



CITY OF TORONTO

---

**URBAN ARTS ECO-REJUVENATION  
AND INNOVATIVE GARDEN PROJECT**

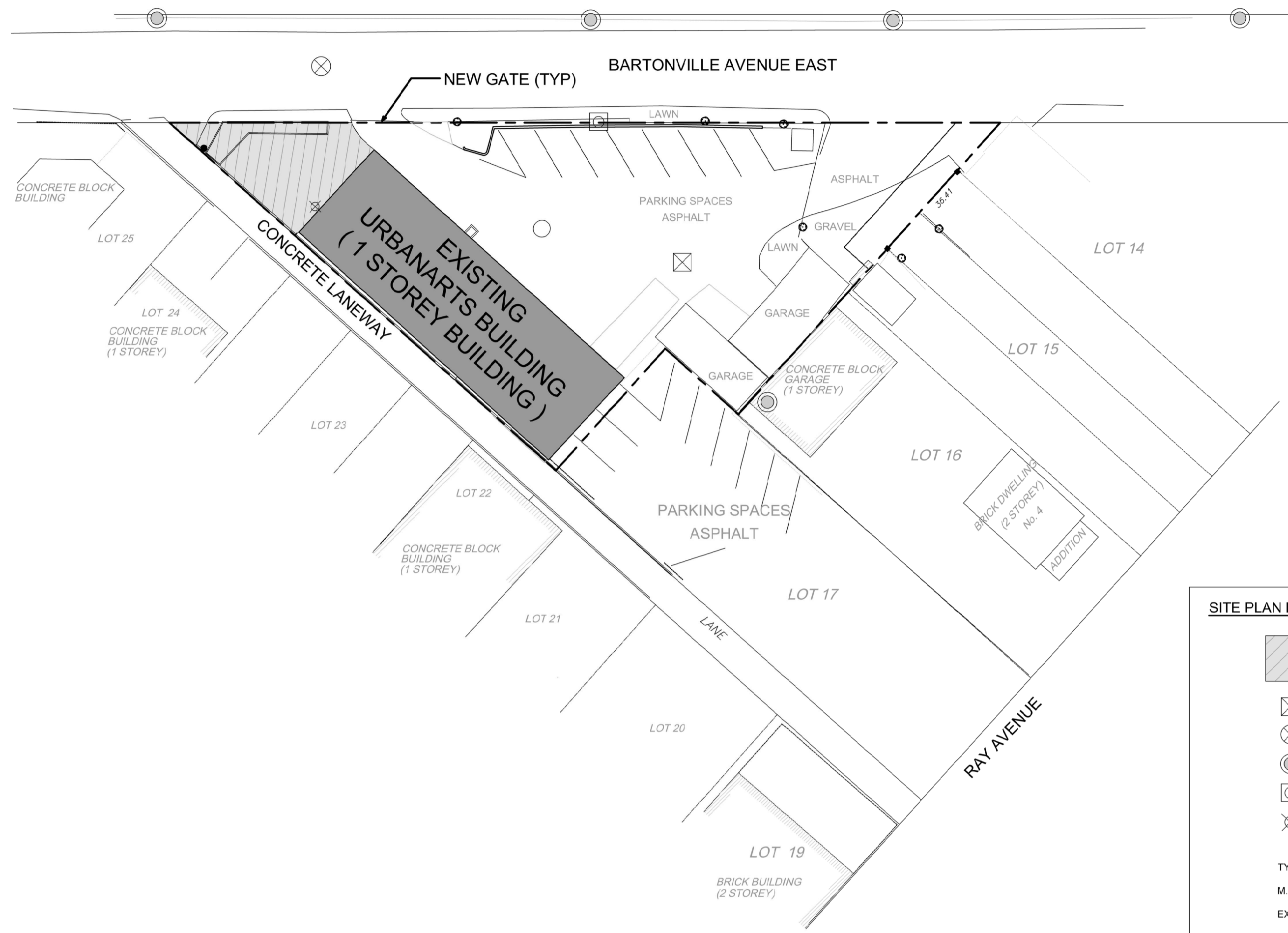
5 BARTONVILLE AVE EAST, YORK  
ONTARIO M6M 2B1



ARCHITECT :  
LANDSCAPE :

NGA ARCHITECTS  
NAK DESIGN STRATEGIES

**ISSUED FOR TENDER REVIEW  
NOVEMBER 17, 2023**



**SITE PLAN LEGEND:**

	EXTERIOR SCOPE OF WORK
	EXISTING CATCH BASIN TO REMAIN. (SEE NOTES FOR REQUIREMENTS)
	EXISTING MAN-HOLE TO REMAIN. (SEE NOTES FOR REQUIREMENTS)
	EXISTING FIRE HYDRANT TO REMAIN. (SEE NOTES FOR REQUIREMENTS)
	EXISTING LAMP POST TO REMAIN.
	EXISTING METER TO REMAIN.
TYP.	TYPICAL
M.G.A.T.	MAKE GOOD ON ALL TRADES AT JUNCTIONS
EXIST.	EXISTING

**DRAWING LIST**

**ARCHITECTURAL DRAWINGS:**

- COVER PAGE
- A001 DRAWING LIST, GENERAL NOTES & CONDITIONS, SITE PLAN AND KEY PLAN
- A002 SURVEY PLAN
- A100 DEMO AND NEW SITE PLAN

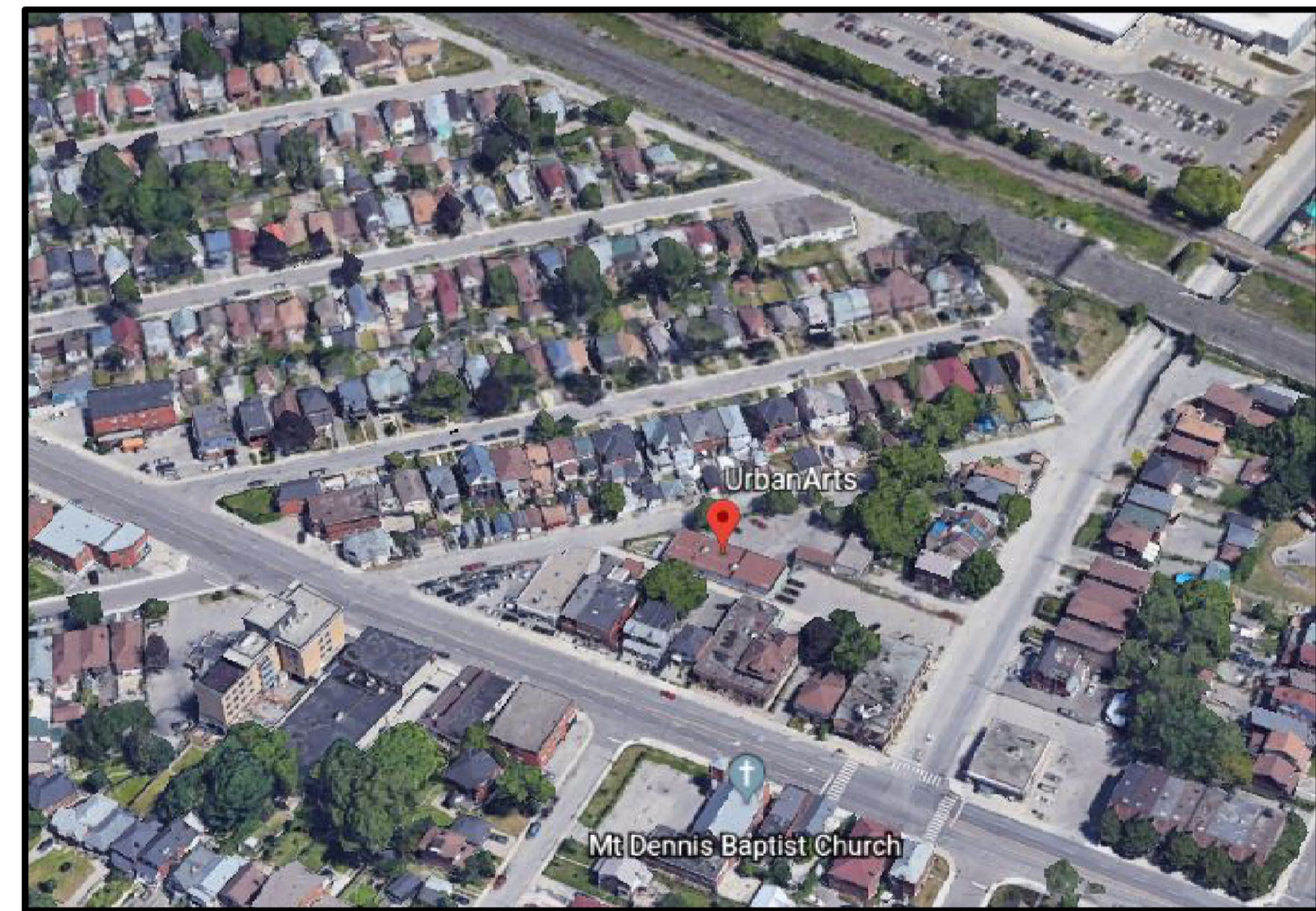
**LANDSCAPE DRAWINGS:**

- L1 LANDSCAPE PLAN
- L2 3D VIEW
- L3 LANDSCAPE DETAILS 1
- L4 LANDSCAPE DETAILS 2

**SOIL REPORT:**

"APPENDIX A"

**1** SITE PLAN  
A001 SCALE: N.T.S.



**2** KEY PLAN  
A001 SCALE: N.T.S.

**GENERAL NOTES & CONIDITIONS**

1. GENERAL CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE.
2. CHECK ALL MATERIALS USED IN CONSTRUCTION FOR DEFECTS. ONLY NEW, UNBLEMISHED MATERIALS TO BE USED.
3. THE WORK SHOWN ON THE DRAWINGS AND SPECIFICATIONS MAY OR MAY NOT BE ALL THE WORK REQUIRED. DO ALL DEMOLITION, MAKE GOOD ALL FINISHES AND EXECUTE ALL NECESSARY WORK INCLUDING INCIDENTALS TO MAKE A COMPLETE JOB OF THE ALTERATIONS.
4. WHERE NEW WORK, INCLUDING ALL ELECTRICAL AND MECHANICAL WORK, CONNECTS WITH EXISTING AND WHERE EXISTING WORK IS ALTERED, ALL NECESSARY CUTTING AND FITTING REQUIRED TO MAKE SATISFACTORY CONNECTIONS WITH THE EXISTING WORK SHALL BE PERFORMED UNDER THIS CONTRACT SO AS TO LEAVE THE ENTIRE WORK IN A FINISHED AND WORKMANLIKE CONDITION.
5. WHERE EXISTING WORK IS TO BE MADE GOOD THE NEW WORK SHALL MATCH EXACTLY THE OLD WORK IN MATERIAL, FORM, CONSTRUCTION AND FINISH UNLESS OTHERWISE NOTED OR SPECIFIED.
6. **WORKING HOURS:** CONFIRM WORK SCHEDULE WITH THE BOARD PRIOR TO THE COMMENCEMENT OF THE WORK.
7. MAKE GOOD ALL SURFACES DISTURBED BY THE EXECUTION OF THIS CONTRACT WHETHER SUCH SURFACES ARE LOCATED WITHIN THE AREA OF WORK OR NOT. MAKE GOOD TO NEW CONDITION MATCHING SURROUNDING SURFACES.
8. GENERAL CONTRACTOR SHALL CORRELATE AND COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS HAVING SEPARATE CONTRACTS WITH THE OWNER IN ORDER TO COMPLETE THE WORK AS EXPEDITIOUSLY AS POSSIBLE.
9. REFER TO DESIGNATED SUBSTANCE REPORT FOR THE EXTENT AND LEVEL OF ABATEMENT REQUIRED TO PERFORM CONTRACT.
10. SUBMIT THREE COPIES OF AS BUILT DRAWINGS PRIOR TO SUBSTANTIAL COMPLETION OR WORK.

