

# BEAVERTON ARENA BANQUET KITCHEN AREA RENOVATIONS

176 MAIN STREET  
BEAVERTON, ONTARIO

## LIST OF DRAWINGS

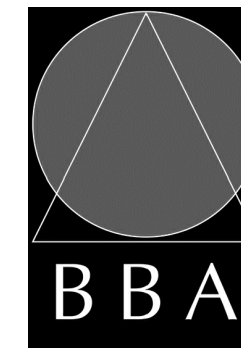
A000 LIST OF DRAWINGS, SITE LOCATION AND DETAILS

### ARCHITECTURAL

- A201 SECOND FLOOR PLAN, DEMOLITION, AND RCP
- A901 SCHEDULES & MILLWORK
- A902 SPECIFICATIONS

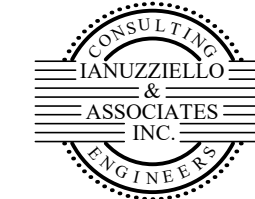
## CONSULTANTS

### ARCHITECTURAL / STRUCTURAL



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NAME OF PROJECT :  
BEAVERTON ARENA BANQUET KITCHEN AREA  
RENOVATIONS

LOCATION OF PROJECT :  
176 MAIN STREET, BEAVERTON, ONTARIO, TOWNSHIP OF BROCK

DATE :  
OCT 2024 776H RENOVATION

Ontario Building Code Data Matrix Part 11 - Renovation of	OBC Reference
11.00 Building Code Version: <u>O_Reg_332/12</u> Last Amendment: <u>O_Reg_158/24</u>	
11.01 Project Type: <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Addition and Renovation <input type="checkbox"/> Change of use Description: <u>INTERIOR RENOVATION</u>	[A] 1.1.2.
11.02 Major Occupancy Classification: <u>Group A, Div. 3</u> Use: <u>ARENA BANQUET HALL AREA</u>	3.1.2.1.(1) & 11.2.1
11.03 Superimposed Major Occupancies: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Description: <u>-</u>	11.2 & 3.2.2.5 - 3.2.2.8.
11.04 Building Area (m <sup>2</sup> ): Description Existing New Total <u>FIRST FLOOR</u> - NO CHANGE - <u>SECOND FLOOR</u> - NO CHANGE - Total= - NO CHANGE -	[A] 1.4.1.2, 11.2 & 11.3.
11.05 Building Height* <u>NO CHANGE</u> <u>0</u> Storeys above grade <u>(m) Above grade</u> <u>0</u> Storeys below grade	[A] 1.4.1.2 & 3.2.1.1 & 11.3.
11.06 Number of streets/ fire fighter access: <u>X</u> street(s)	3.2.2.10, 3.2.5 & 11.3.
11.07 Building Size: <input type="checkbox"/> Small <input type="checkbox"/> Medium <input checked="" type="checkbox"/> Large <input type="checkbox"/> > Large	T.11.2.1.1.B.-N.
11.08 Existing Building Classification: Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy) Construction Index: <u>5</u> Hazard Index: <u>6</u> Importance Category: <input type="checkbox"/> Low <input checked="" type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Post-disaster	11.2.1 T11.2.1.1A T11.2.1.1B to N, 4.2.1(3) & 5.2.2.1. (2)
11.09 Renovation Type: <input checked="" type="checkbox"/> Basic Renovation <input type="checkbox"/> Extensive Renovation	11.3.3.1 & 11.3.3.2
11.10 Occupant Load: Floor Level/ Area Occupancy Type Based On Occup. Load <u>NO CHANGE</u>	3.1.17, 11.4.2.2.
11.11a Plumbing Fixture Requirements: Ratio: Male/Female = 50:50 Except as noted otherwise Floor level/ Area Occupant Load OBC Reference Fixtures Required Fixtures Provided <u>NO CHANGE</u>	3.7.4
11.11b Plumbing Fixture Requirements: cont. Floor level/ Area (Repeated) B.F. Fixture Required B.F. Fixture Provided Uni. Fixture Required Uni. Fixtures Provided <u>NO CHANGE</u>	Tables 3.8.2.3.A and 3.8.2.3.B
11.12 Barrier-free Design: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Explanation: <u>AT AREA OF DESIGN ONLY</u> Barrier-Free Entrances: <u>      </u> Explanation: <u>      </u>	11.3.3.2.(2)
11.13 Reduction in Performance Level: Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage - system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5 11.4.2.6
11.14 Compensating Construction: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage - system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Extension of Combustible Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5 11.4.2.6 11.4.2.7
11.15 Compliance Alternatives Proposed: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.5.1.
11.16 Notes: The project involves on interior renovation to the Banquet Hall Bar and Kitchen Space. The interior renovation is approximately 776 ft <sup>2</sup> . The space will not accommodate cooking with grease and based on this the NFPA hood is not being installed	11.5.1

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NO.	ISSUES	DATE	BY
1	ISSUED FOR 90% REVIEW	OCT 01 2024	AM
2	ISSUED FOR P&T	NOV 01 2024	AM

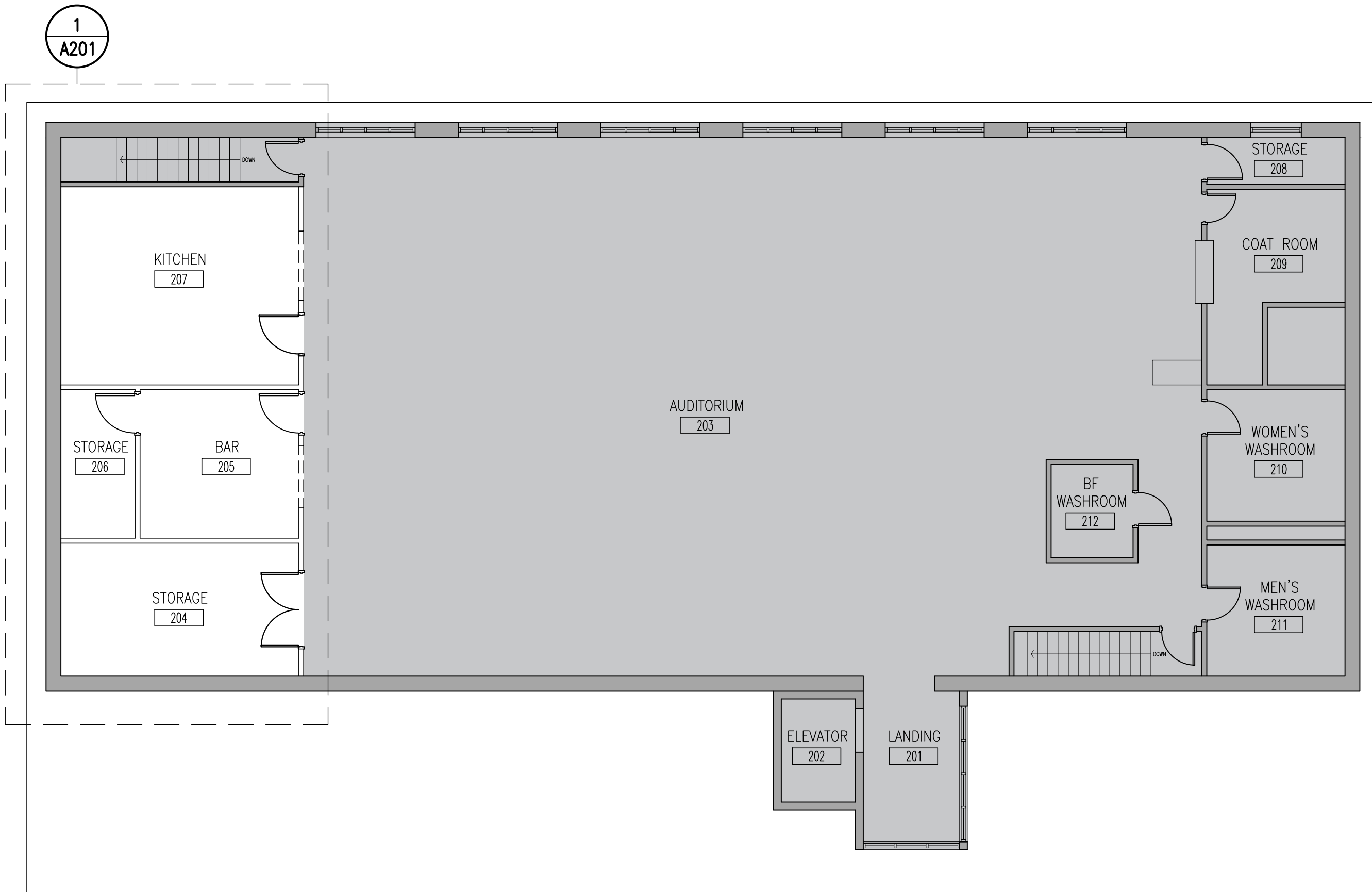


NO.	REVISIONS	DATE	BY

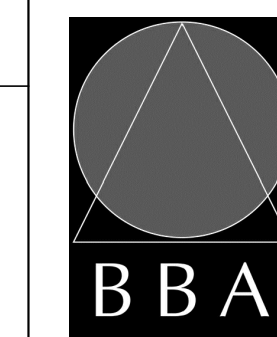
**PROJECT:**  
**BEAVERTON ARENA  
BANQUET KITCHEN  
AREA RENOVATIONS**

