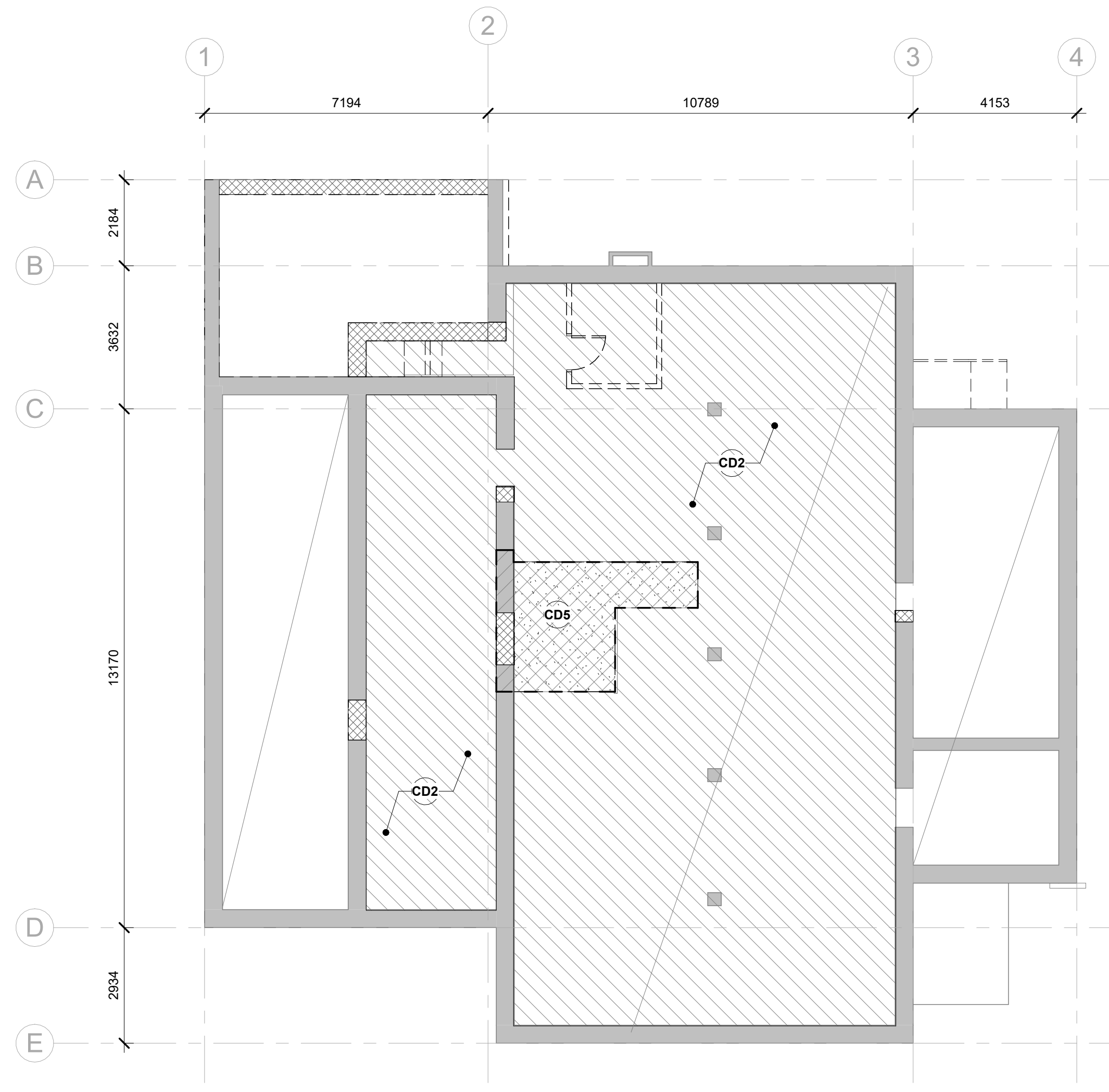
WORKSHOP is an architecture studio:
 6 Sousa Mendes Street
 Toronto Ontario M6P 6A8
 T 416.991.8955 F 416.849.8383
 www.workshoparchitecture.ca



KEY PLAN



① Level 1 Demolition RCP
1 : 100



② Basement Demolition RCP
1 : 100

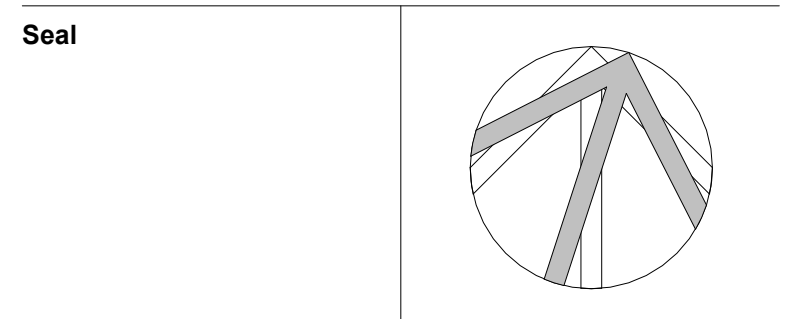
Ceiling Demolition Notes	
Note	Description
CD1	Demolish existing ACT, light fixtures and M&E ceiling mounted device (typ.)
CD2	Demolish existing GWB, light fixtures and M&E ceiling mounted device (typ.)
CD3	Demolish existing GWB and light fixture in vestibule.
CD4	Demolish existing roof soffit. Make good adjacent surfaces. See structural for temporary support requirements at existing roof to remain.
CD5	Cut floor slab as indicated to accommodate new elevator and staircase to the basement - see structural

Demolition Legend	
	Existing masonry partition to be demolished
	Existing wall partition system to be demolished
	Existing element to be demolished
	Approximate extent of ceiling to be removed
	Existing door leaf and frame to be demolished

No.	Revision	Date	By
5.	PERMIT/TENDER REVISION	Sept 20/24	E.C.
4.	ISSUED FOR BUILDING PERMIT	May 28/24	E.C.
3.	ISSUED FOR TENDER	May 13/24	E.C.
2.	ISSUED FOR CLIENT REVIEW	May 13/24	E.C.
1.	ISSUED FOR 95% CLIENT REVIEW	April 17/24	E.C.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJCL") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJCL whether the Work is executed or not, and RJCL reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJCL. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJCL in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
Upper Yonge Village Daycare Centre
 14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title
 Demolition RCPs

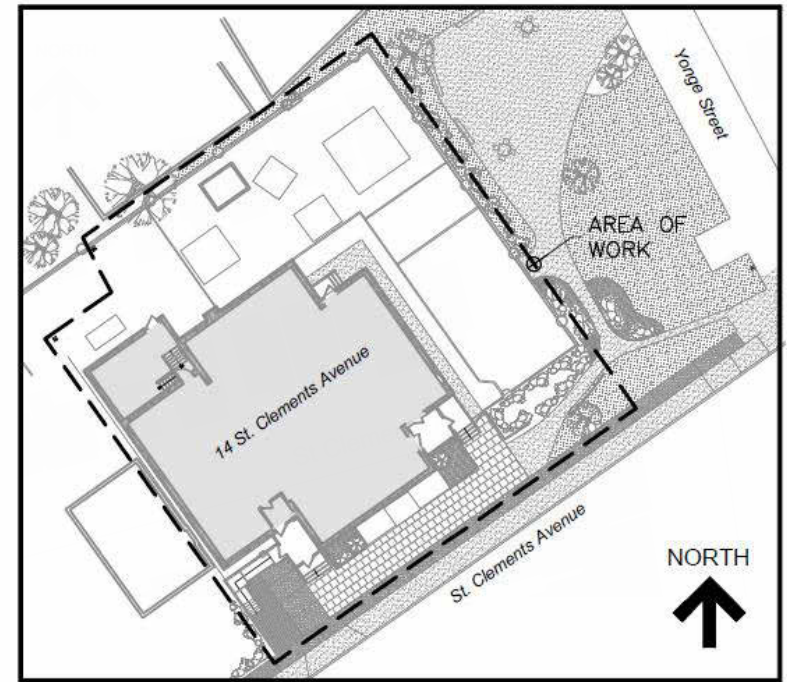
Drawn By E.C. Scale As indicated
 Designed By E.C. Date May 2024
 RJC Project Number **TOR.122940.0001**

Sheet Number Revision

A1.1

WORKSHOP

WORKSHOP is an architecture studio:
6 Sousa Mendes Street
Toronto Ontario M6P 6A8
T 416.991.8955 F 416.849.8383
www.workshoparchitecture.ca



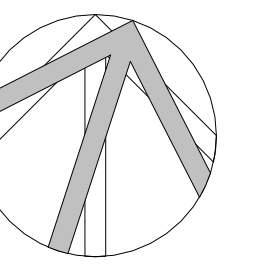
KEY PLAN

No.	Revision	Date	By
5.	PERMIT/TENDER REVISION	Sept 20/24	E.C.
4.	ISSUED FOR BUILDING PERMIT	May 28/24	E.C.
3.	ISSUED FOR TENDER	May 13/24	E.C.
2.	ISSUED FOR CLIENT REVIEW	May 13/24	E.C.
1.	ISSUED FOR 95% CLIENT REVIEW	April 17/24	E.C.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJCL") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJCL whether the Work is executed or not, and RJCL reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJCL. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJCL in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tendering" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal



Project Name

Upper Yonge Village Daycare Centre
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

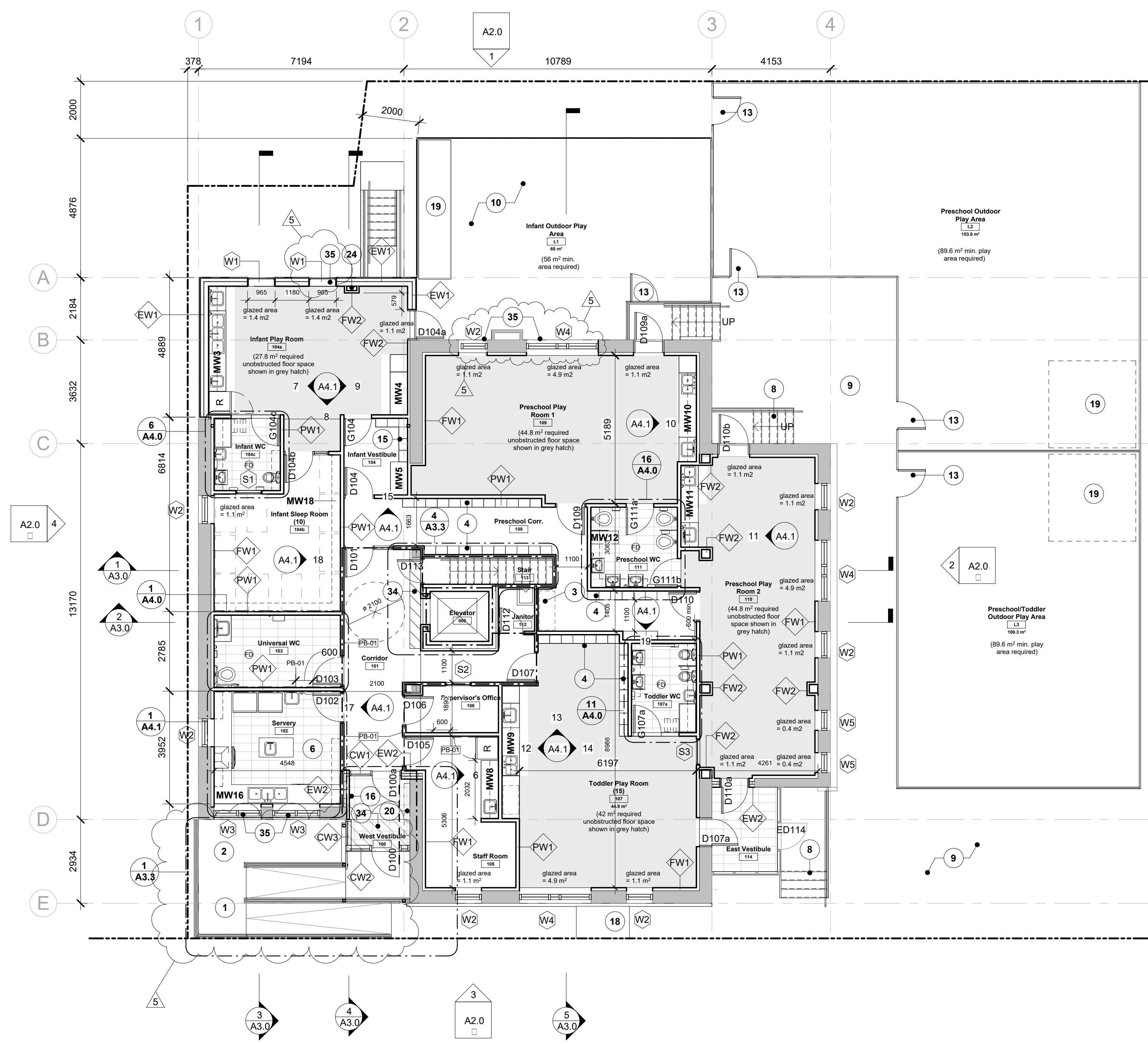
Sheet Title **Proposed Plans**

Drawn By **E.C.** Scale **As indicated**

Designed By **E.C.** Date **May 2024**

RJC Project Number **TOR.122940.0001**

Sheet Number **A1.2** Revision

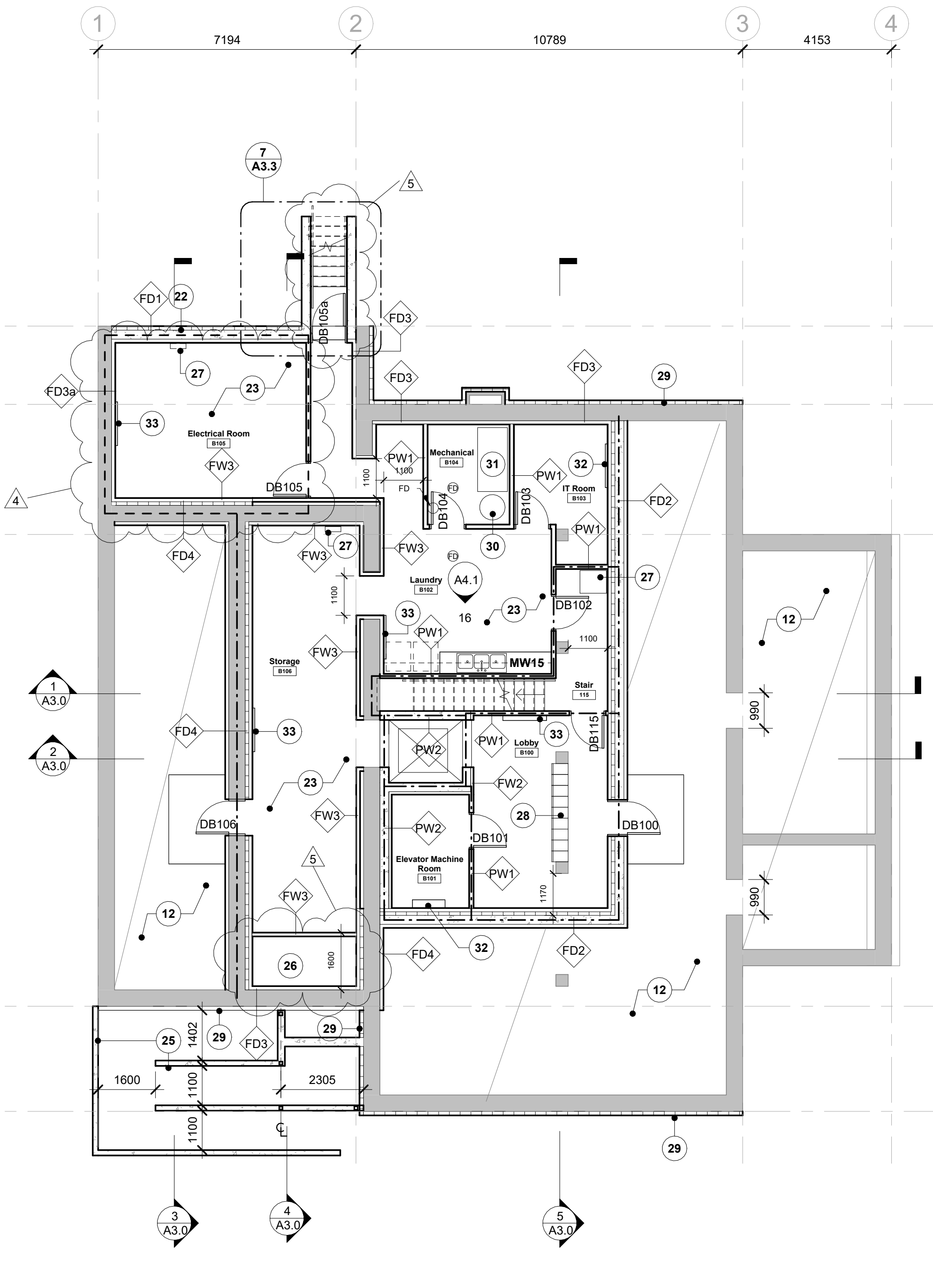


1 Level 1 Proposed
1:100

Note	Description
1	New concrete ramp with snow melt at 1:12 - see structural and electrical.
2	Stroller storage for daycare. Level with ramp and landing.
3	Preschool cot storage
4	Cubbies
5	Servery with childwash sink, toy wash sink, undercounter fridge, and microwave at upper cabinets.
6	Servery with handwash sink, stove and range hood, triple wash sink, prep sink on island, microwave, one freezer, commercial dishwasher, upper cabinets and central island.
7	Kitchenette with sink, undercounter microwave, residential dishwasher & full-height fridge, and upper cabinets.
8	New exterior wood stairs - see structural for details.
9	Regrading of site. Provide new level paving - see landscape.
10	New raised deck from Infant Play Room - see structural and landscape for details.
11	Laundry area with triple sink, folding area, 1 residential washer and 2 dryers.
12	Unexcavated areas to remain.
13	Exterior gate and fence/guard - see landscape for details.
14	Servery with childwash sink, adult handwash sink, toy wash sink, food prep sink, full height fridge, and microwave at upper cabinets.
15	Stacked cubbies
16	Security devices along wall - see electrical.

Note	Description
17	Bulletin board - spec 10 11 23.
18	New exterior stroller storage - see landscape.
19	Playground storage - see landscape.
20	Lockable mailboxes against wall by owner (N.I.C.)
21	Change table by Totmate - supplied and installed by contractor. Handwash sink adjacent - see mechanical.
22	New foundation wall - see structural.
23	New foundation slab - see structural.
24	Pipe chase. Maintain 45min rating at floor slab - see electrical.
25	New concrete foundation wall with below-grade waterproofing - see structural
26	Inaccessible basement storage.
27	New wall mounted ERV above - see Electrical
28	9no Type 1 Lockers
29	Extend below grade waterproofing and insulation - see structural and envelope.
30	Hot water storage tank - see Mechanical.
31	Heat pump type domestic water heating boiler - see Mechanical.
32	Fan coil unit - see Mechanical.
33	Electric baseboard heater - see Electrical.
34	Diagonal hatch denotes extent of new floor structure against existing floor - see structural.
35	1HR rated motorized fire shutter at window. Fire shutter to sit within jambs of existing rough opening and be interconnected with fire alarm system.

2 Basement Proposed
1:100

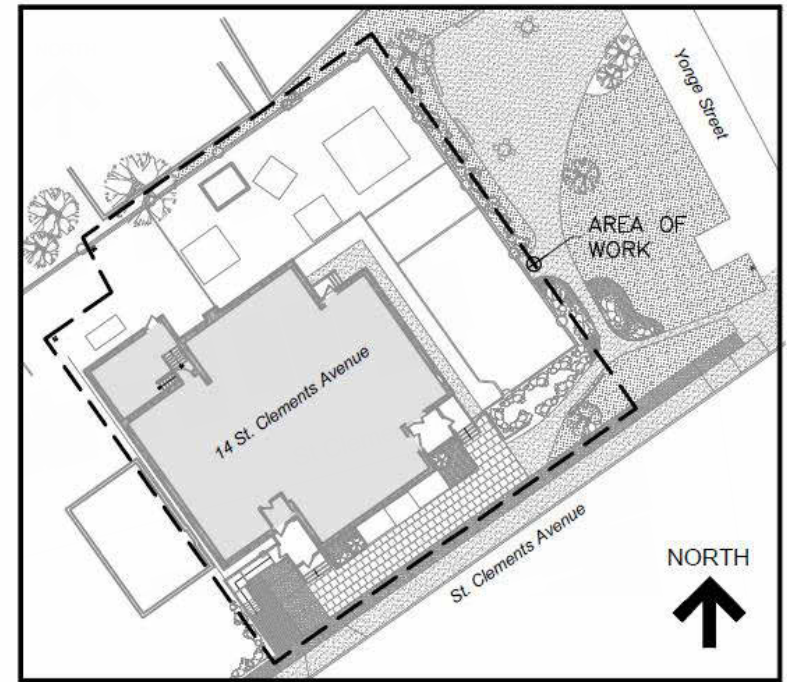


Materials Legend	
ACT	Acoustic Ceiling Tile
ALUM	Aluminum
BB	Bulletin Board
CER	Ceramic Tile
CP	Exterior Concrete
EPO	Epoxy
EXIST	Existing
EXP	Exposed
FGL	Interior Fire Rated Glass
GF	Glazing Film - Safety
GFRC	Glass Fibre Reinforced Cladding
GWB-01	Gypsum Wallboard (Painted)
GWB-02	Gypsum Wallboard (Type X)
IGU-01	Exterior Insulated Glass Unit (Passive House Frame)
IGU-02	Exterior Insulated Glass Unit
INS-01	Acoustic Fire Batt Insulation (Interior Wall)
INS-02	Spray Foam Insulation (Interior Wall)
INS-03	Spray Foam Insulation (Below Grade Walls, Crawlspace)
INS-04	Spray Foam Insulation (Below Floor)
INS-05	Mineral Wool Insulation (Rainscreen Wall)
INS-06	XPS Insulation (Exterior Wall)
INS-07	XPS Insulation (Slab on Grade)
INS-08	XPS Insulation (Below Grade Walls, Exterior)
INS-09	Polyiso Insulation (Exterior Roof)
INS-10	XPS Insulation (Below Grade Walls, Interior)
INS-11	Push Button (Wall mounted/Column mounted)
PB-01/02	Porcelain Tile
POR	Plastic Laminate
PLAM	Paint Finish
PT	Rubber Base
RB	Resilient Sheet Flooring
RES	Solid Core Wood
SCW	Solid Polymer Fabrications
SO	Stainless Steel (Brushed)
SS	Interior Tempered Glass
TGL	Solid Wood
WD	Wood Veneer
WV	

Legend	
	Existing partition to remain
	New partition as scheduled
Symbols Legend	
	Partition Tag - refer to partition schedule
	Exterior Wall Tag - refer to partition schedule
	Window tag - refer to schedule
	Glazed Screen tag - refer to schedule
	New Door tag - refer to schedule
	Millwork Tag
	Existing
	Not in Contract
	Floor Drain
	45min FRR

WORKSHOP

WORKSHOP is an architecture studio:
 6 Sousa Mendes Street
 Toronto Ontario M6P 6A8
 T 416.961.8955 F 416.849.8383
 www.workshoparchitecture.ca

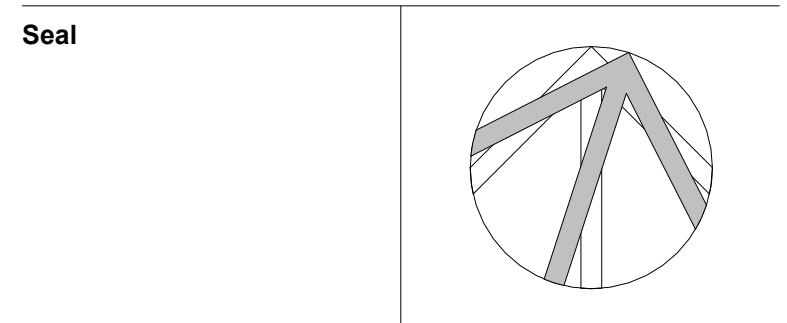


KEY PLAN

No.	Revision	Date	By
5.	PERMIT/TENDER REVISION	Sept 20/24	E.C.
4.	ISSUED FOR BUILDING PERMIT	May 28/24	E.C.
3.	ISSUED FOR TENDER	May 13/24	E.C.
2.	ISSUED FOR CLIENT REVIEW	May 13/24	E.C.
1.	ISSUED FOR 95% CLIENT REVIEW	April 17/24	E.C.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tendering" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



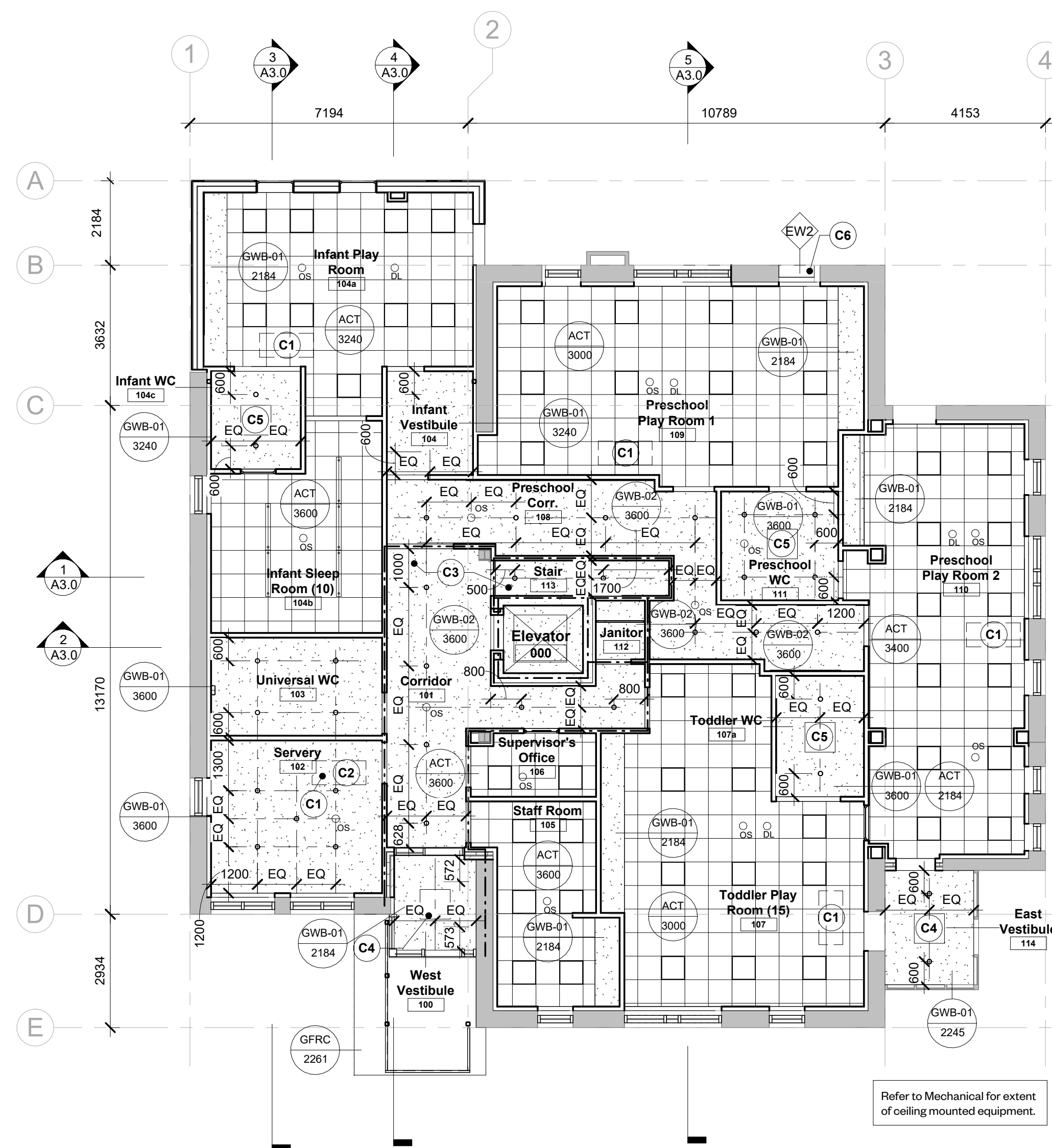
Project Name
Upper Yonge Village Daycare Centre
 14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title
 Proposed RCPs

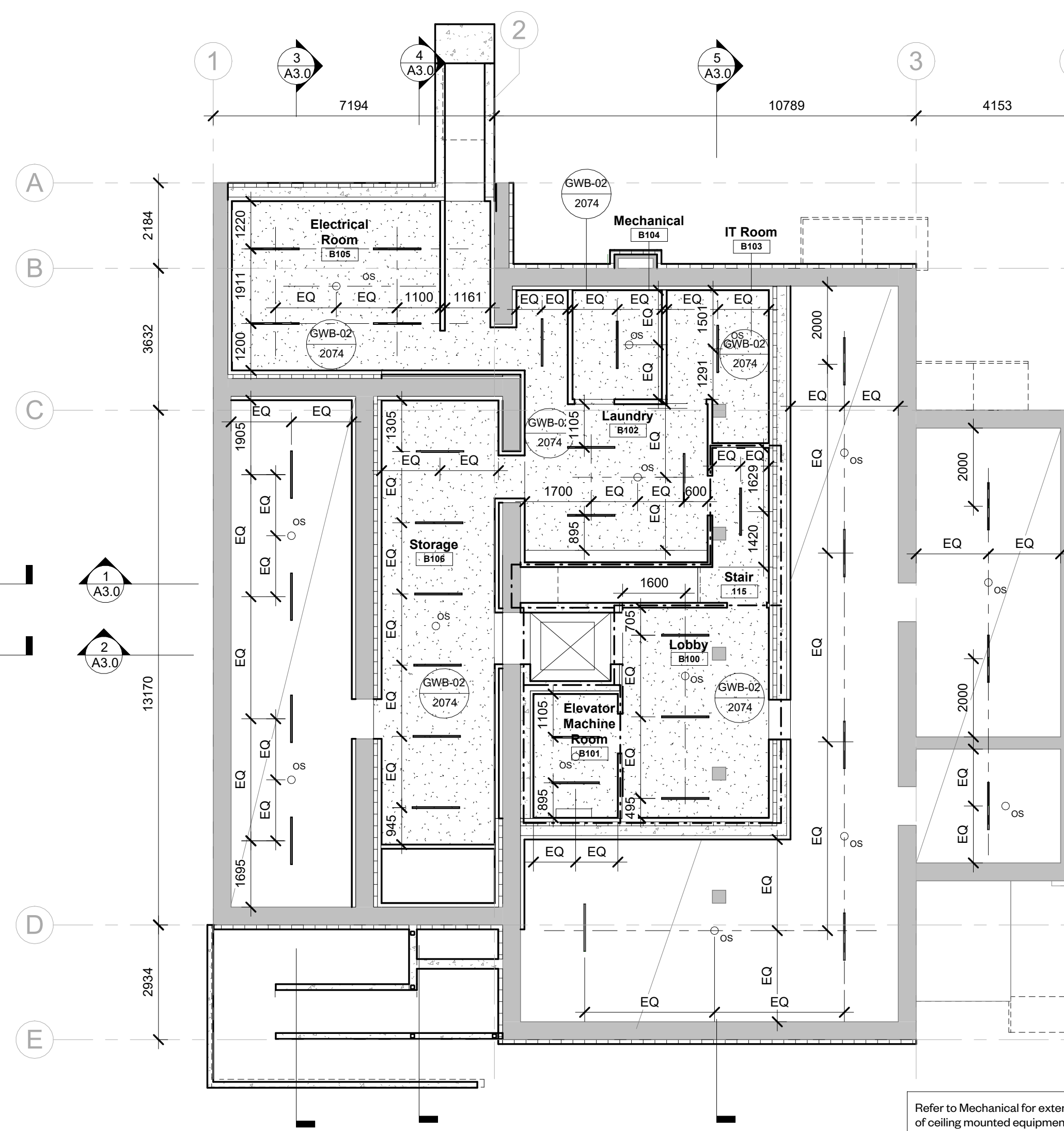
Drawn By E.C. Scale As indicated
 Designed By E.C. Date May 2024
 RJC Project Number **TOR.122940.0001**

Sheet Number **A1.3** Revision

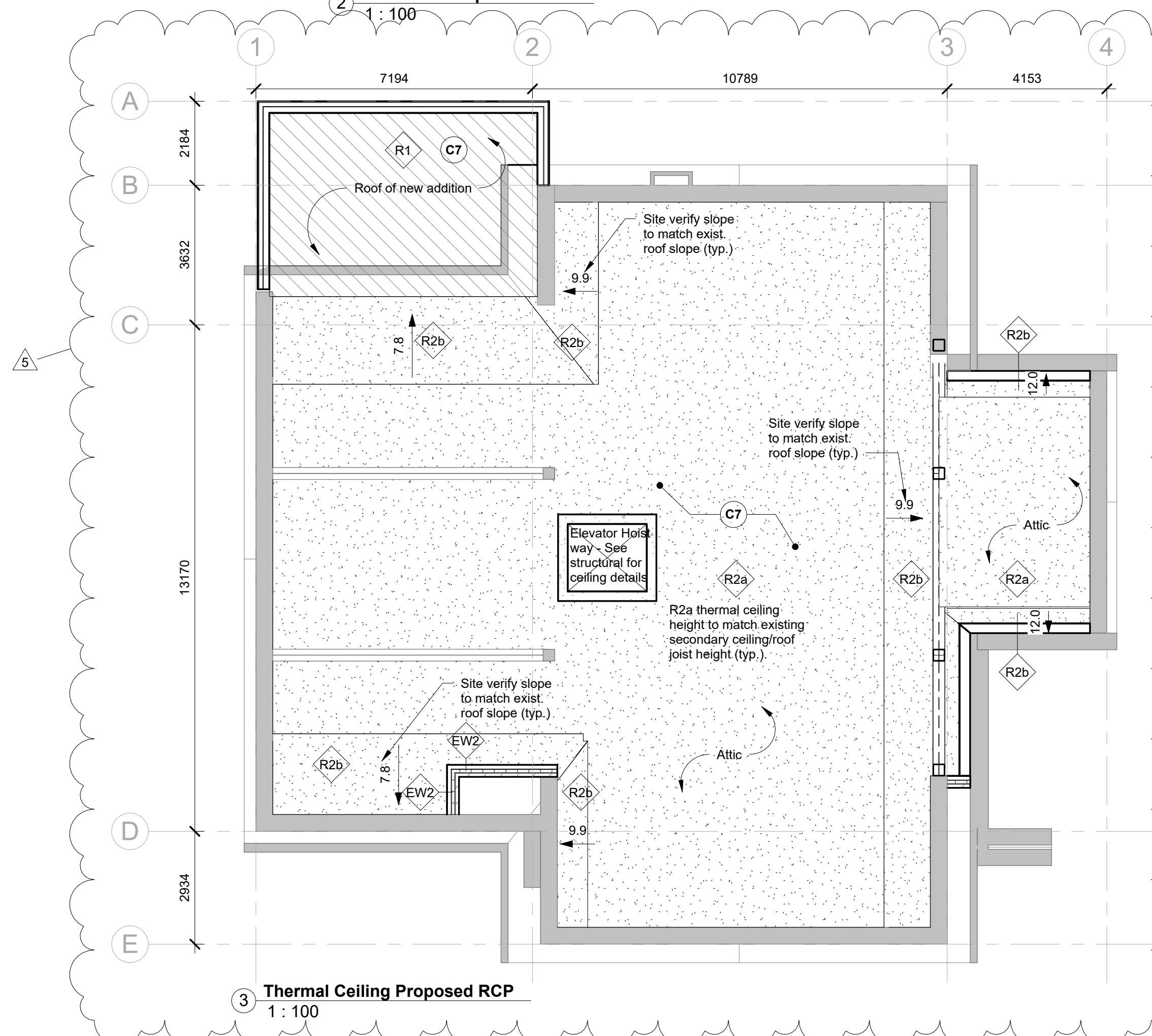


1 Level 1 Proposed RCP
 1:100

Note	Description
C1	New heat pump - see Mechanical
C2	Provide 300mm x 300mm access panel - see also Mechanical
C3	GWB-02 indicates 2-layers 16mm Type X GWB ceiling throughout Corridor 101, Janitor 112 and Stair 113 - 1 layer 16mm Type X GWB on steel stud framing, achieves 45min membrane ceiling per OBC SB2, Table 2.3.4.B
C4	Electric Forced Flow Heater - see Electrical.
C5	Radiant Ceiling Heater - see Electrical.
C6	Infill existing window opening with Exterior Wall EW1.
C7	Roof R1, R2a and R2b provide 45min rating - refer to assembly schedule



2 Basement Proposed RCP
 1:100



3 Thermal Ceiling Proposed RCP
 1:100

RCP LEGEND

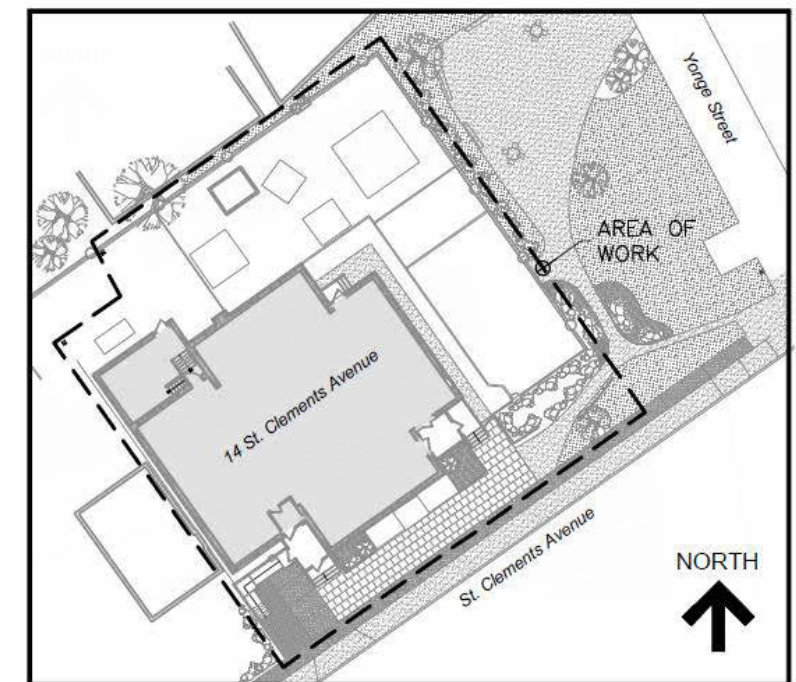
- Suspended fluorescent fixture - see electrical
- CF potlight - see electrical
- CF pendant - see electrical
- Fluorescent lighting fixture - see electrical
- Strip fluorescent - see electrical
- Occupancy sensor - see electrical
- Daylight sensor - see electrical
- Transfer grille
- Supply air diffuser
- Supply air diffuser
- (E) Existing
- Ceiling Material Height above Finished Floor

Materials Legend

- ACT Acoustic Ceiling Tile
- ALUM Aluminum
- BB Bulletin Board
- CER Ceramic Tile
- CP Exterior Concrete
- EPO Epoxy
- EXIST Existing
- EXP Exposed
- FGL Interior Fire Rated Glass
- GF Glazing Film - Safety
- GFRC Glass Fibre Reinforced Cladding
- GWB-01 Gypsum Wallboard (Painted)
- GWB-02 Gypsum Wallboard (Type X)
- IGU-01 Exterior Insulated Glass Unit (Passive House Frame)
- IGU-02 Exterior Insulated Glass Unit
- INS-01 Acoustic Fire Batt Insulation (Interior Wall)
- INS-02 Spray Foam Insulation (Interior Wall)
- INS-03 Spray Foam Insulation (Below Grade Walls, Crawlspace)
- INS-04 Spray Foam Insulation (Below Floor)
- INS-05 Spray Foam Insulation (Below Roof)
- INS-06 Mineral Wool Insulation (Rainscreen Wall)
- INS-07 XPS Insulation (Exterior Wall)
- INS-08 XPS Insulation (Slab on Grade)
- INS-09 XPS Insulation (Below Grade Walls, Exterior)
- INS-10 Polyiso Insulation (Exterior Roof)
- INS-11 XPS Insulation (Below Grade Walls, Interior)
- PB-01/02 Push Button (Wall mounted/Column mounted)
- POR Porcelain Tile
- PLAM Plastic Laminate
- PT Paint Finish
- RB Rubber Base
- RES Resilient Sheet Flooring
- SCW Solid Core Wood
- SS Solid Polymer Fabrications
- SS Stainless Steel (Brushed)
- TGL Interior Tempered Glass
- WD Solid Wood
- WV Wood Veneer

WORKSHOP

WORKSHOP is an architecture studio:
 6 Sousa Mendes Street
 Toronto Ontario M6P 6A8
 T 416.961.8955 F 416.849.8383
 www.workshoparchitecture.ca



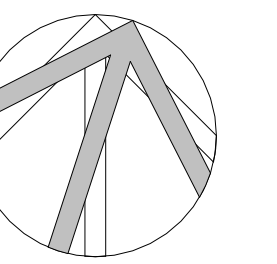
KEY PLAN

No.	Revision	Date	By
5.	PERMIT/TENDER REVISION	Sept 20/24	E.C.
4.	ISSUED FOR BUILDING PERMIT	May 28/24	E.C.
3.	ISSUED FOR TENDER	May 13/24	E.C.
2.	ISSUED FOR CLIENT REVIEW	May 13/24	E.C.
1.	ISSUED FOR 95% CLIENT REVIEW	April 17/24	E.C.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJCL") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJCL whether the Work is executed or not, and RJCL reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJCL. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJCL in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal



Project Name

Upper Yonge Village Daycare Centre
 14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title **Exterior Elevations & Roof Plan**

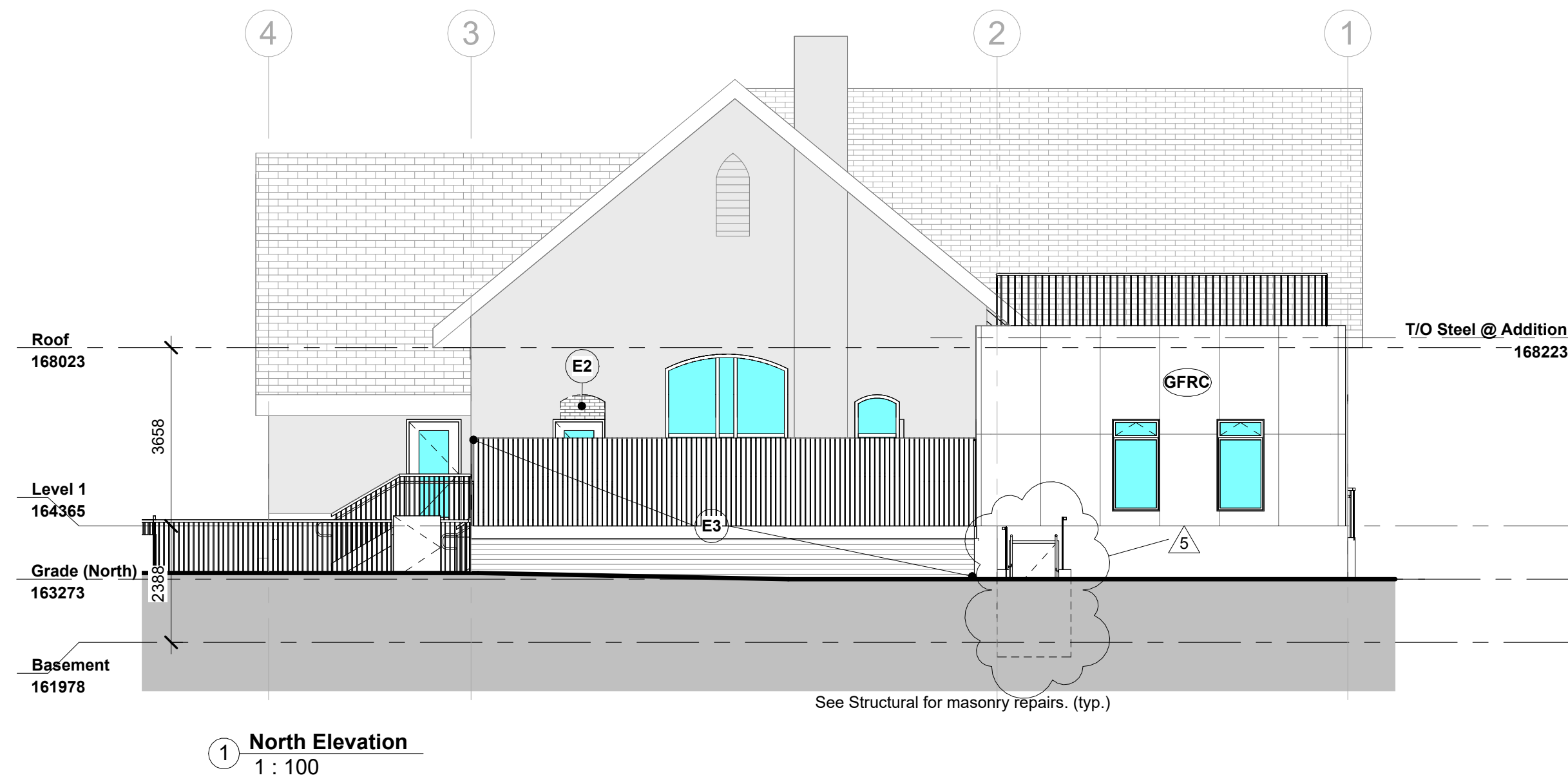
Drawn By E.C. Scale As indicated

Designed By E.C. Date May 2024

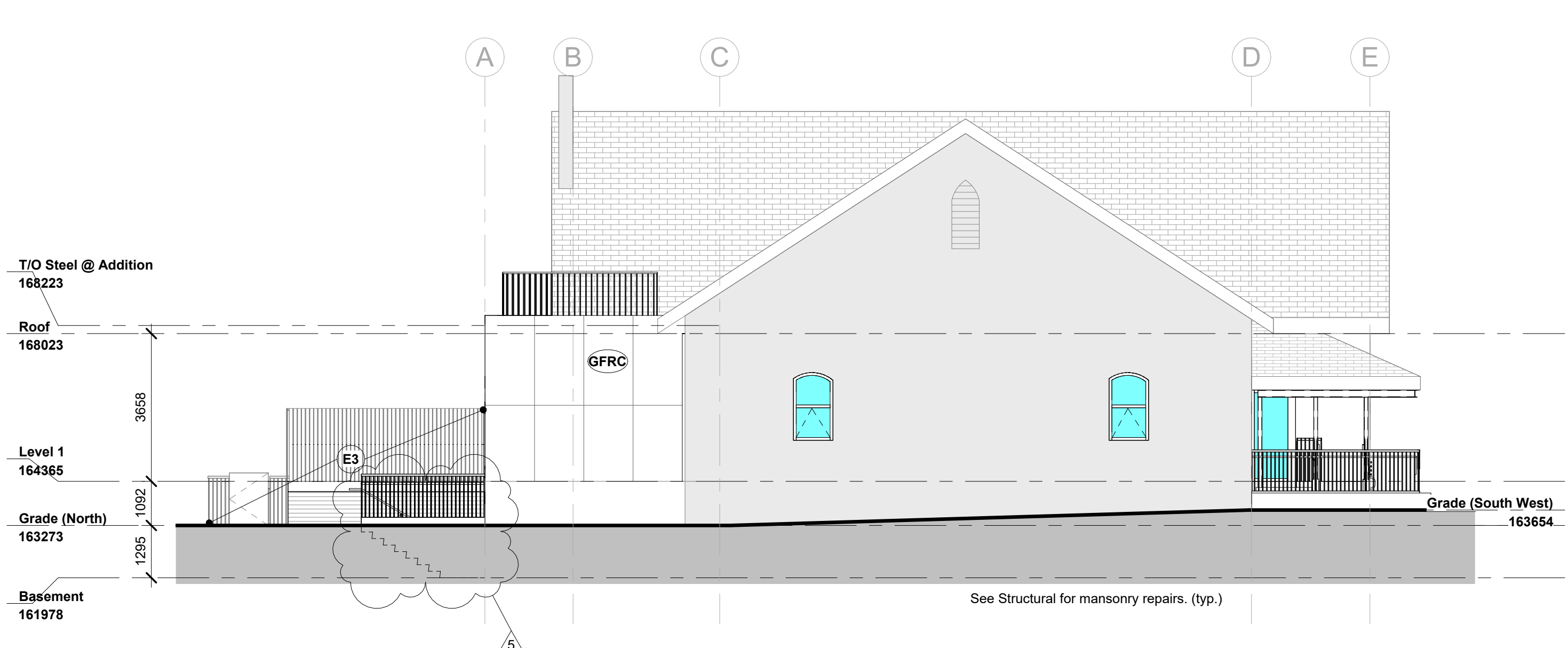
RJC Project Number **TOR.122940.0001**

Sheet Number **A2.0** Revision

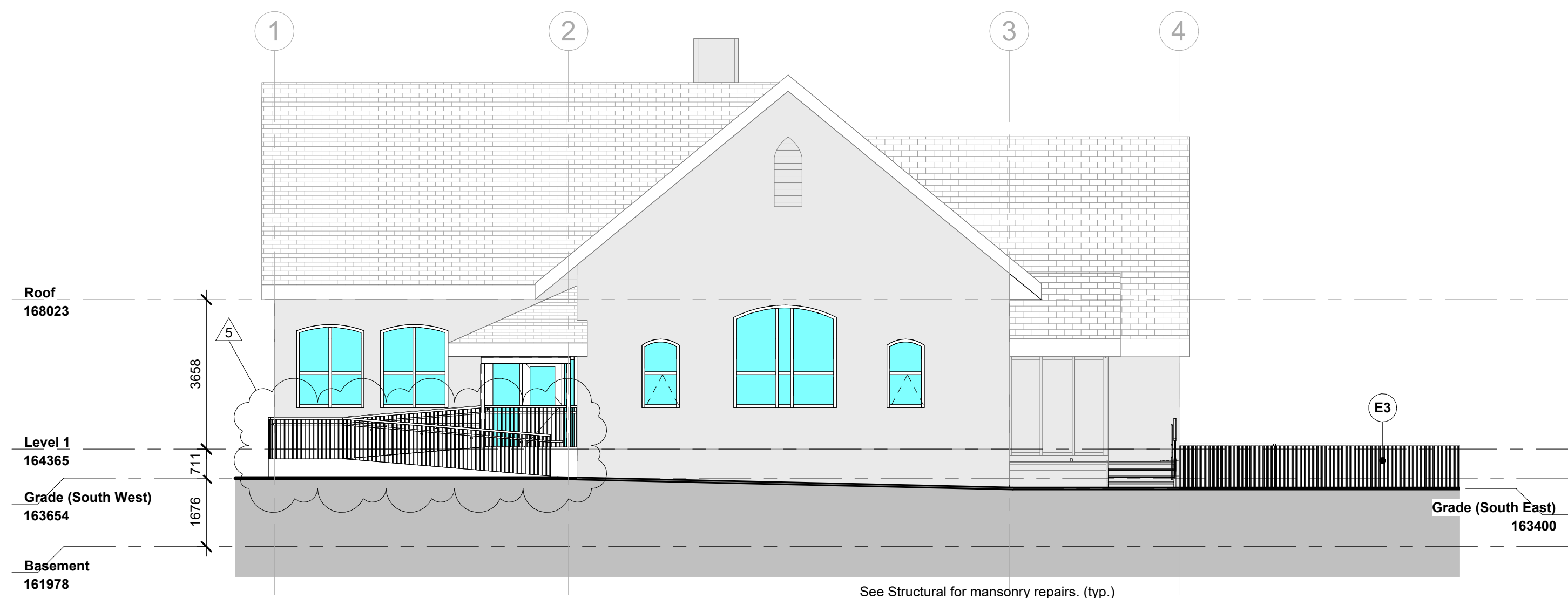
A2.0



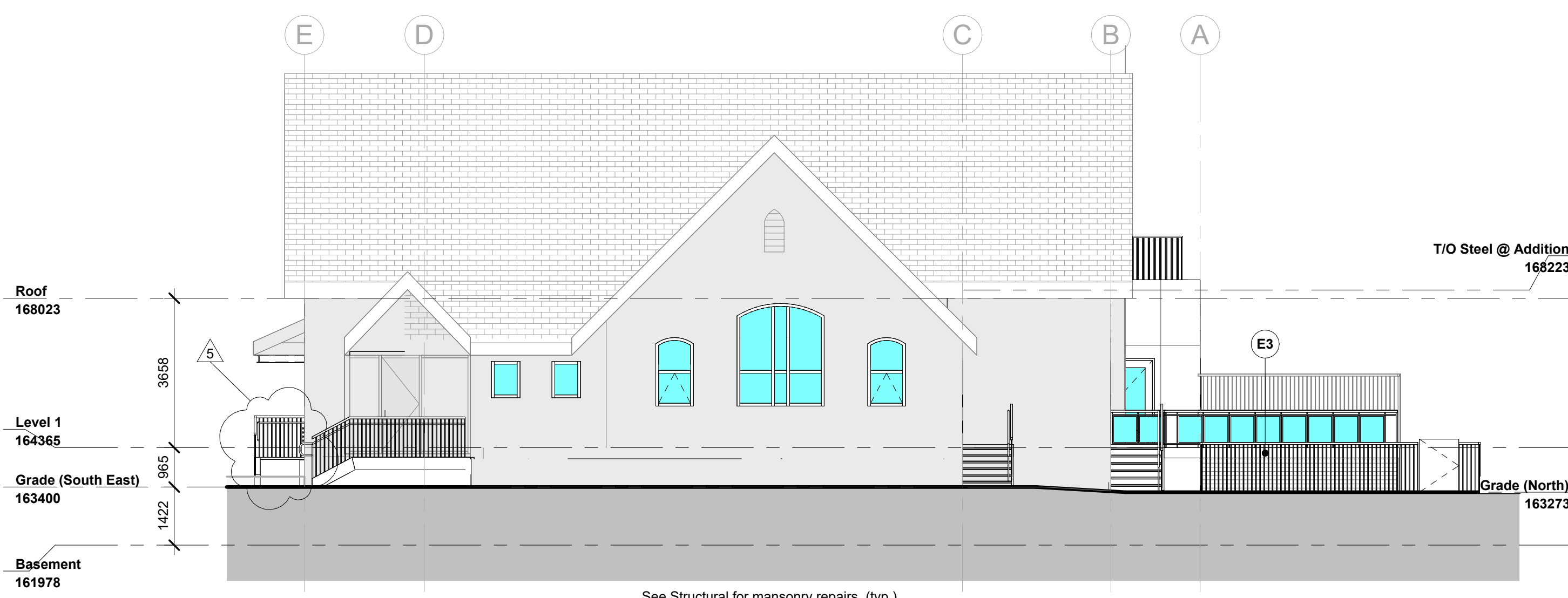
1 North Elevation
1 : 100



4 West Elevation
1 : 100



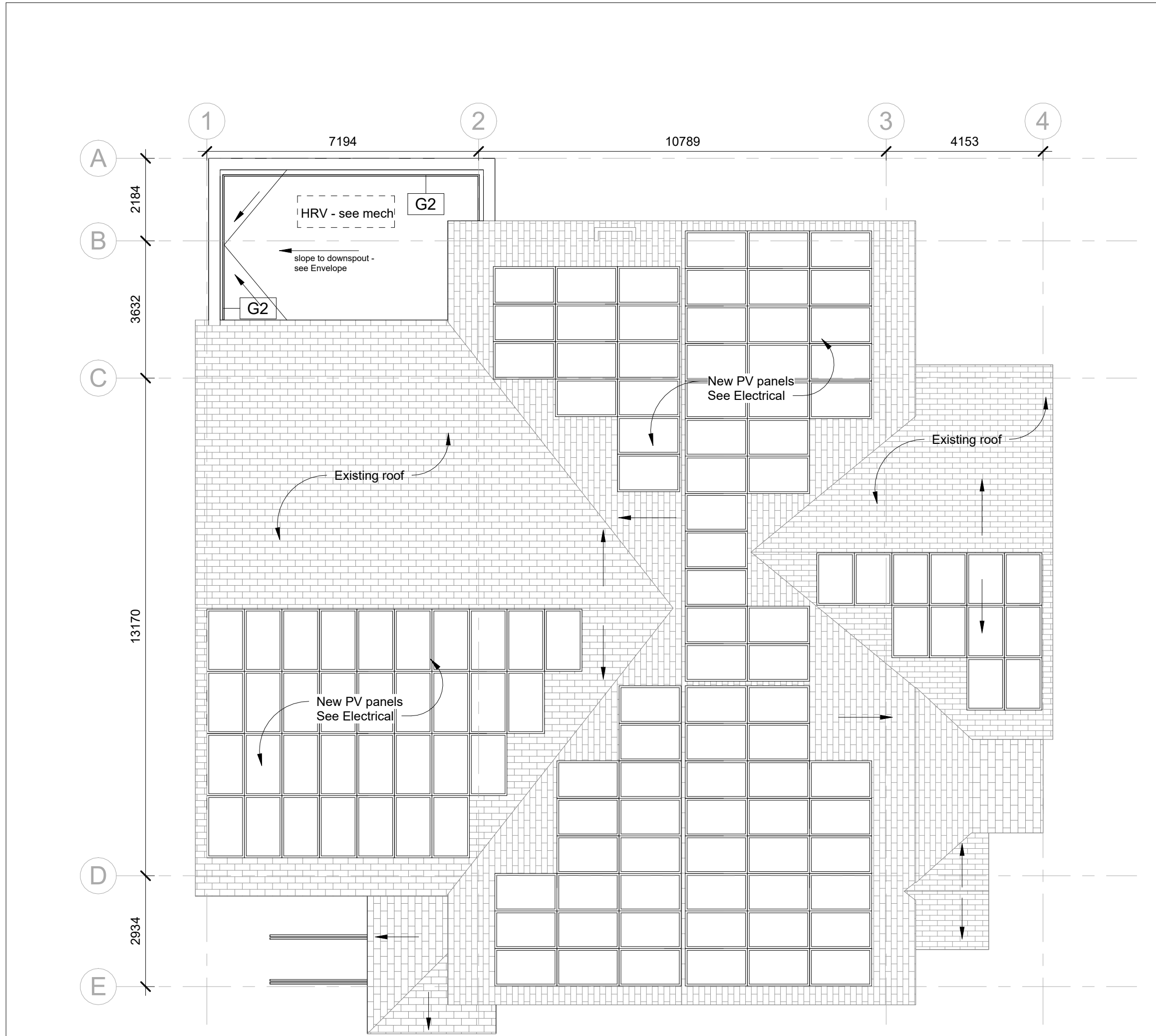
3 South Elevation
1 : 100



2 East Elevation
1 : 100

Elevation Notes	
Note	Description
E1	Existing brick
E2	EW2 masonry brick to match existing (typ.)
E3	Deck, fence and under deck storage - see Landscape

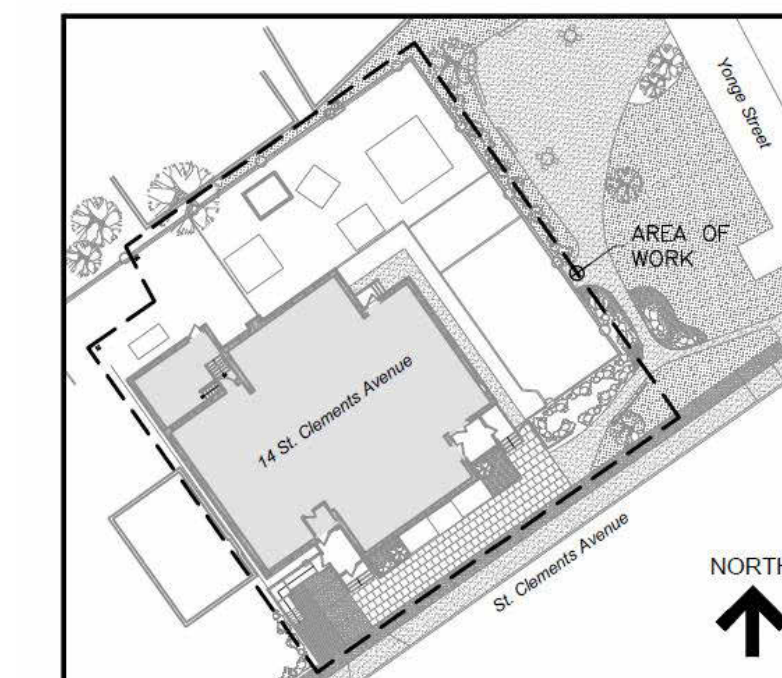
Elevations Legend	
	= Existing
	= Proposed
	= New Glazing



5 Roof Plan - Proposed
1 : 100

WORKSHOP

WORKSHOP is an architecture studio:
 6 Sousa Mendes Street
 Toronto Ontario M6P 6A8
 T 416.991.8955 F 416.849.8383
 www.workshoparchitecture.ca



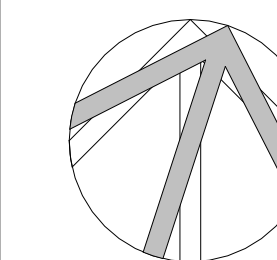
KEY PLAN

No.	Revision	Date	By
5.	PERMIT/TENDER REVISION	Sept 20/24	E.C.
4.	ISSUED FOR BUILDING PERMIT	May 28/24	E.C.
3.	ISSUED FOR TENDER	May 13/24	E.C.
2.	ISSUED FOR CLIENT REVIEW	May 13/24	E.C.
1.	ISSUED FOR 95% CLIENT REVIEW	April 17/24	E.C.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJCL") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJCL whether the Work is executed or not, and RJCL reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJCL. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJCL in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal



Project Name

**Upper Yonge Village
 Daycare Centre**
 14 St. Clements Avenue, Toronto, ON

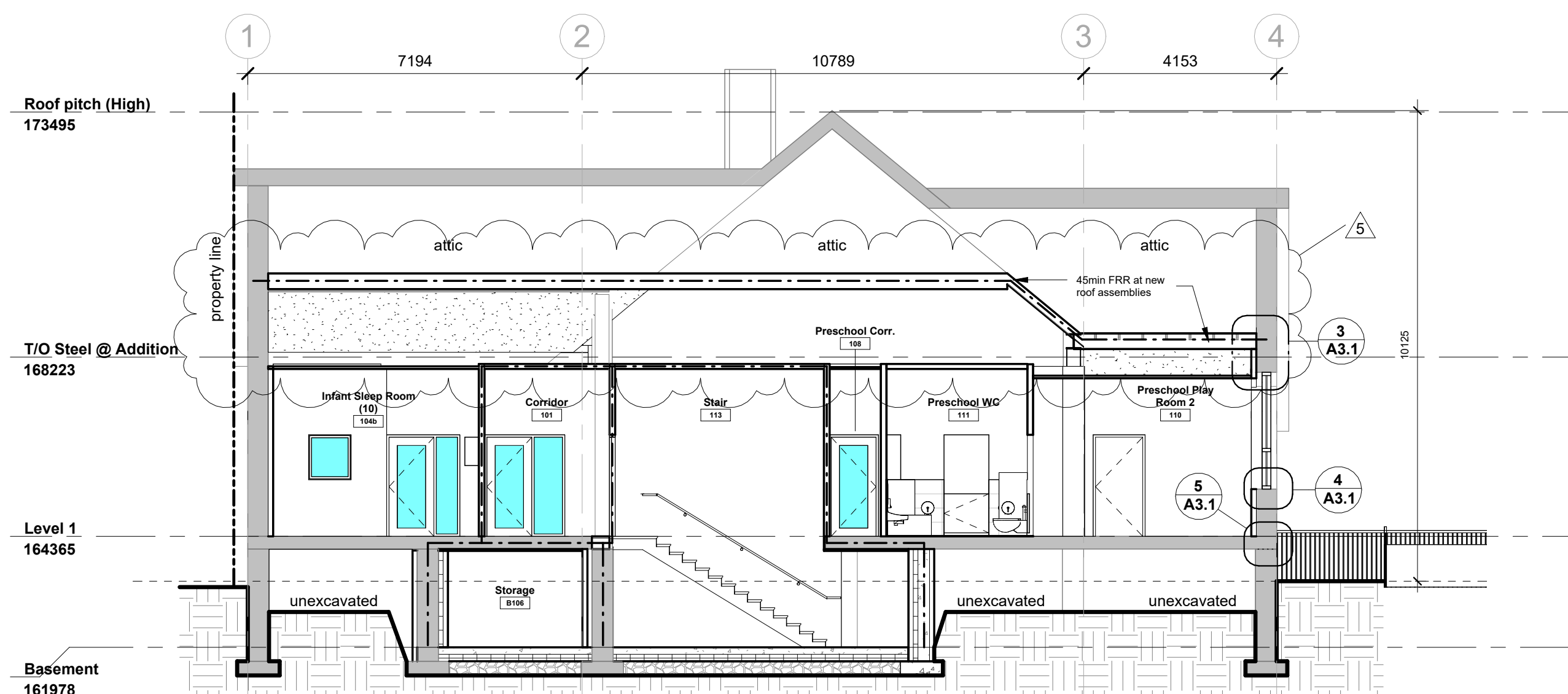
BUILDING RENOVATION

Sheet Title **Building Sections**

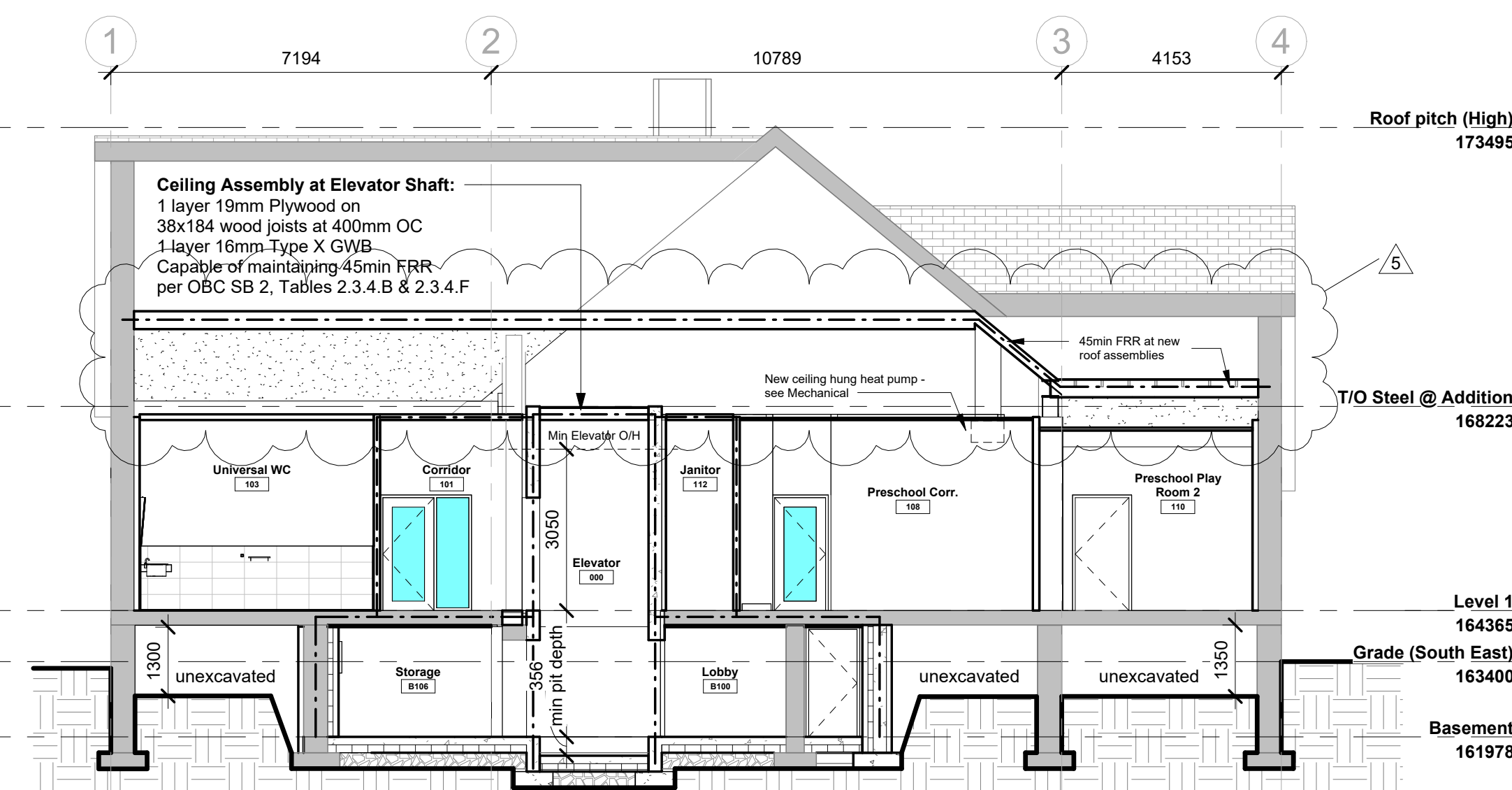
Drawn By **E.C.** Scale **1 : 100**
 Designed By **E.C.** Date **May 2024**
 RJC Project Number **TOR.122940.0001**

Sheet Number **A3.0** Revision

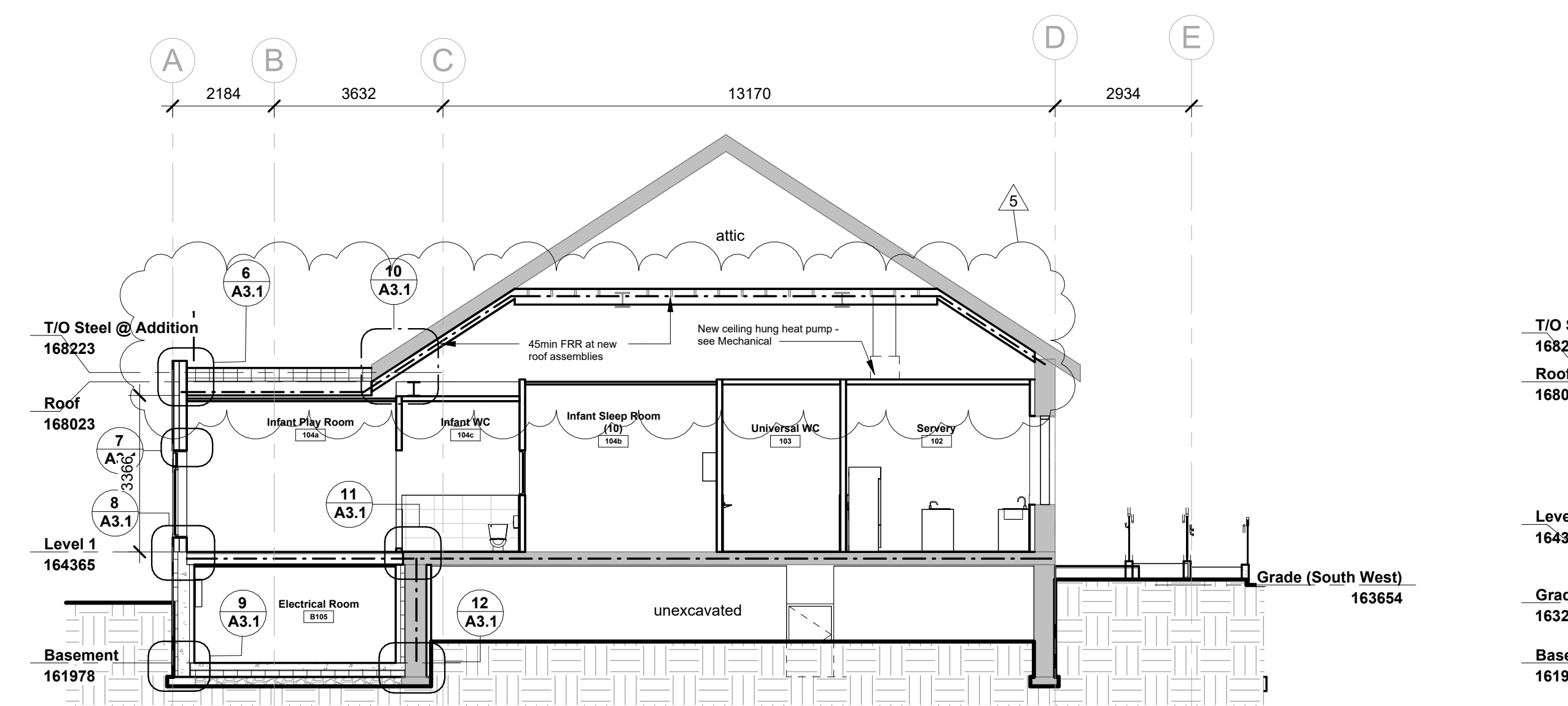
A3.0



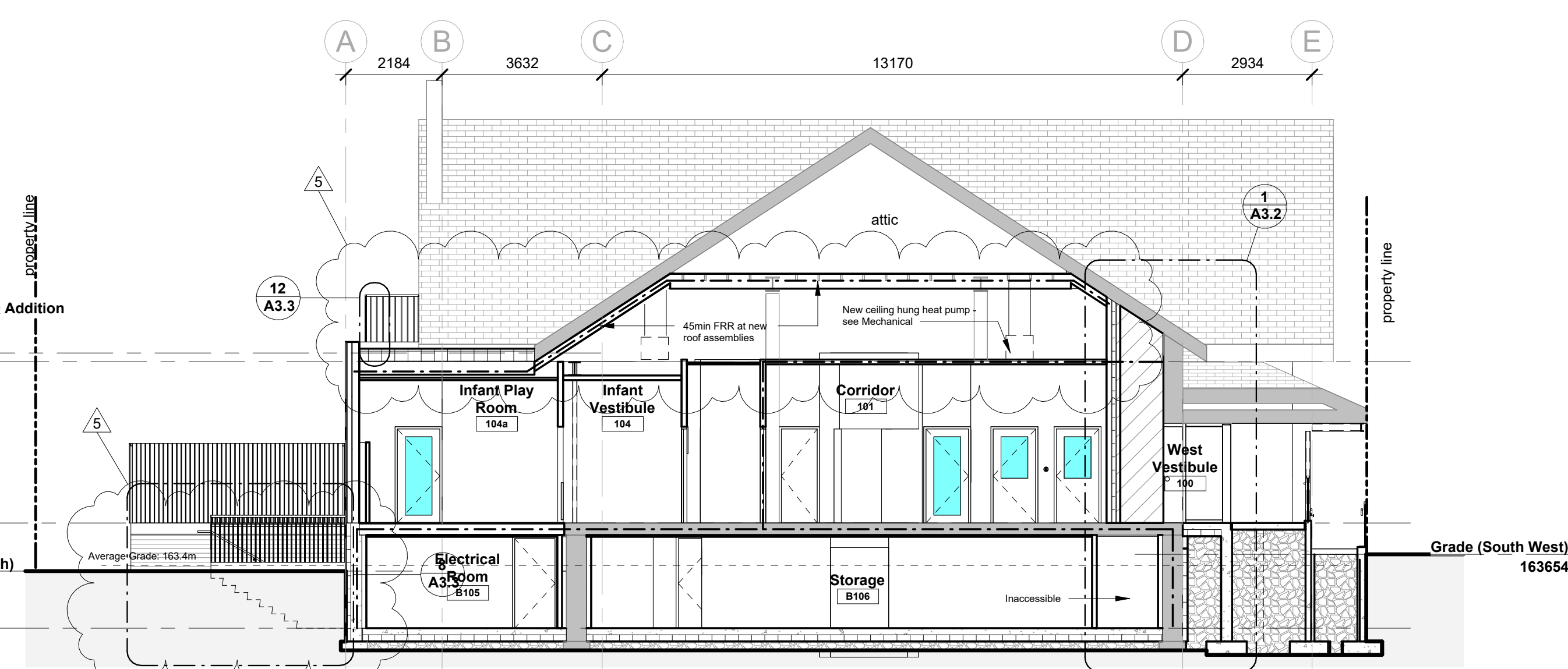
1 Section 1 - Looking North - Thru Stair
 1 : 100



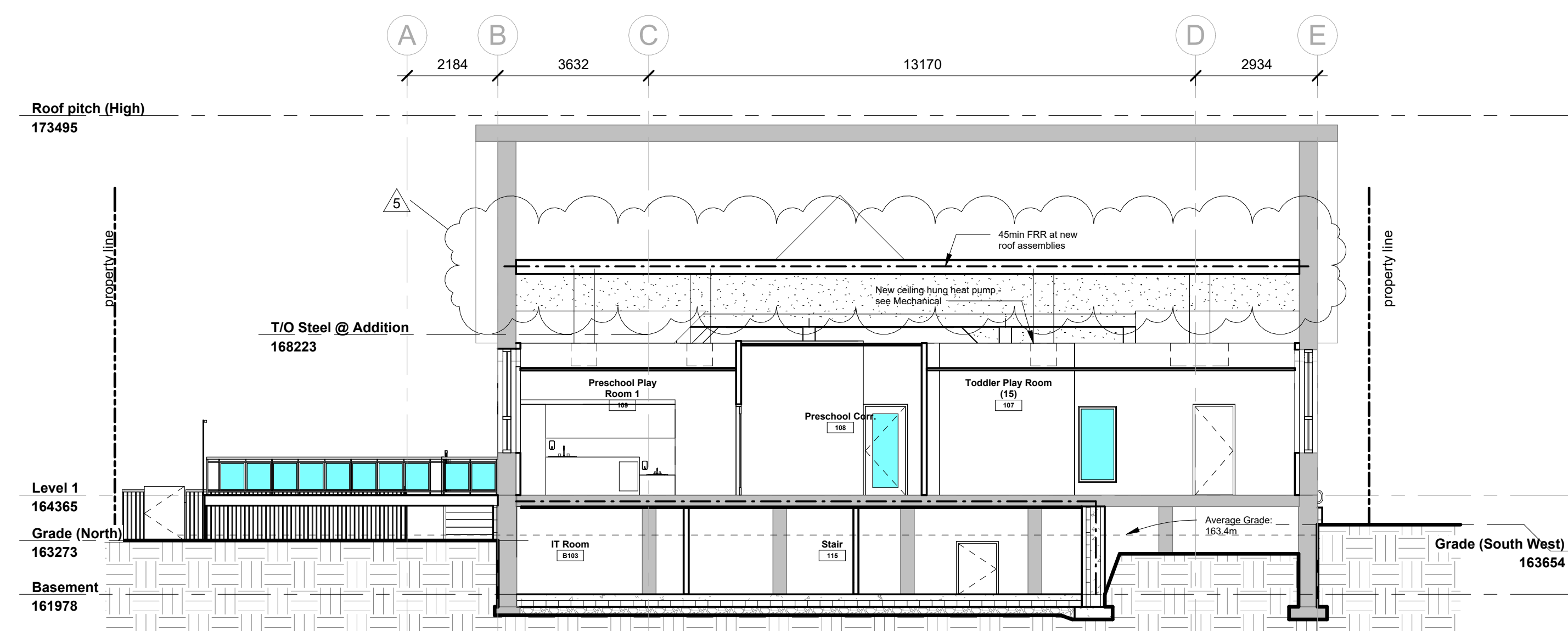
2 Section 2 - Looking North - Thru Elevator
 1 : 100



3 Section 3 - Looking East - Thru Addition
 1 : 100



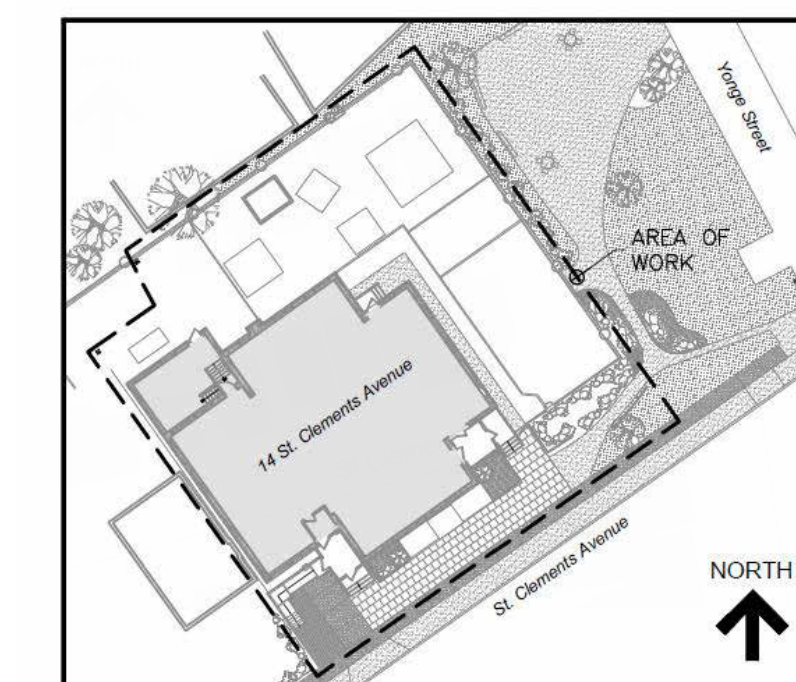
4 Section 4 - Looking East - Thru Vestibule
 1 : 100



5 Section 5 - Looking East - Thru North Deck
 1 : 100

WORKSHOP

WORKSHOP is an architecture studio:
 8 Sousa Mendes Street
 Toronto Ontario M6P 6A8
 T 416.991.8955 F 416.849.8383
 www.workshoparchitecture.ca



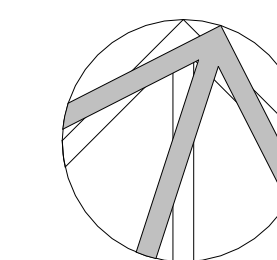
KEY PLAN

No.	Revision	Date	By
5.	PERMIT/TENDER REVISION	Sept 20/24	E.C.
4.	ISSUED FOR BUILDING PERMIT	May 28/24	E.C.
3.	ISSUED FOR TENDER	May 13/24	E.C.
2.	ISSUED FOR CLIENT REVIEW	May 13/24	E.C.
1.	ISSUED FOR 95% CLIENT REVIEW	April 17/24	E.C.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal



Project Name

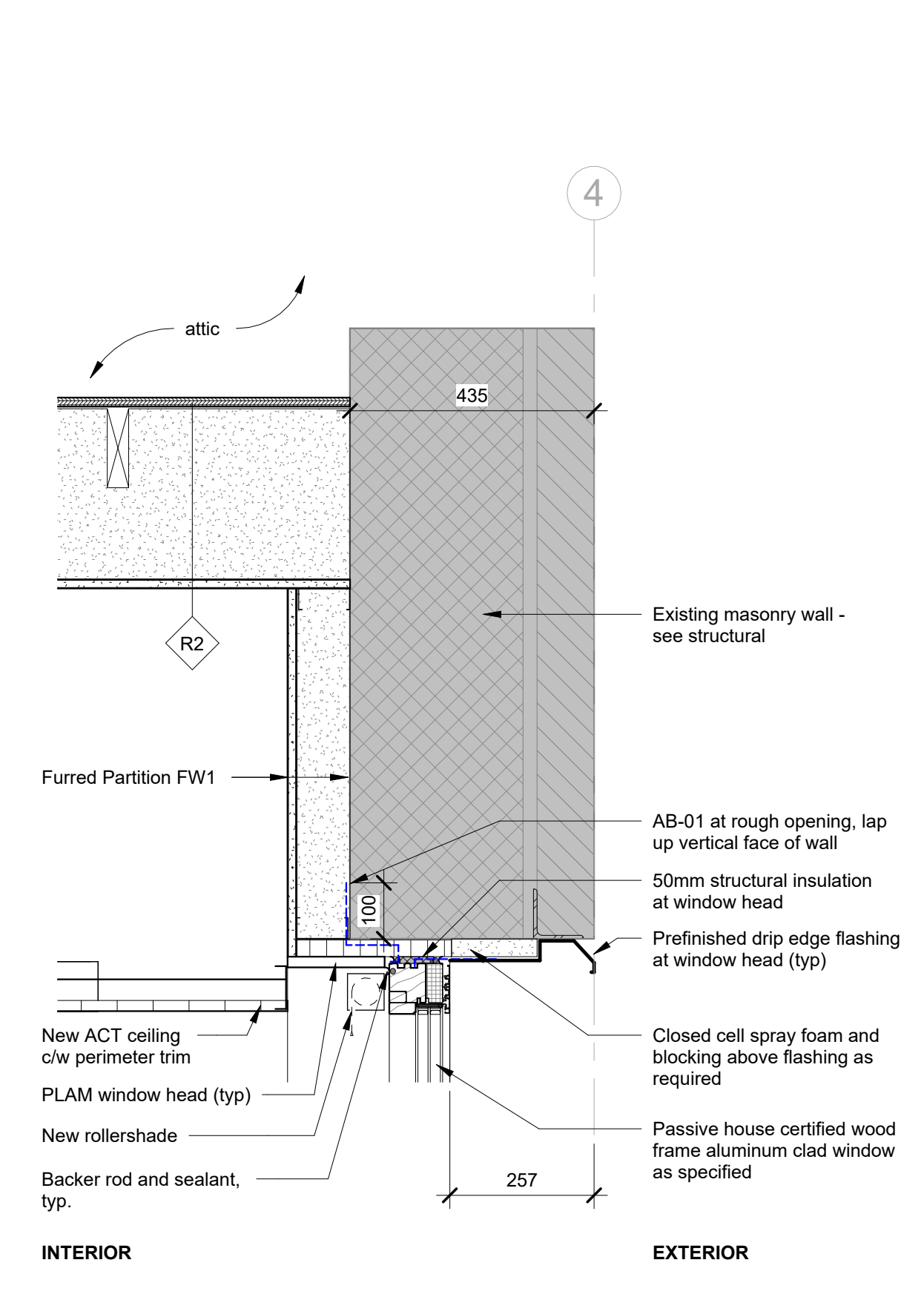
Upper Yonge Village Daycare Centre
 14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

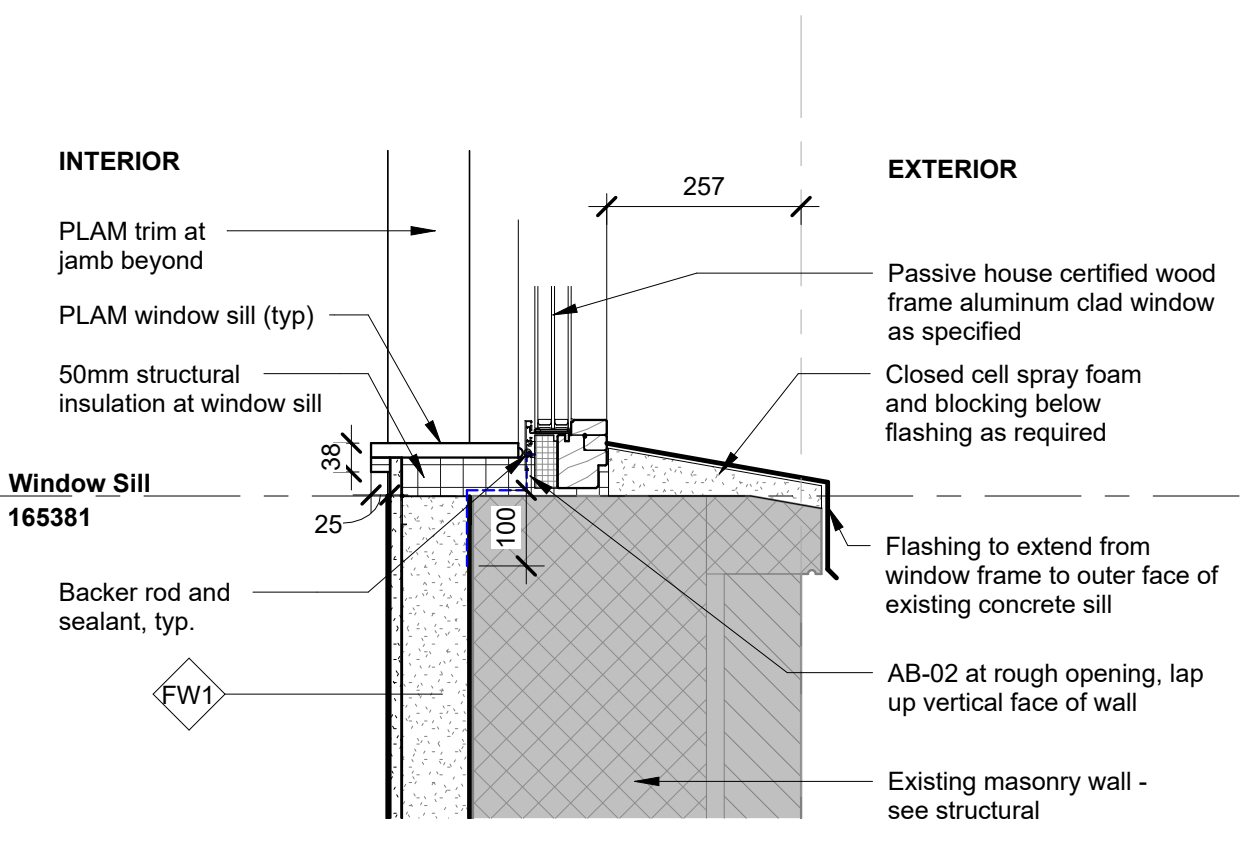
Sheet Title **Wall Sections & Details - Addition and Existing**

Drawn By **E.C.** Scale **As indicated**
 Designed By **E.C.** Date **May 2024**
 RJC Project Number **TOR.122940.0001**

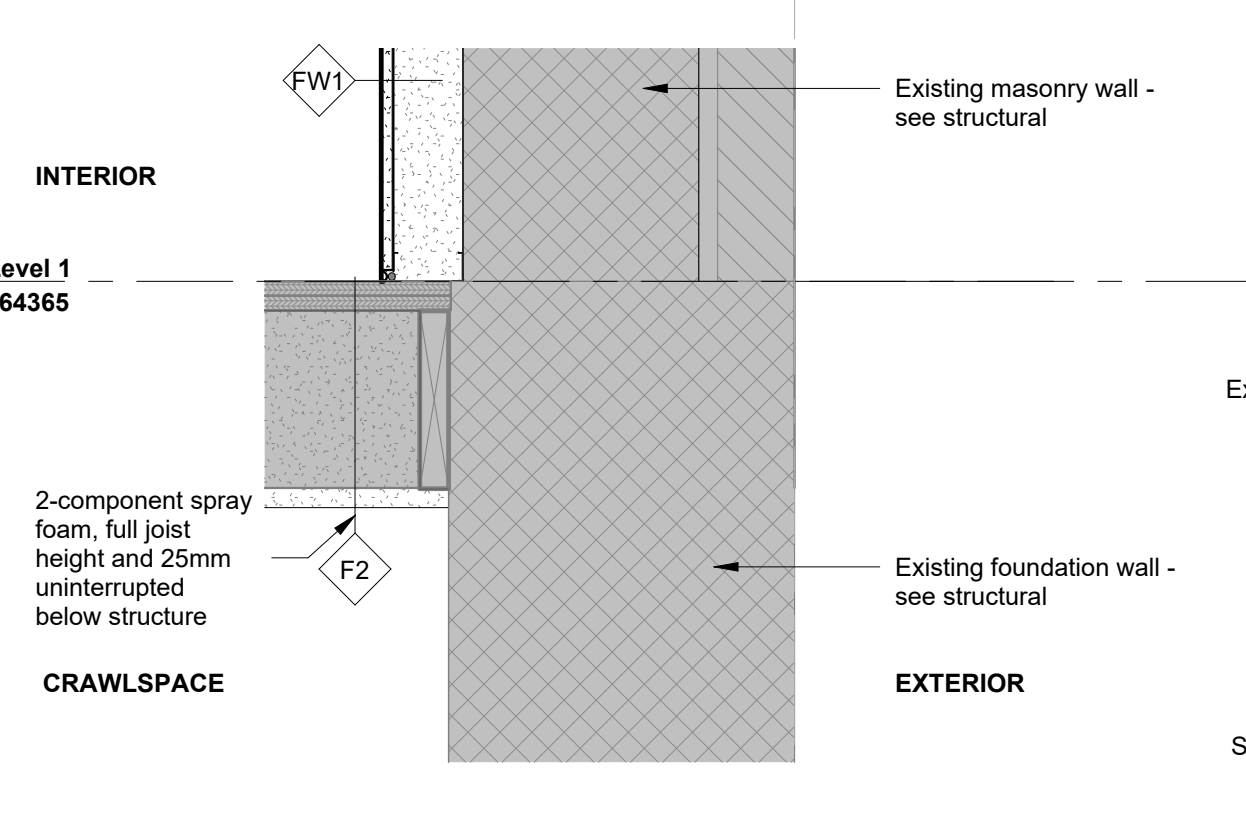
Sheet Number **A3.1** Revision



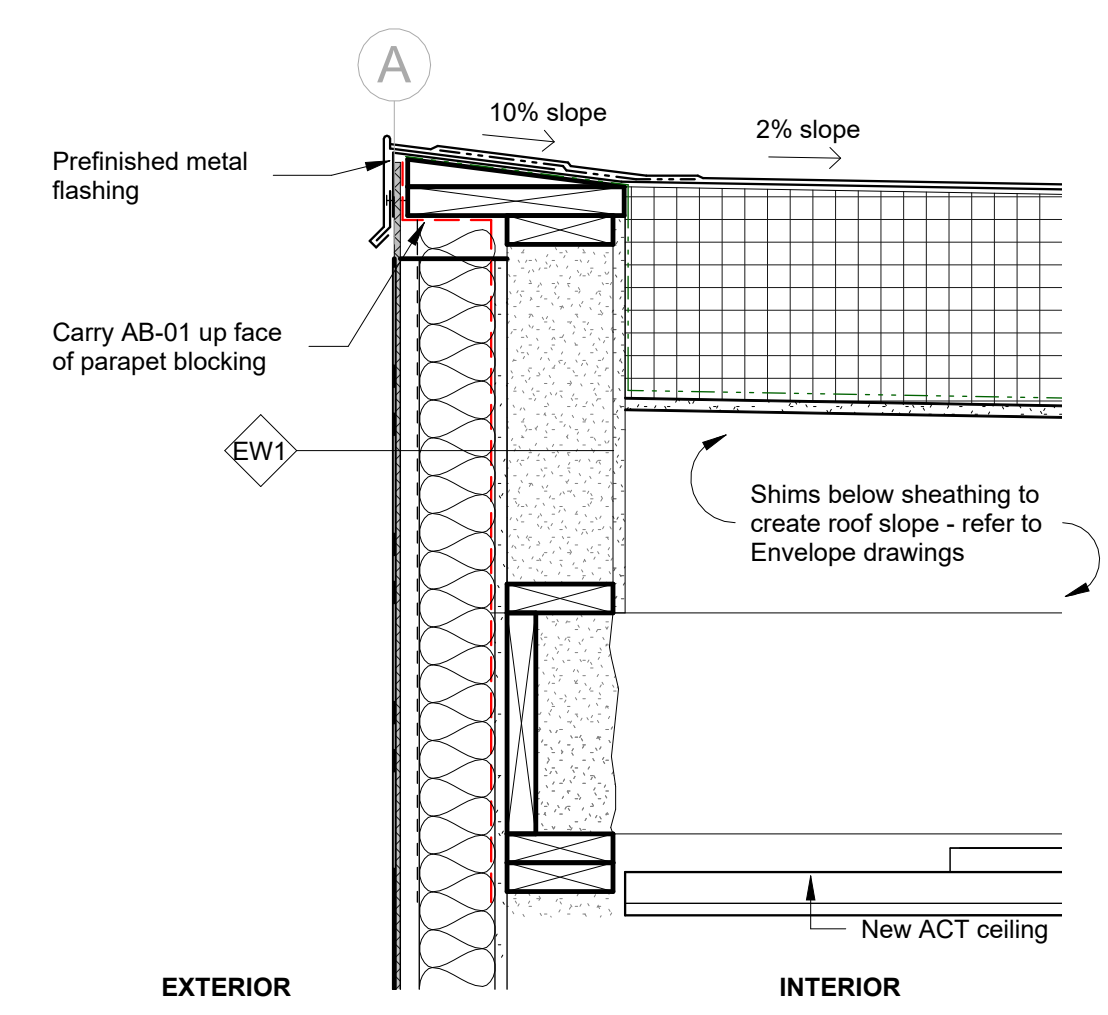
3 Section Detail - Window Head and Thermal Ceiling
 1 : 10



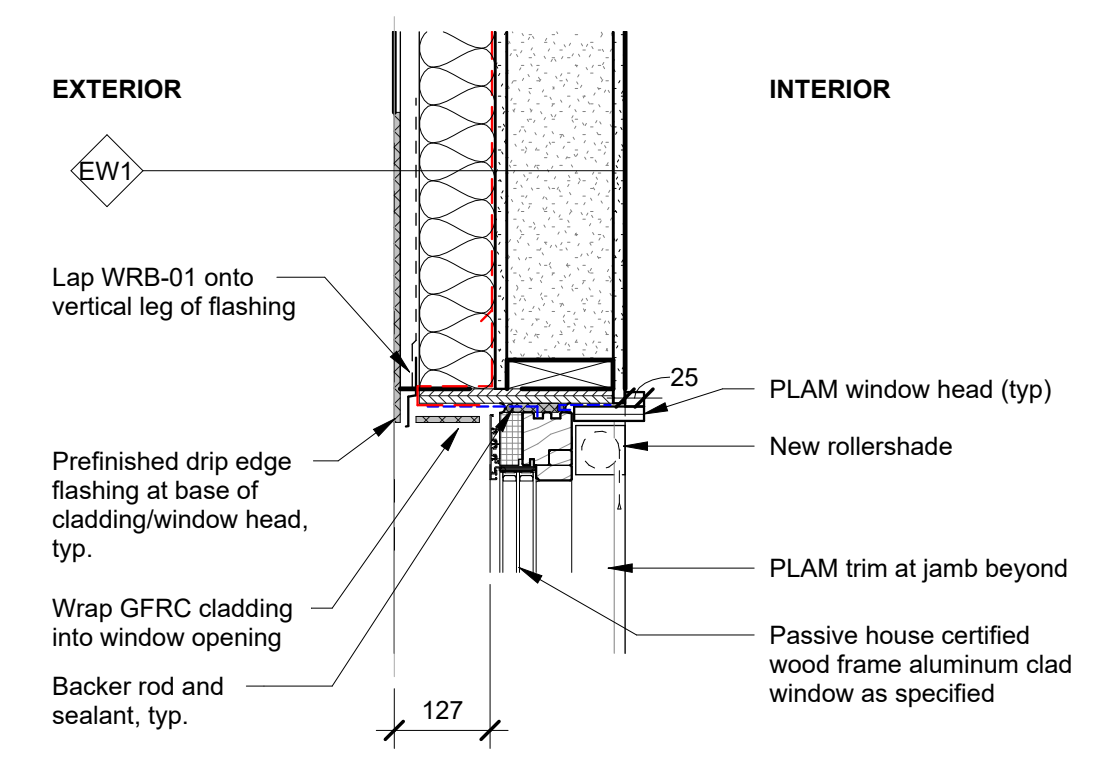
4 Section Detail - Window Sill
 1 : 10



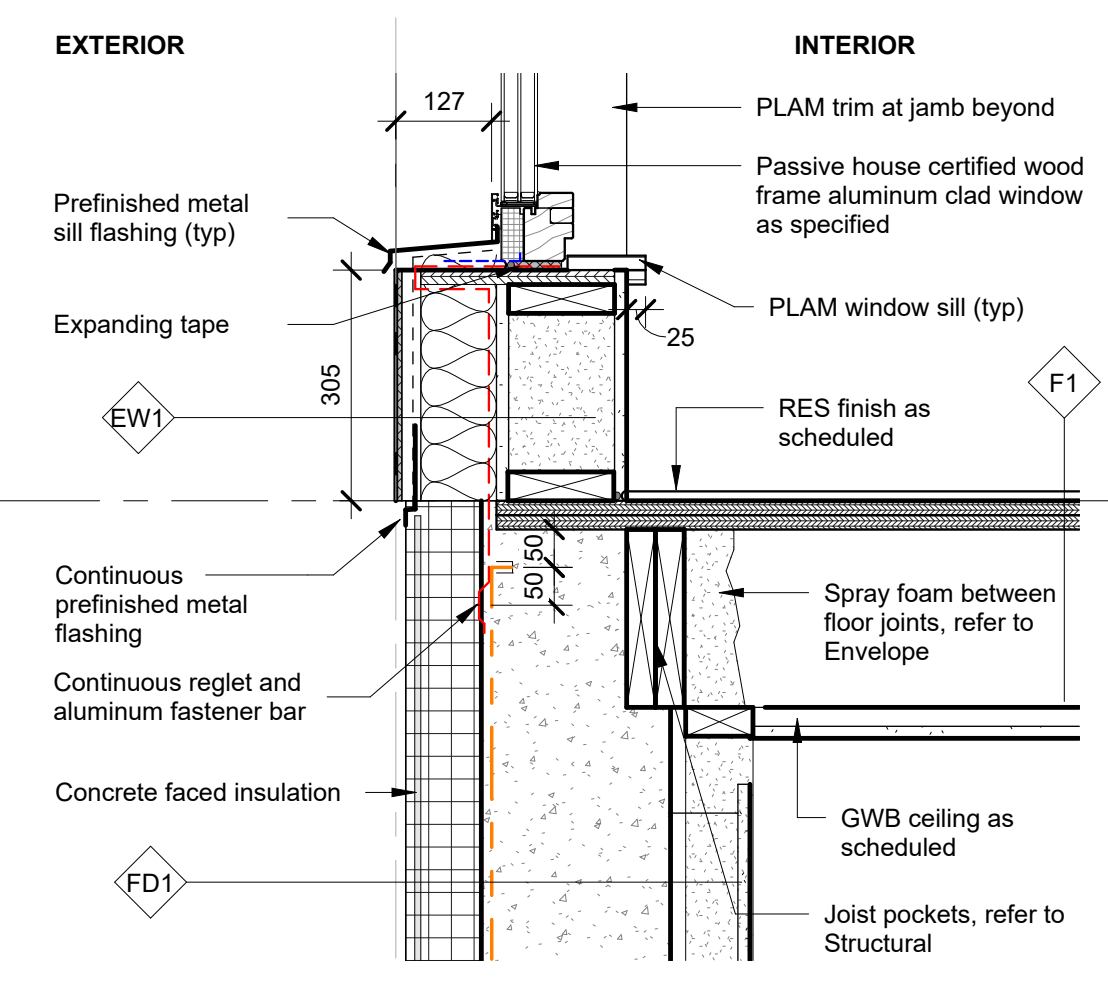
5 Section Detail - Floor F2 at Crawspace
 1 : 10



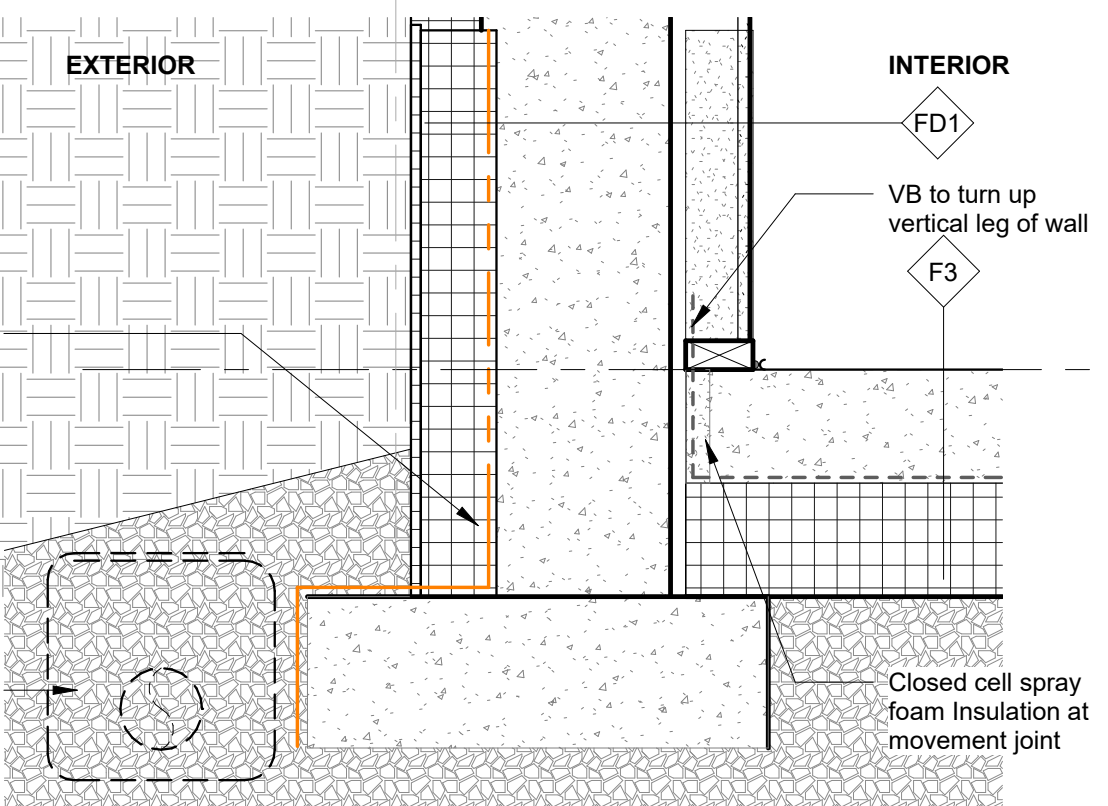
6 Section Detail - EW1 parapet at R1
 1 : 10



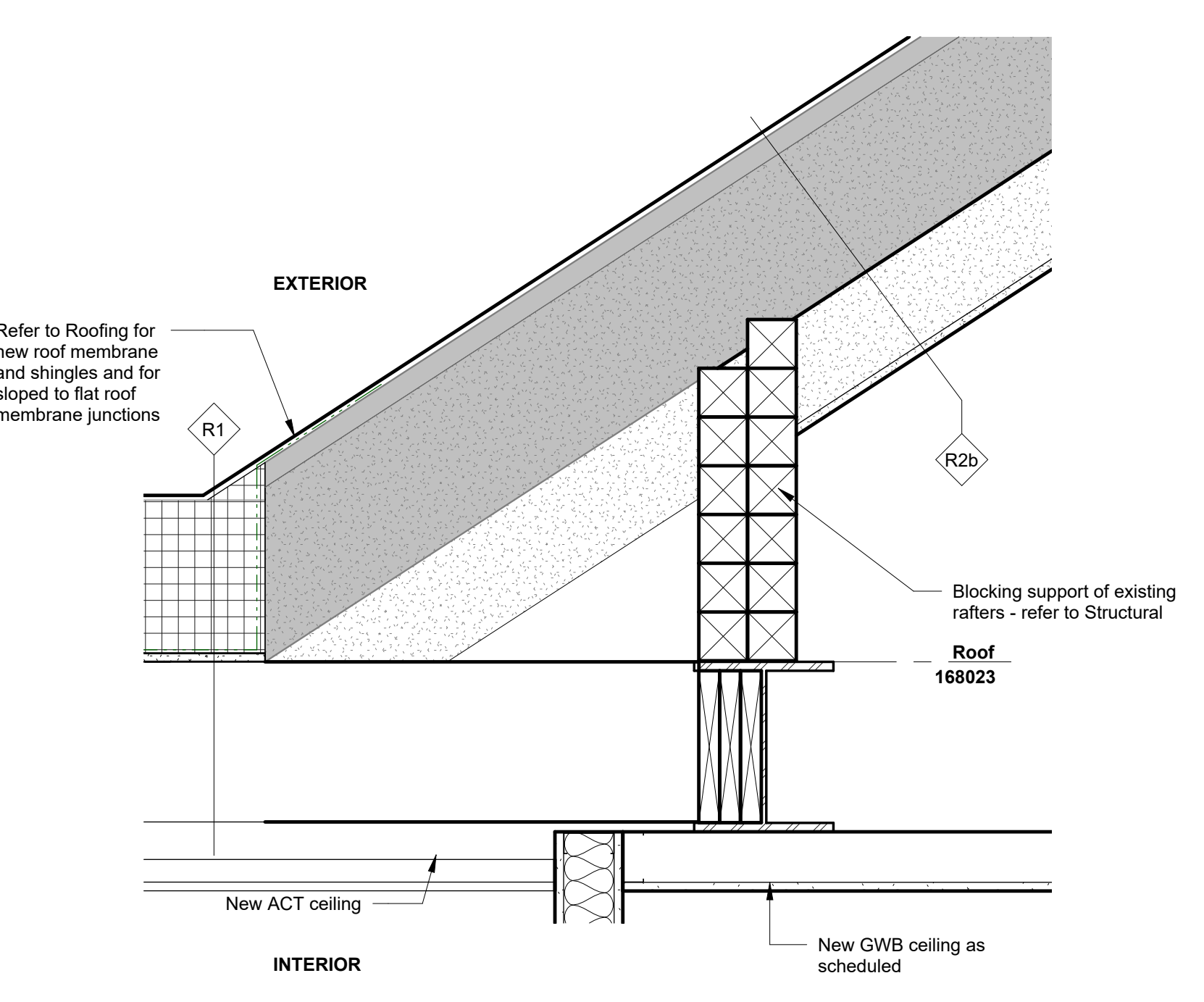
7 Detail Section - Window Head at Addition
 1 : 10



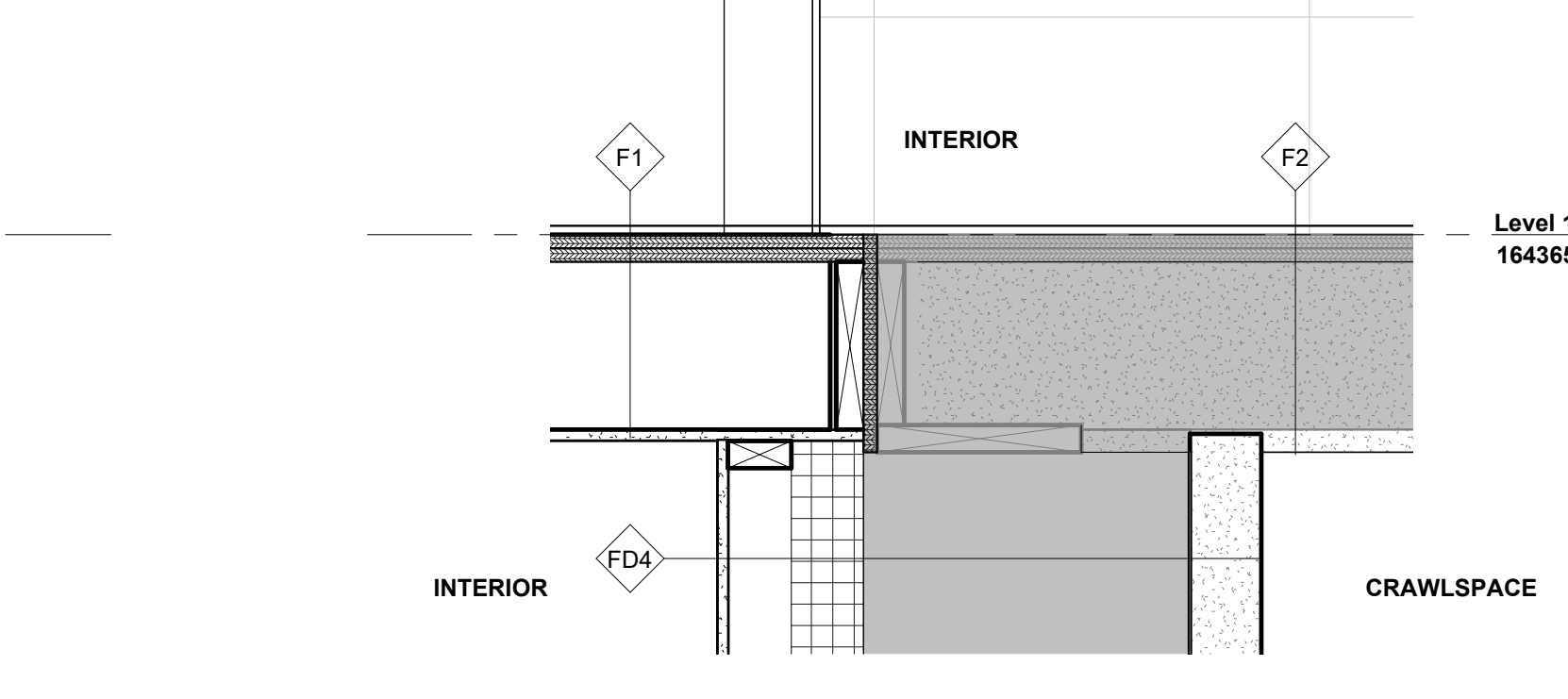
8 Section Detail - Window Sill at Addition
 1 : 10



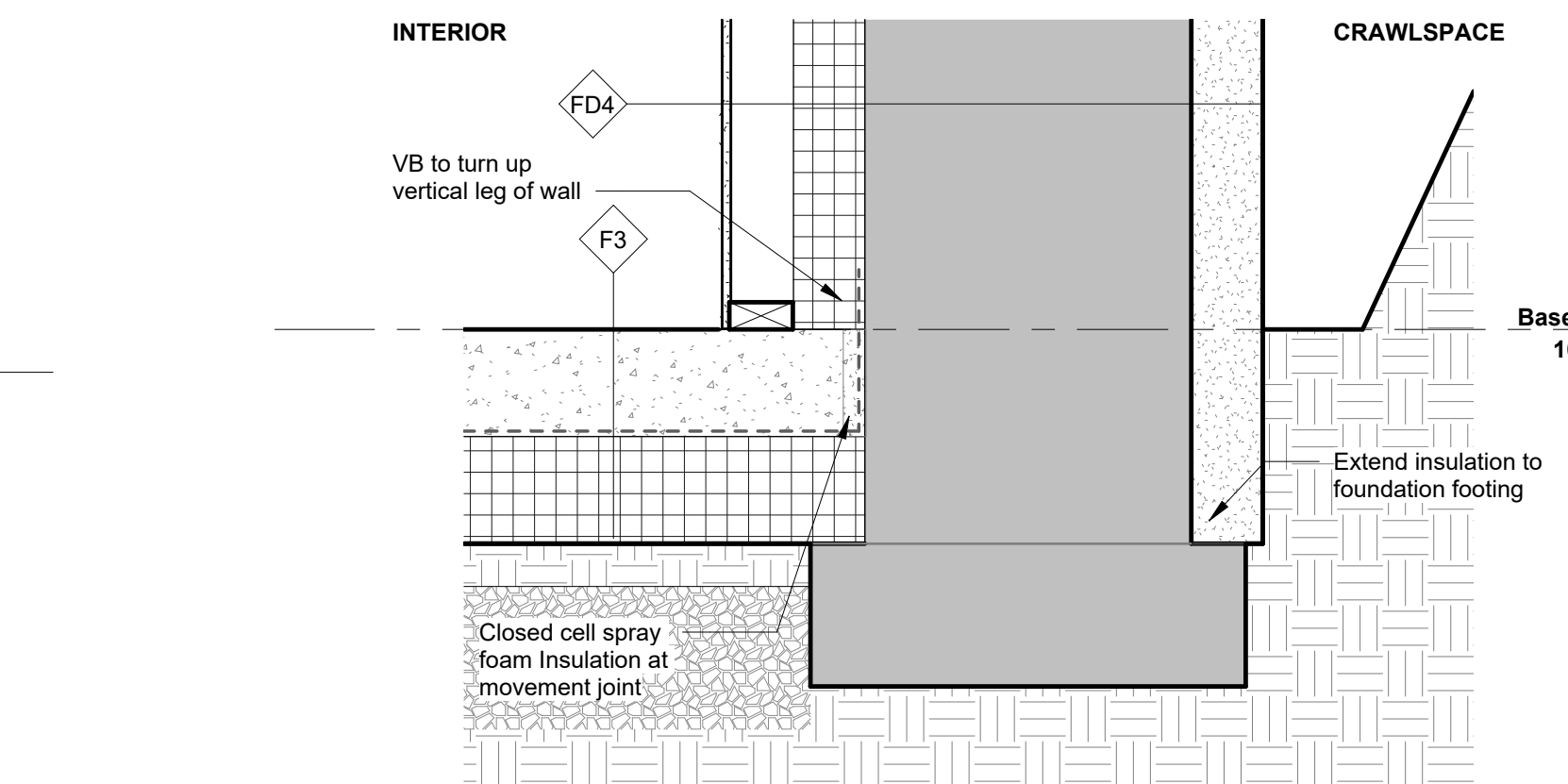
9 Section Detail - Foundation FD1 at Floor F3
 1 : 10



10 Section Detail - R1 at R2
 1 : 10



11 Section Detail - Floor over Crawspace
 1 : 10



12 Section Detail - Foundation FD4 at Floor F1 and F2
 1 : 10

Membrane Legend

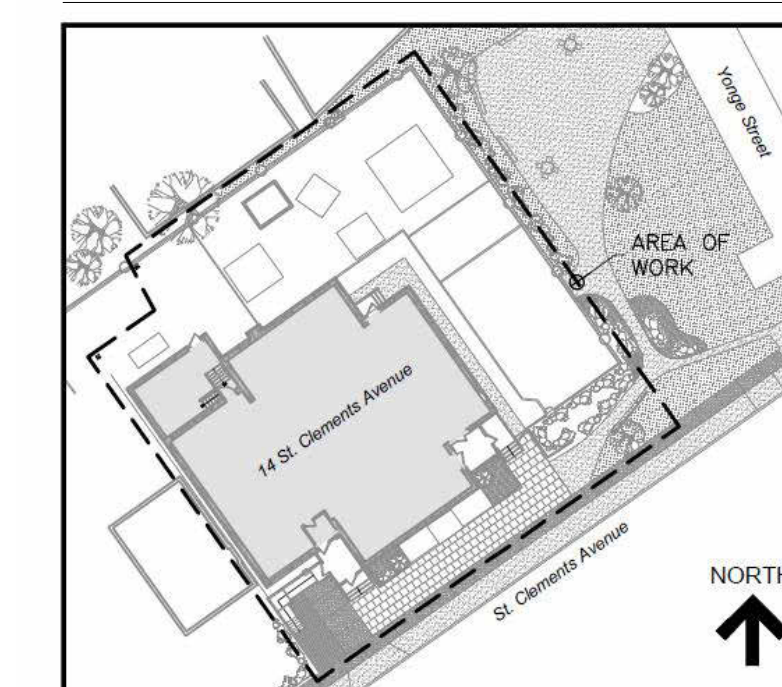
- AB-01 - Vapour permeable air/weather barrier (at above-grade walls)
- AB-02 - Transition membrane (at openings)
- VB-01 - Vapour barrier (at slab-on-grade)
- VB-02 - Vapour barrier (at roof)
- WRB-01 - Weather resistant barrier (at rainscreen cladding)
- WP-01 - Crystalline waterproofing (interior below-grade walls)
- WP-02 - Cold-applied waterproofing (exterior below-grade walls)
- WP-03 - Curtain injection waterproofing (at unexcavated below-grade walls)

Materials Legend

- ACT - Acoustic Ceiling Tile
- ALUM - Aluminum
- BB - Bulletin Board
- CER - Ceramic Tile
- CP - Exterior Concrete
- EPO - Epoxy
- EXIST - Existing
- EXP - Exposed
- FGL - Interior Fire Rated Glass
- GF - Glazing Film - Safety
- GFRC - Glass Fibre Reinforced Cladding
- GWB-01 - Gypsum Wallboard (Painted)
- GWB-02 - Gypsum Wallboard (Type X)
- IGU-01 - Exterior Insulated Glass Unit (Passive House Frame)
- IGU-02 - Exterior Insulated Glass Unit
- INS-01 - Acoustic Fire Batt Insulation (Interior Wall)
- INS-02 - Spray Foam Insulation (Interior Wall)
- INS-03 - Spray Foam Insulation (Below Grade Walls, Crawspace)
- INS-04 - Spray Foam Insulation (Below Floor)
- INS-05 - Spray Foam Insulation (Below Roof)
- INS-06 - Mineral Wool Insulation (Rainscreen Wall)
- INS-07 - XPS Insulation (Exterior Wall)
- INS-08 - XPS Insulation (Slab on Grade)
- INS-09 - XPS Insulation (Below Grade Walls, Exterior)
- INS-10 - Polyiso Insulation (Exterior Roof)
- INS-11 - XPS Insulation (Below Grade Walls, Interior)
- PB-01/02 - Push Button (Wall mounted/Column mounted)
- POR - Porcelain Tile
- PLAM - Plastic Laminate
- PT - Paint Finish
- RB - Rubber Base
- RES - Resilient Sheet Flooring
- SCW - Solid Core Wood
- SO - Solid Polymer Fabrications
- SS - Stainless Steel (Brushed)
- TGL - Interior Tempered Glass
- WD - Solid Wood
- WV - Wood Veneer

WORKSHOP

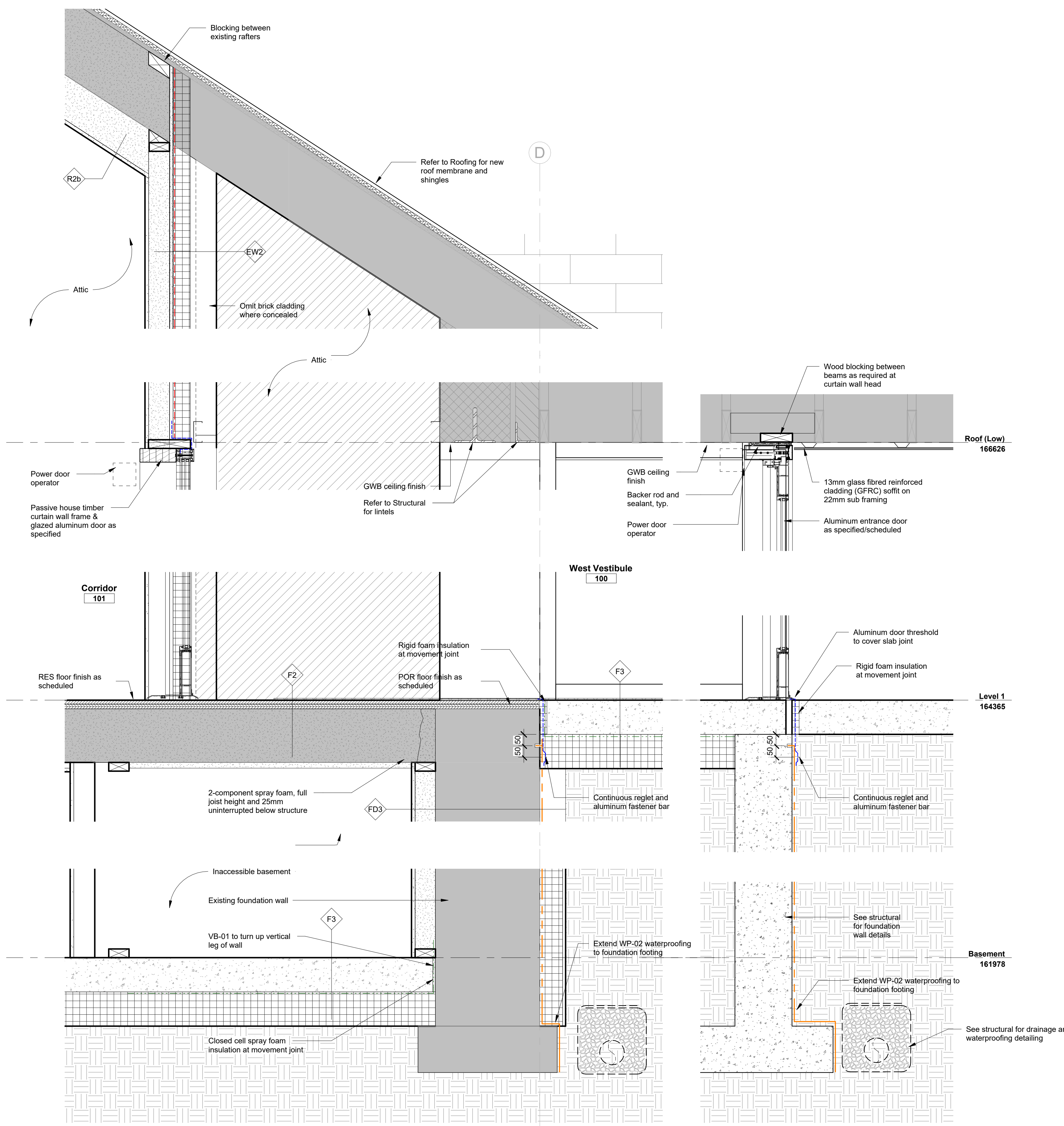
WORKSHOP is an architecture studio:
 8 Sousa Mendes Street
 Toronto Ontario M6P 6A8
 T 416.991.8955 F 416.849.8383
 www.workshoparchitecture.ca



KEY PLAN

Membrane Legend	
---	AB-01 - Vapour permeable air/weather barrier (at above-grade walls)
---	AB-02 - Transition membrane (at openings)
---	VB-01 - Vapour barrier (at slab-on-grade)
---	VB-02 - Vapour barrier (at roof)
---	WRB-01 - Weather resistant barrier (at rainscreen cladding)
---	WP-01 - Crystalline waterproofing (interior below-grade walls)
---	WP-02 - Cold-applied waterproofing (exterior below-grade walls)
---	WP-03 - Curtain injection waterproofing (at unexcavated below-grade walls)

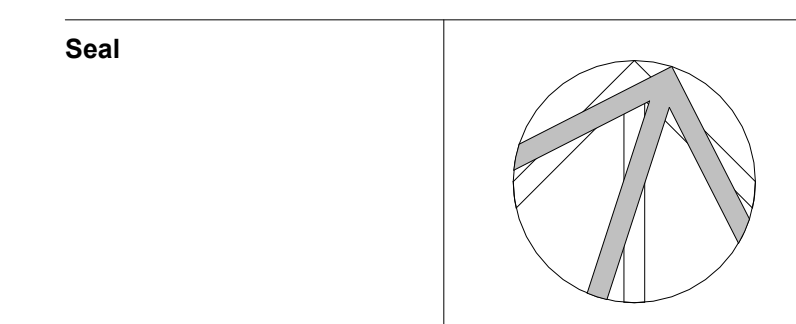
Materials Legend	
ACT	Acoustic Ceiling Tile
ALUM	Aluminum
BB	Bulletin Board
CER	Ceramic Tile
CP	Exterior Concrete
EPO	Epoxy
EXIST	Existing
EXP	Exposed
FGL	Interior Fire Rated Glass
GF	Glazing Film - Safety
GFRG	Glass Fibre Reinforced Cladding
GWB-01	Gypsum Wallboard (Painted)
GWB-02	Gypsum Wallboard (Type X)
IGU-01	Exterior Insulated Glass Unit (Passive House Frame)
IGU-02	Exterior Insulated Glass Unit
INS-01	Acoustic Fire Batt Insulation (Interior Wall)
INS-02	Spray Foam Insulation (Interior Wall)
INS-03	Spray Foam Insulation (Below Grade Walls, Crawlspace)
INS-04	Spray Foam Insulation (Below Roof)
INS-05	Spray Foam Insulation (Below Roof)
INS-06	Mineral Wool Insulation (Rainscreen Wall)
INS-07	XPS Insulation (Exterior Wall)
INS-08	XPS Insulation (Slab on Grade)
INS-09	XPS Insulation (Below Grade Walls, Exterior)
INS-10	Polyiso Insulation (Exterior Roof)
INS-11	XPS Insulation (Below Grade Walls, Interior)
PB-01/02	Push Button (Wall mounted/Column mounted)
POR	Porcelain Tile
PLAM	Plastic Laminate
PT	Paint Finish
RB	Rubber Base
RES	Resilient Sheet Flooring
SCW	Solid Core Wood
SO	Solid Polymer Fabrications
SS	Stainless Steel (Brushed)
TGL	Interior Tempered Glass
WD	Solid Wood
WV	Wood Veneer



1 Wall Section - Thru Vestibule Callout
 1:10

No.	Revision	Date	By
5.	PERMIT/TENDER REVISION	Sept 20/24	E.C.
4.	ISSUED FOR BUILDING PERMIT	May 28/24	E.C.
3.	ISSUED FOR TENDER	May 13/24	E.C.
2.	ISSUED FOR CLIENT REVIEW	May 13/24	E.C.
1.	ISSUED FOR 95% CLIENT REVIEW	April 17/24	E.C.

- Drawing Notes
- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJCL") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJCL whether the Work is executed or not, and RJCL reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
 - These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJCL. The work "as constructed" may vary from what is shown on these drawings.
 - Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJCL in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
Upper Yonge Village Daycare Centre
 14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

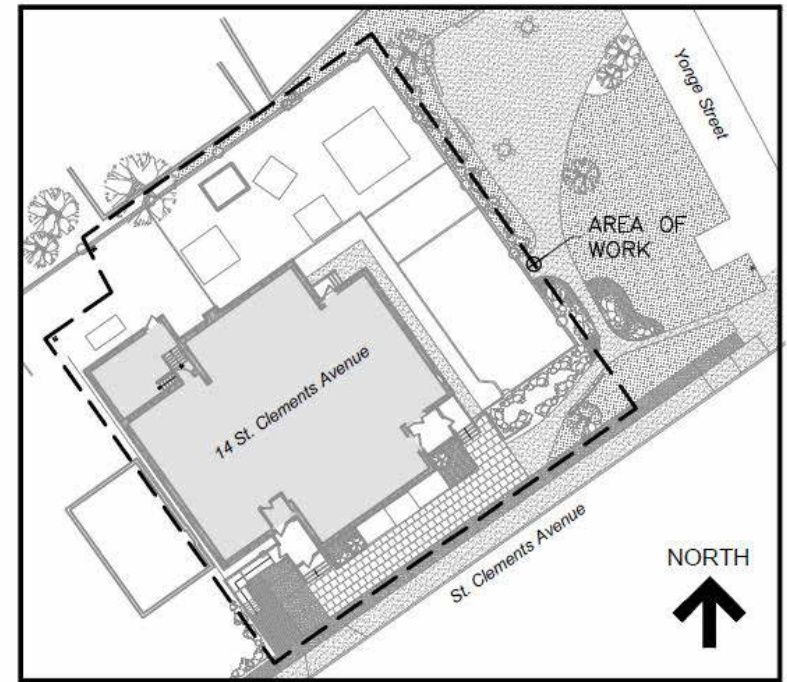
Sheet Title
Wall Sections & Details - West Vestibule

Drawn By E.C. Scale As indicated
 Designed By E.C. Date May 2024
 RJC Project Number **TOR.122940.0001**

Sheet Number **A3.2** Revision

WORKSHOP

WORKSHOP is an architecture studio:
 6 Sousa Mendes Street
 Toronto Ontario M6P 6A8
 T 416.961.8955 F 416.849.8383
 www.workshoparchitecture.ca



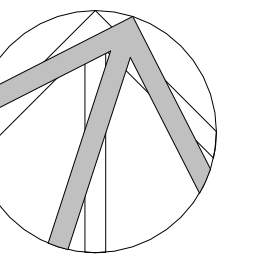
KEY PLAN

No.	Revision	Date	By
5.	PERMIT/TENDER REVISION	Sept 20/24	E.C.
4.	ISSUED FOR BUILDING PERMIT	May 28/24	E.C.
3.	ISSUED FOR TENDER	May 13/24	E.C.
2.	ISSUED FOR CLIENT REVIEW	May 13/24	E.C.
1.	ISSUED FOR 95% CLIENT REVIEW	April 17/24	E.C.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJCL") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJCL whether the Work is executed or not, and RJCL reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJCL. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJCL in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal



Project Name

Upper Yonge Village Daycare Centre
 14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title **Detailed Plans, Interior and Exterior Details**

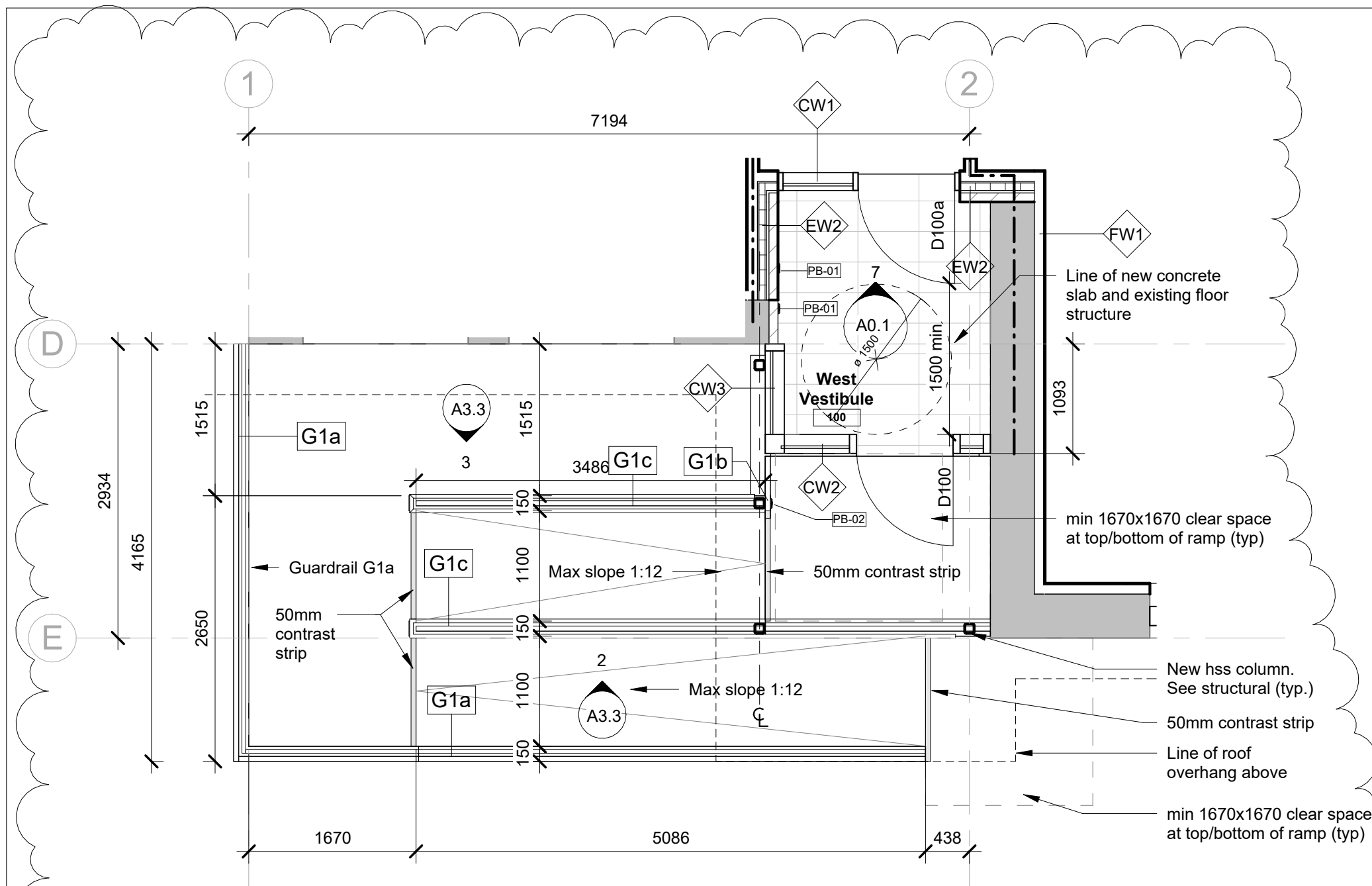
Drawn By **E.C.** Scale **As indicated**

Designed By **E.C.** Date **May 2024**

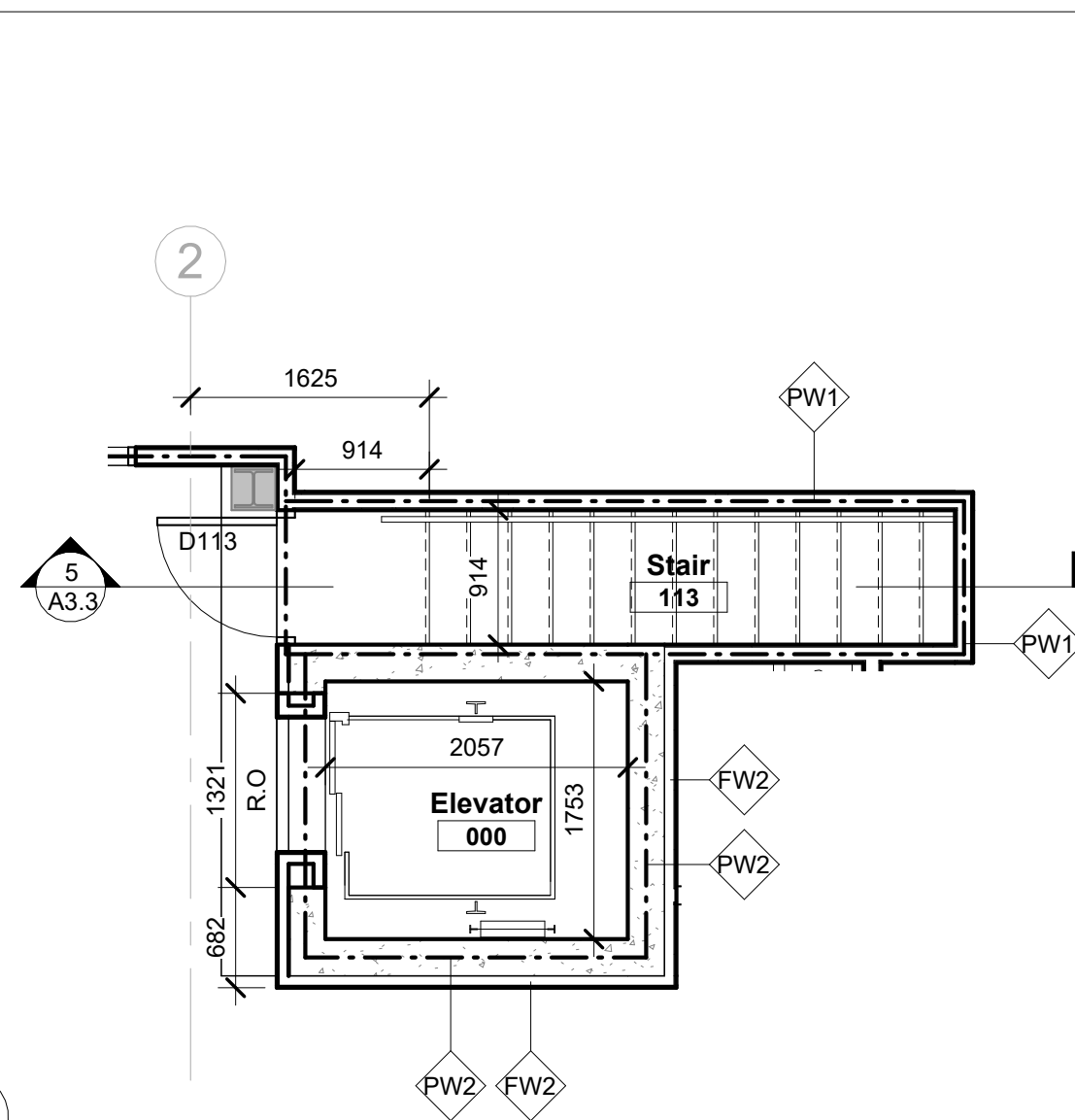
RJC Project Number **TOR.122940.0001**

Sheet Number **A3.3** Revision

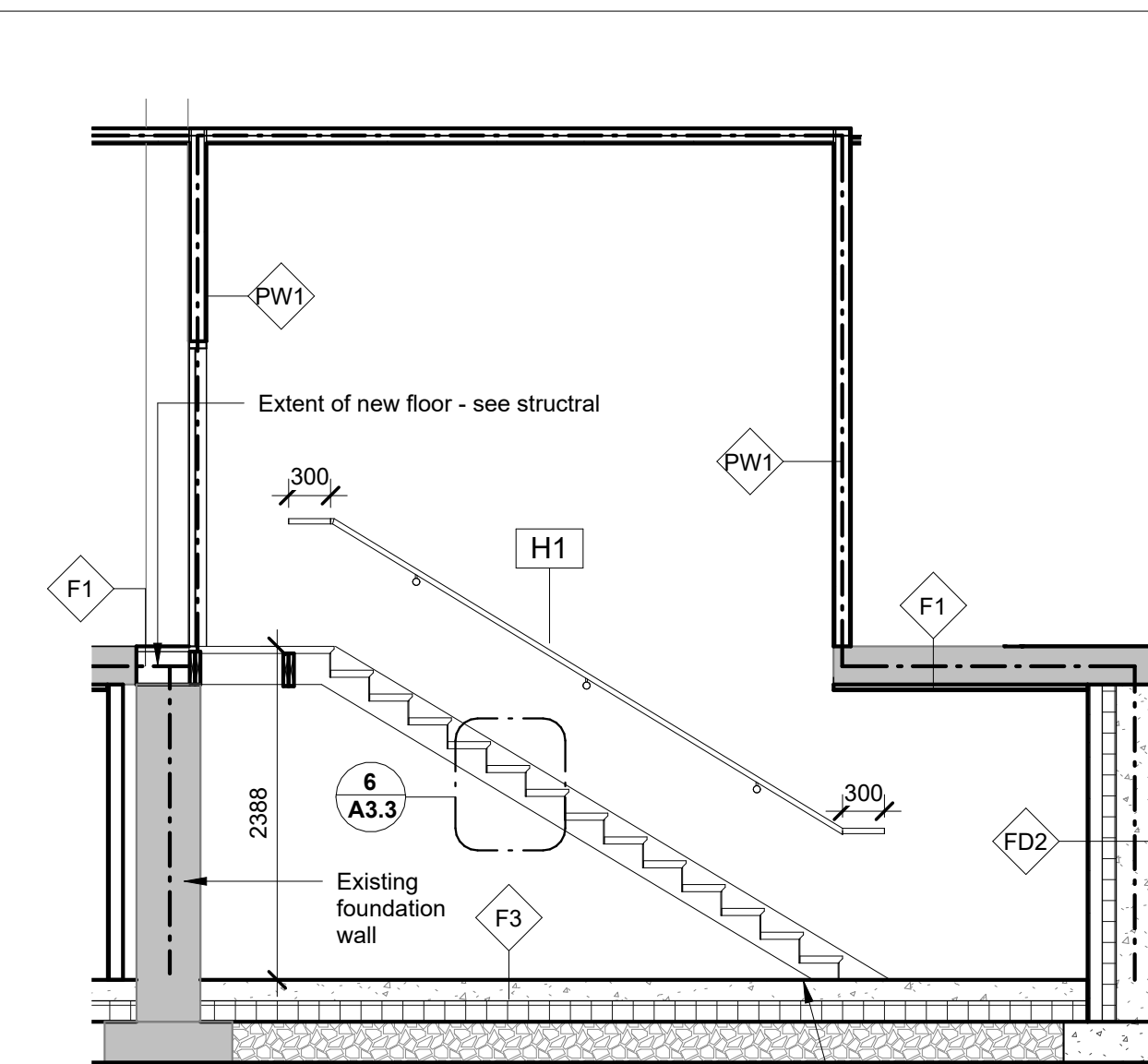
A3.3



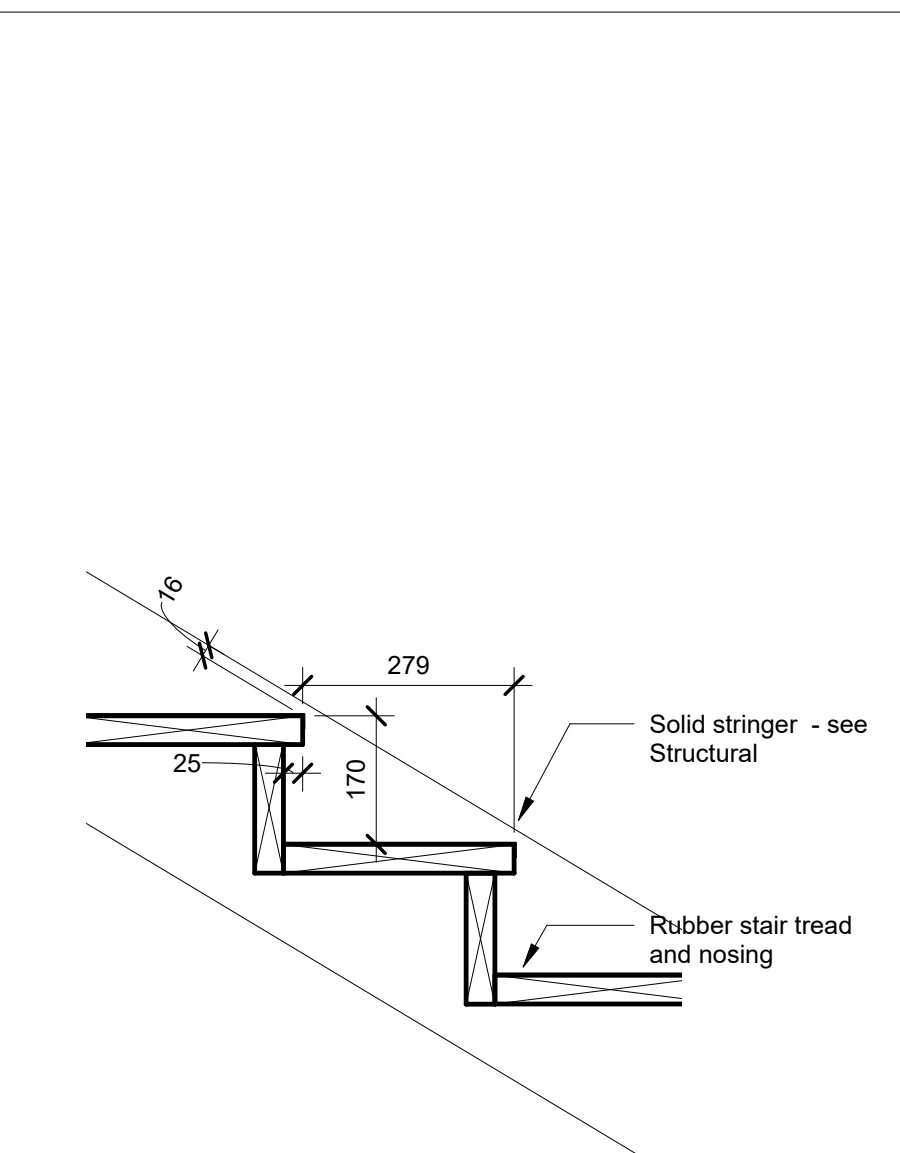
1 Detailed Plan - Entrance Ramp & West Vestibule
 1 : 50



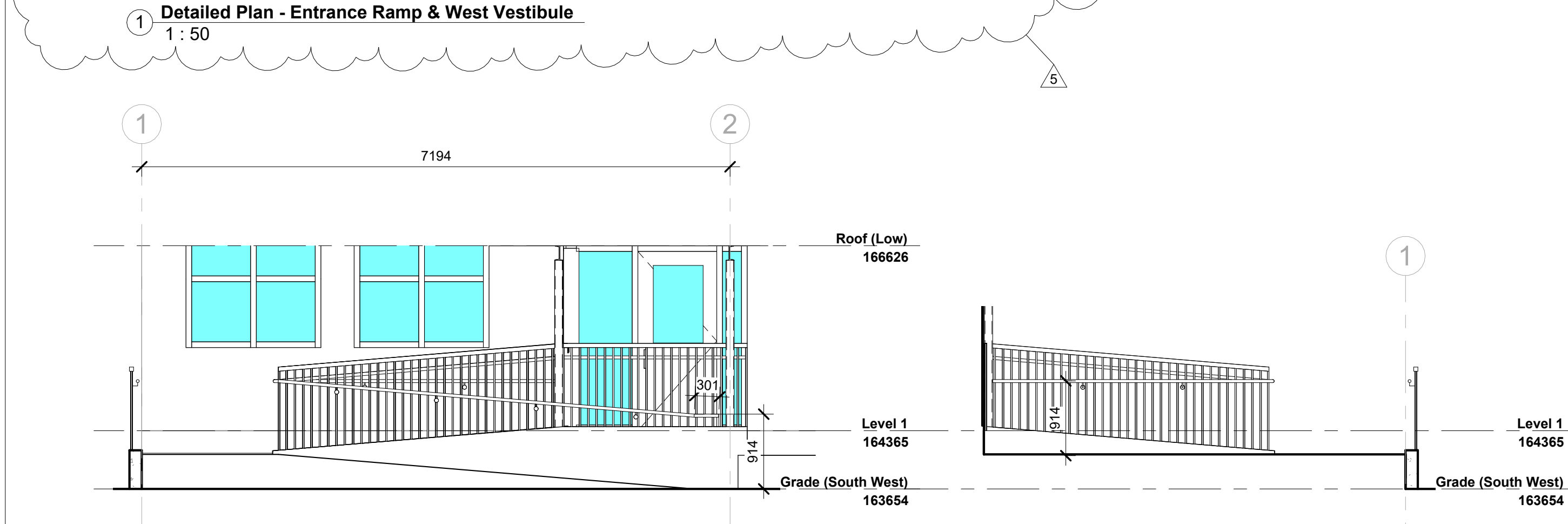
4 Detailed Plan - Elevator & Stair
 1 : 50



5 Detail Section - Interior Stair 113
 1 : 50

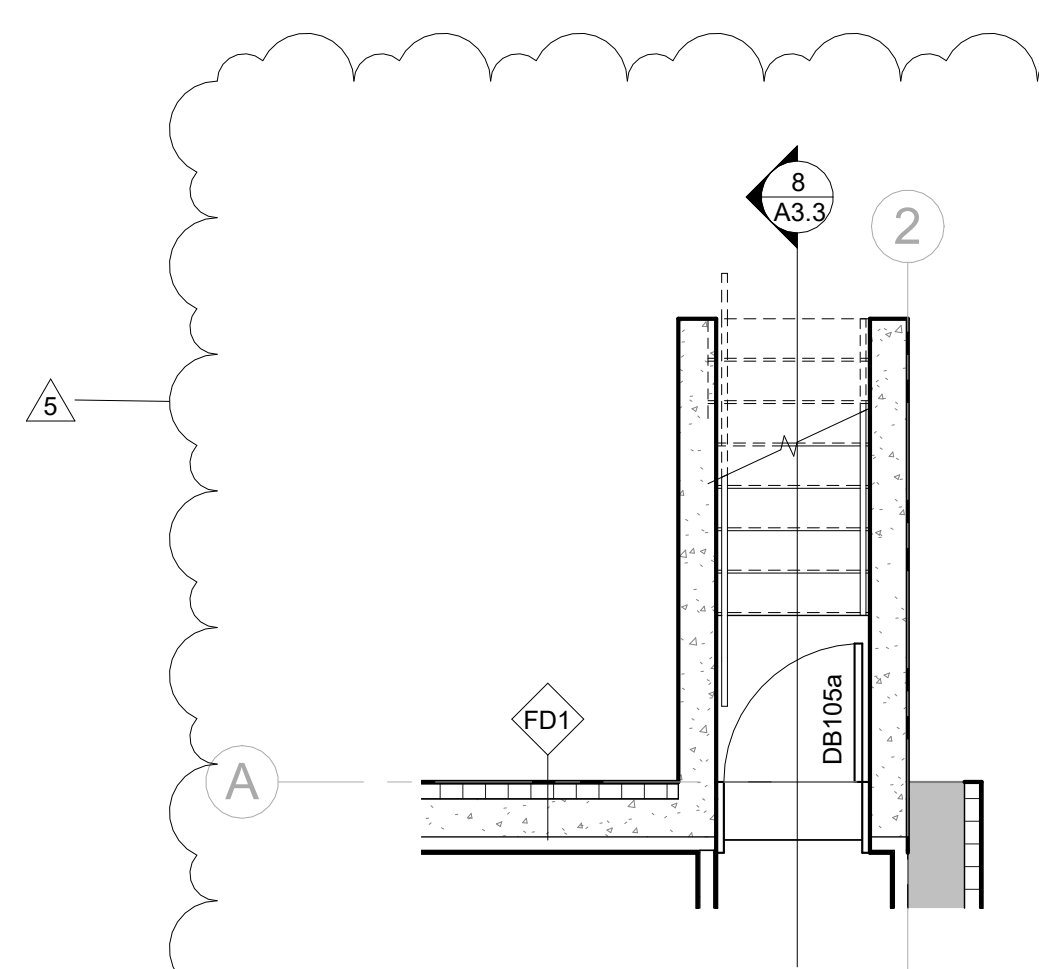


6 Section Detail - Stair 113
 1 : 10

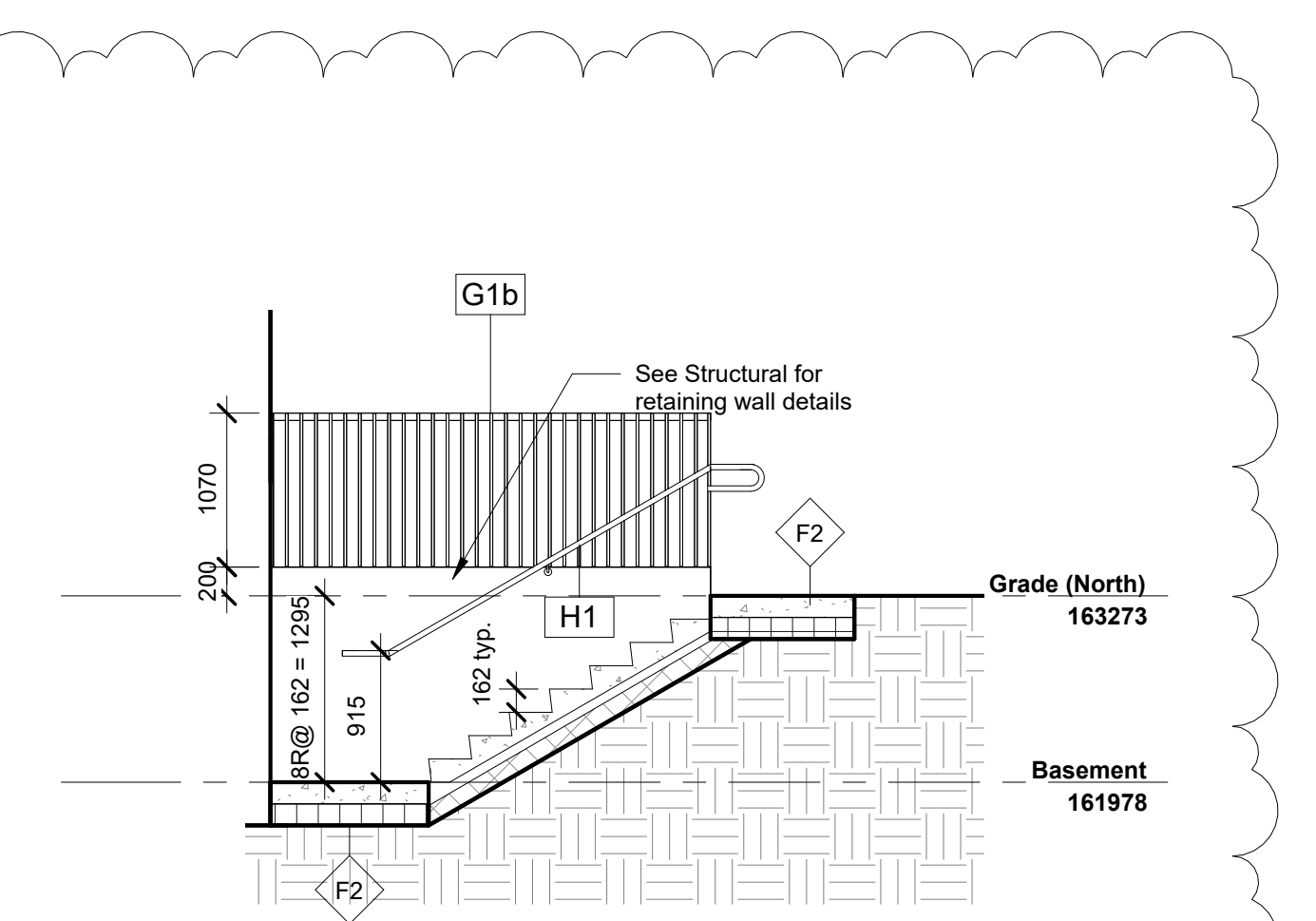


2 Partial Elevation - Entrance Ramp - North
 1 : 50

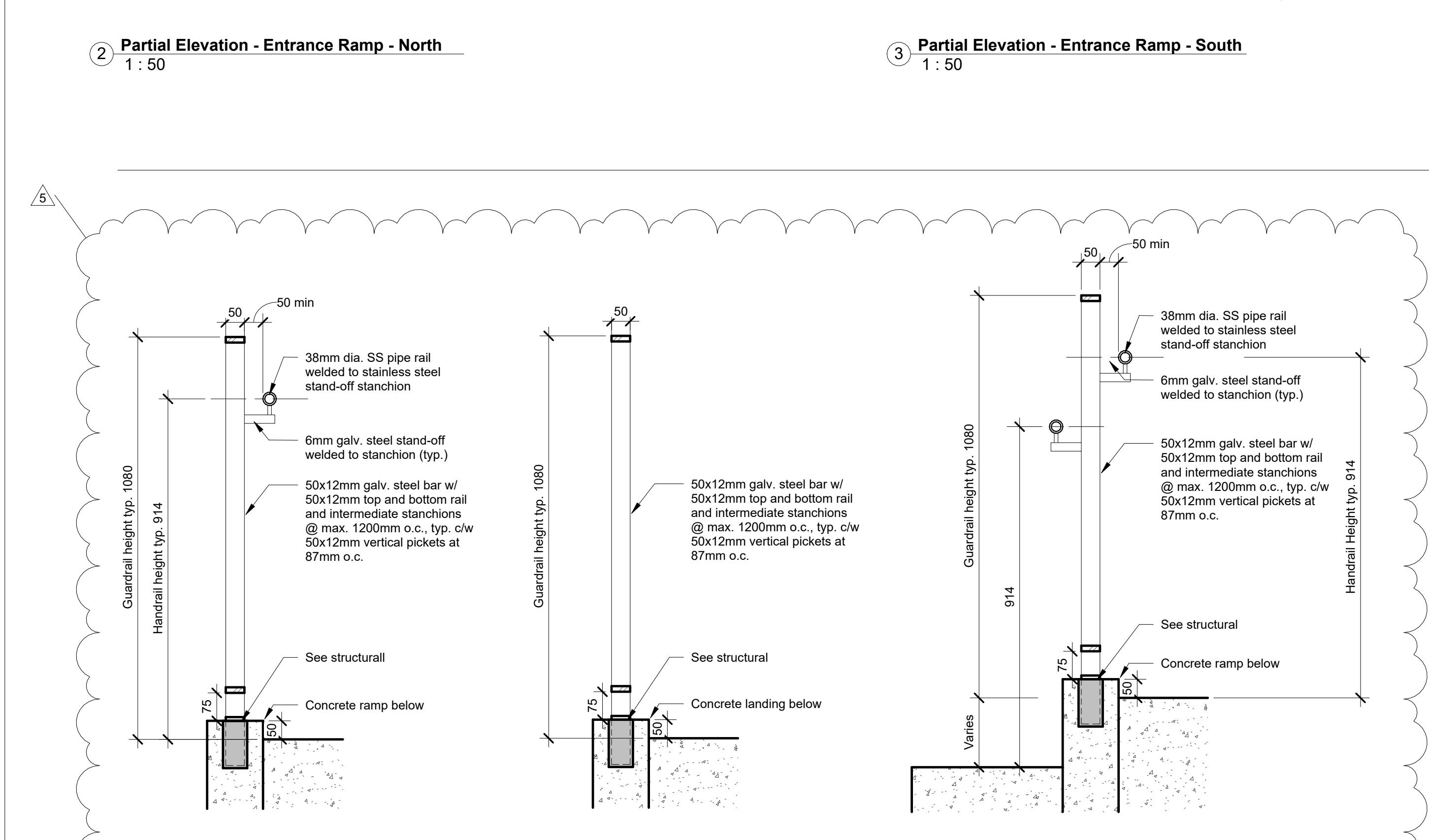
3 Partial Elevation - Entrance Ramp - South
 1 : 50



7 Detail Plan - Basement Exterior Stair
 1 : 50



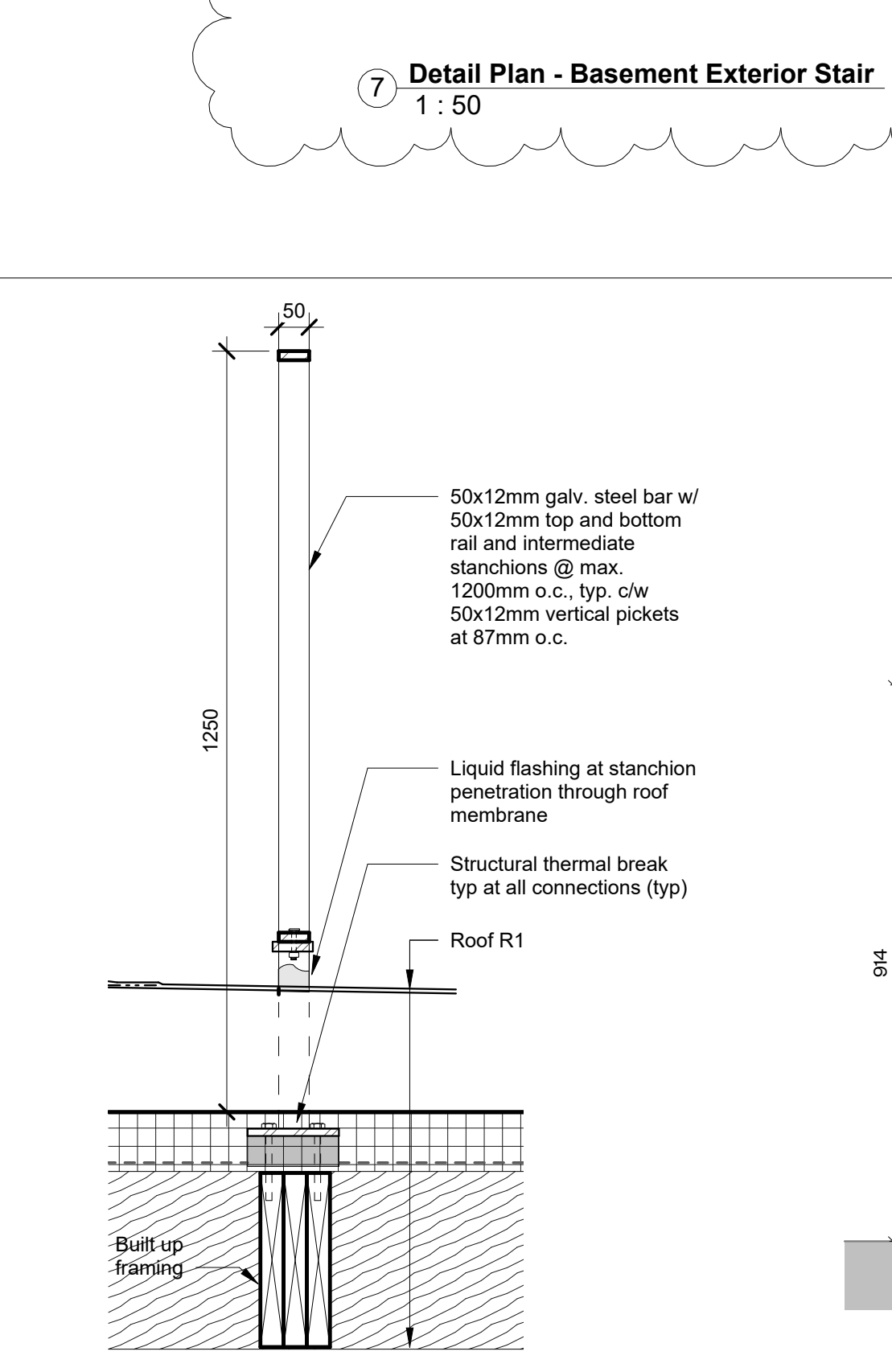
8 Detail Section - Basement Exterior Stair
 1 : 50



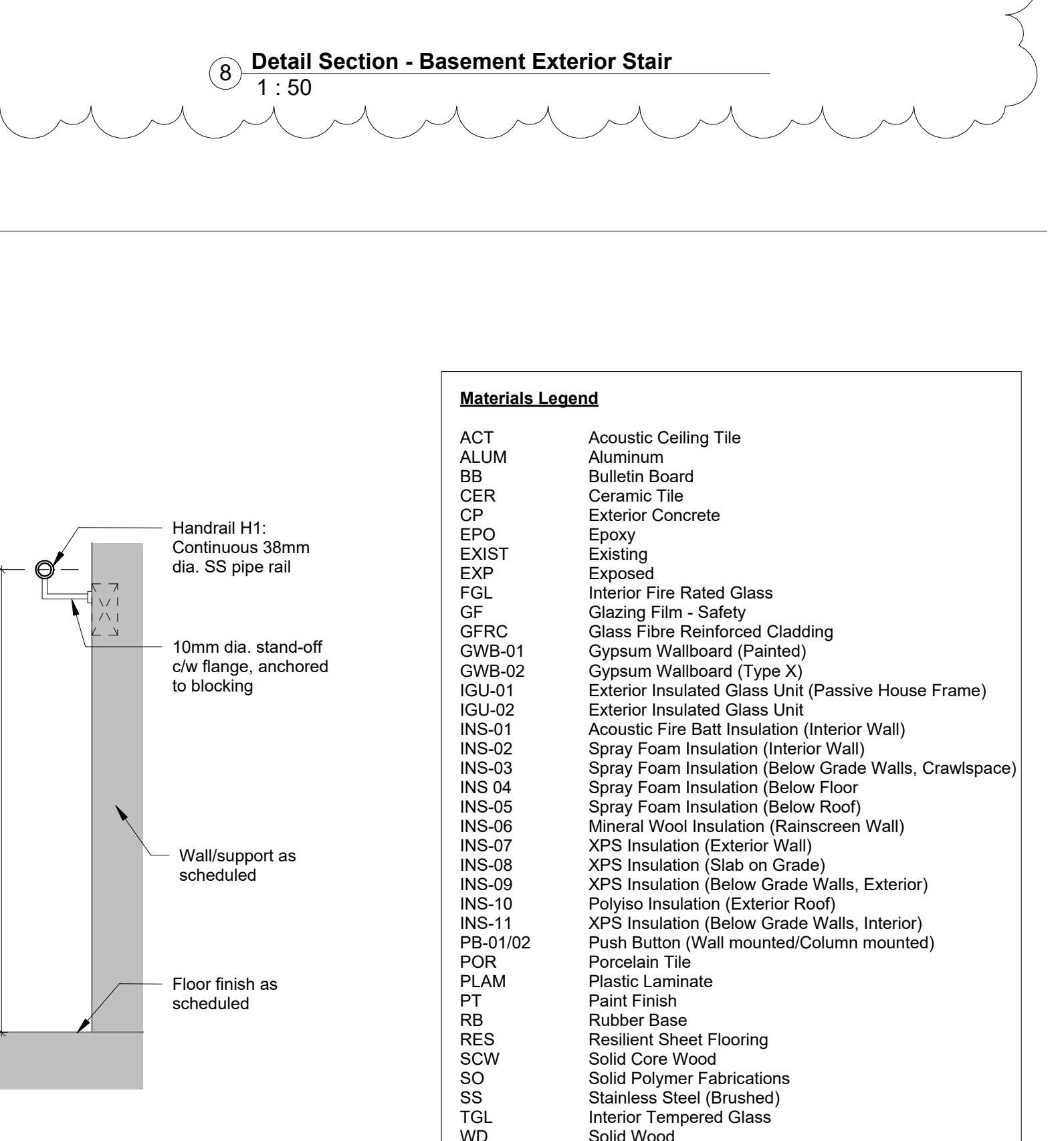
9 Detail Section - Guardrail G1a
 1 : 10