**ISSUES**

NO.	DESCRIPTION	DATE
1.	PRELIMINARY DESIGN	21 JAN 2020
2.	PRELIMINARY DESIGN - CLIENT REVIEW	05 APR 2021
3.	ISSUED FOR TENDER REVIEW	22 APR 2022
4.	ISSUED FOR TENDER REVIEW	17 NOV 2023

**REVISIONS**



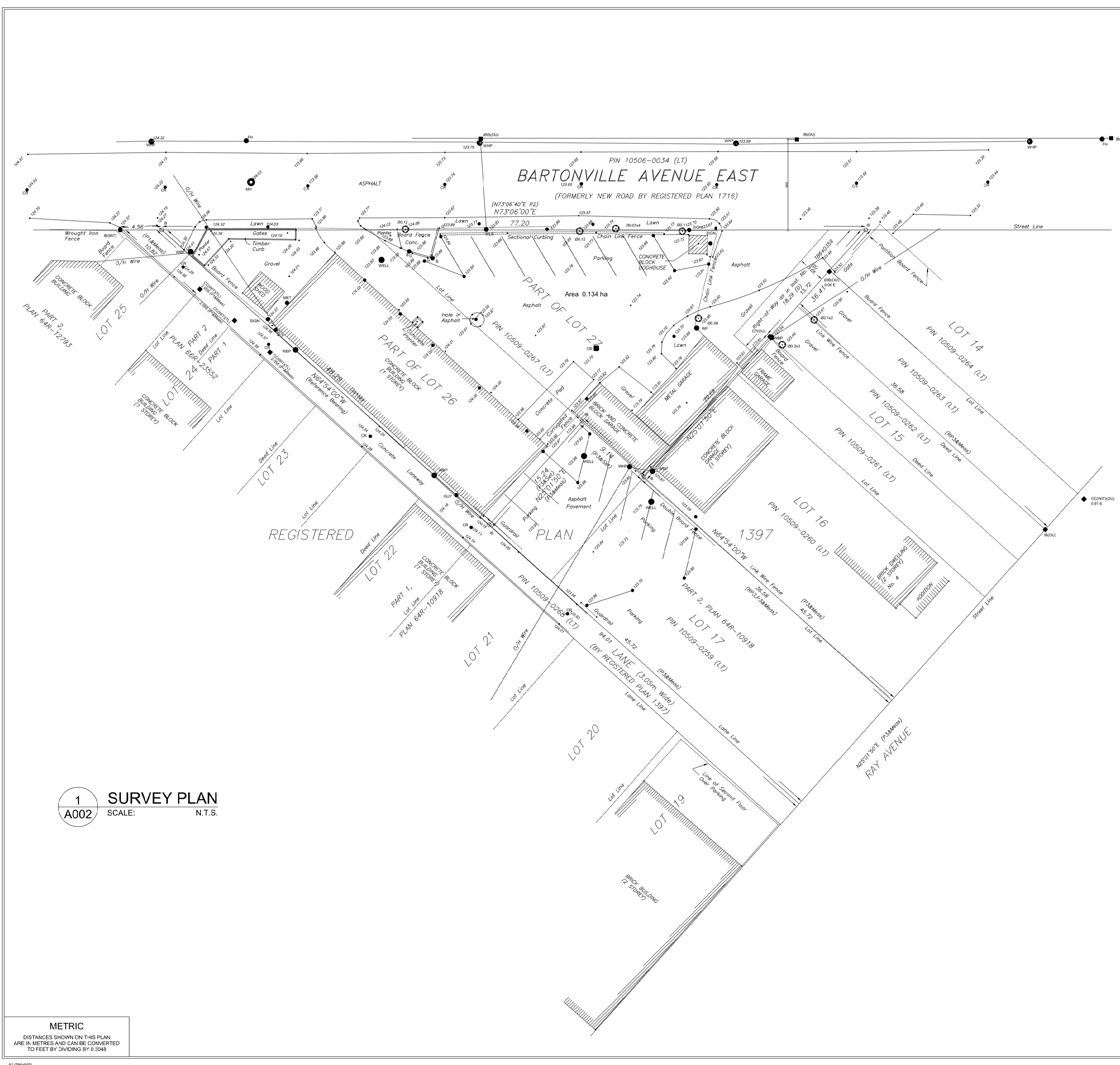
**CITY OF TORONTO**  
URBAN ARTS  
ECO-REJUVENATION  
AND INNOVATIVE  
GARDEN PROJECT  
5 BARTONVILLE AVE E., YORK  
ONTARIO M6M 2B1



ISSUED FOR CONSTRUCTION	DATE
STRUCTURAL CONSULTANT	-
MECHANICAL CONSULTANT	-
ELECTRICAL CONSULTANT	-

**DRAWING LIST,  
GENERAL NOTES, SITE  
PLAN AND KEY PLAN**

SHEET NO. <b>A001</b>	DRAWN BY ME	CHECKED RN
PROJECT NO. 2190670	SCALE AS SHOWN	

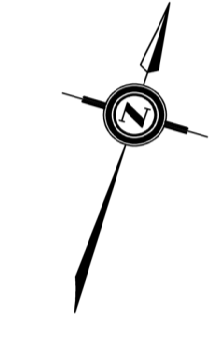


PLAN OF SURVEY WITH TOPOGRAPHY OF  
PART OF LOTS 26 AND 27  
REGISTERED PLAN 1397  
CITY OF TORONTO  
(FORMERLY CITY OF YORK)

SCALE 1 : 200

SPEIGHT, VAN NOSTRAND & GIBSON LIMITED  
ONTARIO LAND SURVEYORS

THE REPRODUCTION, ALTERATION OR USE OF THIS REPORT, IN WHOLE OR IN PART, WITHOUT THE EXPRESS PERMISSION OF SPEIGHT, VAN NOSTRAND & GIBSON LIMITED IS STRICTLY PROHIBITED.



**BEARING NOTE**  
BEARINGS ARE ASTROMERIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF 3.05 LANE AS SHOWN ON PLAN 68R-2352, HAVING A BEARING OF N64°54'00\"/>

- ELEVATION NOTE**  
ELEVATIONS ARE BASED ON THE CANADIAN GEODETIC DATUM AND WERE DERIVED FROM CITY OF TORONTO BENCH MARK Y1223, HAVING A PUBLISHED ELEVATION OF 123.857 METRES.
- LEGEND**
- DENOTES SURVEY MONUMENT FOUND
  - DENOTES SURVEY MONUMENT PLANTED
  - WIT WITNESS MONUMENT
  - SIB STANDARD IRON BAR
  - SBB SHORT STANDARD IRON BAR
  - IB IRON BAR
  - CC CUT CROSS
  - CP CONCRETE PIN
  - N,S,E,W NORTH, SOUTH, EAST, WEST
  - WIT WITNESS MONUMENT
  - CTS CITY OF TORONTO SURVEYORS
  - TL TED VAN LANVELD
  - OU ORIGINAL UNDIVIDED
  - RP1 REGISTERED PLAN 1716
  - RP2 REGISTERED PLAN 1397
  - P1 PLAN 68R-2352
  - P2 PLAN 68R-12793
  - P3 PLAN 68R-10918
  - Ø DIAMETER
  - B BOLLARD
  - CR CATCH-BASIN
  - CR CENTRE OF ROAD
  - GLY GUY WIRE
  - MEI METER
  - MHC MANHOLE
  - GH OVERHEAD
  - WBP WOOD BELL POLE
  - WEL MOUNTING WELL
  - WIP WOOD IRONING POLE
  - WLS WOOD LIGHT STANDARD
  - WP WOOD POLE
  - Ø DECIDUOUS TREE

**SURVEYOR'S CERTIFICATE**  
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT,  
THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON DECEMBER 2, 2009.

DATE: JANUARY 11, 2010

LES RUCONICKI  
ONTARIO LAND SURVEYOR

<b>SPEIGHT, VAN NOSTRAND &amp; GIBSON LIMITED</b> ONTARIO LAND SURVEYORS 750 DUNDAS ROAD, UNIT 65 & 66 TORONTO, ONTARIO M5N 2Z4 TEL: 416 291-2000 FAX: 416 749-7869 E-MAIL: info@svngibson.com		<b>ASSOCIATION OF ONTARIO LAND SURVEYORS</b> PLAN 68R2352/1397/1756689	
DRAWN: F. P. B.	FILE NAME: A0910326.DWG	THIS PLAN IS NOT VALID UNLESS IT IS IN ACCORDANCE WITH THE ORIGINAL COPY ISSUED BY THE SURVEYOR IN ACCORDANCE WITH REGULATION 103, SECTION 16.2.	
CHECKED: L. R.	PLOT SCALE: MET. 1:40.20		
JOB No.: 091-036	PLOTTED: DEC. 3, 2009		
REF. No.: 12-1397Y	UPDATED:		

1 SURVEY PLAN  
A002 SCALE: N.T.S.

METRIC  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

1 SURVEY PLAN  
A002 SCALE: N.T.S.

12-1397Y

**NOTES:**  
1. SITE SURVEY HAS BEEN PREPARED BY SPEIGHT, VAN NOSTRAND & GIBSON LTD DATED JANUARY 11, 2010.

ISSUES		
NO.	DESCRIPTION	DATE
1.	PRELIMINARY DESIGN	21 JAN 2010
2.	PRELIMINARY DESIGN - CLIENT REVIEW	05 APR 2011
3.	ISSUED FOR TENDER REVIEW	22 APR 2012
4.	ISSUED FOR TENDER REVIEW	17 NOV 2013

REVISIONS

PROJECT

Corporate Services  
Facilities & Real Estate Division

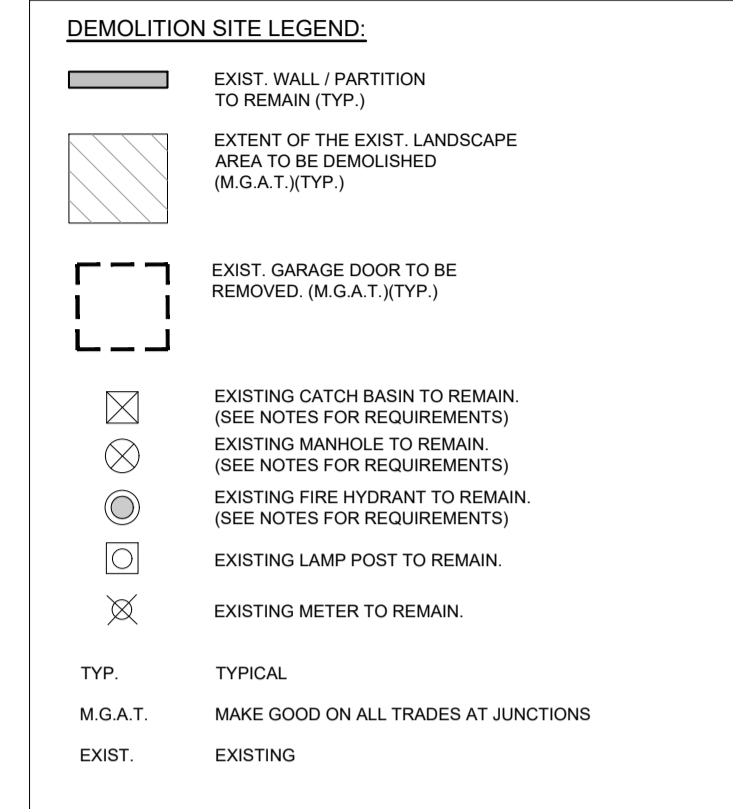
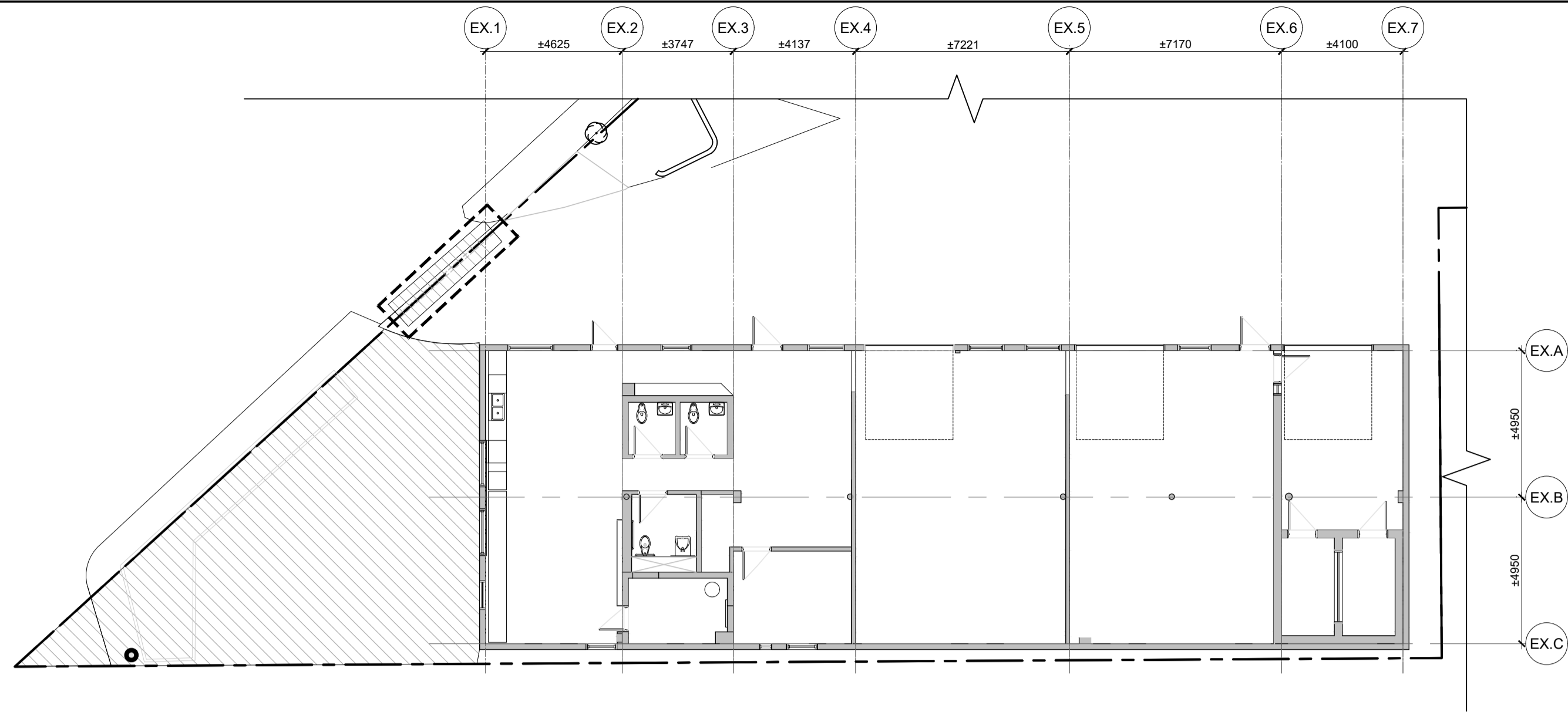
CITY OF TORONTO  
URBAN ARTS  
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ONTARIO M6M 2B1

