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NOT FOR CONSTRUCTION

TORONTO PARAMEDIC SERVICES, D6 RENOVATION TORONTO

CLIENT: TORONTO PARAMEDIC SERVICES
 UOAI PROJECT NO: 23-1268
 PERMIT NUMBER: 24 193885 BLD
ISSUED FOR TENDER: 06 SEPTEMBER 2024

DRAWING INDEX:

ARCHITECTURAL (6p):

A00 TITLESHEET
 A01 LEGENDS, SCHEDULES & OBC MATRIX

A03 SITE SURVEY

A10 KEY PLANS
 A11 PARTIAL PLANS & DETAILS

A20 ELEVATIONS & DETAILS

STRUCTURAL (3p):

S-001 GENERAL NOTES & TYPICAL DETAILS

S-101 GROUND FLOOR PLAN SHOWING ROOF FRAMING
 S-201 SECTIONS

ELECTRICAL (3p):

E-0.1 ELECTRICAL LEGEND & DETAILS

E-1.0 PARTIAL PLANS & DETAILS
 E-1.1 2ND LEVEL - ELECTRICAL

CONSULTANTS

ARCHITECTURAL (PRIME)

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 Stanislav Jurković
 955 Dovercourt Road
 Toronto ON M6H 2X6
 stanislav@uoai.ca 416-532-8008

STRUCTURAL

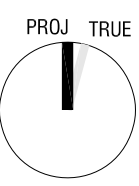
Blackwell Structural Engineers
 Christian Bellini
 134 Peter St., Suite 1301
 Toronto ON M5V 2H2
 cbellini@blackwell.ca 416-593-5300

ELECTRICAL

DeCaria Engineering Limited
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2024.09.06 TENDER
 2024.08.01 BUILDING PERMIT
 2024.05.17 COORDINATION

ISSUED RECORD



uoi
 architects

31 MINOWAN MIKAN LN TORONTO ON M6J 0G3
 416 532 8008 hi@uoai.ca

CLIENT
 TORONTO PARAMEDIC SERVICES

PROJECT
 TORONTO PARAMEDIC SERVICES
 D6 RENOVATION
 610 BAY ST TORONTO ON

TITLE
 TITLESHEET

PROJECT NO. CLIENT PROJECT NO.
 23-1268

SCALE
 SCALE IS AS INDICATED

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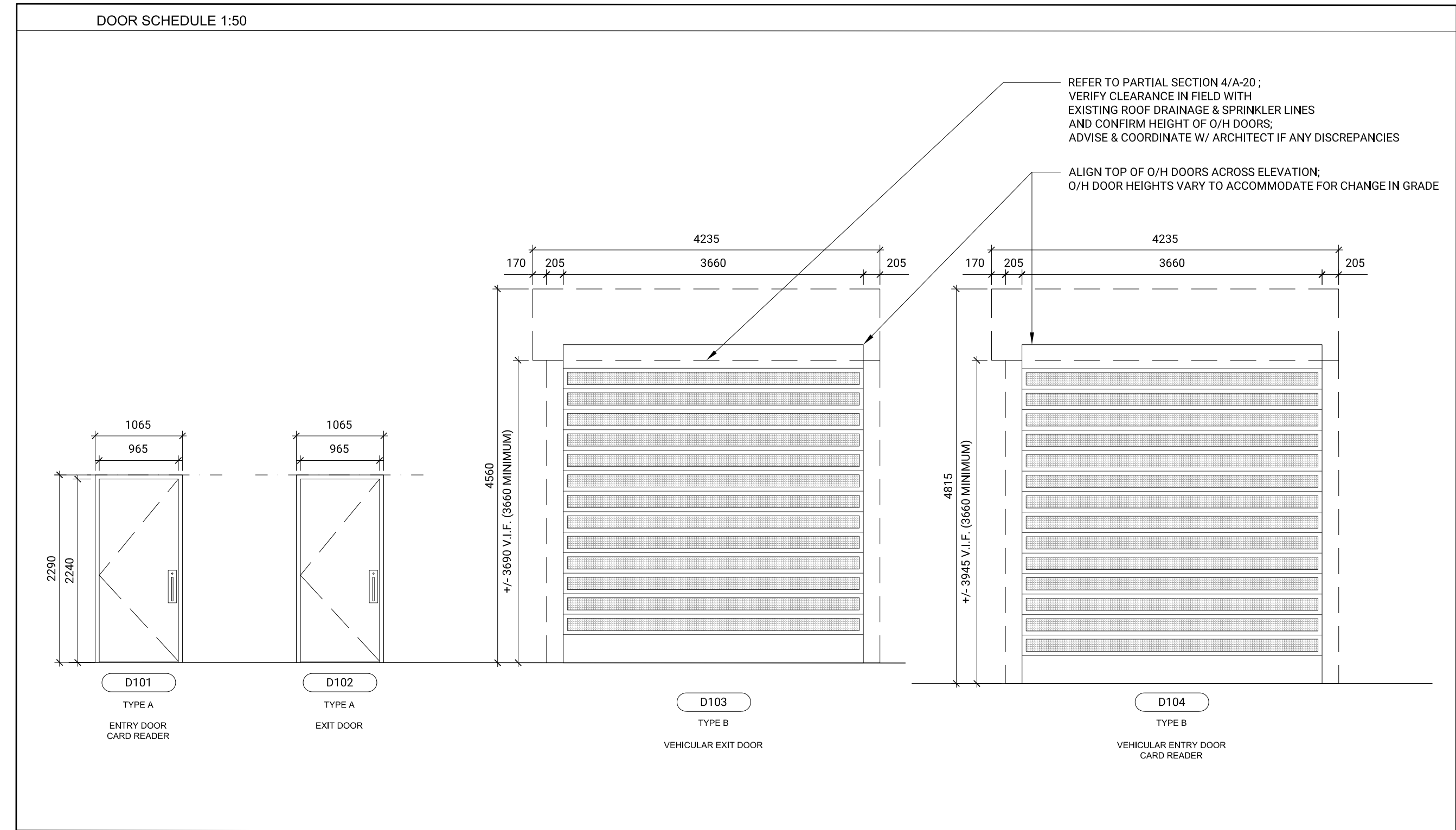
DRAWING NO.

A00

ONTARIO BUILDING CODE DATA MATRIX PART 11 – RENOVATION OF EXISTING BUILDING						Building Code Reference ¹
11.00	Building Code Version:	O_Reg_332/12	Last Amendment	O_Reg_191/14		
11.01	Project Type:	<input checked="" type="checkbox"/> Renovation				[A] 1.1.2.
	Description:	2 New vehicular access doors and exit door in existing bay openings to secure open air parking area.				
11.02	Major Occupancy Classification:	Occupancy Use	F3 Storage – Parking & Ambulance Bays			3.1.2.1.(1)
11.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes				3.2.2.7.
11.04	Existing Building Area (m ²) For Reference Only	Description:	Existing	New	Total	[A] 1.4.1.2.
		Open Air parking (Existing Area)	1368.3	0	1368.3	
		Dispatch Building (not in scope)	198.2	0	198.2	
		Terminal (not in scope) (hardware only)	874	0	874	
		Corridor (Ground Level) (not in scope)	127	0	127	
		Concourse (Basement) (not in scope)	1098	0	1098	
	Area of work (m ²)	Open Air Parking (new O/H Doors)	16.2	0	16.2	
11.05	Building Height (Parking Bays)	1 Storeys above grade	7.49 (m)	Above grade		[A] 1.4.1.2. & 3.2.1.1.
11.06	Number of Streets/Firefighter access	2 street(s)				3.2.2.10. & 3.2.5.
11.07	Building Size	<input type="checkbox"/> Small <input type="checkbox"/> Medium <input checked="" type="checkbox"/> Large <input type="checkbox"/> > Large				T.11.2.1.1.B.-N.
11.08	Existing Building Classification:	Change in Major Occupancy: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not Applicable Change from A2 (Passenger Station/depot) to F3 (Parking Garage) occupancy Construction Index: 6 Hazard Index: 4 Importance Category: <input checked="" type="checkbox"/> High Refer to Structural Drawings				11.2.1.1. T 11.2.1.1A T 11.2.1.1B to N 4.2.1.(3), 5.2.2.1.(2)
11.09	Renovation type:	<input checked="" type="checkbox"/> Basic Renovation <input type="checkbox"/> Extensive Renovation				11.3.3.1. 11.3.3.2.
11.10	Occupant Load	Floor Level/Area	Occupancy Type	Based On	Occupant Load (Persons)	3.1.17.
		Ground level parking	F3	Design	29	
11.11	Plumbing Fixture Requirements	N/A – Existing washroom count in adjoining facility to remain				3.7.4.
		Floor Level/Area	Occupant Load	OBC Reference	Fixtures Required	Fixtures Provided
			0		0	0
11.12	Barrier-free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Explanation N/A				11.3.3.2.(2)
11.13	Reduction in Performance Level:	Structural:	<input type="checkbox"/> No <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> Yes		11.4.2.1.
		By increase in occupant load:	<input type="checkbox"/> No <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> Yes		11.4.2.2.
		By change of major occupancy:	<input type="checkbox"/> No <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> Yes		11.4.2.3.
		Plumbing:	<input type="checkbox"/> No <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> Yes		11.4.2.4.
		Sewage systems:	<input type="checkbox"/> No <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> Yes		11.4.2.5.
		Extension of combustible construction:	<input type="checkbox"/> No <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> Yes		11.4.2.6.
11.14	Compensating Construction:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes				11.4.3.1.
		Structural:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> Yes		11.4.3.2.
		Increase in occupant load:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> Yes		11.4.3.3.
		Change of major occupancy:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> Yes		11.4.3.4.
		Plumbing:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> Yes		11.4.3.5.
		Sewage systems:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> Yes		11.4.3.6.
		Extension of combustible construction:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> Yes		11.4.3.7.
11.15	Compliance Alternatives Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes				11.5.1.

DRAWING SYMBOLS LEGEND

	NEW WALL
	DEMOLISHED WALL
	EXISTING WALL
	NUMBERED NOTE
	WALL / PARTITION IDENTIFIER
	GLAZING / WINDOW IDENTIFIER
	ROOM IDENTIFIER
	MILLWORK IDENTIFIER
	DOOR IDENTIFIER
	FINISHES IDENTIFIER
	Ceiling Height Identifier
	SECTION MARKER
	ELEVATION MARKER
	DETAIL REFERENCE
	REVISION MARKER
	ENTRY
	OR C.L. CENTRELINE
	O.C. ON CENTRE
	N.I.S. NOT IN SCOPE
	V.I.F. VERIFY IN FIELD
	SIM. SIMILAR



HARDWARE SCHEDULE

REFER TO DOOR SCHEDULE REFER TO DOOR SCHEDULE REFER TO SPECIFICATIONS

SET TYPE	DOOR TYPE	HANDLE TYPE	LOCKSET	KEYING	EXIT DEVICE	FIRE RATED	BARRIER FREE	CLOSER	DOOR STOP	ADO	CARD READER
SET-1	ENTRY DOOR	PULL	ENTRY	KEYED	YES	NO	YES	YES	YES	NO	YES
SET-2	EXIT DOOR	-	EXIT ONLY	NO	YES	NO	YES	YES	YES	NO	NO
SET-3	OFFICE ENTRY	LEVER	ENTRY	KEYED	NO	EXISTING	EXISTING	NO	EXISTING	NO	YES
SET-4	OFFICE ENTRY	LEVER	ENTRY	KEYED / THUMBTURN	NO	EXISTING	EXISTING	NO	EXISTING	NO	NO
SET-5	ENTRY DOOR	PULL	PULL	KEYED	YES	YES	EXISTING	EXISTING	EXISTING	EXISTING	YES
SET-6	O/H VEH. EXIT DOOR	NA	NA	NA	NA	NO	NA	NA	NA	NA	NO
SET-7	O/H VEH. ENTRY DOOR	NA	NA	NA	NA	NO	NA	NA	NA	NA	YES

DOOR SCHEDULE *

TAG	ROOM TO	ROOM FROM	DIMENSIONS				DOOR TYPE	MATERIAL			FIRE RATING	HARDWARE	COMMENTS
			WIDTH	NOMINAL WIDTH	HEIGHT	DOOR THICK.		FRAME	FINISH	DOOR TYPE			
D-101	PARKING BAYS	EXTERIOR	1065	965	2240	45	A	HOLLOW METAL	PT-1	HOLLOW METAL	-	SET 1	ENTRY DOOR; NEW CARD READER
D-102	PARKING BAYS	EXTERIOR	1065	965	2240	45	A	HOLLOW METAL	PT-1	HOLLOW METAL	-	SET 2	EXIT DOOR
D-103	PARKING BAYS	EXTERIOR	4070	3660	+/- 3600 (3600 minimum)	-	B	STEEL	RAL COLOUR - TBD	STEEL	-	SET 6	HEIGHT OF DOOR TO BE CONFIRMED ON SITE WITH EXISTING OPENING AND UTILITIES ABOVE. REFER TO ELEVATION DRAWINGS.
D-104	PARKING BAYS	EXTERIOR	4070	3660	+/- 3915 (3600 minimum)	-	B	STEEL	RAL COLOUR - TBD	STEEL	-	SET 7	HEIGHT OF DOOR TO BE CONFIRMED ON SITE WITH EXISTING OPENING AND UTILITIES ABOVE. REFER TO ELEVATION DRAWINGS.
D-105	TERMINAL LOBBY	PARKING BAYS	EXISTING	EXISTING	EXISTING	EXISTING (V.L.F.)	EXISTING	EXISTING (ALUMINUM)	EXISTING	EXISTING (ALUMI. GLASS)	EXISTING	SET 5	NEW CARD READER
D-203	OFFICE 01 (203)	CORRIDOR 200	EXISTING	EXISTING	EXISTING	EXISTING (V.L.F.)	EXISTING	EXISTING (HM)	EXISTING	EXISTING (WOOD)	EXISTING	SET 3	NEW CARD READER
D-204	OFFICE 02 (204)	CORRIDOR 200	EXISTING	EXISTING	EXISTING	EXISTING (V.L.F.)	EXISTING	EXISTING (HM)	EXISTING	EXISTING (WOOD)	EXISTING	SET 4	
D-205	OFFICE 03 (205)	CORRIDOR 200	EXISTING	EXISTING	EXISTING	EXISTING (V.L.F.)	EXISTING	EXISTING (HM)	EXISTING	EXISTING (WOOD)	EXISTING	SET 4	
D-206	OFFICE 04 (206)	CORRIDOR 200	EXISTING	EXISTING	EXISTING	EXISTING (V.L.F.)	EXISTING	EXISTING (HM)	EXISTING	EXISTING (WOOD)	EXISTING	SET 4	

PAINT SCHEDULE

REFER TO ELEVATION DRAWINGS

TYPE	NO.	BRAND	COLOUR	FINISH	PRIMER
-	(PT1)	TBD	TBD	TBD	TBD
-	(PT2)	TBD	TBD	TBD	TBD

METAL SCHEDULE

REFER TO ELEVATION DRAWINGS

TYPE	NO.	BRAND	FINISH	COMMENTS
EXPANDED METAL MESH	(M1)	AMCO	APEX3 ALUMINUM	POWDERCOATED (RAL TBD)
METAL FRAME ASSEMBLY	(M2)	BY FABRICATOR	TBD	POWDERCOATED (RAL TBD)

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2024.08.01 BUILDING PERMIT
ISSUED RECORD



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416 532 8008 h1@uoai.ca

CLIENT
TORONTO PARAMEDIC SERVICES

PROJECT
TORONTO PARAMEDIC SERVICES
D6 RENOVATION
610 BAY ST TORONTO ON

TITLE
**LEGEND, SCHEDULES
OBC MATRIX**

PROJECT NO. CLIENT PROJECT NO.
23-1268

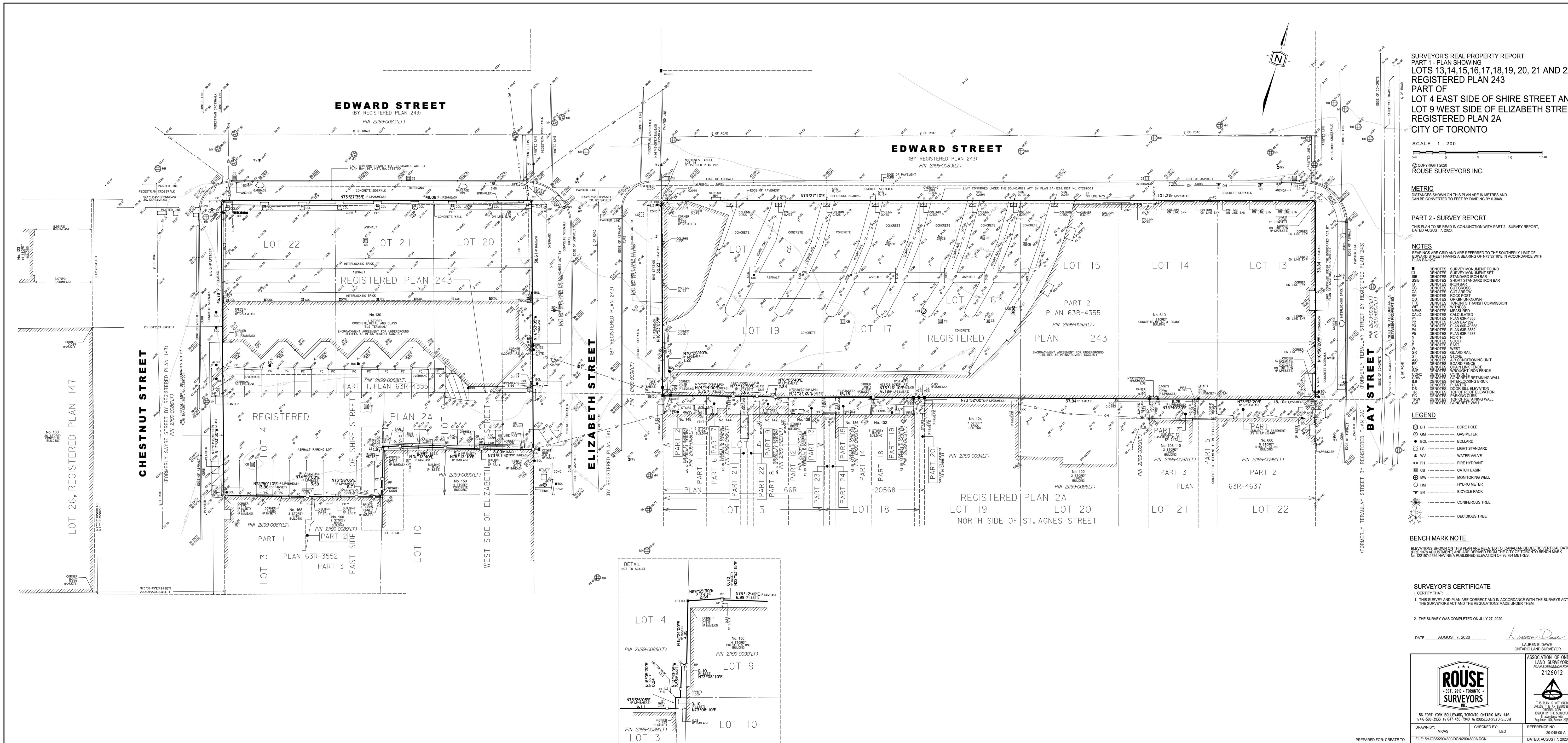
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DRAWING NO.
A01

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SURVEYOR'S REAL PROPERTY REPORT
 PART 1 - PLAN SHOWING
 LOTS 13, 14, 15, 16, 17, 18, 19, 20, 21 AND 22
 REGISTERED PLAN 243
 PART OF
 LOT 4 EAST SIDE OF SHIRE STREET AND
 LOT 9 WEST SIDE OF ELIZABETH STREET
 REGISTERED PLAN 2A
 CITY OF TORONTO

SCALE 1 : 200

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 ROUSE SURVEYORS INC.

METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
 CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PART 2 - SURVEY REPORT
 THIS PLAN IS TO BE READ IN CONJUNCTION WITH PART 2 - SURVEY REPORT,
 DATED AUGUST 7, 2020.

NOTES
 BEARINGS ARE GRID AND ARE REFERRED TO THE SOUTHERLY LIMIT OF
 EDWARD STREET (HENCE A BEARING OF N73°27'10"E IN ACCORDANCE WITH
 PLAN BA-7007).

- LEGEND**
- Ø BH - BORE HOLE
 - GM - GAS METER
 - BOL - BOLLARD
 - LS - LIGHT STANDARD
 - WM - WATER METER
 - FIH - FIRE HYDRANT
 - CB - CATCH BASIN
 - MW - MONITORING WELL
 - HM - HYDRO METER
 - BK - BICYCLE TRACK
 - CDT - CONIFEROUS TREE
 - DDT - DECIDUOUS TREE

BENCH MARK NOTE
 ELEVATIONS SHOWN ON THIS PLAN ARE RELATED TO CANADIAN GEODETIC VERTICAL DATUM
 1984. BENCH MARKS AND ARE DERIVED FROM THE CITY OF TORONTO BENCH MARK
 NO. 12210168 HAVING A MEAN SEA LEVEL ELEVATION OF 81.84 METRES.

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT,
 THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM;
 2. THE SURVEY WAS COMPLETED ON JULY 27, 2020.

DATE AUGUST 7, 2020
 LAUREN E. DANNE
 ONTARIO LAND SURVEYOR

NOT FOR CONSTRUCTION

2024.09.06 TENDER
 2024.08.01 BUILDING PERMIT
 2024.05.17 COORDINATION
ISSUED RECORD

CLIENT
 TORONTO PARAMEDIC SERVICES

PROJECT
 TORONTO PARAMEDIC SERVICES
 D6 RENOVATION
 610 BAY ST TORONTO ON

TITLE
 SITE SURVEY

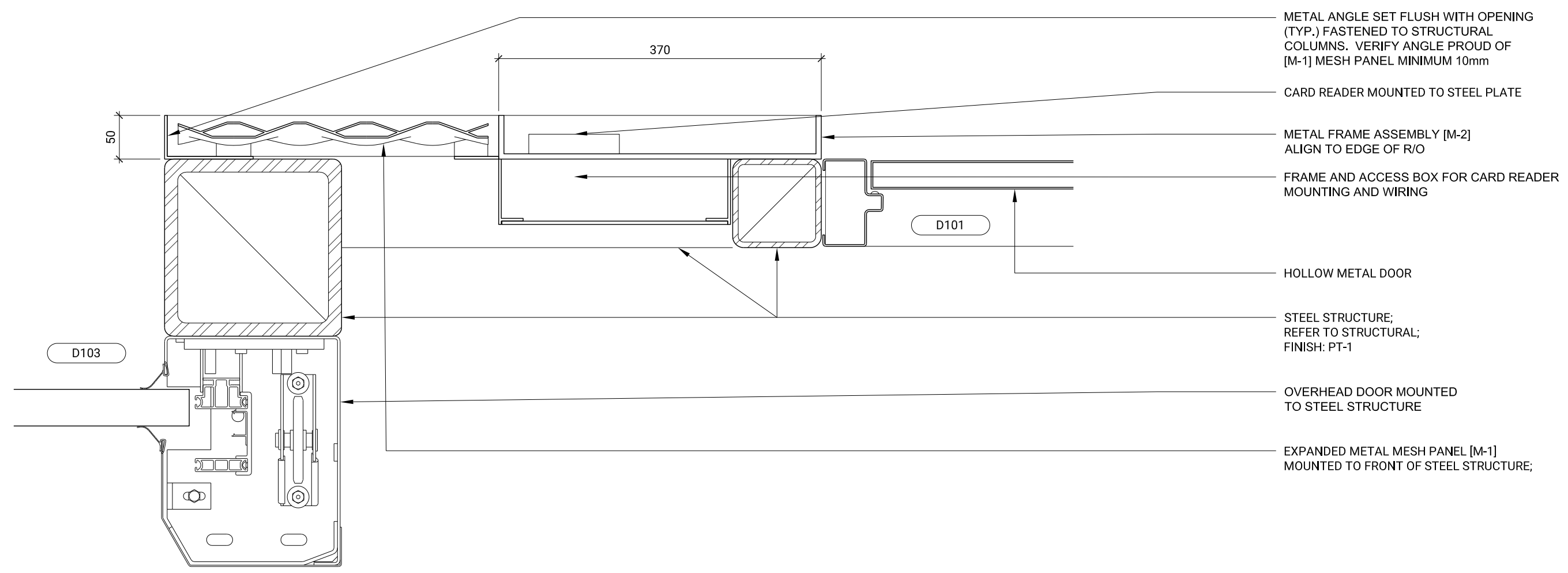
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 23-1268

CLIENT PROJECT NO.

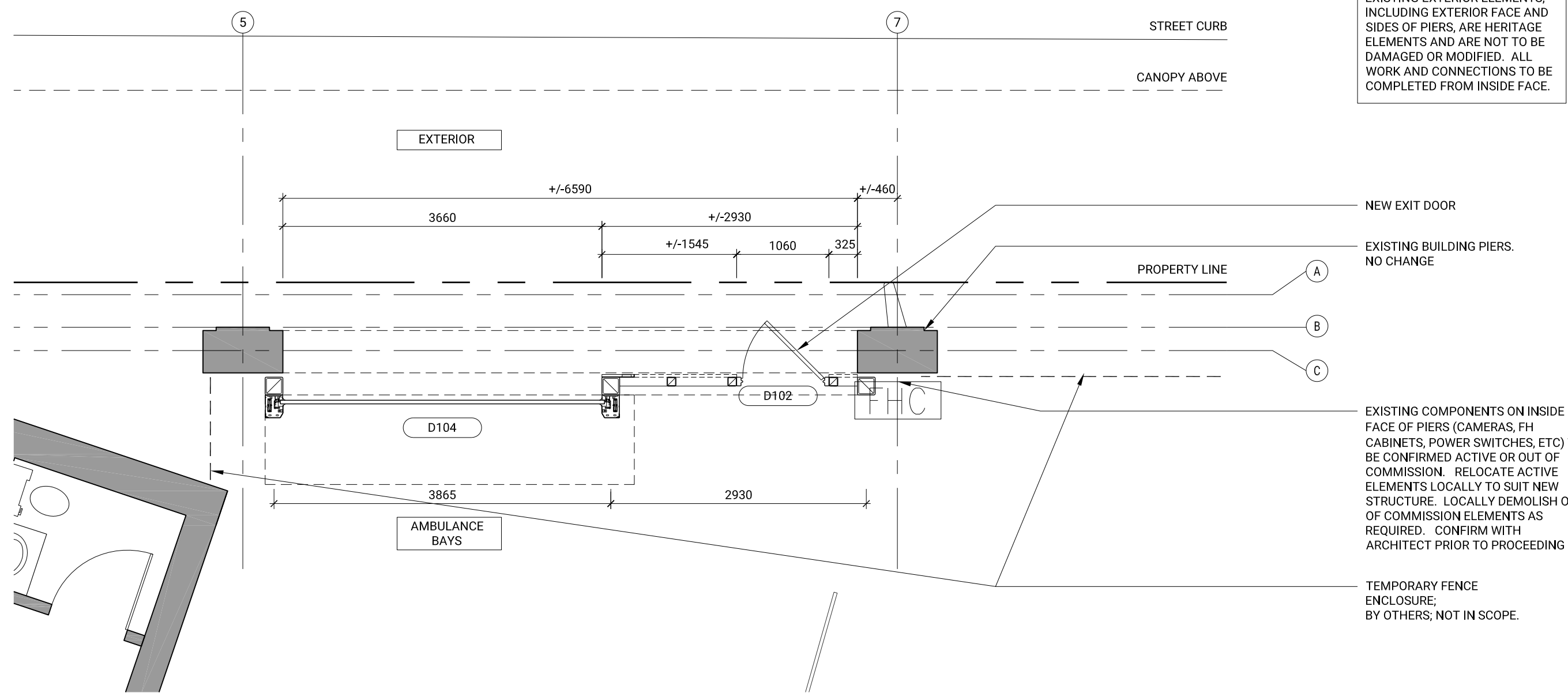
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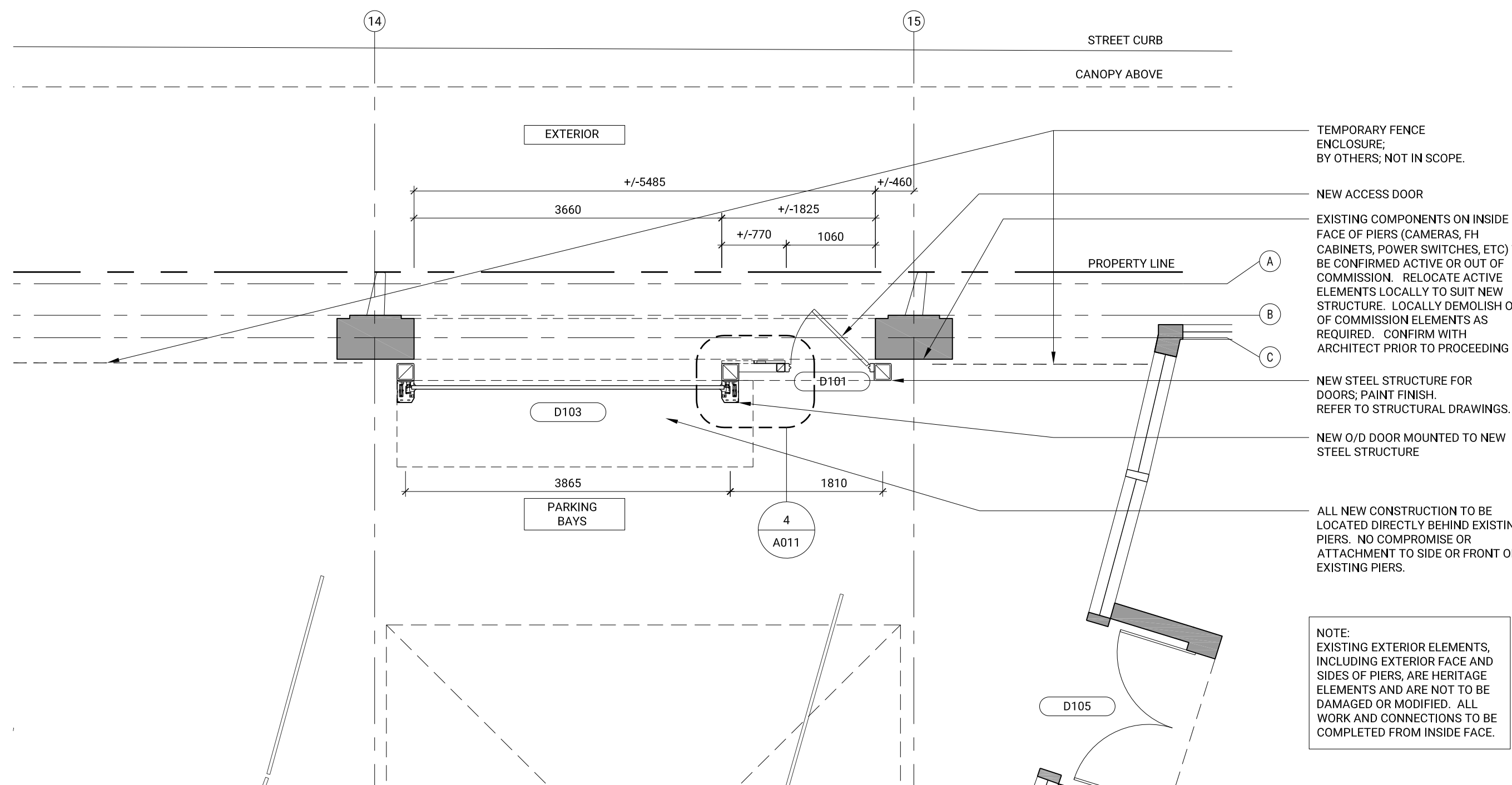
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 A03



4 PLAN DETAIL AT 1:5



2 PARTIAL GROUND LEVEL FLOOR PLAN - WEST DOOR 1:50



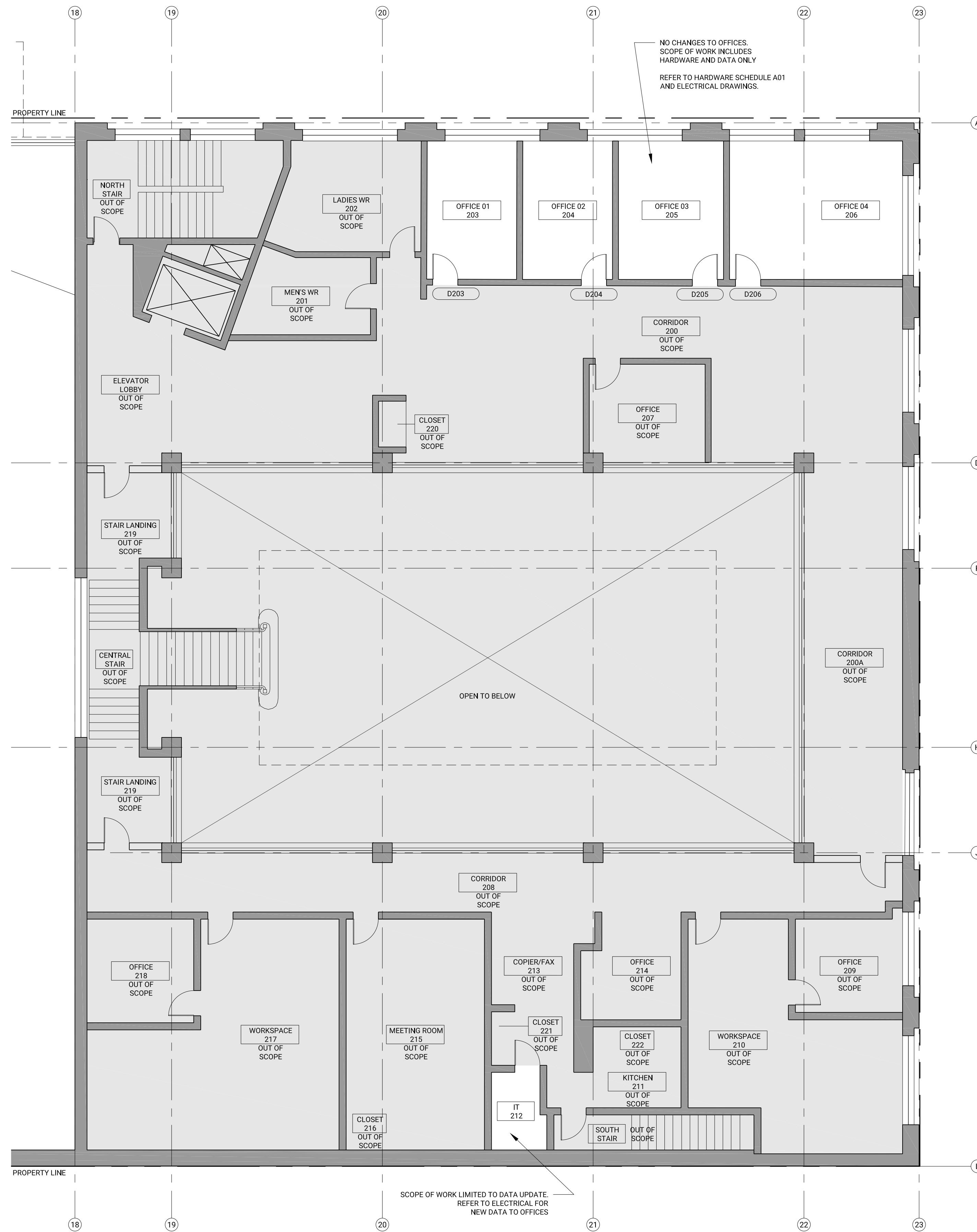
1 PARTIAL GROUND LEVEL FLOOR PLAN - EAST DOOR 1:50

- METAL ANGLE SET FLUSH WITH OPENING (TYP.) FASTENED TO STRUCTURAL COLUMNS. VERIFY ANGLE PROUD OF [M-1] MESH PANEL MINIMUM 10mm
- CARD READER MOUNTED TO STEEL PLATE
- METAL FRAME ASSEMBLY [M-2] ALIGN TO EDGE OF R/O
- FRAME AND ACCESS BOX FOR CARD READER MOUNTING AND WIRING
- HOLLOW METAL DOOR
- STEEL STRUCTURE, REFER TO STRUCTURAL, FINISH: P1-1
- OVERHEAD DOOR MOUNTED TO STEEL STRUCTURE
- EXPANDED METAL MESH PANEL [M-1] MOUNTED TO FRONT OF STEEL STRUCTURE;

NOTE:
EXISTING EXTERIOR ELEMENTS, INCLUDING EXTERIOR FACE AND SIDES OF PIERS, ARE HERITAGE ELEMENTS AND ARE NOT TO BE DAMAGED OR MODIFIED. ALL WORK AND CONNECTIONS TO BE COMPLETED FROM INSIDE FACE.