10 Detail Section - Guardrail G1b
 1 : 10

11 Detail Section - Guardrail G1c
 1 : 10



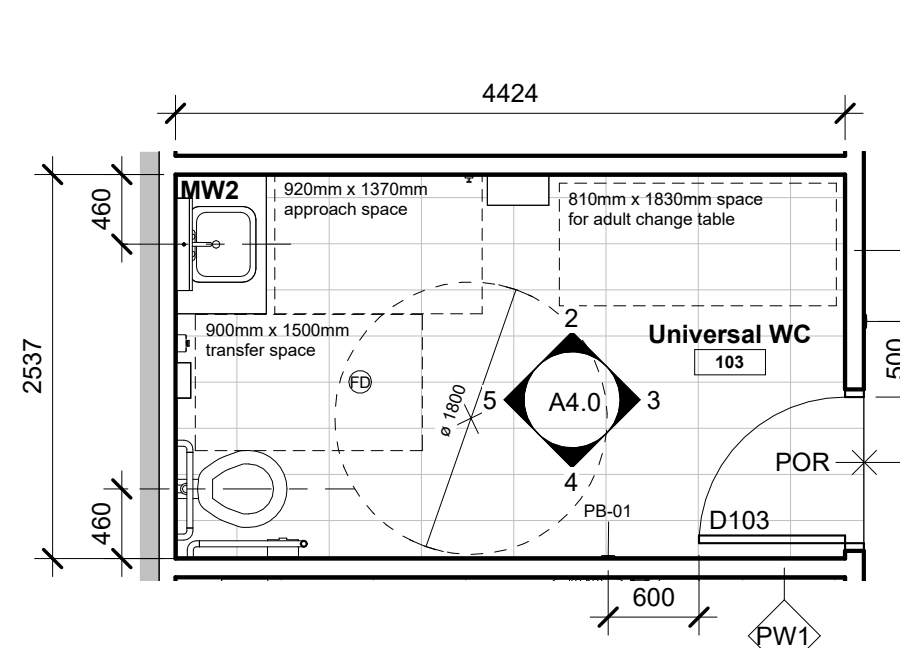
12 Detail Section - Guardrail G2
 1 : 10



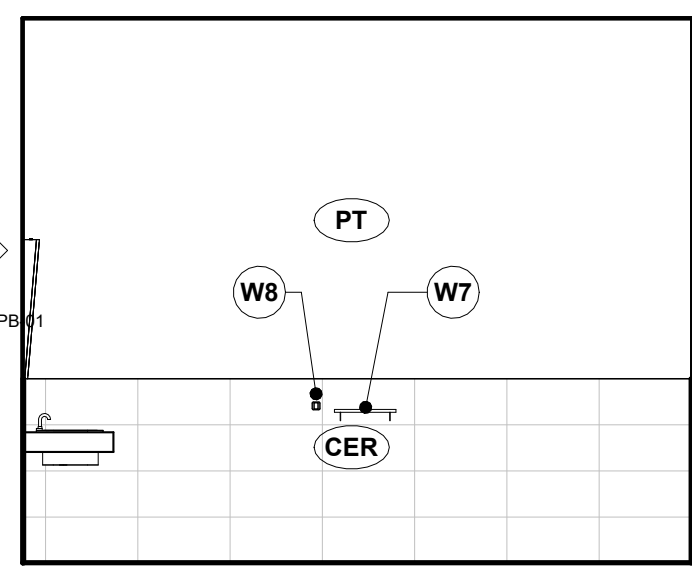
13 Detail Section - Handrail H1
 1 : 10

Materials Legend

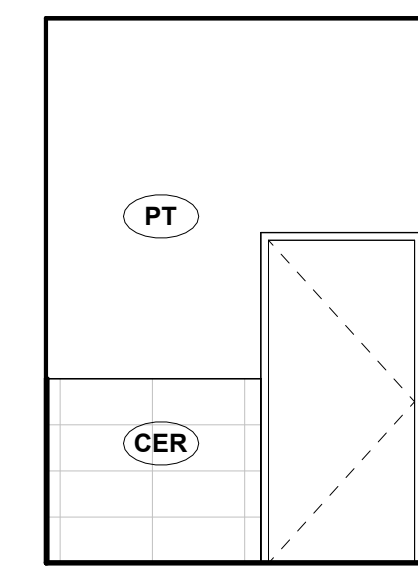
ACT	Acoustic Ceiling Tile
ALUM	Aluminum
BB	Bulletin Board
CER	Ceramic Tile
CP	Exterior Concrete
EPO	Epoxy
EXIST	Existing
EXP	Exposed
FGL	Interior Fire Rated Glass
GF	Glazing Film - Safety
GFRC	Glass Fibre Reinforced Cladding
GWB-01	Gypsum Wallboard (Painted)
GWB-02	Gypsum Wallboard (Type X)
IGU-01	Exterior Insulated Glass Unit (Passive House Frame)
IGU-02	Exterior Insulated Glass Unit
INS-01	Acoustic Fire Batt Insulation (Interior Wall)
INS-02	Spray Foam Insulation (Interior Wall)
INS-03	Spray Foam Insulation (Below Grade Walls, Crawlspace)
INS-04	Spray Foam Insulation (Below Floor)
INS-05	Spray Foam Insulation (Below Roof)
INS-06	Mineral Wool Insulation (Rainscreen Wall)
INS-07	XPS Insulation (Exterior Wall)
INS-08	XPS Insulation (Slab on Grade)
INS-09	XPS Insulation (Below Grade Walls, Exterior)
INS-10	Polystyrene Insulation (Exterior Roof)
INS-11	XPS Insulation (Below Grade Walls, Interior)
PB-01/02	Push Button (Wall mounted/Column mounted)
POR	Porcelain Tile
PLAM	Plastic Laminate
PT	Paint Finish
RB	Rubber Base
RES	Resilient Sheet Flooring
SCW	Solid Core Wood
SO	Solid Polymer Fabrications
SS	Stainless Steel (Brushed)
TGL	Interior Tempered Glass
WD	Solid Wood
WV	Wood Veneer



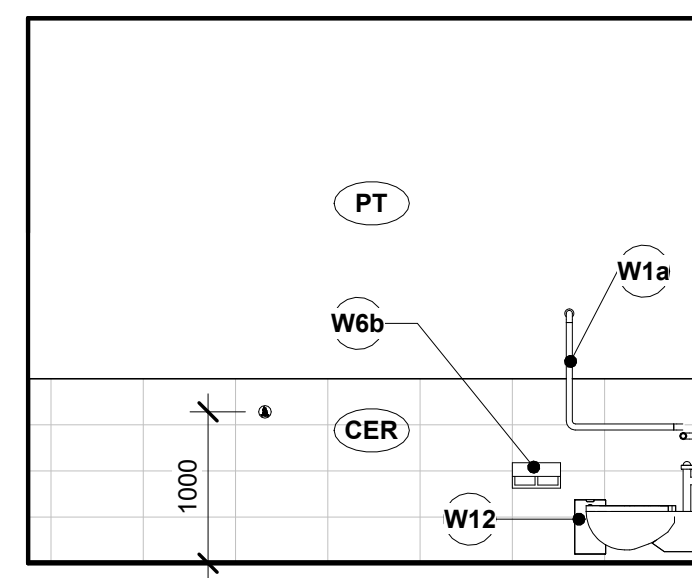
1 Detail Plan - Universal WC
1: 50



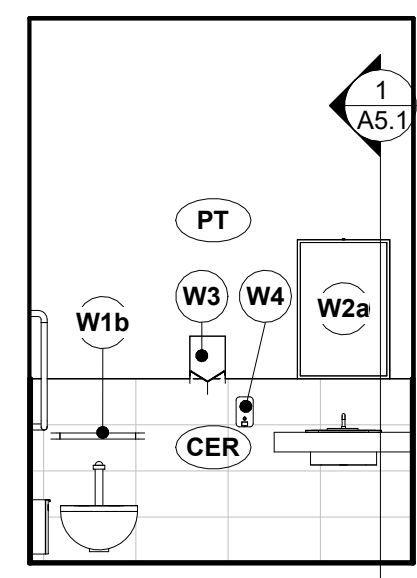
2 Interior Elevation - Universal WC - North
1: 50



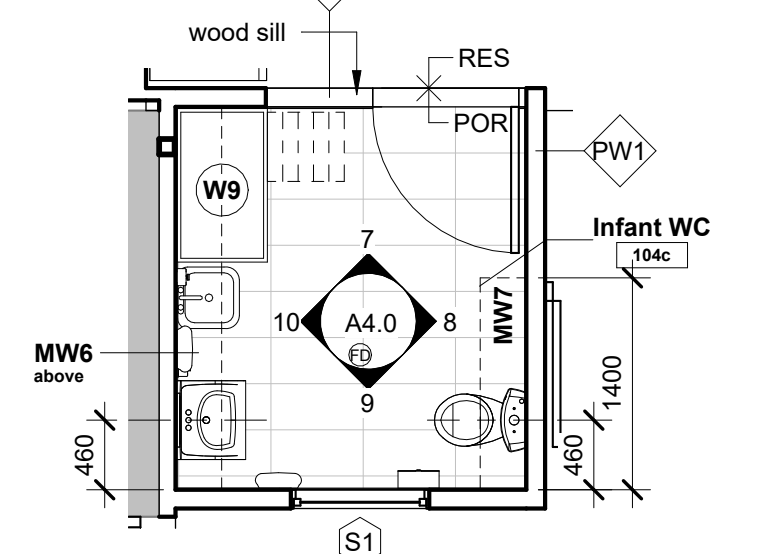
3 Interior Elevation - Universal WC - East
1: 50



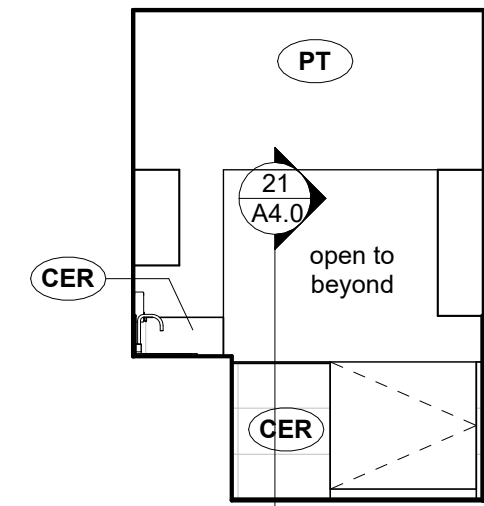
4 Interior Elevation - Universal WC - South
1: 50



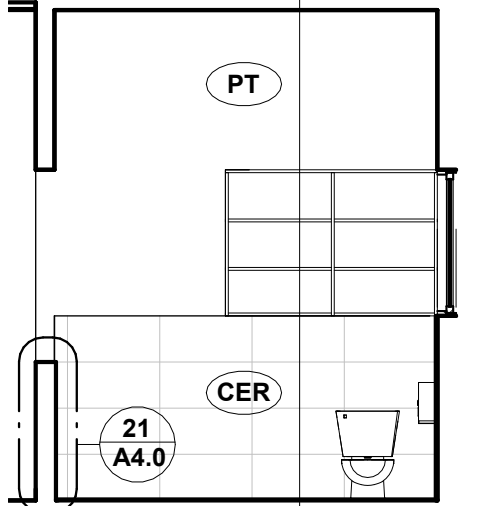
5 Interior Elevation - Universal WC - West
1: 50



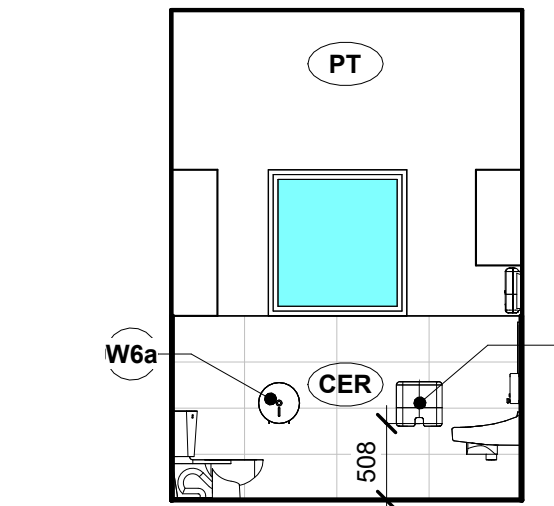
6 Detail Plan - Infant WC
1: 50



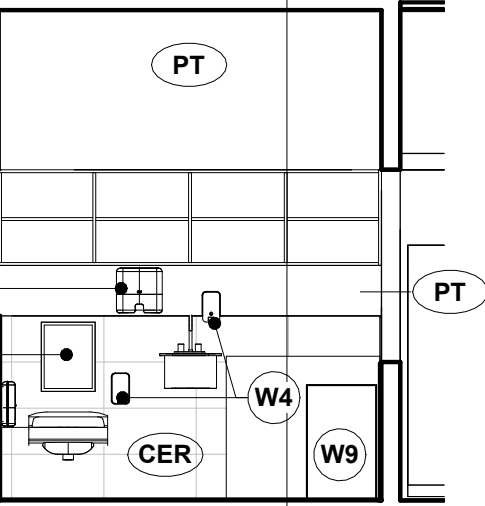
7 Interior Elevation - Infant WC - North
1: 50



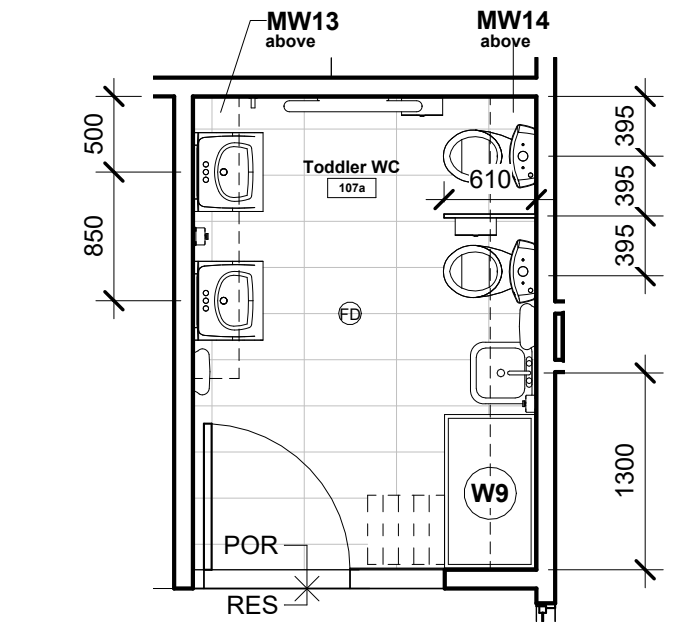
8 Interior Elevation - Infant WC - East
1: 50



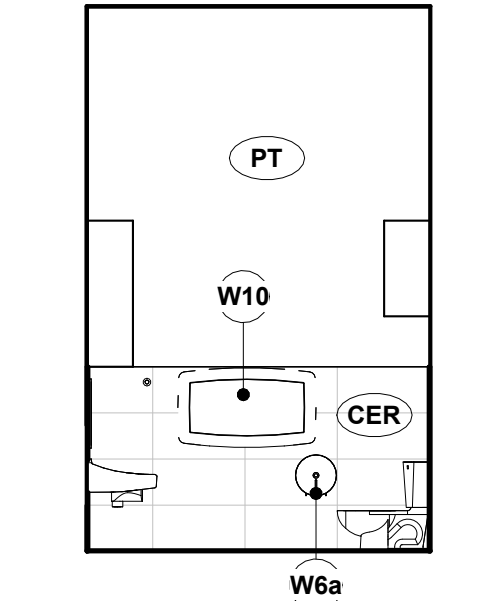
9 Interior Elevation - Infant WC - South
1: 50



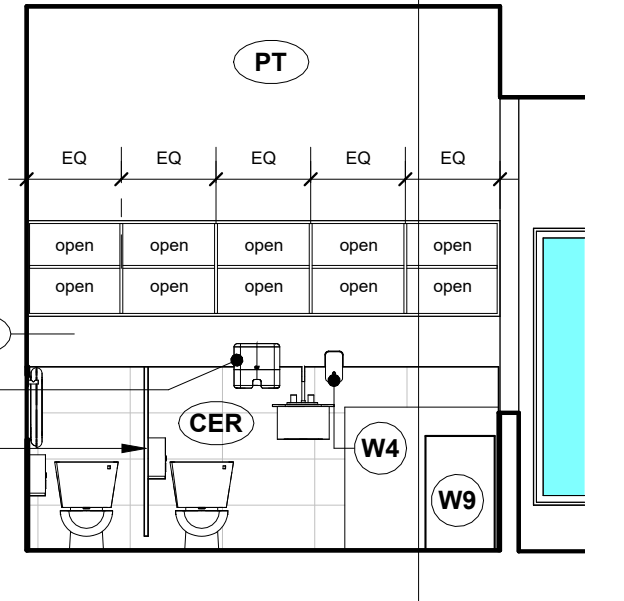
10 Interior Elevation - Infant WC - West
1: 50



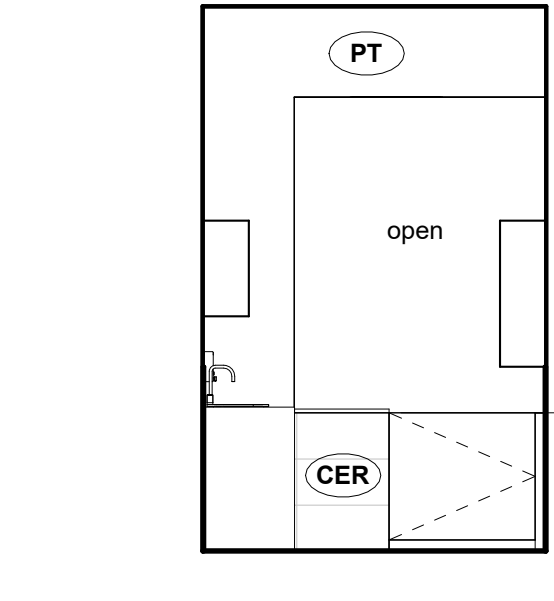
11 Detail Plan - Toddler WC
1: 50



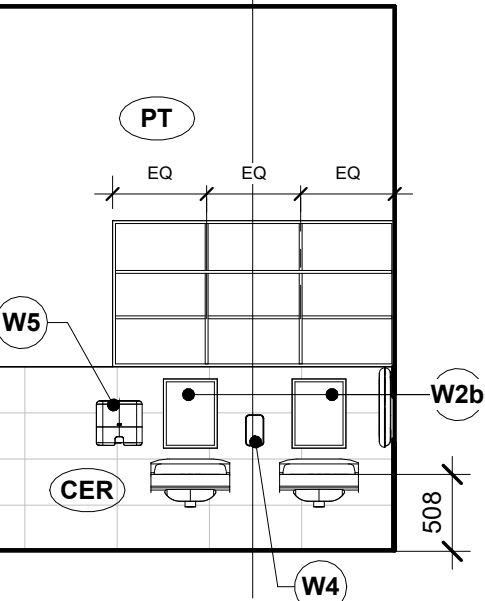
12 Interior Elevation - Toddler WC - North
1: 50



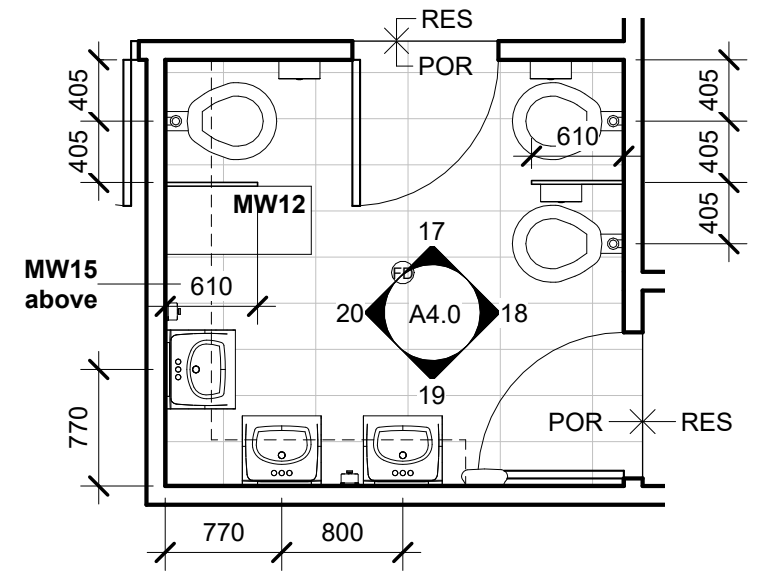
13 Interior Elevation - Toddler WC - East
1: 50



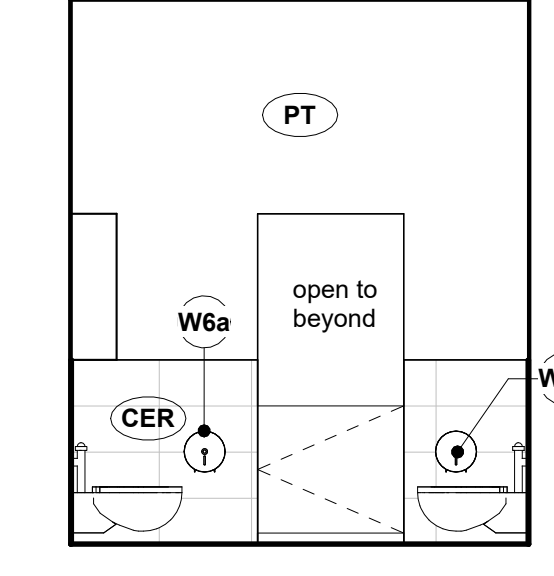
14 Interior Elevation - Toddler WC - South
1: 50



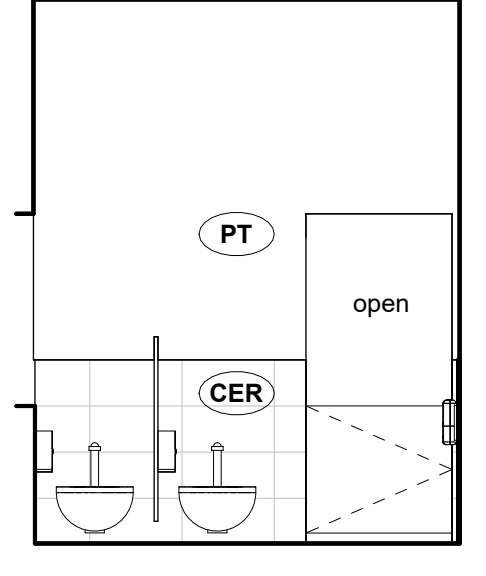
15 Interior Elevation - Toddler WC - West
1: 50



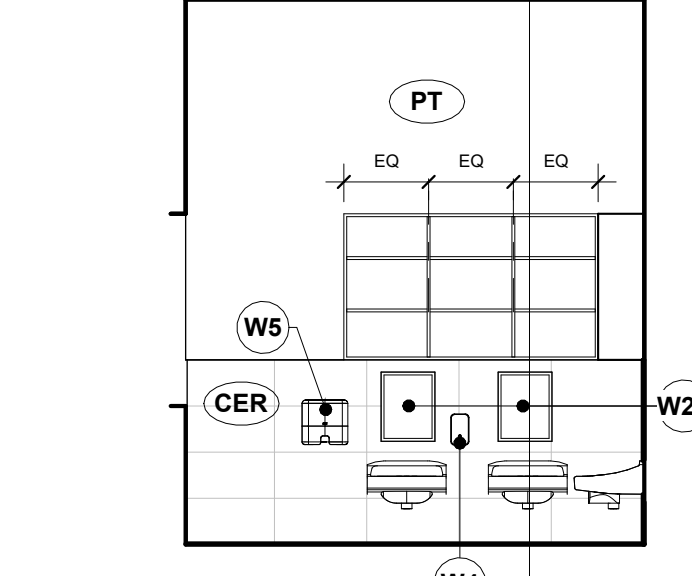
16 Detail Plan - Preschool WC
1: 50



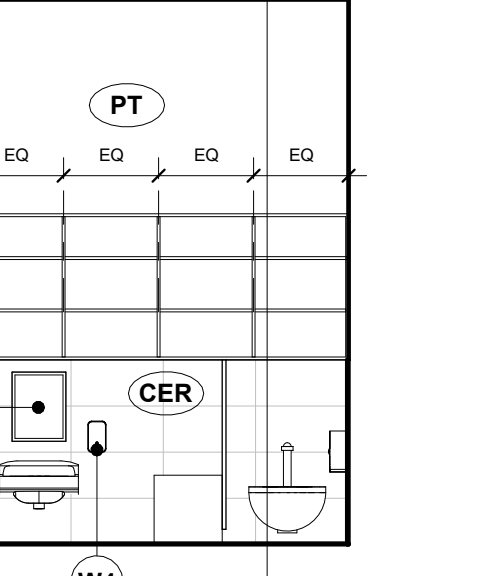
17 Interior Elevation - Preschool WC - North
1: 50



18 Interior Elevation - Preschool WC - East
1: 50



19 Interior Elevation - Preschool WC - South
1: 50

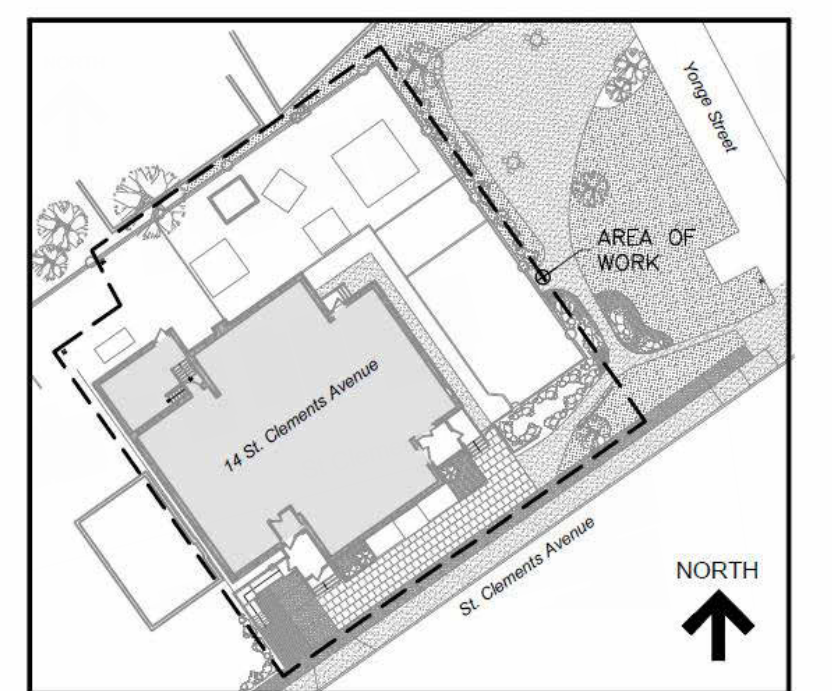


20 Interior Elevation - Preschool WC - West
1: 50

Materials Legend

- ACT Acoustic Ceiling Tile
- ALUM Aluminum
- BB Bulletin Board
- CER Ceramic Tile
- CP Exterior Concrete
- EPO Epoxy
- EXIST Existing
- EXP Exposed
- FGL Interior Fire Rated Glass
- GF Glazing Film - Safety
- GFRC Glass Fibre Reinforced Cladding
- GWB-01 Gypsum Wallboard (Painted)
- GWB-02 Gypsum Wallboard (Type X)
- IGU-01 Exterior Insulated Glass Unit (Passive House Frame)
- IGU-02 Exterior Insulated Glass Unit
- INS-01 Acoustic Fire Batt Insulation (Interior Wall)
- INS-02 Spray Foam Insulation (Interior Wall)
- INS-03 Spray Foam Insulation (Below Grade Walls, Crawlspace)
- INS-04 Spray Foam Insulation (Below Floor)
- INS-05 Spray Foam Insulation (Below Roof)
- INS-06 Mineral Wool Insulation (Rainscreen Wall)
- INS-07 XPS Insulation (Exterior Wall)
- INS-08 XPS Insulation (Slab on Grade)
- INS-09 XPS Insulation (Below Grade Walls, Exterior)
- INS-10 Polyiso Insulation (Exterior Roof)
- INS-11 XPS Insulation (Below Grade Walls, Interior)
- PB-01/02 Push Button (Wall mounted/Column mounted)
- POR Porcelain Tile
- PLAM Plastic Laminate
- PT Paint Finish
- RB Rubber Base
- RES Resilient Sheet Flooring
- SCW Solid Core Wood
- SS Solid Polymer Fabrications
- SO Stainless Steel (Brushed)
- TGL Interior Tempered Glass
- WD Solid Wood
- WV Wood Veneer

WORKSHOP
 WORKSHOP is an architecture studio.
 8 Sousa Mendes Street
 Toronto Ontario M6P 6A8
 T 416.991.8955 F 416.849.8383
 www.workshoparchitecture.ca

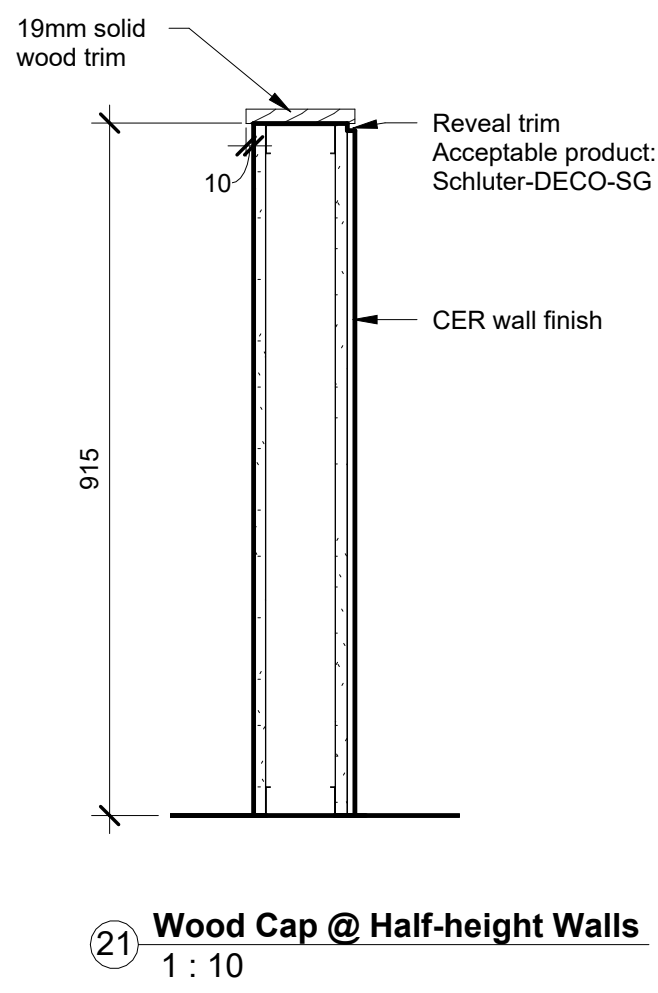


KEY PLAN

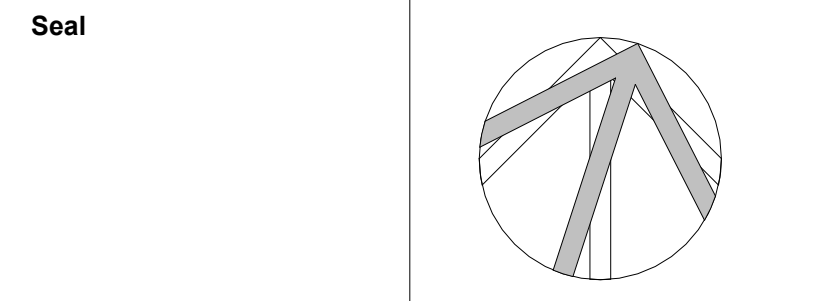
No.	Revision	Date	By
5.	PERMIT/TENDER REVISION	Sept 20/24	E.C.
4.	ISSUED FOR BUILDING PERMIT	May 28/24	E.C.
3.	ISSUED FOR TENDER	May 13/24	E.C.
2.	ISSUED FOR CLIENT REVIEW	May 13/24	E.C.
1.	ISSUED FOR 95% CLIENT REVIEW	April 17/24	E.C.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJCL") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJCL whether the Work is executed or not, and RJCL reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJCL. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJCL in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tendering" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



21 Wood Cap @ Half-height Walls
1: 10



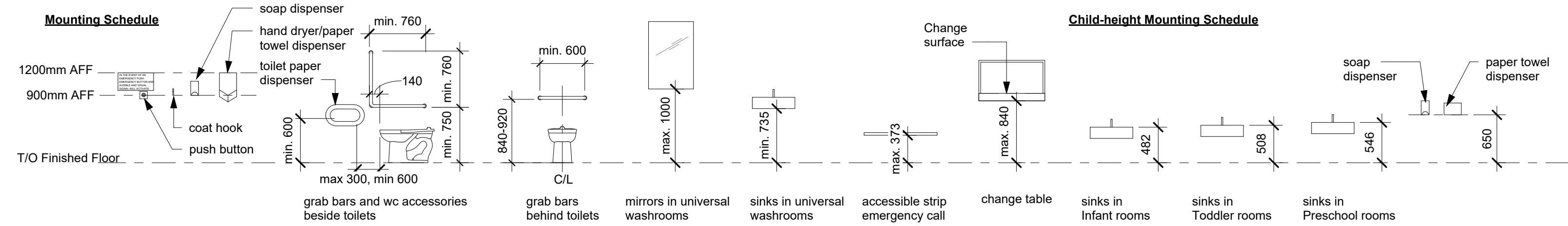
Project Name
Upper Yonge Village Daycare Centre
 14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title
 Detailed Plans & Interior Elevations - Washrooms

Drawn By E.C. Scale As indicated
 Designed By E.C. Date May 2024
 RJC Project Number TOR.122940.0001

Sheet Number A4.0
 Revision

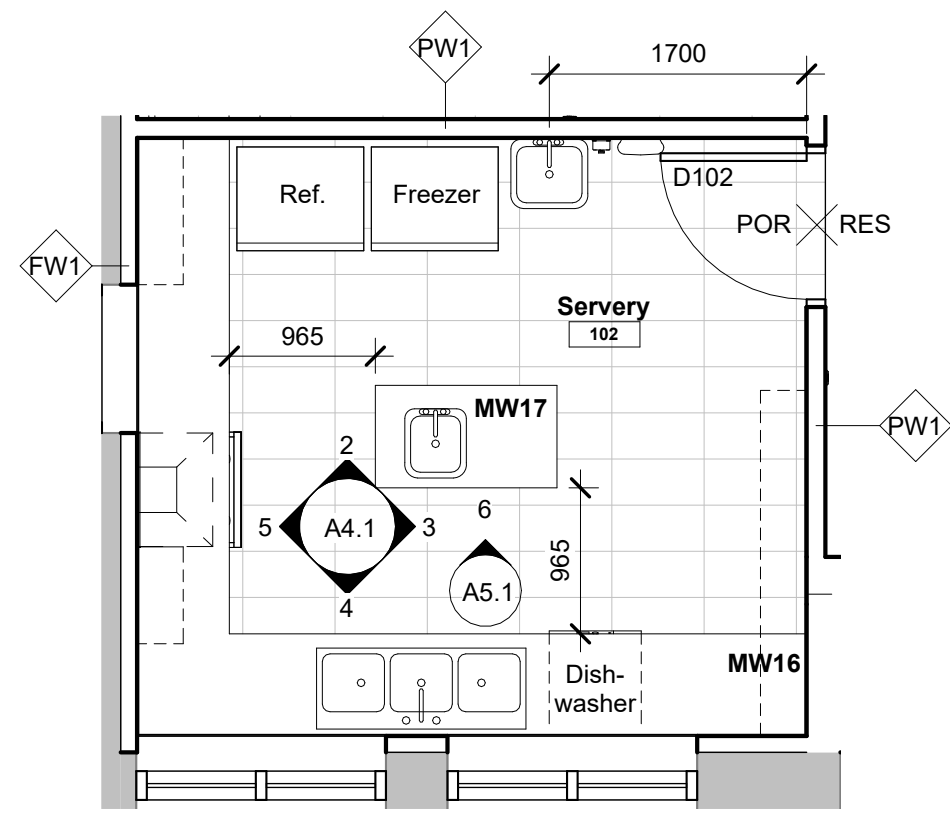


Notes:

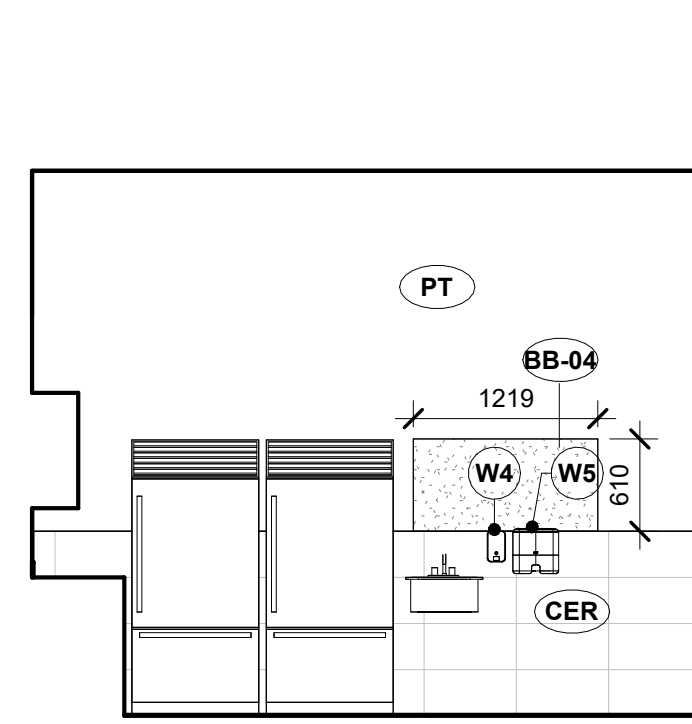
- All controls (power door operator, elevator call buttons, fire alarms, switches, emergency call button and fire extinguishers, coat hooks etc.) to be between 3' and 4' AFF.
- Locations of all accessories and controls to be marked on site prior to installation for final sign off.

Washroom Accessories

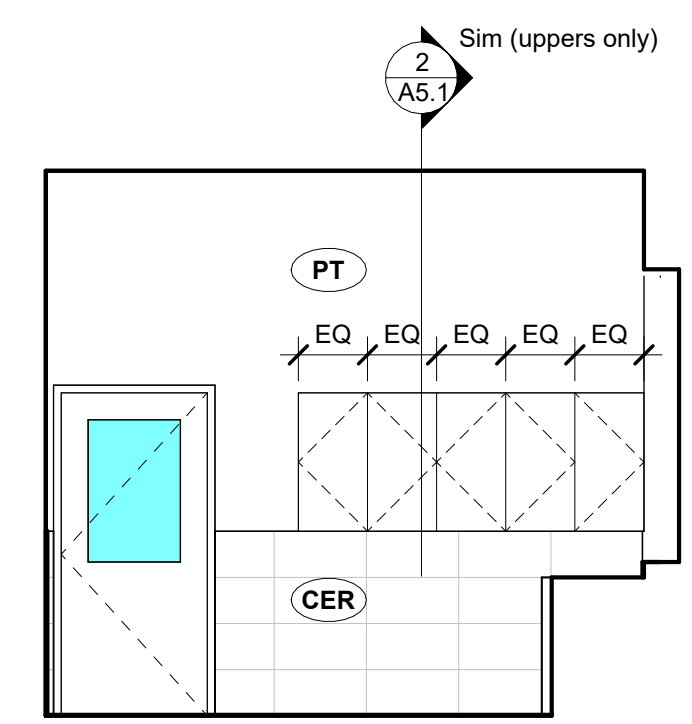
Note	Description
W1a	L-shaped grab bar
W1b	Horizontal grab bar
W2a	Tilted mirror - 24" x 36"
W2b	Mirror - 14" x 18"
W3	Automatic hand dryer - see Electrical
W4	Soap dispenser
W5	Paper towel dispenser
W6a	Toilet paper dispenser
W6b	Toilet paper dispenser
W7	Shelf
W8	Coat hook
W9	Change table
W10	Wall-mounted fold down baby change table
W12	Sanitary napkin disposal



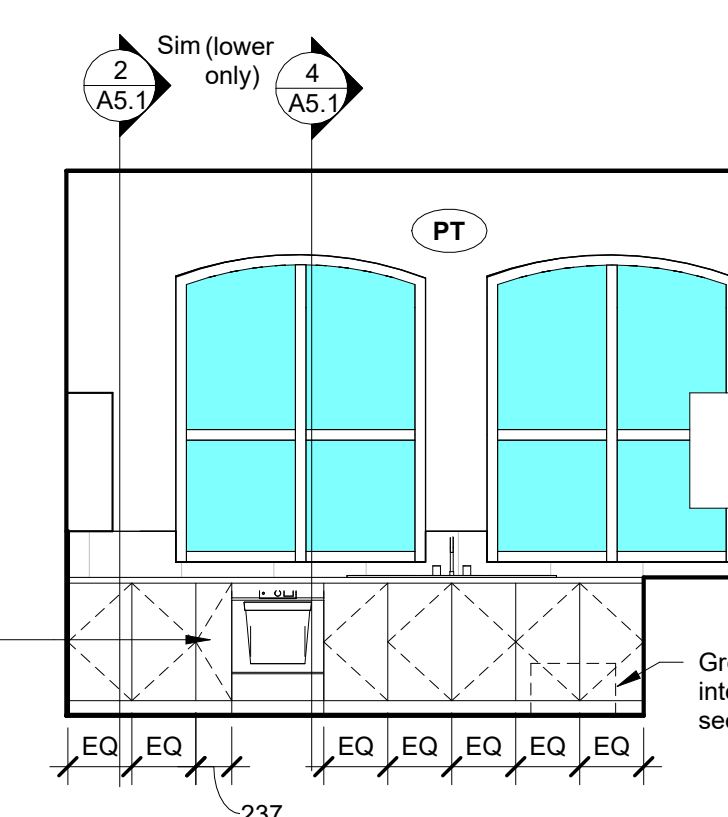
1 Detail Plan - Servery
1:50



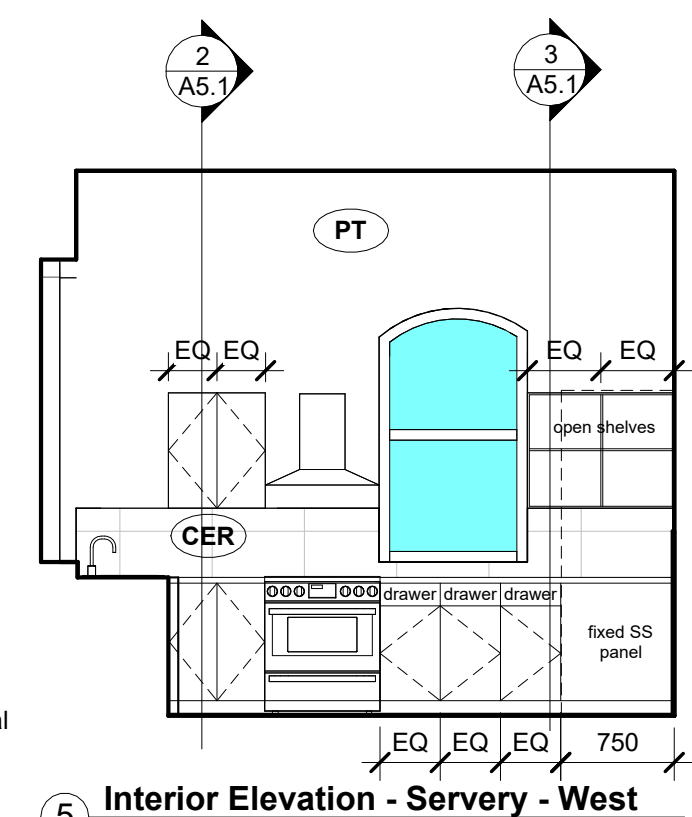
2 Interior Elevation - Servery - North
1:50



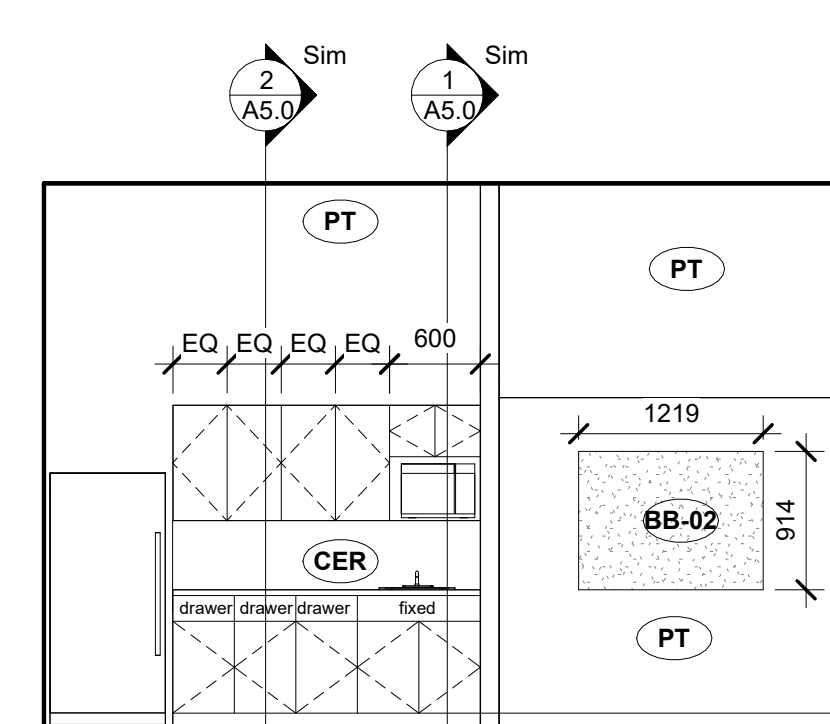
3 Interior Elevation - Servery - East
1:50



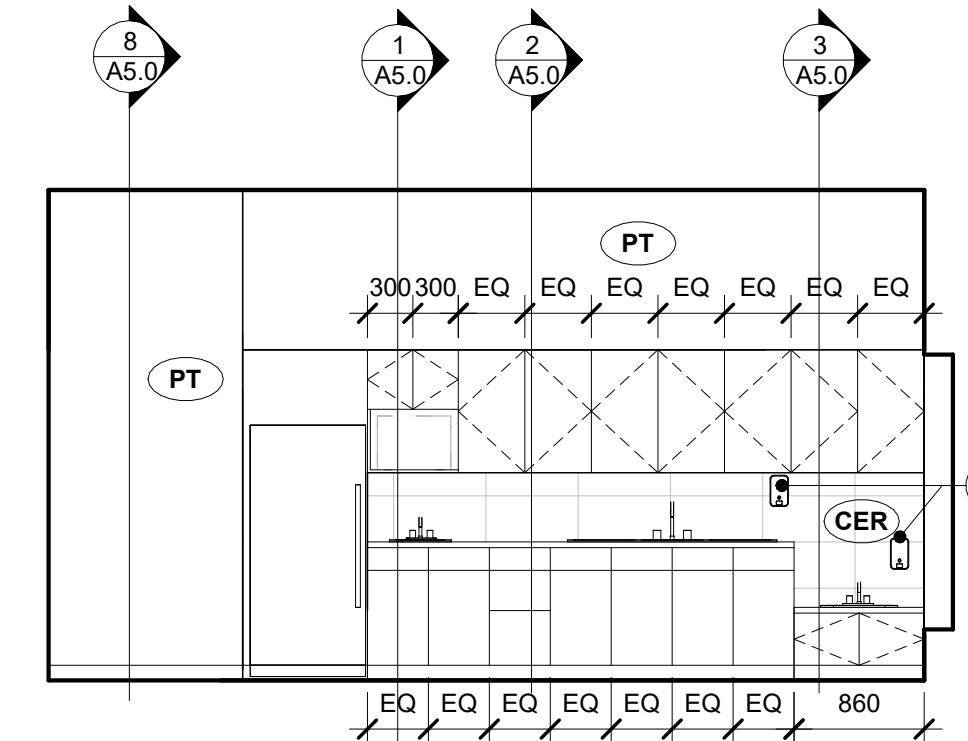
4 Interior Elevation - Servery - South
1:50



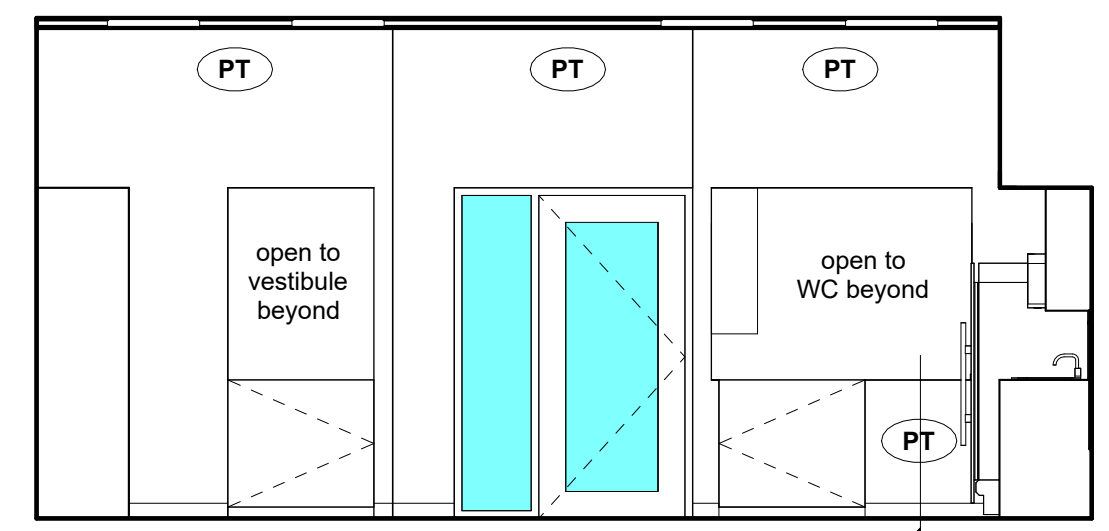
5 Interior Elevation - Servery - West
1:50



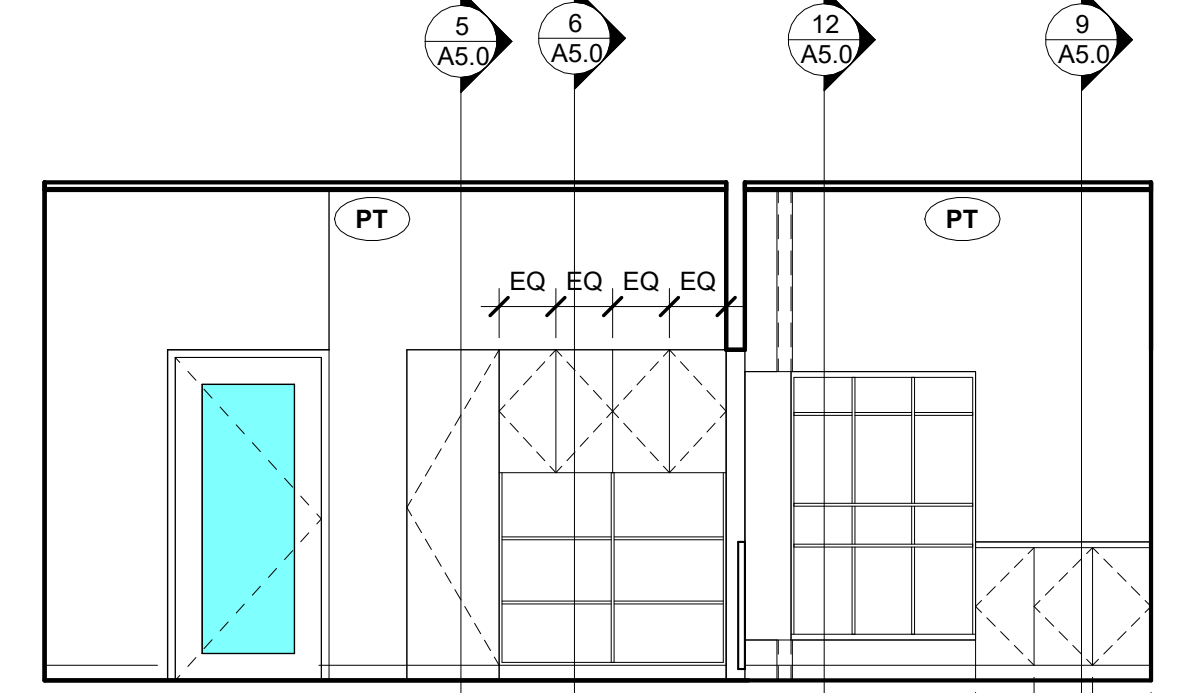
6 Interior Elevation - Staff Room - East
1:50



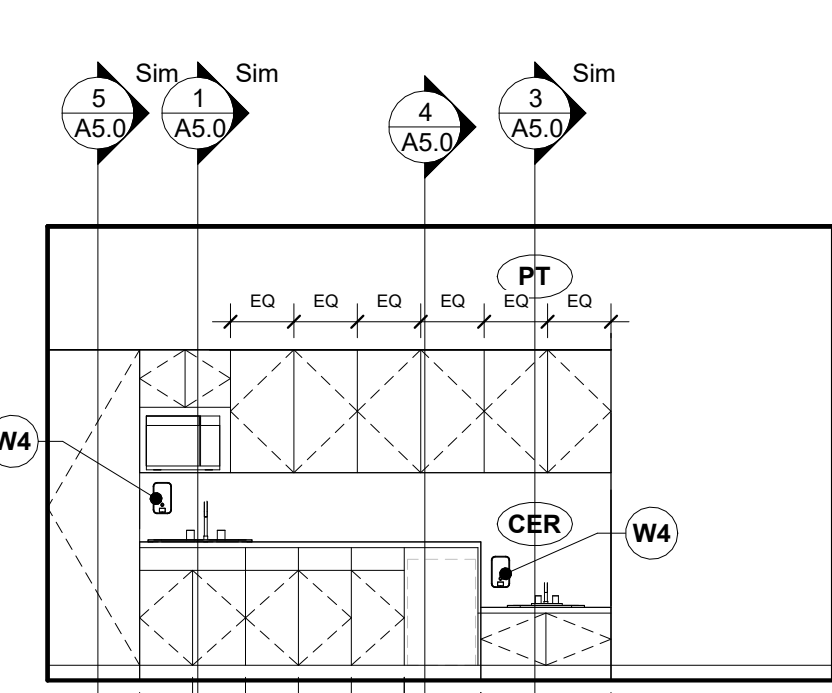
7 Interior Elevation - Infant Play Room - West
1:50



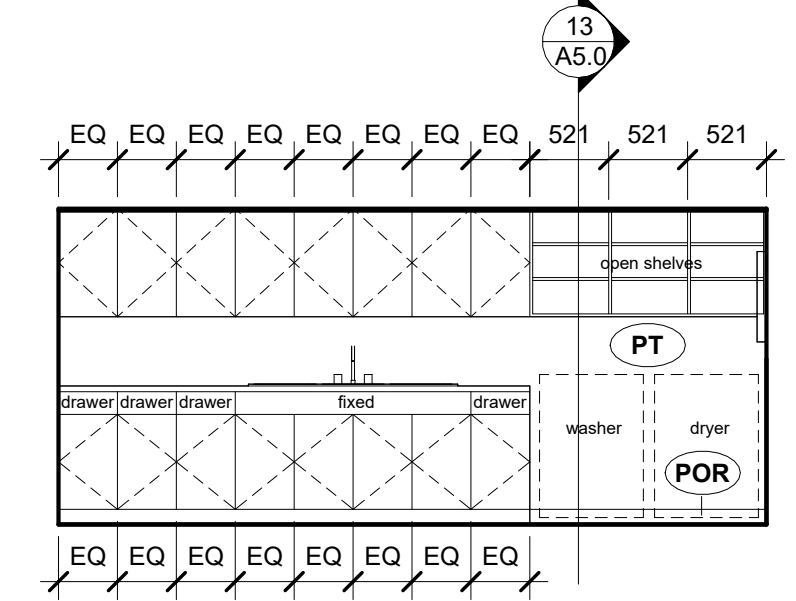
8 Interior Elevation - Infant Play Room - South
1:50



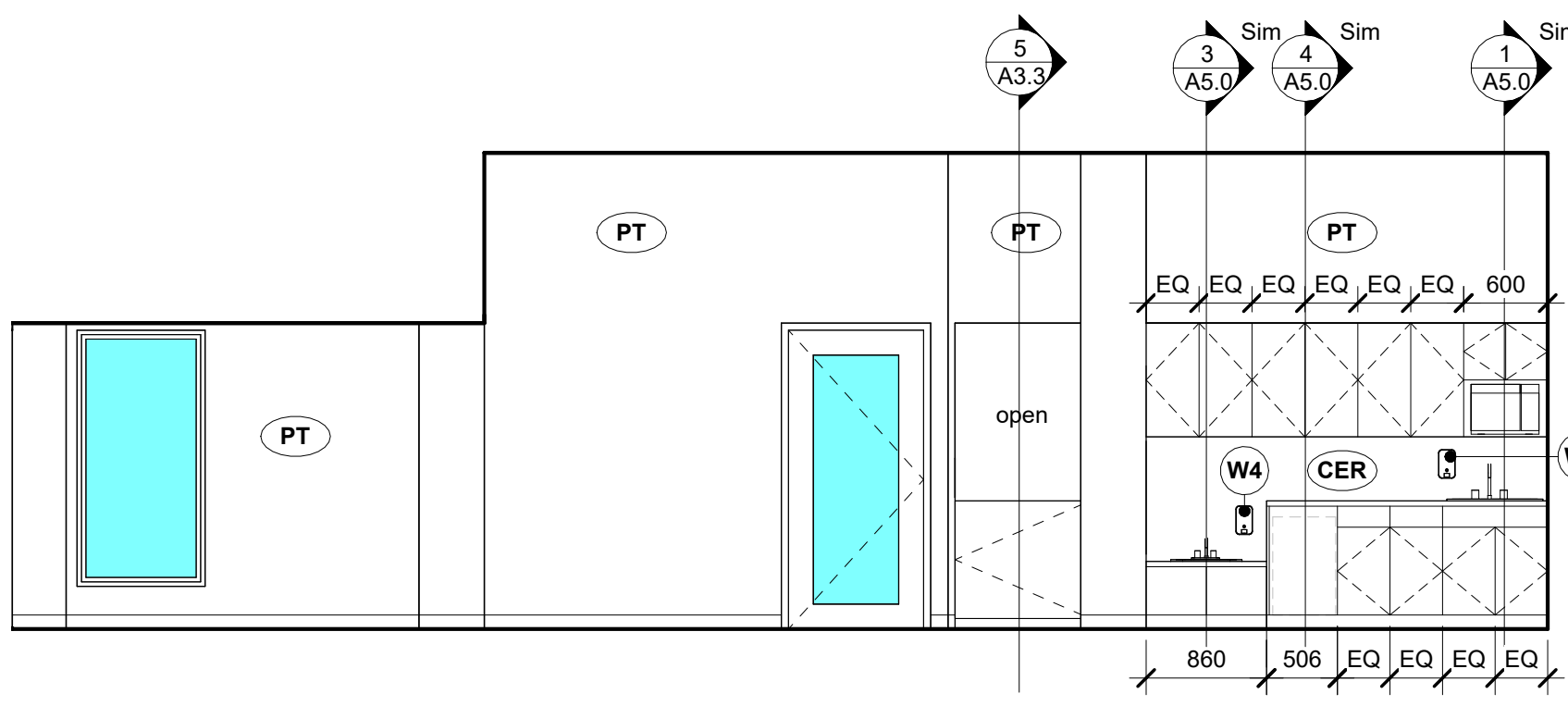
9 Interior Elevation - Infant Play Room - East
1:50



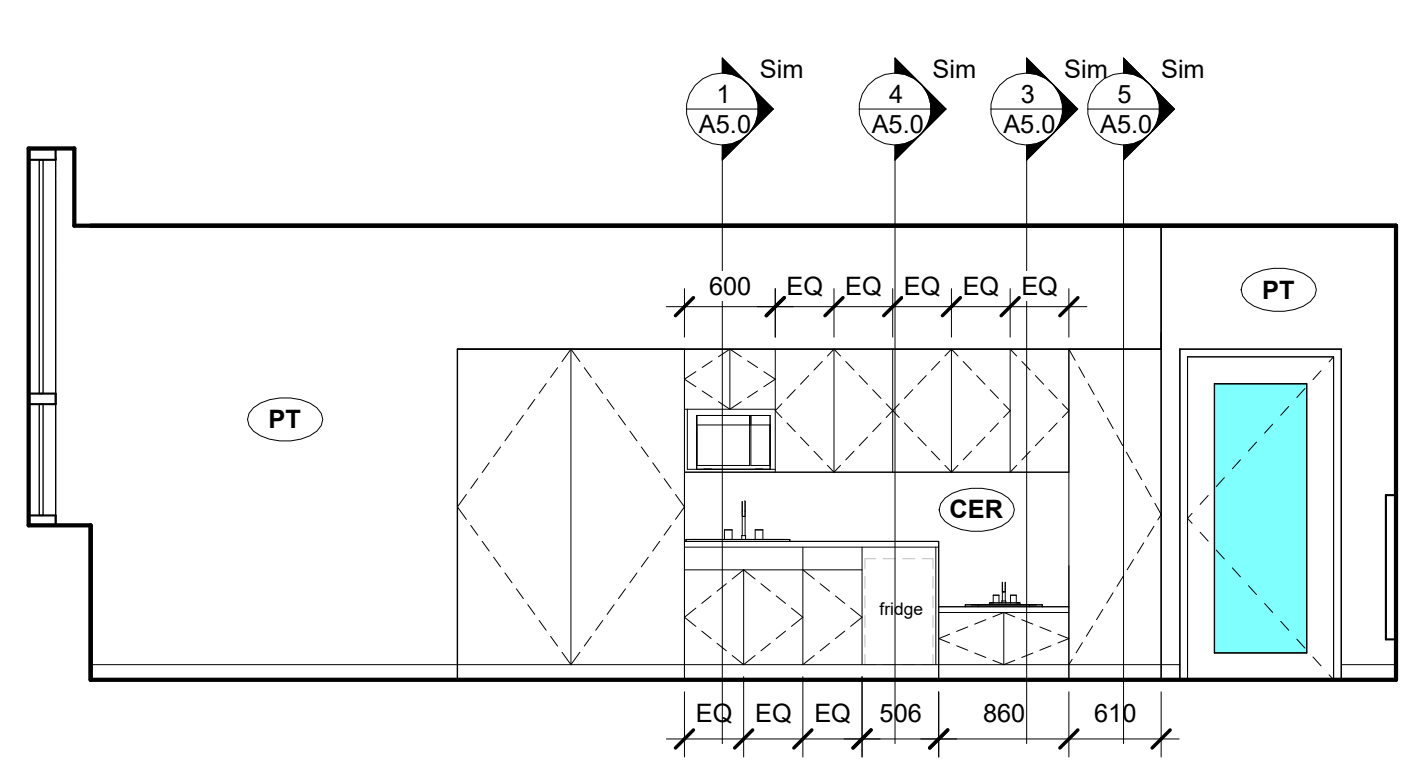
10 Interior Elevation - Preschool Play Room 1 - East
1:50



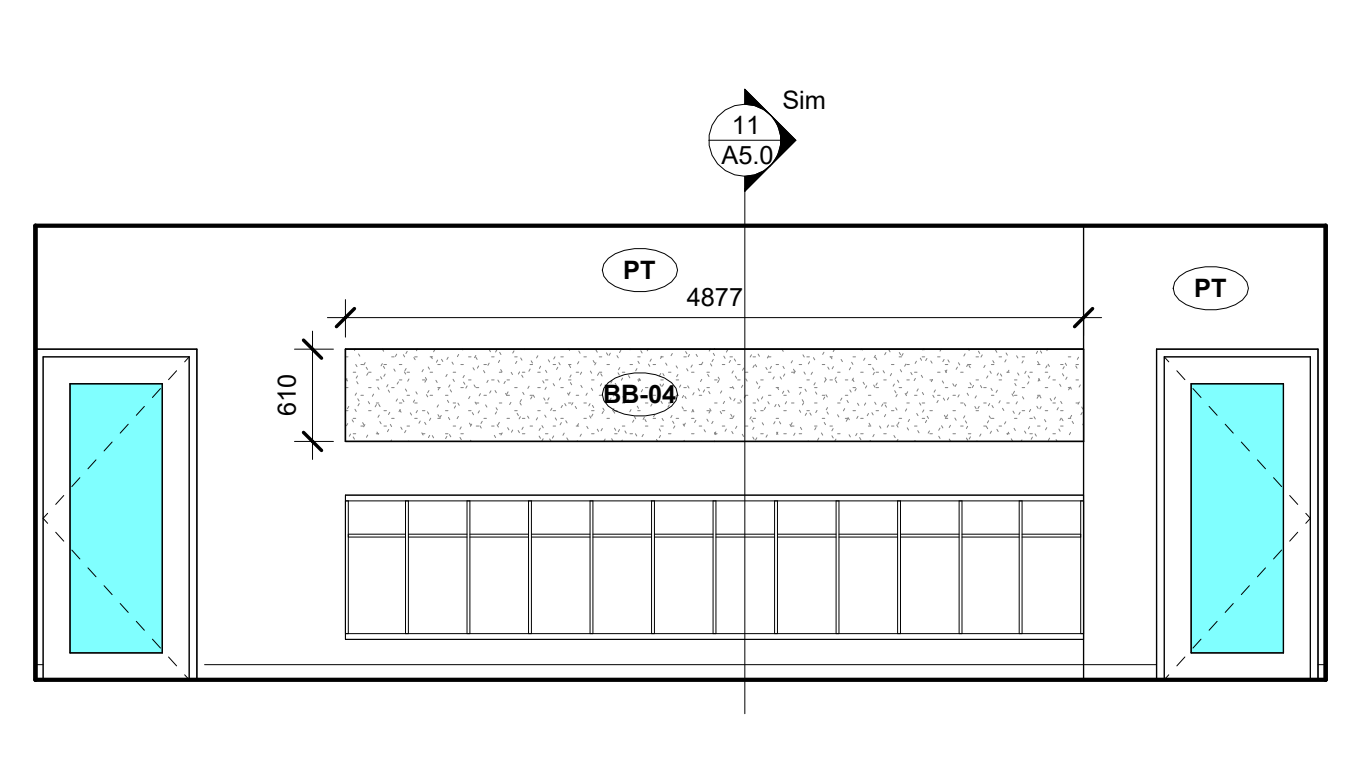
16 Interior Elevation - Laundry B102 South
1:50



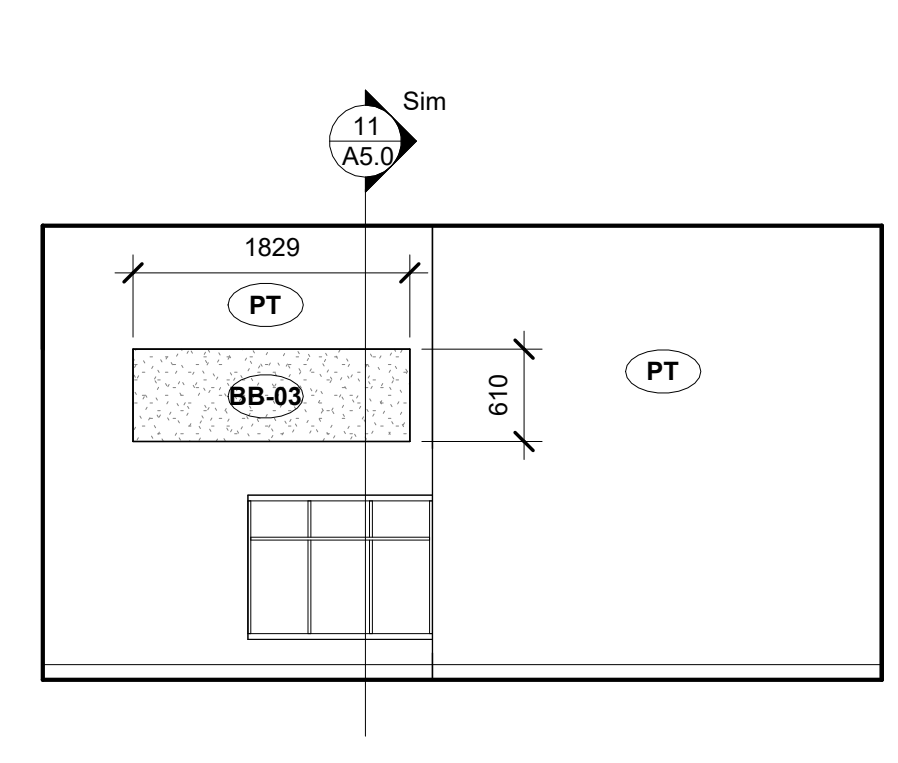
11 Interior Elevation - Preschool Play Room 2 - West
1:50



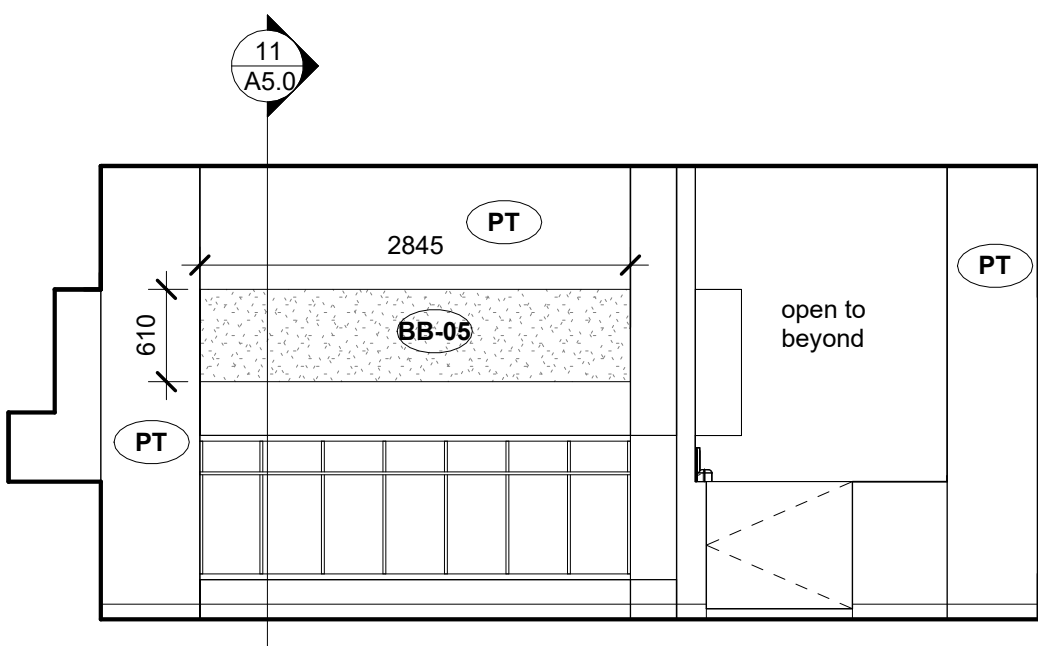
12 Interior Elevation - Toddler Play Room - West
1:50



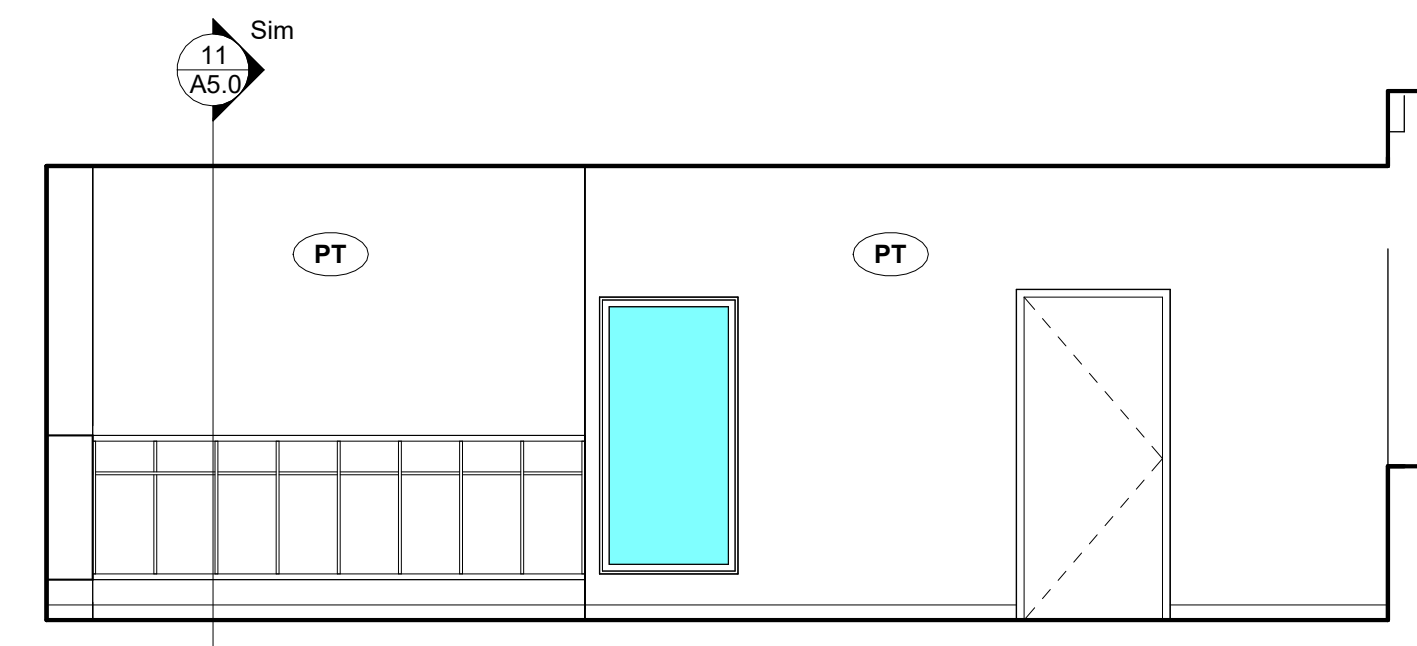
15 Interior Elevation - Preschool Corridor 108 North
1:50



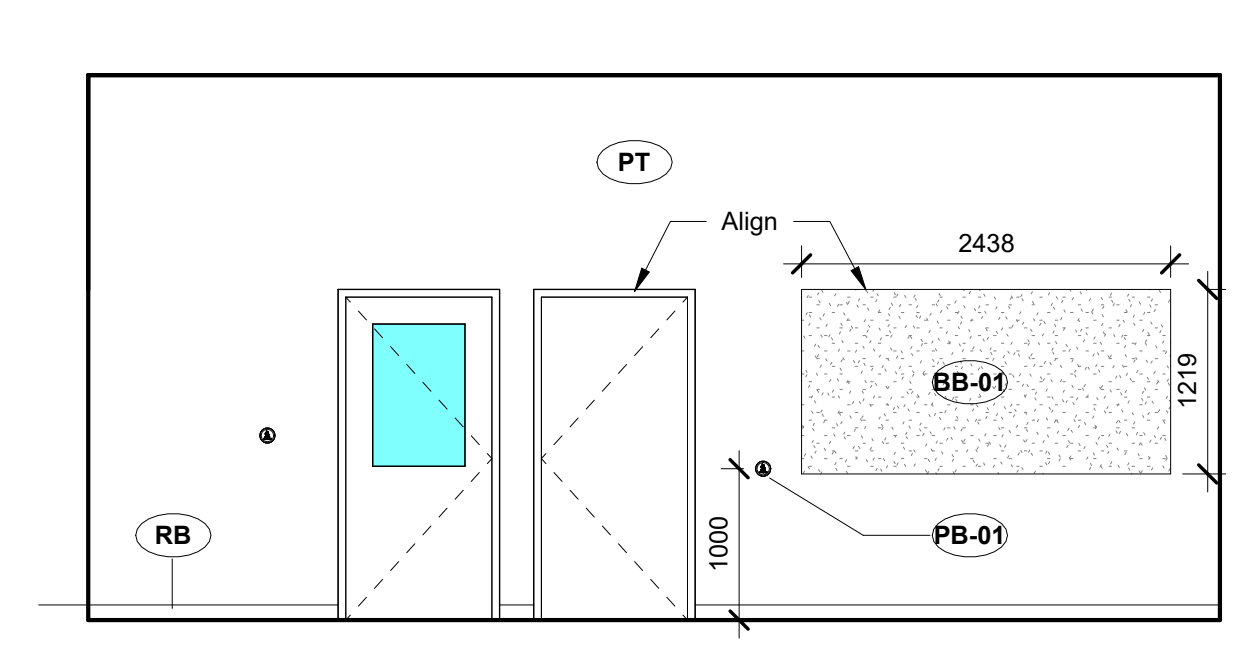
19 Interior Elevation - Preschool Corridor 108 South
1:50



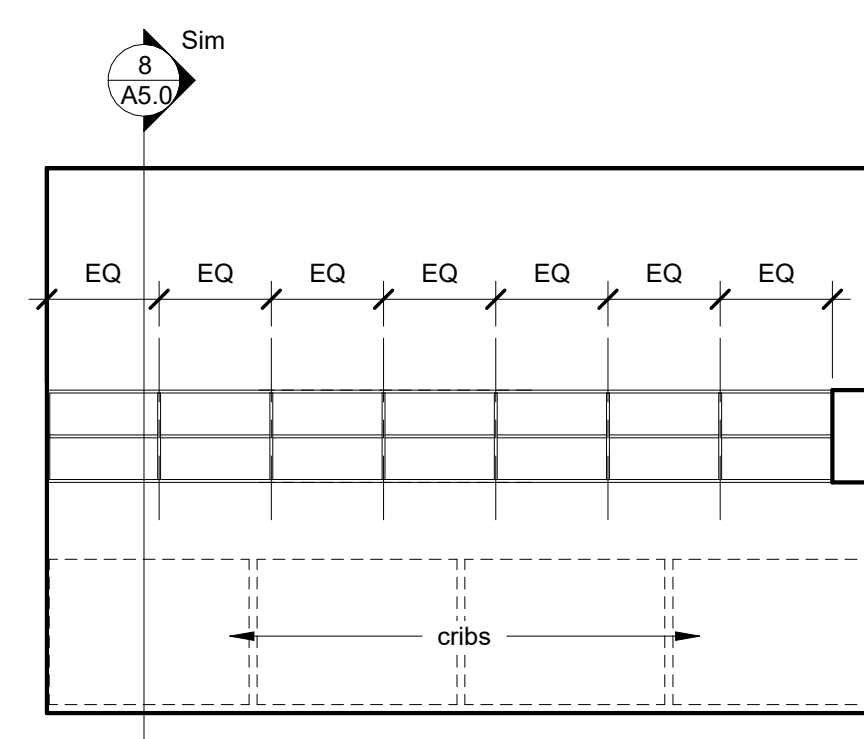
13 Interior Elevation - Toddler Play Room - North
1:50



14 Interior Elevation - Toddler Play Room - East
1:50



17 Interior Elevation - Corridor 101 West
1:50

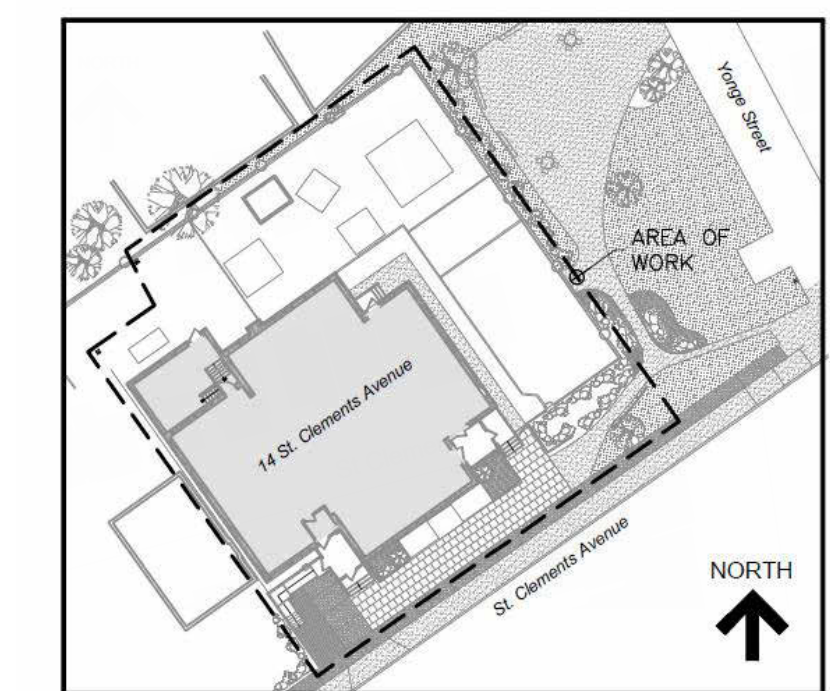


18 Interior Elevation - Infant Sleep Room 104b East
1:50

Washroom Accessories	
Note	Description
W1a	L-shaped grab bar
W1b	Horizontal grab bar
W2a	Tilted mirror - 24" x 36"
W2b	Mirror - 14" x 18"
W3	Automatic hand dryer - see Electrical
W4	Soap dispenser
W5	Paper towel dispenser
W6a	Toilet paper dispenser
W6b	Toilet paper dispenser
W7	Shelf
W8	Coat hook
W9	Change table
W10	Wall-mounted fold down baby change table
W12	Sanitary napkin disposal

WORKSHOP

WORKSHOP is an architecture studio:
6 Sousa Mendes Street
Toronto Ontario M6P 6A8
T 416.961.8955 F 416.849.8383
www.workshoparchitecture.ca



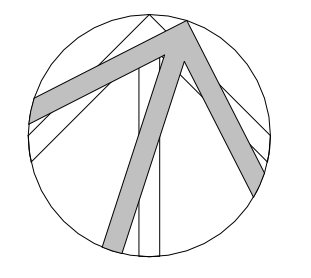
KEY PLAN

No.	Revision	Date	By
5.	PERMIT/TENDER REVISION	Sept 20/24	E.C.
4.	ISSUED FOR BUILDING PERMIT	May 28/24	E.C.
3.	ISSUED FOR TENDER	May 13/24	E.C.
2.	ISSUED FOR CLIENT REVIEW	May 13/24	E.C.
1.	ISSUED FOR 95% CLIENT REVIEW	April 17/24	E.C.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJCL") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJCL whether the Work is executed or not, and RJCL reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJCL. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJCL in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal



Project Name

Upper Yonge Village Daycare Centre
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

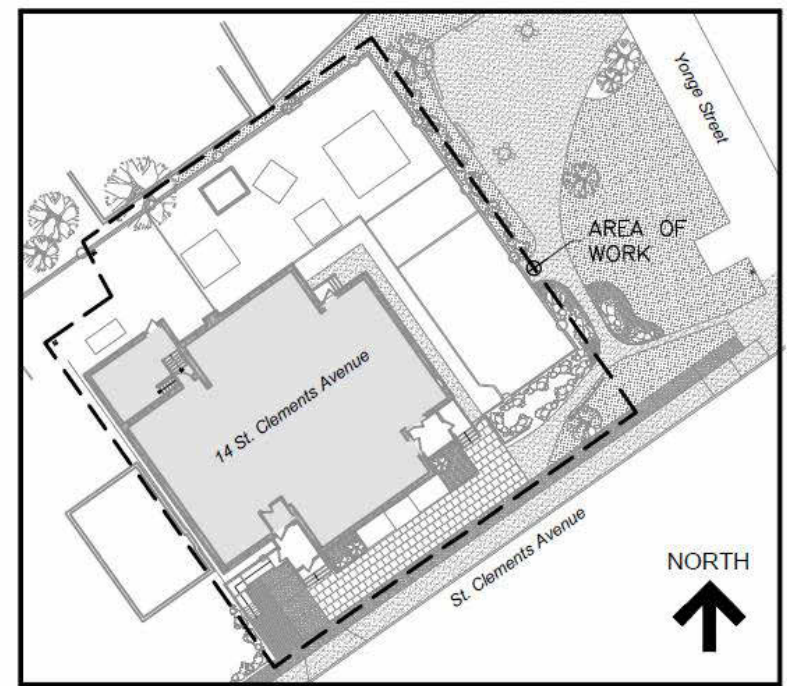
Sheet Title: Detailed Plans & Interior Elevations - Playrooms, Corridors, & Servery

Drawn By: E.C. Scale: As indicated
Designed By: E.C. Date: May 2024
RJC Project Number: TOR.122940.0001

Sheet Number: A4.1 Revision

WORKSHOP

WORKSHOP is an architecture studio.
 6 Sousa Mendes Street
 Toronto Ontario M6P 6A8
 T 416.961.8955 F 416.849.8383
 www.workshoparchitecture.ca



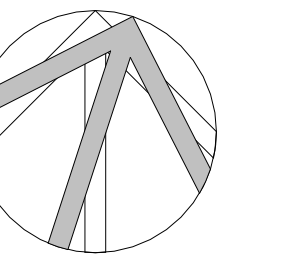
KEY PLAN

No.	Revision	Date	By
5.	PERMIT/TENDER REVISION	Sept 20/24	E.C.
4.	ISSUED FOR BUILDING PERMIT	May 28/24	E.C.
3.	ISSUED FOR TENDER	May 13/24	E.C.
2.	ISSUED FOR CLIENT REVIEW	May 13/24	E.C.
1.	ISSUED FOR 95% CLIENT REVIEW	April 17/24	E.C.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJCL") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJCL whether the Work is executed or not, and RJCL reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJCL. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJCL in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal



Project Name

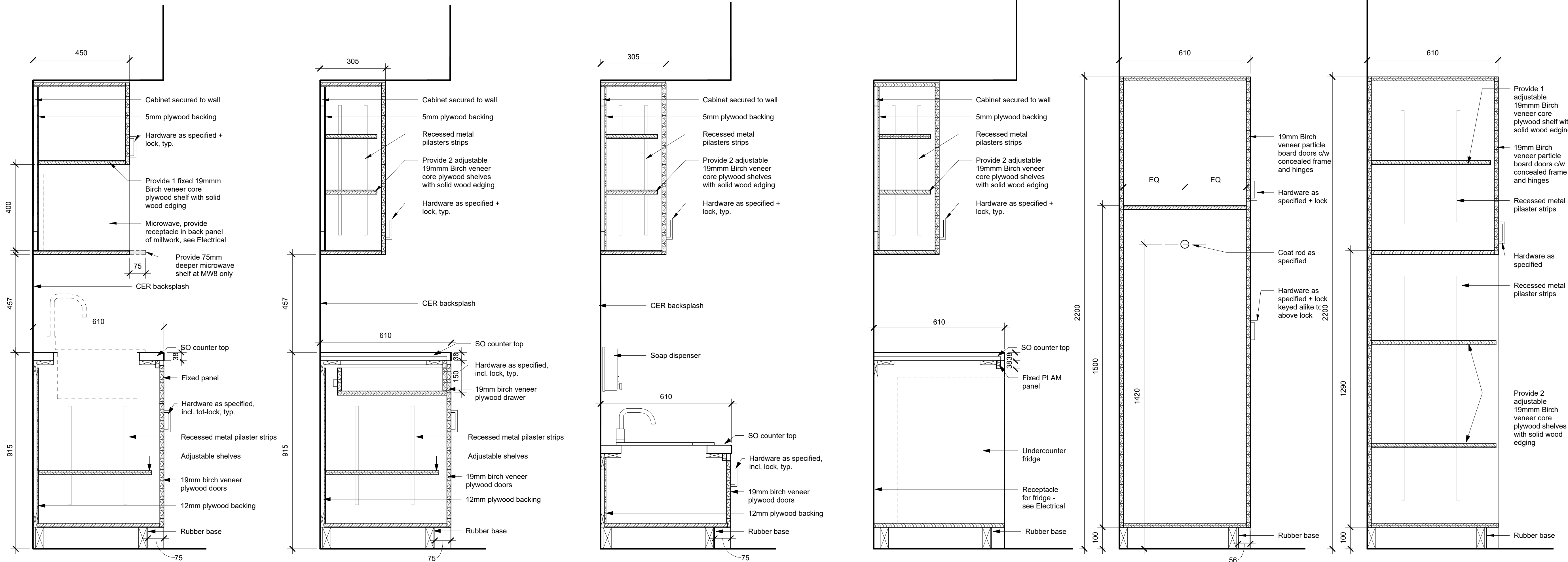
**Upper Yonge Village
 Daycare Centre**
 14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

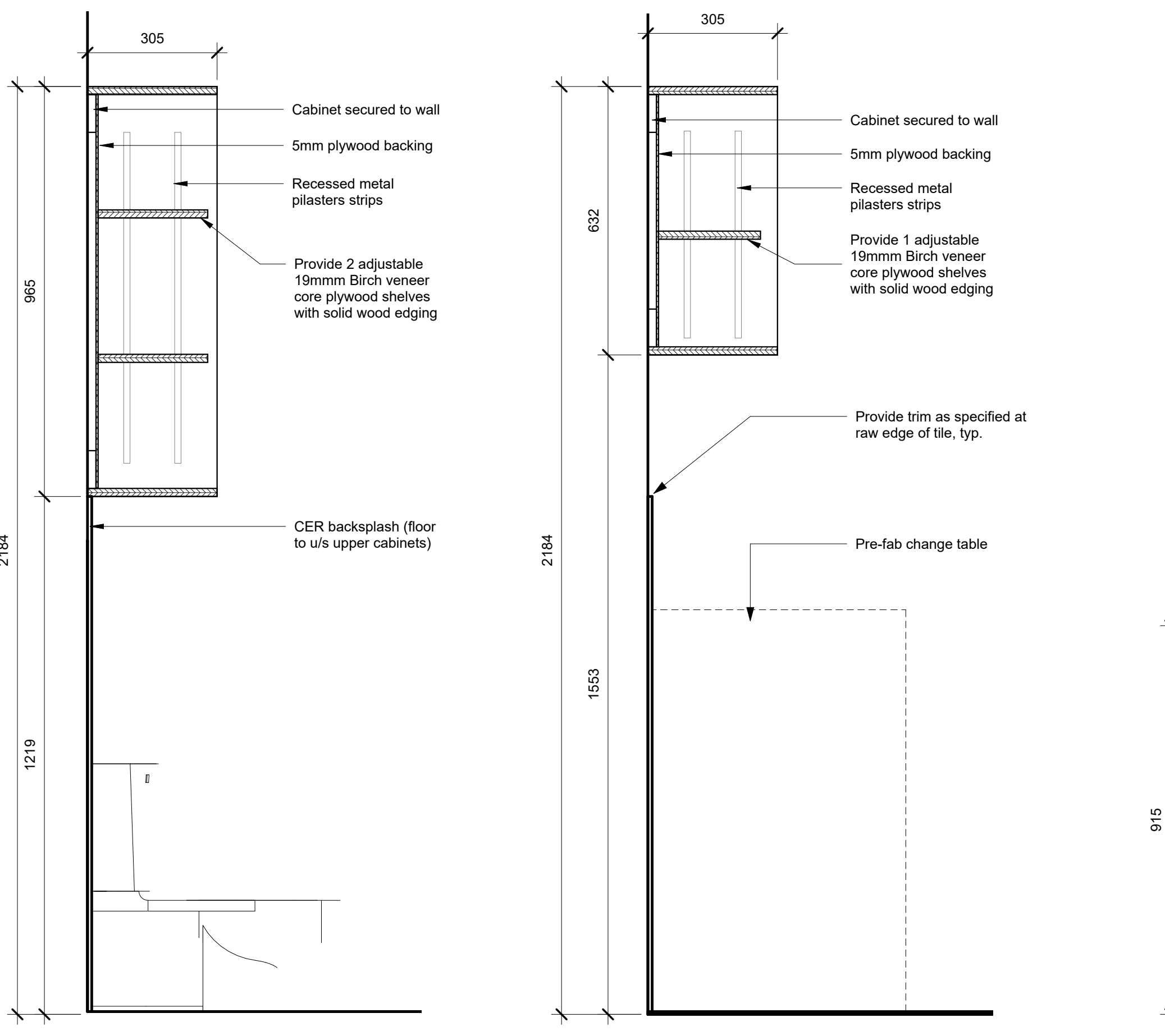
Sheet Title **Millwork**

Drawn By **E.C.** Scale **As indicated**
 Designed By **E.C.** Date **May 2024**
 RJC Project Number **TOR.122940.0001**

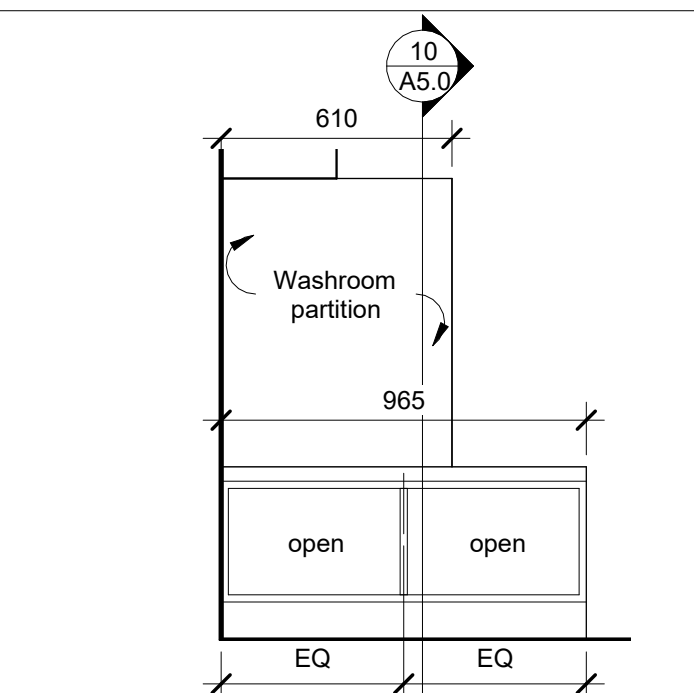
Sheet Number **A5.0** Revision



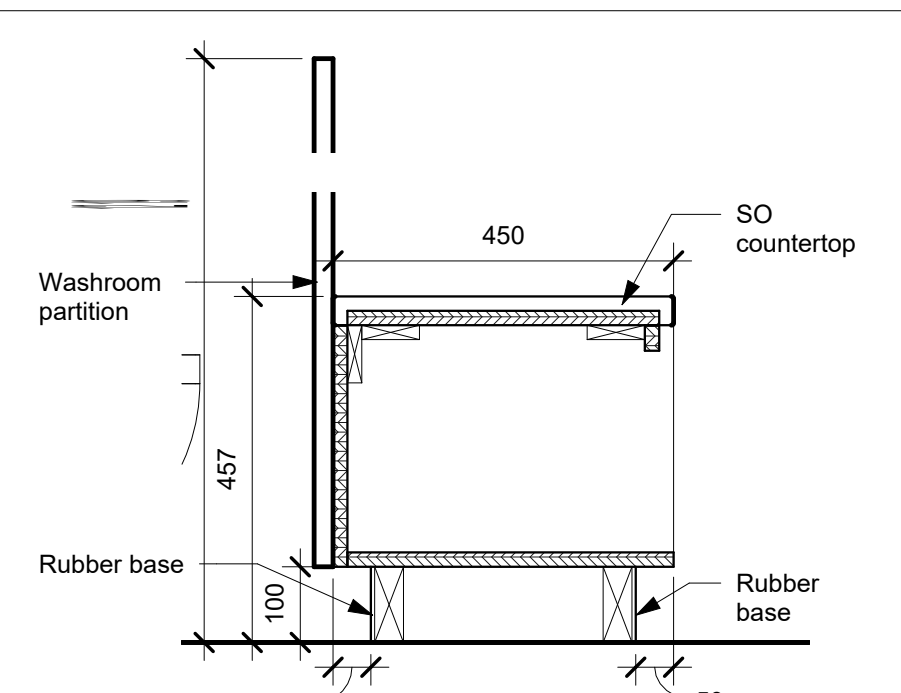
① Section Through Sink 1:10 ② Section Through Drawer 1:10 ③ Section Through Child-height Sink 1:10 ④ MW10 - Section Through Under-counter Fridge 1:10 ⑤ Section Through Teacher Storage 1:10 ⑥ MW4 - Toy Storage - Section 1:10



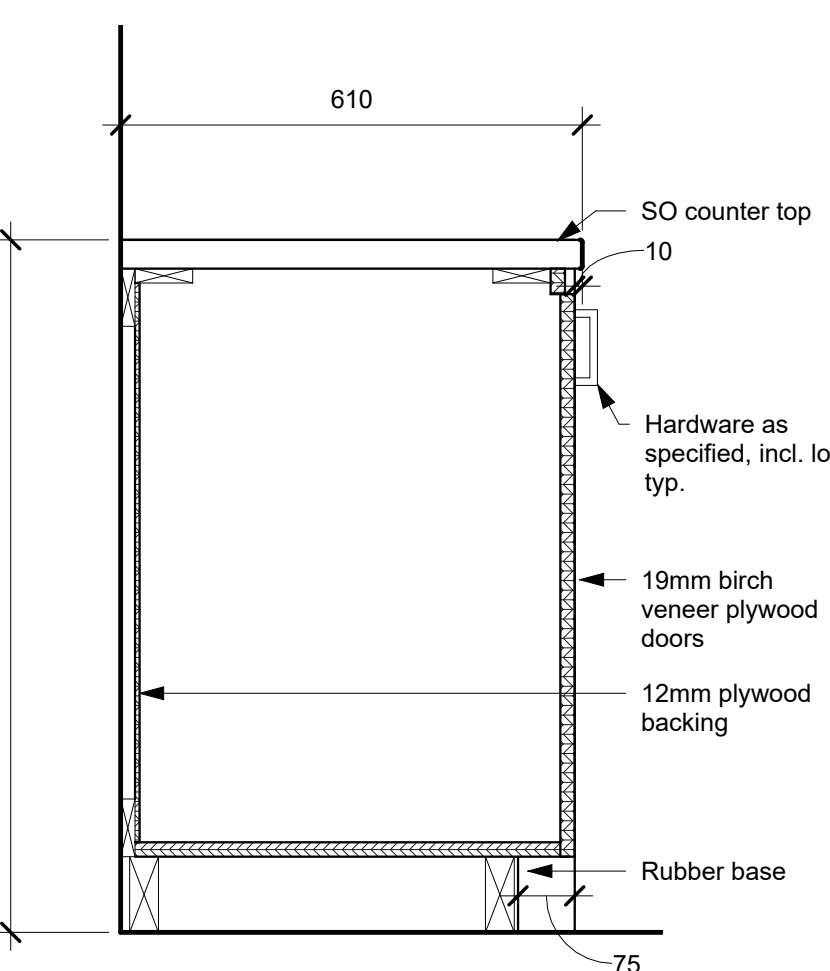
⑦ Upper Shelving in WCs 1 1:10 ⑧ Upper Shelving in WCs 2 1:10



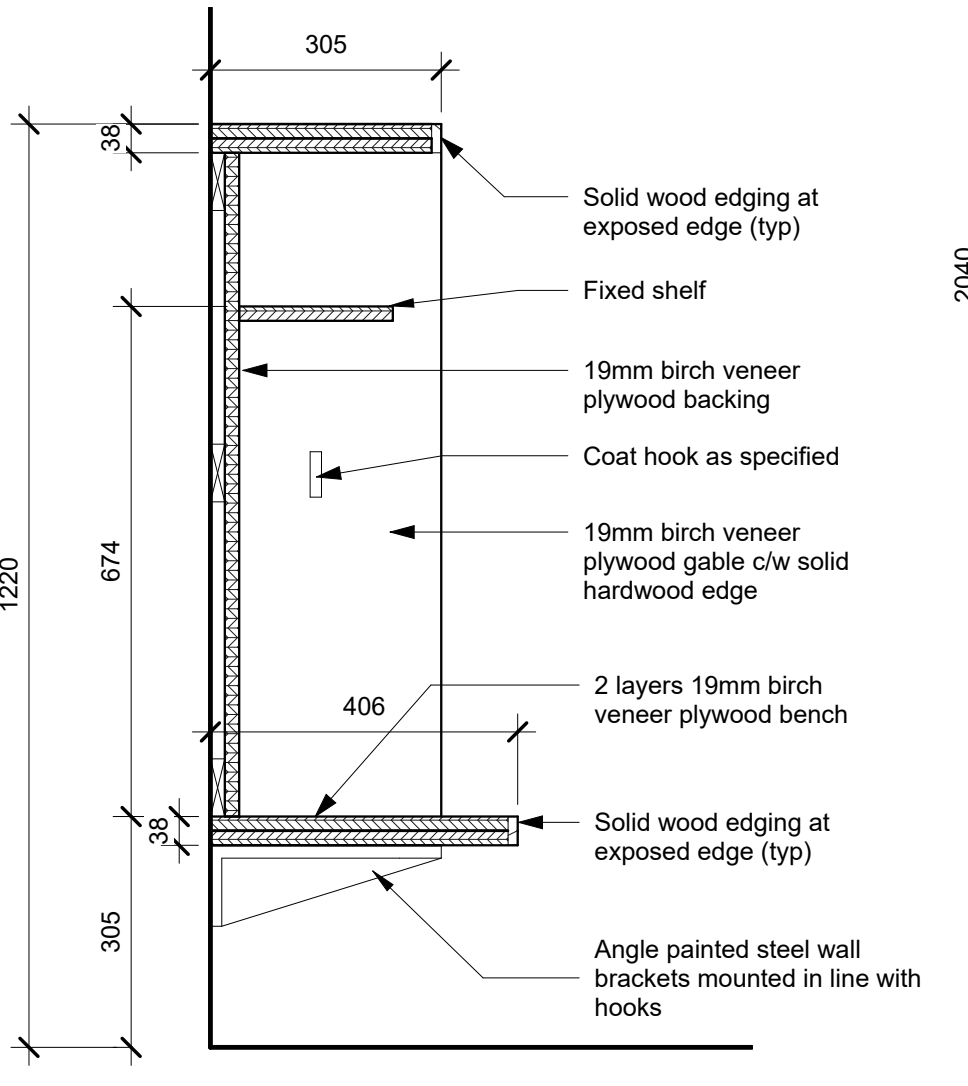
⑭ MW12 - Elevation 1:20



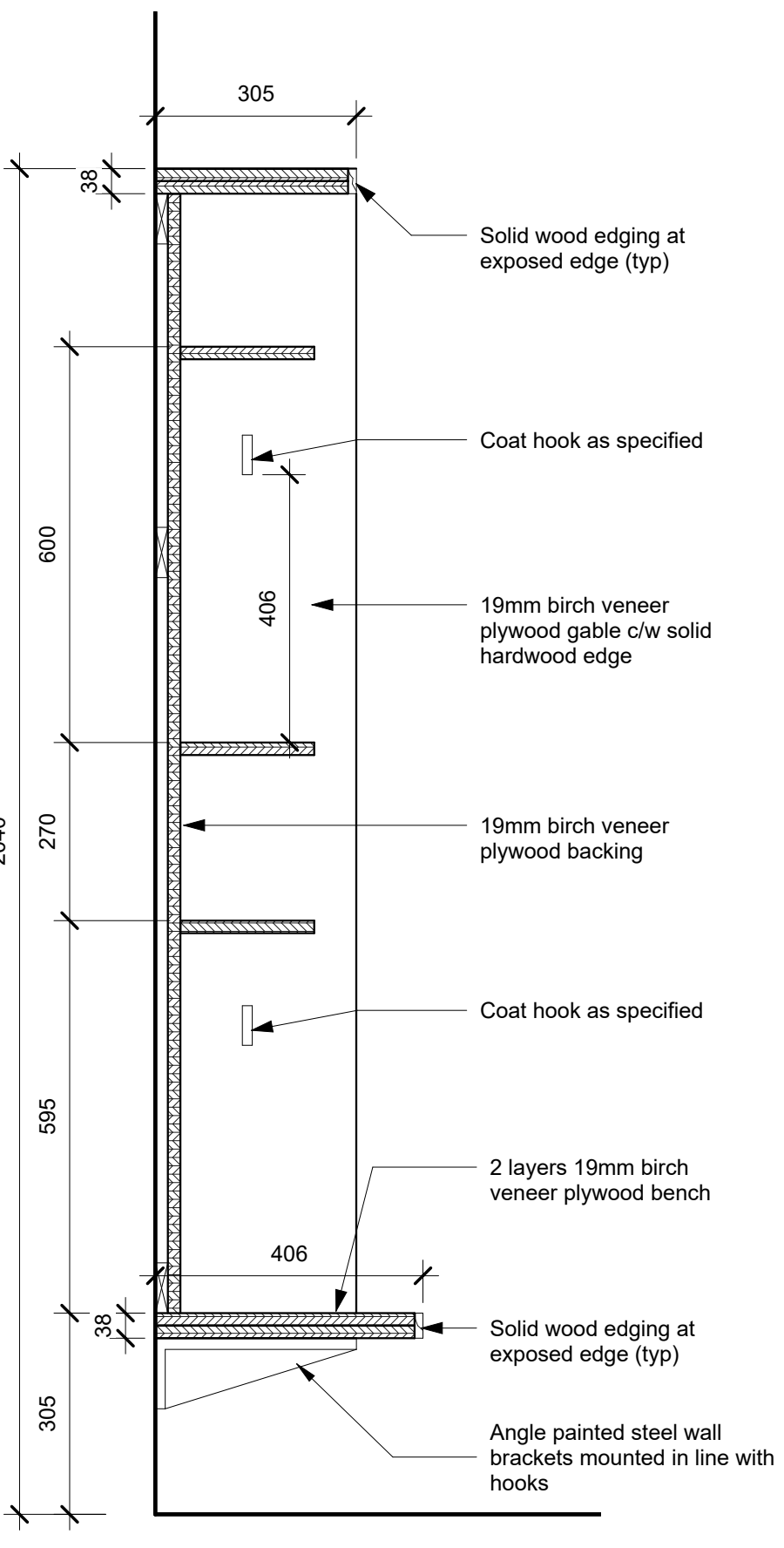
⑩ MW12 - Section 1:10



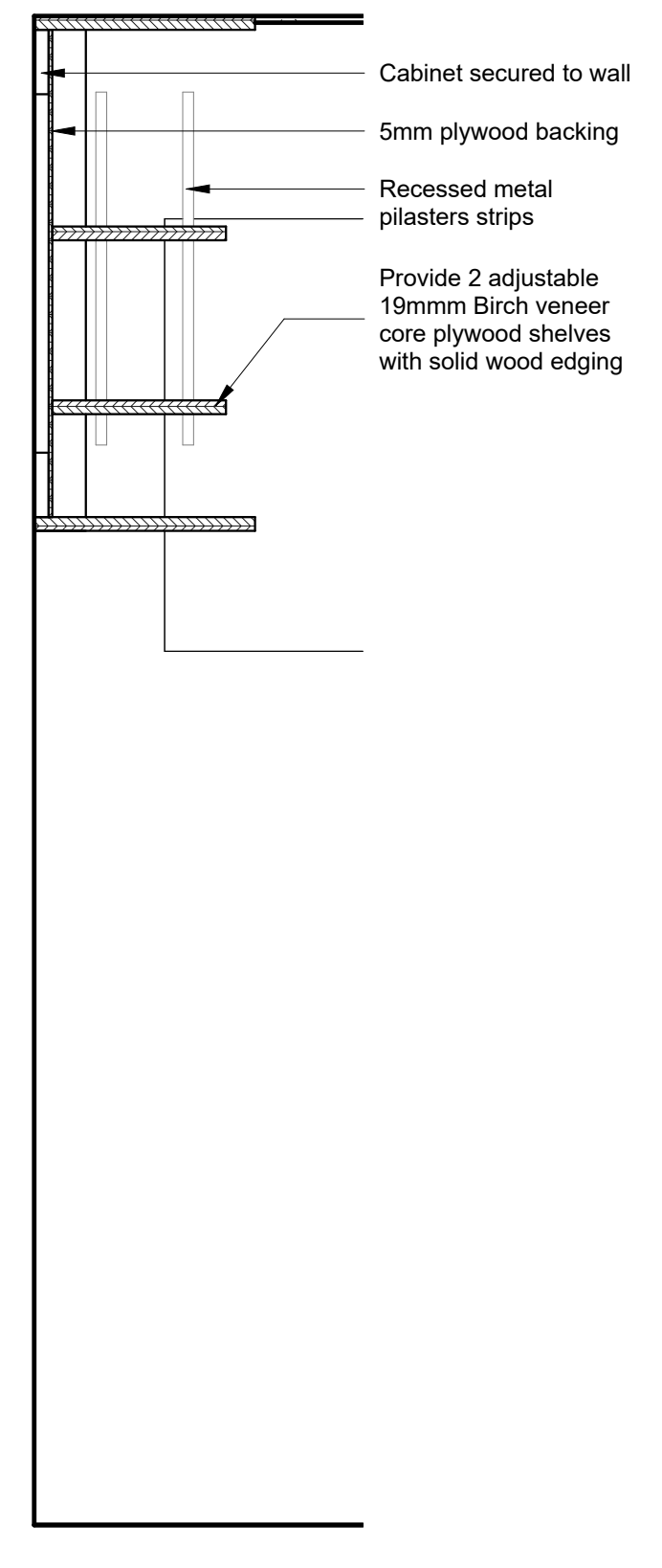
⑨ MW5 (Dressing Table) - Section 1:10



⑪ Cubby, Typical 1:10



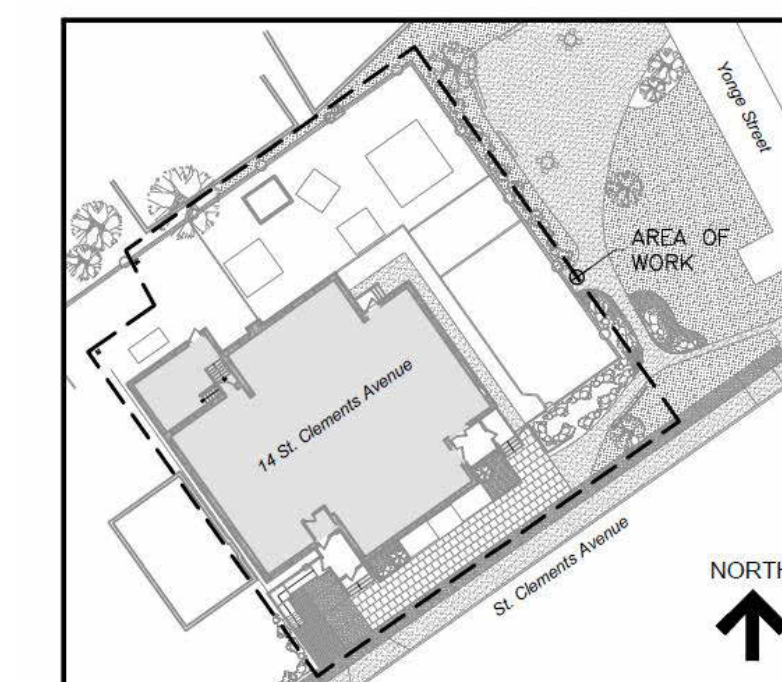
⑫ Stacked Cubby, Typical 1:10



⑬ Section 2 1:10

WORKSHOP

WORKSHOP is an architecture studio:
 8 Sousa Mendes Street
 Toronto Ontario M6P 6A8
 T 416.991.8955 F 416.849.8383
 www.workshoparchitecture.ca



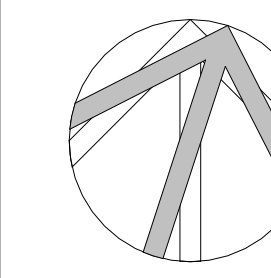
KEY PLAN

No.	Revision	Date	By
5.	PERMIT/TENDER REVISION	Sept 20/24	E.C.
4.	ISSUED FOR BUILDING PERMIT	May 28/24	E.C.
3.	ISSUED FOR TENDER	May 13/24	E.C.
2.	ISSUED FOR CLIENT REVIEW	May 13/24	E.C.
1.	ISSUED FOR 95% CLIENT REVIEW	April 17/24	E.C.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal



Project Name

**Upper Yonge Village
 Daycare Centre**
 14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

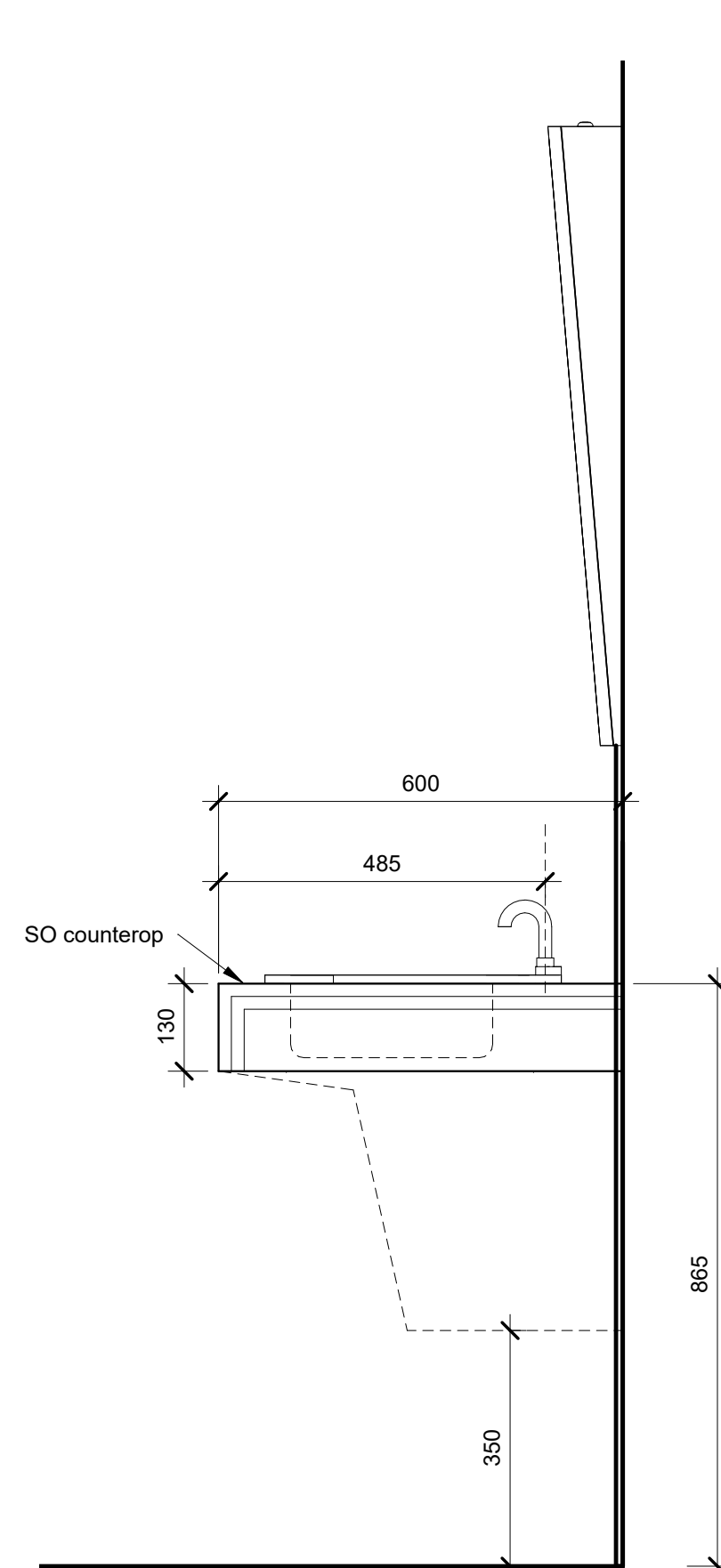
Sheet Title **Millwork**

Drawn By **E.C.** Scale **As indicated**

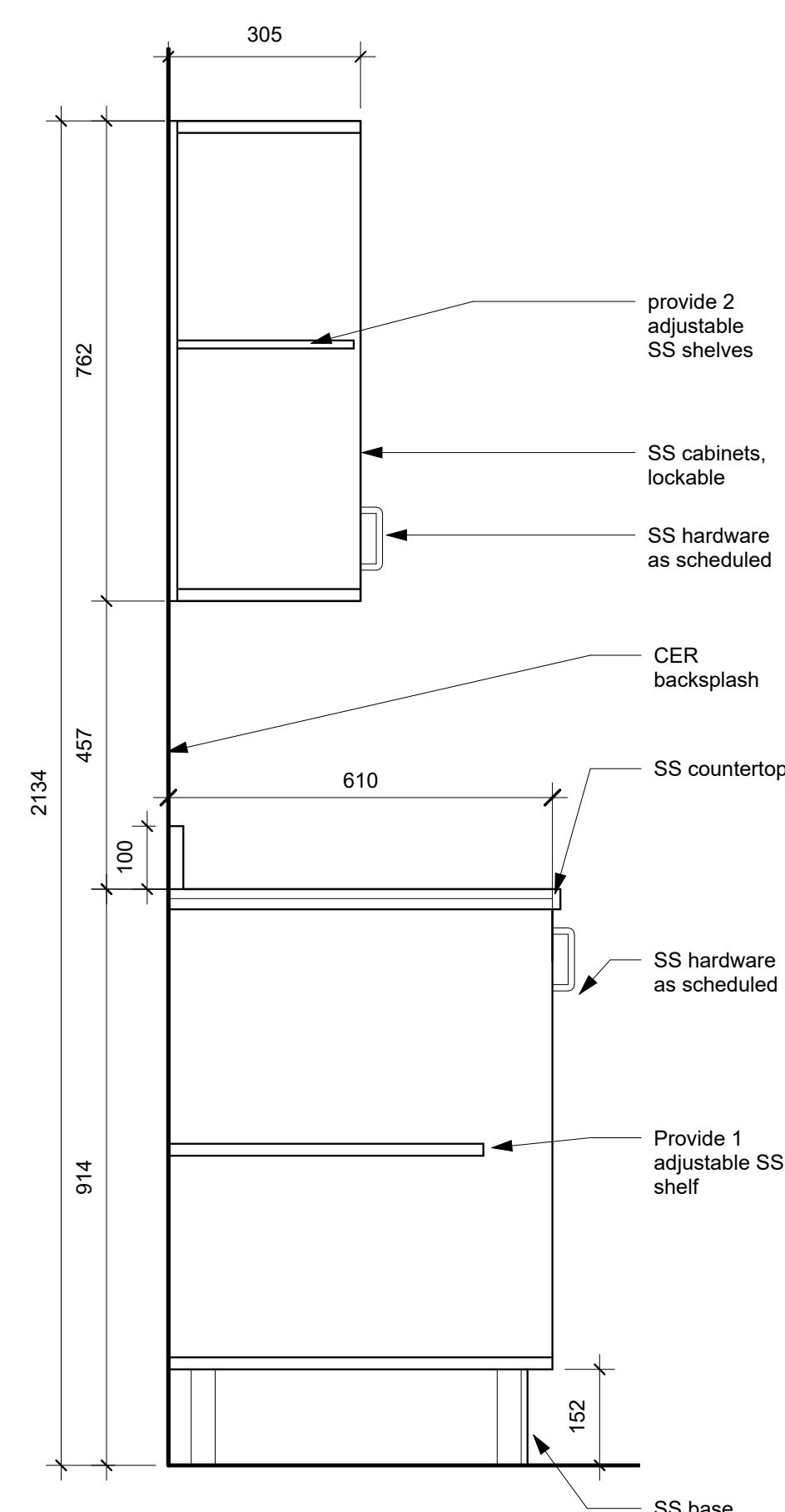
Designed By **E.C.** Date **May 2024**

RJC Project Number **TOR.122940.0001**

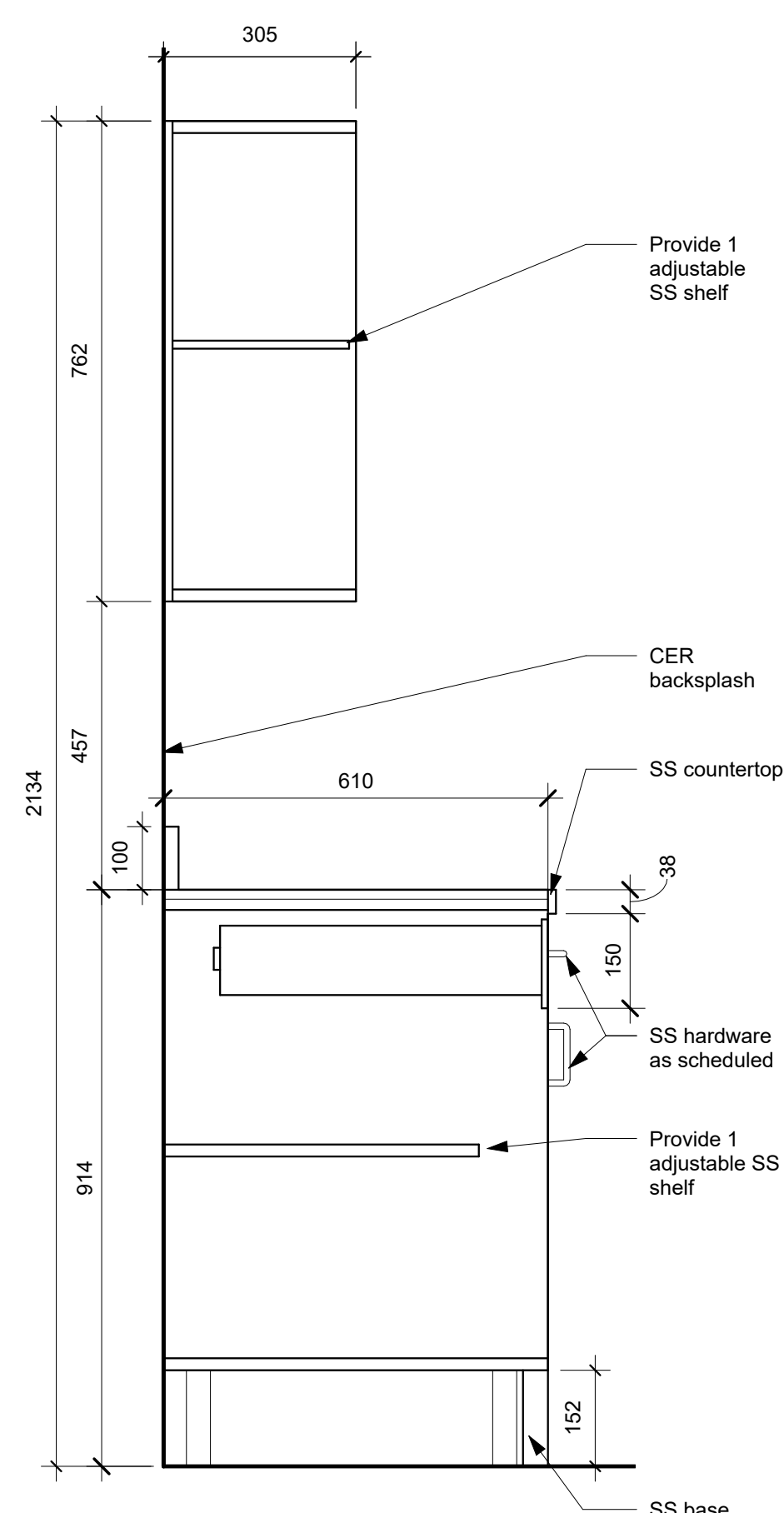
Sheet Number **A5.1** Revision



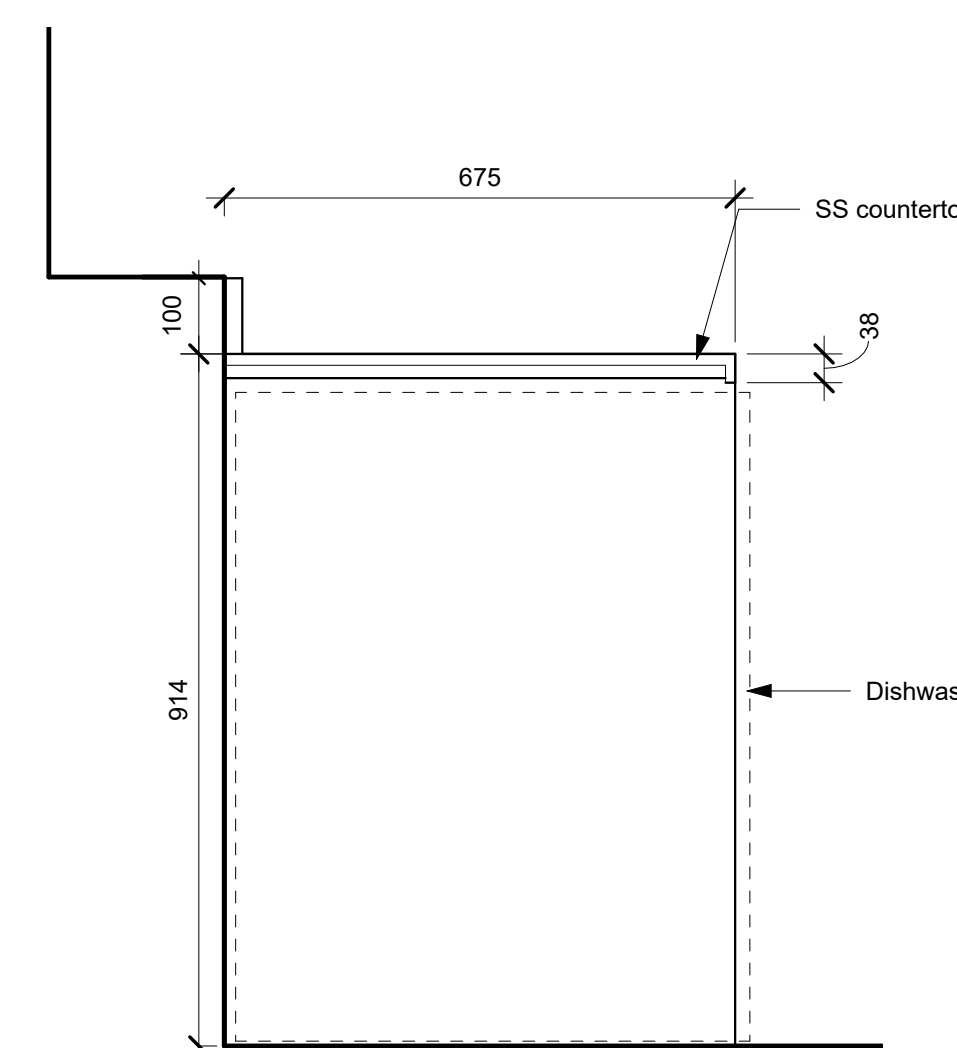
1 MW1 - Section
1 : 10



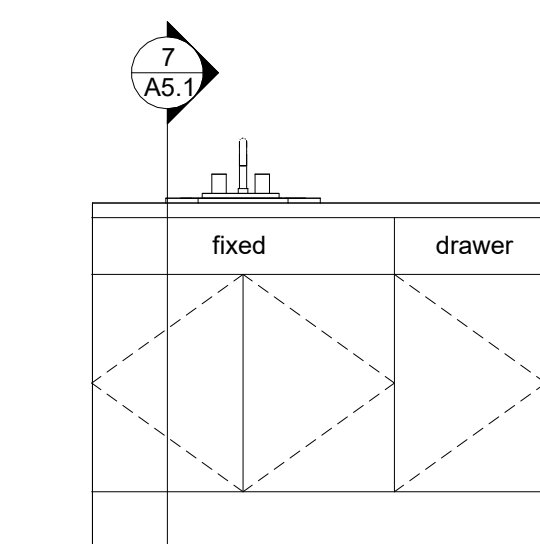
2 MW16 - Section 1
1 : 10



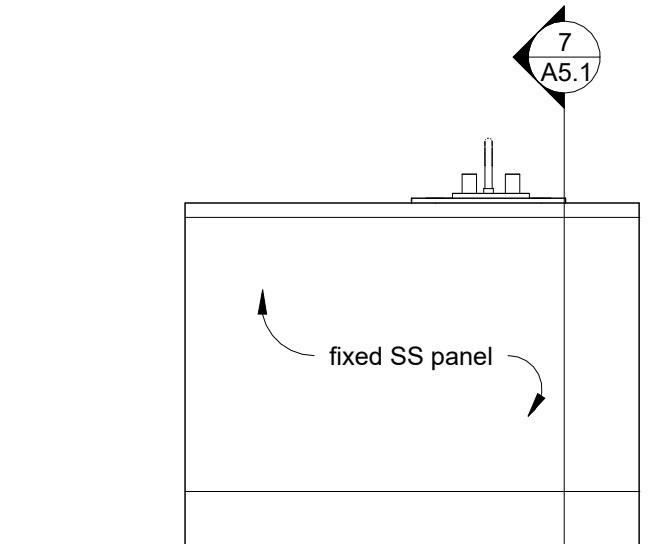
3 MW16 - Section 2
1 : 10



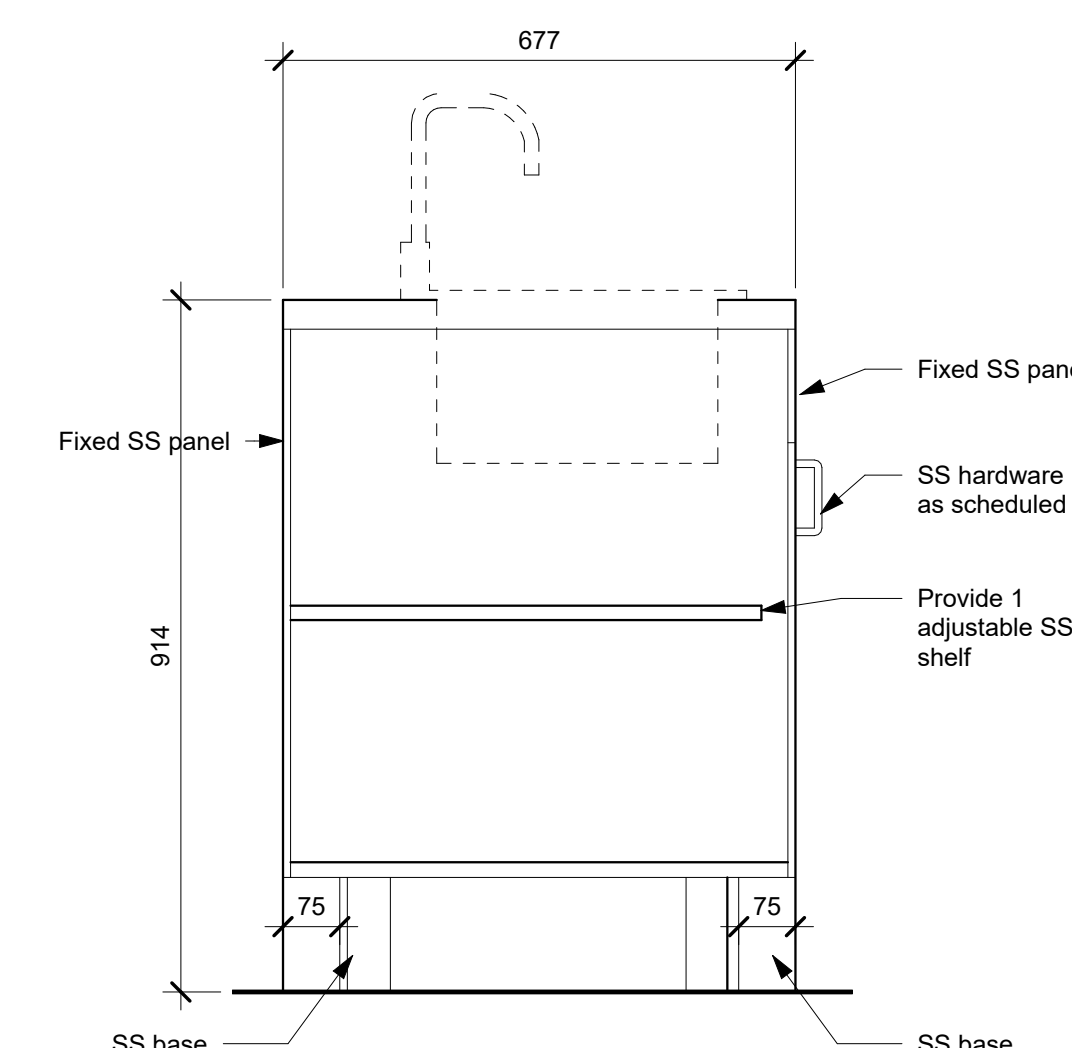
4 MW16 - Section 3
1 : 10



6 MW17 - South Elevation
1 : 20



5 MW17 - North Elevation
1 : 20



7 MW17 - Section
1 : 10

Materials Legend

ACT	Acoustic Ceiling Tile
ALUM	Aluminum
BE	Bulletin Board
CER	Ceramic Tile
CP	Exterior Concrete
EPO	Epoxy
EXIST	Existing
EXP	Exposed
FGL	Interior Fire Rated Glass
GF	Glazing Film - Safety
GFRC	Glass Fibre Reinforced Cladding
GWB-01	Gypsum Wallboard (Painted)
GWB-02	Gypsum Wallboard (Type X)
IGU-01	Exterior Insulated Glass Unit (Passive House Frame)
IGU-02	Exterior Insulated Glass Unit
INS-01	Acoustic Fire Batt Insulation (Interior Wall)
INS-02	Spray Foam Insulation (Interior Wall)
INS-03	Spray Foam Insulation (Below Grade Walls, Crawlspace)
INS-04	Spray Foam Insulation (Below Floor)
INS-05	Spray Foam Insulation (Below Roof)
INS-06	Mineral Wool Insulation (Rainscreen Wall)
INS-07	XPS Insulation (Exterior Wall)
INS-08	XPS Insulation (Slab on Grade)
INS-09	XPS Insulation (Below Grade Walls, Exterior)
INS-10	Poliso Insulation (Exterior Roof)
INS-11	XPS Insulation (Below Grade Walls, Interior)
PB-01/02	Push Button (Wall mounted/Column mounted)
POR	Porcelain Tile
PLAM	Plastic Laminate
PT	Paint Finish
RB	Rubber Base
RES	Resilient Sheet Flooring
SCW	Solid Core Wood
SO	Solid Polymer Fabrications
SS	Stainless Steel (Brushed)
TGL	Interior Tempered Glass
WD	Solid Wood
WV	Wood Veneer

Millwork Hardware Legend

Bumpers (2 each per door): Richelieu 3M (Peel & Stick)

Cabinet/Drawer Pulls: Richelieu Functional Stainless Steel Pulls (BP33205170)

Cam lock for full-height Teacher cabinets: National NCL-C8060-4GKA413A (keyed differently)

Coat Hook (cubbies): Canadian Builders Hardware Model No. CBH 85, stainless steel

Concealed hinges: Blum Blumotion 110 degrees

Gate Latch: Richelieu BP600100

Gate Gear Safety Hinge: Pemko_FM_SF or similar

Provide finger guards at all gates, typ.

Concealed shelf support brackets: Richelieu 1621712G

Recessed metal pilaster strips: Richelieu Heavy Duty Metal Pilaster 2332G - length to suit, flush installation

Steel Roller Glides at 150mm drawers: Accuride #2037 Full Extension

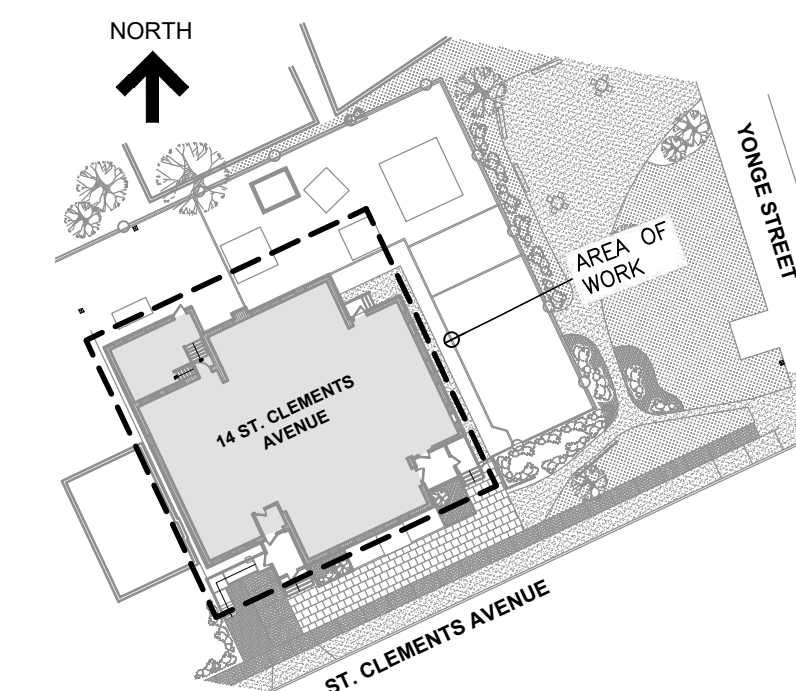
Steel Roller Glides at 233mm drawers: Accuride #3641 Full Extension

Soft close mechanism at all drawers: Richelieu BP97309910

Tot Locks at all lower cabinets in play rooms: Rev-A-Sheff Tot-Lok Latch Door Lock #T20130

Tot Lock keys (2 per play room): Rev-A-Sheff Tot-Lok Magnetic Key #T20330

Washroom partition U-pilasters: Jacknob 135009
 PILASTER SUPPORT BRACKET 3/4"
 STAMPED S/S FLOOR MOUNT ONLY
 provide to suit washroom partition thickness

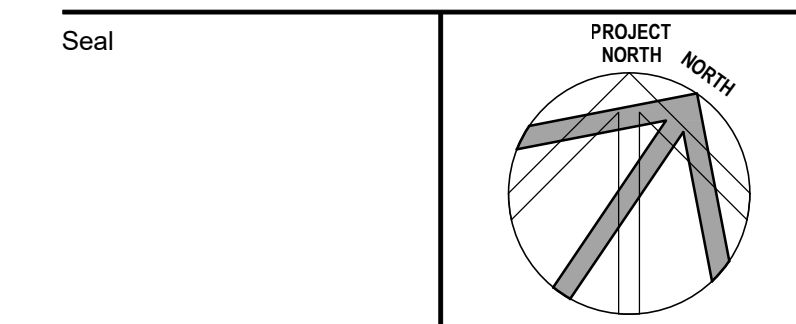


KEY PLAN

No.	Revision	Date	By
5.	ISSUED FOR TENDER	Sept. 20, 24	D.R.
4.	ISSUED FOR BUILDING PERMIT	Sept. 20, 24	D.R.
3.	ISSUED FOR TENDER	May 13, 24	D.R.
2.	ISSUED FOR CLIENT REVIEW	May 13, 24	D.R.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr. 17, 24	D.R.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJCL") and used in connection with this project are instruments of services for the work shown in them (the "Work") and as such are and remain the property of RJCL whether the Work is executed or not, and RJCL reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJCL. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJCL in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name

**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

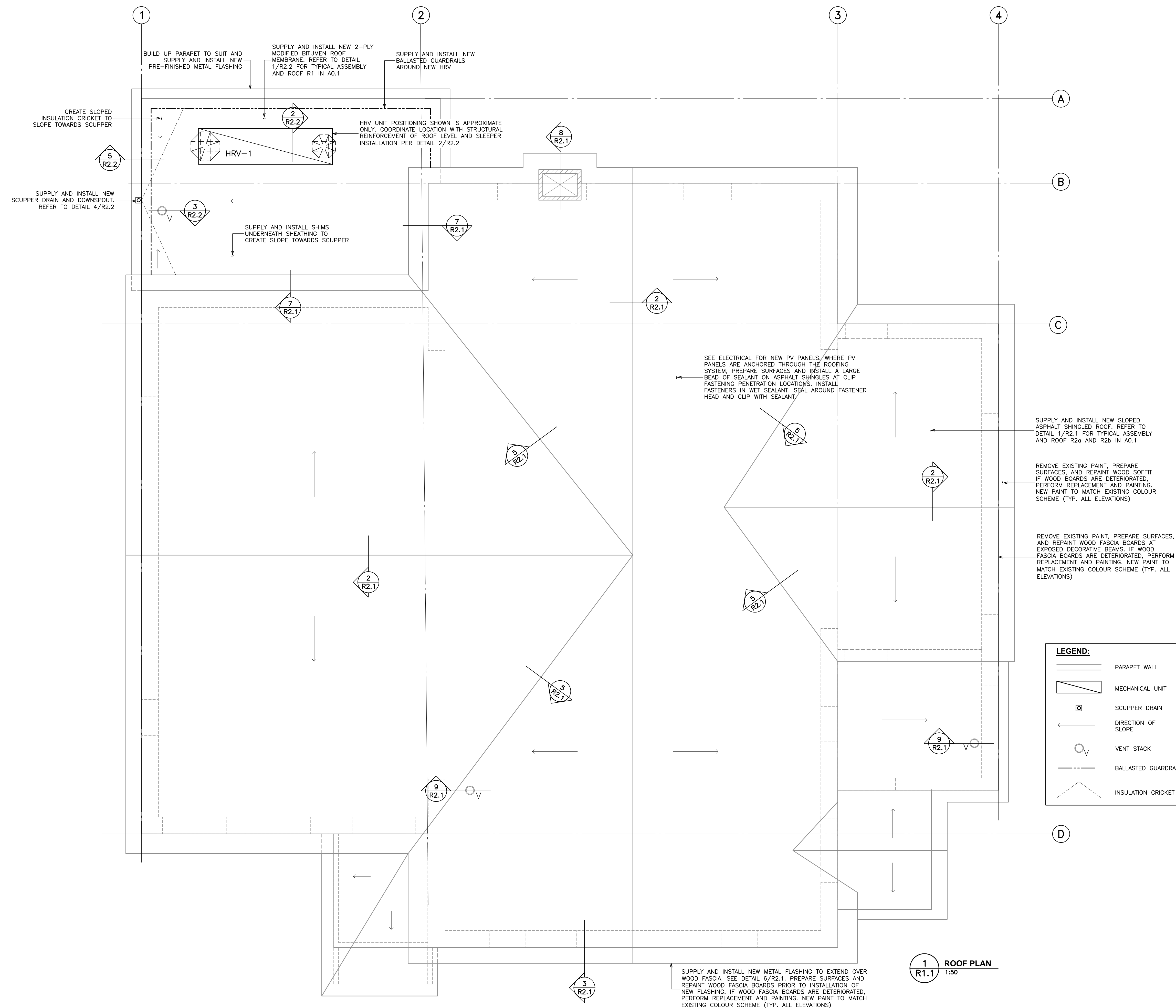
Sheet Title

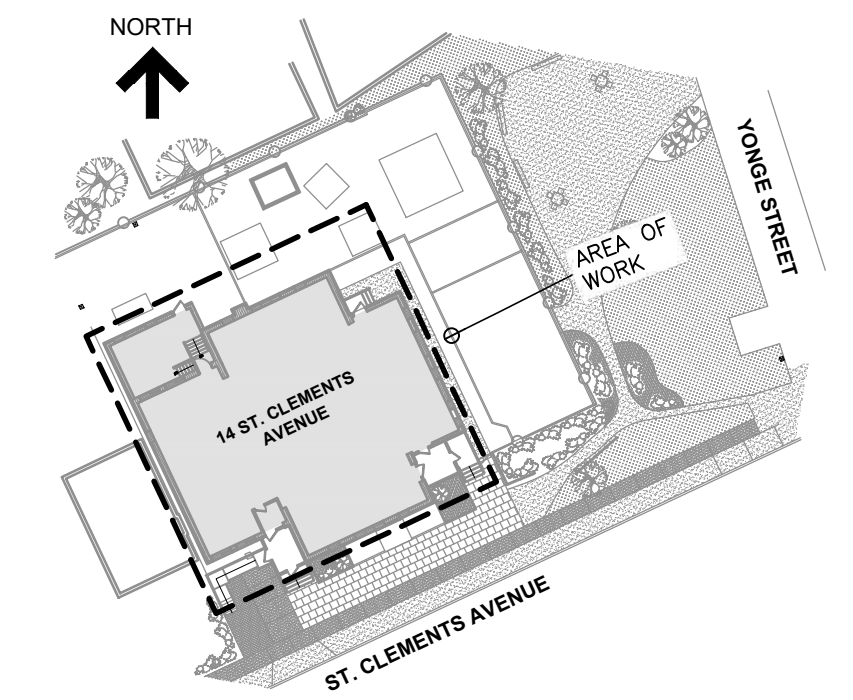
ROOF PLAN

Drawn By **K.V.** Scale **1:50**
Designed By **T.S./D.C.** Date **September, 2024**
RJC Project Number **TOR.122940.0001**

Sheet Number **R1.1** Revision

R1.1





KEY PLAN

No.	Revision	Date	By
5.	ISSUED FOR TENDER	Sept. 20, 24	D.R.
4.	ISSUED FOR BUILDING PERMIT	Sept. 20, 24	D.R.
3.	ISSUED FOR TENDER	May 13, 24	D.R.
2.	ISSUED FOR CLIENT REVIEW	May 13, 24	D.R.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr. 17, 24	D.R.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of services for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "bidding" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal	
------	--

Project Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION
Sheet Title

SECTIONS AND DETAILS
Drawn By K.V. Scale AS NOTED
Designed By T.S./D.C. Date September, 2024
RJC Project Number TOR.122940.0001
Sheet Number Revision

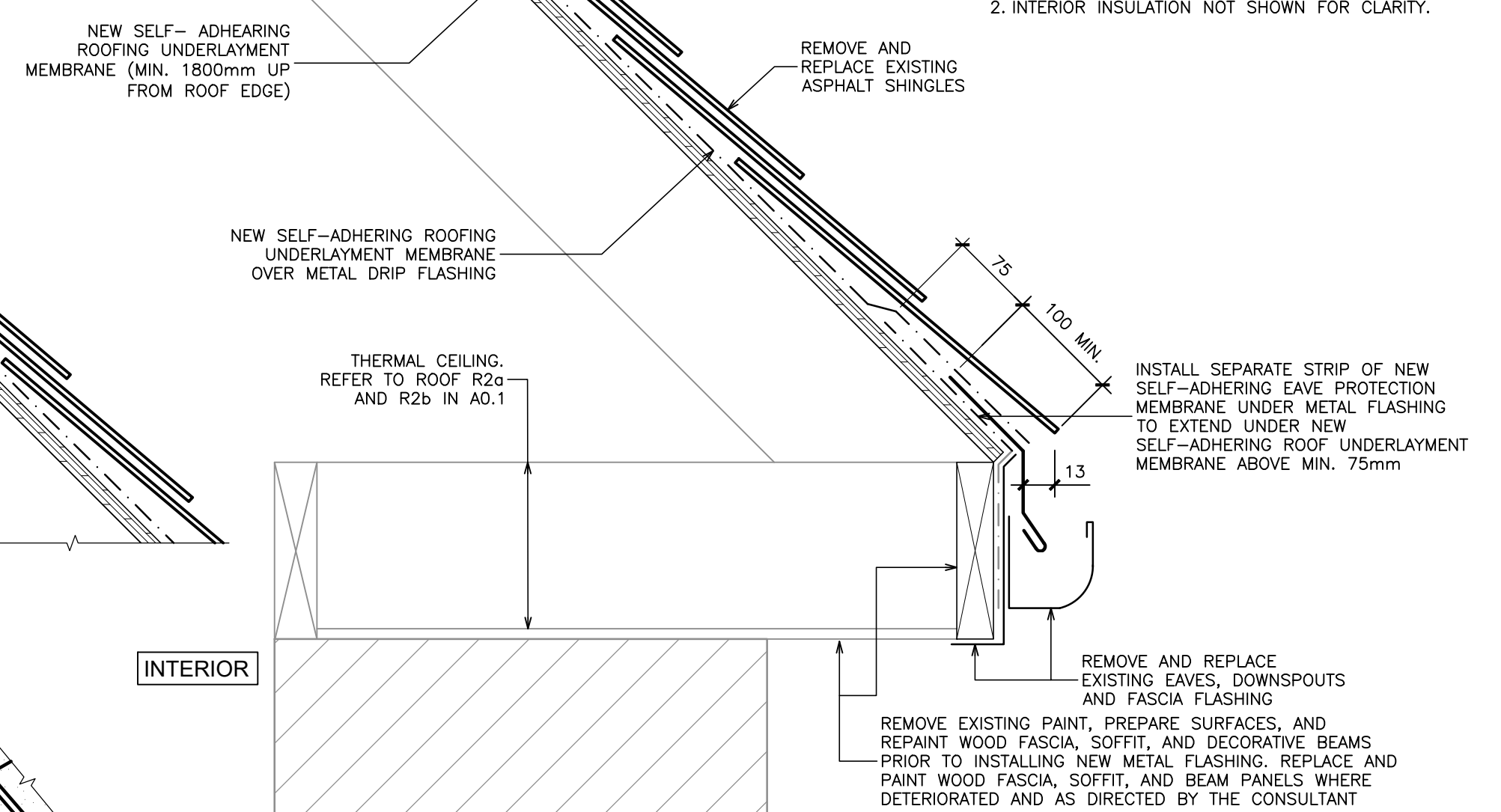
R2.1

NOTES:

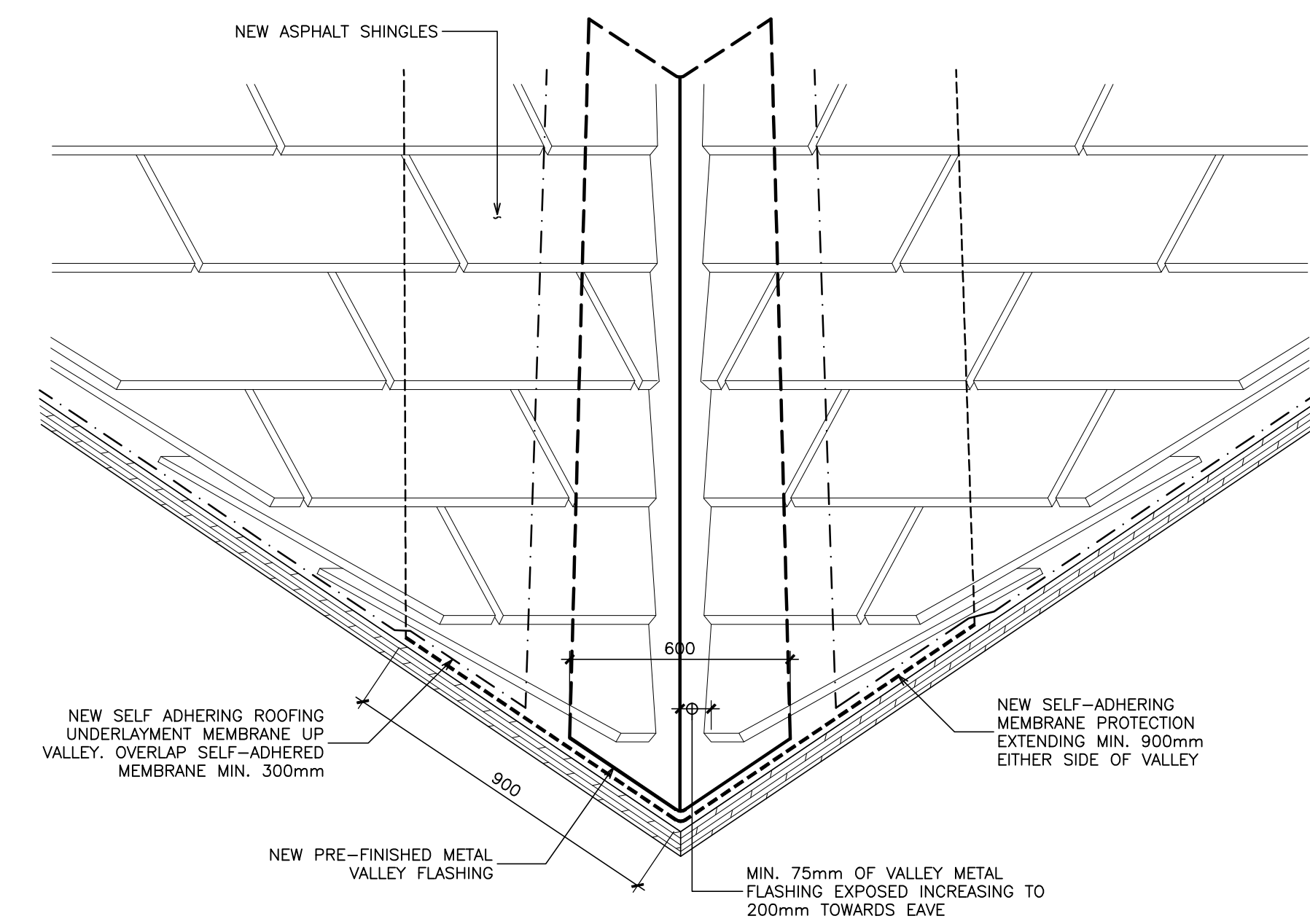
- INSTALL SELF-ADHERING MEMBRANE AT EAVE. ENSURE 175mm MIN. LAP OF NEW SELF-ADHERING ROOFING UNDERLAYMENT MEMBRANE.
- INTERIOR INSULATION NOT SHOWN FOR CLARITY.

SLOPED ROOF ASSEMBLY (ROOF R2a AND R2b):

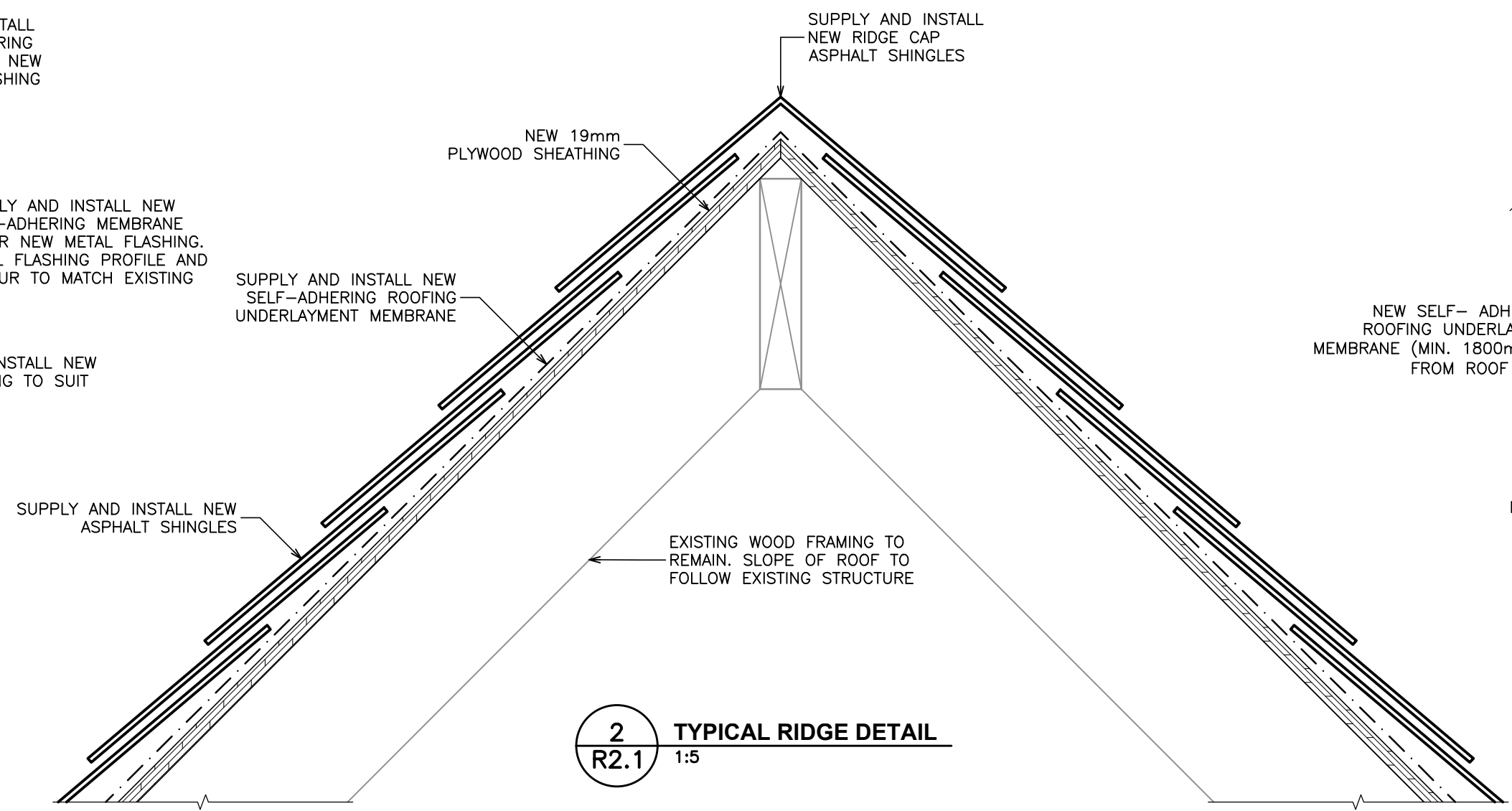
- NEW ASPHALT SHINGLES
- NEW SELF-ADHERING ROOFING UNDERLAYMENT MEMBRANE
- NEW 19mm PLYWOOD SHEATHING
- EXISTING WOOD FRAMING



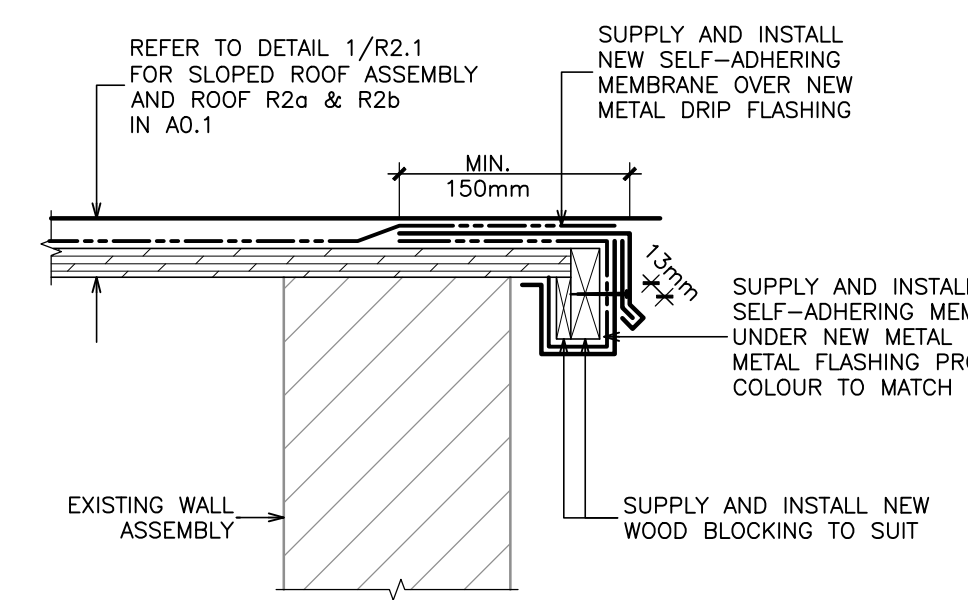
1
R2.1
TYPICAL SLOPED ROOF ASSEMBLY
1:5



5
R2.1
TYPICAL VALLEY DETAIL
N.T.S.

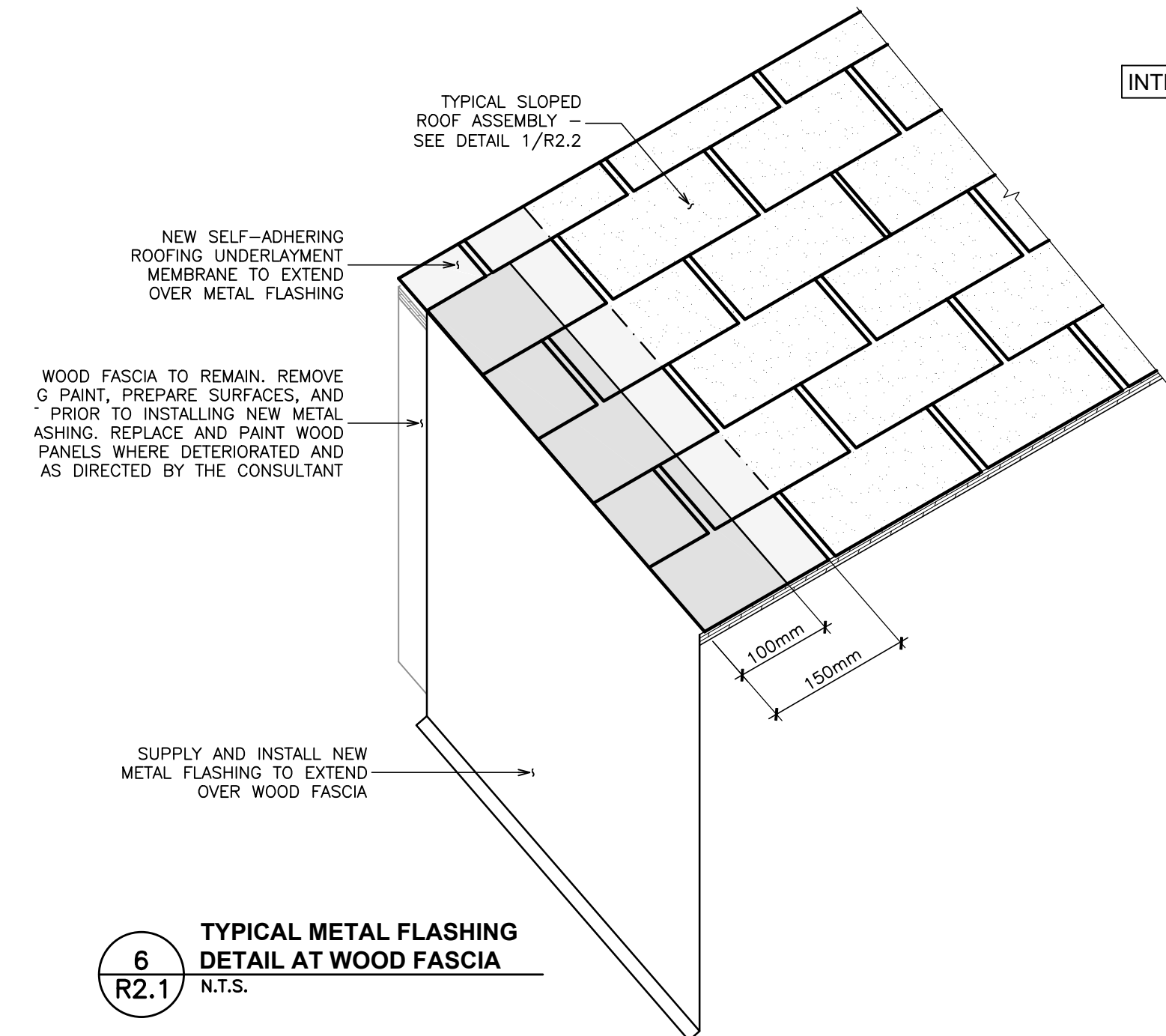
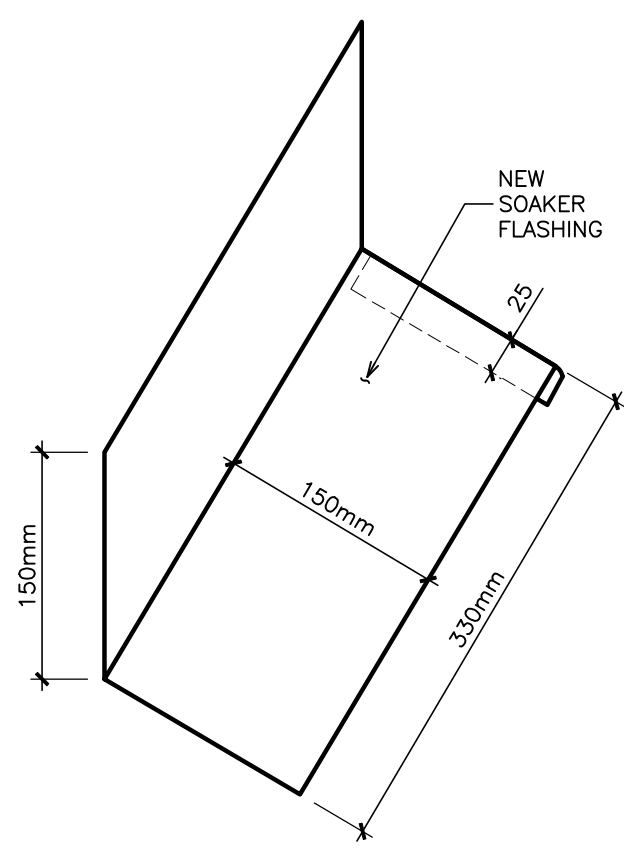


2
R2.1
TYPICAL RIDGE DETAIL
1:5

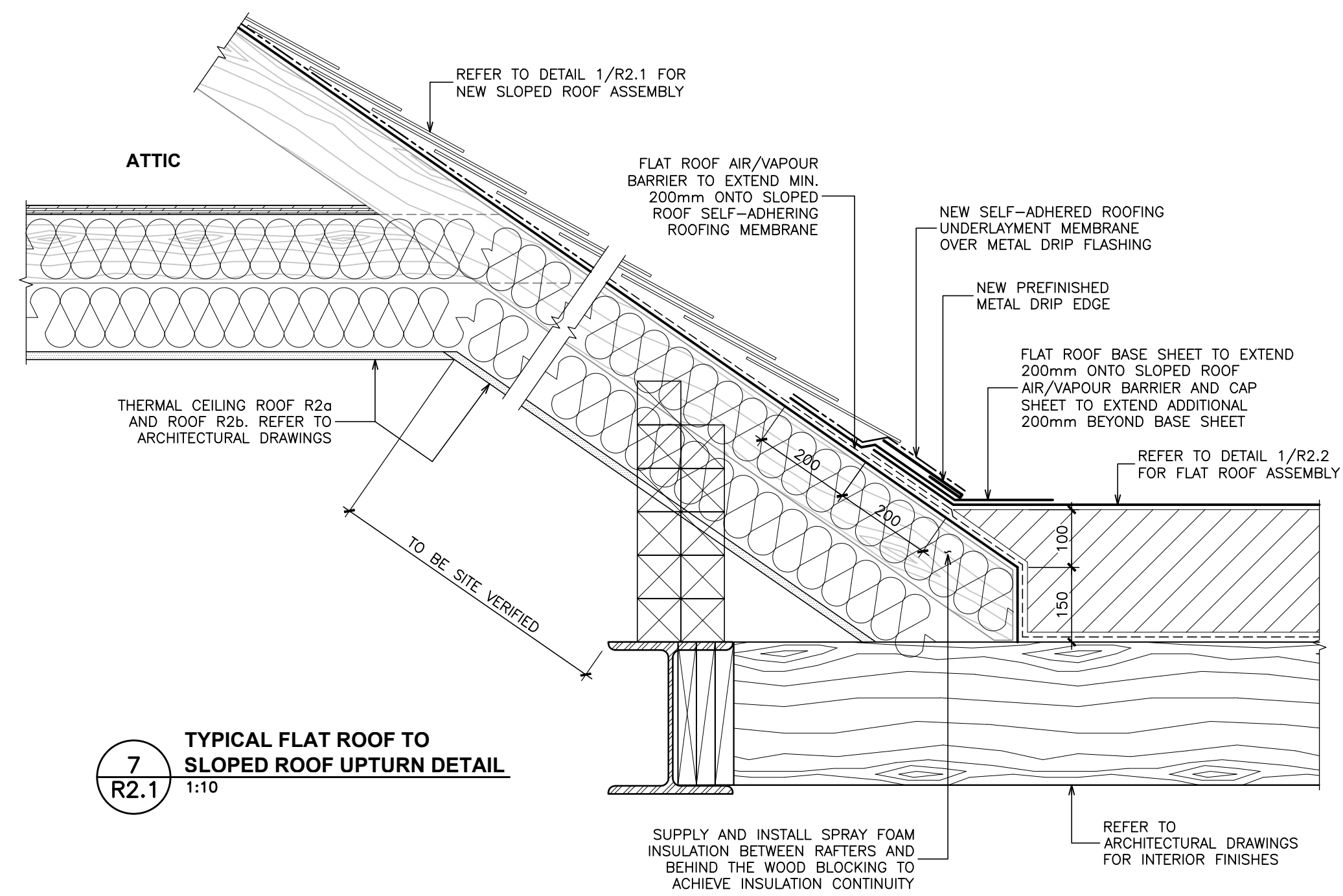


3
R2.1
TYPICAL ROOF TO GABLE END SECTION
1:5

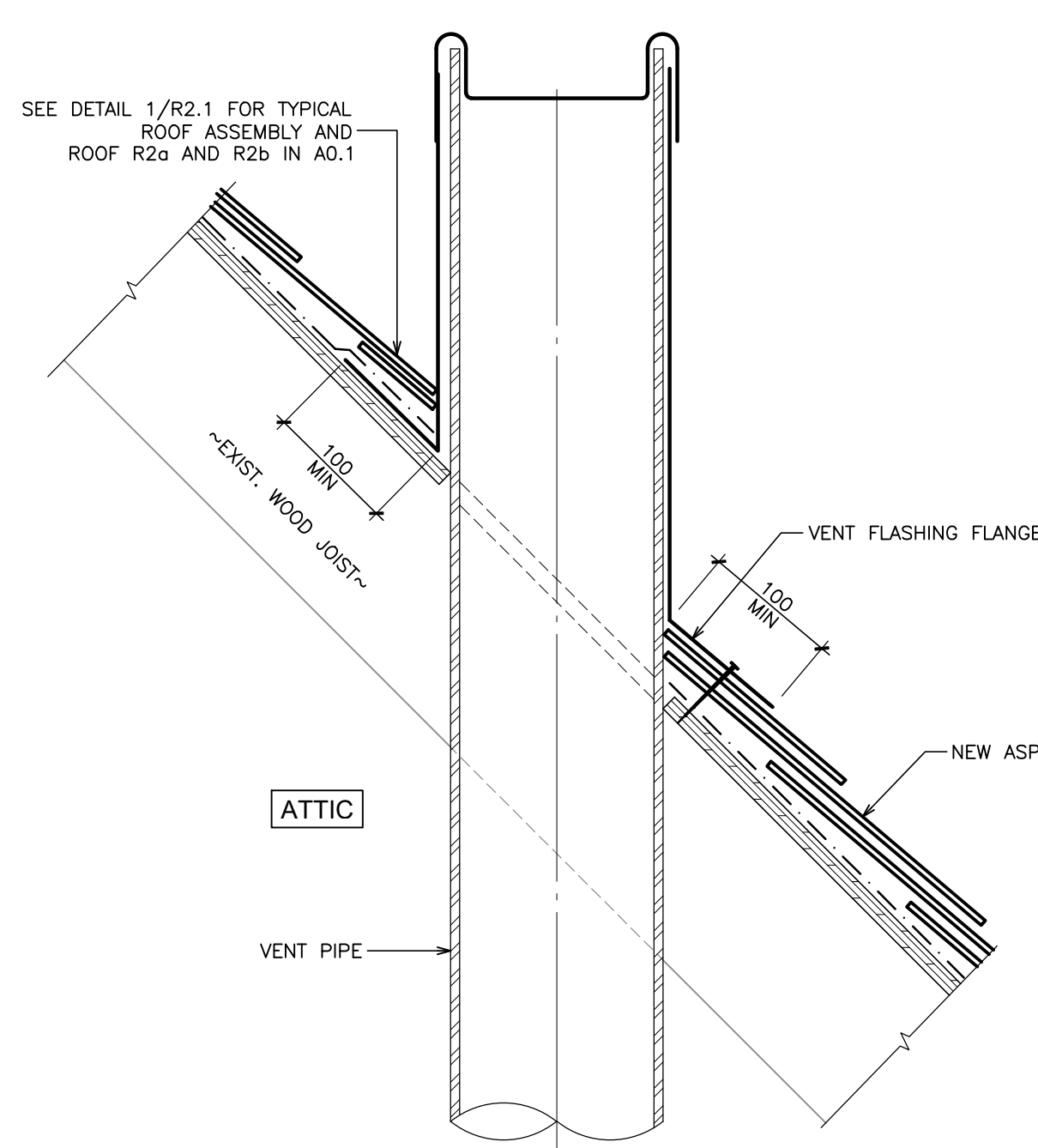
4
R2.1
SOAKER FLASHING DETAIL
N.T.S.