NGA ARCHITECTS

ISSUED FOR CONSTRUCTION	DATE
STRUCTURAL CONSULTANT	
MECHANICAL CONSULTANT	
ELECTRICAL CONSULTANT	

SHEET TITLE  
DRAWING LIST,  
GENERAL NOTES, SITE  
PLAN AND KEY PLAN

SHEET NO.	DRAWN BY	CHECKED	RN
A002	ME	ME	
PROJECT NO.	2190670		
SCALE	AS SHOWN		

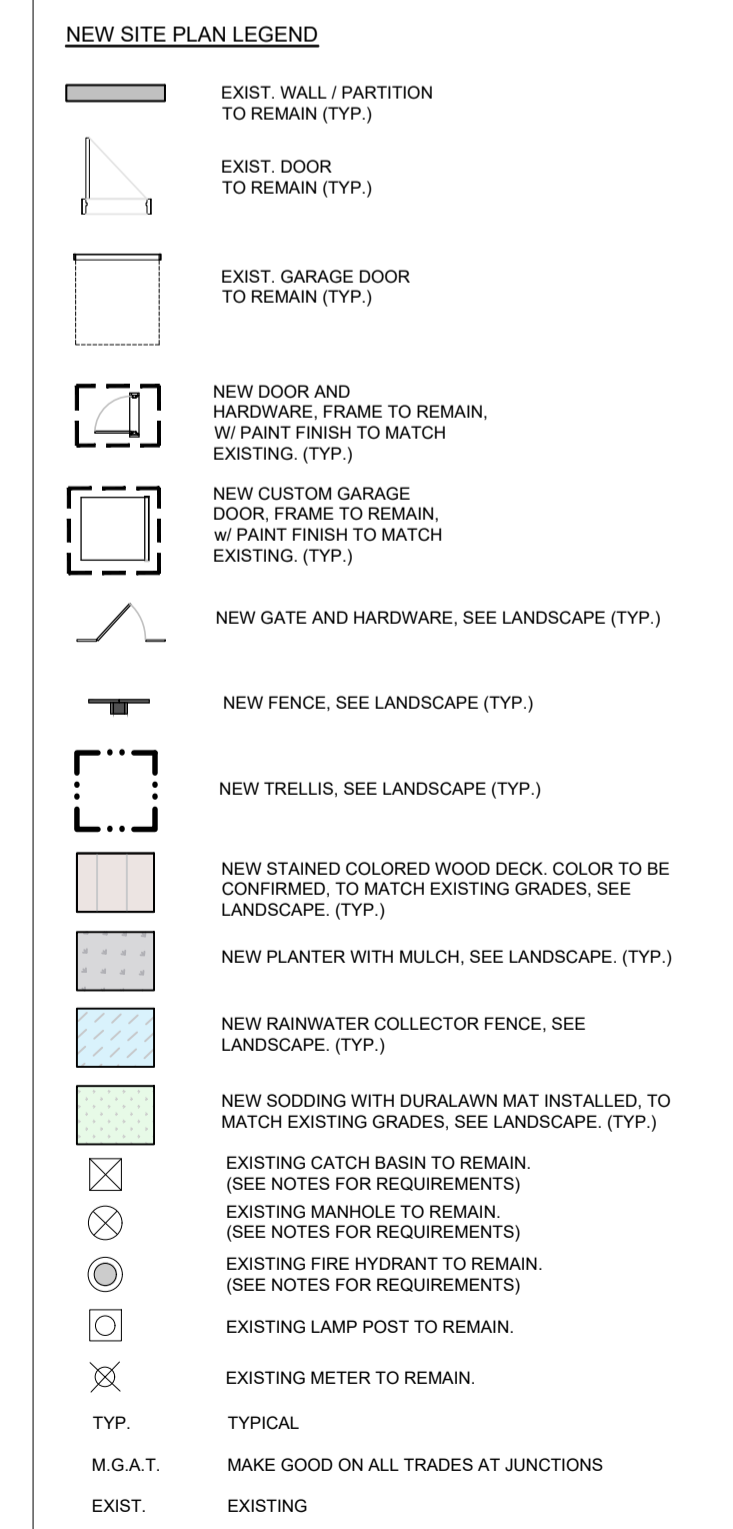
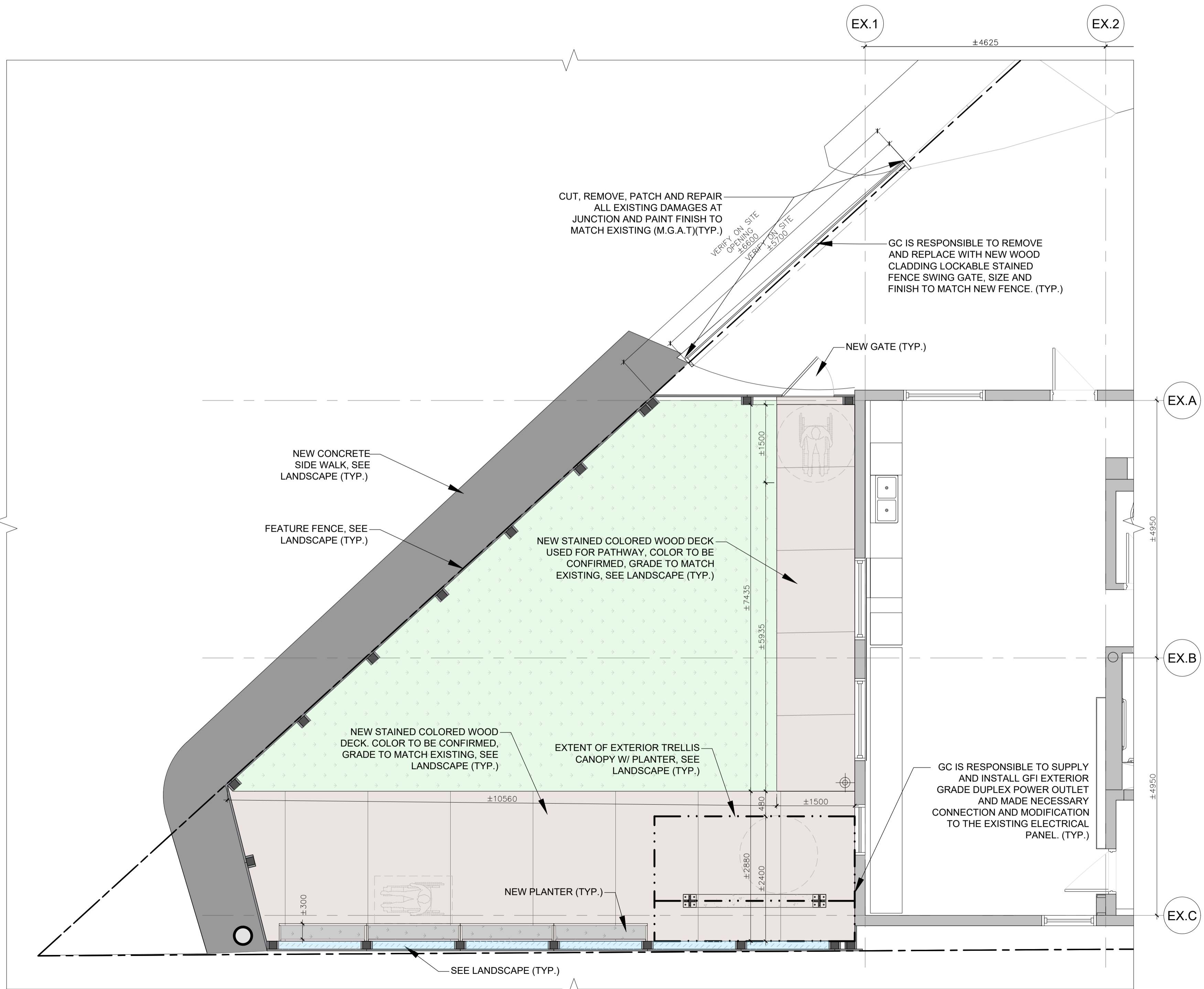


**LEGEND**

- EXIST./EX. EXISTING
- TYP. TYPICAL
- VIF VERIFY IN FIELD
- NIC NOT IN CONTRACT
- M.G.A.T. MAKE GOOD ON AT ALL TRADES AT JUNCTIONS



**1 DEMOLITION PLAN**  
SCALE: 1:100



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**REVISIONS**

**Toronto**  
Corporate Services  
Facilities & Real Estate Division

**CITY OF TORONTO**  
URBAN ARTS  
ECO-REJUVENATION  
AND INNOVATIVE  
GARDEN PROJECT

5 BARTONVILLE AVE. E., YORK  
ONTARIO M6M 2B1

**NGA ARCHITECTS**

The corporation shall retain and accept all responsibility for the design and construction of the project and the design professional shall not be liable for any errors or omissions in the design and construction of the project.

