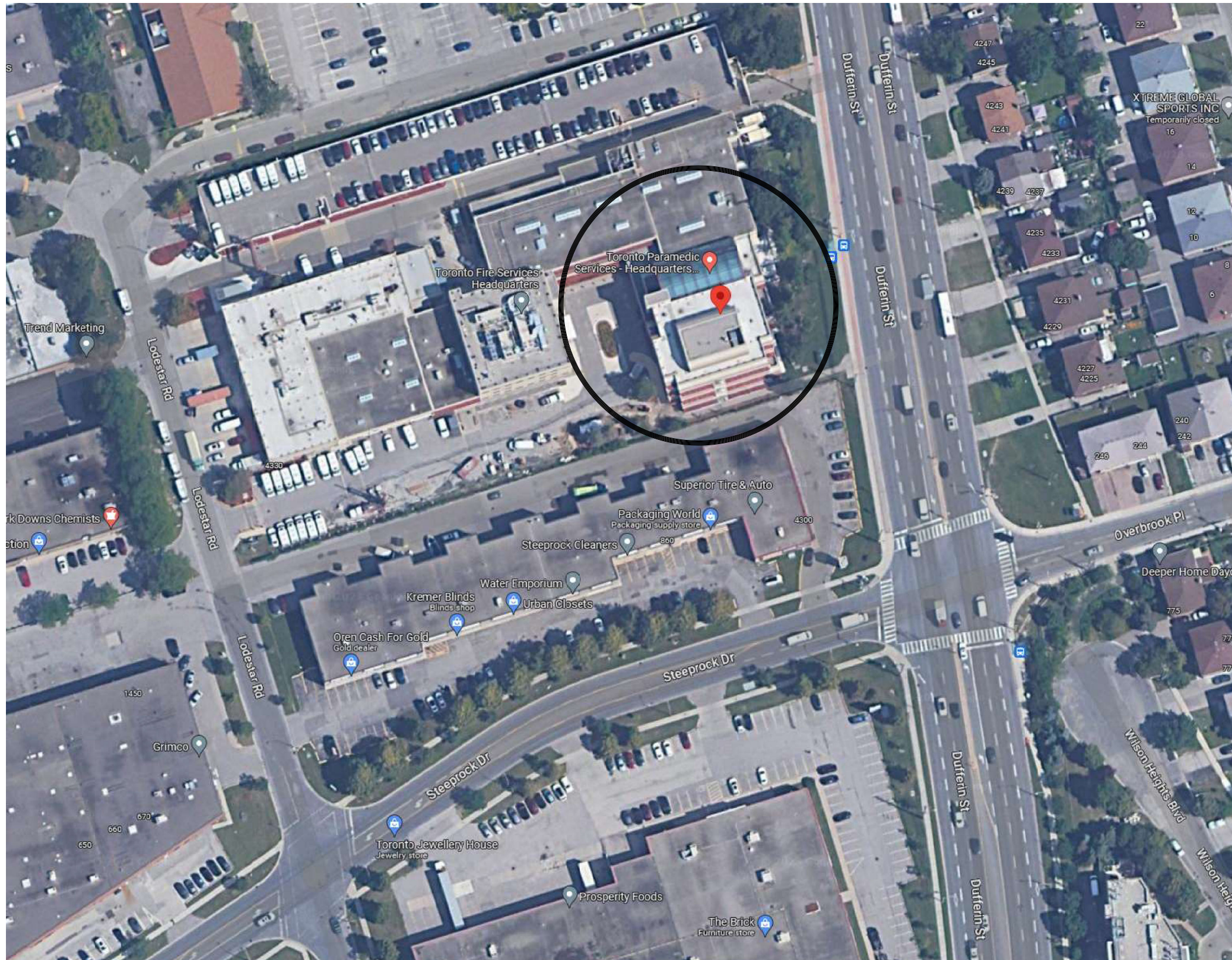


Interior Alterations:
4330 Dufferin Street,
Toronto, ON, M3H 5R9
Ground Floor

ISSUED FOR:
TENDER



1 SITE PLAN
CP NOT TO SCALE



DRAWING SET LIST

INTERIOR DESIGN

PREPARED BY: URBAN SCOUT DESIGN INC.

- ID-1.0 DEMOLITION PLANS
ID-1.1 PARTITION PLANS
ID-1.2 REFLECTED CEILING PLANS
ID-1.3 POWER AND COMMUNICATIONS PLANS
ID-1.4 WALL AND FLOOR FINISHES PLANS
ID-1.5 FURNITURE AND EGRESS PLANS
ID-1.6 GENERAL NOTES

DETAILS

- ID-2.1 PARTITION DETAILS
ID-3.1 DOOR SCHEDULE AND DOOR DETAILS
ID-4.1 ELEVATIONS

ELECTRICAL & FIRE PROTECTION ENGINEERING

PREPARED BY: TANCO ENGINEERING LTD.

- E-1 LEGEND & SPECIFICATIONS
E-2 NOTES & PARTIAL GROUND FLOOR PLAN - DEMOLITION
E-3 PARTIAL GROUND FLOOR PLAN - LIGHTING
E-4 PARTIAL GROUND FLOOR PLAN - POWER & SYSTEMS
E-5 SCHEDULES

MECHANICAL ENGINEERING

PREPARED BY: TANCO ENGINEERING LTD.

- M-1 SPECIFICATION
M-2 PARTIAL GROUND FLOOR PLANS - HVAC
M-3 SCHEDULES & DETAILS - HVAC
M-4 PARTIAL GROUND FLOOR PLAN - SPRINKLER
LAYOUT & FIRE EXTINGUISHER LAYOUT

4-535 queen street east
toronto, ontario, m5a 1v1
t - 416. 895. 3721
e - mail@urbanscout.ca
www.urbanscout.ca

No.	Issued	Date
1.	Issued To ENGINEERS	06/20/2024
2.	Issued To CLIENT For REVIEW	07/10/2024
3.	Issued For PERMIT	08/09/2024
4.	Issued For TENDER	09/11/2024
5.	Issued For CONSTRUCTION	

© 2024 Urban Scout Design Inc.

Do not scale the drawings.

The Contractor and all sub-contractors shall verify all job site dimensions, all drawings, details & specifications. The contractor shall report any discrepancies in writing, to Urban Scout Design prior to commencing with any work.

All necessary samples, shop drawings of millwork or otherwise, shall be submitted to Urban Scout Design, for approval, prior to proceeding with any work.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Div. C, Article 3.2.5.1 of the Building Code
ANDREW HELLWIG 18776
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Div. C, Article 3.2.6.1 of the Building Code
ANDREW HELLWIG 114357
FIRM NAME BCIN

No.	Revisions	Date



Toronto
CITY OF TORONTO
4330 DUFFERIN STREET
TORONTO, ON, M3H 5R9
(GROUND FLOOR)

Scale: N.T.S.
Cad Code: us/cof/dwg/wd-1
Drawn By: M.G. Checked By: D.T.
Drawing Name:

Cover Page

Project No: 24-05-00
Drawing No: CP

PROJECT CODE CONFORMANCE

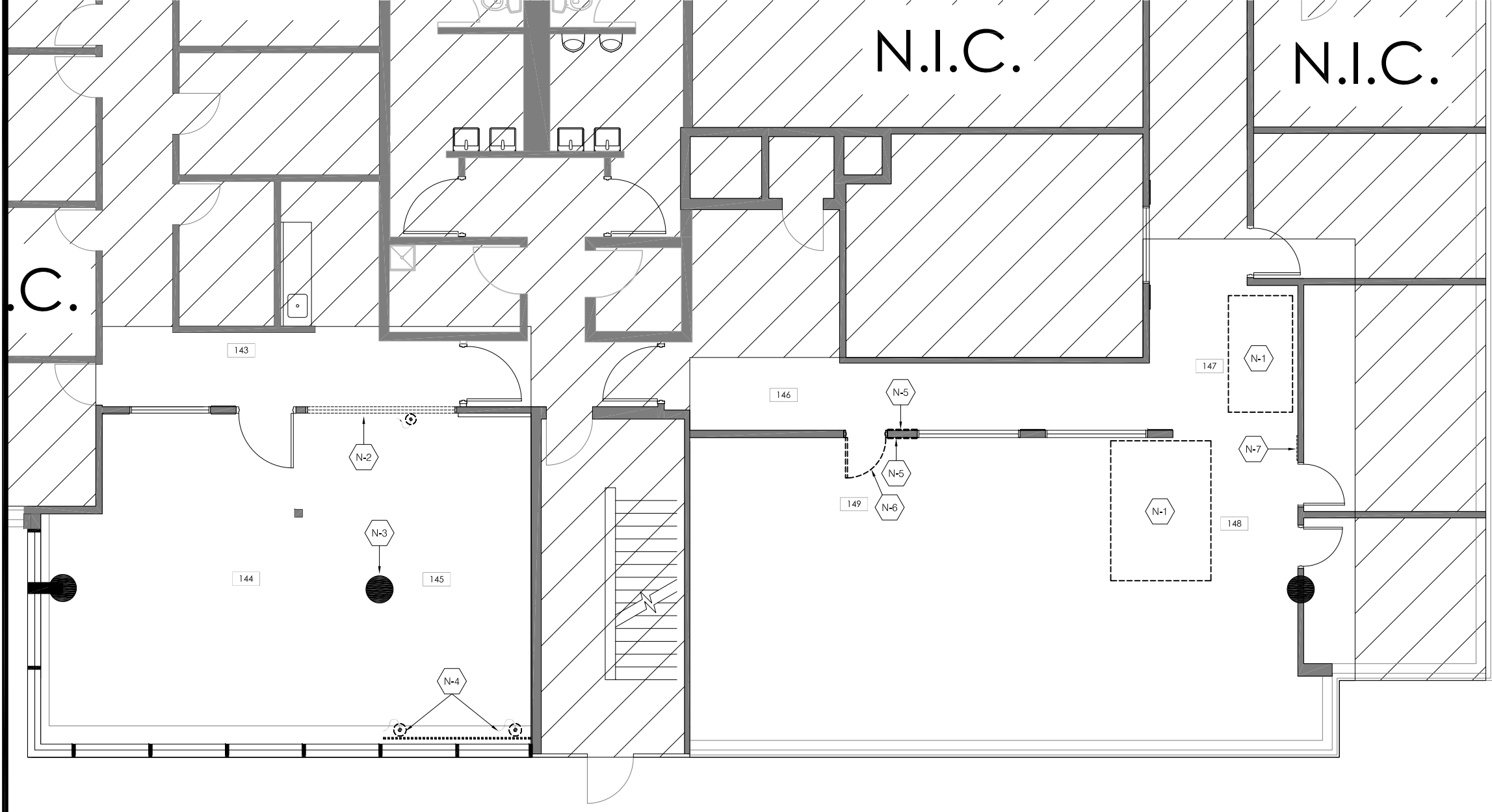
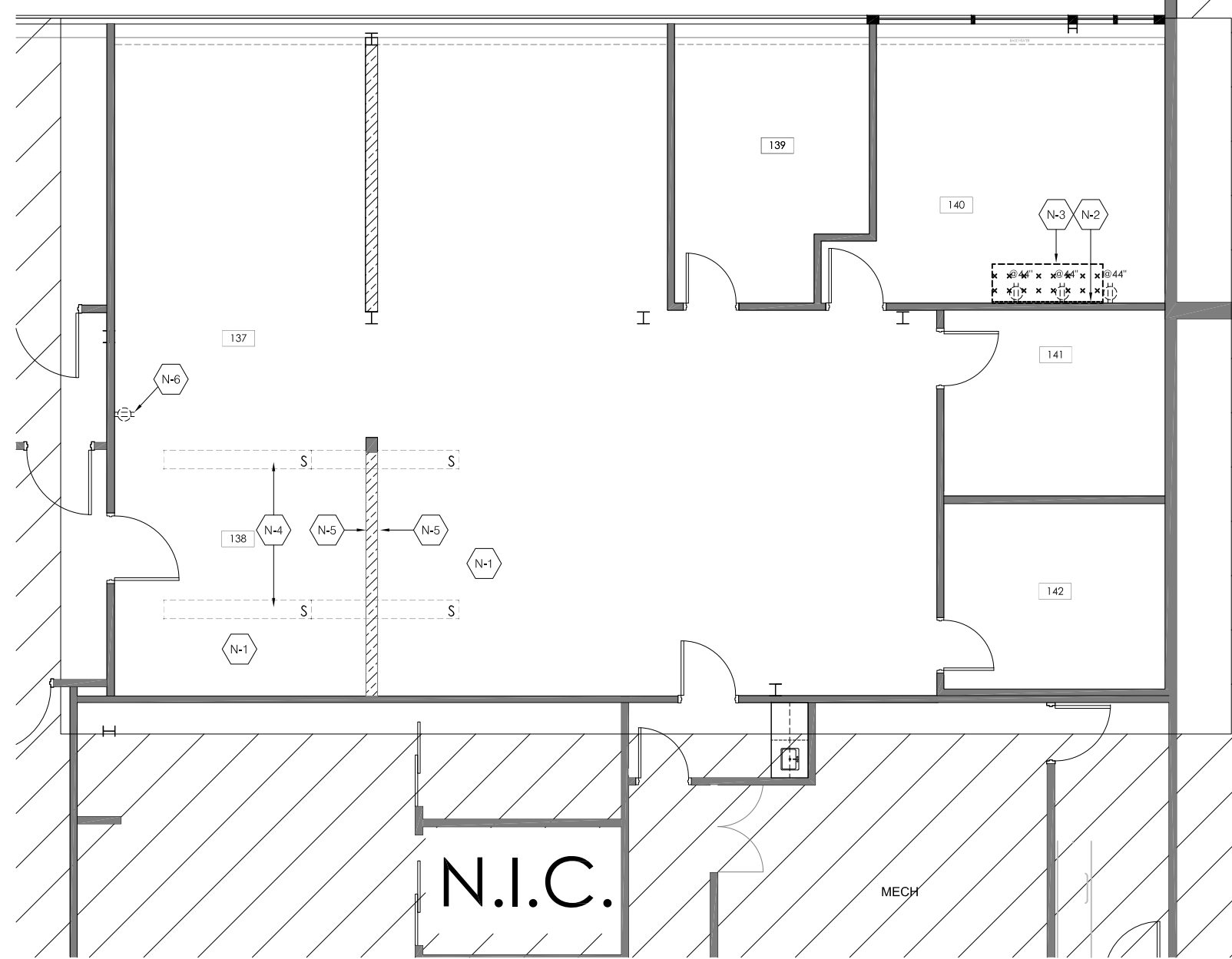
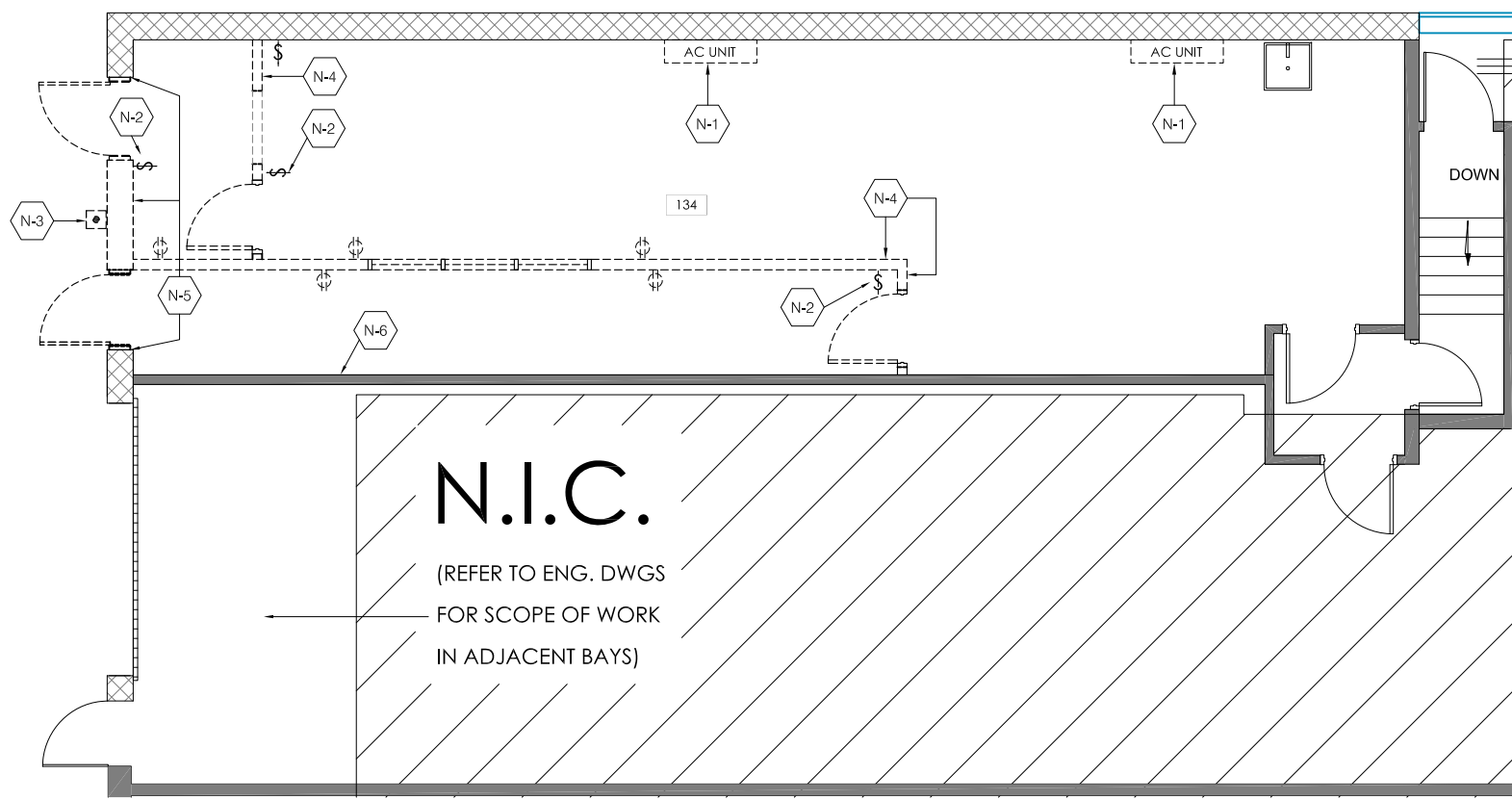
Firm Name: CDG ASSOCIATES Certificate of Practice Number: 18776 121 South Drive, St. Catharines, ON L2R 4W1 PH: 905-329-1441 Certificate of Practice Number of the holder is the holder's BCIN. Name of Project: City of Toronto - Toronto Paramedic Services Location: 4330 DUFFERIN STREET, GROUND FLOOR TORONTO, ONTARIO M3H 5R9				The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Div. C, Article 3.2.5.1 of the Building Code ANDREW HELLWIG 18776 NAME SIGNATURE BCIN REGISTRATION INFORMATION Required unless design is exempt under Div. C, Article 3.2.6.1 of the Building Code ANDREW HELLWIG 114357 FIRM NAME BCIN			
Item	Ontario Building Code Data Matrix Parts 3 & 9			Ontario Building Code Reference			
1	Project Description	<input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Change of Use	<input type="checkbox"/> Part 11 11.1 to 11.4	<input checked="" type="checkbox"/> Part 3 2.1.1	<input type="checkbox"/> Part 9 2.1.1	2.1.1	9.10.1.3
2	Major Occupancy(s)	D		3.1.2.1(1)		3.1.2.1(1)	9.10.2
3	Building Area (m ²)	Existing: 6,127 New: 0	Total: 6,127	1.1.3.2		1.1.3.2	1.1.3.2
4	Gross Area (m ²)	Existing: 18,381 New: 0	Total: 18,381	1.1.3.2		1.1.3.2	1.1.3.2
5	Number of Storeys	Above Grade: 3 Below Grade: 0		3.2.1.1 & 1.1.3.2		2.1.1.3	
7	Number of Streets / Fire Fighter Access	1		3.2.2.10 & 3.2.5		9.10.19	
8	Building Classification	Part 3		3.2.2.20-83		9.10.4	
9	Sprinkler System	<input checked="" type="checkbox"/> Entire Building <input type="checkbox"/> Basement Only <input type="checkbox"/> In Lieu of Roof Rating <input type="checkbox"/> Not Required	<input type="checkbox"/> None	3.2.2.20-83 3.2.1.5 3.2.2.17		9.10.8	
10	Standpipe	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.9		N/A	
11	Fire Alarm	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.4		9.10.7.2	
12	Water Service/Supply is Adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.5.7		N/A	
13	High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.6		N/A	
14	Permitted Construction	<input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible	<input type="checkbox"/> Both	3.2.2.20-83		9.10.6	
15	Actual Construction	<input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible	<input type="checkbox"/> Both				
16	Occupant Load Based on	m ² /person	Design of Building	3.1.16		9.9.1.3	
17	Gnd Floor 6,127	Occupancy D	Load 612 persons				
18	Barrier-Free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)		3.8		9.5.2	
19	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.3.1.2 & 3.3.1.19		9.10.1.3 (4)	
20	Required Fire Resistance	Horizontal Assemblies FRR (Hours)	FRR of Supporting Members	3.2.2.20-83 & 3.2.1.4		9.10.8	9.10.9
21	Interconnected Floor Space	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.8.1		3.2.8.2	3.4.2.5
22	Subject to 3.2.8.3 to 3.2.8.11	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
23	Max Travel Distance to Exit	120'	Allowed 147.6'				