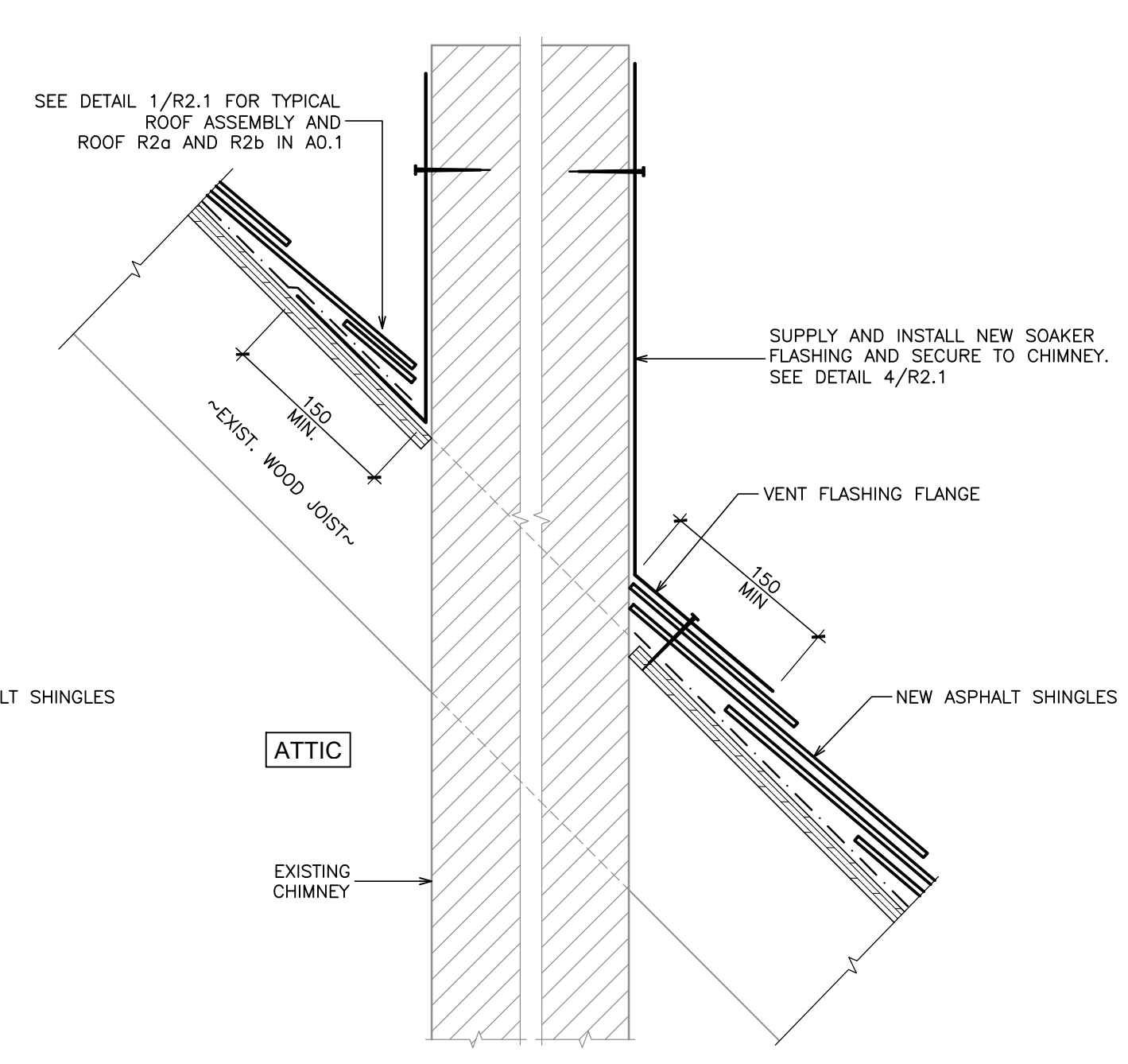
6
R2.1
TYPICAL METAL FLASHING DETAIL AT WOOD FASCIA
N.T.S.



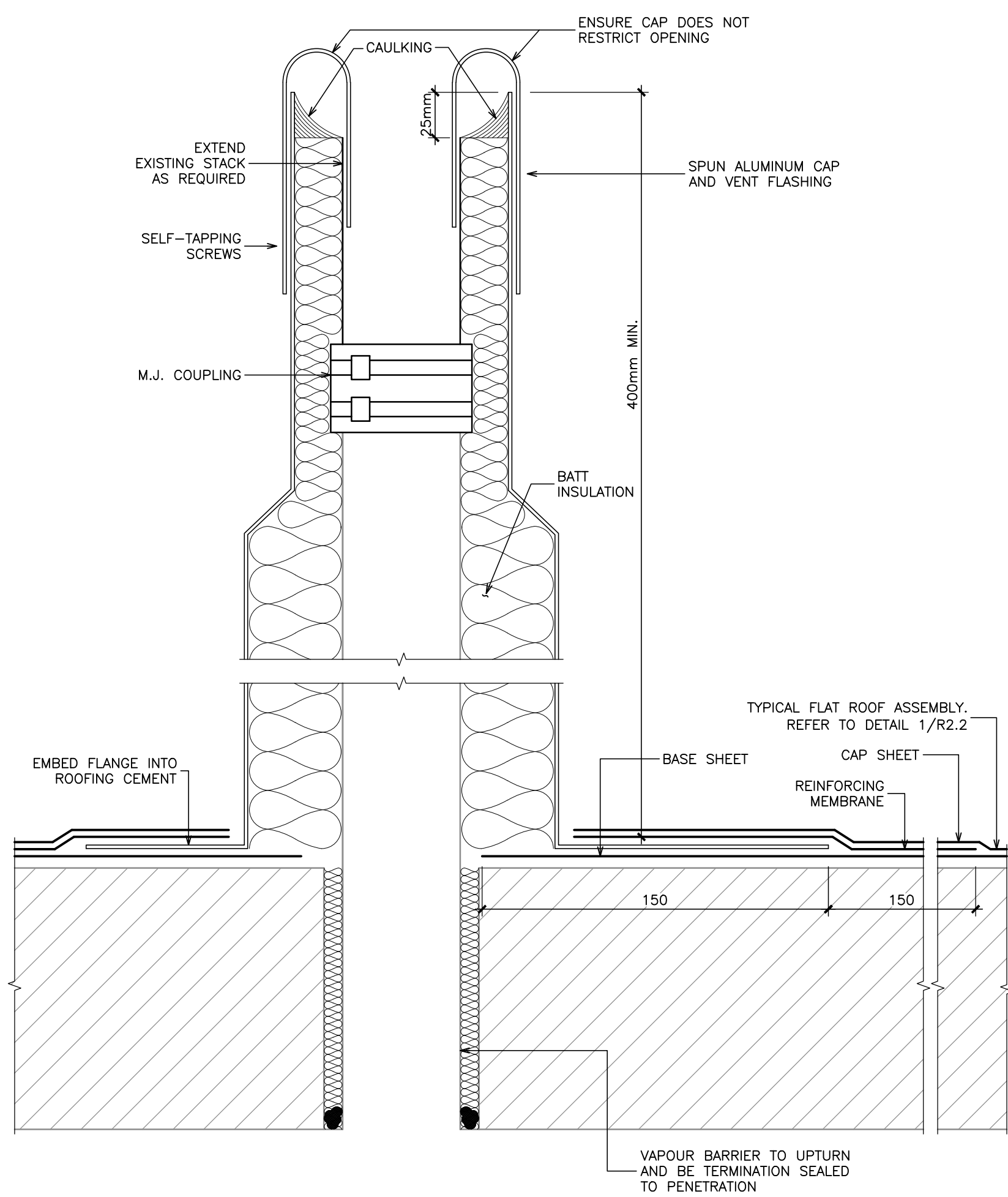
7
R2.1
TYPICAL FLAT ROOF TO SLOPED ROOF UPTURN DETAIL
1:10



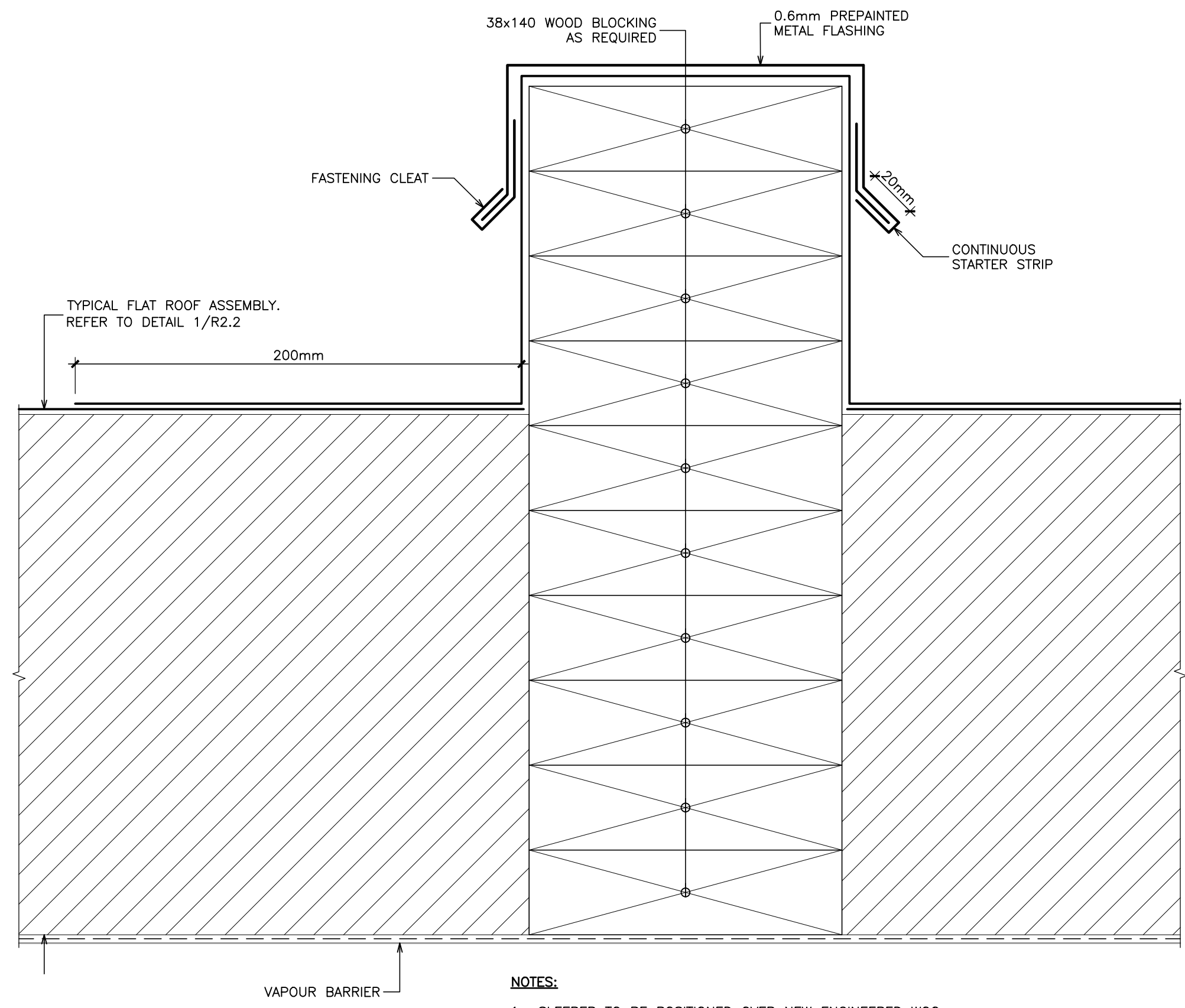
9
R2.1
TYPICAL ROOF VENT PIPE DETAIL
1:5



8
R2.1
TYPICAL CHIMNEY DETAIL
1:5

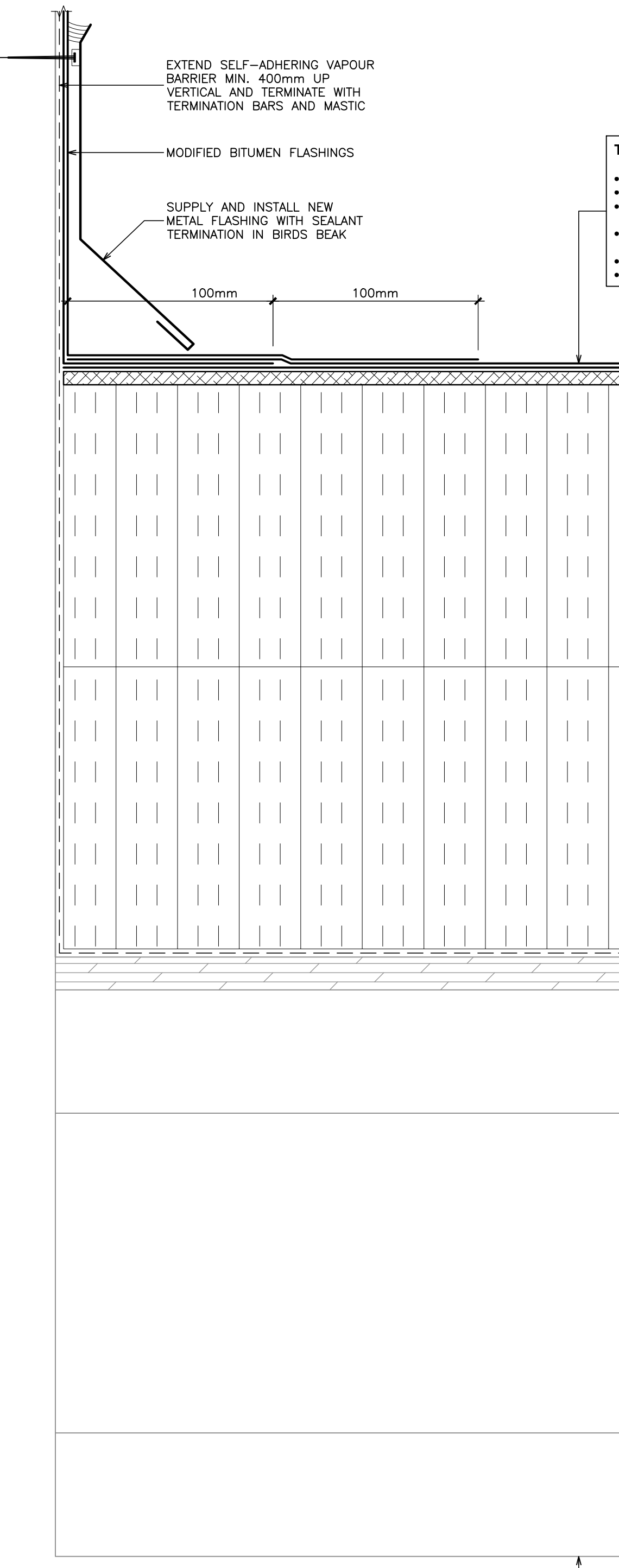


3
R2.2 TYPICAL VENT STACK
1:2



- NOTES:**
1. SLEEPER TO BE POSITIONED OVER NEW ENGINEERED WOOD JOISTS AT ROOF STRUCTURE LEVEL.
 2. COORDINATE INSTALLATION WITH RTU SUPPORT LAYOUT AND MANUFACTURER'S REQUIREMENTS.

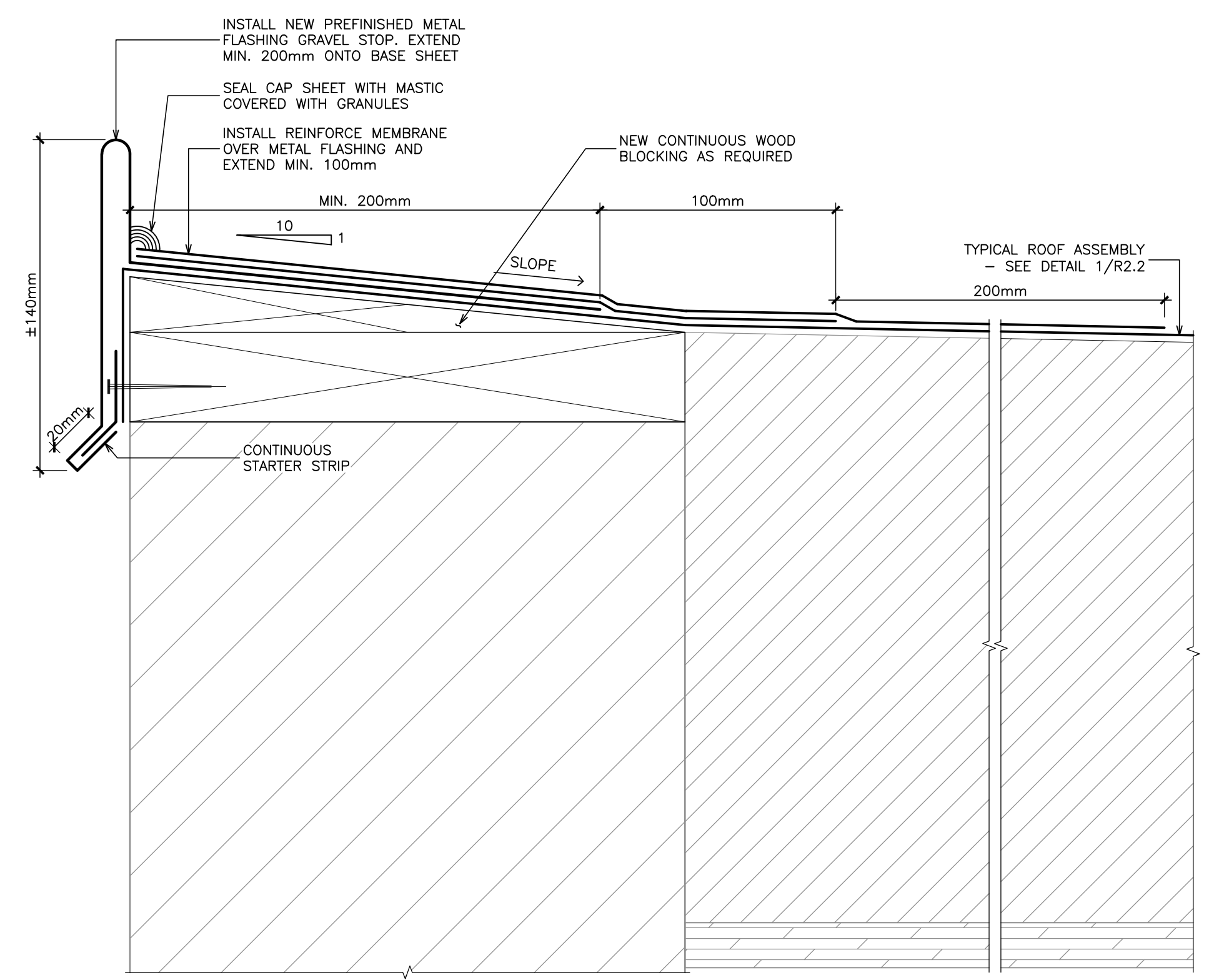
2
R2.2 TYPICAL SLEEPER FOR HRV UNIT
1:2



- TYPICAL ASSEMBLY**
- 2-PLY MODIFIED BITUMEN MEMBRANE
 - 6.4mm PROTECTION BOARD
 - 279mm POLY-ISO INSULATION INSTALLED IN 2 LAYERS
 - SELF-ADHERED VAPOUR BARRIER MEMBRANE
 - 16mm GYPSUM BOARD SHEATHING
 - EXISTING 38x286 DP. WOOD FRAMING

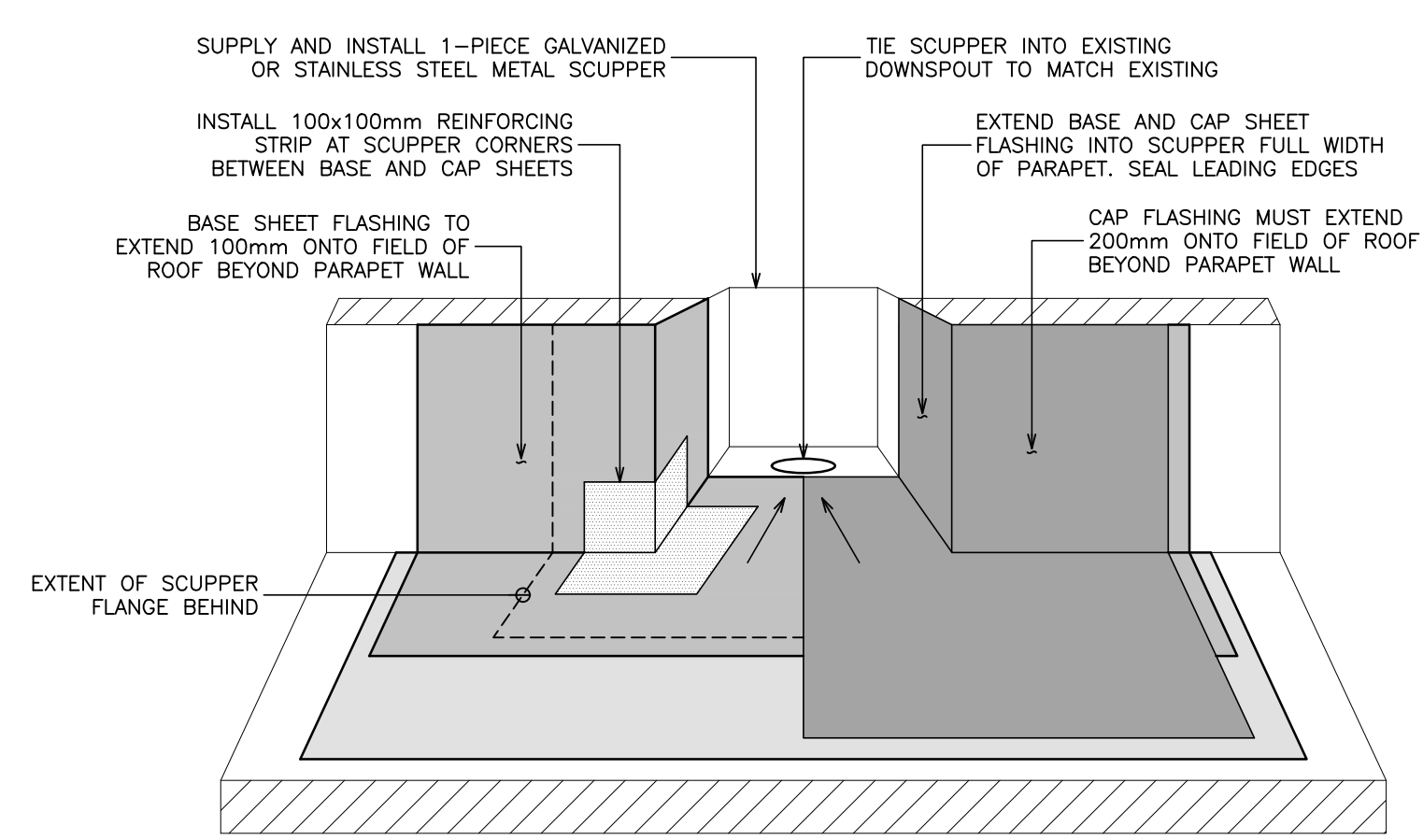
- NOTE:**
1. SLOPED INSULATION CRICKETS REQUIRED IN LOCAL AREAS.

1
R2.2 TYPICAL FLAT ROOF ASSEMBLY
1:2



- NOTE:**
1. FACE OF PARAPET TO BE CONSISTENT.

5
R2.2 TYPICAL PARAPET DETAIL
1:2

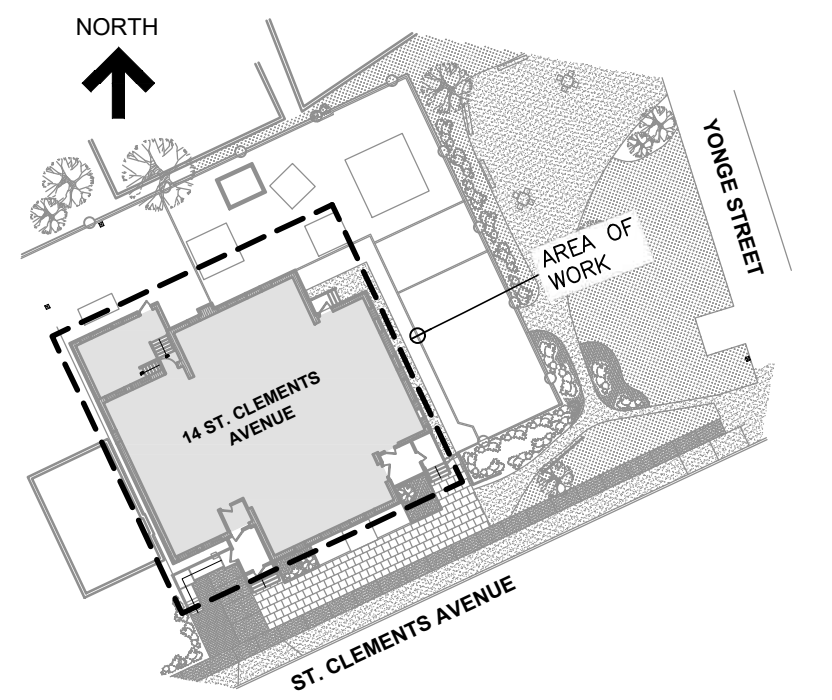


- NOTES:**
1. HORIZONTAL FLANGE OF WELDED WATERTIGHT SCUPPER MUST BE COMPLETELY SUPPORTED BY WOOD.
 2. ALL MASONRY AND METAL SURFACES MUST BE PRIMED WITH AN ASTM D411 OR CGSB 37-GP-9 ASPHALT PRIMER.
 3. ALL METAL SURFACES TO BE PRIMED IN ACCORDANCE WITH MEMBRANE MANUFACTURER REQUIREMENTS.
 4. SCHEMATIC SHOWS MEMBRANE INSTALLATION DESIGN INTENT ONLY. PARAPET CONFIGURATION DIFFERS ON SITE.

4
R2.2 TYPICAL SCUPPER DETAIL
N.T.S.



Read Jones Christoffersen Ltd.
Engineers
rjc.ca
100 University Avenue,
North Tower, Suite 300
Toronto, ON M5J 1V6 Canada
tel 416-977-5335
email toronto@rjc.ca



KEY PLAN

No.	Revision	Date	By
5.	ISSUED FOR TENDER	Sept. 20, 24	D.R.
4.	ISSUED FOR BUILDING PERMIT	Sept. 20, 24	D.R.
3.	ISSUED FOR TENDER	May 13, 24	D.R.
2.	ISSUED FOR CLIENT REVIEW	May 13, 24	D.R.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr. 17, 24	D.R.

Drawing Notes

1. All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of services for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
2. These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
3. Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

No.	Revision	Date	By

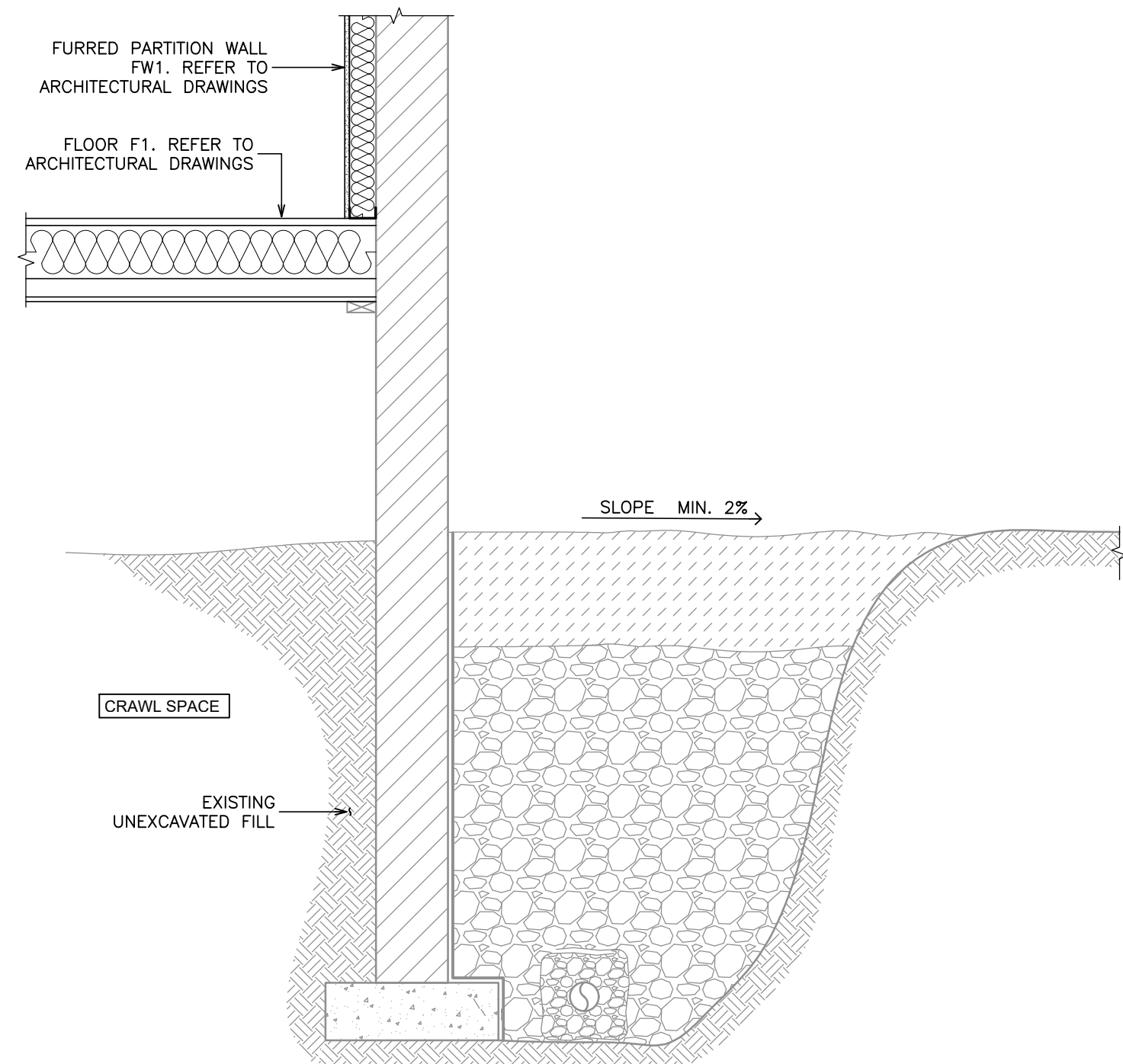
Project Name
Upper Yonge Village Daycare Centre
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title

SECTIONS AND DETAILS
Drawn By K.V. Scale AS NOTED
Designed By T.S./D.C. Date September, 2024
RJC Project Number **TOR.122940.0001**
Sheet Number Revision

R2.2

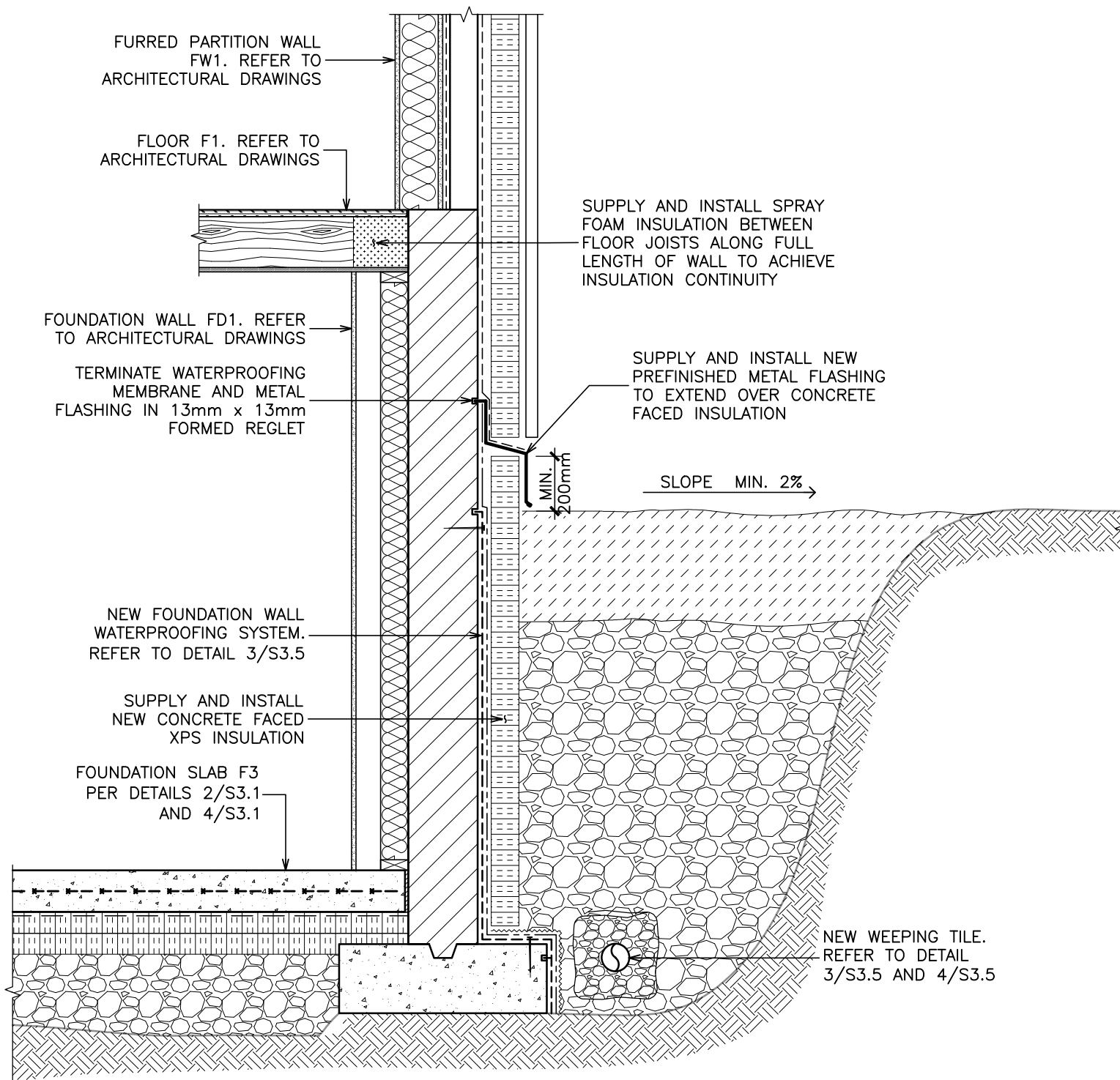


NOTE:

1. AIR CONTROL LAYER TO BE CONTINUOUS AND TIE-IN BETWEEN ALL ASSEMBLIES.

EXISTING EXTERIOR BRICK FOUNDATION WALL (UNEXCAVATED AREAS)

3
R2.3
N.T.S.

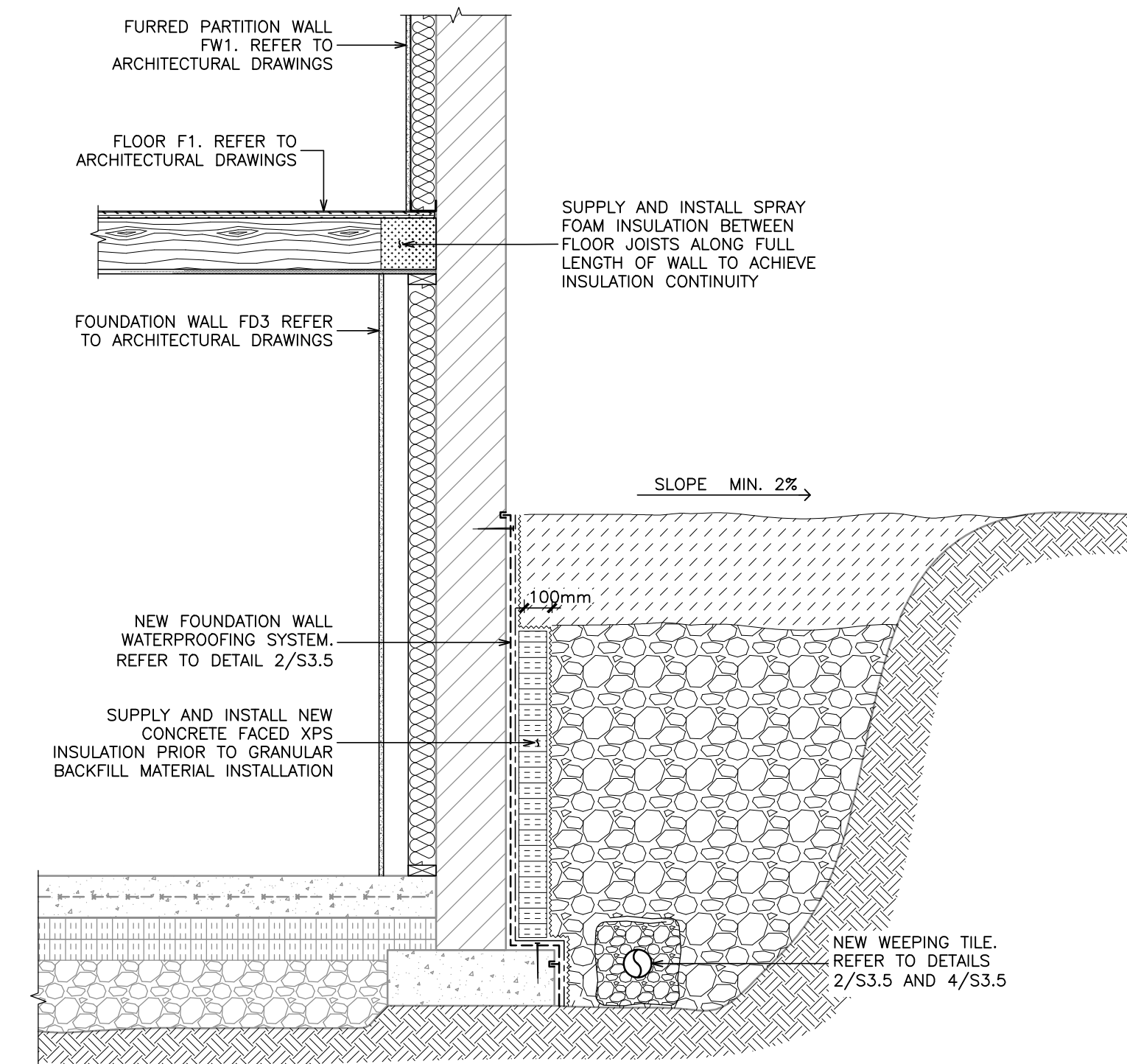


NOTE:

1. AIR CONTROL LAYER TO BE CONTINUOUS AND TIE-IN BETWEEN ALL ASSEMBLIES.
2. NEW EXTERIOR STAIRS NOT SHOWN

NEW EXTERIOR WALL ABOVE NEW CONCRETE FOUNDATION WALL (NORTHWEST ADDITION)

2
R2.3
N.T.S.



NOTE:

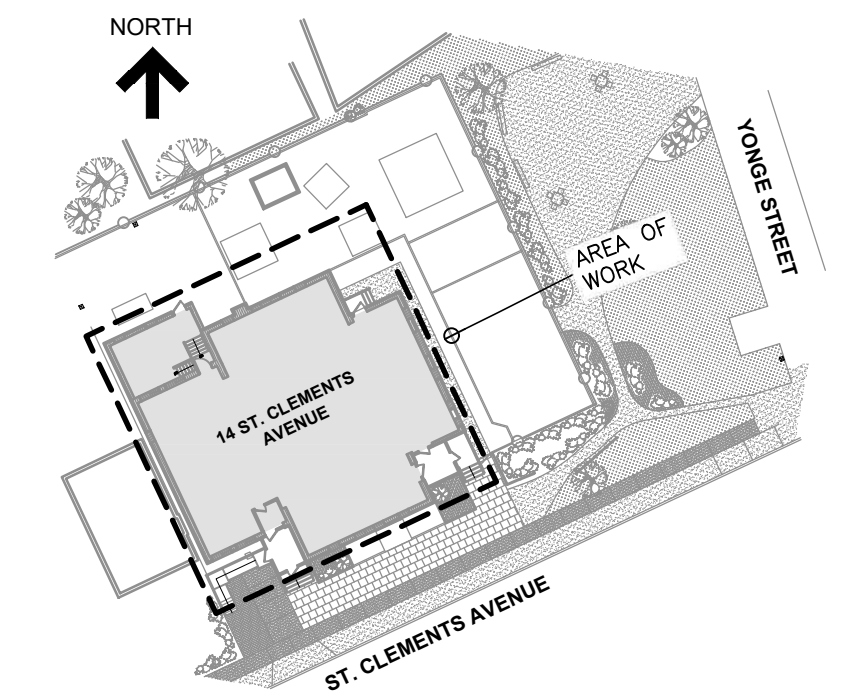
1. AIR CONTROL LAYER TO BE CONTINUOUS AND TIE-IN BETWEEN ALL ASSEMBLIES.

EXISTING EXTERIOR BRICK FOUNDATION WALL

1
R2.3
N.T.S.



Read Jones Christoffersen Ltd.
Engineers
rjc.ca
100 University Avenue,
North Tower, Suite 300
Toronto, ON M5J 1V6 Canada
tel 416-977-5335
email toronto@rjc.ca



KEY PLAN

No.	Revision	Date	By
5.	ISSUED FOR TENDER	Sept. 20, 24	D.R.
4.	ISSUED FOR BUILDING PERMIT	Sept. 20, 24	D.R.
3.	ISSUED FOR TENDER	May 13, 24	D.R.
2.	ISSUED FOR CLIENT REVIEW	May 13, 24	D.R.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr. 17, 24	D.R.

Drawing Notes

1. All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of services for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
2. These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
3. Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal

Project Name
Upper Yonge Village Daycare Centre
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title

SECTIONS AND DETAILS

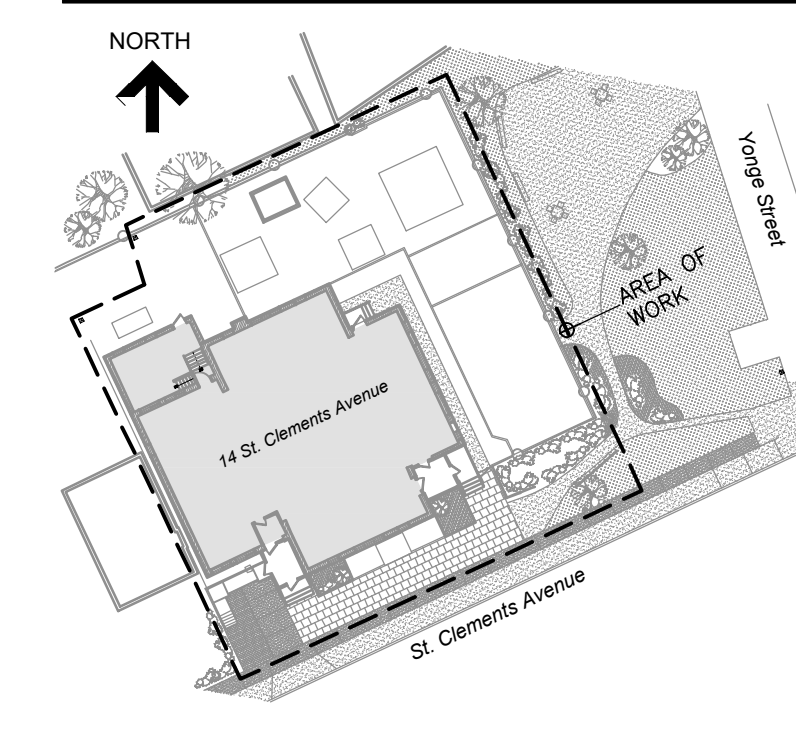
Drawn By K.V. Scale AS NOTED

Designed By T.S./D.C. Date September, 2024

RJC Project Number TOR.122940.0001

Sheet Number Revision

R2.3



KEY PLAN

1.0 STRUCTURAL ABBREVIATIONS/ DEFINITIONS

1. ABBREVIATIONS:

A.B. ---- ANCHOR BOLT	HORIZ. --- HORIZONTAL
B.L.L. ---- BOTTOM LOWER LAYER	H.D.G. --- HOT DIPPED GALVANIZED
BOT. ---- BOTTOM	JT. ---- JOINT
B.U.L. ---- BOTTOM UPPER LAYER	L.G. ---- LONG
C.B. ---- CATCH BASIN	L.L. ---- LIVE LOAD
C.C. ---- CENTRE-TO-CENTRE	L.M. ---- LIVE LOAD MECH.
C.I.P. ---- CAST IN PLACE	MAX. ---- MAXIMUM
C.J. ---- CONTROL JOINT	MECH. ---- MECHANICAL
CL. ---- CENTER LINE	MIN. ---- MINIMUM
CLR. ---- CLEAR	N.I.C. ---- NOT IN CONTRACT
CONC. ---- CONCRETE	N.T.S. ---- NOT TO SCALE
CONT. ---- CONTINUOUS	O.C. ---- ON CENTRE
C/W ---- COMPLETE WITH	OPP. ---- OPPOSITE
D.L. ---- DEAD LOAD	R/W ---- REINFORCED WITH
D.O. ---- DEAD OVER - (DITTO)	S.D.L. ---- SUPERIMPOSED DEAD LOAD
D.P. ---- DEEP (I.E. DEPTH OF BEAM)	SIM. ---- SIMILAR
E.E. ---- EACH END	S.O.G. ---- SLAB ON GRADE
E.F. ---- EACH FACE	STAG. ---- STAGGER
E.S. ---- EACH SIDE	STR. ---- STIRRUP
E.WAY ---- EACH WAY	SYM. ---- SYMMETRICAL
F.D. ---- FLOOR DRAIN	T.L.L. ---- TOP LOWER LAYER
F.H.C. ---- FIRE HOSE CABINET	TY. ---- TYPICAL
GALV. ---- GALVANIZED	T & B ---- TOP AND BOTTOM
G.L. ---- GRID LINE	T & C ---- TENSION AND COMPRESSION
H.1.E. ---- HOOK ONE END	T.U.L. ---- TOP UPPER LAYER
H.2.E. ---- HOOK 2 ENDS	U.N.O. ---- UNLESS NOTED OTHERWISE
H & V ---- HORIZONTAL AND VERTICAL	U/S ---- UNDERSIDE
	VERT. ---- VERTICAL

2. DEFINITIONS:

A. CONTINUOUS: FULL TENSION SPLICE AND TENSION DEVELOPMENT LENGTH.

B. EMBEDMENT: UNLESS NOTED OTHERWISE COMPRESSION EMBEDMENT MEANS A COMPRESSION DEVELOPMENT LENGTH AND TENSION EMBEDMENT MEANS A TENSION DEVELOPMENT LENGTH AS PER CAN/CSA-A23.3 AND AS SHOWN ON THESE GENERAL NOTES DRAWINGS.

2.0 OPENINGS AND NOTCHES

1. ANY OPENINGS THAT ARE NOT SHOWN OR INDICATED ON THE STRUCTURAL DRAWINGS SHALL BE REPORTED TO THE CONSULTANT FOR REVIEW. THESE OPENINGS MAY NOT BE ALLOWED, MAY HAVE TO BE MOVED, OR MAY REQUIRE ADDITIONAL STRUCTURAL WORK AND DETAILING. DO NOT PROCEED WITH THESE OPENINGS WITHOUT WRITTEN PERMISSION FROM THE CONSULTANT.

2. UNLESS NOTED OTHERWISE ON THE STRUCTURAL DRAWINGS, THE CORING OR CUTTING OF OPENINGS AND HOLES SHOWN ON THE STRUCTURAL DRAWINGS THROUGH THE EXISTING STRUCTURE SHALL NOT CUT ANY REINFORCING BARS, JOISTS, ETC. THE CONTRACTOR SHALL LOCATE THE POSITION OF EXISTING REINFORCING BARS, JOISTS, ETC. IN THE VICINITY OF THE HOLES AND SLEEVES TO BE CUT OR CORED, AND THE HOLES AND SLEEVES SHALL BE LOCATED TO AVOID CUTTING OF REINFORCING BARS, JOISTS, ETC. WHERE THIS IS NOT POSSIBLE, IT SHALL BE REPORTED TO THE CONSULTANT FOR REVIEW.

3. NEW OPENINGS TO BE CUT THROUGH EXISTING FLOORS OR WALLS SHALL BE CLEARLY MARKED OUT BY THE CONTRACTOR, THE CONTRACTOR SHALL NOTIFY THE CONSULTANT ONCE THE MARKING OUT HAS BEEN COMPLETED SO THAT THE CONSULTANT CAN REVIEW THE PROPOSED LOCATIONS OF ALL NEW OPENINGS, DO NOT PROCEED WITH CUTTING OF NEW OPENINGS WITHOUT THE APPROVAL OF THE CONSULTANT.

4. UNLESS NOTED OTHERWISE ON THE DRAWINGS NEW STRAIGHT SIDED OPENINGS SHALL BE CUT WITH NO OVERCUTS, USE CORED HOLES AT THE CORNERS, REFER TO THE DETAILS AND PROCEDURES INDICATED ON THE STRUCTURAL DRAWINGS FOR THE NEW OPENINGS. ALTERNATES TO THE ABOVE PROCEDURES MUST BE REVIEWED BY RJC PRIOR TO THE START OF DEMOLITION OR CONSTRUCTION.

5. UNLESS NOTED OTHERWISE AT ALL LOCATIONS WHERE NEW CONCRETE WILL BE IN CONTACT WITH EXISTING CONCRETE SURFACES, THE EXISTING CONCRETE SURFACE IS TO BE COMPLETELY CLEANED AND ROUGHENED BY BUSH HAMMERING (OR APPROVED EQUAL) TO AN AMPLITUDE OF 6mm.

6. FASTENING TO EXISTING MATERIALS:

UNLESS NOTED OTHERWISE, THE FOLLOWING REQUIREMENTS APPLY TO ALL CONNECTIONS BETWEEN EXISTING AND NEW MATERIALS:

A. USE ONLY SPECIFIED PRODUCTS.

B. ON SITE TRAINING - THE CONTRACTOR SHALL RETAIN A MANUFACTURER'S REPRESENTATIVE TO PROVIDE ON-SITE ANCHOR INSTALLATION TRAINING FOR ALL PROPRIETARY PRODUCTS SPECIFIED. THE CONTRACTOR'S PERSONNEL MUST BE TRAINED PRIOR TO THE COMMENCEMENT OF INSTALLING ANCHORS.

C. THE CONTRACTOR IS TO RETAIN A THIRD PARTY MATERIALS TESTING AGENCY EXPERIENCED WITH THE INSTALLATION OF ANCHORS TO PROVIDE AN ON-GOING SERVICE OF ON-SITE QUALITY CONTROL REVIEWS TO ENSURE THAT ANCHORS ARE BEING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS AND INSTALLATION PROCEDURES. QUALITY ASSURANCE REPORTS FROM THE TESTING AGENCY ARE TO BE SUBMITTED TO THE CONSULTANT AFTER EACH SITE VISIT. AT THE END OF THE PROJECT, THE TESTING AGENCY IS TO PROVIDE A LETTER SIGNED BY A REGISTERED ENGINEER LICENSED TO PRACTICE IN ONTARIO STATING THAT THE GENERAL INSTALLATION OF ANCHORS FOR THE PROJECT IS IN ACCORDANCE WITH THE RECOMMENDED INSTALLATION PRACTICE AS SPECIFIED BY THE MANUFACTURER.

D. A REPRESENTATIVE SAMPLE OF ANCHORS IS TO BE TESTED FOR EACH TYPE OF ANCHOR SPECIFIED. TESTING SHALL BE CARRIED OUT BY A TESTING AGENCY APPOINTED AND PAID FOR BY THE CONTRACTOR USING THE MATERIAL TESTING ALLOWANCE. ANCHORS WHICH FAIL THE LOAD TEST SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S COST. IF THE FAILURE RATE EXCEEDS 1 IN 10 FOR A TYPE OF ANCHOR, ALL ANCHORS ARE TO BE TESTED.

3.0 NON-STRUCTURAL ELEMENTS

1. "NON-STRUCTURAL" OR "SECONDARY STRUCTURAL" ELEMENTS ARE NOT INCLUDED IN THIS DESIGN WHERE REQUIRED TO EXECUTE THE WORK SHOWN ON THESE DRAWINGS. REMOVE SECONDARY STRUCTURAL ELEMENTS AND REINSTALL IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.

2. EXAMPLES OF "NON-STRUCTURAL" OR "SECONDARY STRUCTURAL" ELEMENTS INCLUDE, BUT ARE NOT LIMITED TO:

A. ARCHITECTURAL COMPONENTS SUCH AS GUARDRAILS, HANDRAILS, CANOPIES, CEILING, MILLWORK, ETC.

B. LANDSCAPE ELEMENTS SUCH AS BENCHES, LIGHT POSTS, PLANTERS, ETC.

C. GLAZING, WINDOWS, INTERIOR STUD WALLS AND EXTERIOR STUD WALLS

D. MECHANICAL AND ELECTRICAL EQUIPMENT AND THEIR COMPONENTS

E. NON-LOAD BEARING MASONRY

3. SHOP DRAWINGS FOR "NON-STRUCTURAL" OR "SECONDARY STRUCTURAL" ELEMENTS WHICH MAY AFFECT THE PRIMARY BUILDING ENVELOPE OR STRUCTURAL SYSTEMS SHALL BE SUBMITTED TO THE CONSULTANT THESE DRAWINGS WILL BE REVIEWED ONLY FOR THE EFFECT OF THE ELEMENT ON THE PRIMARY BUILDING ENVELOPE OR STRUCTURAL SYSTEMS.

4.0 CONCRETE FORMWORK STRIPPING

1. REFER TO SPECIFICATION SECTION 03 10 00 - CONCRETE FORMWORK FOR ADDITIONAL REQUIREMENTS.

2. THE DESIGN AND FIELD REVIEW OF FORMWORK, SHORING AND RESHORING IS THE RESPONSIBILITY OF THE CONTRACTOR. FORMWORK, SHORING AND RESHORING DRAWINGS SHALL BE SUBMITTED TO THE CONSULTANT FOR REVIEW FOR THE EFFECT ON THE BASE BUILDING STRUCTURE ONLY.

3. NO FORMWORK, SHORING, NOR RE-SHORING SHALL BE REMOVED BEFORE CONCRETE HAS REACHED 75% OF THE 28 DAY STRENGTH.

4. STRENGTH OF CONCRETE FOR STRIPPING TO BE DETERMINED BY USING CYLINDERS STORED ON SITE IN A PROTECTED ENCLOSURE THAT MAINTAINS A SIMILAR TEMPERATURE AND HUMIDITY AS THE STRUCTURAL ELEMENTS REPRESENTED. ALTERNATE METHODS, IF ACCEPTABLE TO THE CONSULTANT, MAY BE USED.

5. SHORING:

A. SHORING TO BE INSTALLED TO SLAB-ON-GRADE LEVEL.

B. LOADING APPLIED TO COMPONENTS OF THE BASE BUILDING STRUCTURE BY THE FORMWORK SHORES OR RESHORES SHALL NOT EXCEED THE DESIGN LOAD FOR THOSE BASE BUILDING COMPONENTS.

C. AT NO TIME SHALL THE FACTORED CONSTRUCTION LOAD EXCEED THE FACTORED DESIGN LOAD OF THE STRUCTURAL ELEMENTS ON FLOORS.

5.0 CONCRETE

1. CONCRETE PROPERTIES ARE SPECIFIED IN SECTION 03 30 00.

2. CONTRACTOR IS RESPONSIBLE FOR WORKING WITH THE CONCRETE SUPPLIER TO ENSURE THAT THE PLASTIC AND HARDENED MIX PROPERTIES MEET SITE REQUIREMENTS FOR PLACING, FINISHING, AND THE SPECIFIED PERFORMANCE REQUIREMENTS.

3. THE SUPPLIER SHALL MEET ALL CERTIFICATION AND DOCUMENTATION REQUIREMENTS AS OUTLINED UNDER THE "PERFORMANCE" ALTERNATE OF TABLE 5 OF A23.

4. THE CONCRETE SUPPLIER SHALL BE CERTIFIED BY THE READY MIXED CONCRETE ASSOCIATION OF ONTARIO.

5. AT THE REQUEST OF THE OWNER, THE SUPPLIER WILL FURNISH TEST DATA RESULTS FOR EACH PROPOSED MIX DESIGN DEMONSTRATING THAT THEY MEET THE STRENGTH, DURABILITY, AND SHRINKAGE REQUIREMENTS SPECIFIED.

6. FOR 56 DAYS STRENGTH SPECIFICATIONS, THE SUPPLIER WILL FURNISH THE OWNER WITH ACCELERATED STRENGTH TEST DATA FOR EACH PROPOSED MIX DESIGN, OR OTHER DOCUMENTATION ACCEPTABLE TO THE OWNER, SUCH THAT THE ANTICIPATED 56 DAYS STRENGTH OF THE MIX AS PLACED ON SITE CAN BE EVALUATED WITHIN 14 DAYS OF PLACEMENT.

7. CURING OF CONCRETE TO MEET THE REQUIREMENTS OUTLINED IN SECTION 03 30 00. CURING COMPOUNDS ARE NOT PERMITTED.

8. ALL EXPOSED EDGES TO BE CHAMFERED 20mm x 20mm. ALL EDGES TO BE TOOLED UNLESS NOTED OTHERWISE. SEE ALSO SPECIFICATIONS FOR OTHER FINISH REQUIREMENTS.

9. NO CALCIUM CHLORIDE IS PERMITTED, IN ANY FORM, IN ANY CONCRETE MIX WITHOUT THE EXPRESS WRITTEN CONSENT OF READ JONES CHRISTOFFERSEN LTD.

10. CURING AND PROTECTION OF CONCRETE FOR HOT, COLD OR DRY WEATHER IS TO BE AS PER CLAUSES 7.4.1.8 AND 7.4.2 OF CAN/CSA-A23 AS A MINIMUM. REFER TO SECTION 03 30 00 AND CONCRETE COLD WEATHER REQUIREMENTS NOTES FOR ADDITIONAL REQUIREMENTS.

6.0 CONCRETE COLD WEATHER REQUIREMENTS

(SEE ALSO CAN/CSA-A23.1, CLAUSE 7.4.2.5, EXCEPT THE FOLLOWING MINIMUM REQUIREMENTS MUST ALSO BE MET)

1. FORECASTED AIR TEMPERATURE AT OR BELOW 5°C

A. THE AGGREGATE OR MIXING WATER SHALL BE HEATED TO MAINTAIN A MINIMUM CONCRETE TEMPERATURE OF 10°C.

B. CONCRETE SHALL NOT BE PLACED ON OR AGAINST ANY SURFACE WHICH IS AT A TEMPERATURE LESS THAN 5°C.

C. CONTRACTOR SHALL BE PREPARED TO COVER CONCRETE IF UNEXPECTED DROP IN AIR TEMPERATURE SHOULD OCCUR.

D. CONCRETE TEMPERATURE SHALL BE MAINTAINED ABOVE 10°C FOR AT LEAST 7 DAYS OR UNTIL THE CONCRETE REACHES 70% OF SPECIFIED STRENGTH.

2. FORECASTED AIR TEMPERATURE BELOW 2°C BUT NOT BELOW -4°C

A. FORMS AND STEEL SHALL BE FREE FROM ICE AND SNOW.

B. THE AGGREGATE OR MIXING WATER SHALL BE HEATED TO GIVE A MINIMUM CONCRETE TEMPERATURE OF 10°C AT POINT OF POUR.

C. CONCRETE SHALL NOT BE PLACED ON OR AGAINST ANY SURFACE WHICH IS AT A TEMPERATURE OF LESS THAN 5°C.

D. CONCRETE SHALL BE COVERED WITH CANVAS OR SIMILAR, KEPT A FEW INCHES CLEAR OF SURFACE.

E. IN WINDY WEATHER, WORK AREA SHALL BE ENCLOSED.

F. PROTECTION SHALL BE MAINTAINED FOR AT LEAST THE SPECIFIED CURING PERIOD.

G. CONCRETE TEMPERATURE SHALL BE MAINTAINED ABOVE 10°C FOR AT LEAST THE SPECIFIED CURING PERIOD.

3. FORECASTED AIR TEMPERATURE BELOW -4°C

A, B, C, D, AS UNDER POINT 2.

E. WORK AREA AND AREAS BELOW (IF APPLICABLE) SHALL BE ENCLOSED AND ARTIFICIAL HEAT PROVIDED. HEATING TO BE STARTED AT LEAST ONE HOUR AHEAD OF POURING AND MAINTAINED FOR A MINIMUM OF THE SPECIFIED CURING PERIOD.

F. TEMPERATURE OF THE CONCRETE AT ALL SURFACES SHALL BE KEPT AT A MINIMUM OF 20°C FOR 3 DAYS, OR 10°C FOR 7 DAYS. CONCRETE SHALL BE KEPT ABOVE FREEZING TEMPERATURES UNTIL IT REACHES 70% OF ITS SPECIFIED STRENGTH.

G. ENCLOSURE MUST BE CONSTRUCTED SO THAT AIR CAN CIRCULATE OUTSIDE THE OUTER EDGES AND MEMBERS.

H. REINFORCING TO BE COVERED AND WARMED TO MAINTAIN ITS TEMPERATURE AT 0°C OR HIGHER AT THE TIME OF CONCRETE PLACEMENT.

7.0 CONDUITS, PIPES AND SLEEVES EMBEDDED IN CONCRETE

1. PIPES, CONDUITS, AND SLEEVES SHALL NOT BE EMBEDDED IN NEW CONCRETE. ALL CONDUITS, PIPING, DUCTS, ETC. SHALL BE MOUNTED TO THE SOFFIT AND VERTICAL SURFACES, AND SHALL BE INSTALLED IN ACCORDANCE WITH CSA A23.1 CLAUSE 6.7.5.

8.0 CONCRETE CONSTRUCTION TOLERANCES

(TOLERANCES AS PER CAN/CSA-A23.1 CLAUSE 6.4.2, EXCEPT AS NOTED BELOW.)

CLOSER TOLERANCES SHALL BE MAINTAINED WHERE DETAILING OR OTHERS REQUIRE. WHERE ANY DEVIATION OCCURS, AND IT IS ACCEPTABLE TO THE CONSULTANT, THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTMENT OF OTHER BUILDING ELEMENTS TO ACCOMMODATE SUCH DEVIATION. COSTS FOR REMEDIAL WORK FOR DEVIATIONS NOT ACCEPTED SHALL BE BOURNE BY THE CONTRACTOR.

1. VARIATION FROM THE PLUMB.

A. IN THE LINES AND SURFACES OF WALLS AND IN ARRISES; 0.25% OF HEIGHT (1 IN 400), MAXIMUM 38mm OVER THE ENTIRE HEIGHT OF THE STRUCTURE. ONLY ONE CURVATURE ALLOWED PER 3000mm. THE TOLERANCE GIVEN IS THE MAXIMUM VARIATION FROM A PLUMB LINE. ALL MEASUREMENTS SHALL BE TO THE SAME SIDE OF THE PLUMB LINE.

B. UNLESS SPECIFIED ELSEWHERE IN THE CONSTRUCTION DOCUMENTS - THE TOLERANCES FOR EXPOSED CORNERS, CONTROL JOINT GROOVES, AND OTHER CONSPICUOUS LINES SHALL BE: (SEE ALSO ELEVATOR SHOP DRAWINGS ETC.)

0.125% OF HEIGHT (1 IN 800), MAXIMUM 19mm. ONLY ONE CURVATURE ALLOWED PER 6000mm. MAXIMUM VARIATION IN WINDOW BAYS 0.2% OF OPENING.

2. UNLESS SPECIFIED ELSEWHERE, FLOOR FINISHES SHALL BE CLASS A "INSTITUTIONAL AND COMMERCIAL FLOOR" ± 8mm PER 3000mm.

ONLY ONE CURVATURE ALLOWED IN 3000mm.

CLOSER TOLERANCES MAY BE REQUIRED TO GIVE THE QUALITY OF FINISH FLOOR SURFACES CALLED FOR ELSEWHERE IN THE CONTRACT DOCUMENTS.

3. VARIATIONS OF STRUCTURAL CONCRETE ELEMENTS RELATED TO EACH OTHER AND RELATIVE TO A REFERENCED GRID SYSTEM FOR PLAN DIMENSIONS TO MEET CLAUSE 6.4.6 OF CAN/CSA-A23.1.

4. VARIATION IN CROSS-SECTIONAL DIMENSIONS OF WALLS AND IN THE THICKNESS OF SLABS AND WALLS: AS IN CAN/CSA-A23.1.

ONLY ONE CURVATURE ALLOWED PER 3000mm.

5. FOOTINGS:

A. VARIATION IN DIMENSIONS IN PLAN:

MINUS ----- 10mm

PLUS ----- 50mm

B. MISPLACEMENT OR ECCENTRICITY:

TWO (2) PERCENT OF THE FOOTING WIDTH IN THE DIRECTION OF MISPLACEMENT

NOT MORE THAN ----- 50mm

C. REDUCTION IN THICKNESS:

MINUS ----- 5% OF SPECIFIED THICKNESS

6. THE ABOVE REQUIREMENTS DO NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY OF MEETING MORE RIGID REQUIREMENTS SPECIFIED ELSEWHERE IN THE CONTRACT DOCUMENTS OR AS REQUIRED BY SHOP DRAWINGS OR SPECIFICATIONS.

9.0 CONCRETE REINFORCEMENT

1. REINFORCEMENT SHALL CONFORM TO THE REQUIREMENTS INDICATED IN THE RELEVANT SPECIFICATION SECTION. UNLESS OTHERWISE NOTED, CONCRETE COVER TO REINFORCEMENT SHALL BE 40mm.

A. FOR FIRE RATINGS.

ELEMENT	FIRE RATINGS	
	0-2 HOURS	3 HOURS
RETAINING/FOUNDATION WALLS (C-1 EXPOSURE)	INSIDE FACE 40mm (30M=45mm)	40mm (30M=45mm)
	GROUND OR EARTH SIDE	75mm

B. CONCRETE CAST AGAINST EARTH OR GROUND ----- 75mm.

NOTES:

LARGEST COVER REQUIRED GOVERNS.

1. DESIGNATION OF REINFORCING BARS:

A. BARS SHOWN THUS ----- IN BOTTOM OF SLABS OR IN FAR FACE OF WALL

BARS SHOWN THUS ----- IN TOP OF SLABS OR IN NEAR FACE OF WALL

B. STRAIGHT BARS:

6-10M4200 MEANS 6-10M BARS 4200 mm LONG. -----

15M3800 + 15M3200 ALT. @300 MEANS 1-15M3800 BAR THEN 1-15M3200 BAR SPACED 300mm AWAY -----

C. BENT BARS:

6-C15M4000 @300 MEANS 6-15M BARS 4000 mm LONG (LENGTH INCLUDES HOOK LENGTH) HOOKED ONE END WITH 90° STANDARD HOOK AND SPACED AT 300 mm O/C. -----

8-A15M3000 @300 MEANS 8-15M BARS 3000 mm LONG (LENGTH INCLUDES HOOK LENGTH) HOOKED ONE END WITH 180° STANDARD HOOK AND SPACED AT 300 mm O/C. -----

15M @300 H2E MEANS 15M BARS HOOKED BOTH ENDS WITH 90° STANDARD HOOK AND SPACED AT 300 mm O/C. -----

3. DO NOT SUBSTITUTE DEFORMED WIRE FOR REINFORCING BARS WITHOUT PRIOR APPROVAL OF THE CONSULTANT.

4. SUPPORT REINFORCING WITH CHAIRS, ACCESSORIES, OR REINFORCING BARS AS REQUIRED. BARS USED AS SUPPORT BARS SHALL BE CONSIDERED AS ACCESSORIES.

5. PROVIDE SUFFICIENT SUPPORTS TO MAINTAIN CONCRETE COVER AS SPECIFIED. ALL SUPPORTS AND BARS MUST BE TIED TOGETHER TO MAINTAIN REINFORCING STEEL SECURELY IN PLACE DURING CONCRETE PLACEMENT.

6. BAR SUPPORT CHAIRS SHALL BE PLASTIC, PLASTIC COATED, OR PRECAST CONCRETE BLOCKS EQUAL IN QUALITY TO THE CONCRETE SPECIFIED FOR THE STRUCTURE. PLASTIC TIES OR PLASTIC COATED WIRES SHALL BE USED FOR TYING REINFORCEMENT.

7. TESTING OF REINFORCING STEEL SHALL CONFORM TO THE RELEVANT SPECIFICATION SECTIONS.

10.0 EMBEDMENT / DEVELOPMENT LENGTHS AND SPLICE LENGTHS

BASED ON CAN/CSA-A23.3

WHERE EMBEDMENT OR SPLICES ARE DIMENSIONED ON THE DRAWINGS, SUCH DIMENSIONS SHALL APPLY.

WHERE THE DRAWINGS INDICATE A COMPRESSION EMBEDMENT, IT IS A COMPRESSION EMBEDMENT LENGTH AND IT SHALL BE AS NOTED BELOW.

WHERE THE DRAWINGS INDICATE A TENSION EMBEDMENT, IT IS A TENSION EMBEDMENT LENGTH AND SHALL BE AS NOTED BELOW.

WHERE NO EMBEDMENT OR EMBEDMENT TYPE IS CALLED FOR ON THESE DRAWINGS, IT SHALL BE A TENSION EMBEDMENT.

WHERE NO SPLICE OR SPLICE TYPE IS CALLED FOR ON THESE DRAWINGS, IT SHALL BE A TENSION SPLICE.

IN TABLES BELOW, EMBEDMENT LENGTHS ARE SHOWN WITHOUT BRACKETS, AND SPLICE LENGTHS ARE SHOWN IN BRACKETS.

ALL TENSION SPLICE LENGTHS ARE CLASS "B" (1.3d).

COMPRESSION EMBEDMENT AND SPLICE LENGTHS

- COMPRESSION EMBEDMENT REFERS TO THE LENGTH REQUIRED TO PROVIDE THE "COMPRESSION DEVELOPMENT LENGTH" AS DEFINED IN CAN/CSA-A23.3-04 CLAUSE 12.3.2.

- SPLICE LENGTH REFERS TO THE MINIMUM LAP LENGTH REQUIRED FOR A COMPRESSION SPLICE AS DEFINED IN CAN/CSA-A23.3-04 CLAUSE 12.16.1.

CONCRETE STRENGTH	FUNCTION	REBAR DESIGNATION					
		10M	15M	20M	25M	30M	35M
20 MPa	EMBEDMENT	200	290	385	385	580	675
	(SPLICE)	(300)	(440)	(585)	(585)	(880)	(1025)
30 MPa & GREATER	EMBEDMENT	200	265	355	355	530	620
	(SPLICE)	(300)	(440)	(585)	(585)	(880)	(1025)

11.0 DEVELOPMENT OF STANDARD HOOKS IN TENSION

BASED ON CAN/CSA-A23.3-04 CLAUSES 12.5.1, 12.5.2, AND 12.5.3.

CONCRETE STRENGTH	REBAR DESIGNATION					
	10M	15M	20M	25M	30M	35M
20 MPa	225	240	450	560	675	785
25 MPa	200	300	400	500	600	700
30 MPa	185	275	370	460	550	640
35 MPa	170	255	340	425	510	595
40 MPa	160	240	320	400	475	555
45 MPa	150	225	320	375	450	525
59 MPa	150	215	285	355	425	495
55 MPa	150	205	270	340	405	475
60 MPa	150	195	260	325	390	455
65 MPa & GREATER	150	190	250	315	375	440

NOTE: INCREASE TABLE LENGTHS BY 1.25 FOR Fy=500MPa.

TENSION EMBEDMENT AND SPLICE LENGTHS

- TENSION EMBEDMENT REFERS TO THE LENGTH REQUIRED TO PROVIDE A "TENSION DEVELOPMENT LENGTH" AS DEFINED IN CAN/CSA-A23.3-04 CLAUSE 12.2.3.

- SPLICE LENGTH REFERS TO THE MINIMUM LAP LENGTH REQUIRED FOR A CLASS "B" TENSION SPLICE (1.3d) AS PER CAN/CSA-A23.3-04 CLAUSE 12.15.

CASE 1 CONDITIONS

TENSION EMBEDMENT AND SPLICE LENGTHS CONFORMING TO CAN/CSA-A23.3-04 TABLE 12.1 (0.45k₁k₂k₃k₄f_c/f_t) ARE TO BE AS PER THE FOLLOWING TABLE FOR:

CONCRETE STRENGTH	REBAR DESIGNATION					
	10M	15M	20M	25M	30M	35M
20 MPa	225	240	450	560	675	785
25 MPa	200	300	400	500	600	700
30 MPa	185	275	370	460	550	640
35 MPa	170	255	340	425	510	595
40 MPa	160	240	320	400	475	555
45 MPa	150	225	320	375	450	525
59 MPa	150	215	285	355	425	495
55 MPa	150	205	270	340	405	475
60 MPa	150	195	260	325	390	455
65 MPa & GREATER	150	190	250	315	375	440

- WALL HORIZONTAL AND VERTICAL DISTRIBUTED REINFORCING.
- SEE ALSO NOTES ON TOP BARS.
- MEMBERS WHICH DO NOT SATISFY THE ABOVE CONDITIONS SHALL HAVE TENSION EMBEDMENTS AND SPLICES PER THE CASE 2 TABLE BELOW.

CONCRETE STRENGTH	FUNCTION	REBAR DESIGNATION					
		10M	15M	20M	25M	30M	35M
20 MPa	EMBEDMENT	325	485	645	1010	1210	1410
	(SPLICE)	(420)	(630)	(840)	(1310)	(1570)	(1835)
25 MPa	EMBEDMENT	300	435	580	900	1080	1260
	(SPLICE)	(390)	(565)	(750)	(1170)	(1405)	(1640)
30 MPa	EMBEDMENT	300	395	530	825	990	1155
	(SPLICE)	(390)	(515)	(685)	(1070)	(1285)	(1500)
35 MPa	EMBEDMENT	300	370	490	765	915	1065
	(SPLICE)	(390)	(475)	(635)	(990)	(1190)	(1385)
40 MPa	EMBEDMENT	300	345	460	715	855	1000
	(SPLICE)	(390)	(445)	(595)	(925)	(1110)	(1295)
45 MPa	EMBEDMENT	300	325	430	675	805	940
	(SPLICE)	(390)	(420)	(560)	(875)	(1050)	(1225)
50 MPa	EMBEDMENT	300	310	410	640	765	895
	(SPLICE)	(390)	(400)	(530)	(830)	(995)	(1160)
55 MPa	EMBEDMENT	300	300	390	610	730	850
	(SPLICE)	(390)	(390)	(505)	(790)	(950)	(1105)
60 MPa	EMBEDMENT	300	300	375	585	700	815
	(SPLICE)	(390)	(390)	(485)	(760)	(910)	(1060)
65 MPa & GREATER	EMBEDMENT	300	300	360	565	675	790
	(SPLICE)	(390)	(390)	(470)	(735)	(880)	(1025)

NOTES:

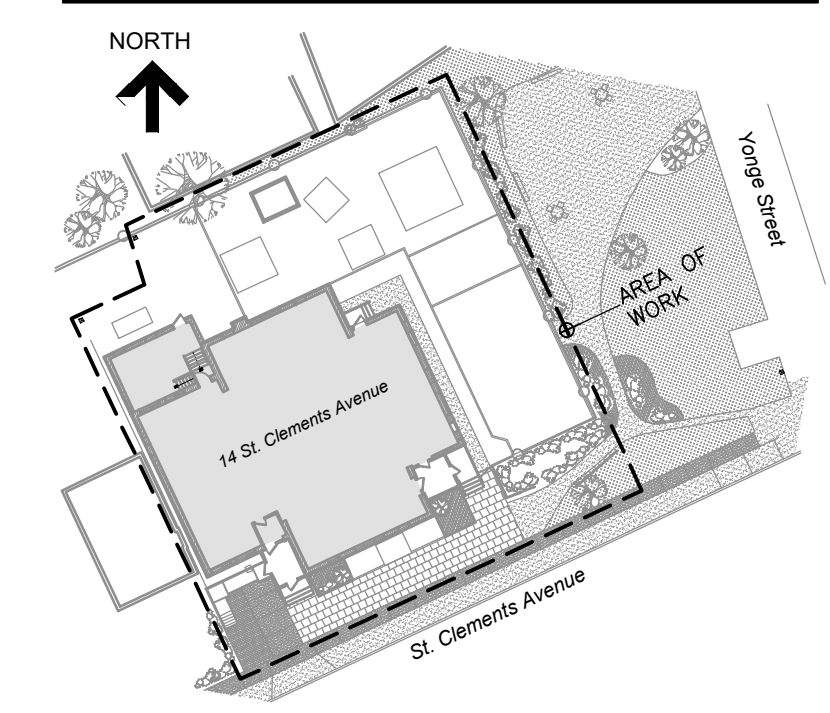
- "TOP BAR" VALUES ARE 1.3 TIMES THE ABOVE LENGTHS. "TOP BAR" APPLIES TO HORIZONTAL REINFORCEMENT CAST WITH 300mm OR MORE OF CONCRETE BELOW THE BAR.

CASE 2 CONDITIONS

TENSION EMBEDMENT AND SPLICE LENGTHS CONFORMING TO CAN/CSA-A23.3-04 TABLE 12.1 (0.45k₁k₂k₃k₄f_c/f_t) ARE TO BE AS PER THE FOLLOWING TABLE FOR MEMBERS NOT SATISFYING CASE 1 CONDITIONS AS SET OUT ABOVE. FOR EXAMPLE:

- BARS (INCLUDING THE SPLICE) SPACED CLOSER TOGETHER THAN 2 BAR DIAMETERS.
- SEE ALSO NOTES ON TOP BARS.

CONCRETE STRENGTH	FUNCTION	REBAR DESIGNATION					
		10M	15M	20M	25M	30M	35M
20 MPa	EMBEDMENT	430	645	860	1345	1610	1880
	(SPLICE)	(560)	(840)	(1120)	(1745)	(2095)	(2445)
25 MPa	EMBEDMENT	385	580	770	1200	1440	1680
	(SPLICE)	(500)	(750)	(1000)	(1560)	(1875)	(2185)
30 MPa	EMBEDMENT	355	530	705	1100	1315	1535
	(SPLICE)	(460)	(685)	(915)	(1425)	(1710)	(1995)
35 MPa	EMBEDMENT	325	490	650	1015	1220	1420
	(SPLICE)	(425)	(635)	(845)	(1320)	(1585)	(1850)
40 MPa	EMBEDMENT	305	460	610	950	1140	1330
	(SPLICE)	(395)	(595)	(790)	(1235)	(1480)	(1730)



KEY PLAN

No.	Revision	Date	By
5.	ISSUED FOR PERMIT/ TENDER REVISION	Sept. 20, 24	S.P.
4.	ISSUED FOR BUILDING PERMIT	June 12, 24	S.P.
3.	ISSUED FOR TENDER	May 13, 24	S.P.
2.	ISSUED FOR CLIENT REVIEW	May 13, 24	S.P.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr. 17, 24	S.P.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tendering" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal	
------	--

Project Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title

GENERAL NOTES

Drawn By **T.S.** Scale **N.T.S.**
Designed By **S.P.** Date **September, 2024**
RJC Project Number **TOR.122940.0001**
Sheet Number **S0.2** Revision

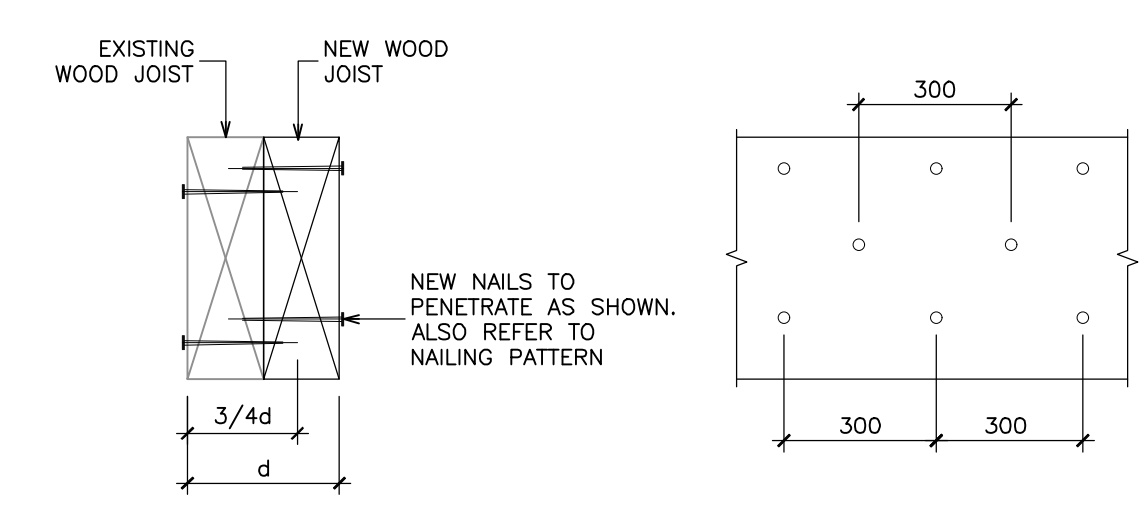
3. JOISTS ARE TO BE FLUSH UNLESS NOTED OTHERWISE. USE JOIST HANGERS OR FRAMING ANCHORS TO CONNECT JOISTS.



4. UNLESS NOTED OTHERWISE JOIST HANGERS OR FRAMING ANCHORS SHALL BE CAPABLE OF DEVELOPING THE SHEAR STRENGTH OF THE SUPPORTED MEMBER. FOR DIMENSIONAL LUMBER JOISTS, THE FOLLOWING CAPACITIES ARE REQUIRED:

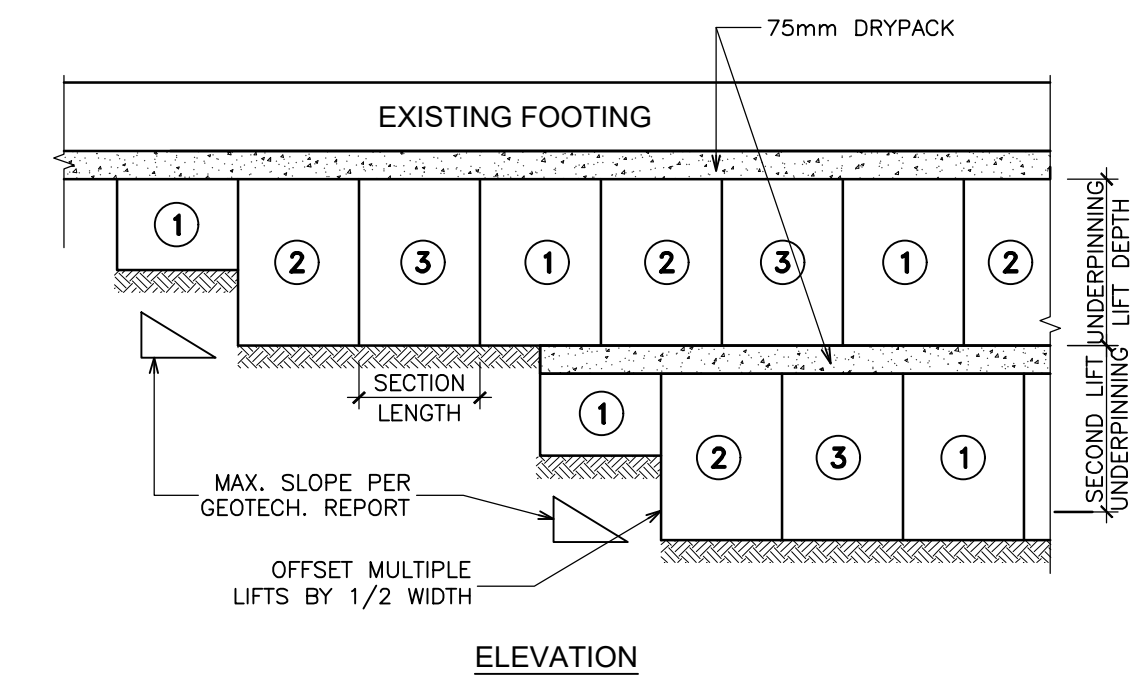
JOIST SIZE	REQUIRED SHEAR RESISTANCE (kN)	
	WORKING LOAD	FACTORED LOAD
38 x 89	5.5	7.2
38 x 140	7.2	9.4
38 x 184	8.2	10.6
38 x 235	9.53	12.4
38 x 286	10.5	13.7

TYPICAL SISTERING DETAIL



19.0 UNDERPINNING NOTES

- CONCRETE SHALL HAVE 28 DAY STRENGTH OF 25 MPa AND A MAX. SLUMP OF 75mm. DRYPACK GROUT TO BE NON-SHRINK MIN. F_c=35 MPa.
- UNDERPINNING SHALL BE DONE IN 900mm (3'-0") LONG SECTIONS MAX. U.N.O.
- NUMBERS OF PANELS INDICATE STAGES IN WHICH UNDERPINNING SHALL PROCEED, I.E. ALL SECTIONS MARKED #1 FOLLOWED BY ALL SECTIONS #2 ETC. POUR CONCRETE IN PLACE AND LEAVE FOR 24 HRS. BEFORE CLEANING UNDERSIDE EXISTING FOOTING, DRYPACKING AND PROCEEDING WITH NEXT STAGE.
- PROVIDE ALL NECESSARY SHORING/ BRACING TO EXISTING STRUCTURE REQUIRED TO CARRY OUT THIS WORK. CONTRACTOR TO ENSURE EXISTING WALL ABOVE IS STABLE PRIOR TO PROCEEDING WITH WORK.
- FOOTING AND UNDERPINNING EXCAVATIONS SHALL BE INSPECTED BY A GEOTECHNICAL ENGINEER PRIOR TO POURING CONCRETE TO CONFIRM ADEQUACY OF SUB-GRADE.
- MAX. HEIGHT OF UNDERPINNING SHALL NOT EXCEED 1200mm (4'-0") TYPICAL IN ONE LIFT. IF UNDERPINNING DEPTH IS LARGER, MULTIPLE LIFTS ARE REQUIRED. EACH LIFT TO BE COMPLETED AND FULLY CURED PRIOR TO SUBSEQUENT LIFT PROCEEDING. UNDERPINNING WIDTH TO MATCH EXISTING FOUNDATION WIDTH U.N.O.
- CLEAN UNDERSIDE OF EXISTING FOOTING/WALL.
- DO NOT LEAVE OPEN EXCAVATION OVERNIGHT.
- WHERE EXISTING SERVICES RUN THROUGH UNDERPINNING, WRAP SERVICE WITH (2") THK. COMPRESSIBLE MATERIAL.



8. ALL WOOD FRAME CONSTRUCTION SHALL SATISFY THE FOLLOWING CONSTRUCTION TOLERANCES AS A MINIMUM. REFER TO ARCHITECTURAL REQUIREMENTS AND SPECIFICATION SECTION 06 10 00 FOR ADDITIONAL TOLERANCE SPECIFICATIONS.

- A FLOORS** - NOT MORE THAN 6mm IN 3.0m OUT OF LEVEL.
- B WALLS** - NOT MORE THAN 6mm IN 2.4m OUT OF PLUMB.
- NOT MORE THAN 6mm IN 3.0m FOR ANY BOWING.
- C OVERALL** - BUILDING WALLS AND FLOORS SHALL NOT BE MORE THAN 9mm DIFFERENCE IN MEASUREMENT FROM DIMENSIONS SHOWN ON CONTRACT DOCUMENTS.

9. FRAMING DETAILS SHALL ENSURE UNIFORM VERTICAL SHRINKAGE. ADJACENT PORTIONS OF THE STRUCTURE SHALL BE SUPPORTED ON ROUGHLY EQUIVALENT AMOUNTS OF HORIZONTAL TIMBER (JOISTS AND SILL PLATES). DO NOT MIX KILN-DRIED AND NON-KILN DRIED JOISTS IN ANY GIVEN FLOOR.

- MATERIALS:**
- STUDS AND BUILT-UP POSTS:** TO BE S-P-F #3/STUD GRADE OR BETTER.
 - JOISTS:** TO BE S-P-F #2 GRADE OR BETTER.
 - BUILT-UP BEAMS AND HEADERS:** TO BE S-P-F #2 GRADE OR BETTER.
 - WALL PLATES:** TO BE S-P-F #3 GRADE OR BETTER. WALL PLATES SHALL BE KILN-DRIED AND MAY BE FINGER JOINTED.
 - POSTS AND BEAMS:** TO BE S-P-F #2 GRADE OR BETTER.
 - ALL DIMENSION LUMBER TO BE SURFACED FOUR SIDES ("S4S").
 - PLYWOOD:** TO BE DOUGLAS FIR SHEATHING GRADE.
 - TIMBER CONNECTION HARDWARE:** TO BE SIMPSON STRONG-TIE, OR EQUIVALENT APPROVED BY RJC, COMPLETE WITH NAILS SUPPLIED BY MANUFACTURER. DO NOT USE P NAILS.
 - NAILS:** SHALL BE COMMON ROUND STEEL WIRE NAILS OR PNEUMATIC NAILS (P NAILS) WITH MINIMUM DIAMETERS PER THE FOLLOWING TABLE:

LENGTH	DIAMETER	PENNY-WEIGHT
50 mm	2.9 mm	6d
65 mm	3.3 mm	8d
75 mm	3.8 mm	10d
80 mm	3.8 mm	12d
90 mm	4.1 mm	16d
100 mm	4.9 mm	20d
115 mm	5.3 mm	30d
125 mm	5.8 mm	40d

NOTE: SPIRAL OR PNEUMATIC NAILS MAY BE USED IF THEY CONFORM TO THE TABLE ABOVE, UNLESS NOTED OTHERWISE.

- MISCELLANEOUS STEEL:** TO BE CSA G40.21 GRADE 300U.
- ANCHOR RODS:** SHALL BE ASTM F1554 OR ASTM A36 OR APPROVED EQUAL. ANCHOR RODS SHALL BE DEFORMED, THREADED ALONG THEIR FULL LENGTH OR HOOKED 40mm AT THE BOTTOM.
- BOLTS:** SHALL BE ASTM A307 OR APPROVED EQUAL, USED WITH STANDARD CUT STEEL WASHERS UNLESS NOTED OTHERWISE ON DRAWINGS.
- MOISTURE CONTENT OF ALL TIMBER ELEMENTS SHALL NOT EXCEED 19% AT THE TIME OF CONSTRUCTION OR FABRICATION.
- ALL FASTENERS AND CONNECTION HARDWARE THROUGH PRESERVATIVE TREATED MATERIALS OR OUTSIDE OF THE MOISTURE BARRIER TO BE HOT DIPPED GALVANIZED OR STAINLESS STEEL AS SPECIFIED.
- PROVIDE A MOISTURE BARRIER BETWEEN WOOD ELEMENTS AND ALL CONCRETE OR MASONRY. THIS CAN BE A SHEET OF LIGHT-GAUGE (0.61MM MINIMUM) GALVANIZED METAL, ASPHALT IMPREGNATED BUILDING PAPER (7.5 KG PER 10M²), CLOSED-CELL FOAM GASKET MATERIAL, TYPE 5 ROLL ROOFING, SHEET POLYETHYLENE NOT PERMITTED. ALL JUNCTIONS AND TERMINATIONS TO BE LAPPED (50mm MINIMUM) AND SEALED. BUTT JOINTS IN MOISTURE BARRIERS NOT PERMITTED.
- STRUCTURAL ELEMENTS SPECIFIED IN METRIC UNITS HAVE THE FOLLOWING EQUIVALENT NOMINAL DIMENSIONS.

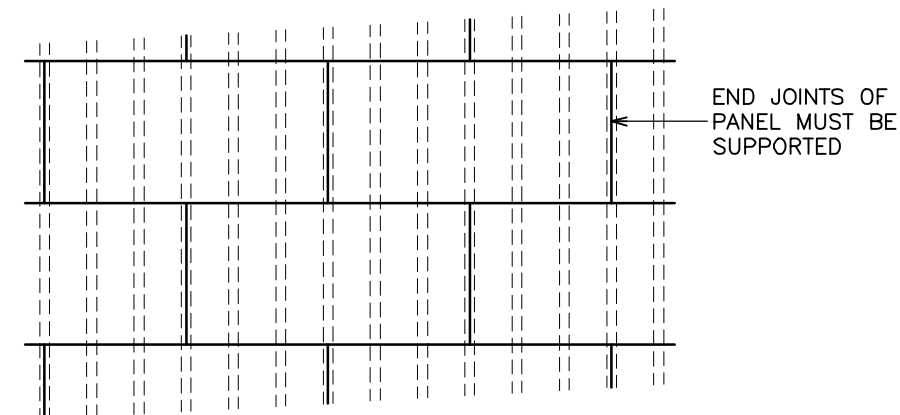
ACTUAL SIZE (METRIC)	NOMINAL SIZE
38 x 89	2 x 4
38 x 140	2 x 6
38 x 184	2 x 8
38 x 235	2 x 10
38 x 286	2 x 12

NAILING:

- NAILING SHALL CONFORM TO THE BUILDING CODE, AND "WOOD BUILDING TECHNOLOGY" PUBLISHED BY THE CANADIAN WOOD COUNCIL. NAILING CALLED UP ON THESE DRAWINGS (E.G. FOR SHEATHING) IS BASED ON COMMON NAILS. SEE NOTE 10 UNDER MATERIALS FOR COMMON NAIL SIZES.
- UNLESS NOTED OTHERWISE NAIL ALL FLOOR SHEATHING WITH 64mm NAILS AT 3m o/c FOR FLOORS TO ALL SUPPORTING MEMBERS. FLOOR SHEATHING SHALL BE NAILED WITH SPIRAL NAILS AND SHALL BE GLUED TO THE JOISTS IN ADDITION TO NAILING. IF SMALLER DIAMETER NAILS (I.E. PNEUMATICALLY DRIVEN NAILS OR "P-NAILS") ARE USED, INCREASE THE NUMBER OF NAILS BY 33%.
- DO NOT USE PNEUMATICALLY-DRIVEN NAILS WITH JOIST HANGERS OR CONNECTING HARDWARE. NAILS FOR HARDWARE SHOULD BE AS SPECIFIED OR SUPPLIED BY MANUFACTURER.

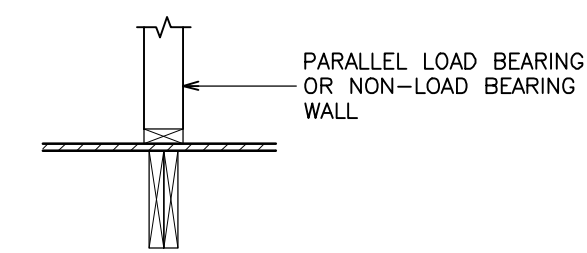
SHEATHING:

- FLOOR SHEATHING:** 2 LAYERS OF 19mm TONGUE AND GROOVE PLYWOOD STAGGERED. (ANY JOINT WITHOUT A TONGUE AND GROOVE CONNECTION SHALL BE BLOCKED WITH A 2x4).
- LAY FLOOR SHEATHING WITH THE SURFACE GRAIN AT RIGHT ANGLES TO THE JOISTS. STAGGER THE JOINTS PARALLEL TO THE JOISTS.

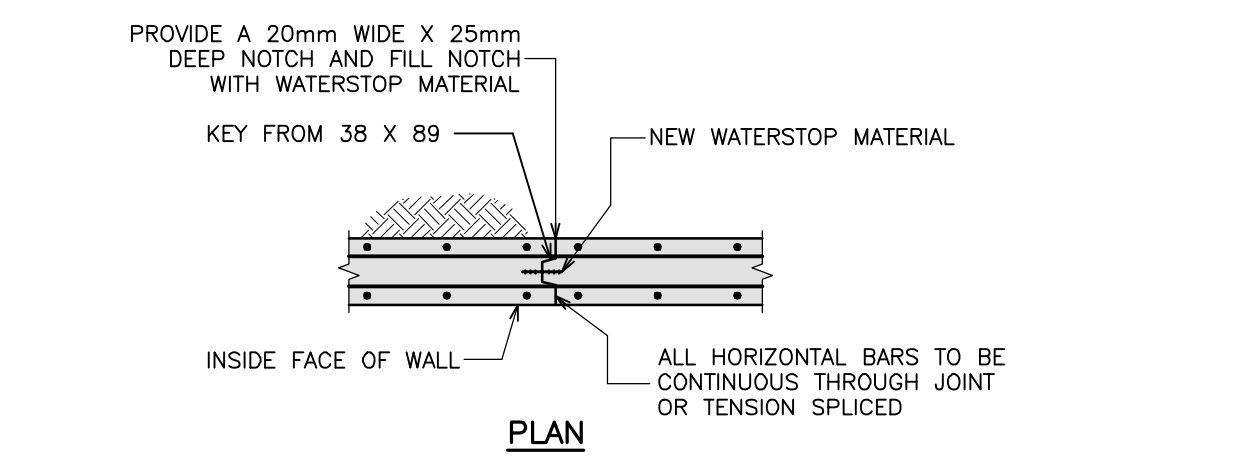


JOISTS:

- DIMENSIONAL LUMBER JOISTS SHALL HAVE CROSS-BRIDGING OR FULL-DEPTH BLOCKING AT 1.8m O/C ALONG THE SPAN FOR ALL SPANS GREATER THAN 3.6m. CROSS BRIDGING SHALL CONSIST OF 2"x2" TIMBER OR APPROVED STEEL BRIDGING.
- PROVIDE DOUBLE JOISTS UNDER PARALLEL FRAME WALLS UNLESS NOTED OTHERWISE.

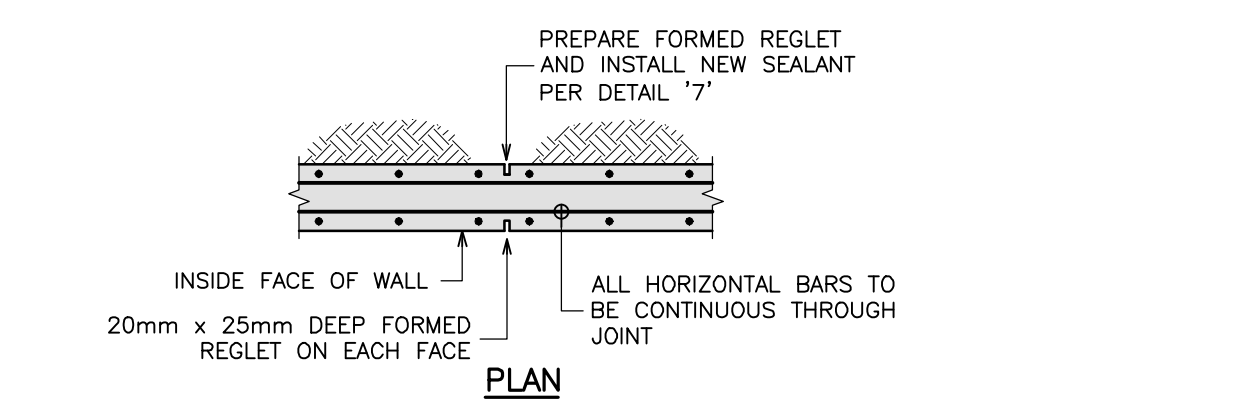


15.0 WALL CONSTRUCTION JOINT



16.0 WALL CONTROL JOINT

UNLESS NOTED OTHERWISE FOR EXTERIOR WALLS BELOW GRADE AND EXTERIOR WALLS EXPOSED TO WEATHER ABOVE GRADE.
SPACE AT 6000 mm CENTERS MAXIMUM UNLESS OTHERWISE NOTED ON PLAN.

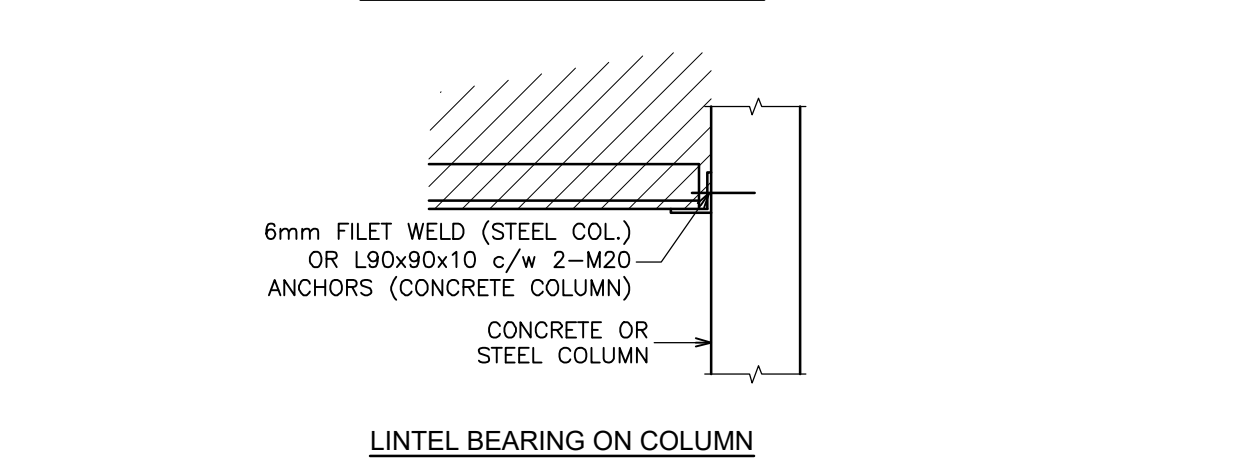
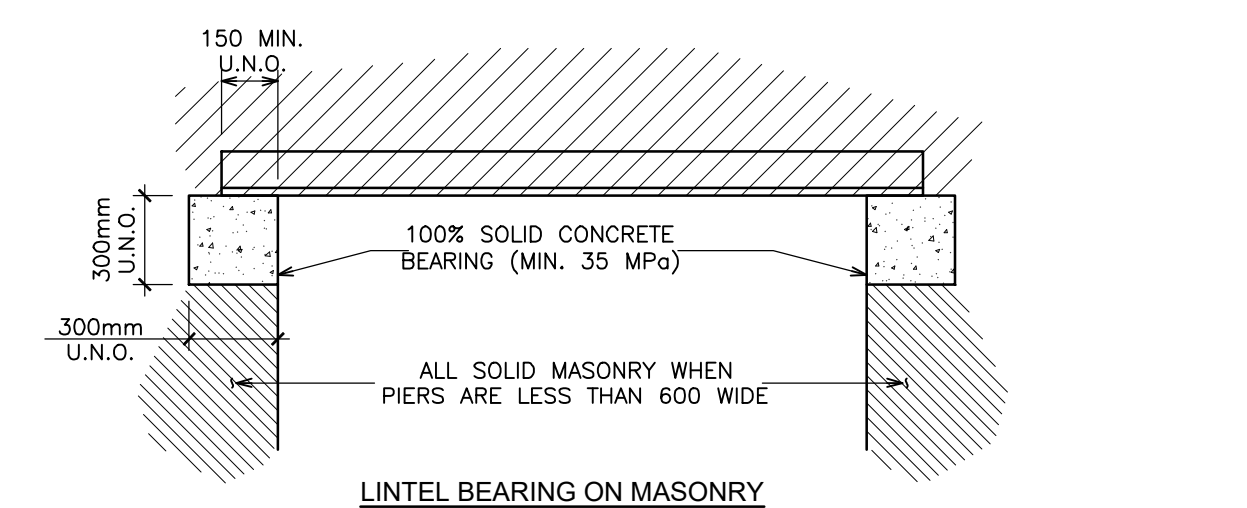


17.0 LINTELS

BRICK WYTHES
FOR EACH 100mm DEPTH OF WALL

CLEAR SPAN mm	SIZE
UP TO 1200	L 89x89x7.9
1201 TO 1800	L 127x89x7.9 (LLV)
1800 TO 2400	L 152x89x7.9 (LLV)

- WELD BACK TO BACK ANGLES TOGETHER TOP AND BOTTOM WITH 6mm FILLET 50mm LONG AT 450mm MAXIMUM CENTERS.
- MINIMUM BEARING FOR STEEL LINTELS SHALL BE 150mm.
- FOR WALLS OVER 300mm THICK ADD ONE ANGLE FOR EACH ADDITIONAL 100mm OF WALL THICKNESS OR PORTION THEREOF.
- FOR LINTELS ABUTTING STEEL COLUMNS, CONCRETE WALL OR CONCRETE COLUMNS PROVIDE L90x90x10 SHELF ANGLE.
- FILL VOIDS OF LINTEL BLOCK WITH 12.5 MPa GROUT MIN.
- USE MASONRY LINTELS IN ALL FIRE RATED MASONRY WALLS - SEE ARCH DWG. FOR WALL RATINGS.
- ALL STEEL LINTELS AND SHELF ANGLES IN THE EXTERIOR MASONRY SHALL BE HOT DIP GALVANIZED.

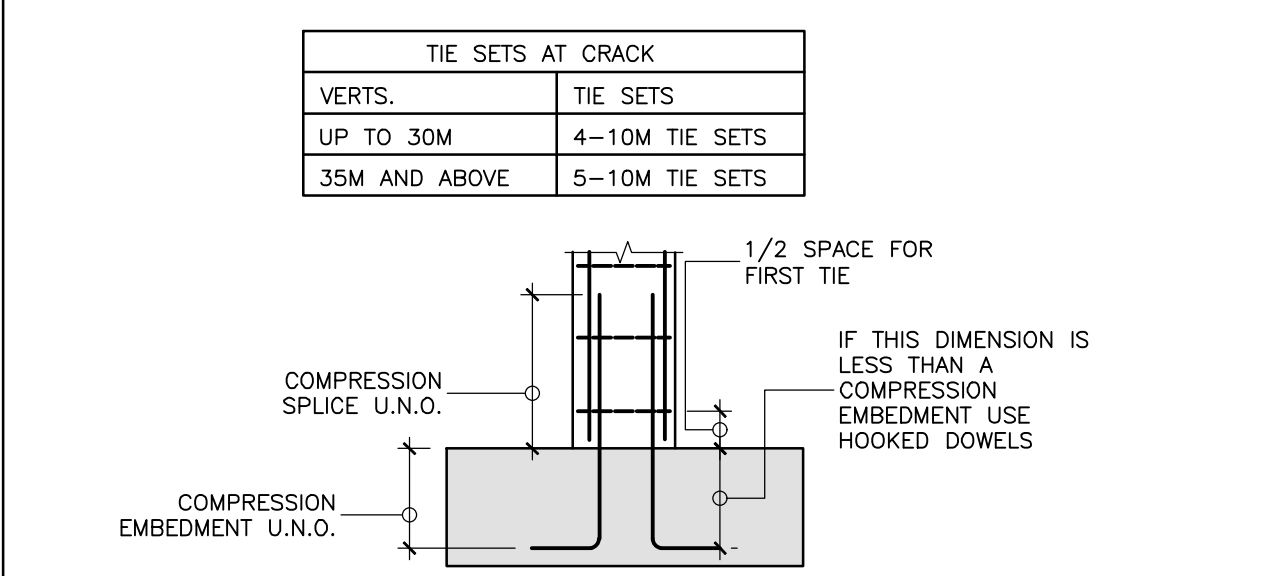


18.0 WOOD FRAMING NOTES

GENERAL:

- ALL DESIGN, DETAILS, MATERIALS AND CONSTRUCTION PROCEDURES SHALL CONFORM TO CURRENT EDITIONS OF THE FOLLOWING AS A MINIMUM:
 - ONTARIO BUILDING CODE 2012
 - CSA 086 - ENGINEERING DESIGN IN WOOD
 - CSA 0121 - DOUGLAS FIR PLYWOOD
 - CAN/CSA-0122 - STRUCTURAL GLUED-LAMINATED TIMBER
 - CAN/CSA-0177 - QUALIFICATION CODE FOR MANUFACTURERS OF STRUCTURAL GLUED-LAMINATED TIMBER
 - CAN/CSA-0437 SERIES - STANDARDS FOR OSB AND WAFERBOARD
 - CSA B111 - WIRE NAILS, SPIKES AND STAPLES
 - ASTM D5456 - STANDARD SPECIFICATION FOR EVALUATION OF STRUCTURAL COMPOSITE LUMBER PRODUCTS
 - CANADIAN WOOD-FRAME HOUSE CONSTRUCTION-CMHC
 - "WOOD DESIGN MANUAL" - CANADIAN WOOD COUNCIL
 - "WOOD BUILDING TECHNOLOGY" - CANADIAN WOOD COUNCIL
- ANY CHANGES TO THE FRAMING SHOWN ON THESE DRAWINGS SHALL HAVE PRIOR WRITTEN APPROVAL OF RJC. FRAMING CHANGES WHICH HAVE NOT BEEN SO APPROVED WILL BE REJECTED.
- ANY TIMBER NOT GRADE MARKED WILL BE REJECTED.
- FINISHES SHALL BE DETAILED TO ACCOMMODATE SHRINKAGE OF THE TIMBER OVER TIME.
- DO NOT COVER WOOD FRAMING WITH FINISHES UNTIL RJC'S REVIEW IS COMPLETE. PROVIDE 48 HOURS ADVANCE NOTIFICATION WHEN REVIEWS ARE REQUIRED. REFER TO FIELD REVIEW BY CONSULTANT TEAM NOTES.
- NOTCHING AND DRILLING OF STRUCTURAL ELEMENTS SHALL FOLLOW THE GUIDELINES SET FORTH IN THE BUILDING CODE, UNLESS OTHERWISE APPROVED IN WRITING BY RJC.
- ALL TIMBER ELEMENTS ARE DESIGNED FOR DRY-SERVICE CONDITIONS.

13.0 COLUMN/WALL SPLICE DETAILS - U.N.O.



- WHERE WALL STARTS, PROVIDE DOWELS WITH PROPER EMBEDMENT LENGTH AT THE BASE TO MATCH THE WALL VERTICAL REINFORCING.
- ADD ADDITIONAL SETS OF TIES AT 1/2 TIE SPACING MAX. IF THIS DISTANCE IS MORE THAN 1/2 TIE SPACE.

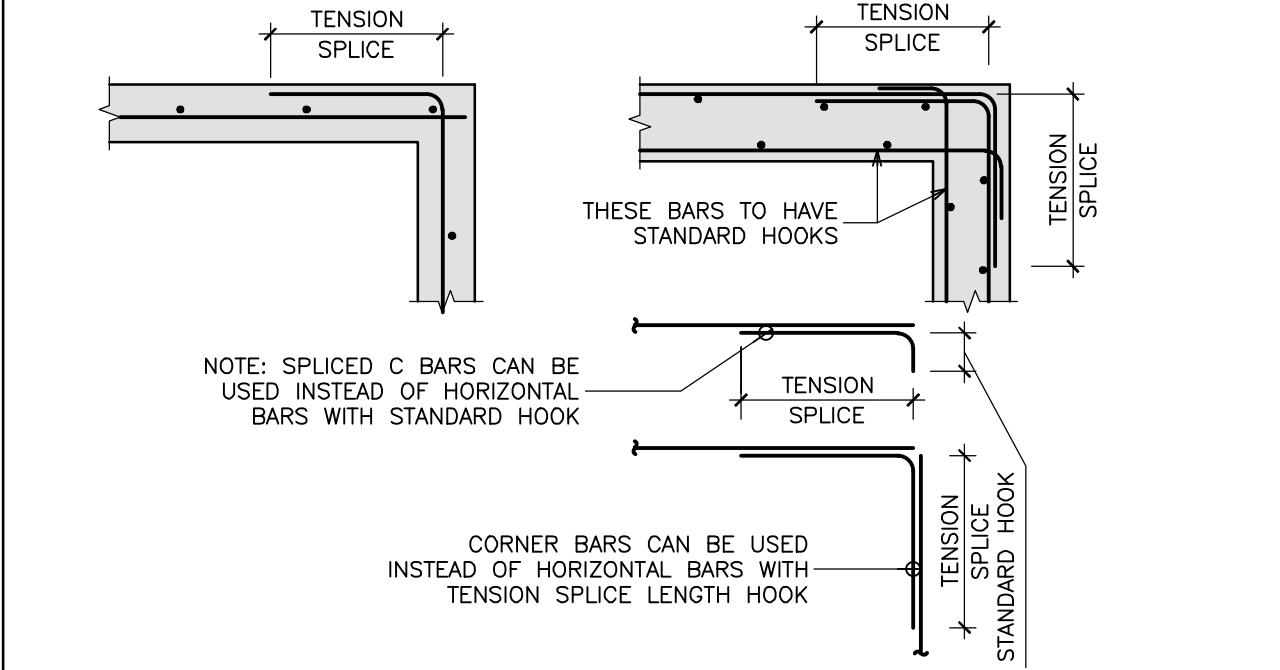
14.0 CONCRETE WALLS :

1. THESE NOTES APPLY SPECIFICALLY TO CONCRETE WALLS NOT CLASSIFIED AS SHEAR WALLS. UNLESS OTHERWISE NOTED ON PLANS OR DETAILS, WALLS SHALL BE REINFORCED AS FOLLOWS:

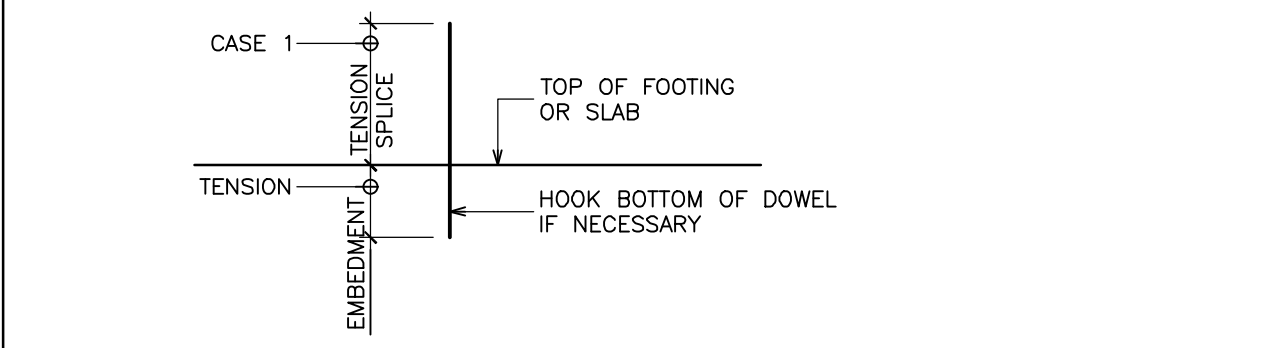
WALL THICKNESS	REINFORCING	
150mm	10M @450 V.	10M @330 H.
200mm	10M @330 V.	10M @250 H. OR 10M @500 H.
200mm	10M @ 500 VEF.	10M @500 HEF.
250mm	10M @ 500 VEF.	10M @400 HEF.
300mm	10M @440 VEF.	10M @330 HEF.
350mm	10M @380 VEF.	10M @280 HEF.
400mm	10M @330 VEF.	10M @250 HEF. OR 15M @500 HEF.

FOR OTHER THICKNESSES, REINFORCEMENT TO BE PROPORTIONAL TO ABOVE.

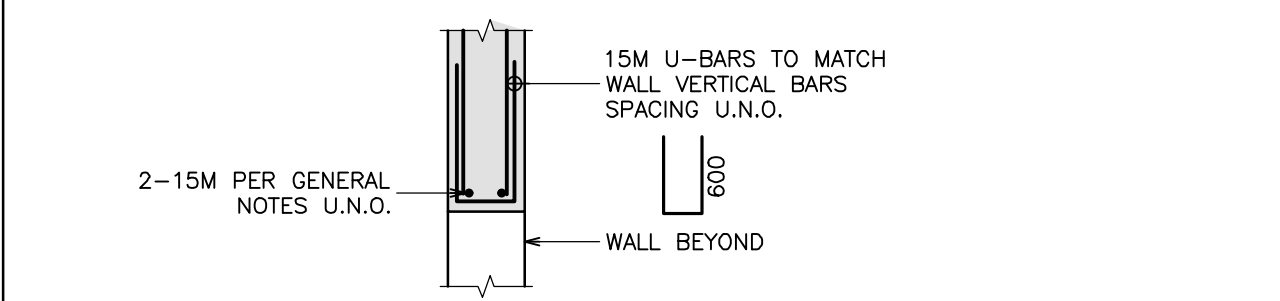
- 15M @500 MAY BE SUBSTITUTED FOR 10M @330 ONLY WITH THE APPROVAL OF RJC. FOR WALLS WITH A SINGLE LAYER OF STEEL, THE WALL REINFORCING SHALL BE PLACED IN THE CENTRE OF THE WALL U.N.O. ON PLANS OR DETAILS.
- PLACE HORIZONTAL REINFORCEMENT IN OUTER LAYERS OF THE CURTAINS AND VERTICALS AS 2ND INSIDE LAYER (BEHIND HORIZONTALS).
- ALL WALL REINFORCING SHALL BE CONTINUOUS, WITH HOOKS OR CORNER BARS USED AT ALL WALL JUNCTIONS. EXTEND HOOKS TO FAR FACE OF WALL. CORNER BARS TO BE LOCATED ON OUTSIDE FACE OR CENTRE OF WALL.
- HORIZONTAL AND VERTICAL SPLICES SHALL BE CASE 1 TENSION SPLICES. U.N.O. HORIZONTAL BARS NEED NOT BE CONSIDERED TOP BARS.
- DETAILS OF HORIZONTAL REINFORCEMENT AT CORNERS (SEE ALSO ZONE REINFORCING DETAILS):

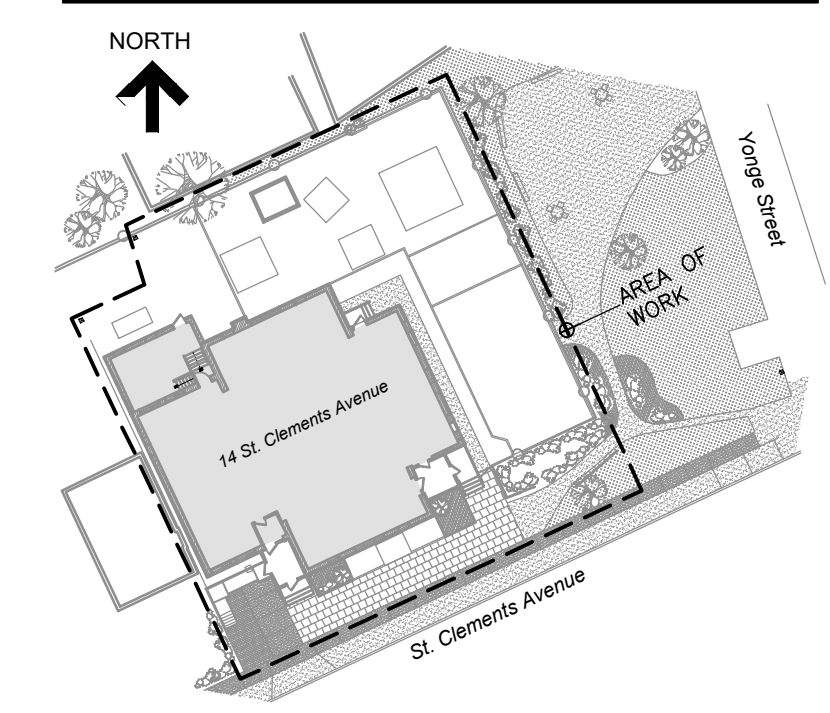


- ENDS OF ALL WALLS SHALL HAVE 2-15M VERTICAL LAPPED 625mm UNLESS OTHERWISE NOTED ON DRAWINGS.
- ADD 2-15M PARALLEL TO ALL EDGES AND EXTENDING 625mm BEYOND CORNERS AT OPENINGS IN WALLS.
- UNLESS NOTED OTHERWISE, PROVIDE DOWELS AT BOTTOM OF WALLS (I.E. AT FOOTINGS OR WHEREVER WALL BEGINS) AS SHOWN BELOW. DOWELS TO MATCH VERTICAL STEEL.

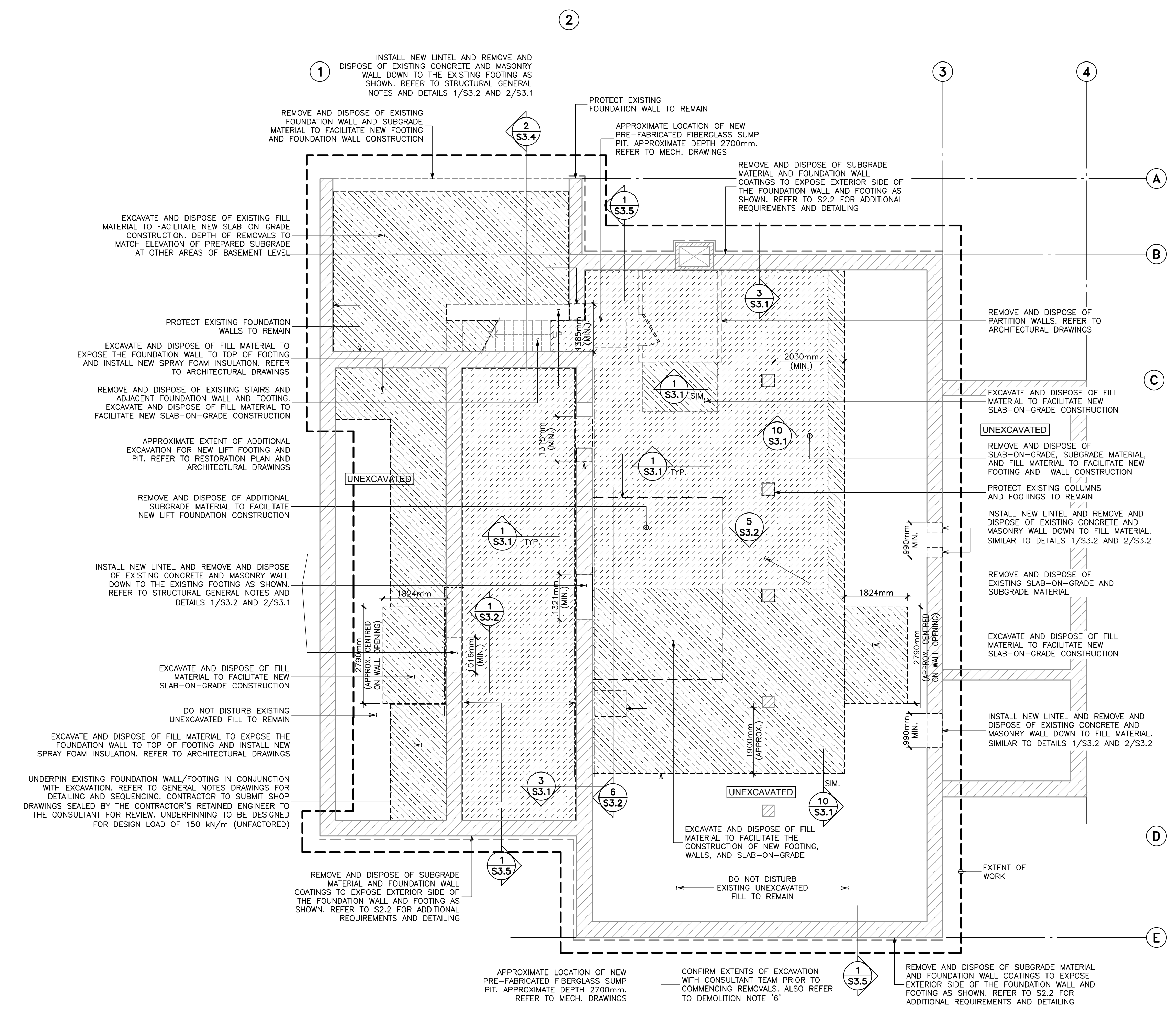


- UNLESS NOTED OTHERWISE, ALL RETAINING WALLS BELOW GRADE AND ALL EXTERIOR WALLS EXPOSED TO THE WEATHER ABOVE GRADE SHALL HAVE CONTROL JOINTS. SEE CONTROL JOINT DETAIL. CONSTRUCTION JOINT MAY REPLACE CONTROL JOINT WHERE REQUIRED. THE LOCATION OF CONTROL JOINTS IN EXPOSED CONCRETE WALLS SHALL BE SUBMITTED TO THE CONSULTANT FOR REVIEW.
- ABOVE NOMINAL WALL OPENINGS U.N.O.





KEY PLAN



LEGEND:

- EXISTING MASONRY WALL OR COLUMN
- SLAB-ON-GRADE AND SUBGRADE REMOVALS
- UNEXCAVATED FILL AND SUBGRADE REMOVAL
- EXTENT OF WORK

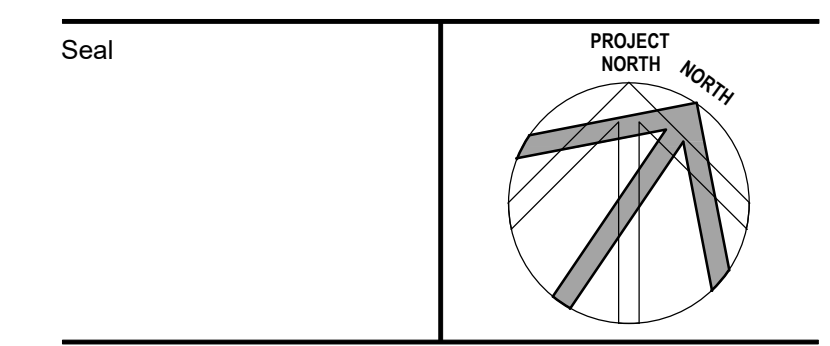
- DEMOLITION NOTES:**
- INSTALL AND MAINTAIN HOARDING, DUST PROTECTION, SITE PROTECTION, AND CONSTRUCTION SIGNAGE AS SHOWN ON THE PHASING DRAWINGS AND IN ACCORDANCE WITH SECTION 01 56 00.
 - COORDINATE THE WORK IN ACCORDANCE WITH THE DRAWINGS AND GENERAL SITE RESTRICTIONS AS OUTLINED IN THE SPECIFICATIONS.
 - REFER TO SECTION 01 11 00 FOR A GENERAL DESCRIPTION OF BUILDING CONSTRUCTION.
 - REVIEW THE EFFECT OF DEMOLITION WITH RJC AND CONTRACTOR'S RETAINED SPECIALTY STRUCTURAL ENGINEER PRIOR TO COMMENCING THE WORK. REFER TO AND CONFORM WITH SHORING NOTES ON THE GENERAL NOTES DRAWINGS AND RELEVANT SPECIFICATION SECTIONS PRIOR TO UNDERTAKING REMOVALS.
 - THIS SET OF DRAWINGS INDICATES STRUCTURAL AND BELOW-GRADE WATERPROOFING ELEMENTS TO BE DEMOLISHED. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, LANDSCAPING AND OTHER RELEVANT DRAWINGS FOR REMOVALS OF OTHER ELEMENTS.
 - FOR BUILDING INTERIOR, REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS, ELEVATIONS, ETC. PERTAINING TO EXTENTS OF INTERIOR EXCAVATIONS, FLOOR OPENINGS, ELEMENTS TO BE DEMOLISHED, ETC. FOR BUILDING EXTERIOR, REFER TO LANDSCAPING DRAWINGS FOR DIMENSIONS, ELEVATIONS, ETC. PERTAINING TO EXTENTS OF REMOVALS/ EXCAVATIONS, ELEMENTS TO BE DEMOLISHED, ETC.
 - PROTECT ALL STRUCTURAL FRAMING MEMBERS, BUILDING ENVELOPE ELEMENTS, LANDSCAPING ELEMENTS, ETC. THAT ARE TO REMAIN. ANY DAMAGES TO EXISTING ELEMENTS THAT ARE TO REMAIN SHALL BE RECTIFIED BY THE CONTRACTOR AT NO EXTRA COST TO THE CONTRACT.
 - DO NOT UNDERMINE EXISTING FOOTINGS/FOUNDATIONS DURING PERFORMANCE OF REMOVALS AND EXCAVATIONS.
 - DO NOT AFFECT, NOR DRILL/CORE THROUGH, STRUCTURAL ELEMENTS OF THE BUILDING WITHOUT THE WRITTEN AUTHORIZATION FROM RJC.
 - CONTRACTOR TO OBTAIN UTILITY LOCATES AT BASEMENT LEVEL AND AT BUILDING EXTERIOR PRIOR TO COMMENCING REMOVALS, AND IS RESPONSIBLE FOR PROTECTING UTILITIES AND SERVICES FOR THE DURATION OF CONSTRUCTION.
 - NOTIFY CONSULTANT IMMEDIATELY OF HIGH WATER TABLE WITHIN EXCAVATION AREAS.
 - ADDITIONAL EXCAVATION FOR BELOW-GRADE DRAINAGE SYSTEMS (I.E. WEEPING TILE PIPING, DRAINAGE PIPING, ETC.) NOT SHOWN. REFER TO STRUCTURAL RESTORATION DRAWINGS, AND MECHANICAL AND PLUMBING DRAWINGS FOR FURTHER DETAILING.
 - UNLESS NOTED OTHERWISE, NEW OPENINGS THROUGH FLOORS WILL NOT INVOLVE CUTTING NOR REMOVAL OF EXISTING WOOD JOISTS AND BEAMS. CONFIRM THE LOCATION OF ALL FLOOR OPENINGS WITH RJC PRIOR TO PERFORMING REMOVALS.
 - REMOVALS, EXCAVATION, ACCESS, ETC. MAY BE REQUIRED ONTO ADJACENT PROPERTY TO FACILITATE CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS, COORDINATION, ETC. AS REQUIRED TO FACILITATE WORK ON ADJACENT PROPERTIES.
 - WHERE EXISTING BUILDING WALLS ARE TO BE DEMOLISHED, CONTRACTOR IS REQUIRED TO REPAIR ADJACENT SURFACES/ WALLS/ FINISHES/ STRUCTURE TO REMAIN, TO THE SATISFACTION OF THE CONSULTANT AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS.

- RECOMMENDED DEMOLITION SEQUENCE:**
- OBTAIN UTILITY LOCATES.
 - DECOMMISSION AND MAKE SAFE EXISTING MECHANICAL, ELECTRICAL, PLUMBING, TELECOMMUNICATION, ETC. SERVICES AT BUILDING INTERIOR AND EXTERIOR AS REQUIRED TO FACILITATE DEMOLITION.
 - REMOVE AND DISPOSE OF EXISTING INTERIOR FINISHES AND EQUIPMENT, INCLUDING APPLIANCES, PLUMBING FIXTURES, MILLWORK, FLOORING SYSTEMS, CEILING AND WALL FINISHES, NON-LOAD BEARING AND PARTITION WALLS, MECHANICAL, ELECTRICAL, PLUMBING, TELECOMMUNICATION, ETC. SERVICES, DOWN TO BASE BUILDING STRUCTURE. ONLY BASE BUILDING STRUCTURE AND SUB-FLOORING/SHEATHING IS TO REMAIN.
 - REMOVE AND DISPOSE OF BUILDING ENVELOPE ELEMENTS (I.E. ROOFING SYSTEMS, EXTERIOR WINDOWS AND DOORS AND ASSOCIATED HARDWARE, FRAMES, ETC., DETERIORATED BRICK, ETC.). CONTRACTOR MUST IMPLEMENT PROTECTION MEASURES TO PROTECT BUILDING INTERIOR FROM EXTERIOR ELEMENTS, MOISTURE INGRESS, ETC.
 - REMOVE AND DISPOSE OF STRUCTURAL ELEMENTS TO BE REMOVED AS INDICATED ON THE DRAWINGS WHILE MAINTAINING STRUCTURAL INTEGRITY OF THE BUILDING STRUCTURE. REFER TO SHORING NOTES AND TEMPORARY WORKS NOTES ON THE GENERAL NOTES DRAWINGS.
 - DEMOLITION OF EXTERIOR ELEMENTS, EXTERIOR EXCAVATIONS, ETC. IS TO BE PERFORMED CONCURRENTLY WITH DEMOLITION WITHIN THE BUILDING INTERIOR.
 - CONTRACTOR TO CONFIRM DEMOLITION AND RESTORATION/ RECONSTRUCTION SEQUENCING WITH OWNER AND CONSULTANT TEAM PRIOR TO COMMENCING THE WORK.

No.	Revision	Date	By
5.	ISSUED FOR PERMIT/ TENDER REVISION	Sept. 20, 24	S.P.
4.	ISSUED FOR BUILDING PERMIT	June 12, 24	S.P.
3.	ISSUED FOR TENDER	May 13, 24	S.P.
2.	ISSUED FOR CLIENT REVIEW	May 13, 24	S.P.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr. 17, 24	S.P.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

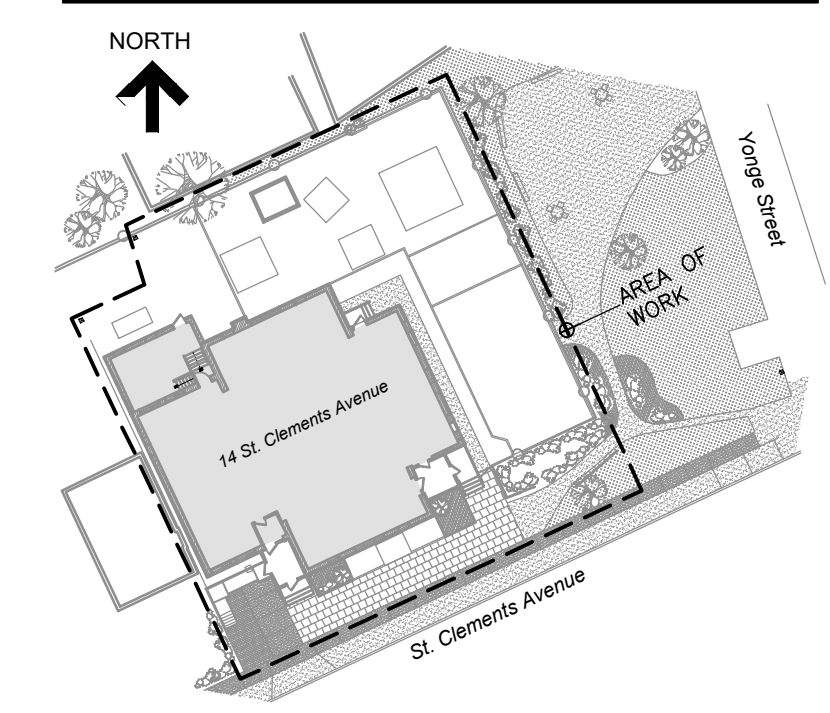


Project Name
Upper Yonge Village Daycare Centre
14 St. Clements Avenue, Toronto, ON

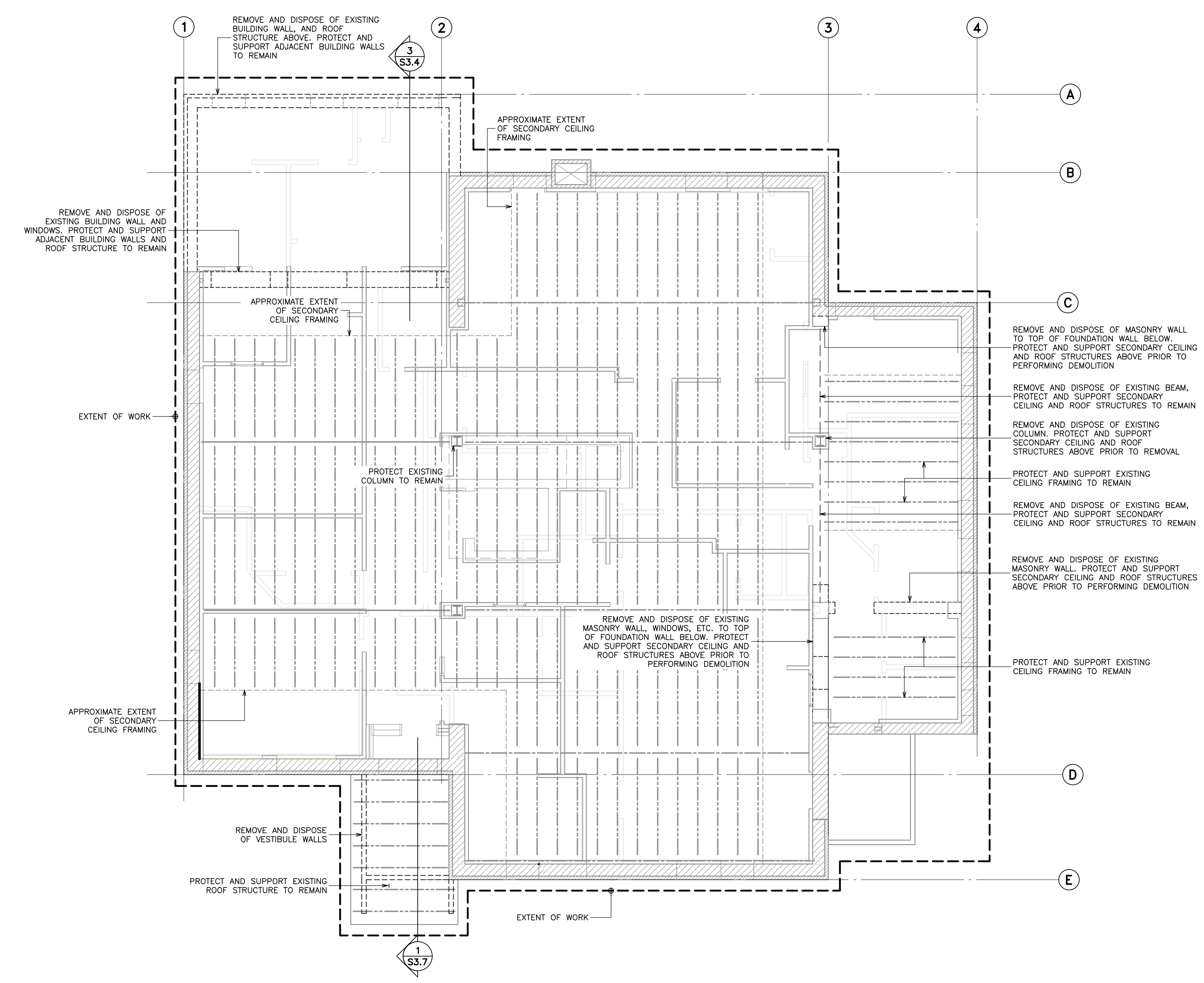
BUILDING RENOVATION

Sheet Title
BASEMENT LEVEL DEMOLITION PLAN

Drawn By T.S. Scale 1:75
Designed By S.P. Date September, 2024
RJC Project Number TOR.122940.0001
Sheet Number **S1.1** Revision



KEY PLAN



LEGEND:

- CONCRETE CURB
- EXISTING MASONRY WALL
- EXISTING WOOD JOIST
- EXISTING STEEL BEAM
- EXTENT OF WORK

DEMOLITION NOTES:

- REFER TO DEMOLITION NOTES ON DRAWING S1.1.

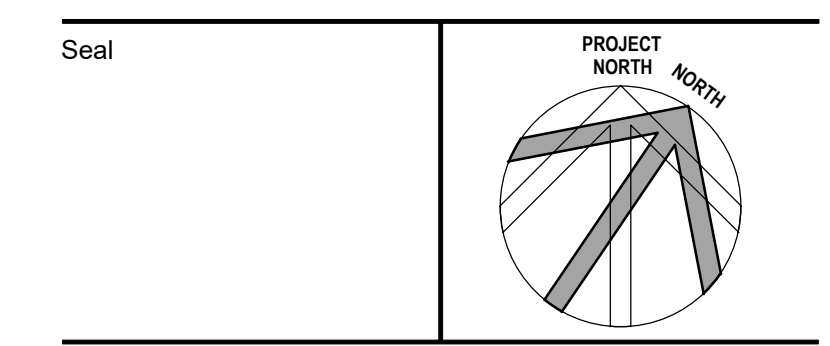
RECOMMENDED DEMOLITION SEQUENCE:

- REFER TO NOTES ON DRAWING S1.1.

No.	Revision	Date	By
5.	ISSUED FOR PERMIT/ TENDER REVISION	Sept. 20, 24	S.P.
4.	ISSUED FOR BUILDING PERMIT	June 12, 24	S.P.
3.	ISSUED FOR TENDER	May 13, 24	S.P.
2.	ISSUED FOR CLIENT REVIEW	May 13, 24	S.P.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr. 17, 24	S.P.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



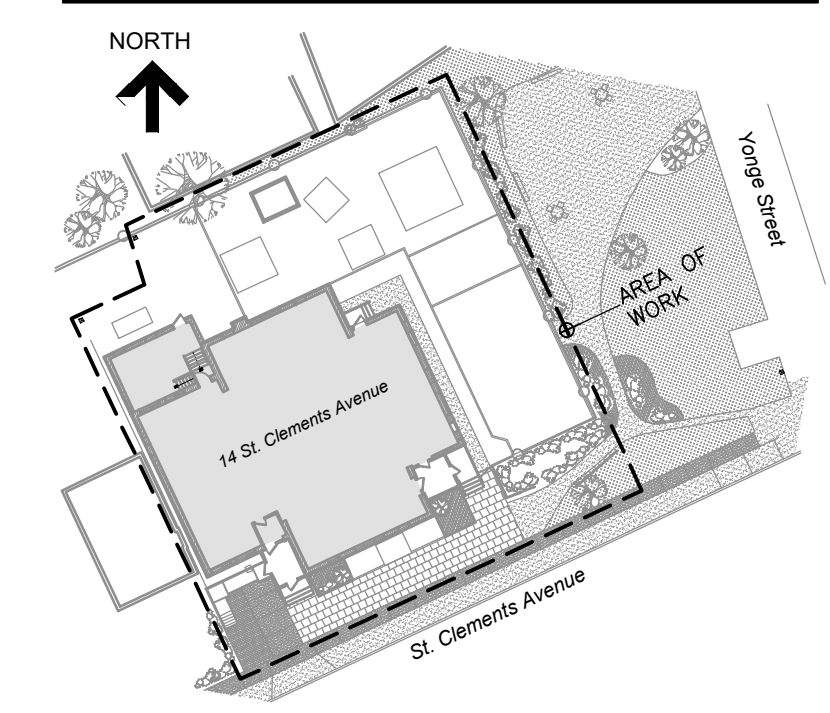
Project Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION
Sheet Title

**GROUND FLOOR REFLECTED
CEILING DEMOLITION PLAN**

Drawn By T.S. Scale 1:75
Designed By S.P. Date September, 2024
RJC Project Number TOR.122940.0001

Sheet Number Revision
S1.3

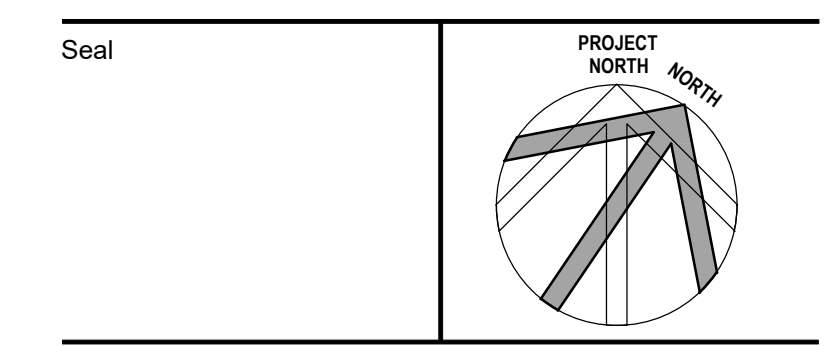


KEY PLAN

No.	Revision	Date	By
5.	ISSUED FOR PERMIT/ TENDER REVISION	Sept. 20, 24	S.P.
4.	ISSUED FOR BUILDING PERMIT	June 12, 24	S.P.
3.	ISSUED FOR TENDER	May 13, 24	S.P.
2.	ISSUED FOR CLIENT REVIEW	May 13, 24	S.P.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr. 17, 24	S.P.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

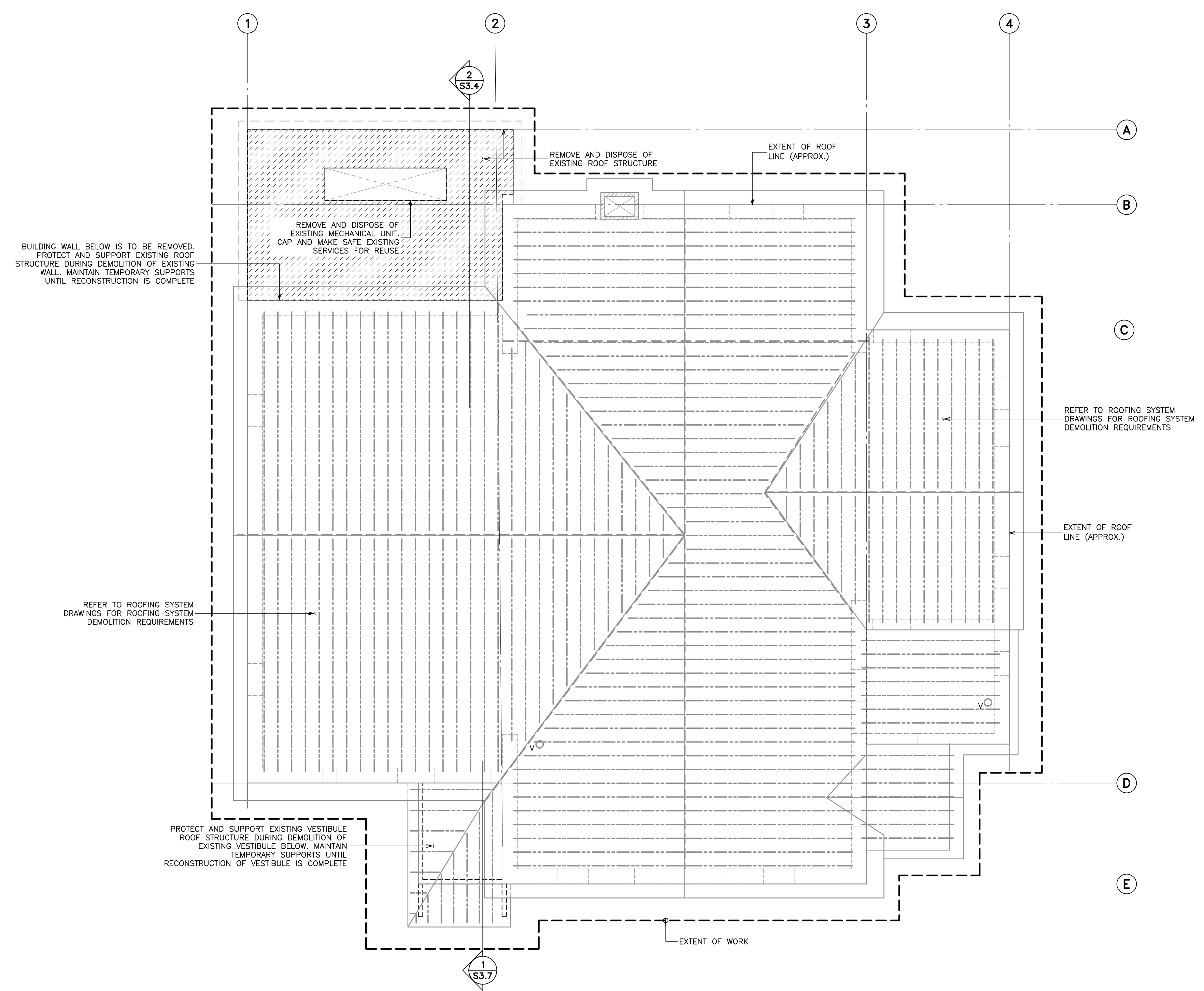
Sheet Title

**ROOF LEVEL
DEMOLITION PLAN**

Drawn By T.S. Scale 1:75
Designed By S.P. Date September, 2024
RJC Project Number **TOR.122940.0001**

Sheet Number Revision

S1.4



LEGEND:

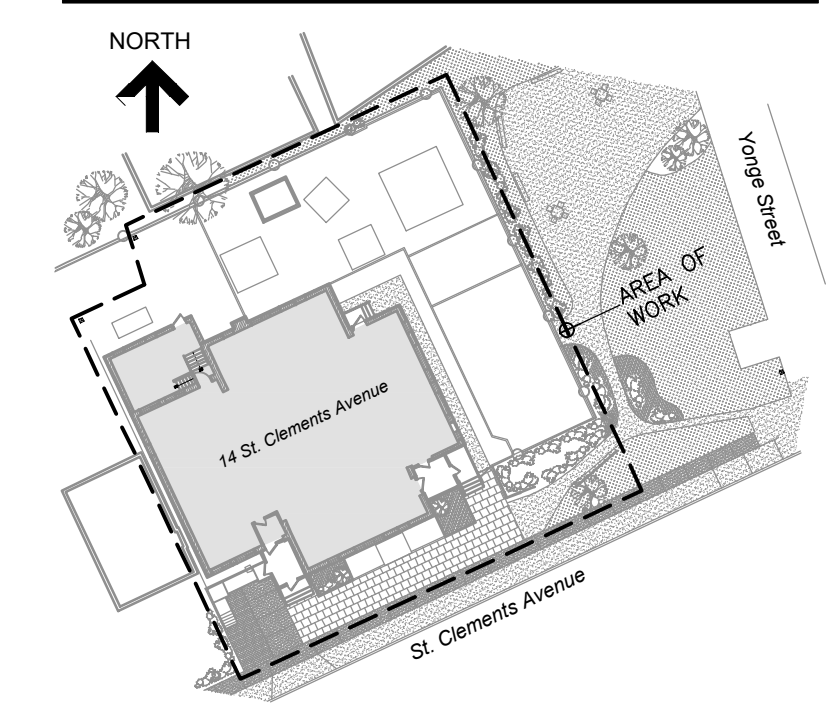
- VO EXISTING VENT
- EXISTING COLUMN OR WALL BELOW
- ▨ REMOVAL OF EXISTING ROOF STRUCTURE
- EXISTING RAFTER OF JOIST BELOW
- ⋮ EXTENT OF WORK

DEMOLITION NOTES:

- REFER TO DEMOLITION NOTES ON DRAWING S1.1.

RECOMMENDED DEMOLITION SEQUENCE:

- REFER TO NOTES ON DRAWING S1.1.

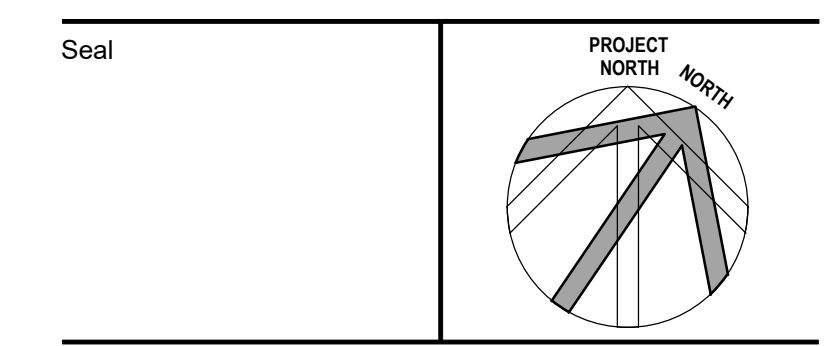


KEY PLAN

No.	Revision	Date	By
5.	ISSUED FOR PERMIT/ TENDER REVISION	Sept. 20, 24	S.P.
4.	ISSUED FOR BUILDING PERMIT	June 12, 24	S.P.
3.	ISSUED FOR TENDER	May 13, 24	S.P.
2.	ISSUED FOR CLIENT REVIEW	May 13, 24	S.P.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr. 17, 24	S.P.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

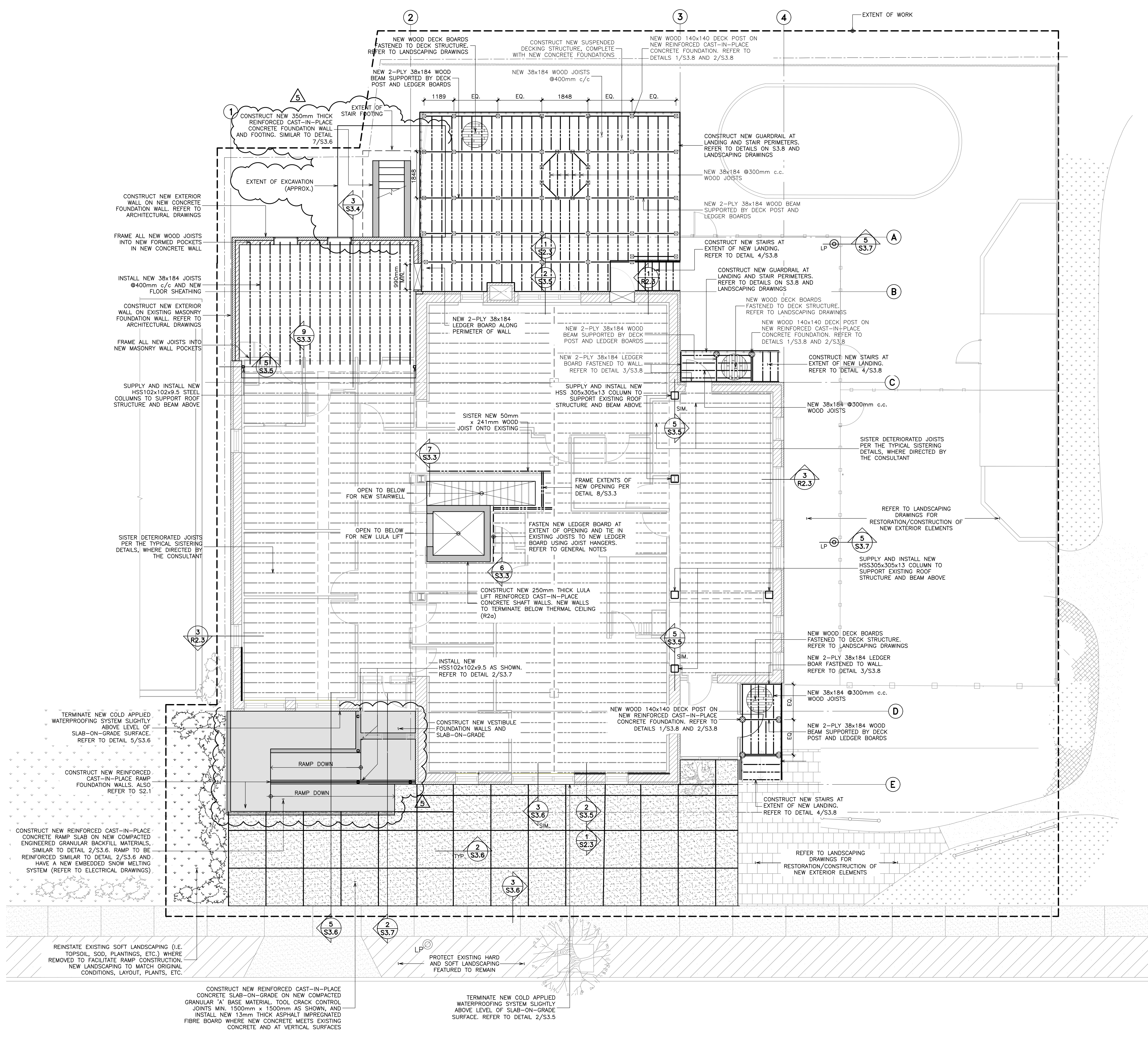
Sheet Title

**GROUND FLOOR
RESTORATION PLAN**

Drawn By T.S. Scale 1:75
Designed By S.P. Date September, 2024

RJC Project Number **TOR.122940.0001**

Sheet Number **S2.2** Revision



LEGEND:

- EXISTING CONCRETE CURB
- EXISTING MASONRY WALL
- EXISTING WINDOWS
- EXISTING CONCRETE SIDEWALK/ TOPPING
- EXISTING ASPHALT PAVEMENT
- EXISTING TREES AND SHRUBS
- EXISTING PAVERS
- EXISTING INTERLOCKING PAVERS
- EXISTING INTERLOCKING PAVERS
- EXISTING SOFT LANDSCAPING
- EXISTING WOOD FENCING
- EXISTING FENCING
- EXISTING PLANTING BED
- EXISTING WOOD DECKING
- EXISTING PICKET FENCING
- EXISTING JOIST OR BEAM BELOW
- EXISTING COLUMNS
- NEW MASONRY WALL
- NEW CONCRETE WALL
- NEW SLAB-ON-GRADE
- NEW WOOD DECKING
- NEW JOIST BELOW
- NEW FOUNDATION WALL WATERPROOFING SYSTEM
- NEW CONCRETE PAD
- NEW SOFT LANDSCAPING
- NEW BEAM BELOW
- NEW RAILING
- PROPERTY LINE

RESTORATION NOTES:
1. REFER TO RESTORATION NOTES ON S2.1.

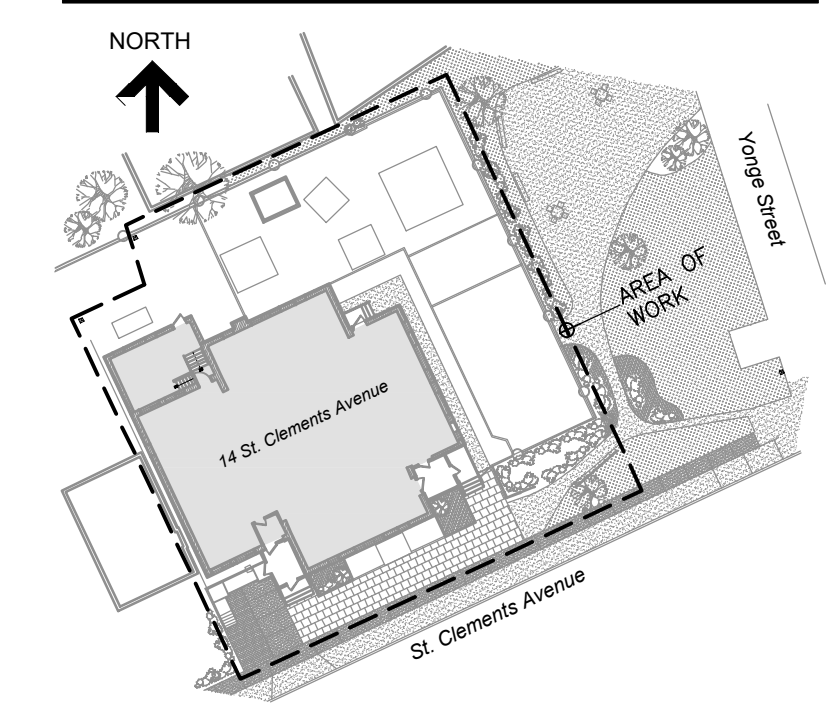
WATERPROOFING NOTES:
1. REFER TO WATERPROOFING NOTES ON S2.1.

CONSTRUCT NEW REINFORCED CAST-IN-PLACE CONCRETE RAMP SLAB ON NEW COMPACTED GRANULAR 'A' BASE MATERIAL. TOOL CRACK CONTROL JOINTS MIN. 1500mm x 1500mm AS SHOWN, AND INSTALL NEW 12mm THICK ASPHALT IMPREGNATED FIBRE BOARD WHERE NEW CONCRETE MEETS EXISTING CONCRETE AND AT VERTICAL SURFACES

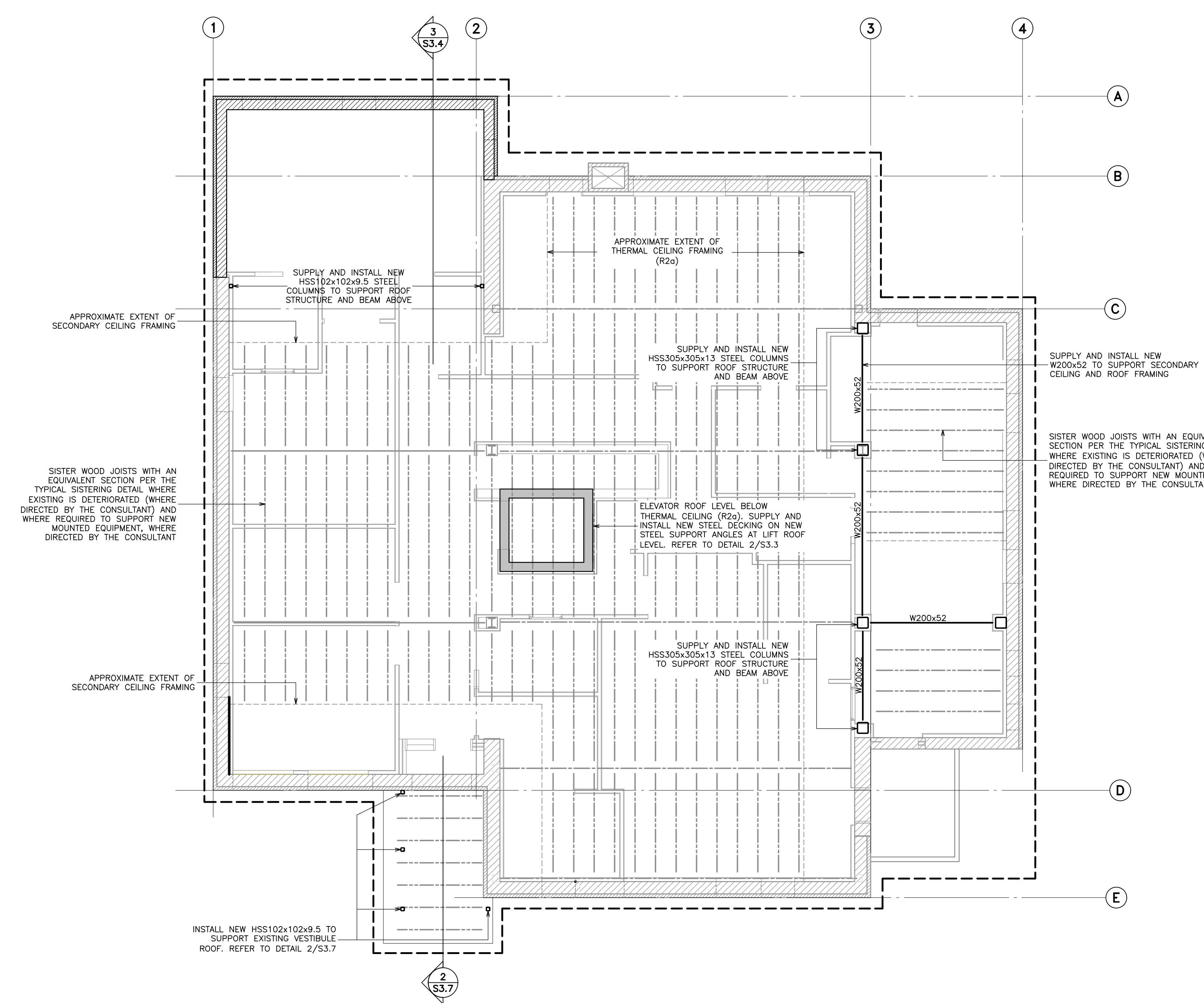
REINSTATE EXISTING SOFT LANDSCAPING (I.E. TOPSOIL, SOD, PLANTINGS, ETC.) WHERE REMOVED TO FACILITATE RAMP CONSTRUCTION. NEW LANDSCAPING TO MATCH ORIGINAL CONDITIONS, LAYOUT, PLANTS, ETC.

TERMINATE NEW COLD APPLIED WATERPROOFING SYSTEM SLIGHTLY ABOVE LEVEL OF SLAB-ON-GRADE SURFACE. REFER TO DETAIL 5/S3.6

PROTECT EXISTING HARD AND SOFT LANDSCAPING FEATURED TO REMAIN



KEY PLAN



LEGEND:

- CONCRETE CURB
- EXISTING MASONRY WALL
- WINDOWS
- EXISTING JOIST
- NEW BEAM

RESTORATION NOTES:

- REFER TO RESTORATION NOTES ON S2.1.