ISSUED FOR CONSTRUCTION	DATE

STRUCTURAL CONSULTANT	
MECHANICAL CONSULTANT	
ELECTRICAL CONSULTANT	

**DEMO AND NEW SITE PLAN**

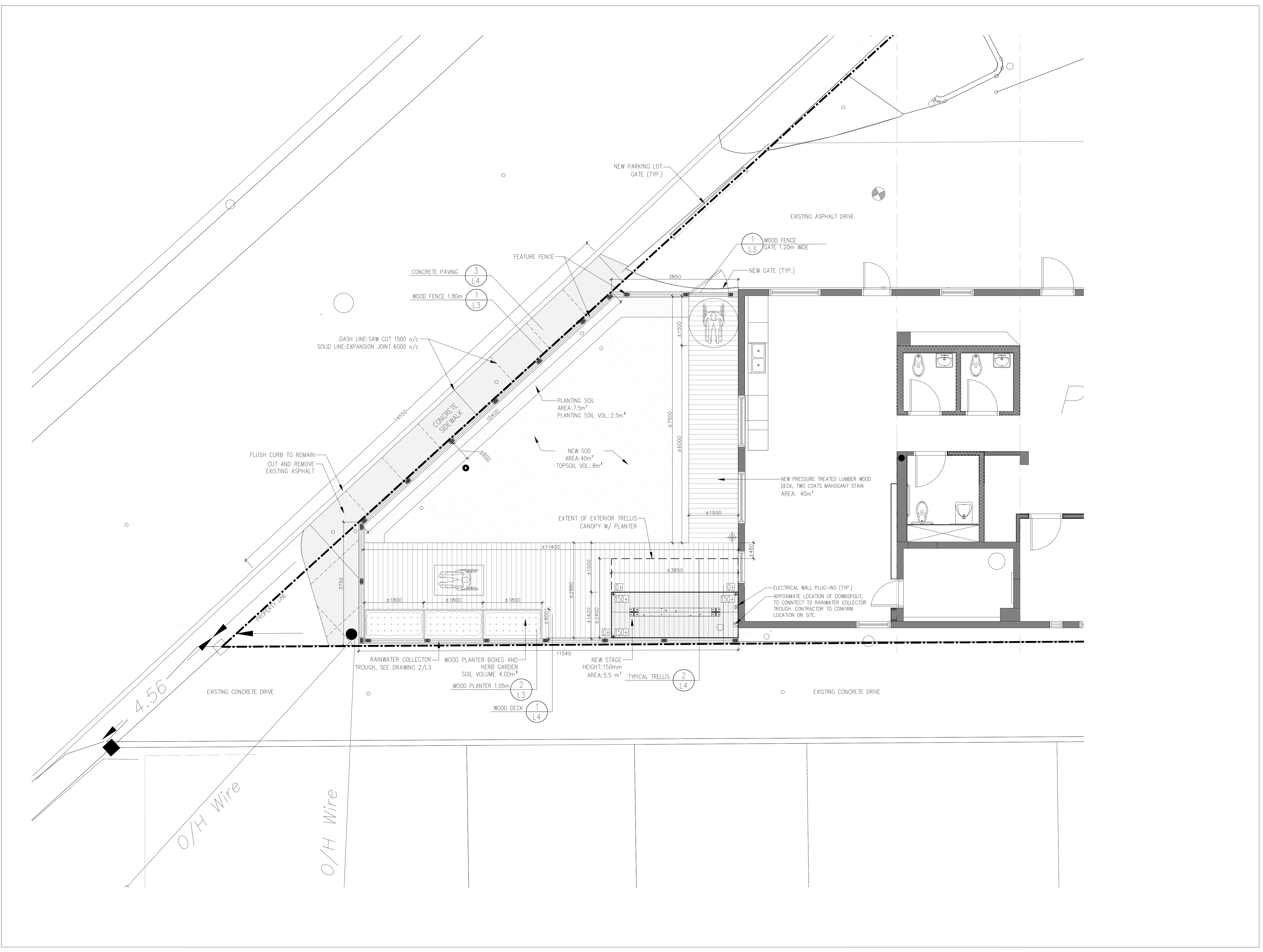
SHEET NO.	DRAWN BY	CHECKED
A100	ME	RN

PROJECT NO. 2190670  
SCALE AS SHOWN

**2 NEW SITE'S FLOOR PLAN**  
SCALE: 1:100

Contractor shall check all dimensions on the work and report any discrepancy to the Landscape Architect before proceeding. All drawings and specifications are the property of the Landscape Architect and must be returned at the completion of the work. This drawing is not to be used for construction until signed by the Landscape Architect.

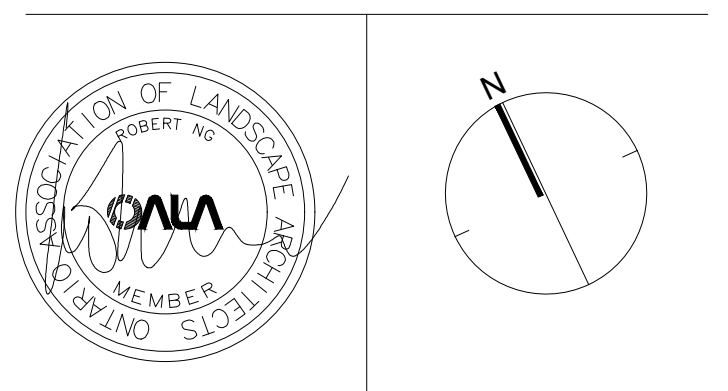
Key Plan



**NEW SITE PLAN LEGEND**

	PROPERTY LINE
	EXIST. WALL / PARTITION TO REMAIN (TYP.)
	EXIST. DOOR TO REMAIN (TYP.)
	NEW GATE AND HARDWARE (TYP.)
	NEW FENCE (SEE DETAILS)
	NEW TRELLIS (TYP.)
	NEW CONCRETE SLAB FOR TRELLIS (TYP.)
	NEW PRESSURE TREATED WOOD DECK, STAINED TWO COATS MAHOGANY, TO MATCH EXISTING GRADES (TYP.)
	NEW PLANTER BOX
	NEW SODDING, TO MATCH EXISTING GRADES (TYP.)
	PLANTING SOIL, TO MATCH EXISTING GRADES (TYP.)
	NEW CONCRETE SIDEWALK
	EXISTING CATCH BASIN TO REMAIN (SEE NOTES FOR REQUIREMENTS)
	EXISTING MANHOLE TO REMAIN (SEE NOTES FOR REQUIREMENTS)
	EXISTING FIRE HYDRANT TO REMAIN (SEE NOTES FOR REQUIREMENTS)
	EXISTING LAMP POST TO REMAIN
	EXISTING METER TO REMAIN

-		
-		
-		
-		
-		
2	Issued for Tender Review	17.Nov.23
1	Issued for Tender Client Review	22.Apr.22
No.	Description	Date
Revision		
City Approval Stamp		



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design strategies

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Project

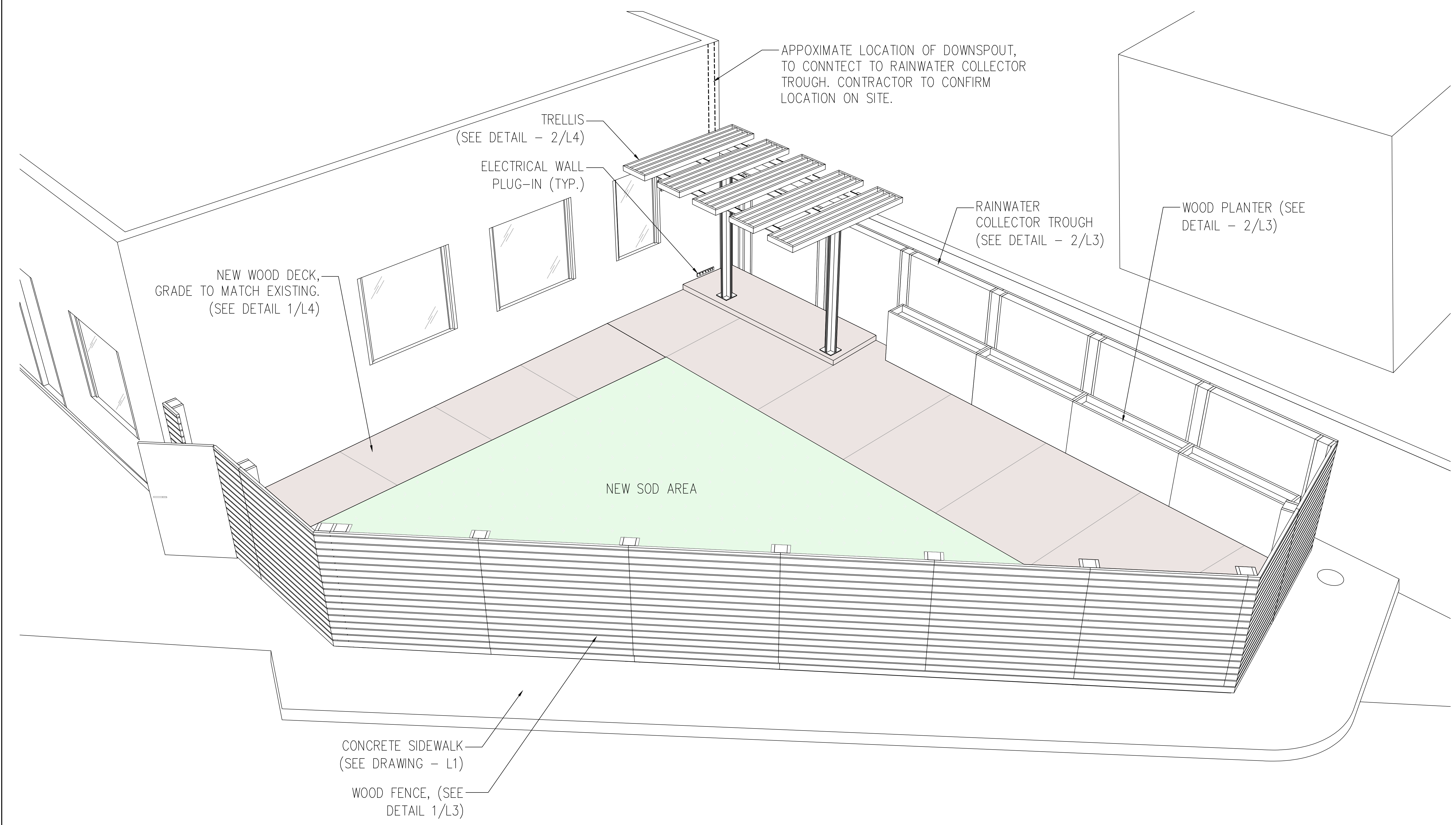
**5 BARTONVILLE POL2**

Title  
**LANDSCAPE PLAN**

Date	06-04-2021	Sheet
Scale	1:50	
Drawn	ZZ	
Checked	RN	
Job No.	21129	<b>L1</b>

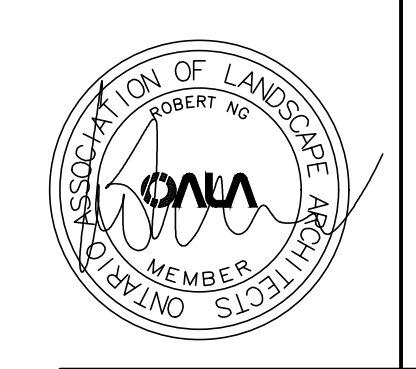
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Key Plan



-		
-		
-		
-		
2	Issued for Tender Review	17.Nov.23
1	Issued for Tender Client Review	22.Apr.22
No.	Description	Date
Revision		