176 MAIN STREET  
BEAVERTON, ONTARIO  
TOWNSHIP OF BROCK

**DRAWING:**  
**TITLE SHEET / MATRIX**



**1**  
**A000** SECOND FLOOR KEY PLAN  
1/4"=1'-0"



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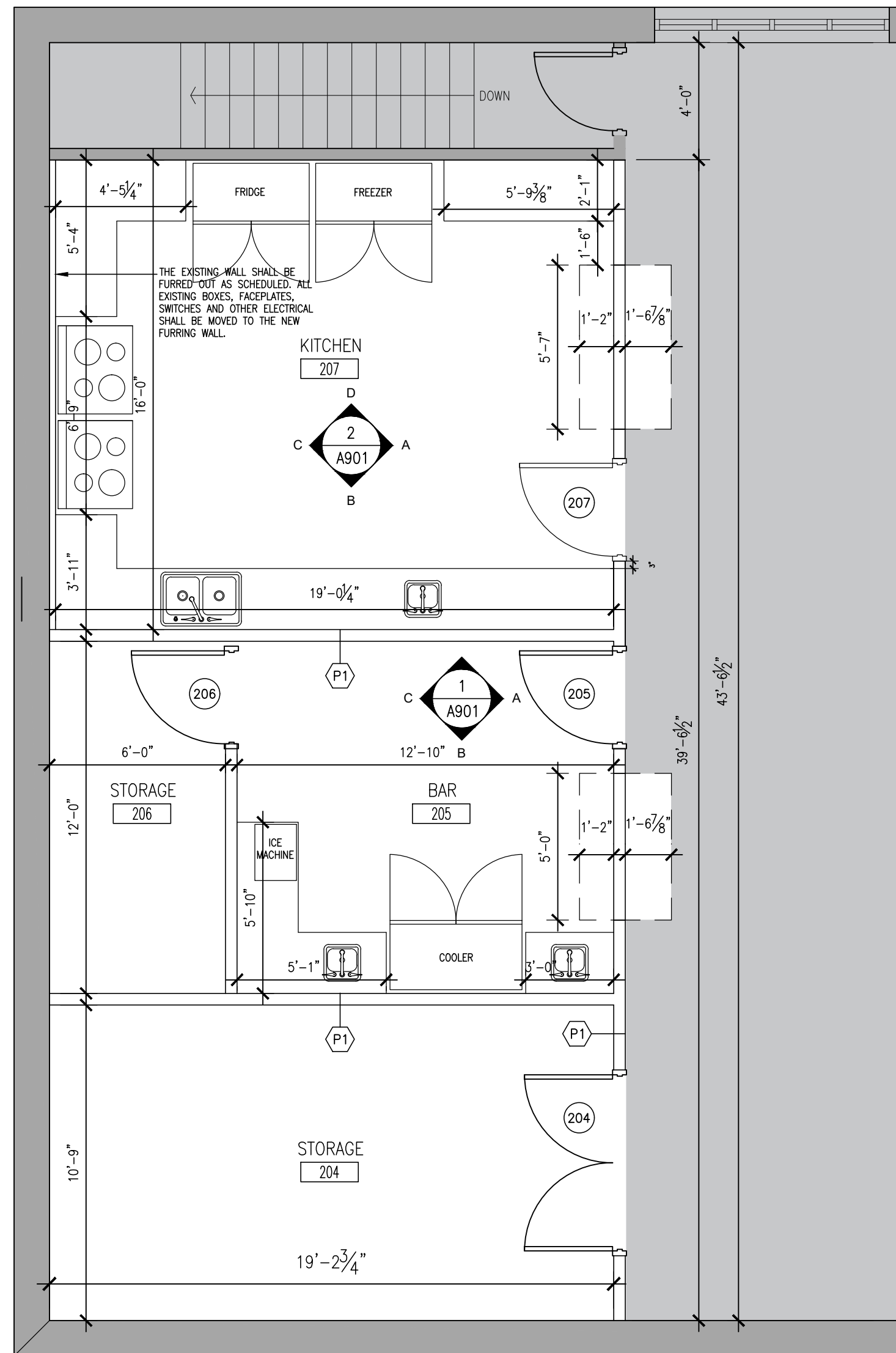
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DRAWN BY: AM  
CHECKED BY: DM

DATE: NOV 2024

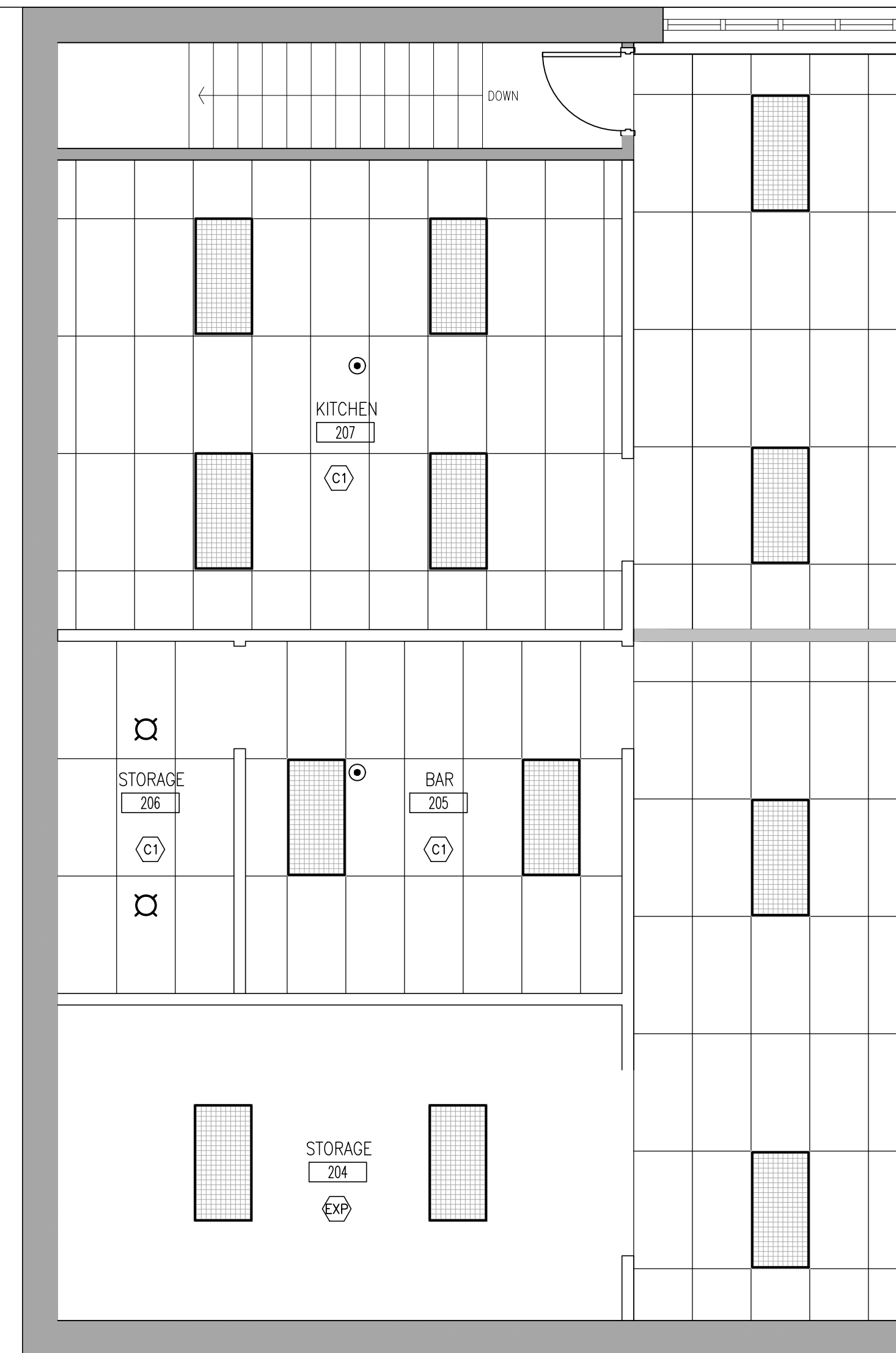
SCALE: AS NOTED

FILE:

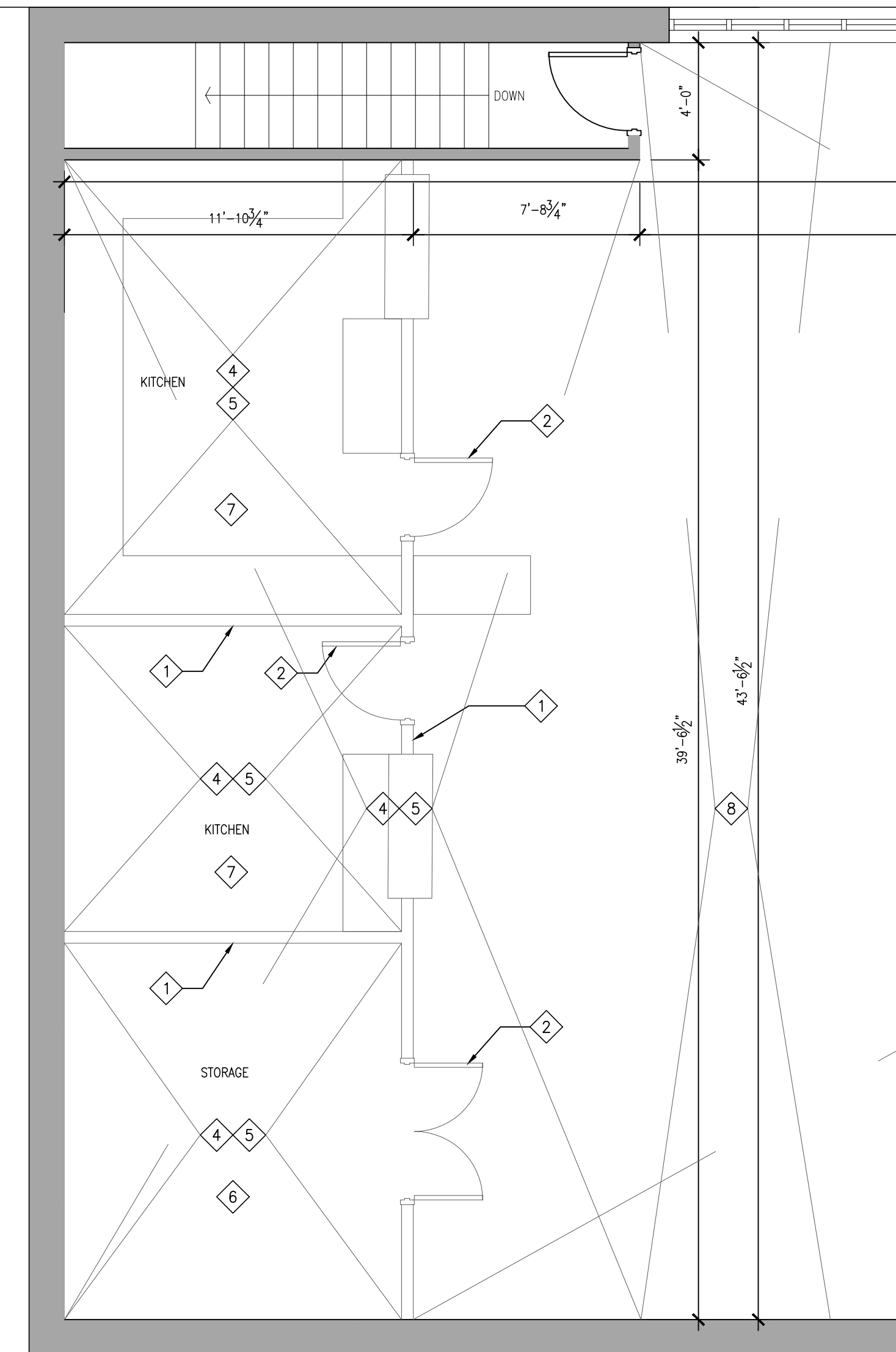
PROJECT NO: **23116**      DRAWING NO: **A000**



