



Project No. & Name:	1103396-274117 - Orillia GHQ Prov Commander Reno	Addendum No.:	5
		No. of Pages:	1+6
		Date:	30 September 2024
		Doc. No.:	<a href="#">P2704-432221129-119</a>

The following change(s) in the Tender Documents are effective immediately.  
This Addendum forms part of the Contract Documents.

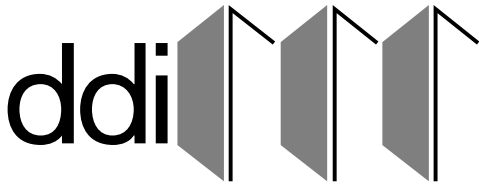
ITEM	DESCRIPTION	ACTION
1.	Please see tender clarification answers and other notes from the Consultant.	
2.	The deadline for submitting bids has been extended to 2 <sup>nd</sup> October, 2024, at 2pm.	

Colliers Project Leaders Inc.

Date: 30th September 2024

Distribution:

All Bidders  
File



## ADDENDUM

PROJECT: OPP – GHQ PROVINCIAL COMMANDER  
ADDRESS: 777 Memorial Ave, Orillia  
CLIENT: Ontario Provincial Police  
DATE: September 30, 2024

The following information supplements and/or supersedes the bid documents issued 2024-08-21

This Addendum forms part of the contract documents and is to be read, interpreted, and coordinated with all other parts. The cost of all contained herein is to be included in the contract sum. The following revisions supersede the information contained in the original drawings and specifications issued for the above-named project to the extent referenced and shall become part thereof. Acknowledge receipt of this Addendum by inserting its number and date on the Tender Form. Failure to do so may subject bidder to disqualification.