No.	Revision	Date	By
5.	ISSUED FOR PERMIT/ TENDER REVISION	Sept. 20, 24	S.P.
4.	ISSUED FOR BUILDING PERMIT	June 12, 24	S.P.
3.	ISSUED FOR TENDER	May 13, 24	S.P.
2.	ISSUED FOR CLIENT REVIEW	May 13, 24	S.P.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr. 17, 24	S.P.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal

Project Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title

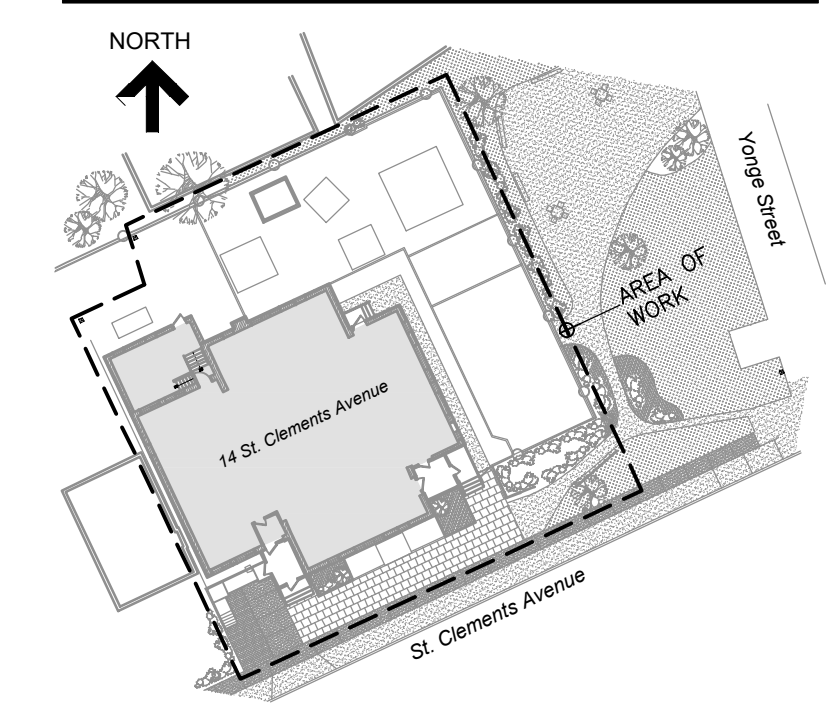
**GROUND FLOOR
REFLECTED CEILING
RESTORATION PLAN**

Drawn By T.S. Scale 1:75
Designed By S.P. Date September, 2024

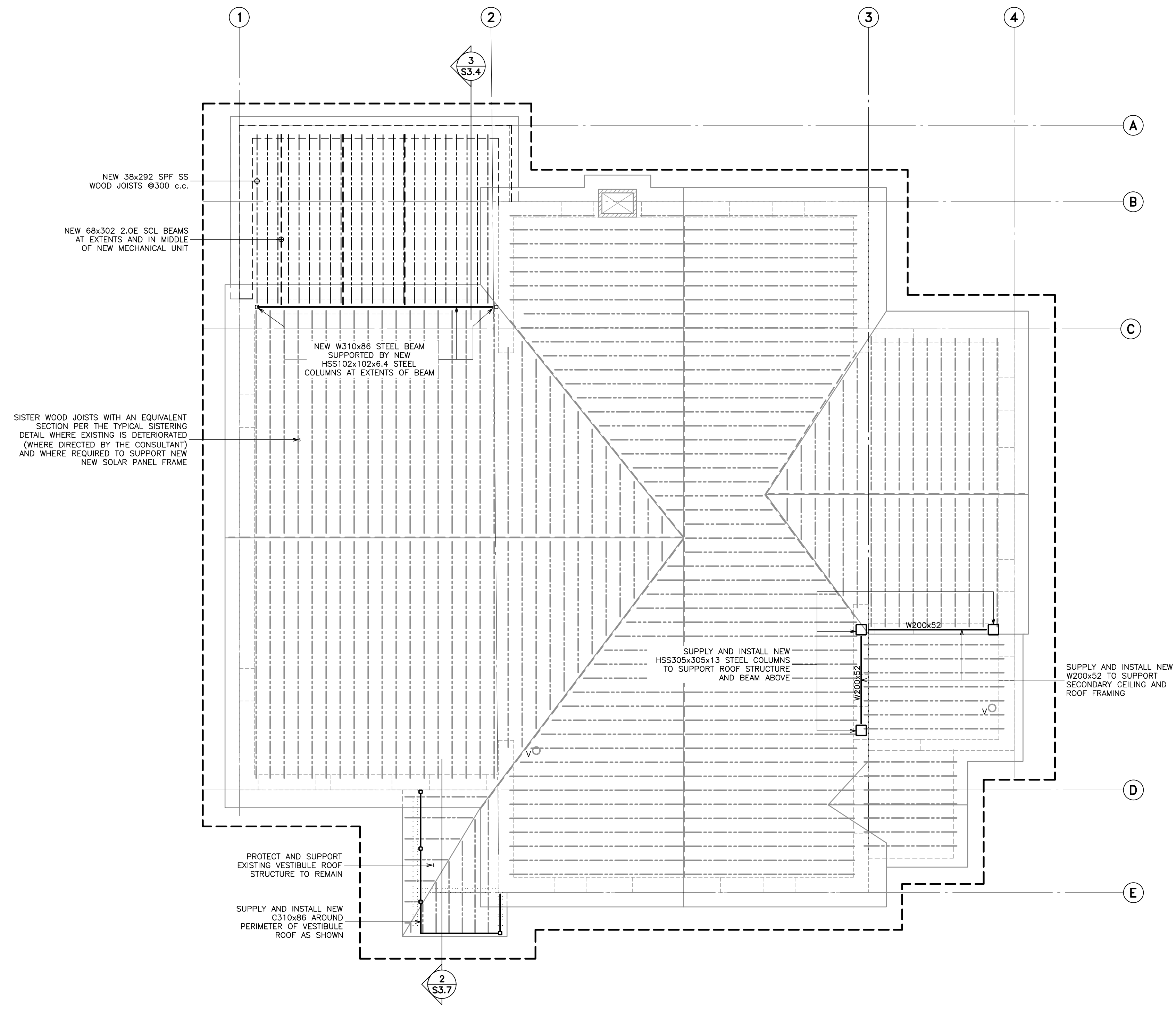
RJC Project Number TOR.122940.0001

Sheet Number Revision

S2.3



KEY PLAN



LEGEND:

- EXISTING VENT
- EXISTING COLUMN OR WALL BELOW
- NEW BEAM
- NEW WOOD JOIST
- NEW STEEL BEAM

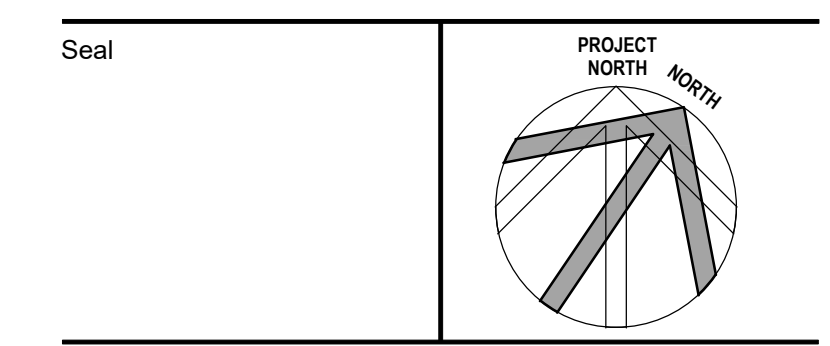
RESTORATION NOTES :

- REFER TO RESTORATION NOTES ON S2.1.

No.	Revision	Date	By
5.	ISSUED FOR PERMIT/ TENDER REVISION	Sept. 20, 24	S.P.
4.	ISSUED FOR BUILDING PERMIT	June 12, 24	S.P.
3.	ISSUED FOR TENDER	May 13, 24	S.P.
2.	ISSUED FOR CLIENT REVIEW	May 13, 24	S.P.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr. 17, 24	S.P.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

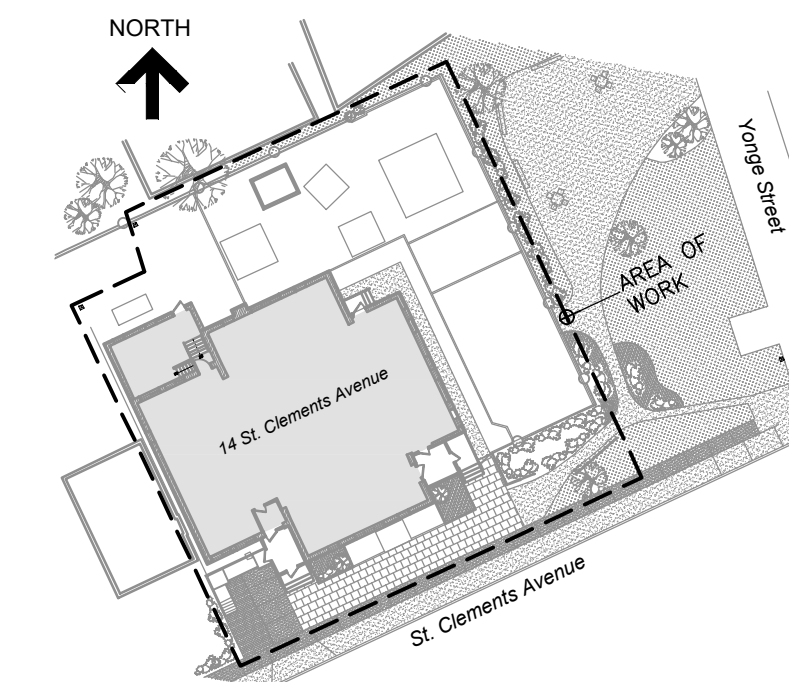
BUILDING RENOVATION

Sheet Title

**ROOF LEVEL
RESTORATION PLAN**

Drawn By T.S. Scale 1:75
Designed By S.P. Date September, 2024
RJC Project Number **TOR.122940.0001**

Sheet Number **S2.4** Revision



KEY PLAN

No.	Revision	Date	By
5.	ISSUED FOR PERMIT/TENDER REVISION	Sept. 20, 24	S.P.
4.	ISSUED FOR BUILDING PERMIT	June 12, 24	S.P.
3.	ISSUED FOR TENDER	May 13, 24	S.P.
2.	ISSUED FOR CLIENT REVIEW	May 13, 24	S.P.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr. 17, 24	S.P.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal

Project Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title

SECTIONS AND DETAILS

Drawn By **T.S.** Scale **AS NOTED**
Designed By **S.P.** Date **September, 2024**
RJC Project Number **TOR.122940.0001**
Sheet Number _____ Revision _____

S3.1

5 S3.1 DRAIN INSTALLATION DETAIL
N.T.S.

4 S3.1 FOUNDATION SLAB F3 DETAIL AT WALL OR COLUMN
N.T.S.

3 S3.1 SLAB ON GRADE DEMOLITION DETAIL AT WALL OR COLUMN
N.T.S.

2 S3.1 TYPICAL FOUNDATION SLAB F3 DETAIL
N.T.S.

1 S3.1 TYPICAL MORTAR JOINT REPAIR DETAIL
N.T.S.

6 S3.1 BRICK MASONRY REPLACEMENT DETAIL
N.T.S.

7 S3.1 MORTAR JOINT REPAIR DETAIL
N.T.S.

8 S3.1 TYPICAL VERTICAL CONCRETE DELAMINATION REPAIR DETAIL
N.T.S.

9 S3.1 TYPICAL INTERIOR WEEPING TILE INSTALLATION DETAIL
N.T.S.

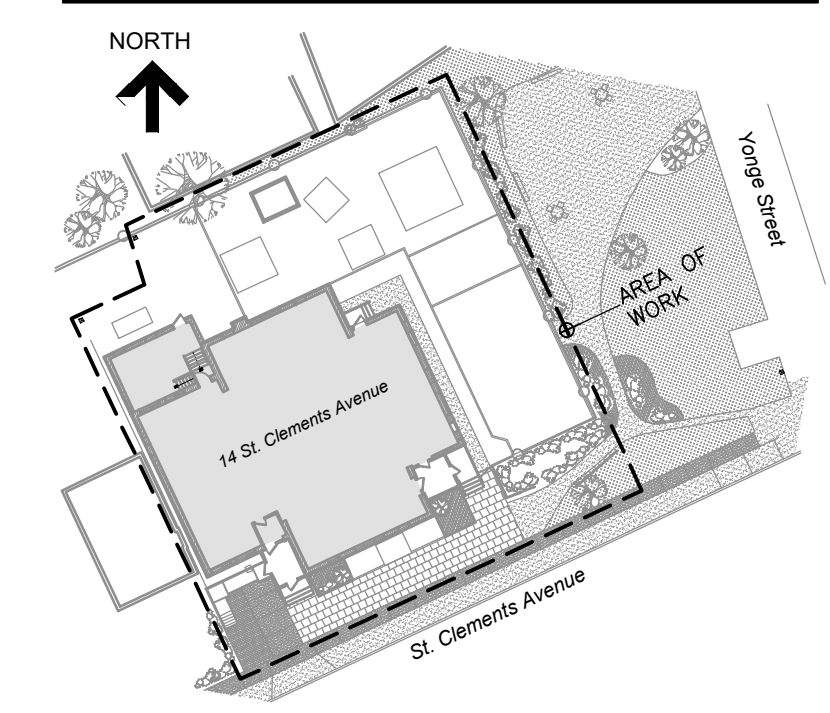
12 S3.1 NEW WALL TERMINATION AT EXISTING WALL
N.T.S.

11 S3.1 NEW BASEMENT INTERIOR LEVEL WALL CONSTRUCTION RESTORATION
N.T.S.

10 S3.1 NEW BASEMENT LEVEL INTERIOR WALL CONSTRUCTION - DEMOLITION
N.T.S.

NOTES:

- REFER TO MECHANICAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS RELATING TO PLUMBING AND DRAINAGE.
- REFER TO MECHANICAL DRAWINGS AND SPECIFICATIONS FOR THE TIE-IN DETAIL TO SUMP PITS.
- IF CONTINUOUS HORIZONTAL REINFORCING BARS CANNOT BE EMBEDDED, EMBED SEPARATE SECTIONS OF REINFORCING BARS AND TENSION LAP SPICE REINFORCING BARS AT EXISTING WALL. REFER TO GENERAL NOTES DRAWINGS FOR REQUIREMENTS.
- NEW CONCRETE SLAB-ON-GRADE SURFACE TO BE SLOPED AWAY FROM VERTICAL SURFACES AND TOWARDS DRAINS. MIN. THICKNESS INDICATED SHALL BE AT LOW POINT IN SLAB SURFACE (I.E. AT DRAINS).
- SAWCUT CONTROL JOINTS IN SLAB-ON-GRADE SURFACE IN CONFORMANCE WITH SPECIFICATION SECTION 03 30 00 - CAST-IN-PLACE CONCRETE. REFER TO RESTORATION PLAN ON STRUCTURAL DRAWINGS FOR CONTROL JOINT LAYOUT.
- SIZE AND EXTENT OF FOOTING SHOWN IS APPROXIMATE ONLY. CONTRACTOR TO ADVISE CONSULTANT TEAM IMMEDIATELY OF CONDITIONS OF BASE BUILDING STRUCTURE DIFFER FROM DETAILING SHOWN.
- REPAIRS ARE TO BE PERFORMED ON FOUNDATION WALLS WHERE DIRECTED BY RJC DURING CONSTRUCTION.
- REPAIRS ARE TO BE PERFORMED ON FOUNDATION WALLS WHERE DIRECTED BY RJC DURING CONSTRUCTION.
- NEW INTERIOR FOUNDATION WALL IS TO BE INSULATED/ FINISHED PER FOUNDATION WALL FD2 INDICATED ON ARCHITECTURAL DRAWINGS. INSULATION AND FINISHES ARE NOT SHOWN ABOVE FOR CLARITY.
- PERFORM LOCALIZED MASONRY REPAIRS ON EXISTING COLUMN PER DETAILS 6/S3.1 AND 7/S3.1 PRIOR TO PLACING NEW MATERIALS, WHERE DIRECTED BY RJC.
- REFER TO DETAIL 12/S3.1 FOR TERMINATION DETAILING OF WALL AT EXISTING MASONRY WALL.
- WEEPING TILE DETAILING NOT SHOWN FOR CLARITY. REFER TO APPROPRIATE DETAILS.
- REFER TO 10/S3.3 FOR DETAILING AT FORMED WALL OPENINGS.



KEY PLAN

No.	Revision	Date	By
5.	ISSUED FOR PERMIT/TENDER REVISION	Sept. 20, 24	S.P.
4.	ISSUED FOR BUILDING PERMIT	June 12, 24	S.P.
3.	ISSUED FOR TENDER	May 13, 24	S.P.
2.	ISSUED FOR CLIENT REVIEW	May 13, 24	S.P.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr. 17, 24	S.P.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal	
------	--

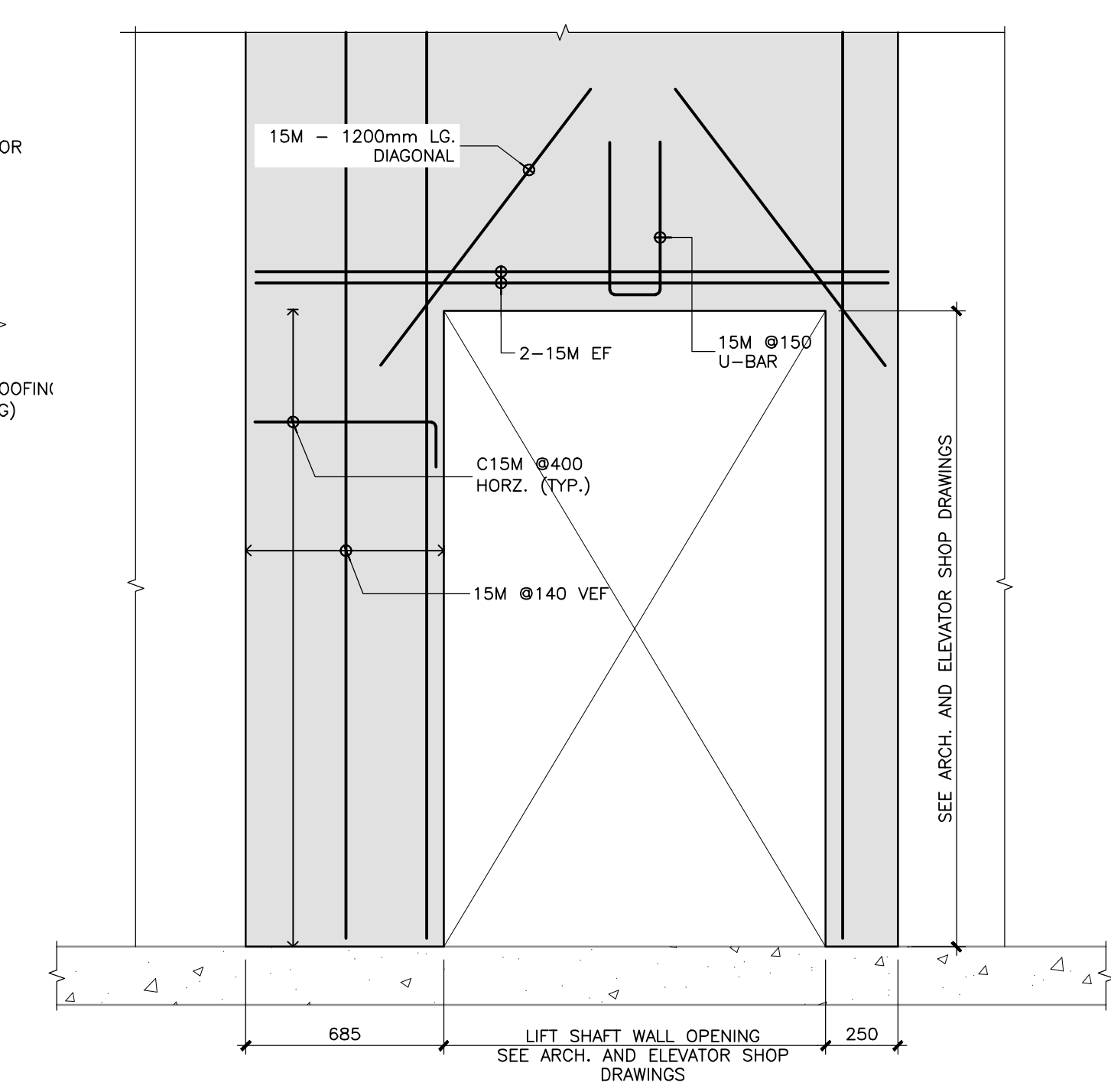
Project Name
Upper Yonge Village Daycare Centre
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

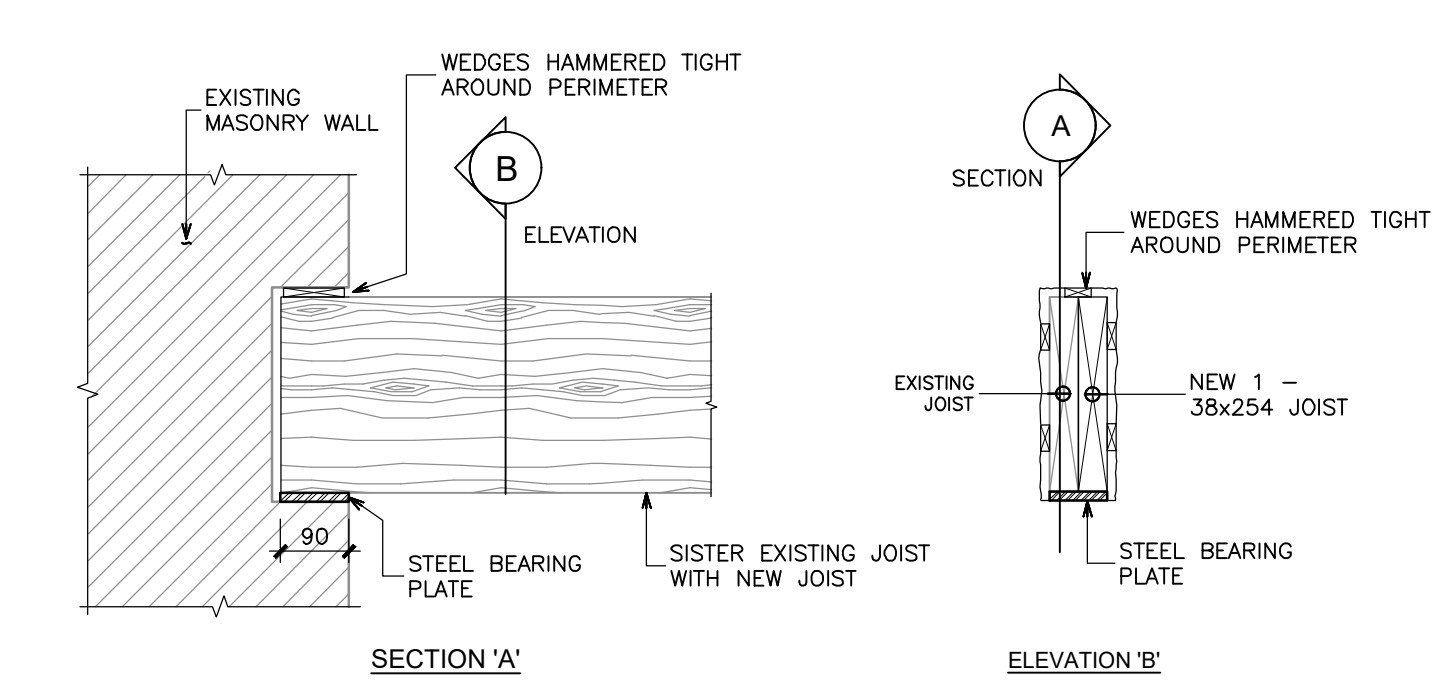
Sheet Title

SECTIONS AND DETAILS
Drawn By T.S. Scale AS NOTED
Designed By S.P. Date September, 2024
RJC Project Number TOR.122940.0001
Sheet Number Revision

S3.3

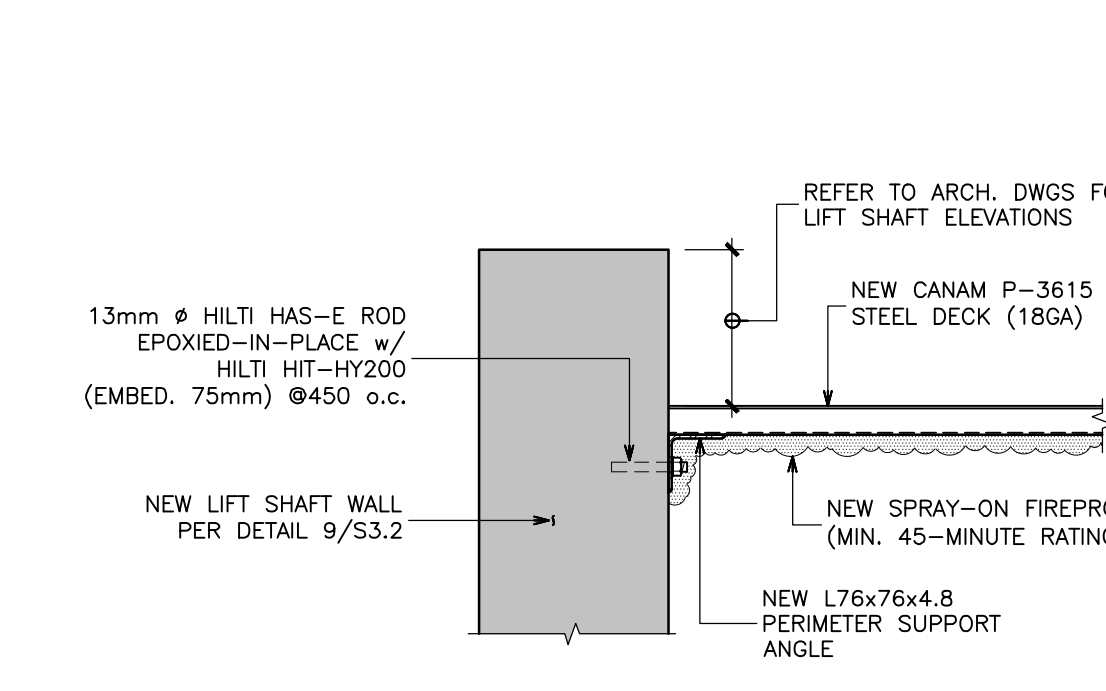


1 S3.3
TYPICAL LIFT SHAFT WALL PANEL REINFORCEMENT AT OPENING
N.T.S.

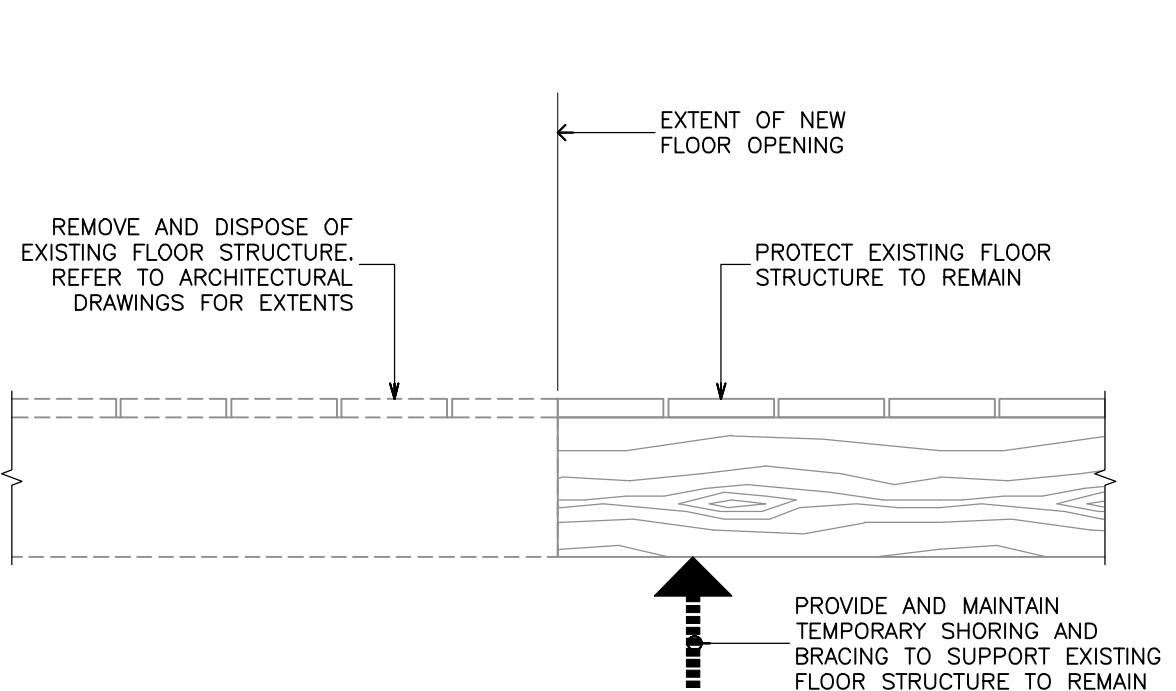


- NOTES:**
- ADJUST WIDTH OF BEARING POCKET AS REQUIRED TO SUIT THE SISTERED WOOD FLOOR JOIST DIMENSIONS.
 - SISTERED UP JOIST CONDITION IS SHOWN, DETAIL FOR SINGLE JOIST INSTALLATION WHERE JOIST REPLACEMENT IS TO OCCUR IS SIMILAR.
 - WEDGES TO BE INSTALLED AFTER ELEVATING EXISTING JOISTS TO THEIR INTENDED LEVEL POSITION.
 - SISTER JOISTS PER GENERAL NOTES.
 - SISTER NEW JOIST TO EXISTING WITH 3- STAGGERED ROWS OF NAILS.

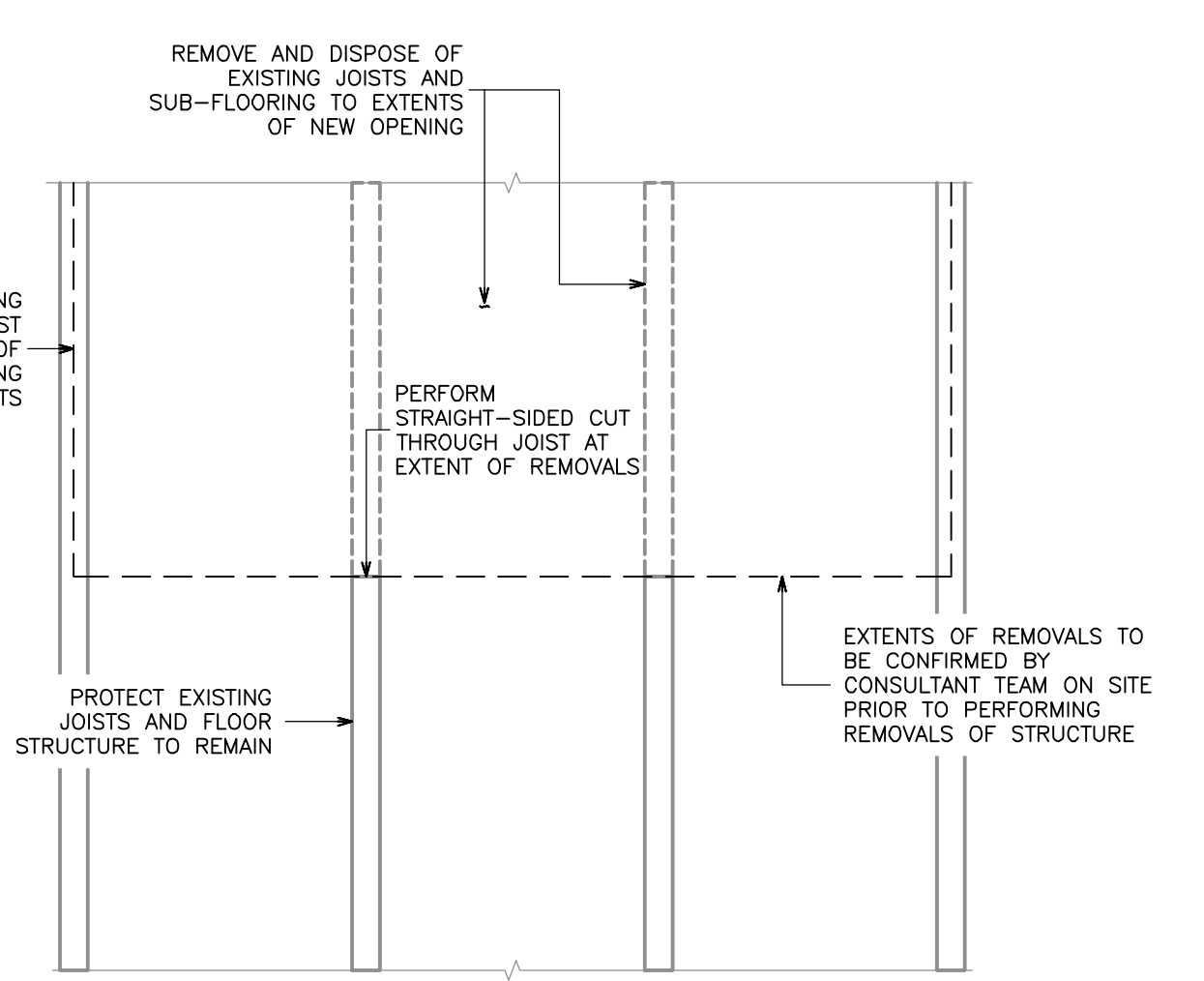
7 S3.3
TYPICAL BEARING POCKET AND SISTERING DETAIL
N.T.S.



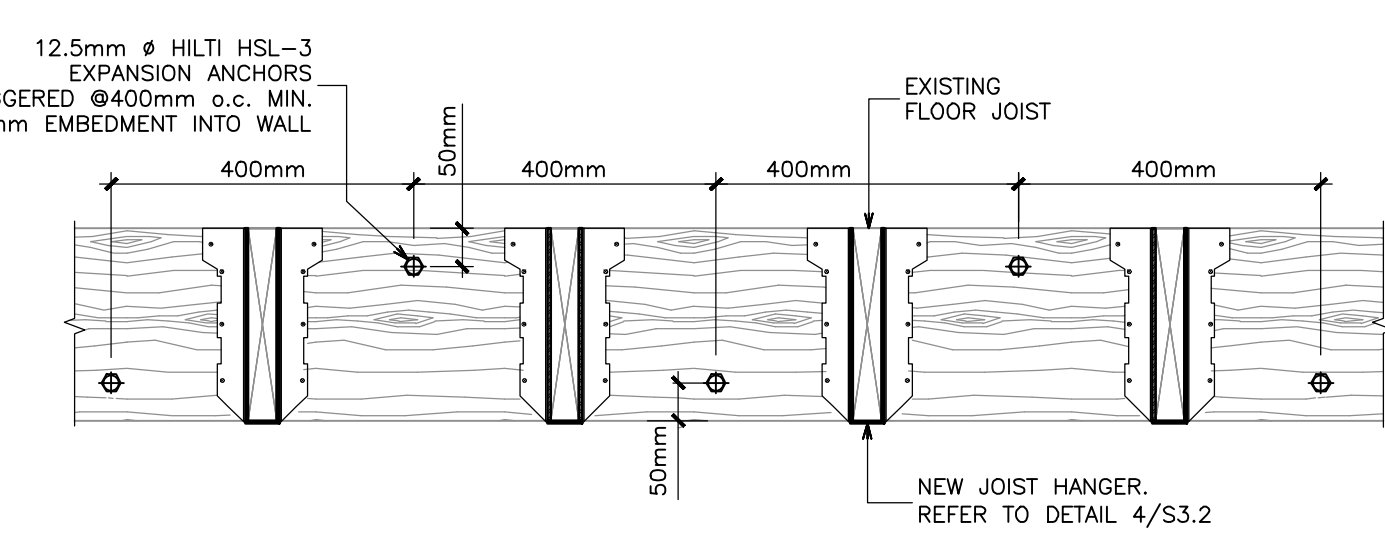
2 S3.3
TYPICAL LIFT SHAFT ROOF DECK AND SUPPORT
N.T.S.



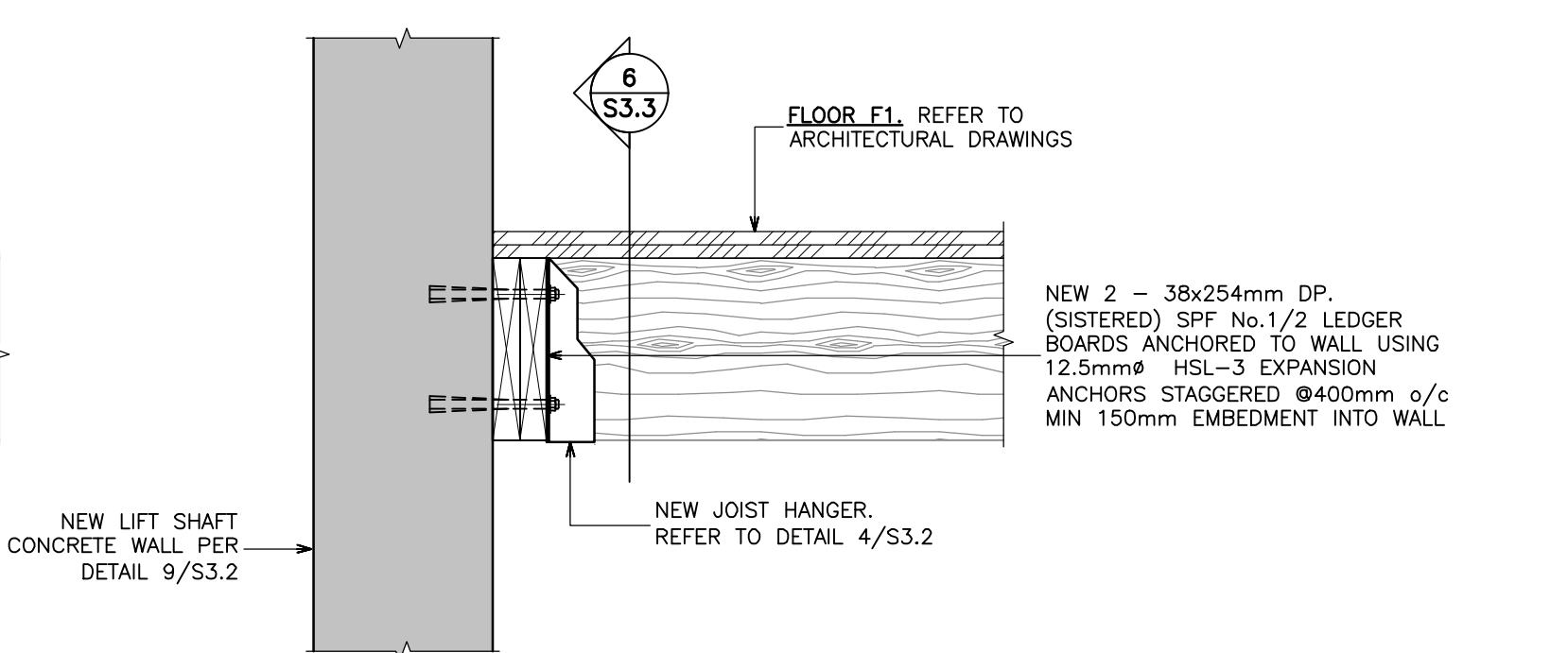
3 S3.3
TYPICAL FLOOR STRUCTURE REMOVAL AT GROUND FLOOR OPENING SECTION
N.T.S.



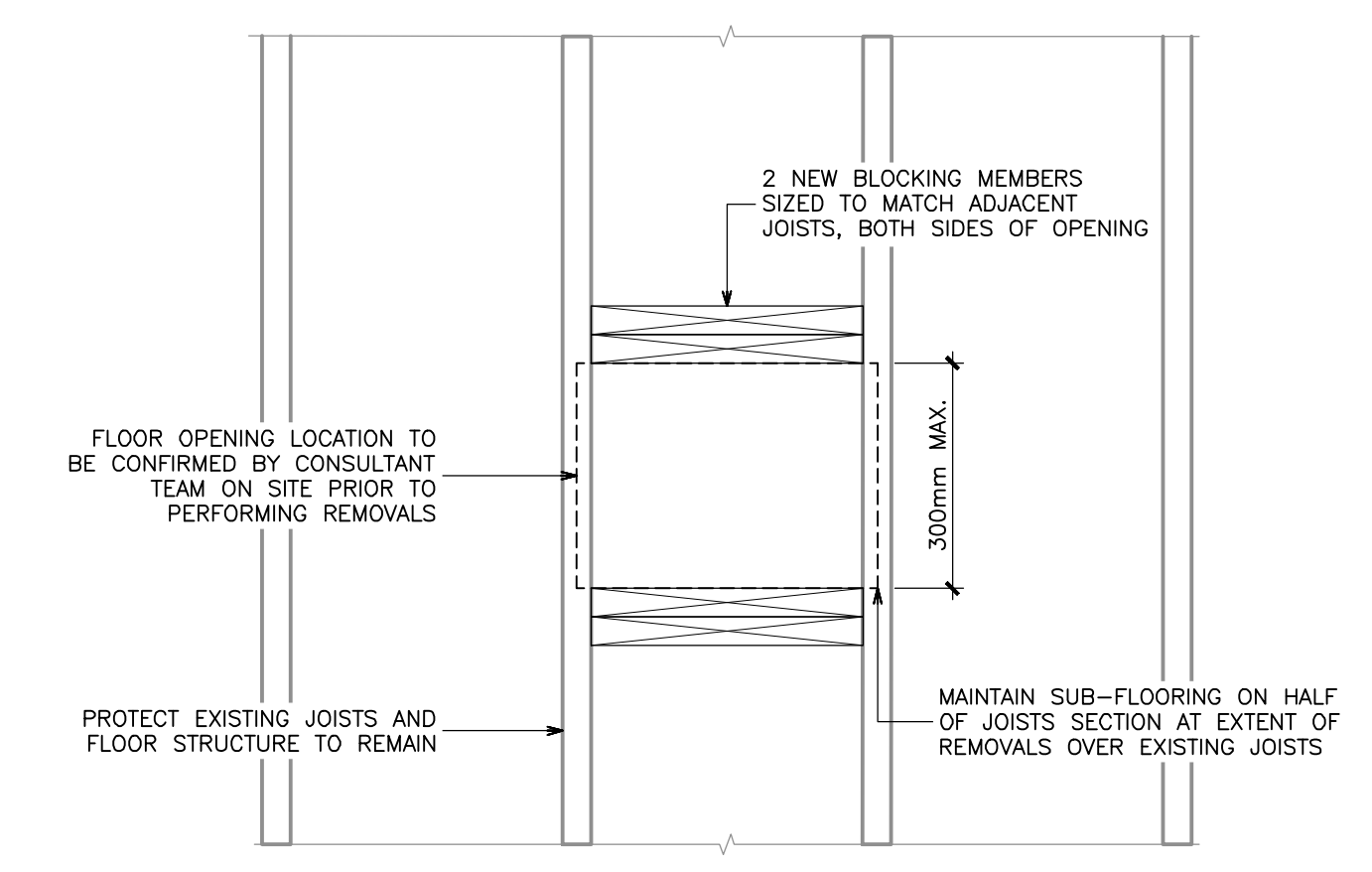
4 S3.3
TYPICAL FLOOR STRUCTURE REMOVAL AT GROUND FLOOR OPENING - SECTION
N.T.S.



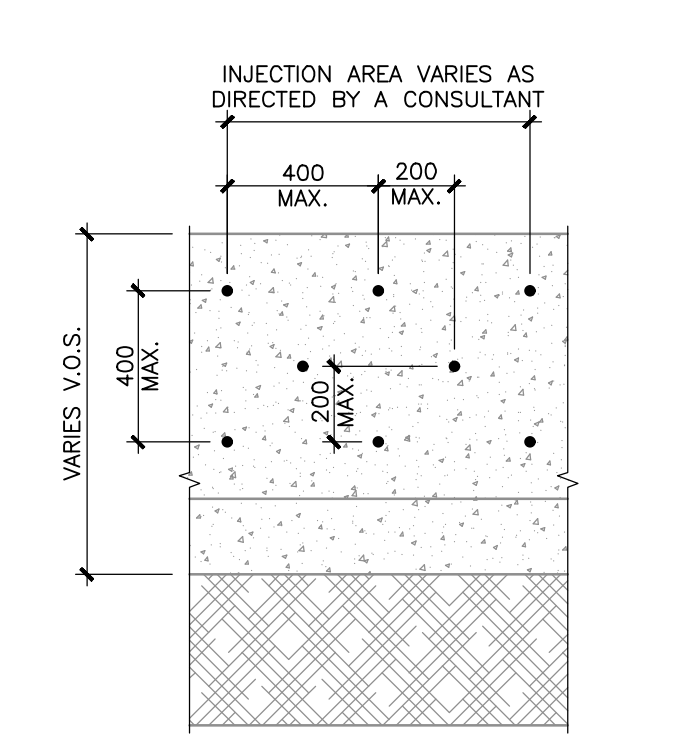
6 S3.3
LEDGER BOARD ANCHOR DETAIL
N.T.S.



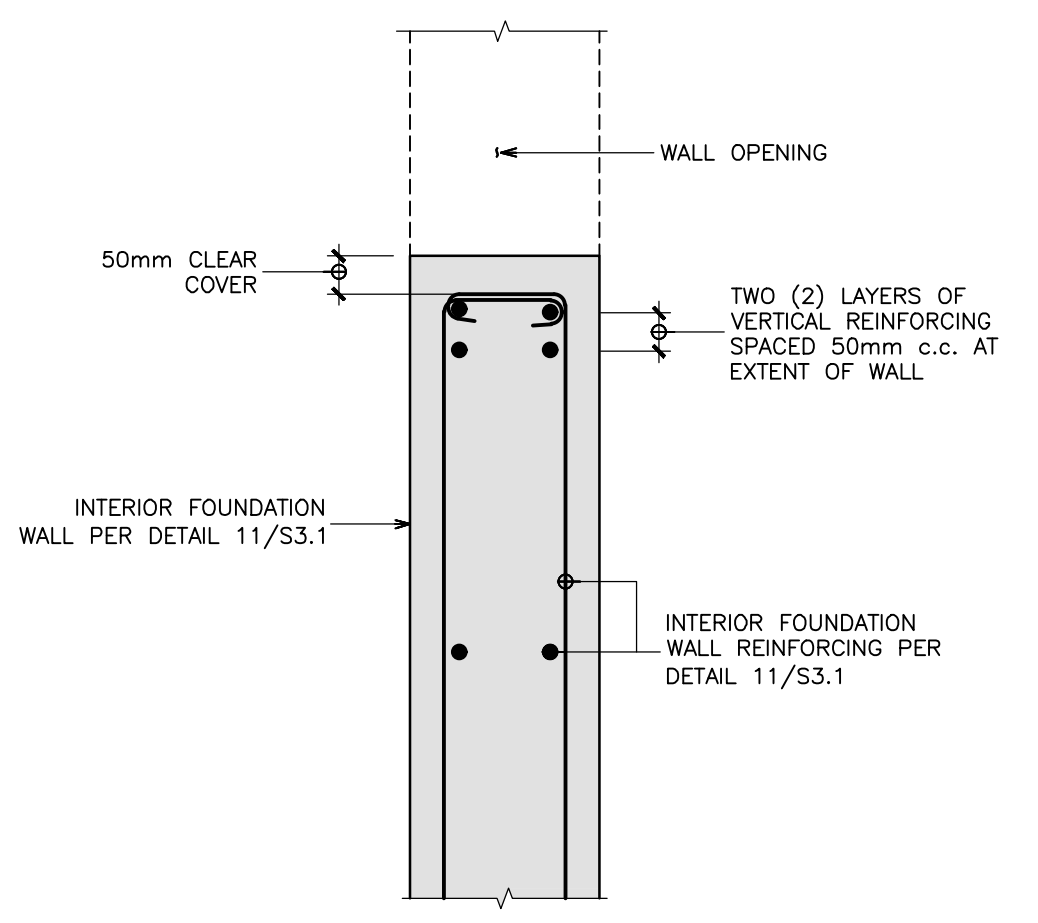
5 S3.3
JOIST CONNECTIONS AT NEW LIFT SHAFT WALL
N.T.S.



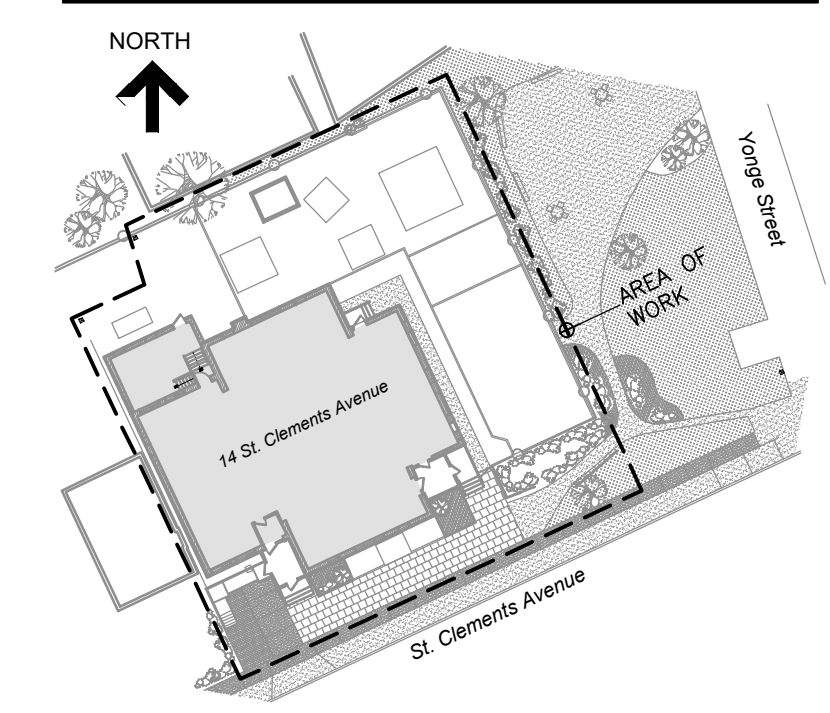
8 S3.3
TYPICAL FLOOR STRUCTURE OPENING BETWEEN JOISTS (SUB-FLOOR REMOVAL ONLY)
N.T.S.



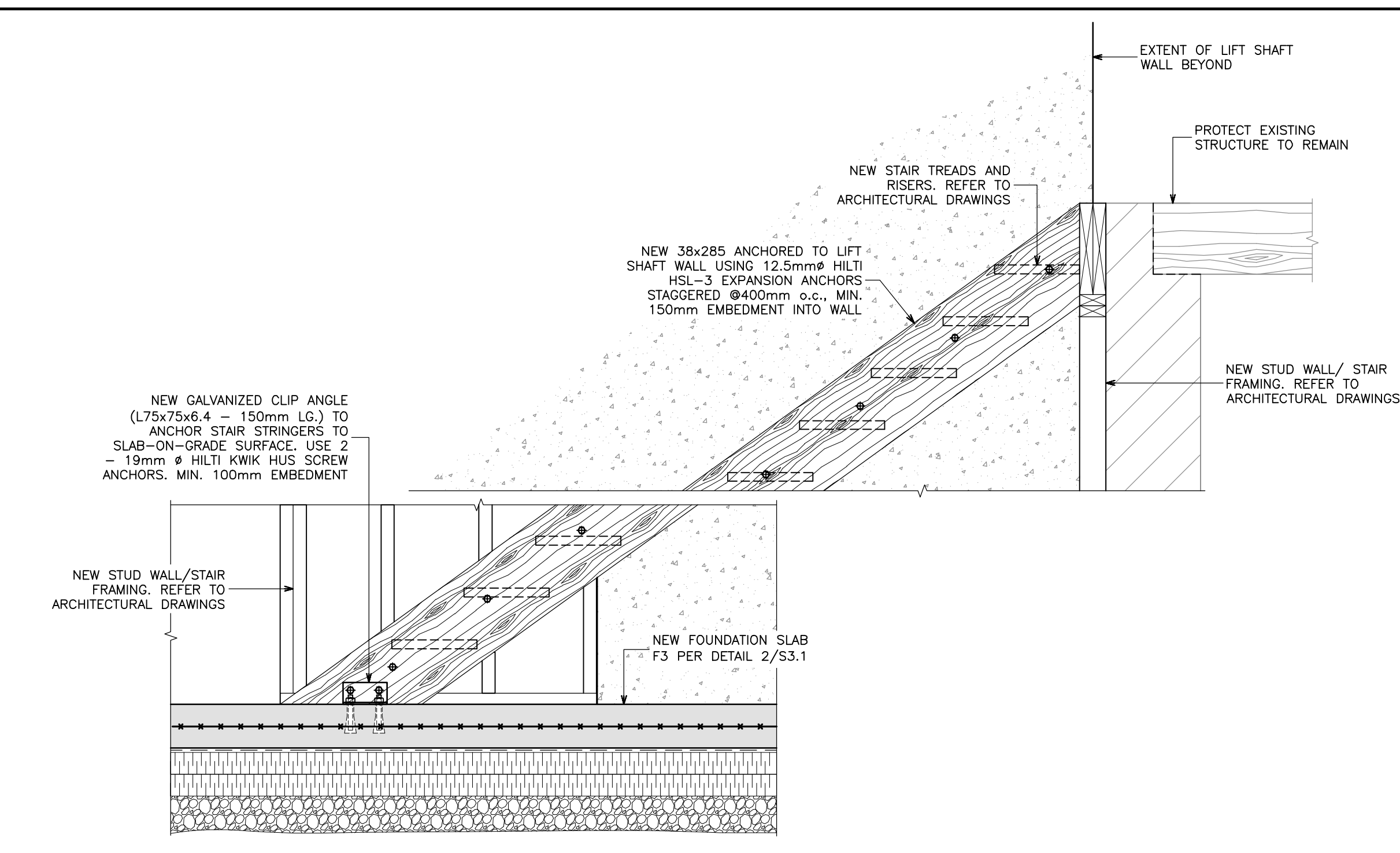
9 S3.3
TYPICAL CURTAIN INJECTION FOUNDATION WALL WATERPROOFING INJECTION PORT LAYOUT
N.T.S.



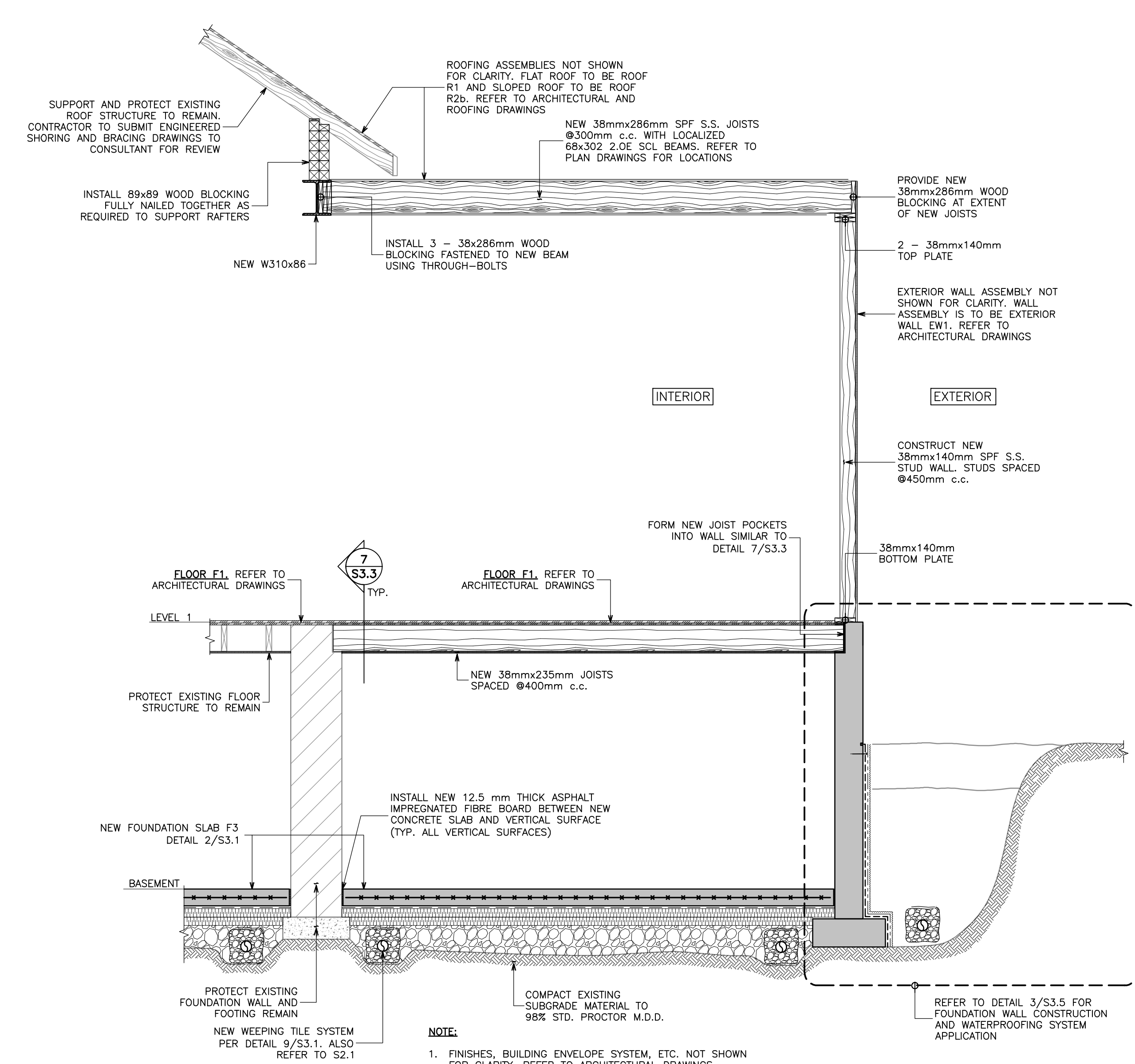
10 S3.3
INTERIOR FOUNDATION WALL TERMINATION DETAIL AT EXTENTS OF WALL OPENING
N.T.S.



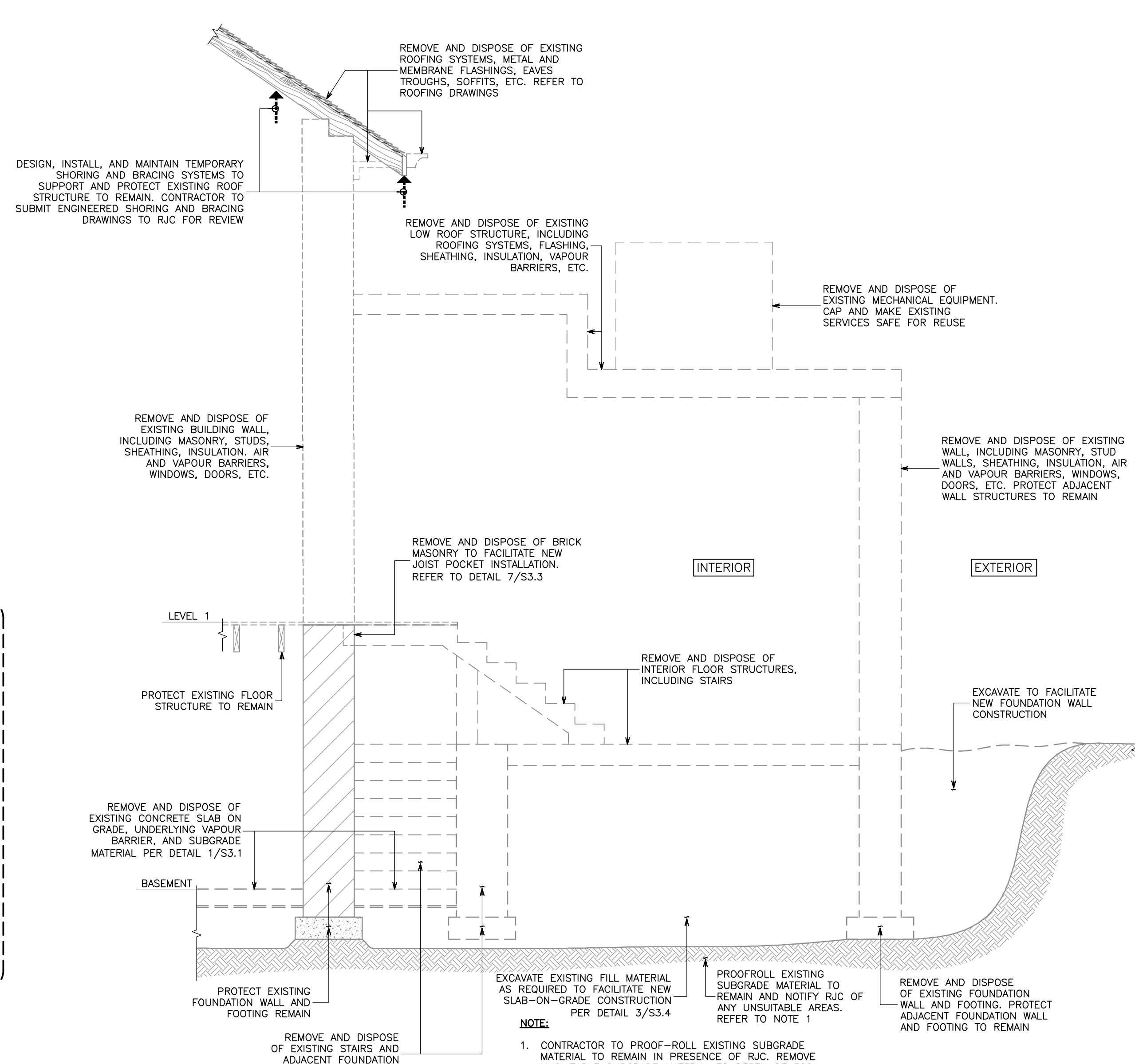
KEY PLAN



1
S3.4
STAIR STRUCTURE
INSTALLATION DETAIL
N.T.S.



3
S3.4
RECONSTRUCTION AT
NORTHWEST BUILDING ADDITION
N.T.S.



2
S3.4
DEMOLITION AT NORTHWEST
BUILDING ADDITION
N.T.S.

No.	Revision	Date	By
5.	ISSUED FOR PERMIT/ TENDER REVISION	Sept. 20, 24	S.P.
4.	ISSUED FOR BUILDING PERMIT	June 12, 24	S.P.
3.	ISSUED FOR TENDER	May 13, 24	S.P.
2.	ISSUED FOR CLIENT REVIEW	May 13, 24	S.P.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr. 17, 24	S.P.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal	
------	--

Project Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title

SECTIONS AND DETAILS

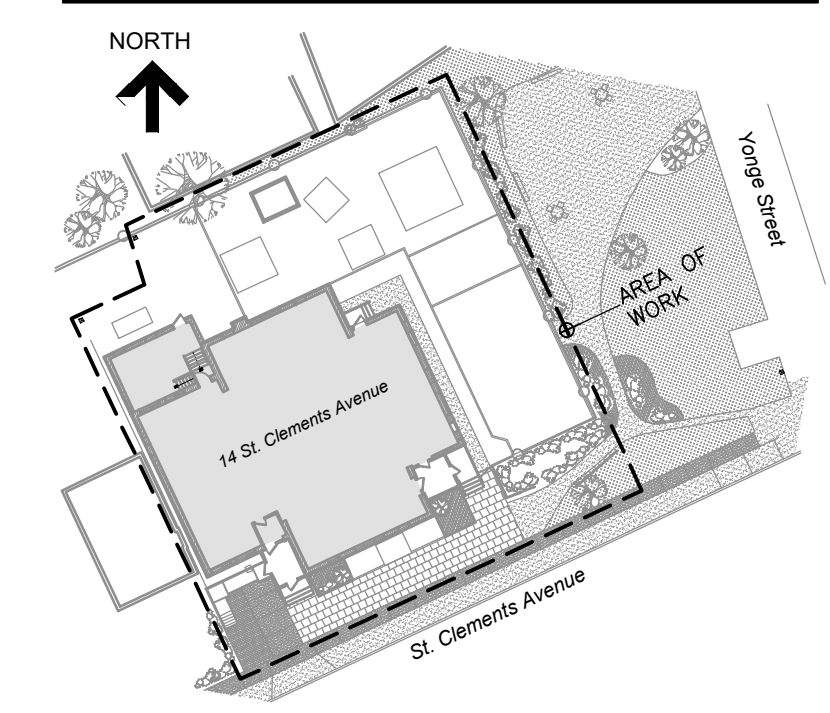
Drawn By T.S. Scale AS NOTED

Designed By S.P. Date September, 2024

RJC Project Number TOR.122940.0001

Sheet Number Revision

S3.4



KEY PLAN

No.	Revision	Date	By
5.	ISSUED FOR PERMIT/ TENDER REVISION	Sept. 20, 24	S.P.
4.	ISSUED FOR BUILDING PERMIT	June 12, 24	S.P.
3.	ISSUED FOR TENDER	May 13, 24	S.P.
2.	ISSUED FOR CLIENT REVIEW	May 13, 24	S.P.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr. 17, 24	S.P.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tendering" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal	
------	--

Project Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

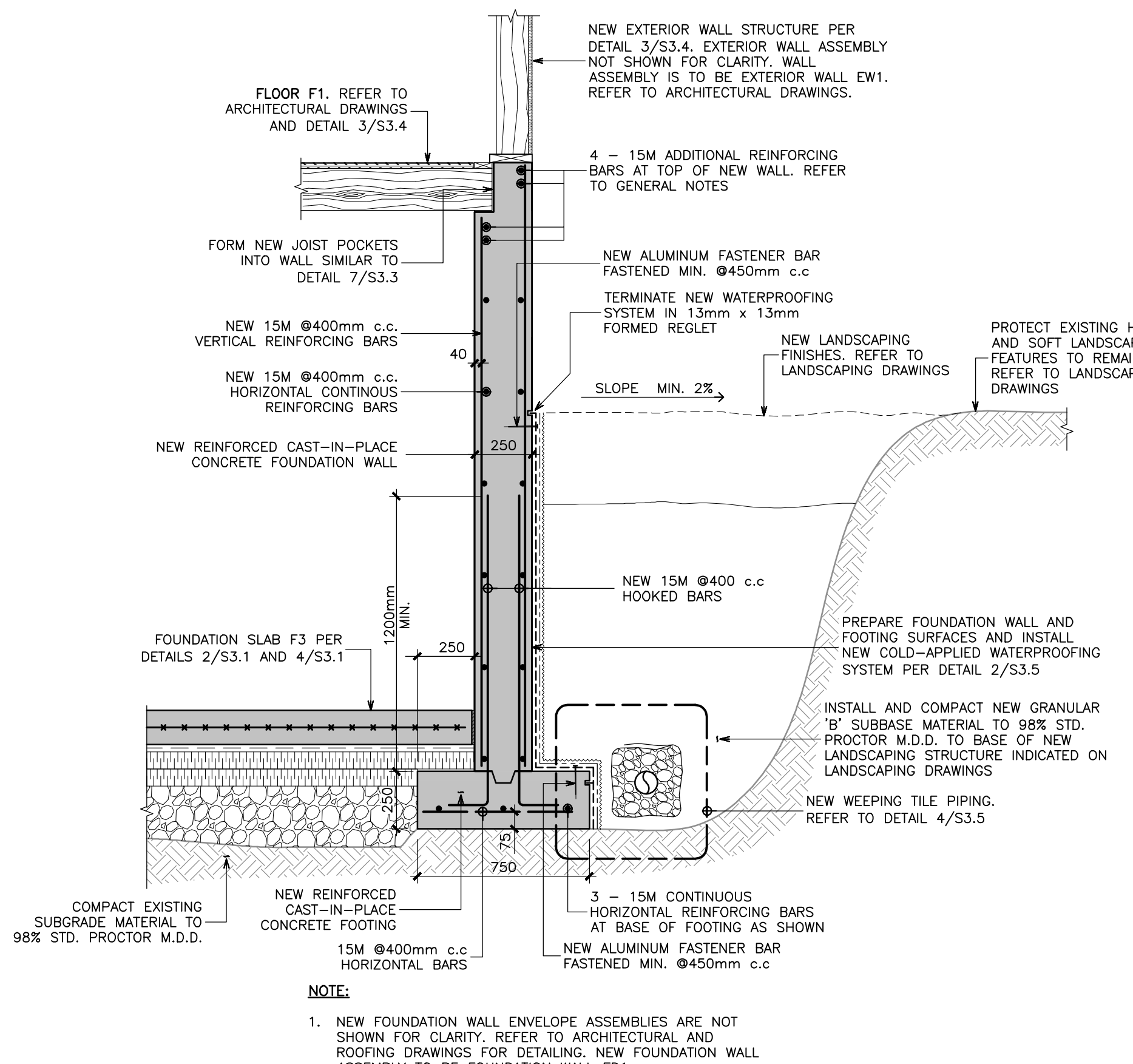
BUILDING RENOVATION

Sheet Title

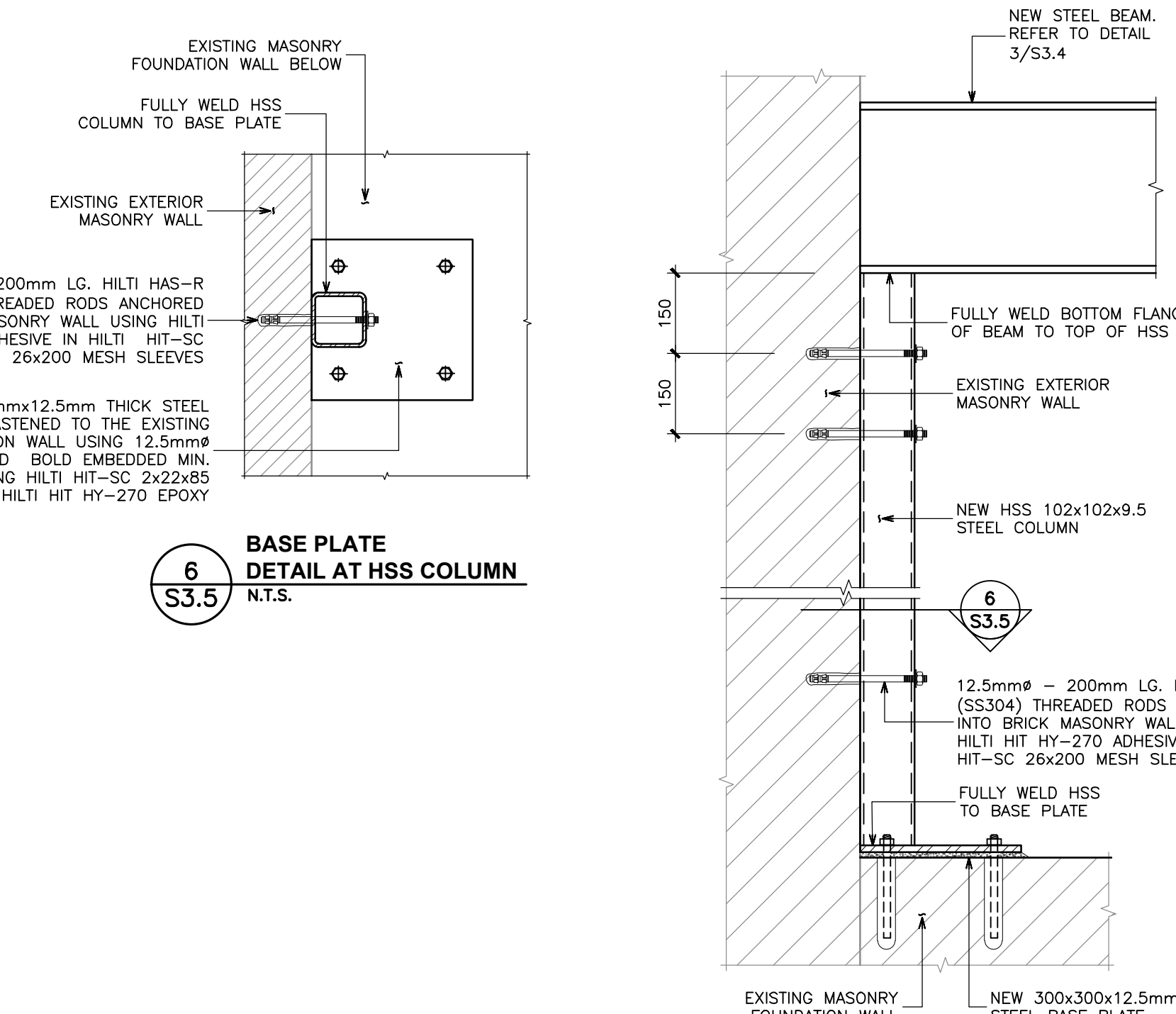
SECTIONS AND DETAILS

Drawn By T.S. Scale AS NOTED
Designed By S.P. Date September, 2024
RJC Project Number TOR.122940.0001
Sheet Number _____ Revision _____

S3.5

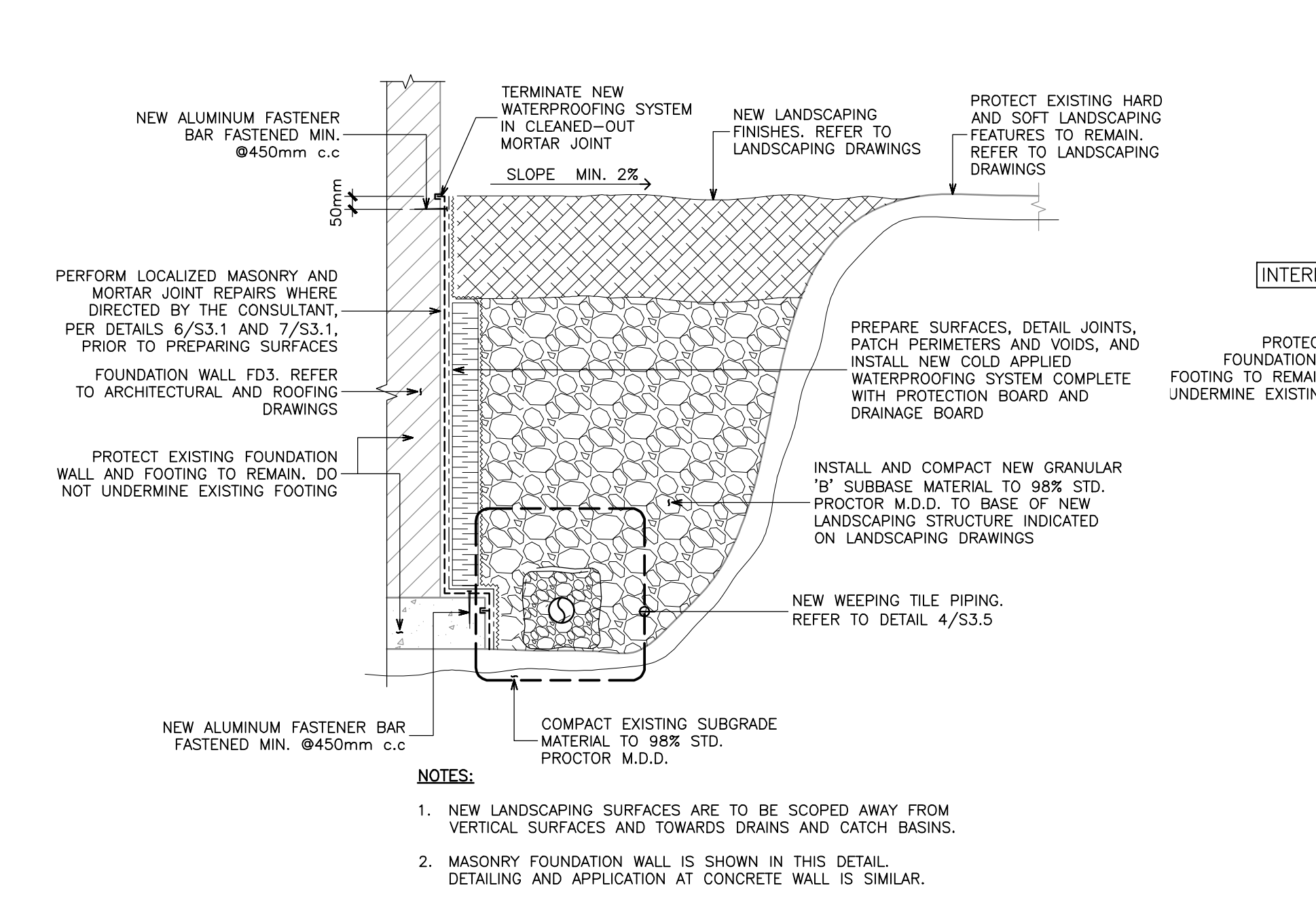


3 S3.5
NEW FOUNDATION WALL
CONSTRUCTION - NORTHWEST ADDITION
N.T.S.

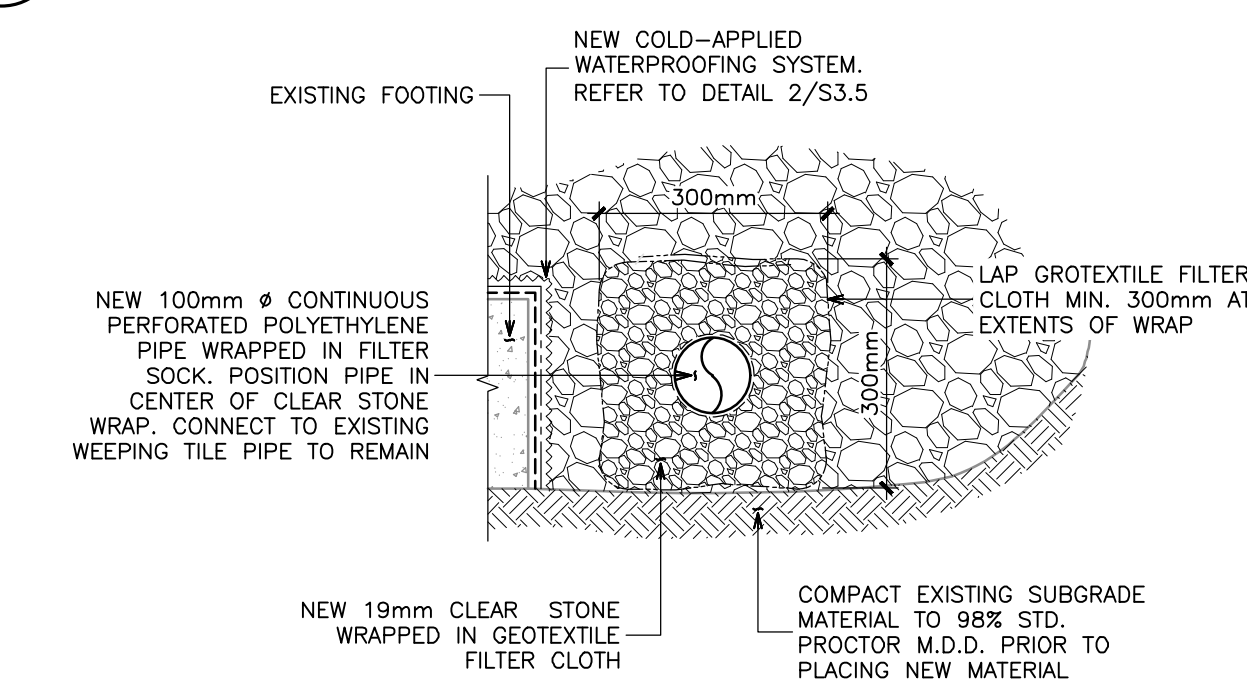


6 S3.5
BASE PLATE
DETAIL AT HSS COLUMN
N.T.S.

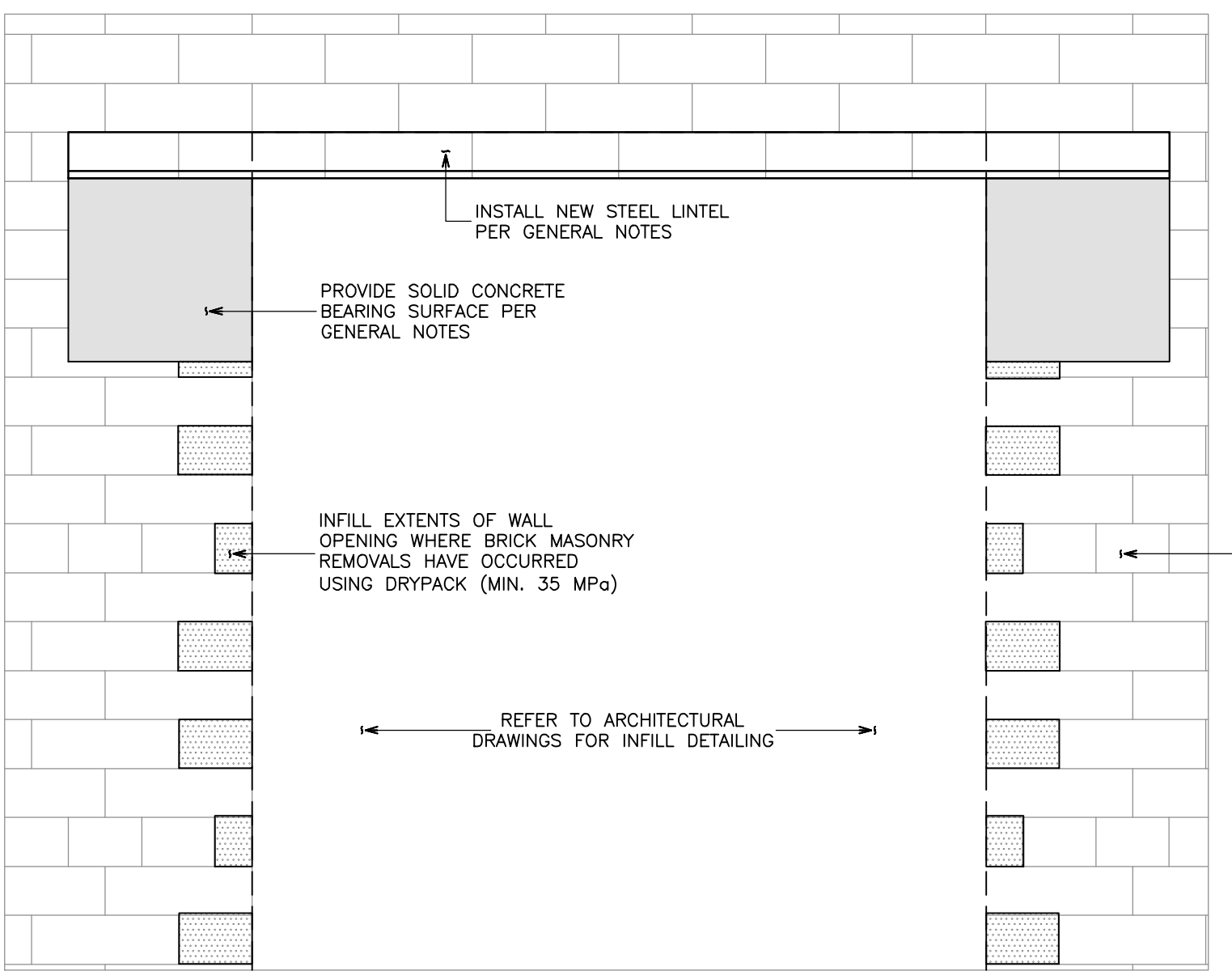
5 S3.5
HSS COLUMN SUPPORT
N.T.S.



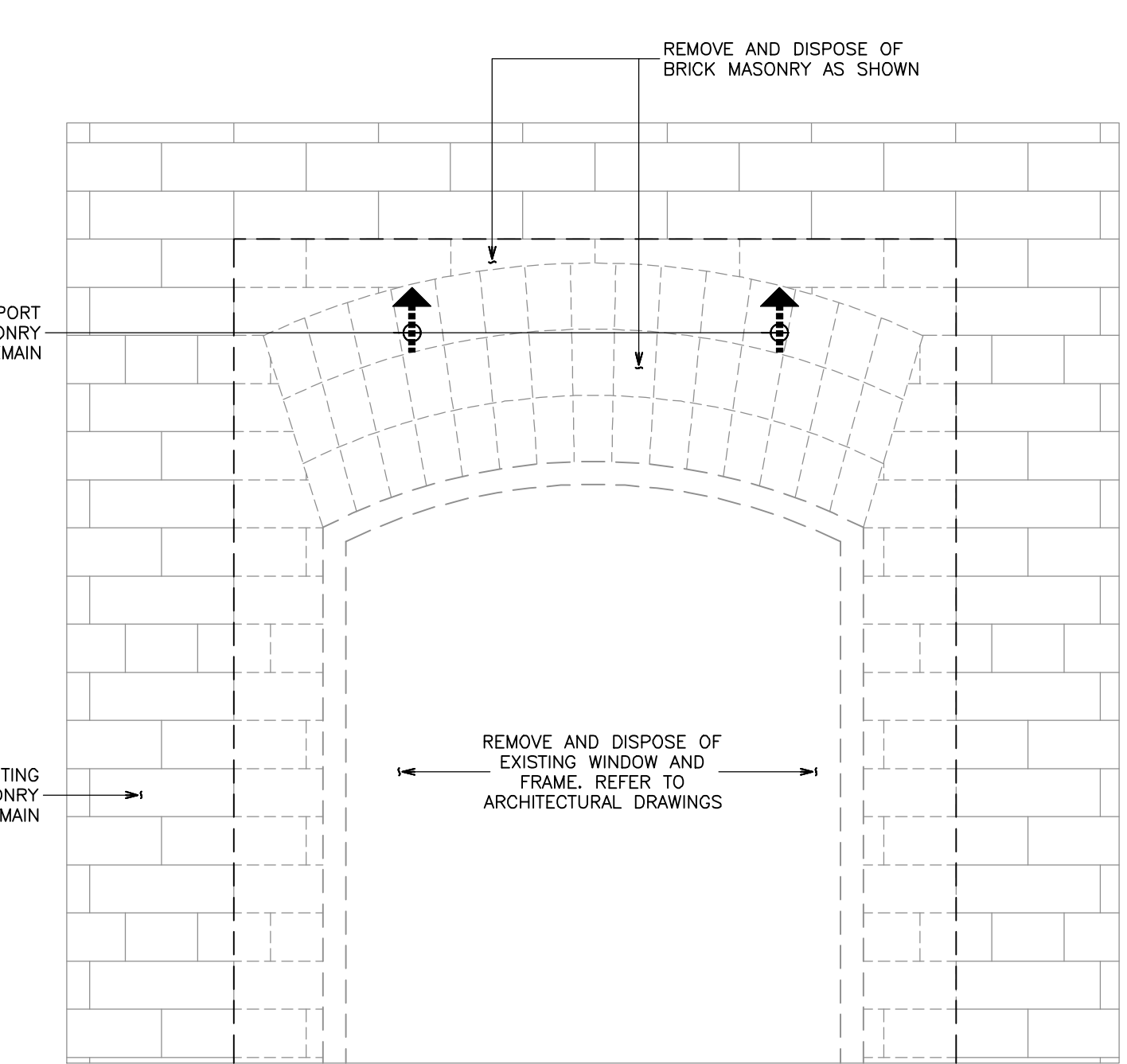
2 S3.5
WATERPROOFING SYSTEM
INSTALLATION AT
EXTERIOR FOUNDATION WALL
N.T.S.



4 S3.5
TYPICAL EXTERIOR
WEeping TILE PIPE
INSTALLATION DETAIL
N.T.S.



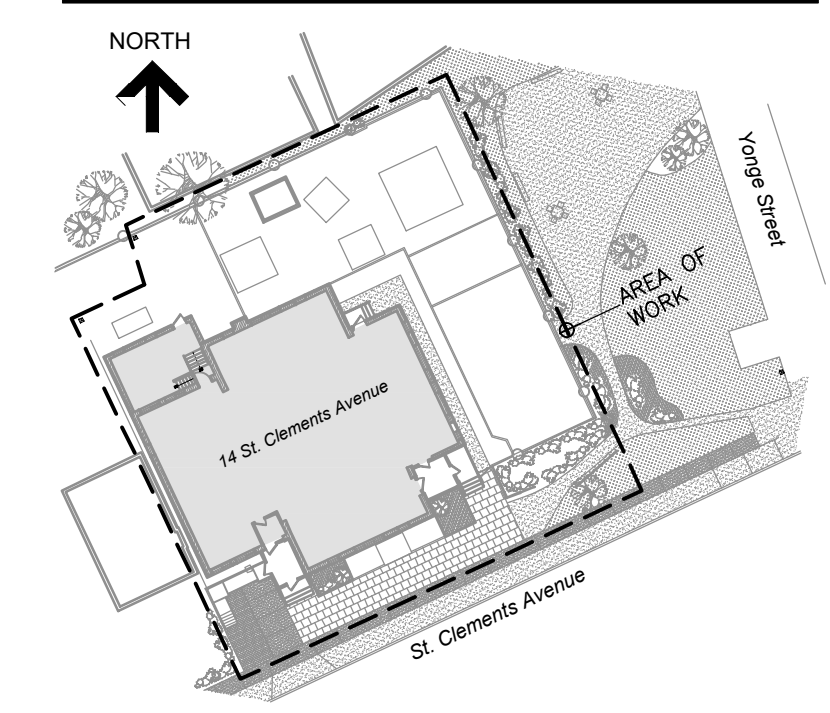
8 S3.5
LINTEL INSTALL AT ARCHED
MASONRY - RESTORATION DETAIL
N.T.S.



7 S3.5
LINTEL INSTALL AT ARCHED
MASONRY - DEMOLITION DETAIL
N.T.S.

1 S3.5
REMOVALS AT EXTERIOR
FOUNDATION WALL FOR
WATERPROOFING SYSTEM INSTALLATION
N.T.S.

- NOTE:**
- CONTRACTOR TO PROOF-ROLL EXISTING SUBGRADE MATERIAL TO REMAIN IN PRESENCE OF RJC. REMOVE UNSUITABLE SUBGRADE MATERIAL TO DEPTH OF 300mm AND REPLACE WITH NEW GRANULAR 'A' BASE MATERIAL WHERE DIRECTED BY RJC.



KEY PLAN

No.	Revision	Date	By
5.	ISSUED FOR PERMIT/ TENDER REVISION	Sept. 20, 24	S.P.
4.	ISSUED FOR BUILDING PERMIT	June 12, 24	S.P.
3.	ISSUED FOR TENDER	May 13, 24	S.P.
2.	ISSUED FOR CLIENT REVIEW	May 13, 24	S.P.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr. 17, 24	S.P.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal	
Project Name	Upper Yonge Village Daycare Centre
Address	14 St. Clements Avenue, Toronto, ON

Upper Yonge Village Daycare Centre
14 St. Clements Avenue, Toronto, ON

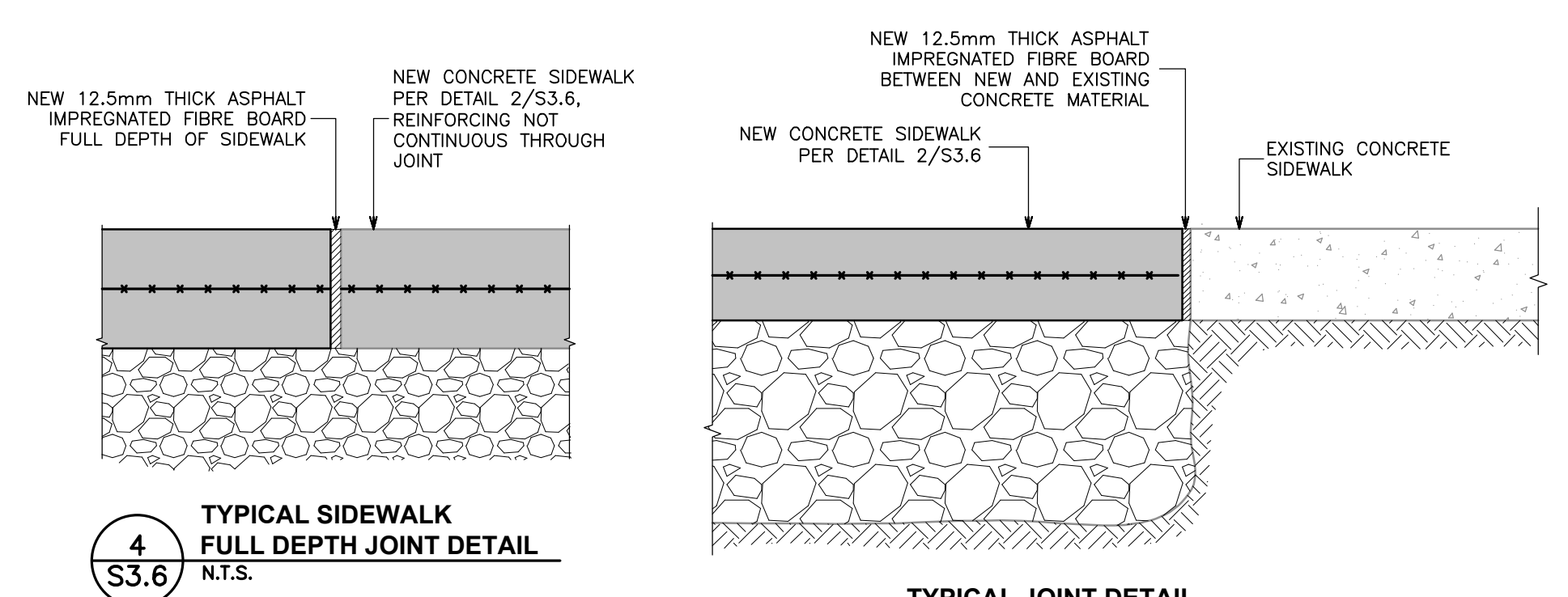
BUILDING RENOVATION

Sheet Title

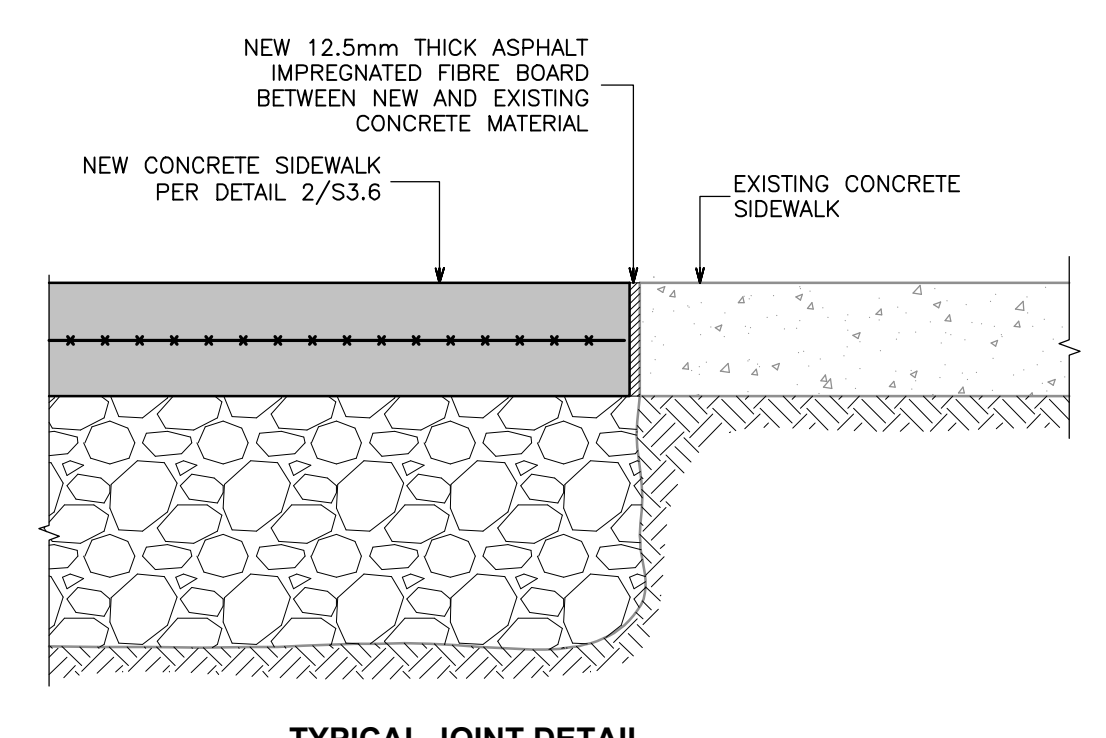
SECTIONS AND DETAILS

Drawn By T.S. Scale AS NOTED
Designed By S.P. Date September, 2024
RJC Project Number TOR.122940.0001
Sheet Number Revision

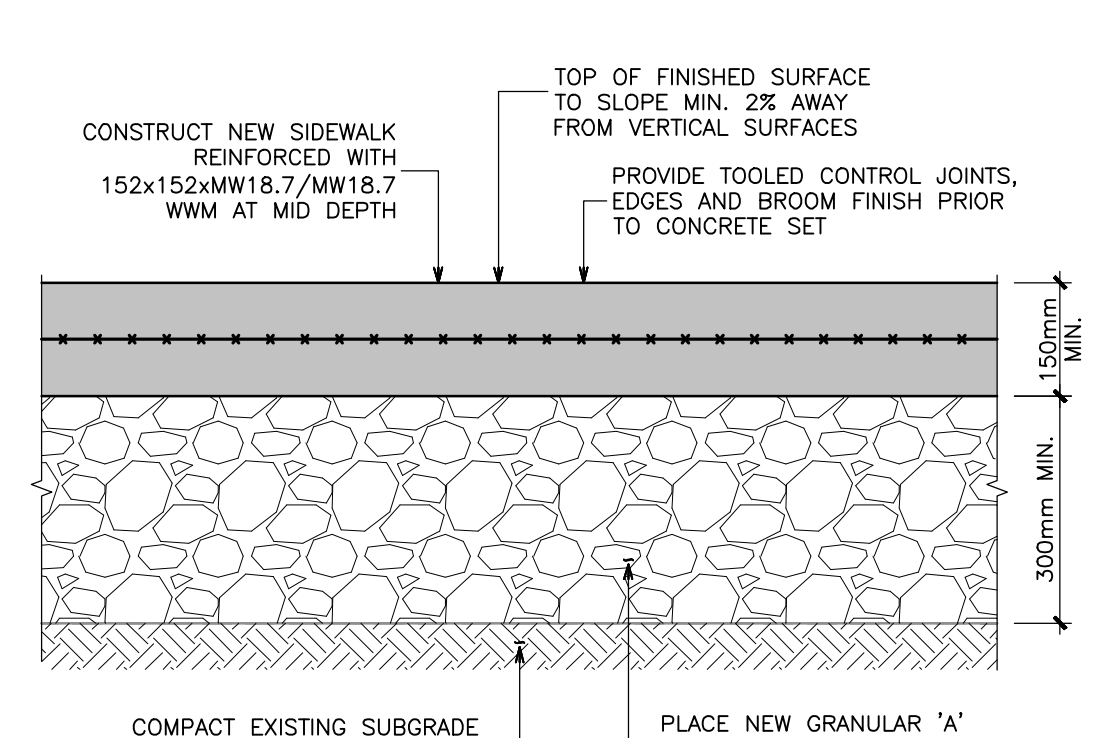
S3.6



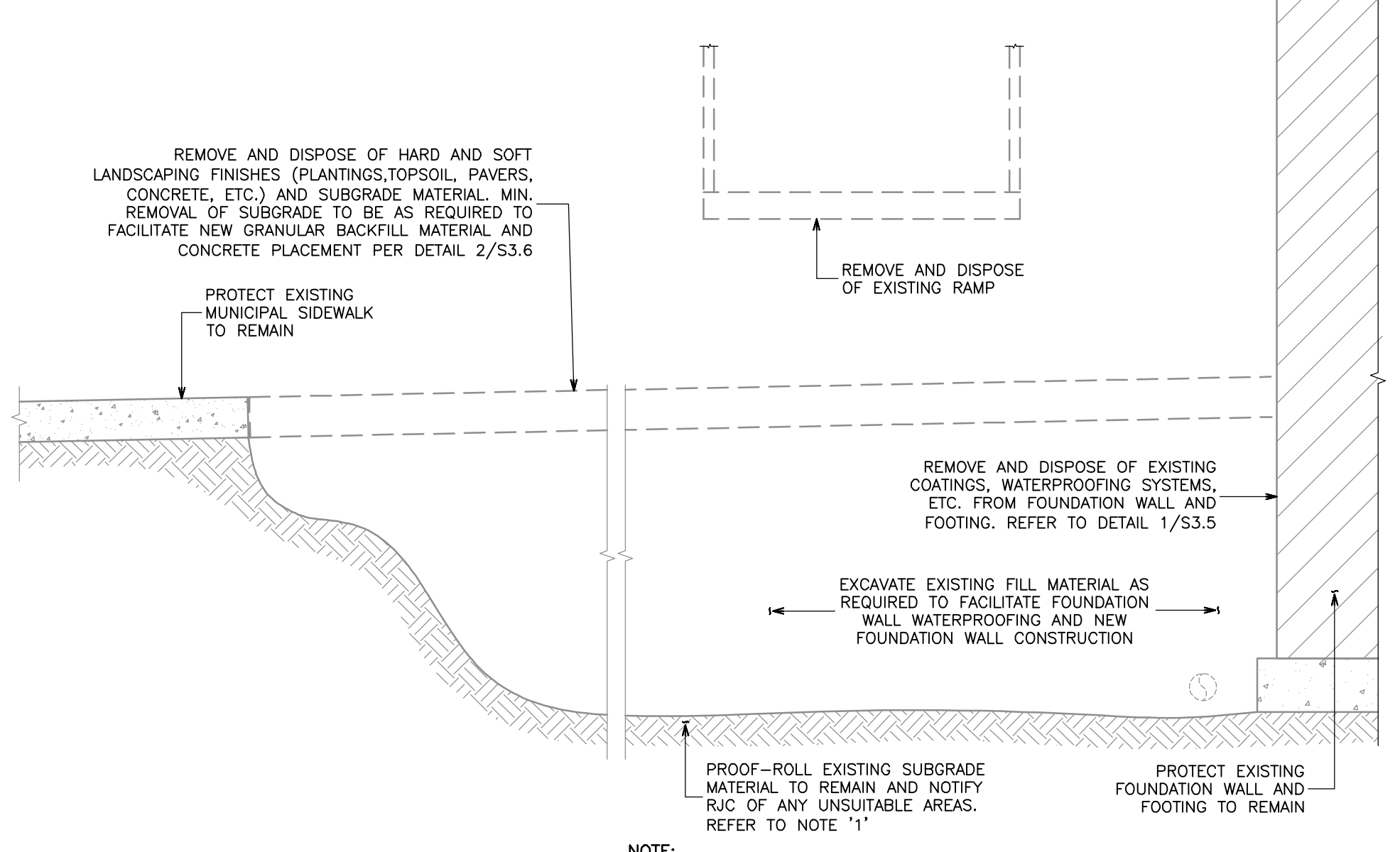
4
S3.6
TYPICAL SIDEWALK FULL DEPTH JOINT DETAIL
N.T.S.



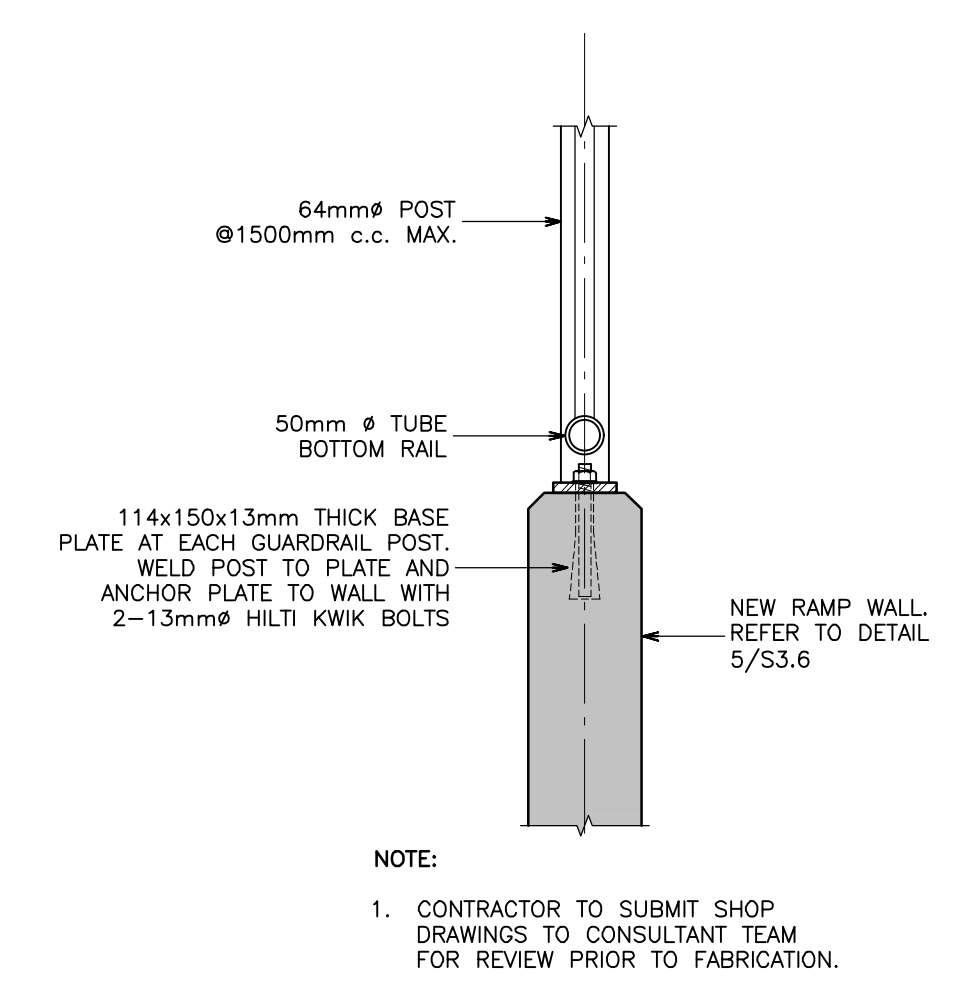
3
S3.6
TYPICAL JOINT DETAIL BETWEEN NEW AND EXISTING CONCRETE SIDEWALKS
N.T.S.



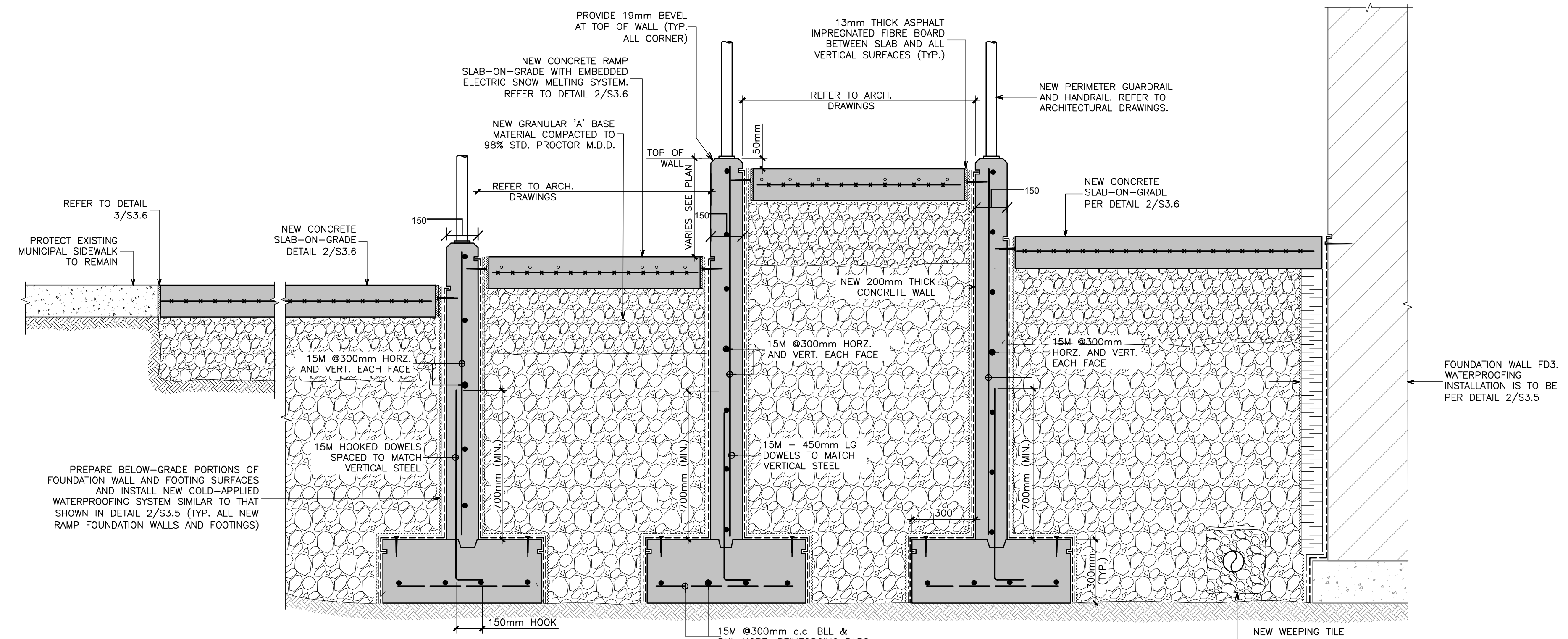
2
S3.6
TYPICAL CONCRETE SIDEWALK CONSTRUCTION DETAIL
N.T.S.



1
S3.6
SOUTHWEST CORNER DEMOLITION DETAIL
N.T.S.



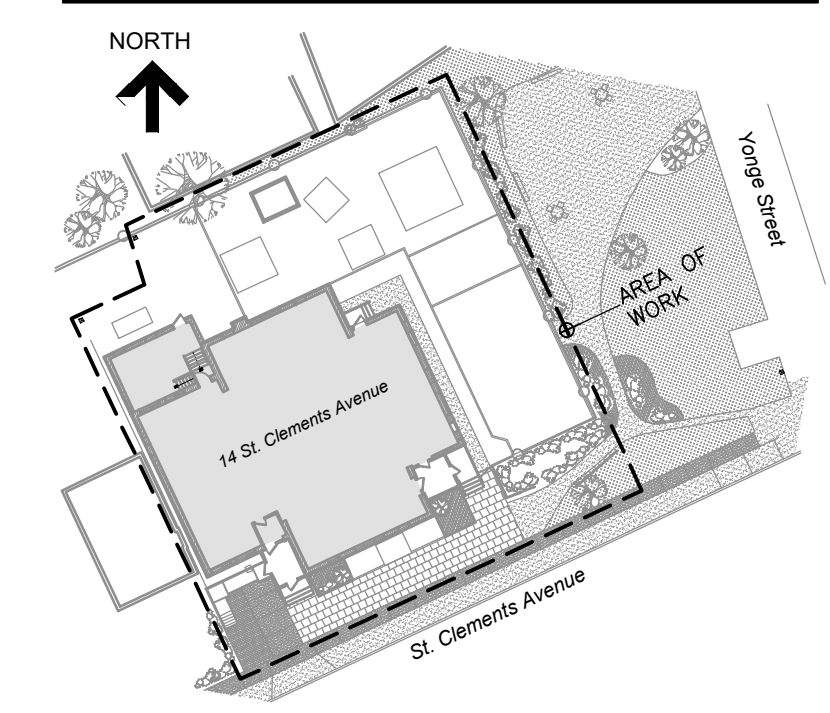
6
S3.6
TYPICAL GUARD RAIL BASE CONNECTION DETAIL
N.T.S.



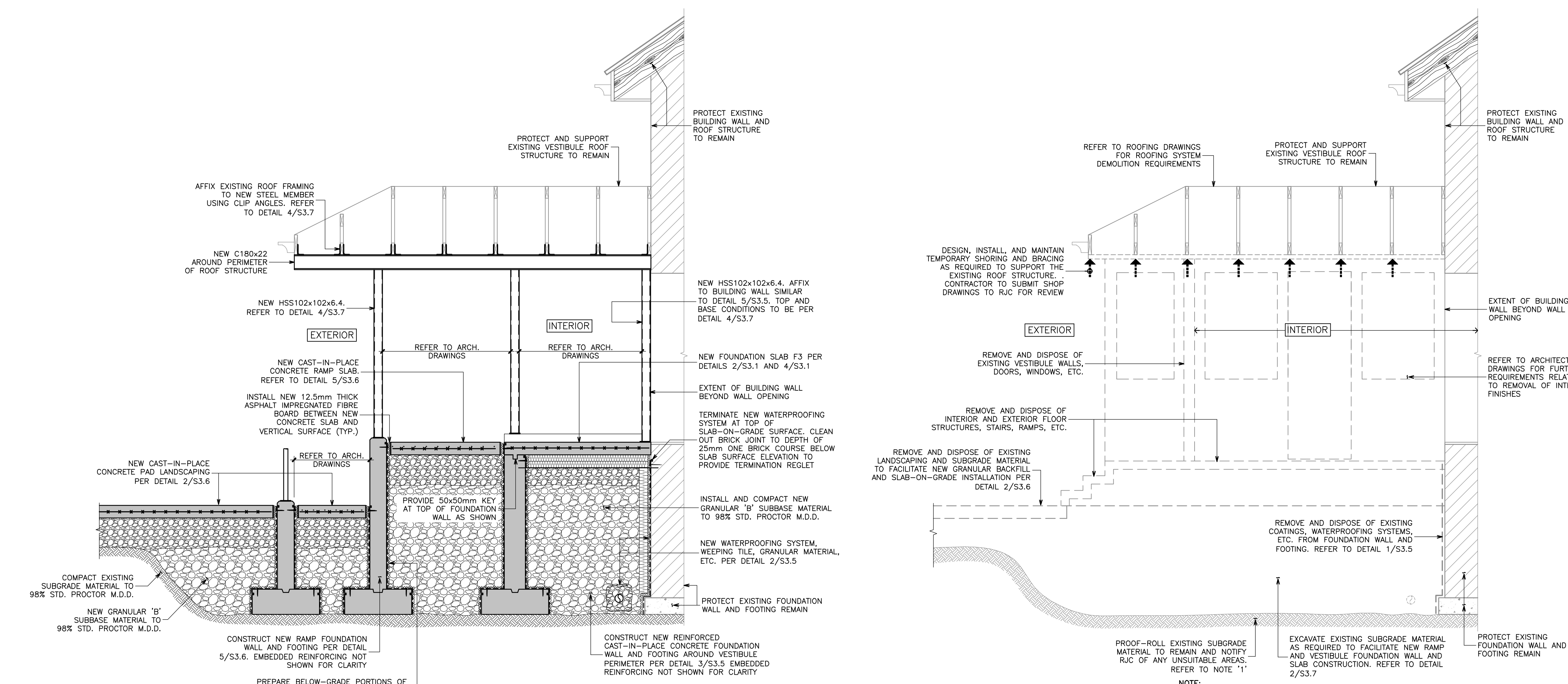
5
S3.6
ENTRANCE RAMP FOUNDATION WALL CONSTRUCTION
N.T.S.

NOTES:

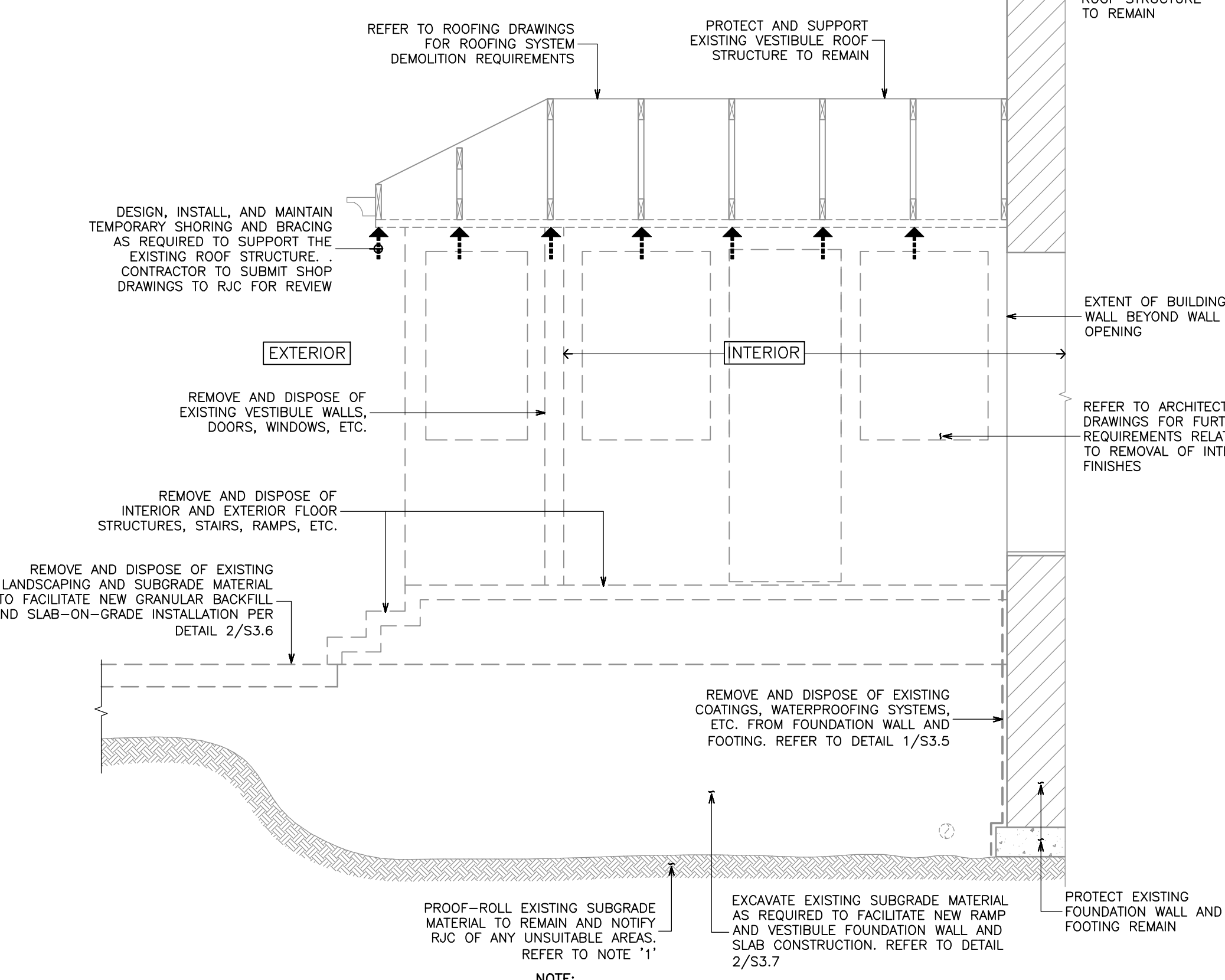
- REFER TO ARCHITECTURAL DRAWINGS FOR WIDTH OF RAMP WALKWAYS, LAYOUT OF FOUNDATION WALLS, ELEVATIONS, AND OTHER DIMENSIONAL REQUIREMENTS.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR NEW EMBEDDED ELECTRIC SNOW MELTING SYSTEM TO CONSULTANT TEAM FOR REVIEW PRIOR TO SUPPLY OF NEW SYSTEM.



KEY PLAN

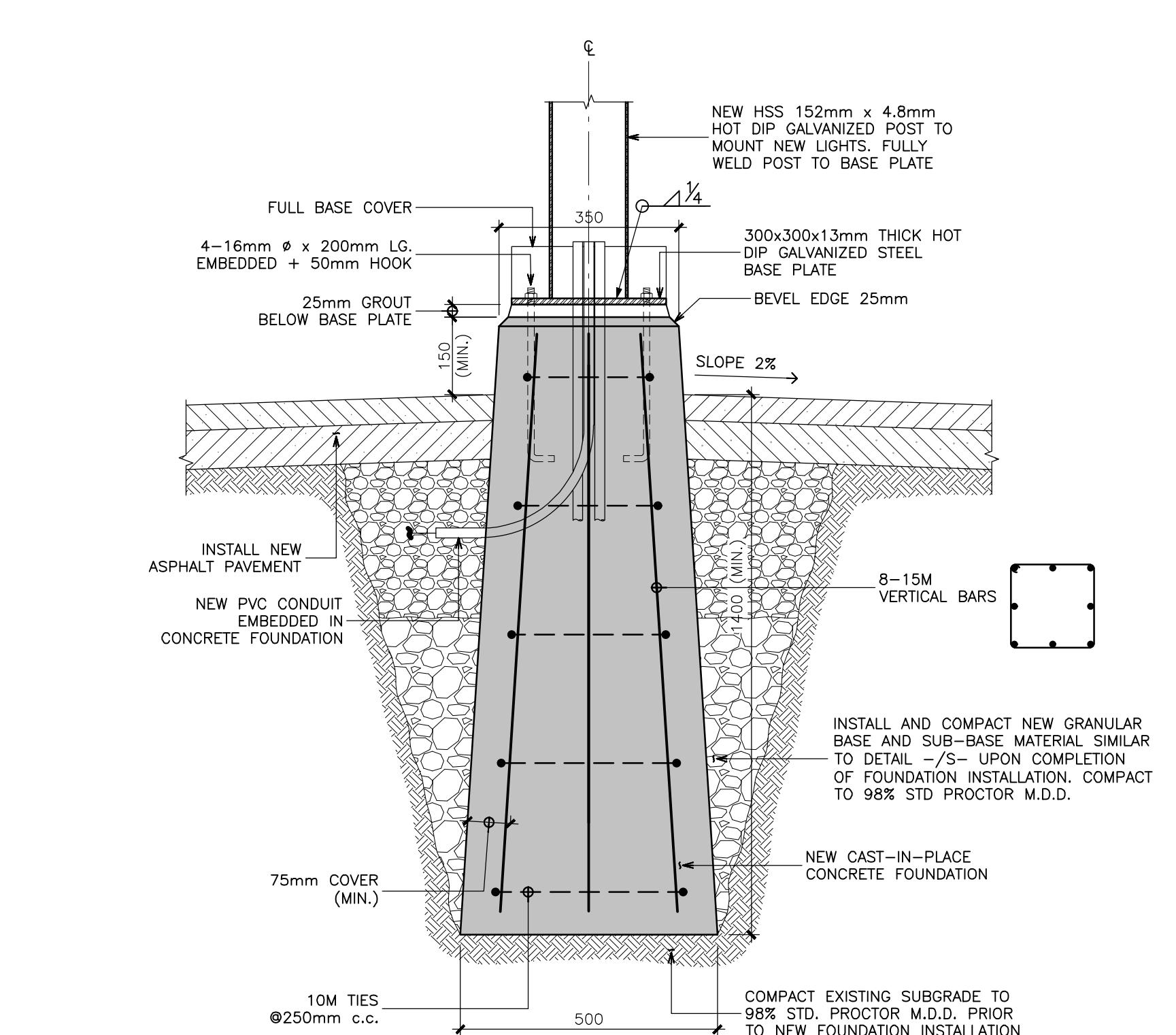


2
S3.7
ENTRANCE VESTIBULE CONSTRUCTION
N.T.S.

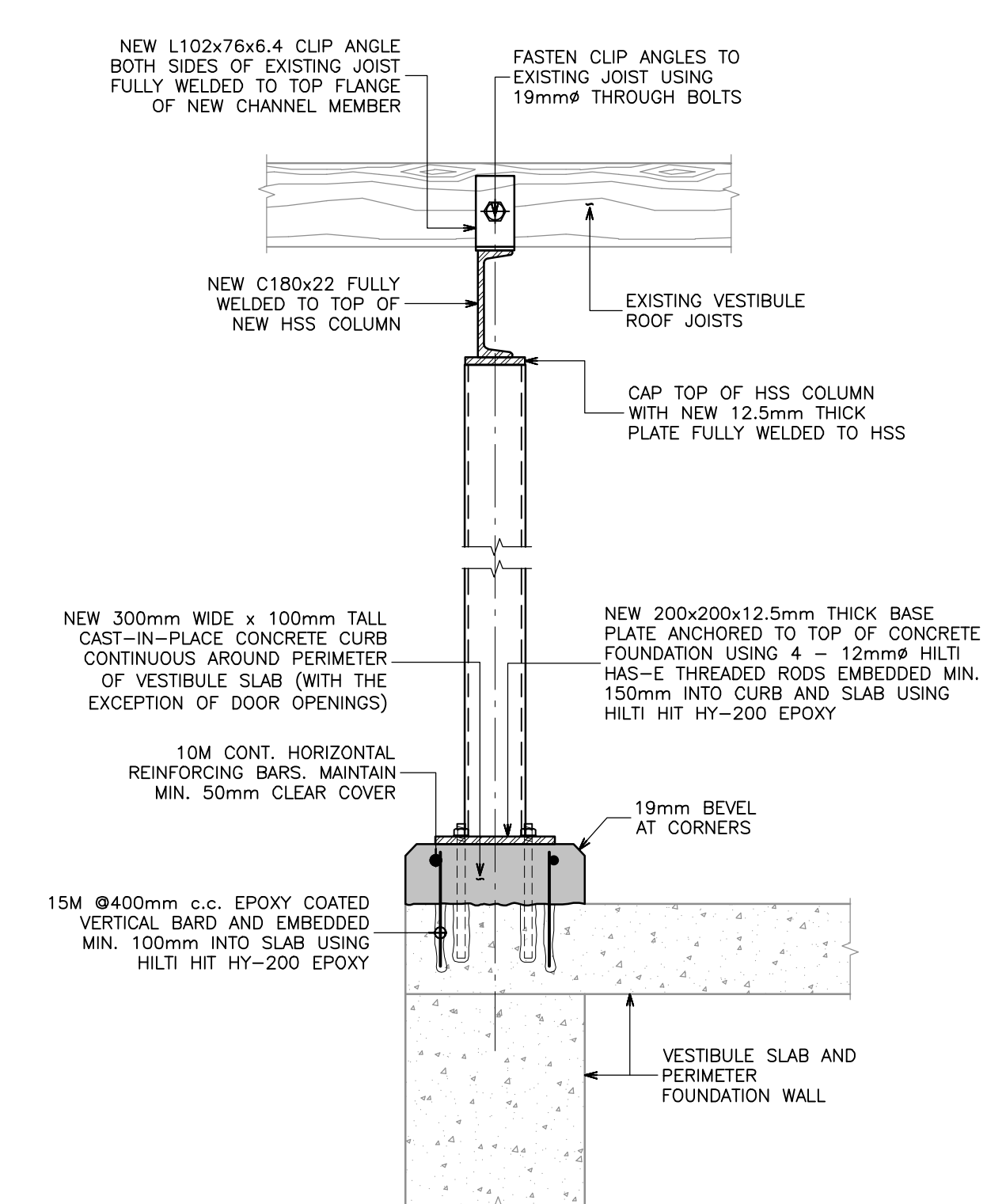


1
S3.7
ENTRANCE VESTIBULE DEMOLITION
N.T.S.

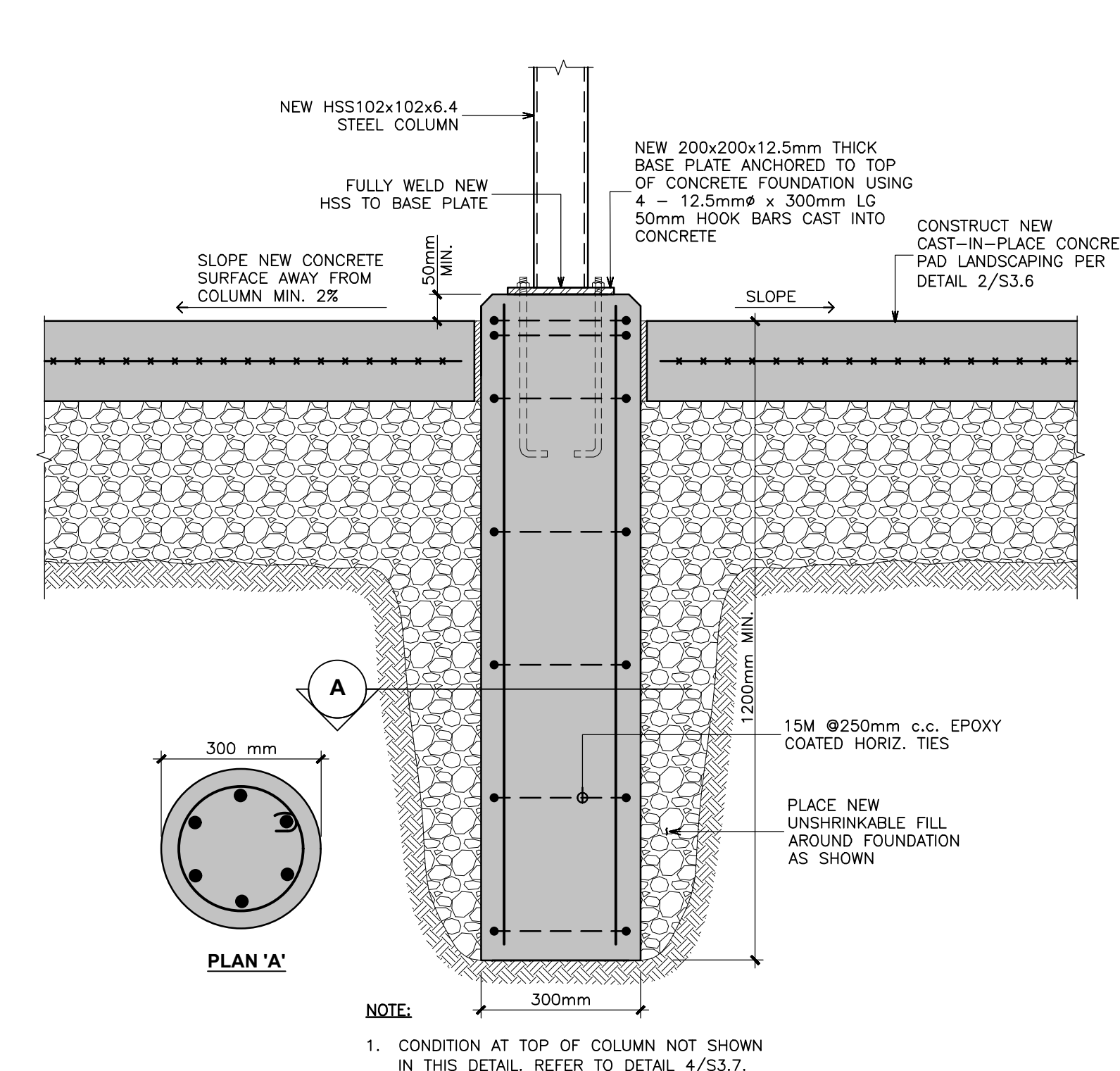
NOTE:
1. CONTRACTOR TO PROOF-ROLL EXISTING SUBGRADE MATERIAL TO REMAIN IN PRESENCE OF RJC REMOVE UNSUITABLE SUBGRADE MATERIAL TO DEPTH OF 300mm AND REPLACE WITH NEW GRANULAR 'A' BASE MATERIAL WHERE DIRECTED BY RJC.



5
S3.7
NEW LIGHT POLE FOUNDATION
N.T.S.



4
S3.7
SOUTH VESTIBULE COLUMN AND BEAM DETAIL
N.T.S.



3
S3.7
ENTRANCE VESTIBULE COLUMN - ON-GRADE BASE CONDITION
N.T.S.

NOTE:
1. CONDITION AT TOP OF COLUMN NOT SHOWN IN THIS DETAIL. REFER TO DETAIL 4/S3.7.

No.	Revision	Date	By
5.	ISSUED FOR PERMIT/TENDER REVISION	Sept. 20, 24	S.P.
4.	ISSUED FOR BUILDING PERMIT	June 12, 24	S.P.
3.	ISSUED FOR TENDER	May 13, 24	S.P.
2.	ISSUED FOR CLIENT REVIEW	May 13, 24	S.P.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr. 17, 24	S.P.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tendering" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal

Project Name
Upper Yonge Village Daycare Centre
14 St. Clements Avenue, Toronto, ON

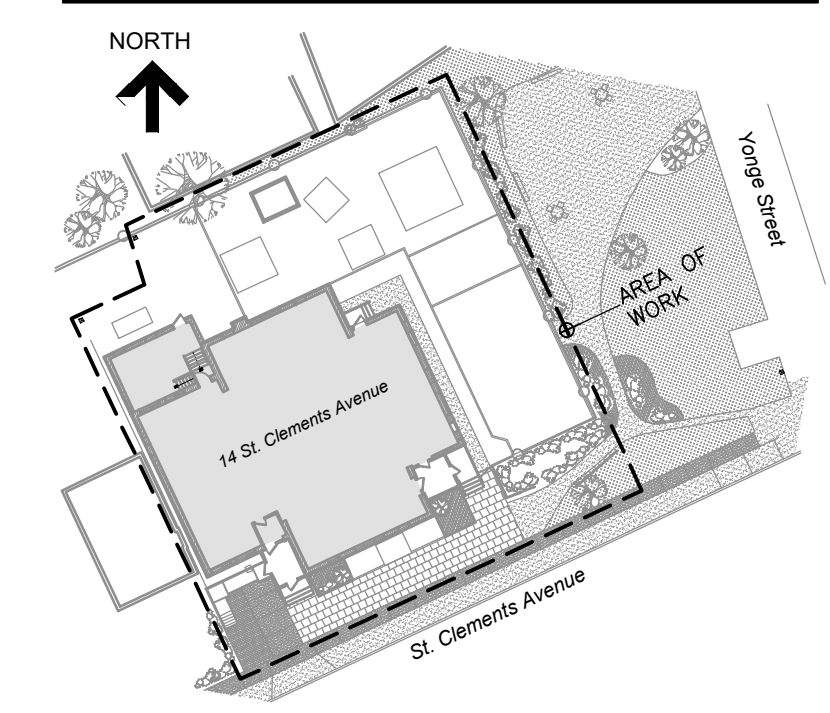
BUILDING RENOVATION

Sheet Title

SECTIONS AND DETAILS

Drawn By T.S. Scale AS NOTED
Designed By S.P. Date September, 2024
RJC Project Number TOR.122940.0001
Sheet Number Revision

S3.7



KEY PLAN

No.	Revision	Date	By
5.	ISSUED FOR PERMIT/ TENDER REVISION	Sept. 20, 24	S.P.
4.	ISSUED FOR BUILDING PERMIT	June 12, 24	S.P.
3.	ISSUED FOR TENDER	May 13, 24	S.P.
2.	ISSUED FOR CLIENT REVIEW	May 13, 24	S.P.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr. 17, 24	S.P.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal

Project Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

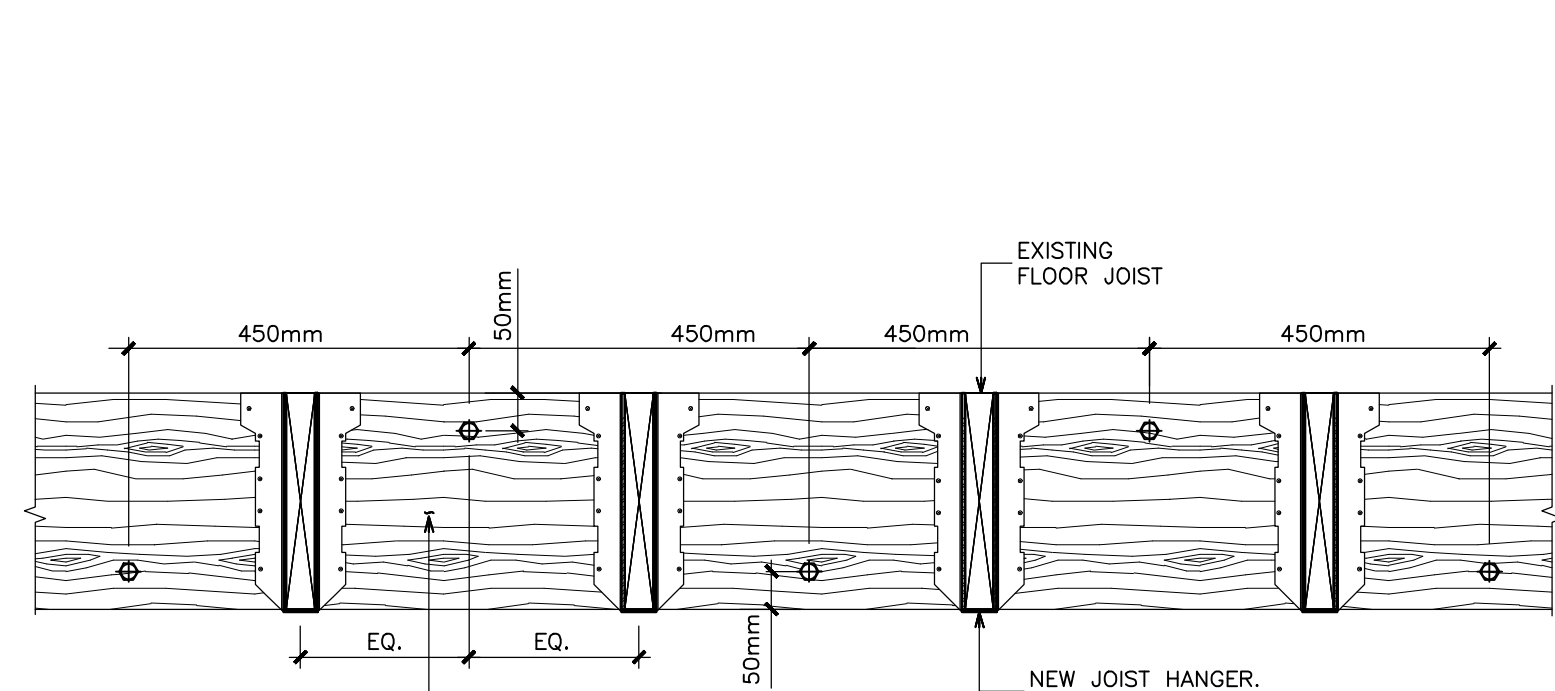
BUILDING RENOVATION

Sheet Title

SECTIONS AND DETAILS

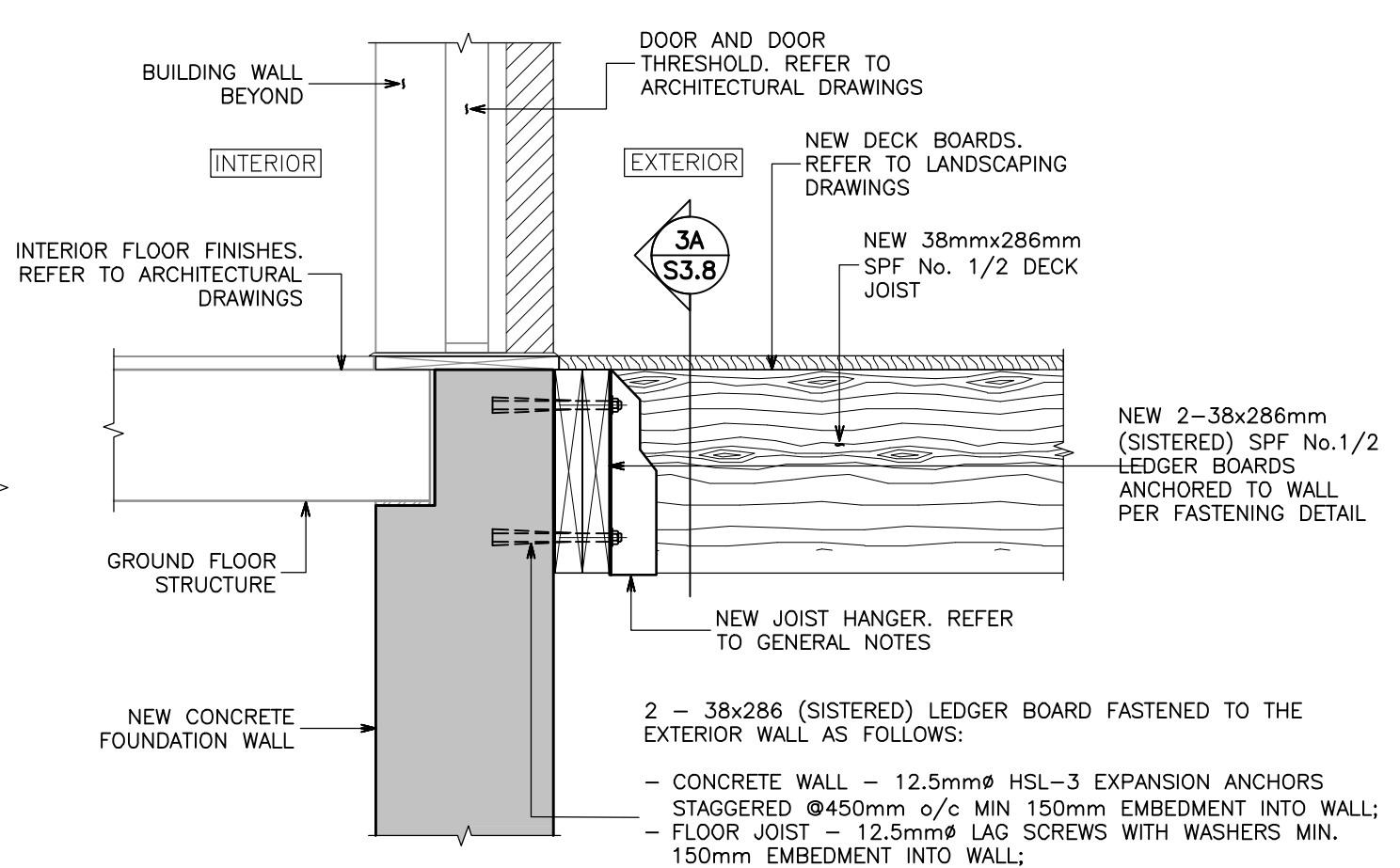
Drawn By T.S. Scale AS NOTED
Designed By S.P. Date September, 2024
RJC Project Number TOR.122940.0001
Sheet Number _____ Revision _____

S3.8



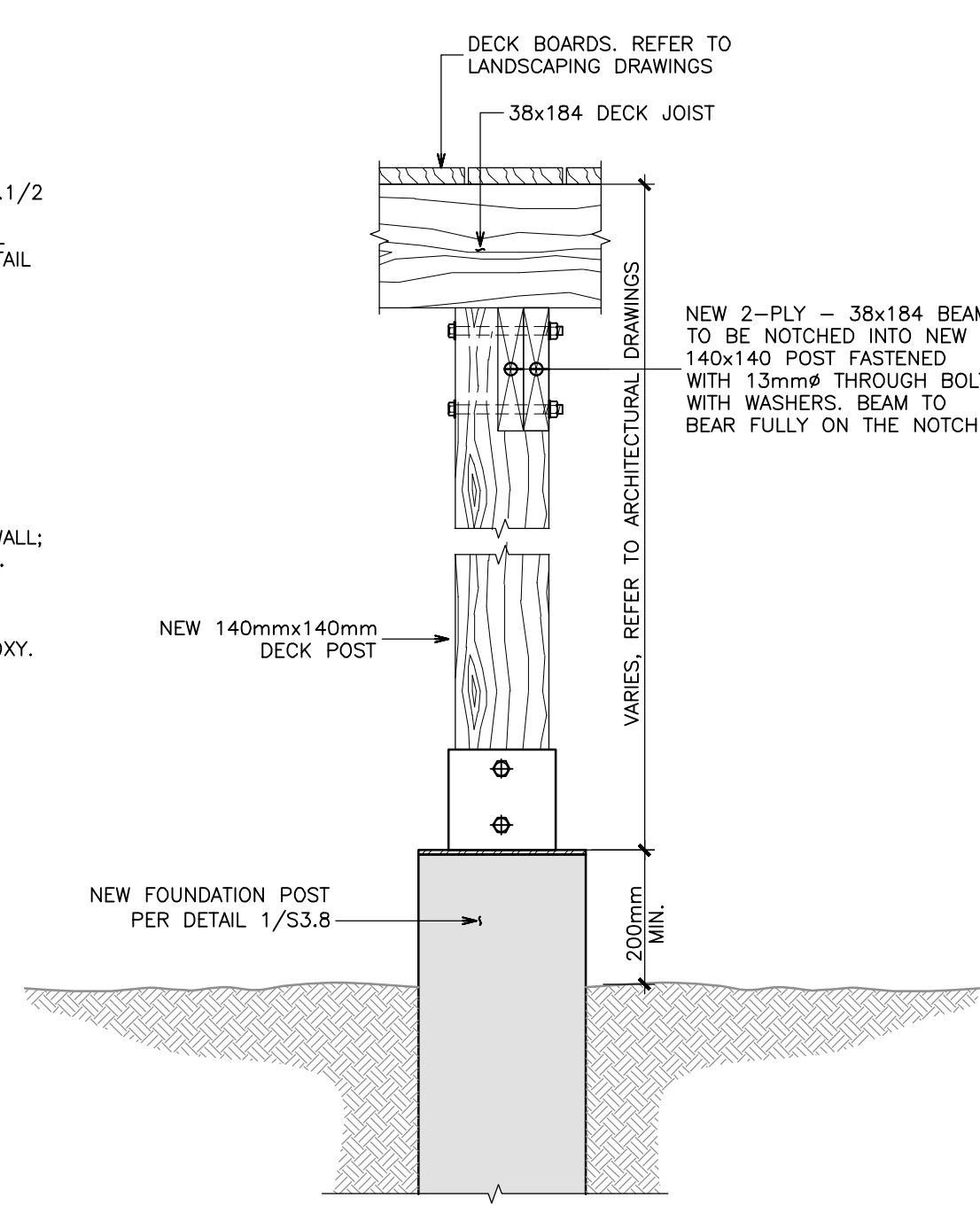
- 2 - 38x286 (SISTERED) LEDGER BOARD FASTENED TO THE EXTERIOR WALL AS FOLLOWS:
- CONCRETE WALL - 12.5mm ϕ HSL-3 EXPANSION ANCHORS STAGGERED ϕ 450mm o/c MIN 150mm EMBEDMENT INTO WALL;
 - FLOOR JOIST - 12.5mm ϕ LAG SCREWS WITH WASHERS MIN. 150mm EMBEDMENT INTO WALL;
 - MASONRY WALL - 12.5mm ϕ HILTI HAS-E TREADED RODS EMBEDDED MIN. 150mm INTO MASONRY WALL USING HILTI HIT-SC 26x200 MESH SLEEVES AND HILTI HIT HY-270 EPOXY.

3A S3.8
LEDGER BOARD ANCHORING DETAIL
N.T.S.

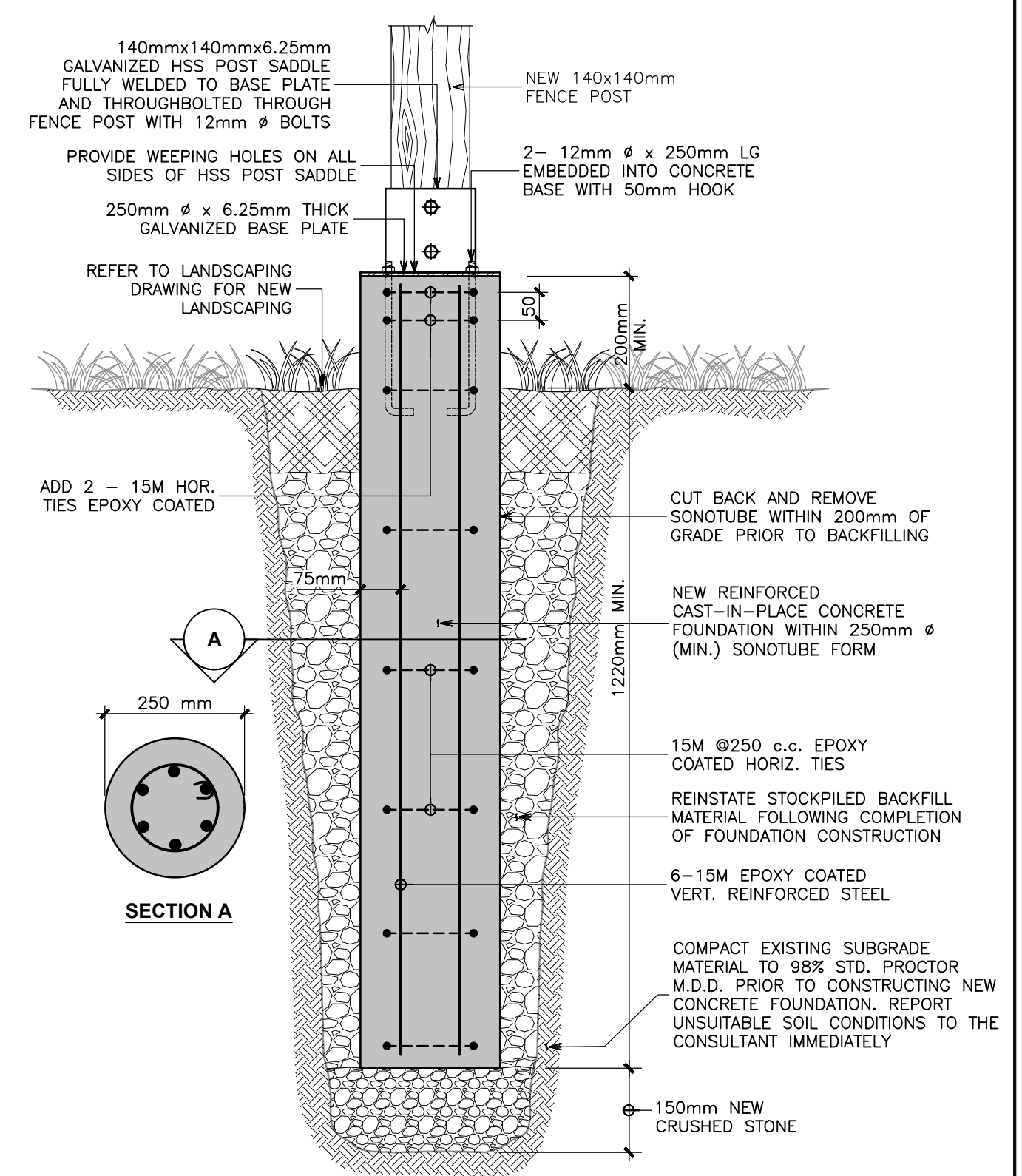


- 2 - 38x286 (SISTERED) LEDGER BOARD FASTENED TO THE EXTERIOR WALL AS FOLLOWS:
- CONCRETE WALL - 12.5mm ϕ HSL-3 EXPANSION ANCHORS STAGGERED ϕ 450mm o/c MIN 150mm EMBEDMENT INTO WALL;
 - FLOOR JOIST - 12.5mm ϕ LAG SCREWS WITH WASHERS MIN. 150mm EMBEDMENT INTO WALL;
 - MASONRY WALL - 12.5mm ϕ HILTI HAS-E TREADED RODS EMBEDDED MIN. 150mm INTO MASONRY WALL USING HILTI HIT-SC 26x200 MESH SLEEVES AND HILTI HIT HY-270 EPOXY.

3 S3.8
JOIST CONNECTIONS AT NEW FOUNDATION WALL
N.T.S.

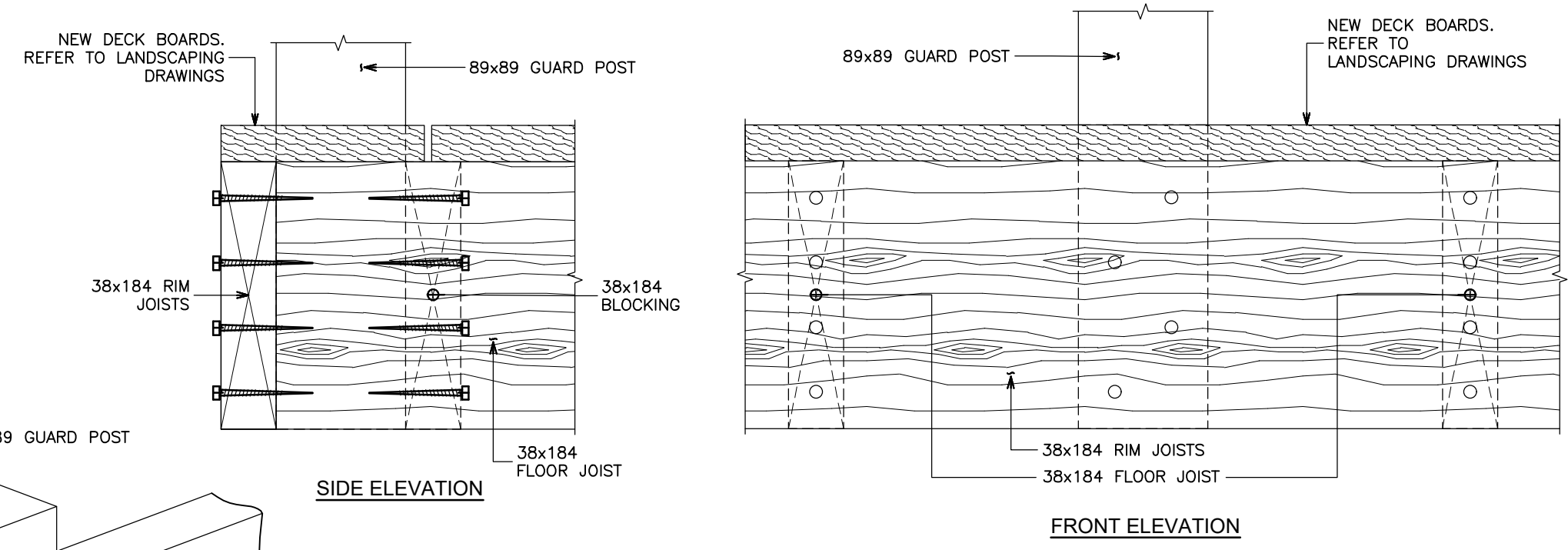


2 S3.8
DECK BEAM DETAIL
N.T.S.

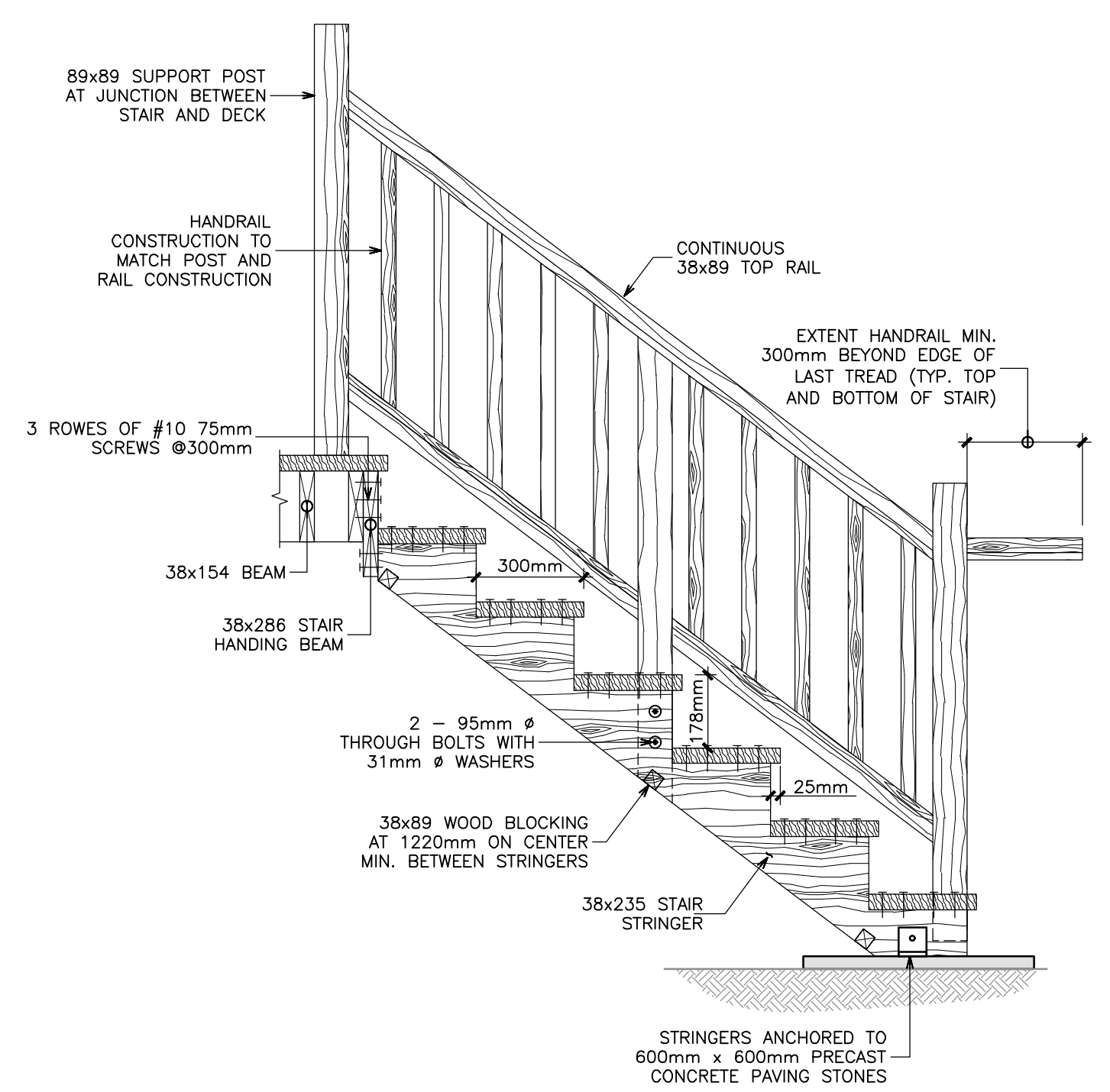


- NOTE:**
- ON-GRADE DECK POST IN SOFT LANDSCAPING IS SHOWN. ON-GRADE DECK POST IN HARD LANDSCAPING IS SIMILAR.

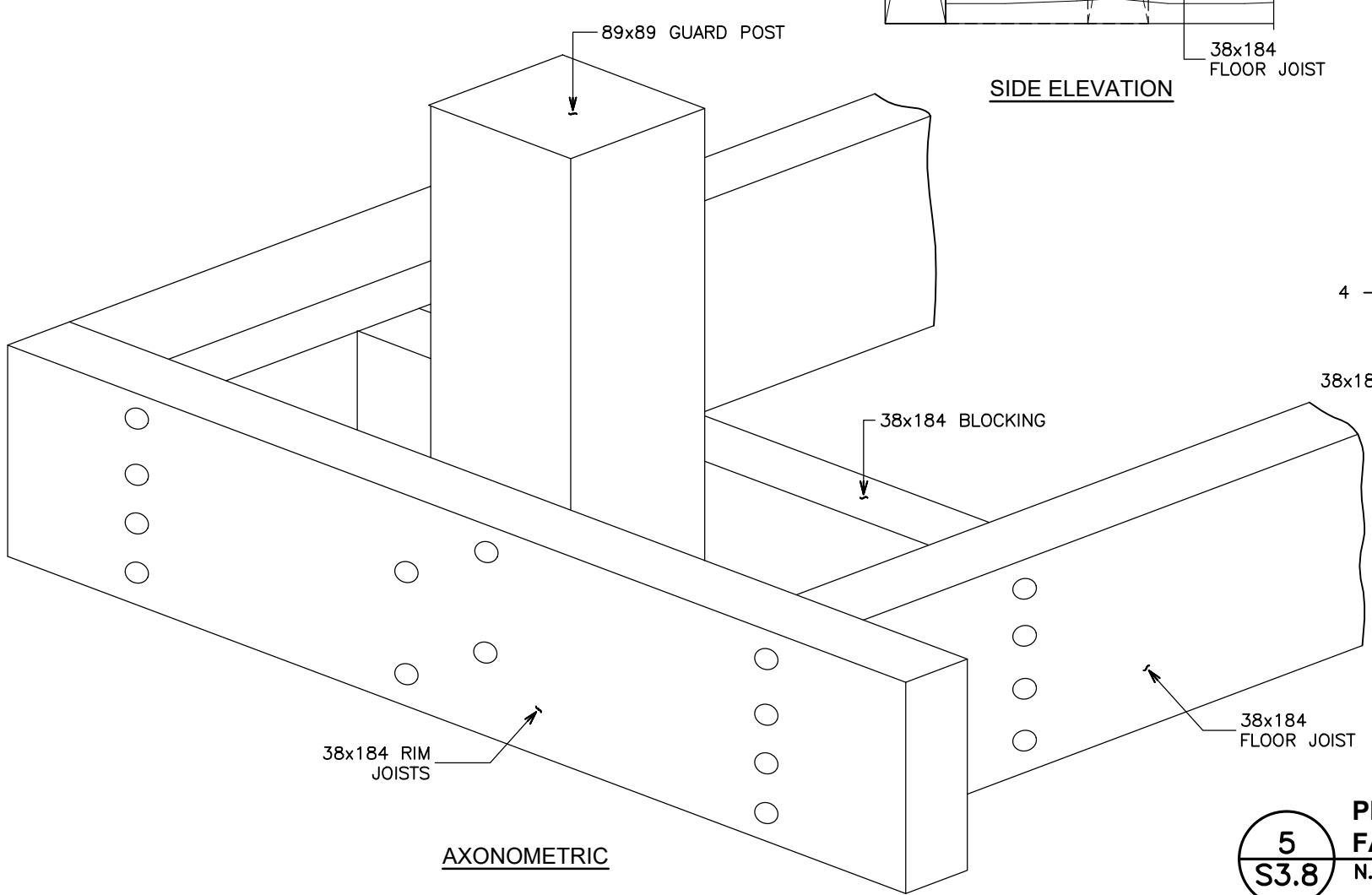
1 S3.8
ON-GRADE DECK POST FOUNDATION CONSTRUCTION
N.T.S.



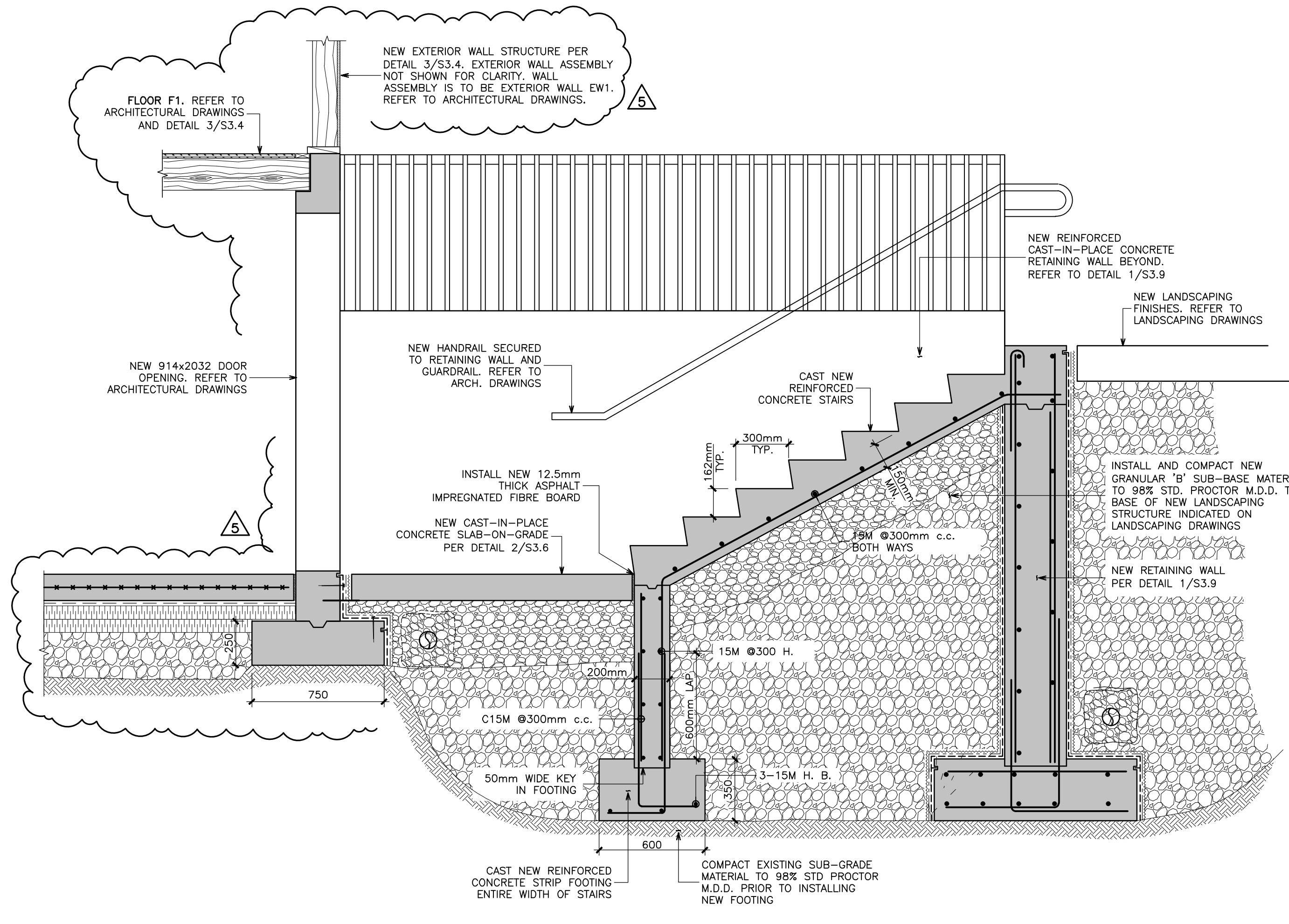
5 S3.8
PERIMETER GUARDRAIL FASTENING DETAIL
N.T.S.



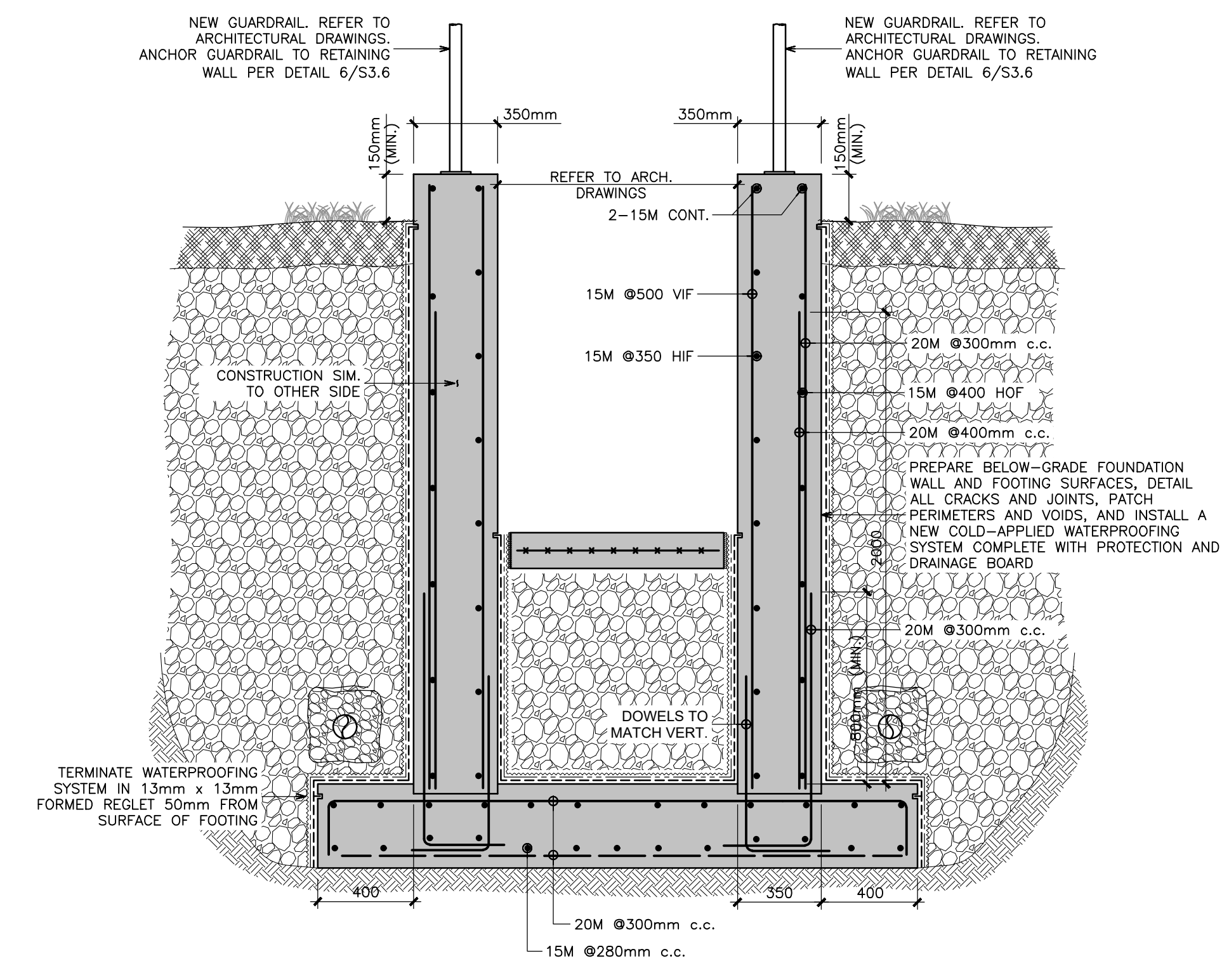
4 S3.8
STAIR CROSS SECTION
N.T.S.