- TEMPORARY FENCE ENCLOSURE, BY OTHERS, NOT IN SCOPE.
- EXISTING COMPONENTS ON INSIDE FACE OF PIERS (CAMERAS, FH CABINETS, POWER SWITCHES, ETC) TO BE CONFIRMED ACTIVE OR OUT OF COMMISSION. RELOCATE ACTIVE ELEMENTS LOCALLY TO SUIT NEW STRUCTURE. LOCALLY DEMOLISH OUT OF COMMISSION ELEMENTS AS REQUIRED. CONFIRM WITH ARCHITECT PRIOR TO PROCEEDING
- NEW STEEL STRUCTURE FOR DOORS, PAINT FINISH. REFER TO STRUCTURAL DRAWINGS.
- NEW O/D DOOR MOUNTED TO NEW STEEL STRUCTURE
- ALL NEW CONSTRUCTION TO BE LOCATED DIRECTLY BEHIND EXISTING PIERS. NO COMPROMISE OR ATTACHMENT TO SIDE OR FRONT OF EXISTING PIERS.

NOTE:
EXISTING EXTERIOR ELEMENTS, INCLUDING EXTERIOR FACE AND SIDES OF PIERS, ARE HERITAGE ELEMENTS AND ARE NOT TO BE DAMAGED OR MODIFIED. ALL WORK AND CONNECTIONS TO BE COMPLETED FROM INSIDE FACE.



3 MEZZANINE PLAN 1:75

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CLIENT
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PROJECT
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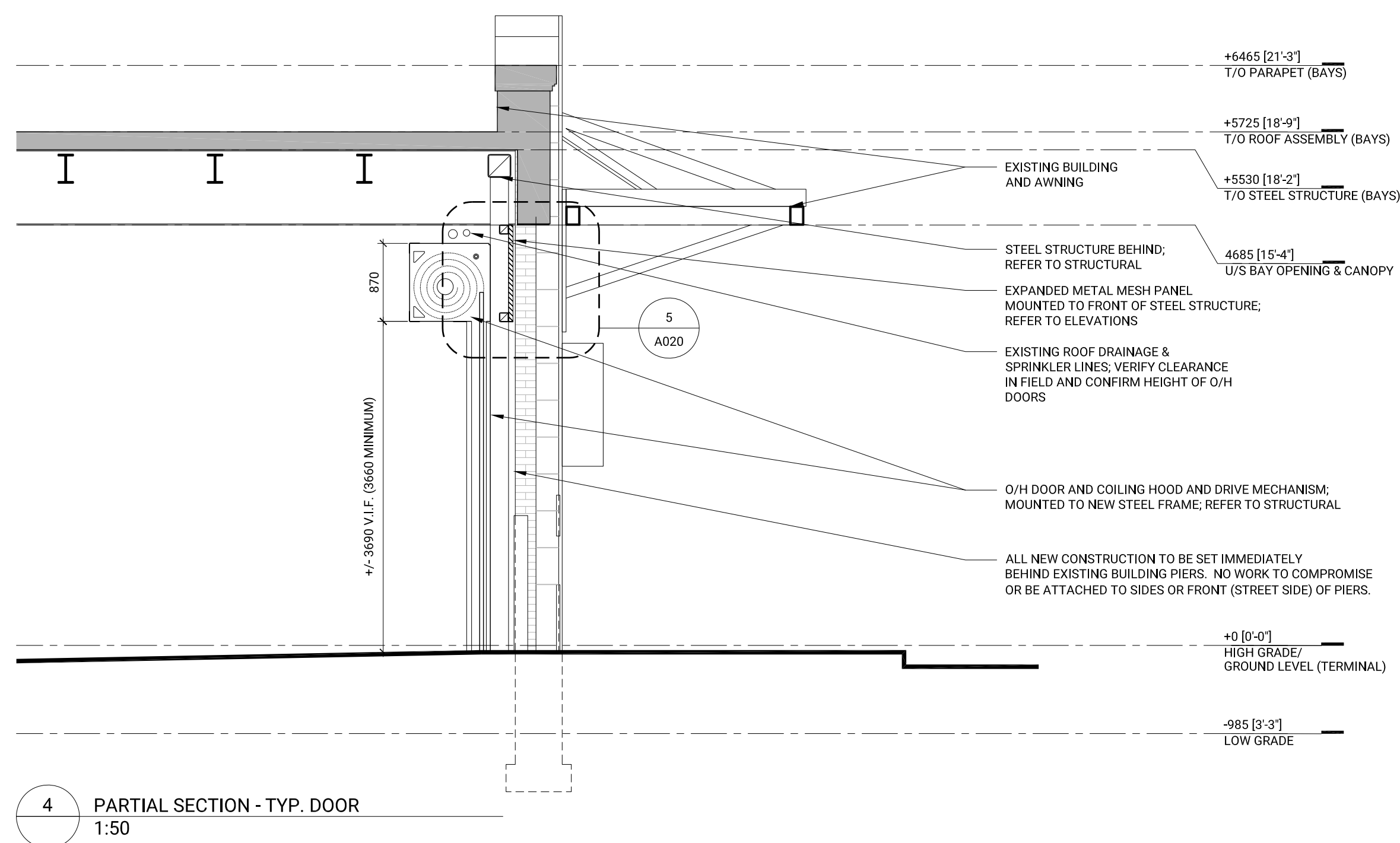
TITLE
PARTIAL PLANS & DETAILS

PROJECT NO. 23-1268
CLIENT PROJECT NO.

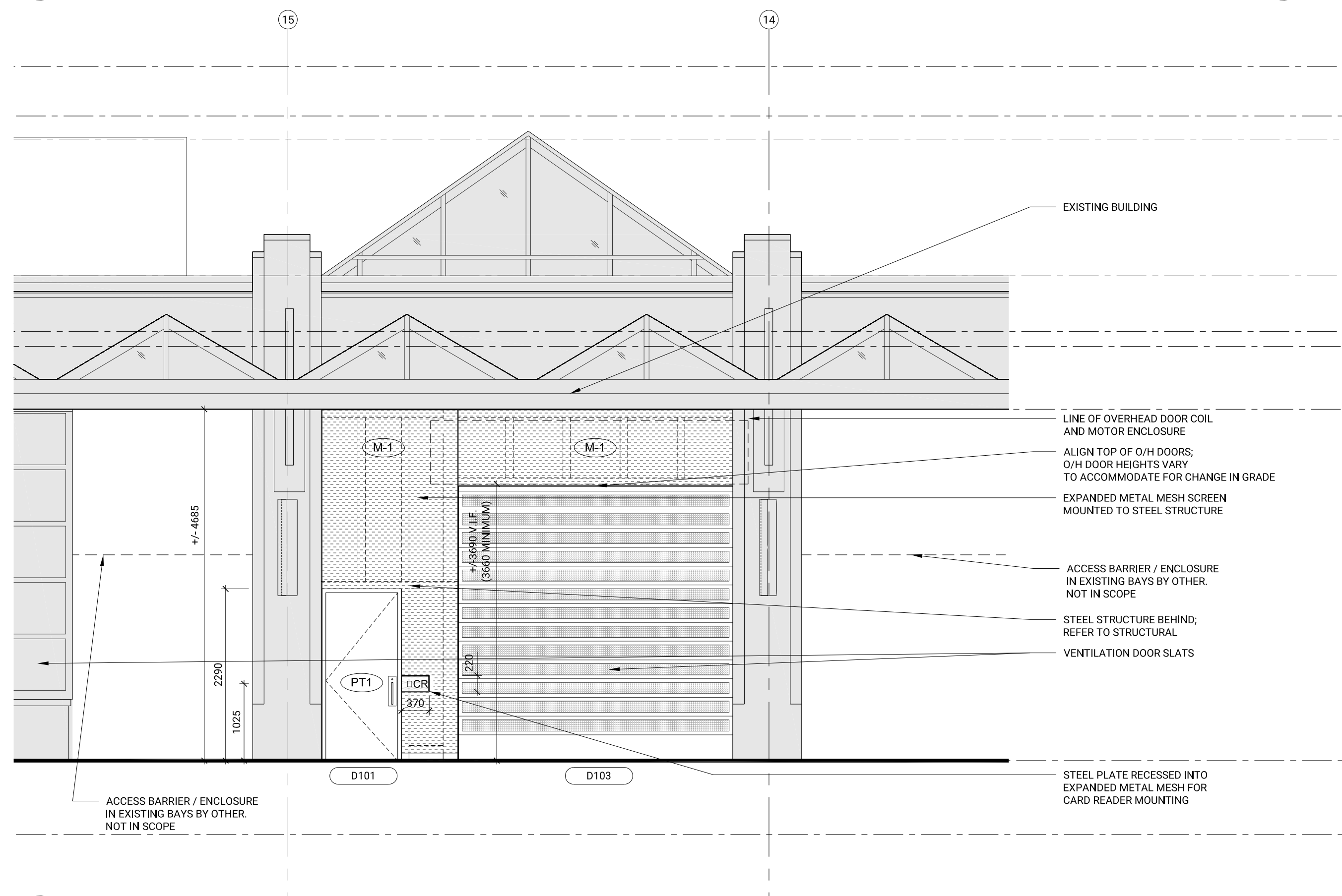
SCALE
SCALE IS AS INDICATED

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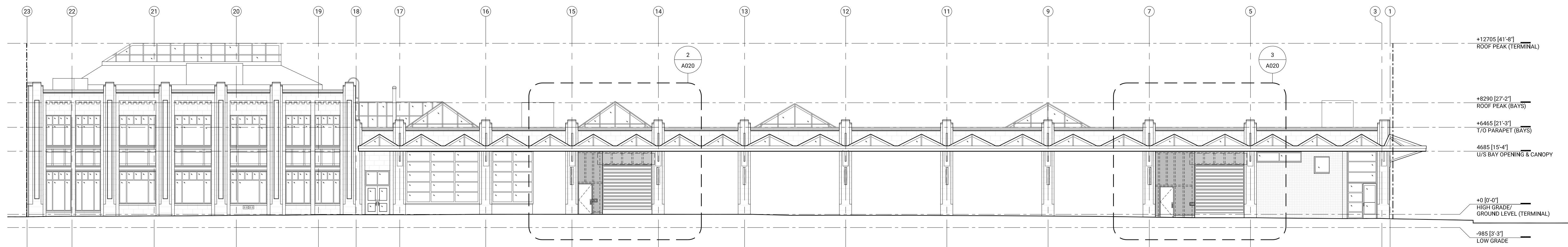
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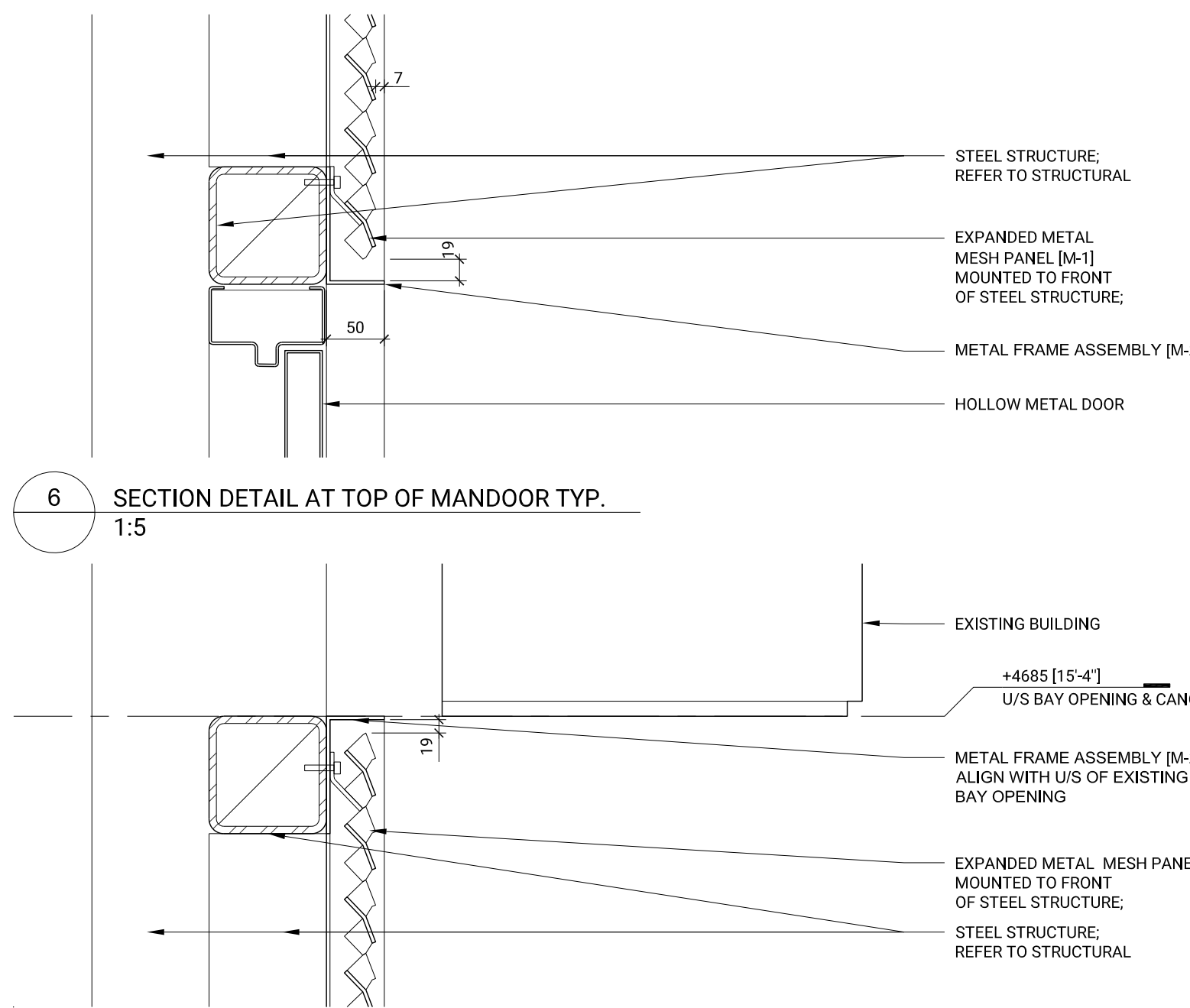
4 PARTIAL SECTION - TYP. DOOR
1:50