**1** PART SECOND FLOOR PLAN  
1/4"=1'-0"



**2** PART SECOND FLOOR REFLECTED CEILING PLAN  
1/4"=1'-0"



**3** PART SECOND FLOOR DEMOLITION PLAN  
1/4"=1'-0"



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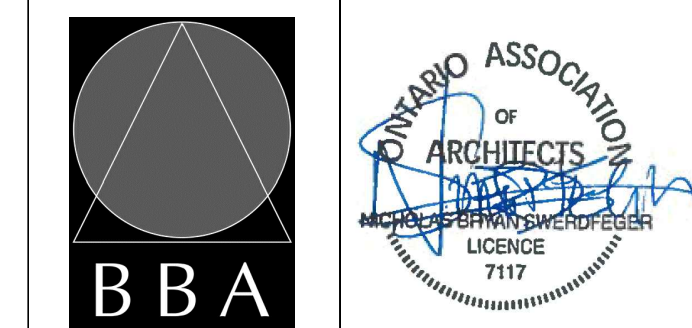
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2	ISSUED FOR P&T	NOV 01 2024	AM



NO.	REVISIONS	DATE	BY

PROJECT:  
**BEVERTON ARENA  
BANQUET KITCHEN  
AREA RENOVATIONS**  
176 MAIN STREET  
BEAVERTON, ONTARIO  
TOWNSHIP OF BROCK

DRAWING:  
**SECOND FLOOR PLAN,  
DEMOLITION PLAN, AND  
REFLECTED CEILING PLAN**



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DESIGN BY: BBA	DOC. CONTROL DATE:
DRAWN BY: AM	% COMPLETE:
CHECKED BY: DM	INITIAL:
DATE: NOV 2024	
SCALE: 1/4"=1'-0"	
FILE:	

PROJECT NO:  
**23116**

DRAWING NO:  
**A201**

DEMOLITION LEGEND	
1	REMOVE AND DISPOSE OF EXISTING WALL (AT EXTENT SHOWN) IN IT'S ENTIRETY. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK. (SHORE STRUCTURE AS REQUIRED)
2	REMOVE AND DISPOSE OF EXISTING DOOR AND FRAME IN IT'S ENTIRETY. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK.
3	EXISTING DOOR AND FRAME TO BE REPAINTED.
4	REMOVE AND DISPOSE OF CEILING TILES, GRIDS, LIGHTING, DIFFUSERS, GRILLS AND ELECTRICAL DEVICES. (AT EXTENT SHOWN) IN IT'S ENTIRETY. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK. (SHORE STRUCTURE AS REQUIRED)
5	REMOVE AND DISPOSE OF EXISTING FLOORING (CONFORM ON SITE) AT EXTENT SHOWN IN IT'S ENTIRETY. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK.
6	REMOVE AND DISPOSE OF EXISTING FIXTURES AND FINISHES IN IT'S ENTIRETY. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK.
7	REMOVE AND DISPOSE EXISTING KITCHEN MILLWORK, APPLIANCES, COUNTERTOPS, ETC. PATCH, REPAIR AND MAKE GOOD ALL SURFACES AS REQUIRED FOR NEW WORK.
8	REMOVE EXISTING CEILING GRID, TILES, AND DIFFUSERS AS NECESSARY TO COMPLETE THE NEW RENOVATION WORK

DEMOLITION NOTES	
1.	SITE VERIFY ALL DIMENSIONS AND CONDITIONS.
2.	ALL WORK TO BE IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS.
3.	COMPLY WITH REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS.
4.	PROVIDE PROTECTION IN LOCATIONS APPROVED BY THE OWNER AND CONSULTANT SO AS NOT TO DAMAGE EXISTING STRUCTURE OR PART THEREOF.
5.	COMPLETE ALL DEMOLITION WORK NECESSARY TO COMPLETE THE RENOVATIONS AS SHOWN AND AS REQUIRED. DEMOLITION OF BUILDING ELEMENTS INCLUDES COMPLETE REMOVAL OF ALL ASSOCIATED FIXTURES, FITTINGS, HARDWARE, FASTENERS, EQUIPMENT AND ACCESSORIES UNLESS NOTED OTHERWISE.
6.	ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DEMOLITION DRAWINGS ARE COMPLEMENTARY AND SHALL BE READ TOGETHER.
7.	PROVIDE ALL SHORING AS REQUIRED. SHORING SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
8.	NOTIFY CONSULTANT OF LOAD BEARING MEMBERS OR ASSEMBLIES IDENTIFIED OR DISCOVERED DURING WORK AND NOT INDICATED ON DRAWINGS. DO NOT PROCEED WITH REMOVALS WITHOUT PRIOR REVIEW BY THE CONSULTANT.
9.	PROVIDE TEMPORARY SUPPORT OF PIPES, DUCTS AND ELECTRICAL CHASES AS REQUIRED FOR SAFE REMOVAL. EXISTING AND PROPOSED SUPPORTS ARE TO BE REVIEWED BY THE CONSULTANT PRIOR TO THE REMOVAL OF ANY COMPONENTS WHICH MAY FALL OR CAUSE OTHERS TO FALL.
10.	MAINTAIN WORK AREAS AND STORAGE AREAS ARE CLEAN AND ORDERLY AT ALL TIMES.

- REMOVAL OF EXISTING FLOOR FINISHES IS TO INCLUDE COMPLETE REMOVAL OF BASE AND ALL MORTAR AND ADHESIVES AND PREPARATION OF EXISTING SUBSTRATES TO RECEIVE NEW FLOORING, SATISFACTORY TO THE MANUFACTURER OF NEW FLOOR FINISHES. ALLOW FOR EXCESSIVE LEVELING OF SLABS.
- MAINTAIN EXISTING FIRE HOSE CABINETS AND FIRE RATINGS UNLESS OTHERWISE NOTED.
- REMOVAL OF DOORS AND FRAMES IS TO INCLUDE REMOVAL OF ALL HARDWARE.
- CLEAN AND REPAIR ALL EXISTING SURFACES TO REMAIN, AS NECESSARY TO RECEIVE NEW FINISHES.
- DISCONNECT AND CAP OFF ALL SERVICES PRIOR TO DEMOLITION. I.L.N.O.
- DISPOSE OF ALL MATERIALS OFF SITE AND IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND REPAIR / REPLACE SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.
- DEMOLITION WORK MUST BE COMPLETED WITH THE DESIGNATED SUBSTANCE SURVEY AND ABATEMENT PROCEDURES INCLUDED AS PART OF THE TENDER FOR THIS PROJECT AND IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS.
- WORK WITH THE TOWN OF BROCK TO PROVIDE TEMPORARY SIGNAGE DURING CONSTRUCTION AROUND THE WORK AREA FOR WAY FINDING. PROVIDE, INSTALL AND REMOVE ALL TEMPORARY SIGNAGE.

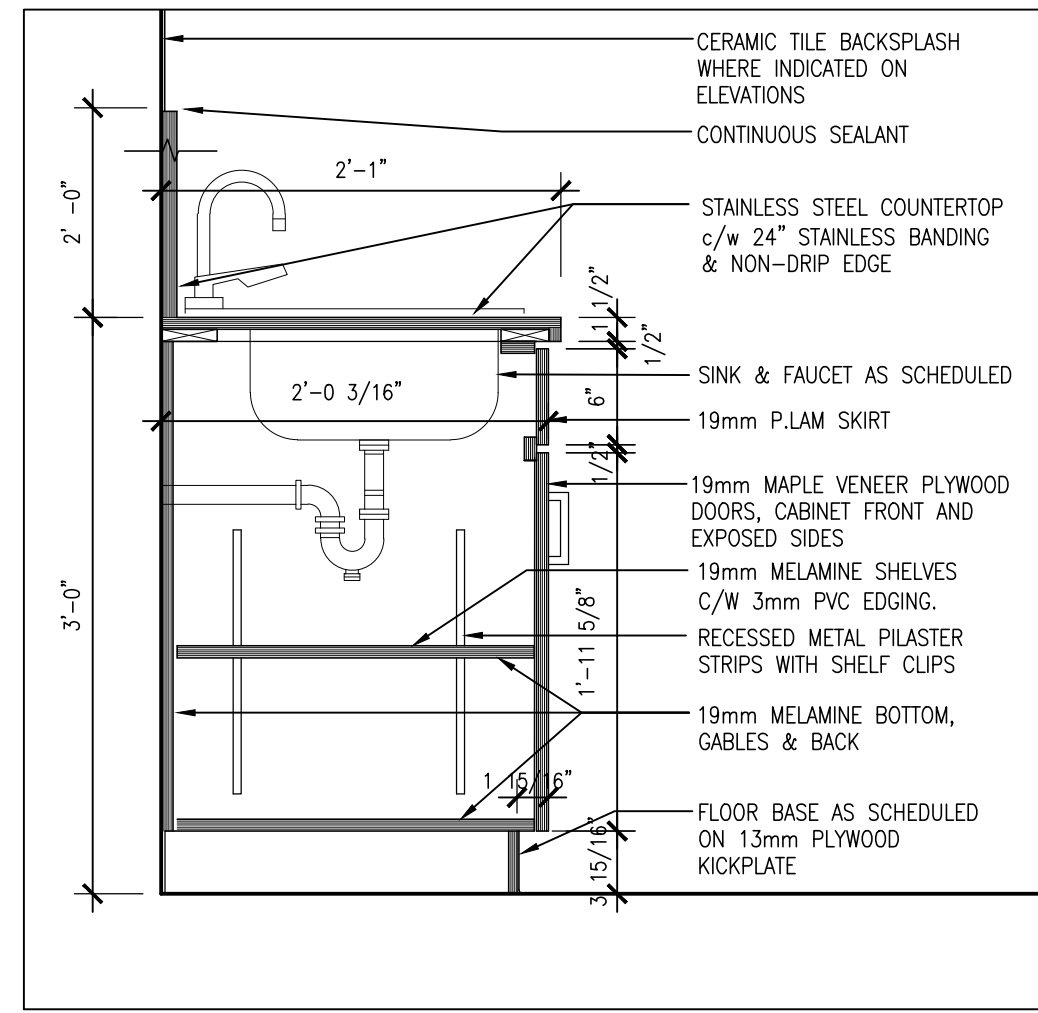
DEMOLITION LEGEND	
	EXISTING WALL, PARTITION OR COLUMN
	DENOTES DEMOLITION OF BUILDING ELEMENT
	EXISTING DOOR, FRAME AND TRIM TO REMAIN
	EXISTING DOOR, FRAME AND TRIM TO BE CAREFULLY REMOVED AND DISPOSED OF.