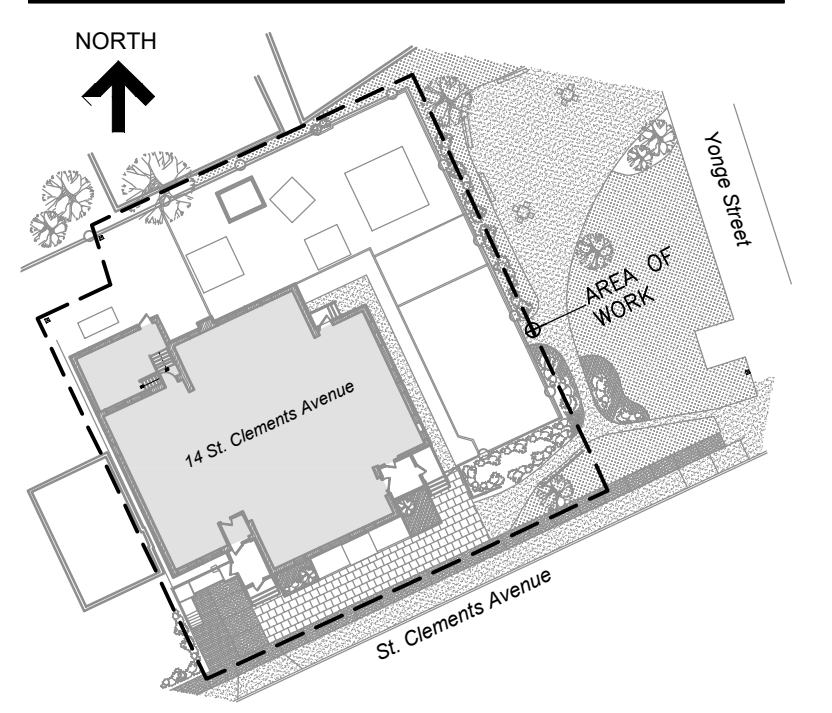
AXONOMETRIC



2
S3.9 NEW NORTHWEST
STAIR CONSTRUCTION DETAIL
N.T.S.



1
S3.9 NEW NORTHWEST
STAIR RETAINING WALL DETAIL
N.T.S.



KEY PLAN

No.	Revision	Date	By
5.	ISSUED FOR PERMIT/ TENDER REVISION	Sept. 20, 24	S.P.
4.	ISSUED FOR BUILDING PERMIT	June 12, 24	S.P.
3.	ISSUED FOR TENDER	May 13, 24	S.P.
2.	ISSUED FOR CLIENT REVIEW	May 13, 24	S.P.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr. 17, 24	S.P.

- Drawing Notes
- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
 - These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
 - Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal

Project Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title

SECTIONS AND DETAILS
Drawn By T.S. Scale AS NOTED
Designed By S.P. Date September, 2024
RJC Project Number TOR.122940.0001

Sheet Number Revision

S3.9



KEY PLAN

4.	ISSUED FOR PERMIT	May, 27/24	E.C.
3.	ISSUED FOR TENDER	May, 13/24	E.C.
2.	ISSUED FOR CLIENT REVIEW	May, 10/24	E.C.
1.	ISSUED FOR 95% CLIENT REVIEW	Mar, 26/24	E.C.
No.	Revision	Date	By

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Ronald Jones Christofferson Ltd. ("RJCL") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJCL whether the Work is executed or not, and RJCL reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJCL. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJCL in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "bidding" unless so indicated in the Revision column. "Pricing" or "costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
Upper Yonge Village Daycare Centre
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title
Mechanical Specifications

Drawn By **N.P.** Scale As Indicated
Designed By **J.C.** Date **March 2024**

RJC Project Number **TOR.122940.0001**

Sheet Number **M-1** Revision

MECHANICAL SPECIFICATIONS

1.0 GENERAL CONDITIONS

- 1.1 CONTRACT:** PERFORM ALL WORK AS DETAILED ON THE DRAWINGS AND/OR SPECIFICATIONS TO PROVIDE A COMPLETE AND FULLY FUNCTIONAL MECHANICAL SYSTEM TO THE SATISFACTION OF THE OWNER AND ENGINEER.
- 1.2 SCHEDULE:** ALL WORK DESCRIBED OR INDICATED ON THE DRAWINGS DOES NOT DELEGATE FUNCTION TO ANY SPECIFIED SUBCONTRACTOR OR IDENTIFY ABSOLUTE CONTRACTUAL LIMITS BETWEEN MECHANICAL OR SUBCONTRACTORS.
- 1.3 CODES, RULES & STANDARDS:** ALL WORK SHALL MEET THE DESIGN INTENT AND BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES, STANDARDS, RULES AND REGULATIONS AND MEET THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION. ALL CODES AND REGULATIONS MUST BE STRICTLY ADHERED TO FOR THE PERIODS, MODIFICATIONS AND TESTS.
- 1.4 PERMITS & FEES:** OBTAIN ALL PERMITS (EXCLUDING BUILDING PERMIT) REQUIRED FOR THE MECHANICAL WORK, ARRANGE FOR INSPECTIONS AND TESTS. PAY ALL FEES AND COSTS FOR THE PERMITS, MODIFICATIONS AND TESTS.
- 1.5 SCHEDULES:** COMPLY WITH GENERAL CONTRACTOR'S CONSTRUCTION SCHEDULES.
- 1.6 PROGRAM TIME:** INCLUDE COST OF PROGRAM TIME FOR WORK OUTSIDE NORMAL WORKING HOURS INCLUDING NIGHTS AND WEEKENDS THAT ARE REQUIRED TO COMPLETE THE WORK.
- 1.7 ALTERNATES:** THE TENDER SHALL BE BASED ON THE MATERIALS AND MAKE OF THE EQUIPMENT NAMED. ALTERNATES MAY BE QUOTED WITH THE TENDER AS AN INCREASE OR DECREASE TO THE BASE BID PRICE ONLY AND DELIVERY DATES. THE QUALITY AND PERFORMANCE CHARACTERISTICS OF THE ALTERNATE PRODUCTS MUST BE EQUAL OR BETTER THAN THE SPECIFIED PRODUCTS.
- 1.8 EXAMINATION OF SITE:** VISIT AND EXAMINE THE SITE WHERE THE WORK IS TO BE PERFORMED BEFORE SUBMITTING THE TENDER. BECOME FAMILIAR WITH ALL FEATURES AND CHARACTERISTICS OF THE SITE AND SURROUNDING ENVIRONMENT. NO ALLOWANCES WILL BE MADE BY THE OWNER FOR ANY DIFFICULTIES ENCOUNTERED DUE TO CONDITIONS WHICH WERE VISIBLE UPON, OR REASONABLY INFERRABLE FROM AN EXAMINATION OF THE SITE PRIOR TO SUBMISSION OF THE TENDER.
- 1.9 CONTRACT DRAWINGS:** CONTRACTOR SHALL EXAMINE THE MECHANICAL, STRUCTURAL, ARCHITECTURAL, ELECTRICAL, LANDSCAPING, OR ANY OTHER DRAWINGS ISSUED FOR THIS PROJECT DURING THE TENDER STAGE TO SATISFY HIMSELF THAT THE WORK CAN BE SATISFACTORILY CARRIED OUT. BEFORE COMMENCING WORK, EXAMINE THE WORK OF OTHER TRADES AND REPORT AT ONCE ANY DEFICIENCY OR INTERFERENCE AFFECTING THE WORK OF THE MECHANICAL TRADE OR THE GUARANTEE OF SAME.
- 1.10 OBTAINING DURING BIDDING:** CONTRACTOR SHALL INFORM THE OWNER/ENGINEER DURING BIDDING OF ANY PROBLEMS IN MEETING THE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION, ANY COST SAVING IDEAS OR METHODS, AND OF ANY RESERVANCES IN THE WORK.
- 1.11 ALLOWANCES FOR SITE CONDITIONS:** ALLOW IN THE TENDER PRICE ADJUSTMENT IN THE LOCATION OF THE NEW EQUIPMENT (UP TO 10'-0" IN ANY DIRECTION) TO SUIT SITE CONDITIONS AS DIRECTED BY THE ENGINEER PRIOR TO INSTALLATION WITH AN EXTRA COST TO THE OWNER.
- 1.12 WARRANTY:** A 3-YEAR WRITTEN WARRANTY SHALL BE PROVIDED FOR THE COMPLETE MECHANICAL INSTALLATION FROM DATE OF SUBSTANTIAL PERFORMANCE ANY DEFECTIVE ITEMS FOUND DURING THE WARRANTY PERIOD SHALL BE REPAIRED AND/OR REPLACED BY THE CONTRACTOR AT HIS OWN COST. THIS WILL INCLUDE ANY REPAIR REQUIRED TO OTHER ITEMS, MATERIALS OR EQUIPMENT DAMAGED DUE TO THE DEFECT.
- 1.13 CHANGE NOTICES:** WHENEVER A CHANGE NOTICE IS ISSUED FOR THE PROJECT, SUBMIT A COMPLETE ITEMIZED COST OF MATERIALS, EQUIPMENT AND LABOUR FOR THE CHANGE FOR THE OWNER AND ENGINEER'S CONSIDERATION. THE HEARBY MAKE SURE ALL CHANGES TO THE WORK ARE FULLY ACCESSIBLE FOR MAINTENANCE AND SERVICING WHEN ALL WORK IS COMPLETED. PARALLEL BUREAUX, HEIGHT FACTORS, WARRANTIES, STORAGE, REMOVALS, PARKING, CLEAN-UP, AS-BUILT DRAWINGS, HOISTING, FREIGHT & DELIVERY, BUT EXCLUSIVE OF OVERTIME AND PROFIT. DO NOT START CHANGES UNTIL THE SUBMITTED COST IS ACCEPTED BY THE OWNER AND ENGINEER.

2.0 GENERAL REQUIREMENTS

- 2.1 BASE BUILDING STANDARDS:** WHERE AVAILABLE, BASE BUILDING STANDARDS SHALL FORM THE BASIS OF THIS CONSTRUCTION. COMPLY WITH BASE BUILDING'S STANDARD FOR MATERIALS AND EQUIPMENT AND OWNER'S/LANDLORD'S REQUIREMENTS FOR SYSTEM SHUTDOWN AND CONNECTIONS.
- 2.2 BASE BUILDING STANDARDS:** WHERE REQUIRED, SPRINKLER WORK, CONTROL WORK, AND/OR BALANCING WORK SHALL BE COMPLETED BY OWNER'S/LANDLORD'S APPROVED CONTRACTOR AND PAID FOR UNDER THIS CONTRACT.
- 2.3 PROCEDURES:** ALL WORK PROCEDURES, SCHEDULING OF INSTALLATION, SECURITY, MATERIAL STORAGE ETC., SHALL BE IN COMPLIANCE WITH THE OWNER, LANDLORD AND/OR GENERAL CONTRACTOR'S DIRECTIVES.
- 2.4 SITE COORDINATION:** CONTRACTOR SHALL CO-ORDINATE HIS WORK WITH OTHER TRADES PROPERLY ON-SITE TO AVOID ANY CONFLICT. ENSURE ALL WORK TO BE PERFORMED IS PROPER SEQUENCE AND THAT THE MECHANICAL WORK WILL BE FULLY ACCESSIBLE FOR MAINTENANCE AND SERVICING WHEN ALL WORK IS COMPLETED.
- 2.5 EQUIPMENT & MATERIALS:** ALL EQUIPMENT AND MATERIALS PROVIDED MUST CONFORM TO THE DRAWINGS AND SPECIFICATIONS. ALL PRODUCTS USED MUST BE NEW AND OF TOP QUALITY AND OF UNIFORM PATTERN THROUGHOUT THE PROJECT.
- 2.6 WORKMANSHIP:** WORKMANSHIP SHALL BE OF BEST QUALITY, EXECUTED BY TRADES PEOPLE EXPERIENCED AND SKILLED IN THEIR RESPECTIVE DUTIES FOR WHICH THEY ARE EMPLOYED.
- 2.7 SITE WORK PROTECTION:** PROTECT ALL MECHANICAL WORK FROM CONSTRUCTION DIRT OR DAMAGE FROM ANY CAUSE. SECURELY PLUG OR CAP ALL OPENINGS IN PIPE, DUCT, EQUIPMENT AND FUTURES TO PREVENT OBSTRUCTION.
- 2.8 SYSTEM SHUTDOWNS:** THE SHUTDOWNS OF ANY PORTION OF EXISTING BASE BUILDING SYSTEMS, IF REQUIRED, SHALL BE PERFORMED BY THE LANDLORD'S BUILDING OPERATIONS STAFF. CO-ORDINATE WITH THE LANDLORD FOR THE TIME AND DURATION OF SHUTDOWNS AND ADHERE TO THE LANDLORD'S INSTRUCTIONS IN THIS REGARD.
- 2.9 ARCHITECT'S APPROVAL:** OBTAIN APPROVAL FROM THE ARCHITECT ON COLOUR, FINISH AND/OR LOCATIONS OF ALL NEW AIR TERMINALS, THERMOSTATS, AND ACCESS DOORS PRIOR TO ORDERING OR INSTALLATION.
- 2.10 BASE BUILDING COMPONENTS:** EXISTING BASE BUILDING HVAC AND PLUMBING COMPONENTS WHICH REMOVED I.E. LIGHT TROUTERS, DIFFUSERS, FANS, VAV BOXES, AND PLUMBING FIXTURES ETC. SHALL BE TURNED OVER TO THE LANDLORD AT THEIR DIRECTIONS.
- 2.11 TEMPORARY FILTERS:** PROVIDE 25mm (1") DISPOSABLE FILTERS AT ALL BASE BUILDING RETURN AIR OPENINGS WHICH REMAIN OPERATIONAL DURING CONSTRUCTION. FILTERS SHALL BE REPLACED WEEKLY DURING CONSTRUCTION. REMOVE UPON CONSTRUCTION COMPLETION.
- 2.12 CLEAN-UP:** UPON COMPLETION OF THE WORK, REMOVE ALL SURPLUS AND WASTE MATERIALS FROM SITE, CLEAN ALL EQUIPMENT AND LEAVE ALL ITEMS IN PERFECT ORDER AND READY FOR OPERATION.
- 2.13 COMMISSIONING:** ADJUST AND SET UP ALL PARTS AND EQUIPMENT TO ACHIEVE THE DESIRED OPERATION. ALL EQUIPMENT, EXISTING AND/OR NEW SHALL BE STARTED UP BY QUALIFIED TECHNICIANS. SUBMIT AND REPORT TO THE ENGINEER THAT ALL EQUIPMENT IS OPERATIONAL AS INTENDED.
- 2.14 INSPECTIONS:** ENGINEER INSPECTIONS ARE MANDATORY. PRIOR TO INSTALLATION OF CEILING OR CEILING IN THE WALLS, THIS CONTRACTOR SHALL CONTACT THE ENGINEER AND OWNER TO PERFORM INSPECTIONS. WHEN CEILING TIES HAVE BEEN INSTALLED OR WALLS ARE CLOSED PRIOR TO INSPECTION, IT WILL BE NECESSARY FOR THE CONTRACTOR TO REMOVE PORTIONS FOR INSPECTION AT THE CONTRACTOR'S COST.

3.0 BASIC MATERIALS AND METHODS

- 3.1 EQUIPMENT INSTALLATION:** ERECT ALL EQUIPMENT IN COMPACT, NEAT AND WORKMANLIKE MANNER. ALIGN LEVEL AND ADJUST FOR SATISFACTORY OPERATION. INSTALL IN SUCH A MANNER THAT CONNECTING AND DISCONNECTING OF PIPES AND ACCESSORIES CAN BE MADE EASILY AND THAT ALL PARTS ARE EASILY ACCESSIBLE FOR INSPECTION, OPERATION, MAINTENANCE AND REPAIR. INSTALL AND START UP EQUIPMENT IN COMPLETE ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION AND OPERATION GUIDELINES.
- 3.2 CUTTING & SANDING:** PERFORM ALL CUTTING AND FINISHING THAT IS REQUIRED FOR THE WORK. PROMOTE PROPER LABEL SUPPORTS OVER WALL OPENINGS. PERMISSION MUST BE OBTAINED FROM BASE BUILDING STRUCTURAL ENGINEER BEFORE STRUCTURAL WALLS, FLOORS OR OTHER MEMBERS ARE CUT. FINAL FINISH AND PAINTING BY GENERAL CONTRACTOR.
- 3.3 OPENINGS:** ALL OPENING SIZES SHOWN FOR THE ROOFS, WALLS OR FLOORS ON THE DRAWINGS OR AS REQUIRED FOR ALL CONCEALED MECHANICAL EQUIPMENT AND SERVICES REQUIRING INSPECTION OR SERVICING. ACCESS DOORS SHALL BE EQUAL TO MEDIUM OR HEAVY DUTY, FINISH SHALL MEET ARCHITECT'S REQUIREMENTS AND COMPATIBLE WITH CEILING/WALL TYPE AND FINISH.
- 3.4 FLASHING AND COUNTER FLASHING:** PROVIDE FLASHING AND COUNTER FLASHING FOR ALL EXTERIOR PENETRATIONS OR WATERPROOFED FLOORS AS PART OF THE CONTRACT.
- 3.5 SLEEVES:** PROVIDE SLEEVES WHERE PIPING PASSES THROUGH FOUNDATIONS, FLOORS, ROOFS, OR WALLS. SLEEVES SHALL BE OF SCH. 40 BLACK STEEL OR TYPE "Y" COPPER THROUGH FOUNDATIONS, FLOORS, OR ROOFS AND OF 20 GAUGE GALVANIZED STEEL SHEET THROUGH ABOVE GRADE WALLS. SLEEVES ARE NOT REQUIRED FOR PLUMBING KITS.
- 3.6 HANGERS AND SUPPORTS:** ALL EQUIPMENT, PIPING AND DUCTWORK SHALL BE PROPERLY SUPPORTED WITH NECESSARY AND SUITABLE HANGERS, SADDLES, STRUCTURAL SUPPORTS AND/OR BRACKETS. PROVIDE AND INSTALL ALL INSERS REQUIRED. ALL HANGERS SHALL BE SUPPORTED FROM STRUCTURAL MEMBERS SUCH AS BEAMS, TOP CHORDS OF STEEL JOISTS, SIZES AND SPACING AS PER ASHRAE RECOMMENDATIONS. DO NOT SUSPEND HANGERS FROM THE ROOF SHEATHING, INSULATION STRUCTURAL BEAMS TO NOT DOG. THE CONTRACTOR SHALL PROVIDE ANGLES OR CHANNEL IRON FROM NEAREST STRUCTURAL BEAMS TO SUPPORT HANGERS. ALL STEEL HANGERS OR SUPPORTS SHALL BE GIVEN ONE COAT OF ZINC CHROMATE PRIMER, EQUAL TO C.S.S. SPECIFICATIONS 1,09_40 LATEST ISSUE.
- 3.7 ACCESS DOORS:** PROVIDE ACCESS DOORS WHICH ARE SHOWN ON THE DRAWINGS OR AS REQUIRED FOR ALL CONCEALED MECHANICAL EQUIPMENT AND SERVICES REQUIRING INSPECTION OR SERVICING. ACCESS DOORS SHALL BE EQUAL TO MEDIUM OR HEAVY DUTY, FINISH SHALL MEET ARCHITECT'S REQUIREMENTS AND COMPATIBLE WITH CEILING/WALL TYPE AND FINISH.
- 3.8 PIPING INSTALLATION:** UNLESS SPECIFIED OTHERWISE, ALL PIPING SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE AMERICAN STANDARD CODE FOR PRESSURE PIPING AND SECTION B31.1 TO B31.8 AS APPLICABLE SERVICE. ALL PIPING SHALL BE INSTALLED SO AS TO BE FREE FROM STRAINS AND DISTORTIONS DUE TO EXPANSION AND CONTRACTION.
- 3.9 PIPE PRESSURE TESTS:** ALL PIPING SHALL BE PRESSURE TESTED AS REQUIRED IN THE PRESENCE OF THE OWNER/ENGINEER. FURNISH AIR PUMPS, PIPING AND GAUGES ETC. NECESSARY FOR THE TESTS. HYDROSTATIC TEST HYDROSTATIC PIPING WITH 1-1/2 TIMES THE SYSTEM PRESSURE, INITIAL GAS SYSTEM TO CSA B141.1, PEA, OR TO CSA B13.1. DRAINAGE AND VENTING TO OCE AND AUTHORITIES HAVING JURISDICTION. DOMESTIC WATER TO 1-1/2 TIMES WORKING PRESSURE. FIRE SYSTEMS IN ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION. LUBRICANT TEST PRESSURE FOR 4 HRS WITHOUT LOSS OF PRESSURE. REPAIR LEAKS IF ANY AND REPEAT TESTS UNTIL SATISFACTION.
- 3.10 ELECTRICAL WORK:** ELECTRICAL DISCONNECTS, ROSS AND ALL POWER WIRING NECESSARY FOR THE LINE VOLTAGE POWER SUPPLY TO MECHANICAL EQUIPMENT SHALL BE SUPPLIED, INSTALLED AND CONNECTED TO THE EQUIPMENT OR CONTRACTOR'S WORK. UNLESS OTHERWISE NOTED TO BE SUPPLIED BY EQUIPMENT MANUFACTURER AND INTERNALLY MOUNTED ON EQUIPMENT, STARTERS FOR NEW EQUIPMENT SHALL BE SUPPLIED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. WIRING AND COORDINATE VOLTAGE AND PHASE WITH THE ELECTRICAL CONTRACTOR PRIOR TO ORDERING EQUIPMENT.
- 3.11 CONTROL WORK:** ALL LOW VOLTAGE ELECTRICAL INTERLOCK WORK, CONTROL WIRING, SPECIALIZED TEMPERATURE CONTROL CABLES ETC. SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR AND PROPERLY RATED TO FULL LOAD CURRENTS. CONTROL COMPONENTS WHICH ARE PART OF TEMPERATURE AND/OR EQUIPMENT CONTROLS, E.G.: PRESSURE, PRESSURE, FLOW SWITCHES, THERMOSTATS, THERMISTORS, THERMISTORS, ETC. SHALL BE SUPPLIED AND SET UP IN PLACE BY THE MECHANICAL CONTRACTOR. THE ELECTRICAL CONTRACTOR SHALL PERFORM ALL POWER WIRING ONLY. PROVIDE WHERE REQUIRED FOR A PNEUMATIC SYSTEM, ALL NECESSARY CONTROL AIR PIPING FROM EXISTING CONTROL AIR MAINS TO ROOM THERMOSTATS, CONTROL VALVES, DAMPERS, AND OTHER CONTROL DEVICES AS NECESSARY FOR A COMPLETE AND FUNCTIONAL SYSTEM. PNEUMATIC CONTROL PIPING SHALL BE TYPE "L" COPPER TUBING AND/OR AS PER BASE BUILDING SPECIFICATIONS AND STANDARDS. PLASTIC TUBING SHALL NOT BE USED IN CEILING SPACES.
- 3.12 FIRE STOPS:** PROVIDE FIRE STOPS AT ALL PIPES, DUCTS, CONDENSATES, ETC. PENETRATIONS THROUGH FIRE RATED ASSEMBLIES. ALL FIRE STOPPING MATERIALS SHALL BE OF NON-HARDENING AND UL-C LISTED FOR THE REQUIRED SEPARATIONS.
- 3.13 FIRE DAMPERS:** PROVIDE FIRE DAMPERS AT ALL DUCT PENETRATIONS THROUGH FIRE RATED WALLS OR FLOORS COMPLETE WITH ACCESS DOORS.
- 3.14 TAPS:** UPON COMPLETION OF THE WORK FURNISH AND INSTALL VALVE TAPS, VALVE DIRECTION AND EQUIPMENT TAPS.

4.0 SHOP DRAWINGS & CLOSE OUT DOCUMENTS

- 4.1 SHOP DRAWINGS:** CONTRACTOR SHALL SUBMIT ELECTRONIC COPIES OF SHOP DRAWINGS OF ALL EQUIPMENT, COMPLETE WITH ALL PERFORMANCE DATA, DIMENSIONS AND WIRING DIAGRAMS, FOR REVIEW BY THE OWNER AND ENGINEER. DO NOT ORDER ANY EQUIPMENT UNTIL IT IS REVIEWED TO OWNER AND ENGINEER'S SATISFACTION.
- 4.2 BALANCING REPORTS:** SUBMIT AIR AND HYDRAULIC BALANCING REPORTS FOR ALL EQUIPMENT AND/OR SYSTEMS INSTALLED FOR THE PROJECT PRIOR TO FINAL ACCEPTANCE. ALL MECHANICAL EQUIPMENT AND SYSTEMS MUST BE PROPERLY OPERATING TO DESIGN INTENT.
- 4.3 O & M MANUALS:** FURNISH THREE (3) COPIES OF INSTALLATION INSTRUCTIONS, START-UP INSTRUCTIONS AND MAINTENANCE MANUALS FOR ALL EQUIPMENT AS PART OF PROJECT CLOSE OUT DOCUMENTS.
- 4.4 AS-BUILT DRAWINGS:** FURNISH TWO (2) SETS OF "AS-BUILT" DRAWINGS AS PART OF PROJECT CLOSE OUT DOCUMENTS. MAINTAIN AN ACCURATE RECORD OF ALL MECHANICAL WORK AND ALL DEVIATIONS IN PIPING, DUCTWORK AND/OR EQUIPMENT WORKING CONDITIONS FOR THE PROVISION OF "AS-BUILT" DRAWINGS. ALL CONCEALED PIPING RUNS, VALVES & DAMPER LOCATIONS, SERVICE LOCATIONS, ETC. MUST BE REFLECTED ON THE AS-BUILT DRAWINGS.
- 4.5 WARRANTY LETTER:** INCLUDED IN THE O & M MANUAL. THE WRITTEN GUARANTEE THAT ALL MATERIALS AND WORKMANSHIP PROVIDED ARE IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND DRAWINGS TO GIVE EFFICIENT OPERATION AND ARE FREE FROM MECHANICAL DEFECTS. THE WARRANTY LETTER SHALL CLEARLY STATE THE COMMENCE DATE AND EXPIRY DATE OF THE WARRANTY, AND THE EXTENT AND REMEDIAL ACTION COVERED UNDER THE WARRANTY.

5.0 PLUMBING

1. PIPING MATERIALS:

	PIPE SIZE 2" & SMALLER	PIPE SIZE 3" & LARGER
SANITARY ABOVE GROUND	DWV COPPER PIPE WITH DRAINAGE FITTINGS, SOLDER JOINTS OR PVC PIPES & FITTINGS TO CAN/CSA B181.2, SOLVENT CEMENT JOINTS TO ASTM D2264.	CLASS 4000 CL. PIPE AND FITTINGS TO CAN/CSA-B70. MECHANICAL JOINTS, NEOPRENE OR BUTYL RUBBER COMPRESSION GASKETS WITH STAINLESS STEEL CLAMPS, OR PVC PIPES & FITTINGS TO CAN/CSA B181.2, SOLVENT CEMENT JOINTS TO ASTM D2264.
SANITARY BELOW GROUND	TYPE "L" COPPER PIPE WITH WROUGHT COPPER FITTINGS, SOLDER JOINTS, OR PVC PIPES & FITTINGS TO CAN/CSA B181.2, SOLVENT CEMENT JOINTS TO ASTM D2264.	CLASS 4000 CL. PIPE AND FITTINGS TO CAN/CSA-B70. MECHANICAL JOINTS, NEOPRENE OR BUTYL RUBBER COMPRESSION GASKETS WITH STAINLESS STEEL CLAMPS, OR PVC PIPES & FITTINGS TO CAN/CSA B181.2, SOLVENT CEMENT JOINTS TO ASTM D2264.
DOMESTIC HOT AND COLD WATER PIPING	TYPE "L" COPPER PIPE WITH WROUGHT COPPER FITTINGS, 95/5 TIN/ANTIMONY SOLDER JOINTS	TYPE "L" COPPER PIPE WITH WROUGHT COPPER FITTINGS, 95/5 TIN/ANTIMONY SOLDER JOINTS.

(NOTE: ALL SOLDER JOINTS MUST BE LEAD FREE AND MEET ALL REGULATORY REQUIREMENTS.)

2. VALVES:

	VALVE SIZE 2" & SMALLER	VALVE SIZE 2" & LARGER
GATE VALVE	USE BALL VALVE	KITZ 72, O.S. & Y IRON BODY WITH FLANGED ENDS
BALL VALVES (INSTEAD OF GATE VALVE)	KITZ 90 NPT OR 90# SOLDER ENDS, FULL PORT SOLID BALL AND TEE SIZES	N/A
CHECK VALVE	KITZ #22 SOLENOID ENDS, W/ 1/2" NPT SWING CHECK, 3/4" NPT SLUICE TYPE	
PRESSURE RELIEF	WATTS, OR APPROVED EQUAL, AS PER TEST LOGS. DISCHARGE PIPES FROM ALL RELIEF VALVES SHALL BE PIPED TO FLOOR DRAIN.	

3. ISOLATION VALVE:

- 3.1 PROVIDE ISOLATION VALVES FOR EACH GROUP OF FIXTURES OR EACH FIXTURE AS PER CODE REQUIREMENTS.
- 3.2 CLEANOUTS: SUPPLY AND INSTALL CLEANOUTS WHETHER SHOWN OR NOT, AS REQUIRED BY CODE OR BY AUTHORITIES HAVING JURISDICTION, ON ALL DRAINAGE PIPES.
- 3.3 TRAP PIPING: EVERY FUTURE SHALL BE PROVIDED WITH TRAPS IN ACCORDANCE WITH PLUMBING REGULATIONS. EACH TRAP SHALL BE PROVIDED WITH ITS OWN BRASS PLUG AND FERRULE CLEANOUT. PROVIDE AUTOMATIC TRAP SEAL PRIMER FOR FLOOR AND HUB DRAINS. TRAP SEAL TO NEAREST WATER SUPPLY APPROVED BY THE ENGINEER. USE SAG INC. #99-500 AUTOMATIC TRAP SEAL PRIMER.
- 3.4 WATER HAMMER ARRESTER: INSTALL ANCHOR SHOCK-CLOUD (OR EQUAL) FOR EACH GROUP OF PLUMBING FIXTURES. LOCATION AND SIZE SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION. UNTIL SHALL BE ALL STAINLESS STEEL CONSTRUCTION WITH WELDED NESTED BELLOWS.
- 3.5 VENT ALL SANITARY FIXTURES AS REQUIRED BY THE ONTARIO BUILDING CODE.
- 3.6 PROVIDE ONE PIECE CHROME PLATE SLOUTHOLES ON ALL PIPING PASSING INTO EXPOSED AREAS.
- 3.7 INSTALL ALL DRAINAGE PIPES IN CONFORMITY WITH ELEVATIONS AND GRADES INDICATED. ALL DRAINAGE PIPES SHALL BE SLOPED AS INDICATED OR AS PER OBC REQUIREMENTS. SLOPE BETWEEN ELEVATIONS SHALL BE EVEN AND CONSISTENT.

6.0 DUCTWORK

- 6.1 GENERAL REQUIREMENTS:
 - 6.1.1 CONSTRUCT DUCTWORK AND FITTINGS AS INDICATED ON THE DRAWINGS AND AS SPECIFIED HEREIN, BETWEEN FLEAMS, AIR MOVING EQUIPMENT, TERMINALS INLETS AND OUTLETS.
 - 6.1.2 DUCTWORK AND RELATED COMPONENTS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST EDITION OF ASHRAE AND SMACNA STANDARDS, AND THE N.P.A.'S PAMPHLET NO. 90A.
 - 6.1.3 COMMERCIAL KITCHEN DUCTWORK SHALL CONFORM TO THE LATEST EDITION OF NFPA NO. 96.
 - 6.1.4 DO NOT FABRICATE DUCTWORK UNTIL IT IS FULLY CO-ORDINATED WITH OTHER TRADES FOR CLEARANCE AND INTERFERENCE.
- 6.2 WELDING OF DUCTWORK WHERE REQUIRED SHALL BE PERFORMED BY CERTIFIED WELDERS QUALIFIED FOR WELDING IN ACCORDANCE WITH APPLICABLE PROVINCIAL REQUIREMENTS. SHEET METAL WELDING SHALL ONLY BE PERFORMED BY QUALIFIED WELDERS WITH RECENT EXPERIENCE IN SHEET METAL WELDING.

2. PRODUCTS:

- 2.1 SHEET METAL RECTANGULAR DUCTS: PRIME QUALITY GALVANIZED SHEET METAL GUARANTEED TO BEND AND FLATTEN WITHOUT FRACTURE OF THE GALVANIZATION. FREE FROM BLEMISHES, PITS AND CORROSION IMPROPERITIES. DUCT THICKNESS AND REINFORCEMENT TO SUIT DUCT PRESSURE AND CLASS OF DUCT PREPARED AS PER ASHRAE AND SMACNA RECOMMENDATIONS.
- 2.2 PRE-FABRICATED SPINON OR FLAT WALL DUCTS: GALVANIZED STEEL ASTM-A-575. LONGSPAN CONSTRUCTION WITH SMOOTH INTERIOR. FITTINGS SHALL BE FACTORY FABRICATED CONTINUOUS WELDED SEAMS WITH SLP JOINT CONNECTIONS. ELBOWS SHALL BE LONG RADIIUS 3-SECTION STYLE. FIELD FABRICATED FITTINGS AND ELBOWS ARE NOT ACCEPTABLE.
- 2.3 ACCESSORIES:
 - 2.3.1 DUCT HANGERS: GALVANIZED IRON BAND HANGERS ON DUCTS UP TO 14" IN WIDTH, 1/2" DIAMETER RODS AND 1-3/4" CHANNEL IRON SUPPORT ON LARGER DUCTS.
 - 2.3.2 DUCT SEALANT: UL-C LISTED, OIL RESISTANT POLYMER TYPE ADHESIVE, FIRE RETARDANT WHEN DRY, 1/2" FLAME SPREAD RATING AND 0" SMOKE GENERATING RATING. ACCEPTABLE MATERIALS: DURO DINE 5-2.
 - 2.3.3 DUCT TIES: POLYVINYL CHLORIDE TREATED OPEN WEAVE FIBERGLASS TAPE, 2" IN WIDTH AND WATER BARE DUCT SEALER. ACCEPTABLE MATERIALS: DURO DINE FT-1; METALLIC DUCT TAPE IN WAVE RAILS.
 - 2.3.4 FLEXIBLE CONNECTIONS: 4" WIDE 1/4" UL-C LISTED FIRE RETARDANT, WATERPROOF FABRIC COMPLETE WITH GALVANIZED STEEL BALL AS MANUFACTURED BY DURO DINE OF CANADA LIMITED. FLEXIBLE CONNECTIONS SHALL BE AIR TIGHT FOR PRESSURE FROM -10 TO 15" WC.
 - 2.3.5 FLEXIBLE DUCT: ALUMINUM SPIRAL WOUND TUBE CORRUGATED FOR STRENGTH WITH A TRIPLE MECHANICAL LOCK AS MANUFACTURED BY FLEMMASTER CANADA LTD., MODEL 7/1 FOR BARE DUCT AND MODEL 7/1-VT FOR INSULATED DUCT. UL-C LISTED AS CLASS "Y" OR "D" DUCT MATERIAL. FLEXIBLE DUCT SHALL BE FULLY EXTENDED TO MEET APPLICATION REQUIREMENTS.
 - 2.3.6 TURNING VANES: DOUBLE WALL TYPE ON WAVE RAILS.
 - 2.3.7 SPLITTER DAMPERS: ONE GAUGE HEAVIER THAN SURROUNDING DUCT, REINFORCED, IF NECESSARY, FOR PROUD AND FITTED WITH LOCKING TYPE QUADRANT OPERATOR.
 - 2.3.8 VOLUME CONTROL OR BALANCING DAMPERS: FOR DUCTS 14" OR LESS IN HEIGHT, SINGLE BLADE GALVANIZED STEEL MANUAL DAMPER AS MANUFACTURED BY MULLER INDUSTRIES INC. FOR DUCTS GREATER THAN 14" IN HEIGHT, OPPOSED BLADE GALVANIZED STEEL LOW LEAKAGE DAMPER WITH MANUAL LOCKING TYPE QUADRANT.
 - 2.3.9 FIRE DAMPERS: ALL FIRE DAMPERS SHALL BE OF AIR STREAM STYLE, 1/2" OR 1" GALVANIZED STEEL CURTAIN TYPE DAMPERS COMPLETE WITH COMPLETE LOCKING TYPE QUADRANT.
- 2.4 DUCT ACCESS PANELS: LOW LEAKAGE BE FORMED PANELS WITH CAMELBACK CLOSURE AND POSITIVE SEALING ASHRAE AS MANUFACTURED BY MULLER INDUSTRIES INC. ON INSULATED DUCTS ACCESS PANELS TO BE INSULATED WITH 1" FIBERGLASS AND BRACING PLATE, AND EXTERNALLY MOUNTED TO CLEAR THE INSULATION.

4. DETECTION

- 4.1 GENERAL:
 - 4.1.1 FABRICATE DUCTWORK AS PER ASHRAE AND SMACNA GUIDELINES. ALL DUCTWORK SHALL BE SELF SUPPORTING.
 - 4.1.2 SEAL ALL THROUGH JOINTS AND CONNECTIONS WITH AN OIL-RESISTANT POLYMER TYPE DUCT SEALING COMPOUND WITH A POLY-VINYL CHLORIDE OPEN WEAVE FIBERGLASS TAPE TO AIR TIGHT. CONNECTIONS JOINTS SHALL BE UNGLAZED. RED DUCT TAPE IN SEALER AND RECOAT WITH MINIMUM ONE COAT OF SEALER TO MANUFACTURER'S RECOMMENDATIONS. SEAL CLASSIFICATION CLASS C FOR PRESSURE UP TO 500 PSI CLASS C FOR PRESSURE HIGHER THAN 500 PSI.
 - 4.1.3 CHANGES IN DUCT SIZES SHALL BE GRADUAL, AT A RATE OF 1" FOR 4' OF DUCT LENGTH. WHERE LARGEST DIMENSION OF DUCT IS OVER 18", STIFFEN DUCT BY CROSS BRACING BETWEEN STANDING SEAMS OR REINFORCING ANGLES.
 - 4.1.4 WHERE INSULATION IS APPLIED INTERNALLY TO THE DUCTWORK, SEAL ALL JOINTS TO FORM A CONTINUOUS VAPOUR BARRIER WITH THE SHEET METAL. ALL DUCT SIZES SHOWN ON THE DRAWINGS ARE CLEAR INTERNAL SIZES. INCREASE DUCT SIZE TO ALLOW FOR INSULATION THICKNESS.
 - 4.1.5 SINGLE THICKNESS PARTITIONS BETWEEN DUCTS ARE NOT ACCEPTABLE.
 - 4.1.6 STEEL ANGLES ON ALL APPROPRIATE AND FLEAM HANGERS SHALL BE INSTALLED ON NOT MORE THAN 4'-0" (1200MM) CENTRES AND AT ALL VERTICAL AND LONGITUDINAL CORNERS OF THE FLEAM CONSTRUCTION.

- 4.1.7. DO NOT BREAK CONTINUITY OF INSULATION VAPOUR BARRIER WITH HANGERS OR RODS. INSULATE STRAP HANGERS 4' (1200MM) BEYOND INSULATED DUCT.
 - 4.1.8. SUPPORT RISERS IN ACCORDANCE WITH ASHRAE AND SMACNA.
 - 4.1.9. INSTALL BREAK AWAY JOINTS IN DUCTWORK ON EACH SIDE OF FIRE DAMPER/FIRE SEPARATION.
 - 4.1.10. WAVE CONNECTIONS FROM DUCTWORK TO GRILLES, DIFFUSERS, ETC. WITH FLEXIBLE DUCT, EXCEPT WHERE DIFFUSER COLLAR AND CONNECTING DUCT ARE SHUT-OFFPOSED.
 - 4.1.11. SECURE FLEXIBLE DUCT TO COLLARS WITH METAL BRIDGE GRIP CLAMPS. PROVIDE RIGID ROUND DUCT AS REQUIRED TO LIMIT THE LENGTH OF FLEXIBLE DUCT TO 10'-0" FOR ANY CONNECTION.
 - 4.1.12. WHERE SPACE REQUIREMENTS PROHIBIT FULL RADIIUS TURNS, INSTALL TURNING VANES ON 2' CENTRES IN MITRED ELBOWS.
 - 4.1.13. INSTALL SPLITTER BALANCING DAMPERS AT ALL BRANCH DUCT JUNCTIONS, WHETHER SHOWN ON DRAWINGS OR NOT. REINFORCE SURROUNDING DUCTWORK TO PREVENT SAGGING OR DRUMMING.
 - 4.1.14. WAVE DUCT CONNECTIONS TO ALL AIR MOVING EQUIPMENT WITH FLEXIBLE CONNECTIONS. PROVIDE SUITABLE COLLARS AND SECURE SAME TO ACHIEVE LEAK PROOF CONNECTIONS. ENSURE THAT THE FLEXIBLE CONNECTION IS SUFFICIENTLY SLACK TO PERMIT NORMAL MOVEMENT OF EQUIPMENT WITHOUT TRANSMITTING VIBRATIONS TO THE DUCTWORK.
 - 4.1.15. INSTALL ACCESS PANELS IN DUCTWORK WHERE REQUIRED FOR INSPECTING AND MAINTAINING FIRE DAMPERS, COLES AND CONTROL DEVICES ETC. COORDINATE PANEL LOCATIONS WITH SURROUNDING ENVIRONMENT TO ENSURE SUFFICIENT CLEARANCE FOR ACCESS.
- 4.2. DUCT HANGERS:**
- 4.2.1. SUPPORT DUCT HANGERS FROM STRUCTURAL MEMBERS. SEE SECTION 2.0 GENERAL REQUIREMENTS ABOVE FOR DETAILS.
 - 4.2.2. FOR DUCTS UP TO 18" (450MM) IN WIDTH, HANGERS SHALL BE PLACED AT NOT MORE THAN 6'-0" (2400MM) CENTRES.
 - 4.2.3. FOR DUCTS MORE THAN 18" (450MM) IN WIDTH SHALL BE SUPPORTED AT NOT MORE THAN 4'-0" (1200MM) CENTRES.
- 4.3. TEST PLUGS:**
- 4.3.1. AT EACH FAN DISCHARGE AND SECTION, AND AT EACH BRANCH, PROVIDE SUFFICIENT NUMBER OF TUBE TEST HOLES TO PERMIT REVERSE VELOCITY READINGS ACROSS THE ENTIRE DUCT.
 - 4.3.2. PROVIDE A RUBBER GROMMET AROUND CAPPING TUBING PASSING THROUGH DUCTWORK.
 - 4.3.3. PROVIDE REINFORCED HOLES IN DUCTWORK FOR AIR TERMINALS, SENSORS, GAUGES, ETC.
 - 4.3.4. INSTALL TEST HOLES WITH 3/4" (20 MM) CLEAN OPENING WITH A METAL RING PLATE, THREADED BOSS, AND WATCHING SCREWED HEAD PLUG. PROVIDE EXTENSION COLLARS ON INSULATED DUCTWORK.

7.0 INSULATION

- 7.1 PIPING:
 - 7.1.1 INSULATE PIPES WHERE APPLICABLE AS LISTED BELOW AND AS INDICATED ON THE DRAWINGS, WITH PREFORMED FIBERGLASS PIPE INSULATION AS SPECIFIED:

PIPE TYPE	PIPE SIZE	INSULATION THICKNESS
DOMESTIC COLD WATER MAINS & CHILLED WATER PIPES	1-1/4" (32mm) & BELOW	1/2" (13mm)
	1-1/2" (40mm) & UP	1" (25mm)
DOMESTIC HOT WATER MAINS, RECYCLATION WATER LINES AND HEATING WATER PIPES FOR TEMPERATURES UP TO 200°F	1-1/4" (32mm) & BELOW	1-1/2" (40mm)
	1-1/2" (40mm) & UP	2" (50mm)
DOMESTIC COLD, HOT AND REFRIGERANTS TO INDIVIDUAL FIXTURES NOT EXCEEDING 12'-0" (3.7m) AND THE FRESH WATER LINES	UP TO 2" (50mm)	1/2" (13mm)
HORIZONTAL CAST IRON OR COPPER SANITARY AND STORM DRAINAGE PIPING ABOVE GROUND	ALL SIZES	1/2" (13mm)
CONDENSATE DRAIN PIPES	ALL SIZES	1/2" (13mm)

- 7.2 DUCTWORK:
 - 7.2.1 INSULATE ALL DUCTS WHERE APPLICABLE AS LISTED BELOW AND AS INDICATED ON THE DRAWINGS WITH FIBERGLASS INSULATION AS SPECIFIED:

DUCT TYPE	INSULATION TYPE	INSULATION THICKNESS
SUPPLY, RETURN AND EXHAUST AIR DUCTS, INDIRECTLY CONDITIONED SPACE INCLUDING RETURN AIR FLEAMS	NOT REQUIRED	N/A
SUPPLY AIR DUCTS, WHERE INDICATED ON THE DRAWINGS OR IN UNCONDITIONED SPACE	FLEXIBLE	1" (25mm) TO R-1.5
RETURN AIR DUCTS IN UNCONDITIONED SPACE EXCEPT IN ATTIC	NOT REQUIRED	N/A
EXHAUST AIR DUCTS WITH AFT OF PENETRATIONS THROUGH EXTERIOR WALLS OR ROOFS	FLEXIBLE	1" (25mm) TO R-1.5
SUPPLY, RETURN AND EXHAUST AIR DUCTS IN ATTIC SPACE	FLEXIBLE	2" (50MM) TO R-6
OUTDOOR AIR DUCTS AND RETURN AIR FLEAMS	FLEXIBLE	2" (50mm)
ALL EXTERIOR DUCTS	RIGID	2" (50mm) TO R-8

- 7.3 REFRIGERANT PIPES:
 - 7.3.1 INSULATE ALL REFRIGERANT PIPES WITH 1" (25MM) ARMYLITE PIPING INSULATION OR AS PER SYSTEM MANUFACTURER'S RECOMMENDATIONS.
- 7.4 PIPING INSULATION MATERIALS:
 - 7.4.1 PREFORMED PIPE INSULATION: FIBERGLASS PIPE INSULATION WITH A THERMOSETTING RESIN COMPLETE WITH FACTORY APPLIED FOLYBUTYL LAMINATE REINFORCED VAPOUR BARRIER. MAXIMUM CONDUCTIVITY AT 0.25 BTU-IN/HR (FT² °F). INSULATION SHALL BE SUITABLE FOR -50°F TO 150°F TEMPERATURE APPLICATIONS. MICRO-LOCK PREFORMED FIBERGLASS PIPING INSULATION AS MANUFACTURED BY JOHNS MANVILLE OR ACCEPTED EQUAL FROM FIBERGLASS CANADA INC.
 - 7.4.2 DUCT INSULATION MATERIALS:
 - 7.4.2.1 ACOUSTIC DUCT LINER: 0.25 BTU-IN/HR (FT² °F) FIBERGLASS FORMED INTO A RIGID BOARD WITH A FACTORY APPLIED COAT OF BLACK NEOPRENE LATEX ON THE AIR SIDE, MANUFACTURED BY JOHNS MANVILLE. MAXIMUM CONDUCTIVITY AT 0.25 BTU-IN/HR (FT² °F).
 - 7.4.2.2 FLEXIBLE DUCT INSULATION: 3.0 LB/CUFT. (88 KG/M³) FIBERGLASS FORMED INTO A FLEXIBLE BLANKET WITH A FACTORY APPLIED FACED WITH REINFORCED FOL AND FLAME RESISTANT FOAM VAPOR BARRIERS, MANUFACTURED BY FIBERGLASS CANADA INC.
 - 7.4.2.3 RIGID DUCT INSULATION: 4.5 LB/CUFT. (72 KG/M³) FIBERGLASS FORMED INTO A RIGID BOARD WITH FACTORY APPLIED REINFORCED FOL AND FLAME RESISTANT FOAM VAPOR BARRIER, MANUFACTURED BY FIBERGLASS CANADA INC.

6. PVC JACKETING:
 - 6.1. ONE PIECE, SEAMLESS PRE-MOLDED HIGH IMPACT PVC COVERS AND JACKETING WITH FIBERGLASS INSERTS AND ACCESSORIES FOR PIPING AND FITTINGS, MANUFACTURED BY PROTEC CORP.
 - 6.2. QUALITY ASSUR

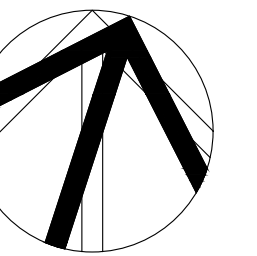


KEY PLAN

No.	Revision	Date	By
4.	ISSUED FOR PERMIT	May, 27/24	E.C.
3.	ISSUED FOR TENDER	May, 13/24	E.C.
2.	ISSUED FOR CLIENT REVIEW	May, 10/24	E.C.
1.	ISSUED FOR 95% CLIENT REVIEW	Mar, 26/24	E.C.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name

**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title

Level 1 & Basement Proposed Plan
Plumbing Layout

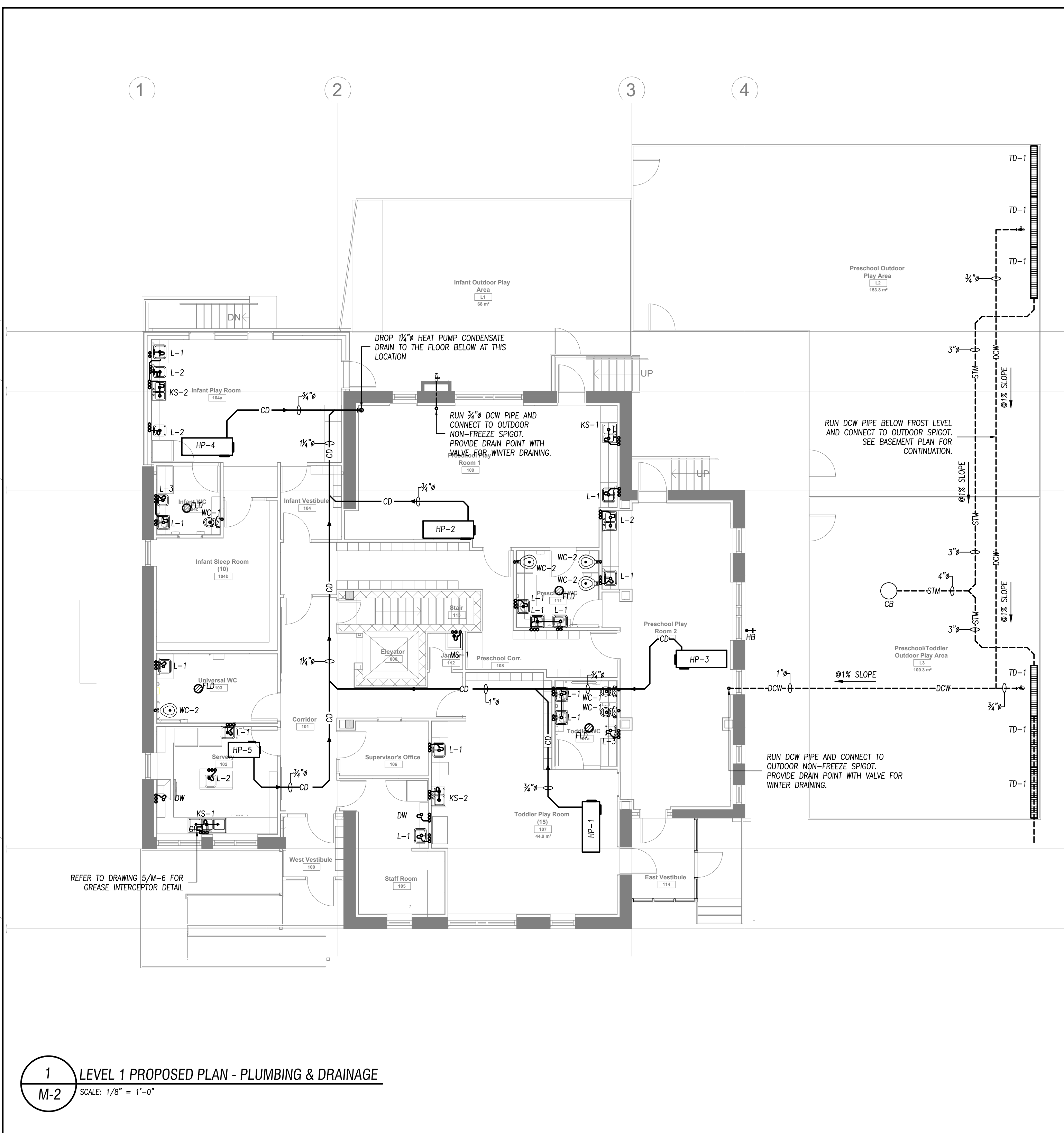
Drawn By N.P. Scale As Indicated

Designed By J.C. Date March 2024

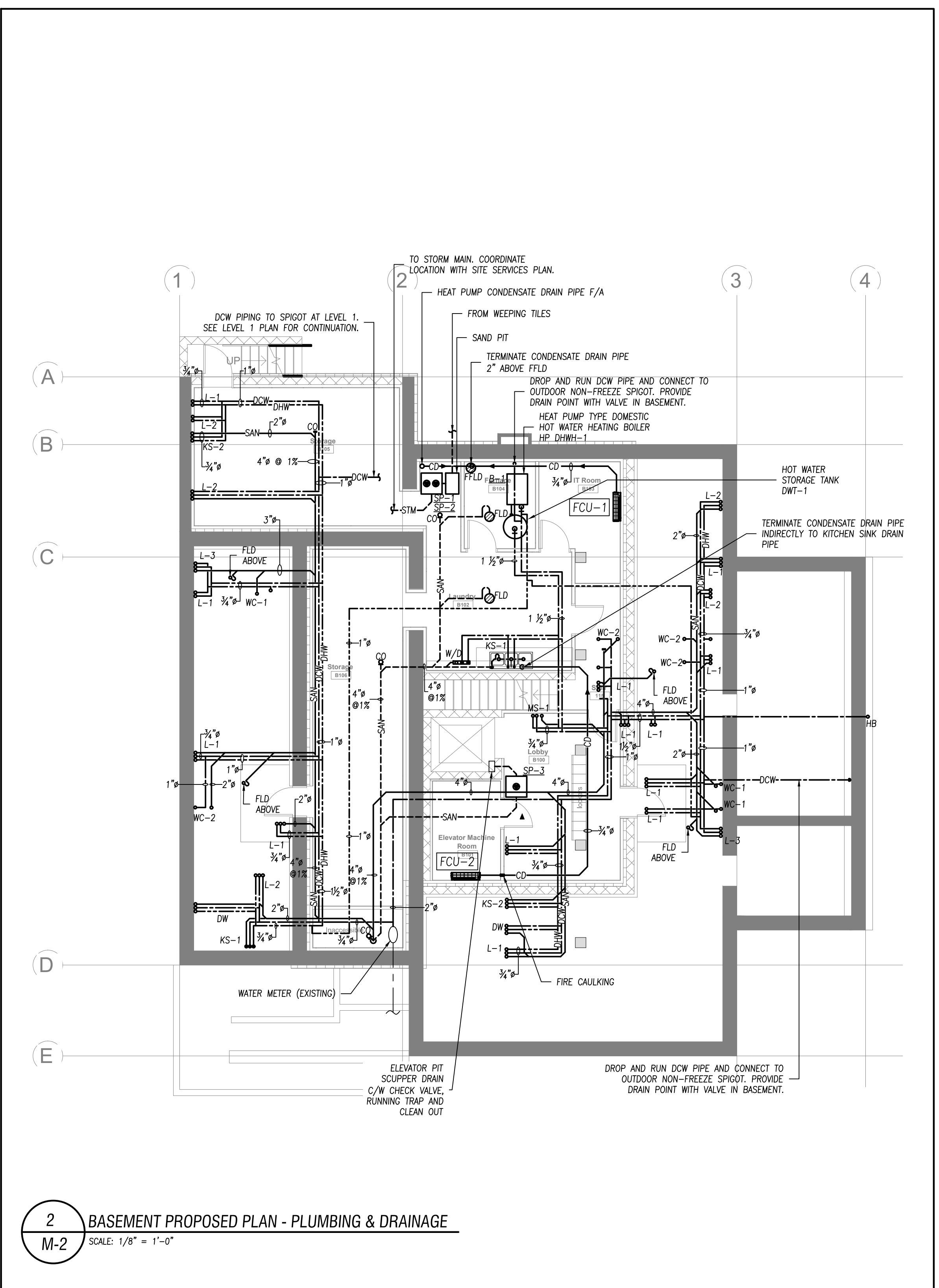
RJC Project Number **TOR.122940.0001**

Sheet Number **M-2** Revision

M-2



1 LEVEL 1 PROPOSED PLAN - PLUMBING & DRAINAGE
M-2 SCALE: 1/8" = 1'-0"



2 BASEMENT PROPOSED PLAN - PLUMBING & DRAINAGE
M-2 SCALE: 1/8" = 1'-0"

GENERAL NOTES:
CONTRACTOR TO PROVIDE FIRE CAULKING ON BOTH SIDES OF THE WALL ASSEMBLY ON BASEMENT LEVEL AND FLOOR ASSEMBLY BETWEEN GROUND FLOOR AND BASEMENT FOR ALL PIPE PENETRATIONS.

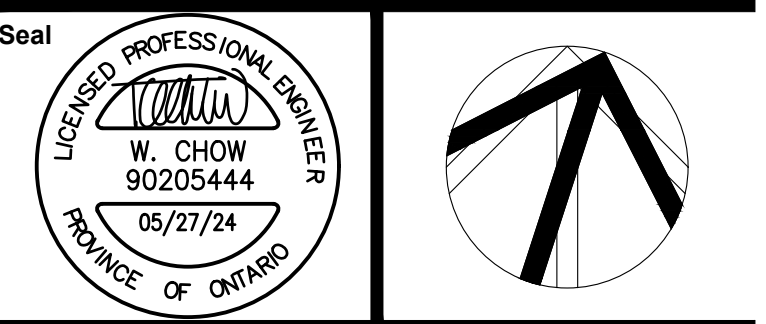


KEY PLAN

No.	Revision	Date	By
4.	ISSUED FOR PERMIT	May. 27/24	E.C.
3.	ISSUED FOR TENDER	May. 13/24	E.C.
2.	ISSUED FOR CLIENT REVIEW	May. 10/24	E.C.
1.	ISSUED FOR 95% CLIENT REVIEW	Mar. 26/24	E.C.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC, whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



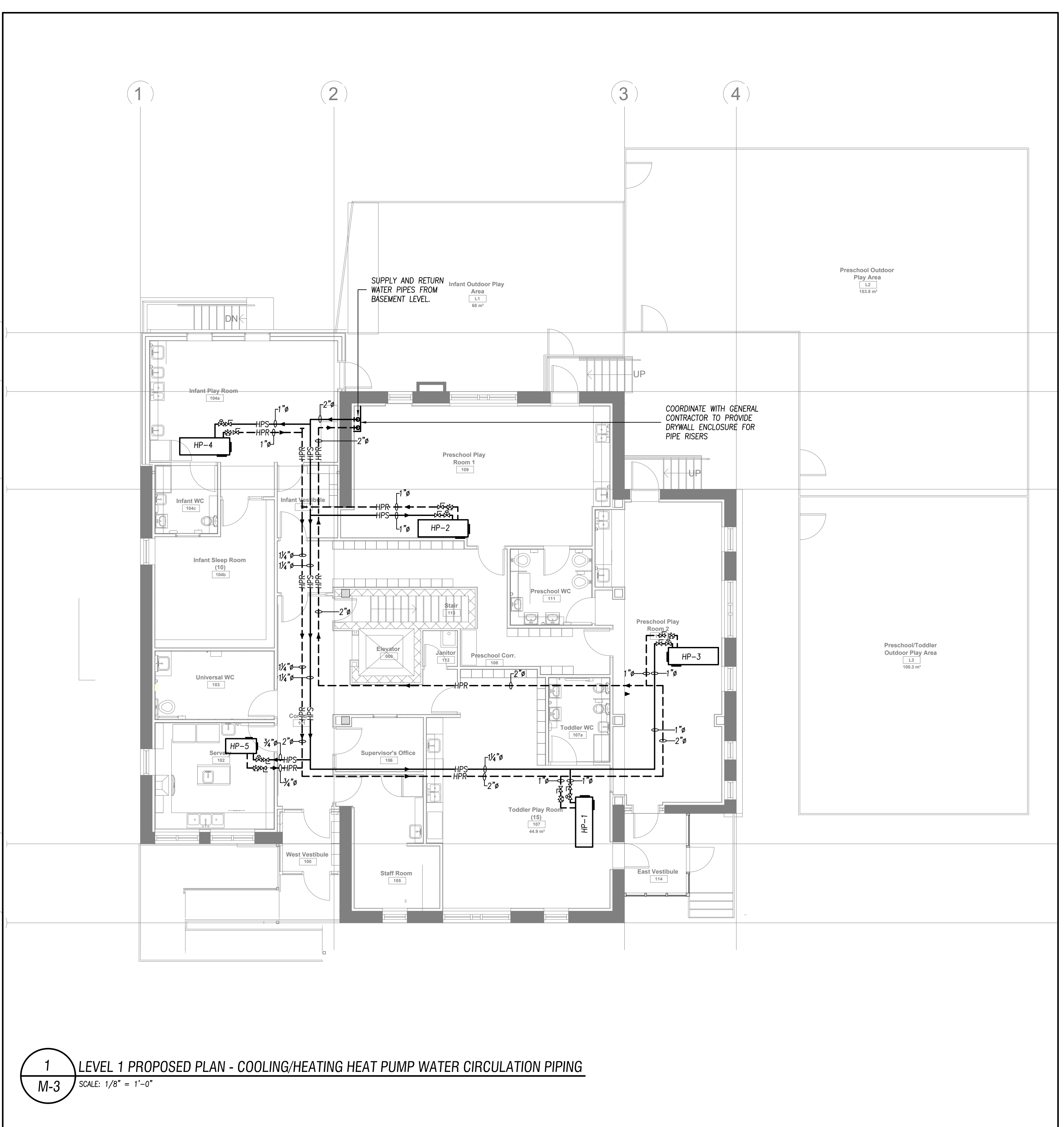
Project Name
Upper Yonge Village Daycare Centre
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

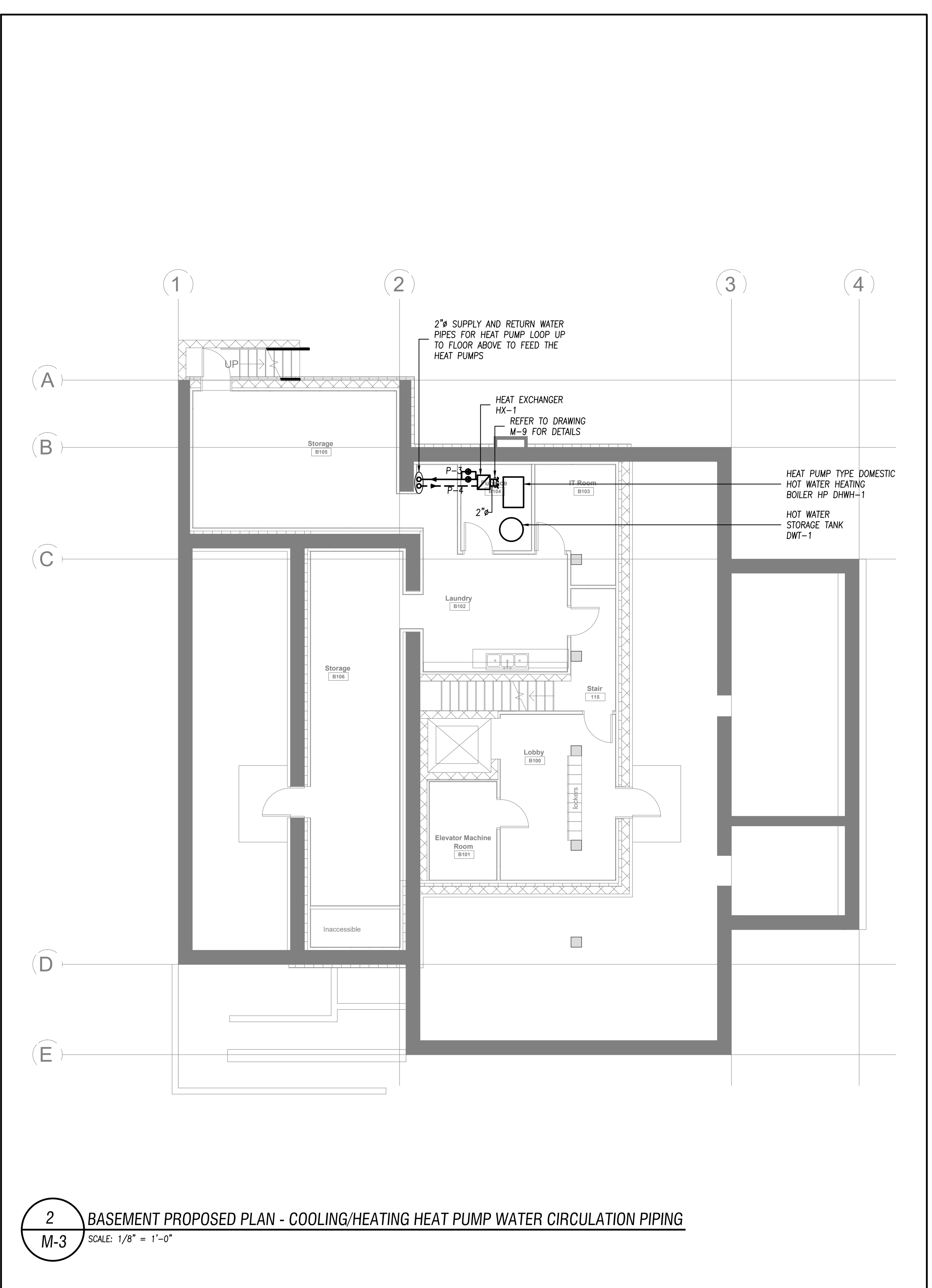
Sheet Title
**Level 1 & Basement Proposed Plan
Cooling/Heating Heat Pump Water
Circulation Piping**

Drawn By N.P. Scale As Indicated
Designed By J.C. Date March 2024
RJC Project Number **TOR.122940.0001**

Sheet Number **M-3** Revision



1 LEVEL 1 PROPOSED PLAN - COOLING/HEATING HEAT PUMP WATER CIRCULATION PIPING
M-3 SCALE: 1/8" = 1'-0"



2 BASEMENT PROPOSED PLAN - COOLING/HEATING HEAT PUMP WATER CIRCULATION PIPING
M-3 SCALE: 1/8" = 1'-0"

GENERAL NOTES:
CONTRACTOR TO PROVIDE FIRE CAULKING ON BOTH SIDES OF THE FLOOR ASSEMBLY BETWEEN GROUND FLOOR AND BASEMENT FOR ALL PIPE PENETRATIONS.

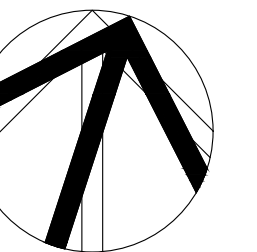
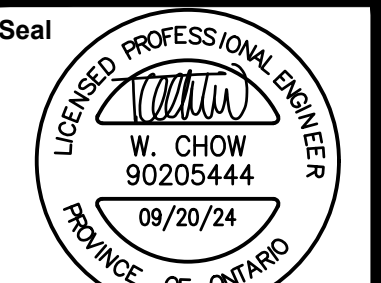


KEY PLAN

No.	Revision	Date	By
5.	ISSUED FOR PERMIT & TENDER	Sep. 20/24	E.C.
4.	ISSUED FOR PERMIT	May. 27/24	E.C.
3.	ISSUED FOR TENDER	May. 13/24	E.C.
2.	ISSUED FOR CLIENT REVIEW	May. 10/24	E.C.
1.	ISSUED FOR 95% CLIENT REVIEW	Mar. 26/24	E.C.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC, whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name

**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title

Level 1 & Basement Proposed Plan
HVAC Layout

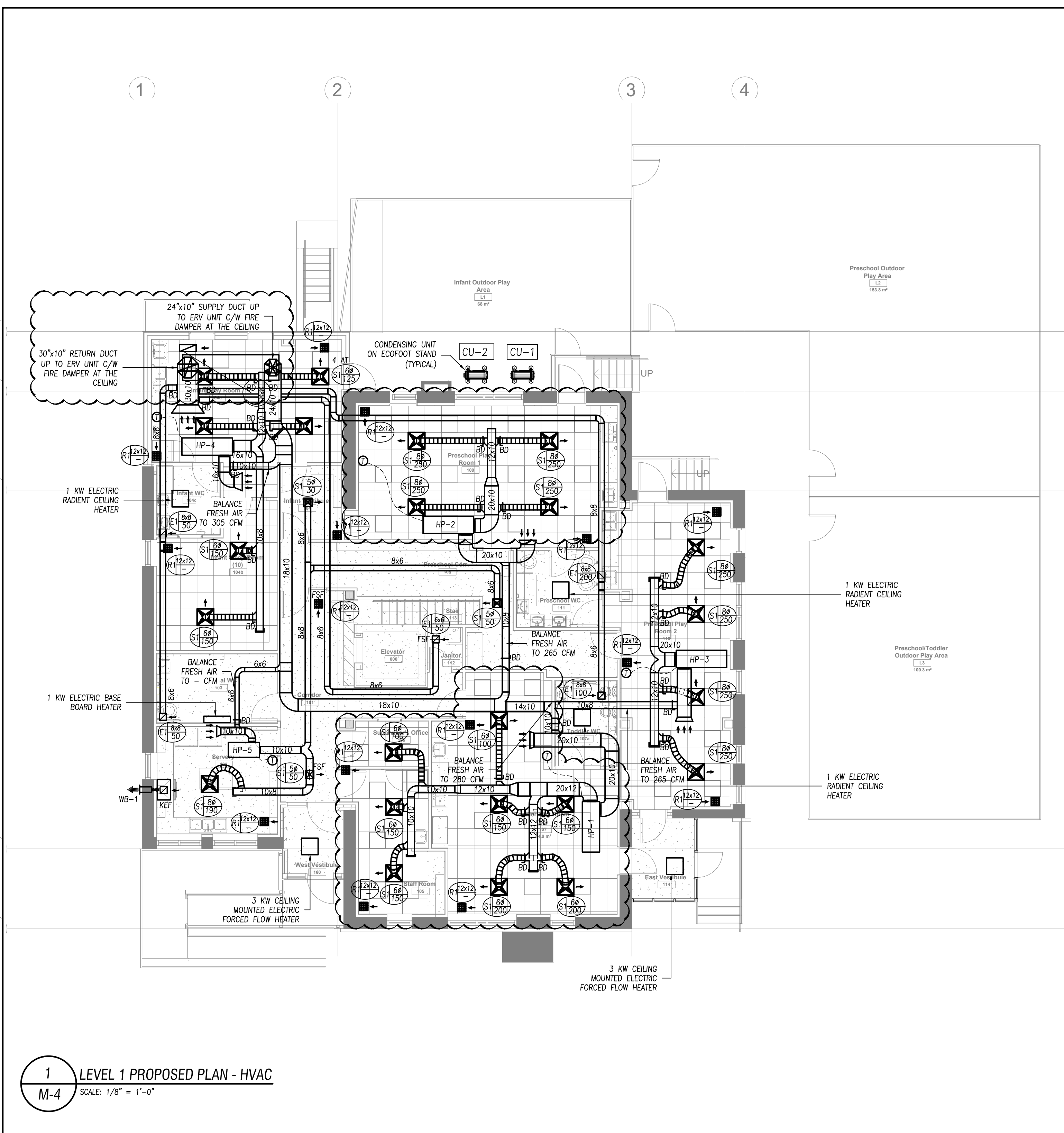
Drawn By N.P. Scale As Indicated

Designed By J.C. Date March 2024

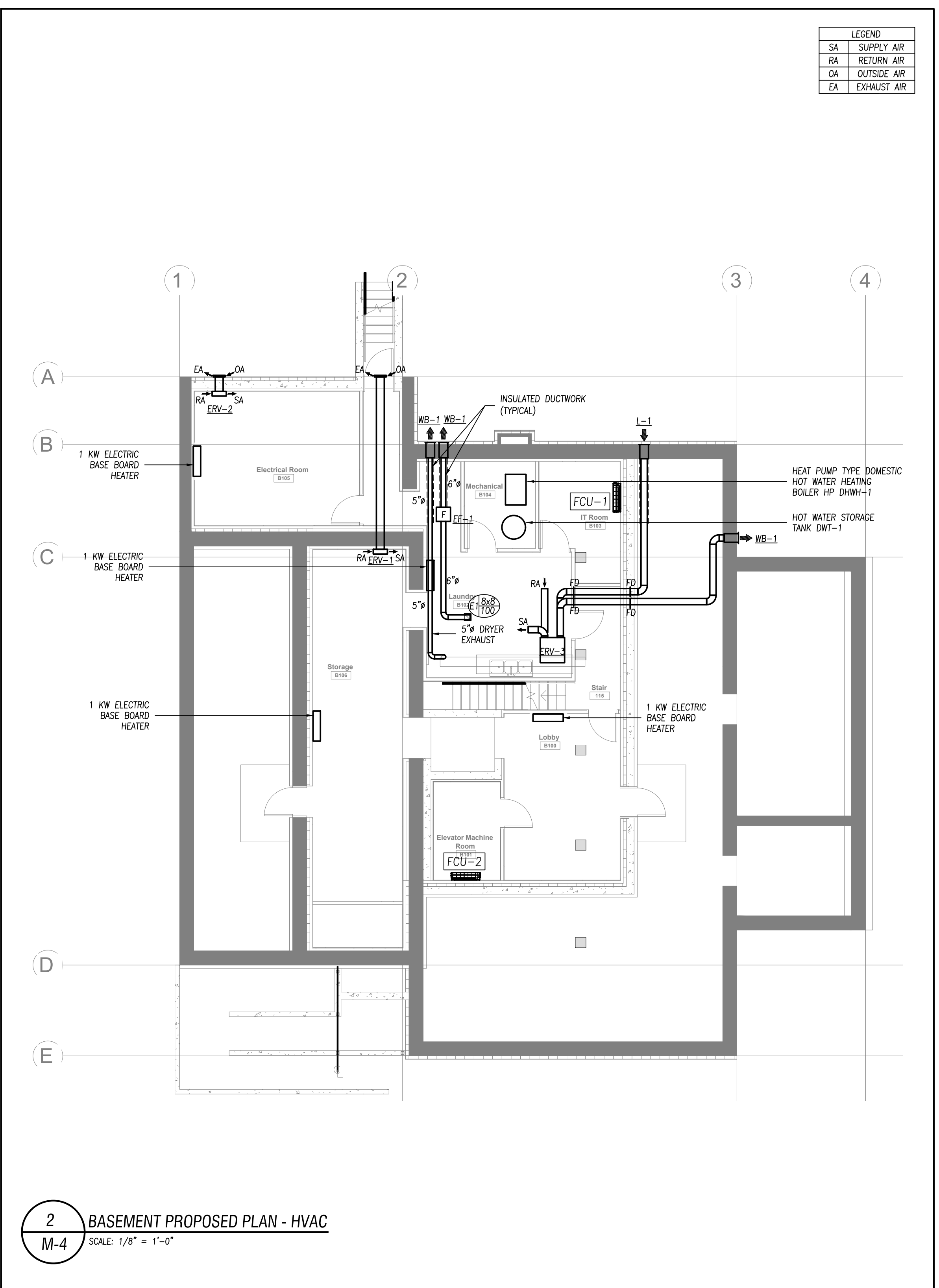
RJC Project Number **TOR.122940.0001**

Sheet Number **M-4** Revision

M-4

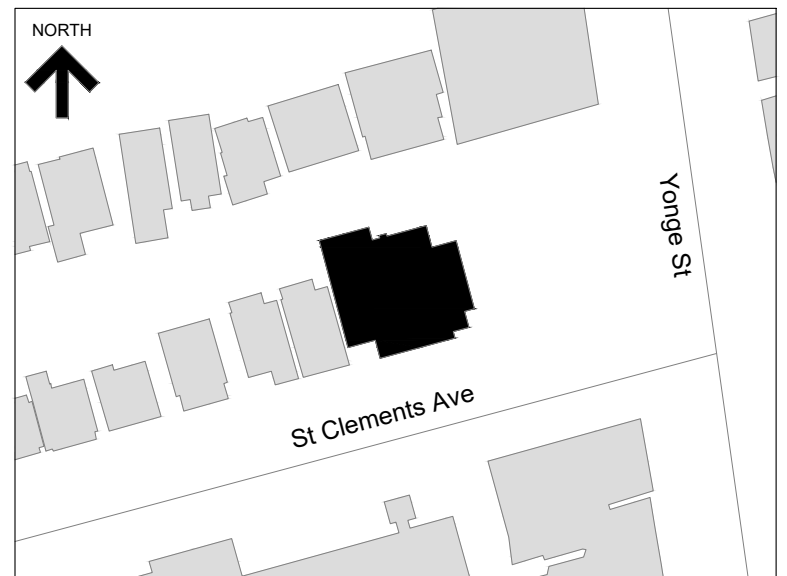


1 LEVEL 1 PROPOSED PLAN - HVAC
M-4 SCALE: 1/8" = 1'-0"



2 BASEMENT PROPOSED PLAN - HVAC
M-4 SCALE: 1/8" = 1'-0"

LEGEND	
SA	SUPPLY AIR
RA	RETURN AIR
OA	OUTSIDE AIR
EA	EXHAUST AIR

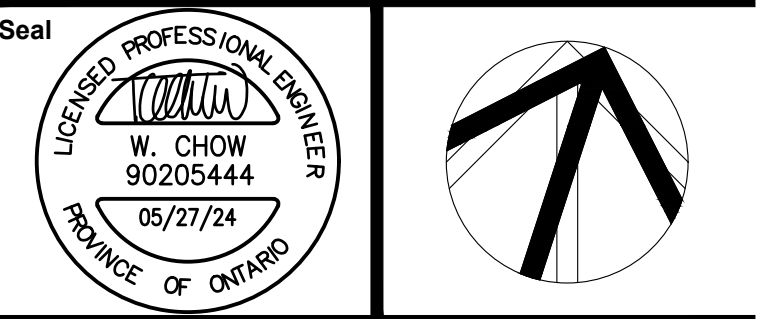


KEY PLAN

No.	Revision	Date	By
4.	ISSUED FOR PERMIT	May. 27/24	E.C.
3.	ISSUED FOR TENDER	May. 13/24	E.C.
2.	ISSUED FOR CLIENT REVIEW	May. 10/24	E.C.
1.	ISSUED FOR 95% CLIENT REVIEW	Mar. 26/24	E.C.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC, whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

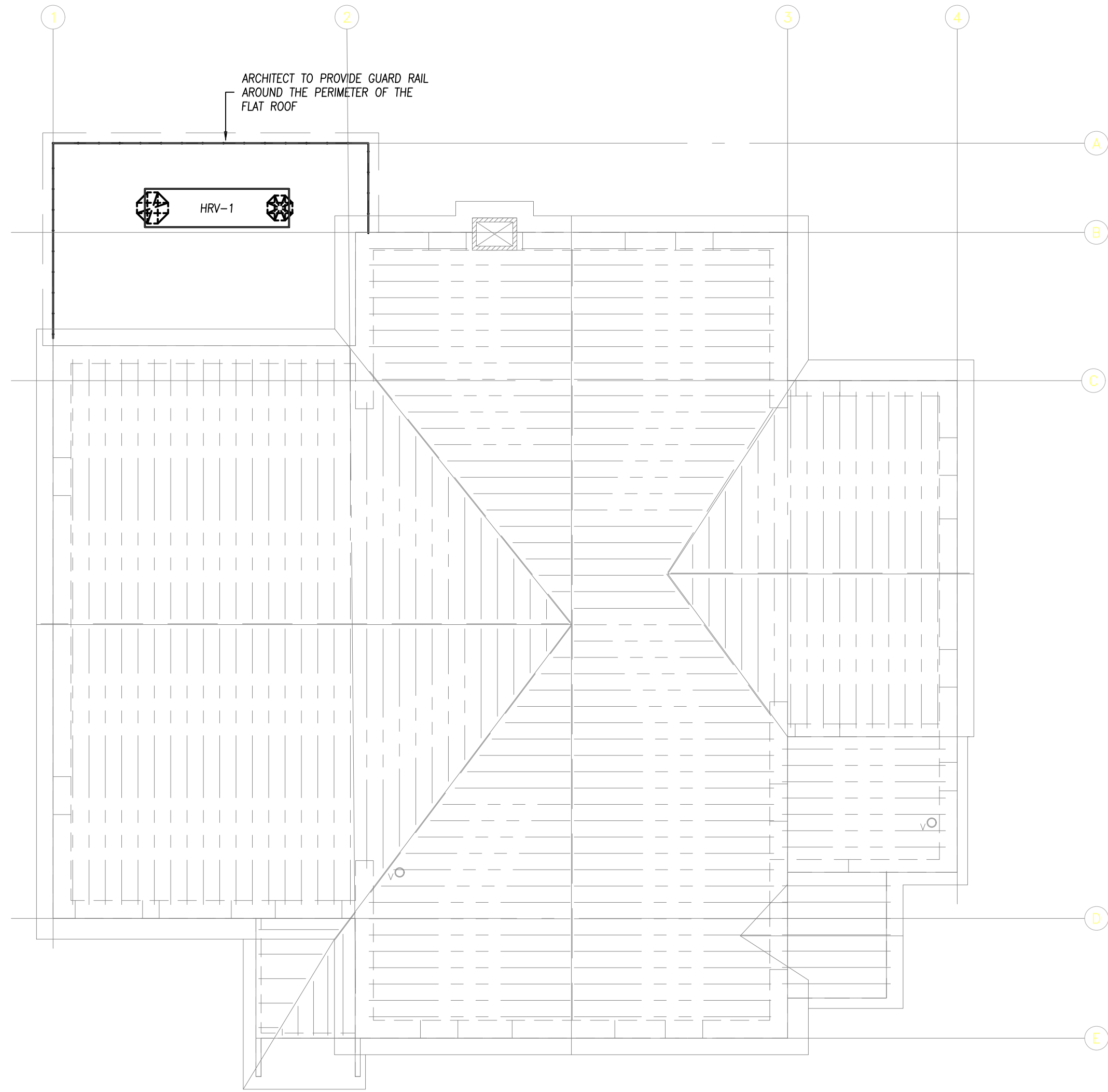


Project Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title
Roof Plan

Drawn By N.P. Scale As indicated
Designed By J.C. Date March 2024
RJC Project Number **TOR.122940.0001**
Sheet Number **M-5** Revision



1 ROOF PLAN
M-5 SCALE: 1/8" = 1'-0"



KEY PLAN

No.	Revision	Date	By
4.	ISSUED FOR PERMIT	May. 27/24	E.C.
3.	ISSUED FOR TENDER	May. 13/24	E.C.
2.	ISSUED FOR CLIENT REVIEW	May. 10/24	E.C.
1.	ISSUED FOR 95% CLIENT REVIEW	Mar. 26/24	E.C.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJCL") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJCL whether the Work is executed or not, and RJCL reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJCL. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJCL in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tendering" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name

**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title

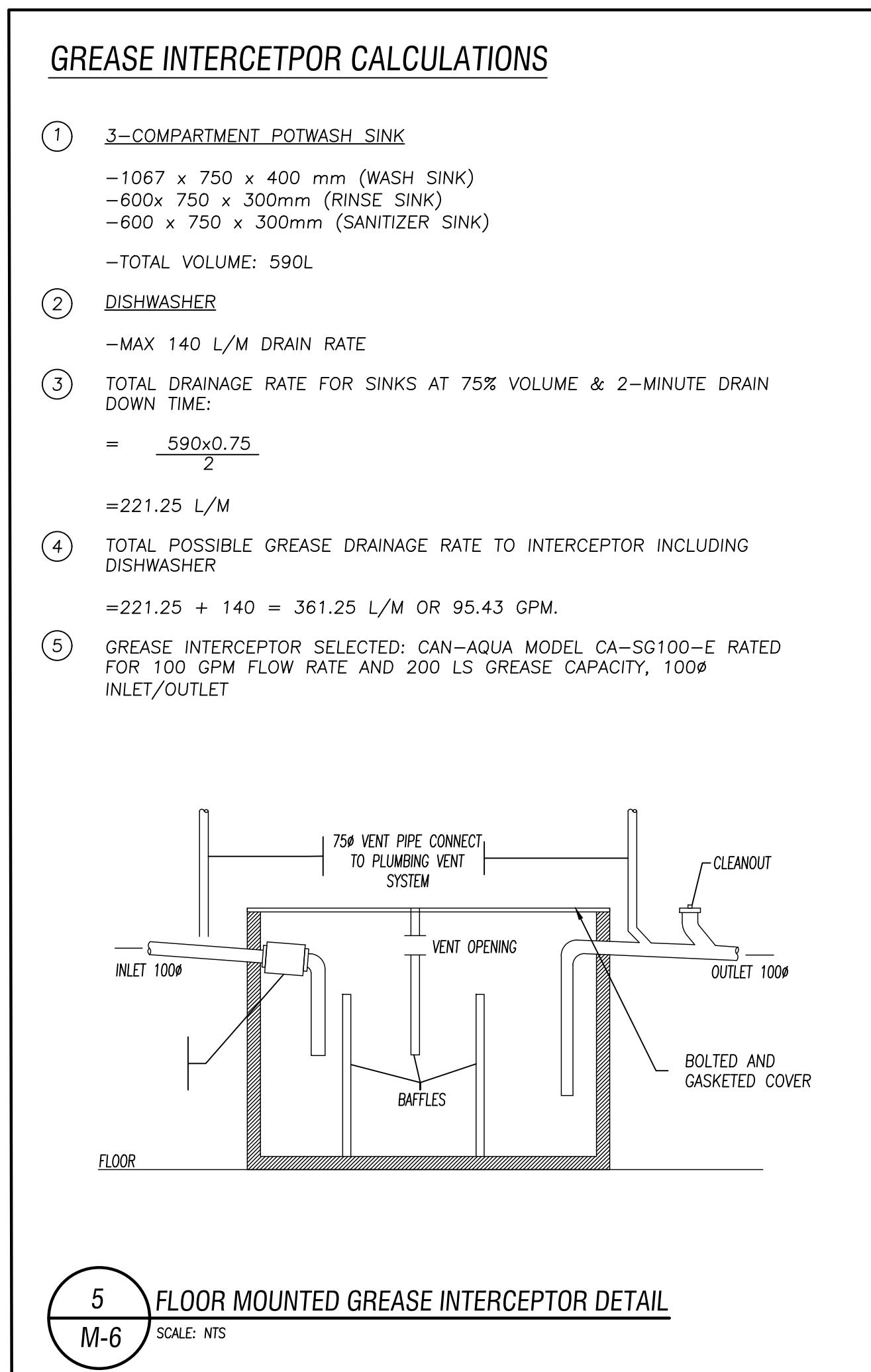
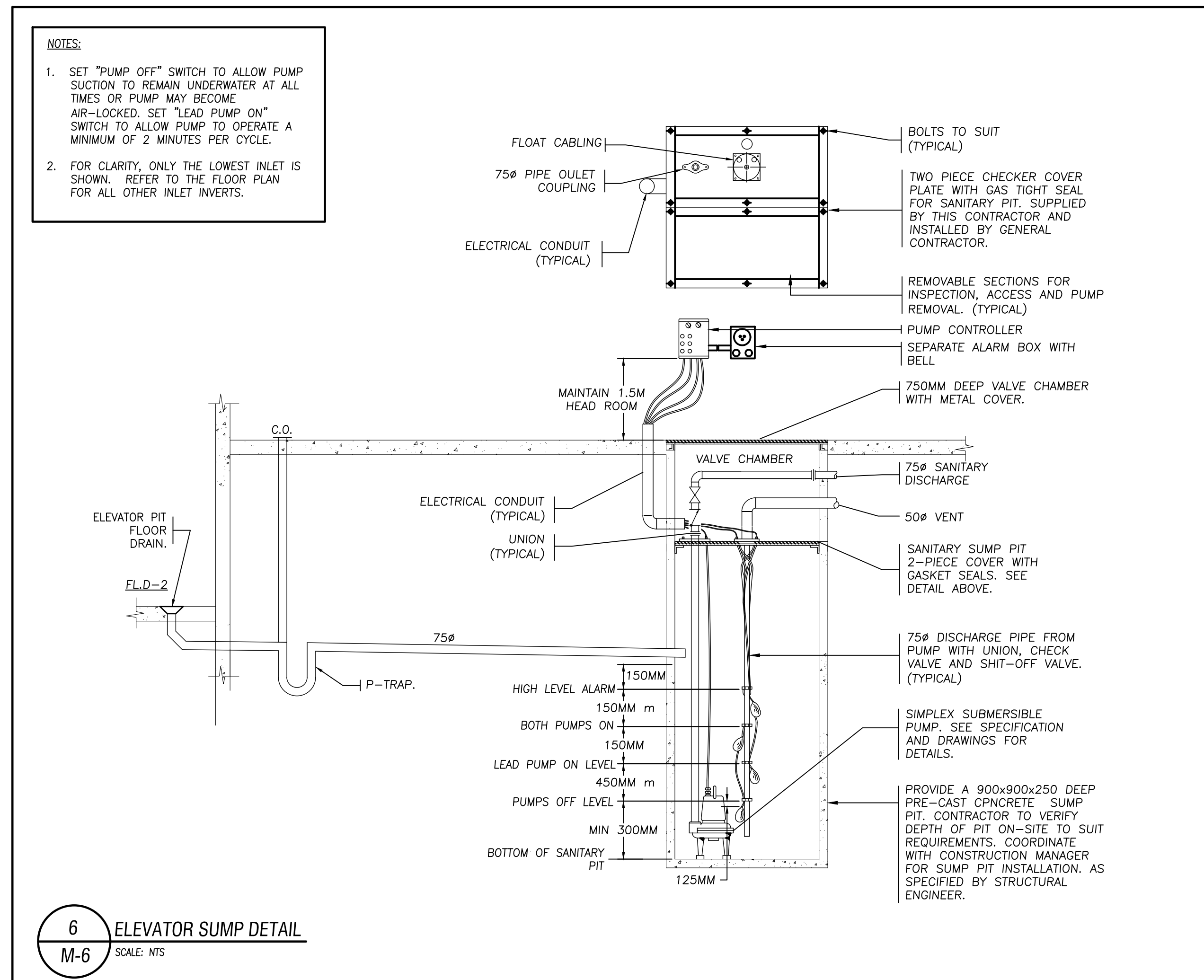
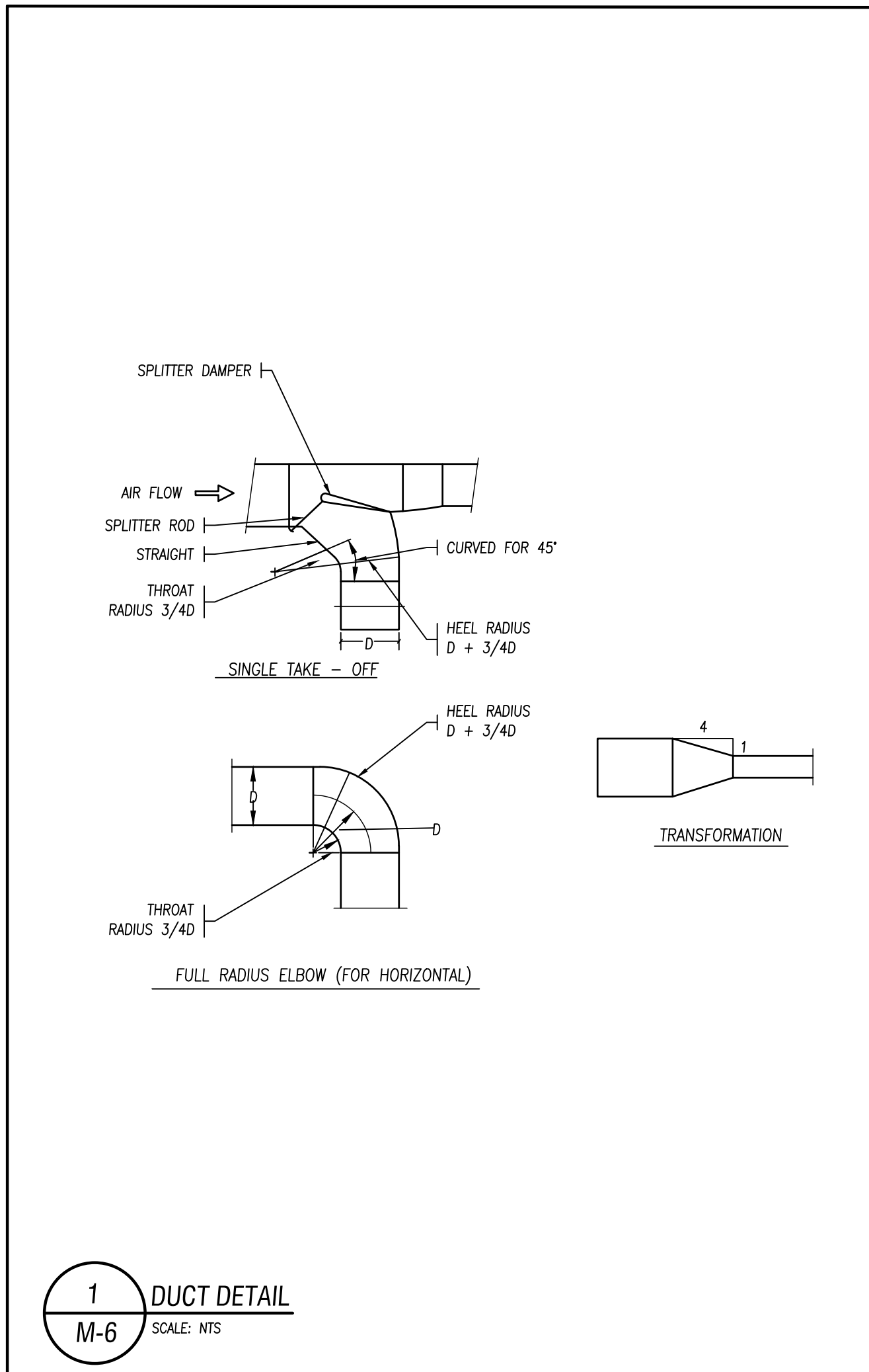
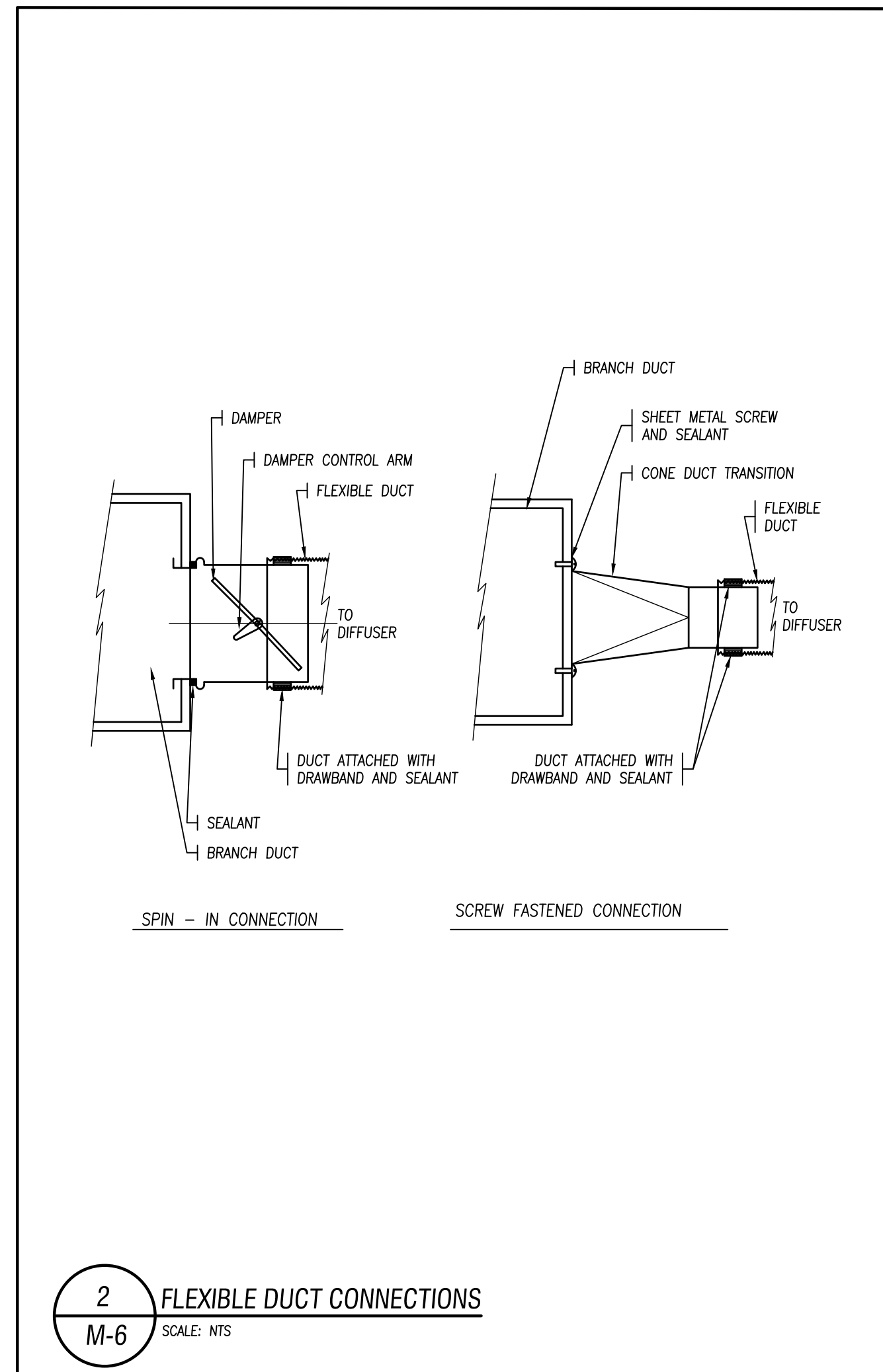
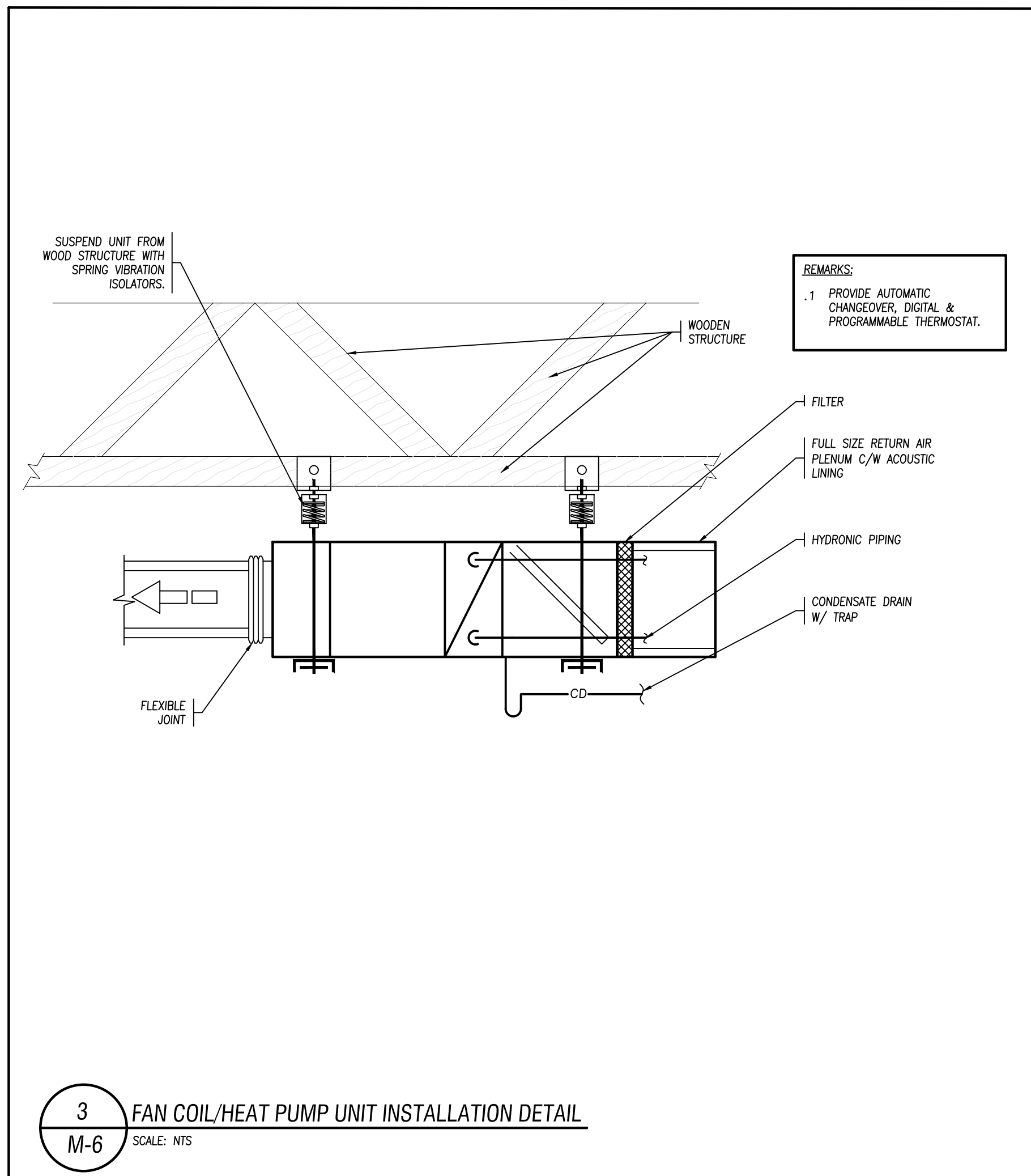
Details

Drawn By N.P. Scale As Indicated

Designed By J.C. Date March 2024

RJC Project Number **TOR.122940.0001**

Sheet Number **M-6** Revision



GREASE INTERCEPTOR CALCULATIONS

- 3-COMPARTMENT POTWASH SINK**
-1067 x 750 x 400 mm (WASH SINK)
-600 x 750 x 300mm (RINSE SINK)
-600 x 750 x 300mm (SANITIZER SINK)
-TOTAL VOLUME: 590L
- DISHWASHER**
-MAX 140 L/M DRAIN RATE
- TOTAL DRAINAGE RATE FOR SINKS AT 75% VOLUME & 2-MINUTE DRAIN DOWN TIME:
$$= \frac{590 \times 0.75}{2}$$

= 221.25 L/M
- TOTAL POSSIBLE GREASE DRAINAGE RATE TO INTERCEPTOR INCLUDING DISHWASHER
= 221.25 + 140 = 361.25 L/M OR 95.43 GPM.
- GREASE INTERCEPTOR SELECTED: CAN-AQUA MODEL CA-SG100-E RATED FOR 100 GPM FLOW RATE AND 200 LS GREASE CAPACITY, 100Ø INLET/OUTLET

HEAT PUMP SCHEDULE																																					
TAG	QTY.	MAKE & MODEL	CAPACITY	AIRFLOW (CFM)	EXTERNAL STATIC PRESSURE (INWG2)	FLUID FLOW (GPM)	FLUID TYPE	ANTIFREEZE (%)	COOLING								HEATING						ELECTRICAL					WATER PRESSURE DROP CALCULATION									
									EWT (°F)	LWT (°F)	EAT		LAT		TOTAL (BTU/HR)	SENSIBLE (BTU/HR)	HEAT OF REJECTION (BTU/HR)	EER (DESIGN)	EWT (°F)	LWT (°F)	EAT		TOTAL (BTU/HR)	HEAT OF ABSORPTION (BTU/HR)	COP (DESIGN)	VOLTAGE	COMPRESSOR	FAN MOTOR		TOTAL UNIT	MCA (A)	MAX FUSE	BASE COOL WPD (FT H ₂ O)	BASE HEAT WPD (FT H ₂ O)	MOTORIZED VALVE WPD (FT H ₂ O)	TOTAL COOL WPD (FT H ₂ O)	TOTAL HEAT WPD (FT H ₂ O)
											EDB (°F)	EWB (°F)	LDB (°F)	LWB (°F)							EDB (°F)	LDB (°F)															
HP-1 (ZONE-1)	1	DAIKIN WSH0361	FULL	1090.00	0.5	6.00	WATER	0.00	88.0	102.4	80.0	67.0	58.4	56.1	35832	25565	43059	16.9	50.0	41.4	70.0	97.8	32952	25836	4.6	208-230/60/3	9.0	5.0	14.0	16.2	25	4.09	4.42	0.78	4.87	5.2	
HP-2, 3, 4 (ZONE-2, 3 & 4)	3	DAIKIN WSH0361	FULL	940.00	0.5	6.00	WATER	0.00	88.0	102.1	80.0	67.0	56.4	54.3	35322	24105	42361	17.1	50.0	41.5	70.0	102.0	32640	25554	4.6	208-230/60/3	9.0	5.0	14.0	16.2	25	4.09	4.42	0.78	4.87	5.2	
HP-5 (ZONE-5) REV1	1	DAIKIN WSH0091	FULL	311.00	0.5	3.00	WATER	0.00	88.0	96.1	80.0	67.0	58.4	56.4	10008	7304	12220	15.4	50.0	44.6	70.0	100.8	10407	8109	4.5	208-230/60/1	3.7	0.9	4.6	5.6	15	8.97	9.69	0.86	9.83	10.56	

GEOHERMAL NOTES:
 1. THE DESIGN AND INSTALLATION OF EARTH ENERGY SYSTEM SHALL CONFORM TO CAN/CSA-C448.1, "DESIGN AND INSTALLATION OF EARTH ENERGY SYSTEM FOR COMMERCIAL AND INSTITUTIONAL BUILDINGS".
 2. COMPLETE GEOHERMAL SYSTEM INSTALLATION SHALL BE TESTED UPON COMPLETION BY INDEPENDENT ENGINEERING COMPANY AND CERTIFICATION OF THE SYSTEM WITH REPORTS AND DOCUMENTATION SHALL BE PROVIDED IN ACCORDANCE WITH CAN/CSA-C448.1 STANDARD.
 3. DEL RIDGE SHALL PROVIDE A 1/2 DAY TUTORIAL, HOSTED BY THE DISTRIBUTOR AND/OR MANUFACTURER, FOR THE BUILDING'S MAINTENANCE STAFF ALONG WITH MONTHLY 2-HOUR SYSTEM REVIEWS AND A 25 HOUR NUMBER FOR TECHNICAL SUPPORT AND TROUBLESHOOTING OF REQUIRED WITHIN THE FIRST YEAR OF OPERATION.

DUAL CORE ENERGY RECOVERY MAKE-UP AIR UNIT																											
UNIT NUMBER	MANUFACTURER	MODEL NUMBER	EXHAUST					SUPPLY					ENERGY RECOVERY								ELECTRICAL				PHYSICAL		
			EXHAUST AIR (CFM)	EXTERNAL STATIC PRESSURE (IN)	BHP	HP	NOTES	SUPPLY AIR (CFM)	EXTERNAL STATIC PRESSURE (IN)	BHP	HP	NOTES	WINTER				SUMMER				VOLTAGE	FLA	MCA	MOCP	LENGTHxWIDTHxHEIGHT	OPERATING WEIGHT (LBS)	INDOOR/OUTDOOR
													OUTDOOR TEMPERATURE (DEG F)	RETURN AIR TEMPERATURE (DEG F)	SUPPLY AIR TEMPERATURE (DEG F)	EFFICIENCY (%)	OUTDOOR TEMPERATURE (DEG F)	RETURN AIR TEMPERATURE (DEG F)	SUPPLY AIR TEMPERATURE (DEG F)	EFFICIENCY (%)							
HRV-1	TEMPEFF	RG 1500	1750.00	1	1.03	2.15	ECM	1350.00	1	0.76	2.15	ECM	-10.00/-10.00	72.00/54.00	69.27/48.60	96.70	88.00/74.00	75.00/63.00	77.20/71.00	82.90	208V/3/60	10.40	12.00	20.00	138-5/8"x37-1/4"x51.00"	2607.00	OUTDOOR

ENERGY RECOVERY VENTILATOR SCHEDULE																											
UNIT NUMBER	LOCATION	SERVICE	MAKE	MODEL	EXHAUST AIR (CFM)	SUPPLY AIR (CFM)	HEAT RECOVERY EFFICIENCY	ELECTRICAL				PHYSICAL			REMARKS	NOTES											
								VOLTAGE	FLA	MCA	MOCP	MOTOR HP	LENGTHxWIDTHxHEIGHT	OPERATING WEIGHT (LBS)			INDOOR/OUTDOOR										
ERV-1	BASEMENT	STORAGE 106	ZEHNDER	COMFOAIR 70	35	35	90%	230V/1/60	-	-	0.15	0.02	-	60	INDOOR	PROVIDE 7 DAY PROGRAMMABLE TIMER FAN CONTROL.	1. INSULATE FRESH AIR & EXHAUST AIR DUCTS FROM UNIT TO EXTERIOR WALL. 2. CO-ORDINATE LOCATION OF STARTER SWITCH ON SITE. 3. INSTALL ERV IN ACCORDANCE TO MANUFACTURERS WRITTEN INSTRUCTION & MAINTAIN REQUIRED SERVICE ACCESS. 4. SEE SPECIFICATION FOR UNIT DETAILS, CONTROL INTERFACING AND REQUIREMENTS.										
ERV-2	BASEMENT	STORAGE 105	ZEHNDER	COMFOAIR 70	35	35	90%	230V/1/60	-	-	0.15	0.02	-	60	INDOOR	PROVIDE 7 DAY PROGRAMMABLE TIMER FAN CONTROL.	1. INSULATE FRESH AIR & EXHAUST AIR DUCTS FROM UNIT TO EXTERIOR WALL. 2. CO-ORDINATE LOCATION OF STARTER SWITCH ON SITE. 3. INSTALL ERV IN ACCORDANCE TO MANUFACTURERS WRITTEN INSTRUCTION & MAINTAIN REQUIRED SERVICE ACCESS. 4. SEE SPECIFICATION FOR UNIT DETAILS, CONTROL INTERFACING AND REQUIREMENTS.										
ERV-3	BASEMENT	LAUNDRY	ZEHNDER	COMFOAIR Q450 TR	260	260	-	240V/1/60	-	-	10.8	3	29x25x34	110	INDOOR	PROVIDE 7 DAY PROGRAMMABLE TIMER FAN CONTROL.	1. INSULATE FRESH AIR & EXHAUST AIR DUCTS FROM UNIT TO EXTERIOR WALL. 2. CO-ORDINATE LOCATION OF STARTER SWITCH ON SITE. 3. INSTALL ERV IN ACCORDANCE TO MANUFACTURERS WRITTEN INSTRUCTION & MAINTAIN REQUIRED SERVICE ACCESS. 4. SEE SPECIFICATION FOR UNIT DETAILS, CONTROL INTERFACING AND REQUIREMENTS.										

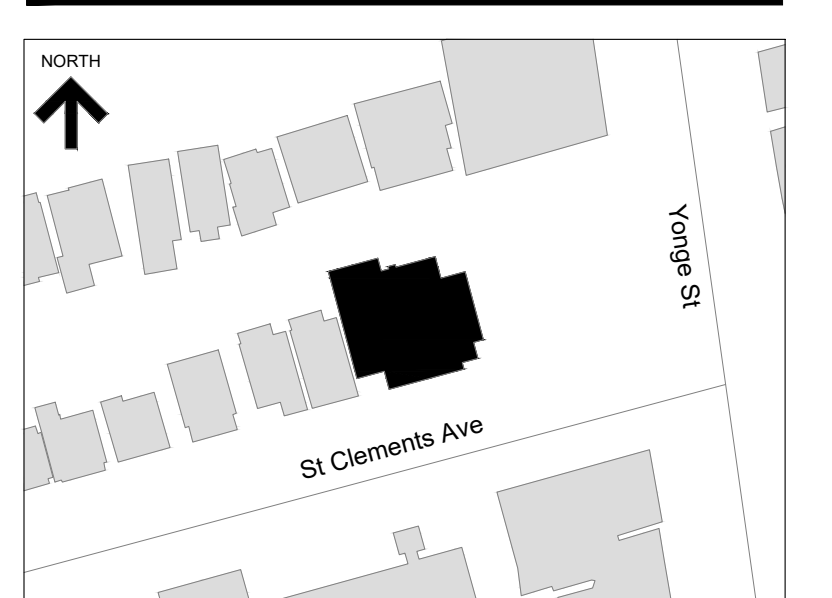
FAN COIL UNIT SCHEDULE																			
TAG	AREA SERVING	SYSTEM	MAKE	EVAPORATOR (FCU) (INDOOR)						CONDENSING UNIT (CU) (OUTDOOR)						REMARK			
				TYPE	MODEL	COOLING	HEATING @ -13°F (-25°C)	AIR FLOW RATE (CFM)	PHYSICAL SIZE (L X W X H)	ELECTRICAL SUPPLY	TYPE	MODEL	REFRIGERANT	COMPRESSOR	PHYSICAL SIZE (L X W X H)		ELECTRICAL SUPPLY		
FCU-1&2 & CU-1&2	IT ROOM & ELEVATOR MACHINE ROOM	SPLIT TYPE DX UNIT	MITSUBISHI	HIGH WALL DUCTLESS UNIT	PKA-A18 HA7	18,000 BTU/H 5.27 (KW)	-	400	35 3/8" x 9 1/8" x 11 1/8"	208-1-60 1 MCA	OUTDOOR VERTICAL REMOTE CONDENSING UNIT	PUY-A18 NKA7	R410A	-	31 1/8" x 14 1/8" x 24 1/8" 797MM X 355MM X 620MM	208/1/60 11A MCA	SPLIT DX UNIT WITH FACTORY MATCHING REMOTE AIR-COOLED CONDENSER. CONDENSING UNIT SHALL BE PROVIDED WITH CRANKCASE HEATER, LOW AMBIENT CONTROL, WINTER START CONTROL, HARD WIRED REMOTE CONTROLLER, MICRO CONDENSATE DRAIN PUMP, STANDARD COOLING THERMOSTAT, WIND GUARD, C/W CONDENSATE PUMP		

NOTES:
 1. ALL REMOTE CONDENSING UNITS SHALL BE LOCATED ON 5" THICK CONCRETE HOUSEKEEPING PAD.
 2. SIZES OF REFRIGERANT PIPES BETWEEN FAN COIL UNIT AND CONDENSING UNIT TO BE DETERMINED BY MANUFACTURER TO SUIT APPLICATION AND C/W ALL NECESSARY TX VALVES, DRIERS, SIGHT GLASS AND OTHER REFRIGERANT CIRCUIT ACCESSORIES. DO NOT ALLOW LONG PIPE APPLICATION TO AVOID UNNECESSARY DEPRECIATION OF COOLING CAPACITY.
 3. ALL DISCONNECTS TO BE PROVIDED BY DIV.16
 4. ALL CONTROLS AND COMMUNICATION WIRING BETWEEN INDOOR AND OUTDOOR UNITS TO BE BY MECHANICAL CONTRACTOR.

EXHAUST FAN SCHEDULE											
TAG	LOCATION	SERVICE	MAKE	MODEL	TYPE	FLOW RATE (CFM)	E.S.P. (W.G.)	FAN MOTOR	ELECTRICAL SUPPLY	REMARKS	
EF-1	LAUNDRY (B102)	LAUNDRY ROOM	PANASONIC	FV-051VQ1	CEILING CABINET TYPE	100 47 L/S	0.25" 62 Pa	FRACTIONAL (0.27 AMPS)	120/1/60	FAN TO START FROM LIGHT SWITCH.	

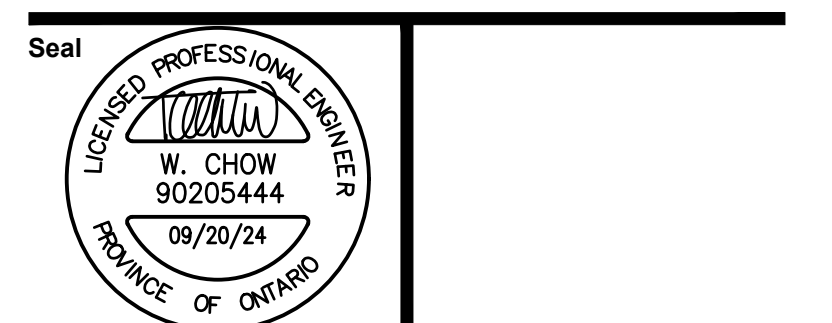
NOTES:
 1. ALL IN-LINE FANS TO BE SUSPENDED FROM CEILING SLAB/STRUCTURE W/ NEOPRENE MOUNTS.
 2. PROVIDE FLEXIBLE JOINTS AT ALL DUCT CONNECTIONS. STARTER WHERE REQUIRED TO BE PROVIDED BY DIV.16.
 3. ALL FANS TO BE C/W DISCONNECT SWITCHES AT THE FAN CABINET.
 4. ALL FAN HOUSING SHALL BE LINED W/ MINIMUM 3/4" THICK POLYMER FOAM INSULATION & BACKDRAFT DAMPERS AT OUTLET.
 5. ALL CEILING CABINET FANS TO BE C/W INTEGRAL INTAKE AIR GRILLES.

MECHANICAL LEGEND	
SYMBOL	DESCRIPTION
	DUCT CONTINUATION
	INTERNALLY INSULATED DUCT
	EXTERNALLY INSULATED DUCT
	PERIMETER HOT WATER RAD
	FLEXIBLE DUCTWORK
	SPIN COLLAR WITH BALANCING DAMPER
	THERMOSTAT
	SUPPLY CEILING DIFFUSER
	RETURN AIR GRILLE
	BALANCING DAMPER
	CONNECT TO EXISTING
	WT BOX
	CAP-OFF
	DIFFUSER TAG
	AIR FLOW (CFM)
	PENDANT SPRINKLER HEAD
	FIRE HOSE CABINET
	FIRE STOP FLAP
	DOMESTIC HOT WATER SUPPLY LINE
	DOMESTIC COLD WATER SUPPLY LINE
	SANITARY LINE
	VENT LINE



No.	Revision	Date	By
5.	ISSUED FOR PERMIT & TENDER	Sep. 20/24	E.C.
4.	ISSUED FOR PERMIT	May. 27/24	E.C.
3.	ISSUED FOR TENDER	May. 13/24	E.C.
2.	ISSUED FOR CLIENT REVIEW	May. 10/24	E.C.
1.	ISSUED FOR 95% CLIENT REVIEW	Mar. 26/24	E.C.

Drawing Notes
 1. All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC, whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
 2. These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
 3. Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tendering" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
Upper Yonge Village Daycare Centre
 14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title
 Schedules

Drawn By **N.P.** Scale As Indicated
 Designed By **J.C.** Date **March 2024**
 RJC Project Number **TOR.122940.0001**
 Sheet Number **M-7A** Revision

HEAT EXCHANGER SCHEDULE															
UNIT NUMBER	MANUFACTURER	MODEL NO.	UNIT CAPACITY (MBH)	HOT SIDE					COLD SIDE					DIMENSIONS (WIDTHxHEIGHTxDEPTH) (INCHES)	OPERATING WEIGHT (LBS)
				FLOW MEDIUM	FLOW (GPM)	PRESSURE DROP (PSI)	TEMPERATURE IN (DEG F)	TEMPERATURE OUT (DEG F)	FLOW MEDIUM	FLOW (GPM)	PRESSURE DROP (PSI)	TEMPERATURE IN (DEG F)	TEMPERATURE OUT (DEG F)		
HX-1	BELL & GOSSETT	AP31	134.50	WATER	27.00	3.62	98.00	88.00	40% PROPYLENE GLYCOL	27	4.47	85.00	95.84	18.00x59.00x15.75	758

AIR SOURCE DOMESTIC HEAT PUMP WATER HEATER																					
UNIT NUMBER	MANUFACTURER	MODEL NUMBER	DOMESTIC HYDRONIC SIDE (HEATING)							AIRSIDE (COOLING)				ELECTRICAL			PHYSICAL				
			UNIT CAPACITY - HEATING (MBH)	FLOW MEDIUM	FLOW (GPM)	PRESSURE DROP (FT)	TEMPERATURE IN (DEG F)	TEMPERATURE OUT (DEG F)	HEATING C.O.P.	AIRFLOW	ENTERING AIR DRY BULB TEMPERATURE (DEG F)	ENTERING AIR RELATIVE HUMIDITY (%RH)	COOLING CAPACITY (MBH)	COOLING C.O.P.	VOLTAGE	TOTAL RLA	MCA	MOCIP	LENGTHxWIDTHxHEIGHT	OPERATING WEIGHT (LBS)	INLET/OUTLET CONNECTIONS-FPT
DHWH-1	NYLE	C90A	110.70	WATER	20.00	10.40	50.00	150.00	5.25	2800.00	75.00	60.00	83.6	4.15	208V/3/60	39.30	49.00	50.00	70.25x32.75x40.25"	775.00	1.5"

PUMP SCHEDULE														
UNIT NUMBER	MANUFACTURER	MODEL NUMBER	AREA SERVED	FLOW MEDIUM	FLOW (GPM)	PRESSURE DROP (FT)	VOLTAGE	BRAKE HP	MOTOR HP	FLA	MCA	MOCIP	WEIGHT (LBS)	NOTES
P-1/P-2	BELL & GOSSETT	e-80 1.5x1.5x7C	CONDENSER WATER LOOP	WATER	27.00	40.00	280V/3/60	0.83	1.50	5.70	7.10	15.00	17.00	DUTY/STANDBY, UNIT MOUNTED VFDS - SENSORED
P-3/P-4	BELL & GOSSETT	e-80 1.5x1.5x7C	GEOTHERMAL SOURCE LOOP	40% PROPYLENE GLYCOL	27.00	40.00	280V/3/60	0.83	1.50	5.70	7.10	15.00	17.00	DUTY/STANDBY, UNIT MOUNTED VFDS - SENSORED
P-5	BELL & GOSSETT	ECOIRC XL N 36-45	DOMESTIC HOT WATER RECIRC. PUMP	HOT WATER	25.00	15.00	115V/1/60	0.17	0.17	5.70	-	-	-	PUMP TO OPERATE FROM AQUASTAT.

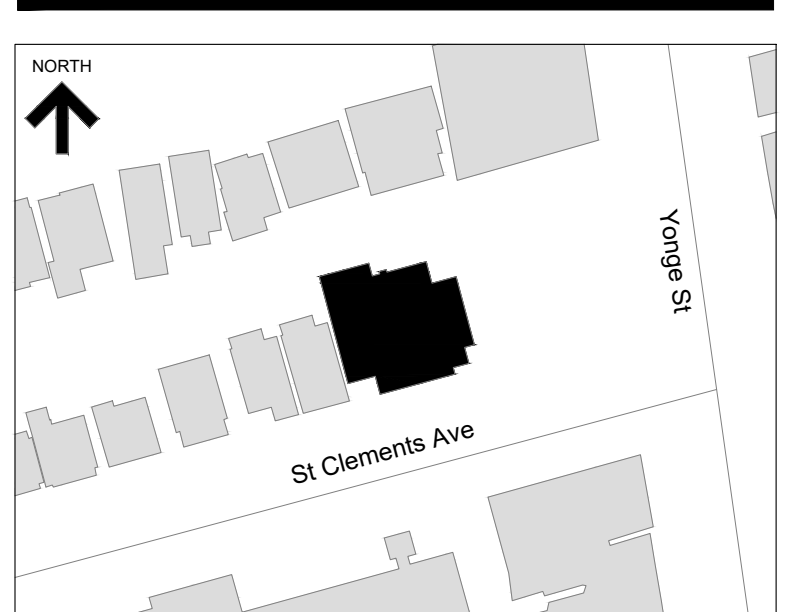
SUMP PUMPS SCHEDULE														
TAG	LOCATION	SERVICE	TYPE	MAKE	MODEL	FLUID	FLOW RATE	HEAD	MOTOR POWER		RPM	V/PH/Hz	REMARKS	
							GPM (L/S)	FT. (M)	HP					
SP-1 SP-2	STORM SUMP PIT (BASEMENT)	PERIMETER WEEPING TILES	SUBMERSIBLE PUMP	PENTAIR HYDRAMATIC	SPD100H	STORM WATER	100 (6.30 L/S)	25 (7.6M)	1.0	-	-	120/1/60	1 DUTY/1 STANDBY ASSIST SUBMERSIBLE PUMP SET IN CAST IRON CONSTRUCTION WITH DYNAMICALLY BALANCED CAST IRON IMPELLER AND STAINLESS STEEL SHAFT. EQUIPPED WITH SQUIRREL CAGE INDUCTION MOTOR CONTROLLED BY DEDICATED CONTROL PANELS C/W HIGH LEVEL AUDIBLE ALARM AND FLOW SWITCHES FOR CUT IN AND CUT OUT OPERATION AND PUMP ALTERNATION.	
SP-3	ELEVATOR SUMP PIT (BASEMENT)	ELEVATOR (BASEMENT LEVEL)	SUBMERSIBLE PUMP	PENTAIR HYDRAMATIC	SPD50H	ELEVATOR PIT WATER	50 (3.15 L/S)	25 (7.6M)	1/2	-	-	120/1/60	SUBMERSIBLE PUMP SET IN CAST IRON CONSTRUCTION WITH DYNAMICALLY BALANCED CAST IRON IMPELLER AND STAINLESS STEEL SHAFT. EQUIPPED WITH SQUIRREL CAGE INDUCTION MOTOR CONTROLLED BY DEDICATED CONTROL PANELS C/W HIGH LEVEL AUDIBLE ALARM AND FLOW SWITCHES FOR CUT IN AND CUT OUT OPERATION AND PUMP ALTERNATION.	

PLUMBING FIXTURE SCHEDULE						
TAG	FIXTURE	CW	HW	SAN	VENT	REMARKS
WC-1	FLOOR MOUNTED TANK-TYPE TOILET	1/2"ø	-	3"ø	2"ø	AMERICAN STANDARD BABY DEVORO
WC-2	WALL MOUNTED TOILET	1"ø	-	3"ø	2"ø	
L-1	LAVATORY	1/2"ø	1/2"ø	1 1/4"ø	1 1/4"ø	FITTED WITH GUARDIAN EQUIPMENT FAUCET MOUNTED EYEWASH UNIT, G1101)
L-2	LAVATORY	1/2"ø	1/2"ø	1 1/4"ø	1 1/4"ø	
L-3	LAVATORY	1/2"ø	1/2"ø	1 1/4"ø	1 1/4"ø	
KS-1	3 COMPARTMENT KITCHEN SINK	1/2"ø	1/2"ø	1 1/2"ø	1 1/4"ø	FITTED WITH GUARDIAN EQUIPMENT FAUCET MOUNTED EYEWASH UNIT, G1101)
KS-2	2 COMPARTMENT KITCHEN SINK	1/2"ø	1/2"ø	1 1/2"ø	1 1/4"ø	
MS-1	MOP SINK	3/4"ø	3/4"ø	3"ø	2"ø	FITTED WITH GUARDIAN EQUIPMENT FAUCET MOUNTED EYEWASH UNIT, G1101)
HB	OUTDOOR HOSE BIBB (NON-FREEZE)	3/4"ø	-	-	-	
-	OUTDOOR WATER SPIGOT	3/4"ø	-	-	-	
FLD	FLOOR DRAIN	-	-	3"ø	3"ø	
FFD	FUNNEL FLOOR DRAIN	-	-	3"ø	3"ø	
TD-1	TRENCH DRAIN - 6" WIDE TRENCH DRAIN	-	-	4"ø		

NOTE: SEE INTERIOR DESIGNER FOR EQUIPMENT SELECTION DETAIL.

DIFFUSER & GRILLE SCHEDULE						
TAG	TYPE	MAKE	MODEL	SIZE	REMARKS	
S1	SUPPLY CEILING DIFFUSER	EH PRICE	SPD	24X24 FOR NECK SIZE SEE DWG	STEEL CONSTRUCTION 4-WAY DIFFUSER, 24"x24" PLAQUE DIFFUSER, SUITABLE FOR LAY-IN "T" BAR CEILING INSTALLATION. FINISH SHALL BE WHITE ENAMEL. SEE DRAWING FOR NECK SIZE.	
R1/E1	EGGCRATE RETURN AIR GRILLE	EH PRICE	80	SEE DWG FOR SIZE	ALUMINUM CONSTRUCTION EGGCRATE GRILLE SUITABLE FOR LAY-IN "T" BAR CEILING INSTALLATION WITH CHANNEL FRAME. FINISH SHALL BE WHITE WITH 1/2" x 1/2" GRID PATTERN.	
WB-1	WALL BOX	REVERSO-MATIC	SWBL-8	-	SINGLE WALL BOX WITH LEAK-PROOF FRONT GRILLE. CONNECTION SIZE SHOWN ON DWG. COORDINATE COLOR OF WALL BOX WITH ARCHITECTURAL DRAWINGS.	

RIMKUS
 1700 LANGSTAFF ROAD SUITE 2002
 VAUGHAN, ONTARIO
 L4K 3S3
 (416) 250-7222



KEY PLAN

No.	Revision	Date	By
4.	ISSUED FOR PERMIT	May. 27/24	E.C.
3.	ISSUED FOR TENDER	May. 13/24	E.C.
2.	ISSUED FOR CLIENT REVIEW	May. 10/24	E.C.
1.	ISSUED FOR 95% CLIENT REVIEW	Mar. 26/24	E.C.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJCL") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJCL whether the Work is executed or not, and RJCL reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJCL. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJCL in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tendering" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
**Upper Yonge Village
 Daycare Centre**
 14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title

Schedules

Drawn By N.P. Scale As Indicated
 Designed By J.C. Date March 2024
 RJC Project Number **TOR.122940.0001**

Sheet Number **M-7B** Revision

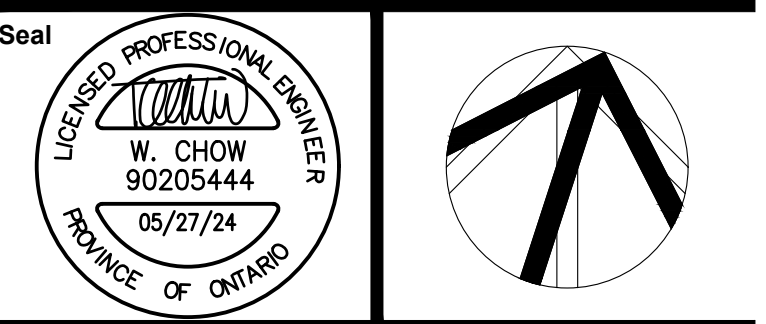


KEY PLAN

No.	Revision	Date	By
4.	ISSUED FOR PERMIT	May. 27/24	E.C.
3.	ISSUED FOR TENDER	May. 13/24	E.C.
2.	ISSUED FOR CLIENT REVIEW	May. 10/24	E.C.
1.	ISSUED FOR 95% CLIENT REVIEW	Mar. 26/24	E.C.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJCL") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJCL whether the Work is executed or not, and RJCL reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJCL. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJCL in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



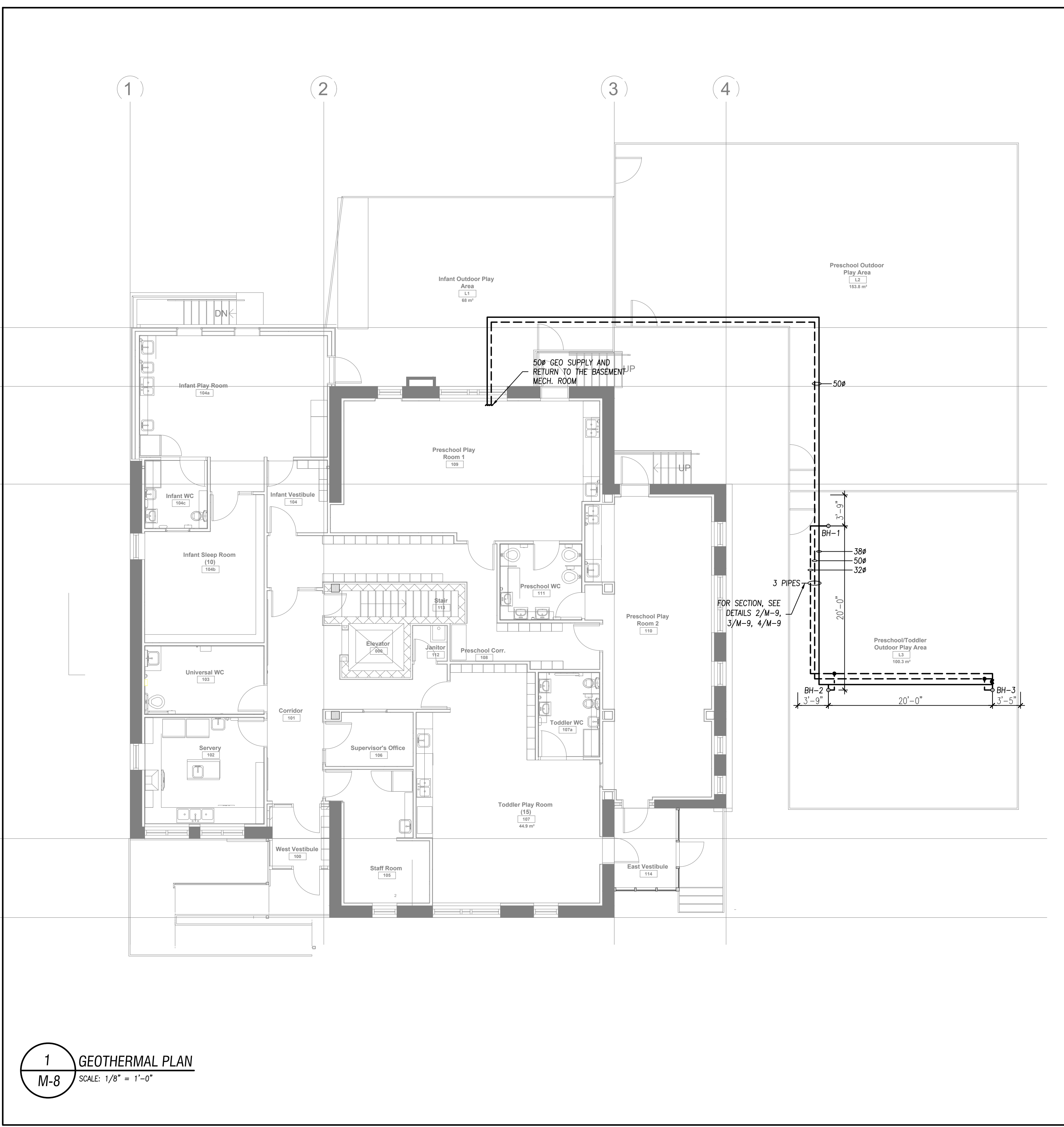
Project Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

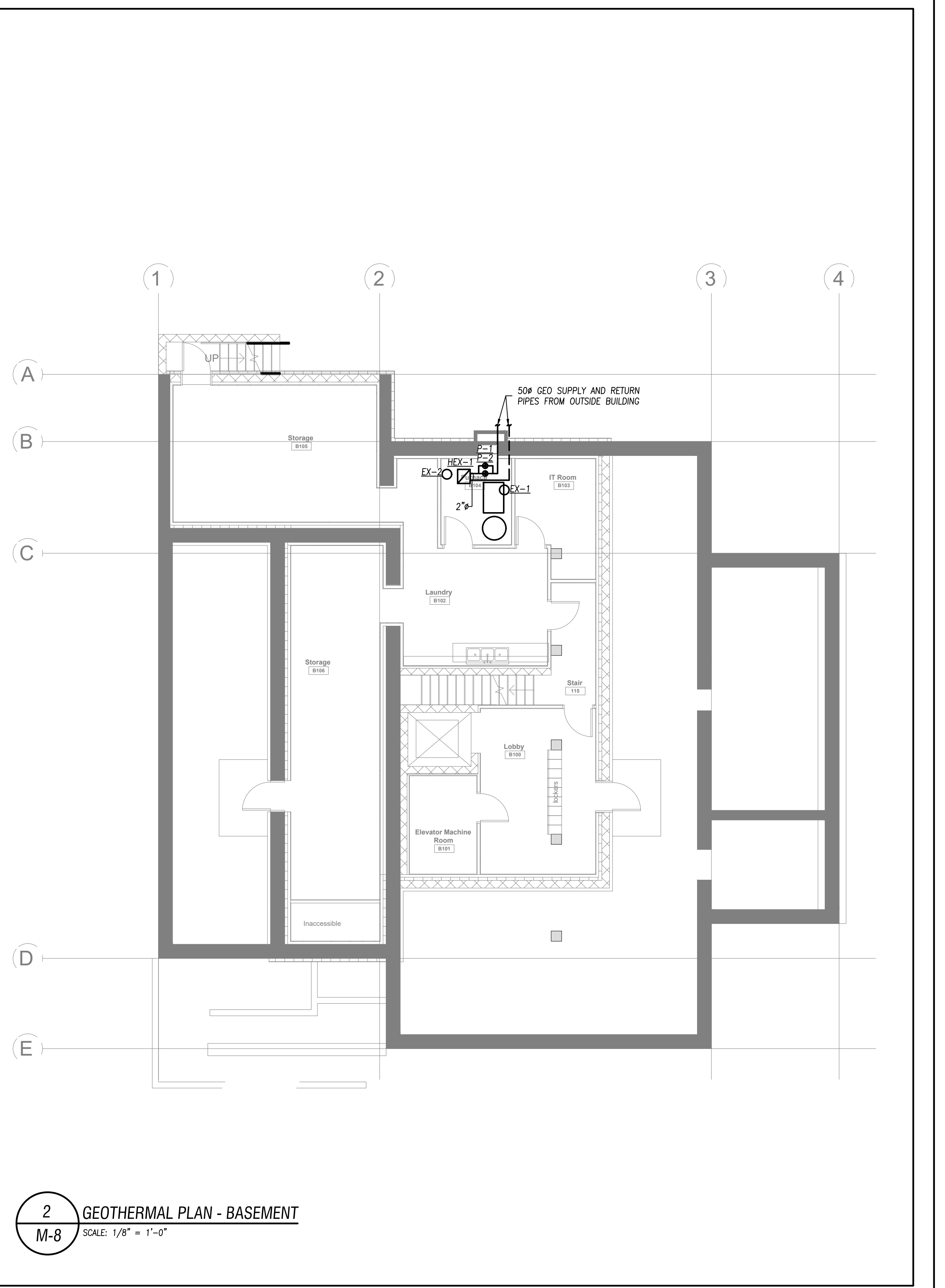
Sheet Title
**Level 1 & Basement Proposed Plan
Geothermal Layout**

Drawn By N.P. Scale As Indicated
Designed By J.C. Date March 2024
RJC Project Number **TOR.122940.0001**

Sheet Number **M-8** Revision



1 GEOTHERMAL PLAN
M-8 SCALE: 1/8" = 1'-0"

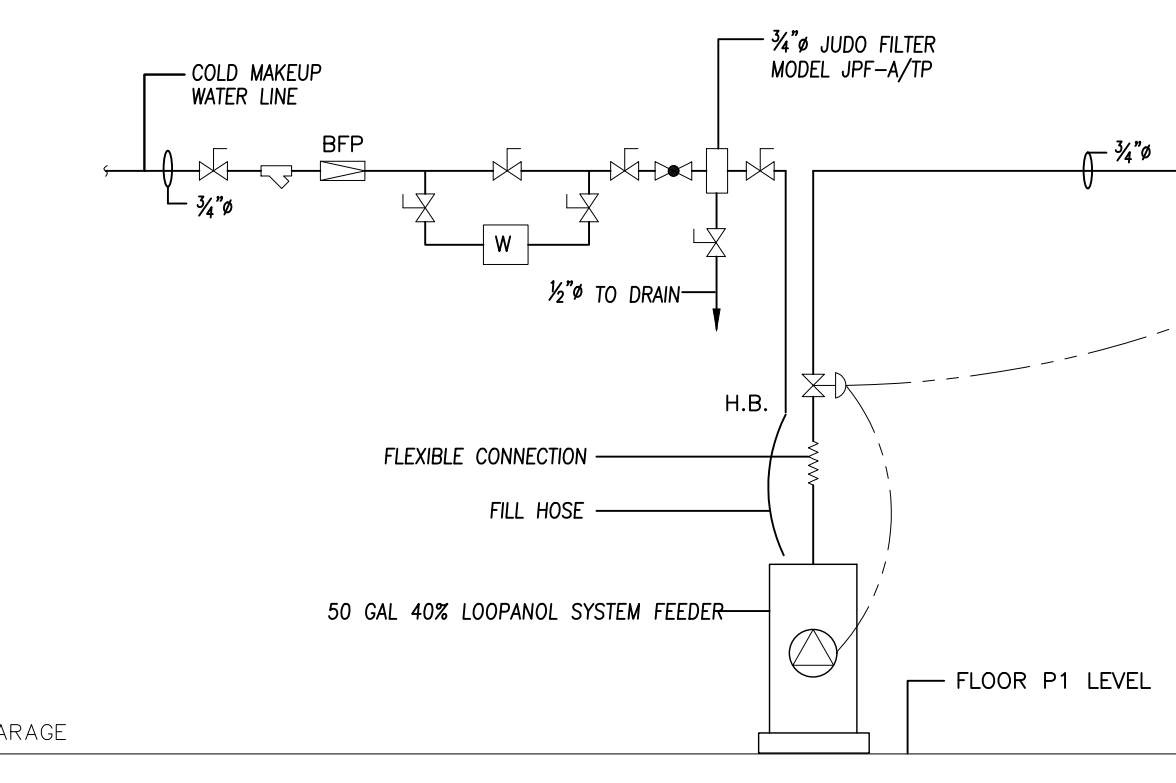
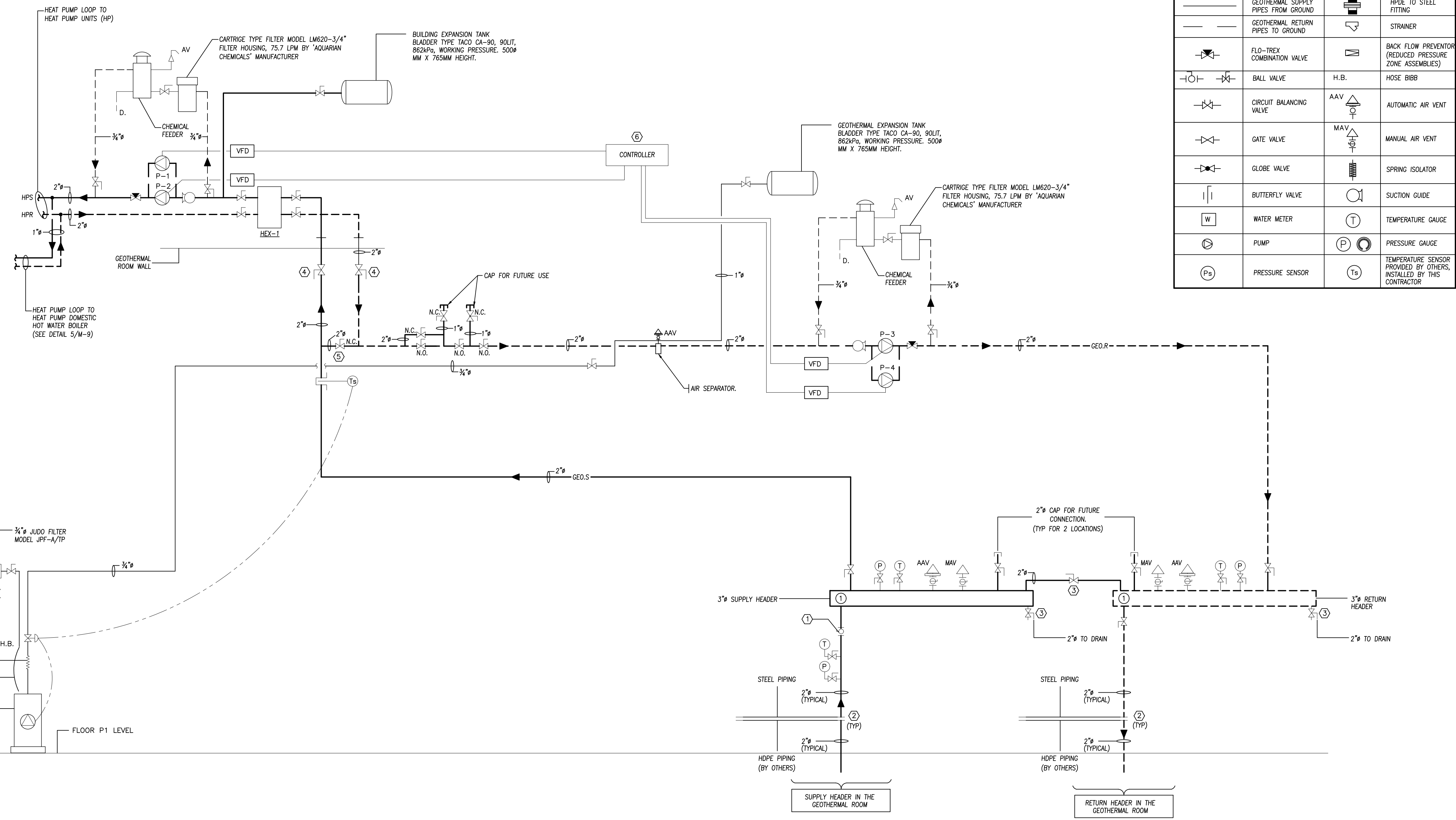


2 GEOTHERMAL PLAN - BASEMENT
M-8 SCALE: 1/8" = 1'-0"

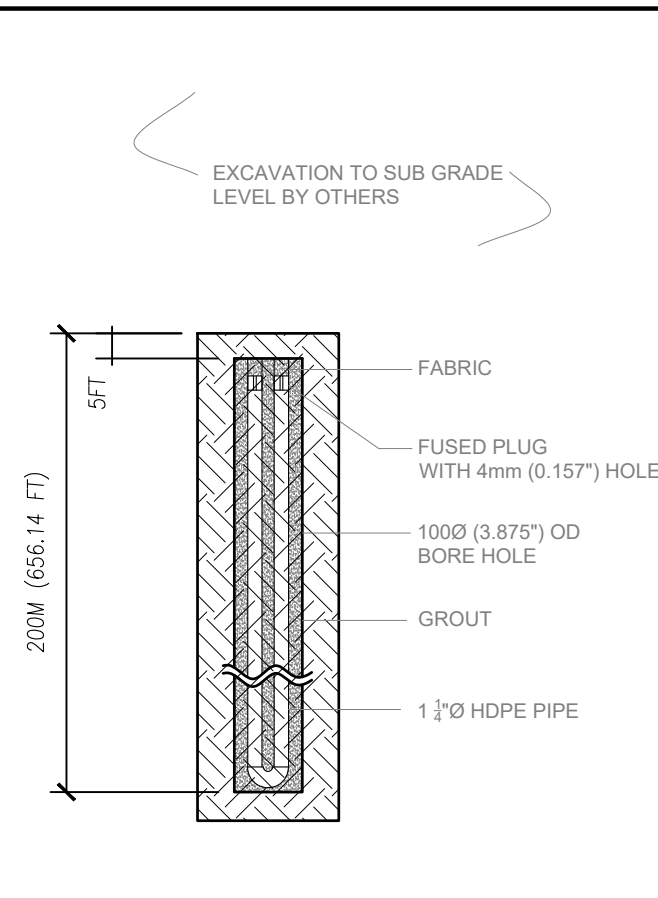
ABBREVIATIONS	
CBV	CIRCUIT BALANCING VALVE
C/W	COMPLETE WITH
GS	GEOHERMAL FLUID SUPPLY
GR	GEOHERMAL FLUID RETURN
NO	VALVE NORMALLY OPEN
NC	VALVE NORMALLY CLOSED
P-#	PUMP #
VFD	VARIABLE FREQUENCY DRIVE
U/S	UNDER SLAB
N.T.S.	NOT TO SCALE

DRAWING NOTES	
①	BALANCING VALVE (TYP.) 1.7 L/S (27 GPM) (TYP.)
②	FLANGE (TYP.)
③	VALVE TO BE CLOSED AFTER FLUSHING
④	VALVE TO BE CLOSED DURING FLUSHING
⑤	VALVE TO BE OPEN DURING FLUSHING AND CLOSED AFTER FLUSHING AND DURING NORMAL OPERATION
⑥	P-1 AND P-2 PUMP FLOW RATE SHALL BE INCREASED OR DECREASED PROPORTIONALLY BASED ON P-3 AND P-4 FLOW RATE.

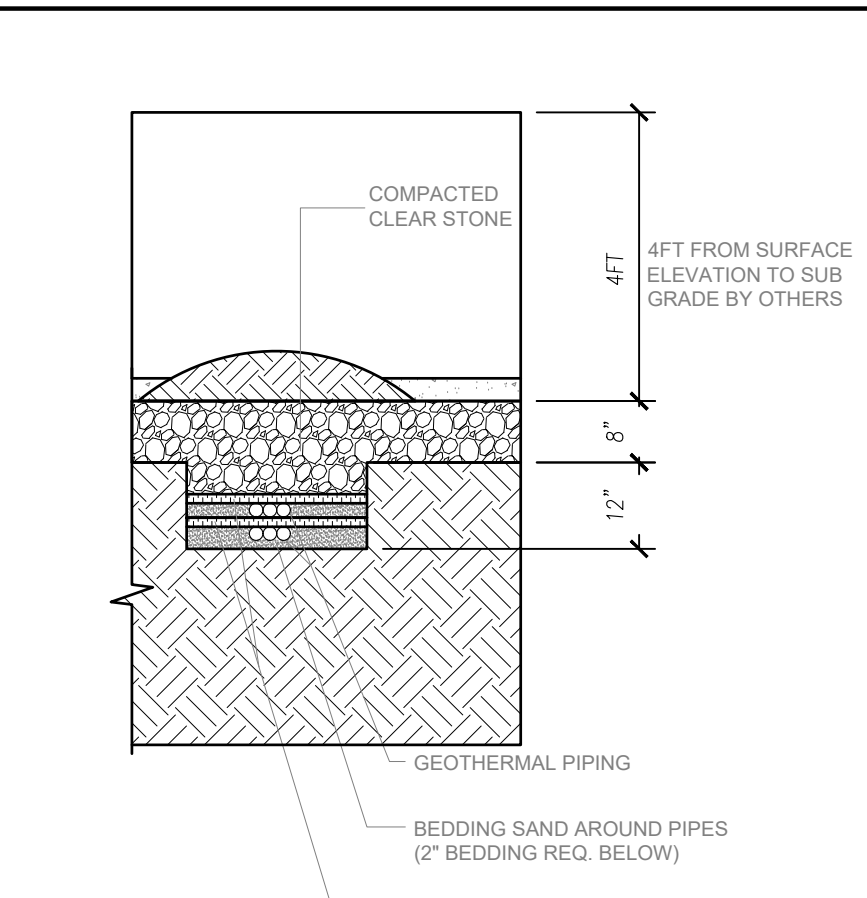
LEGEND OF SYMBOLS			
	GEOHERMAL SUPPLY PIPES FROM GROUND		HDPE TO STEEL FITTING
	GEOHERMAL RETURN PIPES TO GROUND		STRAINER
	FLO-TREX COMBINATION VALVE		BACK FLOW PREVENTOR (REDUCED PRESSURE ZONE ASSEMBLIES)
	BALL VALVE	H.B.	HOSE BIBB
	CIRCUIT BALANCING VALVE	AAV	AUTOMATIC AIR VENT
	GATE VALVE	MAV	MANUAL AIR VENT
	GLOBE VALVE		SPRING ISOLATOR
	BUTTERFLY VALVE		SUCTION GUIDE
	WATER METER		TEMPERATURE GAUGE
	PUMP		PRESSURE GAUGE
	PRESSURE SENSOR		TEMPERATURE SENSOR PROVIDED BY OTHERS, INSTALLED BY THIS CONTRACTOR



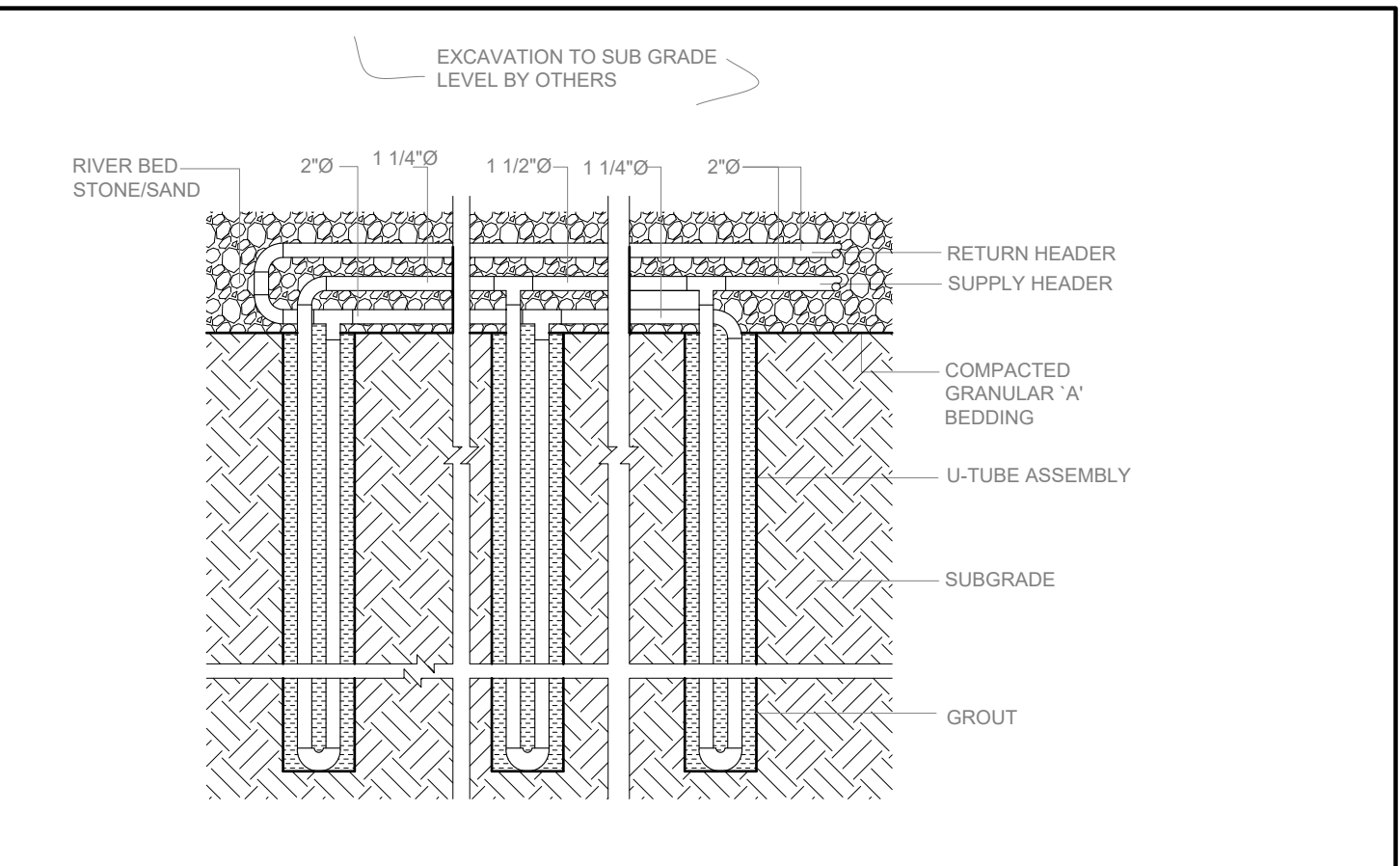
1 **GEOHERMAL RISER DIAGRAM**
SCALE: N.T.S.



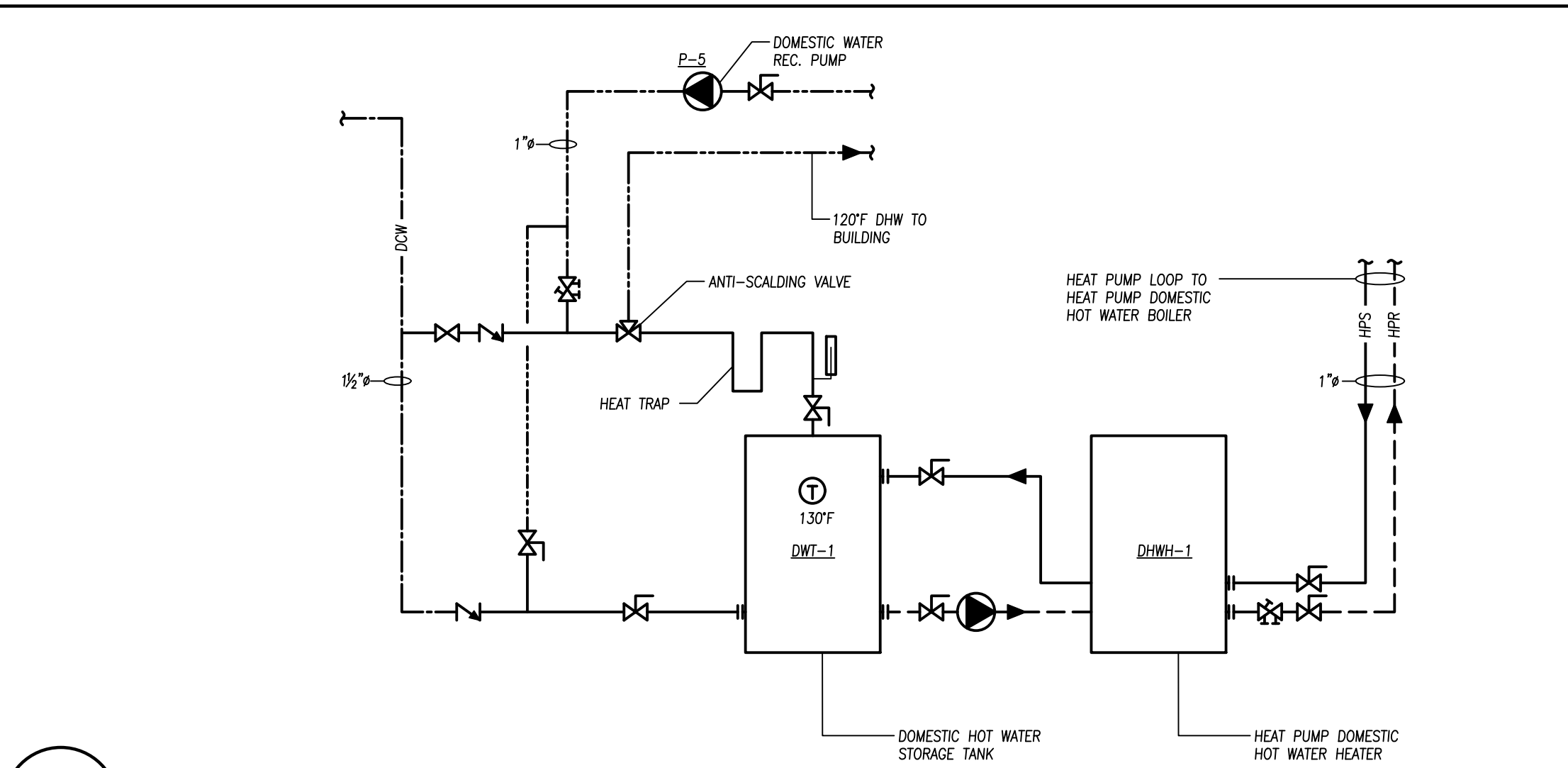
2 **VERTICAL BOREHOLE DETAIL**
SCALE: N.T.S.



3 **SECTION THRU HORIZONTAL CIRCUIT**
SCALE: N.T.S.



4 **TYPICAL SECTION THRU VERTICAL U-TUBE CIRCUIT**
SCALE: N.T.S.



5 **DOMESTIC HOT WATER HEATING SCHEMATIC**
SCALE: N.T.S.