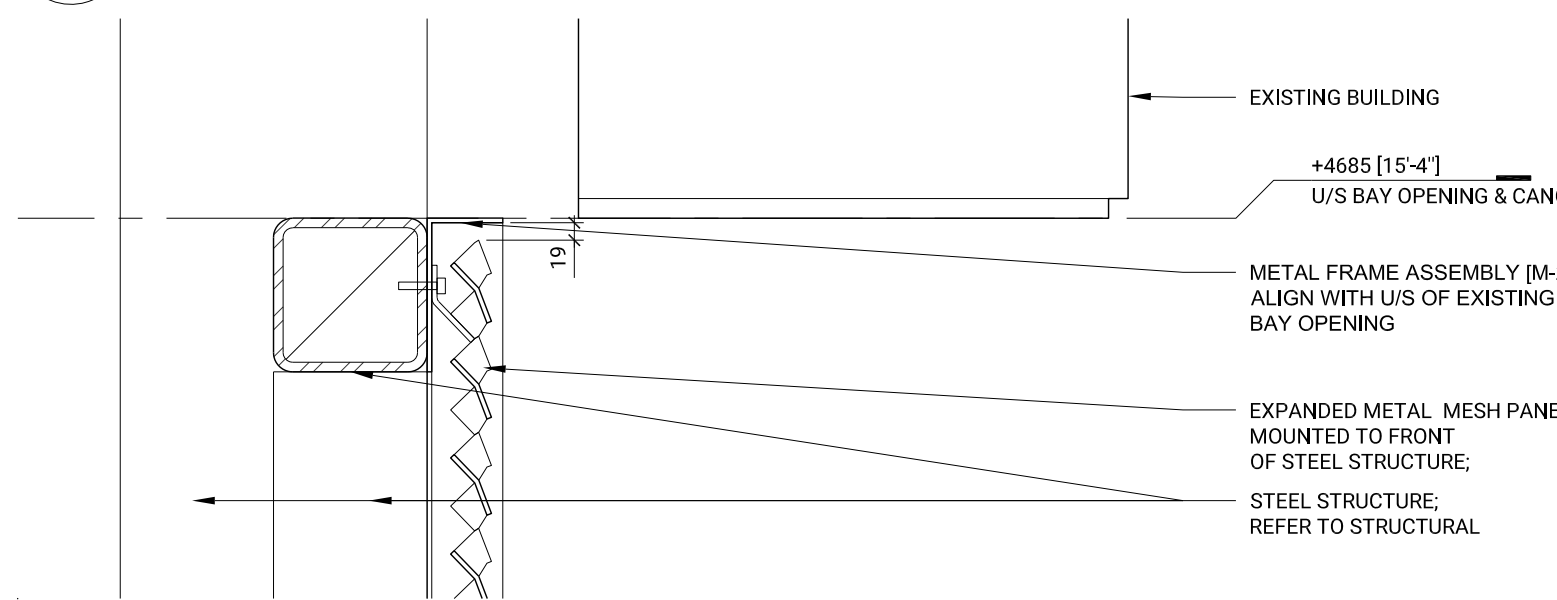
2 PARTIAL NORTH ELEVATION - EAST DOOR
1:50



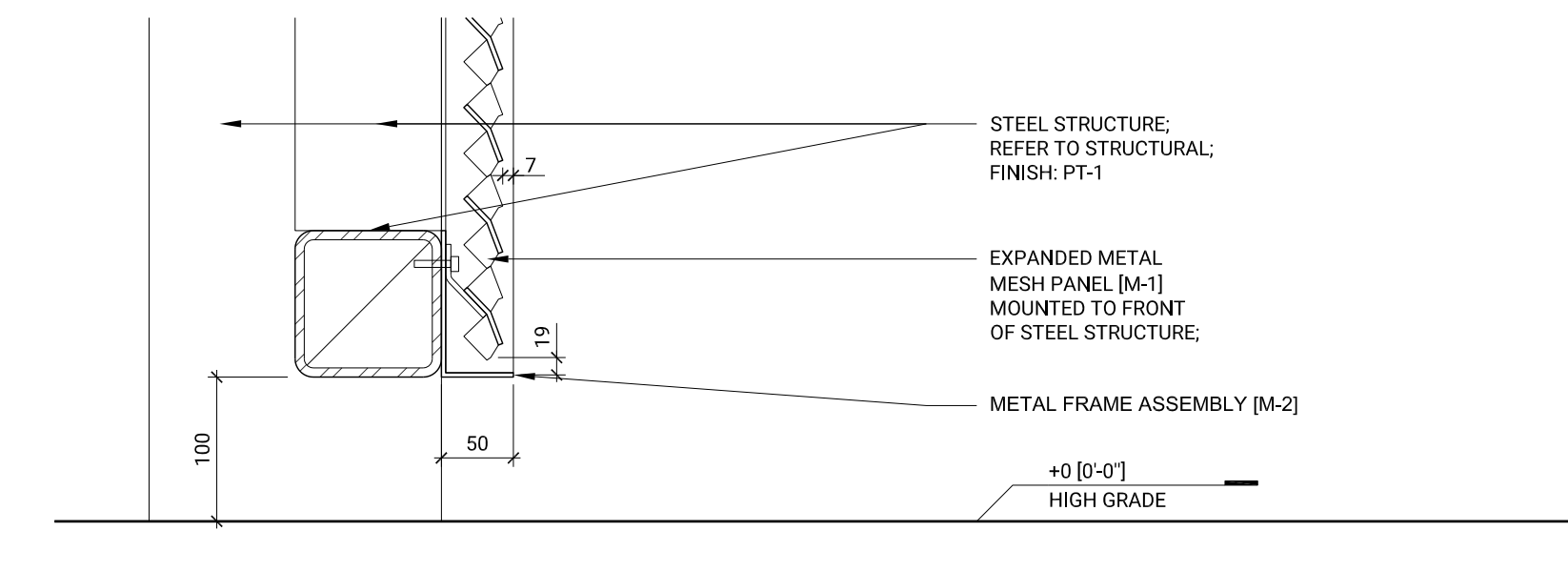
1 NORTH ELEVATION - EDWARD STREET
1:150



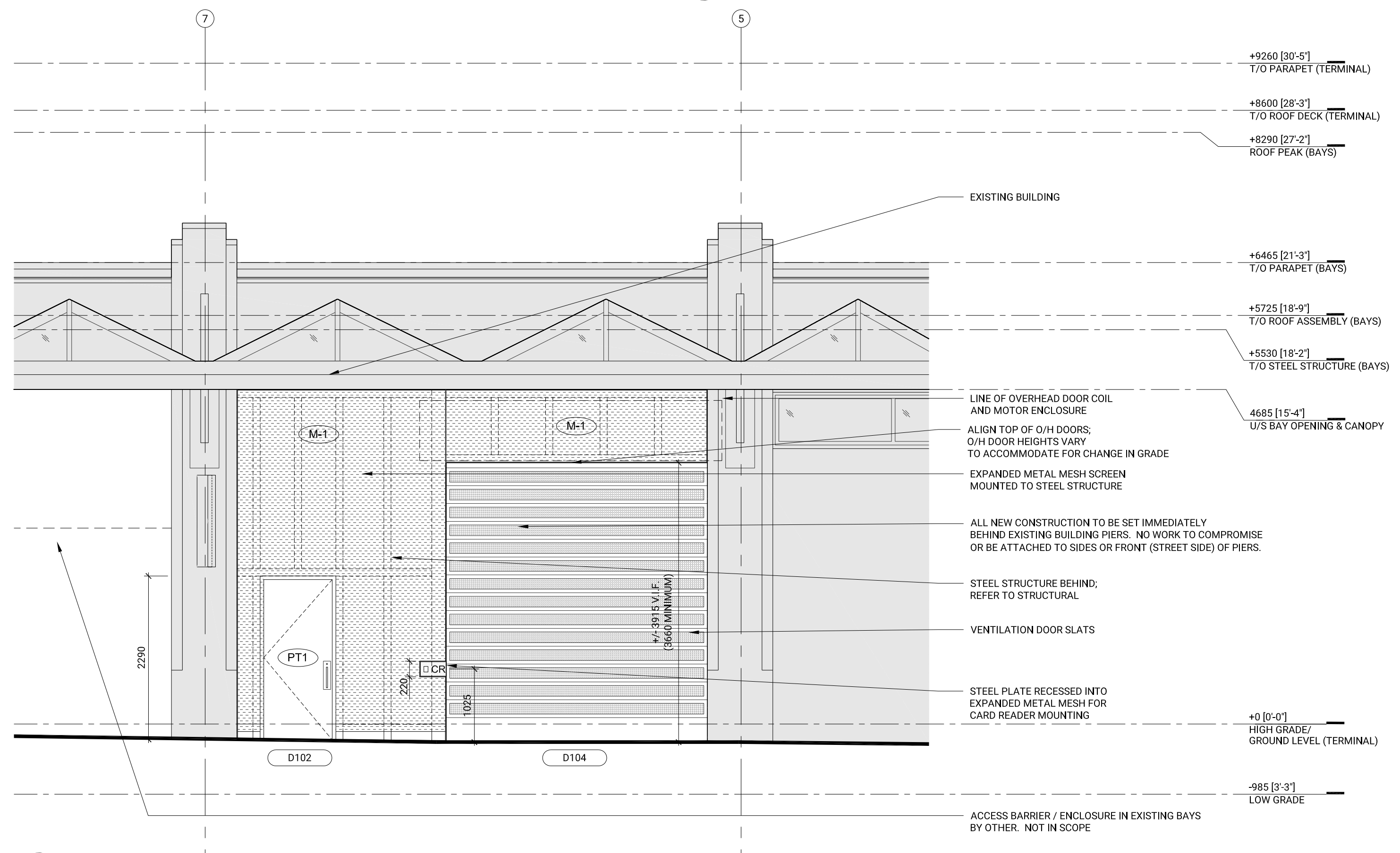
6 SECTION DETAIL AT TOP OF MANDOOR TYP.
1:5



5 SECTION DETAIL AT METAL MESH SCREEN TYP.
1:5



7 SECTION DETAIL AT BOTTOM OF METAL MESH SCREEN TYP.
1:5



3 PARTIAL NORTH ELEVATION - WEST DOOR
1:50

NOTE:
EXISTING EXTERIOR ELEMENTS, INCLUDING EXTERIOR FACE AND SIDES OF PIERS, ARE HERITAGE ELEMENTS AND ARE NOT TO BE DAMAGED OR MODIFIED. ALL WORK AND CONNECTIONS TO BE COMPLETED FROM INSIDE FACE OF PIERS.

- Notes:
- Copyright of this drawing is reserved by the Architect. The drawing, and all associated documents are instruments of service by the Architect. The drawing, and the information contained therein, may not be reproduced in whole or in part without prior written permission of the Architect.
 - These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.
 - Drawings are not to be scaled for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report and discrepancies with the Contract Documents to the Designer before commencing any work.
 - Positions of exposed finishes for mechanical or electrical devices, fitting and fixtures are indicated on architectural drawings. The location shown on the architectural drawing governs over the mechanical and electrical drawings. Those items not clearly located will be located as directed by the Architect.
 - These drawings are not to be used for construction unless noted below as: "Issued for Construction".
 - All work is to be carried out in conformance with the Code and Bylaws of the Authorities having jurisdiction.
 - The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the building(s) represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

NOT FOR CONSTRUCTION

2024.09.06 TENDER
2024.08.01 BUILDING PERMIT
2024.05.17 COORDINATION
ISSUED RECORD



CLIENT
TORONTO PARAMEDIC SERVICES

PROJECT
TORONTO PARAMEDIC SERVICES
D6 RENOVATION
610 BAY ST TORONTO ON

TITLE
ELEVATIONS & DETAILS

PROJECT NO.
23-1268

CLIENT PROJECT NO.

SCALE
SCALE IS AS INDICATED

DRAWN BY
SJ

DRAWING NO.
A20

010000 GENERAL

- CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE 2012, O.REG. 332/12, INCLUDING O.REG. 88/19, AND ANY APPLICABLE ACTS OF AUTHORITY HAVING JURISDICTION.
- READ STRUCTURAL DRAWINGS WITH ALL OTHER CONTRACT DOCUMENTS.
- BEFORE PROCEEDING WITH WORK, CHECK ALL THE DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS WITH THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND REPORT DISCREPANCIES TO THE CONSULTANT. DO NOT SCALE THE DRAWINGS.
- HORIZONTAL AND VERTICAL DESIGN LOADS ARE NOTED. THEY SHALL NOT BE EXCEEDED DURING CONSTRUCTION.
- TYPICAL STRUCTURAL DETAILS SHALL GOVERN THE WORK. IF DETAILS DIFFER ON THE DRAWINGS, THE MOST STRINGENT SHALL GOVERN.
- CONTRACTOR TO PROVIDE AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY WORKS.
- THE INFORMATION SHOWN ON STRUCTURAL DRAWINGS PLUS THE REQUIREMENTS OUTLINED IN SPECIFICATIONS REPRESENT THE BUILDING IN ITS FINISHED STATE. CONTRACTOR TO REVIEW THESE REQUIREMENTS AND DETERMINE ALL TEMPORARY WORKS REQUIRED TO COMPLETE THE STRUCTURE PER CONTRACT DOCUMENTS INCLUDING MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, TEMPORARY SHORING AND/OR BRACING, TEMPORARY OPENINGS, EXCAVATION SHORING, ERECTION PROCEDURES, ETC.

010001 DESIGN NOTES

- THE BUILDING IS DESIGNATED AS BELONGING TO THE HIGH IMPORTANCE CATEGORY, AS DEFINED IN THE OBC 2012.
- ALL STRUCTURAL STEEL ELEMENTS HAVE BEEN DESIGNED IN ACCORDANCE WITH CAN/CSA-S16.
- LATERAL FORCES ON STRUCTURAL FRAME
 - THE LATERAL FORCE RESISTING SYSTEM IS UNCHANGED BY THE PROPOSED WORK.
 - WIND:
 - THE DESIGN OF THE STRUCTURE FOR WIND IS BASED ON AN HOURLY WIND PRESSURE OF 0.44kPa (BASED ON 1/50 YEAR RETURN).
 - EXPOSURE CONDITION: ROUGH TERRAIN
 - THE IMPORTANCE FACTOR, I_w , FOR WIND DESIGN IS 1.0. FOR DEFLECTION ANALYSIS, THE FACTOR IS 0.75.
 - THE DESIGN WIND FORCES HAVE BEEN CALCULATED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012 AND WITH THE "STATIC" PROCEDURE DESCRIBED IN THE USER'S GUIDE - NBC 2010 - STRUCTURAL COMMENTARIES (PART 4).
- FUTURE EXTENSIONS
 - THE STRUCTURE HAS NOT BEEN DESIGNED FOR ANY FUTURE EXTENSIONS.

020000 EXISTING CONDITIONS

- THE DRAWINGS GOVERNING ALTERATIONS TO EXISTING STRUCTURAL WORK WERE PREPARED USING THE FOLLOWING ASSUMPTIONS:
 - THE WORKMANSHIP AND MATERIALS EMPLOYED ON THE EXISTING BUILDINGS WERE OF GOOD QUALITY AND THE BUILDING HAS NOT DETERIORATED SIGNIFICANTLY.
 - BEARING WALLS, STRUCTURAL STEEL, STRUCTURAL CONCRETE AND TIMBER FRAMING IS REASONABLY TRUE AND PLUMB.
- BEFORE PROCEEDING WITH ALTERATIONS TO STRUCTURAL MEMBERS, VERIFY THAT THE ASSUMPTIONS ON THE DRAWINGS ARE CORRECT. SHOULD THE ASSUMPTIONS NOT BE CORRECT, NOTIFY THE CONSULTANT IMMEDIATELY. THE CONSULTANT WILL DETERMINE REVISIONS NECESSARY TO THE WORK AS SHOWN. THE CONTRACTOR SHALL PROVIDE THE NECESSARY ASSISTANCE TO ENABLE THE CONSULTANT TO DETERMINE THE EXTENT OF THE REVISIONS NECESSARY.
- INVESTIGATE THE EXISTING BUILDING TO DETERMINE ACTUAL FIELD CONDITIONS. TAKE FIELD DIMENSIONS AND PERFORM OTHER INSPECTION NECESSARY TO CARRY OUT DESIGN OF SHORING, BRACING AND THE LIKE, TO SCHEDULE THE SEQUENCE OF OPERATIONS, AND PREPARE SHOP DRAWINGS AND DETAILS.
- PROVIDE AND DESIGN SHORING, BRACING, NEEDLING, SCAFFOLDING, AND THE LIKE, IN ACCORDANCE WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, SO THAT LOADS APPLIED TO THEM WILL BE SAFELY CARRIED. SUPERIMPOSED LIVE LOADS, CONSTRUCTION LOADS AND WIND LOADS SHALL BE TAKEN INTO ACCOUNT AND THE LATERAL STABILITY OF THE ELEMENTS SUPPORTED AND THE SHORING AND NEEDLING SHALL BE INSURED.
- PREPARE DESIGN OF SHORING, AND THE LIKE, IN CO-OPERATION WITH OTHER TRADES SO THAT NEW WORK MAY BE INSTALLED AS REQUIRED.

050000 STRUCTURAL STEEL

- MATERIALS
 - HSS MEMBERS - CONFORM TO THE REQUIREMENTS OF G40.21 350W CLASS C
 - NOTE THAT ASTM A500 IS NOT AN ACCEPTABLE ALTERNATE FOR HSS MEMBERS WITHOUT REVIEW AND RESIZING (INCREASED SECTION SIZE OR WALL THICKNESS) BY THE CONSULTANT.
 - HSS PRODUCED TO ASTM A1085 IS AN ACCEPTABLE ALTERNATE TO CSA G40.21 350W CLASS C.
 - BOLTS, NUTS AND WASHERS – ASTM F3125, GRADE A325
 - WELDS- CONFORM WITH CSA W59-03
 - ANCHOR RODS – CONFORM TO THE REQUIREMENTS OF CSA G40.21 GRADE 300W UNLESS NOTED OTHERWISE.
 - ALL OTHER - CONFORM TO THE REQUIREMENTS OF CSA G40.21 GRADE 300W
- EXECUTION
 - PROVIDE A MINIMUM BEARING OF 200 mm FOR ALL STEEL BEAMS BEARING ON MASONRY AND A MINIMUM OF 100 mm ON STRUCTURAL STEEL, UNLESS NOTED OTHERWISE.
 - CENTRE BEARING PLATES UNDER BEAMS, OR AS NOTED.
 - BEARING PLATE DIMENSION GIVEN FIRST INDICATES SIDE PARALLEL TO BEAM WEB.
 - NO STRUCTURAL STEEL SHALL BE CUT WITHOUT THE PERMISSION OF THE CONSULTANT.
 - PROVIDE FULL HEIGHT WEB STIFFENERS AT ALL BEAMS BEARING ON COLUMNS AND ALL BEAMS SUPPORTING COLUMNS. WEB STIFFENERS SHALL BE OF THE SAME SIZE AND THICKNESS AS THE COLUMN FLANGES AND SHALL ALIGN WITH THE FLANGES OF THE SUPPORTING COLUMN.
 - CONNECT BEAMS FOR THE FACTORED REACTIONS INDICATED ON THE DRAWINGS. IF BEAM REACTIONS ARE NOT INDICATED, THE CONNECTIONS SHALL BE DESIGNED FOR ONE-HALF THE TOTAL UNIFORM LOAD CAPACITY OF THE SIMPLE SPAN BEAM FOR THE GIVEN SPAN PRESENTED IN THE CISC HANDBOOK OF STEEL CONSTRUCTION. BOLTED CONNECTIONS SHALL HAVE A MINIMUM OF TWO BOLTS.
 - STEEL SUPPLIER TO DESIGN CONNECTIONS OF SINGLE ANGLE MEMBERS FOR THE FORCES SHOWN OR IMPLIED IN THE DRAWINGS, SUCH THAT CONNECTIONS ARE MADE TO THE SAME LEG EACH END BY WELDING OR WITH A MINIMUM OF TWO BOLTS.