PARTITION & FURRING NOTES	
1.	A "T" DESIGNATION (i.e. "P6T") INDICATES LOW PARTITION (+1500mm HIGH).
2.	ALL RAIN WATER LEADERS (RWL) AND PLUMBING RISERS SHALL BE FURRED IN WITH 1" FURRING TYPE TO 200mm ABOVE THE FINISHED CEILING UNLESS OTHERWISE INDICATED.
3.	UNLESS OTHERWISE NOTED, ALL PARTITIONS TERMINATE AT UNDERSIDE OF METAL ROOF DECK ABOVE.
4.	PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS. WET AREAS ARE DEFINED AS WASHROOMS, KITCHEN AND JANITOR ROOM.
5.	ALL GYPSUM BOARD BULKHEADS / PARTITIONS ABOVE WALL OPENINGS OR SCREENS TO BE BRACED AS REQUIRED.
6.	ALL OUTSIDE CORNER BLOCK WALLS TO BE BULLNOSED.
7.	ALL OUTSIDE CORNERS ON CONCRETE TILT-UP PANELS TO BE CHAMFERED.
8.	PROVIDE FIRE STOPPING / SMOKE SEAL AT TOPS OF ALL RATED PARTITIONS/ FURRING TYPES AT UNDERSIDE OF ROOF DECK c/w INFILL OF FLUTES.

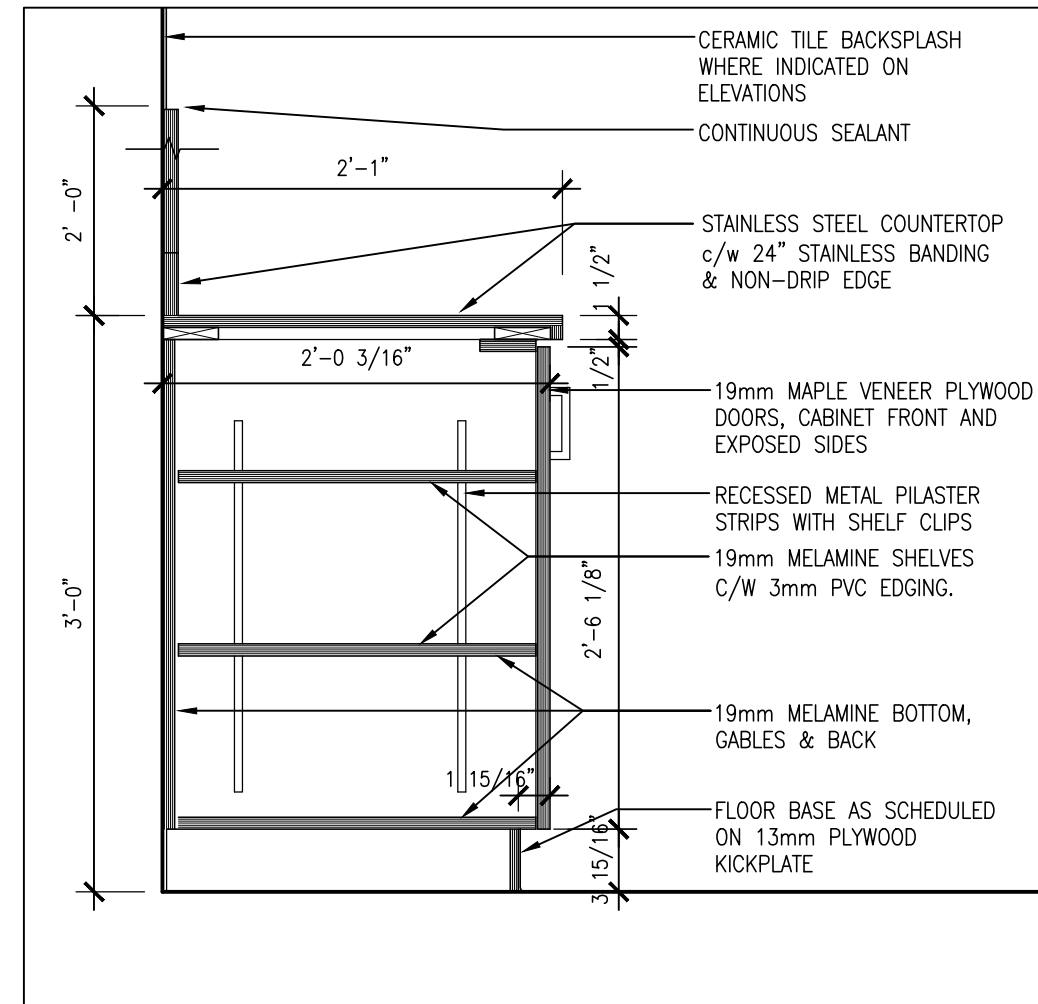
FLOOR PLAN NOTATION LEGEND	
	15mm GYPSUM BOARD 92mm STEEL STUDS @ 400mm O.C. 15mm GYPSUM BOARD PROVIDE PLYWOOD BACKING AT MILLWORK AND UPPER SHELVING
	ROOM NAME & NUMBER
	INTERIOR PARTITION OR FURRING TYPE
	DOOR NUMBER
	EXISTING WALL, PARTITION OR COLUMN
	NOT IN SCOPE OF PROJECT

CEILING TYPE SCHEDULE	
	610mmx1220mm ACOUSTIC LAY-IN CEILING PANELS IN SUSPENDED T-BAR GRID (TYPE 1)

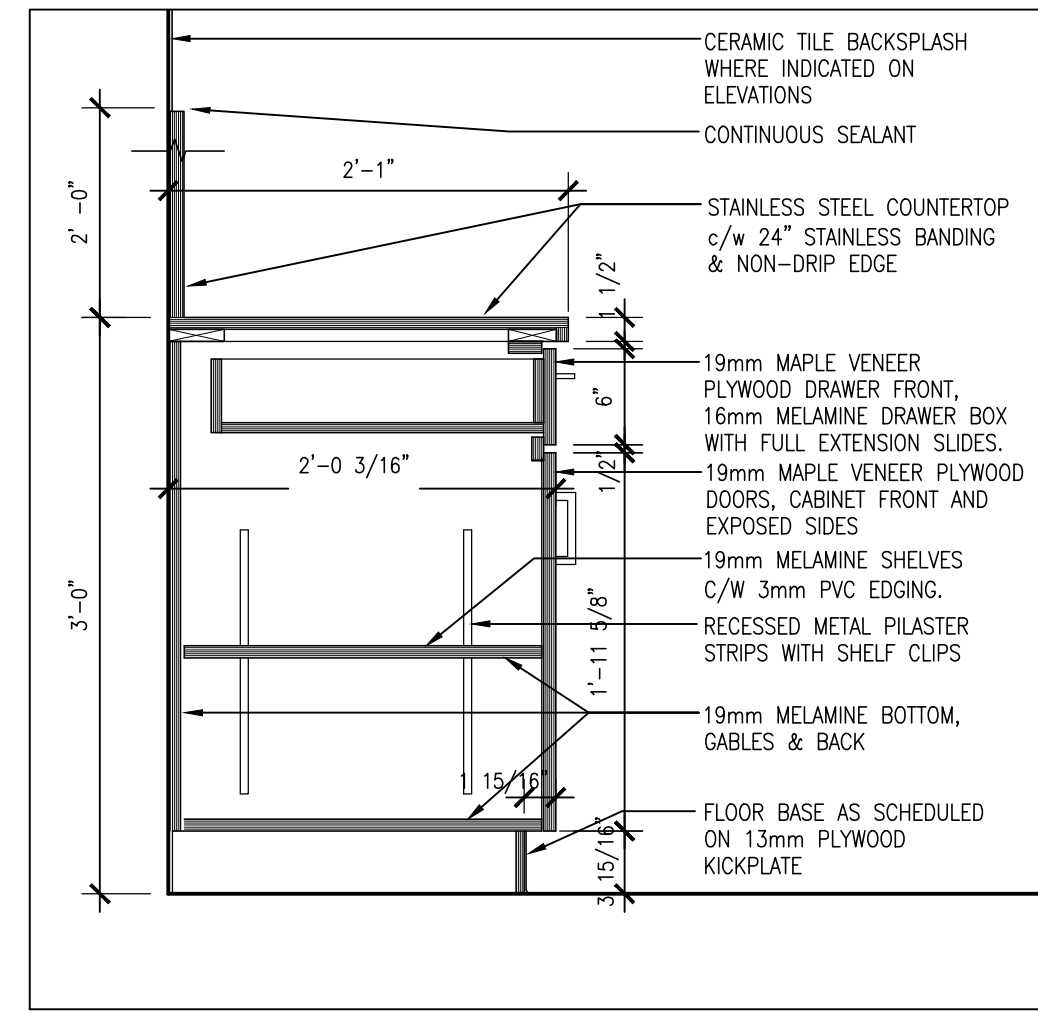
CEILING NOTATION LEGEND	
	CEILING TYPE (REFER TO CEILING TYPE SCHEDULE AND ROOM FINISH SCHEDULE)
	EXPOSED CEILING
	610mmx1220mm RECESSED LIGHT FIXTURE
	RECESSED POT LIGHTS
	SUPPLY AIR DIFFUSER (REFER TO MECHANICAL DRAWINGS)
	SPRINKLER (REFER TO MECHANICAL DRAWINGS)
	WORK N.L.C.