### **CLARIFICATIONS**

1. Drawing A2/2 door tag has been revised.
2. Door Schedule has been revised to show an 8ft height doors.

### **ATTACHMENTS**

1. (1103395) 777 Memorial Ave.-Orillia GHQ Prov Commander Reno\_A-ADD-01

### **ADDITIONS**

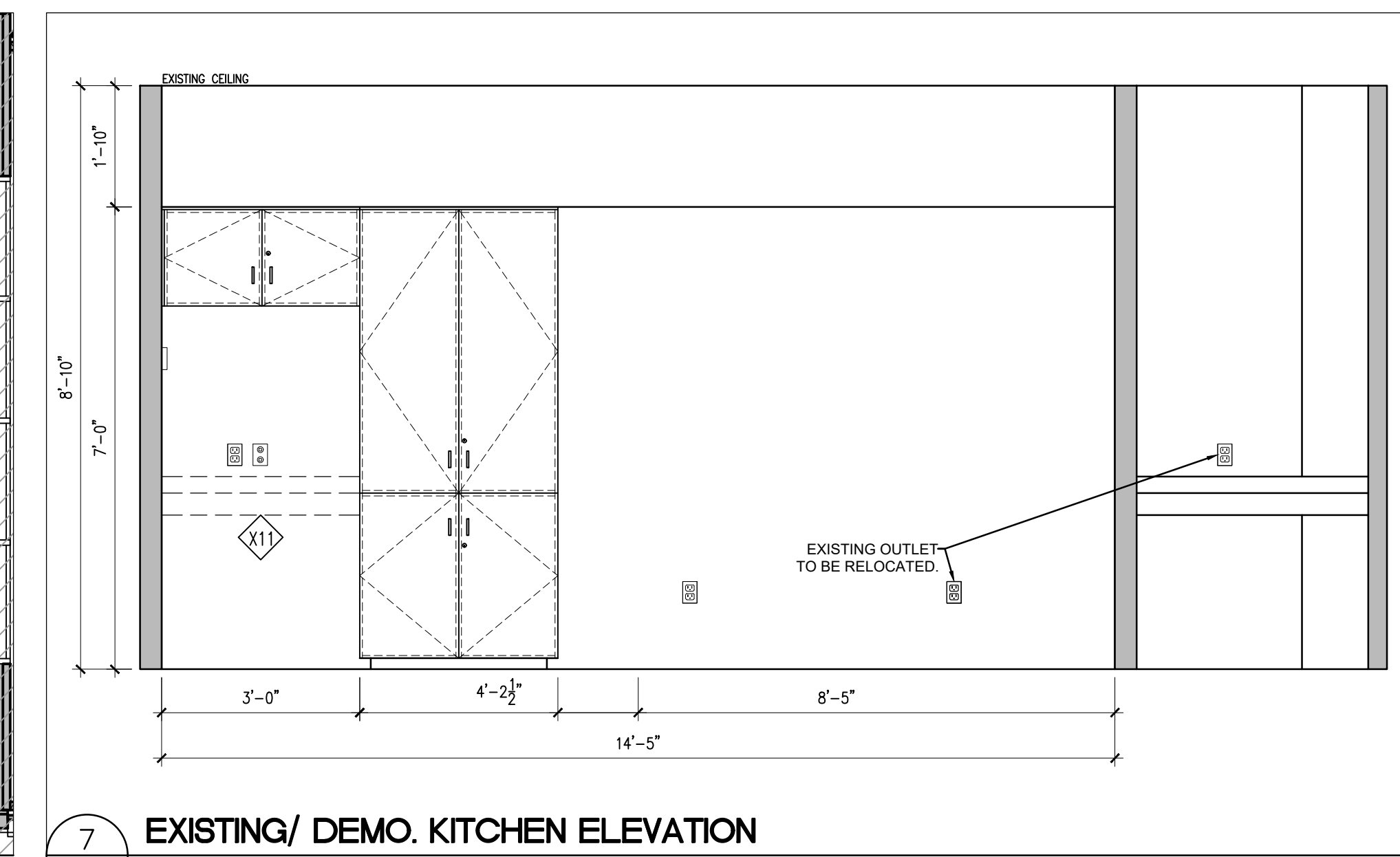
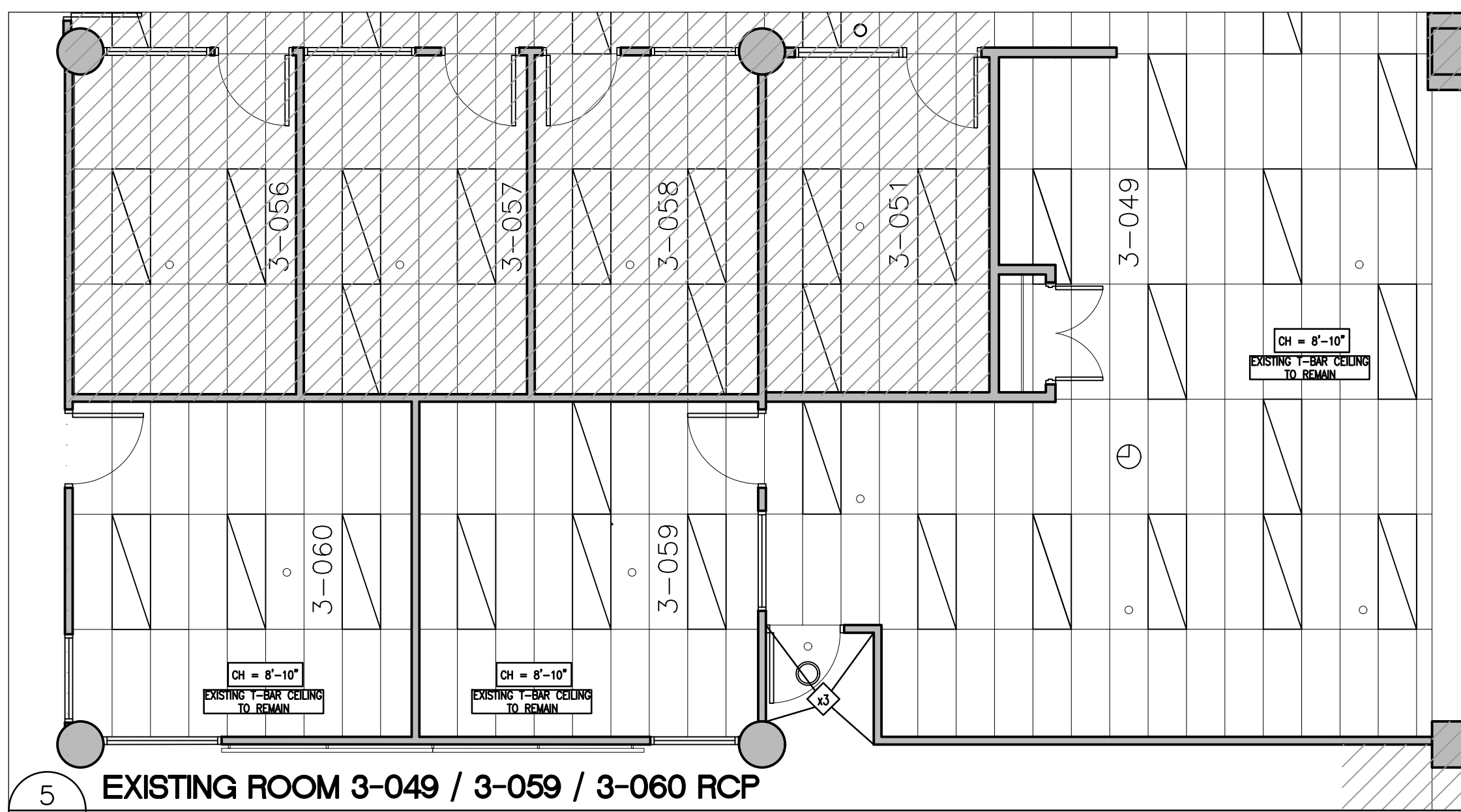
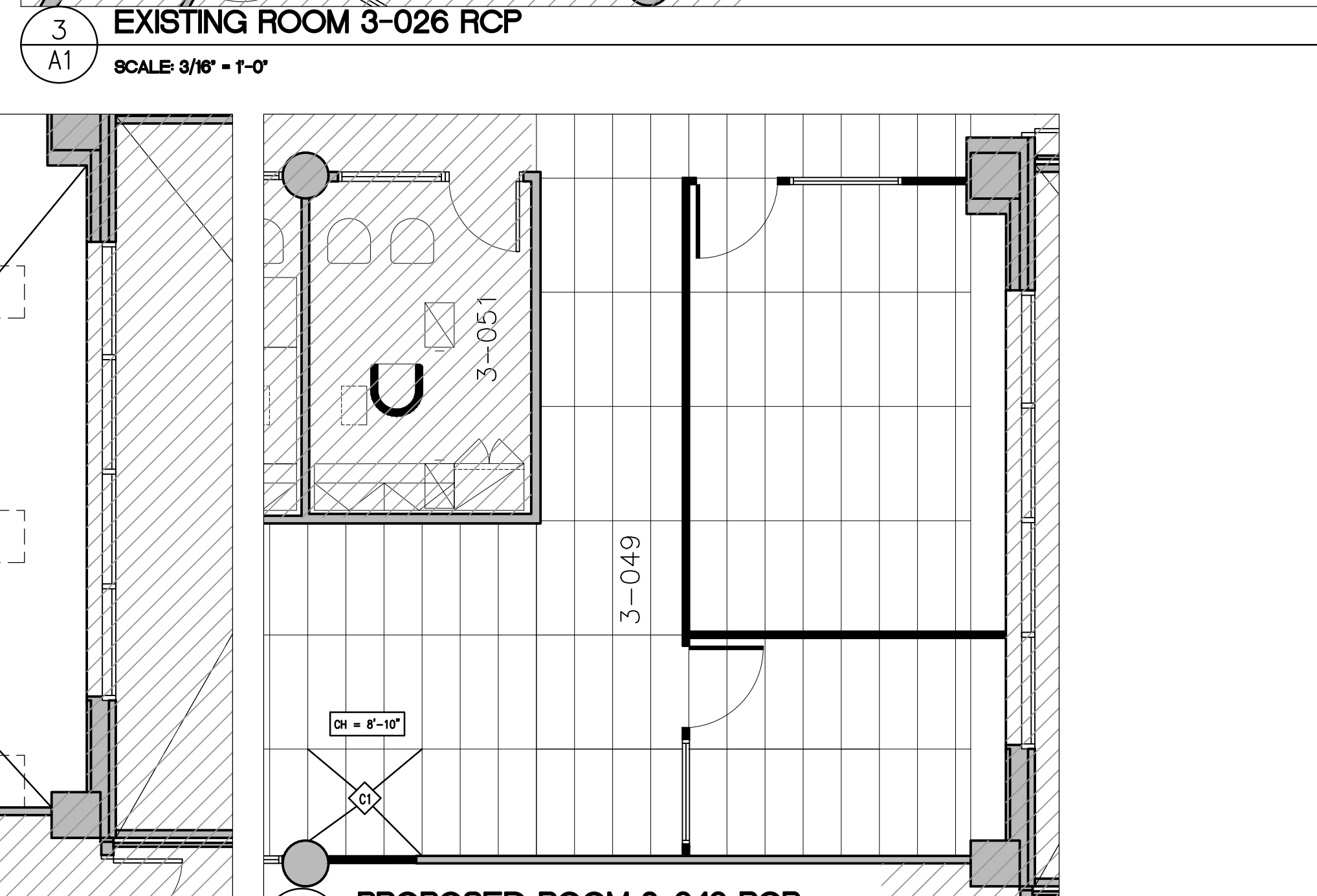
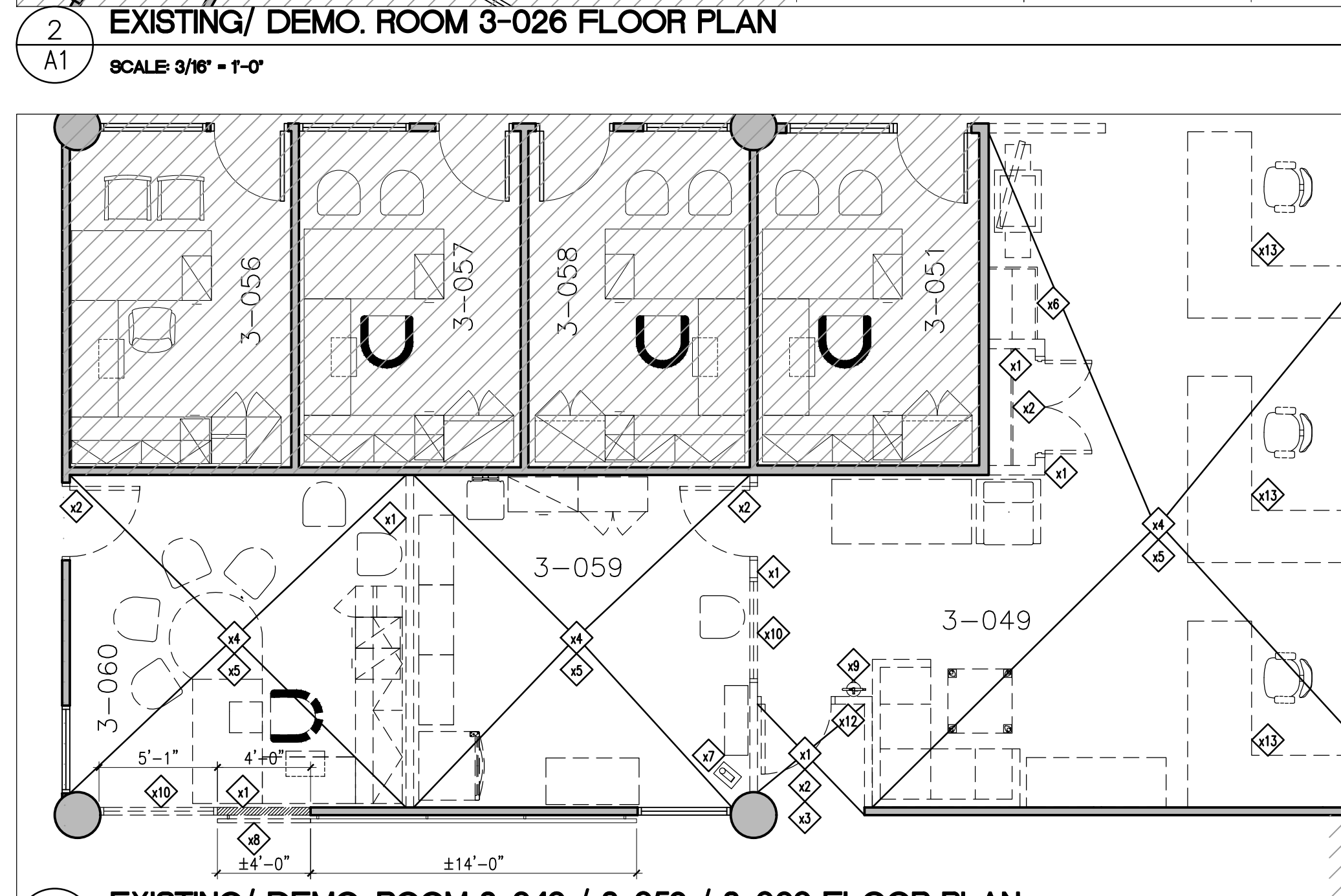
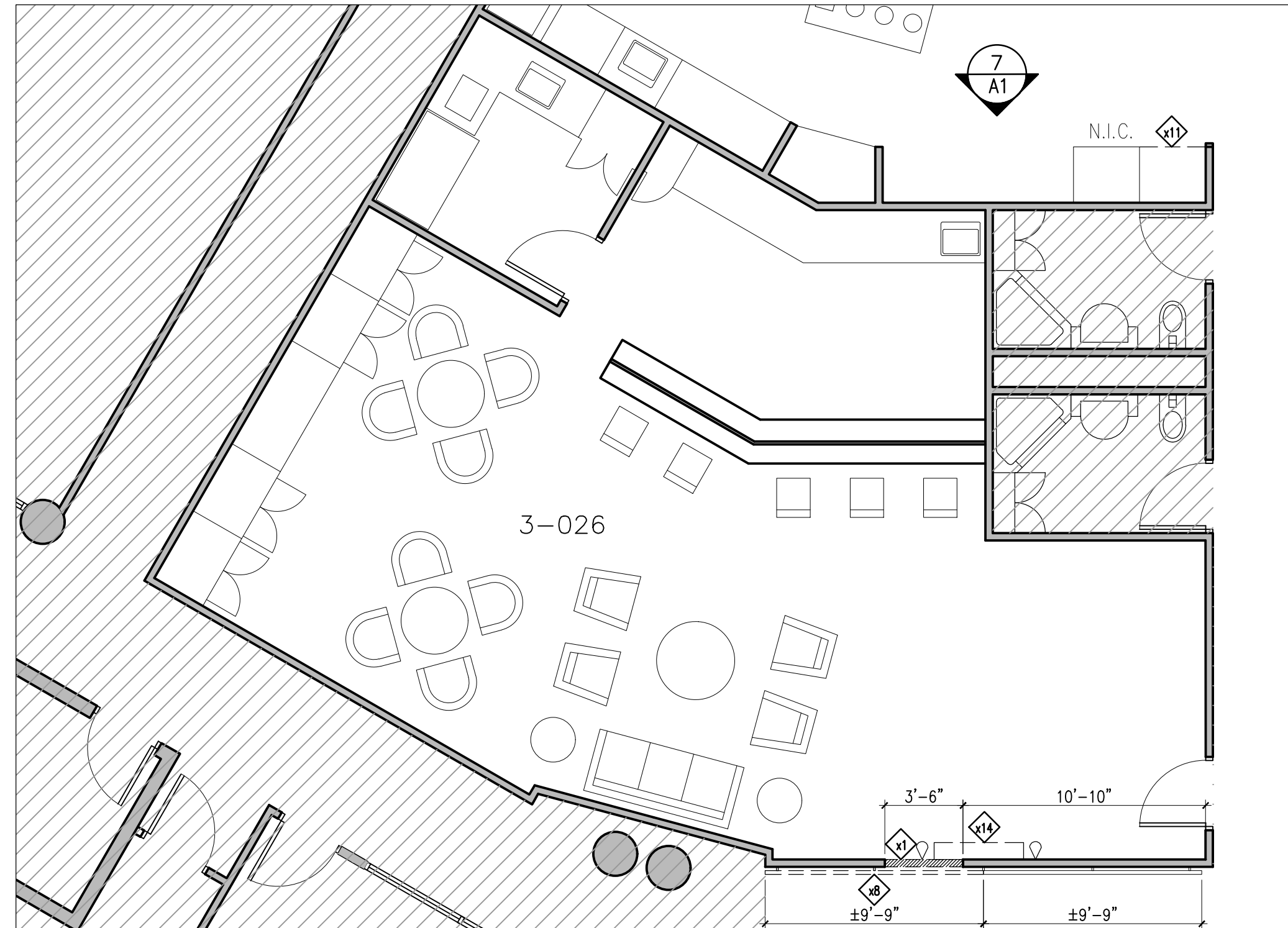
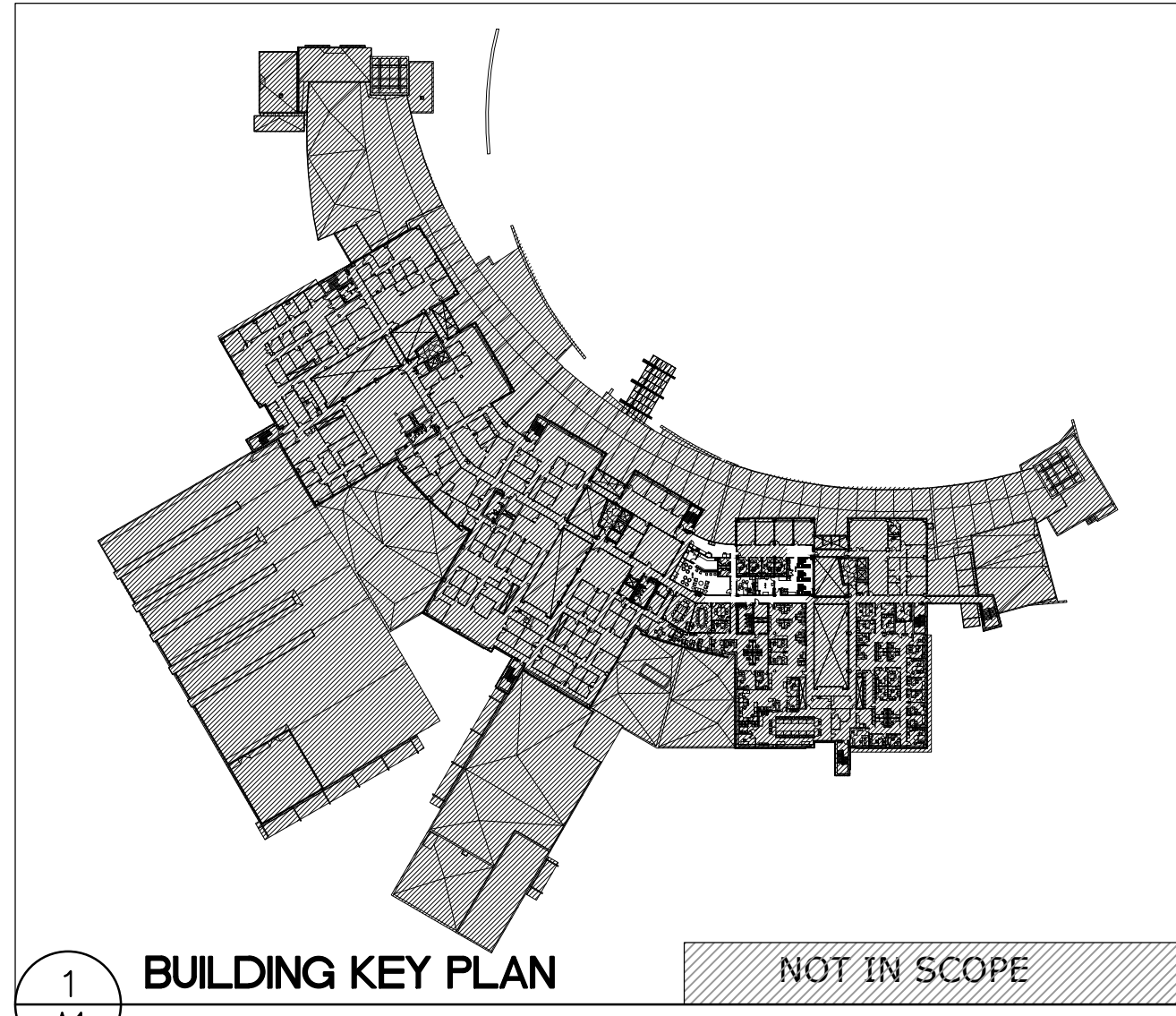
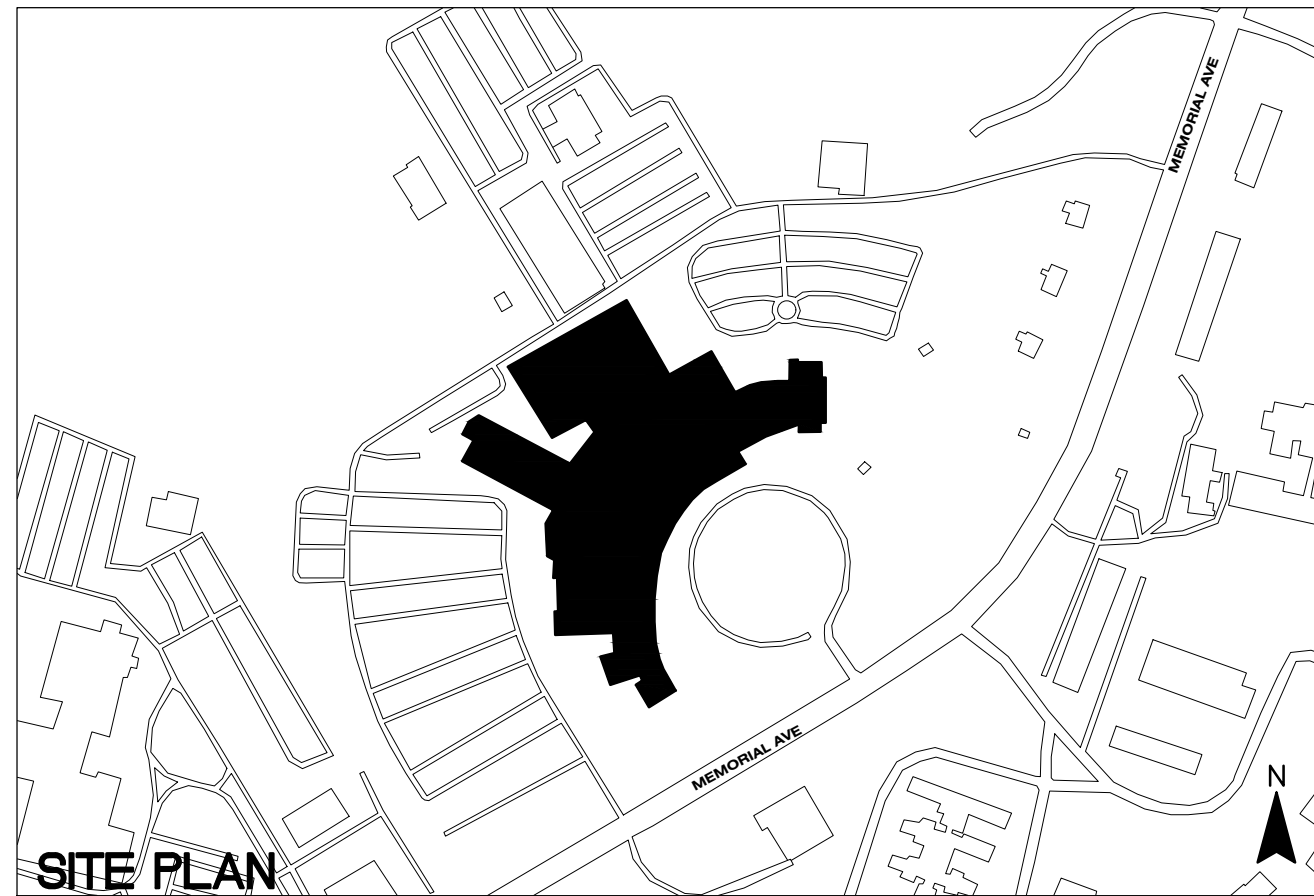
1. GC to include for the addition of ¼" gypsum board for walls to be painted in case wallpaper removal or re-work of demountable partitions proves to be problematic.