AREAS OF RENOVATION: 184 m²



2 CODE MATRIX
CP NTS

3 KEY PLAN
CP NTS



1 DEMOLITION PLAN **AREA A**
ID-1.0 1/8"=1'-0"

DEMOLITION LEGEND	
PARTITIONS & DOORS	
	CINDERBLOCK PARTITION TO REMAIN
	FULL HEIGHT PARTITION TO REMAIN
	PARTITION TO BE DEMOLISHED
	GLAZING TO REMAIN
	GLAZING TO BE DEMOLISHED
	DOOR TO REMAIN
	DOOR TO BE DEMOLISHED
POWER & COMMUNICATIONS	
	POWER & COMMUNICATIONS AND SWITCHING TO BE REMOVED & DISCARDED
	DOOR BELL TO BE REMOVED

2 DEMOLITION PLAN **AREA B**
ID-1.0 1/8"=1'-0"

DEMOLITION LEGEND	
PARTITIONS & DOORS	
	FULL HEIGHT PARTITION TO REMAIN
	51" HIGH PARTITION TO REMAIN
	PARTITION TO BE DEMOLISHED
	GLAZING TO REMAIN
	GLAZING TO BE DEMOLISHED
	DOOR TO REMAIN
	DOOR TO BE DEMOLISHED
MILLWORK	
	MILLWORK TO BE DEMOLISHED
POWER & COMMUNICATIONS	
	POWER & COMMUNICATIONS AND SWITCHING TO BE REMOVED & DISCARDED
LIGHTING & CEILING	
	SUSPENDED LIGHT FIXTURE TO BE REMOVED & TURNED OVER TO CLIENT

3 DEMOLITION PLAN **AREA C**
ID-1.0 1/8"=1'-0"

DEMOLITION LEGEND	
PARTITIONS & DOORS	
	FULL HEIGHT PARTITION TO REMAIN
	PARTITION TO BE DEMOLISHED
	GLAZING TO REMAIN
	GLAZING TO BE DEMOLISHED
	DOOR TO REMAIN
	DOOR TO BE DEMOLISHED
POWER & COMMUNICATIONS	
	POWER & COMMUNICATIONS AND SWITCHING TO BE REMOVED & DISCARDED
	SYSTEMS FURNITURE WALL FEED TO BE REMOVED

4 DEMOLITION PLAN **AREA A**: LEGEND
ID-1.0

DEMOLITION: KEY NOTES	
N-1	ELECTRICIAN TO DISCONNECT & REMOVE (2) EXISTING WALL MOUNTED SPLITLESS DUCT AC UNITS C/W CONDENSERS AND CONTROLS. SALVAGE AND TURN OVER TO CLIENT. REFER TO ENGINEERING DRAWINGS FOR DETAILS. RILL, REPAIR, PATCH CINDERBLOCK WALL ON INTERIOR & MAKE READY FOR PAINT TOUCH UPS. RILL, REPAIR, & PATCH EXTERIOR ALUMINUM SIDING TO SUIT.
N-2	ELECTRICIAN TO DISCONNECT & REMOVE EXISTING LIGHT SWITCHES. REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR RECONFIGURATION / REWIRING OF FIXTURES.
N-3	ELECTRICIAN TO DISCONNECT & REMOVE DOOR BELL AND NUMERICAL KEYPAD. SALVAGE AND TURN OVER TO CLIENT FOR RE-USE.
N-4	REMOVE & DISCARD PARTITIONS AS SHOWN. PATCH & REPAIR ALL HORIZONTAL AND VERTICAL SURFACES AND MAKE READY FOR NEW PAINT TOUCH UPS.
N-5	REMOVE 2 DOORS / FRAMES, HARDWARE AND PARTITION / ALUMINUM SIDING. EXISTING SURROUND TO BE PATCHED AND MADE READY TO RECEIVE NEW ROLL UP DOOR TO MATCH EXISTING ADJACENT DOOR STYLE.
N-6	CUT OPENING IN CINDER BLOCK WALL TO ALLOW FOR THE RUNNING/INSTALLATION OF PIPES TO NEW UNIT HEATER. SEAL ALL GAPS WITH SEALANT TO SUIT. REFER TO ENGINEER DWGS FOR DETAILS.
N-7	ALL DOOR LEVERS TO BE SALVAGED FOR RE-USE AND GIVEN BACK TO CLIENT.
N-8	CITY OF TORONTO TO COORDINATE THE REMOVAL AND/OR RELOCATION OF ALL FURNITURE & EQUIPMENT IN AREAS OF PROJECT PRIOR TO PROJECT COMMENCEMENT.

GENERAL CONTRACTOR TO SUPPLY/INSTALL FULL HEIGHT PLASTIC SHEET HOARDING IN ALL AREAS AS REQUIRED TO SEPARATE/ISOLATE CONSTRUCTION AREAS & PROTECT EXISTING FURNITURE, EQUIPMENT, FINISHES, ETC. AREA 'A' (AMBULANCE BAY) TO RECEIVE SECURE PLYWOOD HOARDING FOR THE DURATION EXTERIOR DOORS/SIDING IS REMOVED & NEW ROLL-UP DOOR IS INSTALLED. THIS DURATION TO BE MINIMIZED FOR SECURITY REASONS.

7 DEMOLITION PLAN **AREA A**: KEY NOTES
ID-1.0

5 DEMOLITION PLAN **AREA B**: LEGEND
ID-1.0

DEMOLITION: KEY NOTES	
N-1	CITY OF TORONTO TO COORDINATE THE REMOVAL AND/OR RELOCATION OF ALL FURNITURE & EQUIPMENT IN AREAS OF SCOPE PRIOR TO PROJECT COMMENCEMENT.
N-2	ROOM #140: CITY OF TORONTO TO DISCONNECT & REMOVE WALL MOUNTED TV C/W MOUNT & CLOCK PRIOR TO PROJECT COMMENCEMENT.
N-3	ROOM #140: REMOVE & DISCARD EXISTING LOWER MILLWORK UNIT WITH BACKSPLASH AND MAKE READY FOR NEW FINISHES.
N-4	AREAS #137 &138: ELECTRICIAN TO DISCONNECT & REMOVE 4 x SUSPENDED LIGHT FIXTURES & TURNED OVER TO THE CLIENT. REPLACE 'END CAPS' FROM REMOVED FIXTURES TO REMAINING FIXTURES TO SUIT.
N-5	AREA #137 & 138: REMOVE & DISCARD EXISTING WALL BASE. MAKE READY FOR NEW WALL BASE.
N-6	AREA #137 & 138: REMOVE & RELOCATE EXISTING OUTLET. REFER TO ENGINEERING DRAWINGS FOR DETAILS.

GENERAL CONTRACTOR TO SUPPLY/INSTALL FULL HEIGHT PLASTIC SHEET HOARDING IN ALL AREAS AS REQUIRED TO SEPARATE/ISOLATE CONSTRUCTION AREAS & PROTECT EXISTING FURNITURE, EQUIPMENT, FINISHES, ETC.

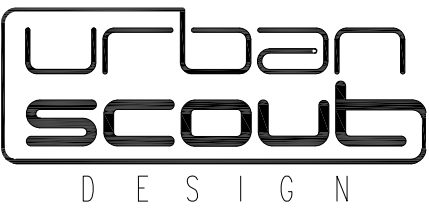
8 DEMOLITION PLAN **AREA B**: KEY NOTES
ID-1.0

6 DEMOLITION PLAN **AREA C**: LEGEND
ID-1.0

DEMOLITION: KEY NOTES	
N-1	CITY OF TORONTO TO REMOVE ALL FURNITURE & EQUIPMENT IN AREAS OF SCOPE PRIOR TO PROJECT COMMENCEMENT. GC/ELECTRICIAN TO ALLOW FOR THE DISCONNECTION OF ANY/ALL SYSTEMS FURNITURE AS REQUIRED
N-2	AREA #145: REMOVE & DISPOSE OF EXISTING GWB PARTITION C/W GLAZING & WINDOW SHADES.
N-3	AREA #145: REMOVE EXISTING PARTIAL HEIGHT CORK FACING ON COLUMN. MAKE READY FOR NEW WALL FINISH. EXISTING VINYL BASE TO REMAIN.
N-4	AREA #145: DISCONNECT ELECTRICAL FURNITURE WHIPS FROM FLOOR MOUNTED WIREMOLD & GIVE BACK TO CLIENT. DISCONNECT & DISCARD WIREMOLD IN #145 ONLY.
N-5	AREA #146 &149: REMOVE & SALVAGE EXISTING WOOD WALL PANELS FOR RELOCATION BESIDE NEW DOOR IN AREA #147/148. MAKE READY FOR NEW WALL FINISH.
N-6	AREA #149: REMOVE EXISTING DOOR, FRAME AND HARDWARE WHERE INDICATED ON PLAN. DOOR AND FRAME TO BE DISCARDED. DOOR HARDWARE TO BE SALVAGED FOR RE-USE. EXISTING REVEAL ABOVE DOOR TO BE MAINTAINED. MAKE OPENING READY FOR NEW PARTITION INRILL.
N-7	AREA #147: GC TO ALLOW FOR THE REMOVAL / DISPOSAL OF WOOD WALL PANEL IF REQUIRED DUE TO LOCATION OF NEW PARTITION. MAKE READY FOR NEW WALL FINISH AS REQUIRED.