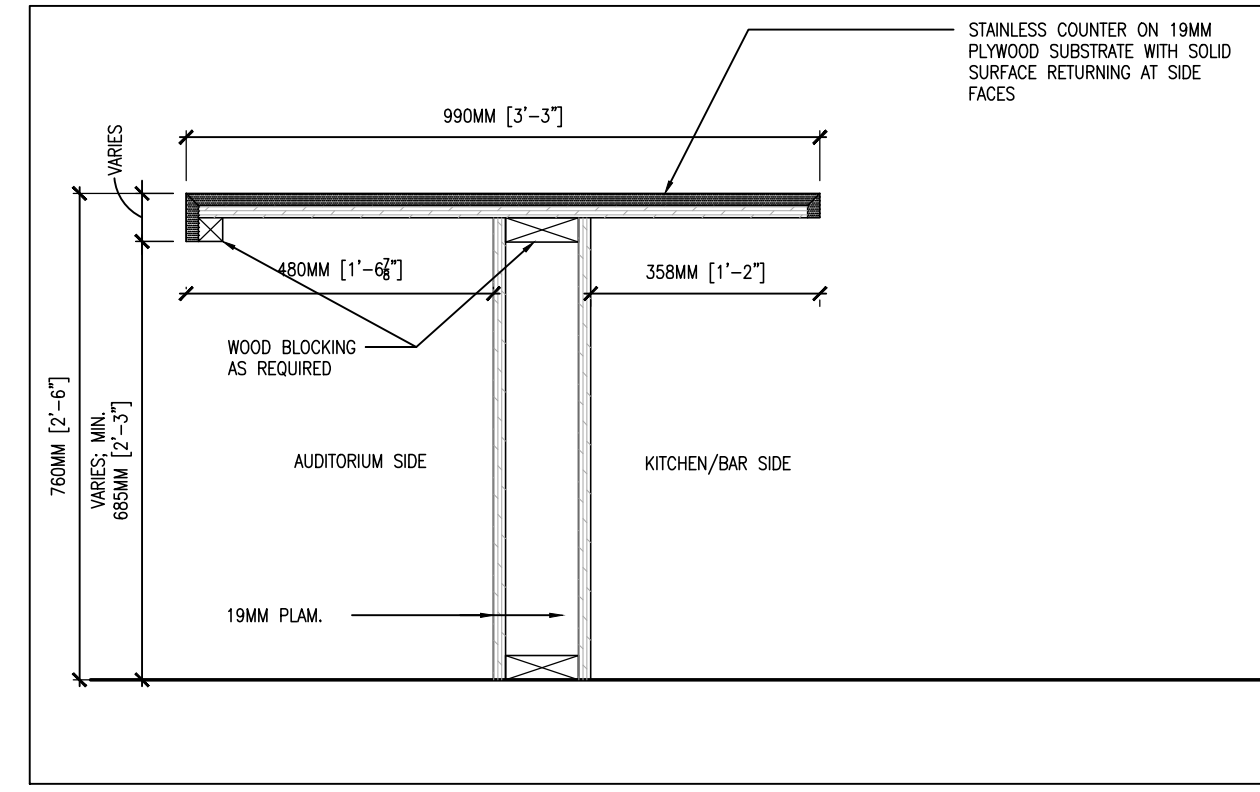
**5 SINK BASE CABINET**  
1"=1'-0"



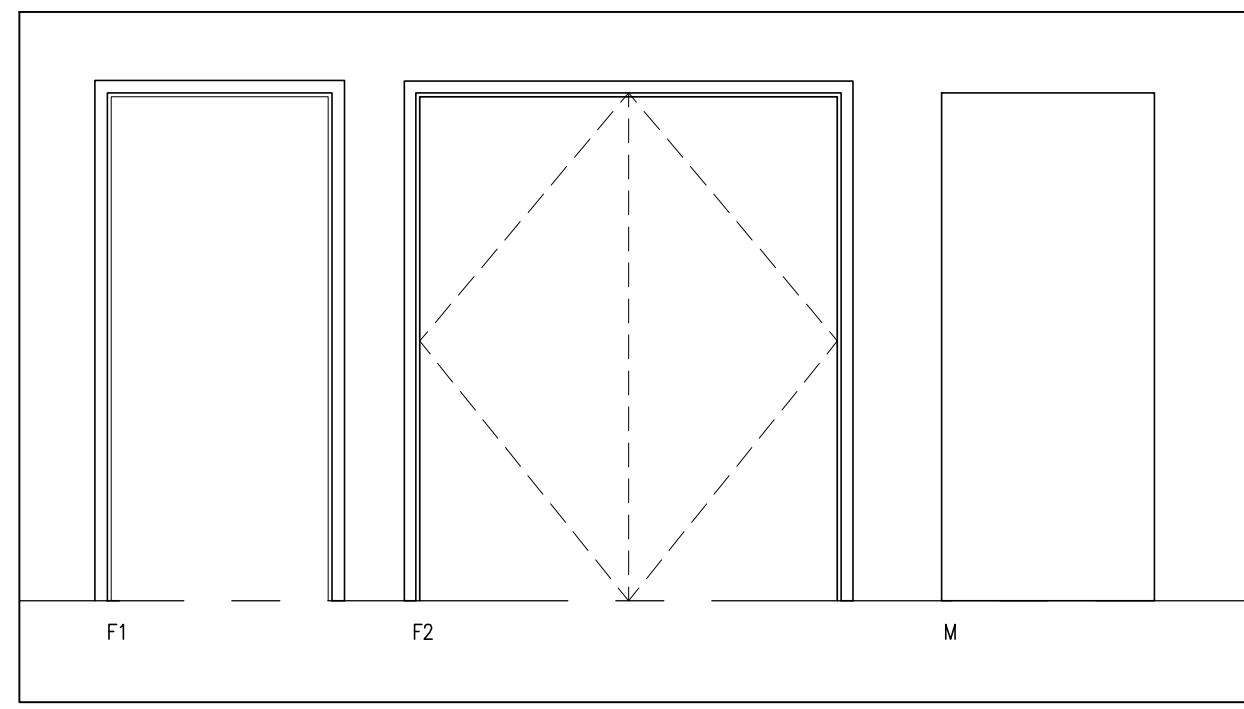
**6 BASE CABINET**  
1"=1'-0"



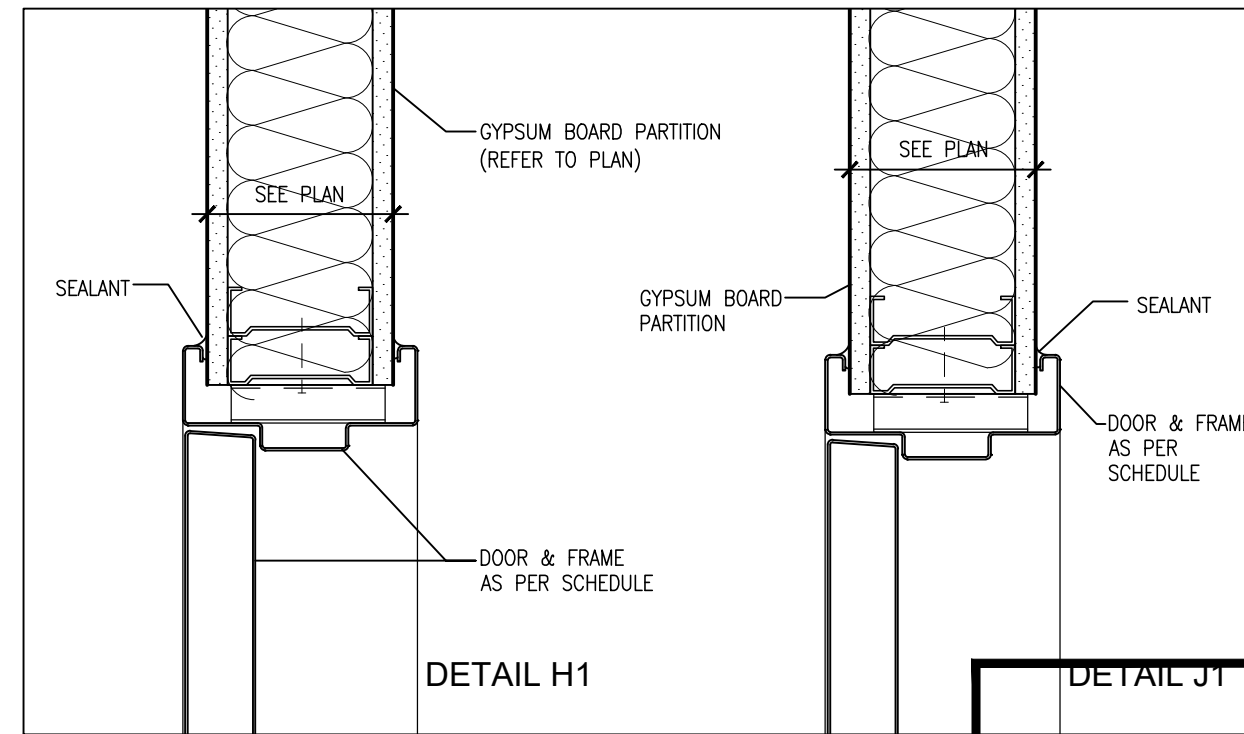
**7 BASE CABINET**  
1"=1'-0"