### **QUESTIONS**

1. The door schedule says the doors are stained veneer and the frames are AL, but the Finish schedule states that they doors/frames to be semi-gloss paint?  
*Answer: The doors are to be stained veneer, and the corridor frames are HM and the interior office wall are aluminum batten.*
2. Ceiling paint to be eggshell but ceilings appear to be ACT & Grid?  
*Answer: Ceiling will not be painted.*
3. Window frames/screens are they to be HM painted or AL not painted?  
*Answer: The corridor frames are to be painted HM (relocated as per plan) and the interior office frames are aluminum batten.*
4. All walls/surfaces not marked with a paint number in Room 3-26 on Finish Floor plan are not to be painted?  
*Answer: Only marked walls to be painted.*
5. Drawing A2 - Construction Notes specifies Windsong Wall Pattern by Envirowall, please note that this pattern is no longer available please provide an alternate pattern?  
*Answer: [Envirowall] to be contacted by GC to provide closest alternate. Pattern to be reviewed by the client with the PM before ordering.*
6. Drawing A1 - Reflected ceiling plan notes New T-Bar ceiling and grid, this will need to be supplied by the client?  
*Answer: Client to provide ceiling tiles to match existing. GC to install ceiling tiles and t-bar grid.*
7. Dwg. A2 Detail 2 - Please, confirm that the new office door "N4" is the "D4" door?  
*Answer: It is D4.*

8. On the door's hardware schedule, the doors are labeled as "HM frame" & "frame material - aluminum". Please, confirm what is the correct material for the doors frame?  
*Answer: Interior office doors are to have aluminum frames and battens.*
9. Can you please provide cash allowance for the utilities (Rogers). We are unable to know the cost from Rogers or contact them in behalf of the client?  
*Answer: Actioned by CPL.*
10. As per DSS report provided, the sprinkler piping is positive for Lead. Could you please provide a cash allowance for abatement since at this moment we do not know the total length of the piping required to be removed?  
*Answer: Actioned by CPL.*
11. Please, advise if the new interior partitions in the areas of 3-49, 3-59 and 3-60 shown on the drawing 2-A2 are W1 or W2?  
*Answer: W2.*
12. Is there an electrical harness connecting the floor boxes in the raised floor?  
*Answer: Yes - Confirmation received from BGIS.*
13. Pls confirm backing type required for the Tarkett carpet: - Cushion or no cushion? - Peel & stick or dry back?  
*Answer: Existing carpet tile to be provided by client for any patchwork. GC to install where necessary. If the existing carpet tile supply is not enough, GC to provide new carpet tile to match existing. Cushioned back or adhesive type is not known.*
14. As per below note, to provide price for new floor box, please provide a spec for new floor box "Provide separate price to provide new floor boxes c/w wiring, conduit, 4x isolated ground receptacle, 4x 5-15R Receptacle, one data outlet & one voice outlet if existing floor boxes cannot be relocated?  
*Answer: Legrand Evolution Series, Cat# EFB6810BTCBK 10gang Floor box with cover insert, flush mount and temper resistant, color to be Satin Brass.*
15. Please provide spec for new lighting control devices?  
*Answer: OPP has confirmed the building uses a Cristal lighting control system.*
16. Is carpet being replaced?  
*Answer: No the carpet is not being replaced. Only patch and repair to match existing. See question 13.*
17. Please advise door height; schedule calls for 7'0" and elevations show 8'0"?  
*Answer: It will be an 8'-0" door height.*
18. Finish schedule on drawing A3 notes to provide new wall base to match existing. Could you please confirm if it is 4" carpet or rubber base?  
*Answer: The corridor base is 4" rubber baseboard. The interior office base on the demountable partitions is aluminum batten and the gypsum board walls have a 5" rubber base.*
19. Please advise what is meant by "All doors to be (Cambridge Doors)" – will there be a wood door spec provided? Are they referring to a supplier or a type of door?  
*Answer: Cambridge Door is a door supplier.*
20. Please advise if Baillargeon solid core wood door 8600-ME Rotary Cut White Maple with factory clear finishing is approved?  
*Answer: Not approved at this time. Please price the Cambridge doors. This will be discussed during the shop drawing stage.*
21. Please advise heights of existing kickplates?  
*Answer: GC. to verify on site.*
22. As per drawing A2, kindly confirm that N7 relocated furniture by OPP including office partitions?  
*Answer: OPP to relocate all furniture.*

## END OF ADDENDUM



**EXISTING/DEMOLITION NOTES**

- x1 EXISTING DRYWALL/ VINYL BOARD DEMOUNTABLE PARTITION WALLS TO BE DEMOLISHED & DISPOSED OF & ONLY FULL UNDAMAGED VINYL BOARD DEMOUNTABLE PARTITION PANELS TO BE RETURN TO THE CLIENT. PATCH/REPAIR/PAINT ALL SURFACES AFFECTED BY DEMO TO MATCH EXISTING FINISHES.
- x2 EXISTING WINDOW/DOOR/FRAME TO BE REMOVED & RETURN TO THE CLIENT. PATCH/REPAIR/PAINT ALL FINISHES AFFECTED BY DEMO TO MATCH EXISTING FINISHES.
- x3 EXISTING DRYWALL CEILING & BULKHEAD TO BE DEMOLISHED & DISPOSED OF. (PREPARE/REPAIR EXISTING T-BAR CEILING FOR NEW INFILL T-BAR CEILING).
- x4 EXISTING FURNITURE/FILING CABINETS/STORAGE ETC TO BE REMOVED & HANDLED BY OPP.
- x5 ALL EXISTING RAISED FLOOR SERVICE BOXES [CANADIAN RACEWAY] IN THE AREA TO BE RELOCATED (SEE ELECTRICAL DRAWINGS).
- x6 EXISTING MILLWORK TO BE RELOCATED. (SEE PROPOSED PLAN).
- x7 EXISTING BULLET TRAP GUN LOCKER TO BE RELOCATED (SEE PROPOSED PLAN).
- x8 EXISTING PORTION OF RAILING TO BE DEMOLISHED & DISPOSED OF. PATCH/REPAIR/PAINT ALL FINISHES AFFECTED BY DEMO TO MATCH EXISTING FINISHES.
- x9 EXISTING FIRE EXTINGUISHER TO BE RELOCATED (SEE PROPOSED PLAN).
- x10 EXISTING WINDOW/DOOR/FRAME TO BE REMOVED & RE-USED. PATCH/REPAIR/PAINT ALL FINISHES AFFECTED BY DEMO TO MATCH EXISTING FINISHES.
- x11 EXISTING PORTION OF MILLWORK TO BE REMOVED & RELOCATED.
- x12 EXISTING CARD READER & ELECTRIC STRIKE TO BE RE-USED AT DOOR (SEE ELECTRICAL DRAWINGS).
- x13 EXISTING FURNITURE TO BE RELOCATED BY OPP (SEE PROPOSED FLOOR PLAN).
- x14 EXISTING WALL MOUNTED SHELF & LIGHTS TO BE REMOVED & RELOCATED (SEE PROPOSED PLAN).

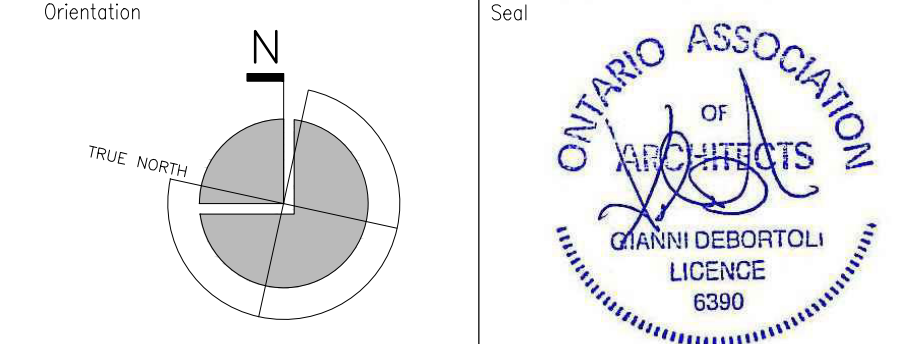
**NOT IN SCOPE**

**REFLECTED CEILING PLAN NOTES**

- C1 NEW T-BAR CEILING (8'-10" u/s):  
-NEW T-BAR CEILING & GRID TO MATCH EXISTING.

**ddi**  
debertoli design inc.  
commercial • residential • retail  
eight selvapiano crescent  
vaughan ontario L4H0X2 canada  
v 905 303 6090  
www.debertolidesign.com

No	Revisions	Date
05	ISSUED FOR ADDENDUM 01	2024-09-30
04	ISSUED FOR PERMIT/ TENDER	2024-08-21
03	ISSUED FOR 99% DESIGN REVIEW	2024-07-10
02	ISSUED FOR 66% DESIGN REVIEW	2024-05-06
01	ISSUED FOR 33% DESIGN REVIEW	2024-04-16



The Contractor shall check and verify all dimensions and report all errors and omissions to the IO-Owner's/MBS Designee (as applicable) for his/her written direction before proceeding with the Work.

A Detail No  
B Sheet No where detailed



AMIS N B

Project  
GHQ PROV COMMANDER RENOVATION

Location  
777 MEMORIAL AVE,  
ORILLIA, ONTARIO  
1105199 N06689 B25370

Client  
ONTARIO PROVINCIAL POLICE

Drawing Title  
EXISTING/ DEMO. & PROPOSED FLOOR PLANS/ ELEVATIONS.