GENERAL CONTRACTOR TO SUPPLY/INSTALL FULL HEIGHT PLASTIC SHEET HOARDING IN ALL AREAS AS REQUIRED TO SEPARATE/ISOLATE CONSTRUCTION AREAS & PROTECT EXISTING FURNITURE, EQUIPMENT, FINISHES, ETC.

9 DEMOLITION PLAN **AREA C**: KEY NOTES
ID-1.0



4-535 queen street east
toronto, ontario, m5a 1v1
t - 416. 895. 3721
e - mail@urbanscout.ca
www.urbanscout.ca

No.	Issued	Date
1.	Issued To ENGINEERS	06/20/2024
2.	Issued To CLIENT For REVIEW	07/10/2024
3.	Issued For PERMIT	08/09/2024
4.	Issued For TENDER	09/11/2024
5.	Issued For CONSTRUCTION	

© 2024 Urban Scout Design Inc.

Do not scale the drawings.

The Contractor and all Sub-contractors shall verify all job site dimensions, all drawings, details & specifications. The contractor shall report any discrepancies in writing, to Urban Scout Design prior to commencing with any work.

All necessary samples, shop drawings of millwork or otherwise, shall be submitted to Urban Scout Design, for approval, prior to proceeding with any work.

The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code for his signature.	
QUALIFICATION INFORMATION Required unless design is exempt under O.C. Article 3.2.5.1 of the Building Code	
NAME	SIGNATURE
ANDREW HELLWIG	
	BCIN
REGISTRATION INFORMATION Required unless design is exempt under O.C. Article 3.2.4.1 of the Building Code	
Andrew Allen Hellwig Design Consultants Inc.	114037
FIRM NAME	BCIN

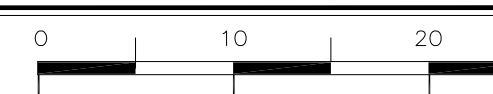
No.	Revisions	Date
-----	-----------	------

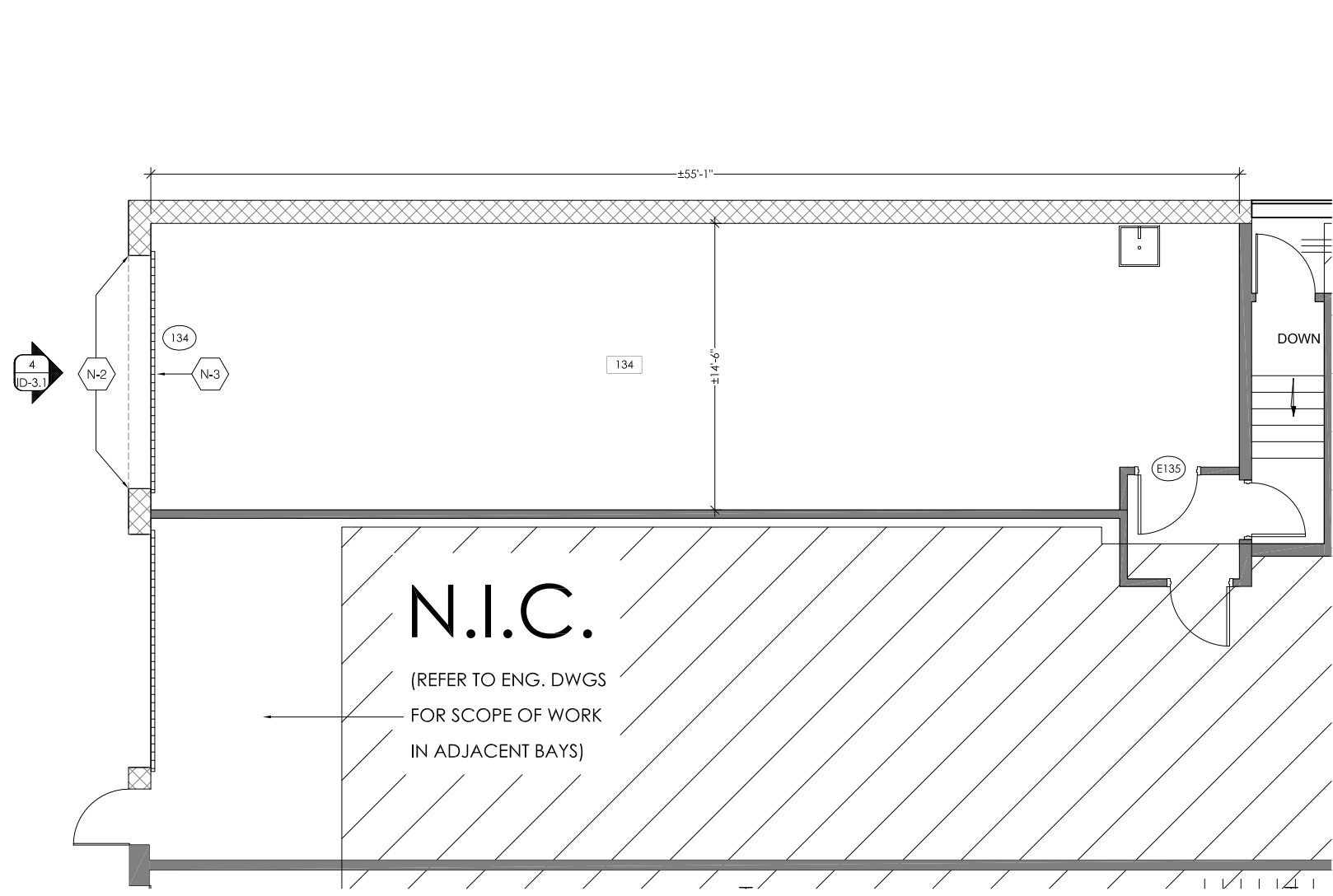


Toronto
CITY OF TORONTO
4330 DUFFERIN STREET
TORONTO, ON. M3H 5R9
(GROUND FLOOR)

Scale: 1/8" = 1'-0"
Cad Code: us/cof1/dwg/wd-1
Drawn By: M.G. Checked By: D.T.
Drawing Name:

Demolition Plan
Project No: 24-05-00 Drawing No: ID-1.0





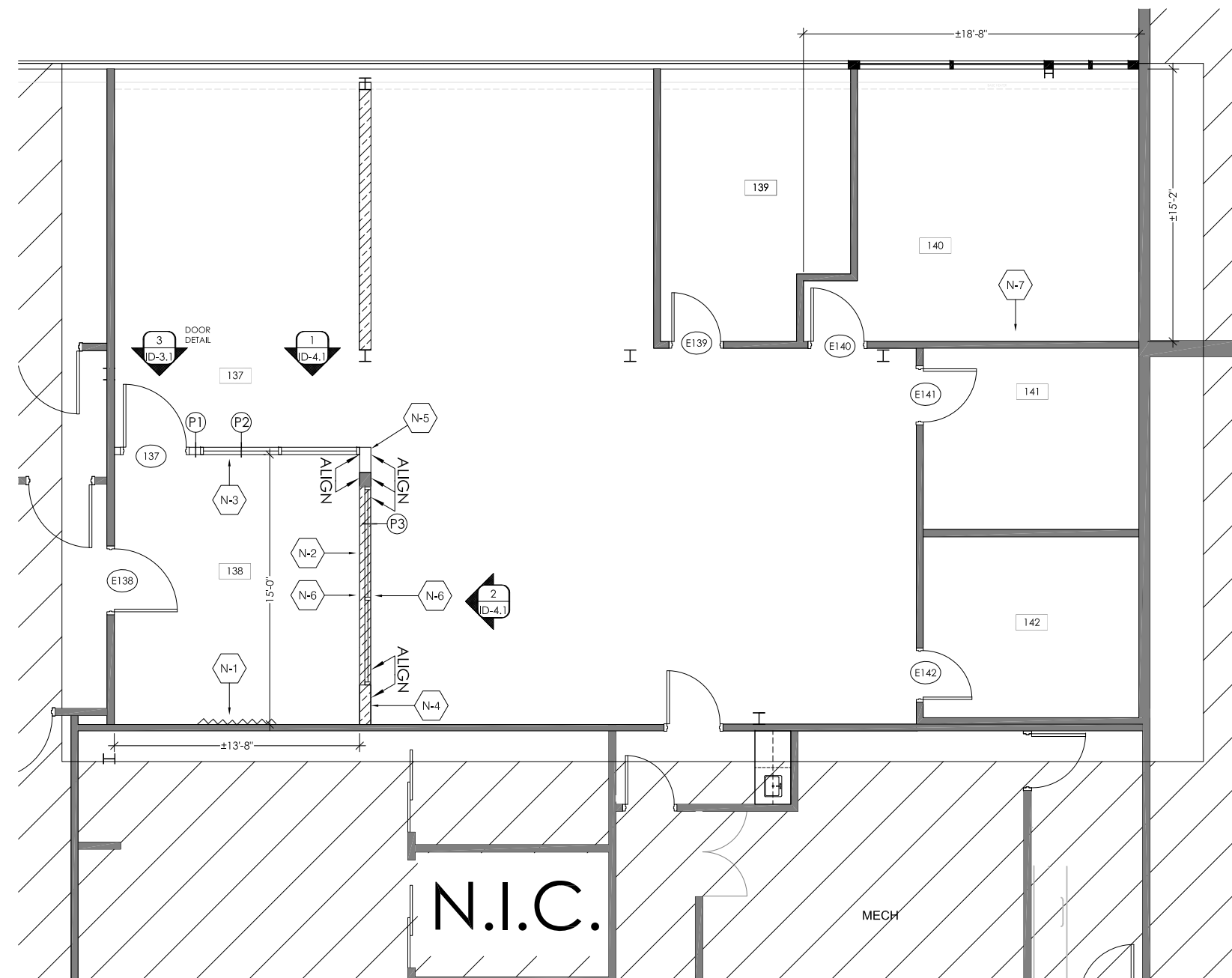
1 PARTITION PLAN AREA A
ID-1.1 1/8"=1'-0"

PARTITION LEGEND	
PARTITIONS & DOORS	
	EXISTING FULL HEIGHT G.W.B. PARTITION TO REMAIN
	CINDERBLOCK PARTITION TO REMAIN
	INDICATES SINK TO REMAIN
	INDICATES DOOR - REFER TO DOOR AND FRAME SCHEDULE FOR SPECIFICATION
	INDICATES NEW ROLL UP GARAGE DOOR - REFER TO DOOR AND FRAME SCHEDULE FOR SPECIFICATION
	EXISTING DOOR, FRAME AND HARDWARE - REFER TO DOOR AND FRAME SCHEDULE
	NEW DOOR, FRAME AND HARDWARE - REFER TO DOOR AND FRAME SCHEDULE
OTHER	
	DENOTES ROOM/AREA NUMBER

4 PARTITION PLAN AREA A: LEGEND
ID-1.1

PARTITION PLAN - KEY NOTES	
N-1	GC TO PATCH & REPAIR ALL HORIZONTAL AND VERTICAL SURFACES WHERE DAMAGE EXISTS INCLUDING WHERE PARTITIONS & MECHANICAL EQUIPMENT/ DEVICES WERE REMOVED. AND MAKE READY FOR NEW FINISHES.
N-2	GC TO PATCH & REPAIR DOOR OPENING TO RECEIVE NEW ROLL UP DOOR AND HARDWARE.
N-3	GC TO COORDINATE & CARRY THE COST TO SUPPLY AND INSTALL NEW ROLL UP DOOR (TO MATCH EXISTING ADJACENT ROLL UP DOORS). REFER TO DOOR SCHEDULE FOR SPECIFICATIONS AND CONTACT INFO FOR "WILCOX DOOR SERVICE INC."