**8 ACCESSIBLE COUNTER**  
1"=1'-0"



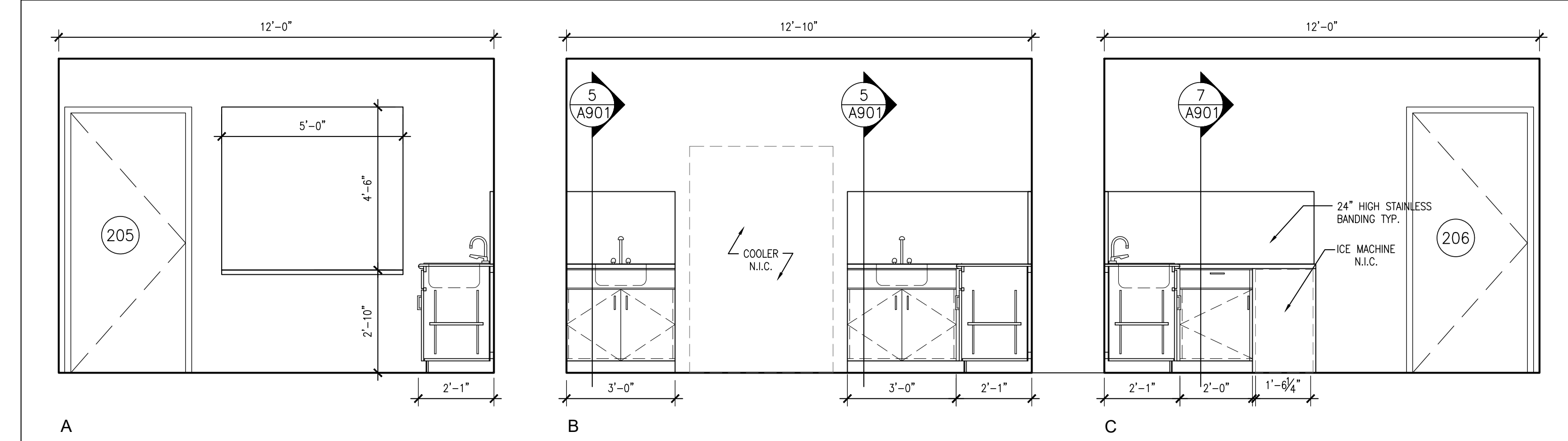
**4 DOOR & FRAME TYPES**  
3/8"=1'-0"



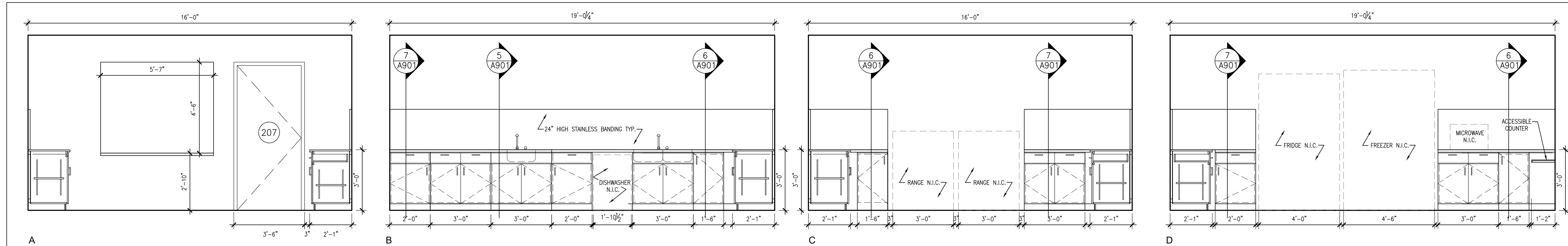
**3 FRAME DETAILS**  
1 1/2"=1'-0"

ROOM SCHEDULE											
NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING	CEILING HEIGHT	REV.	REMARKS
				NORTH	EAST	SOUTH	WEST				
201	LANDING	MAT.	-	-	-	-	-	ACP	-	-	
		FIN.	LVT	R	-	-	-	PREFIN	-	-	
202	ELEVATOR	N/A	-	-	-	-	-	-	-	-	NOT IN SCOPE
203	AUDITORIUM	MAT.	-	-	-	-	GB	ACP	-	-	
		FIN.	LVT	R	-	-	-	P	PREFIN	-	
204	STORAGE	MAT.	-	-	GB	GB	GB	GB	EXP	-	
		FIN.	LVT	R	P	P	P	P	-	-	
205	BAR	MAT.	-	-	GB	GB	GB	GB	ACP	-	
		FIN.	SSF	R	P	P	P	P	PREFIN	-	
206	STORAGE	MAT.	-	-	GB	GB	GB	GB	ACP	-	
		FIN.	LVT	R	P	P	P	P	PREFIN	-	
207	KITCHEN	MAT.	-	-	EX.GB	GB	GB	GB	ACP	-	
		FIN.	SSF	R	P	P	P	P	PREFIN	-	
208	STORAGE	MAT.	-	-	EX.GB	EX.GB	EX.GB	EX.GB	ACP	-	
		FIN.	LVT	R	P	P	P	P	PREFIN	-	
209	COAT ROOM	MAT.	-	-	EX.GB	EX.GB	EX.GB	EX.GB	ACP	-	
		FIN.	LVT	R	P	P	P	P	PREFIN	-	
210	WOMEN'S WASHROOM	N/A	-	-	-	-	-	-	-	-	NOT IN SCOPE
211	MEN'S WASHROOM	N/A	-	-	-	-	-	-	-	-	NOT IN SCOPE
212	BF WASHROOM	N/A	-	-	-	-	-	-	-	-	NOT IN SCOPE

DOOR AND FRAME SCHEDULE															
NO.	SIZE AND THICKNESS	TYPE	MATERIAL	FINISH	GLASS	FRAME			FIRE RATING	DOOR HARDWARE				REMARKS	
						TYPE	HEAD	TAIL		HANDLE	LOCK	VIEWER	STOP		STOP
204	2 @ 3'-0"x7'-0"x1 3/4"	M	HM	P	-	F2	H1	J1	HM	P	-	-	-	-	STORAGE
205	3'-2"x7'-0"x1 3/4"	M	HM	P	-	F1	H1	J1	HM	P	-	-	-	-	BAR
206	3'-2"x7'-0"x1 3/4"	M	HM	P	-	F1	H1	J1	HM	P	-	-	-	-	STORAGE
207	3'-2"x7'-0"x1 3/4"	M	HM	P	-	F1	H1	J1	HM	P	-	-	-	-	KITCHEN
208	EXIST. DOOR TO REMAIN	EX	-	P	-	EX	-	-	-	P	-	-	-	-	EX. STORAGE
209	EXIST. DOOR TO REMAIN	EX	-	P	-	EX	-	-	-	P	-	-	-	-	COAT ROOM



**1 BAR MILLWORK**  
3/8"=1'-0"



**2 KITCHEN MILLWORK**  
3/8"=1'-0"

FINISH ABBREVIATION LEGEND	
ACP	ACOUSTIC CEILING PANEL
EX	EXISTING
EXP	EXPOSED STRUCTURE
GB	GYPSUM BOARD
HM	HOLLOW METAL
LVT	LUXURY VINYL TILE
P	PAINT
PREFIN	PREFINISHED
R	RUBBER
SSF	SAFETY SHEET FLOORING

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 176 MAIN STREET  
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 TOWNSHIP OF BROCK

**DRAWING:**  
**SCHEDULES & MILLWORK**

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CHECKED BY:	DM	INITIAL:	
DATE:	NOV 2024	SCALE:	AS NOTED
FILE:			

**PROJECT NO:** 23116  
**DRAWING NO:** A901

## GENERAL NOTES

- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, LATEST EDITION.
- COMPLY WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT/REGULATIONS FOR CONSTRUCTION PROJECTS.
- INSTALL HOARDING, DUST CONTROL/PROTECTION, COVERED WALKWAYS AND FENCING IN ACCORDANCE WITH ONTARIO BUILDING CODE, CANADIAN CONSTRUCTION SAFETY REQUIREMENTS, ALL MUNICIPAL BY-LAWS, STANDARDS, OCCUPATIONAL HEALTH AND SAFETY ACT AND THESE DOCUMENTS/SPECIFICATIONS.
- SITE VERIFY ALL DIMENSIONS, LEVELS AND EXISTING CONDITIONS AND IMMEDIATELY NOTIFY THE CONSULTANT OF ANY DISCREPANCIES.
- KEEP THE SITE THROUGHOUT THE WORK AREA IN A CLEAN AND ORDERLY CONDITION AT ALL TIMES TO THE SATISFACTION OF THE OWNER.
- INSTALL ALL MANUFACTURED ITEMS IN STRICT ACCORDANCE WITH THE MANUFACTURERS PRINTED INSTRUCTIONS AND THE REVIEWED SHOP DRAWINGS.
- ALL INTERIOR FINISHES SHALL MEET FLAME SPREAD AND SMOKE DEVELOPED CLASSIFICATIONS AS REQUIRED BY THE ONTARIO BUILDING CODE.
- THE LATEST EDITION OF ALL CODES AND STANDARDS SHALL BE USED.
- OBEY ALL FEDERAL, PROVINCIAL AND MUNICIPAL LAWS, ACTS, STATUTES, REGULATIONS, ORDINANCES AND BY-LAWS WHICH COULD, IN ANY WAY, PERTAIN TO THE WORK OUTLINED IN THE CONTRACT, OR TO ANY EMPLOYEE OF THE CONTRACTOR. SATISFY ALL STATUTORY REQUIREMENTS IMPOSED BY THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS MADE THEREUNDER, ON A CONTRACTOR, AND CONTRACTOR AND/OR EMPLOYER WITH RESPECT TO OR ARISING OUT OF THE PERFORMANCE OF THE CONTRACTORS OBLIGATIONS UNDER THIS CONTRACT.
- NOTIFY THE OWNER SHOULD ANY HAZARDOUS CONDITION BECOME APPARENT.
- PROVIDE SAFEGUARD AND PROTECTION AGAINST FIRE IN ACCORDANCE WITH THE CURRENT FIRE CODES AND REGULATIONS.
- COMPLY WITH FEDERAL, PROVINCIAL AND MUNICIPAL REGULATIONS PERTAINING TO WORK TIME RESTRICTIONS, WASTE, AIR, SOIL WASTE, CHEMICAL WASTE, SANITARY WASTE, SEDIMENT AND NOISE POLLUTION.
- TAKE SPECIAL CARE TO PREVENT ACCUMULATION OF MOISTURE ON MATERIALS AND WITHIN PACKAGING DURING DELIVERY, STORAGE AND HANDLING TO PREVENT DEVELOPMENT OF MOLD AND MILDEW ON PACKAGING AND PRODUCTS.
- NO SMOKING IS PERMITTED ON THE PROJECT SITE.

## SHOP DRAWINGS & SUBMITTALS

- THE CONTRACTOR SHALL PREPARE AND SUBMIT TO THE CONSULTANT FOR REVIEW DIGITAL COPIES OF SHOP DRAWINGS, INCLUDING PLANS, FINISHES, ELEVATIONS, HARDWARE, AND INSTALLATION FOR DOORS, MISC. METALS, STEEL MEMBERS, CONNECTIONS, DOOR HARDWARE SCHEDULE, PAINT DRAW DOWNS, FINISHED MATERIAL SAMPLES, EQUIPMENT, AND ALL OTHER PRODUCTS REQUIRED.
- REFER TO GENERAL CONDITIONS OF THE CONTRACT.
- PROVIDE MAINTENANCE MANUALS.
- PROVIDE 1 YEAR GENERAL CONTRACTOR WARRANTY FOR THE PROJECT.