City Approval Stamp



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Project

**5 BARTONVILLE POL2**

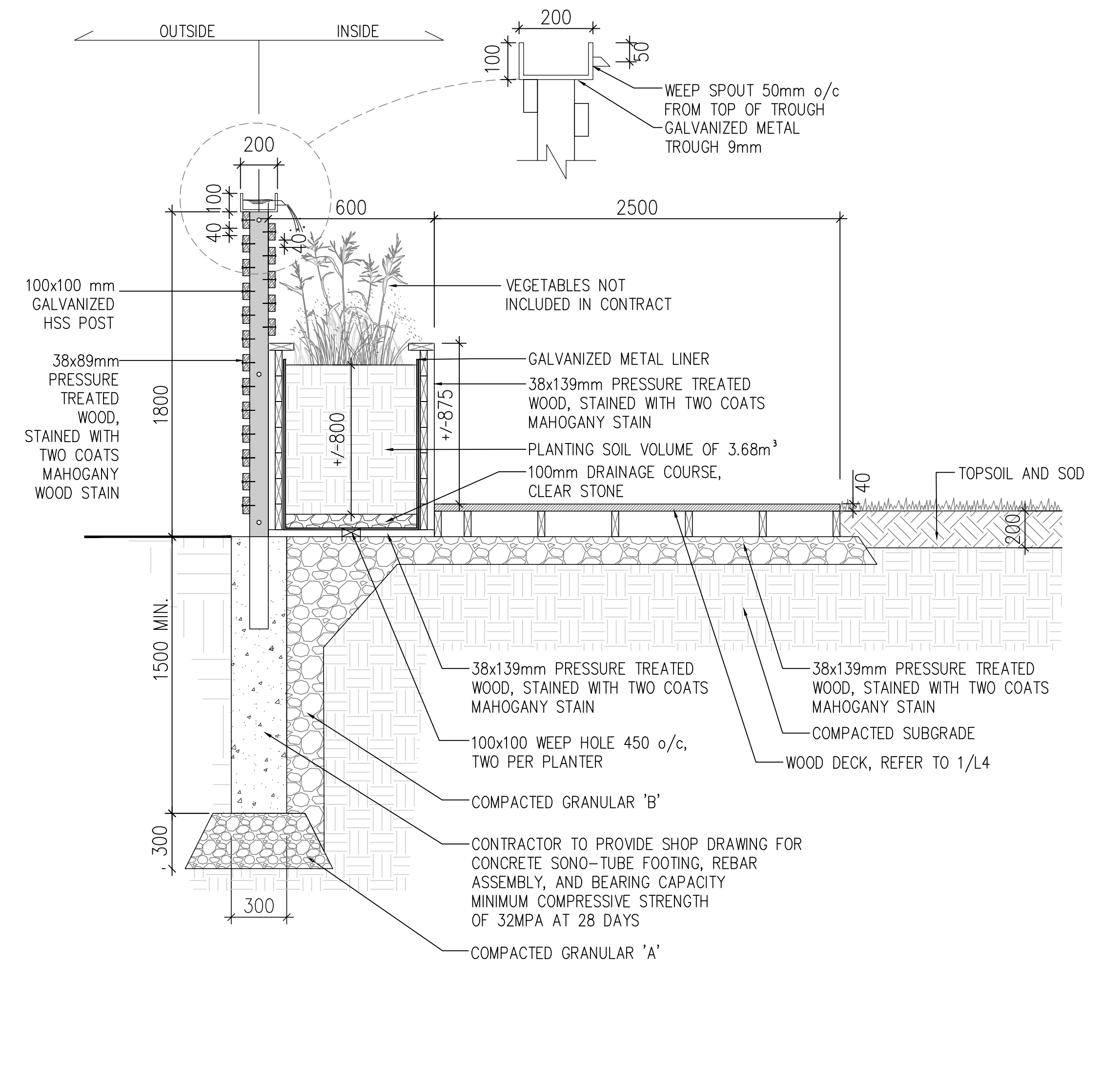
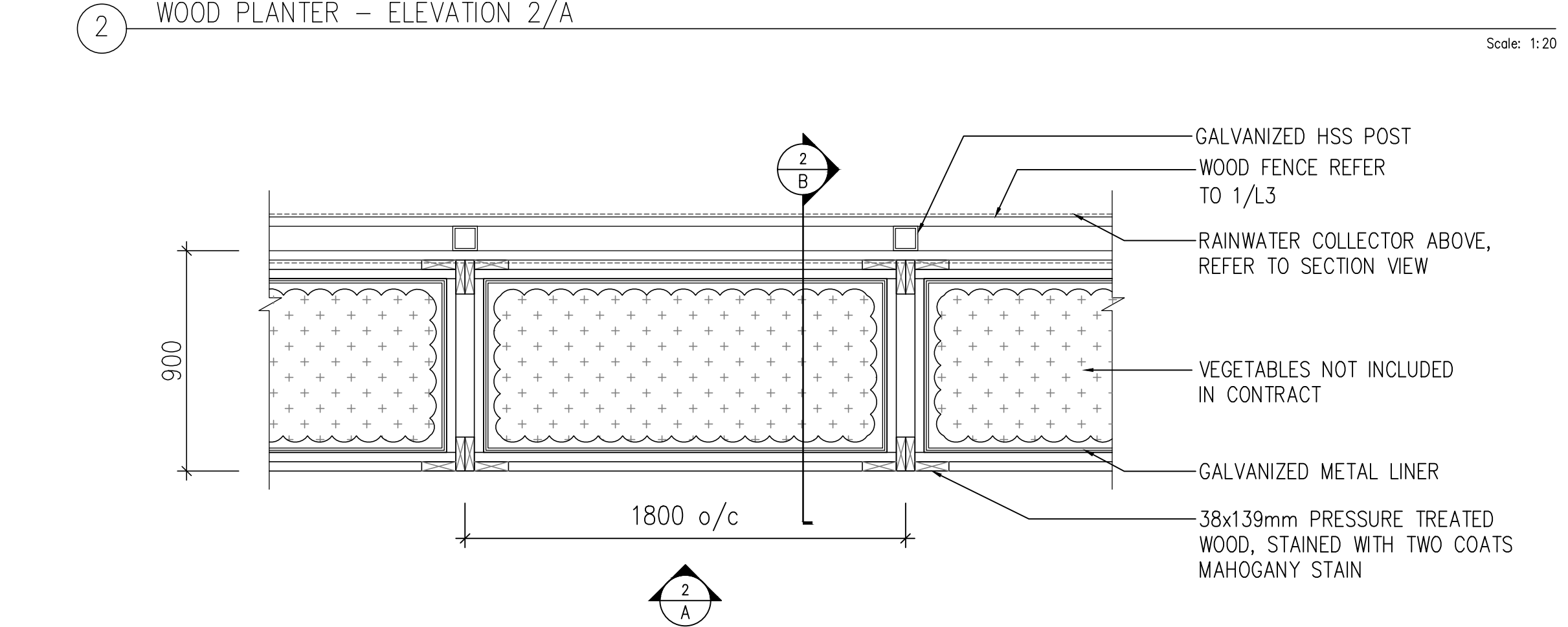
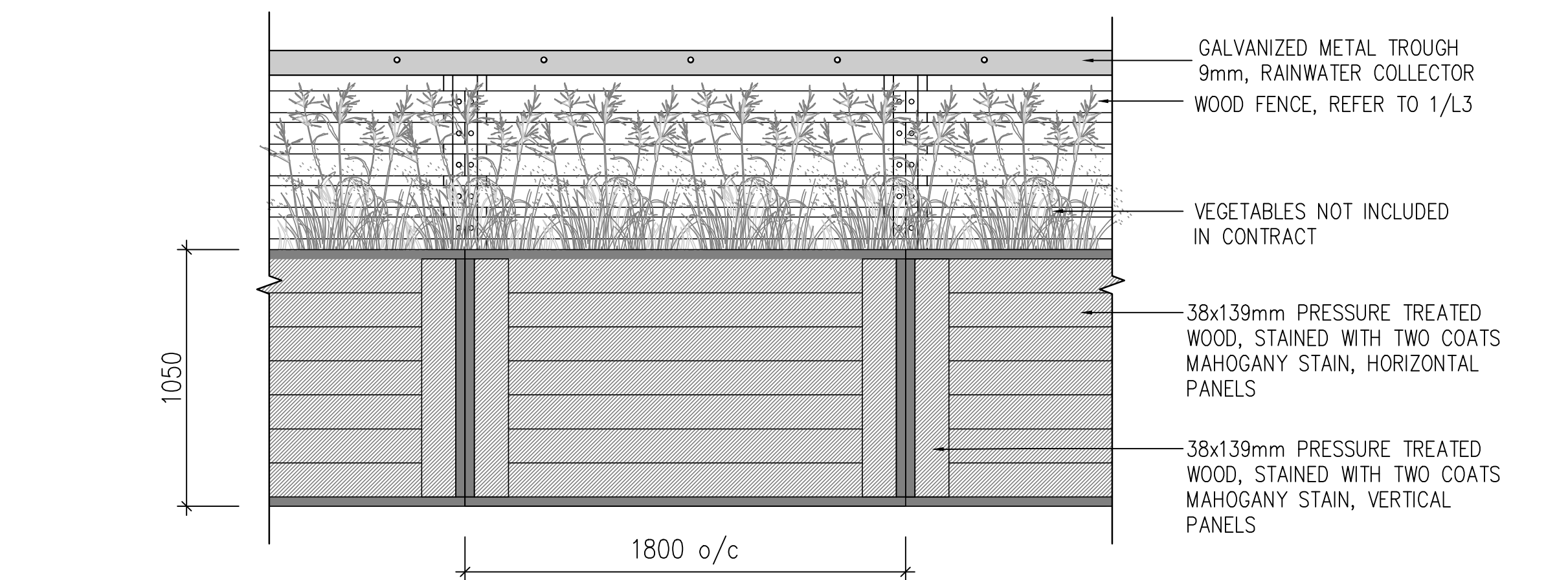
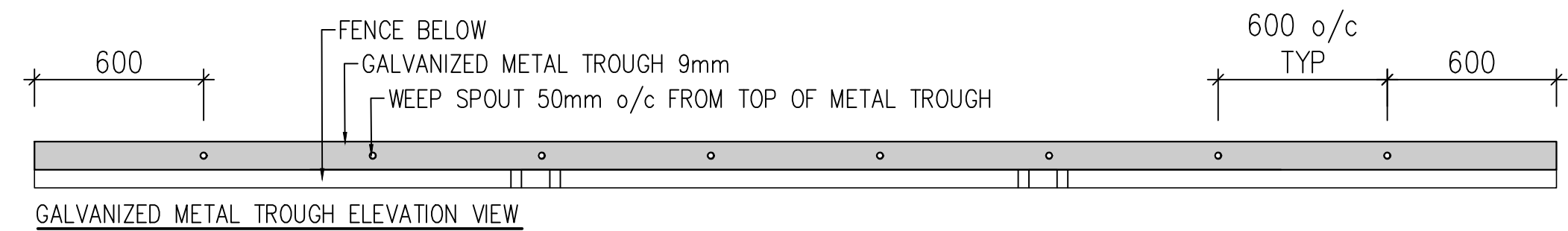
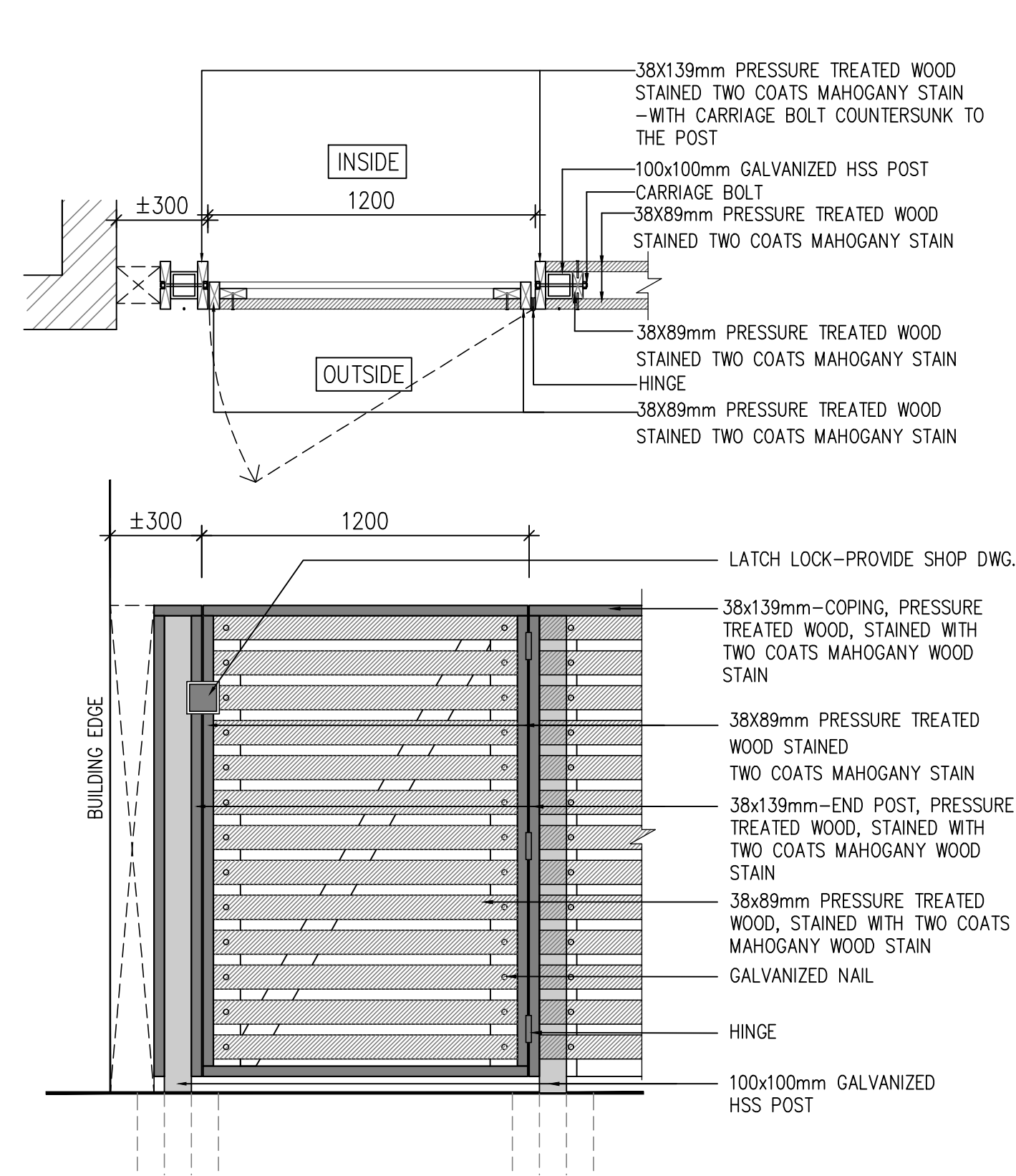
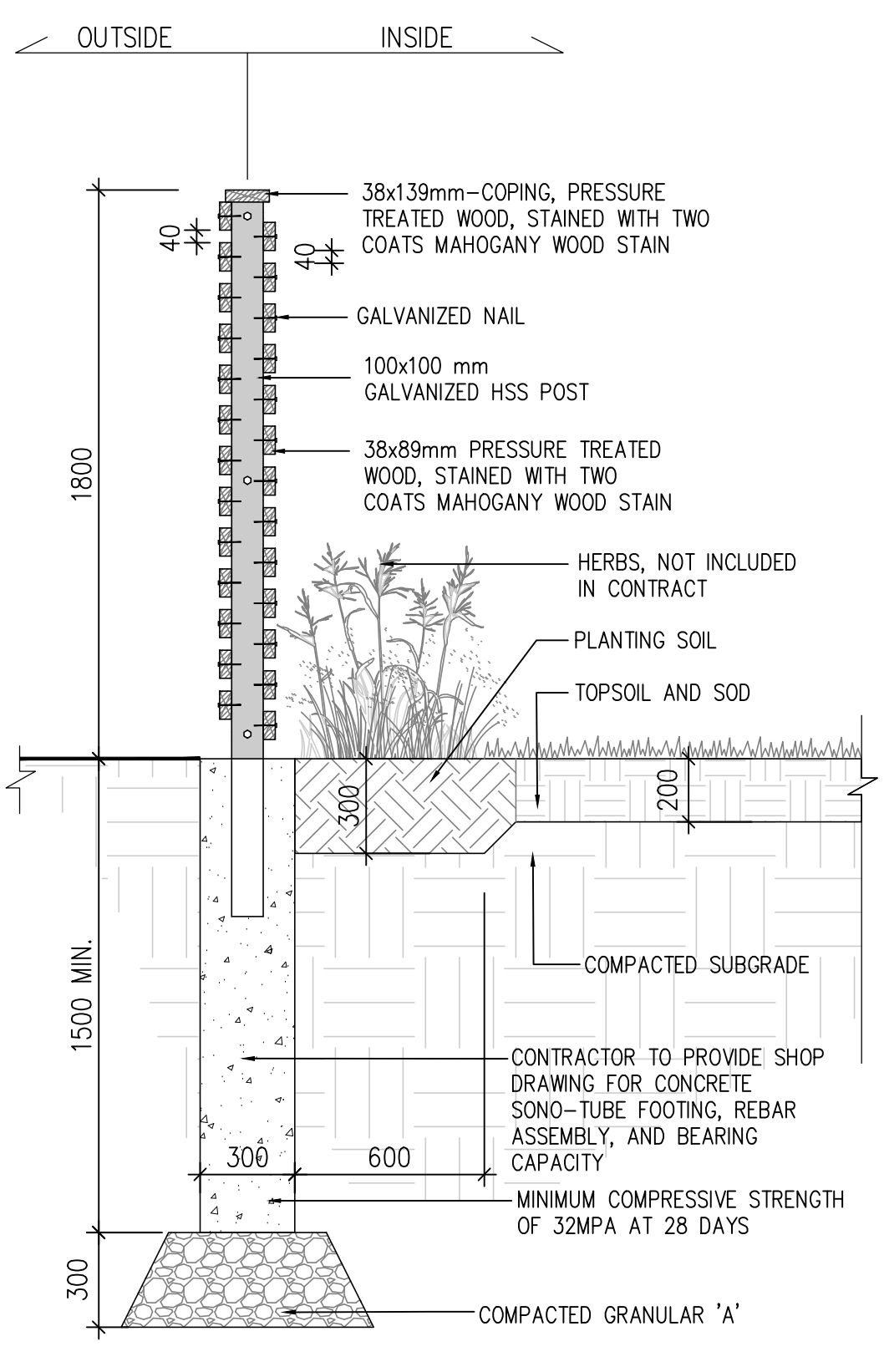
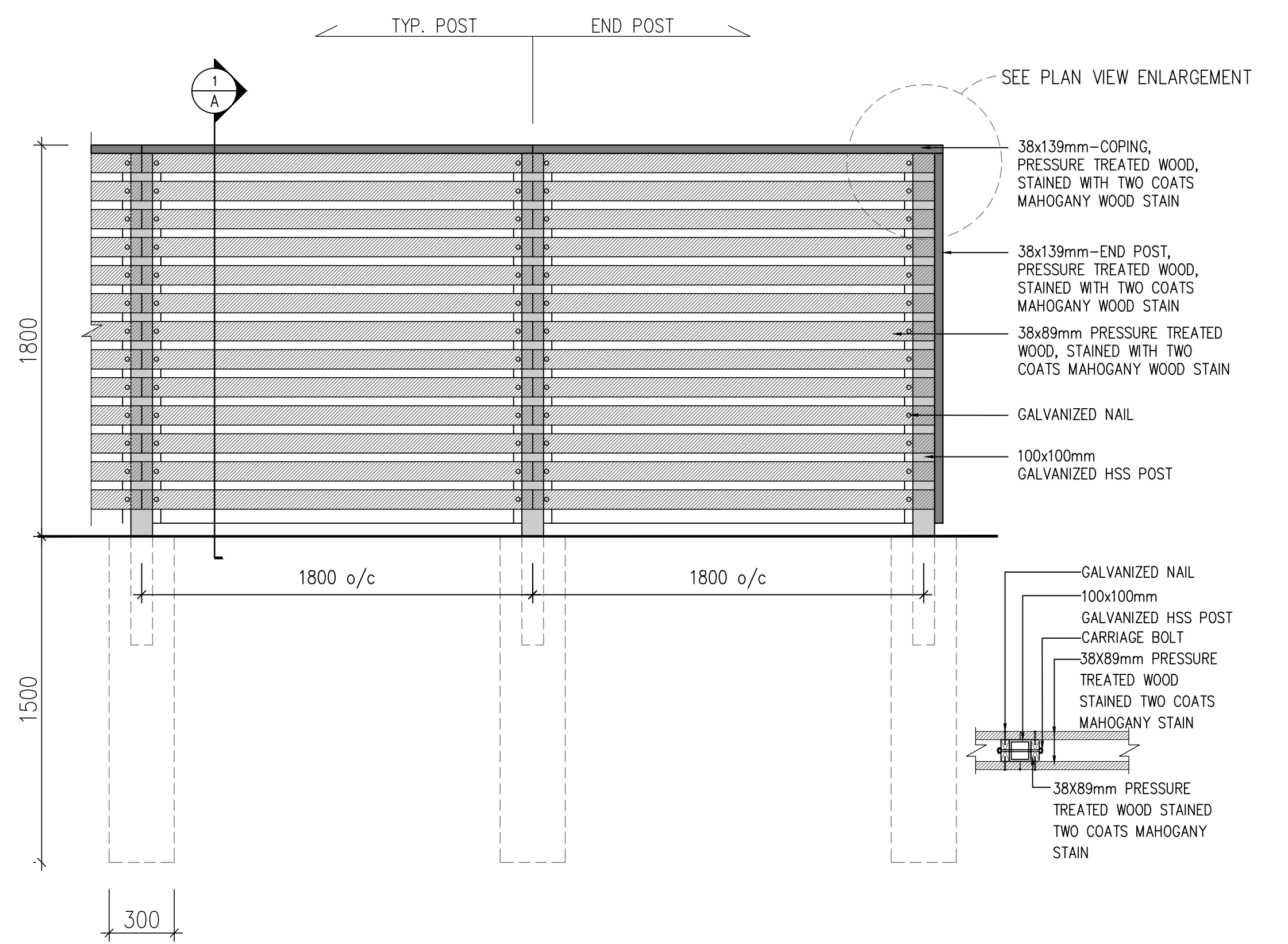
Title