Scale  
AS SHOWN

Date  
2024-09-30

Drawn by  
AAK

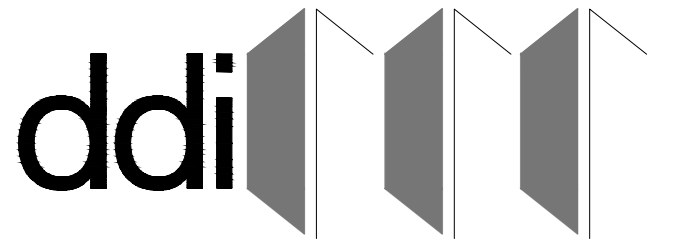
Substantial Performance Date

Designed by  
AAK/GD

Drawing No  
A1

Approved by  
GD

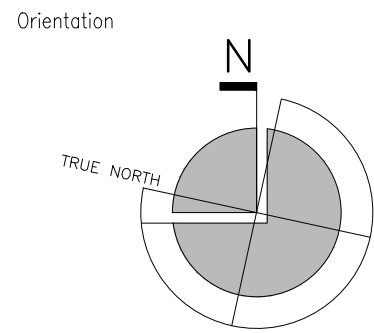
of 4  
CAD File NAME ADDENDUM 01



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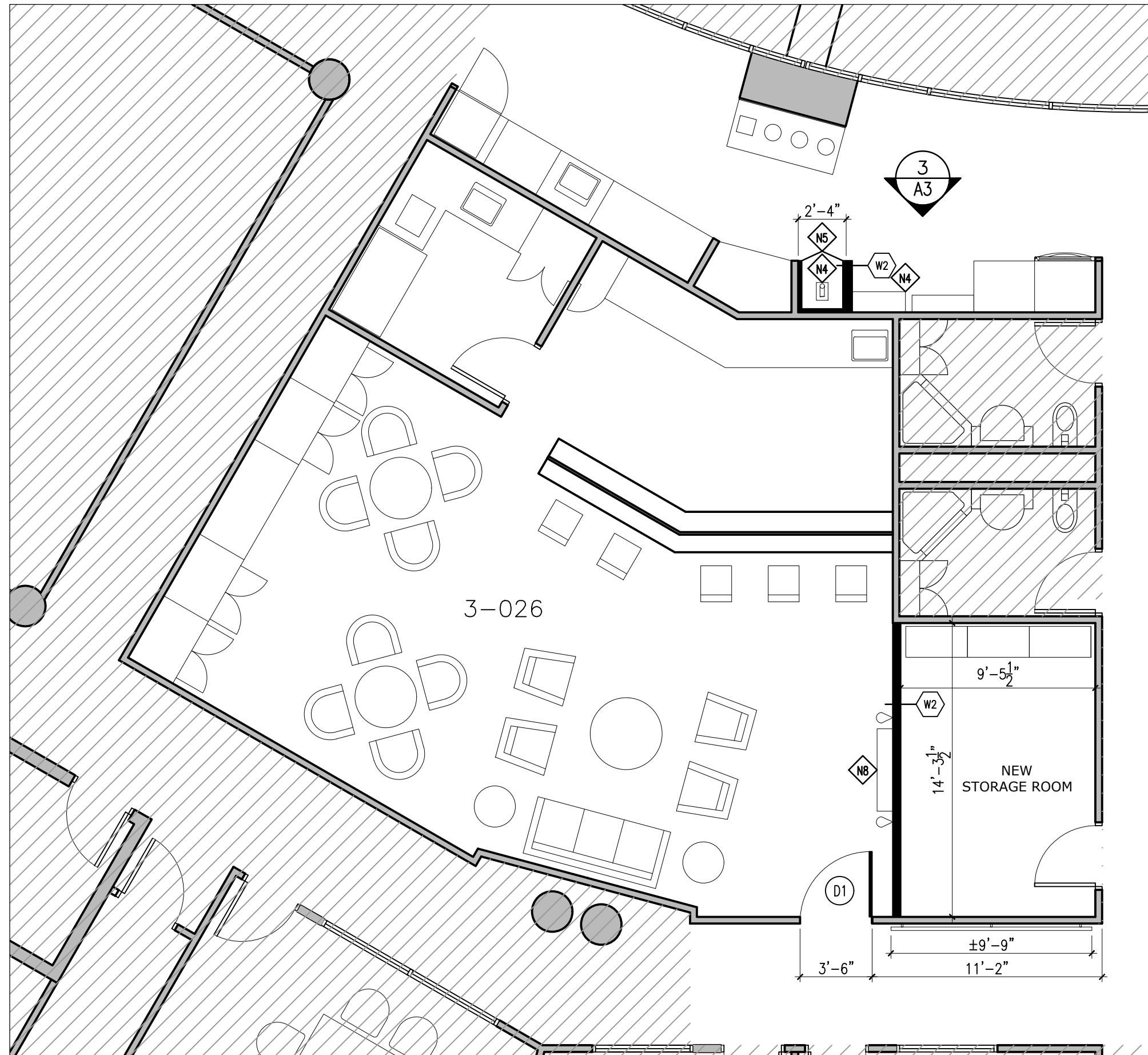
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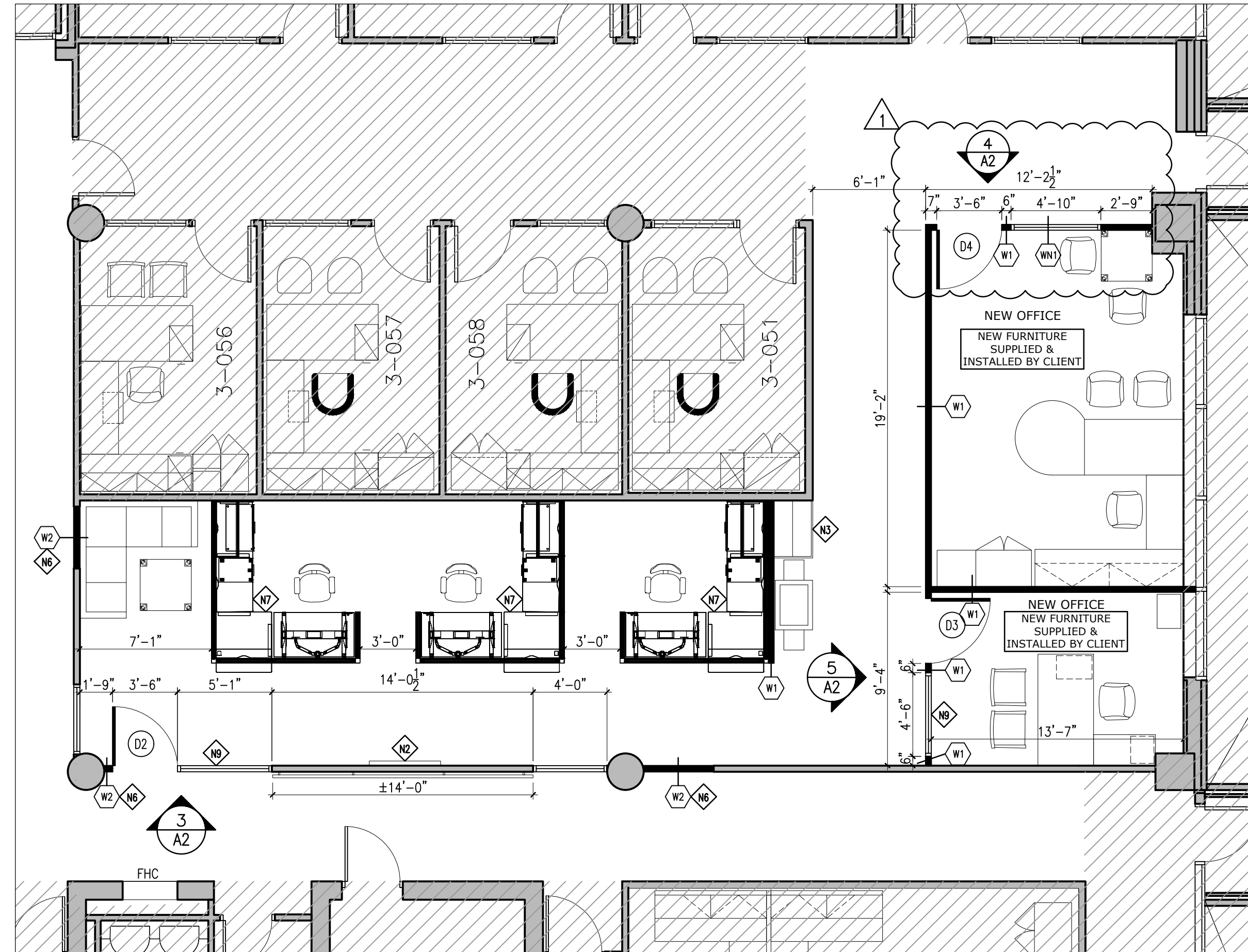
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A	Detail No
B	Sheet No where detailed



1 PROPOSED ROOM 3-026 FLOOR PLAN

A2 SCALE: 3/16" = 1'-0"



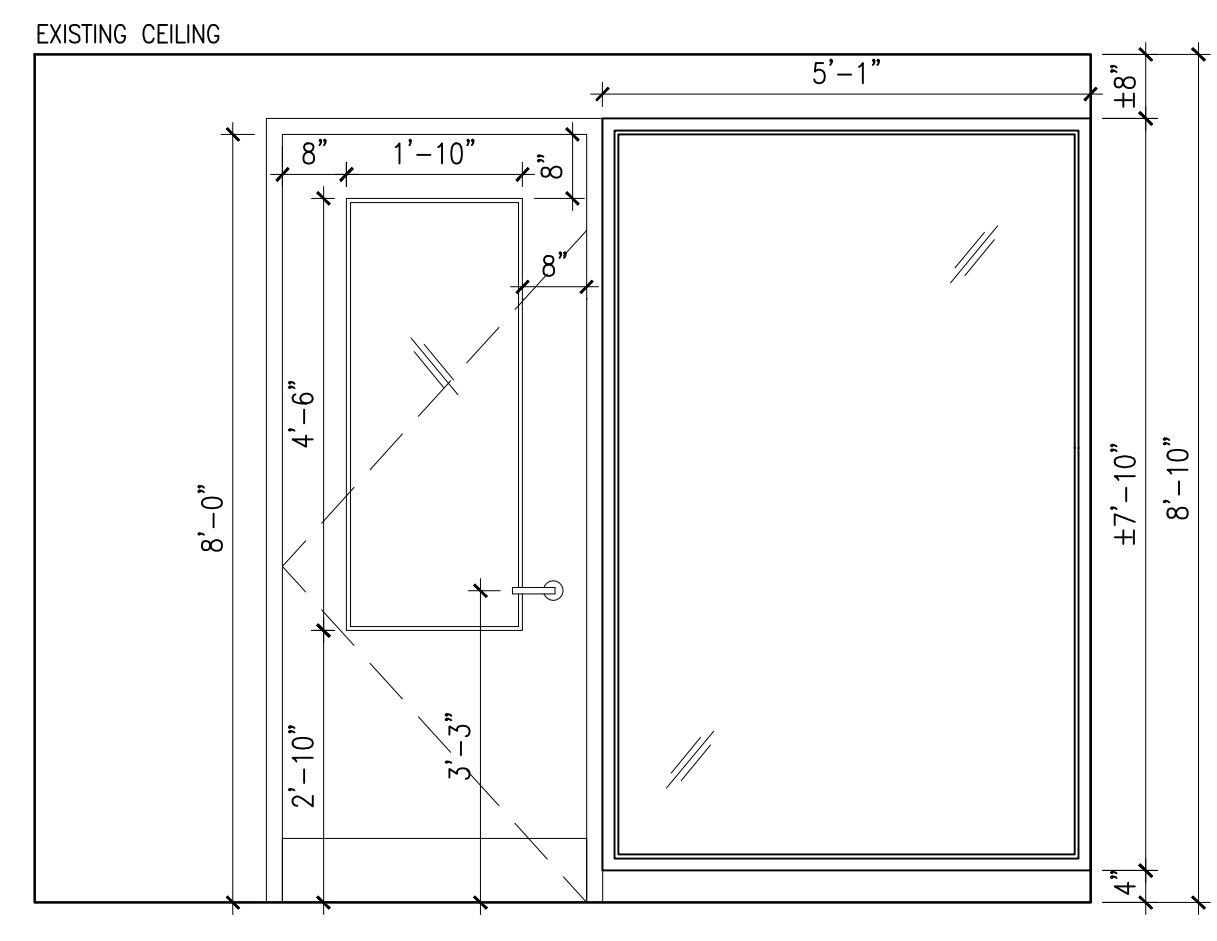
2 PROPOSED ROOM 3-049 / 3-059 / 3-060 FLOOR PLAN

A2 SCALE: 3/16" = 1'-0"

### CONSTRUCTION NOTES

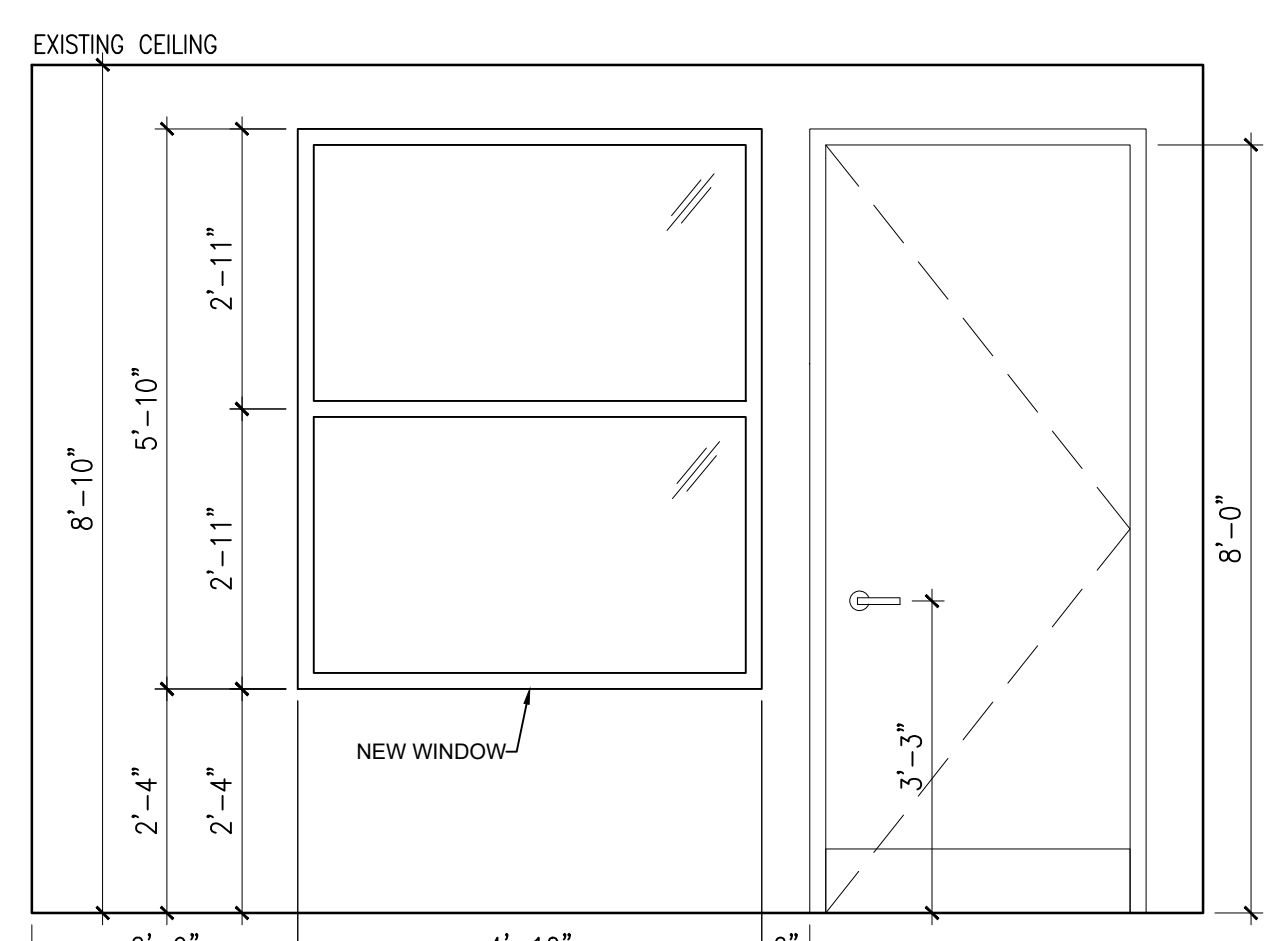
- W1** NEW VINYL BOARD DEMOUNTABLE PARTITION: (TO u/s OF CEILING)  
-(WINDSONG WALLS PATTERN) BY [ENVIROWALL]  
-1 LAYER OF 1/2" VINYL DEMOUNTABLE BOARD  
-2 1/2" METAL STUDS SPACED @ 16" o.c.  
-c/w 2 1/2" [CERTAINTED 'NOISE REDUCER'] SOUND BATT INSULATION  
-1 LAYER OF 1/2" VINYL DEMOUNTABLE BOARD  
NOTE: ALL TRIMS TO BE ANNOZIDED ALUMINUM BY [ENVIROWALL].
- W2** NEW PARTITION WALL: (TO u/s OF CEILING)  
-1 LAYER OF 1/2" GYPSUM BOARD  
-3 5/8" METAL STUDS SPACED @ 16" o.c.  
-1 LAYER OF 1/2" GYPSUM BOARD
- WN1** NEW WINDOW REFER TO 4/A2 FOR SIZE.
- N1** PATCH/REPAIR EXISTING CARPET (GC. TO ORDER 10 MORE BOXES TO MATCH EXISTING CARPET).  
NOTE: PROVIDE ALL TRIMS, BATTENS, COVERS & COMPONENTS FOR THE DEMOUNTABLE PARTITION.
- N2** PROVIDE BLOCKING FOR SUPPORT OF WALL MOUNTED TV.
- N3** EXISTING MILLWORK TO BE RE-INSTALLED.
- N4** EXISTING BULLET TRAP & GUN LOCKER TO BE RE-INSTALLED.
- N5** NEW BALLISTIC PANELS:  
(DURA-PANEL™ EXP BALLISTIC RUBBER) BY [RANGE SYSTEMS] FULL WALL HEIGHT  
-PROVIDE BLOCKING FOR SUPPORT OF BALLISTIC PANELS ON ALL 3 SIDES.
- N6** NEW RUBBER BASEBOARD TO MATCH EXISTING CORRIDOR BASEBOARD.
- N7** RELOCATED FURNITURE BY OPP.
- N8** RELOCATED WALL MOUNTED SHELF & LIGHTS.
- N9** RELOCATED WINDOW & FRAME.