ABBREVIATIONS		TD0001	
@	= AT	DS	= DRAG STRUT
A.BOLT	= ANCHOR BOLT	DWG(S)	= DRAWING(S)
ADJ	= ADJUSTABLE	DWL(S)	= DOWEL(S)
ALT	= ALTERNATE	EA	= EACH
ARCH	= ARCHITECTURAL	EF	= EACH FACE
ASL	= ACCUMULATED SNOW LOAD	EW	= EACH WAY
B	= BOTTOM	EL	= ELEVATION
BEW	= BOTTOM EACH WAY	ELEC	= ELECTRICAL
BLL	= BOTTOM LOWER LAYER	ELEV	= ELEVATOR
BUL	= BOTTOM UPPER LAYER	E-W	= EAST-WEST
BLDG	= BUILDING	EQ	= EQUAL
BM	= BEAM	EXIST	= EXISTING
BPL, BSPL	= BASE OR BEARING PLATE	EXPJT	= EXPANSION JOINT
BSMT	= BASEMENT	EXT	= EXTERIOR
c/c, o/c	= CENTRE TO CENTRE	FF	= FAR
c/w	= COMPLETE WITH	FDN	= FOUNDATION
C	= EPOXY COATED	FIN	= FINISHED
Ct, Pt, At	= FACTORED COMPRESSION OR AXIAL FORCE, kN	FL	= FLOOR
CANT	= CANTILEVER	FTG	= FOOTING
CFW	= COLD-FORMED STUD WALL	FW	= FOUNDATION WALL
CA	= COLUMN ABOVE	Tc	= CONCRETE STRENGTH, MPa
CB	= COLUMN BELOW	GA	= GAUGE
CDL	= COMPRESSION DEVELOPMENT LENGTH, mm	GALV	= GALVANIZED
CIF	= CONFIRM IN FIELD	GL	= GLULAM
CJ	= CONSTRUCTION JOINT	H, HOR	= HORIZONTAL
CLS	= COMPRESSION LAP SPLICE, mm	HDS	= HOT DIP GALVANIZED
CLT	= CROSS LAMINATED TIMBER	HEF, H EF	= HORIZONTAL EACH FACE
CLTW	= CROSS LAMINATED TIMBER WALL	HEE	= HOOKED EACH END
COL	= COLUMN	HF	= FACTORED HOR FORCE, kN
COMP	= COMPRESSION	HSC	= HORIZONTALLY SLOTTED CONNECTION
CONC	= CONCRETE	INT	= INTERIOR
CONSTR	= CONSTRUCTION	J	= JOINT
CONT	= CONTINUOUS	kN	= KILOWEIGHTON
CW	= CONCRETE WALL	kg	= KILOGRAM
DET	= DETAIL	kNm	= KILONEWTON METRES
DEV	= DEVELOPMENT	kNsq,m	= kN PER SQUARE METRE
DIAG	= DIAGONAL	kN/m	= kN PER METRE
DIA, Ø	= (BAR) DIAMETER	kPa	= KILOPASCAL
DIM	= DIMENSION		
DJ	= DOUBLE JOIST		
DL	= DEAD LOAD		
DLH	= DEVELOPMENT LENGTH FOR STANDARD HOOKS, mm		
DO	= DITTO		

ABBREVIATIONS		TD0002	
LL	= LIVE LOAD	SIM	= SIMILAR
LG	= LONG	SIP	= STRUCTURALLY INSULATED PANEL
LLV	= LONG LEG VERTICAL	SL	= SNOW LOAD
LLH	= LONG LEG HORIZONTAL	SOG	= SLAB ON GRADE
LW	= LIGHT-WOOD WALL	SPECS	= SPECIFICATIONS
MC, ►	= MOMENT CONNECTION	SO	= SQUARE
MECH	= MECHANICAL	STD	= STANDARD
MEW	= MIDDLE EACH WAY	STRUCT	= STRUCTURAL
MEZZ	= MEZZANINE	SW	= SHEAR WALL OR STUD WALL
MID	= MIDDLE	T	= TOP
MISC	= MISCELLANEOUS	TD	= TYPICAL DETAIL
ML	= MIDDLE LAYER	TDL	= TENSION DEVELOPMENT LENGTH, mm
mm	= MILLIMETRE	T/O, TOS	= TOP OF SLAB
MOM	= MOMENT	TEN	= TENSION
m	= METRE, METRIC	TEW	= TOP EACH WAY
MPa	= MEGAPASCAL	TMf	= FACTORED TORSIONAL MOMENT, kNm
MW	= MASONRY WALL	Tf	= FACTORED TENSION FORCE, kN
Mf	= FACTORED MOMENT	TJ	= TIE JOIST
Mfx, Mfy	= FACTORED MOMENT ABOUT X-AXIS OR Y-AXIS, kNm	TLL	= TOP LOWER LAYER
MFW	= MASONRY FOUNDATION WALL	TUL	= TOP UPPER LAYER
MRW	= MASONRY RETAINING WALL	TEMP	= TEMPERATURE
N	= NETWORKS	TLS	= TENSION LAP SPLICE, mm
NF	= NEAR FACE	TYP	= TYPICAL
NIC	= NOT IN CONTRACT	UL	= UPPER LAYER
NLT	= NAIL LAMINATED TIMBER	U/N, UNO	= UNLESS NOTED OTHERWISE
N-S	= NORTH-SOUTH	U/S	= UNDERSIDE
NTS	= NOT TO SCALE	VI	= FACTORED SHEAR OR VERTICAL FORCE, kN
OF	= OUTSIDE FACE	V, VERT	= VERTICAL
OWSJ	= OPEN WEB STEEL JOISTS	VEF, V EF	= VERTICAL EACH FACE
OPEN	= OPENING	VB	= VERTICAL BRACE/BRACING
PL	= PLATE	VSC	= VERTICALLY SLOTTED CONNECTION
PC	= PRECAST	WPL	= WALL PLATE
PROJ	= PROJECTION	WW	= WOOD WALL
R	= REACTION	WWF	= WELDED WIRE FABRIC
RAD	= RADIUS	WWM	= WELDED WIRE MESH
REF	= REFERENCE	Wl, wL	= WITH
REINF	= REINFORCE, REINFORCEMENT	wD, wL	= UNIFORMLY DISTRIBUTED LOADS
REQ'D	= REQUIRED		
REV	= REVISION, REVISED		
Rf	= FACTORED REACTION FORCE, kN		
r/w, RW	= REINFORCED WITH		
RW	= RETAINING WALL		
SECT	= SECTION		
SDF	= STEP DOWN FOOTING		

SEAL:



MARK	DATE	DESCRIPTION
02	2024/09/06	ISSUED FOR TENDER
01	2024/07/29	ISSUED FOR PERMIT

PROJECT NAME:
TORONTO PARAMEDICS
RENOVATION

PROJECT ADDRESS:
610 BAY STREET, TORONTO

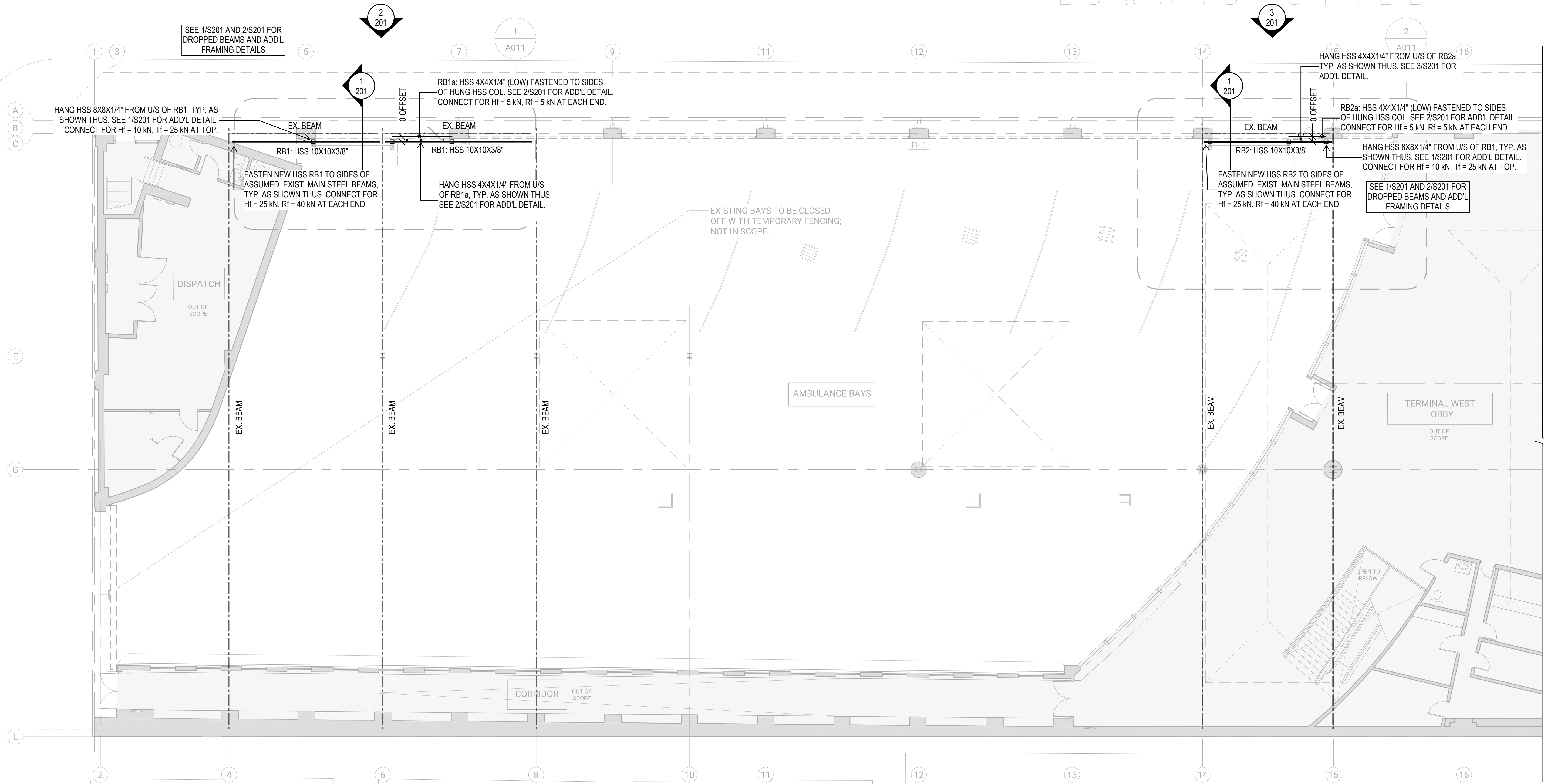
DRAWN: KC	CHECKED: CB
SCALE: NTS	PROJECT NUMBER: 210597

SHEET TITLE:
GENERAL NOTES & TYPICAL
DETAILS

SEAL:



This stamp covers review of structural elements shown in black on this drawing only. Dimmed / grey information has not been reviewed and has been shown for context only.



ROOF FRAMING NOTES

1. LOADS USED IN THE DESIGN:

- WIND: 0.68 kPa
- DEAD LOAD (NEW HOLLOW METAL DOOR): 1.5 kPa
- DEAD LOAD (MESH INFILL WALL): 0.5 kPa

- 2. REFER TO ARCHITECTURAL DRAWINGS FOR DATUM ELEVATIONS.
- 3. ASSUMED EXISTING STRUCTURAL ARRANGEMENT IS PRESENTED ON THIS DRAWING. CONTRACTOR TO CONFIRM AND NOTIFY BLACKWELL OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- 4. DIMMED / GREY INFORMATION HAS NOT BEEN REVIEWED AND HAS BEEN SHOWN FOR CONTEXT ONLY.
- 5. ALL TEMPORARY WORKS, INCLUDING SHORING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 6. PROVIDE SOLID BLOCKING IN JOIST SPACE (SQUASH BLOCKS) AND CONTINUE ALL BUILT UP POSTS DOWN TO T/O FOUNDATION WALLS
- 7. ALL STEEL TO BE HOT-DIPPED GALVANIZED
- 8. ALL STEEL TO BE PAINTED (FINISHING)
- 9. REFER TO GENERAL NOTES AND TYPICAL DETAILS FOR ADDITIONAL INFORMATION
- 10. DO NOT SCALE STRUCTURAL DRAWINGS.

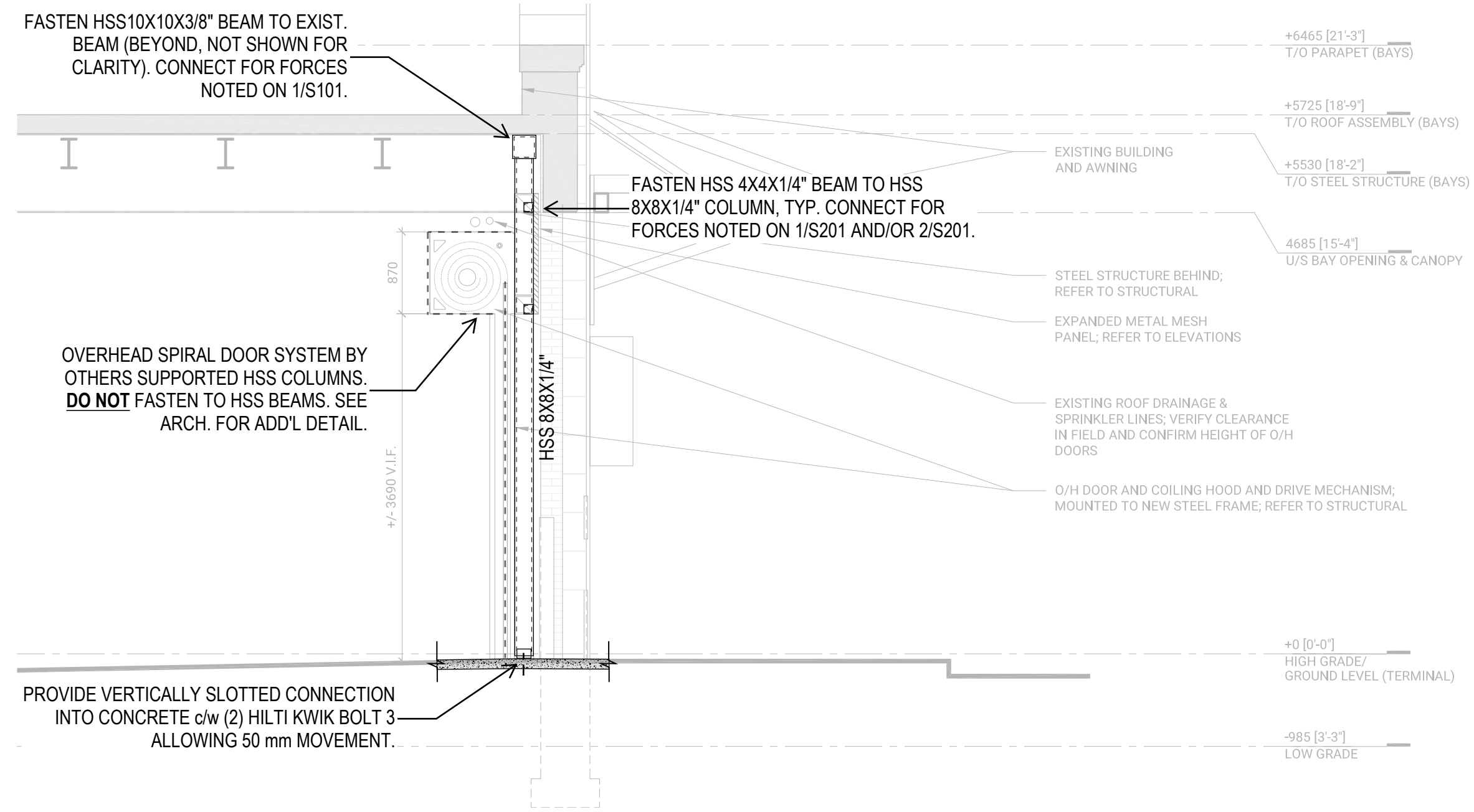
MARK	DATE	DESCRIPTION
02	2024/09/06	ISSUED FOR TENDER
01	2024/07/29	ISSUED FOR PERMIT