RIMKUS
1700 LANGSTAFF ROAD SUITE 2002
VAUGHAN, ONTARIO
L4K 3S3
(416) 250-7222

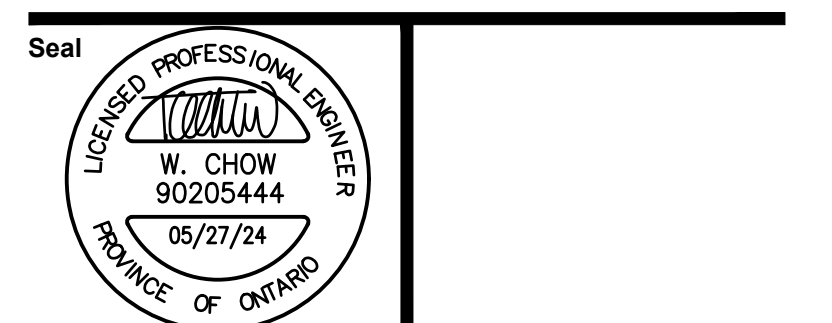


KEY PLAN

No.	Revision	Date	By
4.	ISSUED FOR PERMIT	May. 27/24	E.C.
3.	ISSUED FOR TENDER	May. 13/24	E.C.
2.	ISSUED FOR CLIENT REVIEW	May. 10/24	E.C.
1.	ISSUED FOR 95% CLIENT REVIEW	Mar. 26/24	E.C.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJCL") and used in connection with this project are instruments of service for the work shown in them ("Work") and as such are and remain the property of RJCL whether the Work is executed or not, and RJCL reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJCL. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJCL in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tendering" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
Upper Yonge Village Daycare Centre
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title
Level 1 & Basement Proposed Plan Geothermal Riser Diagram & Details

Drawn By **N.P.** Scale **As Indicated**
Designed By **J.C.** Date **March 2024**
RJCL Project Number **TOR.122940.0001**
Sheet Number **M-9** Revision

ELECTRICAL SPECIFICATION - GENERAL

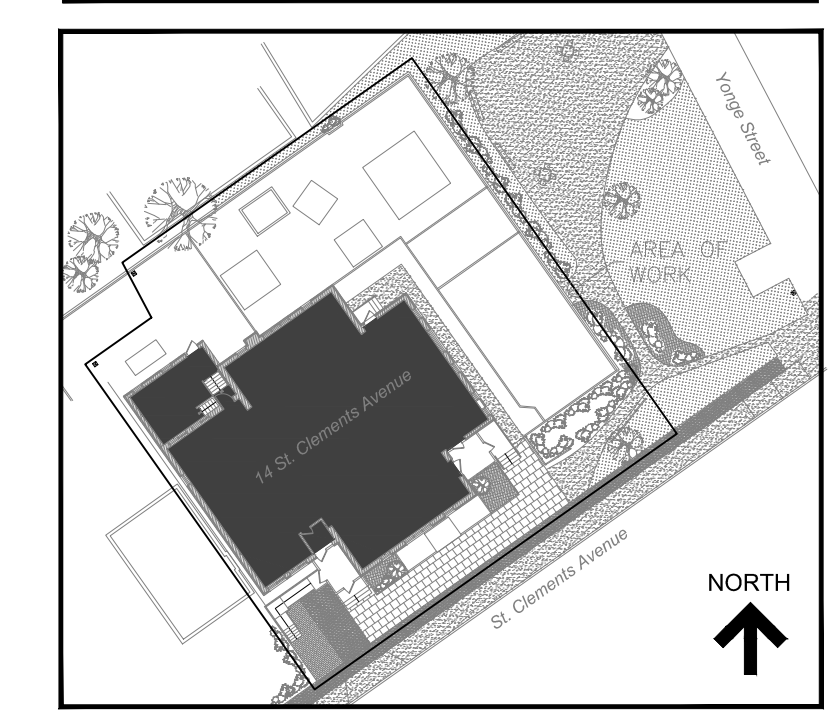
- 1.0 GENERAL**
1. PROVIDE ALL LABOUR, MATERIALS, AND EQUIPMENT REQUIRED TO CONSTRUCT, INSTALL, TEST AND COMPLETE A PROPERLY FUNCTIONING ELECTRICAL SYSTEM, INCLUDING POWER, LIGHTING, FIRE ALARM, COMMUNICATIONS, DATA, SECURITY, SOLAR, ELECTRIC SNOW MELTING, ETC., SYSTEMS, IN ACCORDANCE WITH DRAWINGS AND/OR AS SPECIFIED.
- 2.0 DEFINITIONS**
1. "PROVIDE" MEANS TO "SUPPLY, INSTALL AND CONNECT".
 2. "INSTALL" MEANS "INSTALL AND CONNECT".
- 3.0 CODES AND PERMITS**
1. ALL WORK SHALL COMPLY WITH THE LATEST EDITIONS OF THE ONTARIO BUILDING CODE, CANADIAN ELECTRICAL CODE, ONTARIO ELECTRICAL SAFETY CODE, C.S.A. STANDARDS, UNDERWRITERS' LABORATORIES, ALL APPLICABLE MUNICIPAL AND PROVINCIAL CODES AND REGULATIONS, AND ALL OTHER AUTHORITIES HAVING JURISDICTION INCLUDING ALL AMENDMENTS AND REVISIONS.
 2. SUBMIT CONTRACT DOCUMENTS TO PROPER AUTHORITIES AND OBTAIN THEIR APPROVAL AND PERMITS BEFORE PROCEEDING WITH THE WORK. PREPARE AND SUBMIT NECESSARY DETAILED SHOP DRAWINGS AS REQUIRED BY AUTHORITIES.
 3. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY ALL FEES IN CONNECTION WITH EXAMINATION OF DRAWINGS, PERMITS, INSPECTIONS AND FINAL CERTIFICATE OF APPROVAL.
 4. MINOR CHANGES AND ALTERATIONS REQUIRED BY ANY AUTHORITIES HAVING JURISDICTION SHALL BE CARRIED OUT BY ELECTRICAL CONTRACTOR WITHOUT CHARGE OR EXPENSE TO THE OWNER/CLIENT.
- 4.0 BUILDING STANDARDS**
1. CARRY OUT WORK IN ACCORDANCE WITH THE BASE BUILDING STANDARDS. COMPLY WITH ALL BUILDING REGULATIONS AND REQUIREMENTS.
 2. CO-ORDINATE ALL WORK WITH BASE BUILDING MANAGEMENT AND FOLLOW ALL RULES AND GUIDELINES FROM BASE BUILDING'S CONSTRUCTIONS MANUAL AND PROJECT GENERAL REQUIREMENTS IN TERMS OF ALL WORKING HOURS, SCHEDULES AND PROCEDURES.
- 5.0 INSURANCE**
1. PROVIDE INSURANCE FOR THE DURATION OF THE PROJECT TO PROTECT THE BUILDING OWNER, TENANT, AND TRADES FROM ALL CLAIMS. SUBMIT, AT THE TIME OF THE BID, PROOF OF AMOUNT ACCEPTABLE TO THE BUILDING OWNER AND TENANT.
 2. THE OWNER, MANAGEMENT OFFICE, ENGINEERS AND CONSULTANTS SHALL BE NAMED AS ADDITIONAL INSURED IN THE CONTRACTOR'S POLICY WITH RESPECT TO LIABILITIES ARISING FROM EXECUTION OF THIS WORK.
- 6.0 CONTRACT DRAWINGS**
1. EXAMINE ALL CONTRACT DRAWINGS AND SPECIFICATIONS ISSUED TO DETERMINE THE SCOPE OF WORK.
 2. DRAWINGS ARE INTENDED TO SERVE AS A GUIDE SHOWING QUANTITIES AND GENERAL ARRANGEMENTS AND ARE NOT NECESSARILY WORKING DRAWINGS FROM WHICH MEASUREMENTS CAN BE TAKEN, EXCEPT WHERE DIMENSIONS ARE SHOWN. ACCURATE MEASUREMENTS SHALL BE TAKEN AT THE SITE.
 3. REPORT ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL, LANDSCAPING, MECHANICAL, STRUCTURAL, AND THE ELECTRICAL DRAWINGS TO THE ENGINEER FOR CLARIFICATION OR INSTRUCTION. OBTAIN WRITTEN INSTRUCTIONS TO DISCREPANCIES DURING TENDER PERIOD.
 4. WHENEVER VARIANCES OCCUR BETWEEN PLANS AND DIAGRAMS, SCHEMATICS, AND BETWEEN SPECIFICATIONS AND DRAWINGS, THE MAXIMUM CONDITION SHALL GOVERN AND THE TENDER SHALL BE BASED ON WHICHEVER IS THE GREATER AMOUNT. THE ENGINEER WILL DECIDE ON THE ITEM AND MANNER IN WHICH THE WORK SHALL BE INSTALLED.
- 7.0 EXAMINATION OF SITE AND CONDITIONS**
1. VISIT AND EXAMINE THE SITE WHERE THE WORK IS TO BE DONE, BECOME FAMILIAR WITH FEATURES AND CHARACTERISTICS OF THE SITE AND/OR ANY EXISTING STRUCTURE BEFORE SUBMITTING A BID. NO ALLOWANCES WILL BE MADE BY THE OWNER FOR ANY DIFFICULTIES ENCOUNTERED BY THIS CONTRACTOR DUE TO ANY PECuliarITIES OF THE SITE, SURROUNDING PUBLIC OR PRIVATE PROPERTY THAT EXISTED WHEN THE TENDER WAS SUBMITTED.
 2. EXAMINE SITE AND LOCAL CONDITIONS AFFECTING THE WORK. EXAMINE ALL TENDER DOCUMENTS AND ENSURE THE WORK CAN BE SATISFACTORILY CARRIED OUT AS SHOWN, BEFORE COMMENCING THE WORK, EXAMINE THE SITE AND REPORT AT ONCE, IN WRITING, ANY DEFECT OR INTERFERENCE AFFECTING THE WORK OF THIS SECTION. NO ALLOWANCES WILL BE MADE LATER FOR ANY EXPENSE INCURRED THROUGH FAILURE TO REPORT INTERFERENCES IN WRITING.
- 8.0 ALTERNATES AND SUBSTITUTIONS**
1. ALL TENDERS MUST BE BASED ON SPECIFIED ITEMS. TENDERS SHALL SHOW ONE PRICE FOR THE BASE BID AND AN ITEMIZED BREAK DOWN OF ALL SUBSTITUTES SHOWING "CREDIT OR COST" FOR EACH SUBSTITUTE.
 2. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL COSTS NECESSARY TO ACCOMMODATE SUBSTITUTES.
 3. THE COST OF THE PROPOSED SUBSTITUTIONS SHALL BE EQUAL OR HIGHER, BUT NOT LESS THAN THE COST OF THE ORIGINAL SPECIFIED ITEMS. THE OWNER/ENGINEER HAVE THE RIGHT TO REJECT THE PROPOSED SUBSTITUTIONS AND ACCEPT THE SPECIFIED ITEMS BEFORE THE APPROVAL OF SHOP DRAWINGS OF PROPOSED SUBSTITUTIONS WITHOUT PAYING AN EXTRA CHARGE TO THE CONTRACTOR.
- 9.0 WORKMANSHIP**
1. WORK SHALL BE PERFORMED BY LICENSED TRADESMEN SKILLED IN THE WORK TO BE PERFORMED, ONLY FIRST CLASS WORKMANSHIP WILL BE ACCEPTED WITH RESPECT TO SAFETY, ACCESSIBILITY, DURABILITY, NEATNESS OF DETAIL, AND APPEARANCE.
 2. ASSUME FULL RESPONSIBILITY FOR THE LAYOUT OF THE WORK. ANY DAMAGE CAUSED TO THE PROPERTY OF THE OWNER THROUGH POOR WORKMANSHIP IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR AND SHALL PAY FOR THE REPAIR OF SAME, WITHOUT EXPENSE TO THE OWNER.
- 10.0 CLEAN UP**
1. CONSTRUCTION SITE SHALL BE KEPT CLEAN AND FREE FROM DEBRIS DURING THE DURATION OF THE PROJECT. CLEAN UP REFUSE, CAUSED BY ELECTRICAL WORK, DAILY FROM THE SITE, DISPOSE OF REFUSE AS DIRECTED BY THE GENERAL CONTRACTOR OR OWNER.
 2. AFTER SUBSTANTIAL COMPLETION, REMOVE FROM THE PREMISES ALL SURPLUS AND WASTE MATERIAL AND DEBRIS. LEAVE THE SITE AND BUILDING IN CLEAN CONDITION.
- 11.0 CO-OPERATION AND RESPONSIBILITY**
1. WORK OF THIS DIVISION SHALL INCLUDE RESPONSIBILITY FOR LAYING OUT OF WORK, FOR ANY DAMAGE CAUSED TO OTHER SECTIONS BY REASON OF IMPROPER LOCATION OF INSTALLATION, FOR PROMPT INSTALLATION IN ADVANCE OF CONCRETE POURING OR SIMILAR WORK, THE CONDITION OF ALL MATERIAL AND EQUIPMENT SUPPLIED UNDER THIS SECTIONS, AND FOR THE PROTECTION AND MAINTENANCE OF THE WORK COMPLETED AND ACCEPTED UNTIL COMPLETION OF THE CONTRACT.
 2. ELECTRICAL CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL DIVISION 16 WORK, INCLUDING CABLE INSTALLERS, TELEPHONE, SECURITY AND OTHER ELECTRICAL SUBTRADES, AND SHALL SCHEDULE TRADES AS REQUIRED.
 3. CO-ORDINATE THE WORK WITH ALL TRADES. ELECTRICAL SERVICES SHALL BE INSTALLED TO FACILITATE MECHANICAL, ARCHITECTURAL AND STRUCTURAL FEATURES.
- 12.0 SHOP DRAWINGS**
1. SUBMIT SIX (6) HARD COPIES OR ONE (1) ELECTRONIC SET OF SHOP DRAWINGS FOR LIGHTING FIXTURES, PANELBOARDS, AND OTHER MAJOR ELECTRICAL EQUIPMENT, AS REQUESTED BY THE ENGINEER FOR APPROVAL. UNLESS OTHERWISE NOTED, SHOP DRAWINGS SHALL INDICATE CLEARLY ALL DETAILS OF CONSTRUCTION, ACCURATE DIMENSIONS, CAPACITY, OPERATING CHARACTERISTICS AND PERFORMANCE. EACH SHOP DRAWING SHALL BE CHECKED AND STAMPED BY THE GENERAL CONTRACTOR AND THE APPROPRIATE TRADE AS BEING CORRECT BEFORE SUBMISSION TO THE ENGINEER.
- 13.0 TEMPORARY POWER**
1. ELECTRICAL CONTRACTOR SHALL CO-ORDINATE AS REQUIRED WITH THE OWNER TO OBTAIN THE TEMPORARY POWER, AND IS RESPONSIBLE FOR THE PROVISION OF EXTENSION CORDS FOR CONTRACTORS USE. ALL COSTS PERTAINING TO TEMPORARY POWER ARE TO BE INCLUDED BY THIS CONTRACTOR.
- 14.0 EXTRA WORK**
1. IF EXTRA WORK OF ANY KIND IS REQUIRED, ELECTRICAL CONTRACTOR IS REQUIRED TO OBTAIN WRITTEN INSTRUCTIONS FROM THE CONSULTANT AND OWNER BEFORE PROCEEDING. ONLY THE AUTHORIZED CHANGES WILL BE PAID.
 2. SUBMIT QUOTATION WITH BREAKDOWN PRICES OF MATERIAL, LABOUR, OVERHEAD, PROFIT ETC. FOR EACH CHANGE. HOURLY LABOUR RATE SHALL INCLUDE ALL RELATED CHARGES FOR SUPERVISION, ESA INSPECTION, HAND TOOLS, PARKING, CLEAN-UP, AS-BUILT DRAWINGS AND ADDITIONAL BONDING.
- 15.0 SCHEDULING**
1. ALL WORK SHALL BE SCHEDULED AND CO-ORDINATED TO AVOID ANY CONFLICTS WITH OTHER TRADES, BUILDING OWNER AND TENANT(S) DURING AND AFTER CONSTRUCTION.
 2. ALLOW FOR ALL NECESSARY PREMIUM TIME FOR THE WORK IF REQUIRED, INCLUDING PREMIUM LABOUR RATES IN THE CONTRACT.
- 16.0 DELIVERY OF EQUIPMENT**
1. SUBMIT A WRITTEN DELIVERY SCHEDULE OF ALL MAJOR ITEMS OF EQUIPMENT UNDER THIS CONTRACT TO THE GENERAL CONTRACTOR AND CONSULTANT TEAM WITHIN THIRTY (30) DAYS OF BEING AWARDED THE CONTRACT. FAILURE TO IDENTIFY DELIVERY PROBLEMS MAY RESULT IN DELAY CLAIMS.
- 17.0 NOISE AND VIBRATION**
1. ALL ELECTRICAL EQUIPMENT SHALL OPERATE WITHOUT OBJECTIONABLE VIBRATION OR NOISE TO THE LANDLORD/CLIENTS SATISFACTION.

- 18.0 CUTTING AND PATCHING**
1. ALL ELECTRICAL OPENINGS MUST BE SLEEVED TO PROPER SIZE AND LOCATIONS FOR ELECTRICAL SERVICES BY ELECTRICAL CONTRACTOR.
 2. ANY OPENINGS IN EXISTING STRUCTURES SHALL BE CO-ORDINATED, X-RAYED, CUT OR DRILLED AND PATCHED, AT THE EXPENSE OF THE ELECTRICAL CONTRACTOR, UNLESS OTHERWISE ADVISED BY THE GENERAL CONTRACTOR.
 3. OBTAIN WRITTEN PERMISSION FROM THE STRUCTURAL ENGINEER BEFORE STRUCTURAL WALLS, FLOORS OR OTHER STRUCTURAL MEMBERS ARE CUT OR DRILLED.
 4. REFER AND CONFIRM TO REQUIREMENTS INDICATED IN STRUCTURAL DRAWINGS AND SPECIFICATION.
- 19.0 ELECTRICAL WORK RELATED TO MECHANICAL WORK**
1. ELECTRICAL DISCONNECTS, FUSES AND ALL POWER WIRING NECESSARY FOR THE LINE VOLTAGE POWER SUPPLY TO MECHANICAL EQUIPMENT OR CONTROL SYSTEM SHALL BE SUPPLIED, INSTALLED AND CONNECTED TO THE EQUIPMENT OR CONTROL DEVICES BY THE ELECTRICAL CONTRACTOR. MECHANICAL CONTRACTOR SHALL PROVIDE EQUIPMENT DETAILS AND PROPER WIRING DIAGRAMS TO THE ELECTRICAL CONTRACTOR IN DUE TIME.
 2. CONTROLS, CONTROL SWITCHES, RELAYS, LOW VOLTAGE TRANSFORMERS AND ALL CONTROL WIRING NECESSARY FOR THE AUTOMATIC OPERATION OF MECHANICAL EQUIPMENT SHALL BE SUPPLIED AND INSTALLED BY MECHANICAL CONTRACTOR AND READY FOR ELECTRICAL CONTRACTOR TO CONNECT LINE VOLTAGE IF REQUIRED. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL NECESSARY CONDUITS TO SUIT.
 3. EXCEPT WHERE STARTERS ARE SUPPLIED INTERNALLY MOUNTED ON EQUIPMENT, ELECTRICAL CONTRACTOR SHALL PROVIDE MOTOR STARTERS, TOGETHER WITH PROPER WIRING DIAGRAMS, UNLESS OTHERWISE NOTED.
- 20.0 TESTING**
1. UPON COMPLETION OF THE PROJECT, ELECTRICAL CONTRACTOR SHALL PRESENT SIGNED STATEMENTS THAT TESTS FOR CABLING, EQUIPMENT, AND ALL SYSTEMS HAVE BEEN CARRIED OUT ENTIRELY AS PER SPECIFICATION AND MANUFACTURER'S RECOMMENDATION, OR AUTHORITY'S REQUIREMENTS. FURNISH CERTIFICATES AS EVIDENCE THAT THE WORK INSTALLED CONFORMS WITH THE BY-LAWS AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION, BEFORE THE FINAL CERTIFICATE OF PAYMENT IS ISSUED.
 2. TEST SYSTEMS AND EQUIPMENT SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR AS SPECIFIED AND IN ACCORDANCE WITH THE RULES, REGULATIONS AND BY-LAWS GOVERNING THEIR INSTALLATION AND USE.
 3. NOTIFY THE ENGINEER IN AMPLE TIME TO PERMIT WITNESSING OF THE TESTS (MINIMUM OF 3 DAYS).
 4. ALL TESTS SHALL BE MADE BEFORE ANY BACKFILLING, FURRING IN, OR GENERAL COVERING OF EQUIPMENT OR CABLING IS DONE.
 5. AFTER THE COMPLETION OF EACH TEST SUBMIT A WRITTEN REPORT TO THE ENGINEER, SUMMARIZING THE COMPLETED TEST DATA AND RESULTS.
 6. REPLACE DEFECTIVE EQUIPMENT OR REPAIR DEFECTS APPEARING DURING THE TEST(S) TO THE SATISFACTION OF THE ENGINEER, AND REPEAT TESTS UNTIL THE INSTALLATION IS ACCEPTABLE TO THE ENGINEER AND ALL LOCAL AUTHORITIES HAVING JURISDICTION, AND LEFT IN COMPLETE, FIRST CLASS OPERATING CONDITION.
 7. ALL REQUIRED TESTS SHALL BE MADE IN THE PRESENCE OF EACH GOVERNING AUTHORITIES AUTHORIZED INSPECTOR AND CERTIFIED BY THIS INSPECTOR.
 8. ALL READINGS SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL AND PROVINCIAL CODES WHICH APPLY TO THIS INSTALLATION OR TO REQUIREMENTS STATED IN THE SPECIFICATION.
 9. ALL PERSONNEL AND TEST EQUIPMENT SHALL BE PROVIDED AND SET UP FOR THE TESTS BY ELECTRICAL CONTRACTOR AND SHALL MEET THE APPROVAL OF THE ENGINEER.
 10. REPEAT ANY TEST AS OFTEN AS NECESSARY TO OBTAIN CERTIFICATION AND/OR SPECIFIED RESULTS.
- 21.0 GUARANTEE**
1. CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE OF ALL MATERIALS, EQUIPMENT AND WORKMANSHIP UNDER THIS DIVISION FOR A PERIOD OF THREE (3) YEARS, COMMENCING ON THE DATE OF SUBSTANTIAL PERFORMANCE OR ACCEPTANCE OF THE COMPLETED PORTION BY THE PRIME CONTRACTOR, WHICHEVER DATE IS LATER. ELECTRICAL CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL DEFECTS DEVELOPING AS A WHOLE OR IN PART DUE TO DEFECTIVE WORKMANSHIP, MATERIALS, DEFECTIVE ARRANGEMENT OF THE VARIOUS PARTS OR MATERIALS DAMAGED AS A RESULT OF THESE DEFECTS OR REPAIRS DURING THE GUARANTEE PERIOD AT A TIME CONVENIENT TO THE TENANT/LANDLORD, AND AT THE EXPENSE OF THE CONTRACTOR.
 2. REFER AND CONFIRM TO REQUIREMENTS INDICATED IN DIVISION 01 SPECIFICATION.
- 22.0 AS-BUILT DRAWINGS**
1. UPON COMPLETION OF WORK, ELECTRICAL CONTRACTOR SHALL PROVIDE THREE (3) SETS OF WHITE PRINTS TO REFLECT "AS-BUILT" CONDITIONS. "AS-BUILT" DRAWINGS SHALL INCORPORATE ANY CHANGES OR DEVIATIONS FROM THE TENDER DOCUMENTS.
 2. CONTRACTOR SHALL ALSO PROVIDE ELECTRONIC FILES IN AUTOCAD FORMAT IN A CD DISK TO REFLECT "AS-BUILT" CONDITIONS.
 3. CONTRACTOR TO MARK THE DRAWINGS AS "AS-BUILT" ALONG WITH ELECTRICAL CONTRACTORS COMPANY NAME.
- 23.0 CLOSE-OUT DOCUMENTS**
1. PROVIDE THE FOLLOWING DOCUMENTATION TO THE TENANT, OWNER, AND ENGINEER UPON THE COMPLETION OF THE PROJECT:
 - THREE HARD COPY SETS OF FULL SIZE "AS-BUILT" DRAWINGS AND ONE CD DISK CONTAINING THE AUTOCAD FORMAT OF THE "AS-BUILT DRAWINGS"
 - ESA ELECTRICAL INSPECTION REPORT AND CERTIFICATE.
 - FIRE ALARM VERIFICATION REPORT AND CERTIFICATE.
 - EMERGENCY LIGHTING VERIFICATION REPORT
 - WRITTEN GUARANTEE
- 24.0 WORK IN EXISTING BUILDINGS**
1. TEST THE NEW AND EXISTING ELECTRICAL SYSTEMS TO ENSURE PROPER OPERATION OF ALL INTERFACED SYSTEMS IN THE PREMISES.
 2. EXISTING EQUIPMENT WHICH IS DAMAGED DURING EXECUTION OF THIS CONTRACT SHALL BE REPAIRED OR REPLACED WITH SIMILAR NEW EQUIPMENT UNDER THIS CONTRACT.
 3. REQUEST FOR INTERRUPTION OF ELECTRICAL SERVICES IN EXISTING BUILDING SHALL BE MADE ONE (1) WEEK IN ADVANCE AND SCHEDULED BY THE OWNER. ALL THE POWER SHUTDOWN MUST BE CARRIED OUT AT NIGHT TIME. ALLOW PREMIUM LABOUR RATES IN THE CONTRACT TO CARRY OUT THE ABOVE WORK.
 4. MAINTAIN CONTINUITY OF ALL EXISTING SERVICES AND SYSTEMS AND REPAIR IF DAMAGED.
 5. NO DRILLING OF THE FLOOR OR WALLS SHALL BE CARRIED OUT UNTIL CO-ORDINATED AND APPROVED BY THE STRUCTURAL ENGINEER. ALL THE X-RAY SCANNING MUST BE CARRIED OUT AT NIGHT TIME AND APPROVED BY THE OWNER/MANAGEMENT OFFICE. ALLOW PREMIUM LABOUR RATES IN THE CONTRACT TO CARRY OUT THE SCANNING AND CORE DRILLING WORK. REFER TO AND CONFIRM TO REQUIREMENTS INDICATED IN STRUCTURAL DRAWINGS AND SPECIFICATION.
 6. OVERNIGHT WORK SHOULD BE ALLOWED FOR THE MODIFICATION OF THE EXISTING ELECTRICAL PANELS IN THE BUILDING. ALLOW PREMIUM LABOUR RATES IN THE CONTRACT FOR THE ABOVE WORK.
- 25.0 BASE BUILDING REQUIREMENTS**
1. ALL CONSTRUCTION IN THE BUILDING MUST BE CLEARED THROUGH THE OWNER.
 2. WHEN NECESSARY TO RUN ELECTRICAL CORDS IN COMMON AREAS, CORDS TO BE STRUNG OVERHEAD IN CEILING.
 3. DELIVERIES TO BE ARRANGED THROUGH THE OWNER OF ANY WORK SCHEDULED AFTER NORMAL BUSINESS HOURS OR ON THE WEEKEND SO THEY MAY NOTIFY SECURITY TO ALLOW CONTRACTOR ENTRANCE TO THE BUILDING.
 4. ALL ELECTRICAL WORK TO BE UNDERTAKEN BY QUALIFIED TRADESMEN WHO ARE TO SUPPLY THEIR TICKET NUMBER TO THE OWNER PRIOR TO COMMENCING WORK. UNDER NO CIRCUMSTANCES SHALL AN APPRENTICE BE PERMITTED TO WORK IN THE BUILDING UNLESS DIRECTLY SUPERVISED BY A QUALIFIED TRADESMAN ON SITE.
 5. THE SUB-CONTRACTORS SHALL BE IN GOOD STANDING WITH THE WORKMEN'S COMPENSATION BOARD AND CARRY INSURANCE AS SPECIFIED BY THE ONTARIO CONTRACTORS ASSOCIATION.
- 26.0 GENERAL NOTES**
1. ALL MOUNTING HEIGHTS ARE REFERENCED ABOVE THE FINISHED FLOOR LEVEL UNLESS OTHERWISE NOTED.
 2. THE OWNER MAY RELOCATE CONDUIT, SWITCHES, RECEPTABLES AND FIXTURES WITHIN 10 FEET BEFORE INSTALLATION AT NO ADDITIONAL COST TO THE CONTRACTOR.
 3. ALL X-RAY SCANNING AND CORE DRILLING THROUGH THE SLABS/WALLS SHALL BE CARRIED OUT BY ELECTRICAL CONTRACTOR.
 4. ALL CUTTING AND PATCHING WILL BE CARRIED OUT BY GENERAL CONTRACTOR.

ELECTRICAL SPECIFICATIONS - MATERIALS

- 1.0 GENERAL**
1. EQUIPMENT HEREIN SPECIFIED SHALL BE SUPPLIED TO THE JOB SITE WITH THE APPROVAL PLATE OR STAMP OF THE APPLICABLE REGULATORY ORGANIZATION (I.E. CSA), WHERE THIS IS NOT DONE, THE EQUIPMENT SHALL NOT BE PUT IN OPERATION BEFORE A SPECIAL APPROVAL FROM THE REGULATORY ORGANIZATION HAS BEEN OBTAINED.
- 2.0 MATERIALS**
1. ALL MATERIALS USED IN THIS CONTRACT SHALL BE NEW, UNLESS NOTED OTHERWISE, OF THE TYPE SPECIFIED, FREE FROM ANY DEFECTS AND SHALL BE C.S.A. APPROVED. ACCEPTANCE OF MATERIALS INSTALLED PERMANENTLY THAT MATERIALS HAVE NOT BEEN DAMAGED OR EXPOSED TO CONDITIONS THAT WOULD AFFECT PERFORMANCE AND LIFE EXPECTANCY. ALL MATERIALS AND LABOUR SHALL BE GUARANTEED FOR A PERIOD OF THREE (3) YEARS AFTER SUBSTANTIAL PERFORMANCE.
- 3.0 CONDUITS, FASTENINGS AND FITTINGS**
1. PROVIDE ALL CONDUITS, DUCTS OR METAL RACEWAYS NECESSARY FOR THE ELECTRICAL WORK AND REQUIRED TO COMPLETE THE INSTALLATION. DRAWINGS DO NOT SHOW ALL CONDUITS, THOSE SHOWN ARE GENERALLY IN DIAGRAMMATIC FORM ONLY.
 2. ALL WIRING, UNLESS OTHERWISE NOTED, SHALL BE INSTALLED IN STEEL CONDUITS OR METAL RACEWAYS, WHICH SHALL BE OF SUFFICIENT SIZE TO PERMIT EASY REMOVAL OF CONDUCTORS AT ANY TIME. THE MINIMUM SIZE OF CONDUIT SHOULD BE 3/4" DIAMETER.
 3. WHERE CONDUIT SIZES ARE SHOWN ON THE DRAWINGS, THEY ARE MINIMUM AND SHALL NOT BE REDUCED. TABLE 6 OF THE ELECTRICAL CODE SHALL BE APPLIED.
 4. RIGID STEEL, HOT DIPPED GALVANIZED, SCREWED CONDUIT SHALL BE USED IN SLAB ON GRADE, OUTDOOR CONDITION ON ROOF OR WHERE REQUIRED TO PREVENT MECHANICAL DAMAGES.
 5. RIGID PVC CONDUIT (SCHEDULE 40) SHALL BE USED FOR UNDERGROUND CONDUIT.
 6. RIGID PVC CONDUIT WITH SUNLIGHT RESISTANT MAY BE ACCEPTED TO USE ON ROOF OR OUTDOOR CONDITION WHERE MECHANICAL DAMAGE IS NOT A CONCERN.
 7. CONDUIT LOCATED IN CEILING SPACE, EXPOSED IN UNFINISHED AREAS, OR IN HOLLOW WALLS OR PARTITIONS WHERE ALLOWABLE BY CODE, MAY BE STEEL GALVANIZED E.M.T.
 8. WHERE E.M.T. CONDUIT IS USED, FITTINGS SHALL BE WATER TIGHT CONNECTORS AND COUPLINGS. SET-SCREWS ONLY ARE NOT ACCEPTABLE. THE USE OF BONDING CONDUCTORS WITH SET-SCREW FITTINGS ARE ACCEPTABLE (ELECTRICAL CODE TABLE 16).
 9. FLEXIBLE CONDUIT SHALL BE USED FOR CONNECTIONS TO MOTORS, TRANSFORMERS AND VIBRATING EQUIPMENT, WITH CONDUIT LENGTH NOT TO EXCEED 3 FEET (1m) IN LENGTH. USE LIQUID TIGHT FLEXIBLE METALLIC CONDUIT AND WEATHERPROOF CONNECTORS AND FITTINGS WHERE CONDUIT RUN IS EXPOSED TO THE WEATHER.
 10. PROVIDE BUSHINGS ON THE ENDS OF ALL CONDUITS IN ENCLOSURE, BOXES, PANELS AND CABINETS TO PROTECT THE CONDUCTOR INSTALLATION, EXCEPT WHERE GROUNDING BUSHINGS ARE SPECIFIED, USE ALL PLASTIC INSULATED BUSHINGS, TEMPERATURE RATING 150°C WITH DOUBLE LOCK NUTS.
- 4.0 WIRING**
1. WIRING SHALL CONFORM TO ELECTRICAL SAFETY CODE REGULATIONS.
 2. ALL CONDUCTORS SHALL BE COPPER, UNLESS OTHERWISE DESIGNATED, STRANDED FOR NO.8 AWG AND LARGER. MINIMUM SIZE WIRE SHALL BE NO.12 AWG. ALL WIRING SHALL BE THW OR RW90 (X-LINK), COLOUR CODED THROUGHOUT THE INSTALLATION. BRANCH CIRCUIT RUNS EXCEEDING 22m SHALL BE NO.10 AWG OR LARGER TO THE FIRST OUTLET. ALLOW A MAXIMUM OF 3% VOLTAGE DROP ON THE BRANCH CIRCUITS. ALL CONNECTIONS TO MOTORS AND EQUIPMENT FROM DISCONNECT SWITCHES AND/OR OUTLETS THROUGH CONTROLLERS SHALL BE COPPER REGARDLESS OF WIRE SIZE.
 3. WIRING FOR LIGHTING AND RECEPTABLE CIRCUITS ARE ALL DEDICATED CIRCUITS FROM PANELS. NO COMMON NEUTRAL IS ALLOWED IN THE POWER CIRCUITS. THESE ARE ALSO INCLUDING WIRING FROM THE GROUND INSULATED CABLES (GREEN JACKET CABLES) FROM LIGHTING FIXTURES TO LIGHTING PANEL, RECEPTABLES TO RECEPTABLE PANEL.
 4. ALL INTERIOR EXPOSED WIRING SHALL BE CONTAINED IN METALLIC RACEWAYS USING HOT DIPPED GALVANIZED RIGID THREADED STEEL CONDUIT, OR ELECTRIC METALLIC TUBING (EMT). USE RIGID STEEL CONDUIT WHERE RUNS ARE EXPOSED TO MECHANICAL INJURY. UNLESS OTHERWISE NOTED, FLEXIBLE METALLIC CONDUIT SHALL BE USED FOR ALL CONNECTIONS TO MOTORS, TRANSFORMERS, AND VIBRATING EQUIPMENT USING FITTINGS MADE FOR THIS PRODUCT. USE LIQUID TIGHT FLEXIBLE METALLIC CONDUIT AND WEATHERPROOF CONNECTORS AND FITTINGS WHERE CONDUIT RUN IS EXPOSED TO THE WEATHER.
 5. SLEEVE AND SEAL WIRING THROUGH EXTERIOR WALLS, FIRE RATED WALLS AND PARTITIONS, PER CODE.
 6. ALL NON CURRENT-BEARING METAL PARTS SHALL BE GROUNDED IN ACCORDANCE WITH OESC. A SEPARATE GROUND WIRE SHALL BE RUN IN ALL FLEXIBLE CONDUITS.
 7. ALL ELECTRICAL CIRCUITS SHALL HAVE THEIR OWN GROUND WIRE.
 8. BX CABLES (AC-90 CABLES) MAY BE ALLOWED TO USE AS CABLE DROPS FROM CEILING JUNCTION, BOXES TO LIGHT FIXTURES AND RECEPTABLES IN PARTITION WALLS UNLESS PROHIBITED BY CODE OR BASE BUILDING STANDARDS. BX CABLES SHALL NOT BE USED IN ANY EXPOSED AREAS. BX CABLES SHALL NOT EXCEED TO FEET (3m) IN LENGTH. BX CABLES ARE NOT PERMITTED TO CONNECT TO THE PANELBOARDS DIRECTLY.
- 5.0 OUTLET BOXES**
1. CEILING OUTLET BOXES SHALL BE 4" OCTAGONAL OR 4" SQUARE, AS PER ELECTRICAL CODE REQUIREMENTS. RECEPTABLES AND SWITCH BOXES SHALL BE STANDARD 1104, WHERE DEVICES ARE SHOWN SIDE BY SIDE, PROVIDE GANGED OUTLET BOXES AND COVER PLATES.
 2. WHERE NECESSARY, EXTRA LARGE BOXES SHALL BE PROVIDED IN ACCORDANCE WITH CODE IN LIEU OF THE SIZES SPECIFIED IN ORDER TO PREVENT UNDUE CROWDING OF WIRE.
 3. DO NOT MOUNT WALL OUTLETS BACK TO BACK, OUTLET BOXES SHOWN BACK TO BACK SHALL BE OFFSET HORIZONTALLY 6 INCHES TO MINIMIZE SOUND TRANSFER.
 4. WHERE THE OUTLET BOXES TO BE INSTALLED ON THE FIRE RATED WALL, ELECTRICAL CONTRACTOR SHALL PROVIDE PROPER FIRE RATED MATERIAL AROUND THE OUTLET BOXES TO MAINTAIN THE INTEGRITY OF FIRE SEPARATION.
- 6.0 JUNCTION AND PULL BOXES**
1. PULL BOXES SHALL BE INSTALLED AT INTERVALS SUCH THAT NO CABLE WILL HAVE TO BE PULLED THROUGH MORE THAN TWO 90° BENDS OR MORE THAN 100 FEET (30m) OF CONDUIT IN ONE PULLING OPERATION.
 2. JUNCTION AND PULL BOXES SHALL BE LOCATED IN AREAS WHERE THEY COULD BE ACCESSIBLE AT ALL TIMES AND MAY BE INSTALLED IN MECHANICAL, ELECTRICAL, STORAGE AND JANITOR ROOMS OR HUNG IN THE CEILING SPACE.
 3. PROVIDE ACCESS PANELS IN THE CEILING WHERE JUNCTION AND PULL BOXES AND OTHER ELECTRICAL EQUIPMENT CANNOT BE ACCESSED. THE LOCATION OF ACCESS PANELS MUST BE AGREED WITH THE ARCHITECT/OWNER.
- 7.0 RECEPTABLES**
1. ALL WIRING DEVICES SHALL BE SPECIFICATION COMMERCIAL GRADE WITH VOLTAGE AND AMPERAGE AS INDICATED. VERIFY EXACT LOCATION, HEIGHT, TYPE AND COLOUR WITH ARCHITECT PRIOR TO INSTALLATION. IF NOT SPECIFIED ON THE DRAWINGS, PROVIDE STAINLESS STEEL "DECORA" STYLE WIRING DEVICES AS BASE BID.
 2. PROVIDE COVER PLATES FOR ALL WIRING DEVICES. IF NOT SPECIFIED ON DRAWINGS, PROVIDE STAINLESS STEEL "DECORA" STYLE COVERPLATES AS BASE BID.
 3. ALL RECEPTABLES MUST BE CHILD PROOF/TAMPER RESISTANT IN ALL AREAS WITHIN THE BUILDING.
 4. ALL RECEPTABLES AT AND WITHIN WASH AREAS, SERVERIES, KITCHENETTES, WASHROOMS, ELEVATOR, JANITOR, STORAGE, AND BASEMENT LEVEL MUST BE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) AND TAMPER-PROOF TYPE, REFER TO THE DRAWINGS.
 5. ALL RECEPTABLES AT THE BUILDING EXTERIOR MUST BE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI), TAMPER-PROOF, AND WATERPROOF TYPE RECEPTABLES.
 6. ACCEPTABLE MANUFACTURER: HUBBELL OR LEVITON.
- 8.0 LIGHTING SWITCHES**
1. ALL LIGHTING SWITCHES SHALL BE SPECIFICATION COMMERCIAL GRADE WITH VOLTAGE AND AMPERAGE AS INDICATED. VERIFY EXACT LOCATION, HEIGHT, TYPE AND COLOUR WITH ARCHITECT PRIOR TO INSTALLATION. IF NOT SPECIFIED ON THE DRAWINGS, PROVIDE "DECORA" STYLE LIGHTING SWITCHES C/W STAINLESS STEEL "DECORA" STYLE COVERPLATES AS BASE BID.
- 9.0 DIMMERS**
1. ALL DIMMERS SHALL BE SIZED TO SUIT THE LIGHTING LOADS IN WATTAGE AND TYPES (INCANDESCENT, FLUORESCENT, COMPACT FLUORESCENT, LED, LOW VOLTAGE MAGNETIC AND LOW VOLTAGE ELECTRONIC ETC.).
 2. PROVIDE LAMP DE-BUZZING COILS FOR ALL INCANDESCENT AND LOW VOLTAGE DIMMING CIRCUITS.
 3. ALL DIMMERS SHALL BE COMMERCIAL GRADE, LUTRON-DIVA SERIES OR APPROVED EQUAL.
 4. ALL DIMMING CIRCUITS SHALL HAVE SEPARATE NEUTRAL CONDUCTORS.
 5. USE CUSTOM STAINLESS STEEL ARCHITECTURAL WALL PLATES AND WIDER BASEBOXES TO ACCOMMODATE THE DIMMERS WHEN GANGING TOGETHER. NO DERATING OF DIMMERS AND REMOVAL OF FINIS OF DIMMER SWITCH IS ALLOWED.
- 10.0 CIRCUIT BREAKERS**
1. CIRCUIT BREAKERS SHALL BE MOULDED CASE CIRCUIT BREAKER, BOLT-ON TYPE, QUICK-MAKE, QUICK-BREAK AND HAVE A PERMANENT TRIP UNIT WITH THERMAL AND MAGNETIC TRIP ELEMENTS IN EACH POLE FOR MANUAL AND AUTOMATIC OPERATION IN 40°C AMBIENT TEMPERATURE.
 2. CIRCUIT BREAKERS SHALL HAVE A SINGLE, COMMON TRIP HANDLE FOR MULTI-POLE BREAKERS.
 3. CIRCUIT BREAKERS SHALL HAVE PROVISION FOR LOCKING HANDLE IN THE "ON" OR "OFF" POSITION.
 4. THE INTERRUPTING CAPACITY OF EACH BREAKER SHALL BE DETERMINED BY THE COORDINATION STUDY AND SHORT-CIRCUIT CALCULATIONS OR AS PER DRAWINGS, MINIMUM INTERRUPTING RATING SHALL BE 10 KAIC.
 5. CIRCUIT BREAKERS SHALL BE CSA/ULC LISTED.

- 11.0 FUSES**
1. FUSES OVER 600A SHALL BE HRC FORM 1, CLASS 'L' BUSSMAN TYPE RATED 200 KAIC AT 600V.
 2. FUSES 600A OR LESS SHALL BE HRC FORM 1, CLASS 'J' BUSSMAN TYPE RATED AT 200 KAIC AT 600V.
 3. FUSES FOR MOTOR AND TRANSFORMER CIRCUITS SHALL BE TIME DELAY, SIZED ACCORDINGLY TO THE MANUFACTURER'S RECOMMENDATIONS BASED ON THE EQUIPMENT NAMEPLATE.
- 12.0 PANELBOARDS**
1. PANELBOARDS SHALL BE OF VOLTAGE AND AMPERAGE RATINGS AS SPECIFIED ON DRAWINGS AND SHALL BE CSA APPROVED.
 2. PANELBOARDS SHALL BE FACTORY ASSEMBLED, ACCEPTABLE MANUFACTURER'S: SQUARE 'D', CUTLER HAMMER (EATON), SIEMENS OR APPROVED EQUAL.
 3. PANELBOARDS SHALL BE COMPLETE WITH BREAKERS, SPARES AND SPACES AS SHOWN ON DRAWING. SPARES SHALL BE COMPLETE WITH BREAKERS.
 4. THE MAIN BUS OF THE PANELBOARDS INCLUDING NEUTRAL BUS AND GROUND BUS SHALL BE COPPER CONDUCTORS.
 5. PANELBOARDS SHALL HAVE LOCKABLE FRONT DOOR.
 6. PANELBOARDS SHALL BE SPRINKLER PROOF TO MEET ELECTRICAL SAFETY AUTHORITY AND LOCAL HYDRO REQUIREMENTS.
- 13.0 TRANSFORMERS**
1. TRANSFORMERS SHALL BE INDOOR DRY TYPE, AIR COOLED, COPPER WINDINGS, RATED AT THREE PHASE, 60 CYCLE, OF KVA RATING SHOWN ON THE DRAWINGS.
 2. THE SOUND LEVEL IN dBA SHALL BE IN ACCORDANCE WITH NEMA STANDARDS. THE TRANSFORMER SHALL BE EQUIPPED WITH TERMINAL BOARDS, TAP CHANGING LINKS, SUITABLE SOLDERLESS CONNECTORS AND SHALL HAVE A HINGED EXPANDED METAL SIDE PANELS AND MOUNTING BRACKETS FOR FLOOR MOUNTING.
 3. TRANSFORMERS SHALL BE SPRINKLER PROOF TO MEET ELECTRICAL SAFETY AUTHORITY AND LOCAL HYDRO REQUIREMENTS.
 4. TRANSFORMERS SHALL HAVE AT LEAST ONE 2.5% TAPPING ON THE PRIMARY WINDINGS.
 5. ALL TRANSFORMERS SHALL BE CSA CERTIFIED AND SHALL MEET CSA C802 OR EPA ENERGY CONSERVATION ENERGY STAR LOGO, ULC AND IEE STANDARD.
- 14.0 DISCONNECT SWITCHES**
1. ALL DISCONNECT SWITCHES SHALL BE QUICK-MAKE, QUICK-BREAK, HEAVY-DUTY AND HORSEPOWER RATED. PROVISION SHALL BE MADE FOR PADLOCKING IN EITHER THE "ON" OR "OFF" POSITION.
 2. SWITCHES SHALL HAVE INTERLOCK ON DOOR FROM BEING OPENED WHEN SWITCH IS CLOSED. BUILT-IN DETEATER MECHANISM SHALL BE PROVIDED FOR USER ACCESS WHEN NECESSARY.
- 15.0 STARTERS**
1. STARTERS SHALL BE MAGNETIC STARTER DESIGNED FOR FULL VOLTAGE STARTING AND STOPPING OF A.C. MOTORS AND ENCLOSED IN EMG ENCLOSURE TYPE TO BE SHOWN ON DRAWING.
 2. PROVIDE MOTOR OVERLOAD PROTECTION AND TWO AUXILIARY CONTACTS AS STANDARD PROVISIONS IN ALL STARTERS.
 3. PROVIDE HAND-OFF-AUTO SELECTOR SWITCH AND ON/OFF LED INDICATION LIGHTS ON THE STARTERS.
- 16.0 COMBINATION STARTERS**
1. COMBINATION STARTERS SHALL BE NON-FUSIBLE OR FUSIBLE DISCONNECT SWITCH TYPE AS SPECIFIED ON THE DRAWING.
 2. MEET ALL TECHNICAL REQUIREMENTS AS STATED IN SECTION 15-STARTERS.
- 17.0 SPLITTER TROUGHS**
1. SPLITTER TROUGH CONSTRUCTION SHALL BE BASED ON CSA C22.2 NO.76.
 2. ALL MAIN BUSES SHALL BE COPPER CONDUCTORS.
 3. PROVIDE AT LEAST THREE SPARE TERMINALS ON EACH SET OF LUGS IN SPLITTER TROUGHS LESS THAN 400A AND PROVIDE FEED THROUGH LUGS WHERE REQUIRED.
- 18.0 LIGHTING FIXTURES**
1. PROVIDE ALL LIGHTING FIXTURES AS SPECIFIED ON THE DRAWINGS. NO SUBSTITUTES ARE ALLOWED WITHOUT THE APPROVAL OF THE ARCHITECT/OWNER.
 2. ALL LIGHTING FIXTURES SHALL BE SUPPORTED INDEPENDENTLY AND HUNG VIA CHAINS FROM THE CEILING STRUCTURE TO THE APPROVAL OF THE CANADIAN ELECTRICAL CODE.
 3. NO EXPOSED LAMPS/BULBS ARE ALLOWED IN ANY AREAS.
- 19.0 LAMPS**
1. PROVIDE NEW LAMPS FOR ALL LIGHTING FIXTURES AS RECOMMENDED BY THE MANUFACTURER. EXACT COLOUR TEMPERATURE, BEAM ANGLE, CRI TO BE CONFIRMED WITH ENGINEER/CLIENT.
 2. FLUORESCENT BALLASTS SHALL BE ELECTRONIC TYPE WITH INSTANT START, HIGH SOUND RATED AND COMPLETE WITH AUTOMATIC RESET THERMAL PROTECTION.
 3. PROVIDE ADDITIONAL ONE CASE OF SPARE LAMPS FOR EACH TYPE AT THE END OF PROJECT.
 4. ALL PLAYROOMS MUST HAVE A MINIMUM OF 55 LUX (51 FC).
 5. MANUFACTURER - GE CANADA, PHILLIPS AND OSRAM/SYLVANIA LAMPS ARE ACCEPTED.
- 20.0 EXIT AND EMERGENCY LIGHTING**
1. PROVIDE ALL NEW EXIT LIGHTS AND EMERGENCY LIGHTING AS NOTED ON THE DRAWINGS.
 2. ALL EQUIPMENT SHALL COMPLY WITH C22.2.141.
 3. BATTERY UNITS SHALL BE AS SPECIFIED WITH 10 YEAR DESIGN LIFE, INTEGRAL HIGH/LOW CHARGER WITH BATTERY MONITORING AND PILOT LIGHT, LOAD TRANSFER METERS AND TEST SWITCH. LOW VOLTAGE CUT-OUT OVERLOAD PROTECTION AND 120 VOLT CORD AND PLUG. ALL BATTERY UNITS SHALL BE EQUIPPED WITH SELF-DIAGNOSTIC FUNCTION.
 4. WIRING SHALL CONFORM TO MANUFACTURER'S RECOMMENDATIONS.
 5. ENGAGE A QUALIFIED REPRESENTATIVE FROM THE EMERGENCY LIGHTING EQUIPMENT MANUFACTURER TO PERFORM A SITE TESTING OF EMERGENCY LIGHTING SYSTEM AFTER INSTALLATION. SUBMIT A COMPLIANCE LETTER TO ENGINEER FOR REVIEW.
- 21.0 PLYWOOD BACKBOARDS**
1. PLYWOOD BACKBOARDS SHALL BE MADE OF THE HIGHEST QUALITY FIR, 3/4" (20mm) THICK.
 2. ALL BACKBOARDS ARE TO BE PAINTED ON BOTH SIDES WITH FIRE RETARDANT PAINT, EQUAL TO CGSB SPEC. #1-GP-151M.
 3. PROVIDE PLYWOOD BACKBOARDS WHERE REQUIRED BY THE AUTHORITY HAVING JURISDICTION, AND WITHIN THE IT ROOM FOR WALL-MOUNTED COMPONENTS.
- 22.0 LABELLING**
1. PROVIDE TYPED DIRECTORY ON THE NEW ELECTRICAL PANELS. UPDATE THE PANEL DIRECTORIES OF MODIFIED AND ALTERED ELECTRICAL PANELS.
 2. LABEL ALL THE NEW RECEPTABLES IN THE TENANT SPACE WITH CORRECT CIRCUIT NUMBERS AND PANEL NAMES TO SHOW WHERE THEY ARE FED FROM.
 3. ALL JUNCTION BOXES SHOULD BE LABELED TO INDICATE WHICH CIRCUITS ARE WIRED THROUGH THESE BOXES.
 4. PROVIDE LAMICOID PLATES ON ALL ELECTRICAL EQUIPMENT SUCH AS PANELBOARDS, DISCONNECT SWITCHES, TRANSFORMERS AND SPLITTER BOXES. LAMICOID PLATES SHALL BE WHITE BACKGROUND WITH BLACK ENGRAVED LETTERS 1/4" OR 1" HIGH AS NOTED.
- 23.0 ELECTRICAL EQUIPMENT**
1. ALL ELECTRICAL EQUIPMENT SUCH AS PANELBOARDS, DISCONNECT SWITCHES, SPLITTER BOXES, ETC. TO BE OF THE SAME MANUFACTURER, TYPE AND RATING TO COMPLY WITH BASE BUILDING EQUIPMENT, WHERE POSSIBLE, ACCEPTABLE MANUFACTURERS - SIEMENS, CUTLER HAMMER (EATON), SQUARE 'D' OR APPROVED EQUAL.
 2. PANELBOARDS SHALL HAVE A COPPER PLATED BUS BAR.
 3. CIRCUIT BREAKERS SHALL BE BOLT-ON MOLDED CASE, QUICK-MAKE, QUICK-BREAKER TYPE FOR MANUAL AND AUTOMATIC OPERATION WITH 40°C AMBIENT.
 4. DISCONNECT SWITCHES SHALL BE OF QUICK-MAKE/QUICK-BREAK TYPE.
 5. ALL POWER SHUTDOWN AND MODIFICATION OF EXISTING PANELS SHALL BE CARRIED OUT AT NIGHT TIME. ALLOW PREMIUM LABOUR RATES IN THE CONTRACT.
- 24.0 COMMUNICATION SYSTEMS**
1. PROVIDE BLANK COVER PLATES, SINGLE 1104 BOX WITH A DRYWALL MUD RING FOR A SINGLE FACEPLATE AND 1" EMPTY CONDUITS COMPLETE WITH PULL STRING STUBBED UP TO CEILING SPACE FOR THE NEW VOICE/DATA OUTLETS.
 2. ALL TELECOMMUNICATION CABLES SHALL BE FT-6 RATED.
 3. ALL ABANDONED TELECOMMUNICATIONS LEFT IN THE CEILING SPACE TO BE REMOVED BY ELECTRICAL CONTRACTOR.
 4. MOUNT TELEPHONE, VIDEO INTERCOMS, AND OTHER COMMUNICATION DEVICES HIGH ENOUGH TO NOT HAVE LOOSE CABLING FROM DEVICES WITHIN A CHILD'S REACH. REVIEW CUT SHEETS PRIOR TO INSTALLATION, AND COORDINATE FINAL MOUNTING LOCATION WITH ARCHITECT.

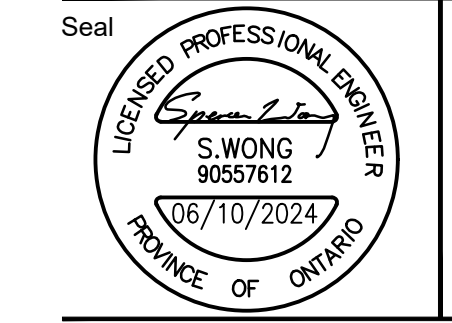


KEY PLAN

No.	Revision	Date	By
3.	ISSUED FOR BUILDING PERMIT	June 10, 24	A.S.
2.	ISSUED FOR TENDER	May 13, 24	A.S.
1.	ISSUED FOR 90% CLIENT REVIEW	Apr. 01, 24	A.S.

Drawing Notes

1. All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
2. These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
3. Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
Upper Yonge Village Daycare Centre
 14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title
 ELECTRICAL SPECIFICATION

Drawn By	A.S.	Scale	AS NOTED
Designed By	J.W.	Date	March, 2024
RJC Project Number	TOR.122940.0001		
Sheet Number	Revision		

E-1A

GENERAL ELECTRICAL NOTES:

- ALL WORK IN THIS CONTRACT SHALL CONFORM TO THE REQUIREMENTS OF LATEST ONTARIO BUILDING CODE AND ONTARIO ELECTRICAL SAFETY CODE INCLUDING ALL AMENDMENTS AND REVISIONS.
- EXAMINE THE SITE, EXISTING EQUIPMENT AND LOCAL CONDITIONS AFFECTING THE WORK. REPORT ANY FORESEEABLE PROBLEMS, INTERFERENCE'S AND CONFLICTS DUE TO SITE CONDITIONS, REPORT TO ENGINEER TO OBTAIN INSTRUCTIONS. NO ALLOWANCE WILL BE MADE SUBSEQUENTLY FOR CONSIDERATIONS BECAUSE THEY WERE OVERLOOKED.
- PROVIDE ALL MATERIAL, EQUIPMENT, SUPERVISION AND LABOUR TO COMPLETE THE ELECTRICAL WORK AS SHOWN ON DRAWINGS.
- UNLESS INSTRUCTED OTHERWISE, CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
- CONTRACTOR TO PROVIDE EMERGENCY LIGHTING SYSTEMS AND LIFE SAFETY REQUIREMENTS ENSURING THAT THE SYSTEM CONFORMS TO ONTARIO BUILDING CODE AND ALL REQUIREMENTS AND REGULATIONS OF LOCAL AUTHORITIES.
- READ THE ELECTRICAL DRAWINGS IN CONJUNCTION WITH ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS. REPORT ANY DISCREPANCIES AND OR DISAGREEMENTS TO THE ENGINEER FOR CLARIFICATIONS AND INSTRUCTIONS.
- MAINTAIN ALL OPERATIONAL BUILDING SERVICES. THE SHUT DOWN OF SERVICES SHALL ONLY TAKE PLACE AS AUTHORIZED BY LANDLORD/CLIENT. ALLOW PREMIUM LABOUR RATE TO CARRY OUT THE POWER SHUTDOWN AND ASSOCIATED WORK.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL ELECTRICAL WORK INCLUDING CABLE INSTALLERS, COMMUNICATIONS, DATA, SECURITY AND OTHER ELECTRICAL SUBTRADES, AND SHALL SCHEDULE TRADES AS REQUIRED.
- COORDINATE THE WORK WITH ALL TRADES. ELECTRICAL SERVICES SHALL BE INSTALLED TO FACILITATE MECHANICAL, ARCHITECTURAL AND STRUCTURAL FEATURES.
- CARRY OUT WORK IN ACCORDANCE WITH THE BUILDING STANDARDS. COMPLY WITH ALL BUILDING REGULATIONS AND REQUIREMENTS.
- THE ELECTRICAL ENGINEER'S DRAWINGS AND SPECIFICATIONS SHALL GOVERN, WITH THE EXCEPTION OF THE LOCATION OF FIXTURES, OUTLETS, SWITCHES, DEVICES AND OPENINGS NOTED AND DIMENSIONED ON THE DESIGN DRAWINGS. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER, PRIOR TO PROCEEDING WITH THE WORK OR SUBMITTING QUOTES.
- ALL OUTLETS, SWITCHES, DEVICES, FIXTURES AND OPENINGS ARE DIMENSIONED TO CENTER OF OUTLET BOX UNLESS OTHERWISE NOTED. USE MULTI-GANGED OUTLET BOXES WITH COMMON FACEPLATES WHEREVER POSSIBLE UNLESS DIMENSIONED AS SEPARATE ON ARCHITECTURAL DRAWINGS. REPORT ANY DISCREPANCIES OR QUERIES IMMEDIATELY TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- ALL ELECTRICAL WIRING SHALL BE ENCLOSED IN CONDUIT. BX CABLES ARE ONLY ALLOWED FOR THE DROPS TO THE LIGHTING FIXTURES AND RECEPTACLES AS STATED IN THE SPECIFICATIONS.
- ALL WIRING SHALL BE SIZED A MINIMUM OF #12 AWG COPPER CONDUCTOR. BRANCH CIRCUITS RUNNING FROM THE SOURCE PANEL EXCEEDING 22M SHALL BE #10 AWG WIRING OR LARGER TO THE FIRST ELECTRICAL DEVICE IN ORDER TO MAINTAIN THE VOLTAGE DROP IN THE BRANCH CIRCUITS NOT EXCEEDING 3% OF THE RATED VOLTAGE.
- UNLESS OTHERWISE SPECIFIED, ALL DEVICE AND COMPONENTS SHOWN ON THE ELECTRICAL DRAWINGS SHALL BE BRAND NEW ITEMS, SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR.
- ALL LIGHTING SWITCHES AND CONTROL SWITCHES SHALL BE INSTALLED AT 1065MM (42") FROM THE CENTRAL OF SWITCHES TO THE FINISHED FLOOR LEVEL.

GENERAL DEMOLITION NOTES:

- VISIT THE SITE AND EXAMINE EXISTING CONDITIONS AND ALL TENDERING DOCUMENTS, DRAWINGS AND SPECIFICATIONS. MAKE ALL NECESSARY ALLOWANCES IN TENDER PRICE FOR REMOVAL, RELOCATION, REROUTING, RECONNECTION OF EXISTING ELECTRICAL EQUIPMENT AND WIRING AS MAY BE NECESSARY FOR THE EXECUTION OF WORK. ALL CHANGES MADE LATER, INCLUDING ANY EXPENSE INCURRED BY THIS TRADE DUE TO FAILURE TO MAKE THIS EXAMINATION, SHALL BE ABSORBED BY THE CONTRACTOR.
- REMOVE AND/OR RELOCATE AND REINSTALL ALL WIRING (LIGHTING, POWER, TELECOMMUNICATION, DATA, SECURITY, AND FIRE ALARM CABLES), FIXTURES AND EQUIPMENT AS NECESSARY TO ACCOMMODATE ARCHITECTURAL AND STRUCTURAL ALTERATIONS AS INDICATED ON THE DRAWINGS. WIRING LOCATED IN AREAS BEING ALTERED OR DEMOLISHED, BUT FEEDING OUTLETS OR EQUIPMENT REQUIRED TO REMAIN IN SERVICE SHALL BE REROUTED AS REQUIRED TO MAINTAIN CONTINUITY OF THESE SERVICES.
- OBSOLETE CONDUITS AND CABLES (LIGHTING, POWER, TELECOMMUNICATION, DATA, SECURITY, AND FIRE ALARM SYSTEMS) SHALL BE DISCONNECTED FROM THEIR SOURCE PANELS AND BE REMOVED. MAKE SAFE TO ALL ELECTRICAL CIRCUITS. UNLESS OTHERWISE SPECIFIED, ALL EXISTING LIGHTING FIXTURES, EXIT LIGHTS, RECEPTACLES AND VOICE/DATA OUTLETS NOT SHOWN ON NEW ELECTRICAL LAYOUT PLAN SHALL BE CONSIDERED AS 'OBSOLETE'.
- ALL EXISTING EQUIPMENT AND MATERIAL NOT REQUIRED IN FINAL INSTALLATION SHALL BE CONSIDERED AS OBSOLETE AND SHALL BE CAREFULLY REMOVED, DISPOSED OF OR HANDED OVER TO THE OWNER IF REQUIRED. CONSULT OWNER PRIOR TO DISPOSAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL EXISTING WIRING IN THE WORKING AREA AND MAINTAIN THE POWER TO THE SERVICES WHICH REMAIN IN SERVICE. FOR THOSE CIRCUITS/WIRING DEVICES INDICATED WITH 'TO REMAIN', THE EXISTING WIRING CAN BE RETAINED UNLESS OTHERWISE SPECIFIED.
- WHENEVER THE EXISTING ELECTRICAL DEVICE IS REMOVED FROM ITS PRESENT LOCATION OR REINSTALLED ELSEWHERE, REMOVE REDUNDANT CONDUIT BOXES, CABLES, FIXTURES, ETC. AND ALL CABLES SHALL BE PROPERLY TERMINATED AND INSULATED TO RESTORE THE SYSTEM TO A SAFE CONDITION SATISFACTORY TO THE ENGINEER AND ESA INSPECTOR.
- ALL ABANDONED ELECTRICAL WIRING AND OTHER CABLES LEFT IN THE CEILING SPACE SHALL BE REMOVED BY THE ELECTRICAL CONTRACTOR.
- BEFORE THE COMMENCEMENT OF REMOVAL OF ANY ELECTRICAL DEVICES AND EQUIPMENT ON SITE SUCH AS LIGHTING FIXTURES, RECEPTACLES, FIRE ALARM DEVICES ETC., ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO RECONFORM WITH THE CLIENT THAT THEY HAVE NO OBJECTION TO THE REMOVAL OF THE ABOVE ELECTRICAL DEVICES. FAILING TO GO THROUGH THE ABOVE CONFIRMATION, ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THE COST OF REINSTATING THE REMOVED ELECTRICAL DEVICES AND EQUIPMENT AS REQUESTED BY THE CLIENT.
- ELECTRICAL CONTRACTOR SHALL ENSURE AT LEAST ONE SMOKE DETECTOR AND ONE FIRE ALARM HORN IS FUNCTIONAL AND PROTECTED IN EACH DEMOLITION AREA DURING THE CONSTRUCTION PERIOD. EVERY DAY UNTIL COMPLETION OF THE PROJECT, THESE FIRE ALARM DEVICES SHALL BE COVERED AND PROTECTED DURING CONSTRUCTION HOURS, AND COVERS SHALL BE REMOVED BEFORE CONSTRUCTION WORKERS LEAVE THE SITE IN ORDER TO ENSURE ALL DEMOLITION AREAS ARE PROTECTED DURING NIGHT TIME. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL SMOKE DETECTORS AND FIRE ALARM HORNS IF NECESSARY, INCLUDING WIRING/CONDUITS TO SUIT.

GENERAL CONDUIT NOTE:

ALL CONDUITS IN NEW PARTITIONS TO BE CONCEALED; ALL CONDUITS WITHIN EXISTING FRAME WALLS TO BE CONCEALED; SURFACE MOUNTED CONDUIT IS ONLY ACCEPTABLE WHEN INSTALLED ON EXISTING MASONRY/CONCRETE WALLS/CEILINGS AND APPROVED BY ARCHITECT. PAINT ALL EXPOSED CONDUITS TO MATCH EXISTING SURROUNDINGS. CONDUITS SHALL BE CONCEALED IN ALL OTHER LOCATIONS.

POWER NOTES:

- ALL WIRING SHALL BE ENCLOSED INSIDE THE CONDUIT. BX CABLES ARE ONLY ACCEPTED FOR THE CABLE DROPS TO THE RECEPTACLES AND LIGHTING FIXTURES IN THE AREAS WITH T-BAR/DRY WALL CEILING ONLY AS STATED IN THE SPECIFICATIONS.
- THE ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL JUNCTION BOXES, DEVICES, PULL STRINGS AND ALL CONDUITS AS REQUIRED BY THE BUILDING CODE AND ONTARIO ELECTRICAL SAFETY CODE FOR ELECTRICAL WIRING AND VOICE AND DATA CABLES.
- ALL POWER, VOICE AND DATA JUNCTION BOXES ARE TO BE RECESSED IN THE PARTITION WALLS. COORDINATE WITH GENERAL CONTRACTOR FOR ALL CUTTING AND PATCHING.
- ALL OUTLET BOXES SHALL BE STAGGERED IN PARTITION AT LEAST 8" APART (NOT BACK TO BACK) AS REQUIRED TO ENSURE THAT CONTINUOUS SOUND ATTENUATION BATTIS CAN BE INSTALLED WITHOUT INTERRUPTION.
- ALL OUTLETS TO BE MOUNTED AT 16" TO CENTRE ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED OR OTHERWISE COORDINATED WITH THE ARCHITECT.
- VOICE AND DATA CABLES AND OUTLETS TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR. PROVIDE EMPTY CONDUITS, DRAW WIRES AND BASE BOXES FOR THE TELECOMMUNICATION CABLES FROM THE OUTLETS UP TO THE CEILING SPACE.
- ALL WIRING DEVICES SHALL BE SPECIFICATION GRADE, WHITE COLOUR, DECORA STYLE. ALL COVERPLATES TO BE STAINLESS STEEL COLOUR DECORA STYLE BY ELECTRICAL CONTRACTOR.
- ALL RECEPTACLES SHALL BE WHITE COLOUR, DECORA STYLE. ALL COVERPLATES TO BE STAINLESS STEEL COLOUR DECORA STYLE BY ELECTRICAL CONTRACTOR.
- PROVIDE CIRCUIT BREAKERS IN ELECTRICAL PANELS TO FEED ALL LIGHTING/POWER CIRCUITS AS PER PANEL SCHEDULE.
- PROVIDE SEPARATE NEUTRAL FOR EACH POWER CIRCUIT. NO COMMON NEUTRAL IS ALLOWED IN THIS PROJECT.
- ALL SCANNING AND CORE DRILLING THROUGH SLABS/WALLS FOR CONDUIT PENETRATIONS SHALL BE CARRIED OUT BY ELECTRICAL CONTRACTOR. PROVIDE FIRE STOP TO SEAL ALL GAPS BETWEEN CONDUITS AND OPENINGS. SCANS TO BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO CORE DRILLING. CORE DRILLING IS ONLY PERMITTED WHERE APPROVED BY THE STRUCTURAL ENGINEER.
- PROVIDE PERMITTED LABEL ON THE FACEPLATE OF EACH RECEPTACLE TO INDICATE THE CORRECT CIRCUIT NUMBER AND PANEL NAME.

LEGEND	
SYMBOL	DESCRIPTION
	DIRECT CONNECTION
	MOTOR AND DISCONNECT SWITCH
	DIRECT CONNECTION AND DISCONNECT SWITCH
	MOTOR AND DIRECT CONNECTION
	DISCONNECT SWITCH
	1.0KW OR 2.0KW ELECTRIC FORCE FLOW HEATER
	1.0KW ELECTRIC BASEBOARD HEATER
	SURFACE MOUNTED ELECTRICAL PANEL
	NEW DISABLE DOOR BAR-STYLE PUSH BUTTON
	NEW DISABLE DOOR PUSH BUTTON
	AUTOMATIC DOOR OPENER
	DOOR CONTACT
	ELECTRIC STRIKE
	PUSH TO LOCK BUTTON
	EMERGENCY CALL SYSTEM
	AUDIBLE SIGNAL STATION FOR EMERGENCY CALL SYSTEM (INSIDE)
	VISUAL SIGNAL STATION FOR EMERGENCY CALL SYSTEM (OUTSIDE)
	FIRE ALARM HORN/STROBE
	ADDRESSABLE FIRE ALARM PULL STATION
	ADDRESSABLE SMOKE DETECTOR
	ADDRESSABLE HEAT DETECTOR
	SIREN TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR
	PASSIVE INFRARED PROXIMITY SENSOR TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR
	REQUEST TO EXIT SENSOR TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR
	SECURITY CAMERA
	AIPHONE VIDEO SUB-MASTER INTERCOM STATION
	AIPHONE VIDEO MASTER INTERCOM STATION BY BELL ALL 3 ITEMS
	AIPHONE VIDEO DOOR STATION
	SECURITY TOUCHSCREEN KEYPAD FOR SECURITY SYSTEM
	KEYPAD
	CARD READER
	CARD READER C/W KEYPAD
	MAGLOCK
	DOOR RELEASE BUTTON
	GLASS BREAK SENSOR
	WINDOW CONTACT
	VISUAL AUDIBLE SIGNAL
	MOTORIZED DAMPER
	LOW VOLTAGE TRANSFORMER
	WHITE COLOUR 'DECORA' STYLE TELEPHONE OUTLET
	WHITE COLOUR 'DECORA' STYLE DATA OUTLET
	WHITE COLOUR 'DECORA' STYLE DATA/VOICE OUTLET
	NEW 120V WHITE COLOUR SINGLE CHANNEL DUAL TECHNOLOGY OCCUPANCY SENSOR WALL SWITCH C/W VANDAL RESISTANT LENS AND STAINLESS STEEL COVERPLATE. SENSOR SWITCH, CAT# WSX-PDT-347V-IV
	ELECTRICAL DEVICE TO BE REMOVED

LIGHTING FIXTURE/EQUIPMENT SCHEDULE

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL	MOUNT	LAMPS	LAMP WATTAGE	NOTES
	120V, 3200 LUMENS, 4000K, 2'X2' METALLUX CRUZE ST 22C2Z LED TROFFER	COOPER	22C2Z-32-UNV-L840-CD1-U	RECESSED MOUNT	-	24.2W	C/W 0-10V DIMMING DRIVER
	120V, 3900 LUMENS, 4000K, 2'X2' METALLUX CRUZE ST 22C2Z LED TROFFER	COOPER	22C2Z-39-UNV-L840-CD1-U	RECESSED MOUNT	-	31.0W	C/W 0-10V DIMMING DRIVER
	120V, 5000 LUMENS, HIGH EFFICACY, 4000K, 2'X2' METALLUX CRUZE ST 22C2Z LED TROFFER	COOPER	22C2Z-50VHE-UNV-L840-CD1-U	RECESSED MOUNT	-	36.2W	C/W 0-10V DIMMING DRIVER
	120V, 1000 LUMENS, 4000K, 4" LED DOWNLIGHT C/W POWER MODULE, HOUSING, AND TRIM	COOPER	LD4B10D010/EU4B10208040/4LB1W2H	RECESSED MOUNT	-	11.0W	C/W 0-10V DIMMING DRIVER WIDE LIGHTING DISTRIBUTION
	120V, 1500 LUMENS, 4000K, 4" LED DOWNLIGHT C/W POWER MODULE, HOUSING, AND TRIM	COOPER	LD4B15D010/EU4B10208040/4LBW2H	RECESSED MOUNT	-	15.5W	C/W 0-10V DIMMING DRIVER WIDE LIGHTING DISTRIBUTION
	120V, 2000 LUMENS, 4000K, 4" LED DOWNLIGHT C/W POWER MODULE, HOUSING, AND TRIM	COOPER	LD4B20D010/EU4B30508040/4LBW2H	RECESSED MOUNT	-	21.2W	C/W 0-10V DIMMING DRIVER WIDE LIGHTING DISTRIBUTION
	120V, 250 LUMENS UP (PER FOOT) & 500 LUMENS DOWN (PER FOOT), 4000K, CORELITE-CONTINUA S04 SUSPENDED DIRECT/INDIRECT LIGHT FIXTURE	COOPER	S04-F-025U-0500-840-20-UNV-STD-W-AC48-4	SUSPENDED	-	5.5W/FT	C/W 0-10V DIMMING DRIVER SUSPENDED THE LIGHT FIXTURES IN 8' CONTINUOUS AND 12' CONTINUOUS AS SHOWN ON DRAWING. EXACT SUSPENDED HEIGHT TO BE CONFIRMED ON SITE. FIELD CUT THE AIRCRAFT CABLES TO SUIT.
	120V, 5420 LUMENS, 4000K, 4' DIMMABLE LED LINKABLE WRAPAROUND FIXTURE	STANPRO	L2WMG-48-1-G2	SURFACE MOUNT ON CEILING	-	47.0W	
	120V, 6000 LUMENS, 4000K, 4' ROUGH SERVICE LED LIGHT FIXTURE	LITHONA	VAP-600LM-FST-MO-MVOLT-G210-40K-80CRI	SURFACE MOUNT ON CEILING	-	49.0W	
	1148 LUMENS PER M OR 350 PER FT, 5M, LEGEND ADJUSTABLE, BEST WET LOCATION, 4000K LED TAPE LIGHT C/W EXTRUSION, LENS, DRIVER, AND ALL ACCESSORIES	STANPRO	LIGHT: TAPE/16.4'/2.9W/40K/24V/PE67/120/8MM/STD EXTRUSION: EXTRUSION/100/8'ALUM/STD LENS: LENS/S/PROSTED/STD ACCESSORIES: END CAP, FIXING CLIP, CONNECTOR, ETC.. TO BE DETERMINED ON SITE. 96W, 24V LED DRIVER: LED/DRIVER/96W/24V/HW/D/STD	SURFACE MOUNT UNDER-CABINET	-	2.9W/FT	REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LENGTH. ELECTRICAL CONTRACTOR SHALL CUT LIGHTING AND EQUIPMENT TO SUIT. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL EQUIPMENT AS NECESSARY. EXACT ACCESSORIES TO BE DETERMINED ON SITE. FORWARD AND REVERSE PHASE DIMMING. EXACT LOCATION OF LED DRIVER TO BE DETERMINED ON SITE.
	120V, 1396 LUMENS, 3000K, LUMARK XTOR CROSSTOUR LED WALL PACK	COOPER	XTOR1B-Y-8K	SURFACE MOUNT ON EXTERIOR WALL	-	12.2W	MOUNT ABOVE WINDOWS AND DOORS. CONTROLLED BY PHOTOCELL.
	120V, 9474 LUMENS, 5000K, TYPE 4 LIGHTING DISTRIBUTION DOUBLE HEAD POLE LIGHT AT 90 DEGREES C/W INTEGRATED BLUE TOOTH MOTION AND PHOTOCELL SENSOR. THE FIXTURE SHALL COME WITH 10KV SURGE PROTECTION AND HAVE ZERO UPLIGHT. COMPONENTS SHOULD BE FULLY POTTED FOR MOISTURE RESISTANCE. THE DRIVER MUST BE PROTECTED AGAINST OVER/UNDER-VOLTAGE, SHORT CIRCUIT, AND OVER-TEMPERATURE	LSI INDUSTRIES INC	MRS-LED-09L-SIL-4-UNV-DIM-50-70CRI-MSBT1	MOUNTED ON TOP OF POLE	-	2x63W	PROVIDE 15 FEET HIGH, 4"x4" SQUARE ALUMINUM LIGHT POLE WITH 2090' TENON ADAPTER MOUNTED ON LIGHT POLE FOOTING AND STRUCTURE TO BE SUPPLIED AND INSTALLED BY STRUCTURAL CONTRACTOR. REFER TO STRUCTURAL DRAWINGS. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL LIGHT POLE AND MOUNTING ADAPTER. PROVIDE MOTION SENSOR FOR DIMMING OPERATION AND DIM TO 30% LUMENS OUTPUT WHEN NO MOTION IS DETECTED WITHIN 20 MINUTES.
	120V, 12623 LUMENS, 5000K, TYPE 4 LIGHTING DISTRIBUTION SINGLE HEAD POLE LIGHT C/W INTEGRATED BLUE TOOTH MOTION AND PHOTOCELL SENSOR. THE FIXTURE SHALL COME WITH 10KV SURGE PROTECTION AND HAVE ZERO UPLIGHT. COMPONENTS SHOULD BE FULLY POTTED FOR MOISTURE RESISTANCE. THE DRIVER MUST BE PROTECTED AGAINST OVER/UNDER-VOLTAGE, SHORT CIRCUIT, AND OVER-TEMPERATURE	LSI INDUSTRIES INC	MRS-LED-12L-SIL-4-UNV-DIM-50-70CRI-MSBT1	MOUNTED ON TOP OF POLE	-	2x57.6W	PROVIDE 15 FEET HIGH POLE, 4"x4" SQUARE ALUMINUM LIGHT POLE WITH ADAPTER MOUNTED ON LIGHT POLE FOOTING AND STRUCTURE TO BE SUPPLIED AND INSTALLED BY STRUCTURAL CONTRACTOR REFER TO STRUCTURAL DRAWINGS. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL LIGHT POLE AND MOUNTING ADAPTER. PROVIDE MOTION SENSOR FOR DIMMING OPERATION AND DIM TO 30% LUMENS WHEN NO MOTION IS DETECTED WITHIN 20 MINUTES.
	120V, 900 LUMENS, 4000K WASHROOM VANITY LIGHT	COOPER	28CLED-LD4-BSL-F-UNV-840-CD1-U	WALL MOUNT ABOVE CHANGE TABLE	-	10W	
	WET LOCATION AND VANDAL RESISTANT RUNNING MAN FORTEZZA RM SELF-POWERED SINGLE FACE CEILING EXIT SIGN	BEHELUC/ BEHELLI	FTZ-RM-HT-L-U-OLR-M-F-WW-120SP	CEILING MOUNT/ WALL MOUNT	-	2W	MOUNT ABOVE THE MIRROR IN THE WASHROOM; 120 MIN. EMERGENCY BACK UP; MOUNT TO BE CONFIRMED ON SITE; SECURE TO CEILING/WALL
	DOUBLE HEADS REMOTE EMERGENCY LIGHT C/W 2x12V, 5W MR16 LED LAMPS	BEHELUC/ BEHELLI	BTMR2-12V-5W-WH	CEILING MOUNT/ WALL MOUNT	LED-MR16: 12V, 5W	10W	-
	EMERGENCY BATTERY UNIT C/W 2x12V, 5W MR16 LED LAMPS WITH AUTO-TEST FUNCTION	BEHELUC/ BEHELLI	SEE EMERGENCY BATTERY UNIT SCHEDULE	WALL MOUNT	LED-MR16: 12V, 5W	10W	AUTO-TEST; REFER TO EMERGENCY BATTERY UNIT SCHEDULE FOR THE CAPACITY OF THE EMERGENCY BATTERY UNIT. ENERGIZE THE BATTERY UNIT AT 1:00AM

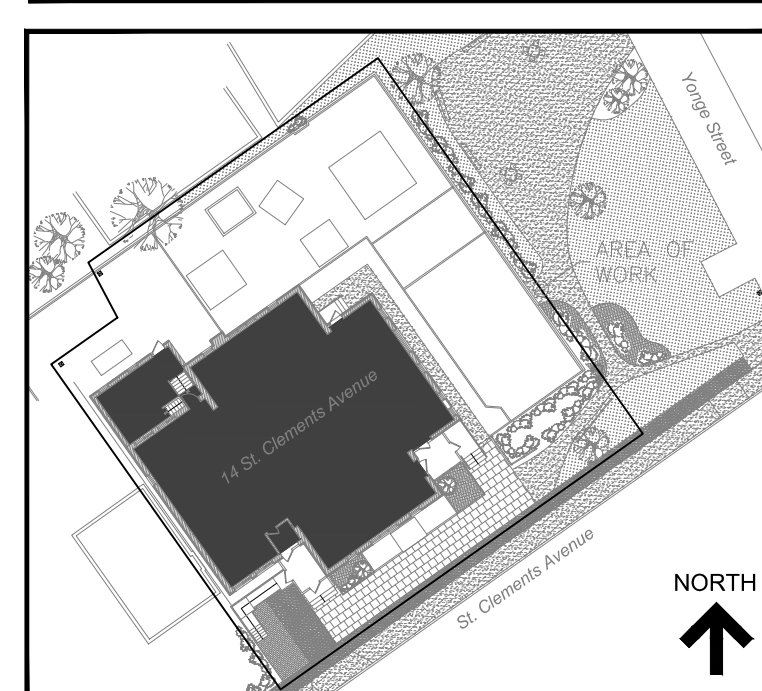
NOTES: ALL RECESSED TROFFERS AND DOWNLIGHTS INSTALLED ON T-BAR CEILING SHALL BE CHAIN HUNG FROM CEILING STRUCTURES. L8A FIXTURE SHALL HAVE A LOW PROFILE (h=27) TO ACCOMMODATE LOW BASEMENT HEIGHT. ELECTRICAL CONTRACTOR CAN PROPOSE CONSULTANT-APPROVED ALTERNATIVE THAT MUST BE SENT TO CONSULTANT FOR APPROVAL PRIOR TO SUPPLY OF ALTERNATIVE LIGHT FIXTURES. ENSURE ALTERNATIVES ARE COMPATIBLE WITH THE LIGHTING CONTROL SYSTEM. ELECTRICAL CONTRACTOR TO SUBMIT PHOTOMETRIC CALCULATIONS FOR THE OUTDOOR LIGHTING BY THE PROPOSED OUTDOOR LIGHTING MANUFACTURER TO ENGINEER FOR APPROVAL.

LEGEND	
SYMBOL	DESCRIPTION
	15A, 125V, TAMPER RESISTANT/CHILD PROOF, WHITE 'DECORA' DUPLEX RECEPTACLE C/W STAINLESS STEEL COVERPLATE TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR
	15A, 125V, TAMPER RESISTANT/CHILD PROOF, WHITE 'DECORA' DUPLEX RECEPTACLE C/W STAINLESS STEEL COVERPLATE TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR (ABOVE COUNTER)
	20A, 125V, T-SLOT, TAMPER RESISTANT/CHILD PROOF, WHITE 'DECORA' DUPLEX RECEPTACLE C/W STAINLESS STEEL COVERPLATE TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR (ABOVE COUNTER)
	20A, 125V, T-SLOT, TAMPER RESISTANT/CHILD PROOF, WHITE 'DECORA' DUPLEX RECEPTACLE C/W STAINLESS STEEL COVERPLATE TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR
	20A, 125V, T-SLOT, GFCI, TAMPER RESISTANT/CHILD PROOF, WHITE 'DECORA' DUPLEX RECEPTACLE C/W STAINLESS STEEL COVERPLATE TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR
	20A, 125V, T-SLOT, GFCI, TAMPER RESISTANT/CHILD PROOF, WHITE 'DECORA' DUPLEX RECEPTACLE C/W STAINLESS STEEL COVERPLATE TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR (ABOVE COUNTER)
	20A, 125V, T-SLOT, GFCI, TAMPER RESISTANT/CHILD PROOF, WHITE 'DECORA' DUPLEX RECEPTACLE C/W STAINLESS STEEL COVERPLATE WEATHERPROOF AND LOCKABLE COVER TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR
	50A, 125/250V, NEMA 14-50R RECEPTACLE INSTALLED AT 5' AFFL UNLESS NOTED OTHERWISE TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR
	30A, 250V, NEMA 6-30R RECEPTACLE INSTALLED AT 5' AFFL UNLESS NOTED OTHERWISE TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR
	4-PLEX RECEPTACLE 2x15A, 125V, TAMPER RESISTANT/CHILD PROOF, WHITE 'DECORA' DUPLEX RECEPTACLE C/W 2-GANG STAINLESS STEEL COVERPLATE TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR

EMERGENCY BATTERY UNIT SCHEDULE

TAG	WATTAGE	INPUT VOLTAGE	MANUFACTURER/MODEL
EBU-1	250W, 12V	120V	BEGHELLI LIGHTING CAT# NW-12-250-28TMR-5W,12V-AT
EBU-2	250W, 12V	120V	BEGHELLI LIGHTING CAT# NW-12-250-28TMR-5W,12V-AT
EBU-3	250W, 12V	120V	BEGHELLI LIGHTING CAT# NW-12-250-28TMR-5W,12V-AT
EBU-4	360W, 12V	120V	BEGHELLI LIGHTING CAT# NW-12-360-28TMR-5W,12V-AT

NOTE: ELECTRICAL CONTRACTOR SHALL POWER UP ALL THE EMERGENCY BATTERY UNITS (EBU-1 TO EBU-4) AT 1:00AM SO THAT THE AUTO-TEST OF EMERGENCY BATTERY UNITS WILL BE CARRIED OUT AT 1:00AM.



KEY PLAN

No.	Revision	Date	By
3.	ISSUED FOR BUILDING PERMIT	June 10, 24	A.S.
2.	ISSUED FOR TENDER	May 13, 24	A.S.
1.	ISSUED FOR 90% CLIENT REVIEW	Apr. 01, 24	A.S.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
Upper Yonge Village Daycare Centre
 14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

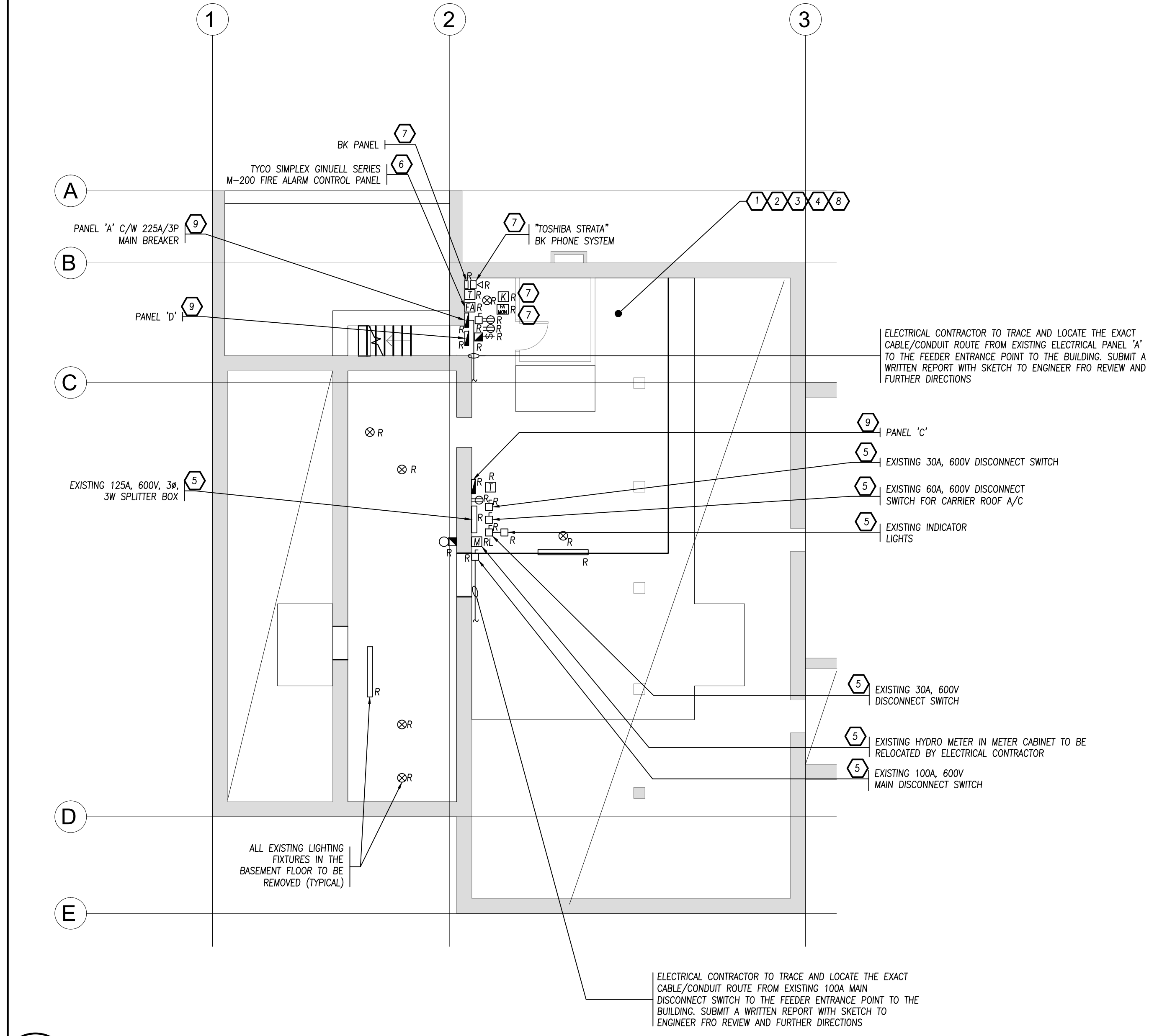
Sheet Title

LEGENDS AND GENERAL NOTES

Drawn By **A.S.** Scale **AS NOTED**
 Designed By **J.W.** Date **March, 2024**

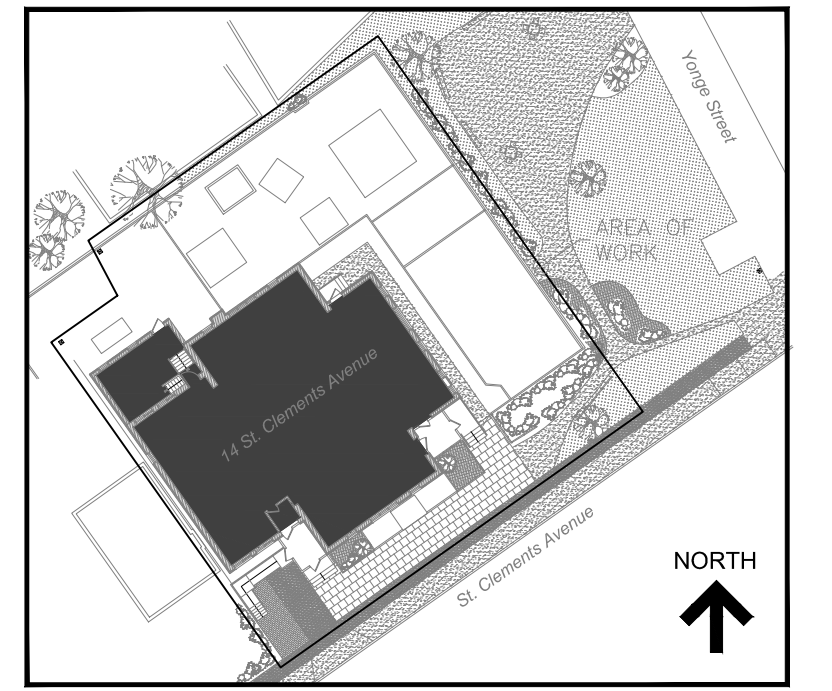
RJC Project Number **TOR.122940.0001**

Sheet Number **E-1B** Revision



1 BASEMENT FLOOR - DEMOLITION ELECTRICAL LAYOUT
E-2
 SCALE: 1/8" = 1'-0"

- DRAWING NOTES:**
- 1 EXISTING DRYWALL CEILING AT NOTED AREA OF DEMOLITION IN THE BASEMENT FLOOR WILL BE DEMOLISHED BY GENERAL CONTRACTOR. REFER TO ARCHITECTURAL DRAWING FOR DETAILS. ELECTRICAL CONTRACTOR SHALL DISCONNECT AND REMOVE ALL THE EXISTING FIXTURES AND DEVICES, ETC. INSTALLED ON THE DRYWALL CEILING IN NOTED AREA INCLUDING ALL ASSOCIATED WIRING/CONDUITS BACK TO THE SOURCE ELECTRICAL/FIRE/SECURITY/PATCH/BX PANELS. MAKE SAFE ALL ELECTRICAL CIRCUITS. ELECTRICAL CONTRACTOR SHALL TAKE NOTE THAT NOT ALL THE EXISTING FIXTURES AND DEVICES SUCH AS LIGHT FIXTURES, FIRE ALARM DEVICES, EXIT SIGNS, EMERGENCY REMOTE HEADS, EMERGENCY BATTERY PACKS, CAMERAS, ETC. ARE NECESSARY TO BE SHOWN ON THE ELECTRICAL DRAWINGS. EXACT QUANTITY AND LOCATIONS OF EXISTING FIXTURES AND DEVICES TO BE REMOVED SHALL BE VERIFIED ON SITE BY ELECTRICAL CONTRACTOR PRIOR TO TENDER CLOSING. NO EXTRA COSTS WILL BE ENTERTAINED RELATING TO ELECTRICAL DEMOLITION WORK IN THIS CONTRACT.
 - 2 EXISTING PARTITION WALLS AT NOTED AREA OF DEMOLITION IN THE BASEMENT FLOOR WILL BE DEMOLISHED BY GENERAL CONTRACTOR. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS. ELECTRICAL CONTRACTOR SHALL DISCONNECT AND REMOVE ALL EXISTING FIXTURES AND DEVICES, ETC. INSTALLED ON THE PARTITION WALLS IN NOTED AREA INCLUDING ALL ASSOCIATED WIRING/CONDUITS BACK TO THE SOURCE ELECTRICAL/FIRE/SECURITY/PATCH/BX PANELS. MAKE SAFE ALL ELECTRICAL CIRCUITS. ELECTRICAL CONTRACTOR SHALL TAKE NOTE THAT NOT ALL THE EXISTING FIXTURES AND DEVICES SUCH AS RECEPTACLES, VOICE/DATA OUTLETS, SWITCHES, FIRE ALARM DEVICES, EXIT SIGNS, EMERGENCY REMOTE HEADS, EMERGENCY BATTERY PACKS, CAMERAS, ETC. ARE NECESSARY TO BE SHOWN ON THE ELECTRICAL DRAWINGS. EXACT QUANTITY AND LOCATIONS OF EXISTING FIXTURES AND DEVICES TO BE REMOVED SHALL BE VERIFIED ON SITE BY ELECTRICAL CONTRACTOR PRIOR TO TENDER CLOSING. NO EXTRA COSTS WILL BE ENTERTAINED RELATING TO ELECTRICAL DEMOLITION WORK IN THIS CONTRACT.
 - 3 EXISTING INNER SIDE OF EXTERIOR WALLS IN THE BASEMENT FLOOR TO REMAIN. ELECTRICAL CONTRACTOR SHALL DISCONNECT AND REMOVE ALL EXISTING FIXTURES AND DEVICES, ETC. INSTALLED ON THE INNER SIDE OF EXTERIOR WALL IN NOTED AREA INCLUDING ALL ASSOCIATED WIRING/CONDUITS BACK TO THE SOURCE ELECTRICAL/FIRE/SECURITY/PATCH/BX PANELS. MAKE SAFE ALL ELECTRICAL CIRCUITS. ELECTRICAL CONTRACTOR SHALL TAKE NOTE THAT NOT ALL THE EXISTING RECEPTACLES, FIXTURES AND DEVICES SUCH AS VOICE/DATA OUTLETS, SWITCHES, FIRE ALARM DEVICES, EXIT SIGNS, EMERGENCY REMOTE HEADS, EMERGENCY BATTERY PACKS, CAMERAS, ETC. ARE NOT NECESSARY TO BE SHOWN ON THE ELECTRICAL DRAWINGS. EXACT QUANTITY AND LOCATIONS OF EXISTING FIXTURES AND DEVICES TO BE REMOVED SHALL BE VERIFIED ON SITE BY ELECTRICAL CONTRACTOR PRIOR TO TENDER CLOSING. NO EXTRA COSTS WILL BE ENTERTAINED RELATING TO ELECTRICAL DEMOLITION WORK IN THIS CONTRACT.
 - 4 EXISTING OUTER SIDE OF EXTERIOR WALLS IN THE BASEMENT FLOOR TO REMAIN. ELECTRICAL CONTRACTOR SHALL DISCONNECT AND REMOVE ALL EXISTING FIXTURES AND DEVICES, ETC. INSTALLED ON THE OUTER SIDE OF EXTERIOR WALL IN NOTED AREA INCLUDING ALL ASSOCIATED WIRING/CONDUITS BACK TO THE SOURCE ELECTRICAL/FIRE/SECURITY/PATCH/BX PANELS. MAKE SAFE ALL ELECTRICAL CIRCUITS. ELECTRICAL CONTRACTOR SHALL TAKE NOTE THAT NOT ALL THE EXISTING LIGHT FIXTURES, CAMERAS, ETC. ARE NECESSARY TO BE SHOWN ON THE ELECTRICAL DRAWINGS. EXACT QUANTITY AND LOCATIONS OF EXISTING FIXTURES AND DEVICES TO BE REMOVED SHALL BE VERIFIED ON SITE BY ELECTRICAL CONTRACTOR PRIOR TO TENDER CLOSING. NO EXTRA COSTS WILL BE ENTERTAINED RELATING TO ELECTRICAL DEMOLITION WORK IN THIS CONTRACT.
 - 5 THERE ARE TWO EXISTING ELECTRICAL INCOMING SERVICE INTO THE BUILDING. ONE EXISTING SERVICE IS 200A, 120/240V, 1 PHASE, 3 WIRE SYSTEM AND THE OTHER SERVICE IS 100A, 347/600V, 3 PHASE, 4 WIRE SYSTEM (CONTRACTOR TO VERIFY IF IT IS A 3 PHASE, 4 WIRE OR 3 PHASE, 3 WIRE SYSTEM). THESE EXISTING INCOMING SERVICES WILL REMAIN. ELECTRICAL CONTRACTOR TO COORDINATE WITH TORONTO HYDRO TO RELOCATE AND EXTEND THE EXISTING TWO INCOMING SERVICES TO THE NEW ELECTRICAL ROOM IN THE BASEMENT FLOOR. ELECTRICAL CONTRACTOR SHALL REMOVE ALL ASSOCIATED ELECTRICAL DISTRIBUTION EQUIPMENT, INCLUDING DISCONNECT SWITCHES, ELECTRICAL PANELS, SPLITTER, METER AND WIRING/CONDUITS. COORDINATE WITH TORONTO HYDRO FOR THE DEMOLITION WORK AND POWER RELOCATION WORK.
 - 6 EXISTING FIRE ALARM PANEL TO BE REMOVED, INCLUDING FIRE ALARM ANNUNCIATOR PANEL, FIRE ALARM MONITORING PANEL, ALL FIRE ALARM INITIATING DEVICES, FIRE ALARM SIGNALING DEVICES, AND ASSOCIATED FIRE ALARM WIRING/CONDUITS. ELECTRICAL CONTRACTOR SHALL TAKE NOTE THAT NOT ALL THE EXISTING FIRE ALARM DEVICES ARE NECESSARY TO BE SHOWN ON ELECTRICAL DRAWINGS. EXACT QUANTITY AND LOCATIONS OF EXISTING FIRE ALARM DEVICES TO BE REMOVED SHALL BE VERIFIED ON SITE BY ELECTRICAL CONTRACTOR PRIOR TO TENDER CLOSING. NOT EXTRA COSTS WILL BE ENTERTAINED RELATING TO FIRE ALARM DEMOLITION WORK IN THIS CONTRACT.
 - 7 EXISTING SECURITY PANEL AND PHONE SYSTEM TO BE REMOVED, INCLUDING ASSOCIATED EQUIPMENT AND WIRING/CONDUITS. ELECTRICAL CONTRACTOR SHALL TAKE NOTE THAT NOT ALL THE EXISTING SECURITY EQUIPMENT AND SECURITY DEVICES ARE NECESSARY TO BE SHOWN ON ELECTRICAL DRAWINGS. EXACT QUANTITY AND LOCATIONS OF EXISTING SECURITY EQUIPMENT AND SECURITY DEVICES TO BE REMOVED SHALL BE VERIFIED ON SITE BY ELECTRICAL CONTRACTOR PRIOR TO TENDER CLOSING. NOT EXTRA COSTS WILL BE ENTERTAINED RELATING TO FIRE ALARM DEMOLITION WORK IN THIS CONTRACT.
 - 8 CONFIRM ITEMS, DEVICES, ELEMENTS, ETC. FOR DISPOSAL WITH OWNER PRIOR TO DISPOSAL.
 - 9 EXISTING ELECTRICAL PANELS 'A', 'C' & 'D' IN THE BASEMENT FLOOR TO BE REMOVED. DISCONNECT AND REMOVE THE EXISTING INCOMING POWER FEEDERS/CONDUITS FROM THE SOURCE DISCONNECT SWITCH/CIRCUIT BREAKER AS WELL AS ALL THE ABANDONED ELECTRICAL OUTGOING ELECTRICAL BRANCH CIRCUITS. MAKE SAFE THE ELECTRICAL CIRCUITS.

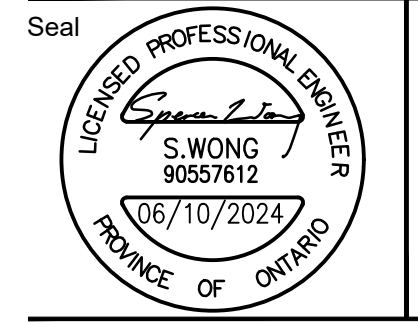


KEY PLAN

No.	Revision	Date	By
3.	ISSUED FOR BUILDING PERMIT	June 10, 24	A.S.
2.	ISSUED FOR TENDER	May 13, 24	A.S.
1.	ISSUED FOR 90% CLIENT REVIEW	Apr. 01, 24	A.S.

Drawing Notes

1. All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJCL") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJCL whether the Work is executed or not, and RJCL reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
2. These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJCL. The work "as constructed" may vary from what is shown on these drawings.
3. Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJCL in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
Upper Yonge Village Daycare Centre
 14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title
 BASEMENT FLOOR
 DEMOLITION ELECTRICAL LAYOUT

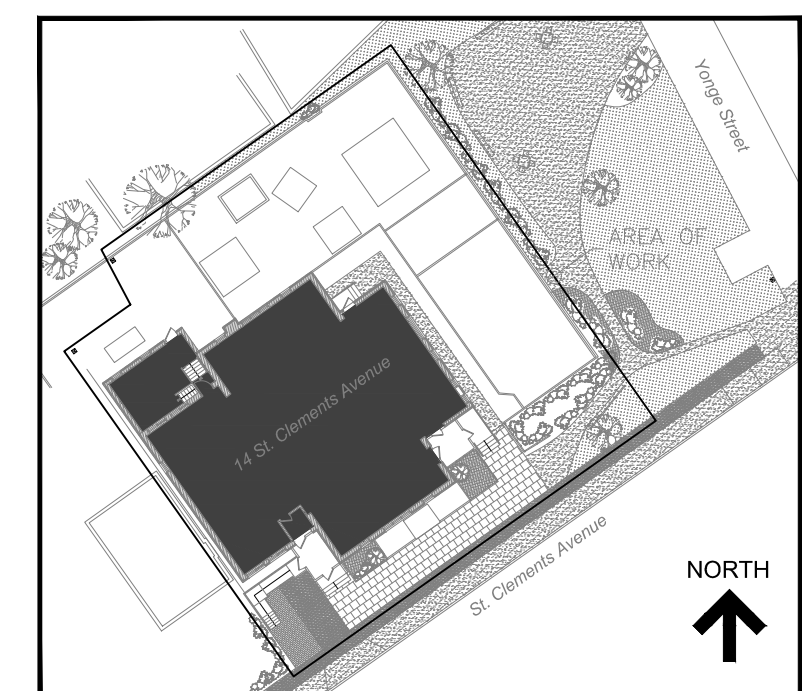
Drawn By **A.S.** Scale **AS NOTED**
 Designed By **J.W.** Date **March, 2024**
 RJC Project Number **TOR.122940.0001**
 Sheet Number Revision



1 MAIN FLOOR - DEMOLITION ELECTRICAL LAYOUT
E-3
SCALE: 1/8" = 1'-0"

DRAWING NOTES:

- 1 EXISTING T-BAR CEILING AND DRYWALL CEILING AT NOTED AREA OF DEMOLITION IN THE GROUND FLOOR WILL BE DEMOLISHED BY GENERAL CONTRACTOR. REFER TO ARCHITECTURAL DRAWING FOR DETAILS. ELECTRICAL CONTRACTOR SHALL DISCONNECT AND REMOVE ALL THE EXISTING FIXTURES AND DEVICES, ETC. INSTALLED ON THE T-BAR CEILING AND/OR DRYWALL CEILING IN NOTED AREA INCLUDING ALL ASSOCIATED WIRING/CONDUITS BACK TO THE SOURCE ELECTRICAL/FIRE/SECURITY/PATCH/BIX PANELS. MAKE SAFE ALL ELECTRICAL CIRCUITS. ELECTRICAL CONTRACTOR SHALL TAKE NOTE THAT NOT ALL THE EXISTING FIXTURES AND DEVICES SUCH AS LIGHT FIXTURES, FIRE ALARM DEVICES, EXIT SIGNS, EMERGENCY REMOTE HEADS, EMERGENCY BATTERY PACKS, CAMERAS, ETC. ARE NOT NECESSARILY TO BE SHOWN ON THE ELECTRICAL DRAWINGS. EXACT QUANTITY AND LOCATIONS OF EXISTING FIXTURES AND DEVICES TO BE REMOVED SHALL BE VERIFIED ON SITE BY ELECTRICAL CONTRACTOR PRIOR TO TENDER CLOSING. NO EXTRA COSTS WILL BE ENTERTAINED RELATING TO ELECTRICAL DEMOLITION WORK IN THIS CONTRACT.
- 2 EXISTING PARTITION WALLS AT NOTED AREA OF DEMOLITION IN THE GROUND FLOOR WILL BE DEMOLISHED BY GENERAL CONTRACTOR. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS. ELECTRICAL CONTRACTOR SHALL DISCONNECT AND REMOVE ALL EXISTING FIXTURES AND DEVICES, ETC. INSTALLED ON THE PARTITION WALLS IN NOTED AREA INCLUDING ALL ASSOCIATED WIRING/CONDUITS BACK TO THE SOURCE ELECTRICAL/FIRE/SECURITY/PATCH/BIX PANELS. MAKE SAFE ALL ELECTRICAL CIRCUITS. ELECTRICAL CONTRACTOR SHALL TAKE NOTE THAT NOT ALL THE EXISTING FIXTURES AND DEVICES SUCH AS RECEPTACLES, VOICE/DATA OUTLETS, SWITCHES, FIRE ALARM DEVICES, EXIT SIGNS, EMERGENCY REMOTE HEADS, EMERGENCY BATTERY PACKS, CAMERAS, ETC. ARE NECESSARILY TO BE SHOWN ON THE ELECTRICAL DRAWINGS. EXACT QUANTITY AND LOCATIONS OF EXISTING FIXTURES AND DEVICES TO BE REMOVED SHALL BE VERIFIED ON SITE BY ELECTRICAL CONTRACTOR PRIOR TO TENDER CLOSING. NO EXTRA COSTS WILL BE ENTERTAINED RELATING TO ELECTRICAL DEMOLITION WORK IN THIS CONTRACT.
- 3 EXISTING INNER SIDE OF EXTERIOR WALLS IN THE GROUND FLOOR TO REMAIN. ELECTRICAL CONTRACTOR SHALL DISCONNECT AND REMOVE ALL EXISTING FIXTURES AND DEVICES, ETC. INSTALLED ON THE INNER SIDE OF EXTERIOR WALL IN NOTED AREA INCLUDING ALL ASSOCIATED WIRING/CONDUITS BACK TO THE SOURCE ELECTRICAL/FIRE/SECURITY/PATCH/BIX PANELS. MAKE SAFE ALL ELECTRICAL CIRCUITS. ELECTRICAL CONTRACTOR SHALL TAKE NOTE THAT NOT ALL THE EXISTING FIXTURES AND DEVICES SUCH AS RECEPTACLES, VOICE/DATA OUTLETS, SWITCHES, FIRE ALARM DEVICES, EXIT SIGNS, EMERGENCY REMOTE HEADS, EMERGENCY BATTERY PACKS, CAMERAS, ETC. ARE NECESSARILY TO BE SHOWN ON THE ELECTRICAL DRAWINGS. EXACT QUANTITY AND LOCATIONS OF EXISTING FIXTURES AND DEVICES TO BE REMOVED SHALL BE VERIFIED ON SITE BY ELECTRICAL CONTRACTOR PRIOR TO TENDER CLOSING. NO EXTRA COSTS WILL BE ENTERTAINED RELATING TO ELECTRICAL DEMOLITION WORK IN THIS CONTRACT.
- 4 EXISTING OUTER SIDE OF EXTERIOR WALLS IN THE GROUND FLOOR TO REMAIN. ELECTRICAL CONTRACTOR SHALL DISCONNECT AND REMOVE ALL EXISTING FIXTURES AND DEVICES, ETC. INSTALLED ON THE OUTER SIDE OF EXTERIOR WALL IN NOTED AREA INCLUDING ALL ASSOCIATED WIRING/CONDUITS BACK TO THE SOURCE ELECTRICAL/FIRE/SECURITY/PATCH/BIX PANELS. MAKE SAFE ALL ELECTRICAL CIRCUITS. ELECTRICAL CONTRACTOR SHALL TAKE NOTE THAT NOT ALL THE EXISTING FIXTURES AND DEVICES SUCH AS LIGHT FIXTURES, CAMERAS, ETC. ARE NECESSARILY TO BE SHOWN ON THE ELECTRICAL DRAWINGS. EXACT QUANTITY AND LOCATIONS OF EXISTING FIXTURES AND DEVICES TO BE REMOVED SHALL BE VERIFIED ON SITE BY ELECTRICAL CONTRACTOR PRIOR TO TENDER CLOSE. NO EXTRA COSTS WILL BE ENTERTAINED RELATING TO ELECTRICAL DEMOLITION WORK IN THIS CONTRACT.
- 5 CONFIRM ITEMS, DEVICES, ELEMENTS, ETC. FOR DISPOSAL WITH OWNER PRIOR TO DISPOSAL.
- 6 EXISTING ELECTRICAL PANEL 'B' IN THE GROUND FLOOR TO BE REMOVED. DISCONNECT AND REMOVE THE EXISTING INCOMING POWER FEEDERS/CONDUITS FROM THE SOURCE DISCONNECT SWITCH/CIRCUIT BREAKER AS WELL AS ALL THE ABANDONED ELECTRICAL OUTGOING ELECTRICAL BRANCH CIRCUITS. MAKE SAFE THE ELECTRICAL CIRCUITS.
- 7 EXISTING FIRE ALARM DEVICES IN THE GROUND FLOOR INCLUDING FIRE ALARM INITIATING DEVICES SUCH AS FIRE DETECTORS AND PULL STATION ETC AND FIRE ALARM SIGNALING DEVICES SUCH AS FIRE ALARM BELLS ETC. INCLUDING ALL ASSOCIATED WIRING/CONDUITS TO BE REMOVED. ELECTRICAL CONTRACTOR SHALL TAKE NOTE THAT NOT ALL THE EXISTING FIRE ALARM DEVICES ARE NECESSARILY TO BE SHOWN ON ELECTRICAL DRAWINGS. EXACT QUANTITY AND LOCATIONS OF EXISTING FIRE ALARM DEVICES TO BE REMOVED SHALL BE VERIFIED ON SITE BY ELECTRICAL CONTRACTOR PRIOR TO TENDER CLOSE. NO EXTRA COSTS WILL BE ENTERTAINED RELATING TO ELECTRICAL DEMOLITION WORK IN THIS CONTRACT.
- 8 EXISTING SECURITY DEVICES IN THE GROUND FLOOR INCLUDING ALL SECURITY INCLUDING ALL SECURITY WIRING/CONDUITS TO BE REMOVED. ELECTRICAL CONTRACTOR SHALL TAKE NOTE THAT NOT ALL THE EXISTING SECURITY DEVICES ARE NECESSARILY TO BE SHOWN ON ELECTRICAL DRAWINGS. EXACT QUANTITY AND LOCATIONS OF EXISTING SECURITY DEVICES TO BE REMOVED SHALL BE VERIFIED ON SITE BY ELECTRICAL CONTRACTOR PRIOR TO TENDER CLOSE. NO EXTRA COSTS WILL BE ENTERTAINED RELATING TO ELECTRICAL DEMOLITION WORK IN THIS CONTRACT.

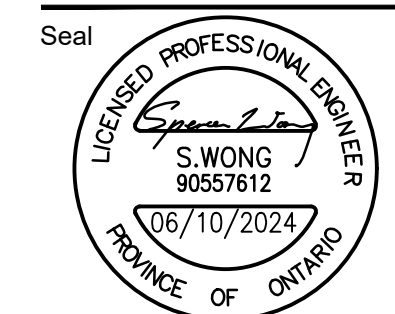


KEY PLAN

No.	Revision	Date	By
3.	ISSUED FOR BUILDING PERMIT	June 10, 24	A.S.
2.	ISSUED FOR TENDER	May 13, 24	A.S.
1.	ISSUED FOR 90% CLIENT REVIEW	Apr. 01, 24	A.S.

Drawing Notes

1. All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
2. These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
3. Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



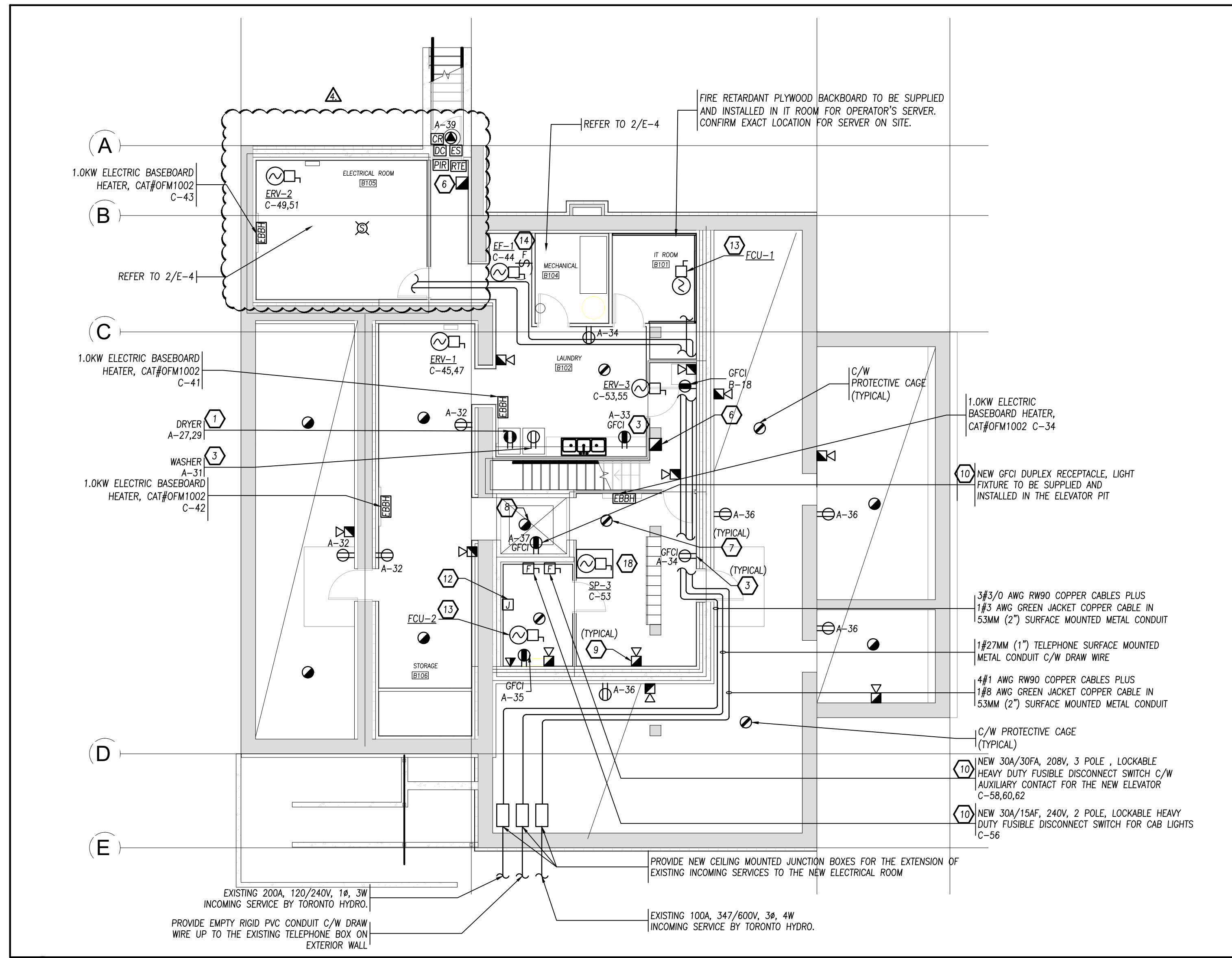
Project Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

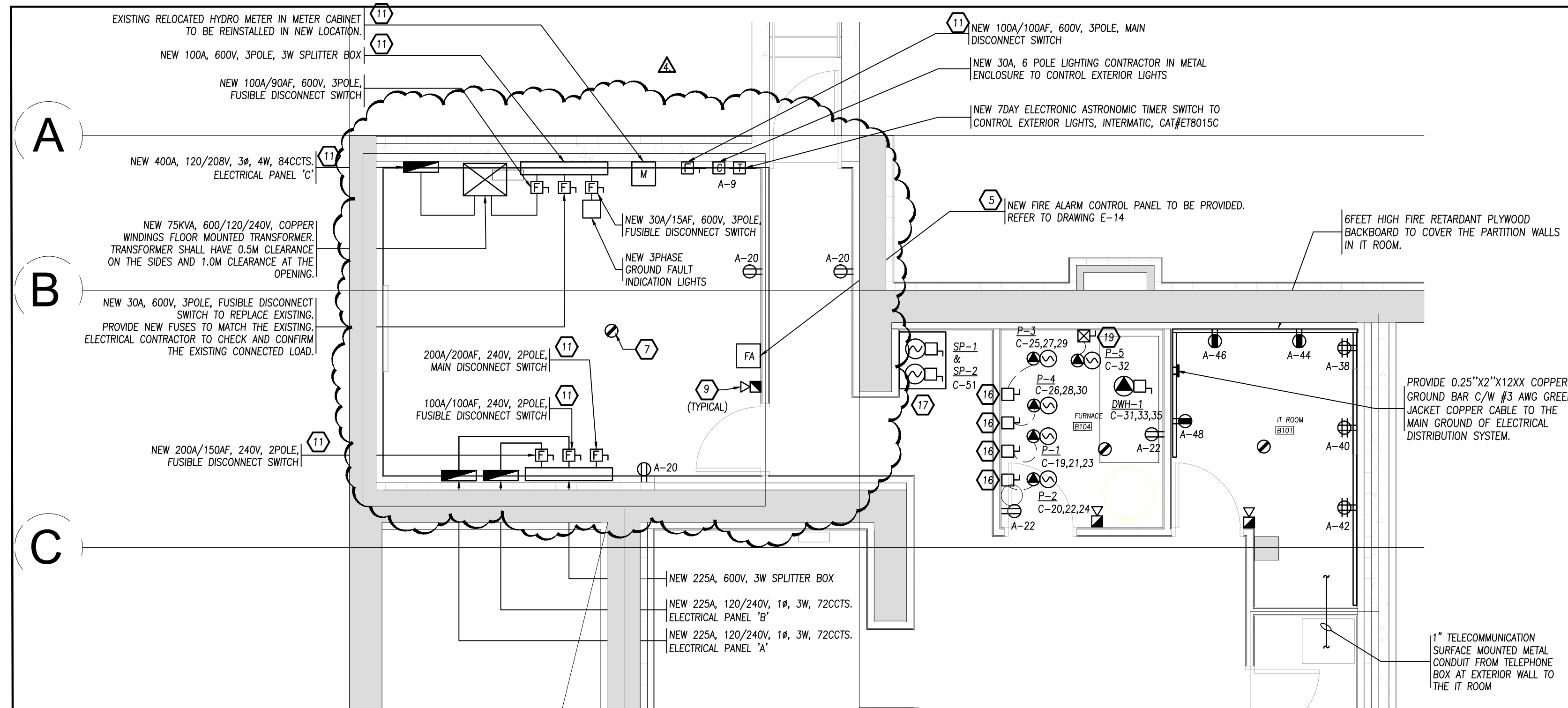
Sheet Title

MAIN FLOOR
DEMOLITION ELECTRICAL LAYOUT

ELECTRICAL			
Drawn By	A.S.	Scale	AS NOTED
Designed By	J.W.	Date	March, 2024
RJC Project Number	TOR.122940.0001		
Sheet Number	E-3	Revision	



1 BASEMENT FLOOR - NEW POWER AND FIRE ALARM LAYOUT
SCALE: 1/8" = 1'-0"

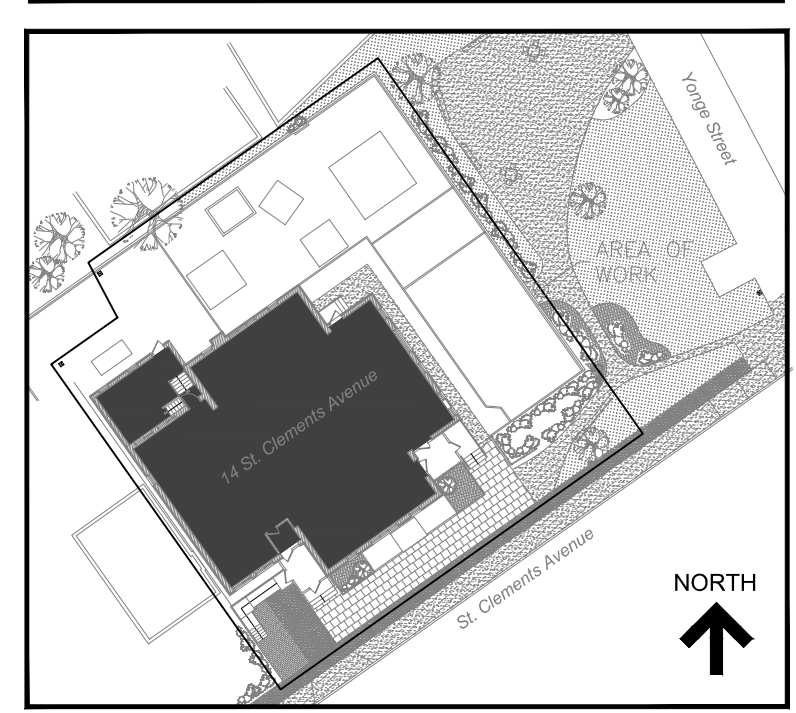


2 STORAGE AND FURNACE ROOM - NEW POWER AND FIRE ALARM LAYOUT
SCALE: 1/4" = 1'-0"

DRAWING NOTES:

- 1 NEW 30A, 240V, TAMPER RESISTANT/CHILD PROOF, WHITE 'DECORA' DUPLEX RECEPTACLE C/W STAINLESS STEEL COVERPLATE TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING WIRING/CONDUITS.
- 2 NOT USED.
- 3 NEW 20A, 125V, GFCI, TAMPER RESISTANT/CHILD PROOF, WHITE 'DECORA' DUPLEX RECEPTACLE C/W STAINLESS STEEL COVERPLATE TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING WIRING/CONDUITS.
- 4 NEW DATA OUTLET C/W 2#RJ45 JACKS AND DECORA STYLE STAINLESS STEEL COVERPLATE TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL 21MM (3/4") CONDUITS C/W DRAW WIRE FROM THE DATA OUTLET UP TO THE CEILING SPACE AND SUPPLY AND HOME RUN BACK TO THE PATCH PANEL IN THE IT ROOM (LOCATION TO BE DETERMINED BY CLIENT). EXACT CONDUIT ROUTE TO BE DETERMINED ON SITE. COORDINATE WITH GENERAL CONTRACTOR.
- 5 PROVIDE A NEW ADDRESSABLE FIRE ALARM PANEL AS SHOWN
- 6 SUPPLY AND INSTALL NEW ADDRESSABLE FIRE ALARM PULL STATION C/W PROTECTIVE COVER, INCLUDING FIRE ALARM WIRING/CONDUITS TO THE INITIATING CIRCUITS OF THE NEW FIRE ALARM PANEL. ENGAGE A QUALIFIED THIRD PARTY FIRE ALARM CONTRACTOR TO VERIFY THE FIRE ALARM SYSTEM AND PROVIDE FIRE ALARM VERIFICATION CERTIFICATE AFTER THE COMPLETION OF THE FIRE ALARM WORK.
- 7 SUPPLY AND INSTALL NEW ADDRESSABLE FIRE ALARM SMOKE DETECTOR, INCLUDING FIRE ALARM WIRING/CONDUITS TO THE INITIATING CIRCUITS OF THE NEW FIRE ALARM PANEL. ENGAGE A QUALIFIED THIRD PARTY FIRE ALARM CONTRACTOR TO VERIFY THE FIRE ALARM SYSTEM AND PROVIDE FIRE ALARM VERIFICATION CERTIFICATE AFTER THE COMPLETION OF THE FIRE ALARM WORK.
- 8 SUPPLY AND INSTALL NEW ADDRESSABLE FIRE ALARM HEAT DETECTOR WITHIN THE ELEVATOR SHAFT, INCLUDING FIRE ALARM WIRING/CONDUITS TO THE INITIATING CIRCUITS OF THE NEW FIRE ALARM PANEL. ENGAGE A QUALIFIED THIRD PARTY FIRE ALARM CONTRACTOR TO VERIFY THE FIRE ALARM SYSTEM AND PROVIDE FIRE ALARM VERIFICATION CERTIFICATE AFTER THE COMPLETION OF THE FIRE ALARM WORK.
- 9 SUPPLY AND INSTALL NEW FIRE ALARM HORN/STROBE, INCLUDING FIRE ALARM WIRING/CONDUITS TO THE SIGNALING CIRCUITS OF THE NEW FIRE ALARM PANEL. ENGAGE A QUALIFIED THIRD PARTY FIRE ALARM CONTRACTOR TO VERIFY THE FIRE ALARM SYSTEM AND PROVIDE FIRE ALARM VERIFICATION CERTIFICATE AFTER THE COMPLETION OF THE FIRE ALARM WORK.
- 10 NEW ELEVATOR TO BE PROVIDED BY ELEVATOR CONTRACTOR. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL THE FOLLOWING TO FACILITATE THE NEW ELEVATOR WORK.
 - a) NEW 30A, 240V, 3 POLE, LOCKABLE HEAVY DUTY FUSIBLE DISCONNECT SWITCH C/W AUXILIARY CONTACT FOR THE NEW ELEVATOR. EXACT FUSE SIZES TO BE DETERMINED BASED ON ELEVATOR SHOP DRAWING. FEED THE NEW FUSIBLE DISCONNECT SWITCH FROM THE NEW ELECTRICAL PANEL 'C'. PROVIDE NEW 30A WIRING/CONDUITS FROM THE NEW FUSIBLE DISCONNECT SWITCH TO THE ELEVATOR CONTROLLER, TRANSFORMER AND TO THE MOTOR AS DIRECTED BY ELEVATOR CONTRACTOR. PROVIDE WIRING/CONDUIT FROM THE AUXILIARY CONTACT OF DISCONNECT SWITCH TO THE ELEVATOR CONTROLLER FOR THE BATTERY LOWERING.
 - b) NEW 30A/15A, 240V, 2 POLE, LOCKABLE HEAVY DUTY FUSIBLE DISCONNECT SWITCH FOR CAB LIGHTS. FEED THE NEW FUSIBLE DISCONNECT SWITCH FROM THE NEW ELECTRICAL PANEL 'C'. PROVIDE NEW 15A WIRING/CONDUITS FROM THE NEW FUSIBLE DISCONNECT SWITCH TO THE ELEVATOR CONTROLLER.
 - c) NEW GFCI DUPLEX RECEPTACLES C/W WEATHER PROOF COVERPLATES TO BE PROVIDED IN THE ELEVATOR PIT, INCLUDING WIRING/CONDUITS.
 - d) NEW TELEPHONE OUTLET AND NETWORK CONNECTION TO BE PROVIDED IN THE ELEVATOR MACHINE ROOM, INCLUDING WIRING/CONDUITS.
 - e) PROVIDE NEW ROUGH SERVICE LED LIGHT FIXTURE TO MAINTAIN AN ILLUMINATION OF NOT LESS THAN 100LUX AT THE PIT FLOOR AND WEATHERPROOF LIGHT SWITCH IN THE ELEVATOR PIT, INCLUDING WIRING/CONDUITS.
 - f) PROVIDE NEW FIRE ALARM RELAYS FOR ELEVATOR RECALL, FIRE HAT AND SHUNT TRIP. COORDINATE EXACT LOCATIONS WITH ELEVATOR CONTRACTOR ON SITE.
 - g) PROVIDE NEW ROUGH SERVICE LED LIGHT FIXTURES TO MAINTAIN AN ILLUMINATION OF NOT LESS THAN 200 LUX AT FLOOR LEVEL.
 - h) PROVIDE GFCI DUPLEX RECEPTACLE IN THE ELEVATOR MACHINE ROOM.
- 11 NEW ELECTRICAL EQUIPMENT TO BE PROVIDED AS PER SCHEMATIC 1/E-11. EXACT WIRING/CONDUITS ROUTE TO BE DETERMINED ON SITE. COORDINATE WITH GENERAL CONTRACTOR.
- 12 PROVIDE A NEW FIRE ALARM JUNCTION BOX AT THE CEILING OF ELEVATOR MACHINE ROOM FOR THE FIRE ALARM SIGNALS FROM THE FIRE ALARM SYSTEM TO THE ELEVATOR CONTROLLER FOR AUTOMATIC RECALL OF THE ELEVATOR AS PART OF THE FIREFIGHTER'S EMERGENCY OPERATION.
 - FROM SMOKE DETECTORS ON EACH FLOOR (BASEMENT AND MAIN FLOOR)
 - FROM HEAT DETECTOR IN THE ELEVATOR PIT
 - FROM SMOKE DETECTOR AT THE TOP OF HOISTWAY
 - FROM SMOKE DETECTOR IN THE ELEVATOR MACHINE ROOM.
- 13 NEW FAN COIL UNIT 'FCU-1' AND 'FCU-2' TO BE FED FROM 'CU-1' AND 'CU-2' DIRECTLY. PROVIDE 3#14 AWG COPPER CONDUCTORS PLUS GROUND WIRE IN 21MM EMT CONDUIT (INDOOR) AND 21MM RIGID GALVANIZED STEEL CONDUIT (OUTDOOR) FROM THE OUTDOOR UNITS TO THE INDOOR UNITS AND TERMINATED AT A MITSUBISHI CONTROL DISCONNECT SWITCH, MODEL # TAZ-MS303. FINAL CONNECTION TO THE MECHANICAL UNIT SHALL BE VIA LIQUID TIGHT FLEXIBLE STEEL CONDUIT.
- 14 MECHANICAL CONTRACTOR WILL PROVIDE NEW EXHAUST FAN 'EF-1'. ELECTRICAL CONTRACTOR TO PROVIDE 15A, 120V, 1Ø POWER SUPPLY FED FROM PANEL 'C' AND EXHAUST FAN ON/OFF SWITCH TO CONTROL THE EXHAUST FAN. EXACT LOCATION OF CONTROL SWITCH TO BE DETERMINED ON SITE. TERMINATE THE POWER SUPPLY AT A NEW 15A, 120/277V, EXTRA HEAVY DUTY SPECIFICATION GRADE, AC QUIET DOUBLE POLE TOGGLE SWITCH, LEVITON, CAT#1202-2W. AS LOCAL DISCONNECT SWITCH FOR EXHAUST FAN. FINAL CONNECTION TO MECHANICAL UNIT SHALL BE VIA LIQUID TIGHT FLEXIBLE STEEL CONDUIT.
- 15 MECHANICAL CONTRACTOR WILL PROVIDE AIR SOURCE DOMESTIC HEAT PUMP WATER HEATER 'DHW-1' IN FURNACE ROOM. ELECTRICAL CONTRACTOR TO PROVIDE 50A, 208V, 3Ø POWER SUPPLY FED FROM PANEL 'C' INCLUDING 3#6 AWG RW90 COPPER CABLES PLUS 1#10 AWG GREEN JACKET COPPER CABLE IN 27MM METAL CONDUIT FED FROM PANEL 'C' AND TERMINATE AT A 60A, 240V, 3 POLE HEAVY DUTY DISCONNECT SWITCH. EXACT WIRING/CONDUIT ROUTES TO BE DETERMINED ON SITE. FINAL CONNECTION TO MECHANICAL UNIT SHALL BE VIA LIQUID TIGHT FLEXIBLE STEEL CONDUIT.
- 16 MECHANICAL CONTRACTOR WILL PROVIDE 1.5HP, 208V, 3Ø WATER PUMPS C/W VARIABLE FREQUENCY DRIVE 'P-1', 'P-2', 'P-3' & 'P-4' IN FURNACE ROOM. ELECTRICAL CONTRACTOR TO PROVIDE 15A, 208V, 3Ø POWER SUPPLY FED FROM PANEL 'C' INCLUDING 3#12 AWG RW90 COPPER CABLES PLUS 1#12 AWG GREEN JACKET COPPER CABLE IN 21MM METAL CONDUIT TO EACH WATER PUMP VIA A 30A, 240V, 3POLE HEAVY DUTY MOTOR DISCONNECT SWITCH. EXACT WIRING/CONDUIT ROUTES TO BE DETERMINED ON SITE. FINAL CONNECTION TO MECHANICAL UNIT SHALL BE VIA LIQUID TIGHT FLEXIBLE STEEL CONDUIT.
- 17 MECHANICAL CONTRACTOR WILL PROVIDE 1.0HP, 115V, 1Ø SUMP PUMPS 'SP-1' & 'SP-2' C/W SUMP PUMP CONTROL PANEL AS SHOWN ON THE DRAWING. ELECTRICAL CONTRACTOR TO PROVIDE 40A, 120V, 1Ø POWER SUPPLY FED FROM PANEL 'C' INCLUDING 2#8 AWG RW90 COPPER CABLES PLUS 1#10 AWG GREEN JACKET COPPER CABLE IN 21MM METAL CONDUIT AND TERMINATE AT SUMP PUMP CONTROL PANEL. EXACT WIRING/CONDUIT ROUTES TO BE DETERMINED ON SITE. PROVIDE NEW POWER CABLE FROM THE SUMP PUMP CONTROL PANEL TO THE SUMP PUMPS. RECONFIRM THE POWER REQUIREMENT OF SUMP PUMPS 'SP-1' AND 'SP-2' BEFORE THE COMMENCEMENT OF ELECTRICAL ROUGHING-IN WORK.
- 18 MECHANICAL CONTRACTOR WILL PROVIDE 0.5HP, 115V, 1Ø SUMP PUMP 'SP-3' C/W SUMP PUMP CONTROL PANELS SHOWN ON THE DRAWING. ELECTRICAL CONTRACTOR TO PROVIDE 15A, 120V, 1Ø POWER SUPPLY FED FROM PANEL 'C' INCLUDING 2#12 AWG RW90 COPPER CABLES PLUS 1#12 AWG GREEN JACKET COPPER CABLE IN 21MM METAL CONDUIT AND TERMINATE AT SUMP PUMP CONTROL PANEL. EXACT WIRING/CONDUIT ROUTES TO BE DETERMINED ON SITE. PROVIDE NEW POWER CABLE FROM THE SUMP PUMP CONTROL PANEL TO THE SUMP PUMP.
- 19 MECHANICAL CONTRACTOR WILL PROVIDE 0.17HP, 115V, 1Ø DOMESTIC HOT WATER RECIRCULATION PUMP 'P-5' IN FURNACE ROOM. ELECTRICAL CONTRACTOR TO PROVIDE 15A, 120V, 1Ø POWER SUPPLY FED FROM PANEL 'C' INCLUDING 3#12 AWG RW90 COPPER CABLE PLUS 1#12 AWG GREEN JACKET COPPER CABLE IN 21MM METAL CONDUIT TO THE PUMP VIA A 1HP, 120V, 2POLE NEMA SIZE 0, COMBINATION STARTER C/W NON-FUSIBLE DISCONNECT SWITCH, MANUAL-OFF AUTO SELECTION SWITCH AND ON/OFF INDICATION LIGHTS. SCHNEIDER CAT# 8538-SB661V02. EXACT WIRING/CONDUIT ROUTE TO BE DETERMINED ON SITE. FINAL CONNECTION TO MECHANICAL UNIT SHALL BE VIA LIQUID TIGHT FLEXIBLE CONDUIT.

EQUIPMENT RECEPTACLE NOTE:
RECEPTACLES FOR SPECIFIC EQUIPMENT SHOWN ON THE DRAWINGS ARE FOR REFERENCE AND QUANTITY ONLY.
- COORDINATE WITH GENERAL CONTRACTOR AND ARCHITECT FOR EQUIPMENT'S EXACT LOCATION PRIOR TO COMMENCEMENT OF WORK.
- CONFIRM EQUIPMENT AMPERAGE AND POLE WITH GENERAL CONTRACTOR. SUBMIT A WRITTEN REPORT TO ENGINEER PRIOR TO COMMENCEMENT OF WORK.

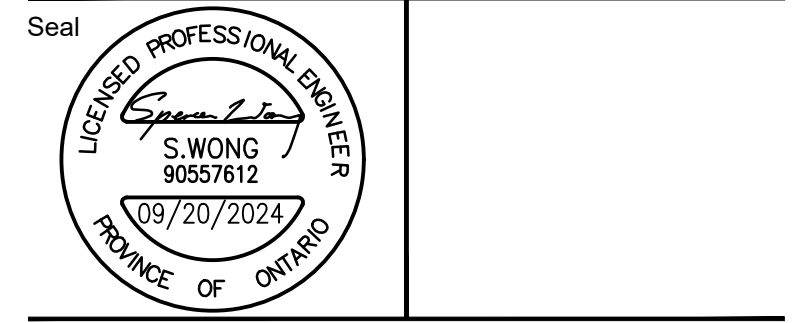


KEY PLAN

No.	Revision	Date	By
4	ISSUED FOR PERMIT REVISION	Sep. 20, 24	A.S.
3	ISSUED FOR BUILDING PERMIT	June 10, 24	A.S.
2	ISSUED FOR TENDER	May 13, 24	A.S.
1	ISSUED FOR 90% CLIENT REVIEW	Apr. 01, 24	A.S.

Drawing Notes

1. All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJCL") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJCL whether the Work is executed or not, and RJCL reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
2. These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJCL. The work "as constructed" may vary from what is shown on these drawings.
3. Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJCL in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

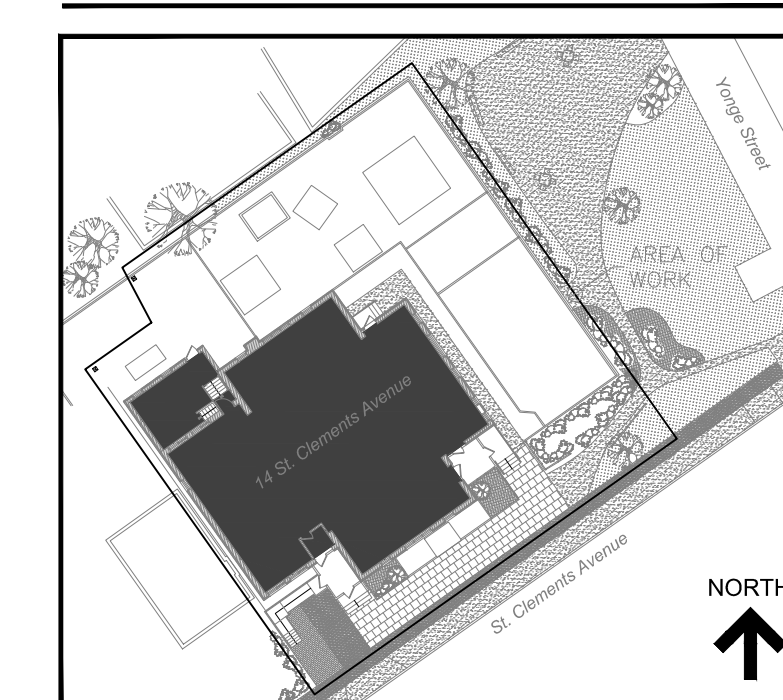


Project Name
Upper Yonge Village Daycare Centre
14 St. Clements Avenue, Toronto, ON

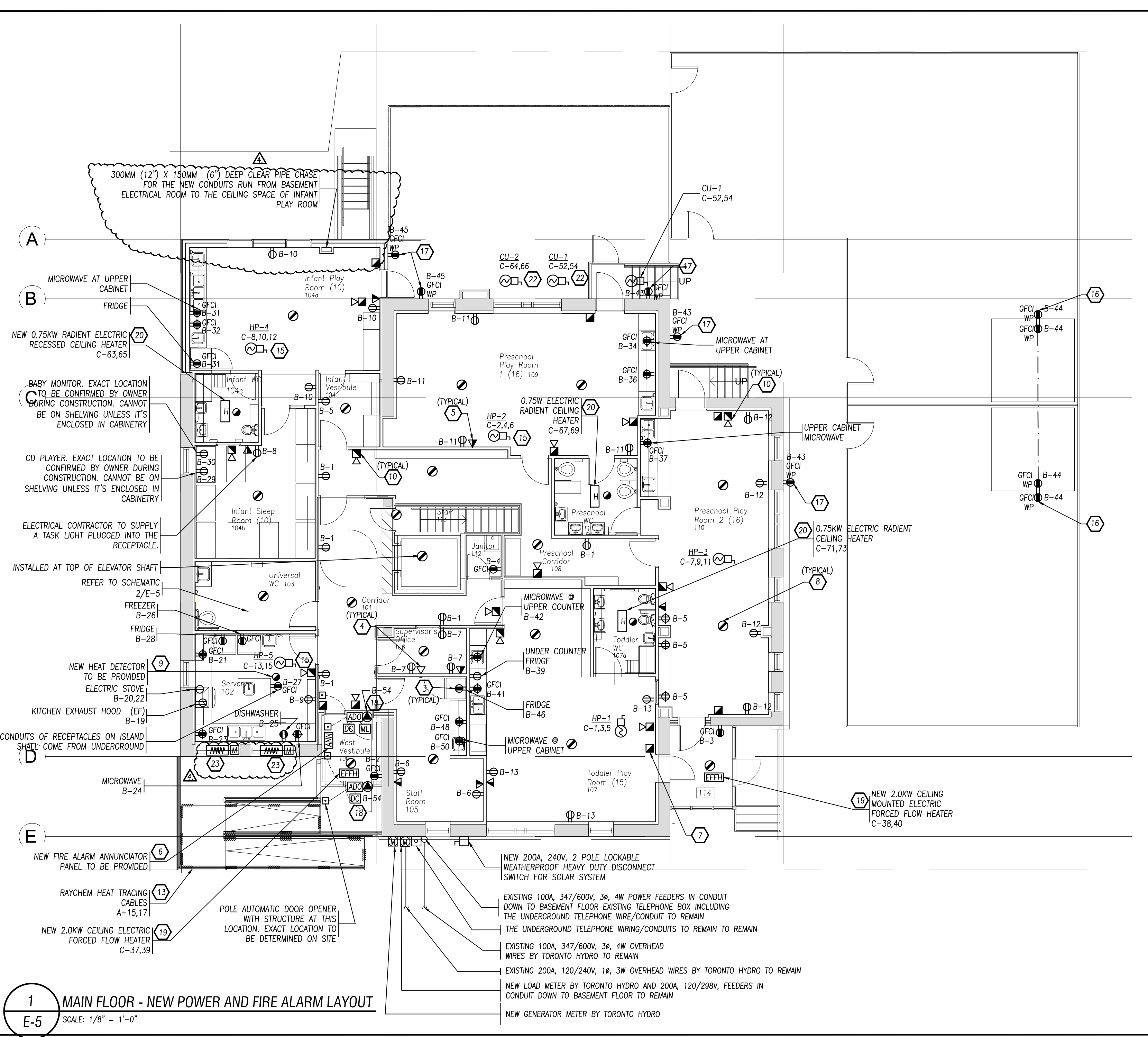
BUILDING RENOVATION

Sheet Title
BASEMENT FLOOR
NEW POWER AND FIRE ALARM LAYOUT

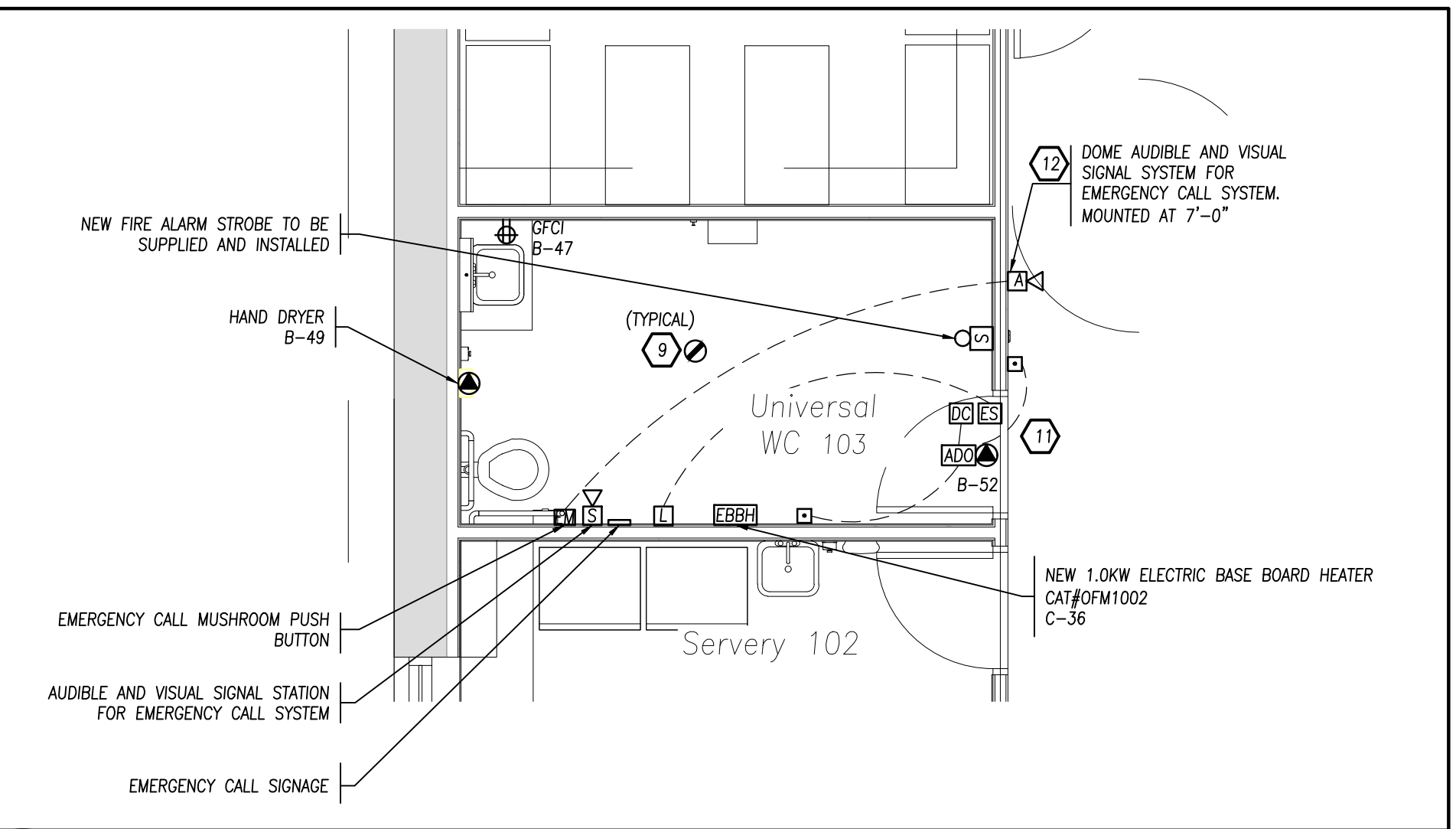
Drawn By **A.S.** Scale **AS**
Designed By **J.W.** Date **NOTED**
RJC Project Number **TOR.122940.0001**
Sheet Number **E-4** Revision



KEY PLAN



1 MAIN FLOOR - NEW POWER AND FIRE ALARM LAYOUT
SCALE: 1/8\" = 1'-0"



2 AUTOMATIC DOOR OPENING AND EMERGENCY CALL SYSTEMS FOR BARRIER FREE WASHROOM
SCALE: 1/4\" = 1'-0"

EQUIPMENT RECEPTACLE NOTE:
RECEPTACLES FOR SPECIFIC EQUIPMENT SHOWN ON THE DRAWINGS ARE FOR REFERENCE AND QUANTITY ONLY.
- COORDINATE WITH GENERAL CONTRACTOR FOR EQUIPMENT'S EXACT LOCATION PRIOR TO COMMENCEMENT OF WORK.
- CONFIRM EQUIPMENT AMPERAGE AND POLE WITH GENERAL CONTRACTOR. SUBMIT A WRITTEN REPORT TO ENGINEER PRIOR TO COMMENCEMENT OF WORK.

- DRAWING NOTES:**
- NEW 15A, 125V, TAMPER RESISTANT/CHILD PROOF, WHITE 'DECORA' DUPLEX RECEPTACLE C/W STAINLESS STEEL COVERPLATE TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING WIRING/CONDUITS.
 - NEW 20A, 125V, TAMPER RESISTANT/CHILD PROOF, WHITE 'DECORA' DUPLEX RECEPTACLE C/W STAINLESS STEEL COVERPLATE TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING WIRING/CONDUITS.
 - NEW 20A, 125V, GFCI, TAMPER RESISTANT/CHILD PROOF, WHITE 'DECORA' DUPLEX RECEPTACLE C/W STAINLESS STEEL COVERPLATE TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING WIRING/CONDUITS.
 - NEW DATA OUTLET C/W 2#R14S JACKS AND DECORA STYLE STAINLESS STEEL COVERPLATE TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL 21MM (3/4\") CONDUITS C/W DRAW WIRE FROM THE DATA OUTLET UP TO THE CEILING SPACE AND SUPPLY AND HOME RUN BACK TO THE PATCH PANEL IN THE IT ROOM (LOCATION TO BE DETERMINED BY CLIENT). EXACT CONDUIT ROUTE TO BE DETERMINED ON SITE. COORDINATE WITH GENERAL CONTRACTOR.
 - NEW DATA/VOICE OUTLET C/W 2#R14S JACKS AND DECORA STYLE STAINLESS STEEL COVERPLATE TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL 21MM (3/4\") CONDUITS C/W DRAW WIRE FROM THE DATA/VOICE OUTLET UP TO THE CEILING SPACE AND SUPPLY AND HOME RUN BACK TO THE PATCH PANEL AND BIX PANEL IN THE IT ROOM (LOCATION TO BE DETERMINED BY CLIENT). EXACT CONDUIT ROUTE TO BE DETERMINED ON SITE. COORDINATE WITH GENERAL CONTRACTOR.
 - SUPPLY AND INSTALL NEW FIRE ALARM ANNUNCIATOR PANEL, INCLUDING FIRE ALARM WIRING/CONDUITS. SUBMIT THE PROPOSED FIRE ALARM SYSTEM SHOP DRAWINGS TO ENGINEER FOR REVIEW AND APPROVAL. ENGAGE A QUALIFIED THIRD PARTY FIRE ALARM CONTRACTOR TO VERIFY THE FIRE ALARM SYSTEM AND PROVIDE FIRE ALARM VERIFICATION CERTIFICATE AFTER THE COMPLETION OF THE FIRE ALARM WORK.
 - SUPPLY AND INSTALL NEW ADDRESSABLE FIRE ALARM PULL STATION C/W PROTECTIVE COVER, INCLUDING FIRE ALARM WIRING/CONDUITS TO THE INITIATING CIRCUITS OF THE NEW FIRE ALARM PANEL. ENGAGE A QUALIFIED THIRD PARTY FIRE ALARM CONTRACTOR TO VERIFY THE FIRE ALARM SYSTEM AND PROVIDE FIRE ALARM VERIFICATION CERTIFICATE AFTER THE COMPLETION OF THE FIRE ALARM WORK.
 - SUPPLY AND INSTALL NEW ADDRESSABLE FIRE ALARM SMOKE DETECTOR, INCLUDING FIRE ALARM WIRING/CONDUITS TO THE INITIATING CIRCUITS OF THE NEW FIRE ALARM PANEL. ENGAGE A QUALIFIED THIRD PARTY FIRE ALARM CONTRACTOR TO VERIFY THE FIRE ALARM SYSTEM AND PROVIDE FIRE ALARM VERIFICATION CERTIFICATE AFTER THE COMPLETION OF THE FIRE ALARM WORK.
 - SUPPLY AND INSTALL NEW ADDRESSABLE FIRE ALARM HEAT DETECTOR, INCLUDING FIRE ALARM WIRING/CONDUITS TO THE INITIATING CIRCUITS OF THE NEW FIRE ALARM PANEL. ENGAGE A QUALIFIED THIRD PARTY FIRE ALARM CONTRACTOR TO VERIFY THE FIRE ALARM SYSTEM AND PROVIDE FIRE ALARM VERIFICATION CERTIFICATE AFTER THE COMPLETION OF THE FIRE ALARM WORK.
 - SUPPLY AND INSTALL NEW FIRE ALARM HORN/STROBE, INCLUDING FIRE ALARM WIRING/CONDUITS TO THE SIGNALING CIRCUITS OF THE NEW FIRE ALARM PANEL. ENGAGE A QUALIFIED THIRD PARTY FIRE ALARM CONTRACTOR TO VERIFY THE FIRE ALARM SYSTEM AND PROVIDE FIRE ALARM VERIFICATION CERTIFICATE AFTER THE COMPLETION OF THE FIRE ALARM WORK.
 - NEW AUTOMATIC DOOR OPENING SYSTEM INCLUDING AUTOMATIC DOOR OPENER, ELECTRIC STRIKE, DOOR CONTACT, AND LOCKING SYSTEM C/W PUSH BUTTONS IN THE UNIVERSAL WASHROOM WILL BE SUPPLIED AND INSTALLED BY SECURITY CONTRACTOR AND TO BE CARRIED BY GENERAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL CONTROL WIRING IN 1/2\" CONDUIT BETWEEN EACH DOOR OPENING DEVICES. FEED THE AUTOMATIC DOOR OPENER FROM NEW ELECTRICAL PANEL 'B'. SUPPLY AND INSTALL ALL NECESSARY LOW VOLTAGE AND POWER WIRING IN SURFACE MOUNTED CONDUIT TO SUIT. CO-ORDINATE THE INSTALLATION WITH GENERAL CONTRACTOR FOR ALL WORK.
 - NEW EMERGENCY CALL SYSTEM (EMERGENCY CALL MUSHROOM PUSH BUTTON, AUDIBLE VISUAL SIGNAL STATION AND DOME LIGHT SOUNDER FOR EMERGENCY CALL SYSTEM, EMERGENCY CALL SIGNAGE) IN THE UNIVERSAL WASHROOM WILL BE SUPPLIED AND INSTALLED BY SECURITY CONTRACTOR AND TO BE CARRIED BY GENERAL CONTRACTOR. ELECTRICAL CONTRACTOR TO INSTALL DIRECT WASHROOM SUPPLY FOR THE EMERGENCY CALLS SYSTEM FROM NEW ELECTRICAL PANEL 'B'. ELECTRICAL CONTRACTOR TO SUPPLY AND INSTALL ALL CONTROL WIRING IN 1/2\" CONDUIT BETWEEN EACH EMERGENCY CALL SYSTEM DEVICE.
 - NEW RAYCHEM RAMP HEATING SYSTEM TO BE SUPPLIED AND INSTALLED ELECTRICAL CONTRACTOR AS PER SCHEMATIC 2/E-11. ELECTRICAL CONTRACTOR TO PROVIDE SHOP DRAWINGS FROM THE PROPOSED RAMP HEATING MANUFACTURER TO CONSULTANT TEAM FOR REVIEW. THIS RAMP HEATING SYSTEM SHALL BE MONITORED BY THE FIRE ALARM CONTROL PANEL. IN ADDITION, PROVIDE A FIRE ALARM ZONE IN NEW FIRE ALARM PANEL TO MONITOR THE RAMP HEATING SYSTEM.
 - NOT USED.
 - NEW HEAT PUMPS (HP-1, HP-2, HP-3, HP-4, HP-5) WILL BE SUPPLIED AND INSTALLED BY MECHANICAL CONTRACTOR. ELECTRICAL CONTRACTOR TO SUPPLY AND INSTALL 3#10 AWG RW90 COPPER CABLES PLUS 1#12 AWG RW90 GREEN JACKET COPPER CABLE IN 3/4\" SURFACE MOUNTED METAL CONDUIT FED FROM NEW ELECTRICAL PANEL AND TERMINATE AT A NEW LOCAL 30A, 240V LOCAL DISCONNECT SWITCH MOUNTED ON THE HEAT PUMP. FINAL CONNECTION TO THE HEAT PUMP SHALL BE LIQUID TIGHT FLEXIBLE CONDUIT. COORDINATE EXACT LOCATION WITH MECHANICAL CONTRACTOR. EXACT CONDUIT ROUTE TO BE DETERMINED ON SITE.
 - NEW OUTDOOR 20A, 125V, GFCI, T-SLOT, TAMPER RESISTANT/CHILD PROOF, WHITE 'DECORA' DUPLEX RECEPTACLE C/W WEATHERPROOF COVER TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING WIRING/CONDUITS.
 - NEW OUTDOOR 20A, 125V, GFCI, TAMPER RESISTANT/CHILD PROOF, WHITE 'DECORA' DUPLEX RECEPTACLE C/W STAINLESS STEEL COVERPLATE WEATHERPROOF AND LOCKABLE COVER TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING WIRING/CONDUITS.
 - NEW AUTOMATIC DOOR OPENING SYSTEM INCLUDING AUTOMATIC DOOR OPENER, MAGLOCK SYSTEM, DOOR CONTACT, POLES, C/W PUSH BUTTONS WILL BE SUPPLIED AND INSTALLED BY SECURITY CONTRACTOR AND TO BE CARRIED BY GENERAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL CONTROL WIRING IN 1/2\" CONDUIT BETWEEN EACH DOOR OPENING DEVICE. FEED THE AUTOMATIC DOOR OPENER FROM NEW ELECTRICAL PANEL 'B'. INTERCONNECT AUTOMATIC DOOR OPENER WITH CARD READER. SUPPLY AND INSTALL ALL NECESSARY LOW VOLTAGE AND POWER WIRING IN SURFACE MOUNTED CONDUIT TO SUIT. CO-ORDINATE THE INSTALLATION WITH GENERAL CONTRACTOR FOR ALL WORK.
 - NEW 2.0KW, 208V, 1PH ELECTRICAL CEILING FORCED FLOW HEATER, QUELLET CAT# ODSR0208 TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING 2#12 AWG RW90 COPPER CABLES PLUS 1#12 AWG GREEN JACKET COPPER CABLE IN 21MM METAL CONDUITS FED FROM PANEL 'C'.
 - NEW 750W, 208V, 1PH RECESSED CEILING RADIENT HEATER, QUELLET CAT#AS2448-750-208W AND RECESSED MOUNTING FRAME, CAT# PF-1448 AND 120V LINE VOLTAGE REMOTE THERMOSTAT AND ISOLATION SWITCH TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING 2#12 AWG RW90 COPPER CABLES PLUS 1#12 AWG GREEN JACKET COPPER CABLE IN 21MM METAL CONDUITS, FED FROM 'PANEL C'.
 - NEW 1.0KW, 120V, 1PH ELECTRICAL FORCED FLOW HEATER, QUELLET CAT#OFM1002 TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING 2#12 AWG RW90 COPPER CABLES PLUS 1#12 AWG GREEN JACKET COPPER CABLE IN 21MM METAL CONDUITS FED FROM PANEL 'C'.
 - MECHANICAL CONTRACTOR WILL PROVIDE NEW SPLIT A/C UNITS FOR IT ROOM AND ELEVATOR MACHINE ROOM INCLUDING OUTDOOR CONDENSER UNITS 'CU-1' AND 'CU-2' AS SHOWN ON THE DRAWING. ELECTRICAL CONTRACTOR TO PROVIDE 25A, 208V, 1P, POWER SUPPLY INCLUDING 2#10 AWG RW90 COPPER CABLES PLUS 1#12 AWG GREEN JACKET COPPER CABLE IN 21MM EMT CONDUIT (INDOOR) AND 21MM RIGID GALVANIZED CONDUIT (OUTDOOR) FED FROM PANEL 'C' AND TERMINATE AT A 30A, 240V, 2 POLE WEATHERPROOF HEAVY DUTY DISCONNECT SWITCH. EXACT WIRING/CONDUIT ROUTES TO BE DETERMINED ON SITE. FINAL CONNECTION TO THE MECHANICAL UNIT SHALL BE VIA LIQUID TIGHT FLEXIBLE STEEL CONDUIT.
 - GENERAL CONTRACTOR WILL PROVIDE 24V, 1 HOUR FIRE RATED MOTORIZED FIRE SHUTTERS WITH BATTERY-OPERATED AND BATTERY BACKUP SYSTEM AT DESIGNATED WINDOWS. THESE FIRE SHUTTERS SHALL BE INTERLOCKED WITH FIRE ALARM SYSTEM SO THAT THE FIRE SHUTTERS WILL BE CLOSED WHEN THE FIRE ALARM PANEL IS ACTIVATED.

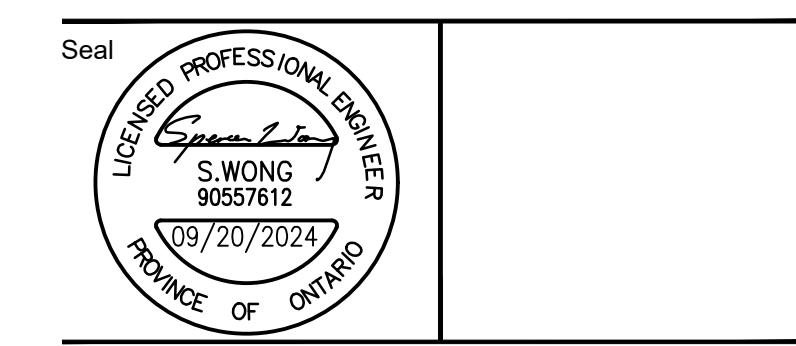


3 FRONT ELEVATION OF THE HYDRO AND TELEPHONE INCOMING SERVICES
SCALE: NTS

No.	Revision	Date	By
4	ISSUED FOR PERMIT REVISION	Sep. 20, 24	A.S.
3	ISSUED FOR BUILDING PERMIT	June 10, 24	A.S.
2	ISSUED FOR TENDER	May 13, 24	A.S.
1	ISSUED FOR 90% CLIENT REVIEW	Apr. 01, 24	A.S.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJCL") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJCL. The work "as constructed" is executed or not, and RJCL reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJCL. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJCL in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



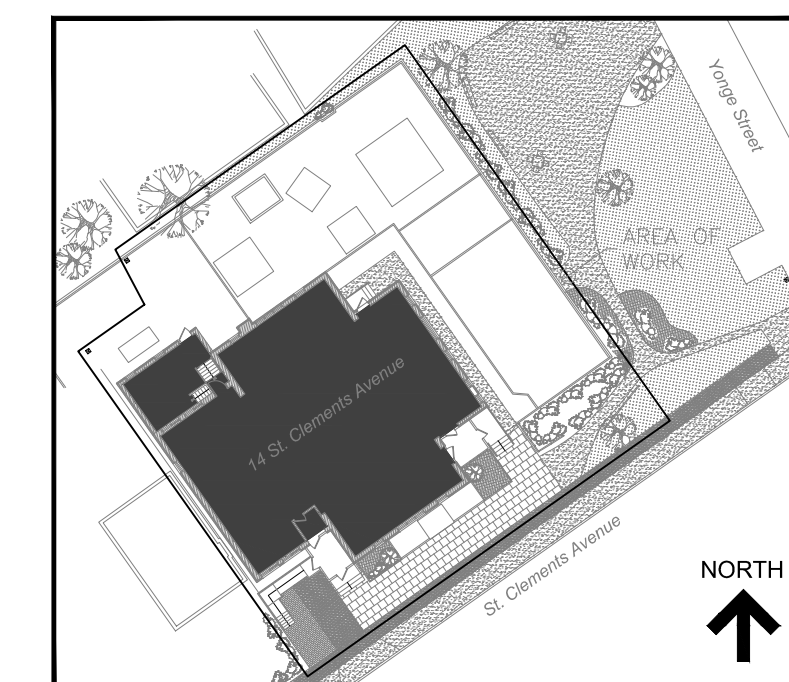
Project Name
Upper Yonge Village Daycare Centre
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title
MAIN FLOOR
NEW POWER AND FIRE ALARM LAYOUT

Drawn By **A.S.** Scale **AS**
Designed By **J.W.** Date **NOTED**
RJC Project Number **TOR.122940.0001**

Sheet Number **E-5** Revision

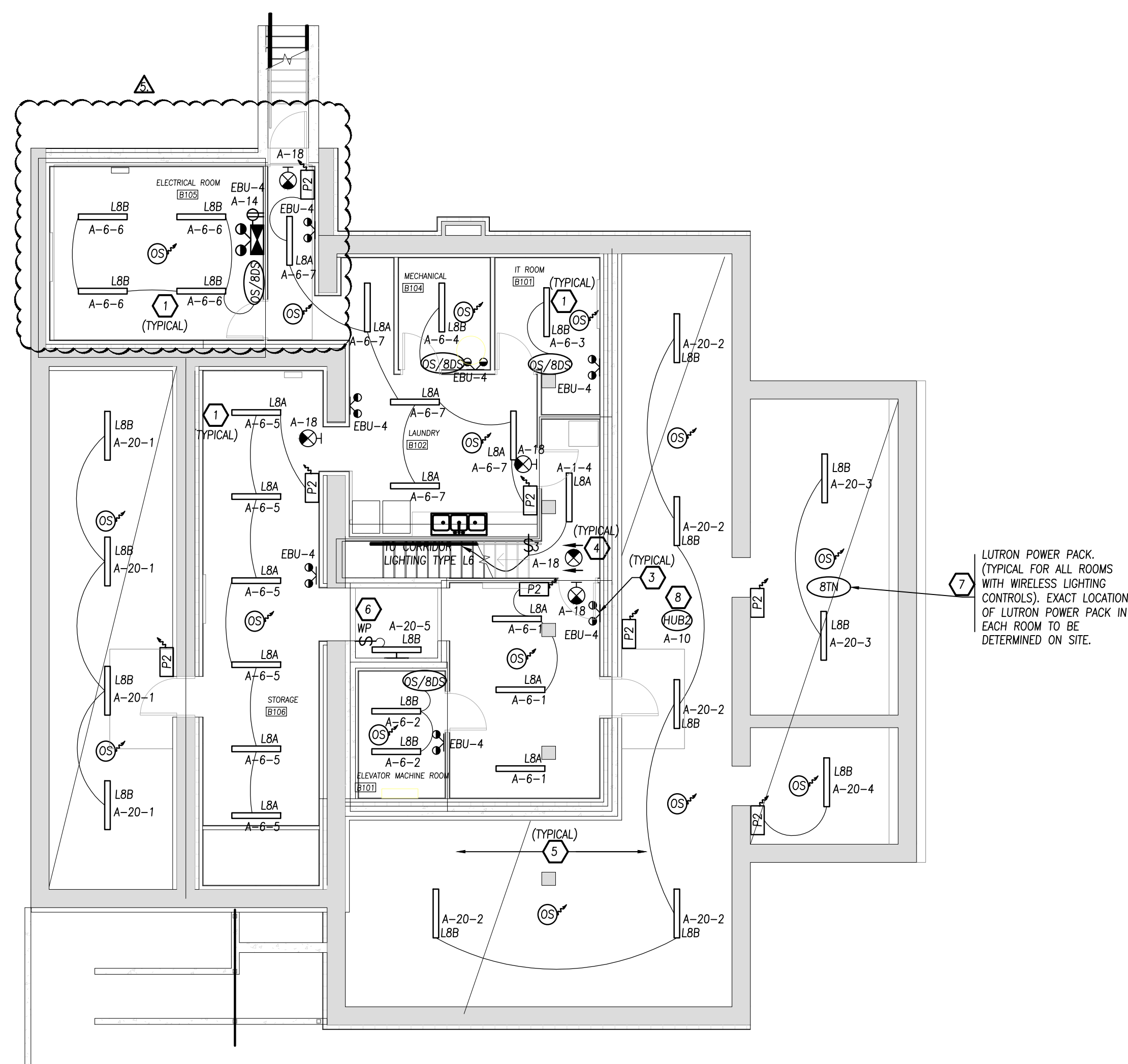


KEY PLAN

LIGHTING CONTROL NOTES:

- ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL LIGHTING CONTROL, INCLUDING EQUIPMENT, WIRING/CONDUITS. REFER TO NEW LIGHTING DRAWINGS E-6 & E-7 AND LIGHTING CONTROL DIAGRAM DRAWINGS E-15 & E-16. REFER TO E-6 & E-7 FOR THE LIGHTING CONTROL LAYOUTS. E-15 & E-16 IS FOR REFERENCE AND MAY NOT COMPLETELY APPLICABLE TO THE LIGHTING CONTROL LAYOUT. CONTACT AMY.SSUTU@LUTRON.COM FOR TECHNICAL INQUIRES. ENGAGE LUTRON FOR THE TESTING AND COMMISSIONING OF NEW LIGHTING CONTROL SYSTEM.
- ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL DIRECT CONNECTIONS VIA WIRING/CONDUITS TO ALL LIGHTING CONTROL DEVICES ON FLOOR PLAN THAT REQUIRE 120V CONNECTION PER DRAWINGS E-15 AND E-16.

LIGHTING CONTROL LEGEND	
SYMBOL	DESCRIPTION
[P2]	LUTRON 'PICO' 2-BUTTON WIRELESS REMOTE CONTROL SWITCH WITH LIGHT ICON LABELING. MODEL #PJ2-2B-WH-L01
[P2R]	LUTRON 'PICO' 2-BUTTON WIRELESS REMOTE DIMMING CONTROL SWITCH WITH RAISE/LOWER CONTROL. MODEL #PJ2-2BRL-WH-L01
[OS]	LUTRON RADIO POWER SAVR WIRELESS CEILING MOUNTED OCCUPANCY SENSOR. MODEL #LRF2-OCR2B-P
[HUB2]	LUTRON VIVE SURFACE MOUNTED WIRELESS HUB. ELECTRICAL CONTRACTOR TO PROVIDE 15A, 120V POWER SUPPLY AND ETHERNET CONNECTION FOR HUBS. MODEL #HUS-2-SM
[OS/BDS]	LUTRON MAESTRO 0-10V RF SENSOR DIMMER SWITCH MODEL #MRF2S-8SD010-WH
[8TN]	LUTRON VIVE POWPAK WIRELESS DIMMING MODULE WITH 0-10V CONTROL. MODEL #RMS-8TN-DV-6
[DL]	LUTRON RADIO POWR SAVR WIRELESS DAYLIGHT SENSOR MODEL #LRF2-DCRB-WH



1 BASEMENT FLOOR - NEW LIGHTING LAYOUT
 E-6 SCALE: 1/8" = 1'-0"

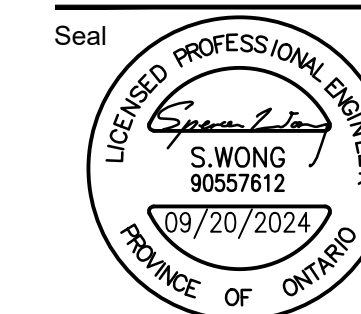
DRAWING NOTES:

- NEW 4' LOW PROFILE LED STRIP LIGHT (LBA) AND ROUGH SERVICE LED LIGHT (LBB) TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING WIRING/CONDUITS.
- NEW COMBINATION EMERGENCY BATTERY UNIT (EBU-4), FED FROM INDIVIDUAL AC CIRCUIT TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING WIRING/CONDUITS.
- NEW EMERGENCY DOUBLE HEADS, FED FROM EMERGENCY BATTERY UNIT TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING WIRING/CONDUITS.
- NEW SELF-POWERED EXIT SIGNS, FED FROM INDIVIDUAL AC CIRCUITS TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING WIRING/CONDUITS.
- PROVIDE NEW 2#12 AWG RW90 COPPER CABLES PLUS 1#12 AWG GREEN JACKET COPPER CABLE IN 21MM METAL CONDUITS FOR ALL LIGHTING CIRCUIT HOMERUNS TO PANEL A.
- REFER TO DRAWING E-4 FOR ELEVATOR PIT LIGHTING REQUIREMENTS.
- PROVIDE LUTRON POWER PACK IN EACH ROOM WITH WIRELESS LIGHTING CONTROL FOR THE CONTROL OF NEW LIGHT FIXTURES IN EACH ROOM.
- PROVIDE LUTRON WIRELESS HUB AS A CONNECTION POINT FOR LUTRON VIVE DEVICES SUCH AS POWPAK WIRELESS DIMMING MODULES, PICO WIRELESS CONTROLS, RADIO POWR SAVR OCCUPANCY SENSORS AND DAY LIGHT SENSORS. PROVIDE A 15A, 120V POWER SUPPLY AND ETHERNET CONNECTION TO EACH HUB.