-PATCH/REPAIR/PAINT ALL WALLS/FLOORS/CEILINGS AFFECTED BY ALL ARCHITECTURAL/ MECHANICAL & ELECTRICAL WORK.  
-INCLUDE FOR PATCHING/PAINTING (TAPED/SANDED/PAINT) FOR ALL EXISTING WALL/CEILING PENETRATIONS.



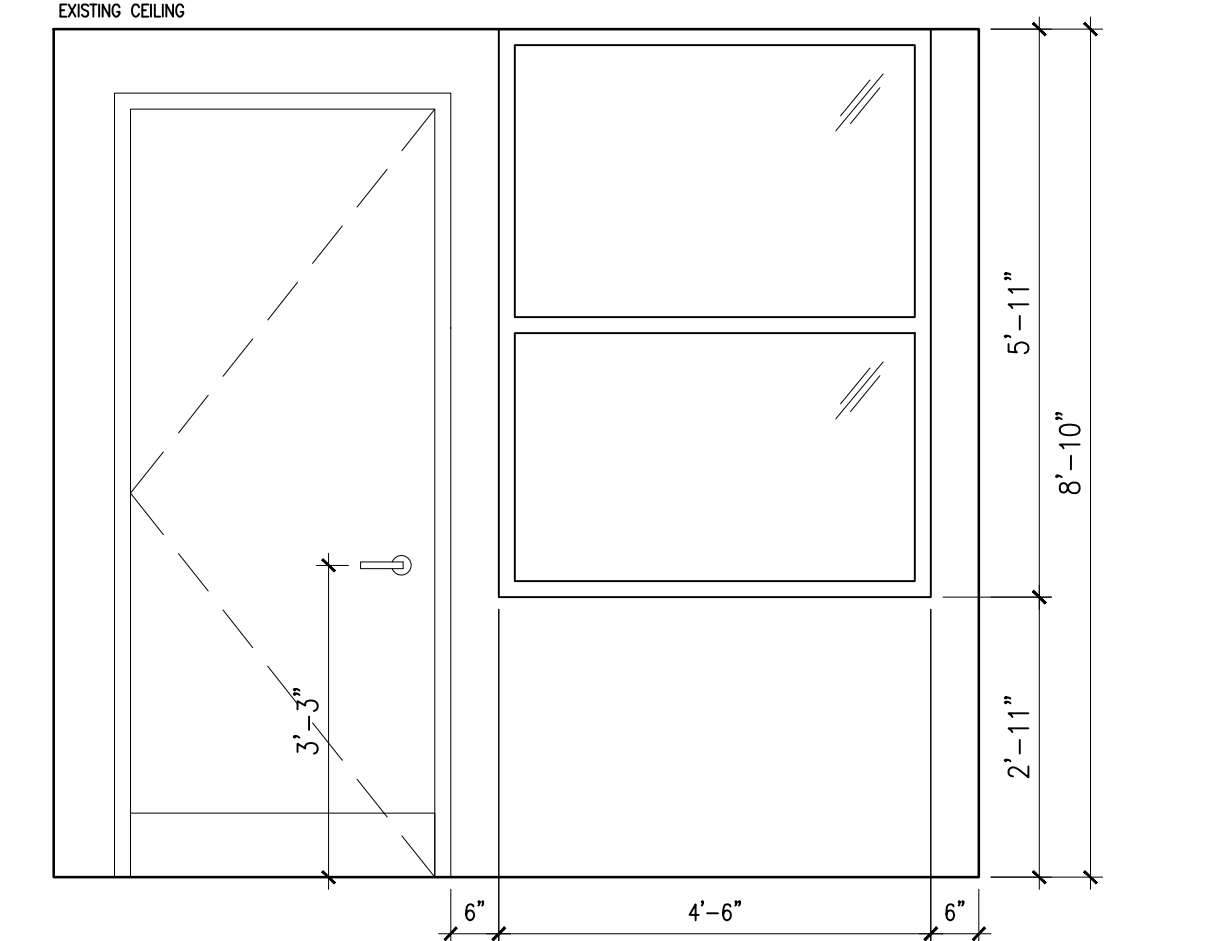
3 PROPOSED ROOM 3-049 DOOR ELEVATION.

A2 SCALE: 1/2" = 1'-0"



4 PROPOSED OFFICE DOOR/ WINDOW ELEVATION.

A2 SCALE: 1/2" = 1'-0"



5 PROPOSED OFFICE DOOR/ WINDOW ELEVATION.

A2 SCALE: 1/2" = 1'-0"

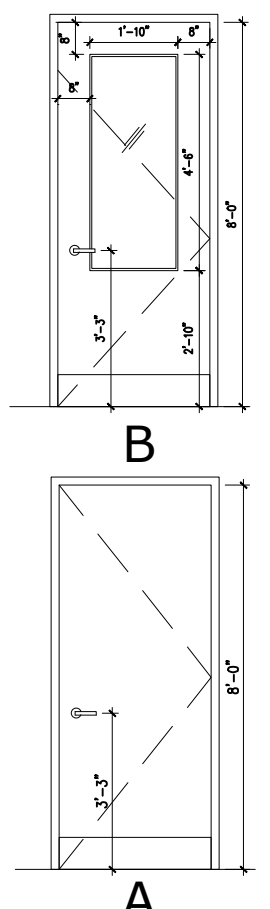
DOORS		HARDWARE		COMMENTS	
D1	A 965	45	SW STN/V	AL AN	
D2	B 965	2434	45 SW STN/V	AL AN	
D3	A 965	2434	45 SW STN/V	AL AN	
D4	A 965	2434	45 SW STN/V	AL AN	

AL	AN	BF	EX	FLM	GL	HM	HWC	IM	LAM	PC	PKT	PT	ST	SW	FG	PH	PLAM	GA	PF	CLF	CONC	SS
Aluminum	Anodized	Bi-Fold	Existing	Applied Film (3M)	Glass	Hollow Metal (20 ga.)	Hollow Wood Core	Insulated Metal Core	Laminated	PC 350	Pocket	Painted (shop painted / semi-gloss)	Steel	Solid Wood Core	Fixed Glazing	Pivot Hinge	Plastic Laminate	Galvanized	Pre-finished	Chain link fence	Concrete 103 Mpa	Stainless Steel

Door Number	Door Type	Width (mm)	Height (mm)	Thickness (mm)	Material	Finish (MAPLE)	12mm Glass Lite (tempered/finnanead)	Hollow/Metal Frame	Frame Material	Frame Finish	Exit Lockset	Classroom Lockset L-Series Mortise lock (Schlage)	Passage Lockset L-Series Mortise lock (Schlage)	Store Room Lockset L-Series Mortise lock (Schlage)	Lever Handle (03 Tubular C/w A-Wrought Rose - 2.1/8" Schlage/6530 Finish)	Automatic Door Operator (w/wave)	Electric Strike	Card Reader	Door Contacts	Paint Hardware (Von Duprin)	Door Closer (CN 401/626 Finish) (18 ga. Stainless steel & 'X6' (no screws)/SUA)	Kick Plate (MATCH EXISTING)	Frame Acoustic Seal (Troy/Gasket)	Automatic Drop Bottom (RNC)	Bert Hinges 4 Hinges/door (B8279)(Satin Chromium Plated)	Door Stop (CBH-97 & CBH-48, C330 Finish)
D1	A	965	2434	45	SW STN/V	AL		AL	AN																	
D2	B	965	2434	45	SW STN/V	AL		AL	AN																	
D3	A	965	2434	45	SW STN/V	AL		AL	AN																	
D4	A	965	2434	45	SW STN/V	AL		AL	AN																	



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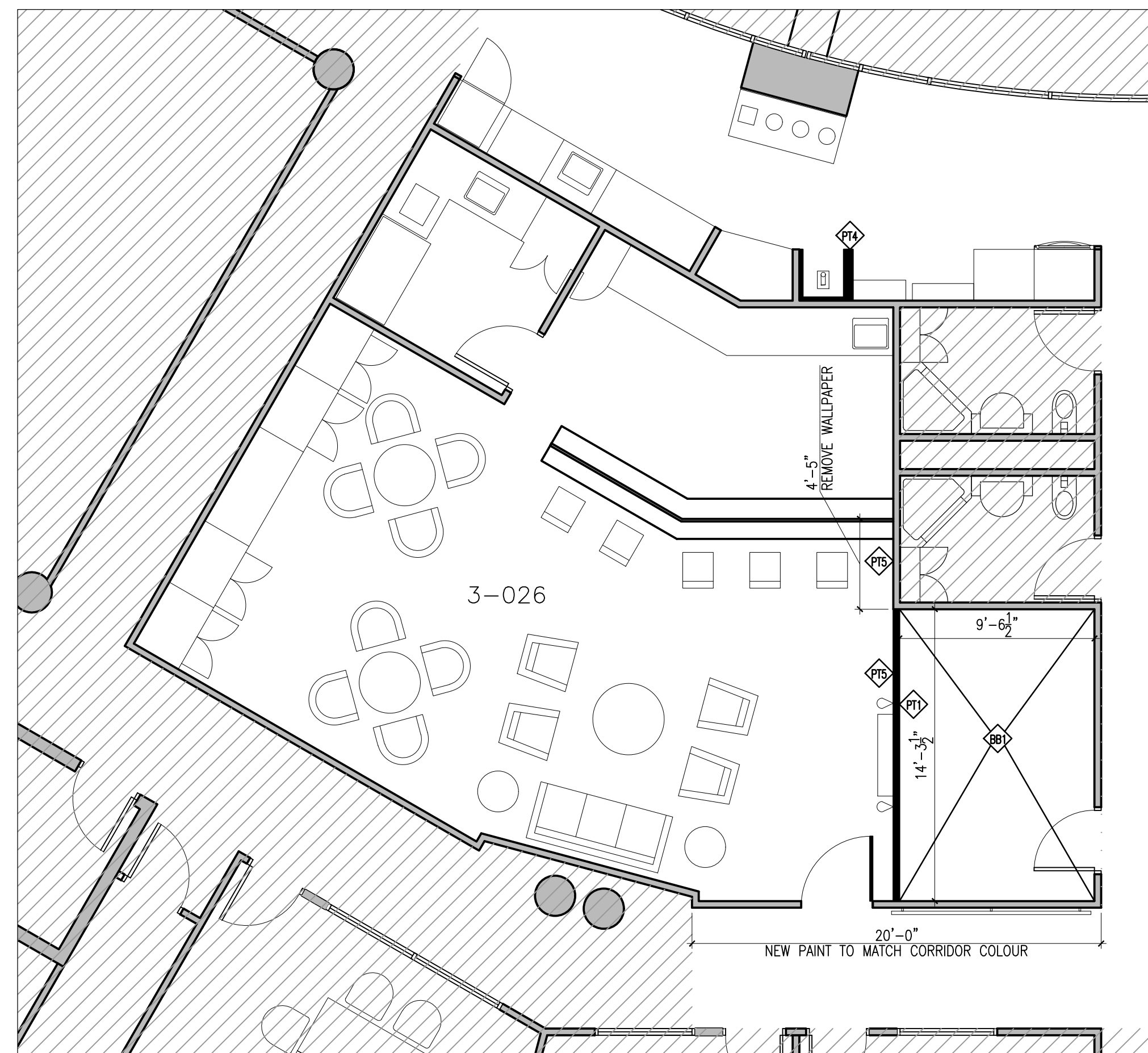
Project GHQ PROV COMMANDER RENOVATION