## CONSTRUCTION FACILITIES

- PROVIDE CONSTRUCTION FACILITIES IN ORDER TO EXECUTE THE WORK EXPEDITIOUSLY. REMOVE, RESTORE SITE AND SURFACES AFTER USE.
- PROVIDE AND MAINTAIN REQUIRED ACCESS TO PROJECT SITE AND ADJACENT AREAS AS REQUIRED BY THE OWNER.
- HEIGHT, WIDTH AND WEIGHT RESTRICTIONS MUST BE VERIFIED PRIOR TO BRINGING EQUIPMENT INTO THE WORK AREA.
- PROVIDE NECESSARY SCREENS, COVERS AND HOARDINGS.
- OBEY AND ENFORCE ALL PARKING AND VEHICLE RESTRICTIONS AND SPEED LIMITS.
- BE RESPONSIBLE FOR SECURITY OF SITE, EQUIPMENT, TOOLS AND MATERIALS.
- MAINTAIN THE BUILDING IN A SECURE AND WEATHERPROOF CONDITION AT ALL TIMES DURING CONSTRUCTION.

## DEMOLITION/REMOVALS

- KEEP THE SPREAD OF DUST TO OTHER AREAS AND ADJACENT PROPERTIES AND EQUIPMENT TO A MINIMUM BY USE OF WATER SAWS AND INSTALLING AND MAINTAINING DUST TARPULINS AS DIRECTED AND APPROVED BY THE OWNER.

## FINISH CARPENTRY

- ALL MILLWORK SHALL BE IN ACCORDANCE WITH ANMAC STANDARD DETAILS AND SPECIFICATIONS.
- SOFTWOOD LUMBER: CAN/CSA O141. UNLESS SPECIFIED OTHERWISE, S4S, MOISTURE CONTENT 19% OR LESS. ALSO STANDARD GRADING RULES FOR CANADIAN LUMBER. ANMAC CUSTOM PREMIUM GRADE, MOISTURE CONTENT AS SPECIFIED.
- MEDIUM DENSITY FIBREBOARD (MDF): TO ANSI A208.2-02, DENSITY 640-800 KG/M3. FORESTRY STEWARDSHIP COUNCIL (FSC) CERTIFIED. UREA-FORMALDEHYDE FREE.
- ROUGH HARDWARE: BOLTS, LAG SCREWS, ANCHORS, NAILS AND EXPANSION SHIELDS REQUIRED TO SECURE THIS PORTION OF WORK. ROUGH HARDWARE HOT DIP GALVANIZED CONFORMING TO LATEST EDITION OF CAN/CSA-G164. ALL FASTENERS USED IN DAMP OR WET AREAS TO BE SUITABLE FOR USE IN CORROSIVE ENVIRONMENT. USE HOT DIPPED GALVANIZED OR OTHER MATERIAL APPROVED BY THE CONSULTANT.
- NAILS AND STAPLES: TO CSA B111, GALVANIZED TO CAN/CSA G164.
- WOOD SCREWS: TO CSA B 35.4 PLAIN TYPE AND SIZE TO SUIT APPLICATION.
- STAINLESS STEEL HARDWARE: TYPE 316 STAINLESS STEEL FOR EXPOSED OR WET LOCATIONS, TAMPER PROOF.
- SPLINES: WOOD OR METAL TO SUIT APPLICATION.
- ADHESIVE: RECOMMENDED BY MANUFACTURER, WATERPROOF TYPE, MAXIMUM VOC LIMIT 30 G/L. SCAQMD RULE 1168 - ADHESIVES AND SEALANTS APPLICATIONS.
- REFER TO CLIENT SUPPLIED DRAWINGS FOR MILLWORK DETAILS

## INSULATION

- GLASS FIBRE ACOUSTIC BLANKET INSULATION: TO CAN/ULC-S702, TYPE 1, PRE-FORMED UNFACED GLASS FIBRE BATT ACOUSTIC INSULATION, THICKNESS AS REQUIRED FOR WALL TYPE TO CREATE THE HIGHEST STC. VALUE POSSIBLE.
- BASIS OF DESIGN: SELECT SOUND BOARD INSULATION, 25MM THICK, AS MANUFACTURED BY OWENS CORNING.

## HOLLOW METAL DOORS AND FRAMES

- DOORS: 18 GAUGE, WIPE COAT GALVANIZED STEEL.
- FRAMES: EXISTING WOOD FRAME.
- FRAME ANCHORS: EXISTING.
- PRIMER: TO CGSB 1-GP-181
- WELDING: N/A
- STEEL FIRE RATED DOORS AND FRAMES: LABELLED AND LISTED BY AN ORGANIZATION ACCREDITED BY STANDARDS COUNCIL OF CANADA IN CONFORMANCE WITH CAN4-S104 NFPA 252 FOR RATINGS SPECIFIED OR INDICATED.
- PROVIDE FIRE LABELED FRAMES FOR OPENINGS REQUIRING FIRE PROTECTION RATINGS. TEST PRODUCTS IN CONFORMANCE WITH CAN4-S104, ASTM E152 OR NFPA 252 AND LISTED BY NATIONALLY RECOGNIZED AGENCY HAVING FACTORY INSPECTION SERVICES.

## FINISH HARDWARE

- SUBMIT HARDWARE LIST FOR APPROVAL IN ACCORDANCE WITH THE GENERAL CONDITIONS.
- SUBMIT TEMPLATES TO DOOR AND FRAME SUPPLIER
- LOCKS TO BE MASTER KEYED TO SUIT OWNER'S REQUIREMENTS
- ALL FASTENERS SHALL BE CONCEALED OR TAMPERPROOF
 

HARDWARE GROUP NO. 1:			
1	1/2 PAIR BUTTS	SSBB1199x114x101xNRPx619	HAGER
1	CLOSER	4114H-CUSHx689	LON
1	DOOR PULL w/ PULL PLATE	33J-4x16-US260	HAGER
1	PUSH PLATE	HA9502x101x406x630	HAGER
1	KICK PLATE	HA9502x305x870x630	HAGER
- FINISH HARDWARE SHALL BE SUPPLIED AND INSTALLED RIVETT HARDWARE OR APPROVED.

## GYPSUM BOARD

- COMPLY WITH REQUIREMENTS OF CSA A82.30 AND CSA A82.31
- PLAIN GYPSUM BOARD: CSA A82.27 STANDARD, FOR NON-RATED APPLICATIONS. 1219mm WIDE X MAXIMUM PRACTICAL LENGTH, TAPERED EDGES, THICKNESS AS INDICATED.
- LIGHTWEIGHT STEEL FRAMING FOR EXTERIOR WALLS TO ASTM A446.
- NON-LOAD-BEARING CHANNEL STUD FRAMING TO ASTM C645, ROLL FORMED GALVANIZED SHEET STEEL.
- SCREWS: CASE HARDENED SELF DRILLING NO. 6 GAUGE DRYWALL SCREWS TO CSA A82.31
- JOINT TAPE: 50mm WIDE PERFORATED PAPER.
- JOINT FILLER AND TOPPING: CASEN, VINYL OR ACRYLIC BASE.
- CASING BEADS; 20 GAUGE SHEET STEEL G20 FINSH, ASTM A525, PERFORATED,

## ACOUSTICAL CEILING

- ACOUSTIC UNITS FOR SUSPENDED CEILING SYSTEM: TO CAN/CGSB-92.1-M89 AND ASTM E 1264-14
- ACOUSTIC PANELS: GLASS OR MINERAL FIBRE WITH FLAME SPREAD RATING OF 25 OR LESS AND IRR RAGE OF 0.65 TO 0.75 RANDOM FISSURED, WHITE, 610 X 1220 X 16mm.
- SUBMIT DUPLICATE 300 X 300mm SAMPLES OF EACH TYPE OF ACOUSTICAL UNITS.
- SUSPENSION SYSTEM: TO ASTM A641. DONN DX, 15/16 WIDE, BAKED WHITE ENAMEL INTERLOCKING TEE GRID.
- COMPONENTS: ALL MAIN BEAMS AND CROSS TEES SHALL BE COMMERCIAL QUALITY HOT-DIPPED GALVANIZED STEEL AS PER ASTM C635/C635M-07. MAIN BEAMS AND CROSS TEES SHALL BE DOUBLE-WEB STEEL CONSTRUCTION WITH TYPE EXPOSED FLANGE DESIGN. EXPOSED SURFACES CHEMICALLY CLEANSED, CAPPING PRE-FINISHED GALVANIZED STEEL IN BAKED POLYESTER PAINT. MAIN BEAMS AND CROSS TEES SHALL HAVE ROTARY STITCHING.
- STRUCTURAL CLASSIFICATION: INTERMEDIATE DUTY SYSTEM, ASTM C635/C635M-07.
- ATTACHMENT DEVICES: SIZE FOR FIVE TIMES DESIGN LOAD INDICATED IN ASTM C635, TABLE 1, DIRECT HUNG UNLESS OTHERWISE INDICATED.
- WIRE FOR HANGERS AND TIES: ASTM A641, CLASS 1 ZINC COATING, SOFT ANNEALED, WITH A YIELD STRESS LOAD OF AT LEAST TIME THREE DESIGN LOAD, BUT NOT LESS THAN 12 GAUGE.
- SOUND BLANKETS: 65mm SOUND ATTENUATION BATTS FIBREGLAS CANADA
- CO-ORDINATE CEILING WORK TO ACCOMMODATE COMPONENTS OF OTHER SECTIONS TO BE BUILT INTO ACOUSTICAL CEILING INCLUDING MECHANICAL AND ELECTRICAL WORK.

## METAL STUD FRAMING

- ALL MATERIALS AND WORKMANSHIP TO CSA A82.31
- NON BEARING STEEL STUD FRAMING: ASTM C645, ROLL FORMED GALVANIZED SHEET STEEL, MINIMUM 0.036" THICKNESS.
- TRACKS: ASTM C645
- HARDWARE: SELF TAPPING SHEET METAL SCREWS.