No.	Revision	Date	By
5	ISSUED FOR PERMIT REVISION	Sep. 20, 24	A.S.
4	ISSUED FOR ADDENDUM #E1	June 10, 24	A.S.
3	ISSUED FOR BUILDING PERMIT	June 10, 24	A.S.
2	ISSUED FOR TENDER	May 13, 24	A.S.
1	ISSUED FOR 90% CLIENT REVIEW	Apr. 01, 24	A.S.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
Upper Yonge Village Daycare Centre
 14 St. Clements Avenue, Toronto, ON

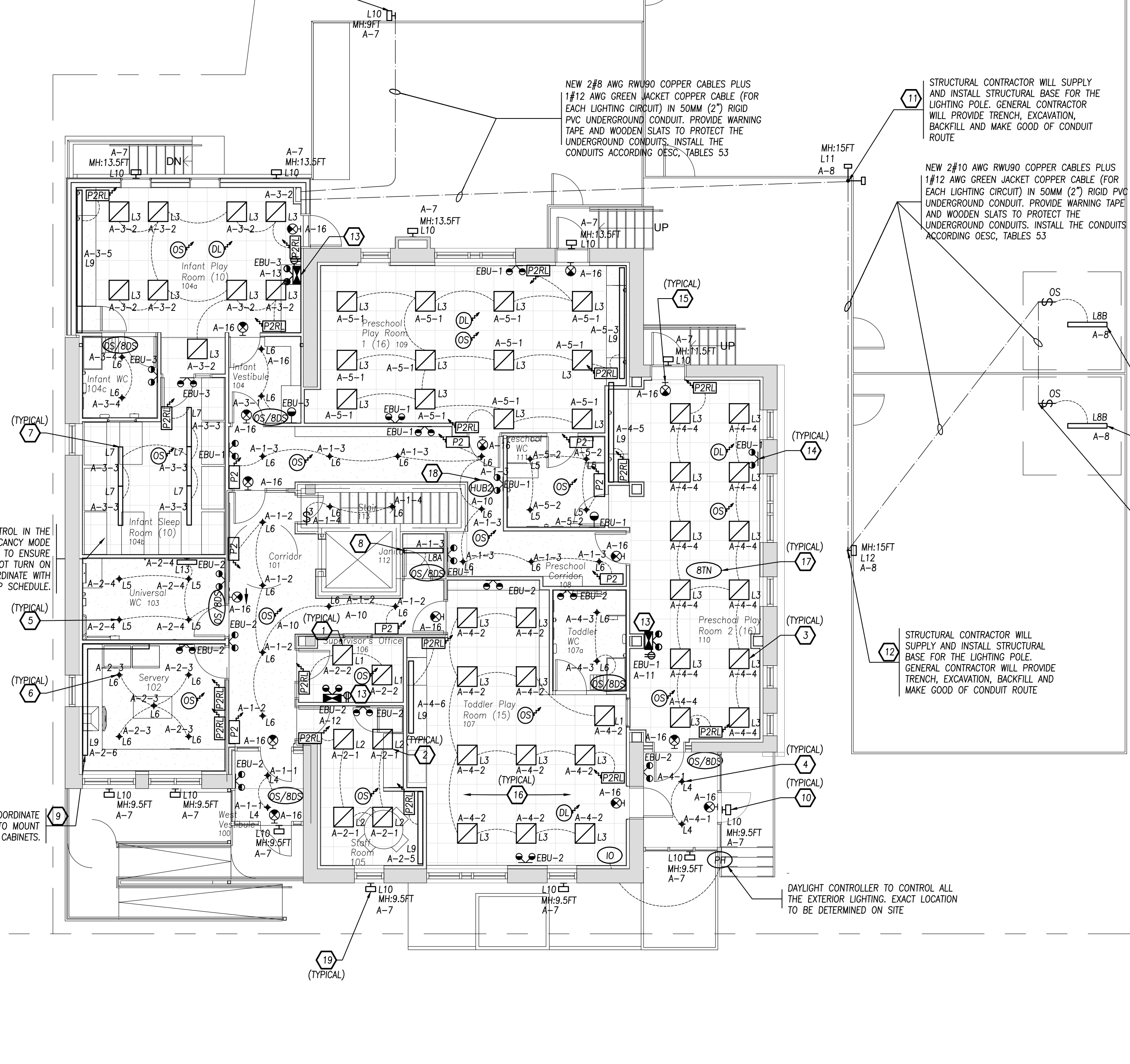
BUILDING RENOVATION

Sheet Title

BASEMENT FLOOR
 NEW LIGHTING LAYOUT

Drawn By **A.S.** Scale **AS NOTED**
 Designed By **J.W.** Date **March, 2024**
 RJC Project Number **TOR.122940.0001**
 Sheet Number **E-6** Revision

GENERAL CONTRACTOR WILL PROVIDE TRENCH, EXCAVATION, BACKFILL AND MAKE GOOD OF CONDUIT ROUTE



1 MAIN FLOOR - NEW LIGHTING LAYOUT
E-7 SCALE: 1/8" = 1'-0"

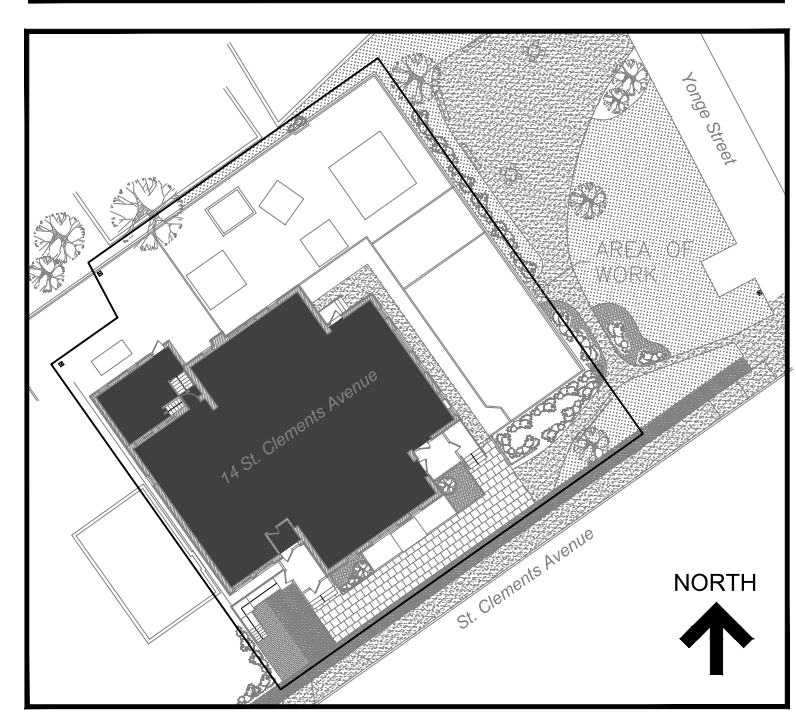
LIGHTING CONTROL NOTES:

- ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL LIGHTING CONTROL, INCLUDING EQUIPMENT, WIRING/CONDUITS. REFER TO NEW LIGHTING DRAWINGS E-6 & E-7 AND LIGHTING CONTROL DIAGRAM DRAWINGS E-15 & E-16. REFER TO E-6 & E-7 FOR THE LIGHTING CONTROL LAYOUTS. E-15 & E-16 IS FOR REFERENCE AND MAY NOT COMPLETELY APPLICABLE TO THE LIGHTING CONTROL LAYOUT. CONTACT AMY.SSUTU@AMYSUTU@LUTRON.COM FOR TECHNICAL INQUIRES. ENGAGE LUTRON FOR THE TESTING AND COMMISSIONING OF NEW LIGHTING CONTROL SYSTEM.
- ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL DIRECT CONNECTIONS VIA WIRING/CONDUITS TO ALL LIGHTING CONTROL DEVICES ON FLOOR PLAN THAT REQUIRE 120V CONNECTION PER DRAWINGS E-15 AND E-16.

LIGHTING CONTROL LEGEND	
SYMBOL	DESCRIPTION
	LUTRON 'PICO' 2-BUTTON WIRELESS REMOTE CONTROL SWITCH WITH LIGHT ICON LABELING. MODEL #PJ2-2B-WH-L01
	LUTRON 'PICO' 2-BUTTON WIRELESS REMOTE DIMMING CONTROL SWITCH WITH RAISE/LOWER CONTROL. MODEL #PJ2-2BRL-WH-L01
	LUTRON RADIO POWER SAVR WIRELESS CEILING MOUNTED OCCUPANCY SENSOR. MODEL #LRF2-OCR2B-P
	LUTRON VIVE SURFACE MOUNTED WIRELESS HUB. ELECTRICAL CONTRACTOR TO PROVIDE 15A, 120V POWER SUPPLY AND ETHERNET CONNECTION FOR HUBS. MODEL #HUS-2-SM
	LUTRON MAESTRO 0-10V RF SENSOR DIMMER SWITCH. MODEL #MRF25-8SD010-WH
	LUTRON VIVE POWPAK WIRELESS DIMMING MODULE WITH 0-10V CONTROL. MODEL #RMUS-8TN-DV-B
	LUTRON RADIO POWR SAVR WIRELESS DAYLIGHT SENSOR. MODEL #LRF2-DCRB-WH

DRAWING NOTES:

- NEW 2'x2' LED TROFFER (L1) TO BE SUPPLIED AND INSTALLED, INCLUDING WIRING/CONDUITS TO SUIT.
- NEW 2'x2' LED TROFFER (L2) TO BE SUPPLIED AND INSTALLED, INCLUDING WIRING/CONDUITS TO SUIT.
- NEW 2'x2' LED TROFFER (L3) TO BE SUPPLIED AND INSTALLED, INCLUDING WIRING/CONDUITS TO SUIT.
- NEW LED DOWNLIGHT (L4) TO BE SUPPLIED AND INSTALLED, INCLUDING WIRING/CONDUITS TO SUIT.
- NEW LED DOWNLIGHT (L5) TO BE SUPPLIED AND INSTALLED, INCLUDING WIRING/CONDUITS TO SUIT.
- NEW LED DOWNLIGHT (L6) TO BE SUPPLIED AND INSTALLED, INCLUDING WIRING/CONDUITS TO SUIT.
- NEW 4' LED SUSPENDED INDIRECT LIGHT (L7) TO BE SUPPLIED AND INSTALLED, INCLUDING WIRING/CONDUITS TO SUIT.
- NEW 4' LOW PROFILE LED STRIP LIGHT (L8A) AND ROUGH SERVICE LED LIGHT (L8B) TO BE SUPPLIED AND INSTALLED, INCLUDING WIRING/CONDUITS TO SUIT.
- NEW COUNTER LED STRIP LIGHT (L9) TO BE SUPPLIED AND INSTALLED, INCLUDING WIRING/CONDUITS TO SUIT.
- NEW WALL PACK (L10) TO BE SUPPLIED AND INSTALLED, INCLUDING WIRING/CONDUITS TO SUIT. CONDUITS EXPOSED OUTDOORS SHALL BE RIGID GALVANIZED STEEL CONDUITS. ALL WALL PACKS TO BE CONTROLLED BY PHOTOCELL AND TIMER CONTROLS.
- NEW DOUBLE HEAD POLE LIGHT (L11) C/W 2# LED HEADS TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR ON A 15 FEET HIGH ALUMINUM POLE, INCLUDING WIRING IN PVC CONDUITS TO SUIT. CONDUITS EXPOSED OUTDOORS SHALL BE RIGID GALVANIZED STEEL CONDUITS. STRUCTURAL CONTRACTOR WILL SUPPLY AND INSTALL STRUCTURAL BASE FOR THE LIGHT POLE. GENERAL CONTRACTOR WILL PROVIDE TRENCH, EXCAVATION, BACKFILL AND MAKE GOOD OF CONDUIT ROUTE. COORDINATE WITH GENERAL AND STRUCTURAL CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
- NEW SINGLE HEAD POLE LIGHT (L12) C/W 1# LED HEAD TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR ON A 15 FEET HIGH ALUMINUM POLE, INCLUDING WIRING IN PVC CONDUITS TO SUIT. CONDUITS EXPOSED OUTDOORS SHALL BE RIGID GALVANIZED STEEL CONDUITS. STRUCTURAL CONTRACTOR WILL SUPPLY AND INSTALL STRUCTURAL BASE FOR THE LIGHT POLE. GENERAL CONTRACTOR WILL PROVIDE TRENCH, EXCAVATION, BACKFILL AND MAKE GOOD OF CONDUIT ROUTE. COORDINATE WITH GENERAL AND STRUCTURAL CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
- NEW EMERGENCY BATTERY UNITS (EBU-1 & EBU-2 & EBU-3) FED FROM INDIVIDUAL AC CIRCUITS, TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING WIRING/CONDUITS.
- NEW EMERGENCY DOUBLE HEADS, FED FROM EMERGENCY BATTERY UNITS TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING WIRING/CONDUITS.
- NEW SELF-POWERED EXIT SIGNS, FED FROM INDIVIDUAL AC CIRCUITS TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING WIRING/CONDUITS.
- PROVIDE NEW 2#12 AWG RW90 COPPER CABLES PLUS 1#12 AWG GREEN JACKET COPPER CABLE IN 21MM METAL CONDUITS FOR ALL LIGHTING CIRCUIT HOMERUNS TO PANEL A.
- PROVIDE LUTRON POWER PACK IN EACH ROOM WITH WIRELESS LIGHTING CONTROL FOR THE CONTROL OF NEW LIGHT FIXTURES IN EACH ROOM.
- PROVIDE LUTRON WIRELESS HUB AS A CONNECTION POINT FOR LUTRON VIVE DEVICES SUCH AS POWPAK WIRELESS DIMMING MODULES, PICO WIRELESS CONTROLS, RADIO POWR SAVR OCCUPANCY SENSORS AND DAY LIGHT SENSORS. PROVIDE A 15A, 120V POWER SUPPLY AND ETHERNET CONNECTION TO EACH HUB.
- PROVIDE PHOTOCELL, 7-DAY ELECTRONIC TIMER SWITCH, INTERMATIC, CAT#ET8015C, AND 30A, 6 POLE LIGHTING CONTACTOR IN METAL ENCLOSURE LOCATED IN THE ELECTRICAL (STORAGE) ROOM#B105 TO CONTROL ALL EXTERIOR LIGHTING.

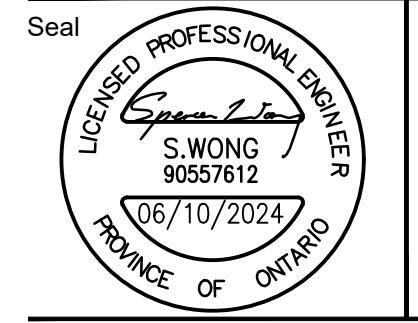


KEY PLAN

No.	Revision	Date	By
3.	ISSUED FOR BUILDING PERMIT	June 10, 24	A.S.
2.	ISSUED FOR TENDER	May 13, 24	A.S.
1.	ISSUED FOR 90% CLIENT REVIEW	Apr. 01, 24	A.S.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJCL") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJCL whether the Work is executed or not, and RJCL reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJCL. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJCL in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
Upper Yonge Village Daycare Centre
14 St. Clements Avenue, Toronto, ON

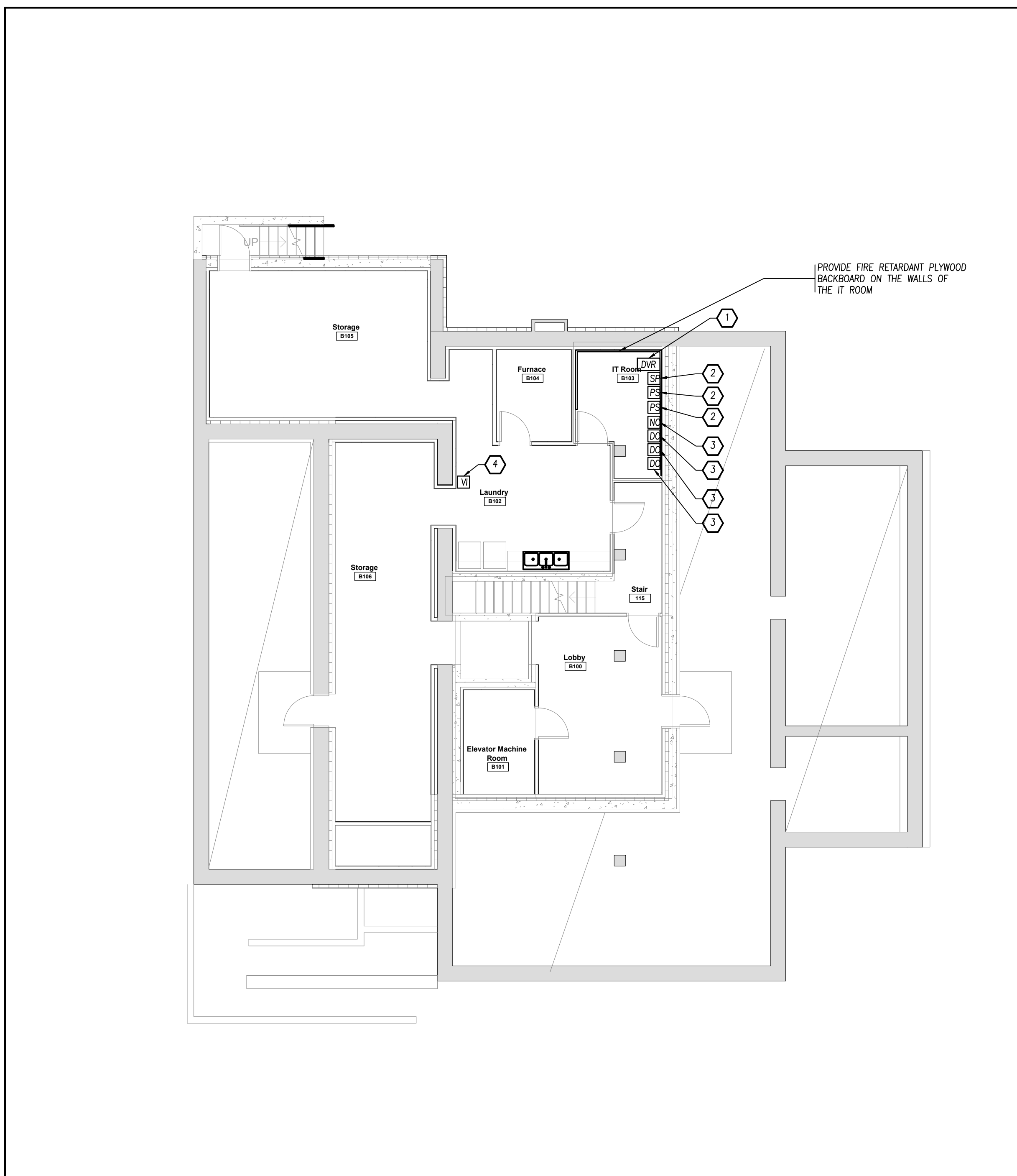
BUILDING RENOVATION

Sheet Title
MAIN FLOOR
NEW LIGHTING LAYOUT

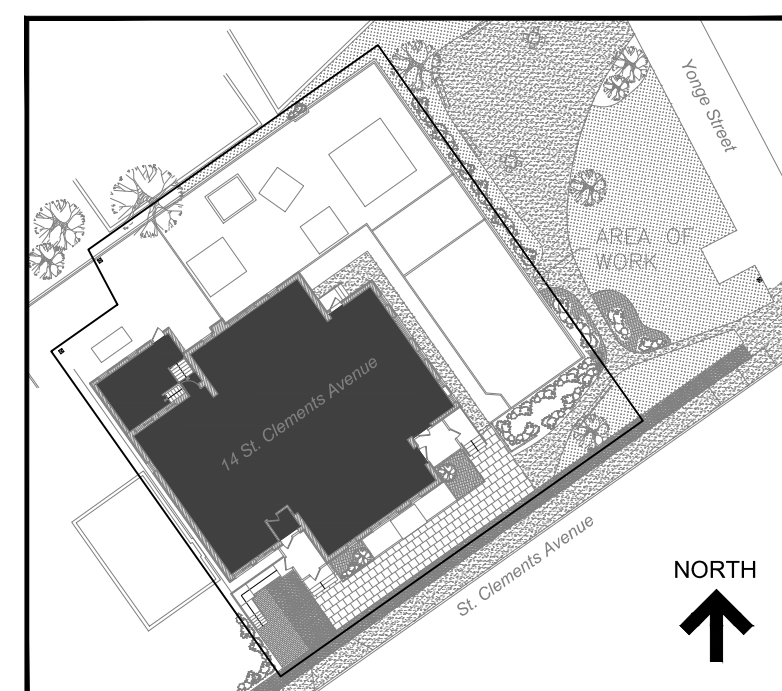
ELECTRICAL
Drawn By **A.S.** Scale **AS**
Designed By **J.W.** Date **NOTED**
RJC Project Number **TOR.122940.0001**
Sheet Number **E-7** Revision

- DRAWING NOTES:**
- ① NEW 8-CHANNELS NETWORK VIDEO RECORDER V/W 2TB HDD TO BE PROVIDED BY ELECTRICAL CONTRACTOR, INCLUDING CAT6 ETHERNET FROM INDIVIDUAL IP CAMERAS IN CONDUITS.
 - ② NEW SECURITY PANEL C/W ALL NECESSARY DEVICES TO BE PROVIDED BY ELECTRICAL CONTRACTOR, INCLUDING WIRING IN CONDUITS.
 - ③ NEW ACCESS SYSTEM INCLUDING NETWORK CONTROLLER AND DOOR CONTROLLER AND ALL NECESSARY DEVICES TO BE PROVIDED BY ELECTRICAL CONTRACTOR, INCLUDING WIRING IN CONDUITS.
 - ④ PROVIDE NEW AIRPHONE SUB-MASTERS IN LAUNDRY ROOM TO COMMUNICATE WITH MASTER INTERCOM IN SUPERVISOR'S OFFICE.
 - ⑤ PROVIDE NEW AIRPHONE SUB-MASTERS IN LAUNDRY ROOM TO COMMUNICATE WITH MASTER INTERCOM IN SUPERVISOR'S OFFICE.

- SPECIAL DRAWING NOTES:**
1. THE CONTRACTOR PERFORMING SECURITY WORK SHALL BE APPROVED BY CITY OF TORONTO UNDER CITY OF TORONTO SECURITY SPECIFICATION STANDARDS.
 2. REFER TO PROPOSED WIRING DIAGRAM SCHEMATIC ON DRAWING E-12 FOR CONNECTIONS.
 3. FOLLOW MANUFACTURES CUT SHEET AND INSTALLATION INSTRUCTIONS FOR WIRING.
 4. SUBMIT CUT SHEETS, SHOP DRAWINGS AND CONTRACTOR PROPOSED WIRING DIAGRAM TO ENGINEER FOR APPROVAL.
 5. ALL SECURITY DEVICES MUST MEET TORONTO SECURITY SPECIFICATION STANDARDS AND TO BE APPROVED BY CITY OF TORONTO.



1 BASEMENT FLOOR - NEW SECURITY LAYOUT
E-8 SCALE: 1/8" = 1'-0"

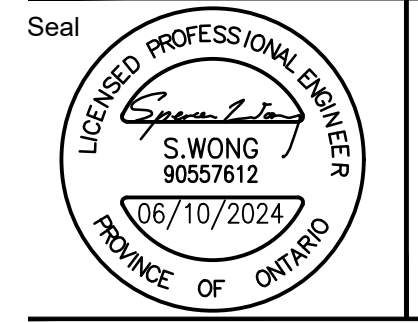


KEY PLAN

No.	Revision	Date	By
3.	ISSUED FOR BUILDING PERMIT	June 10, 24	A.S.
2.	ISSUED FOR TENDER	May 13, 24	A.S.
1.	ISSUED FOR 90% CLIENT REVIEW	Apr. 01, 24	A.S.

Drawing Notes

1. All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJCL") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJCL whether the Work is executed or not, and RJCL reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
2. These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJCL. The work "as constructed" may vary from what is shown on these drawings.
3. Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJCL in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

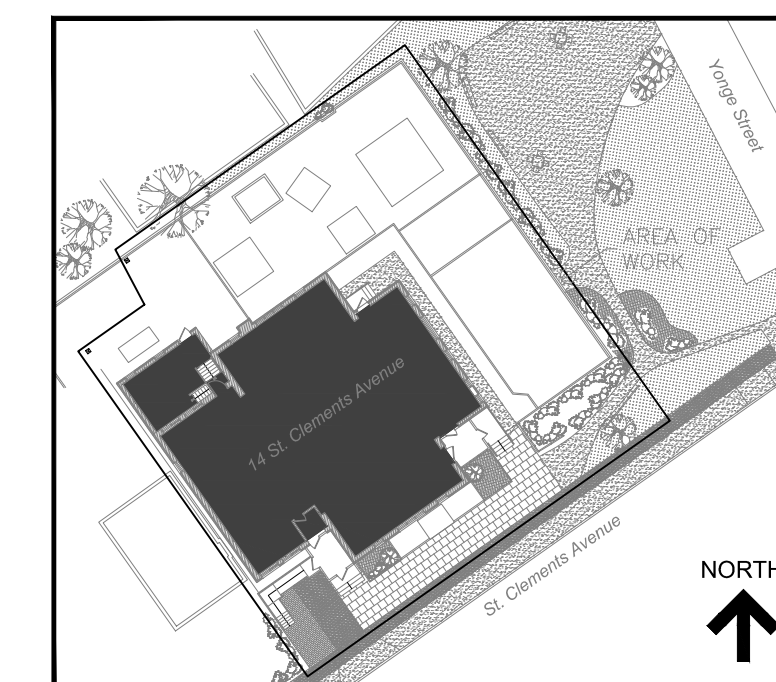


Project Name
**Upper Yonge Village
 Daycare Centre**
 14 St. Clements Avenue, Toronto, ON

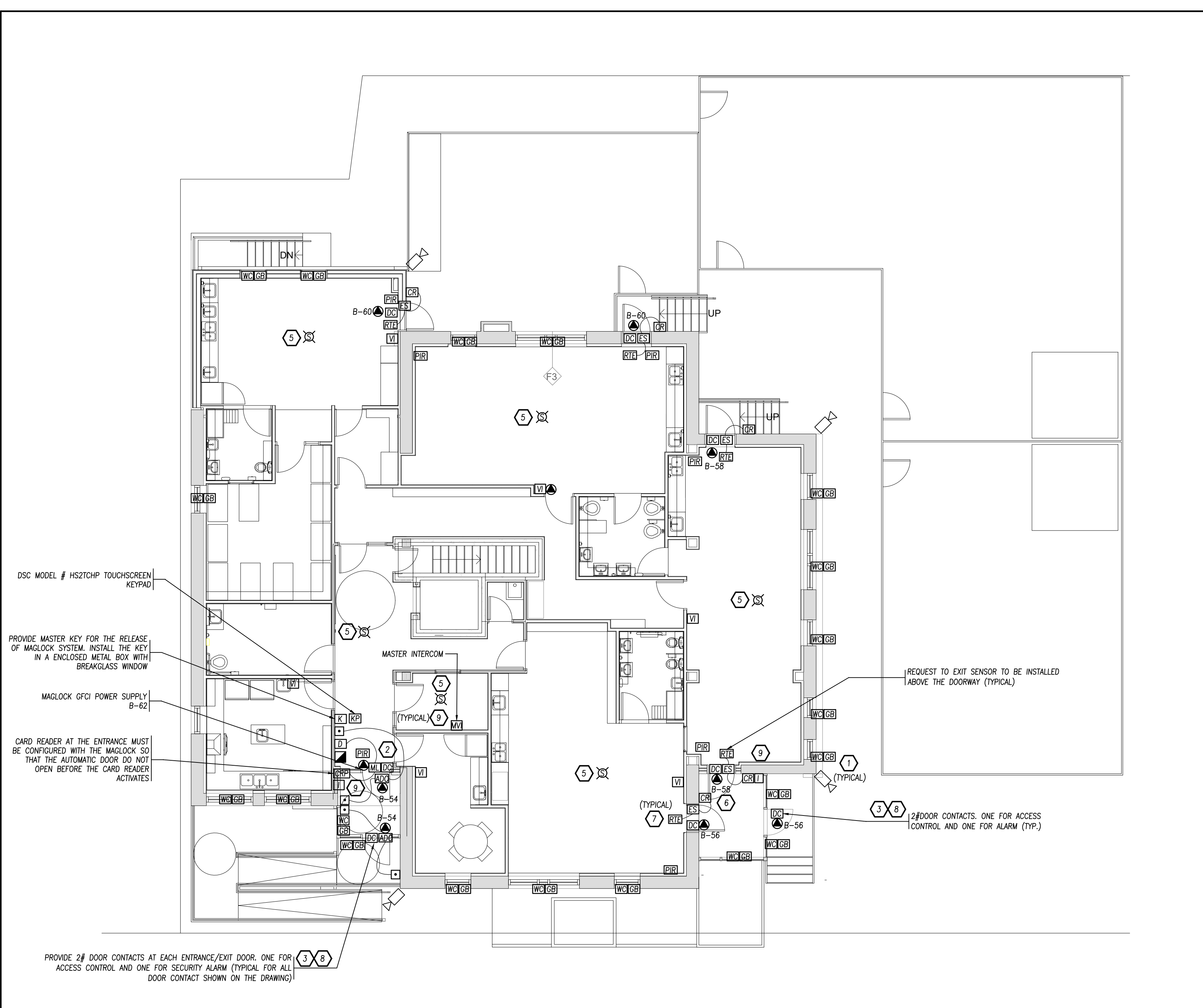
BUILDING RENOVATION

Sheet Title
 BASEMENT FLOOR
 NEW SECURITY LAYOUT

Drawn By	A.S.	Scale	AS
Designed By	J.W.	Date	NOTED March, 2024
RJC Project Number	TOR.122940.0001		
Sheet Number	E-8	Revision	



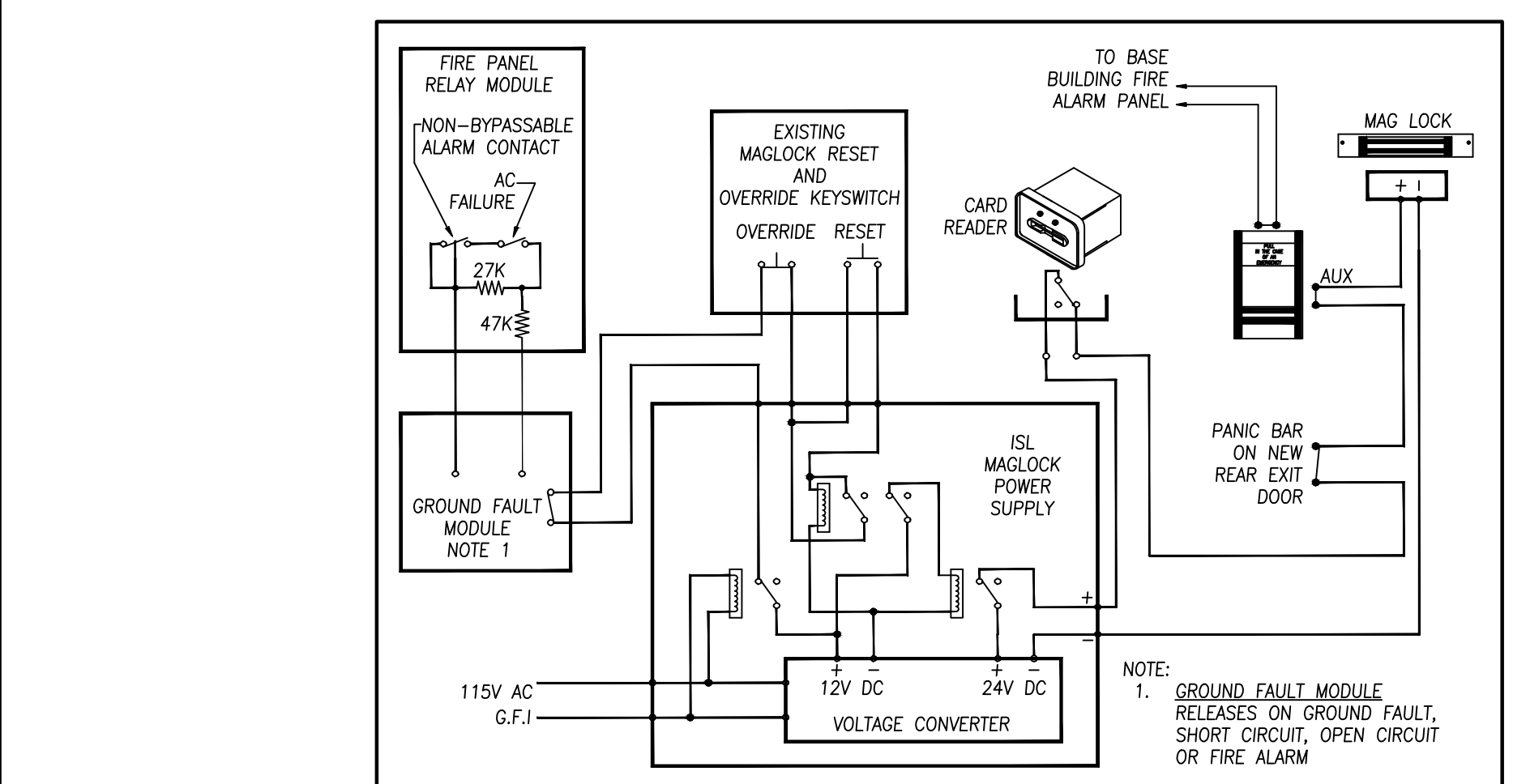
KEY PLAN



1 MAIN FLOOR - NEW SECURITY LAYOUT
 SCALE: 1/8" = 1'-0"

- DRAWING NOTES:**
- NEW 360 PANORAMIC MULTIDIRECTIONAL CAMERA (AVIS, CAT# P3737-PL5) C/W MOUNT ON THE CORNER OF THE EXTERIOR WALL TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING CAT5e ETHERNET CABLES IN RIGID GALVANIZED STEEL CONDUITS FROM THE CAMERAS TO THE NETWORK VIDEO RECORDER. THE CAMERA SHALL BE MOUNTED SUCH THAT IT CAN LOOK AT THE ENTRANCE SIDE OF THE WALL, AND THE OTHER ADJACENT WALL.
 - NEW MAGLOCK WITH CARD READER C/W KEYPAD TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING WIRING IN RIGID GALVANIZED STEEL CONDUITS. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL BUT NOT LIMITED TO THE FOLLOWING:
 - NEW MAGLOCK AT THE TOP OF THE INNER VESTIBULE DOOR.
 - NEW CARD READER C/W KEYPAD WITH SECURED TYPE VANDAL METAL BACK BOX AND FIBERGLASS COVER PLATE. THE CARD READER C/W KEYPAD CAN UNLOCK THE MAGLOCK IF ACTIVATED.
 - SUPPLY AND INSTALL NEW FIRE ALARM PULL STATION WITH AUXILIARY CONTACT TO UNLOCK THE MAGLOCK IF THE PULL STATION IS PULLED. REFER TO 1/E-5 FOR LOCATION OF PULL STATION.
 - NEW CENTRALIZED MAGLOCK SYSTEM IN THE ELECTRICAL ROOM, INCLUDE LINE VOLTAGE POWER SUPPLY FROM PANEL 'B' TO THE SYSTEM, AND LOW VOLTAGE POWER SUPPLY FROM SYSTEM TO DEVICE.
 - PROVIDE ALL NECESSARY WIRING IN 1/2" METAL CONDUITS AS REQUIRED.
 - PROVIDE 120VAC, 1A, GFCI ELECTRICAL CIRCUIT AS THE POWER SUPPLY TO THE MAGLOCK.
 - REFER TO 2/E-9 FOR MAGLOCK SCHEDULE DIAGRAM.
 - SUBMIT PROPOSED MAGLOCK SHOP DRAWINGS TO ENGINEER TO REVIEW PRIOR TO COMMENCEMENT OF WORK.
 - THE MAGLOCK SHALL BE RELEASED:
 - IMMEDIATELY UPON ACTIVATION OF THE FIRE ALARM SYSTEM
 - UPON THE LOSS OF POWER
 - UPON ACTIVATION OF A MANUALLY OPERATED CENTRAL CONTROL KEY SWITCH CONTROLLING THE MAGLOCKS IN THE BUILDING.
 - UPON ACTIVATION OF THE MANUAL PULL STATION THAT IS LOCATED WITHIN 600MM FROM THE INSIDE FRAME OF THE DOOR.
 - NEW DOOR CONTACT FOR ALARM TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING WIRING IN EMT CONDUITS FROM THE NEW SECURITY PANEL.
 - NEW PIR MOTION SENSOR TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING WIRING IN EMT CONDUITS FROM THE NEW SECURITY PANEL.
 - NEW SIREN TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING WIRING IN EMT CONDUITS FROM THE NEW SECURITY PANEL.
 - NEW CARD READER TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING WIRING IN EMT CONDUITS FROM THE NEW DOOR CONTROLLER PANELS.
 - NEW REQUEST TO EXIT TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING WIRING IN EMT CONDUITS FROM THE NEW DOOR CONTROLLER PANELS.
 - NEW DOOR CONTACT FOR ACCESS CONTROL TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING WIRING IN EMT CONDUITS FROM THE NEW DOOR CONTROLLER PANELS.
 - PROVIDE NEW IPHONE VIDEO INTERCOM SYSTEM INTERCONNECTED BETWEEN WEST & EAST VESTIBULE AND THE SUPERVISORS OFFICE WITH SUB-MASTER STATIONS IN MAIN SERVERY, ALL PLAYROOMS, LAUNDRY ROOM, AND STAFF ROOM. THE IPHONE VIDEO INTERCOM SHALL BE JP SERIES OR EQUAL INCLUDING JP-4MED 7" VIDEO MASTER STATION WITH TOUCHSCREEN LCD & 2 DOOR RELEASE BUTTONS, JP-4HD 7" VIDEO SUB-MASTER STATIONS WITH TOUCHSCREEN LCD & 2 DOOR RELEASE BUTTONS, JD-DVF STAINLESS STEEL VIDEO DOOR STATIONS, PS-2420UL POWER SUPPLIES, AND RY-1824L DOOR RELEASE RELAYS TO RELEASE THE MAGLOCK AND ELECTRIC STRIKE AT THE ENTRANCE DOORS. MOUNT THE SUB-MASTER STATIONS AT HIGHER LEVEL. EXACT MOUNTING HEIGHT TO BE CONFIRMED ON SITE. CONFIRM WITH CLIENT WHICH SUB-MASTER STATIONS CAN HAVE DOOR RELEASE FUNCTION. PROVIDE FT6, PLENUM RATED, CAT5e ETHERNET CABLES BETWEEN THE STATIONS.

2 MAGLOCK SCHEMATIC DIAGRAM
 SCALE: N.T.S.



MAGLOCK SEQUENCE OF OPERATION

- MAGLOCK SHALL BE IMMEDIATELY RELEASED UPON LOSS OF POWER TO THE FIRE ALARM CONTROL PANEL OR LOSS OF POWER TO THE MAGLOCK CONTROL SYSTEM.
- MAGLOCK SHALL BE IMMEDIATELY RELEASED UPON ACTUATION OF THE EXISTING MAGLOCK MASTER SWITCH C/W KEY OPERATED SWITCH FOR MAGLOCK.
- MAGLOCK SHALL BE IMMEDIATELY RELEASED WHEN A FAULT OCCURS IN THE ELECTRICAL CIRCUIT BETWEEN THE FIRE ALARM PANEL AND THE MAGLOCK CONTROLLER.
- MAGLOCK SHALL BE IMMEDIATELY RELEASED UPON OPERATION OF THE ADJACENT MANUAL FIRE ALARM PULLSTATION.
- MAGLOCK SHALL BE IMMEDIATELY RELEASED UNDER CONDITION SIGNALLED BY FIRE ALARM CONTROL PANEL.
- ONCE RELEASE, THE MAGLOCK MUST BE RE-SET BY MANUALLY ACTUATING THE KEY SWITCH LOCATED IN THE VESTIBULE LOCATED ON THE GROUND FLOOR.
- MAGLOCK SHALL BE RELEASED THROUGH DEPRESSION OF THE REQUEST-TO-EXIT PUSHBUTTON.

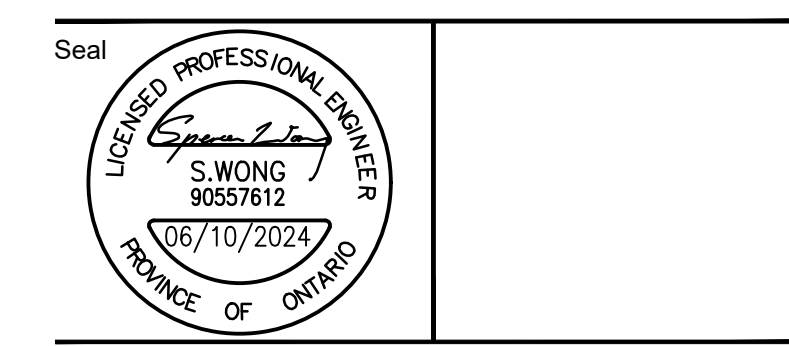
ADDITIONAL REQUIREMENTS FOR MAGLOCK

- MAGLOCK INSTALLATION SHALL BE INSTALLED AND WILL OPERATE IN ACCORDANCE WITH EACH OF THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE (3.4.6.16(4)(A) THROUGH K).
- MAGLOCK INSTALLATION SHALL COMPLY WITH SENTENCE 3.4.6.16 (4) OF THE ONTARIO BUILDING CODE.
- ALL WIRING TO DEVICES SHALL BE IN FLEX OR CONDUITS.
- NEW FIRE ALARM PULLSTATION INSTALLED FOR THE RELEASE OF MAGLOCK SYSTEM SHALL BE DUAL CONTACTS TYPE. CONNECT FIRE ALARM PULLSTATION TO THE EXISTING BUILDING FIRE ALARM SYSTEM PULLSTATION CIRCUIT. OPERATION OF THE PULLSTATION SHALL RELEASE THE MAGLOCKS.
- NOT USED.
- 'EMERGENCY EXIT DOOR UNLOCKED BY FIRE ALARM' SIGN TO BE POSTED AT THE DOOR AS PER THE O.B.C.
- THE EXISTING FIRE ALARM SYSTEM IS SINGLE-STAGE. MAGLOCK SHALL BE RELEASED UPON FIRE ALARM ACTIVATION.
- EXISTING KEYED OVERRIDE SWITCH AND RESET SWITCH TO BE USED.
- PROVIDE INTERFACE TO THE FIRE ALARM CONTROL PANEL AS REQUIRED.
- EXISTING BY-PASS SWITCH AND MONITORED TROUBLE ZONE INDICATOR AT THE FIRE ALARM CONTROL PANEL CAN BE USED.
- CONNECT THE NEW MAGLOCK TO THE EXISTING MAGLOCK MASTER SWITCH LOCATED AT THE VESTIBULE IN GROUND FLOOR.
- PROVIDE DEDICATED GFCI ELECTRICAL CIRCUIT FOR THE MAGLOCK SUPPLY.

No.	Revision	Date	By
3.	ISSUED FOR BUILDING PERMIT	June 10, 24	A.S.
2.	ISSUED FOR TENDER	May 13, 24	A.S.
1.	ISSUED FOR 90% CLIENT REVIEW	Apr. 01, 24	A.S.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJCL") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJCL whether the Work is executed or not, and RJCL reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJCL. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJCL in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

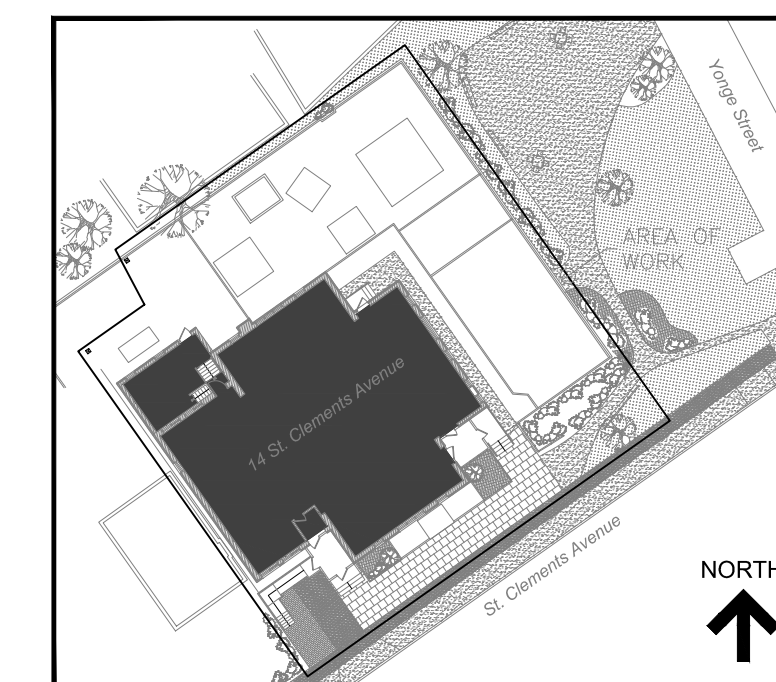


Project Name
Upper Yonge Village Daycare Centre
 14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title
 MAIN FLOOR
 NEW SECURITY LAYOUT

Drawn By **A.S.** Scale **AS NOTED**
 Designed By **J.W.** Date **March, 2024**
 RJC Project Number **TOR.122940.0001**
 Sheet Number **E-9** Revision

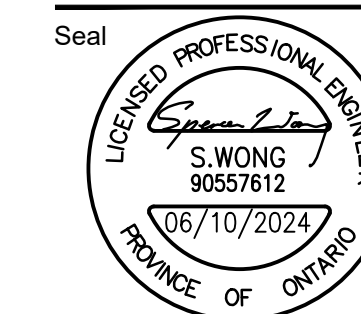


KEY PLAN

No.	Revision	Date	By
3.	ISSUED FOR BUILDING PERMIT	June 10, 24	A.S.
2.	ISSUED FOR TENDER	May 13, 24	A.S.
1.	ISSUED FOR 90% CLIENT REVIEW	Apr. 01, 24	A.S.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



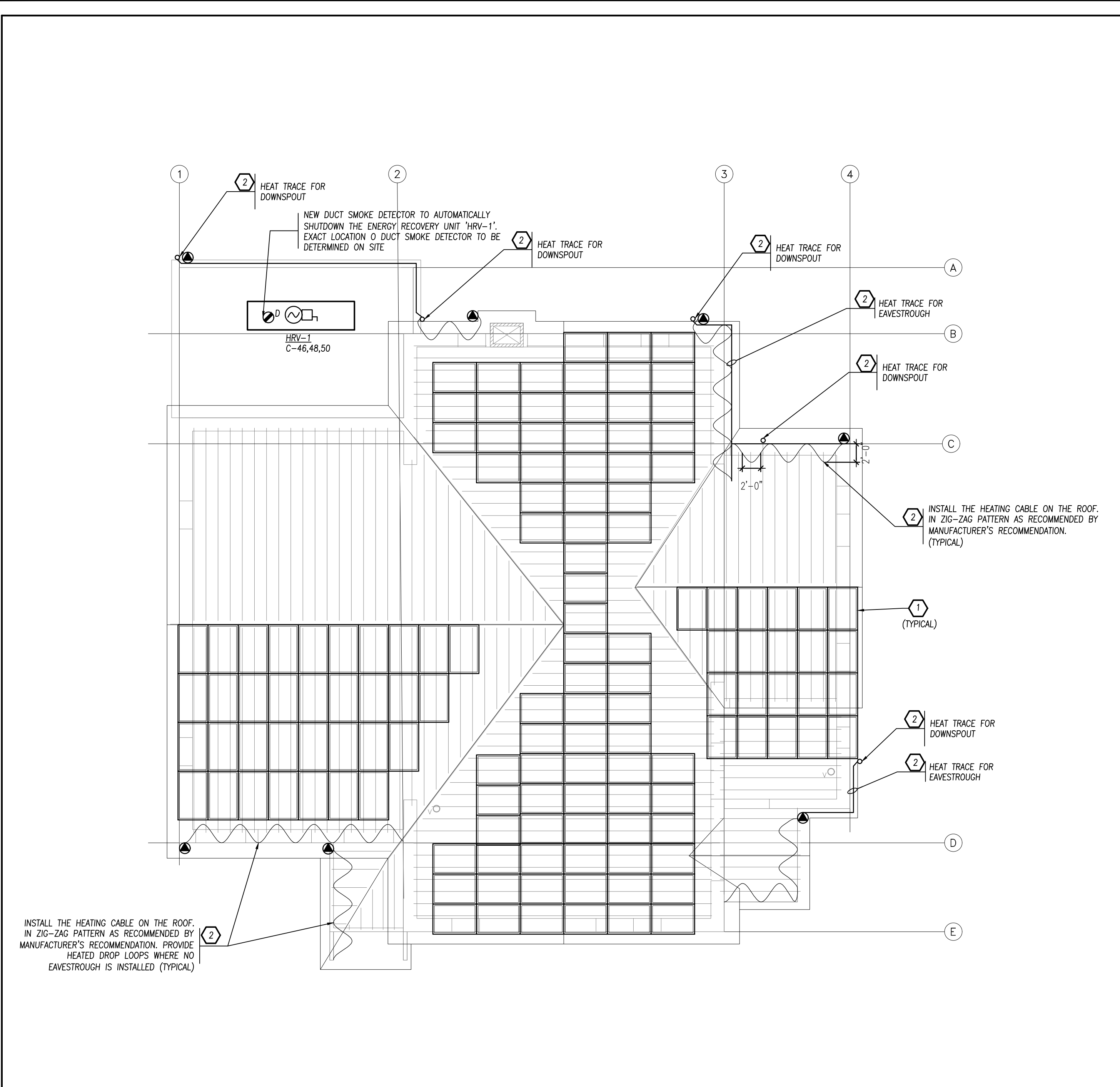
Project Name
**Upper Yonge Village
 Daycare Centre**
 14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title

ROOF PLAN
 SOLAR PANELS

Drawn By **A.S.** Scale **AS NOTED**
 Designed By **J.W.** Date **March, 2024**
 RJC Project Number **TOR.122940.0001**
 Sheet Number **E-10** Revision

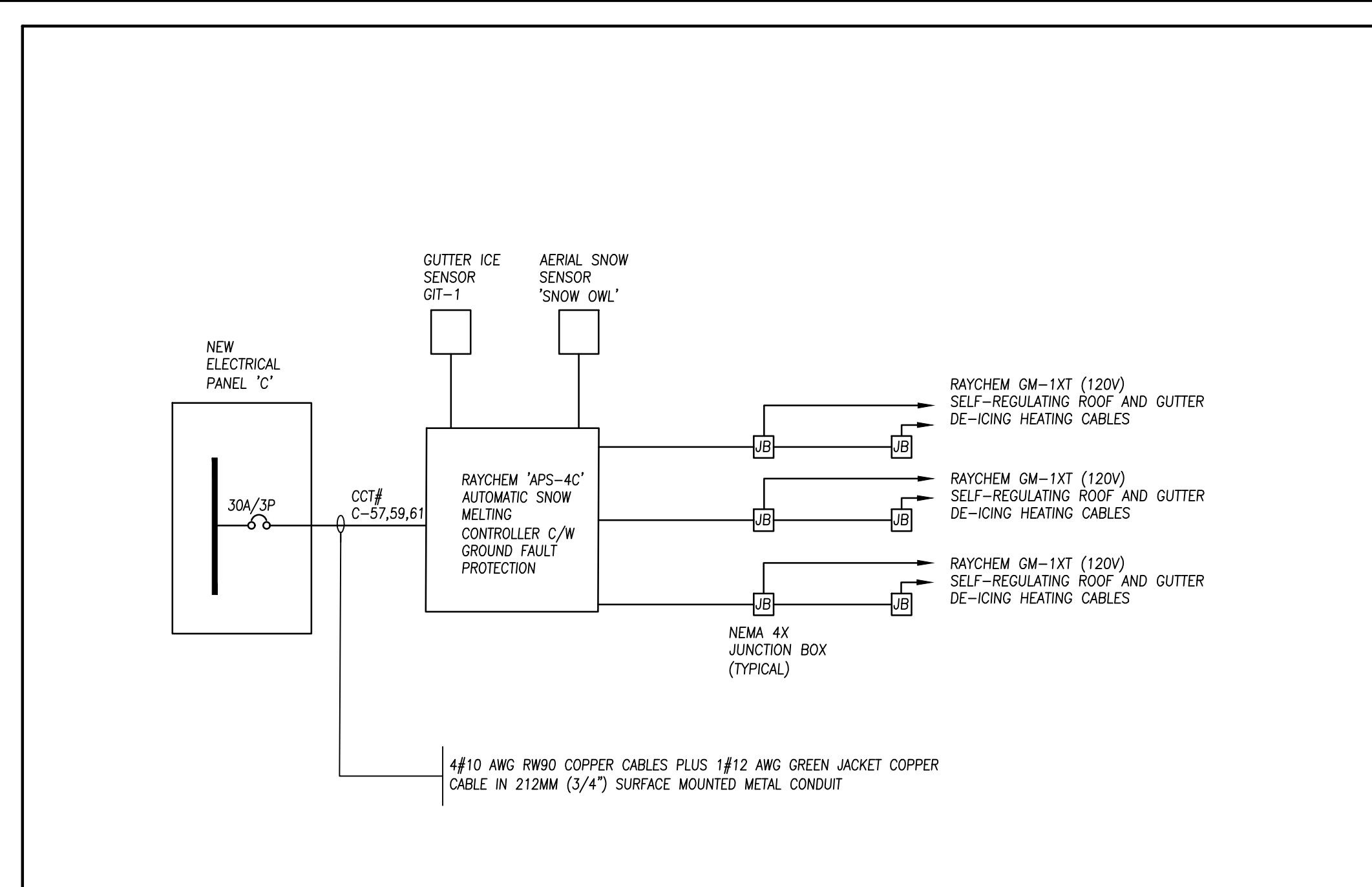


1 ROOF PLAN - SOLAR PANEL AND PHOTOCELL

E-10 SCALE: 1/8" = 1'-0"

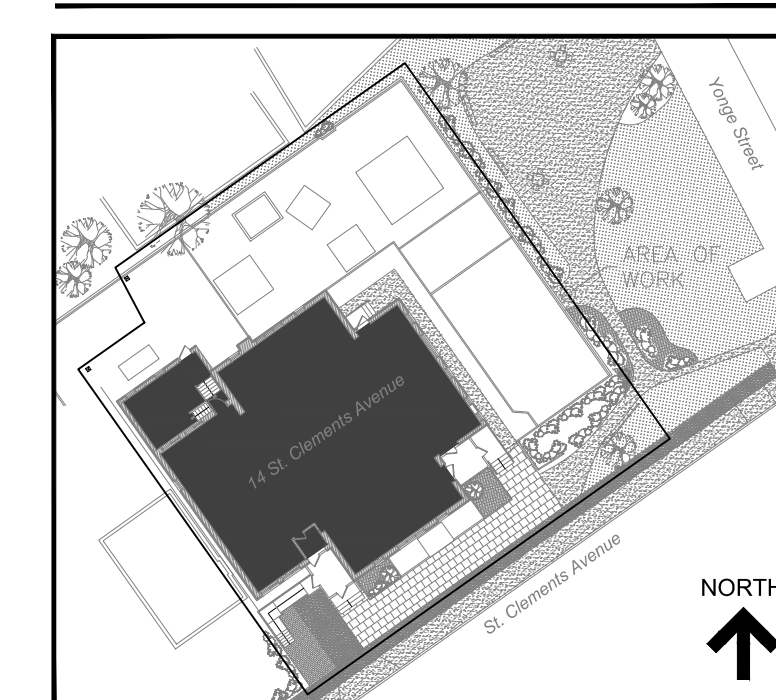
DRAWING NOTES:

- NEW SOLAR PANELS CAT#CS6U-335M TO BE SUPPLIED BY CITY OF TORONTO AND TO BE INSTALLED BY ELECTRICAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL NECESSARY EQUIPMENT AND DEVICES INCLUDING: MICRO-INVERTERS, 10 CABLES, 0 AGREGATORS, SOLARDECKS, CURRENT TRANSFORMERS AND WIRING/CONDUITS. THE SOLAR PANELS WILL BE MOUNTED TO THE ROOF STRUCTURES PROVIDED BY THE SOLAR PANEL INSTALLER/CONTRACTOR ENGAGED BY THE ELECTRICAL CONTRACTOR. STRUCTURAL CONTRACTOR WILL ONLY BE PERFORMING STRUCTURAL UPGRADES TO THE BASE BUILDING STRUCTURE TO SUPPORT THE NEW SOLAR PANEL INSTALLATION. THE ASSOCIATED PANEL WILL BE CONNECTED TO TORONTO HYDRO'S NEW NET METER. COORDINATE ALL WORK WITH SOLAR PANEL INSTALLER/CONTRACTOR, STRUCTURAL CONTRACTOR AND TORONTO HYDRO. REFER TO SINGLE LINE DIAGRAM FOR DETAILS. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMIT THE DISTRIBUTED ENERGY RESOURCE (DER) APPLICATION FOR THE NEW SOLAR SYSTEM AND NET METERING TO TORONTO HYDRO. THIS INCLUDES THE CONNECTION IMPACT ASSESSMENT(CIA) APPLICATION.
- PROVIDE A ROOF AND GUTTER DE-ICING SYSTEM INCLUDING AUTOMATIC SNOW MELTING CONTROLLER, GUTTER ICE SENSOR, AERIAL SNOW SENSOR, SELF-REGULATING HEATING CABLES, POWER CONNECTION KITS, NEMA 4X JUNCTION BOXES AND ALL NECESSARY ACCESSORIES FOR A COMPLETE ROOF AND GUTTER DE-ICING SYSTEM. RUN THE HEATING CABLE IN ALL DOWNSPOUTS CONNECTED TO THE HEAT TRACED EAVESTROUGH WITH THE END SEAL SHOULD BE LOOPED BACK UP AT LEAST 12 INCHES INSIDE THE DOWNSPOUT. EXACT LOCATION AND NUMBER OF DOWNSPOUTS TO BE VERIFIED ON SITE. FOR THE SLOPED ROOF, RUN HEATING CABLE UP TO THE ROOF UNIT IT IS 12 INCHES PAST THE EXTERIOR WALL INTO THE HEATED AREA AND INSTALL THE HEATING CABLE ON THE ROOF IN ZIG-ZAG PATTERN AS RECOMMENDED BY MANUFACTURER.
- MECHANICAL CONTRACTOR WILL PROVIDE A NEW DUAL CORE ENERGY RECOVERY MAKEUP AIR UNIT (HRV-1) ON THE ROOF. ELECTRICAL CONTRACTOR TO PROVIDE 20A, 208V, 3Ø POWER SUPPLY FED FROM PANEL 'C' INCLUDING 3#10 AWG RW90 COPPER CABLES PLUS 1#12 AWG GREEN JACKET COPPER CABLE IN 21MM EMT CONDUIT (INDOOR) AND 21MM RIGID GALVANIZED STEEL CONDUIT (OUTDOOR) AND TERMINATE AT A NEW 3ØA, 240V, 3 POLE WEATHERPROOF HEAVY DUTY DISCONNECT SWITCH. EXACT WIRING/CONDUIT ROUTES TO BE DETERMINED ON SITE. FINAL CONNECTION TO THE MECHANICAL UNIT SHALL BE VIA LIQUID TIGHT FLEXIBLE STEEL CONDUIT.



2 PROPOSED ROOF AND GUTTER DE-ICING HEATING SYSTEM SCHEMATIC WIRING DIAGRAM

E-10 SCALE: N.T.S.

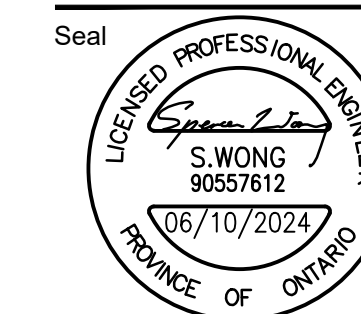


KEY PLAN

No.	Revision	Date	By
3.	ISSUED FOR BUILDING PERMIT	June 10, 24	A.S.
2.	ISSUED FOR TENDER	May 13, 24	A.S.
1.	ISSUED FOR 90% CLIENT REVIEW	Apr. 01, 24	A.S.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJCL") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJCL whether the Work is executed or not, and RJCL reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJCL. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJCL in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
Upper Yonge Village Daycare Centre
 14 St. Clements Avenue, Toronto, ON

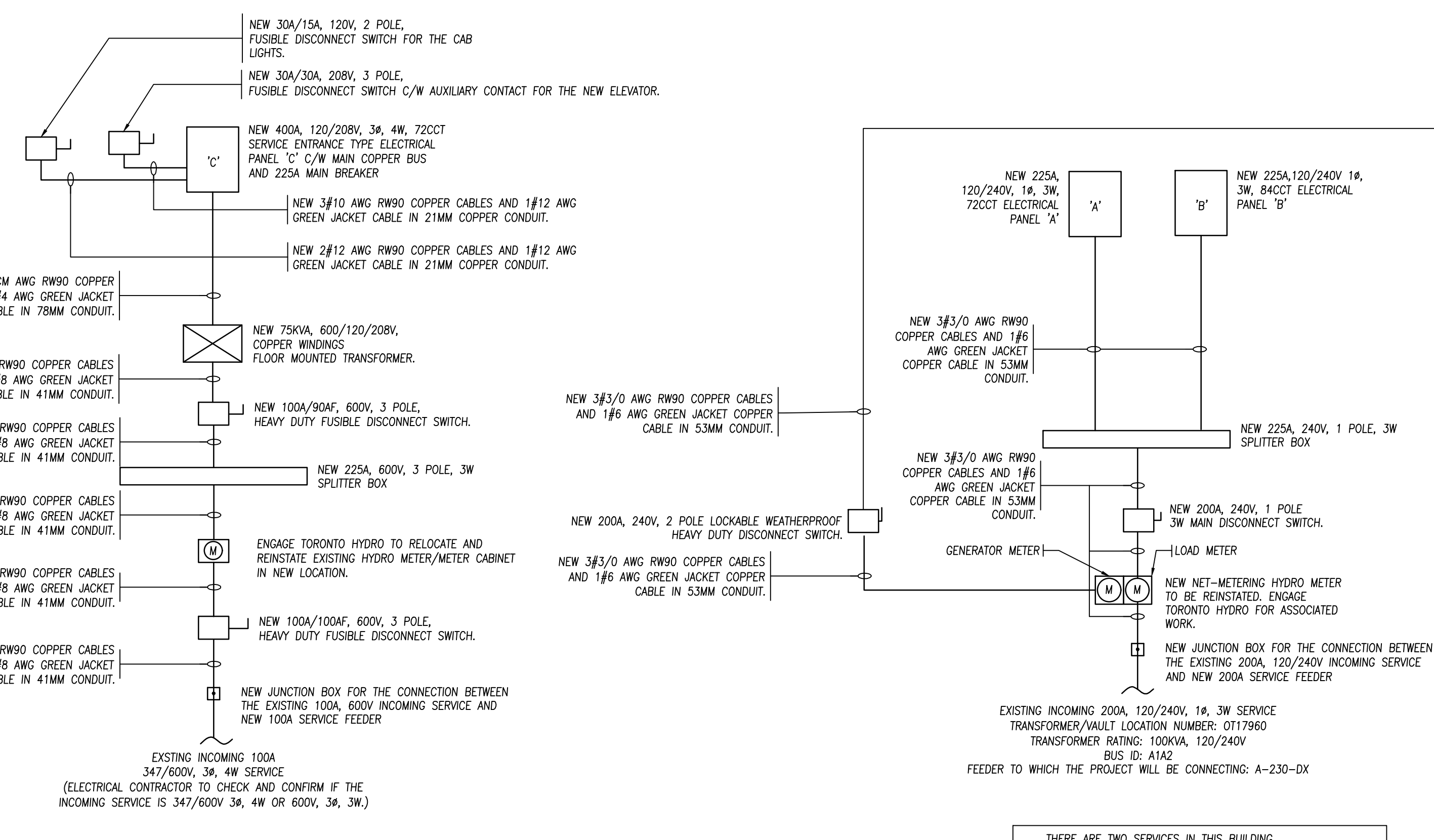
BUILDING RENOVATION

Sheet Title

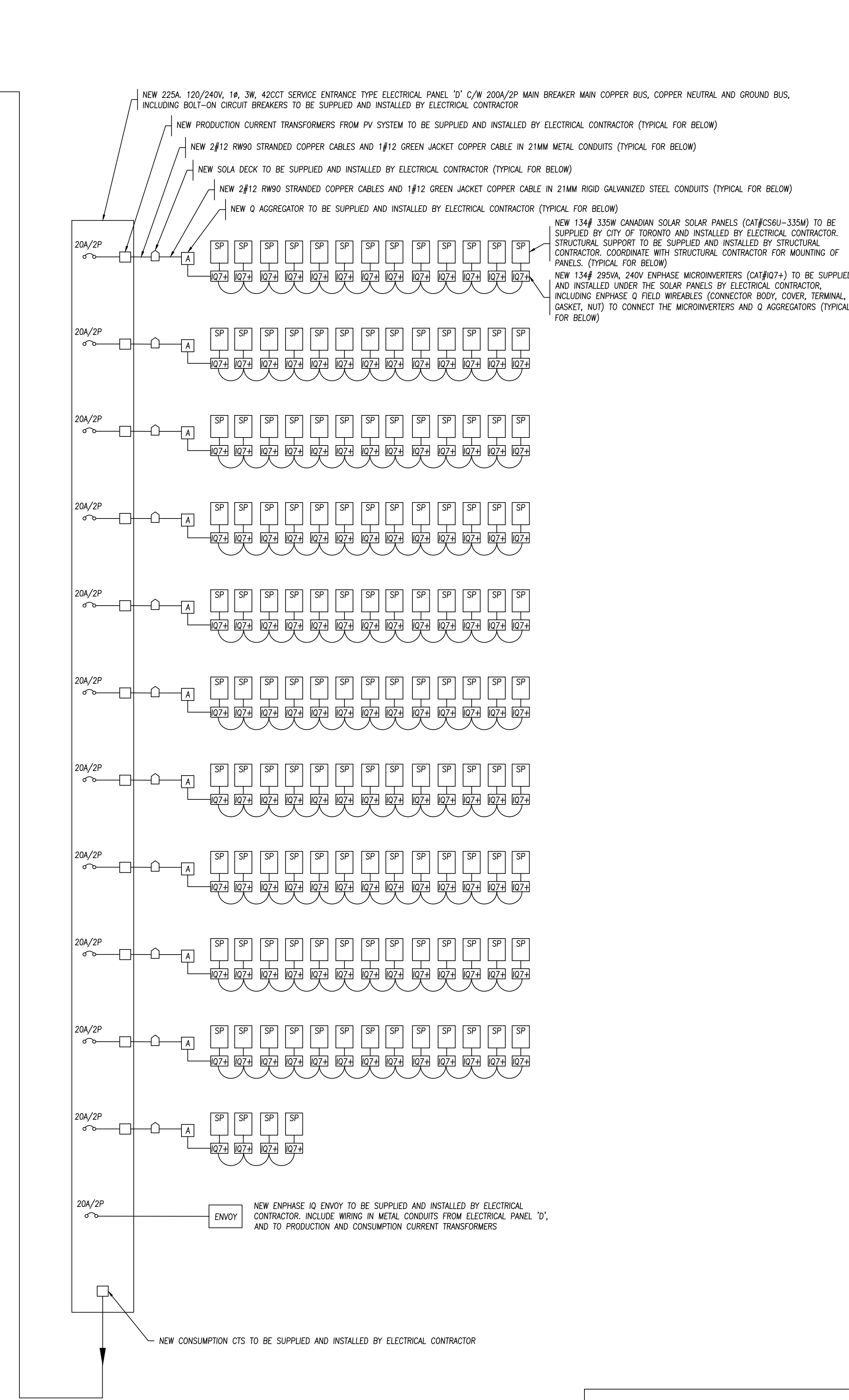
POWER, SNOW MELTING, SOLAR SYSTEMS
 SINGLE LINE DIAGRAMS

Drawn By **A.S.** Scale **AS NOTED**
 Designed By **J.W.** Date **March, 2024**
 RJC Project Number **TOR.122940.0001**

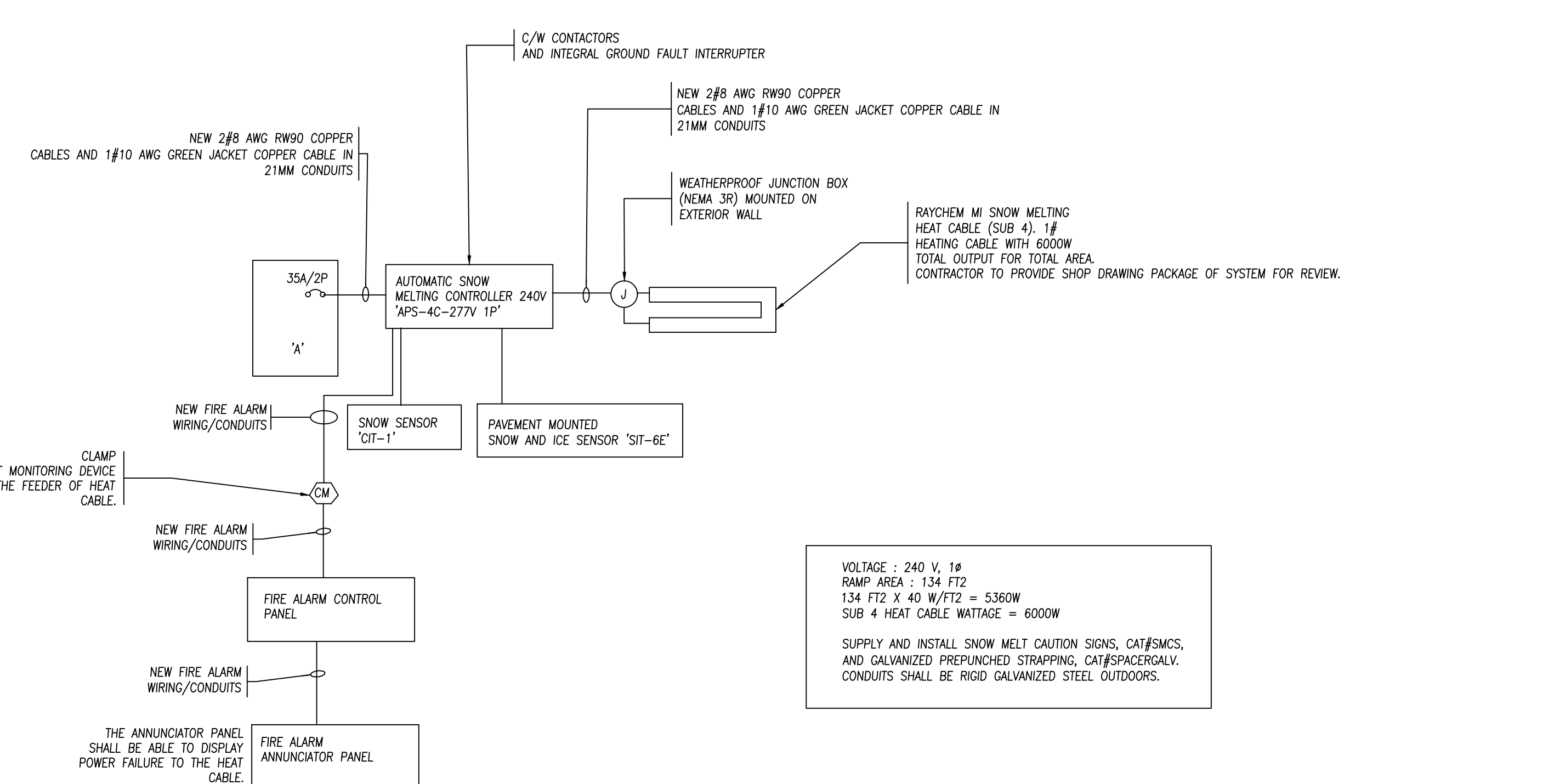
Sheet Number **E-11** Revision



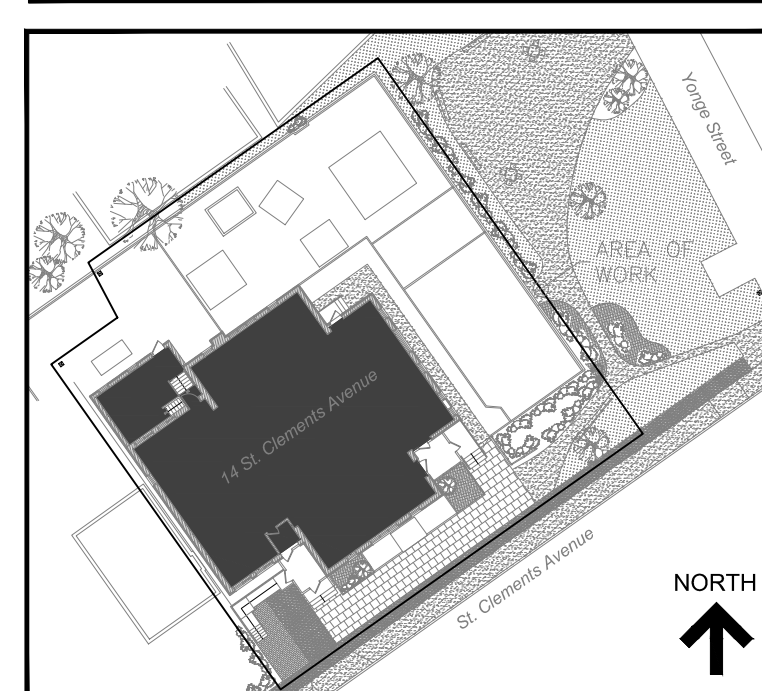
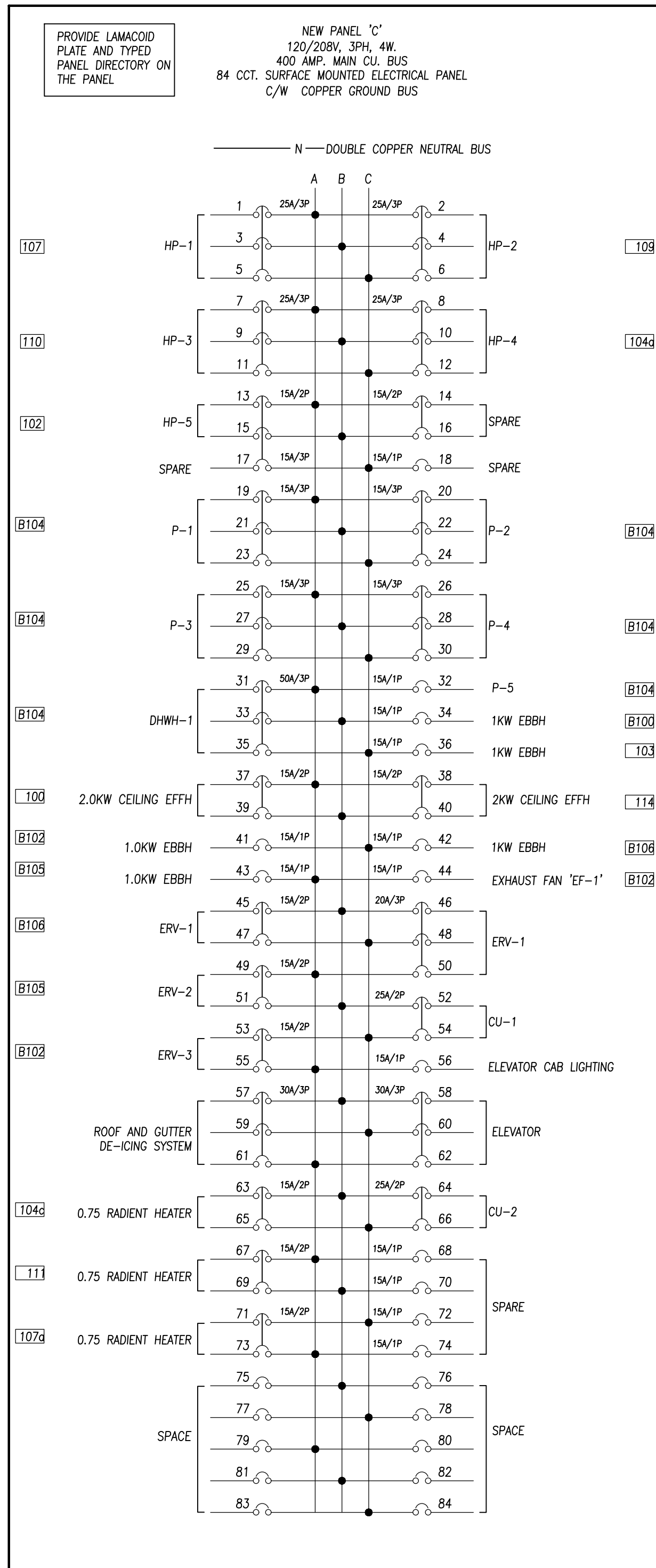
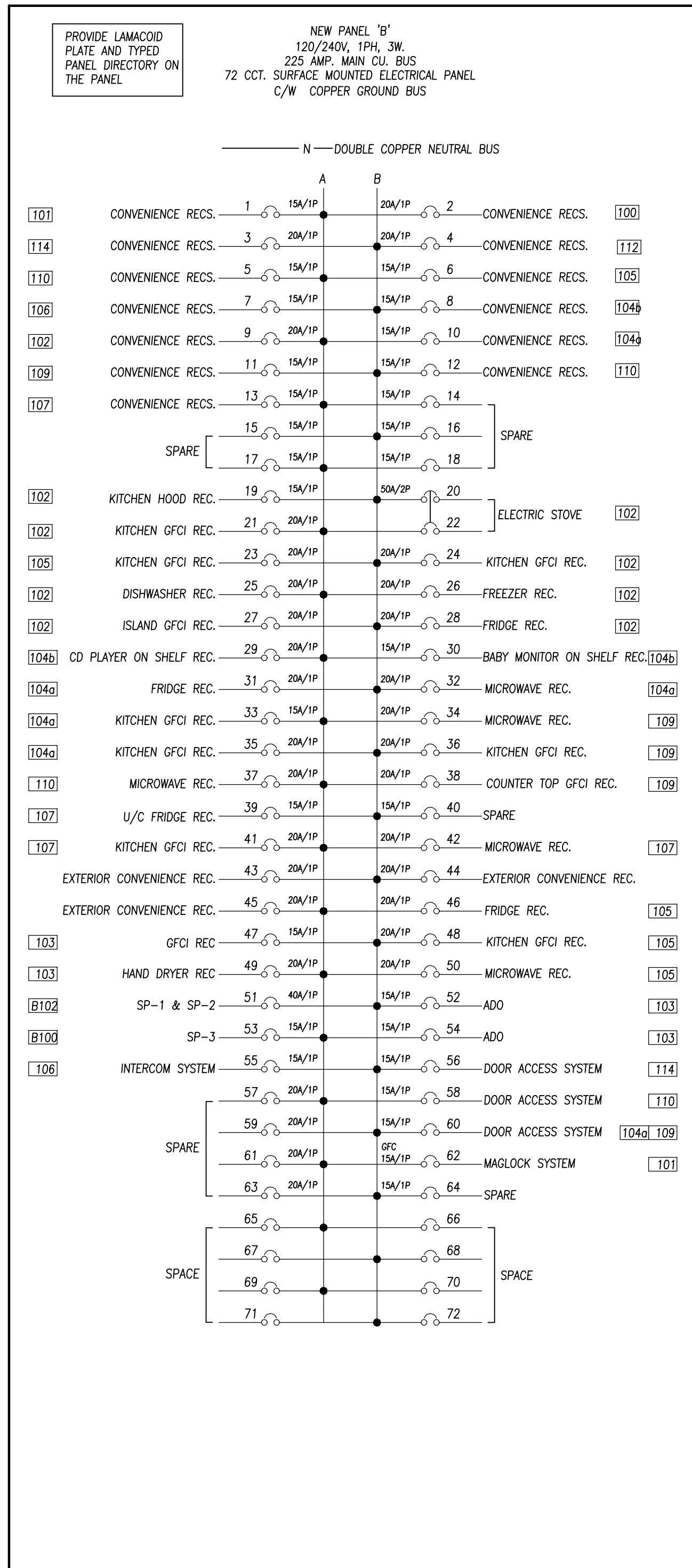
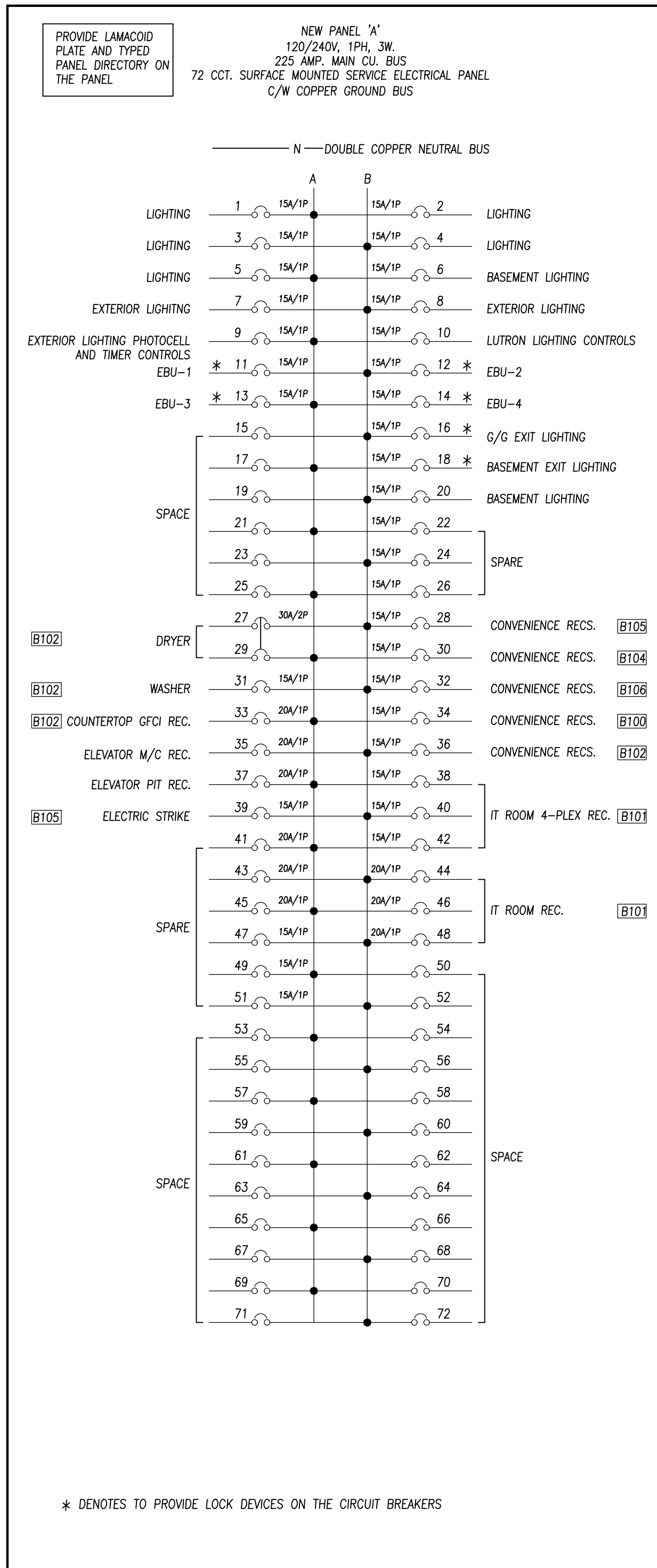
1 NEW POWER SYSTEM SINGLE LINE DIAGRAM
 SCALE: NTS



ANY CONDUITS OUTDOORS SHALL BE RIGID GALVANIZED STEEL OUTDOORS.
 SUBMIT SOLAR SYSTEM SHOP DRAWING PACKAGE TO ENGINEER FOR REVIEW.



2 NEW RAMP HEAT SYSTEM SINGLE LINE DIAGRAM
 SCALE: NTS

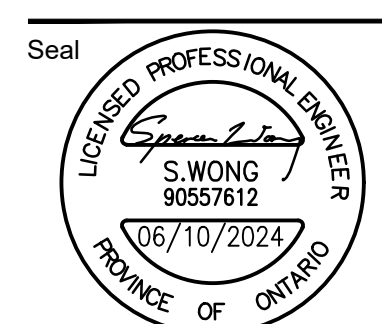


KEY PLAN

No.	Revision	Date	By
3.	ISSUED FOR BUILDING PERMIT	June 10, 24	A.S.
2.	ISSUED FOR TENDER	May 13, 24	A.S.
1.	ISSUED FOR 90% CLIENT REVIEW	Apr. 01, 24	A.S.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

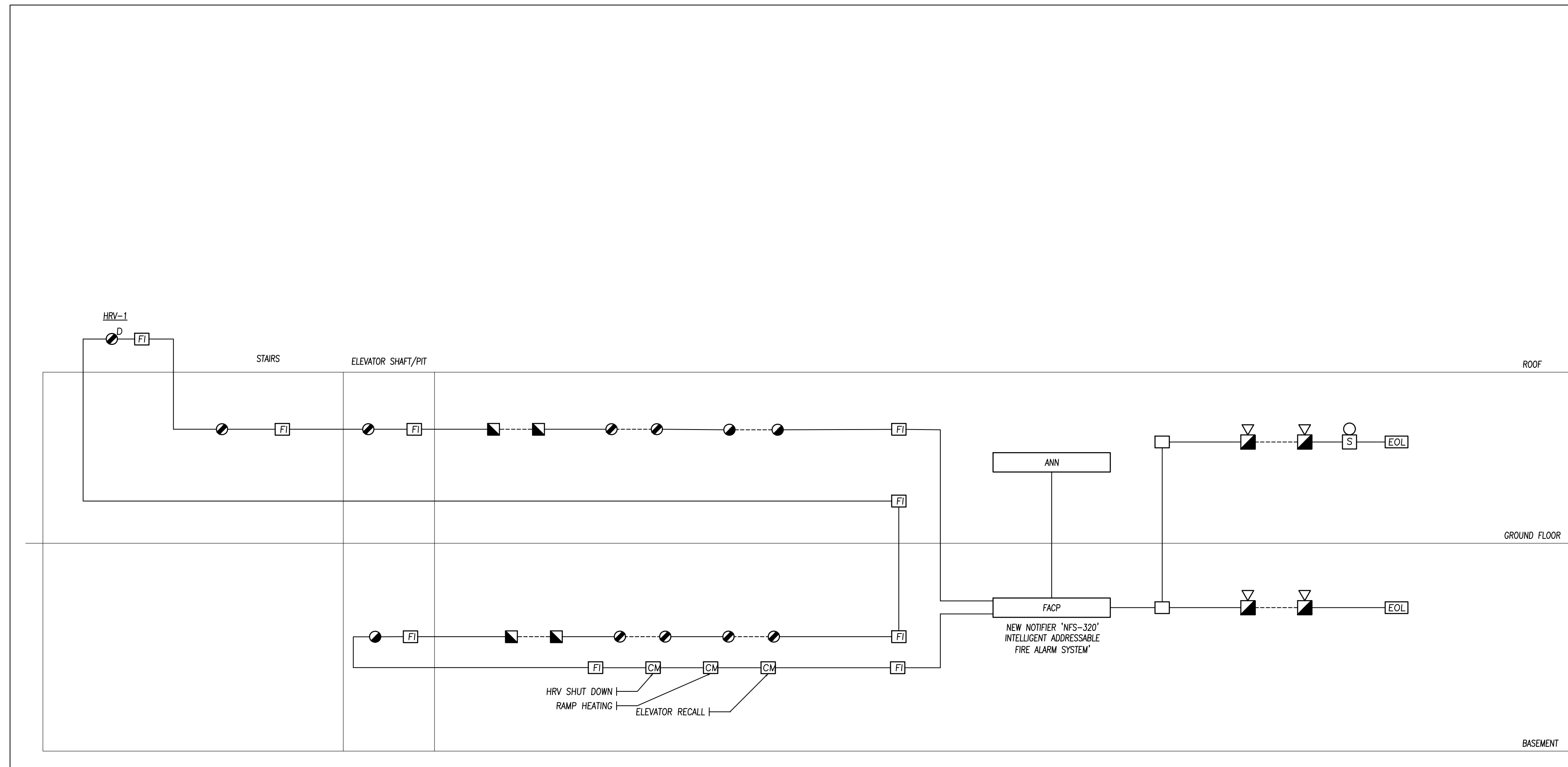


Project Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

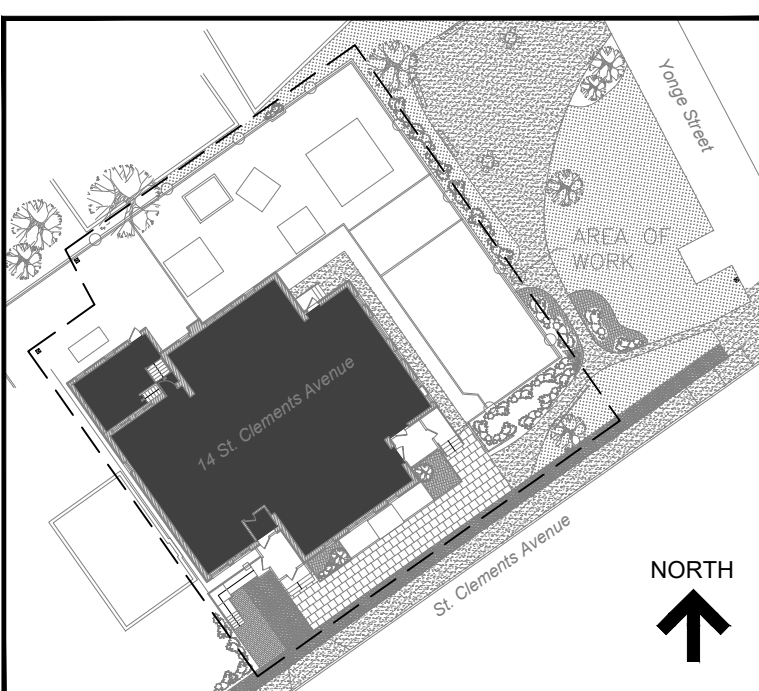
Sheet Title
PANEL SCHEDULE

Drawn By **A.S.** Scale **AS NOTED**
Designed By **J.W.** Date **March, 2024**
RJC Project Number **TOR.122940.0001**
Sheet Number _____ Revision _____



LEGEND	
ALARM	DESCRIPTION
FACP	FIRE ALARM AND CONTROL PANEL
ANN	REMOTE ANNUNCIATOR PANEL
RTI	REMOTE TROUBLE INDICATOR PANEL
ASD	ADDRESSABLE SMOKE DETECTOR
ADS	ADDRESSABLE DUCT SMOKE DETECTOR
AHD	ADDRESSABLE HEAT DETECTOR
AMPS	ADDRESSABLE MANUAL PULL STATION
SCV	SUPERVISED CONTROL VALVE
FS	SPRINKLER FLOW SWITCH
PS	LOW PRESSURE SWITCH
SC	RAYCHEM AUTOMATIC SNOW MELTING CONTROLLER 'APS-4C'
EOL	END OF LINE DEVICE
MM	ADDRESSABLE MONITORING MODULE
FI	FAULT ISOLATOR MODULE
CM	ADDRESSABLE CONTROL MODULE
JB	JUNCTION BOX
MS	WALL MOUNTED FIRE ALARM STROBE LIGHT
MS	WALL MOUNTED FIRE ALARM SPEAKER
MS	CEILING/WALL MOUNTED FIRE ALARM HORN/STROBE LIGHT

FIRE ALARM PANEL (SHELTER F.A. PANEL)	
FIRE ALARM ZONES	
No.	DESCRIPTION
1.	BASEMENT FLOOR
2.	GROUND FLOOR
3.	BASEMENT ELECTRICAL ROOM
4.	BASEMENT ELEVATOR MACHINE ROOM
5.	ELEVATOR SHAFT/PIT
6.	STAIRS
7.	DUCT SMOKE DETECTOR
8.	RAMP HEATING
9.	SPARE
10.	SPARE
11.	SPARE
12.	SPARE
13.	SPARE
14.	SPARE
15.	SPARE
16.	SPARE
17.	SPARE
18.	*ALLOW 30% OVERALL SPARE*
19.	
20.	
21.	
22.	
23.	
24.	
25.	



KEY PLAN

- SPECIAL NOTES FOR FIRE ALARM SYSTEM:**
- THE BUILDING SHALL BE EQUIPPED WITH A SINGLE STAGE FIRE ALARM SYSTEM SO THAT IT WILL CAUSE AN ALARM SIGNAL TO SOUND UPON THE OPERATION OF ANY MANUAL PULL STATION OR FIRE DETECTOR.
 - WHEN THE ALARM SIGNAL IN THE FIRE ALARM SYSTEM IS ACTIVATED, THE FIRE DEPARTMENT WILL BE AUTOMATICALLY NOTIFIED BY AN ULC APPROVED FIRE ALARM MONITORING AGENCY CONFORMING TO CAN/ULC-5561 "INSTALLATION AND SERVICES FOR FIRE SIGNAL RECEIVING CENTRES AND SYSTEMS".
 - PROVIDE FIRE ALARM HORN/STROBE TO COVER ALL PARTS OF THE BUILDING EXCEPT ELEVATOR CAR AND EXIT STAIRS WHEN AN ALARM SIGNAL IS ACTIVATED. IT CANNOT BE SILENCED AUTOMATICALLY BEFORE A PERIOD OF TIME HAS ELAPSED THAT IS NOT LESS THAN 20 MIN.
 - CIRCUITS FOR AUDIBLE SIGNAL DEVICES IN THE SUITES SHALL BE CONNECTED TO THE FIRE ALARM SYSTEM IN A MANNER SUCH THAT A SINGLE OPEN CIRCUIT AT ONE DEVICE WILL NOT IMPAIR THE OPERATION OF OTHER AUDIBLE SIGNAL DEVICES THAT ARE ON THE SAME CIRCUIT THAT SERVE OTHER SUITE UNITS. ALTERNATELY, AUDIBLE SIGNAL DEVICES ARE PERMITTED TO BE ON SEPARATE SIGNAL CIRCUITS WHEN THEY ARE NOT CONNECTED TO OTHER DEVICES IN ANY OTHER COMMON AREAS.

- SPECIAL NOTES FOR CENTRAL ALARM AND CONTROL FACILITIES (CACF)**
- THE CENTRAL ALARM AND CONTROL FACILITIES (CACF) SHALL HAVE THE FOLLOWING PROVISIONS:
 - CAPABLE TO ACTIVATE ALARM SIGNALS SELECTIVELY TO A ZONE OR ZONES.
 - CAPABLE TO TRANSMIT THE ALARM SIGNAL TO THE FIRE DEPARTMENT BY WAY OF AN ULC APPROVED FIRE ALARM MONITORING AGENCY.
 - CAPABLE TO INDICATE ALARM SIGNALS BOTH AUDIBLY AND VISUALLY. A SWITCH TO SILENCE THE AUDIBLE SIGNAL AND MEANS TO VISUALLY INDICATE THAT THE SIGNAL HAS BEEN SILENCED.
 - CAPABLE TO RECALL THE ELEVATOR TO THE GROUND FLOOR WITH VISUAL INDICATION THAT THE ELEVATOR ARE ON EMERGENCY RECALL.
 - CAPABLE TO COMMUNICATE WITH TELEPHONES IN ELEVATOR CARS, SEPARATE FROM CONNECTIONS TO FIREFIGHTER HANDSETS.
 - CAPABLE TO CONTROL AIR-HANDLING AND AUXILIARY EQUIPMENT REQUIRED FOR SMOKE CONTROL AND SMOKE VENTING.

- SCOPE OF WORK:**
- THE INTENT OF THIS FIRE ALARM INSTALLATION IS TO PROVIDE A NEW ADDRESSABLE FIRE ALARM SYSTEM IN THE UPPER YONGE VILLAGE DAYCARE CENTER LOCATED AT 14 ST. CLEMENTS AVENUE IN TORONTO, ONTARIO. THE SCOPE OF FIRE ALARM WORK INCLUDES THE FOLLOWING:
- INSTALL A NEW ADDRESSABLE FIRE ALARM CONTROL PANEL IN THE MAIN ENTRANCE VESTIBULE LOCATED ON THE GROUND FLOOR OF THE BUILDING.
 - INSTALL ONE ADDRESSABLE LOOP: ONE LOOP TO SERVE THE WHOLE BUILDING.
 - INSTALL ONE (1) AUDIBLE AND ONE (1) VISUAL SIGNALING CIRCUITS TO CONNECT NEW AUDIBLE AND VISUAL SIGNALING DEVICES THROUGHOUT THE BUILDING. A PAIR OF BOTH AUDIBLE AND VISUAL SIGNALING CIRCUITS SERVE THE BUILDING'S HORN/STROBE COMBINATION UNITS. PROVIDE SUFFICIENT SYNCHRONIZATION MODULES AS RECOMMENDED BY THE FIRE ALARM PANEL MANUFACTURE TO SERVE THE NEW HORN/STROBE COMBINATION UNITS.
 - ALL FIRE ALARM FIELD DEVICES (DETECTION AND SIGNALING) SHALL BE NEW, ADDRESSABLE TYPE AND FIELD PROGRAMMABLE.

- NOTES:**
- ALL FIRE ALARM CONTROL EQUIPMENT, FIELD DEVICES AND ASSOCIATED WIRING SHOWN ON ELECTRICAL DRAWINGS SHALL BE NEW.
 - UNLESS NOTED OTHERWISE, ALL FIRE ALARM FIELD DEVICES SHALL BE OF ADDRESSABLE TYPE.
 - ALL FIRE ALARM WIRING SHALL MEET MANUFACTURER'S REQUIREMENTS AND ALL APPLICABLE CODES AND STANDARDS.
 - NEW FIRE ALARM SYSTEM EQUIPMENT AND DEVICES USED SHALL BE LISTED AND APPROVED BY A CANADIAN CERTIFIED TESTING AGENCY.
 - INSTALLATION OF THE FIRE ALARM CONTROL EQUIPMENT AND FIELD DEVICES SHALL MEET THE APPLICABLE REQUIREMENTS OF SUBSECTION 3.2.4 OF THE 2020 NATIONAL BUILDING CODE OF CANADA (NBC).
 - THE FIRE ALARM SYSTEM EQUIPMENT AND DEVICES SHALL BE INSTALLED TO CAN/ULC S524-14, "STANDARD FOR THE INSTALLATION OF FIRE ALARM SYSTEMS".
 - THE FIRE ALARM SYSTEM SHALL BE VERIFIED TO CAN/ULC S537-13, "STANDARD FOR THE VERIFICATION OF FIRE ALARM SYSTEMS".
 - THE FIRE ALARM SYSTEM SHALL MEET ONTARIO BUILDING CODE SECTION 3.2.4 & ONTARIO FIRE CODE AND LOCAL FIRE DEPARTMENT REQUIREMENTS.
 - THE FIRE ALARM INSTALLATION SHALL CONFORM TO CAN/ULC-5524 "INSTALLATION OF FIRE ALARM SYSTEMS".
 - ENGAGE A QUALIFIED THIRD PARTY FIRE ALARM CONTRACTOR TO VERIFY THE FIRE ALARM INSTALLATION AND SUBMIT THE FIRE ALARM VERIFICATION CERTIFICATE IN ACCORDANCE WITH CAN/ULC-5537 "VERIFICATION OF FIRE ALARM SYSTEMS".
- FOR EXACT NUMBER AND LOCATIONS OF ALL FIRE ALARM DEVICES, REFER TO FLOOR PLANS.
 - ALLOW THE PROVISIONS TO HAVE THE FIRE ALARM SIGNALS CONNECTING TO THE FIRE DEPARTMENT VIA AUTHORIZED FIRE ALARM MONITORING AGENCY.
 - ALLOW 30% SPARE CAPACITY IN THE FIRE ALARM PANEL, AMPLIFIERS, BATTERIES ETC. FOR THE FUTURE EXPANSION.
 - THE SOUND PATTERN OF A FIRE ALARM SIGNAL SHALL CONFORM TO THE TEMPORAL PATTERN DEFINED IN CLAUSE 4.2 OF INTERNATIONAL STANDARD ISO 8201, "ACOUSTICS-AUDIBLE EMERGENCY EVACUATION SIGNAL". THE SOUND PATTERNS OF ALERT SIGNALS SHALL BE SIGNIFICANTLY DIFFERENT FROM THE TEMPORAL PATTERNS OF ALARM SIGNALS.
 - THE SOUND PRESSURE LEVEL GENERATED BY THE FIRE ALARM SIGNAL SHALL BE NOT MORE THAN 100dBA WHEN MEASURED AT A DISTANCE OF 3m FROM THE DEVICE.
 - THE SOUND PRESSURE LEVEL IN ANY SLEEPING ROOM FROM A FIRE ALARM AUDIBLE SIGNAL DEVICE SHALL BE NOT LESS THAN 75dBA WHEN ANY INTERVENING DOORS BETWEEN THE DEVICE AND THE SLEEPING ROOM ARE CLOSED. THE MINIMUM SOUND PRESSURE LEVEL IN OTHER PARTS OF THE BUILDING SHALL BE NOT LESS THAN 105dBA ABOVE THE AMBIENT NOISE LEVEL, BUT WITH A MINIMUM VALUE NOT LESS THAN 65dBA.
 - ALL FIRE ALARM SIGNALING CIRCUITS SHALL BE WIRED IN CLASS 'A' CONFIGURATION.
 - PROVIDE ON-OFF-AUTO SELECTOR SWITCHES IN FIRE ALARM CONTROL PANEL FOR REMOTE CONTROL OF MUA AND FAN COIL UNITS.
 - PROVIDE FAN SHUT-DOWN RELAYS TO DE-ENERGIZE SUPPLY AIR FANS ON FIRE ALARM CONDITIONS.
 - PROVIDE MANUAL AND AUTOMATIC ELEVATOR RECALL. PROVIDE ELEVATOR RECALL KEY-OPERATED SWITCHES AND ELEVATOR INTERCOM ADJACENT TO THE FIRE ALARM CONTROL PANEL AS MANUAL RECALL. AUTOMATIC RECALL WILL BE ACTIVATED BY THE FIRE ALARM SYSTEM.
 - THE MAKE UP AIR UNITS (MUA-X) AND A/C UNITS (AC-X) SHALL BE SHUT DOWN WHEN THE FIRE ALARM SIGNAL IS ACTIVATED.
 - A CLEAR SPACE OF AT LEAST 450MM SHALL BE MAINTAINED ON THE CEILING, BELOW AND AROUND THE FIRE DETECTOR.
 - FIRE DETECTORS SHALL NOT BE LOCATED IN A DIRECT AIR-FLOW NOR CLOSER THAN 450MM FROM AN AIR SUPPLY OUTLET OR FROM AN AIR EXHAUST OUTLET.

- DESIGN NOTES:**
- MANUAL PULL STATIONS SHALL BE INSTALLED 1050 MM TO 1150 MM ABOVE THE FINISHED FLOOR LEVEL. MEASURED FROM THE CENTRE OF THE MANUAL PULL STATION. REFER TO NATIONAL BUILDING CODE OF CANADA ARTICLE 3.8.1.5. WHERE POSSIBLE, INSTALL THE MANUAL STATION ON THE LATCH SIDE OF A SINGLE LEAF DOOR AT A MAXIMUM HORIZONTAL DISTANCE OF 1500 MM FROM THE DOOR OPENING (CAN/ULC S524-14, 8.1.1.)
 - SPOT TYPE SMOKE AND HEAT DETECTORS SHALL NOT BE LOCATED CLOSER THAN 1000 MM HORIZONTALLY FROM THE TIP OF THE BLADE OF A CEILING SUSPENDED FAN MEASURED TO THE EDGE OF THE DETECTOR. SPOT TYPE FIRE DETECTORS SHALL NOT BE LOCATED IN A DIRECT AIRFLOW OR CLOSER THAN 450 MM FROM AN AIR SUPPLY OUTLET OR FROM AN AIR EXHAUST OUTLET MEASURED TO THE EDGE OF THE DETECTOR. (CAN/ULC S524-14, 8.2.3.9, 8.2.3.10.)
 - FAULT ISOLATORS SHALL BE UTILIZED WHEN ENTERING AND LEAVING EACH NATIONAL BUILDING CODE OF CANADA REQUIRED FIRE ALARM ZONE. (CAN/ULC S524-14, 10.2.1.2.)
 - DATA FAULT ISOLATORS INSTALLED ON OPPOSITE SIDES OF THE SAME FIRE SEPARATION SHALL BE OFFSET HORIZONTALLY TO A MINIMUM OF 400 MM, AND NOT LOCATED WITHIN THE SAME STUD. (CAN/ULC S524-14, 10.2.1.7.)
 - THE PRIMARY AND RETURN/ALTERNATE WIRING OF THE ADDED LOOPS SHALL BE INSTALLED IN SEPARATE RACEWAYS OR CABLE ASSEMBLIES HAVING A MINIMUM SEPARATION OF 300 MM WHERE THE CABLES ARE INSTALLED VERTICALLY AND 1200 MM WHERE THE CABLES ARE INSTALLED HORIZONTALLY EXCEPT UNDER THE FOLLOWING CONDITIONS:
 - SINGLE CONDUIT/RACEWAY NOT EXCEEDING 3000 MM IN LENGTH TO ENCLOSURES FOR CONTROL UNITS TRANSFORMERS, ANNUNCIATORS, DISPLAY AND CONTROL CENTRES OR REMOTE POWER SUPPLIES;
 - SINGLE CONDUIT/RACEWAY DROPS TO INDIVIDUAL FIELD DEVICES; OR
 - SINGLE CONDUIT/RACEWAY DROPS TO MULTIPLE FIELD DEVICES INSTALLED WITHIN A SINGLE ROOM NOT EXCEEDING 100 M2 IN AREA. (CAN/ULC S524-14, 4.3.1.3.)
 - WHERE CEILING HEIGHTS ALLOW, AUDIBLE SIGNAL DEVICES SHALL BE INSTALLED SO THAT THE TOP OF THE DEVICE SHALL NOT BE LESS THAN 2300 MM ABOVE THE FINISHED FLOOR LEVEL. (CAN/ULC S524-14 9.1.1.)
 - A SLOPED CEILING-PEAKED TYPE SHALL HAVE A ROW OF SPOT TYPE FIRE DETECTORS SPACED AND LOCATED NOT CLOSER THAN 900 MM TO THE PEAK OF THE CEILING, MEASURED HORIZONTALLY TO THE EDGE OF THE SPOT TYPE FIRE DETECTORS. THE NUMBER AND DISTANCE BETWEEN ADDITIONAL SPOT TYPE FIRE DETECTORS SHALL BE BASED ON THE TYPE OF CEILING CONSTRUCTION, MEASURED ON THE BASIS OF THE HORIZONTAL PROJECTION OF THE CEILING. CURVED OR DOWND CEILING MAY BE CONSIDERED PEAKED WITH THE SLOP FIGURED AS THE SLOPE OF THE CHORD FROM THE HIGHEST TO LOWEST POINT. (CAN/ULC S524-14, 8.3.2.1.)
 - STROBES IN CORRIDORS OR ROOMS LOCATED IN THE SAME FIELD OF VIEW SHALL FLASH IN SYNCHRONIZATION.
 - WHERE CEILING HEIGHT PERMITS, WALL MOUNTED STROBES SHALL BE INSTALLED SUCH THAT THE ENTIRE LENS IS NOT LESS THAN 2000 MM AND NOT MORE THAN 2400 MM ABOVE THE FINISHED FLOOR LEVEL.
 - THE TOP OF THE FIRE ALARM CONTROL PANEL SHALL BE NOT MORE THAN 2400 MM ABOVE THE FINISHED FLOOR LEVEL.
 - THE VISUAL DISPLAYS AND OPERATING CONTROLS OF THE FACP/ANN SHALL BE NOT LESS THAN 600 MM AND NOT MORE THAN 1800 MM ABOVE THE FINISHED FLOOR LEVEL.
 - END-OF-LINE DEVICES FOR ELECTRICAL SUPERVISION SHALL BE LOCATED IN A SEPARATE ENCLOSURE, INSTALLED LESS THAN 1800 MM ABOVE FINISHED FLOOR LEVEL MEASURED FROM THE CENTRE OF THE END-OF-LINE DEVICE, LOCATED BEYOND THE LAST DEVICE IN THE CIRCUIT, AND BE PROVIDED WITH A LABEL IDENTIFYING THE ZONE SERVED.
 - WHERE SUBJECT TO MECHANICAL DAMAGE, FIRE DETECTORS, MANUAL PULL STATIONS AND SIGNALING DEVICES SHALL BE PROTECTED WITH MECHANICAL GUARDS LISTED FOR USE WITH THE DEVICE.

- APPLICABLE CODES AND STANDARDS:**
- NATIONAL BUILDING CODE OF CANADA (NBC), 2020 EDITION
 - NATIONAL FIRE CODE OF CANADA (NFCC), 2020 EDITION
 - CAN/ULC-5524, "STANDARD FOR INSTALLATION OF FIRE ALARM SYSTEMS", 2014 EDITION
 - CAN/ULC-5526, "STANDARD FOR VISUAL SIGNAL DEVICES FOR FIRE ALARM SYSTEMS", 2007 EDITION
 - CAN/ULC-5527, "STANDARD FOR CONTROL UNITS FOR FIRE ALARM SYSTEMS", 2011 (AMDT-1) EDITION
 - CAN/ULC-5536, "STANDARD FOR INSPECTION & TESTING OF FIRE ALARM SYSTEMS", 2013 EDITION
 - CAN/ULC-5537, "STANDARD FOR VERIFICATION OF FIRE ALARM SYSTEMS", 2013 EDITION
 - CAN/ULC-5561, "INSTALLATION AND SERVICES FOR FIRE SIGNAL RECEIVING CENTRES AND SYSTEMS", 2013 EDITION
 - CAN/ULC - "STANDARD FOR INTEGRATED SYSTEMS TESTING OF FIRE PROTECTION AND LIFE SAFETY SYSTEMS" 2023 EDITION
 - CSA C22.1, "CANADIAN ELECTRICAL CODE, PART I, SAFETY STANDARD FOR ELECTRICAL INSTALLATIONS, 2009 EDITION
 - ONTARIO ELECTRICAL SAFETY CODE, 2021 EDITION
 - APPLICABLE LOCAL STANDARDS

- INTEGRATED SYSTEM TESTING:**
- INTEGRATED SYSTEMS TESTING:**
- WHERE FIRE PROTECTION AND LIFE SAFETY SYSTEMS WITH FIRE PROTECTION AND LIFE SAFETY FUNCTIONS ARE INTEGRATED WITH EACH OTHER IN THE BUILDING, THE SYSTEMS SHALL BE TESTED AS A WHOLE IN ACCORDANCE WITH CAN/ULC-S1001, TO VERIFY THAT THE ABOVE SYSTEMS HAVE BEEN PROPERLY INTEGRATED AS PER OBC 3.2.10.1.
 - ENGAGE AN ULC AUTHORIZED S1001 INTEGRATED SYSTEMS TESTING SERVICE PROVIDER, INTEGRATED TESTING COORDINATOR, FOR THE DEVELOPMENT AND IMPLEMENTATION OF THE INTEGRATED SYSTEMS TESTING PLAN. THE COMPANY WHICH IS PERFORMING THE VERIFICATION OF THE FIRE ALARM SYSTEM IN ACCORDING WITH CAN/ULC-5537 IS NOT ALLOWED TO CONDUCT THE INTEGRATED SYSTEMS TESTING ON THE SAME BUILDING/PREMISES IN ACCORDANCE WITH CAN/ULC-S1001.
 - THE INTEGRATED SYSTEMS TESTING SHALL BE DIVIDED INTO TWO PHASES, NAMELY INTEGRATED SYSTEMS TESTING PLANNING PHASE AND INTEGRATED SYSTEMS TESTING IMPLEMENTATION PHASE.
 - INTEGRATED SYSTEMS TESTING PLANNING PHASE
 - INTRODUCTION AND FUNCTIONAL OBJECTIVES OF SYSTEM INTEGRATIONS.
 - SEQUENCE OF OPERATIONAL/NORMAL AND FIRE CONDITIONS.
 - TEST PROTOCOLS AND PROCEDURES.
 - PROCEDURE FOR NOTIFYING BUILDING OCCUPANTS OF TESTING.
 - ALTERNATIVE MEASURES: NOTIFICATIONS AND SAFETY PROTOCOLS FOR ENSURING OCCUPANTS SAFETY DURING TESTING.
 - TESTING PLAN SHALL BE PROVIDED TO DESIGN PROFESSIONALS FOR REVIEW/ACCEPTANCE
 - PHASED OCCUPANCIES: CONSIDERATIONS IF THE BUILDING IS CURRENTLY OCCUPIED
 - TESTING FORMS: PRE-TESTING ACTIONS, RECORDS OF TESTING RESULTS, RE-TESTING OF DEFICIENCIES
 - PROVIDE TESTING PLAN TO THE AUTHORITIES HAVING JURISDICTION (AHJ) FOR REVIEW.
 - INTEGRATED SYSTEMS TESTING IMPLEMENTATION PHASE
 - OBTAIN THE DOCUMENTS WITH CONFIRMATION FROM:
 - CONFIRMATION FROM DESIGN PROFESSIONALS THAT ACCEPTANCE TESTING HAS BEEN CONDUCTED ON FIRE PROTECTION AND LIFE SAFETY SYSTEMS AND THEY ARE ALL COMPLAINT.
 - CONFIRMATION FROM INSTALLING CONTRACTORS THAT FIRE PROTECTION AND LIFE SAFETY SYSTEMS HAVE BEEN INSTALLED IN ACCORDANCE WITH DESIGN.
 - CONFIRMATION FROM VERIFYING PARTIES THAT ALL THE FIRE PROTECTION SYSTEM AND LIFE SAFETY SYSTEMS HAVE BEEN INSTALLED IN ACCORDANCE WITH THE DESIGN.
 - APPROVAL OF ELECTRICAL INSTALLATION FROM THE ELECTRICAL SAFETY AUTHORITY (ESA).
 - APPROVAL OF INSTALLATION FROM THE TECHNICAL STANDARDS AND SAFETY AUTHORITY (TSSA) FOR ELEVATORS AND ESCALATORS.
 - CONFIRMATION OF IMPLEMENTATION OF OCCUPANT NOTIFICATION PROCEDURES.
 - CONFIRMATION OF IMPLEMENTATION OF ALTERNATE MEASURE FOR ENSURING OCCUPANT SAFETY.
 - SUFFICIENT NOTIFICATION SHALL BE PROVIDED TO AUTHORITIES HAVING JURISDICTION (AHJ) TO WITNESS INTEGRATED SYSTEM TESTING
 - UPON SUCCESSFUL COMPLETION OF SYSTEMS TESTING, DOCUMENTATION SHALL BE PROVIDED TO THE OWNER AND AHJ
 - SYSTEMS TO BE INCLUDED IN THE INTEGRATED SYSTEMS TESTING:
 - FIRE ALARM SYSTEMS
 - SPRINKLERS SYSTEMS
 - STAIRWELL SYSTEMS
 - FIRE PUMPS
 - WATER SUPPLIES, PRESSURE SENSORS, LEVEL SENSORS AND CONTROL VALVES
 - FREEZE PROTECTION SYSTEMS
 - EMERGENCY GENERATORS
 - ELEVATORS
 - MASS NOTIFICATION SYSTEMS
 - FIXED FIRE SUPPRESSION SYSTEMS
 - COOKING EQUIPMENT FIRE SUPPRESSION SYSTEMS
 - HOLD-OPEN DEVICES
 - ELECTROMAGNETIC LOCKS
 - SMOKE CONTROL SYSTEMS
 - EMERGENCY PRESSURIZATION SYSTEMS
 - AUDIO/VISUAL AND/OR LIGHTING CONTROL SYSTEMS
 - NOTIFICATION SYSTEM
 - HAZARDOUS PROTECTION MONITORING
 - SMOKE ALARMS
 - PREPARATION OF INTEGRATED SYSTEMS TESTING FORMS AND TO BE SIGNED BY EACH PARTICIPANT.

* ELECTRICAL CONTRACTOR TO VERIFY THE LOCATION DUCT SMOKE DETECTORS IN THE ENERGY RECOVERY UNIT 'HRV-1' ON THE ROOF.

- ONE YEAR SERVICE AND MAINTENANCE CONTRACT:**
- THE AMBATED CONTRACTOR SHALL ENTER INTO AN ONE YEAR SERVICE AND MAINTENANCE CONTRACT OF THE NEWLY INSTALLED FIRE ALARM SYSTEM WITH THE OWNER AFTER THE SUBSTANTIAL COMPLETION OF FIRE ALARM WORK. THE COST OF THIS ONE YEAR SERVICE AND MAINTENANCE WORK SHALL BE INCLUDED IN THE CONTRACT.
 - PROVIDE MONTHLY, QUARTERLY, HALF-YEARLY AND ANNUAL INSPECTION AND TESTING OF THE NEWLY INSTALLED FIRE ALARM SYSTEM IN ACCORDANCE WITH CAN/ULC-5536 "STANDARD FOR INSPECTION & TESTING OF FIRE ALARM SYSTEMS".
 - CARRY OUT THE ANNUAL INSPECTION AND TESTING OF NEW FIRE ALARM SYSTEM AND PROVIDE THE ANNUAL INSPECTION AND TESTING REPORT BEFORE THE END OF THE ONE YEAR SERVICE AND MAINTENANCE CONTRACT.

EXISTING FIRE ALARM SYSTEM

AFTER THE COMMENCEMENT OF THIS PROJECT, ELECTRICAL CONTRACTOR OR HIS SUB-FIRE ALARM CONTRACTOR SHALL TAKE OVER THE SERVICE AND MAINTENANCE CONTRACT OF THE EXISTING FIRE ALARM SYSTEM UNTIL IT IS COMPLETELY REPLACED BY THE NEW FIRE ALARM SYSTEM AT END OF THE PROJECT. ALL THE COSTS FOR THE SERVICE AND MAINTENANCE OF EXISTING FIRE ALARM SYSTEM SHALL BE INCLUDED IN THIS CONTRACT.

FIRE ALARM VERIFICATION AND AUDIBILITY TEST:

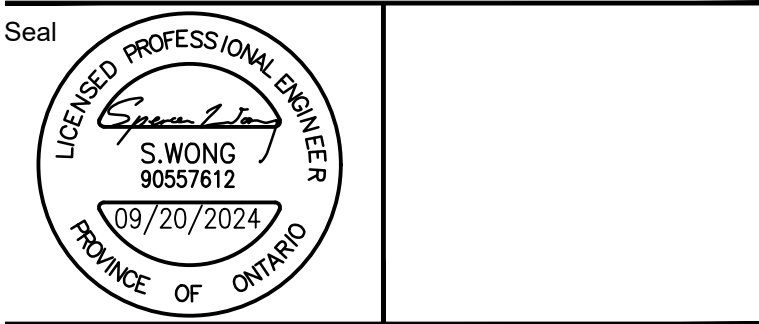
ENGAGE A QUALIFIED FIRE ALARM CONTRACTOR TO VERIFY THE NEW FIRE ALARM SYSTEM AND PERFORM FIRE ALARM AUDIBILITY TEST IN EACH ENCLOSED ROOM IN THE BUILDING TO CONFIRM THE MEASURED SOUND PRESSURE LEVEL SHALL BE NOT LESS THAN 100dBA ABOVE THE AMBIENT NOISE LEVEL, BUT WITH A MINIMUM VALUE OF NOT LESS THAN 65dBA.

INTER FACE WITH FIRE SHUTTERS:

PROVIDE FIRE ALARM RELAY MODULE AND ASSOCIATED FIRE ALARM WIRING AND CONDUITS TO TRIGGER AND CLOSE THE FIRE SHUTTERS WHEN THE FIRE ALARM SYSTEM IS ACTIVATED.

4.	ISSUED FOR PERMIT REVISION	Sep. 20, 24	A.S.
3.	ISSUED FOR BUILDING PERMIT	June 10, 24	A.S.
2.	ISSUED FOR TENDER	May 13, 24	A.S.
1.	ISSUED FOR 90% CLIENT REVIEW	Apr. 01, 24	A.S.

- Drawing Notes**
- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJCL") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJCL whether the Work is executed or not, and RJCL reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
 - These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJCL. The work "as constructed" may vary from what is shown on these drawings.
 - Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJCL in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
Upper Yonge Village Daycare Centre
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title
FIRE ALARM RISER DIAGRAM

Sheet Number
E-14

Scale
AS NOTED

Date
March, 2024

Drawn By
A.S.

Designed By
J.W.

RJC Project Number
TOR.122940.0001

Sheet Number
E-14

Revision

14 St. Clements Avenue Toronto Ontario Upper Yonge Village Daycare Centre - Atk
Toronto, ON

Proposed Lutron Solution:

Qty.	Model Number	Description
LUTRON DESIGNER TAG		
2	QP5-2L-POE	Pre-assembled Athena processor panel containing one Athena processor with two QS links. Panel contains 4 Port POE Ethernet Switch. Must connect to other processor with cat5e cable or better via QP5 panel POE switch or third-party switch prior to commissioning. Panel accepts one (00V-277V, 1 phase, 2 wire, 20A feed, (20A-1P over-current protection, per circuit, by others.) Dimensions (inches(mill)): 21.00 (53.3)H x 14.39 (36.5)W x 4.09 (10.4)D. Weight (w/packaging): 25 lbs.
9	QSN2-4T20-S	4 zone 0-10V dimming module, with 4 corresponding 20A feedthrough switched outputs. Includes QS communication link. Dimensions: 13.25 in x 9.25 in x 3.16 in
6	QSM2-4W-C	434 MHz QS Sensor Module with 4 wired connections, Ceiling Mount
11	MS-Z101-WH	0-10V dimmer and occupancy/vacancy PIR sensor White
14	PJ2-2B-GWH-L01	2-button Pico wireless control, White, Light bulb icons
16	PJ2-2BRL-GWH-L01	2-button with raise/lower Pico wireless control, White, Light bulb icons
1	GRX-CESO-120PKG	Consists of a standard CES/O-12/24-0-10 outdoor sensor from PLC Multipoint, packaged with an LCB lighting controller from PLC Multipoint and a PP-120H power pack.
4	LRF2-DCRB-WH	DAYLIGHT SENSOR 1-WAY
26	LRF2-OCR2B-P-WH	LUTRON OCCUPANCY SENSOR
39	CW-1-WH	CLARO 1 Gang Faceplate White
1	CW-2-WH	CLARO 2 Gang Faceplate White
1	LUT-LTE-1	LUT-LTE-1 Lutron Athena connected startup service delivered via the LTE modem. The cellular internet service on this modem is temporary and will be disconnected by Lutron 30 days after start-up is complete. (Final location with adequate LTE coverage to be determined by the electrical contractor).
30	PICO-WBX-ADAPT	Pico wallplate bracket - for mounting Pico wireless control on wall surface or over a wallbox

Warranty & Startup:

1	LSC-B2	2 year warranty providing 100% replacement parts & 100% Lutron labor coverage with a first-available response time.
---	--------	---

Document #: SDP0001022137840

Page 1 Of 2

For Reference Only: Lutron Distributor or Dealer must issue formal quotation.

1	LSC-OS-SU-A-SA	Onsite Athena Startup by a Lutron Services Company representative for this system includes the following services: -Onsite Startup Visit(s) after Lutron equipment is installed; -Equipment installation is verified, and the system is programmed and tested during this time to comply with the approved sequence of operations. Unless noted on BOM, a separate pre-wire and training visit are not included with this system. A system overview to provide instruction on the lighting control system maintenance and operation, including the use of any system software on the last day of commissioning before conclusion of visit.
---	----------------	--

Lutron Contact:

Proposal Based On:

Q190 - Created for concept drawings and budget pricing (Athena option) - AMR 04/30/24

Document #: SDP0001022137840

Page 2 Of 2

For Reference Only: Lutron Distributor or Dealer must issue formal quotation.

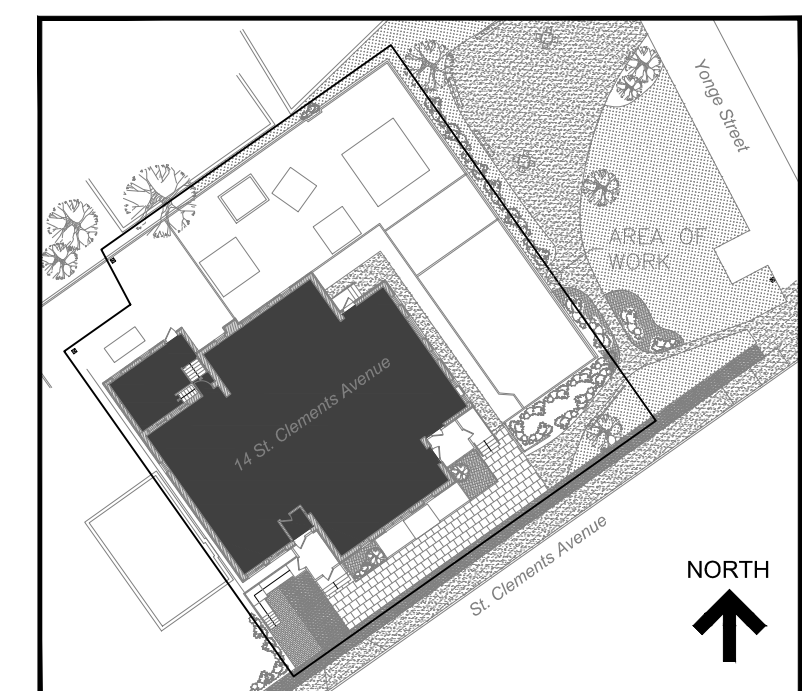
SAINT CLEMENTS AVENUE TORONTO ONTARIO
UPPER YONGE VILLAGE DAYCARE CENTRE - VI
TORONTO, ON

PROPOSED LUTRON SOLUTION

SYMBOL	MODEL NUMBER	DESCRIPTION
	PJ2-2B-GWH-L01	2-BUTTON PICO WIRELESS CONTROL, WHITE, LIGHT BULB ICONS
	PJ2-2BRL-GWH-L01	2-BUTTON WITH RAISE/LOWER PICO WIRELESS CONTROL, WHITE, LIGHT BULB ICONS
	LRF2-DCRB-WH	DAYLIGHT SENSOR 1-WAY
	LRF2-OCR2B-P-WH	LUTRON OCCUPANCY SENSOR
	HUS-2-SW	PREMIUM P51 SURFACE MOUNT W POWER SUPPLY
	MRF2S-BSD010-WH	MAESTRO 0-10V RF SENSOR DIMMER
	RMJS-BTN-DV-B	POWPAK 0-10V 434 W. 010 WIRES
	CW-1-WH	CLARO 1 GANG FACEPLATE WHITE
	CW-2-WH	CLARO 2 GANG FACEPLATE WHITE
	PICO-WBX-ADAPT	PICO WALLPLATE BRACKET - FOR MOUNTING PICO WIRELESS CONTROL ON WALL SURFACE OR OVER A WALLBOX

WARRANTY AND STARTUP

MODEL NUMBER	DESCRIPTION
LCS-B2	2 YEAR WARRANTY PROVIDING 100% REPLACEMENT PARTS & 100% LUTRON LABOR COVERAGE WITH A FIRST-AVAILABLE RESPONSE TIME.
LCS-OS-SU-VIVE	VIVE STARTUP BY A LUTRON SERVICES COMPANY REPRESENTATIVE, HELD ONSITE AFTER LUTRON EQUIPMENT IS INSTALLED. EQUIPMENT INSTALLATION IS VERIFIED AND THE SYSTEM IS PROGRAMMED AND TESTED DURING THIS TIME TO COMPLY WITH THE APPROVED SEQUENCE OF OPERATIONS.



KEY PLAN

No.	Revision	Date	By
3.	ISSUED FOR BUILDING PERMIT	June 10, 24	A.S.
2.	ISSUED FOR TENDER	May 13, 24	A.S.
1.	ISSUED FOR 90% CLIENT REVIEW	Apr. 01, 24	A.S.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

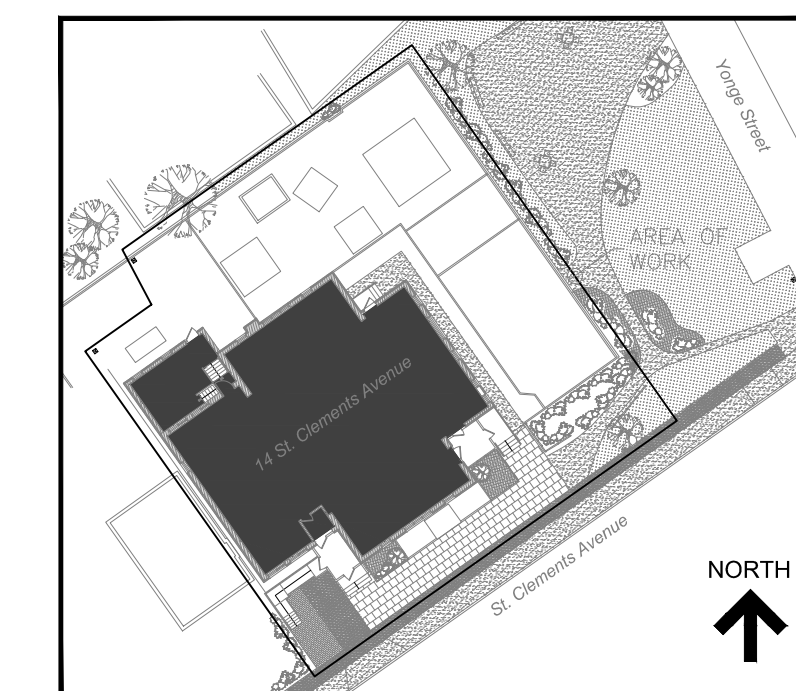


Project Name
Upper Yonge Village Daycare Centre
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title
LIGHTING CONTROL DETAILS (1)

Drawn By **A.S.** Scale **AS NOTED**
Designed By **J.W.** Date **March, 2024**
RJC Project Number **TOR.122940.0001**
Sheet Number **E-15** Revision



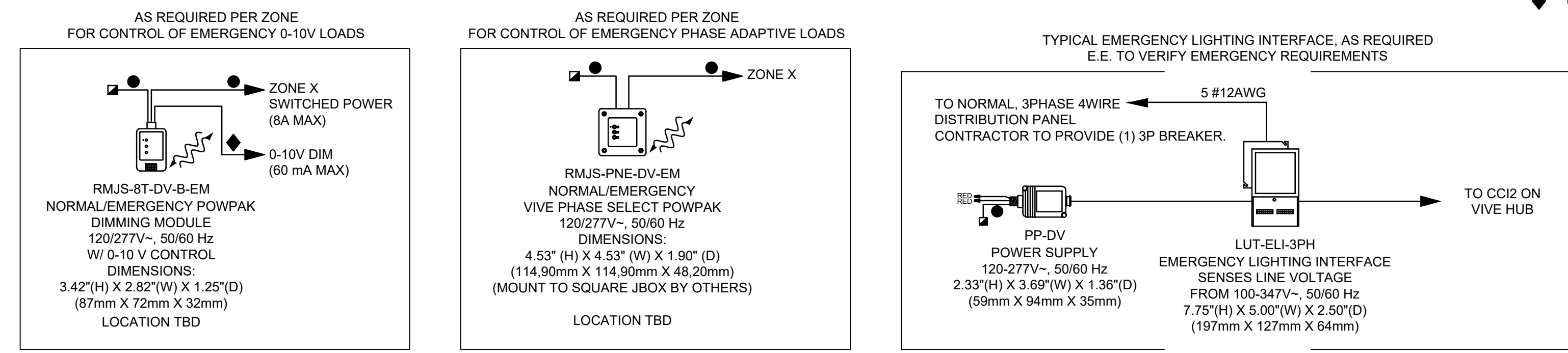
KEY PLAN

WIRING LEGEND:

- CONTACT CLOSURE SIGNAL:
2 #18AWG (1.0 mm²)
- CONTACT CLOSURE SIGNAL:
3 #18AWG (1.0 mm²)
- INPUT POWER (NORMAL)
- INPUT POWER (NORMAL-EMERGENCY)
- 2 #12AWG (4 mm²)
- 0-10V SIGNAL: 2 #18AWG (1.0 mm²)
- CLEAR CONNECT - TYPE A WIRELESS SIGNAL
- CLEAR CONNECT - TYPE A 2-WAY WIRELESS SIGNAL

CONCEPT DRAWING NOTES:
 CONTROL SYSTEM DRAWING IS PROVIDED FOR CONCEPTUAL PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION. EXACT EQUIPMENT REQUIREMENTS, INCLUDING LOCATIONS AND QUANTITIES, SHOULD BE VERIFIED IN ACCORDANCE WITH THE MOST UP-TO-DATE LIGHTING/ELECTRICAL REFLECTED CEILING PLANS, LIGHTING FIXTURE SCHEDULES, PANEL SCHEDULES, CONTROL INTENT AND SPECIFICATIONS. SHADE EQUIPMENT SHOULD BE VERIFIED IN ACCORDANCE WITH ARCHITECTURAL PLANS, SPECIFICATIONS AND WINDOW SCHEDULES/DETAILS.

LED DIMMING REQUIRES AN EXACT MATCH BETWEEN THE LED ARRAY, DRIVER AND CONTROL. LUTRON CANNOT GUARANTEE COMPATIBILITY OR PERFORMANCE WITHOUT TESTING THIS COMBINATION.
 TO CONFIRM WHAT PRODUCTS LUTRON HAS AVAILABLE OR WHAT INTERFACES MAY BE REQUIRED, CALL 1-877-DIM-LED8 OR CHECK LUTRON'S PRODUCT COMPATIBILITY MATRIX ON-LINE AT WWW.LUTRON.COM/LED.
 TO REQUEST THE TESTING OF AN LED PRODUCT BY LUTRON MANUFACTURERS CAN FILL OUT AN LED EVALUATION REQUEST FORM ON-LINE AT WWW.LUTRON.COM/LED OR CONTACT LED@LUTRON.COM.
 LUTRON CAN GUARANTEE COMPATIBILITY AND PERFORMANCE OF LUTRON H-LUME LED DRIVERS USED WITH APPROPRIATE LUTRON CONTROLS. PLEASE REFER TO THE SPECIFICATION SUBMITTAL SHEET FOR FURTHER INFORMATION.
 IF USING UNTESTED, NON-LUTRON LED DRIVERS REQUIRING 0-10V CONTROL, PERFORMANCE AND COMPATIBILITY CANNOT BE GUARANTEED BY LUTRON. PRODUCTS FOLLOWING THE IEC STANDARD 60929 ARE MORE LIKELY TO PROVIDE ACCEPTABLE PERFORMANCE RESULTS. DETERMINATION OF RESULT ACCEPTABILITY IS UP TO THE USER'S DISCRETION.
 IF USING UNTESTED, NON-LUTRON LED DRIVERS REQUIRING PHASE CONTROL, PERFORMANCE AND COMPATIBILITY CANNOT BE GUARANTEED BY LUTRON. ELV PRODUCTS PROVIDING HIGH END AND LOW END TRIM ADJUSTMENTS OR LUTRON H-LUME 1% 2-WIRE DRIVERS ARE MORE LIKELY TO PROVIDE ACCEPTABLE PERFORMANCE RESULTS. DETERMINATION OF RESULT ACCEPTABILITY IS UP TO THE USER'S DISCRETION.

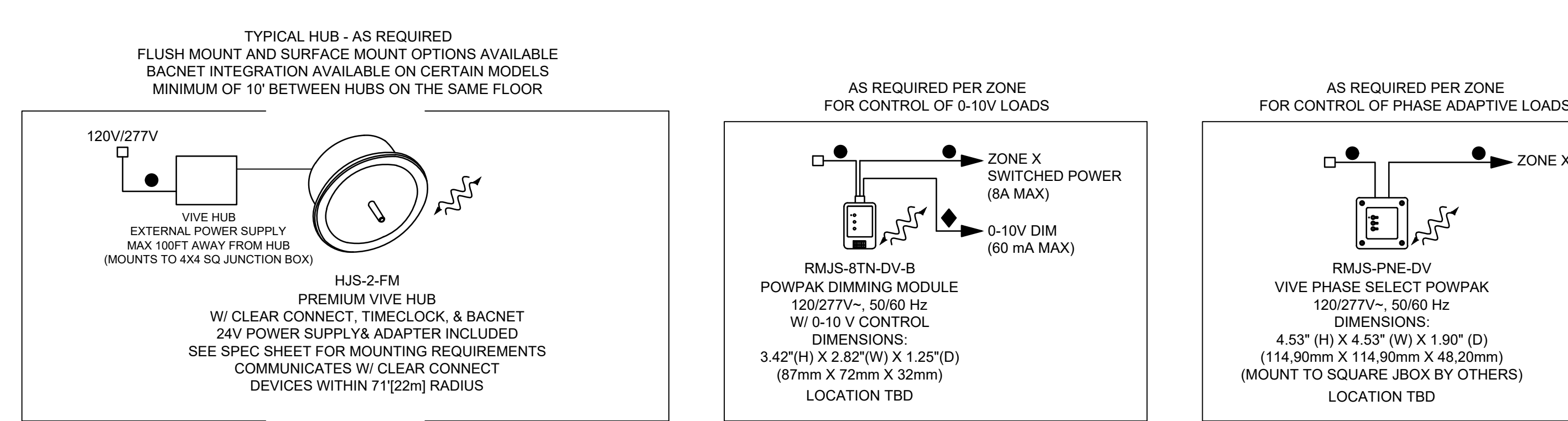
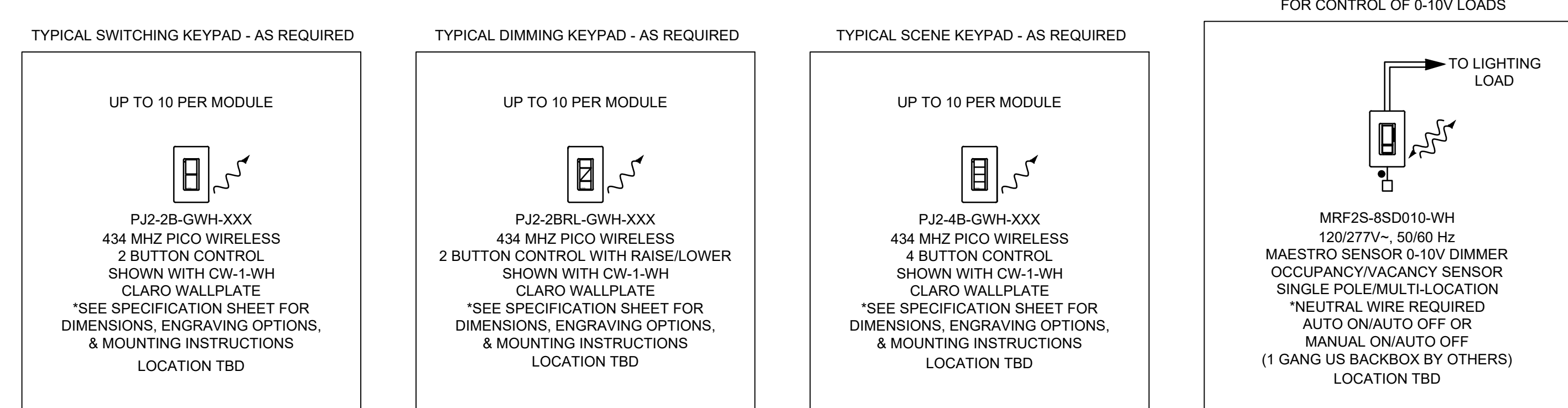
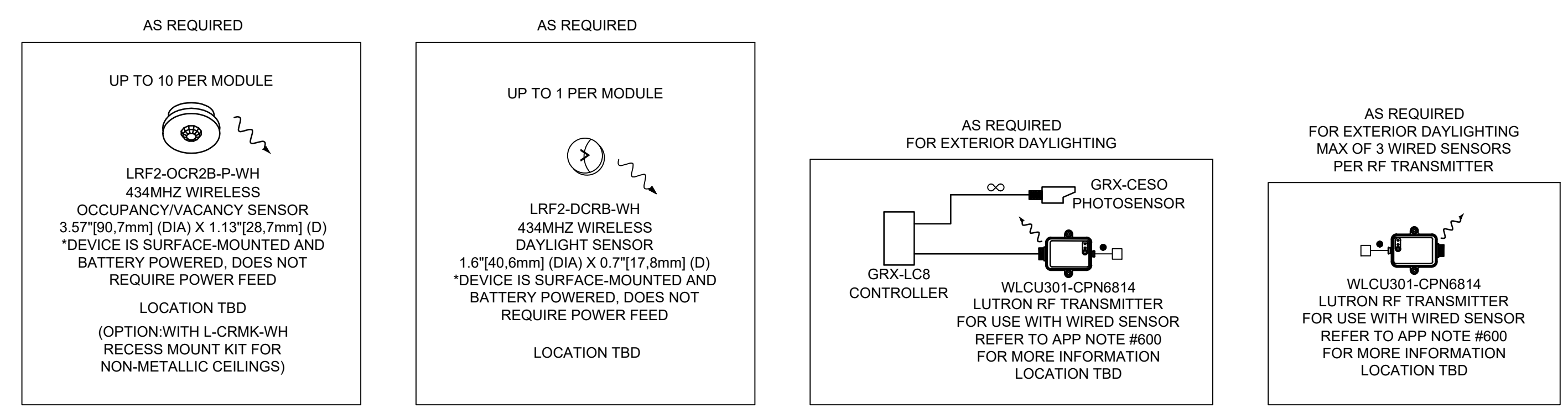


TYPICAL EMERGENCY LIGHTING INTERFACES

TYPICAL SENSORS & REMOTE CONTROLS CAN BE A MAX OF 30' TO LOAD DEVICES - MAX OF 71' FROM VIVE HUB AND LOCATED ON THE SAME FLOOR

TYPICAL LOAD DEVICES CAN BE A MAX OF 71' FROM VIVE HUB AND LOCATED ON SAME FLOOR

TYPICAL WALLBOX LOAD CONTROLS CAN BE A MAX OF 71' FROM VIVE HUB AND LOCATED ON SAME FLOOR



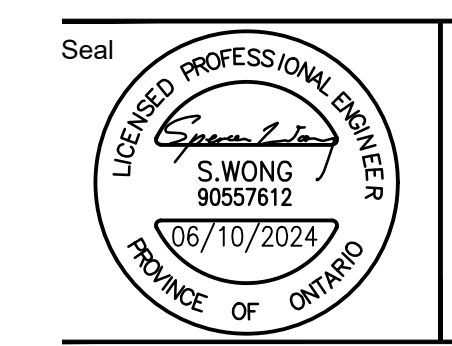
TYPICAL VIVE EQUIPMENT

EMERGENCY SPECIFICATION TEMPLATE

ELECTRICAL ENGINEER TO DETERMINE EMERGENCY LIGHTING REQUIREMENTS BELOW.
 NOTE: CHECK ALL APPLICABLE OPTIONS.
STEP 1: PLEASE CHECK ONE.
 LUTRON TO PROVIDE EMERGENCY LIGHTING EQUIPMENT. (PROCEED TO STEP 2)
 EMERGENCY LIGHTING PER OTHERS (LUTRON SHALL NOT PROVIDE EMERGENCY LIGHTING EQUIPMENT). (DO NOT PROCEED IF SELECTED)
 EMERGENCY LIGHTING FROM BATTERY PACKS SUPPLIED WITH FIXTURES.
 CONTRACTOR TO PROVIDE UL924 LISTED EM TRANSFER RELAYS - FOR BEST PERFORMANCE. "LUT" EM RELAYS BY LVS CONTROLS.
 EMERGENCY LIGHTING FIXTURES NOT CONNECTED TO LUTRON SYSTEM.
STEP 2: PLEASE CONFIRM EMERGENCY POWER SOURCE DETAILS. CHECK ALL THAT APPLY.
 EMERGENCY LIGHTING FIXTURES WILL HAVE POWER INTERRUPTED DURING TRANSFER FROM NORMAL SOURCE TO EMERGENCY SOURCE, SUCH AS GENERATOR.
 LUTRON TO SPECIFY (NOT PROVIDE) EMERGENCY INVERTER FOR SYSTEM PROCESSOR/HUB.
 EMERGENCY LIGHTING FIXTURES WILL HAVE UNINTERRUPTED TRANSITION FROM NORMAL SOURCE TO EMERGENCY SOURCE, SUCH AS A LIGHTING INVERTER.
STEP 3: DOES LUTRON NEED TO PROVIDE OVERRIDE & LOCKOUT INTEGRATION BEYOND EMERGENCY LIGHTING, SUCH AS FIRE ALARM CONTROL PANEL INTEGRATION, SECURITY ALARM INTEGRATION, ETC.?
 YES [PROCEED TO STEP 4]
 NO [PROCEED TO STEP 7]
STEP 4: LUTRON LIGHTING CONTROL SYSTEM SHALL INTEGRATE WITH THE FOLLOWING SYSTEMS (CHECK ALL THAT APPLY):
 FIRE ALARM CONTROL PANEL (FACP) INTEGRATION
 SECURITY SYSTEM ALARM INTEGRATION
 OTHER: PLEASE DEFINE:
 OTHER: PLEASE DEFINE:
 OTHER: PLEASE DEFINE:
STEP 5: THE FOLLOWING LIGHTING SHALL RESPOND TO THE OVERRIDE & LOCKOUT INTEGRATION REQUEST:
 EMERGENCY LIGHTING
 NON-EMERGENCY (NORMAL) LIGHTING
STEP 6: PLEASE SELECT DEFAULT OR CUSTOM SEQUENCE OF OPERATIONS.
 (DEFAULT) BOTH EMERGENCY LIGHTING AND OVERRIDE & LOCKOUT INTEGRATIONS SHALL RESPOND WITH 100% LIGHTING OUTPUT.
 (CUSTOM) PLEASE CHECK THE BOX FOR STEP 7 AND PROVIDE APPROPRIATE DETAILS.
STEP 7:
 THE ABOVE TEMPLATE DOES NOT ADDRESS THE REQUIREMENTS OF THE PROJECT. PLEASE SEE DOCUMENT REFERENCE BELOW FOR DETAILS ON PROJECT REQUIREMENTS. EMERGENCY AND OVERRIDE & LOCKOUT DETAILS CAN BE FOUND HERE.

No.	Revision	Date	By
3.	ISSUED FOR BUILDING PERMIT	June 10, 24	A.S.
2.	ISSUED FOR TENDER	May 13, 24	A.S.
1.	ISSUED FOR 90% CLIENT REVIEW	Apr. 01, 24	A.S.

Drawing Notes
 1. All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
 2. These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
 3. Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
Upper Yonge Village Daycare Centre
 14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title
 LIGHTING CONTROL DETAILS (2)
 ELECTRICAL
 Drawn By **A.S.** Scale **AS NOTED**
 Designed By **J.W.** Date **March, 2024**
 RJC Project Number **TOR.122940.0001**
 Sheet Number _____ Revision _____
E-16

Upper Yonge Village Daycare

14 St Clements Avenue, Toronto, Ontario, M4R 1G9

CONSULTING TEAM:

Lead Consultant / Structural Engineer:
Read Jones Christoffersen Ltd.

Landscape Architect:
Forest and Field Landscape Architecture Inc.

Surveyor:
Tarasick McMillan Kubicki Limited

Arborist:
Bright Leaf Limited



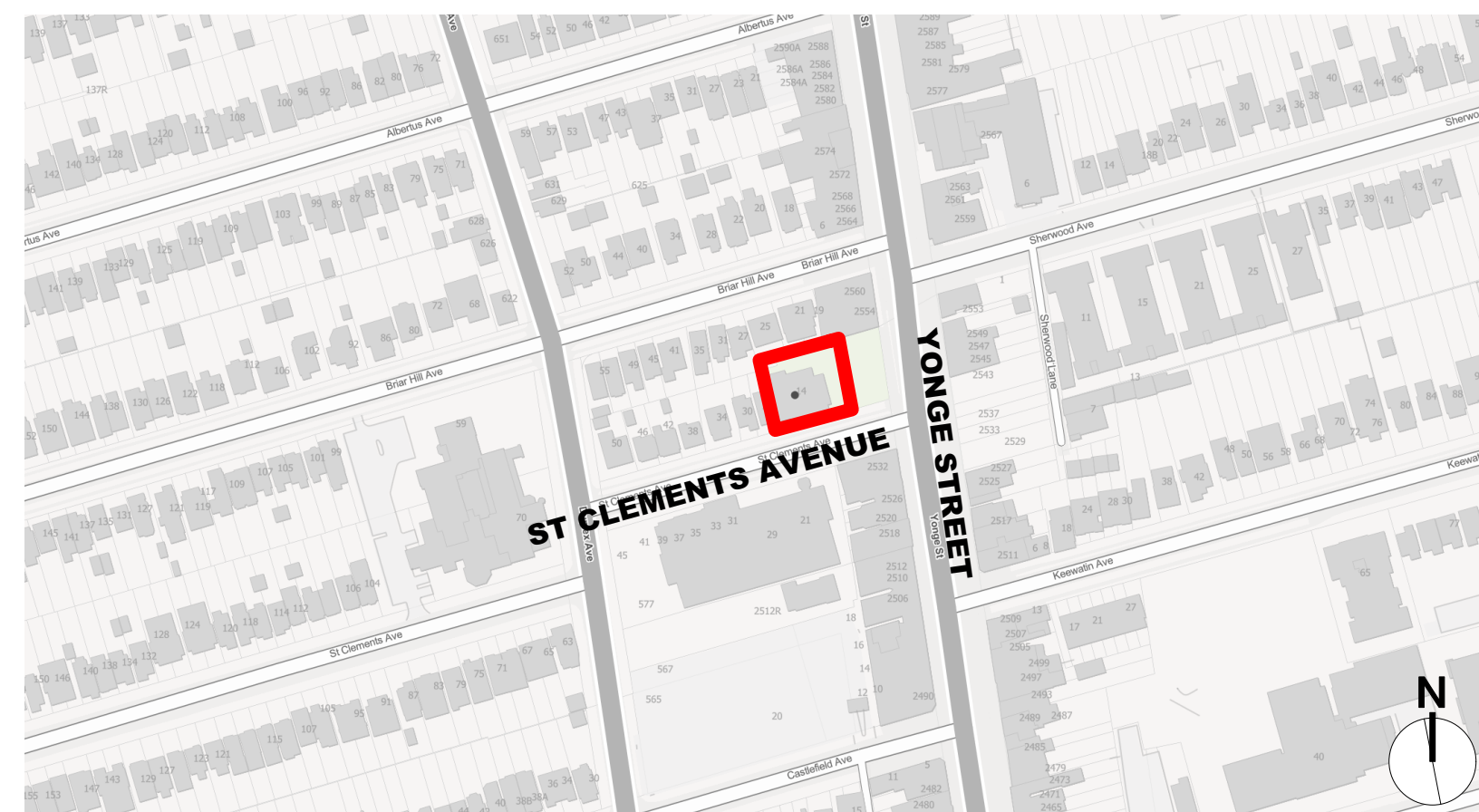
Read Jones Christoffersen Ltd.
Engineers
rjc.ca
100 University Avenue,
North Tower, Suite 400
Toronto, ON M5J 1V6 Canada
tel 416-977-5335
fax 416-977-1427

FFLA

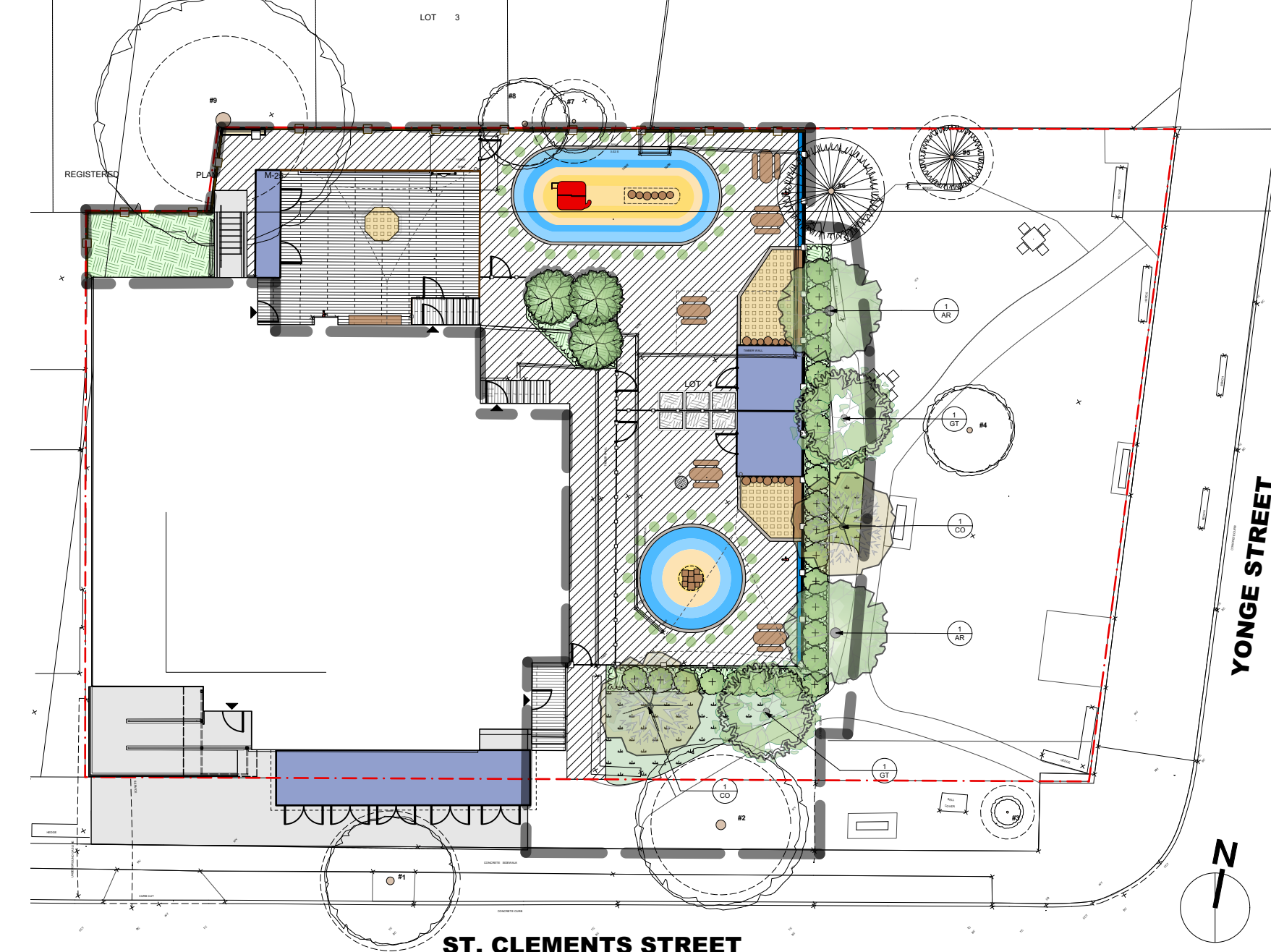
Forest and Field Landscape
Architecture Inc.

t 647 933 1152
info@forestandfield.ca

CONTEXT PLAN



KEY PLAN



GENERAL NOTES:

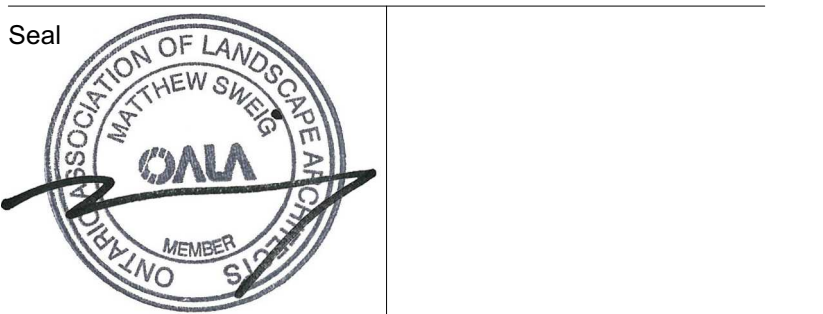
1. ALL WORKS SHALL CONFORM TO THE REQUIREMENTS, STANDARDS, AND DIRECTION OF THE OWNER.
2. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT TO OBTAIN THE OWNER'S APPROVAL ON ANY PROPOSED SUBSTITUTIONS IN MATERIALS, OR DEVIANCES FROM CONSTRUCTION METHODS, AS DESCRIBED ON THE DRAWINGS AND SPECIFICATIONS. THE OWNER MAY NOT APPROVE SUBSTITUTIONS OR ALTERNATE METHODS. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING COMPLIANCE WITH DRAWINGS AND SPECIFICATIONS WHICH MAY INCLUDE REMOVAL OF ANY WORK NOT APPROVED BY THE OWNER.
3. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE CONDITIONS ENCOUNTERED ON-SITE.
4. THE CONTRACTOR SHALL STAKE OR SPRAY PAINT ALIGNMENT OR LOCATION OF ALL NEW FACILITIES PRIOR TO CARRYING OUT ANY EXCAVATIONS OR INSTALLATIONS, FOR VERIFICATION BY THE LANDSCAPE ARCHITECT.
5. THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL TREES OR PROPERTY ON THE OWNER PROPERTY OR ON ADJACENT PROPERTIES, NOT INDICATED TO BE REMOVED. ANY DAMAGE SHALL BE IMMEDIATELY REPAIRED TO THE OWNER'S SATISFACTION.
6. ANY ENVIRONMENTAL PROTECTION AND/OR MITIGATION WORKS INCLUDING EROSION AND SEDIMENT CONTROL WORKS THAT MAY BE REQUIRED IN ADDITION TO THOSE SET OUT IN THESE DOCUMENTS SHALL BE INSTALLED AS SOON AS POSSIBLE UPON APPROVAL OF THE OWNER.
7. THE CONTRACTOR SHALL KEEP ALL CONSTRUCTION RELATED ACCESS AND ACTIVITIES WITHIN THE DESIGNATED "LIMIT OF WORK AREA."
8. ALL PORTIONS OF THE WORK MUST BE AVAILABLE AT ALL TIMES WHILE WORK IS BEING PERFORMED, FOR INSPECTION BY DESIGNATED REPRESENTATIVES OF THE OWNER AND/OR THE LANDSCAPE ARCHITECT.
9. ALL QUESTIONS, ALTERNATE PROPOSALS, REQUESTS FOR INFORMATION OR INSPECTION, ETC. SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT.
10. EMERGENCY CONTACT INFORMATION FOR THE OWNER WILL BE PROVIDED TO THE CONTRACTOR PRIOR TO CONSTRUCTION START-UP.

DRAWING LIST:

- L0.0 Cover Sheet
- L1.0 Tree Removals & Protection Plan
- L1.1 Existing Conditions & Removals Plan
- L2.0 Materials Plan
- L2.1 Layout Plan
- L2.2 Grading Plan
- L2.3 Planting Plan
- L3.0 Details
- L3.1 Details
- L3.2 Details
- L3.3 Details
- L3.4 Details
- L3.5 Details
- L3.6 Details
- L3.7 Details
- L3.8 Details

No.	Revision	Date	By
3.	ISSUED FOR PERMIT/TENDER REVISION	Sept. 20,24	K.L./M.S.
3.	ISSUED FOR PERMIT	Jun. 11,24	K.L./M.S.
2.	ISSUED FOR TENDER	May.13,24	K.L./M.S.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr.5,24	K.L./M.S.

- Drawing Notes**
- 1 All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
 - 2 These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
 - 3 Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
Upper Yonge Village Daycare Centre
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title
Cover

Drawn By: K.L./M.S. Scale: April 5, 2024
Designed By: K.L./M.S. Date: April 5, 2024
RJC Project Number: TOR.122940.0001
Sheet Number: _____ Revision: _____

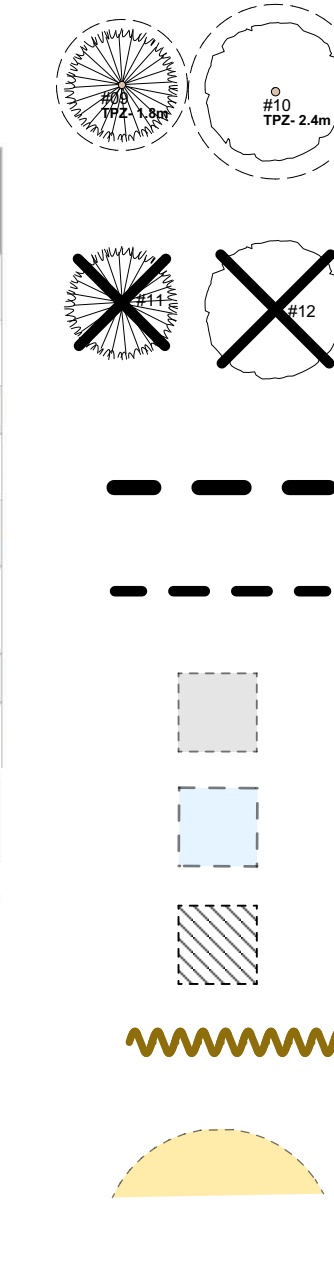
Tree Inventory - 14 St. Clements Ave.
An inventory of all city-owned and regulated privately-owned trees within 6m of the proposed work area was conducted on April 21, 2024. Trees were visually assessed from the ground only.

Tree ID	Common	Latin	Health	Structure	Comments	Category	DBH (cm)	TPZ (m)
1	Honey locust	Gleditsia triacanthos	Good	Good	Power lines run through canopy. Suckering and deadwood present within canopy. Heaving of asphalt around base of tree.	5	43.5	3
2	Honey locust	Gleditsia triacanthos	Good	Good	Flowerless tree through canopy. Minor suckering within canopy. Slight canopy imbalance with heavier weight distribution towards the north.	5	47.5	3
3	Honey locust	Gleditsia triacanthos	Good	Good		5	10	1.8
4	Sugar maple	Acer saccharum	Good	Good	Memorial tree, appears healthy with full rounded canopy good branch distribution with minor interfering growth.	3	25	1.8
5	Blue spruce	Picea pungens	Fair	Good	Canopy has been cut back from adjacent building leaving it somewhat sparse. Remaining Upper canopy appears healthy.	3	19.5	1.8
6	Blue spruce	Picea pungens	Good	Good	Tree appears healthy with full canopy slight imbalance with additional weighting on south side. Northern lower branches have been pruned away from adjacent building.	3	34	2.4
7	Callery pear	Pyrus calleryana	Fair-Poor	Fair-Poor	Canopy has been significantly reduced, upper canopy is composed only of epicormic shoots.	0	3X10"	1.8
8	Black locust	Robinia pseudoacacia	Good	Fair	Tree grows from low union obstructed by adjacent fence - structure of branch union unverified. Some deadwood and interfering growth within canopy.	2"	2X20"	1.8
9	Norway maple	Acer platanoides	Fair	Poor	Canopy significantly imbalanced with weighting to the north. Long-lever limb within eastern canopy over playground. Suckering along trunk. Tree is in contact with fence.	1	60"	3.6
10	White spruce	Picea abies	Good	Good		2	25-35"	2.4

- Categories:
- Tree not regulated by the Toronto private tree bylaw
 - Trees with diameters of 30 cm or more, situated on private property on the subject site.
 - Trees with diameters of 30 cm or more, situated on private property, within 6 m of the subject site.
 - Trees of all diameters situated on City-owned parkland within 6 m of the subject site.
 - Trees of all diameters situated within lands designated under the City of Toronto Municipal Code, Chapter 658, Ravine and Natural Feature Protection.
 - Trees of all diameters situated within the City road allowance adjacent to the subject site.
 - Suspected boundary tree

*Survey diameter used due to access restriction
**Diameter estimated due to access restriction

LEGEND



EXISTING TREES TO BE PROTECTED WITH MINIMUM CITY OF TORONTO TREE PROTECTION ZONE

EXISTING TREES TO BE REMOVED

CONSTRUCTION FENCING AT LIMIT OF NEW WORK

TREE PROTECTION FENCE

HARDSCAPE TO BE REMOVED

FURNITURE TO BE REMOVED

SOFTSCAPE TO BE REMOVED

CERTIFIED ARBORIST TO CONDUCT EXPLORATORY DIG PRIOR TO EXCAVATION FOR NEW WORK

AREAS OF INJURY WITHIN THE TPZ FOR NEW WORK (NOT INCLUDING SUPERVISED REMOVALS AT AREAS TO BE RETURNED TO SOFTSCAPE)

WORK AT THE TREE PROTECTION ZONE (TPZ)

ISA CERTIFIED ARBORIST REQUIRED ON SITE DURING REMOVALS, ROOT EXPLORATION AND PRUNING, AND CONSTRUCTION AT THE PERIMETER OF OR WITHIN THE TPZ OF ANY TREES.

HAND DIG OR AIR SPADE AT THE LIMIT OF WORK AND PRUNE ANY ROOTS LESS THAN 50mm DIA. PRIOR TO EXCAVATION.

FIND FULL TREE PROTECTION POLICY AND SPECIFICATIONS FOR CONSTRUCTION NEAR TREES AT WWW.TORONTO.CA

Toronto
Parks, Forestry & Recreation

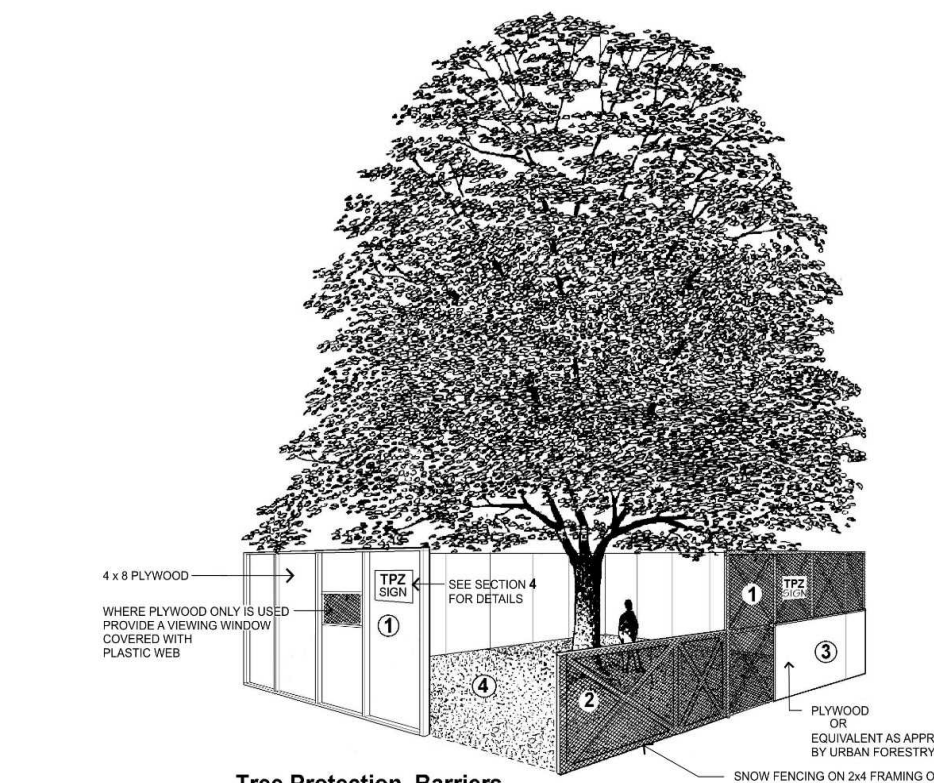
Tree Protection Zone (TPZ)

All construction related activities, including grade alteration, excavation, soil compaction, any materials or equipment storage, disposal of liquid and vehicular traffic are NOT permitted within this TPZ.

This tree protection barrier must remain in good condition and must not be removed or altered without authorization of City of Toronto, Urban Forestry.