7 PARTITION PLAN AREA A: KEY NOTES
ID-1.1



2 PARTITION PLAN AREA B
ID-1.1 1/8"=1'-0"

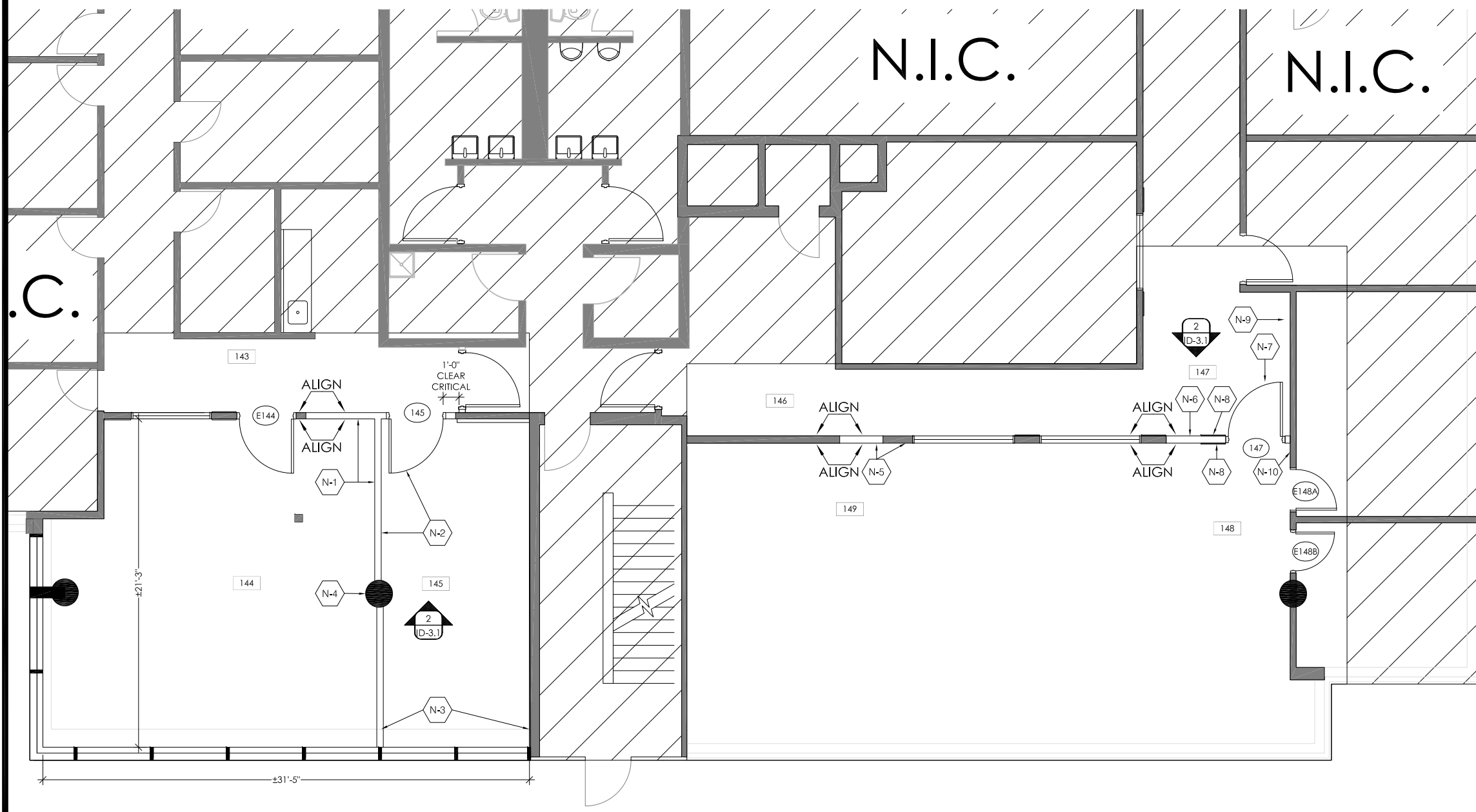
PARTITION LEGEND	
PARTITIONS & DOORS	
	EXISTING FULL HEIGHT G.W.B. PARTITION TO REMAIN
	EXISTING 5'-1" HIGH G.W.B. PARTITION TO REMAIN
	NEW G.W.B. PARTITION: REFER TO PARTITION LEGEND - PARTITION TYPES
	INDICATES GLAZING
	INDICATES DOOR - REFER TO DOOR AND FRAME SCHEDULE FOR SPECIFICATION
	EXISTING DOOR, FRAME AND HARDWARE - REFER TO DOOR AND FRAME SCHEDULE
	NEW DOOR, FRAME AND HARDWARE - REFER TO DOOR AND FRAME SCHEDULE
OTHER	
	DENOTES ROOM/AREA NUMBER
	PROVIDE EXPOSED FIRE-RATED PLYWOOD BLOCKING ON PARTITION BASE FOR WALL MOUNTED TELEVISION

PARTITION LEGEND - PARTITION TYPES	
P1	NEW G.W.B. PARTITION FROM FLOOR TO U/S OF T-BAR CEILING WITH SOUND INSULATION
P2	NEW G.W.B. PARTITION FROM FLOOR TO UNDERSIDE OF T-BAR CEILING WITH CLERESTORY GLAZING AND SOUND INSULATION
P3	EXISTING PARTIAL HEIGHT G.W.B. PARTITION WITH NEW G.W.B. PARTITION, CLERESTORY GLAZING AND SOUND INSULATION TO UNDERSIDE OF T-BAR CEILING. SEE ELEVATION AND SECTION FOR DETAILS.
	NEW PARTITION TO BE CONSTRUCTED OF 3 1/2" (89mm) STEEL STUDS (20 ga) ON 16" (400mm) CENTRES, 5/8" (16mm) G.W.B. ON BOTH SIDES, FROM FLOOR TO UNDERSIDE OF T-BAR CEILING. CAVITIES TO BE FRICTION FIT WITH SOUND ATTENUATION BATT INSULATION.

5 PARTITION PLAN AREA B: LEGEND
ID-1.1

PARTITION PLAN - KEY NOTES	
N-1	ROOM #138: SUPPLY & INSTALL EXPOSED SURFACE MOUNTED FIRE-RATED PLYWOOD BLOCKING ON EXISTING PARTITION FOR NEW WALL MOUNTED TV MOUNTING BRACKET.
N-2	ROOM #138: CONSTRUCT NEW G.W.B. PARTITION WITH CLERESTORY GLAZING ON TOP OF EXISTING 5'-1" HIGH G.W.B. PARTITION. PROVIDE STRUCTURAL BRACING ABOVE T-BAR AS REQUIRED.
N-3	ROOM #138: NEW "P2" FULL HEIGHT G.W.B. PARTITION WITH CLERESTORY GLAZING. PROVIDE STRUCTURAL BRACING ABOVE T-BAR AS REQUIRED.
N-4	ROOM #138: CONSTRUCT NEW 7-1/2" THICK G.W.B. PARTITION (TO MATCH EXISTING) ON TOP OF EXISTING 5'-1" H G.W.B. PARTITION TO UNDERSIDE OF T-BAR CEILING TO SUIT.
N-5	ROOM #138: CONSTRUCT NEW 7-1/2" THICK G.W.B. PARTITION BESIDE EXISTING FULL HEIGHT 7-1/2" THICK G.W.B. PARTITION.
N-6	AREA #137 & 138: WHERE EXISTING WALL BASE WAS REMOVED PATCH AND REPAIR WALL AND MAKE READY FOR NEW WALL BASE.
N-7	ROOM #140: WHERE LOWER MILLWORK AND OUTLETS WERE REMOVED CONTRACTOR TO PATCH AND REPAIR G.W.B. WALL AND PREPARE FOR NEW WALL FINISH.