PROJECT NAME:
TORONTO PARAMEDICS
RENOVATION

PROJECT ADDRESS:
610 BAY STREET, TORONTO

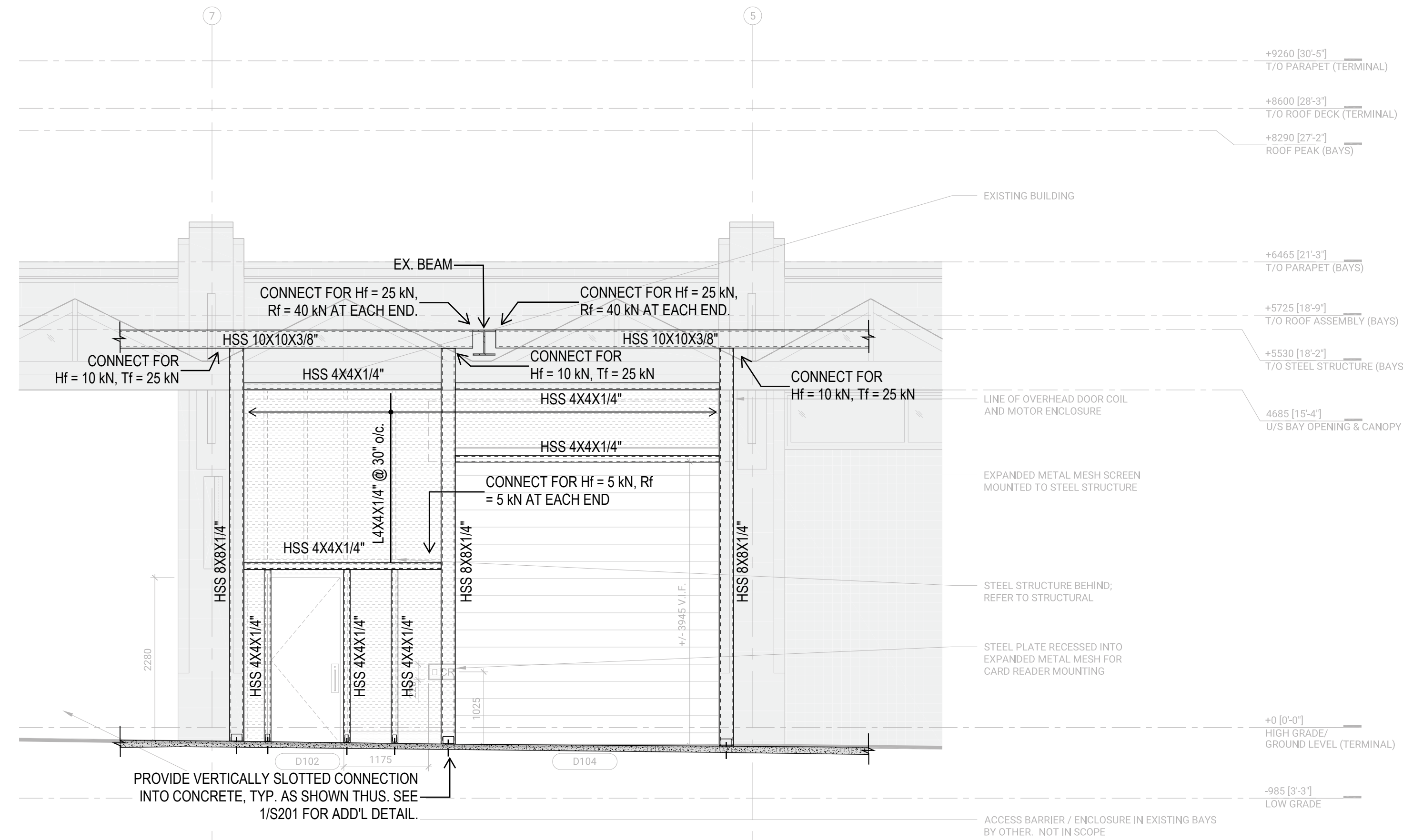
DRAWN: KC	CHECKED: CB
SCALE: 1:100	PROJECT NUMBER: 210597

SHEET TITLE:
GROUND FLOOR PLAN
SHOWING ROOF FRAMING

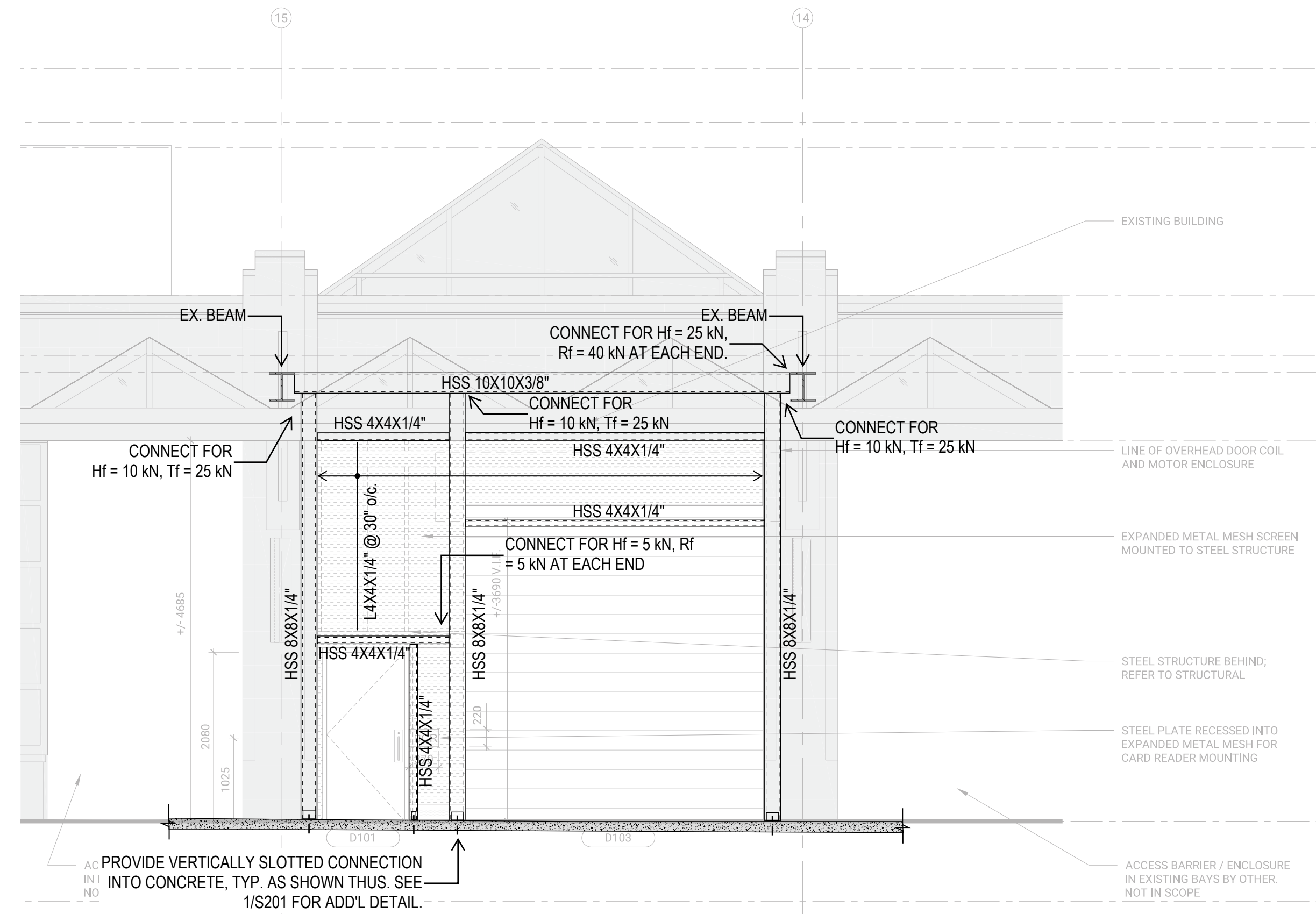


1 PARTIAL SECTION - TYPICAL DOOR
201

ALL STEEL TO BE PAINTED PER ARCH.



2 PARTIAL NORTH ELEVATION - WEST DOOR
201
STRUCTURAL FRAMING SHOWN BEHIND ARCHITECTURAL FOR CONTEXT ONLY



3 PARTIAL NORTH ELEVATION - EAST DOOR
201
STRUCTURAL FRAMING SHOWN BEHIND ARCHITECTURAL FOR CONTEXT ONLY

SEAL:



This stamp covers review of structural elements shown in black on this drawing only. Dimmed / grey information has not been reviewed and has been shown for context only.

MARK	DATE	DESCRIPTION
02	2024/09/06	ISSUED FOR TENDER
01	2024/07/29	ISSUED FOR PERMIT

PROJECT NAME:
TORONTO PARAMEDICS
RENOVATION

PROJECT ADDRESS:
610 BAY STREET, TORONTO

DRAWN: KC	CHECKED: CB
SCALE: 1:50	PROJECT NUMBER: 210597

SHEET TITLE:
SECTIONS

ELECTRICAL LEGEND

LIGHTING

	CEILING MOUNTED LED LUMINAIRE. LETTER DENOTES TYPE (CONNECTED TO PANEL 'A' CIRCUIT #6, CONTROLLED BY SWITCH #1 NOTE: IF SWITCH LOCATIONS NOT SHOWN ON DRAWINGS SWITCHES TO BE INSTALLED AS DIRECTED ON SITE.)
	LED LUMINAIRES, UNSWITCHED, CONNECTED TO EMERGENCY LIGHTING CIRCUIT.
	RECESSED DOWNLIGHT
	EXISTING LIGHT FIXTURE TO REMAIN
	EXISTING LIGHT FIXTURE TO REMAIN. RE-WIRE TO ACCOMMODATE CIRCUITS/SWITCHING SHOWN.
	DISCONNECT EXISTING LIGHT FIXTURE & MAKE SAFE. RELOCATE/REUSE FIXTURE AS INDICATED.
	RELOCATED LIGHT FIXTURE. PROVIDE NEW WIRING/SWITCHING AS SHOWN.
	DISCONNECT & DISPOSE OF EXISTING LIGHT FIXTURE. MAKE ELECTRICALLY SAFE.
	NEW LIGHT FIXTURE TO MATCH BASEBUILDING STANDARD.

POWER & SYSTEMS

	120V SINGLE PHASE OUTLET
	208V SINGLE PHASE OUTLET
	208V THREE PHASE OUTLET
	347V SINGLE PHASE OUTLET
	600V SINGLE PHASE OUTLET
	600V THREE PHASE OUTLET
	UN-FLUSED DISCONNECT SWITCH
	FLUSED DISCONNECT SWITCH
	ELECTRICAL PANEL
	15 AMP, 120 VOLT, SINGLE PHASE, 1/2" GROUND DUPLEX RECEPTACLE
	20 AMP, 120 VOLT, SINGLE PHASE, "T-SLOT", 1/2" GROUND DUPLEX RECEPTACLE CSA CONFIGURATION 5-20R
	15 AMP, 120 VOLT, SINGLE PHASE, 1/2" GROUND DUPLEX RECEPTACLE WITH TWO USB CHARGING PORTS
	15 AMP, 120 VOLT, SINGLE PHASE, 1/2" GROUND QUADPLEX RECEPTACLE
	15A, 120V, SPLIT RECEPTACLE
	15 AMP, 120 VOLT, SINGLE PHASE, 1/2" GROUND DUPLEX RECEPTACLE IN LOW PROFILE FLOOR BOX (WELLMARK #FM SERIES)
	15 AMP, 120 VOLT, SINGLE PHASE, 1/2" GROUND DUPLEX RECEPTACLE IN FLUSH MOUNT POCKET THRU FLOOR BOX, WIREMOLD #RC7 SERIES
	20 AMP, 120 VOLT, SINGLE PHASE, 1/2" GROUND DOUBLE DUPLEX RECEPTACLE GROUND FAULT CURRENT INTERRUPT TYPE, "OC" INDICATES MOUNTED OVER COUNTER.
	15 AMP, 208 VOLT, SINGLE PHASE, "T-SLOT", 1/2" GROUND RECEPTACLE CSA CONFIGURATION 8-15R
	20 AMP, 208 VOLT, SINGLE PHASE, "T-SLOT", 1/2" GROUND RECEPTACLE CSA CONFIGURATION 8-20R
	20 AMP, 120 VOLT, SINGLE PHASE, TWIST-LOCK RECEPTACLE CSA CONFIGURATION L5-20R
	20 AMP, 208 VOLT, SINGLE PHASE, TWIST-LOCK RECEPTACLE CSA CONFIGURATION L6-20R
	30 AMP, 208 VOLT, THREE PHASE RECEPTACLE CSA CONFIGURATION 14-30R

(ALL DATA ROUGH-INS, CABLING, CONDUITS, ETC. SHALL FOLLOW SHERIDAN COLLEGE'S "MASTER GUIDELINES FOR COMMUNICATIONS INFRASTRUCTURE, VERSION 5.01, MARCH 24, 2020")

	ROUGH-IN OUTLET FOR TELEPHONE CIRCUIT. PROVIDE EMPTY WALLBOX WITH CONDUIT UP INTO CEILING SPACE c/w PULLSTRING.
	ROUGH-IN OUTLET FOR DATA CIRCUIT. PROVIDE EMPTY WALLBOX WITH CONDUIT UP INTO CEILING SPACE c/w PULLSTRING.
	WIRELESS ACCESS POINT. SUPPLIED BY CLIENT AND INSTALLED BY DATA/COMMS CONTRACTOR. PROVIDE ROUGH-IN AND MOUNTING HARDWARE/JUNCTION BOX AS REQUIRED.

FIRE ALARM

	FIRE ALARM MANUAL PULL STATION
	FIRE ALARM BELL TO MATCH BASEBUILDING STANDARD.
	SMOKE DETECTOR TO MATCH BASE BUILDING STANDARD.
	DUCT SMOKE DETECTOR
	HEAT DETECTOR TO MATCH BASE BUILDING STANDARD.

SUFFIX

SUFFIX 'E'	EXISTING ITEM INDICATED TO REMAIN.
SUFFIX 'EC'	EXISTING ITEM INDICATED TO REMAIN. RE-WIRE TO ACCOMMODATE CIRCUITS/SWITCHING SHOWN. DISCONNECT EXISTING ITEM INDICATED & MAKE SAFE.
SUFFIX 'ER'	RELOCATE/REUSE ITEM AS INDICATED.
SUFFIX 'RC'	RELOCATED ITEM INDICATED. PROVIDE NEW WIRING/SWITCHING AS SHOWN.
SUFFIX 'X'	DISCONNECT & DISPOSE OF ITEM. REMOVE ALL ASSOCIATED WIRING & CONDUIT BACK TO SOURCE AND MAKE SAFE.
SUFFIX 'R'	DISCONNECT & REINSTALL EXISTING ITEM TO ACCOMMODATE NEW CONSTRUCTION
SUFFIX 'N'	NEW ITEM TO EXISTING BUILDING STANDARD