3D VIEW

Date 06-04-2021  
Scale AS SHOWN  
Drawn ZZ  
Checked RN  
Job No. 21129

Sheet

**L2**



**GENERAL NOTES:**

**PLANTING SOIL:**  
Planting soil specification: Sandy loam soil, comprising 50 to 60 percent sand, 20 to 40 percent silt, 6 to 10 percent clay, 2 to 5 percent organic, with pH of 7.5 or less.

**SOD:**  
Turf grass nursery sod: specially sown and cultivated in nursery fields in compliance with the specifications of the latest issue of the Nursery Sod Growers Association of Ontario number one Kentucky Bluegrass-Fescue Sod.

**TOP SOIL :**  
Topsoil Component Topsoil shall be naturally occurring soil, harvested from the O or A horizon of the soil profile, suitable for the germination of seeds and the support of vegetative growth, and meeting the following requirements:

**SOIL PARTICLE SIZE DISTRIBUTION**

Sand (0.05 - 2 mm)	20-70%
Silt (0.002 - 0.05)	Total SSC will sum 100%
Clay (<0.002mm)	15 - 30%
Gravel (2 - 75 mm)	< 5%
Chemical analysis	pH: 5.5 - 7.8
Nutrient levels (ppm)	Phosphorous 10 - 60
	Potassium 80 - 250
	Calcium < 5000
	Magnesium 100 - 300
Soluble salt	< 0.50 mmhos/cm
Sodium Adsorption Ratio	<15
Cation Exchange Capacity (CEC)	> 20 meq/100g
Percent organic matter	2.5 - 5%

Topsoil shall retain a significant portion of the soil's ped structure when stockpiled at the supplier's yard. Peds are defined as the clumps of soil naturally aggregated during the soil building process, by clays and soil biology. Peds of any size are permissible.

The Contract Administrator shall evaluate the presence of peds by visual examination of the sample submitted. The addition of coarse sands and organic amendments may reduce the presence of peds.

Topsoil shall not be screened through sieves or screens smaller than 50 mm to avoid eliminating soil peds.

Topsoil shall not contain materials and contaminants at levels that would be detrimental to plant growth; or impair drainage, installation or maintenance of the resulting growing medium; or adversely impact its intended use including containing the following

- Refuse; roots; construction debris; wood or sticks larger than 25 mm in diameter; brush; clumps of root mats of plants and toxic materials
- Lumps of clay or subsoil larger than 50 mm
- Stones larger than 75 mm
- Deleterious substances; plant or soil pests; undesirable grasses including crabgrass or couch grass, noxious or weeds or weed seeds.

Topsoil shall be in according to Toronto Municipal Code Chapter 489, Grass and Weeds. The contractor shall be responsible for removing all weeds that germinate during the plant maintenance period.

Topsoil shall be harvested from approved source locations that comply with all regulations governing the removal of topsoil.

Topsoil may be purchased from a source of collected topsoil from development sites provided the sources of the topsoil stockpile is of similar textures and meets the requirements of this specification.

Topsoil shall not be a soil mix including any combination of sand, fertilizer, or organic matter or compost added to mineral soil in order to meet the texture, chemical or organic requirements for topsoil. The organic matter content of the soil shall be residue of long term, natural soil building processes and not from added organic matter or compost.