Location  
777 MEMORIAL AVE,  
ORILLIA, ONTARIO  
Project No 1105199 Site No N06689 Building No B25370

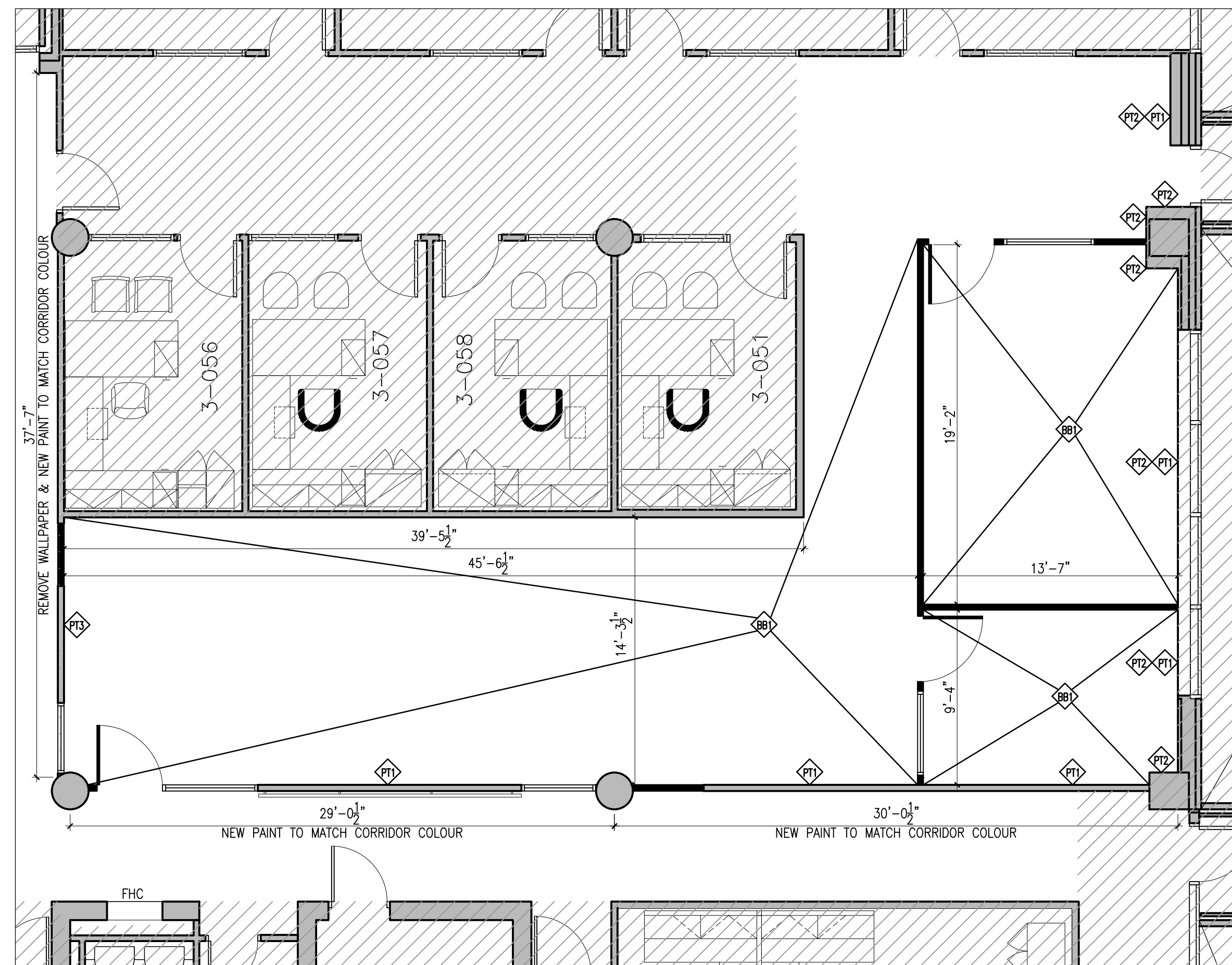
Client  
ONTARIO PROVINCIAL POLICE

Drawing Title  
PROPOSED FLOOR PLANS/ ELEVATIONS & DOOR SCHEDULE

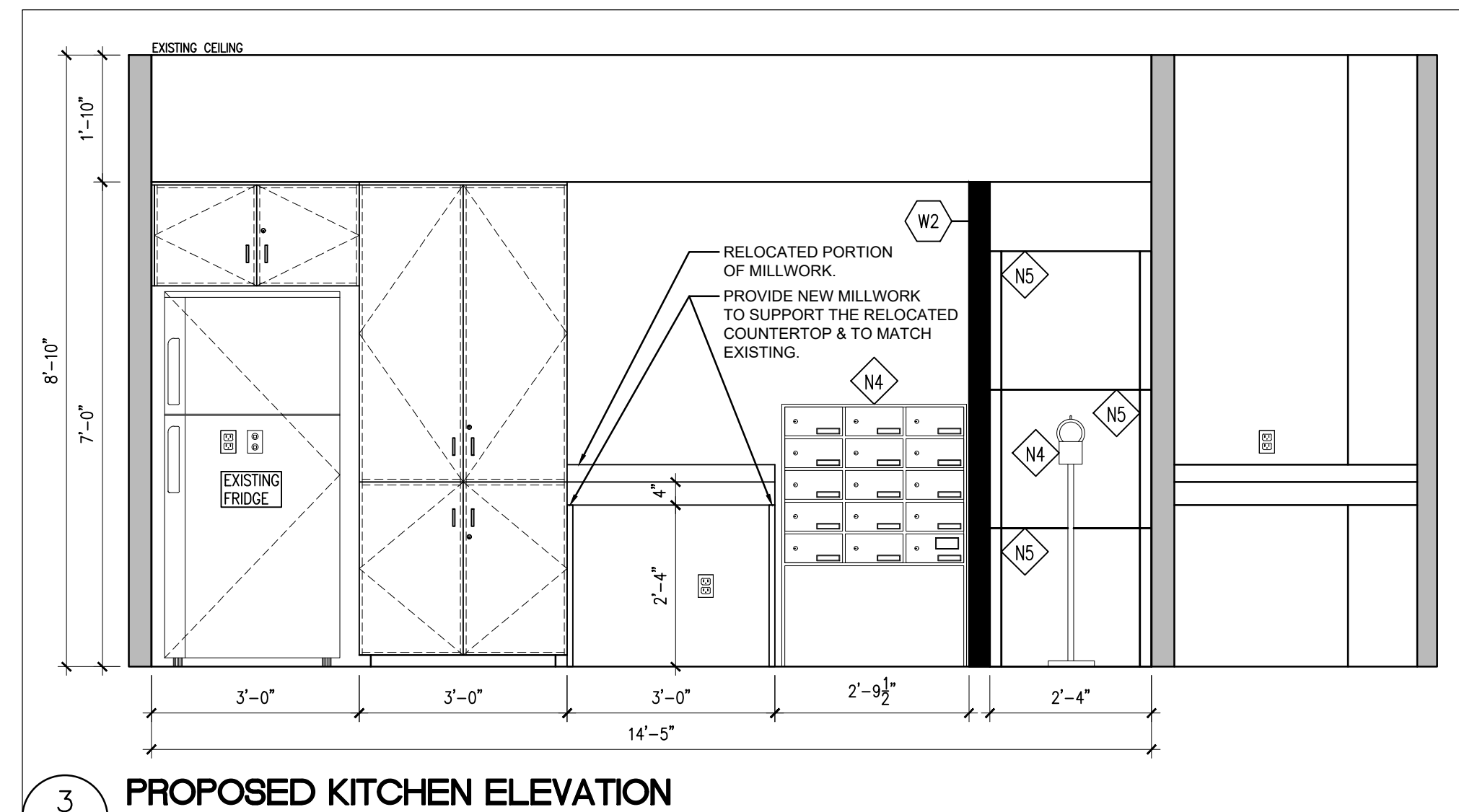
Scale AS SHOWN	Date 2024-09-30
Drawn by AAK	Substantial Performance Date
Designed by AAK/GD	Drawing No A2
Approved by GD	of 4



1 PROPOSED ROOM 3-026 FINISH FLOOR PLAN  
SCALE: 3/16" = 1'-0"



2 PROPOSED ROOM 3-049 / 3-059 / 3-060 FINISH FLOOR PLAN  
SCALE: 3/16" = 1'-0"



3 PROPOSED KITCHEN ELEVATION  
SCALE: 1/2" = 1'-0"

### CONSTRUCTION NOTES

W1 NEW VINYL BOARD DEMOUNTABLE PARTITION: (TO u/s OF CEILING)  
 -(WINDSONG WALLS PATTERN) BY [ENVIROWALL]  
 -1 LAYER OF 1/2" VINYL DEMOUNTABLE BOARD  
 -2 1/2" METAL STUDS SPACED @ 16" o.c.  
 -c/w 2 1/2" [CERTAINTED 'NOISE REDUCER'] SOUND BATT INSULATION  
 -1 LAYER OF 1/2" VINYL DEMOUNTABLE BOARD  
 NOTE: ALL TRIMS TO BE ANNOZIZED ALUMINUM BY [ENVIROWALL].

W2 NEW PARTITION WALL: (TO u/s OF CEILING)  
 -1 LAYER OF 1/2" GYPSUM BOARD  
 -3 5/8" METAL STUDS SPACED @ 16" o.c.  
 -1 LAYER OF 1/2" GYPSUM BOARD

WN1 NEW WINDOW REFER TO 4/A2 FOR SIZE.  
 PATCH/REPAIR EXISTING CARPET (GC. TO ORDER 10 MORE BOXES TO MATCH EXISTING CARPET).  
 NOTE: PROVIDE ALL TRIMS, BATTENS, COVERS & COMPONENTS FOR THE DEMOUNTABLE PARTITION.

N1 PATCH/REPAIR EXISTING CARPET (GC. TO ORDER 10 MORE BOXES TO MATCH EXISTING CARPET).  
 NOTE: PROVIDE ALL TRIMS, BATTENS, COVERS & COMPONENTS FOR THE DEMOUNTABLE PARTITION.

N2 PROVIDE BLOCKING FOR SUPPORT OF WALL MOUNTED TV.

N3 EXISTING MILLWORK TO BE RE-INSTALLED.

N4 EXISTING BULLET TRAP & GUN LOCKER TO BE RE-INSTALLED.

N5 NEW BALLISTIC PANELS:  
 (DURA-PANEL™ EXP BALLISTIC RUBBER) BY [RANGE SYSTEMS] FULL WALL HEIGHT  
 -PROVIDE BLOCKING FOR SUPPORT OF BALLISTIC PANELS ON ALL 3 SIDES.

N6 NEW RUBBER BASEBOARD TO MATCH EXISTING CORRIDOR BASEBOARD.

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N8 RELOCATED WALL MOUNTED SHELF & LIGHTS.

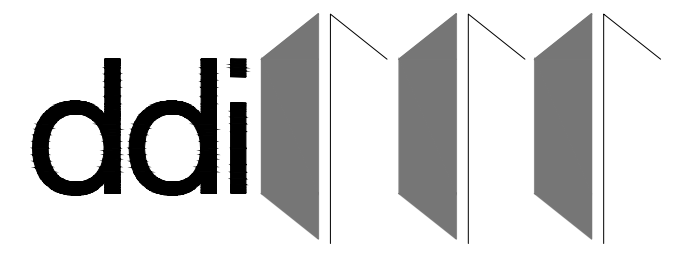
N9 RELOCATED WINDOW & FRAME.

-PATCH/REPAIR/PAINT ALL WALLS/FLOORS/CEILINGS AFFECTED BY ALL ARCHITECTURAL/ MECHANICAL & ELECTRICAL WORK.  
 -INCLUDE FOR PATCHING/PAINTING (TAPED/SANDED/PAINT) FOR ALL EXISTING WALL/CEILING PENETRATIONS.

### FINISH SCHEDULE

PAINT ALL WALLS. 1 COAT PRIME, 2 FINISH COATS. WALLS TO BE EGGSHELL.