## SEALANTS

- ALL SEALANT MATERIAL SHALL BE ASBESTOS FREE.
- SUBMIT WHMIS DATA SHEETS FOR REVIEW AND APPROVAL.
- SEAL ALL JOINTS BETWEEN DISMILAR MATERIALS AND SURFACES.
- SEALANT SHALL BE TREMCO MONO OR EQUIVALENT.
- PRIMERS AS RECOMMENDED BY SEALANT MANUFACTURER.
- SEALANTS SHALL COMPLY WITH THE FOLLOWING STANDARDS;
  - ASTM C834-14 STANDARD SPECIFICATION FOR LATEX SEALANTS
  - ASTM C920-14A STANDARD SPECIFICATION FOR ELASTOMERIC JOINT SEALANTS
  - ASTM C1184-14 STANDARD SPECIFICATION FOR STRUCTURAL SILICONE SEALANTS
  - ASTM C1193-13 STANDARD GUIDE FOR USE OF JOINT SEALANTS
  - ASTM C1311-14 STANDARD SPECIFICATION FOR SOLVENT RELEASE SEALANTS

## GLASS AND GLAZING

- TEMPERED SAFETY GLASS: TO CAN/CGSB-12.1-M, TRANSPARENT, 10 MM THICK UNLESS INDICATED OTHERWISE. TYPE 2-TEMPERED.
  - CLASS B-FLOAT.
  - CATEGORY 1 11.
  - EDGE TREATMENT: GROUND, BEVEL EDGE.
- FIRE RATED GLASS:
  - MATERIAL: FIRE PROTECTIVE SAFETY LAMINATED GLASS CERAMIC WITH HOSE STREAM, FIRE RATING AS INDICATED.
  - CONFORMING TO ULC 104 & ULC 106
  - PRODUCT AND MANUFACTURER:
    - PIRAN PLATINUM L AS MANUFACTURED BY SCHOTT TECHNICAL GLASS SOLUTIONS
    - KERALITE SELECT L AS MANUFACTURED BY VETROTECH SAINT-GOBAIN NORTH AMERICA INC
    - FIRELITE PLUS PREMIUM AS MANUFACTURED BY NIPPON GLASS.
  - DESIGN REQUIREMENTS:
    - THICKNESS: 8 MM THICK.
    - WEIGHT: 19.5 KG/M2
    - SOUND TRANSMISSION RATING: 36 STC.
    - APPEARANCE: NEUTRAL COLOURATION FREE OF AMBER TINTS.
    - FIRE RATING: FIRE RATED FROM 20-180 MINUTES WITH HOSE STREAM.
    - IMPACT SAFETY RATINGS: MEET CPSC 16 CFR 1201 CATEGORY I & II.
    - CRADLE TO CRADLE CERTIFICATION: MUST BE C2C SILVER CERTIFIED.
    - POLISHED FINISH.
    - ANZ 287 IMPACT SAFETY FILMED AND LAMINATED
    - ENVIRONMENTAL IMPACT: MANUFACTURING PROCESS AND FINAL COMPOSITION FREE FROM TOXINS OR HAZARDOUS HEAVY METALS.
  - EACH PIECE OF FIRE-RATED GLAZING MATERIAL SHALL BE LABELLED WITH A PERMANENT LOGO INCLUDING NAME OF PRODUCT, MANUFACTURER, TESTING LABORATORY AND FIRE RATING.
  - ACCESSORIES
    - GLAZING ACCESSORIES: MANUFACTURER RECOMMENDED FIRE RATED GLAZING ACCESSORIES AS FOLLOWS:
      - GLAZING TAPE: CLOSED CELL POLYVINYL CHLORIDE (PVC) FOAM, PEMKO MANUFACTURING COMPANY, F03300090 OR UNIFAK CORPORATION FIBERFRAX ALUMINUM-SILICATE FIBER GLAZING TAPE.
      - SETTING BLOCKS: CALCIUM SILICATE OR HARDWOOD.
      - CLEANERS, PRIMERS, SEALERS: TYPE RECOMMENDED BY MANUFACTURER OF GLASS AND GASKETS.

## RESILIENT FLOORING AND BASE

- RESILIENT BASE: 100mm HIGH THERMOPLASTIC RUBBER, NOT LESS THAN 3.0mm GAUGE WITH PREFORMED INTERNAL AND EXTERNAL CORNERS. BASE AT RESILIENT TILE SHALL HAVE STANDARD TOE.
  - JOHNSONITE DURACOVE DC RUBBER WALL BASE OR APPROVE EQUAL. UP TO 2 COLOURS SHALL BE SELECTED BY CONSULTANT FROM MANUFACTURERS FULL RANGE OF COLOURS.
- PRIMERS, ADHESIVES AND CAULKING: NON-FLAMMABLE, SOLVENT FREE, WATERPROOF, RECOMMENDED BY FLOORING MANUFACTURER FOR SPECIFIC MATERIAL ON APPLICABLE SUBSTRATE, ABOVE GRADE.
- PRIOR TO INSTALLATION OF THIS SECTION, CAREFULLY INSPECT THE INSTALLED WORK OF ALL OTHER TRADES AND VERIFY THAT ALL SUCH WORK IS COMPLETE TO THE POINT WHERE THIS INSTALLATION MAY PROPERLY COMMENCE.
  - LUXURY VINYL TILES: SURFACE STYLE # 0515V LVT AS SUPPLIED BY SHAW CONTRACT FLOORING INC. OR APPROVED EQUAL.
    - SIZE: 46cm X 91cm.
    - COLOUR: UP TO 2 COLOURS FROM MANUFACTURER'S FULL RANGE.
    - OVERALL THICKNESS: 2.5mm
    - WEAR LAYER THICKNESS: 0.51mm
    - EDGE PROFILE: SQUARE EDGE
    - INSTALLATION: DIRECT GLUE TO SUB-STRATE.
    - INSTALLATION PATTERN: BRICK.
    - ADHESIVE: AS RECOMMENDED BY MANUFACTURER.
- REMOVE ALL SUBSTANCE AND MATERIALS AFFECTING ADHESIVE BOND. VACUUM CLEAN FLOORS.
- PROVIDE HIGH VENTILATION RATE, WITH MAXIMUM OUTSIDE AIR, DURING INSTALLATION, AND FOR 48 HOURS AFTER INSTALLATION, WHENEVER POSSIBLE VENTILATE DIRECTLY TO THE OUTSIDE. DO NOT ALLOW CONTAMINATED AIR TO RECIRCULATE THROUGH THE BUILDING VENTILATION SYSTEM.
- INSTALL RESILIENT BASE WITH MINIMUM NUMBER OF JOINTS.
- REMOVE EXCESS ADHESIVE FROM RESILIENT FLOOR COVERINGS, BASE AND ADJACENT FINISHED SURFACES AS THE WORK PROGRESSES.

## PAINT

- ALL PAINTING SHALL BE IN ACCORDANCE WITH THE ONTARIO PAINTING CONTRACTORS ASSOCIATION ARCHITECTURAL SPECIFICATION MANUAL.
- ALL PAINT SHALL BE GLIDDEN, BEHR, OR EQUAL AS APPROVED BY THE OWNER. STORE ALL PAINT MATERIALS IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINISTRY OF LABOUR.
- CLEAN AND PREPARE ALL SURFACES PRIOR TO PAINTING IN ACCORDANCE WITH PAINT MANUFACTURERS INSTRUCTIONS.
- TEST ALL SURFACES FOR MOISTURE. DO NOT PAINT WHEN MOISTURE CONTENT EXCEEDS 15%.
- PAINT ALL NEW MATERIALS AND SURFACES
- PAINT SCHEDULE: COLOUR WILL BE SELECTED BY THE ARCHITECT FROM FULL RANGE OF MANUFACTURERS COLOUR CHARTS.
- DELIVER TO EXTRA MATERIALS FROM SAME PRODUCTION RUN AS PRODUCTS INSTALLED. PACKAGE PRODUCTS WITH PROTECTIVE COVERING AND IDENTIFY WITH DESCRIPTIVE LABELS.
  - QUANTITY: PROVIDE ONE FOUR LITRE CAN OF EACH TYPE AND COLOUR OF PRIMER, STAIN FINISH COATING, IDENTIFY COLOUR AND PAINT TYPE IN RELATION TO ESTABLISHED COLOUR SCHEDULE AND FINISH SYSTEM.
- INTERIOR PAINTING SYSTEMS
  - GYPSUM BOARD WALLS : INT 9.2A LATEX G3 EGGSHELL FINISH OVER LATEX SEALER.
  - GYPSUM BOARD: CEILINGS AND BULKHEADS: INT 9.2A LATEX G2 VELVET FINISH OVER LATEX SEALER.
- ALL OTHER SURFACES NOT NOTED ABOVE: HIGH PERFORMANCE FINISH SUITABLE FOR COMMERCIAL AND INSTITUTIONAL ENVIRONMENT AND IN ACCORDANCE WITH MPI PAINTING MANUAL.
- COORDINATE PAINT COLOUR WITH OWNER

CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.

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DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

NO.	ISSUES	DATE	BY
1	ISSUED FOR 90% REVIEW	OCT 01 2024	AM
2	ISSUED FOR P&T	NOV 01 2024	AM




NO.	REVISIONS	DATE	BY

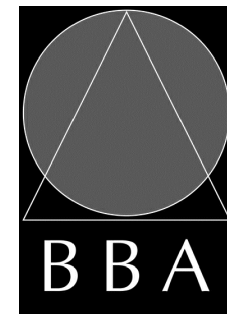
PROJECT:

### BEVERTON ARENA BANQUET KITCHEN AREA RENOVATIONS

176 MAIN STREET  
BEAVERTON, ONTARIO  
TOWNSHIP OF BROCK

DRAWING:

### SPECIFICATIONS



**BARRY BRYAN ASSOCIATES**

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DESIGN BY: BBA	DOC. CONTROL DATE:
DRAWN BY: AM	% COMPLETE:
CHECKED BY:	INITIAL:

DATE: SEPT 2024
SCALE: AS NOTED
FILE:

PROJECT NO:

**23116**

DRAWING NO:

**A902**

WORKING HOURS NOTE:

ALL LOUD WORK IS TO BE COMPLETED AFTER HOURS 10PM - 7AM