8 PARTITION PLAN AREA B: KEY NOTES
ID-1.1



3 PARTITION PLAN AREA C
ID-1.1 1/8"=1'-0"

PARTITION LEGEND	
PARTITIONS & DOORS	
	EXISTING FULL HEIGHT G.W.B. PARTITION TO REMAIN
	NEW G.W.B. PARTITION TO MATCH EXISTING
	INDICATES GLAZING
	INDICATES DOOR - REFER TO DOOR AND FRAME SCHEDULE FOR SPECIFICATION
	EXISTING DOOR, FRAME AND HARDWARE - REFER TO DOOR AND FRAME SCHEDULE
	NEW DOOR, FRAME AND HARDWARE - REFER TO DOOR AND FRAME SCHEDULE
OTHER	
	DENOTES ROOM/AREA NUMBER

6 PARTITION PLAN AREA C: LEGEND
ID-1.1

PARTITION PLAN - KEY NOTES	
N-1	ROOMS #144 & 145: SUPPLY & INSTALL NEW GWB PARTITIONS TO MATCH EXISTING C/W ±1/2" REVEALS AT: NORTH PARTITION: AT T-BAR CEILING SOUTH PARTITION: AT ±86" AFF.
N-2	ROOM #145: SUPPLY & INSTALL NEW 42" W DOOR, FRAME AND HARDWARE TO MATCH EXISTING. DOOR TO HAVE 12" CLEAR SPACE BESIDE SWING IN CORRIDOR #143 TO MEET TADG REQUIREMENTS. ADJUST LOCATION OF PERPENDICULAR NORTH / SOUTH PARTITION BETWEEN ROOMS #144 & #145 (FROM COLUMN TOWARDS CORRIDOR) AS REQUIRED.
N-3	AREA #145: PATCH & REPAIR ALL EXISTING GWB PARTITION DAMAGE THROUGHOUT AREA INCLUDING SOUTH-EAST CORNER (AT CEILING) & MAKE READY FOR NEW PAINT FINISH.
N-4	AREA #145: PATCH & REPAIR COLUMN FACING & MAKE READY FOR NEW PAINT FINISH.
N-5	AREA #149: WHERE DOOR AND FRAME WERE REMOVED CONTRACTOR TO INFILL WITH MATCHING G.W.B. PARTITION. EXISTING ±1/2" REVEAL ABOVE NEW PARTITION SECTION TO REMAIN. PATCH AND REPAIR ADJACENT WALL WHERE WOOD WALL PANEL WAS REMOVED AND REINSTALL EXISTING DATA COVER PLATE.
N-6	AREA #147: SUPPLY & INSTALL NEW GWB PARTITION. NEW PARTITION TO MATCH ADJACENT PARTITIONS. C/W ±1/2" REVEAL AT ±86" AFF AND AT T-BAR.
N-7	AREA #147: SUPPLY & INSTALL NEW 42" W DOOR, FRAME & HARDWARE TO MATCH EXISTING. SUPPLY & INSTALL NEW MAGNETIC DOOR STOP. REFER TO DOOR HARDWARE FOR SPECS.
N-8	AREAS #147 & 148: INSTALL RELOCATED WOOD WALL PANELS BESIDE NEW DOOR #147. INSTALLATION METHOD & HEIGHT TO MATCH EXISTING. ON SOUTH SIDE FILL / PATCH SMALL HOLE @ TOP OF WOOD PANEL. SUPPLY & INSTALL BLANK ELEC. COVER PLATE @ BASE OF PANEL TO CONCEAL HOLE.
N-9	AREA #147: PATCH AND REPAIR DAMAGED WALL AND PREPARE FOR NEW WALL FINISH.
N-10	AREA #147: PATCH AND REPAIR DAMAGED G.W.B. PARTITION AS REQUIRED AND RE-ADHERE SIGNAGE IF WOOD WALL PANEL NEEDS TO BE REMOVED DUE TO CONSTRUCTION OF NEW PARTITION.

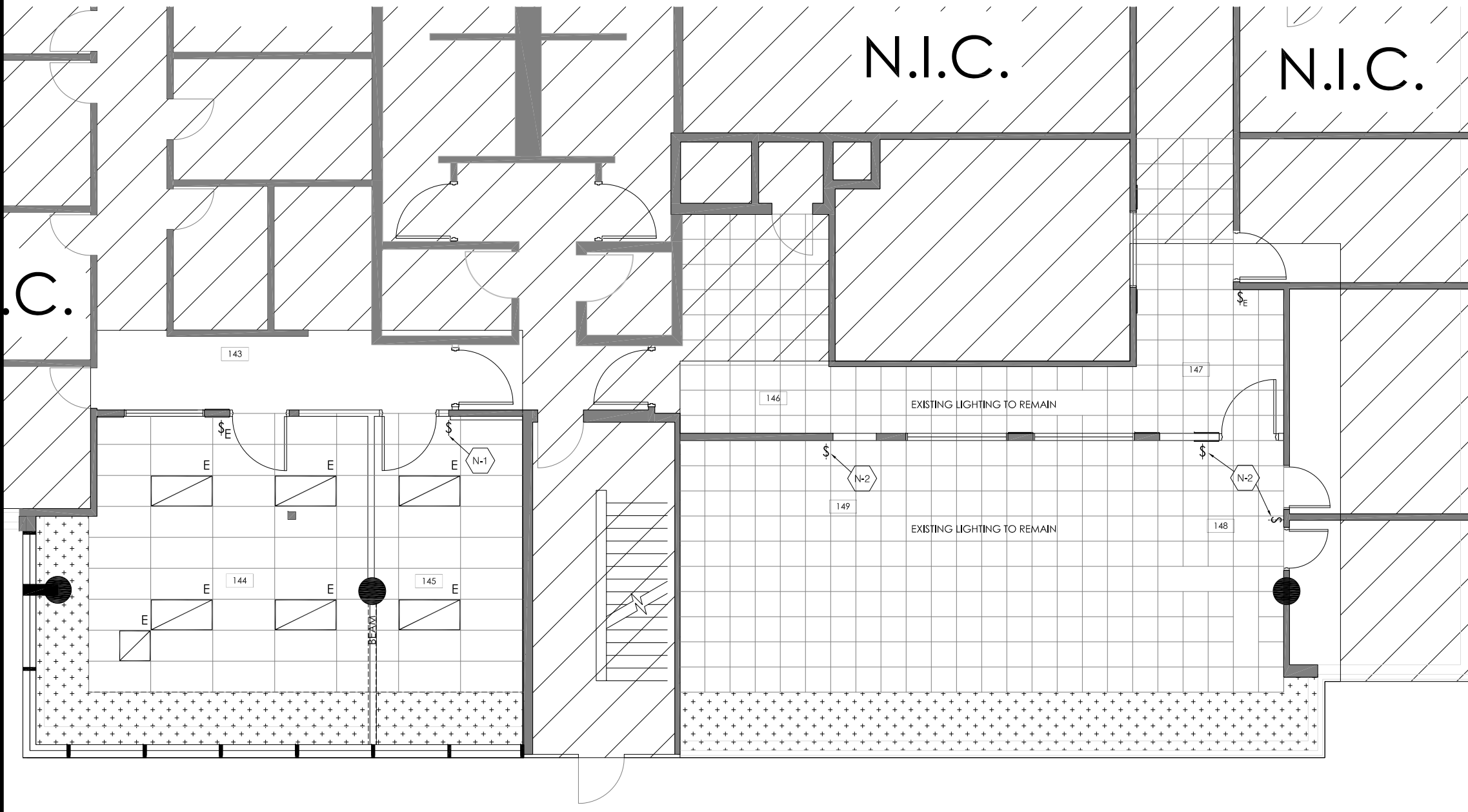
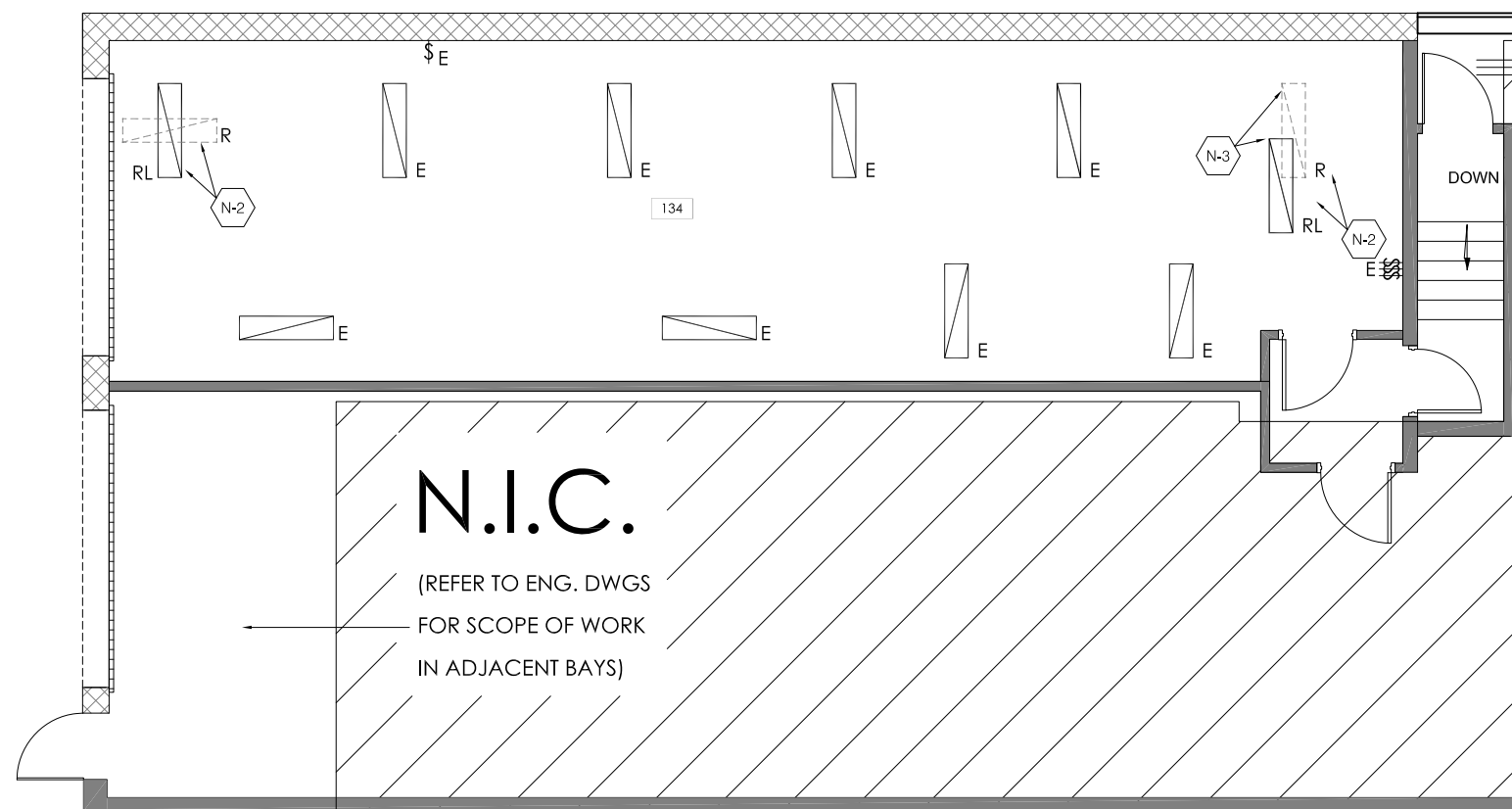
9 PARTITION PLAN AREA C: KEY NOTES
ID-1.1