ELECTRICAL SPECIFICATIONS

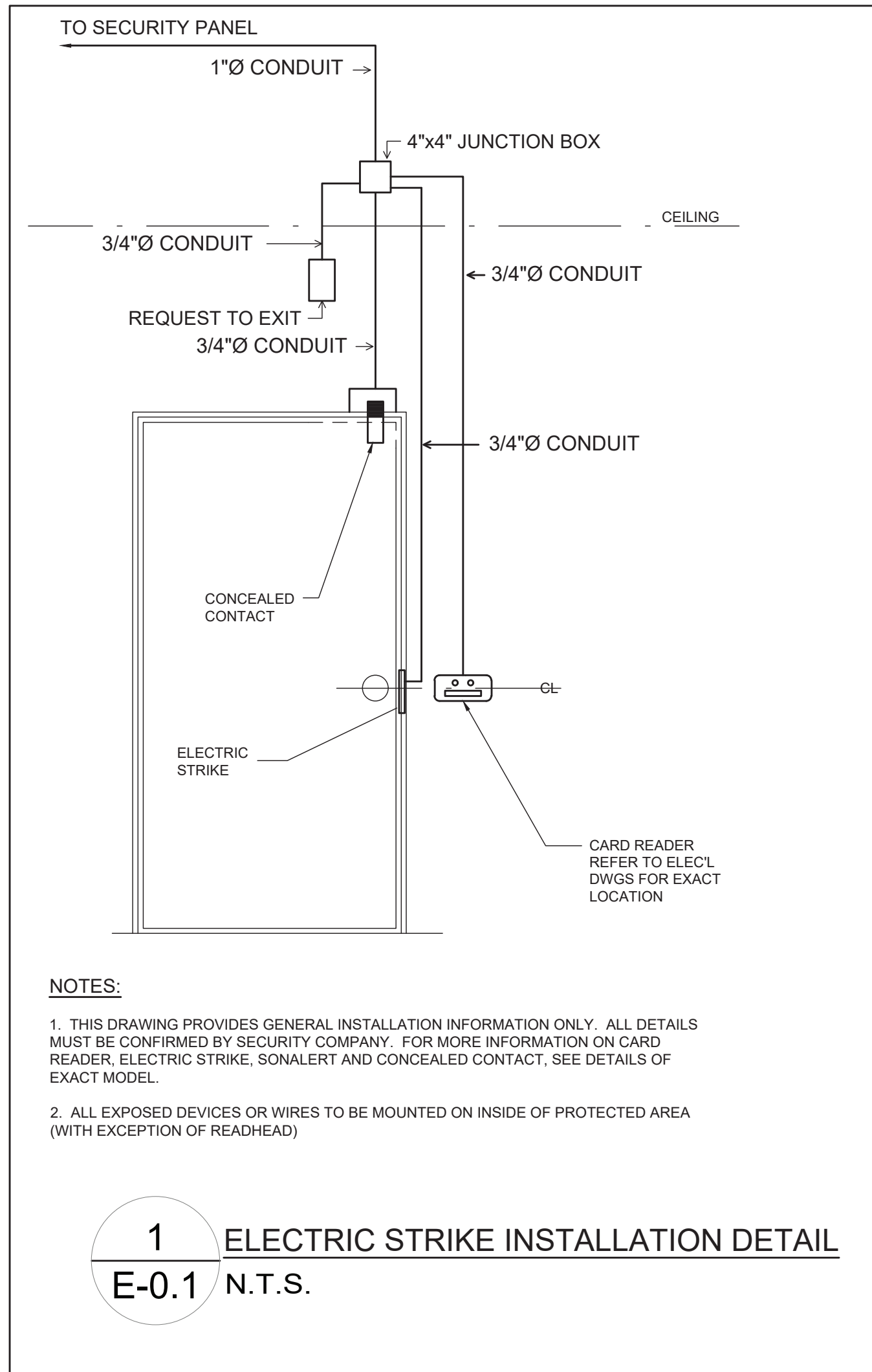
- ALL ELECTRICAL WORK SHALL BE COMPLETED TO THE BASE BUILDING STANDARDS IN ACCORDANCE WITH THE RELEVANT SECTIONS, ARTICLES AND DETAILS OF THE BASE BUILDING SPECIFICATIONS AND DRAWINGS. THESE DOCUMENTS ARE AVAILABLE FOR REVIEWING AT THE OFFICE OF THE MANAGER OF TENANT CO-ORDINATION.
- PROVIDE LABOR, MATERIALS, MISCELLANEOUS SERVICES, EQUIPMENT IDENTIFICATION BY MEANS OF LAMACOID NAME PLATES (WHITE WITH BLACK LETTERING), TESTING AND LOAD BALANCING AND ANY OTHER ITEMS NECESSARY TO COMPLETE THE WORK AS SHOWN AND AS SPECIFIED. THE WORD "PROVIDE", "COORDINATE" AS USED ON THE DRAWINGS SHALL MEAN TO DESIGN AND INSTALL.
- OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS, AND AFTER COMPLETION OF WORK AND ACCEPTANCE, PROVIDE CERTIFICATES TO THE OWNER, VERIFYING THAT THE WORK CONFORMS TO THE REQUIREMENTS OF ALL CODES AND AUTHORITIES HAVING JURISDICTION.
- PROVIDE THE OWNER WITH A WRITTEN WARRANTY, EFFECTIVE FOR ONE YEAR, AFTER DATE OF ACCEPTANCE, FOR THE COMPLETE INSTALLATION, REPAIR AND/OR REPLACE ANY DEFECTS ARISING DURING THIS PERIOD AT NO EXTRA COST TO THE OWNER.
- DRAWINGS SHOWING THE WORK ARE DIAGRAMMATIC. REFER TO INTERIOR DESIGNERS DRAWINGS FOR DIMENSIONS AND EXACT LOCATIONS OF ALL POWER, TELEPHONE OUTLETS, AND LIGHTS IN AREAS WITH SPECIAL CEILING.
- THIS CONTRACTOR SHALL KEEP A SEPARATE SET OF WHITE PRINTS ON THE SITE AND NOTE ALL CHANGES AND DEVIATIONS FROM THE ORIGINAL DESIGN. ONE SET OF RECORD DRAWINGS ON DISK IN AUTO CAD FORMAT, SHOWING ALL AS-BUILT CONDITIONS SHALL BE FORWARDED TO THE ENGINEER AND THE LANDLORD AT THE COMPLETION OF THIS CONTRACT AND BEFORE APPLYING FOR FINAL PAYMENT.
- CAREFULLY EXAMINE THE SITE AND CONDITIONS OF THE PROPOSED WORK TOGETHER WITH THE WORK OF ALL OTHER TRADES AND INCLUDE IN THE TENDER PRICE ALL COSTS FOR WORK SUCH AS CUTTING, PATCHING, REROUTING AND REPOSITIONING OF ELECTRICAL EQUIPMENT AND WIRING MADE NECESSARY TO ACCOMMODATE THE ARCHITECTURAL RENOVATIONS AND ELECTRICAL SYSTEMS SHOWN.
- PROTECT WORK OF THIS AND ALL OTHER TRADES, EXISTING FINISHES AND SERVICES WHICH MUST REMAIN IN OPERATION. REPLACE AND/OR REINSTALL ANY EXISTING SERVICES WHICH ARE TO REMAIN THAT ARE IMPROPERLY INSTALLED OR CREATE ANY INTERFERENCE WITH NEW CONSTRUCTION.
- CUTTING AND PATCHING OF NEW AND EXISTING BUILDING TO ACCOMMODATE THE WORK OF THIS TRADE SHALL BE DONE BY WORKMEN SKILLED IN THE APPROPRIATE TRADES. ALL EXISTING OR NEW PENETRATIONS THROUGH FLOOR SLAB FOR CONDUITS OR SERVICES SHALL BE SEALED WITH HILTI FLOOR FRESHTOP.
- SCHEDULE AND CO-ORDINATE ALL WORK WITH OTHER TRADES BEFORE INSTALLATION OF EQUIPMENT TO AVOID CONFLICT DURING OR AFTER INSTALLATION.
- ARRANGE WITH THE BUILDING OWNER FOR NECESSARY SHUTDOWNS OF SYSTEMS AND INCLUDE OVERTIME COSTS IN THE TENDER FOR TIENS TO BE DONE ON WEEKENDS AND AT OTHER TIMES SUITABLE TO THE BUILDING OWNER AND THE TENANT.
- INCLUDE IN THE TENDER PRICE REMOVAL AND RE-INSTALLATION OF LUMINAIRES, WIRING DEVICES AND EQUIPMENT MADE NECESSARY DUE TO THE RENOVATIONS AND/OR INSTALLATION OF NEW EQUIPMENT. CUT BACK AND CAP UNUSED WIRINGS AND OUTLETS AND REMOVE UNUSED WIRING, BACK TO THE PANEL BOARDS IN AN APPROVED MANNER TO CONCEALED LOCATION SO THAT THE FINISHED WORK APPEARS NEAT AND CLEAN.
- ALL EMT CONDUITS TO BE THIN WALL COMPLETE WITH STEEL SET SCREW CONNECTORS AND COUPLINGS. SUPPORT ALL BRANCH CONDUITS FOR POWER AND TELEPHONE DATA FROM BUILDING STRUCTURE. DO NOT CAUSE CLIP TO CEILING HANGERS.
- REMOVE AND CLEAN UP ANY DEBRIS OR MATERIAL FROM THE SITE THROUGHOUT THE DURATION OF THE CONTRACT AND ON COMPLETION OF THE WORK AS DIRECTED.
- IN AREAS WITH SOLID CEILINGS, ELECTRICAL AND SYSTEM JUNCTION BOXES ALONG WITH ASSOCIATED CONDUIT AND WIRING SHALL BE RELOCATED TO AREAS WHERE CEILING ACCESS IS POSSIBLE, OR ACCESS PANELS MAY BE PROVIDED WITH WRITTEN APPROVAL.
- ALL WIRING SHALL BE COLOR CODED COPPER RW-90 XLINK, MINIMUM #12 AWG FOR RUNS UP TO 75 FEET AND #10 AWG FOR RUNS 100 FEET TO 200 FEET OVER 200 FEET SHALL BE #8 AWG UNLESS OTHERWISE NOTED. #12 AND #10 WIRE MUST BE SOLID CONDUCTOR. #8 AND LARGER IS STRANDED. WIRING SHALL BE CONCEALED IN UNDERFLOOR DUCT SYSTEM OR EMT CONDUIT. #6-80 CAN BE USED FOR DOWNDROPS FROM OUTLETS TO LUMINAIRES AND IN PARTITIONS UNLESS PROHIBITED BY CODE OR OTHERWISE NOTED. WIRING AND CONDUIT SHALL BE ROUTED IN CEILING SPACE OF THE FLOOR THEY ARE SERVING.
- ALL WIRING DEVICES, LUMINAIRES AND EQUIPMENT SHALL BE NEW AND CSA CERTIFIED. EQUIPMENT OF THE SAME TYPE SHALL BE OF THE SAME MANUFACTURER. EXISTING FLOOR MONUMENTS/RECEPTACLES OF GOOD CONDITION MAY BE REUSED IN NEW POSITIONS. NEW FLOOR MONUMENTS SHALL BE OF BUILDING STANDARD TYPE.
- PROVIDE A SUITABLE INDEPENDENTLY SUPPORTED, AND APPROVED OUTLET BOX FOR EACH LUMINAIRE, SWITCH, RECEPTACLE OR OTHER DEVICE. PROVIDE SAFETY CHAINS ON ALL LUMINAIRES AND SECURE TO BUILDING STRUCTURE.
- EXPOSED COVER PLATES SHALL BE WHITE DECORA SERIES INSTALLED AFTER PAINTING HAS BEEN COMPLETE.
- PROVIDE SAFETY GROUND AS REQUIRED BY CODE. PROVIDE A SEPARATE INSULATED GROUND CONDUCTOR IN EACH CONDUIT WHETHER INDICATED ON THE DRAWINGS OR NOT INDICATED ON THE DRAWINGS. DO NOT USE THE CONDUIT AS GROUND.
- ALL DEVICES SHALL BE SPECIFICATION GRADE. OUTLETS SHALL NOT BE MOUNTED BACK TO BACK. NOTE COLOUR TO BE CHOSEN BY DESIGNER.
- AMP, 120 VOLT SWITCHES PASS & SEYMOUR CAT# 2621-W, WHITE, MOUNTED 3/4" A.F.F.
- AMP, 347 VOLT SWITCHES PASS & SEYMOUR CAT# 2623AT-W, WHITE, MOUNTED 3/4" A.F.F.
- AMP, 120 VOLT RECEPTACLES PASS & SEYMOUR CAT# 2625-W, MOUNTED 1/2" AFF OR 1" ABOVE COUNTER TOP. POWER RECEPTACLES WITHIN 1 METER FROM PLUMBING FIXTURES AND/OR SINKS SHALL BE EQUIPPED WITH GFCI.
- CIRCUITING SHOWN IS DIAGRAMMATIC ONLY AND IS SHOWN FOR GROUPING ONLY. CONNECT TO SPARE BREAKERS MADE AVAILABLE BY THESE RENOVATIONS OR PROVIDE NEW BREAKERS AS REQUIRED.
- FLUORESCENT LUMINAIRES SHALL BE AS SCHEDULED COMPLETE WITH HPF AUTO RESET PROTECTED CAPACITOR SOUND RATED "A" ELECTRONIC BALLASTS AND 4 LAMPS. LAMP COLOR AND TYPE TO MATCH EXISTING BUILDING STANDARDS. INCANDESCENT LUMINAIRE LAMPS SHALL BE INSIDE PROTECTED 125 VOLT EXTENDED 2000 HOUR SERVICE. HID LUMINAIRES SHALL HAVE INTEGRAL HPF CONSTANT WATTAGE THERMALLY PROTECTED FLUORESCENT SOUND "1" COMPATIBLE BALLAST. LAMPS SHALL BE COATED.
- ALL BASE BUILDING LUMINAIRES REMOVED AND NOT REQUIRED TO SUIT NEW LAYOUT SHALL BE TURNED OVER TO BUILDING OWNER. DISPOSE OF LUMINAIRES IN AN APPROVED IF THE BUILDING OWNER WILL NOT ACCEPT THE LUMINAIRES.
- COMMUNICATIONS SYSTEM SHALL CONSIST OF A COMPLETE SYSTEM OF EMPTY CONDUIT, PULLBOXES AND OUTLETS FOR ENCLOSURE OF WIRING BY INTERCONNECT COMPANY. INSTALL A 1/8" NYLON PULL STRING CONTINUOUSLY FROM OUTLET TO OUTLET, THROUGH THE CONDUIT AND FASTENED AT EACH BOX. ALL CONDUITS SHALL BE ROUTED THROUGH CEILING OF FLOOR THEY ARE SERVING.
- PROVIDE SHOP DRAWINGS FOR ALL EQUIPMENT SUPPLIED, ELECTRONIC FORMAT. ADOBE ACROBAT.
- TRANSFORMERS SHALL BE DRY TYPE AND SHALL MEET LATEST CSA STANDARD. PROVIDE FLEXIBLE CONNECTIONS ON LINE AND LOAD SIDES TO PREVENT VIBRATIONS. TRANSFORMERS SHALL HAVE THE FOLLOWING CHARACTERISTICS: WINDINGS: COPPER. TAPS: 2.2-12% FCAN & 2.2-12% FCAN. INSULATION: CLASS H, TEMPERATURE RISE: 150°C, B.I.L.: 10KV (UNLESS OTHERWISE REQUIRED BY PUBLIC UTILITY COMPANY), MOISE LEVELS PER CSA C-8.
- REMOVE EXISTING FLOOR MONUMENTS AS INDICATED OR NOT REQUIRED TO SUIT NEW LAYOUT. FILL EXISTING HOLES NOT REQUIRED FLUSH WITH FINISHED FLOOR WITH NON SHRINKING CEMENT COMPOUND.
- BEFORE CORE DRILLING ANY CONCRETE FLOORS OR WALLS THE AREA IN QUESTION MUST BE X-RAYED PRIOR TO ANY WORK PROCEEDING. ALL CORE DRILLING TO BE APPROVED BY THE LANDLORD COMPLETE WITH PROPOSED SCHEDULE.
- NEW PANELBOARD SHALL BE THE SAME MANUFACTURER, RATING & TYPE AS BASE BUILDING AND SHALL HAVE COPPER MAINS AND SHALL BE OF THE CHARACTERISTICS SHOWN ON THE DRAWINGS. BREAKERS TO BE BOLT ON TYPE AND OF SAME MANUFACTURER, FROM FLUSH MOUNTED PANELBOARDS. STUB OUT 3/4" CONDUIT INTO CEILING CAVITY.
- NO ADDITIONAL MONEY OVER THE CONTRACT PRICE SHALL BE PAID UNLESS AN APPROVED CHANGE ORDER IS ISSUED BY THE ARCHITECT. CLAIMS FOR EXTRAS SHALL BE SUBMITTED WITH A COMPLETE BREAKDOWN OF MATERIAL, LABOUR, HOURLY RATES, ETC. MAXIMUM COMBINED MARK-UP FOR OVERHEAD AND PROFIT SHALL NOT BE MORE THAN 10% OF THE TOTAL LABOUR AND MATERIAL COSTS OF SUCH EXTRA WORK. MATERIAL COSTS SHALL BE THE NET COST AND NOT TRADE OR LIST PRICE.
- NO EXTRA COST OR CREDIT SHALL BE INCURRED FOR ANY CHANGE IN LOCATION OF EQUIPMENT, PROVIDING DISTANCE DOES NOT EXCEED 3 M (10') AND INFORMATION IS GIVEN BEFORE INSTALLATION OF SAID EQUIPMENT.
- PROVIDE TYPEWRITTEN DIRECTORY FOR PANELBOARD. PROVIDE ONE COPY FOR THE LANDLORD FOR THEIR RECORDS.
- ENSURE THAT ALL PANELBOARDS ARE PROVIDED WITH THE BEST BALANCE OF CURRENT BETWEEN PHASES. PROVIDE ONE COPY FOR THE LANDLORD FOR THEIR RECORDS.
- THE BUILDING FIRE ALARM SYSTEM IS EXISTING AND OPERATING. BEFORE PERFORMING ANY CHANGES TO THE SYSTEM, ALERT THE LANDLORD A MINIMUM OF 24 HOURS IN ADVANCE TO ALLOW THE ZONE TO BE ISOLATED.
- ALL DEVICES WHICH ARE DISCONNECTED AND RECONNECTED TO THE FIRE ALARM SYSTEM ARE TO BE VERIFIED FOR PROPER OPERATION PRIOR TO FINAL INSPECTION. VERIFICATION AND TESTING MUST BE PERFORMED BY THE BASE BUILDING FIRE ALARM CONTRACTOR.
- PROVIDE CERTIFICATION OF VERIFICATION ON PROJECT COMPLETION, INSTALLATION TO UL-C-6524 LATEST EDITION. VERIFICATION TO UL-C-6527 LATEST EDITION. SEQUENCE OF OPERATION SHALL BE AS DESIGNED FOR THE BASE BUILDING.
- FIRE ALARM VERIFICATION REPORT SHALL INCLUDE AUDIBILITY TESTING AS OUTLINED IN ONTARIO BUILDING CODE 3.2.4.19.

COMMUNICATIONS CONDUIT		
SIZE OF CONDUIT	INSIDE DIA.	CABLES
3/4"	0.824"	-
1"	1.049"	6
1 1/4"	1.380"	10
1 1/2"	1.610"	15
2"	2.067"	20
2 1/2"	2.469"	30
3"	3.068"	40
4"	4.026"	-

RUN ALL CONDUIT C/W PULL STRING UP WALL & STUB INTO CEILING SPACE. REFER TO SHERIDAN SPECIFICATION FOR EXACT SIZING.