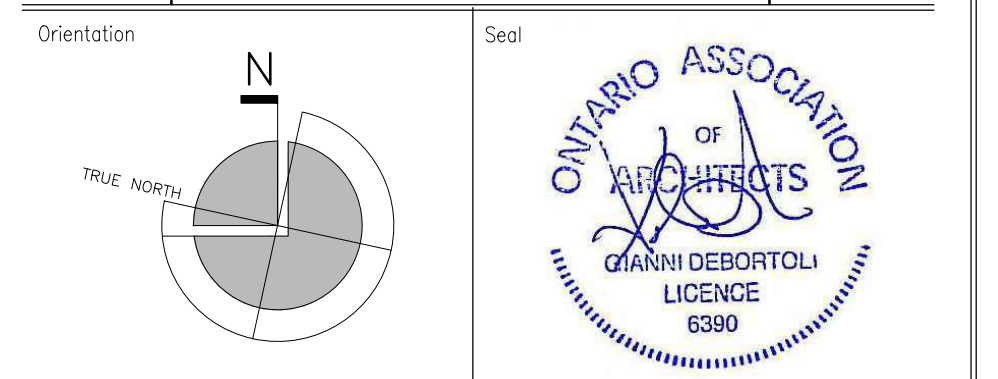
- PT1 NEW WALL PAINT BY [BENJAMIN MOORE].  
COLOUR: BUNNY GRAY 2124-50.  
FINISH: SCUFF-X® -EGGSHELL K485.
- PT2 NEW WALL PAINT FOR ACCENT WALL/ BULKHEADS & COLUMNS BY [BENJAMIN MOORE].  
COLOUR: STORM AF-700.  
FINISH: SCUFF-X® -EGGSHELL K485.
- PT3 NEW WALL PAINT FOR FEATURE WALL BY [BENJAMIN MOORE].  
COLOUR: SYMPHONY BLUE 2060-10.  
FINISH: SCUFF-X® -EGGSHELL K485.
- PT4 NEW WALL PAINT BY [BENJAMIN MOORE].  
COLOUR: GENTLEMAN'S GRAY 2062-20.  
FINISH: SCUFF-X® -EGGSHELL K485.
- PT5 NEW WALL PAINT COLOUR: TBD.
- FC1 NEW "AFTERMATH II #23509" CARPET FLOOR BY [TARKETT COMMERCIAL].  
COLOUR: FLANNEL #03026 (GC. TO ORDER 10 MORE BOXES & TO BE INSTALLED IN A RANDOM PATTERN).
- BB1 NEW WALL BASE TO MATCH EXISTING.



debortoli design inc.

commercial • residential • retail  
 eight selvapiano crescent  
 vaughan ontario L4H0X2 canada  
 v 905 303 6090  
 www.debortolidesign.com

No	Revisions	Date
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03	ISSUED FOR 99% DESIGN REVIEW	2024-07-10
02	ISSUED FOR 66% DESIGN REVIEW	2024-05-06
01	ISSUED FOR 33% DESIGN REVIEW	2024-04-16



The Contractor shall check and verify all dimensions and report all errors and omissions to the IO-Owner's/MBS Designee (as applicable) for his/her written direction before proceeding with the Work.

A	A Detail No
B	B Sheet No where detailed



AMIS N B

Project  
GHQ PROV COMMANDER RENOVATION

Location  
777 MEMORIAL AVE,  
ORILLIA, ONTARIO  
Project No. 1105199 Site No. N06689 Building No. B25370

Client  
ONTARIO PROVINCIAL POLICE

Drawing Title  
PROPOSED FINISHES FLOOR PLANS & PROPOSED ELEVATION

Scale AS SHOWN	Date 2024-09-30
Drawn by AAK	Substantial Performance Date
Designed by AAK/GD	Drawing No A3 of 4
Approved by GD	CADD File NAME ADDENDUM 01

**GENERAL NOTES**

1 ALL NOTES HEREIN REFERRING TO "CONTRACTOR" ARE TO MEAN THE GENERAL CONTRACTOR & SUB-CONTRACTORS.  
ALL NOTES HEREIN REFERRING TO "CONSULTANT" ARE TO MEAN THE ARCHITECT AND SUB-CONSULTANTS.

2 PLEASE REFER TO PROJECT MANUAL FOR GENERAL CONDITIONS, SUPPLEMENTARY CONDITIONS & SPECIFICATIONS FOR FURTHER INFORMATION ABOUT METHODS & MATERIALS.

3 DRAWINGS ARE NOT TO BE SCALED.  
CONTRACTOR TO REFERENCE DIMENSIONS GIVEN ON DRAWINGS.

4 ALL THE WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE, THE OCCUPATIONAL HEALTH & SAFETY ACT & REGULATIONS FOR CONSTRUCTION PROJECTS, CONSTRUCTION SAFETY ACT, REGULATIONS OF THE ONTARIO DEPARTMENT OF LABOUR & THE CANADIAN CONSTRUCTION SAFETY CODE, INCLUDING ALL CURRENT REVISIONS & WITH GOOD CONSTRUCTION PRACTICE.

5 THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY ALL DIMENSIONS & SITE CONDITIONS, COMPARE WITH THOSE INDICATED ON THE DRAWINGS & ADVISE THE CONSULTANT OF ANY DISCREPANCY. COMMENCEMENT OF WORK SHALL BE DEEMED AS ACCEPTANCE OF SITE CONDITIONS BY THE CONTRACTOR.

6 DISCREPANCIES IDENTIFIED AFTER COMMENCEMENT OF THE WORK SHALL BE RECTIFIED AT THE EXPENSE OF THE CONTRACTOR & TO THE SATISFACTION OF THE CONSULTANT AND/OR OWNER.

7 CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, FINISHES, EQUIPMENT & PROPERTIES ADJACENT TO THE AREAS OF WORK.

8 ALL DISTURBED AREAS, DAMAGED PROPERTIES AND/OR STRUCTURES SHALL BE RESTORED TO ORIGINAL CONDITION AT THE EXPENSE OF THE CONTRACTOR & TO THE SATISFACTION OF THE CONSULTANT AND/OR OWNER.

9 CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL/REINSTALL OF ANY ITEMS THAT IMPEDE IN THE DEMOLITION, INSTALLATION AND/OR CONSTRUCTION AS PART OF THE SCOPE OF WORK.

10 ALL SERVICES ARE TO BE ACCURATELY LOCATED PRIOR TO CONSTRUCTION & ADEQUATE PROTECTION PROVIDED AT ALL TIMES. ANY INTERFERENCE TO EXISTING SERVICES OR UTILITIES WITH THE PROPOSED CONSTRUCTION OPERATIONS IS TO BE REPORTED TO THE CONSULTANT PRIOR TO THE CONTINUATION OF CONSTRUCTION.

11 ALL DEMOLITION WORK, SAWING, GRINDING, OR SANDING WHICH MAY CAUSE DUST, EXCESSIVE NOISE LEVELS AND/OR INTERFERE WITH NORMAL BUSINESS OPERATIONS SHALL BE UNDERTAKEN AT THE SPECIFIED TIMES OUTLINED IN THE CONTRACT DOCUMENTS. REFER TO CONTRACT SPECIFICATIONS, GENERAL CONDITIONS & REQUIREMENTS FOR ADDITIONAL WORK PROVISIONS.

12 CONTRACTOR SHALL NOT CUT ADDITIONAL HOLES, OTHER THAN THOSE SHOWN ON DRAWINGS THROUGH WALLS, BEAMS, AND/OR OTHER ELEMENTS WITHOUT THE PRIOR APPROVAL OF THE CONSULTANT.

13 ALL MATERIALS INDICATED ON THE DRAWINGS ARE NEW UNLESS NOTED OTHERWISE.

14 NO ALTERNATE EQUIPMENT, MATERIALS, OR METHODS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT. CONTRACTOR SHALL SUBMIT A FORMAL REQUEST FOR SUBSTITUTION TO THE CONSULTANT FOR THEIR CONSIDERATION.

15 THE CONSTRUCTION SCOPE OF WORK SHOWN ON THESE DRAWINGS HAS BEEN DESIGNED IN ACCORDANCE WITH ALL REQUIRED CURRENT BUILDING CODES & REGULATIONS IN THE MUNICIPALITY IN WHICH THE CONSTRUCTION IS TO OCCUR.

16 CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORTS WHERE REQUIRED.

17 CONTRACTOR TO MAINTAIN ALL FIRE RESISTANCE RATINGS THROUGHOUT BUILDING, USING THE CORRECT CURRENT U.L.C. RATED SEALANTS & FIRESTOPS TO MAINTAIN THE BUILDING'S ORIGINAL FIRE RESISTANCE RATING. THIS ALSO APPLIES TO NEW FIRE RATED ASSEMBLIES CONSTRUCTED AS PART OF THE SCOPE OF WORK.

18 CONTRACTOR TO FOLLOW ALL MANUFACTURER'S INSTRUCTIONS & SPECIFICATIONS FOR MATERIALS USED TO CARRY OUT THE WORK.

19 ALL REPAIR WORK REQUIRED BY THE CONTRACTOR DUE TO THE WORK PERFORMED SHALL BE TO MATCH THE ORIGINAL CONDITION, ADJACENT MATERIALS/FINISH OR BETTER.

20 REFER TO MECHANICAL, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO THIS SCOPE OF WORK.

21 THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD PROPER & SAFE MEANS OF EGRESS SHALL BE PROVIDED FROM ALL ZONES OF THE BUILDING AT ALL TIMES TO THE APPROVAL OF THE

**AUTHORITIES HAVING JURISDICTION.**

22 ALL MATERIALS & DEBRIS TO BE DISPOSED OF SHALL BE REMOVED FROM THE SITE DAILY & DISPOSED OF LEGALLY IN ABIDANCE TO ALL APPLICABLE FEDERAL, PROVINCIAL & LOCAL CODES & REGULATIONS.

23 ELEMENTS OF THE BASE BUILDING, SUCH AS (BUT NOT LIMITED TO) CEILING COMPONENTS, LIGHT FIXTURES, SPEAKERS, ETC. REMAIN THE PROPERTY OF & SHALL BE TURNED OVER TO THE LANDLORD/OWNER & STORED WHERE DIRECTED BY THE LANDLORD/OWNER UNLESS SCHEDULED FOR REUSE AND/OR SHOWN TO BE REMOVED & RELOCATED UNDER THIS CONTRACT.

24 CONTRACTOR TO PREPARE FLOOR TO ACCEPT NEW FLOOR FINISHES WHERE INDICATED (OR AS PER FINISH SCHEDULE) IN STRICT ACCORDANCE WITH THE NEW FLOOR FINISH MANUFACTURER'S SPECIFICATIONS. SAND-BLASTING OR SELF-LEVELING PRODUCTS ARE TO BE INCLUDED IF REQUIRED.

25 CONTRACTOR TO ENSURE EXISTING OR NEW FLOOR SURFACE (TO RECEIVE NEW FLOORING FINISH) IS LEVEL & FREE OF DIMPLES, BUMPS, DUST, SOLVENT, PAINT, WAX, OIL, GREASE, RESIDUAL ADHESIVE, ADHESIVE REMOVERS, SEALERS, COATINGS, FINISHES, DIRT, FILM-FORMING CURING COMPOUNDS, SILICATE PENETRATING CURING COMPOUNDS, ALKALINE SALTS, EXCESSIVE CARBONATION OR LAITANCE, MOLD, MILDEW, & OTHER FOREIGN MATERIALS. IMPERFECTIONS IN THE FLOOR WHICH WILL INHIBIT A SMOOTH, LEVEL FINISH ARE TO BE REMOVED BY THE CONTRACTOR BY WHATEVER MEANS NECESSARY INCLUDING SAND-BLASTING.

26 CONCRETE FLOORS (EXISTING OR NEW) TO RECEIVE NEW FLOORING SHALL BE FREE OF DUST, SOLVENT, PAINT, WAX, OIL, GREASE, RESIDUAL ADHESIVE, ADHESIVE REMOVERS, SEALERS, COATINGS, FINISHES, DIRT, FILM-FORMING CURING COMPOUNDS, SILICATE PENETRATING CURING COMPOUNDS, HARDENING OR PARTING COMPOUNDS, ALKALINE SALTS, EXCESSIVE CARBONATION OR LAITANCE, MOLD, MILDEW, & OTHER FOREIGN MATERIALS WHICH MAY AFFECT THE RATE OF MOISTURE DISSIPATION FROM THE CONCRETE OR THE ADHESION OF THE NEW FLOORING TO THE CONCRETE FLOOR (EXISTING OR NEW).

27 CONTRACTOR TO PROTECT EXISTING AREAS TO PREVENT DUST, DEBRIS & OTHER REFUSE FROM ENTERING OTHER AREAS DURING DEMOLITION. PROVIDE DUST BARRIER AROUND ALL AREAS UNDER CONSTRUCTION.

28 CONTRACTOR TO CONTACT CONSULTANT TO REVIEW SITE DURING DEMOLITION TO VERIFY EXISTING CONDITIONS. CONTRACTOR TO PROVIDE MINIMUM 24 HOURS NOTICE FOR INSPECTION.

29 CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE BUILDING INSPECTOR TO REVIEW THE WORK IN PROGRESS.

30 WHERE NEW WORK CONNECTS WITH EXISTING & WHERE EXISTING WORK IS ALTERED, ALL NECESSARY CUTTING & FITTING REQUIRED TO MAKE SATISFACTORY CONNECTIONS WITH THE EXISTING WORK SHALL BE PERFORMED BY THE CONTRACTOR SO AS TO LEAVE THE ENTIRE WORK IN A FINISHED CONDITION.

31 SEAL & FIRESTOP ALL WALL, FLOOR, CEILING & ROOF PENETRATIONS THROUGH FIRE RATED ASSEMBLIES WITH THE APPROPRIATE U.L.C. OR BUILDING CODE APPROVED MATERIALS TO MAINTAIN THE APPROPRIATE FIRE RESISTANCE RATING.

32 DRAWINGS ARE IN PART SCHEMATIC & ARE INTENDED TO CONVEY THE SCOPE OF WORK & TO INDICATE THE GENERAL & APPROXIMATE LOCATION & ARRANGEMENT OF THE WORK. CONTRACTOR TO OBTAIN ACCURATE INFORMATION ABOUT LOCATION ARRANGEMENT & SIZES BY COORDINATING DRAWINGS WITH THE SITE CONDITIONS.