No.	Issued	Date
1.	Issued TO ENGINEERS	06/20/2024
2.	Issued TO CLIENT FOR REVIEW	07/10/2024
3.	Issued FOR PERMIT	08/09/2024
4.	Issued FOR TENDER	09/11/2024
5.	Issued FOR CONSTRUCTION	

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code for this design.	
QUALIFICATION INFORMATION Required unless design is exempt under O.C. Article 3.2.5.1 of the Building Code	
NAME ANDREW HELLWIG	SIGNATURE [Signature] 18776
REGISTRATION INFORMATION Required unless design is exempt under O.C. Article 3.2.6.1 of the Building Code	
Andrew Helen Hellywig Design Consultants Inc.	114337
FIRM NAME	BCIN

No.	Revisions	Date
-----	-----------	------





1 REFLECTED CEILING PLAN AREA A
ID-1.2 1/8"=1'-0"

REFLECTED CEILING LEGEND	
REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR ALL EXISTING, RELOCATED & NEW LIGHTING LOCATIONS, LIGHTING SPECIFICATIONS, SWITCHING, SENSORS, LIFE & SAFETY, ETC. THROUGHOUT.	
EXISTING CEILING HEIGHTS	
EXIST. CONCRETE SLAB TO CONC. CEILING IS ±13'-10" A.F.F.	
SWITCHES	
\$	DENOTES ON/OFF SWITCH
ALL SWITCHES TO BE MOUNTED AT 6" FROM DOOR OR WITHIN SIDE/LITE FRAME, UNLESS OTHERWISE INDICATED. MOUNT AT 44" AFF O.C.	
CEILING MOUNTED LIGHT FIXTURES	
	12" x 48" CEILING MOUNTED AND SUSPENDED LIGHT FIXTURE.
	12" x 48" CEILING MOUNTED LIGHT FIXTURE TO BE RELOCATED.
NOTES	
E	EXISTING FIXTURE TO REMAIN
R	EXISTING FIXTURE TO BE RELOCATED
RL	EXISTING FIXTURE IN RELOCATED POSITION

4 REFLECTED CEILING PLAN AREA A: LEGEND
ID-1.2

REFLECTED CEILING PLAN - KEY NOTES	
N-1	REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR ALL RECONFIGURED LIGHTING.
N-2	EXISTING SUSPENDED LIGHT FIXTURE TO BE REINSTALLED AS SURFACE MOUNTED FIXTURE ONCE HVAC IS REMOVED.
N-3	RELOCATE EXISTING SUSPENDED LIGHT FIXTURE TO SUIT NEW MECHANICAL. REFER TO ENGINEER'S DRAWING FOR NEW LOCATION.

7 REFLECTED CEILING PLAN AREA A: KEY NOTES
ID-1.2

2 REFLECTED CEILING PLAN AREA B
ID-1.2 1/8"=1'-0"

REFLECTED CEILING LEGEND		NOTES	
REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR ALL EXISTING, RELOCATED & NEW LIGHTING LOCATIONS, LIGHTING SPECIFICATIONS, SWITCHING, SENSORS, LIFE & SAFETY, ETC. THROUGHOUT.		E	EXISTING FIXTURE TO REMAIN
EXISTING CEILING HEIGHTS		R	EXISTING FIXTURE TO BE RELOCATED
AREAS #137&138: EXIST. T-BAR CEILING IS ±9'-3" A.F.F. AREAS #139-142: EXIST. T-BAR CEILING IS ±9'-9" A.F.F.		RL	EXISTING FIXTURE IN RELOCATED POSITION
SWITCHES			
\$	DENOTES ON/OFF SWITCH		
\$ _D	DENOTES DIMMER SWITCH		
ALL SWITCHES TO BE MOUNTED AT 6" FROM DOOR OR WITHIN SIDE/LITE FRAME, UNLESS OTHERWISE INDICATED. MOUNT AT 44" AFF O.C.			
CEILING TYPES			
	EXISTING 500mmx500mm T-BAR CEILING GRID TO REMAIN AS IS UNLESS OTHERWISE NOTED. REFER TO ENGINEERING DRAWINGS FOR SPECIFICATIONS. GC IS RESPONSIBLE TO REPLACE ANY DAMAGED CEILING TILES AND T-BAR GRID.		
G.W.B. BULKHEAD TYPES			
	EXISTING G.W.B. BULKHEAD CEILING TO REMAIN		
SUSPENDED LIGHT FIXTURES			
	12" X 96" SUSPENDED LIGHT FIXTURE TO REMAIN		
REFER TO DEMOLITION PLAN FOR LOCATION OF THE 4 FIXTURES TO BE DISCONNECTED, REMOVED & GIVEN BACK TO CLIENT			
RECESSED LIGHT FIXTURES			
	NEW RECESSED LED DOWNLIGHT FIXTURE TO BE SUPPLIED AND INSTALLED IN T-BAR CEILING REFER TO ELECTRICAL ENGINEERS DRAWINGS FOR SPECIFICATION		
	EXISTING RECESSED LIGHT FIXTURE TO BE REMOVED / DISCARDED		
	EXISTING FLUORESCENT FIXTURE WITH DEEP CELL ALUMINUM PARABOLIC LENS & LED TUBES 500mmX1500mm		

5 REFLECTED CEILING PLAN AREA B: LEGEND
ID-1.2

REFLECTED CEILING PLAN - KEY NOTES			
N-1	AREAS #137/138: REFER TO DEMOLITION PLAN FOR THE DISCONNECTION & REMOVAL OF 4 EXISTING SUSPENDED LIGHT FIXTURES. ELECTRICIAN TO SALVAGE ALL REQUIRED PARTS (END CAPS, ETC.) FROM REMOVED LIGHT FIXTURES & REINSTALL ON REMAINING AS REQUIRED. REFER TO ELECTRICAL ENG. DWGS FOR DETAILS RE REWIRING OF REMAINING SUSPENDED FIXTURES.	N-3	ROOM 140: REMOVE & DISCARD EXISTING RECESSED LIGHT FIXTURE.
N-2	ROOMS 138 & 140: SUPPLY AND INSTALL NEW DIMMER SWITCHES FOR NEW RECESSED LED DOWNLIGHTS. REFER TO ENG. DWGS FOR SPECIFICATIONS.	N-4	REPLACE ALL DAMAGED T-BAR CEILING TILES AND T-BAR GRID (DUE TO EXISTING CONDITIONS & REMOVAL OF LIGHTS) TO MATCH EXISTING.

8 REFLECTED CEILING PLAN AREA B: KEY NOTES
ID-1.2

3 REFLECTED CEILING PLAN AREA C
ID-1.2 1/8"=1'-0"

REFLECTED CEILING LEGEND	
REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR ALL EXISTING, RELOCATED & NEW LIGHTING LOCATIONS, LIGHTING SPECIFICATIONS, SWITCHING, SENSORS, LIFE & SAFETY, ETC. THROUGHOUT.	
EXISTING CEILING HEIGHTS	
AREAS #144-145: EXIST. T-BAR CEILING IS ±9'-1" A.F.F. AREAS #146-148: EXIST. T-BAR CEILING IS ±9'-2" A.F.F.	
SWITCHES	
\$	DENOTES ON/OFF SWITCH
ALL SWITCHES TO BE MOUNTED AT 6" FROM DOOR OR WITHIN SIDE/LITE FRAME, UNLESS OTHERWISE INDICATED. MOUNT AT 44" AFF O.C.	
CEILING TYPES	
	AREAS #144/145: EXISTING 610mmx1220mm T-BAR CEILING GRID TO REMAIN AS IS UNLESS OTHERWISE NOTED. REFER TO ENGINEERING DRAWINGS FOR SPECIFICATIONS. GC IS RESPONSIBLE TO REPLACE ANY DAMAGED CEILING TILES AND T-BAR GRID.
	AREAS #146-148: EXISTING 500mmx500mm T-BAR CEILING GRID TO REMAIN AS IS UNLESS OTHERWISE NOTED. REFER TO ENGINEERING DRAWINGS FOR SPECIFICATIONS. GC IS RESPONSIBLE TO REPLACE ANY DAMAGED CEILING TILES AND T-BAR GRID.
G.W.B. BULKHEAD TYPES	
	EXISTING G.W.B. BULKHEAD CEILING TO REMAIN
RECESSED LIGHT FIXTURE LEGEND	
	AREAS #144/145: 610mmx1200mm LIGHT FIXTURE
	AREAS #144/145: 610mmx610mm LIGHT FIXTURE
NOTES	
E	EXISTING FIXTURE TO REMAIN

6 REFLECTED CEILING PLAN AREA C: LEGEND
ID-1.2

REFLECTED CEILING PLAN - KEY NOTES	
N-1	ROOMS 144 & 145: SUPPLY AND INSTALL NEW ON/OFF LIGHT SWITCH IN ROOM #145 AND REWIRE EXISTING LIGHTING TO SUIT.
N-2	AREAS 148 & 149: RELOCATE EXISTING LIGHT SWITCH FROM AREA 149 TO AREA 148. PROVIDE NEW POWER WIRING AND CONDUIT TO LIGHTING FIXTURES AS REQUIRED. REFER TO ENGINEERING DRAWINGS FOR DETAILS.

9 REFLECTED CEILING PLAN AREA C: KEY NOTES
ID-1.2

No.	Issued	Date
1.	Issued To ENGINEERS	06/20/2024
2.	Issued To CLIENT For REVIEW	07/10/2024
3.	Issued For PERMIT	08/09/2024
4.	Issued For TENDER	09/11/2024
5.	Issued For CONSTRUCTION	

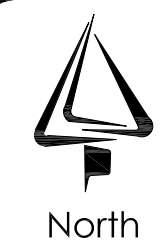
Do not scale the drawings.

The Contractor and all Sub-contractors shall verify all job site dimensions, all drawings, details & specifications. The contractor shall report any discrepancies in writing, to Urban Scout Design prior to commencing with any work.