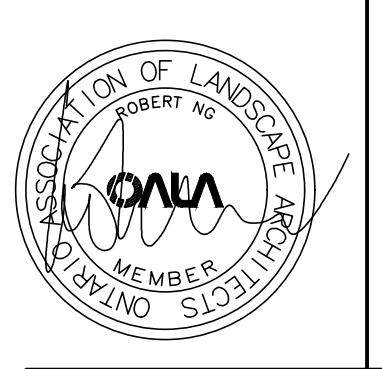
**MINIMUM FIELD COMPACTION REQUIREMENTS:**

Material Type	Applicant	Minimum target density
Earth backfill	Boulevards & sidewalks	95% SPMD
Granular bedding and cover material	Utility cut restorations & trenching works in pavement	98% SPMD
Granular base & subbase	Pavements, curbs, sidewalks, boulevards & utility cut restorations	100% SPMD

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Key Plan

2	Issued for Tender Review	17.Nov.23
1	Issued for Tender Client Review	22.Apr.22
No.	Description	Date
Revision		
City Approval Stamp		



**NAK**  
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Project

**5 BARTONVILLE POL2**

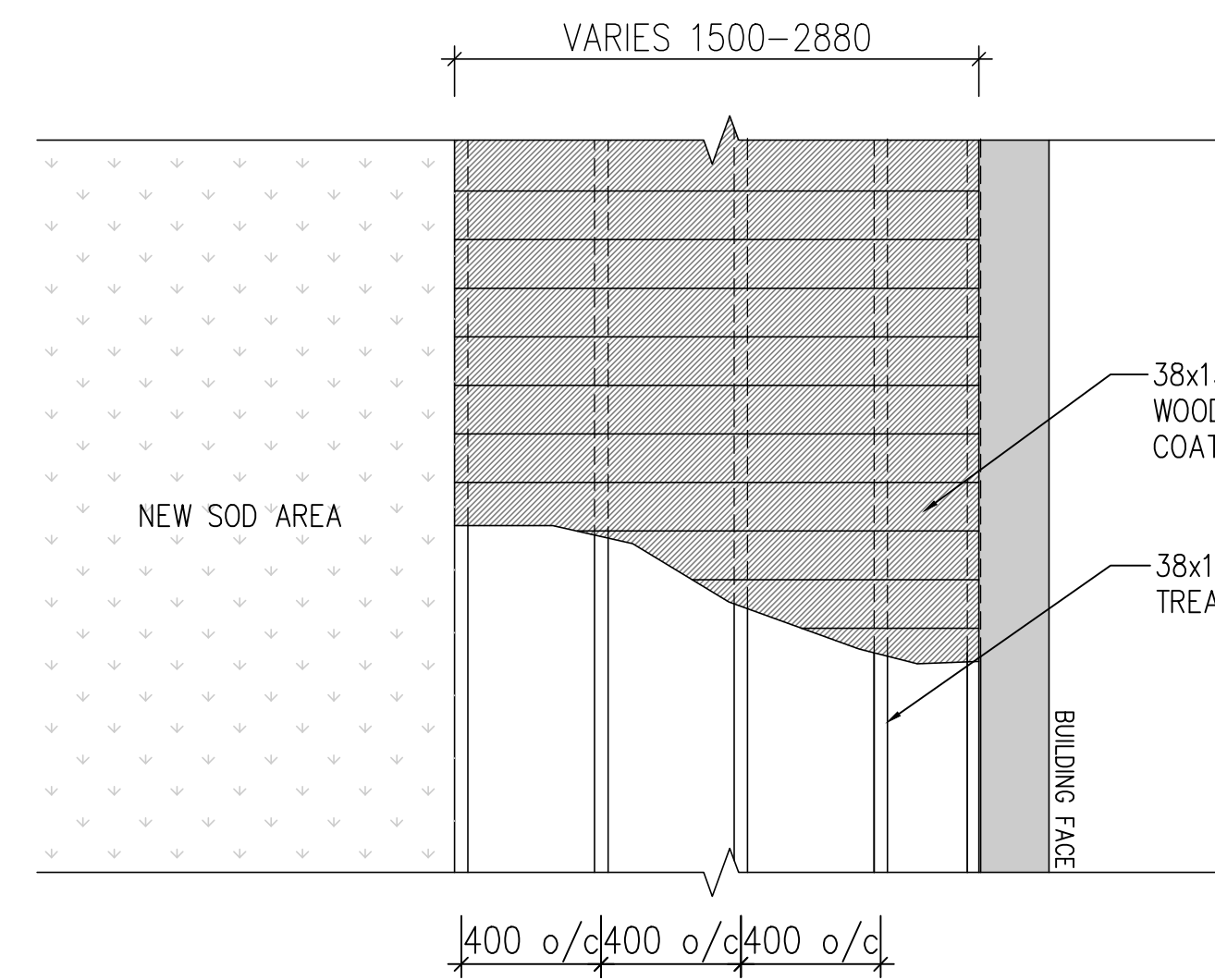
Title  
Landscape Details

Date 06-04-2021  
Scale AS SHOWN  
Drawn ZZ  
Checked RN  
Job No. 21129

Sheet  
**L3**

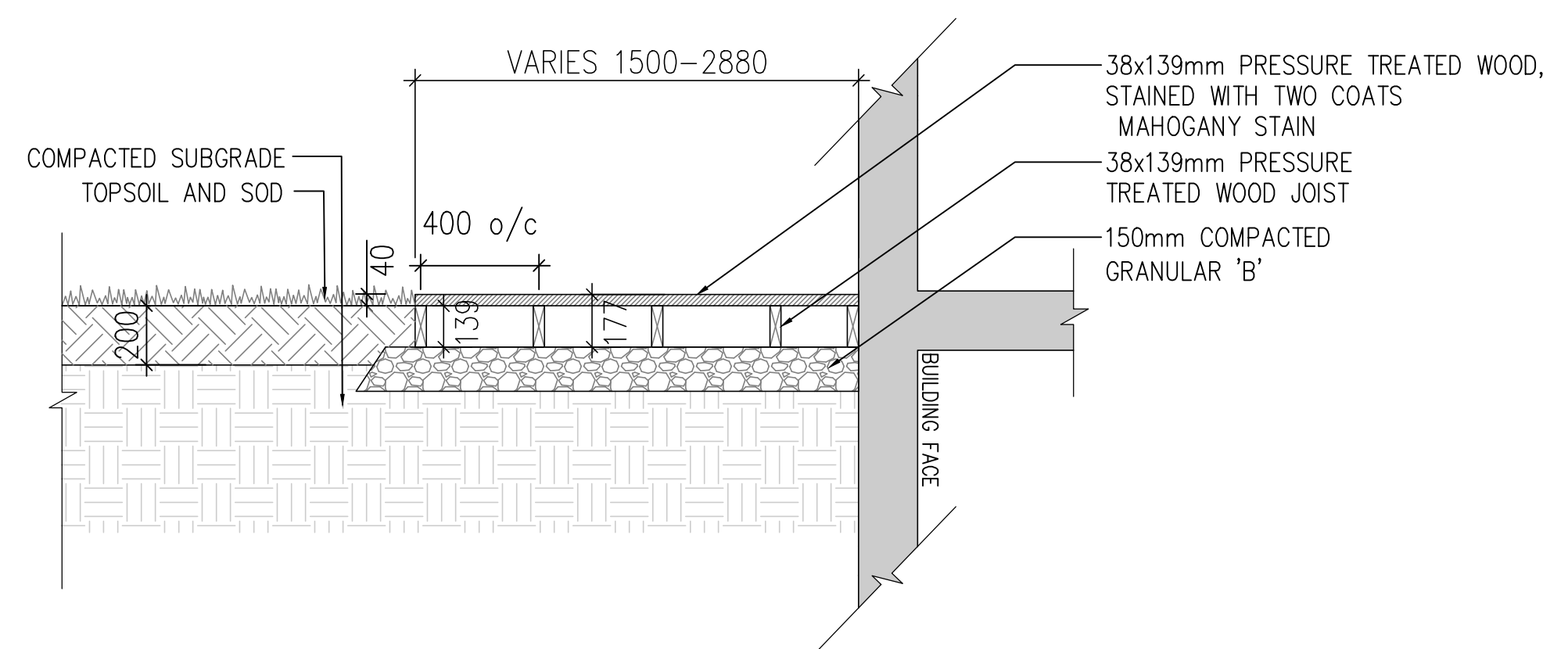
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Key Plan