EMERGENCY & EXIT LIGHTING LEGEND

	EMERGENCY BATTERY UNIT, STEEL CABINET, WHITE FINISH, LONG-LIFE MAINTENANCE FREE LEAD ACID BATTERY, AUTO-TEST FEATURE, TWO 5-WATT LED MR16 HEADS, 144-WATT CAPACITY, VOLTAGE: 120V AC / 12 VOLT DC LUMACELL #RG12S-144-2LD9-AT STANPRO #SLA-12100-2N-5WLJ-WH#BK-AT
	EXIT SIGN COMBINATION UNIT, PICTOGRAM, EXTRUDED ALUMINUM, L.E.D. ILLUMINATION, SINGLE/DOUBLE FACE, DIRECTION AS REQUIRED, LONG-LIFE MAINTENANCE FREE NICKEL-CADMIUM BATTERY, 60-WATT CAPACITY, AUTO-TEST FEATURE, TWO 6-WATT LED MR16 HEADS, CSA 22.2 NO. 141-10 COMPLIANT. (PROVIDE SEPARATE PRICE TO INCLUDE FOR NEXUS COMPATIBLE UNITS AND COMPLETE NEXUS SYSTEM) VOLTAGE: 120V AC / 12V DC LUMACELL #RLC1(OR)2-W-1250-2LD10-AT STANPRO #
	SINGLE REMOTE EMERGENCY HEAD C/W 6-WATT MR-16 L.E.D. LAMP, WHITE FINISH. PROVIDE SURFACE MOUNT AS REQUIRED. VOLTAGE: 12V DC LUMACELL #RM0MP2-LD10 STANPRO #
	DOUBLE REMOTE EMERGENCY HEADS C/W 6-WATT MR-16 L.E.D. LAMP, WHITE FINISH. PROVIDE SURFACE MOUNT AS REQUIRED. VOLTAGE: 12V DC LUMACELL #RM0MP2-LD10 STANPRO #



NOTES:

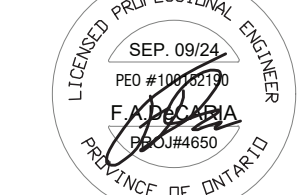
- THIS DRAWING PROVIDES GENERAL INSTALLATION INFORMATION ONLY. ALL DETAILS MUST BE CONFIRMED BY SECURITY COMPANY. FOR MORE INFORMATION ON CARD READER, ELECTRIC STRIKE, SONALERT AND CONCEALED CONTACT, SEE DETAILS OF EXACT MODEL.
- ALL EXPOSED DEVICES OR WIRES TO BE MOUNTED ON INSIDE OF PROTECTED AREA (WITH EXCEPTION OF READHEAD)

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2024.07.13 ISSUED FOR PERMIT

ISSUED RECORD



DeCARIA ENGINEERING

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CLIENT
TORONTO PARAMEDIC SERVICES

PROJECT
TORONTO PARAMEDIC SERVICES
D6 RENOVATION
610 BAY ST TORONTO

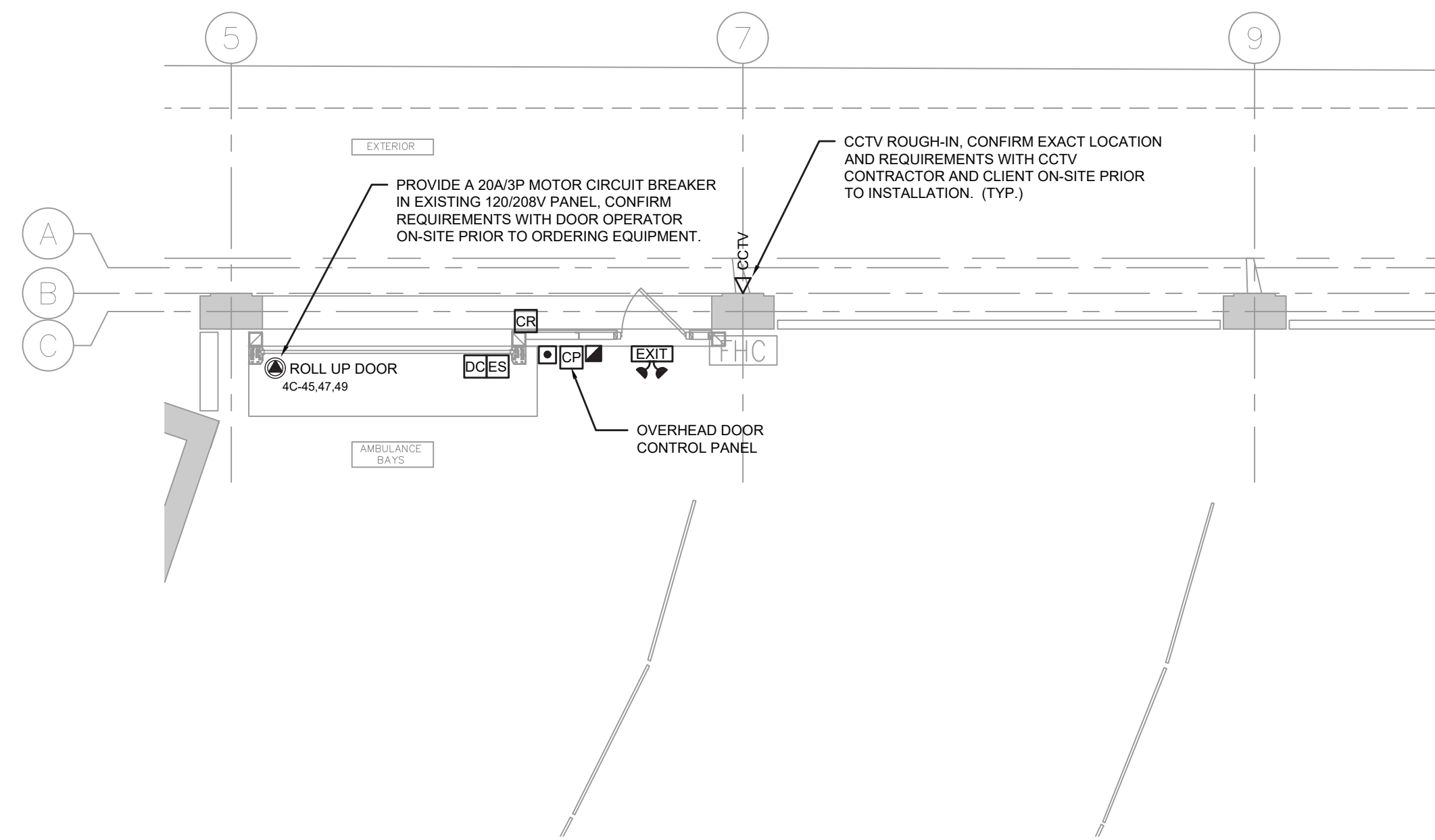
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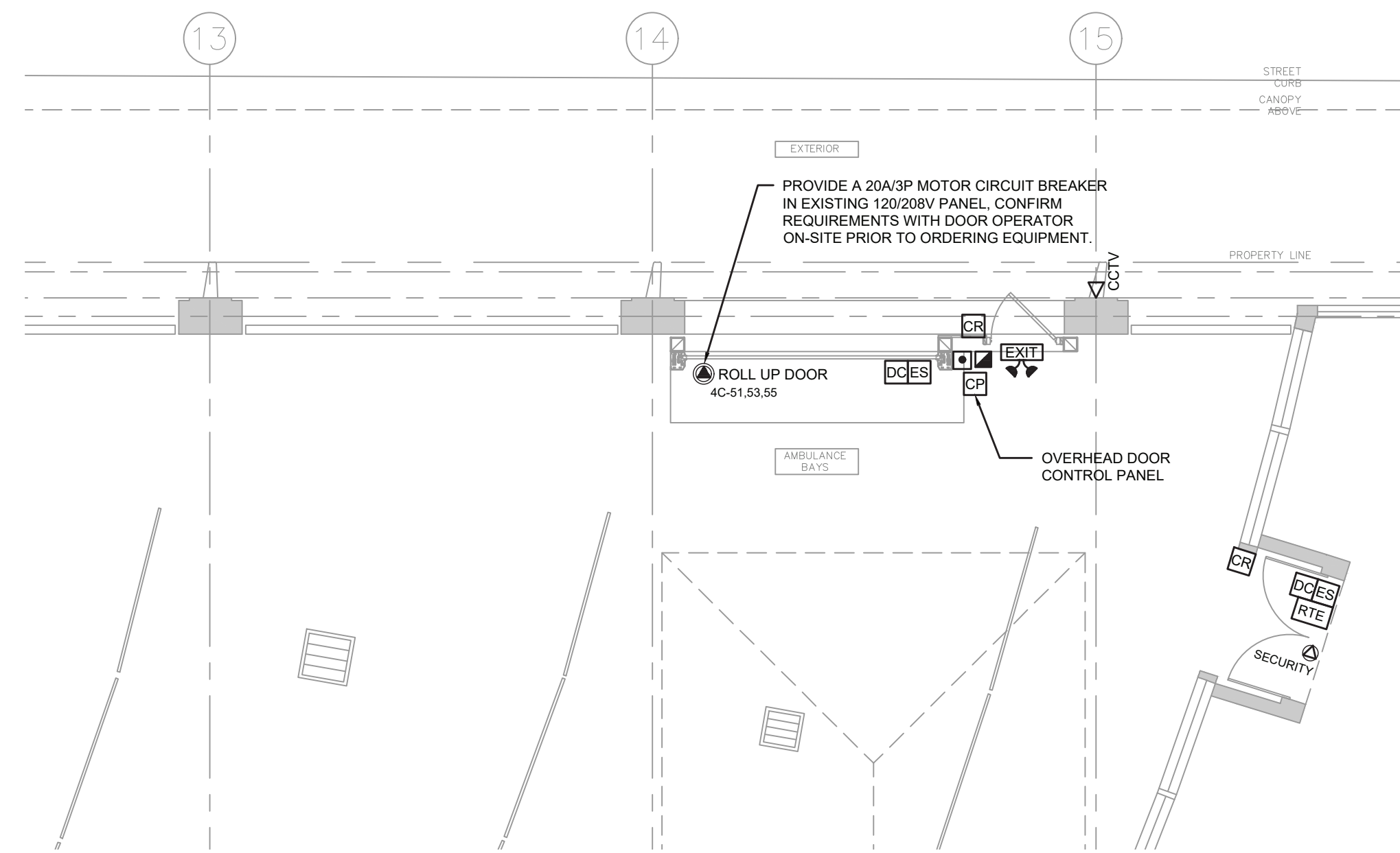
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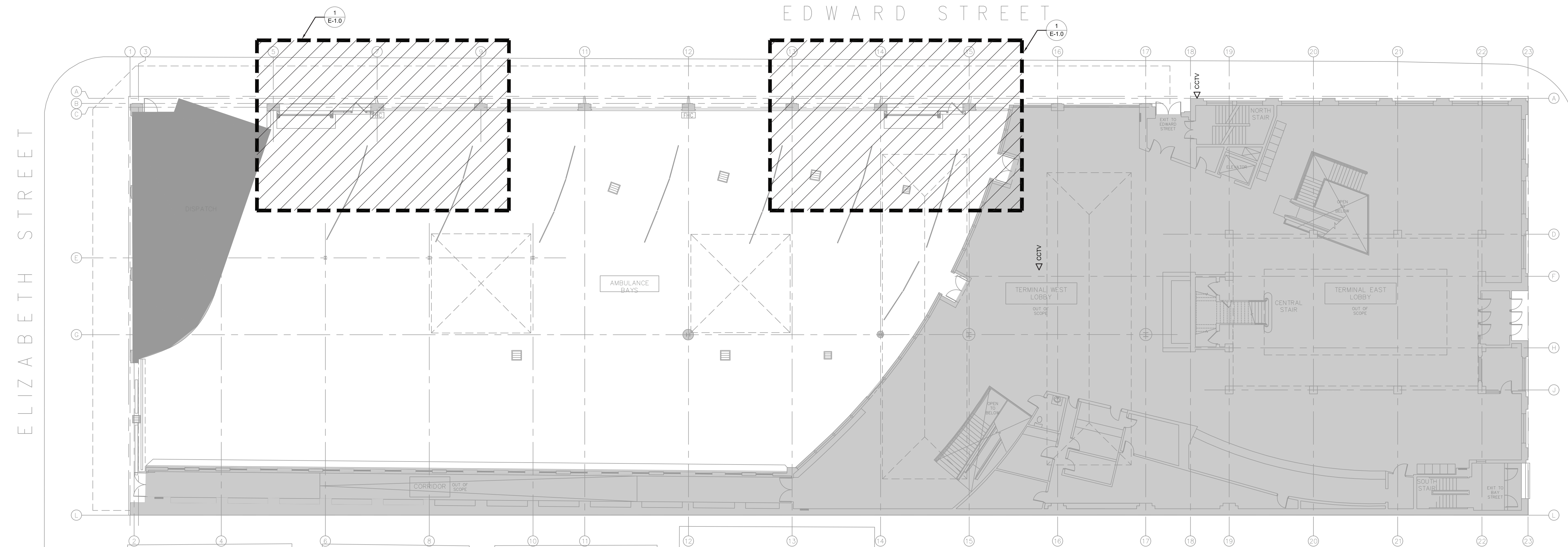
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1 PARTIAL GROUND LEVEL FLOOR PLAN
1:75



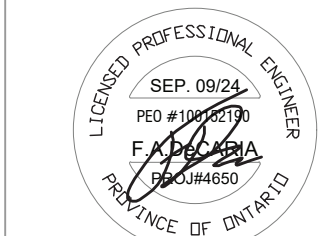
2 PARTIAL GROUND LEVEL FLOOR PLAN
1:75



3 GROUND LEVEL KEY PLAN
1:150

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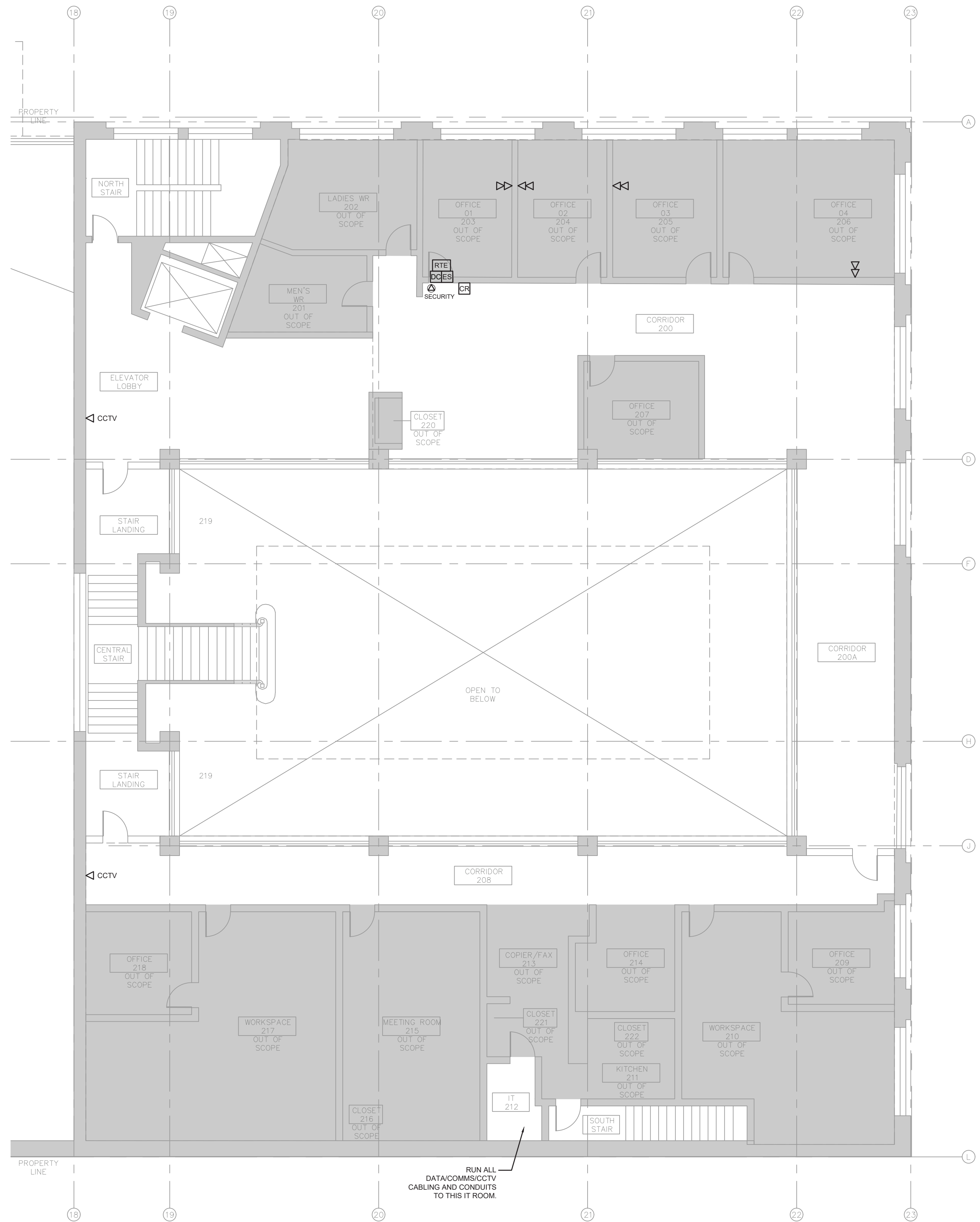
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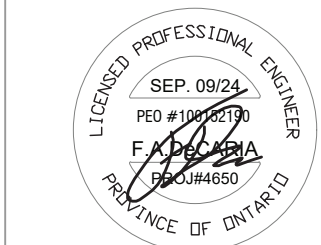


1 MEZZANINE PLAN
E-1.1 1:75

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TITLE
2ND LEVEL – ELECTRICAL

PROJECT NO. CLIENT PROJECT NO.
4650-4

SCALE
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E-1.1