Concerns or inquiries regarding this TPZ can be directed to:
311 or 311@toronto.ca

Signage for Tree protection Barriers required by the City of Toronto

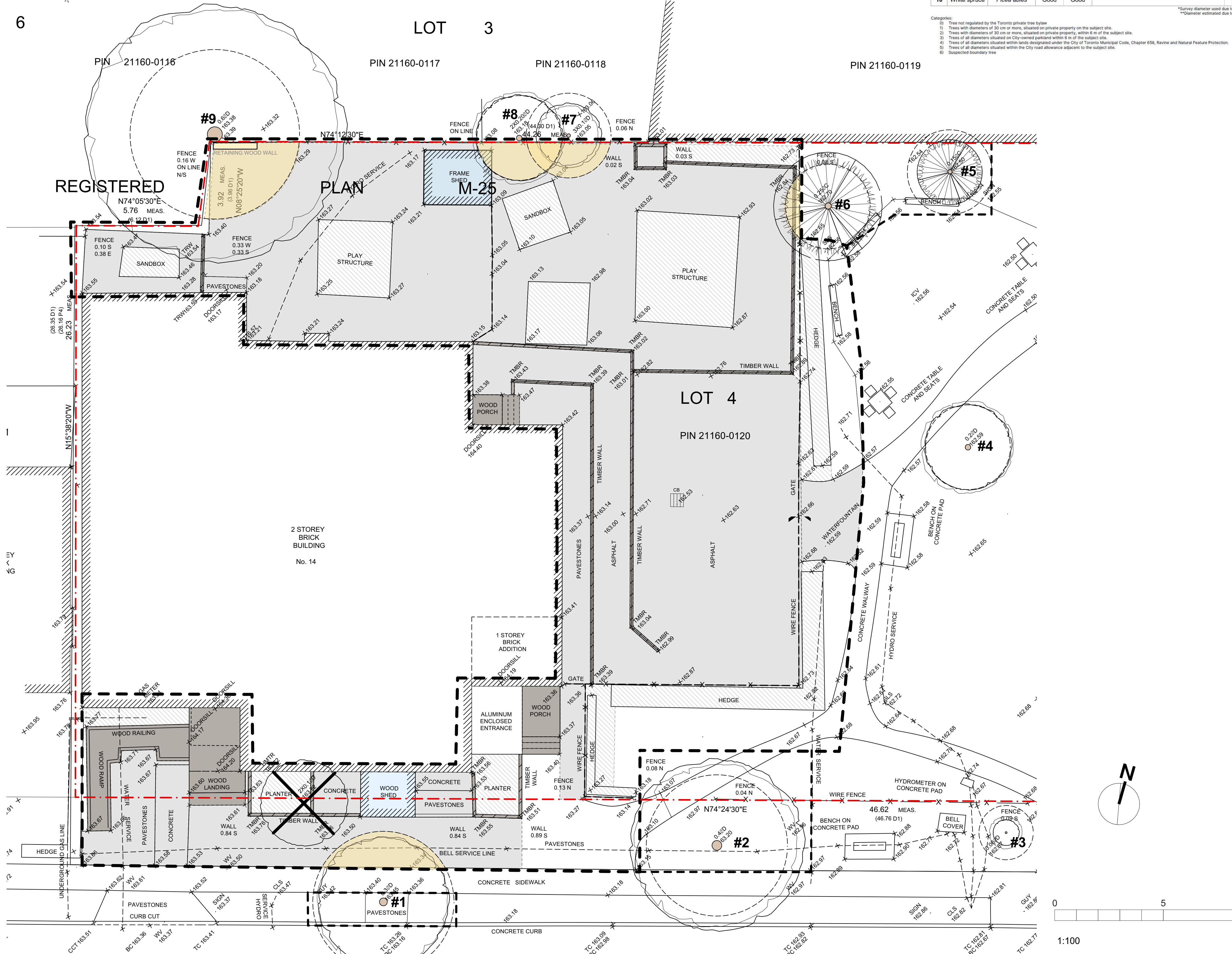


- Tree Protection Barriers**
- Tree protection barriers must be constructed with a solid wood frame clad with plywood or approved equivalent. Height of hoarding may be less than 8 ft. to accommodate any branches that may be lower.
 - Tree protection barriers for trees situated on the City road allowance where visibility must be maintained can be 1.2m (4ft) high and consist of orange plastic web snow fencing on a wood frame made of 2 x 4s.
 - Where some excavate or fill has to be temporarily located near a tree protection barrier, plywood must be used to ensure no material enters the Tree Protection Zone.
 - No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.

Note: Sediment control fencing shall be installed in locations indicated in an Urban Forestry approved Tree Protection Plan. The sediment control fencing must be installed to Ontario Provincial Standards (OPS-219-130) heavy duty silt fence barrier and to the satisfaction of Urban Forestry. See Detail TP-2.

Tree protection Barriers required by the City of Toronto

6



PIN 21160-0105



Read Jones Christoffersen Ltd.
Engineers
rjc.ca
100 University Avenue,
North Tower, Suite 400
Toronto, ON M5J 1V6 Canada
tel 416-977-5335
fax 416-977-1427

FFLA
Forest and Field Landscape
Architecture Inc.

t 647 933 1152
info@forestandfield.ca

KEY PLAN

No.	Revision	Date	By
4.	ISSUED FOR PERMIT/TENDER REVISION	Sept. 20,24	K.L./M.S.
3.	ISSUED FOR PERMIT	Jun. 11,24	K.L./M.S.
2.	ISSUED FOR TENDER	May,13,24	K.L./M.S.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr.5,24	K.L./M.S.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tendering" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



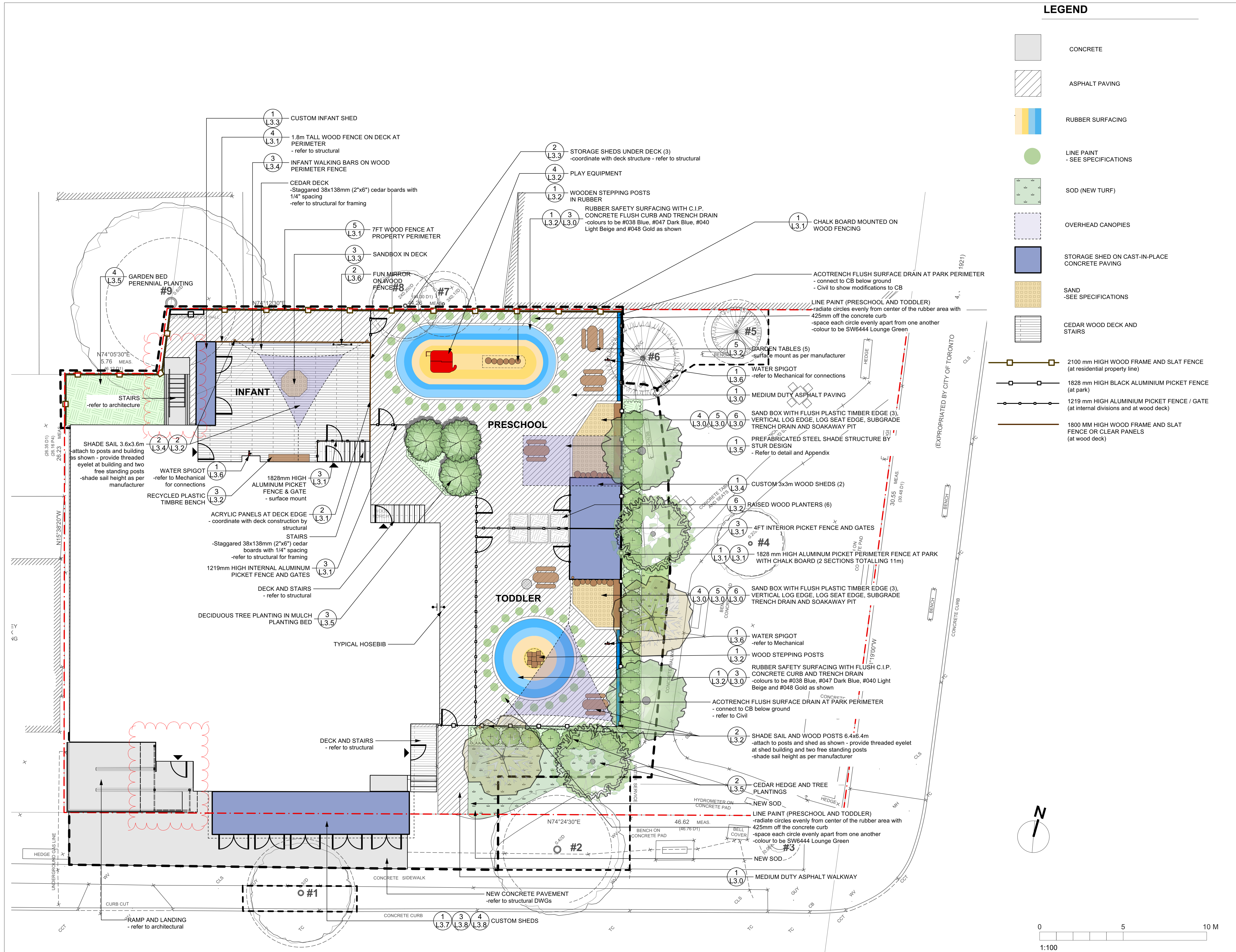
Project Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title

Tree Removals and Protection Plan

Drawn By: K.L./M.S. Scale: 1:100
Designed By: K.L./M.S. Date: April 5, 2024
By: RJC Project Number: **TOR.122940.0001**
Sheet Number: _____ Revision: _____
L1.0



LEGEND

- CONCRETE
- ASPHALT PAVING
- RUBBER SURFACING
- LINE PAINT - SEE SPECIFICATIONS
- SOD (NEW TURF)
- OVERHEAD CANOPIES
- STORAGE SHED ON CAST-IN-PLACE CONCRETE PAVING
- SAND - SEE SPECIFICATIONS
- CEDAR WOOD DECK AND STAIRS

- 2100 mm HIGH WOOD FRAME AND SLAT FENCE (at residential property line)
- 1828 mm HIGH BLACK ALUMINIUM PICKET FENCE (at park)
- 1219 mm HIGH ALUMINIUM PICKET FENCE / GATE (at internal divisions and at wood deck)
- 1800 MM HIGH WOOD FRAME AND SLAT FENCE OR CLEAR PANELS (at wood deck)



Read Jones Christoffersen Ltd.
 Engineers
 rjc.ca
 100 University Avenue,
 North Tower, Suite 400
 Toronto, ON M5J 1V6 Canada
 tel 416-977-5335
 fax 416-977-1427

FFLA
 Forest and Field Landscape
 Architecture Inc.

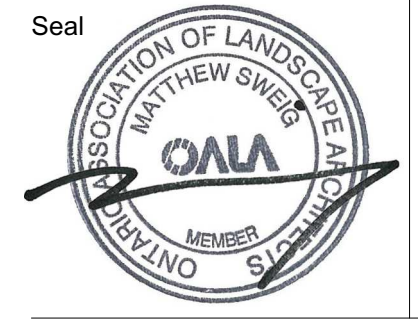
t 647 933 1152
 info@forestandfield.ca

KEY PLAN

No.	Revision	Date	By
4.	ISSUED FOR PERMIT/TENDER REVISION	Sept. 20,24	K.L./M.S.
3.	ISSUED FOR PERMIT	Jun. 11,24	K.L./M.S.
2.	ISSUED FOR TENDER	May.13,24	K.L./M.S.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr.5,24	K.L./M.S.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "bidding", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
**Upper Yonge Village
 Daycare Centre**
 14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title

Materials Plan

Drawn K.L./M.S. Scale 1:100
 By K.L./M.S. Date April 5, 2024
 By RJC Project Number **TOR.122940.0001**
 Sheet Number
L2.0

FFLA

Forest and Field Landscape
Architecture Inc.

t 647 933 1152
info@forestandfield.ca

KEY PLAN

No.	Revision	Date	By
4.	ISSUED FOR PERMIT/TENDER REVISION	Sept. 20,24	K.L./M.S.
3.	ISSUED FOR PERMIT	Jun. 11,24	K.L./M.S.
2.	ISSUED FOR TENDER	May,13,24	K.L./M.S.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr.5,24	K.L./M.S.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

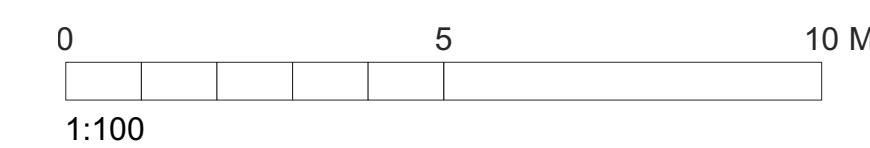
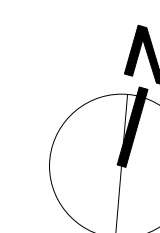
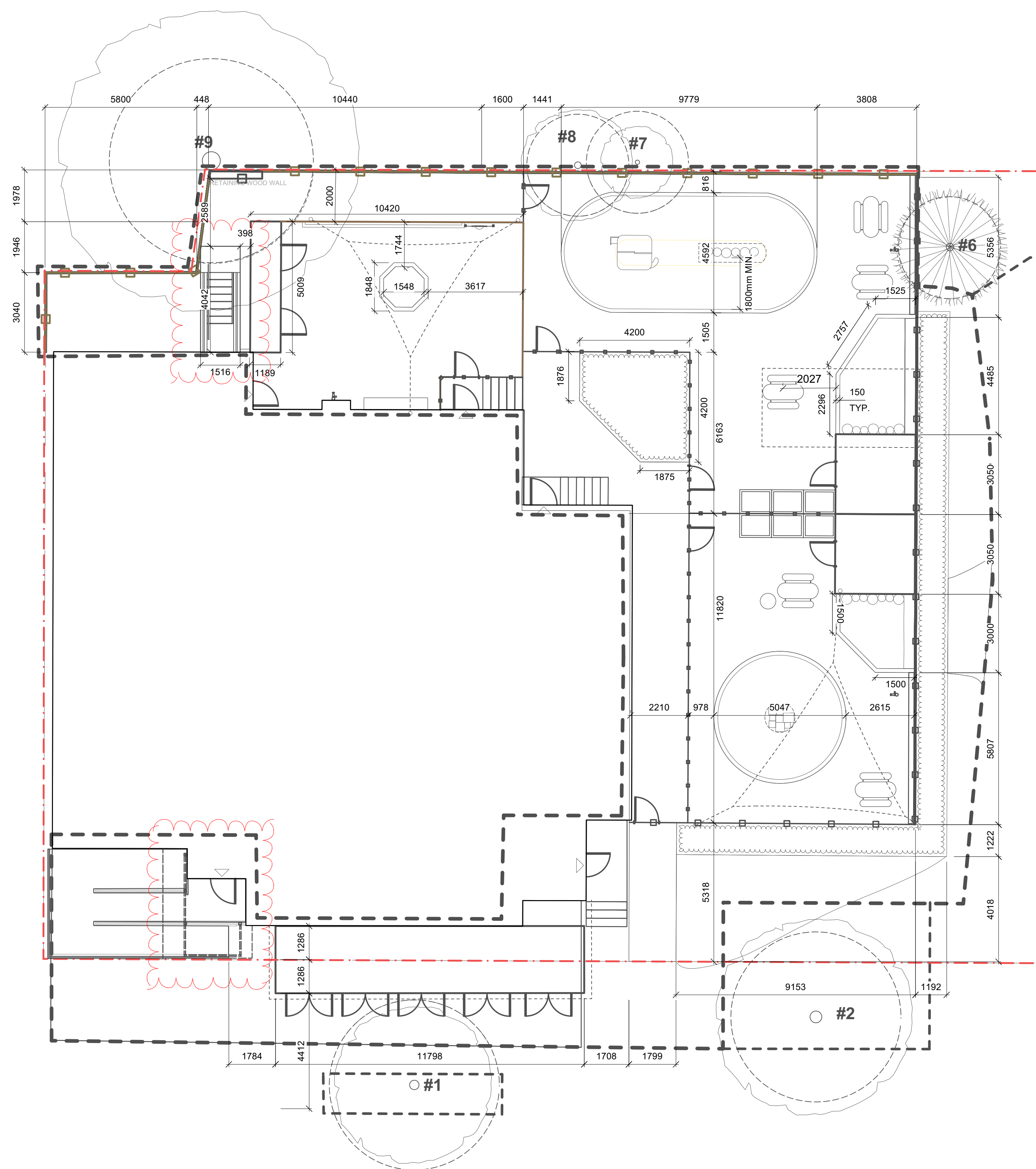
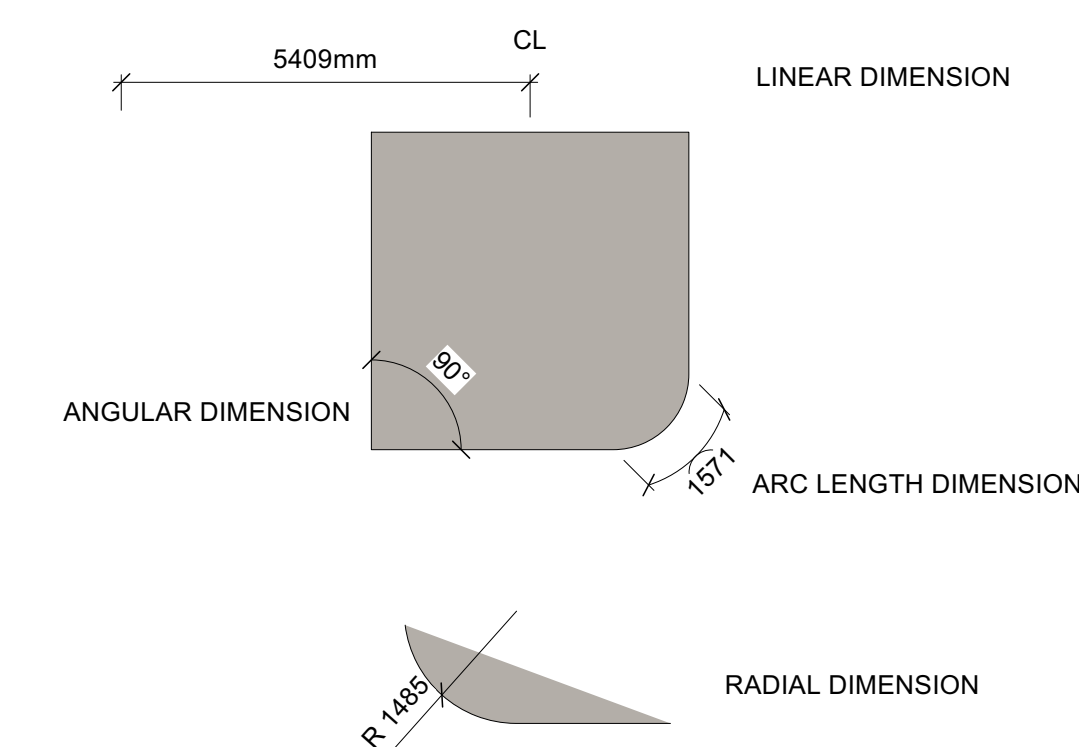
BUILDING RENOVATION

Sheet Title

Layout Plan

Drawn K.L./M.S. Scale 1:100
By
Designed K.L./M.S. Date April 5, 2024
By RJC Project Number **TOR.122940.0001**
Sheet Number Revision
L2.1

LEGEND



FFLA

Forest and Field Landscape
Architecture Inc.

t 647 933 1152
info@forestandfield.ca

KEY PLAN

No.	Revision	Date	By
4.	ISSUED FOR PERMIT/TENDER REVISION	Sept. 20, 24	K.L./M.S.
3.	ISSUED FOR PERMIT	Jun. 11, 24	K.L./M.S.
2.	ISSUED FOR TENDER	May. 13, 24	K.L./M.S.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr. 5, 24	K.L./M.S.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title

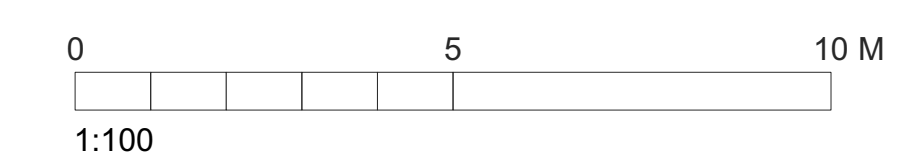
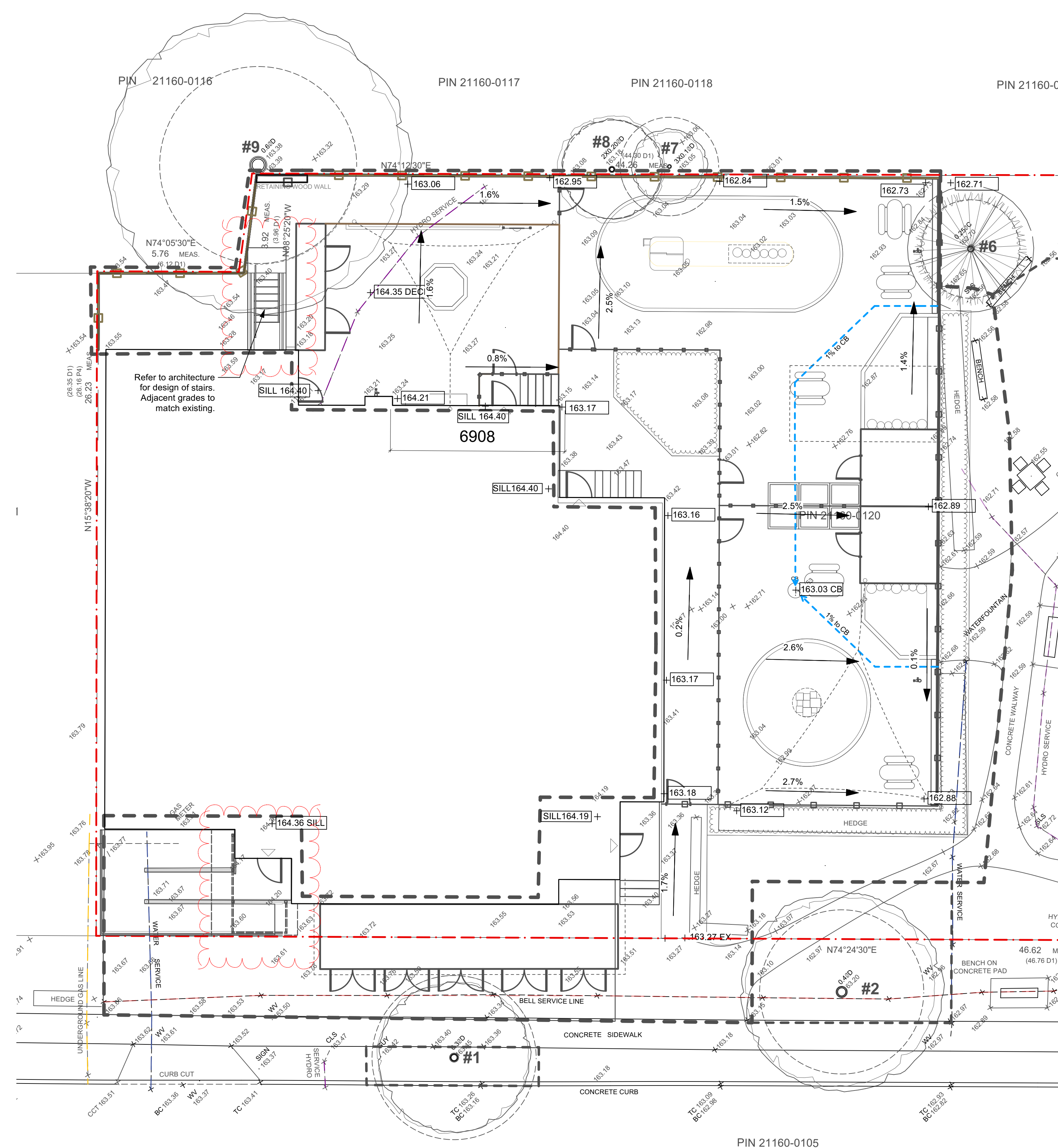
Grading Plan

Drawn K.L./M.S. Scale 1:100
By
Designed K.L./M.S. Date April 5, 2024
By RJC Project Number **TOR.122940.0001**
Sheet Number
Revision
L2.2

GRADING LEGEND

- + [107.70] INV IN PROPOSED INVERT IN
- + [107.70] LP PROPOSED LOW POINT ELEVATION
- + [107.70] HP PROPOSED HIGH POINT ELEVATION
- + [107.70] TC PROPOSED TOP OF CURB ELEVATION
- + [107.70] BW PROPOSED BOTTOM OF WALL ELEVATION
- + [107.70] TW PROPOSED TOP OF WALL ELEVATION
- + [107.70] DESIGN ELEVATION
- + 107.70 EX EXISTING ELEVATION TO BE MAINTAINED

- EXISTING SURVEY ELEVATION
- 1.0% SLOPE % VALUE AND DIRECTION
- EXISTING CONTOUR LINES
- DESIGN CONTOUR LINES
- BREAK LINE - CHANGE IN SLOPE DIRECTION
- 1.2% SUBGRADE OR DRAIN % VALUE AND DIRECTION
- SUBGRADE DRAINPIPES



FFLA

Forest and Field Landscape
Architecture Inc.

t 647 933 1152
info@forestandfield.ca

KEY PLAN

No.	Revision	Date	By
4.	ISSUED FOR PERMIT/TENDER REVISION	Sept. 20,24	K.L./M.S.
3.	ISSUED FOR PERMIT	Jun. 11,24	K.L./M.S.
2.	ISSUED FOR TENDER	May,13,24	K.L./M.S.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr.5,24	K.L./M.S.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet
Title

Planting Plan

Drawn K.L./M.S. Scale 1:100
By
Designed K.L./M.S. Date April 5, 2024
By RJC Project Number **TOR.122940.0001**
Sheet Number
Revision
L2.3

PLANTING NOTES AND LEGEND

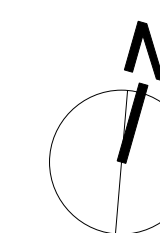
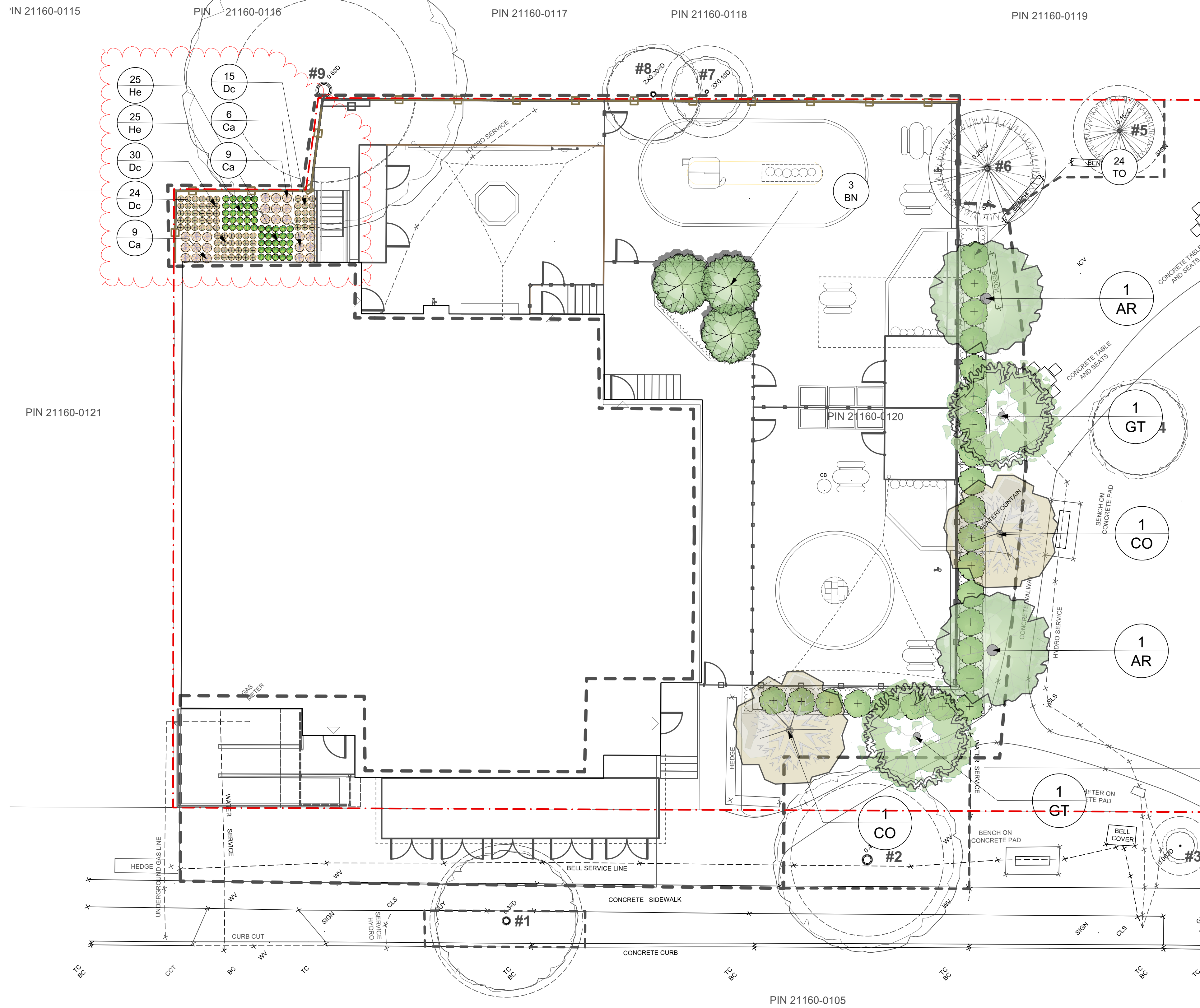
- Supplied plants must match specified planting size. Undersized plants will not be accepted.

PLANT ID - SEE CHART

QUANTITY OF INDIVIDUAL PLANTS PER GROUPING - NOTE PLANT SYMBOL AND VERIFY QUANTITY MATCHES CHART AND PLAN

Ca
13

Plant List								
	ID tag	Qty	Common Name	Botanical Name	Scheduled Size	Spacing	Native	Comments
Trees	BN	3	River Birch	Betula nigra				
	AR	2	Red Maple	Acer rubrum	90 mm CAL.			B&B. 3000mm height. Prune to suit location.
	CO	2	Hackberry	Celtis occidentalis	90mm CAL.			B&B. 3000mm height. Prune to suit location.
	GT	2	Skyline Honeylocust	Gleditsia triacanthos inermis var. 'Skyline'	90 mm CAL.			B&B. 3000mm height. Prune to suit location.
Shrubs	TO	24	North Pole Cedar	Thuja occidentalis 'Art Boe'	200mm height	As shown		
Perennials	Ca	24	Foerster's Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	2 gal.			
	He	50	Stella De Oro Dwarf Daylily	Hemerocallis x 'Stella de Oro'	2 gal.			
	Dc	60	Tufted Hair Grass	Deschampsia caespitosa				



0 5 10 M
1:100

KEY PLAN

No.	Revision	Date	By
4.	ISSUED FOR PERMIT/TENDER REVISION	Sept. 20,24	K.L./M.S.
3.	ISSUED FOR PERMIT	Jun. 11,24	K.L./M.S.
2.	ISSUED FOR TENDER	May.13,24	K.L./M.S.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr.5,24	K.L./M.S.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
Upper Yonge Village Daycare Centre
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

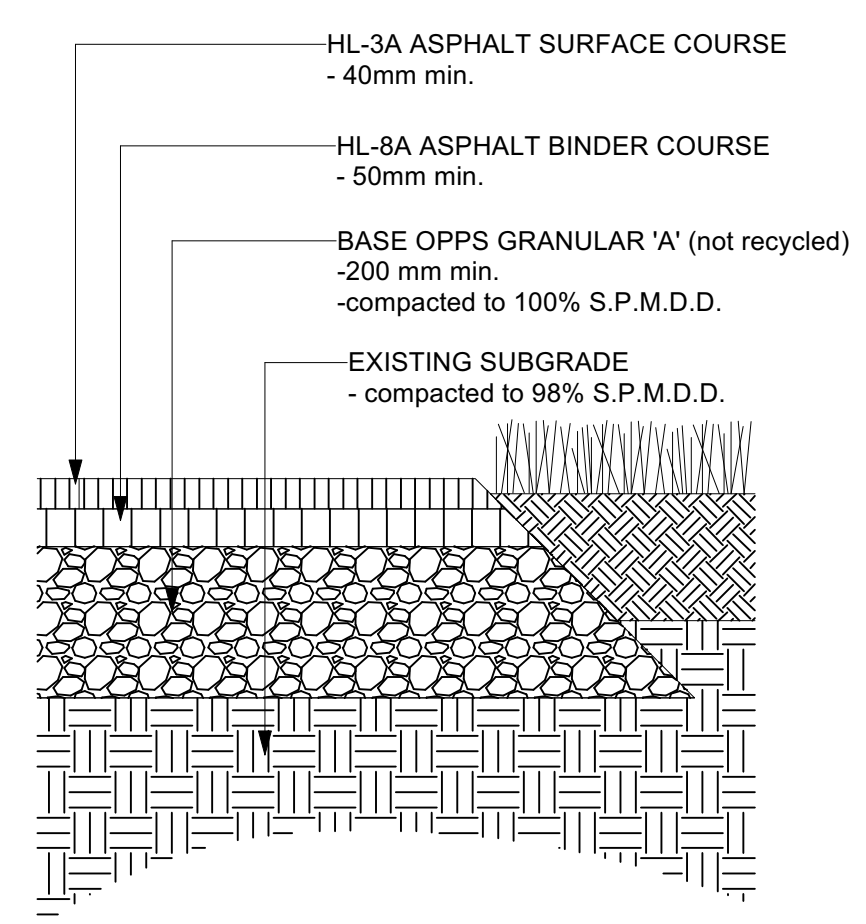
Sheet Title

Details

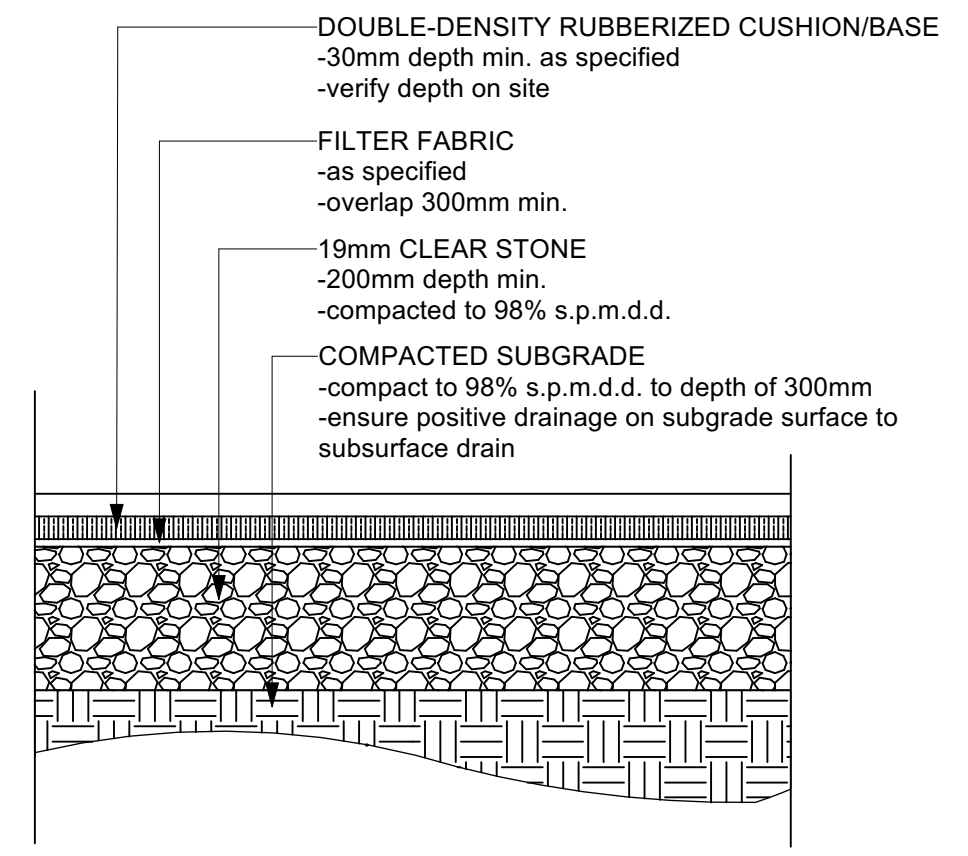
Drawn K.L./M.S. Scale 1:100
By
Designed K.L./M.S. Date April 5, 2024
By RJC Project Number **TOR.122940.0001**
Sheet Number
Revision

L3.0

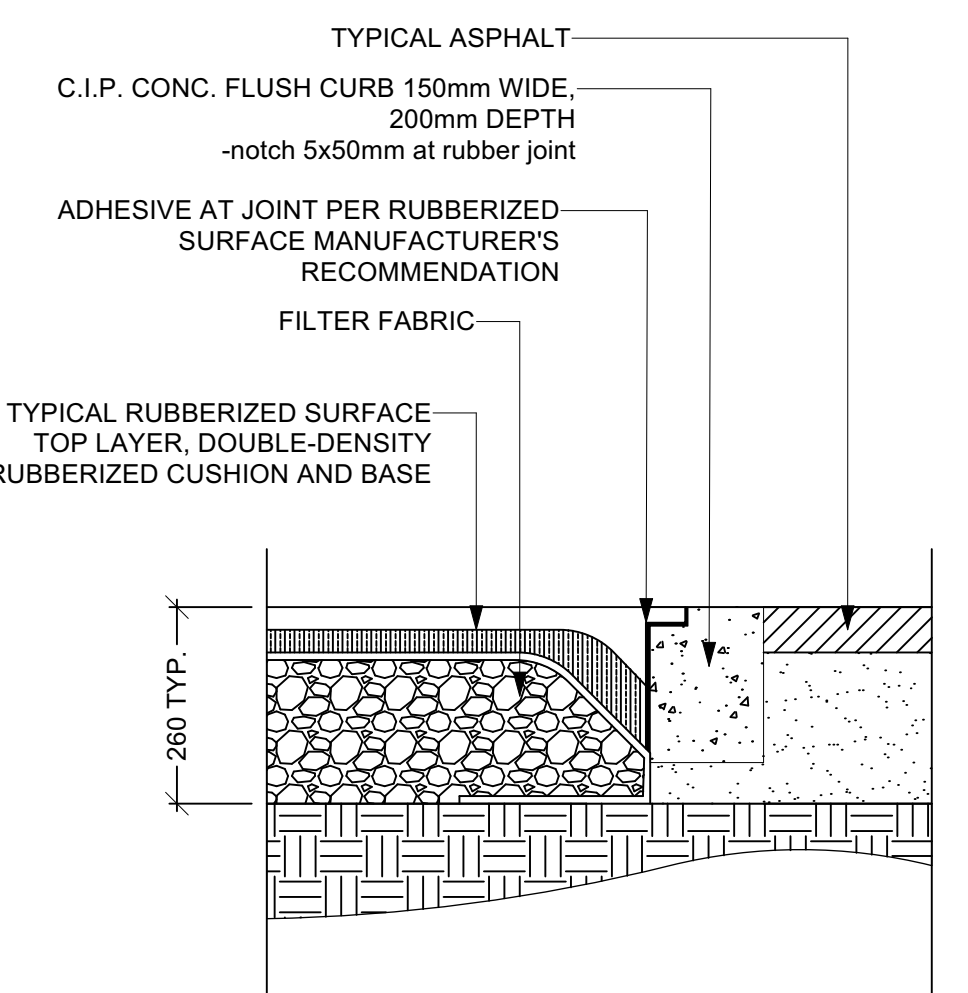
GENERAL NOTES
1. Tamp edge at soft landscape at a 45 degree angle.



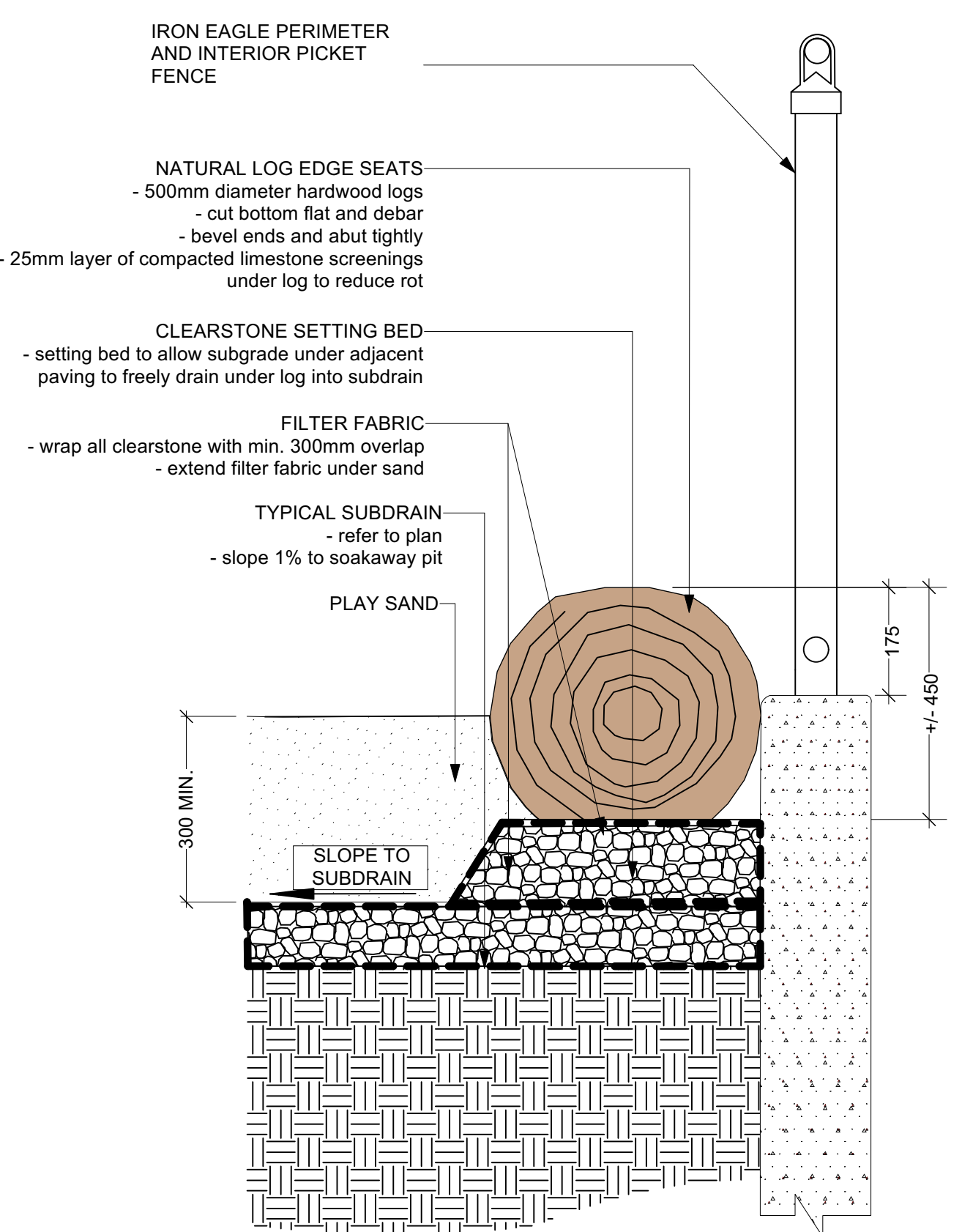
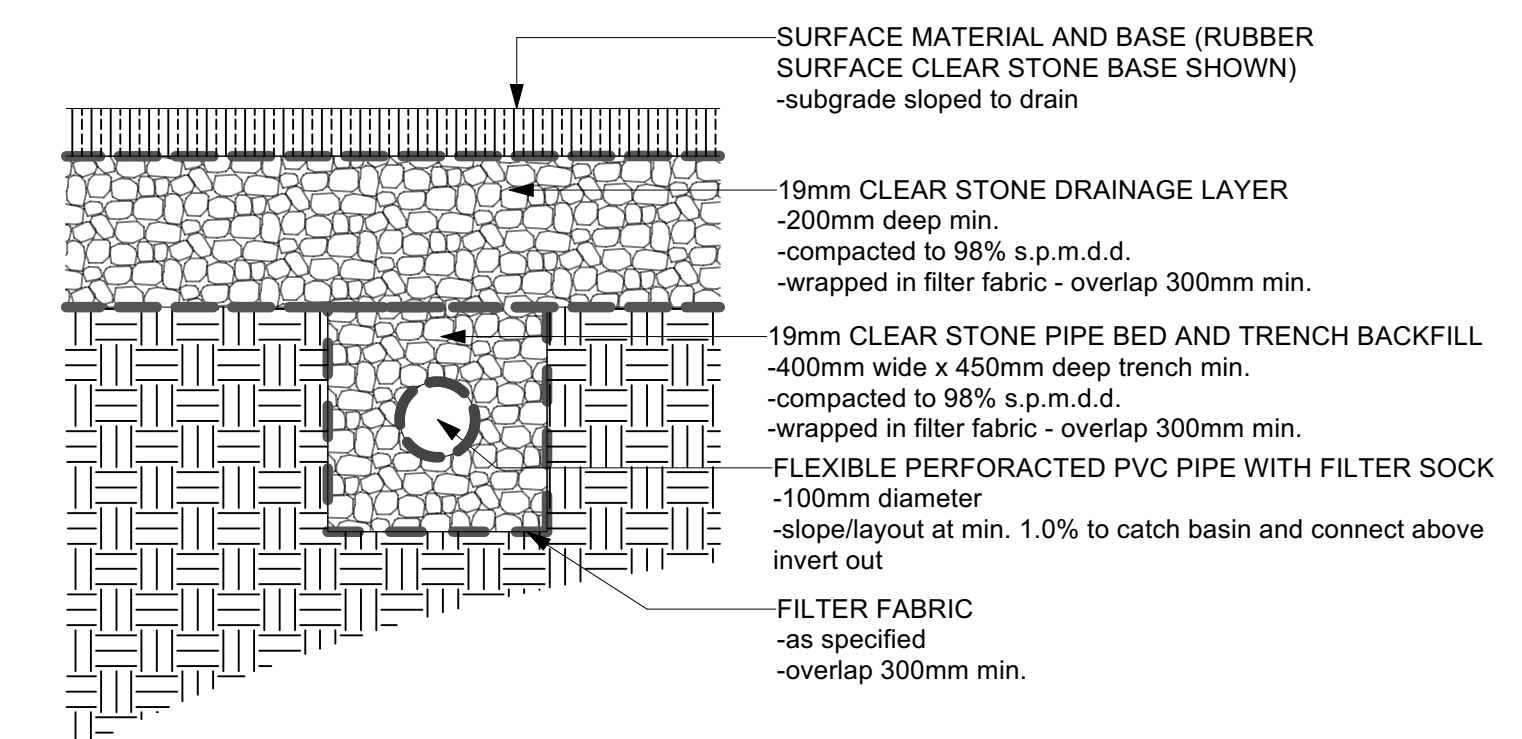
1 ASPHALT PAVING
Scale: 1:10



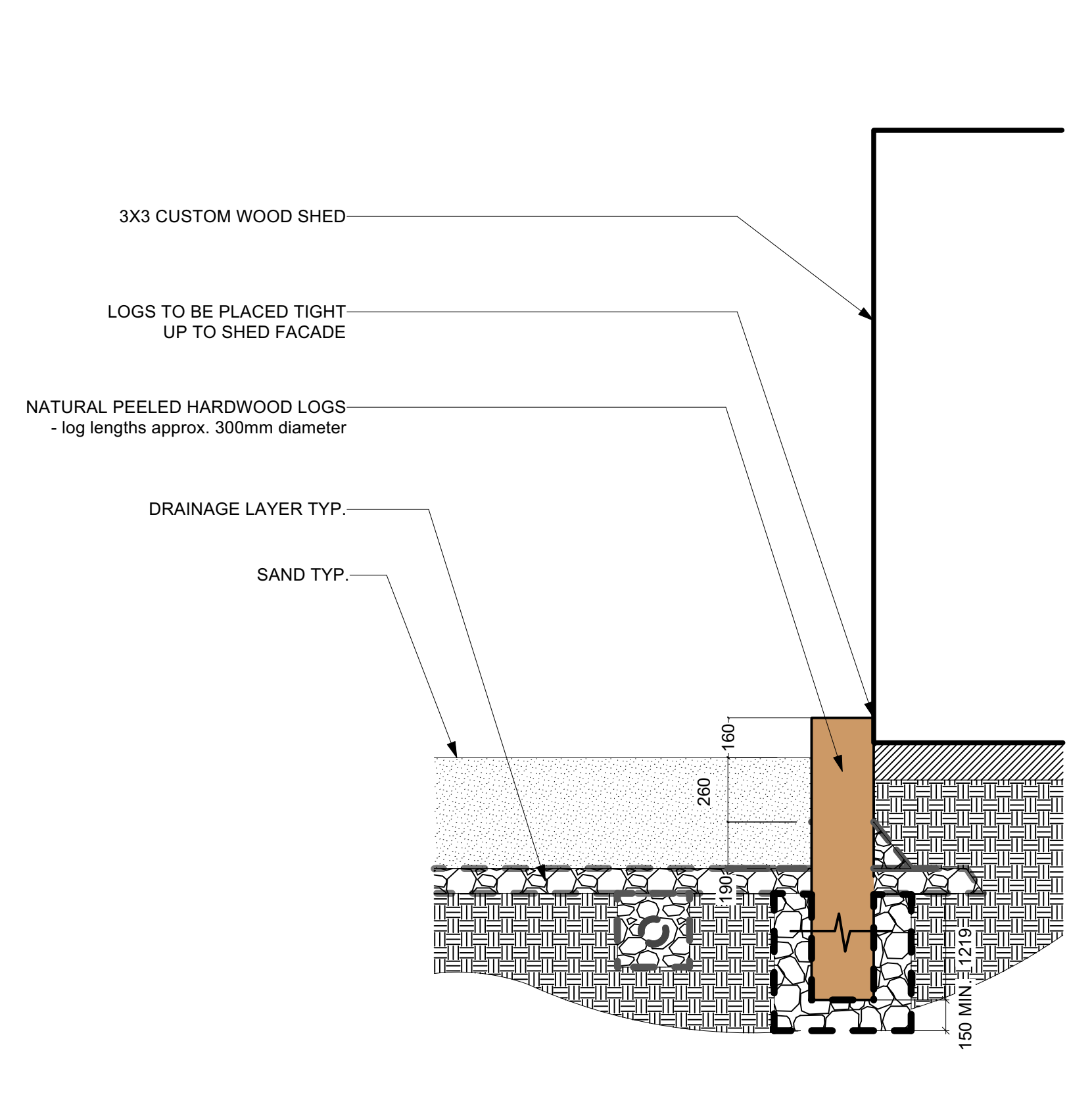
2 RUBBER SAFETY SURFACING WITH C.I.P. CONCRETE CURB
Scale: 1:10



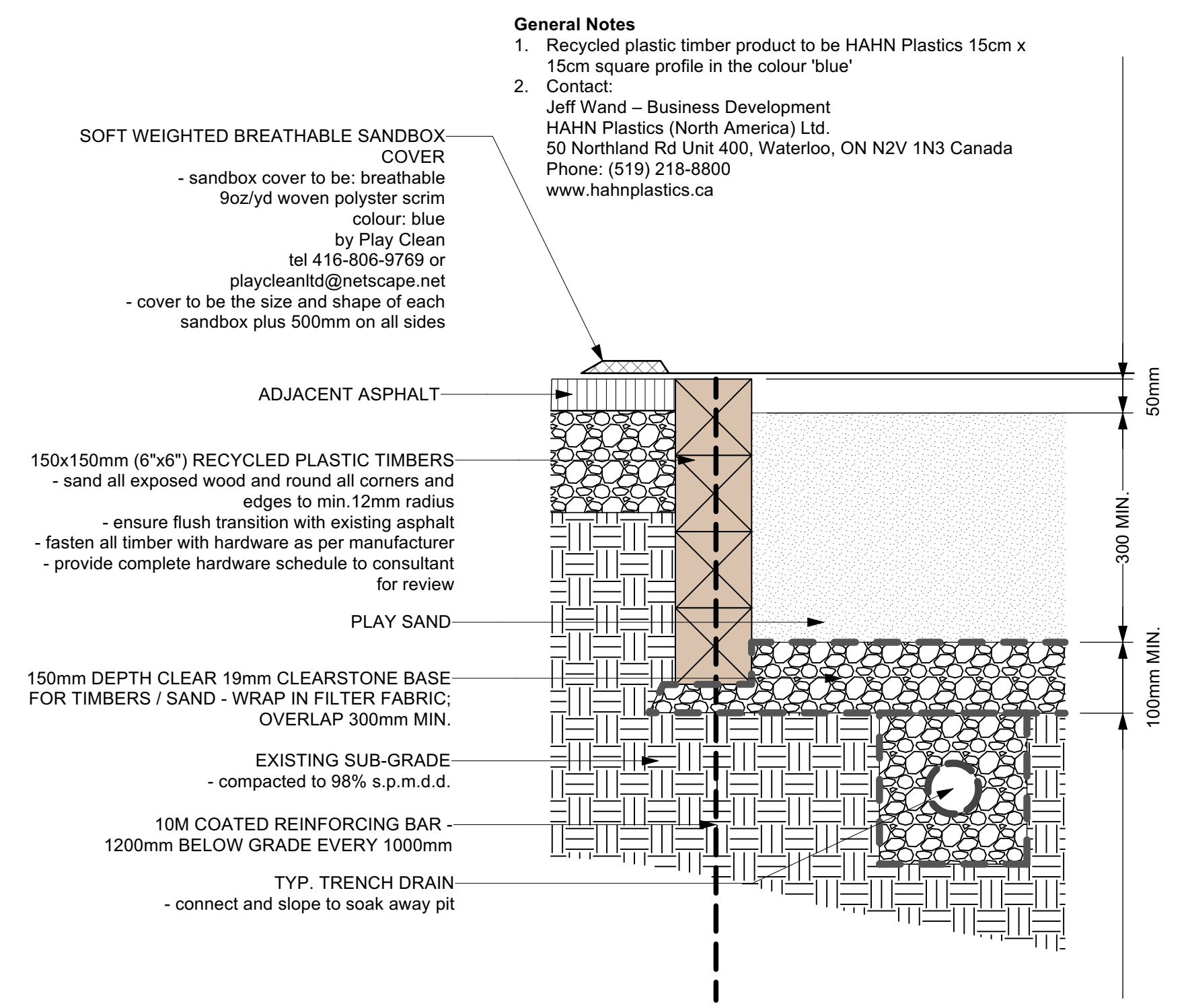
3 TRENCH DRAIN UNDER RUBBER SURFACING OR SANDBOX
Scale: 1:10



4 SEATING LOG EDGE AT FENCE
Scale: 1:10



5 VERTICAL LOG EDGE IN SANDBOX AT ASPHALT
Scale: 1:20



6 SANDBOX WITH FLUSH TIMBER CURB
Scale: 1:10

General Notes

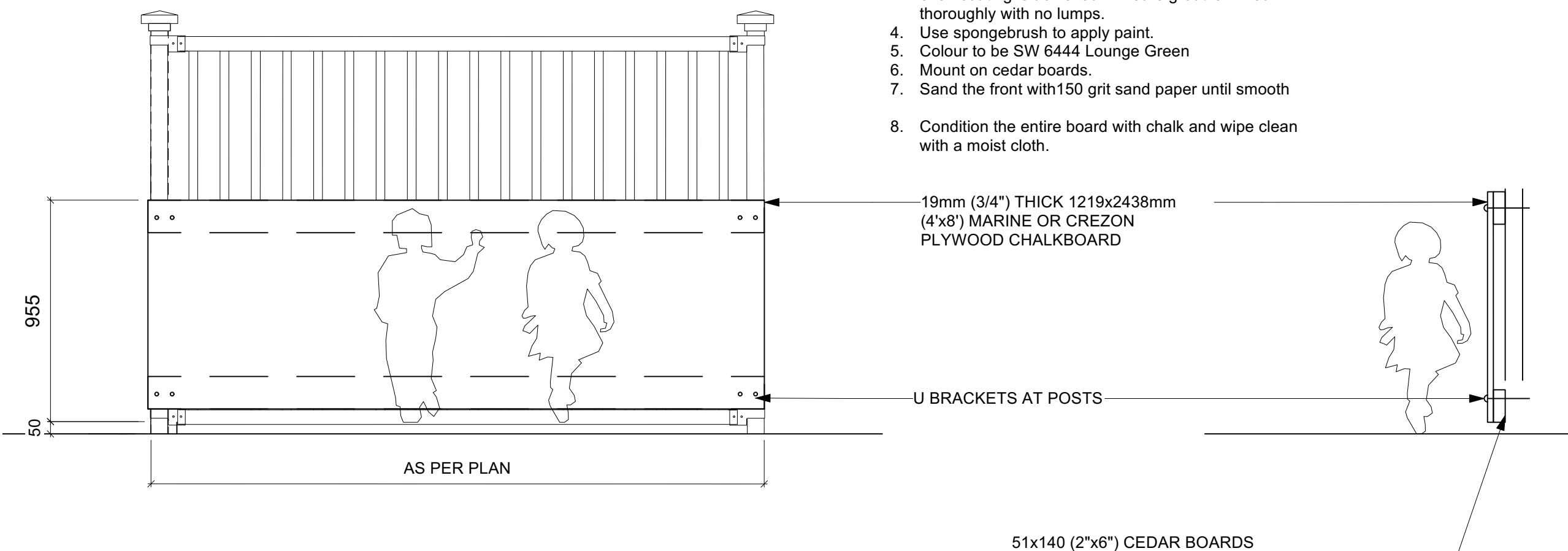
- Recycled plastic timber product to be HAHN Plastics 15cm x 15cm square profile in the colour 'blue'
- Contact: Jeff Ward - Business Development, HAHN Plastics (North America) Ltd., 50 Northland Rd Unit 400, Waterloo, ON N2V 1N3 Canada, Phone: (519) 218-8800, www.hahnplastics.ca

SW 6444
Lounge Green
Interior / Exterior
Location Number: 107-03

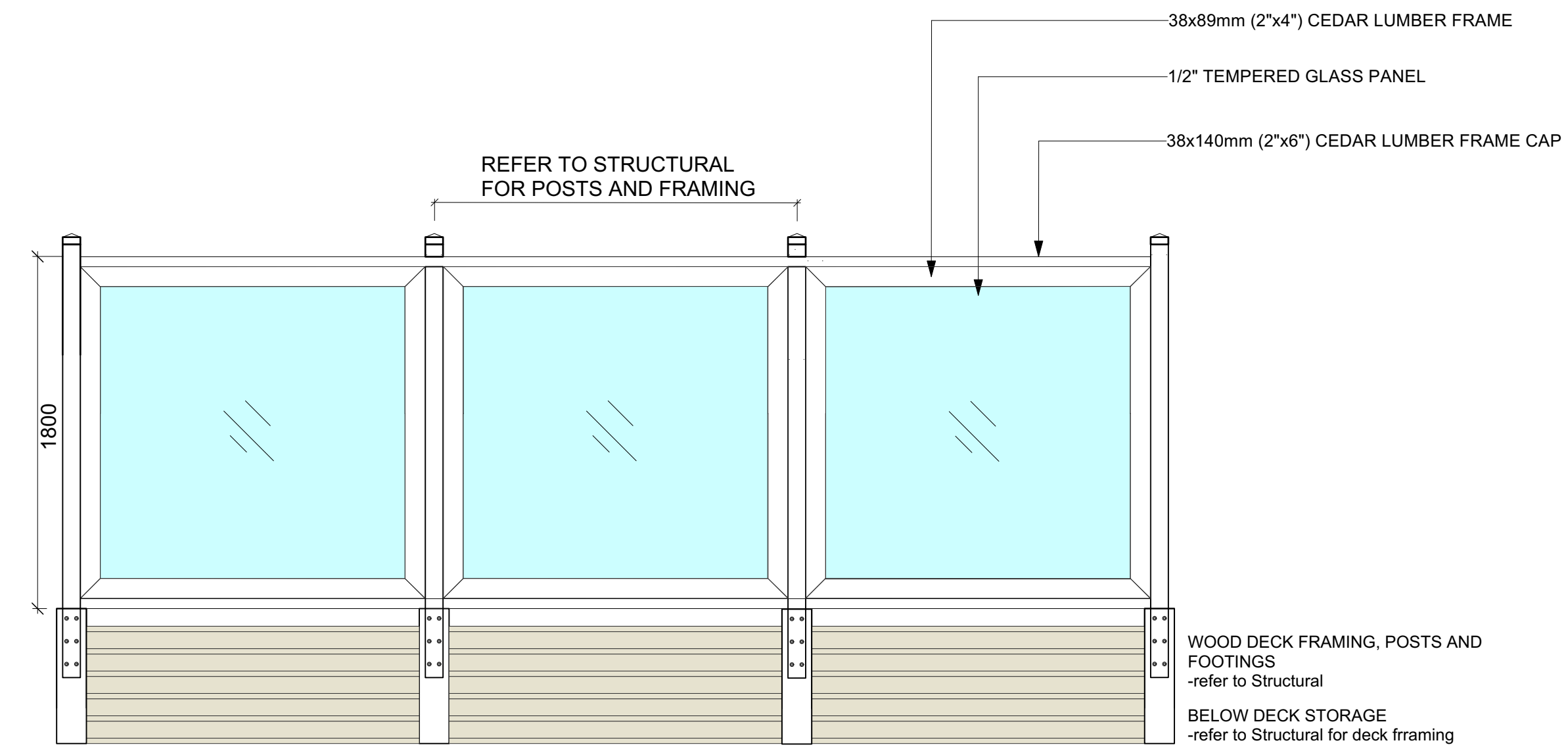
CHALKBOARD COLOUR

STEP-BY-STEP CHALKBOARD INSTRUCTIONS

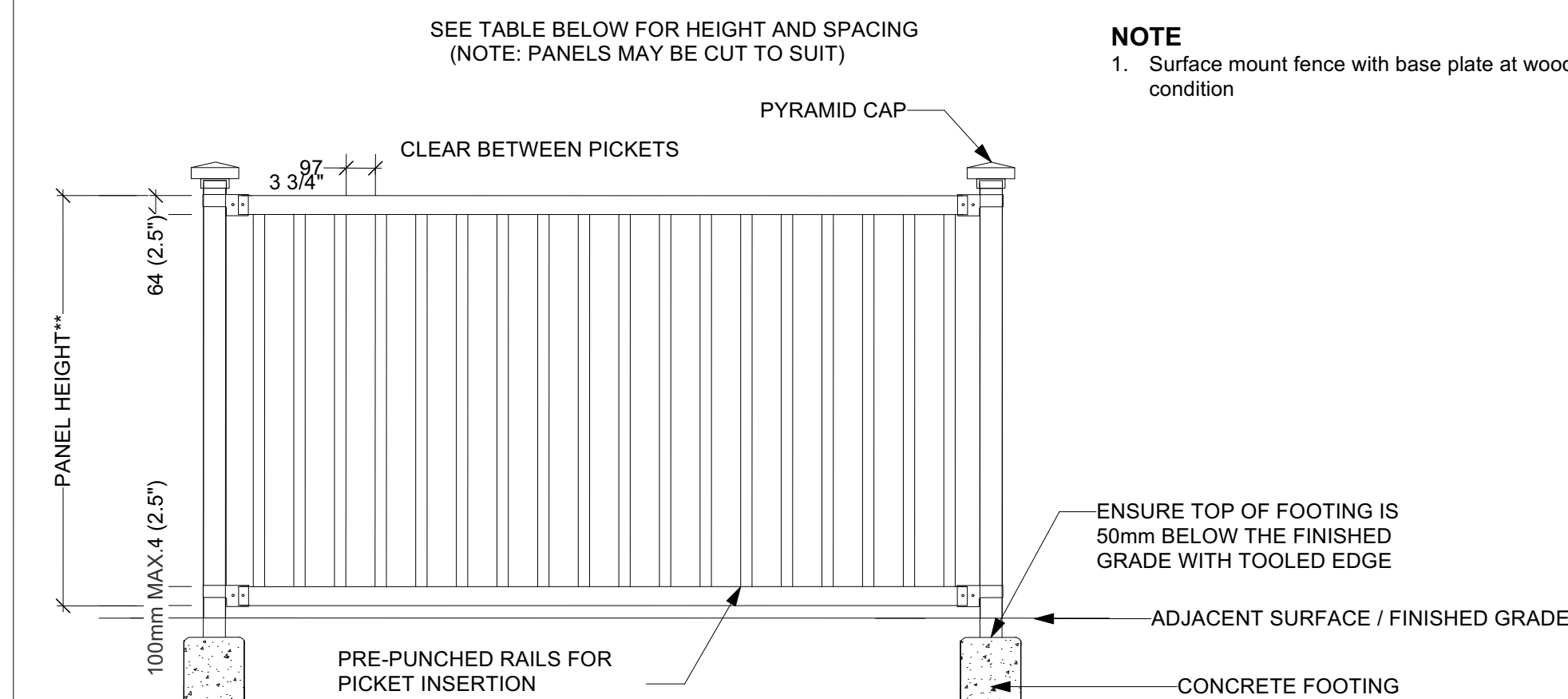
1. Sand finished side(s).
2. Apply exterior primer thoroughly to all sides.
3. Mix in small batches 8 parts exterior paint with 1 part unsanded tile grout on all sides until a smooth and even coating is achieved. Ensure grout is mixed thoroughly with no lumps.
4. Use spongebrush to apply paint.
5. Colour to be SW 6444 Lounge Green
6. Mount on cedar boards.
7. Sand the front with 150 grit sand paper until smooth
8. Condition the entire board with chalk and wipe clean with a moist cloth.



2 ACRYLIC PANELS AT DECK RAILING
Scale: 1:25



1 OUTDOOR CHALKBOARD MOUNTED ON PERIMETER FENCE
Scale: 1:20



NOTE

1. Surface mount fence with base plate at wood deck condition

SEE TABLE BELOW FOR HEIGHT AND SPACING (NOTE: PANELS MAY BE CUT TO SUIT)

PANEL HEIGHT	PANEL WIDTH	POST SETTING (CENTRE TO CENTRE)
814mm (36")	2432mm (95 3/4")	2565mm (101")
814mm (36")	1899mm (74 3/4")	2032mm (80")
2134mm (84")		
2438mm (96")		
2743mm (108")		
3048mm (120")		
3348mm (129")		

SPECIFICATIONS:

POSTS, RAILS & PICKETS: COLD FORMED STEEL TUBING INTERIOR & EXTERIOR GALVALUME COATING CHROMATE CONVERSION COATING ELECTROSTATICALLY APPLIED THERMALLY BONDED POLYESTER POWDER COATING - MINIMUM FILM THICKNESS 2.5 MILS

POSTS: 76mm x 76mm (3"x3"), 14 GAUGE, S840 OR SCH 40

POST FLANGES: 203mm x 203mm (8"x8") x 13mm (1/2") OR 254mm x 254mm (10"x10") x 13mm (1/2")

POST CAP: PYRAMID OR BALL

RAILS: 38mm x 64mm (1 1/2" x 2 1/2"), 16 GAUGE

PICKETS: 19mm x 38mm (3/4" x 1 1/2"), 16 GAUGE

FITTINGS: 12 GAUGE STAMP FORGED FACTORY FINISH AS ABOVE

WELDS: STAINLESS STEEL

COLOURS: STANDARD COLOURS ARE BLACK, SEMI-BLACK, BROWN, GREEN, WHITE & FOREST GREEN. CUSTOM COLOURS AVAILABLE UPON REQUEST

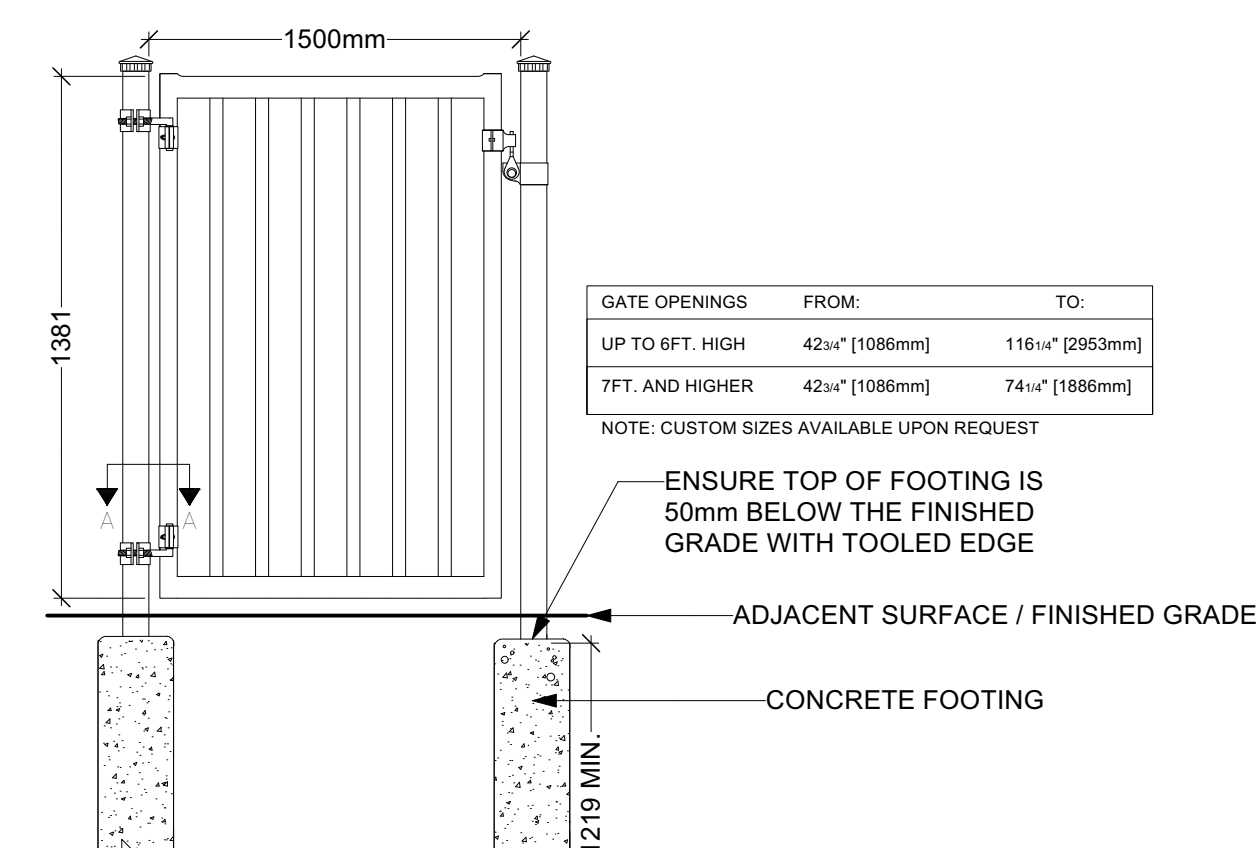
WARRANTY: 5 YEAR MAINTENANCE FREE

NOTE: ALL TYPE OF GATES AVAILABLE TAMPER PROOF NUT AVAILABLE E-COAT PROTECTION AVAILABLE UPON REQUEST

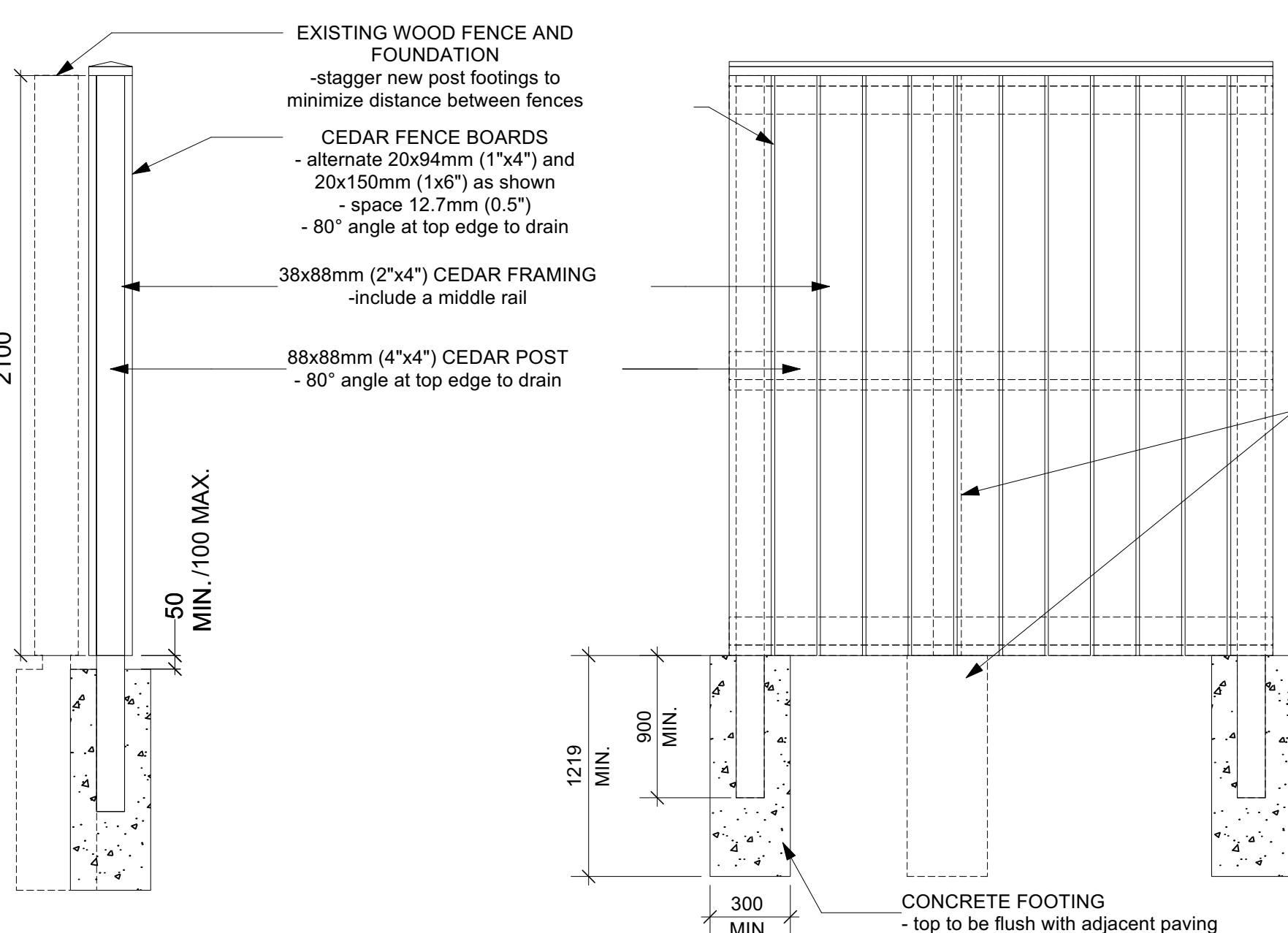
COMMENTS:

TITLE	IRON EAGLE II SERIES ELEGANT EAGLE	DRAWING No.	E-01
REF.	IRON EAGLE INDUSTRIES INC. 1256 CARDIFF BLVD. MISSISSAUGA ONT.	CHK'D	DATE: JAN 2010
www.iron eagleind.com	TEL 905-670-2558	FAX 905-670-2538	

3 PERIMETER AND INTERIOR PICKET FENCE
Scale: 1:20

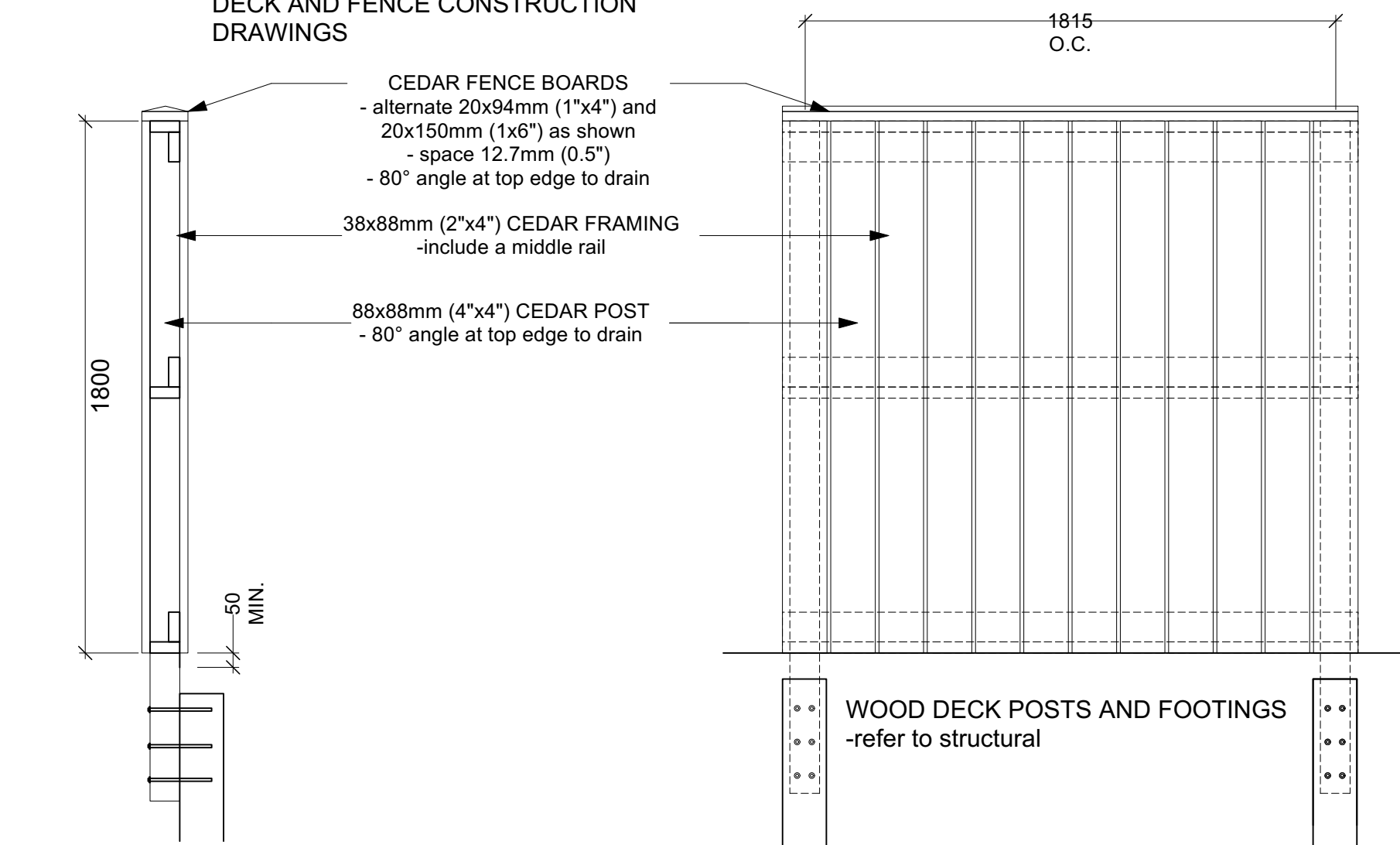


4 1.8m WOOD BOARD FENCE AT DECK PERIMETER
Scale: 1:20



5 7 FT WOOD BOARD FENCE AT PROPERTY LINE
Scale: 1:20

DRAWING FOR DESIGN ELEMENTS ONLY - REFER TO STRUCTURAL FOR DECK AND FENCE CONSTRUCTION DRAWINGS



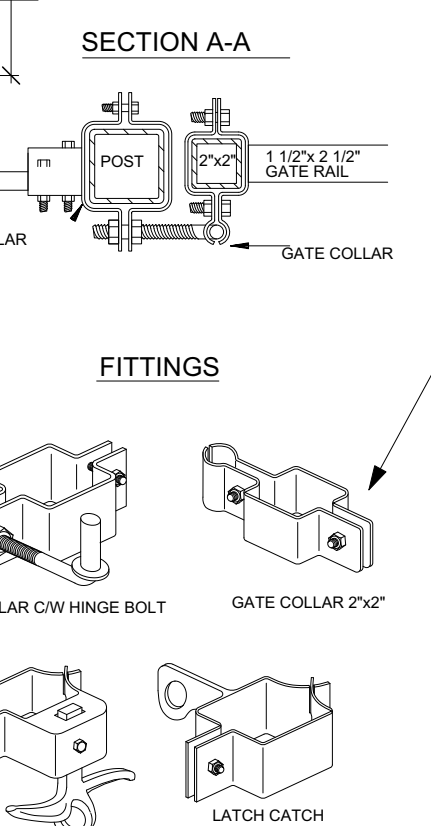
	FROM	TO
UP TO 6FT. HIGH	42" (1088mm)	116" (2953mm)
7FT. AND HIGHER	42" (1088mm)	74" (1880mm)

NOTE: CUSTOM SIZES AVAILABLE UPON REQUEST

ENSURE TOP OF FOOTING IS 50mm BELOW THE FINISHED GRADE WITH TOOLED EDGE

ADJACENT SURFACE / FINISHED GRADE

CONCRETE FOOTING



IRON EAGLE II ALUMINUM ELEGANT EAGLE II SINGLE SWING GATE

DATE: JAN 10, 2010

TEL 905-670-2558 FAX 905-670-2538

Read Jones Christoffersen Ltd.
Engineers
rjc.ca

100 University Avenue,
North Tower, Suite 400
Toronto, ON M5J 1V6 Canada
tel 416-977-5335
fax 416-977-1427

FFLA

Forest and Field Landscape
Architecture Inc.

t 647 933 1152
info@forestandfield.ca

KEY PLAN

No.	Revision	Date	By
4.	ISSUED FOR PERMIT/TENDER REVISION	Sept. 20,24	K.L./M.S.
3.	ISSUED FOR PERMIT	Jun. 11,24	K.L./M.S.
2.	ISSUED FOR TENDER	May,13,24	K.L./M.S.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr.5,24	K.L./M.S.

Drawing Notes

1. All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
2. These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
3. Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
Upper Yonge Village Daycare Centre
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title

Details

Drawn By: K.L./M.S. Scale: 1:100
Designed: K.L./M.S. Date: April 5, 2024

By: RJC Project Number: **TOR.122940.0001**

Sheet Number: 13.1

L3.1

FFLA

Forest and Field Landscape
Architecture Inc.

t 647 933 1152
info@forestandfield.ca

KEY PLAN

No.	Revision	Date	By
4.	ISSUED FOR PERMIT/TENDER REVISION	Sept. 20,24	K.L./M.S.
3.	ISSUED FOR PERMIT	Jun. 11,24	K.L./M.S.
2.	ISSUED FOR TENDER	May.13,24	K.L./M.S.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr.5,24	K.L./M.S.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

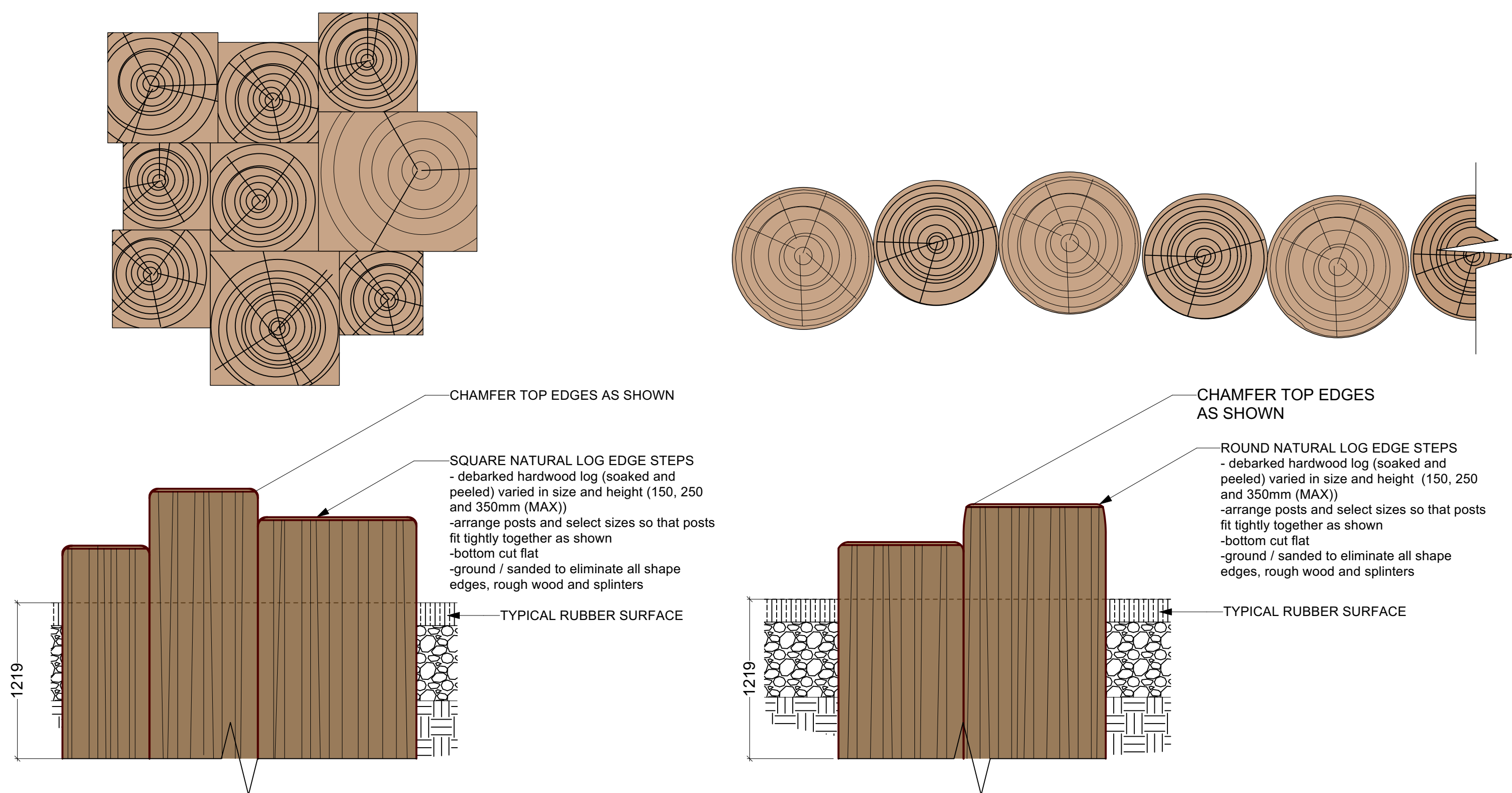
BUILDING RENOVATION

Sheet Title

Details

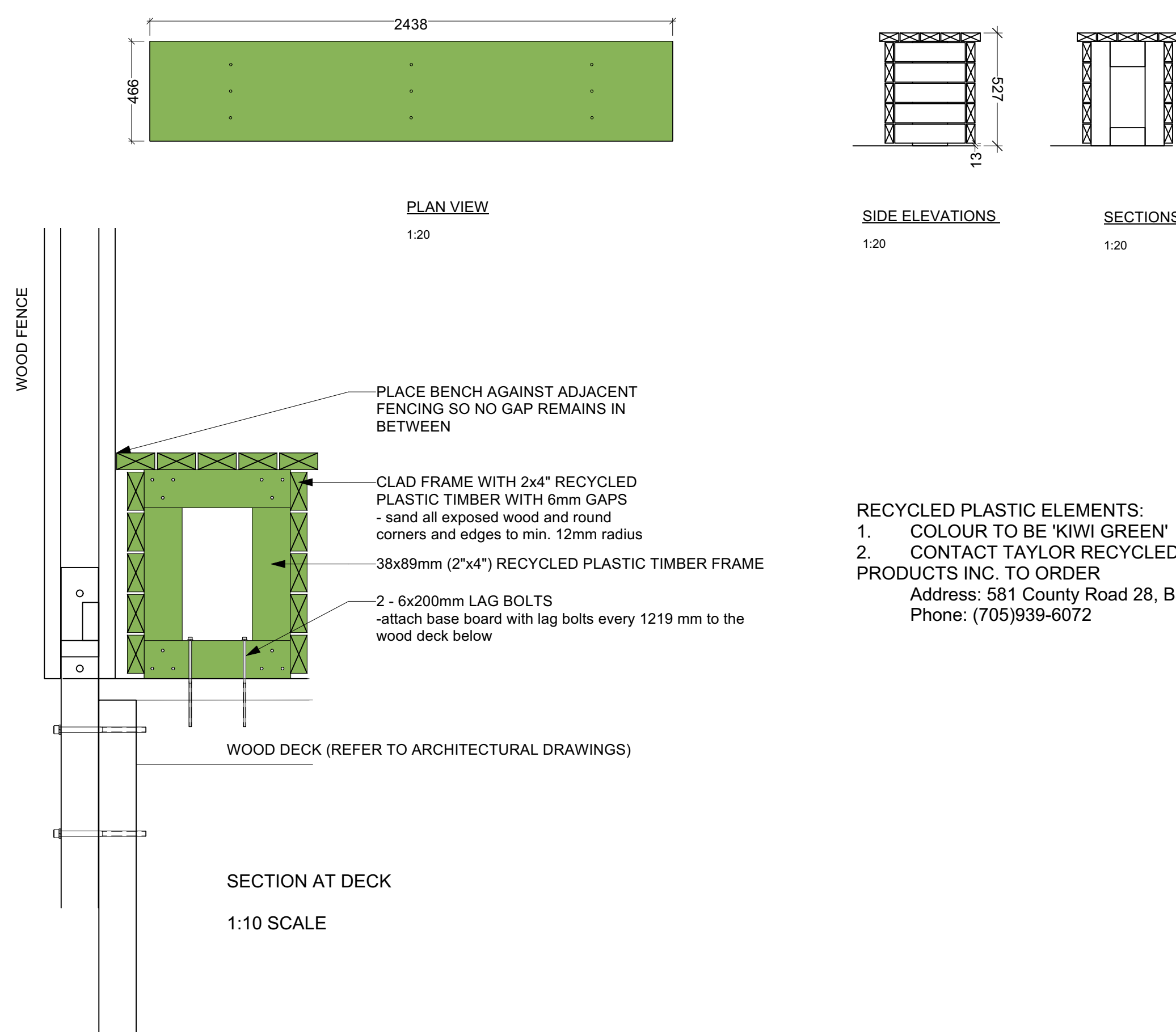
Drawn By: K.L./M.S. Scale: 1:100
Designed By: K.L./M.S. Date: April 5, 2024
RJC Project Number: **TOR.122940.0001**
Sheet Number: _____ Revision: _____

L3.2



1 STEPPING LOGS IN RUBBER
Scale: 1:10

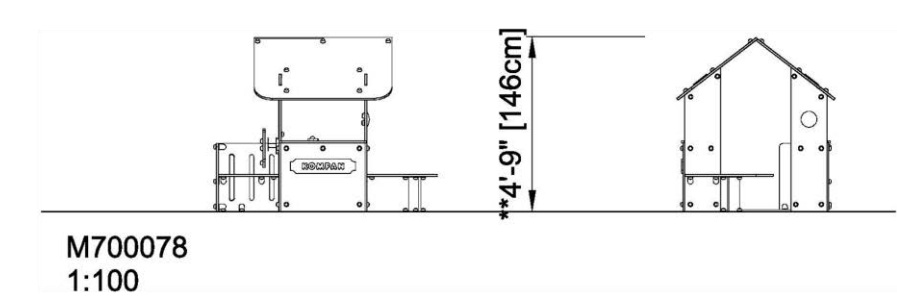
2 WOOD POSTS FOR SHADE SAIL
Scale: 1:25



3 RECYCLED PLASTIC TIMBER BENCH
Scale: VARIES

NOTES:

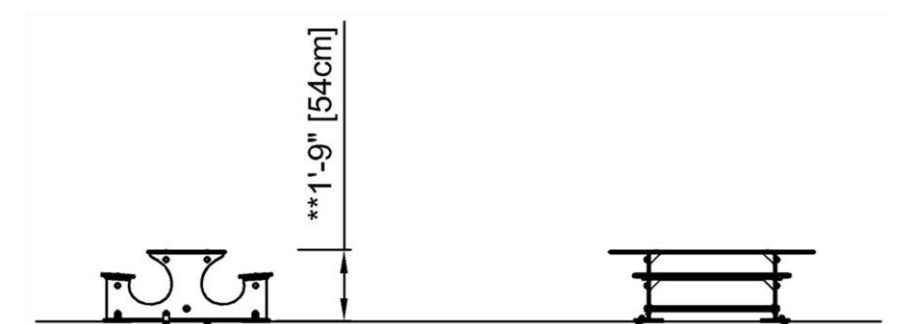
- Playhouse to be Kompan Villa Playhouse M700078-30P in colour 'Greenline' or approved equal.
- Contractor shall submit supplier / manufacturer's data sheet prior to delivery to the site.
- Contractor to install as per manufacturer's instructions
- Contact: David Parker at Kompan Playground Solutions t. 519-495-0680, DavPar@Kompan.com



4 PLAY HOUSE
Scale: NTS

NOTES:

- Playhouse to be Kompan Garden Table M230070P or approved equal.
- Contractor shall submit supplier / manufacturer's data sheet prior to delivery to the site.
- Contractor to install as per manufacturer's instructions
- Contact: David Parker at Kompan Playground Solutions t. 519-495-0680, DavPar@Kompan.com



5 HARVEST TABLES
Scale: NTS

GENERAL NOTES

- PROVIDE THIS PRODUCT OR EQUAL
- INSTALL ON NEW ASPHALT SURFACE.
- CONTACT LOWE'S TO ORDER "Outdoor Living Today EGB43 Elevated Garden Bed 4-ft x 3-ft" Phone: 1-888-98LOWES (56937) Email: Support@lowes.ca



6 RAISED WOOD PLANTER
Scale: 1:10

FFLA

Forest and Field Landscape
Architecture Inc.

t 647 933 1152
info@forestandfield.ca

KEY PLAN

No.	Revision	Date	By
4.	ISSUED FOR PERMIT/TENDER REVISION	Sept. 20,24	K.L./M.S.
3.	ISSUED FOR PERMIT	Jun. 11,24	K.L./M.S.
2.	ISSUED FOR TENDER	May,13,24	K.L./M.S.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr.5,24	K.L./M.S.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet
Title

Details

Drawn K.L./M.S. Scale 1:100
By
Designed K.L./M.S. Date April 5, 2024
By RJC Project Number **TOR.122940.0001**
Sheet Number
Revision
L3.3

BREATHER MEMBRANE NOTES:

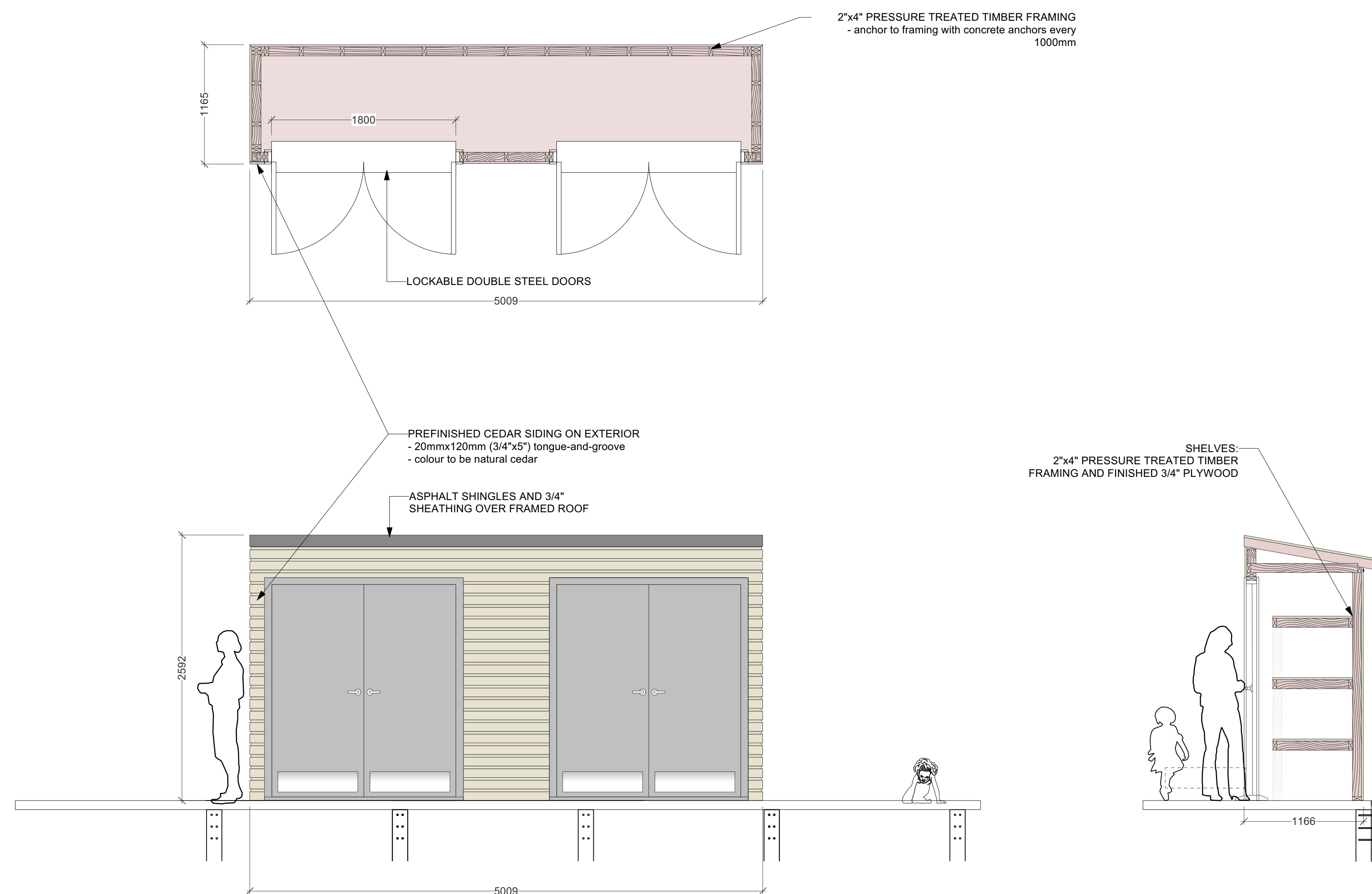
- Breather Membrane to be Tyvek spunbound olefin breather membrane. Manufactured by DuPont Tel. 905-821-3300 or approved equivalent.
- Seam tape to be as recommended by Breather Membrane manufacturer.
- Install to comply with manufacturer's written recommendations or specifications, including product technical bulletins, handling, storage and installation instructions, and datasheets.
- Perform Work in accordance with National Air Barrier Association Professional Contractor Quality Assurance Program and requirements for materials and installation.
- Secure self-adhesive air-vapour barrier to sheathing materials. Lap into roof and door frames.

ROOFING NOTES:

- Roofing work is to be conducted only by individuals specifically trained and qualified for this work.
- Perform work in accordance with CRCA - Canadian Roofing Contractors Association and the Provincial Building Code (Ontario Regulation 413/90 (Ontario Building Code))
- Products containing tar and asbestos are prohibited on this project.
- Do not roof over damp or unsuitable surfaces.
- The Contractor shall provide a single source manufacturer's system warranty for all related work against defects in materials and workmanship for a period of twenty (20) years. The warranty shall cover all components of the roof system; including, but not limited to, the shingles, underlayment and flashings.
- Roofing system to be IKO or approved equivalent. Roofing Underlayment to be IKO 'Stormite' synthetic underlayment. Shingles to be IKO 'Marathon Plus AR' three-tab asphalt shingles

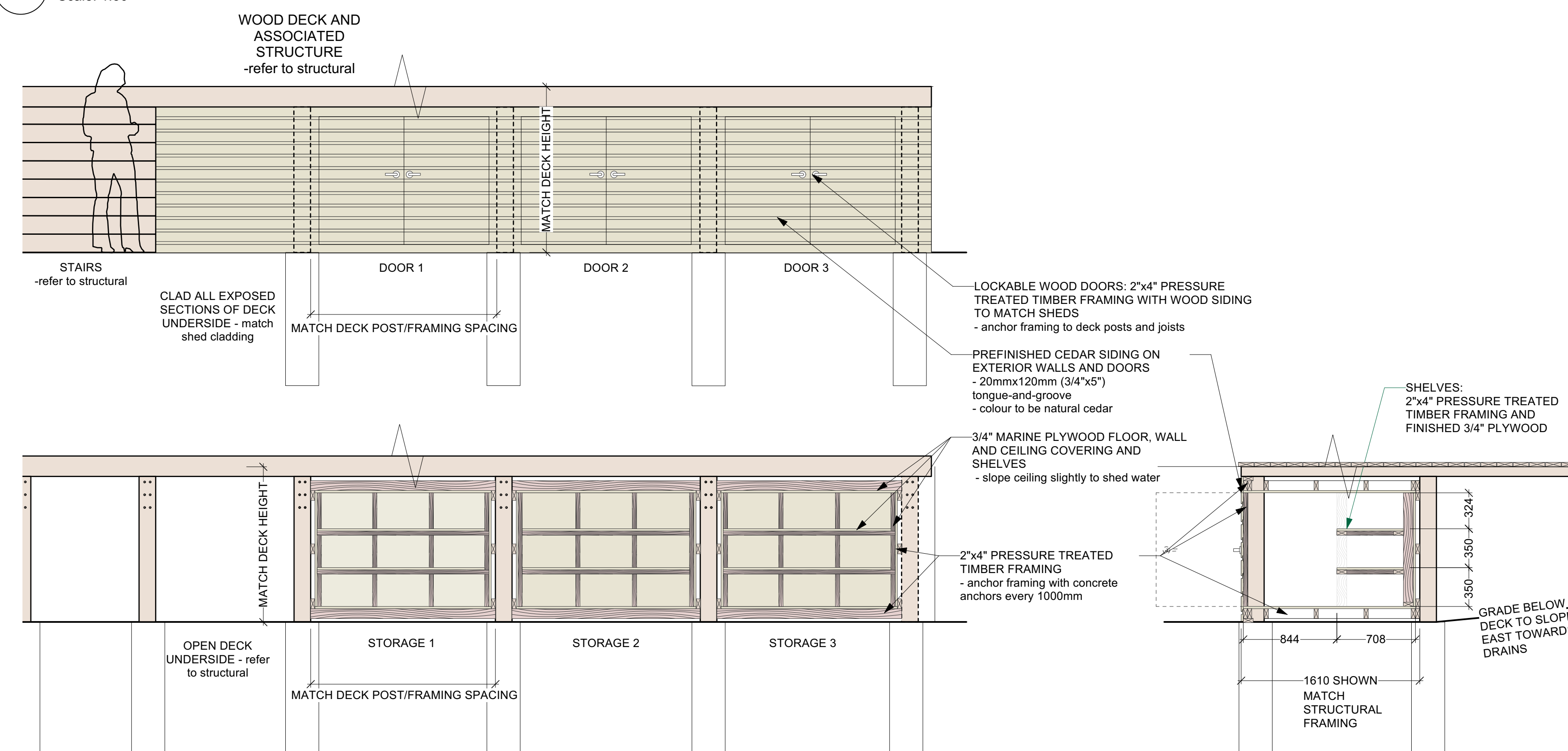
SHED DOOR AND HARDWARE NOTES:

- Typical shed door: double 2135mm x 915mm hollow metal doors and frame, painted. Hardware shall be storeroom function lockset on active leaf with keyway matching existing. Contractor shall provide construction cores. Include manual flush bolts on inactive leaf, weather stripping and sweeps.
- Perform work in accordance with American Society for Testing and Materials International (ASTM), Canadian General Standards Board (CGSB), Canadian Standards Association (CSA International), Canadian Steel Door Manufacturers' Association (CSDMA).
- Provide the following submittals in accordance with the specifications: indicate each type of door, material, steel core thicknesses, mortises, reinforcements, location of exposed fasteners, openings, glazed, louvred, hardware, and finishes.
- Install doors to comply with manufacturer's written recommendations or specifications, including product technical bulletins, handling, storage and installation instructions, and datasheets.
 - Set frames plumb, square, level and at correct elevation.
 - Secure anchorages and connections to adjacent construction.
 - Brace frames rigidly in position while building-in. Install temporary horizontal wood spreader at third points of door opening to maintain frame width. Provide vertical support at centre of head for openings over 1200 mm wide. Remove temporary spreaders after frames are built-in.
 - Make allowances for deflection of structure to ensure structural loads are not transmitted to frames.
 - Caulk perimeter of frames between frame and adjacent material. Interior Sealant to be paintable acrylic latex to CAN/CGSB-19.17-M90 (Tremco Latex 100 or equal) / Exterior Sealant to be Multi-component Chemical Curing CAN/CGSB-19.24-M90 (Tremco 'Dymeric 240' or equal)
 - Maintain continuity of air barrier.
 - Install doors and hardware in accordance with hardware templates and manufacturer's instructions
 - Provide even margins between doors and jambs and doors and finished floor and thresholds as follows.
 - Hinge side: 1.0 mm.
 - Latchside and head: 1.5 mm.
 - Finished floor 13 mm.
- Install hardware to standard hardware location dimensions in accordance with Canadian Metric Guide for Steel Doors and Frames (Modular Construction) prepared by Canadian Steel Door and Frame Manufacturers' Association.
 - Where door stop contacts door pulls, mount stop to strike bottom of pull.
 - Use only manufacturer's supplied fasteners. Failure to comply may void manufacturer's warranties and applicable licensed labels.
 - Adjust door hardware, operators, closures and controls for optimum, smooth operating condition, safety and for weather tight closure.
 - Lubricate hardware, operating equipment and other moving parts.
 - Adjust door hardware to provide tight fit at contact points with frames.



1 CUSTOM SHED ON DECK

Scale: 1:30

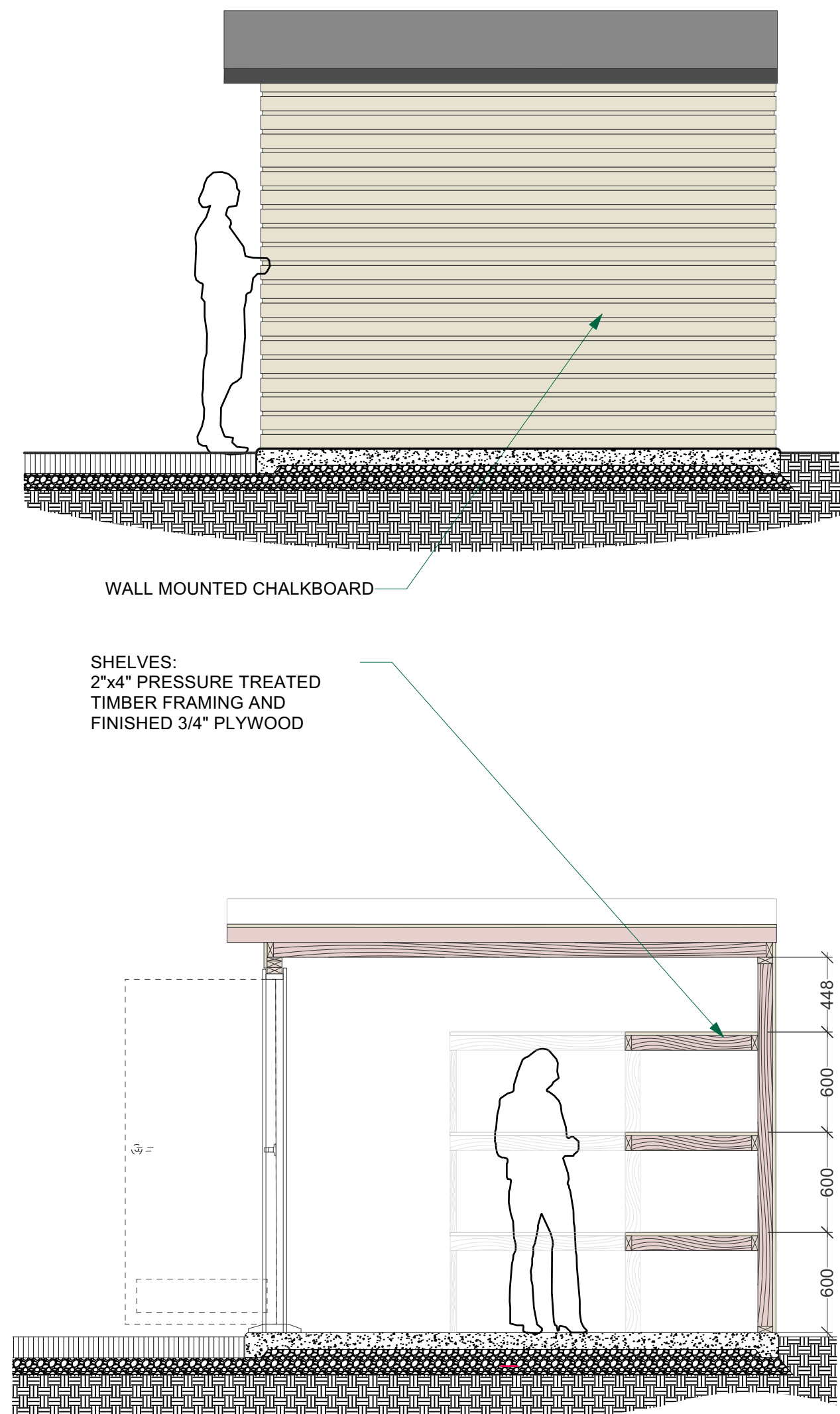
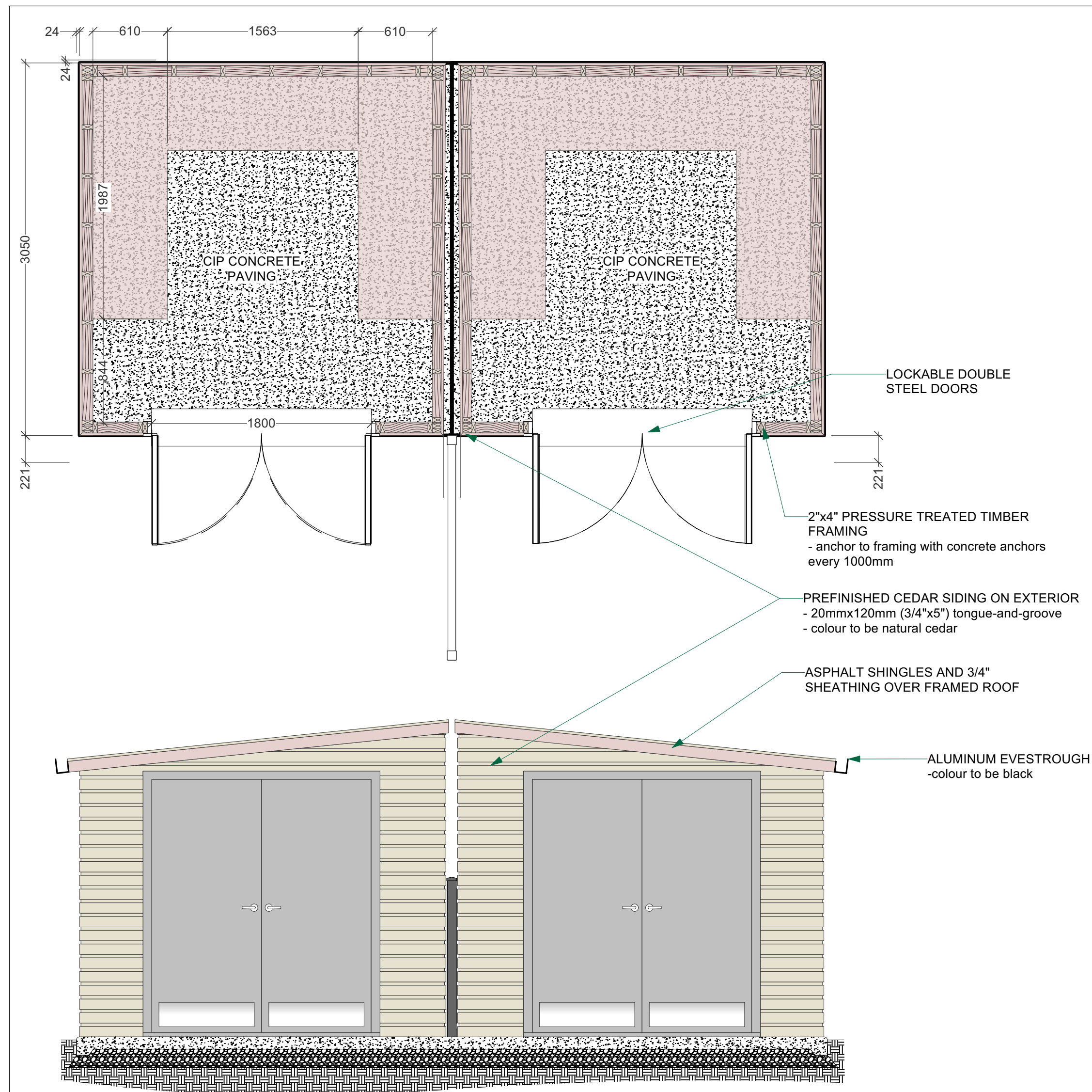


2 STORAGE SHEDS UNDER DECK

Scale: 1:30

3 SANDBOX ON DECK

Scale: 1:30



BREATHER MEMBRANE NOTES:

1. Breather Membrane to be Tyvek spunbound olefin breather membrane. Manufactured by DuPont Tel. 905-821-3300 or approved equivalent.
2. Seam tape to be as recommended by Breather Membrane manufacturer.
3. Install to comply with manufacturer's written recommendations or specifications, including product technical bulletins, handling, storage and installation instructions, and datasheets.
4. Perform Work in accordance with National Air Barrier Association Professional Contractor Quality Assurance Program and requirements for materials and installation.
5. Secure self-adhesive air-vapour barrier to sheathing materials. Lap into roof and door frames.

ROOFING NOTES:

1. Roofing work is to be conducted only by individuals specifically trained and qualified for this work.
2. Perform work in accordance with CRCA - Canadian Roofing Contractors Association and the Provincial Building Code (Ontario Regulation 413/90 (Ontario Building Code))
3. Products containing tar and asbestos are prohibited on this project.
4. Do not roof over damp or unsuitable surfaces.
5. The Contractor shall provide a single source manufacturer's system warranty for all related work against defects in materials and workmanship for a period of twenty (20) years. The warranty shall cover all components of the roof system; including, but not limited to, the shingles, underlayment and flashings.
6. Roofing system to be IKO or approved equivalent. Roofing Underlayment to be IKO 'Stormite' synthetic underlayment. Shingles to be IKO 'Marathon Plus AR' three-tab asphalt shingles

SHED DOOR AND HARDWARE NOTES:

1. Typical shed door: double 2135mm x 915mm hollow metal doors and frame, painted. Hardware shall be storeroom function lockset on active leaf with keyway matching existing. Contractor shall provide construction cores. Include manual flush bolts on inactive leaf, weather stripping and sweeps.
2. Perform work in accordance with American Society for Testing and Materials International (ASTM), Canadian General Standards Board (CGSB), Canadian Standards Association (CSA International), Canadian Steel Door Manufacturers' Association (CSDMA).
3. Provide the following submittals in accordance with the specifications: indicate each type of door, material, steel core thicknesses, mortises, reinforcements, location of exposed fasteners, openings, glazed, louvred, hardware, and finishes.
4. Install doors to comply with manufacturer's written recommendations or specifications, including product technical bulletins, handling, storage and installation instructions, and datasheets.
 1. Set frames plumb, square, level and at correct elevation.
 2. Secure anchorages and connections to adjacent construction.
 3. Brace frames rigidly in position while building-in. Install temporary horizontal wood spreader at third points of door opening to maintain frame width. Provide vertical support at centre of head for openings over 1200 mm wide. Remove temporary spreaders after frames are built-in.
 4. Make allowances for deflection of structure to ensure structural loads are not transmitted to frames.
 5. Caulk perimeter of frames between frame and adjacent material. Interior Sealant to be paintable acrylic latex to CAN/CGSB-19.17-M90 (Tremco Latex 100 or equal) / Exterior Sealant to be Multi-component Chemical Curing CAN/CGSB-19.24-M90 (Tremco 'Dymeric 240' or equal)
 6. Maintain continuity of air barrier.
 7. Install doors and hardware in accordance with hardware templates and manufacturer's instructions
 8. Provide even margins between doors and jambs and doors and finished floor and thresholds as follows.
 - Hinge side: 1.0 mm.
 - Latchside and head: 1.5 mm.
 - Finished floor 13 mm.
5. Install hardware to standard hardware location dimensions in accordance with Canadian Metric Guide for Steel Doors and Frames (Modular Construction) prepared by Canadian Steel Door and Frame Manufacturers' Association.
 1. Where door stop contacts door pulls, mount stop to strike bottom of pull.
 2. Use only manufacturer's supplied fasteners. Failure to comply may void manufacturer's warranties and applicable licensed labels.
 3. Adjust door hardware, operators, closures and controls for optimum, smooth operating condition, safety and for weather tight closure.
 4. Lubricate hardware, operating equipment and other moving parts.
 5. Adjust door hardware to provide tight fit at contact points with frames.

FFLA

Forest and Field Landscape Architecture Inc.

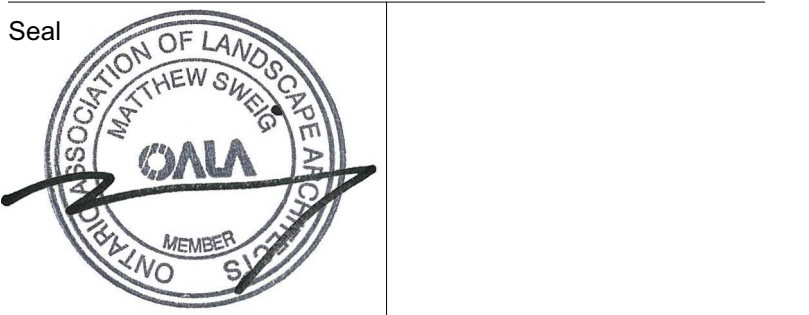
t 647 933 1152
info@forestandfield.ca

KEY PLAN

No.	Revision	Date	By
4.	ISSUED FOR PERMIT/TENDER REVISION	Sept. 20,24	K.L./M.S.
3.	ISSUED FOR PERMIT	Jun. 11,24	K.L./M.S.
2.	ISSUED FOR TENDER	May,13,24	K.L./M.S.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr.5,24	K.L./M.S.

Drawing Notes

1. All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
2. These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
3. Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
Upper Yonge Village Daycare Centre
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet Title

Details

Drawn By: K.L./M.S. Scale: 1:100
Designed By: K.L./M.S. Date: April 5, 2024
RJC Project Number: **TOR.122940.0001**
Sheet Number: _____ Revision: _____

L3.4

INSTALLATION OVERVIEW

INSTALLATION STYLE

Shade sails can be mounted in a variety of ways, and a good design not only provides longevity but also provides a striking look to your outdoor area.

Resort Style (Triangle Sails): For a resort style effect fix one corner lower than the other two.

Hyperbolic Style (Square and Rectangle Sails): For a hyperbolic style you will need to construct your square or rectangle sail with two diagonal corners fixed at higher points than the remaining two diagonal corners.



FIXING POINTS

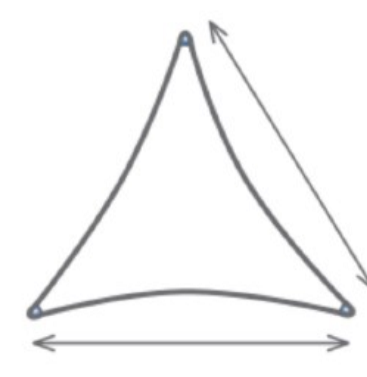
Ensure all fixing points are structurally sound. Lay the sail out in the area it is to be installed and allow an additional 10% of the sail length on each corner for accessories and fabric stretch. If installing posts factor in additional distance at the fixing point due to the 10° outward tilt required for each post. Confirm this before digging your post holes.

If attaching to a fascia use a fascia support to transfer the load to the primary roof structure. These are available from most hardware stores.

NOTES:

1. SHADE STRUCTURE BY COOLAROO. <https://www.coolarousa.com> AND IS AVAILABLE LOCALLY AT RETAIL STORES OR DIRECTLY FROM DISTRIBUTORS.
2. SHADE SAIL TO BE ONE 3.6x3.6m and ONE 6.5x6.5m TRIANGLE.
3. INSTALL AS PER DRAWINGS AND MANUFACTURER.

TRIANGLE



- sizes :
- 3.6m x 3.6m x 3.6m
 - 6.5m x 6.5m x 6.5m

COMMERCIAL GRADE

15 YEAR WARRANTY

95% UV BLOCK

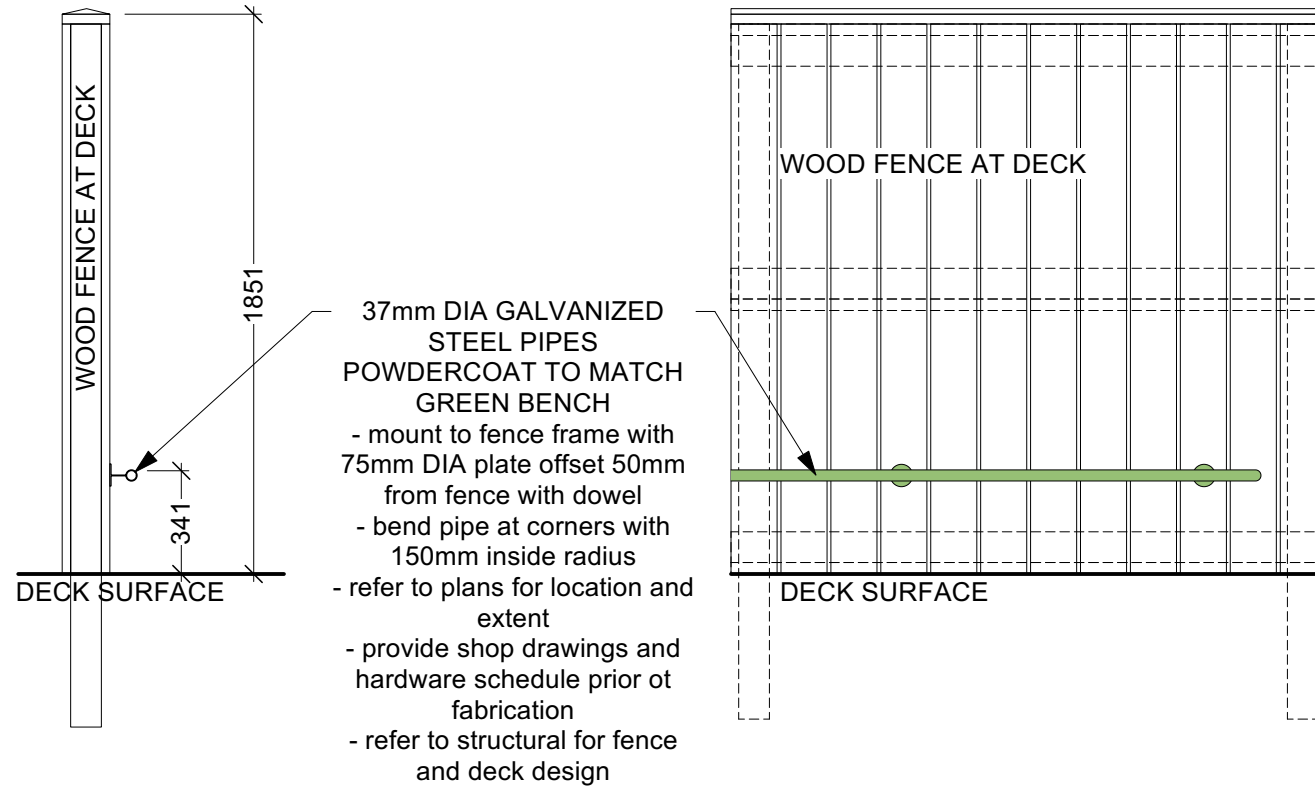
High quality 340gsm HDPE fabric

- 15 year warranty
- 95% UV Block
- Allows light and breeze to filter through
- Superior dimensional stability and durability
- UV stabilised stitching
- Mould & mildew resistant

Available in Beech, Slate, Graphite, Stone



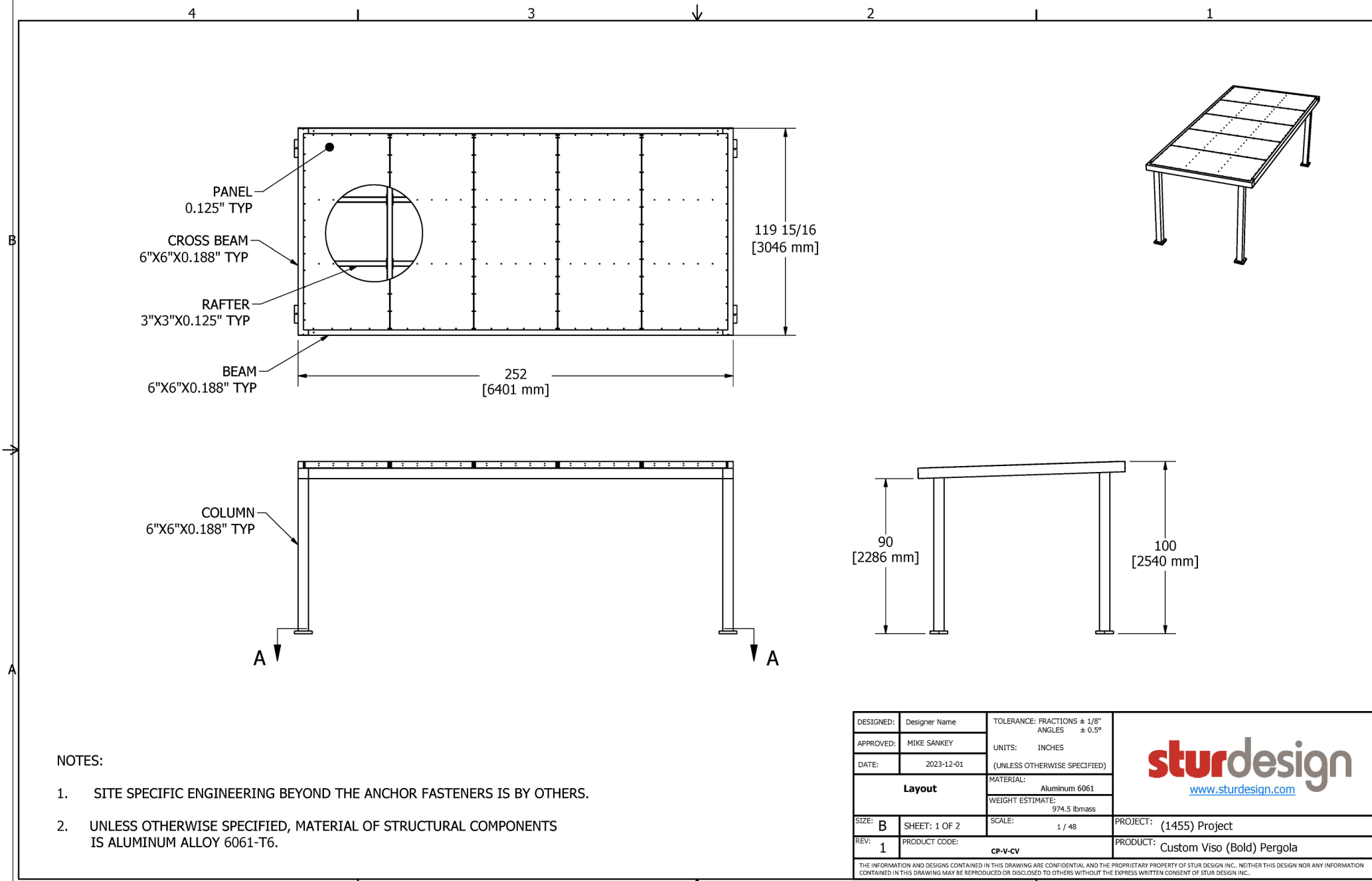
SHADE SAILS
Scale: NTS



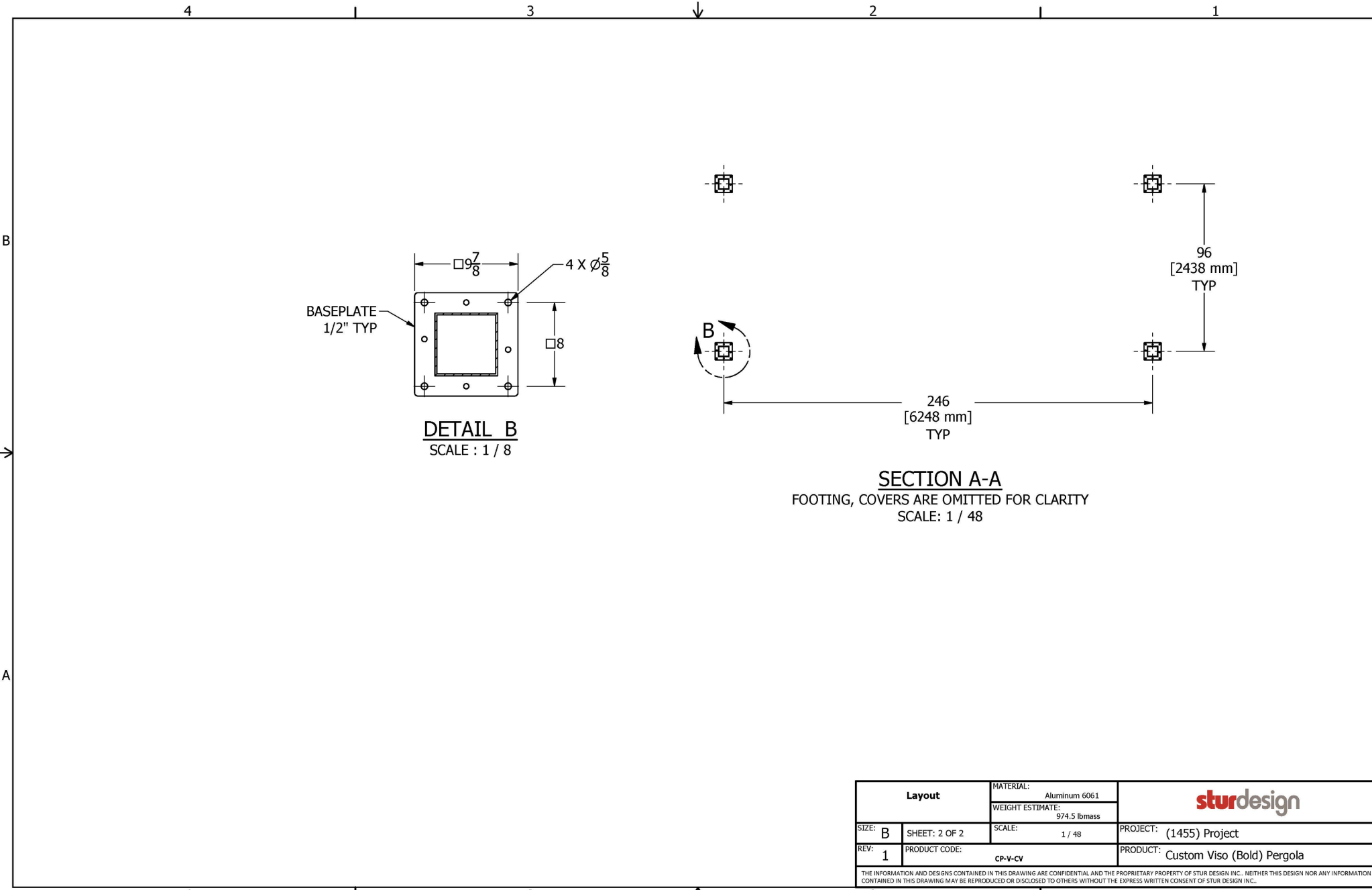
INFANT WALKING BARS
Scale: 1:25

SHADE STRUCTURE NOTES:

- COLOURS; ROOF: LIGHT GREY; FRAME: GLACIER WHITE
- A BUILDING PERMIT IS REQUIRED FOR THIS STRUCTURE. ENGINEERED DRAWINGS WILL BE PROVIDED BY THE SUPPLIER TO THE CONSULTING TEAM ONCE PAYMENT IS MADE BY THE CONTRACTOR. QUOTE INCLUDES ENGINEERING OF THE STRUCTURE AND FOOTINGS AS WELL AS INSTALLATION OF THE STRUCTURE. FOOTINGS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTACT STUR DESIGN:
Mike Sankey
President at Stur Design
416 458 0888

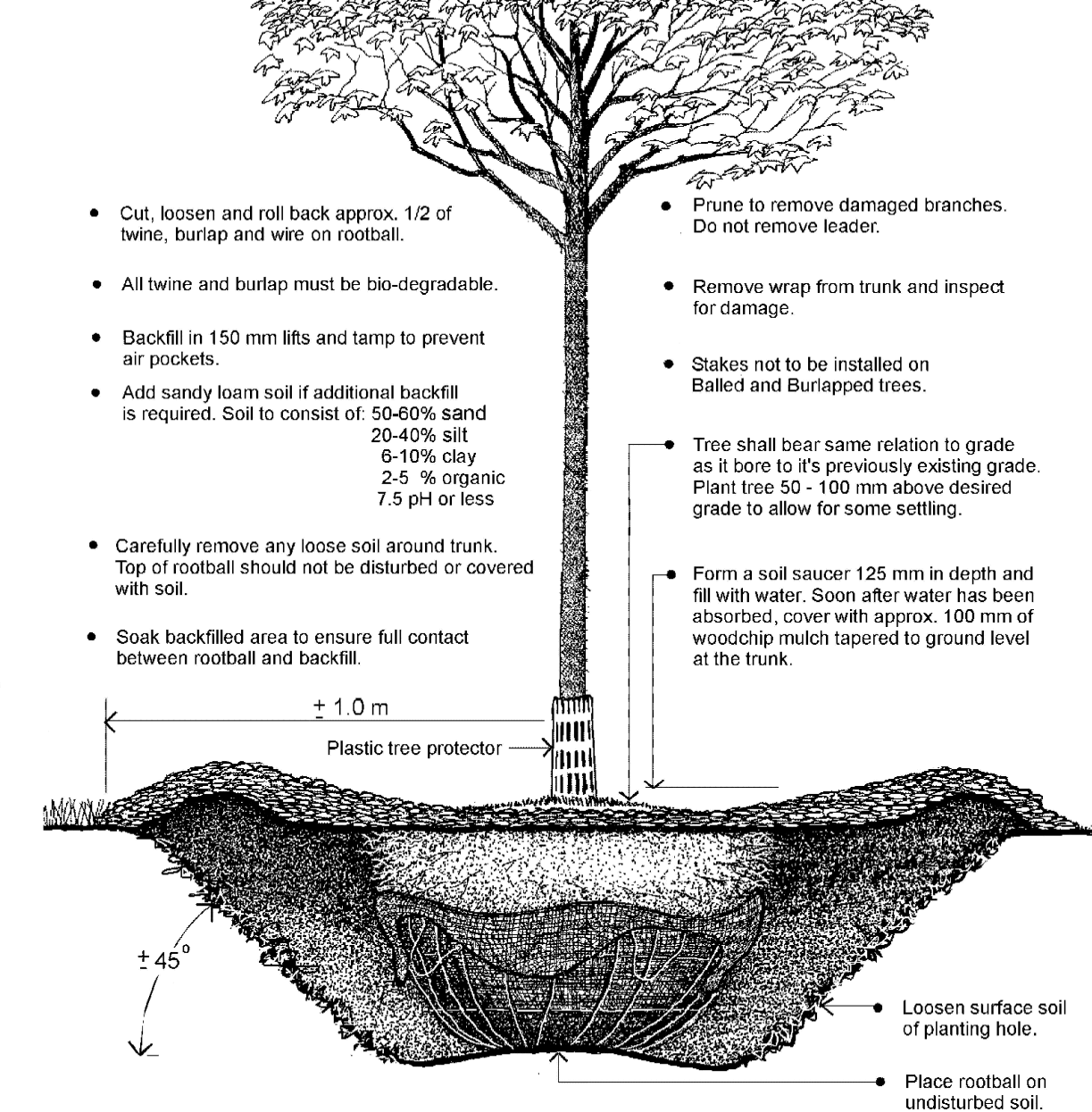


1 PREFABRICATED SHADE STRUCTURE
Scale: NTS



2 DECIDUOUS TREE PLANTING
Scale: NTS

Appendix IV Planting Specifications



Planting Detail for Balled and Burlapped Trees in Turf



Urban Forestry Services

Parks and Recreation Division

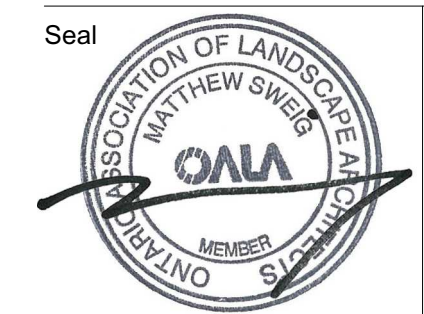
June 2002 Detail PD -101

KEY PLAN

No.	Revision	Date	By
4.	ISSUED FOR PERMIT/TENDER REVISION	Sept. 20,24	K.L./M.S.
3.	ISSUED FOR PERMIT	Jun. 11,24	K.L./M.S.
2.	ISSUED FOR TENDER	May,13,24	K.L./M.S.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr.5,24	K.L./M.S.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
Upper Yonge Village Daycare Centre
14 St. Clements Avenue, Toronto, ON

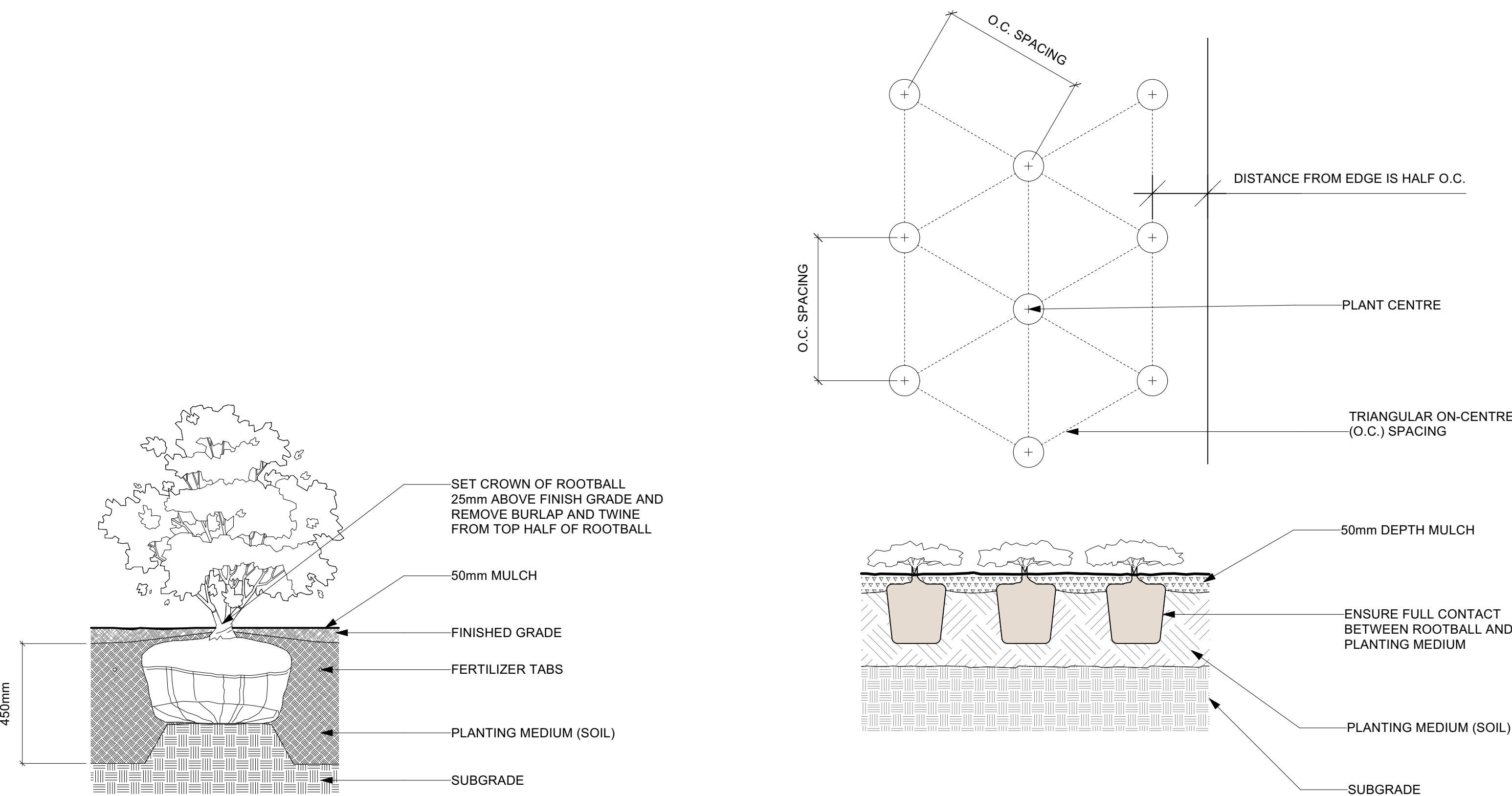
BUILDING RENOVATION

Sheet Title

Details

Drawn K.L./M.S. Scale 1:100
By
Designed K.L./M.S. Date April 5, 2024
By RJC Project Number **TOR.122940.0001**
Sheet Number
Number

L3.5

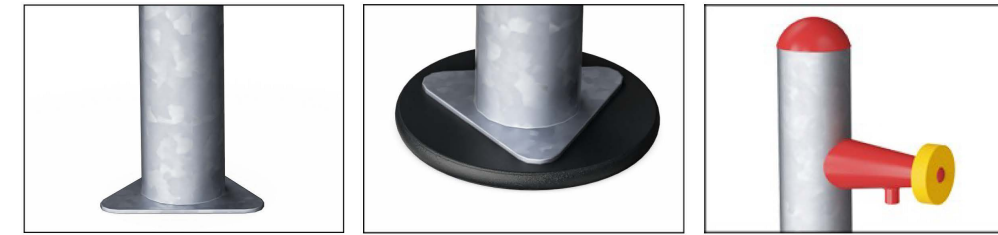


3 MULTI-STEM TREE PLANTING OR SHRUBS
Scale: NTS

4 PERENNIAL PLANTING
Scale: NTS

SPIGOT NOTES:
 1. CONTACT KOMPAN:
 David Parker at Kompan Playground Solutions
 519-495-0680, davpar@kompan.com

Water Tap
 M59305



The steel surfaces are hot-dip galvanized inside and outside with lead-free zinc. The galvanized coating has excellent corrosion resistance in outdoor environments and requires minimal maintenance.

Panel of 10mm EcoCore™ HDPE. This highly durable, eco-friendly material is not only recyclable after use, but also consists of a core produced from 100% recycled material.

The integrated water tap open for water when pushed and stops when letting go. The water is supplied through a pipe located inside the post with hose or pipe connection at the bottom of the post. The supply can either a loose hose or a permanent in-ground plumbing.

KOMPAN
 Let's play

Item no. M59305-34	
Installation Information	
Max. fall height	0'7"
Safety surfacing area	0m²
Total installation time	1.3
Excavation volume	0.5m³
Concrete volume	0.3m³
Footprint depth (standard)	2'11"
Equipment weight	52lbs
Assembling options	In-ground ✓ Surface ✓
Warranty Information	
Hot dip galvanized steel	Lifetime
EcoCore HDPE	10 Years
Solid plastic parts	2 Years
Movable parts	10 Years
Spare parts guaranteed	10 Years

Item no. M59305-34	
General Product Information	
Dimensions LxWxH	0'11"x0'7"x3'0"
Age group	2 - 5
Play capacity (users)	1
Color options	1

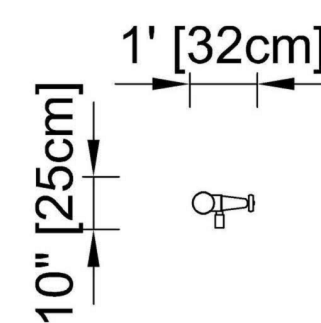
Elevator activities #	Accessible seated activities	Accessible ground level activities	Accessible ground level play zones
Present	0	0	0
Required	X	0	0

ASTM F1487
 compliant

Date is subject to change without prior notice

* Max fall height | ** Total height | *** Safety surfacing area

* Max fall height | ** Total height



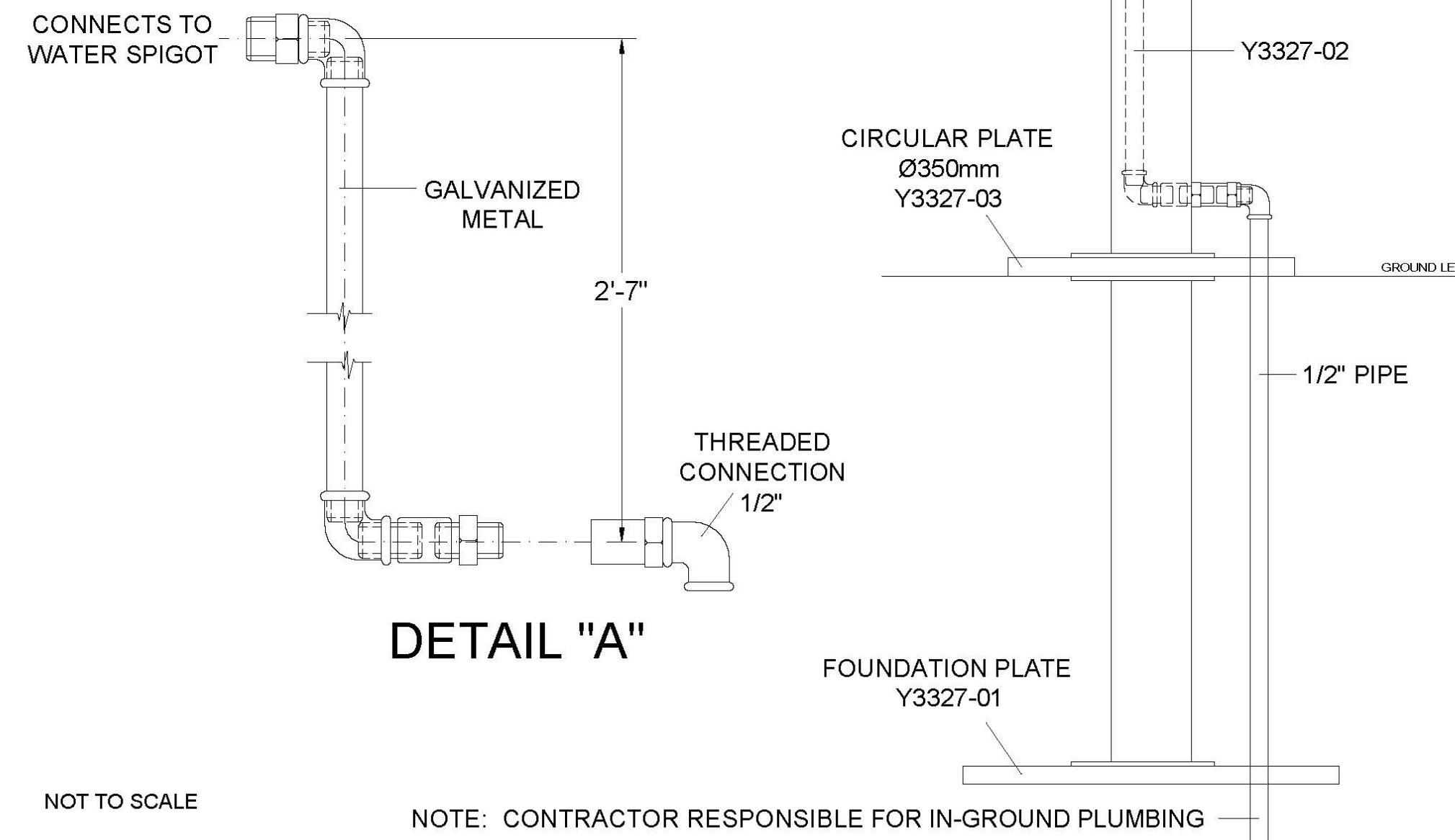
M59305

** 3'-6" / 107cm



M59305
 1:100

PERMANENT PLUMBING DETAIL
 IN-GROUND FOOTINGS DETAIL



NOT TO SCALE

DETAIL "A"

NOTE: CONTRACTOR RESPONSIBLE FOR IN-GROUND PLUMBING



Read Jones Christoffersen Ltd.
 Engineers
 rjc.ca

100 University Avenue,
 North Tower, Suite 400
 Toronto, ON M5J 1V6 Canada
 tel 416-977-5335
 fax 416-977-1427

FFLA

Forest and Field Landscape Architecture Inc.

t 647 933 1152
 info@forestandfield.ca

KEY PLAN

No.	Revision	Date	By
4.	ISSUED FOR PERMIT/TENDER REVISION	Sept. 20,24	K.L./M.S.
3.	ISSUED FOR PERMIT	Jun. 11,24	K.L./M.S.
2.	ISSUED FOR TENDER	May,13,24	K.L./M.S.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr.5,24	K.L./M.S.

- Drawing Notes**
- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
 - These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
 - Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
Upper Yonge Village Daycare Centre
 14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

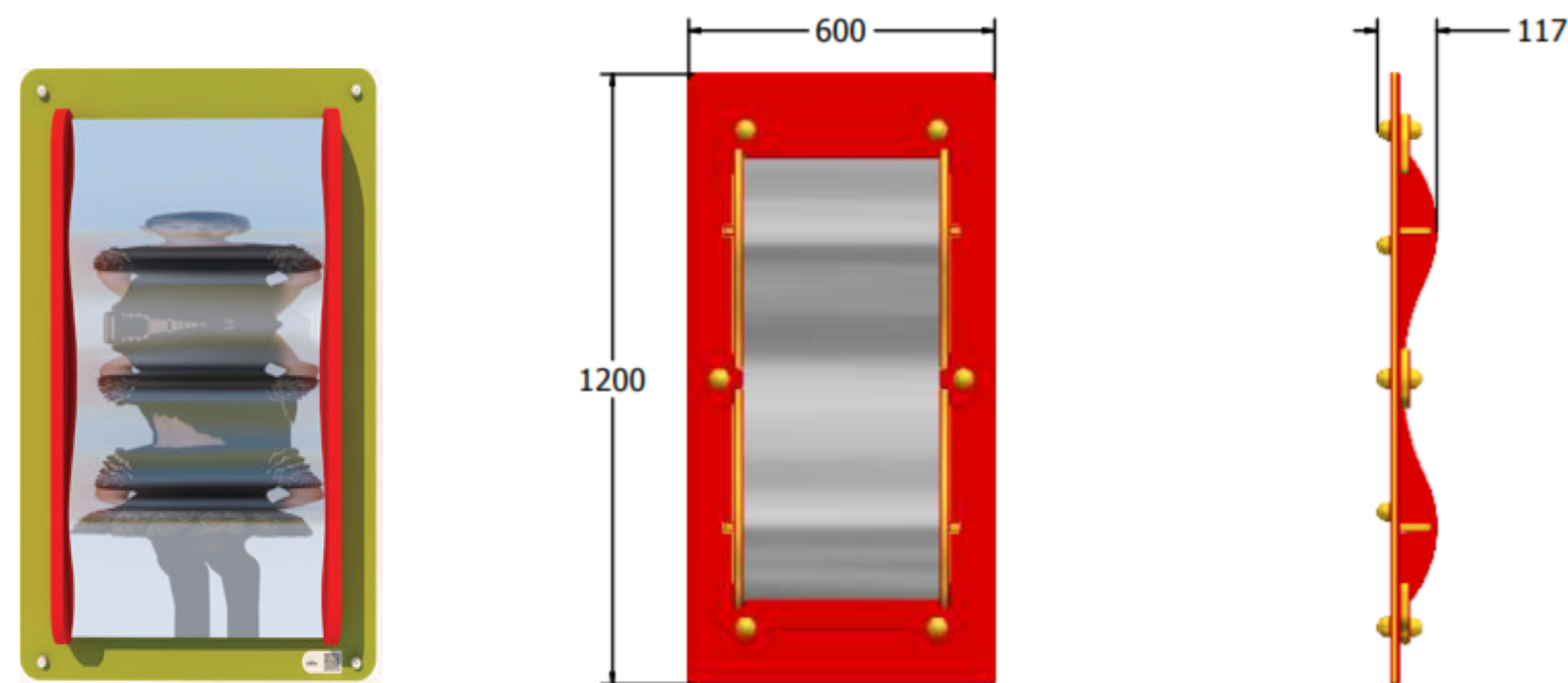
Sheet Title

Details

Drawn	K.L./M.S.	Scale	1:100
By			
Designed	K.L./M.S.	Date	April 5, 2024
By			
RJC Project Number	TOR.122940.0001		
Sheet Number	Revision		
L3.6			

1 WATER SPIGOT
 Scale: N.T.S.

FUN MIRROR NOTES:
 1. FUN MIRROR TO BE MOUNTED ON WOOD FENCE ON DECK
 2. CONTACT KOMPAN:
 David Parker at Kompan Playground Solutions
 519-495-0680, davpar@kompan.com



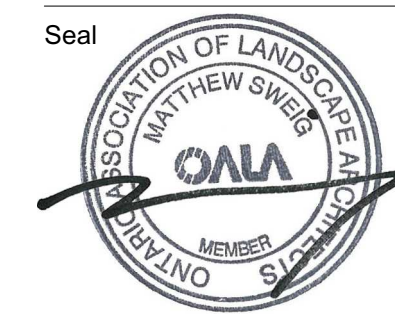
2 FUN MIRROR
 Scale: N.T.S.

KEY PLAN

No.	Revision	Date	By
4.	ISSUED FOR PERMIT/TENDER REVISION	Sept. 20,24	K.L./M.S.
3.	ISSUED FOR PERMIT	Jun. 11,24	K.L./M.S.
2.	ISSUED FOR TENDER	May.13,24	K.L./M.S.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr.5,24	K.L./M.S.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



Project Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

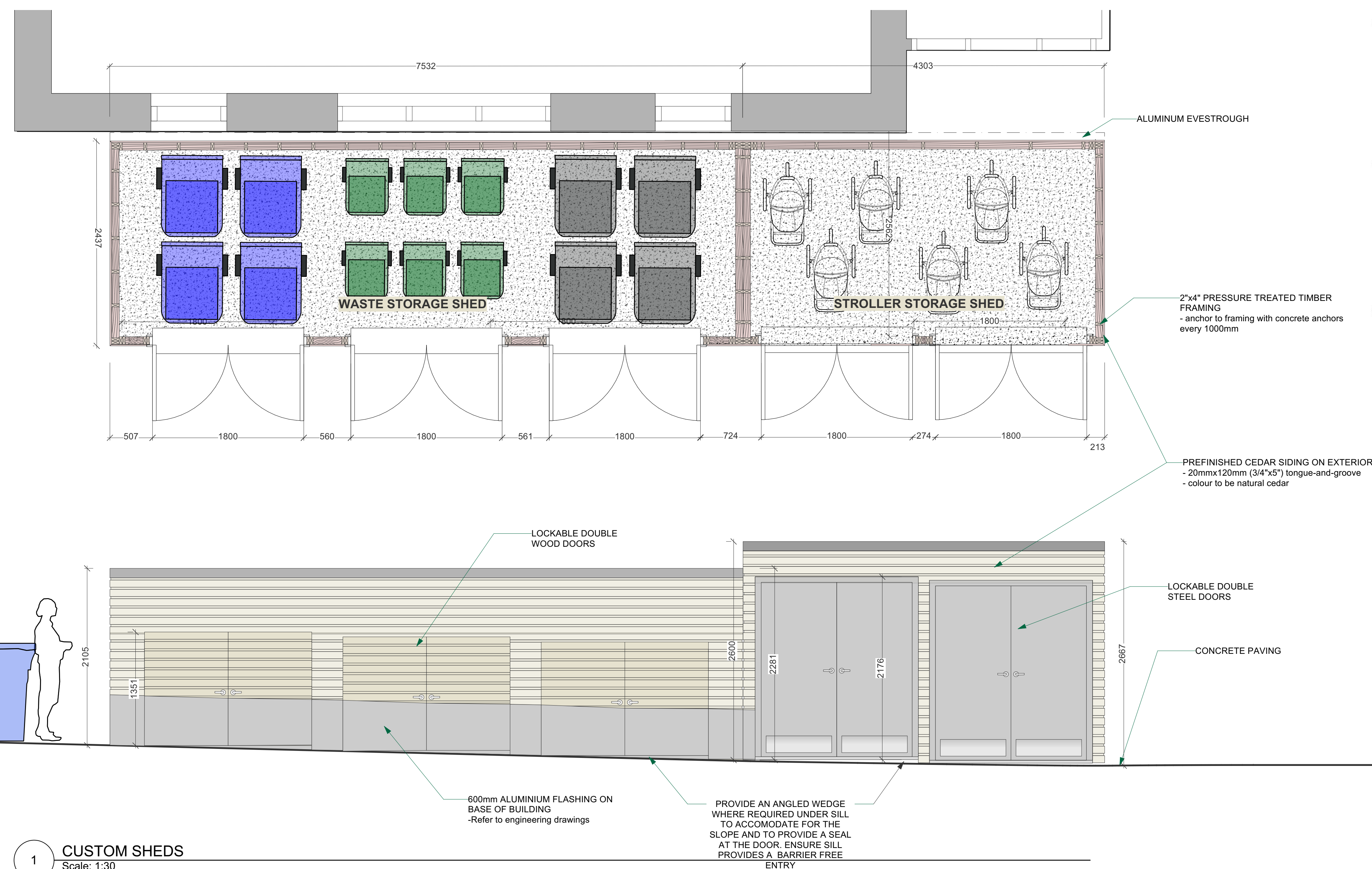
BUILDING RENOVATION

Sheet Title

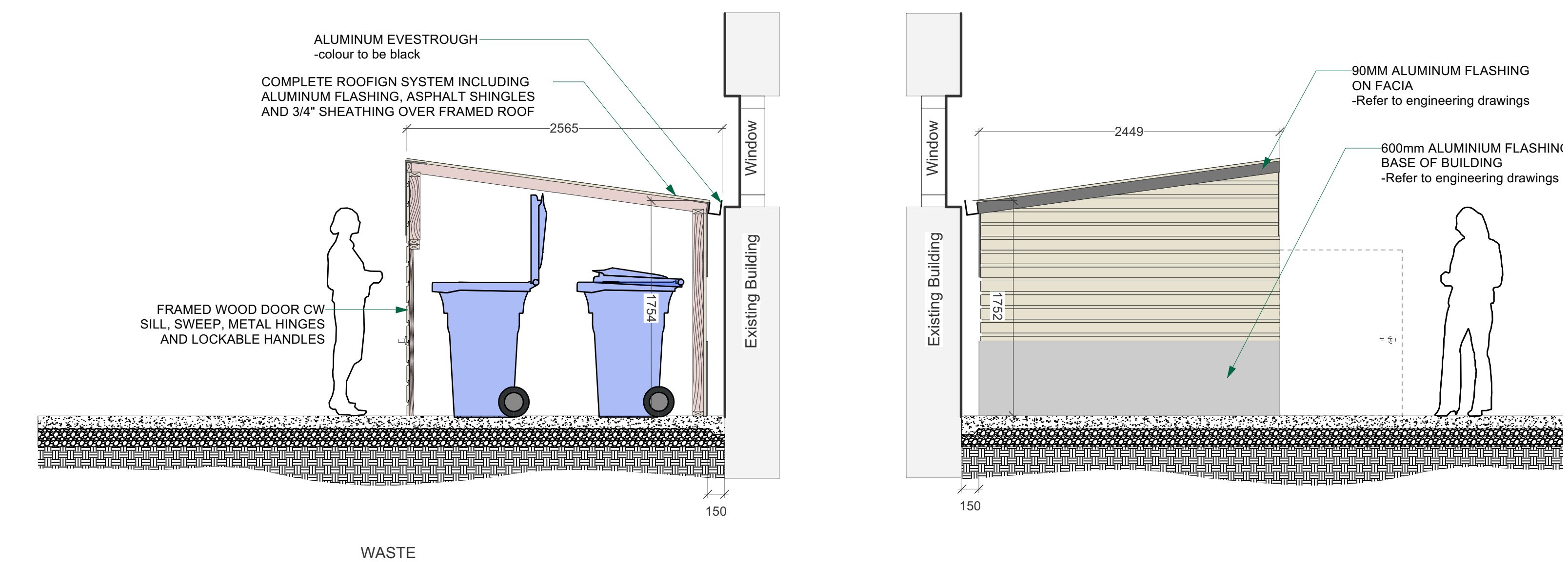
Details

Drawn K.L./M.S. Scale 1:100
By
Designed K.L./M.S. Date April 5, 2024
By RJC Project Number **TOR.122940.0001**
Sheet Number
Revision

L3.7



1 CUSTOM SHEDS
Scale: 1:30



2 CUSTOM WASTE STORAGE SHED
Scale: 1:30

BREATHER MEMBRANE NOTES:

- Breather Membrane to be Tyvek spunbond olefin breather membrane. Manufactured by DuPont Tel. 905-821-3300 or approved equivalent.
- Seam tape to be as recommended by Breather Membrane manufacturer.
- Install to comply with manufacturer's written recommendations or specifications, including product technical bulletins, handling, storage and installation instructions, and datasheets.
- Perform Work in accordance with National Air Barrier Association Professional Contractor Quality Assurance Program and requirements for materials and installation.
- Secure self-adhesive air-vapour barrier to sheathing materials. Lap into roof and door frames.

ROOFING NOTES:

- Roofing work is to be conducted only by individuals specifically trained and qualified for this work.
- Perform work in accordance with CRCA - Canadian Roofing Contractors Association and the Provincial Building Code (Ontario Regulation 413/90 (Ontario Building Code)
- Products containing tar and asbestos are prohibited on this project.
- Do not roof over damp or unsuitable surfaces.
- The Contractor shall provide a single source manufacturer's system warranty for all related work against defects in materials and workmanship for a period of twenty (20) years. The warranty shall cover all components of the roof system; including, but not limited to, the shingles, underlayment and flashings.
- Roofing system to be IKO or approved equivalent. Roofing Underlayment to be IKO 'Stormite' synthetic underlayment. Shingles to be IKO 'Marathon Plus AR' three-tab asphalt shingles

SHED DOOR AND HARDWARE NOTES:

- Typical shed door: double 2135mm x 915mm hollow metal doors and frame, painted. Hardware shall be storeroom function lockset on active leaf with keyway matching existing. Contractor shall provide construction cores. Include manual flush bolts on inactive leaf, weather stripping and sweeps.
- Perform work in accordance with American Society for Testing and Materials International (ASTM), Canadian General Standards Board (CGSB), Canadian Standards Association (CSA International), Canadian Steel Door Manufacturers' Association (CSDMA).
- Provide the following submittals in accordance with the specifications: indicate each type of door, material, steel core thicknesses, mortises, reinforcements, location of exposed fasteners, openings, glazed, louvred, hardware, and finishes.
- Install doors to comply with manufacturer's written recommendations or specifications, including product technical bulletins, handling, storage and installation instructions, and datasheets.
 - Set frames plumb, square, level and at correct elevation.
 - Secure anchorages and connections to adjacent construction.
 - Brace frames rigidly in position while building-in. Install temporary horizontal wood spreader at third points of door opening to maintain frame width. Provide vertical support at centre of head for openings over 1200 mm wide. Remove temporary spreaders after frames are built-in.
 - Make allowances for deflection of structure to ensure structural loads are not transmitted to frames.
 - Caulk perimeter of frames between frame and adjacent material. Interior Sealant to be paintable acrylic latex to CAN/CGSB-19.17-M90 (Tremco Latex 100 or equal) / Exterior Sealant to be Multi-component Chemical Curing CAN/CGSB-19.24-M90 (Tremco Dymeric 240 or equal)
 - Maintain continuity of air barrier.
 - Install doors and hardware in accordance with hardware templates and manufacturer's instructions as follows:
 - Hinge side: 1.0 mm.
 - Latchside and head: 1.5 mm.
 - Finished floor 13 mm.
- Install hardware to standard hardware location dimensions in accordance with Canadian Metric Guide for Steel Doors and Frames (Modular Construction) prepared by Canadian Steel Door and Frame Manufacturers' Association.
 - Where door stop contacts door pulls, mount stop to strike bottom of pull.
 - Use only manufacturer's supplied fasteners. Failure to comply may void manufacturer's warranties and applicable licensed labels.
 - Adjust door hardware, operators, closures and controls for optimum, smooth operating condition, safety and for weather tight closure.
 - Lubricate hardware, operating equipment and other moving parts.
 - Adjust door hardware to provide tight fit at contact points with frames.

FFLA

Forest and Field Landscape
Architecture Inc.

t 647 933 1152
info@forestandfield.ca

KEY PLAN

No.	Revision	Date	By
4.	ISSUED FOR PERMIT/TENDER REVISION	Sept. 20,24	K.L./M.S.
3.	ISSUED FOR PERMIT	Jun. 11,24	K.L./M.S.
2.	ISSUED FOR TENDER	May.13,24	K.L./M.S.
1.	ISSUED FOR 95% CLIENT REVIEW	Apr.5,24	K.L./M.S.

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.



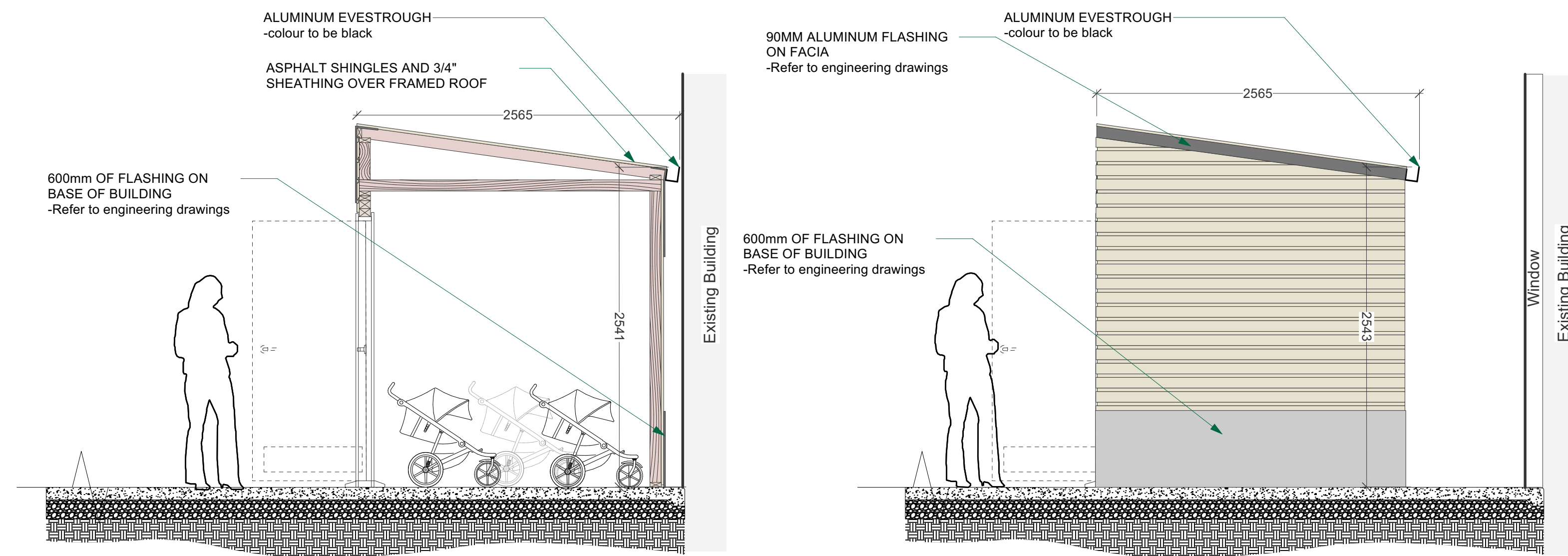
Project
Name
**Upper Yonge Village
Daycare Centre**
14 St. Clements Avenue, Toronto, ON

BUILDING RENOVATION

Sheet
Title

Details

Drawn K.L./M.S. Scale 1:100
By
Designed K.L./M.S. Date April 5, 2024
By RJC Project Number **TOR.122940.0001**
Sheet Number
Revision
L3.8



STROLLER

3 CUSTOM STROLLER STORAGE SHED

Scale: 1:30