33 PLANS OF EXISTING CONDITIONS ARE PROVIDED FOR INFORMATION ONLY & MUST BE VERIFIED BY THE CONTRACTOR.

34 CONTRACTOR SHALL SUBMIT FOR APPROVAL, PROPOSED METHOD OF ACCESS TO SITE & BUILDING, STORAGE OF MATERIALS & LOCATION OF GARBAGE BINS, PORTABLE TOILETS, & SITE TRAILERS BEFORE STARTING SCOPE OF WORK.

35 CONTRACTOR TO MAINTAIN A LIST OF ALL HAZARDOUS MATERIALS PROPOSED FOR USE ON SITE OR WORKPLACE.

36 SMOKING ON SITE IS NOT PERMITTED EXCEPT IN AREAS DESIGNATED BY THE OWNER.

37 NOTE THAT THE PREMISES MAY OR MAY NOT BE OCCUPIED DURING CONSTRUCTION, THEREFORE IT IS ESSENTIAL THAT UNIMPEDED ACCESS TO THE EXISTING BUILDING BE MAINTAINED AT ALL TIMES.

38 CONTRACTOR SHALL PROVIDE & MAINTAIN SANITARY PORTABLE TOILETS FOR THE DURATION OF CONSTRUCTION FOR THE USE OF THE CONSTRUCTION PERSONNEL (UNLESS OTHERWISE PROVIDED BY THE OWNER).

39 CONTRACTOR SHALL ARRANGE WITH THE OWNER FOR USE OF EXISTING ELECTRICAL SERVICE, TO THE EXTENT THAT THERE IS SUFFICIENT CAPACITY, TO AVOID OVERLOADING OF CIRCUITS. WHERE CAPACITY IS INSUFFICIENT, CONTRACTOR IS TO PROVIDE TEMPORARY ELECTRICAL SERVICE.

40 CLEANING OF THE INTERIOR & EXTERIOR CONSTRUCTION AREAS SHALL INCLUDE BUT NOT BE LIMITED TO:  
-THE REMOVAL OF RUBBISH AND/OR OTHER UNSIGHTLY MATERIAL OR DEBRIS.  
-THE REMOVAL OF DUST AND/OR OTHER DEBRIS BY BRUSHING, SWEEPING AND/OR OTHER SUITABLE METHODS.

41 FINAL CLEANING OF ALL AREAS AFFECTED BY THE CONSTRUCTION SHALL INCLUDE BUT NOT BE LIMITED TO VACUUMING, WASHING & POLISHING OF FLOORS, CLEANING OF GLASS SURFACES & OTHER MEASURES DEEMED ACCEPTABLE BY THE OWNER.

42 A LIST OF ALL CONTRACTOR & SUB-CONTRACTOR PERSONNEL ON SITE MUST BE FORWARDED TO THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.

43 CONTRACTOR TO KEEP A COPY OF ALL LITERATURE, DELIVERY WAYBILLS, & WARRANTIES FOR ALL NEW PRODUCTS USED AS PART OF THE SCOPE OF WORK.

44 CONTRACTOR MUST POST BUILDING PERMIT SIGN (IF APPLICABLE) IN AN UNOBSTRUCTED LOCATION & MUST HAVE THE PERMIT DRAWINGS (STAMPED BY THE AUTHORITIES HAVING JURISDICTION) PRESENT ON SITE AT ALL TIMES.

45 CONTRACTOR TO KEEP AN ACCURATE ACCOUNT OF SITE CHANGES NOTED IN RED INK ON THE SITE CONSTRUCTION DRAWINGS TO FORM THE BASIS FOR THE "AS-BUILT" DRAWING TO LATER BE SUBMITTED TO THE DESIGNER FOR "RECORD DRAWING" ISSUANCE.

46 WHEN ONE WALL FINISH IS INDICATED WITHIN AN ENCLOSED AREA, THIS FINISH MUST BE APPLIED TO ALL WALLS, INCLUDING VERTICAL BULKHEADS, PERIMETER WALLS & COLUMNS, UNLESS OTHERWISE NOTED.

47 ALL FINISHES TO BE PURCHASED BY CONTRACTOR. PROVIDE ALL LABOUR, MATERIALS, PRODUCTS, EQUIPMENT & SERVICES REQUIRED TO INSTALL THE FINISHES AS INDICATED ON THE DRAWINGS & FINISH SCHEDULE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

48 IN THE EVENT OF UNAVAILABILITY OF A SPECIFIED PRODUCT SUBJECT TO WRITTEN PERMISSION OBTAINED FROM CONSULTANT, CONTRACTOR ENSURES THAT SUBSTITUTIONS CAN BE BOTH PHYSICALLY AND DIMENSIONALLY INCORPORATED IN THE WORK WITH NO LOSS OF INTENDED FUNCTION OR CONSTRUCTION TIME AND AT NO ADDITIONAL COST TO THE OWNER.

49 ALL EXPOSED METALWORK IS TO BE EITHER GALVANIZED OR STAINLESS STEEL OR DURABLE NON-FERROUS UNLESS SPECIFIED OTHERWISE.

50 THE EXPOSED ENDS OF CUT GALVANIZED MATERIALS ARE TO BE PROPERLY TREATED TO PREVENT OXIDATION, DETERIORATION OR STAINING.

51 ALL PARTITIONS ARE TO BE CHALKED ON SITE & APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT WHEN MARKINGS ARE READY FOR INSPECTION. CONTRACTOR TO PROVIDE A MINIMUM OF 24 HOURS NOTICE FOR INSPECTION.


52 WALLS ENDING AT EXTERIOR GLAZING ARE TO BE SEALED OFF IN AN APPROPRIATE MANNER AT NEAREST MULLION OR COLUMN UNLESS OTHERWISE SPECIFIED ON THE DRAWING.

53 SUBMIT SHOP DRAWINGS SHOWING CONSTRUCTION/ASSEMBLY DETAILS FOR ALL CUSTOM DOORS, FRAMES, MILLWORK & CABINET WORK ITEMS TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION & ORDERING OF MATERIALS. CONTRACTOR TO REVIEW SHOP DRAWINGS & STAMP AS REVIEWED PRIOR TO SUBMITTING TO ARCHITECT.

54 CONTRACTOR TO ENSURE SUFFICIENT BLOCKING IS PROVIDED IN ALL AREAS FOR SUPPORT OF WALL OR CEILING MOUNTED EQUIPMENT OR MATERIAL (MOLDINGS, MILLWORK, COAT HOOKS, SECURITY EQUIPMENT, WALL MOUNTED OUTLETS, SPECIAL EQUIPMENT, ETC)

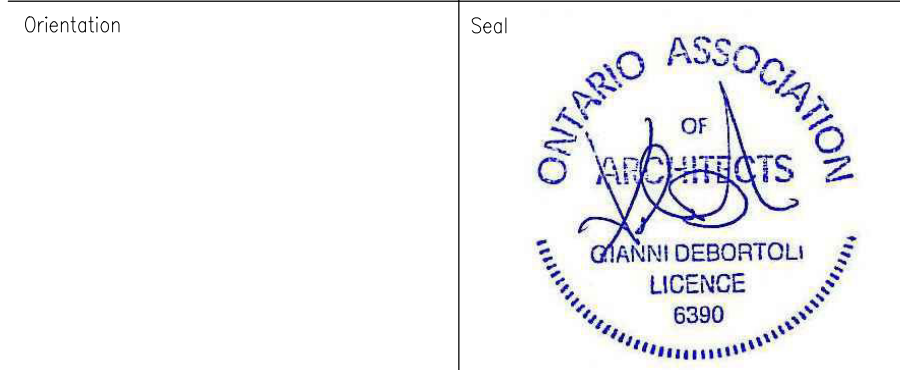
55 THE CONTRACTOR SHALL SUBMIT THE FOLLOWING FOR REVIEW & APPROVAL PRIOR TO THE COMMENCEMENT OF WORK:  
-CERTIFICATES OF INSURANCE  
-BONDS  
-DETAILED BAR GRAPH FORMAT WORK SCHEDULE  
-SAMPLES OF ALL SPECIFIED MATERIALS  
-SHOP DRAWINGS & PRODUCT DATA  
-COLOUR SAMPLES  
-STATUTORY DECLARATION  
-WORKPLACE SAFETY & INSURANCE BOARD CLEARANCE CERTIFICATE

56 GENERAL CONTRACTOR TO ENSURE THAT ALL SUB-CONTRACTORS REVIEW THE COMPLETE TENDER PACKAGE TO CAPTURE ALL ELEMENTS IN THE SCOPE OF WORK AS THEY PERTAIN TO THEIR DISCIPLINES FOR PRICING. GENERAL CONTRACTOR SHALL ENSURE THAT ALL SUB-CONTRACTORS HAVE THE LATEST COPY OF THE ARCHITECTURAL DRAWINGS TO GOVERN THEIR DIMENSIONS & DETAILS DURING THE WORK. REPORT ANY DISCREPANCIES BETWEEN VARIOUS CONSULTANTS' DRAWINGS IMMEDIATELY TO THE CONSULTANT. DO NOT PROCEED WITH THE WORK OF ANY TRADE UNTIL THE DISCREPANCIES HAVE BEEN RESOLVED.

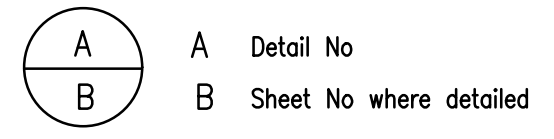
<b>Name of Practitioner:</b> DEBORTOLI DESIGN INC. 8 Selvapiano Crescent Vaughan, Ontario L4H 0X2			
<b>Certificate of Practice Number:</b> 5121		<b>Name of Project:</b> GHQ PROV COMMANDER RENOVATION	
<b>Location:</b> 777 MEMORIAL AVE ORILLIA, ONTARIO, L3V 6H1			
Item	Ontario Building Code Data Matrix Parts 3 or 9	Building Code Reference References are to Division B unless noted [A] for Division A or [C] for Division C.	
1	Project Description: <input type="checkbox"/> New <input checked="" type="checkbox"/> Part 11 INTERIOR RENOVATION TO OFFICE <input type="checkbox"/> Change of Use <input checked="" type="checkbox"/> Alteration AREA = 197.10 sq.m.	<input checked="" type="checkbox"/> Part 11 11.1 to 11.4	<input checked="" type="checkbox"/> Part 3 1.1.2. [A] <input type="checkbox"/> Part 9 1.1.2. [A] & 9.10.1.3
2	Major Occupancy(s) GROUP D	3.1.2.1.(1)	9.10.2.
3	Building Area (m <sup>2</sup> ) Existing <b>8,502.63</b> , New <b>0</b> Total <b>8,502.63</b>	1.4.1.2. [A]	1.4.1.2. [A]
4	Gross Area <b>50,379</b> New <b>0</b> Total <b>50,379</b>	1.4.1.2. [A]	1.4.1.2. [A]
5	Number of Storeys Above grade <b>2</b> Below grade <b>1</b>	1.4.1.2. [A] & 3.2.1.1.	1.4.1.2.[A] & 9.10.4
6	Occupant Load Based on: <input type="checkbox"/> m <sup>2</sup> /person <input checked="" type="checkbox"/> design of building = <b>10</b>	3.1.1.7.1.(1)(c)(i)	9.9.1.3.
<b>NO CHANGE IN OCCUPANCY</b>			
<b>EXISTING SPRINKLERED BUILDING</b>			
Ontario Building Code Data Matrix, Part 11 – Renovation of Existing Building		Building Code Reference	
11.1	Existing Building classification: Describe Existing Use: <b>Group D - Business &amp; Personal Services</b> Construction Index: _____ Hazard Index: _____ Importance Category: _____ <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy)	11.2.1	T 11.2.1.1A T 11.2.1.1B to N 4.2.1.(3) & 5.2.2.1(2)
11.2	Alteration to Existing Building is: Basic Renovation <input checked="" type="checkbox"/> Extensive Renovation <input type="checkbox"/>	11.3.3.1	11.3.3.2
11.3	Reduction in Performance Level: Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage-system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.2	11.4.2.3 11.4.2.4 11.4.2.5 11.4.2.6
11.4	Compensating Construction: Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Changes of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Sewage system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain)	11.4.3	11.4.3.2 11.4.3.4 11.4.3.5 11.4.3.6
11.5	Compliance Alternatives Proposed: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (give number(s))	11.5.1	
11.6	Alternative Measures Proposed: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (give number(s))	11.5.2	



05	ISSUED FOR ADDENDUM 01	2024-09-30
04	ISSUED FOR PERMIT/ TENDER	2024-08-21
03	ISSUED FOR 99% DESIGN REVIEW	2024-07-10
02	ISSUED FOR 66% DESIGN REVIEW	2024-05-06
01	ISSUED FOR 33% DESIGN REVIEW	2024-04-16



The Contractor shall check and verify all dimensions and report all errors and omissions to the IO-Owner's/MBS Designee (as applicable) for his/her written direction before proceeding with the Work.



AMIS N B

Project  
GHQ PROV COMMANDER RENOVATION

Location  
777 MEMORIAL AVE,  
ORILLIA, ONTARIO  
Project No. 1105199 Site No. N06689 Building No. B25370

Client  
ONTARIO PROVINCIAL POLICE

Drawing Title  
GENERAL NOTES & OBC DATA MATRIX

Scale AS SHOWN	Date 2024-09-30
Drawn by AAK	Substantial Performance Date
Designed by AAK/GD	Drawing No A4
Approved by GD	of 4 CAD File NAME <b>ADDENDUM 01</b>