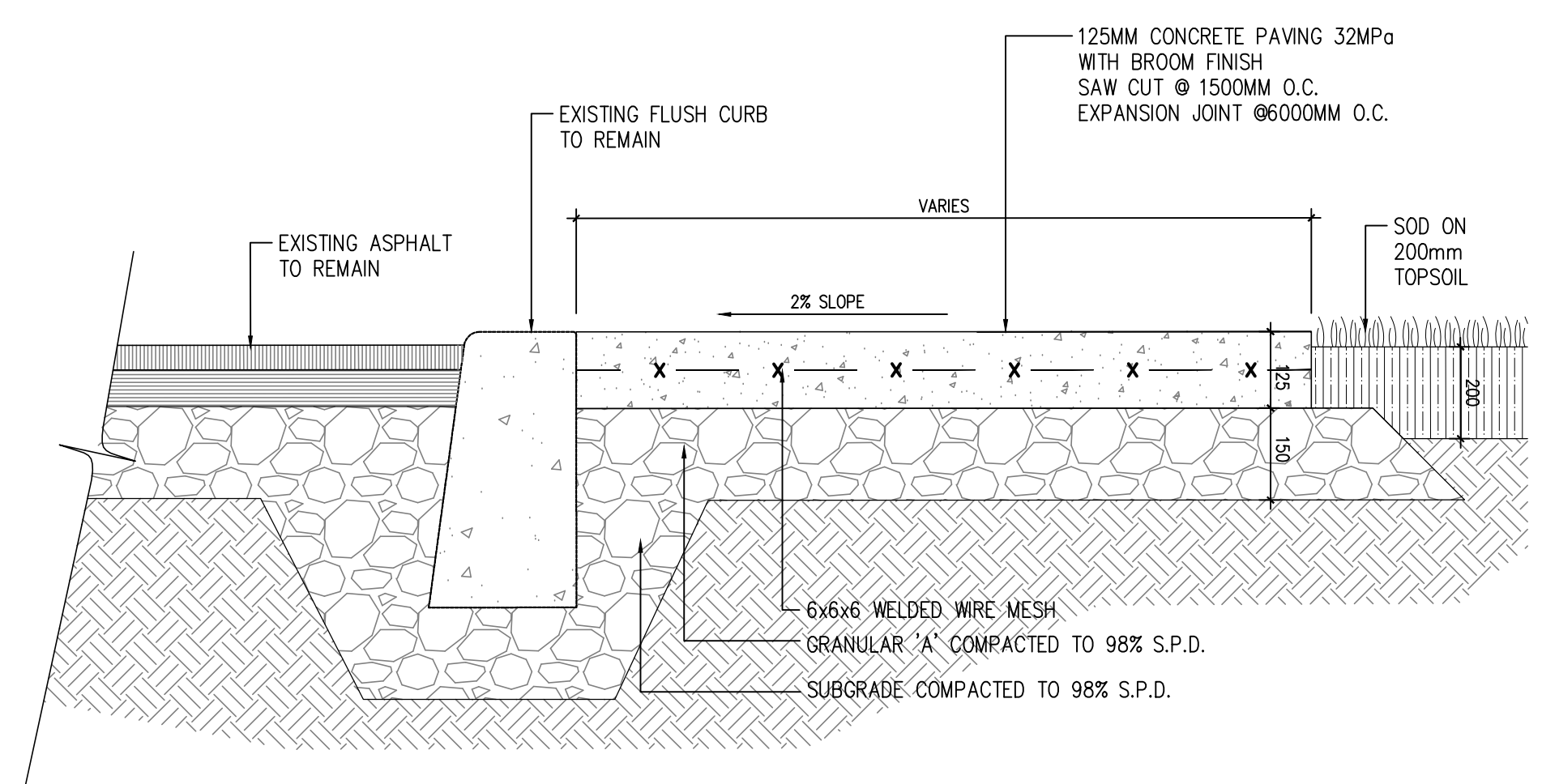
1 WOOD DECK - PLAN

Scale: 1:20



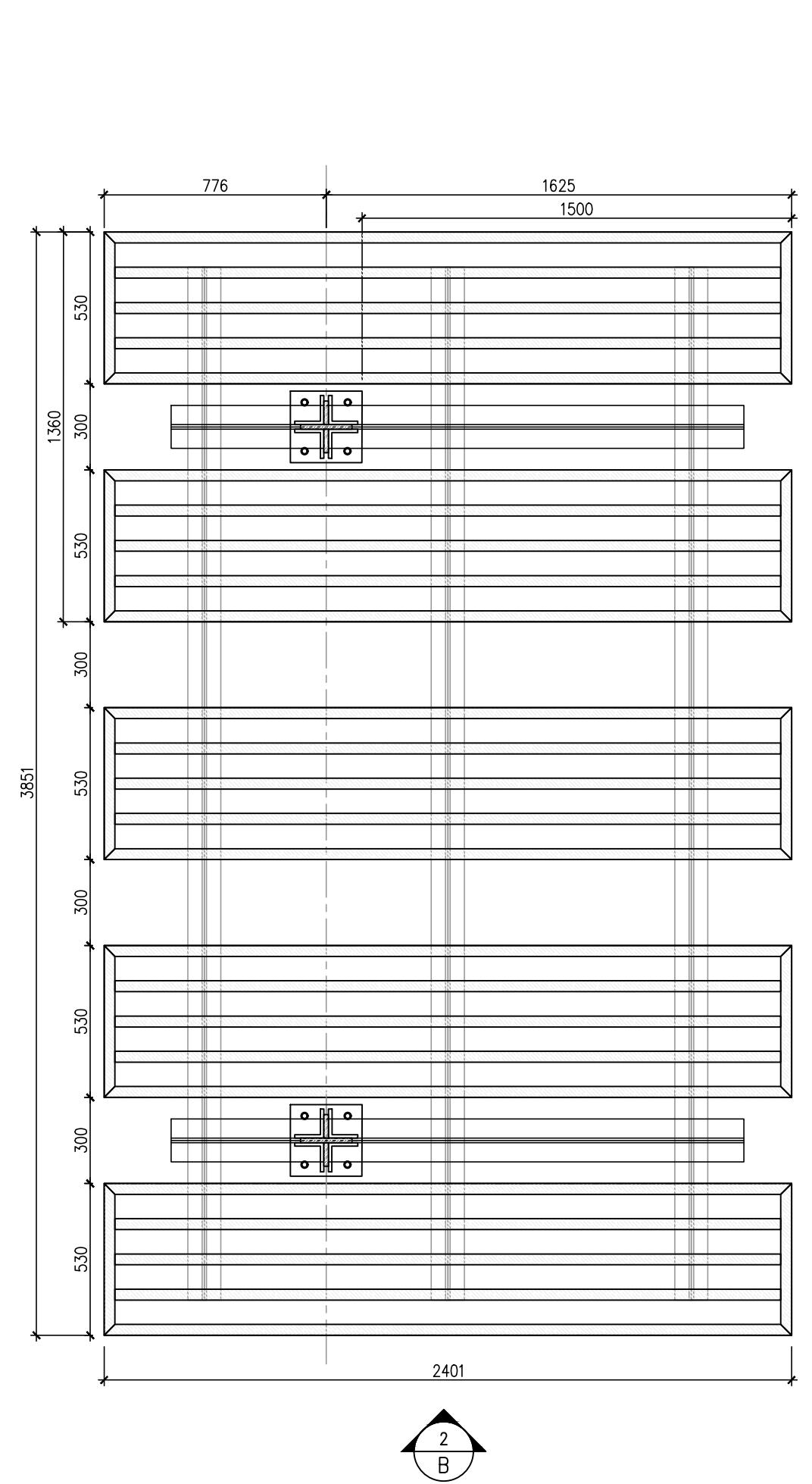
1 WOOD DECK - SECTION

Scale: 1:20



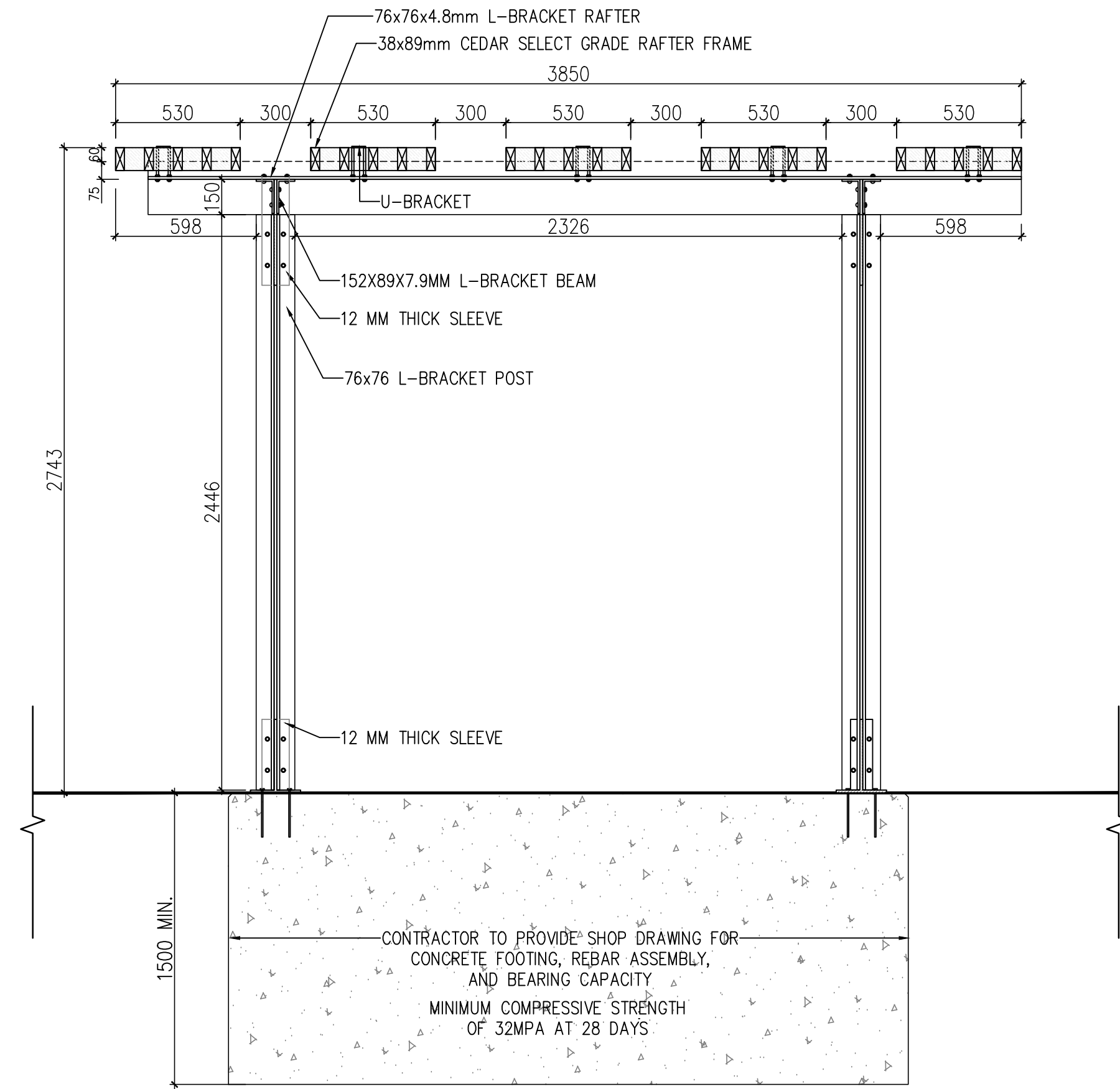
3 CONCRETE SIDEWALK DETAIL

Scale: 1:10



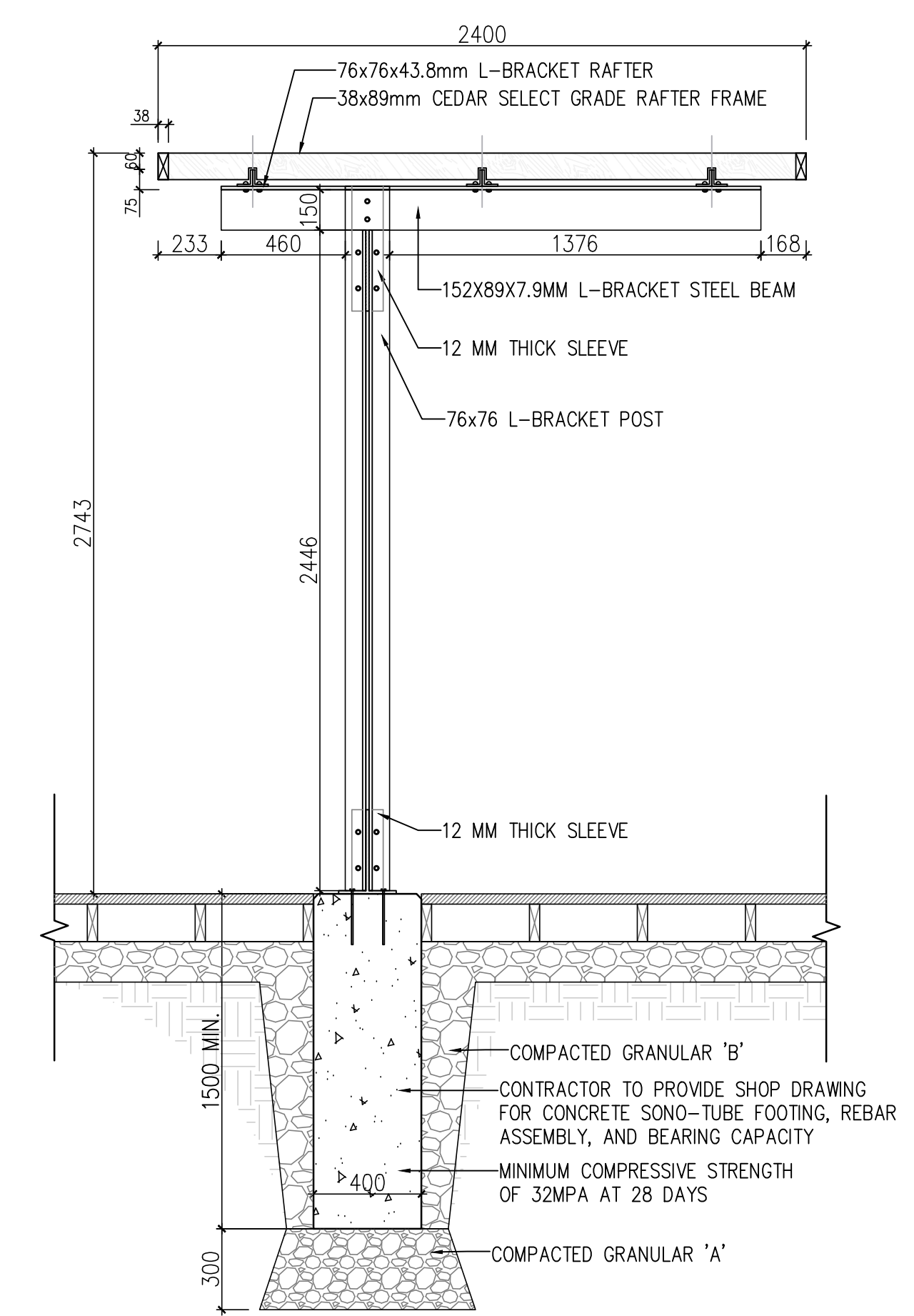
2 TYPICAL TRELLIS CANOPY - PLAN

Scale: 1:20



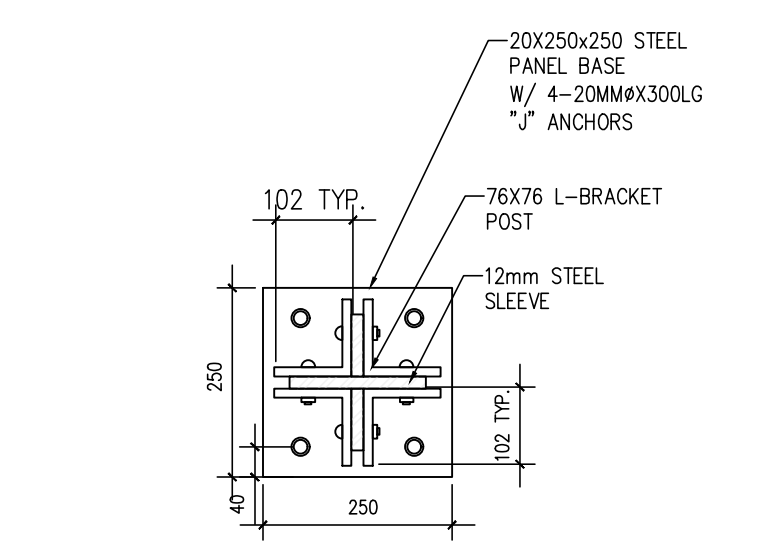
2 TYPICAL TRELLIS CANOPY - FRONT ELEVATION 2/A

Scale: 1:20



2 TYPICAL TRELLIS CANOPY - SIDE ELEVATION 2/B

Scale: 1:20

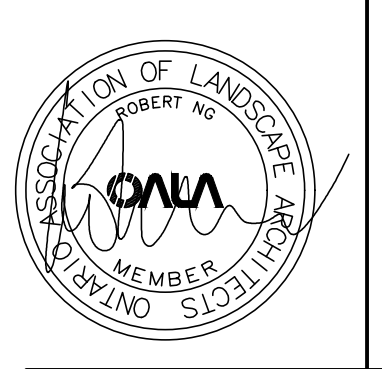


2 TRELLIS COLUMN DETAIL

Scale: 1:10

NOTE:  
ALL METAL TO BE PRIMED AND GALVANIZED.

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**NAK**  
design strategies

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Project

5 BARTONVILLE POL2

Title

Landscape Details

Date	06-04-2021	Sheet	
Scale	AS SHOWN		
Drawn	ZZ		
Checked	RN		
Job No.	21129		

L4