All necessary samples, shop drawings of millwork or otherwise, shall be submitted to Urban Scout Design, for approval, prior to proceeding with any work.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code for this design.	
QUALIFICATION INFORMATION Required unless design is exempt under Div. C, Article 3.2.5.1 of the Building Code	
ANDREW HELLWIG	18776
NAME	SIGNATURE
	BCIN
REGISTRATION INFORMATION Required unless design is exempt under Div. C, Article 3.2.6.1 of the Building Code	
Andrew Helen Hellywig Design Consultants Inc.	114337
FIRM NAME	BCIN

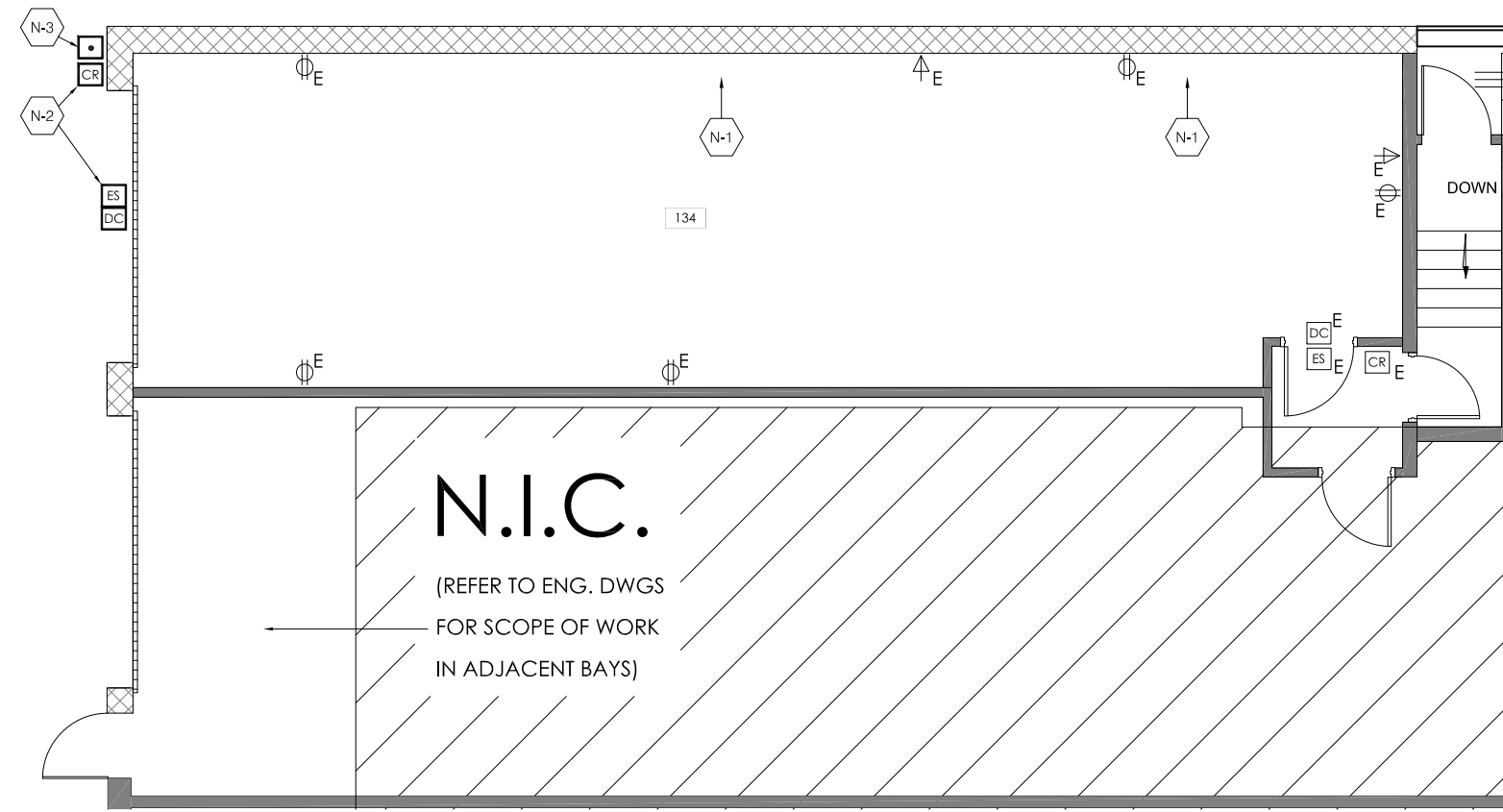
No.	Revisions	Date



Scale:	1/8" = 1'-0"
Cad Code:	us/cof/dwg/wd-1
Drawn By:	M.G.
Checked By:	D.T.

Drawing Name:
Reflected Ceiling Plan

Project No:	Drawing No:
24-05-00	ID-1.2



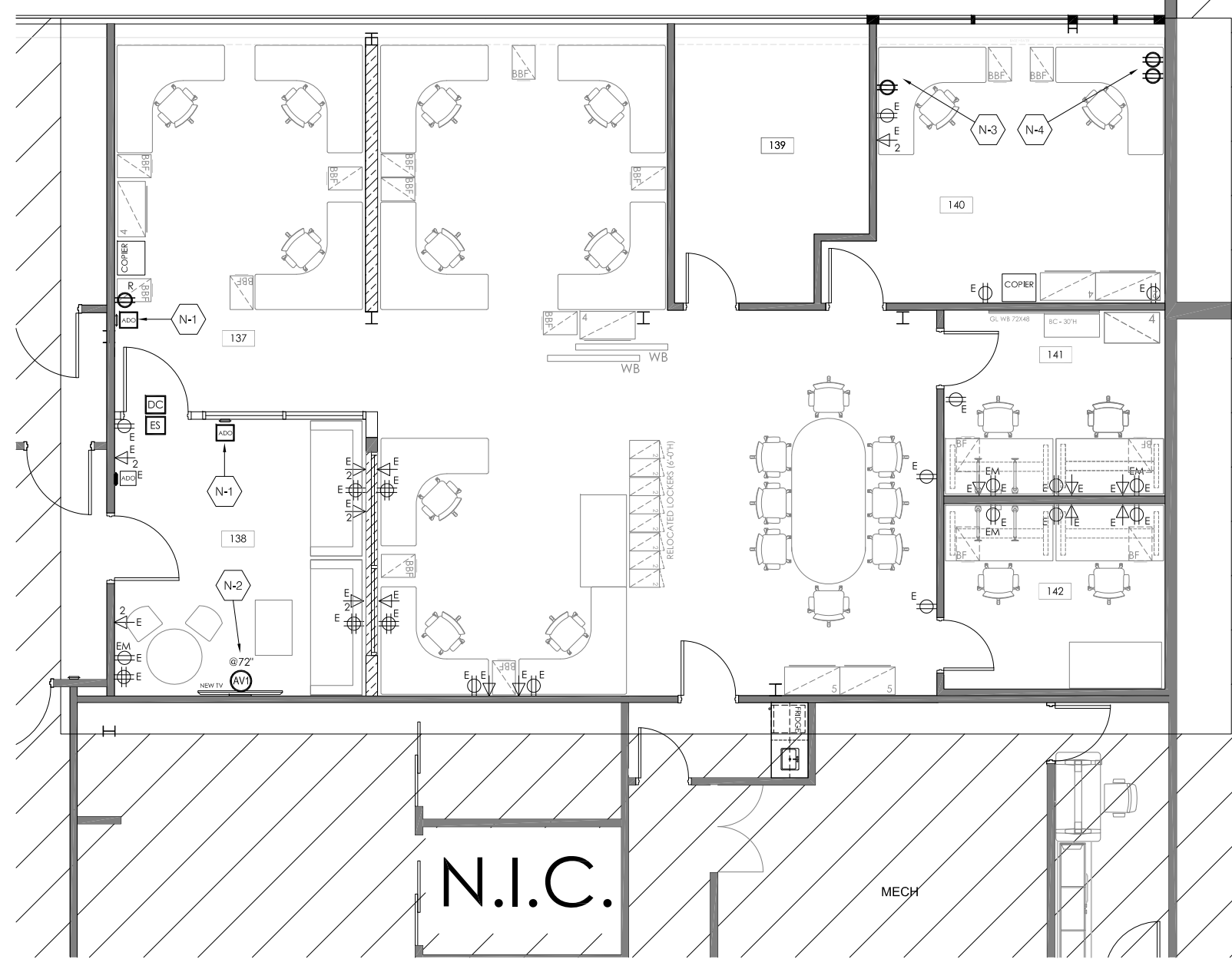
1 POWER AND COMMUNICATIONS PLAN **AREA A**
ID-1.3 1/8"=1'-0"

POWER AND COMMUNICATIONS PLAN: LEGEND	
REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR ALL EXISTING, NEW, RELOCATED POWER AND DATA SPECIFICATIONS.	
POWER	
	WALL MOUNTED DUPLEX RECEPTACLE
SECURITY	
	CARD READER
	ELECTRIC STRIKE
	DOOR CONTACT
	PUSH BUTTON DOOR OPERATOR
NOTES	
	EXISTING DEVICE TO REMAIN
44"	HEIGHT ABOVE FINISHED FLOOR
ALL WALL MOUNTED OUTLETS / FEEDS TO BE 18" AFF O.C. UNLESS NOTED OTHERWISE.	

4 POWER AND COMMUNICATIONS PLAN **AREA A**: LEGEND
ID-1.3

POWER AND COMMUNICATIONS PLAN - KEY NOTES	
	ELECTRICIAN TO DISCONNECT & REMOVE (2) EXISTING WALL MOUNTED SPLITLESS DUCT AC UNITS C/W CONDENSERS AND CONTROLS. SALVAGE AND TURN OVER TO CLIENT. REFER TO ENGINEERING DRAWINGS FOR DETAILS.
	ELECTRICIAN TO PROVIDE ROUGH-IN FOR NEW CARD READER AND ELECTRIC STRIKE FOR NEW ROLL-UP EXTERIOR DOOR. SECURITY VENDOR TO SUPPLY AND INSTALL ALL DEVICES TO SUIT. REFER TO ELECTRICAL ENGINEER'S DRAWINGS AND ROLL-UP DOOR SPECIFICATION DRAWINGS FOR ADDITIONAL INFORMATION.
	REFER TO ENGINEERING DRAWINGS FOR GARAGE DOOR OPENER DETAILS. PROVIDE ALL NECESSARY WIRING AND CONDUITS FOR THE GARAGE DOOR OPENER AND ITS ASSOCIATED INDOOR 3-BUTTON CONTROL STATION, OUTDOOR SINGLE PUSH-TO-LOCK STATION, AND OUTDOOR SWIPE-TO-OPEN CARD READER.

7 POWER AND COMMUNICATIONS PLAN **AREA A**: KEY NOTES
ID-1.3



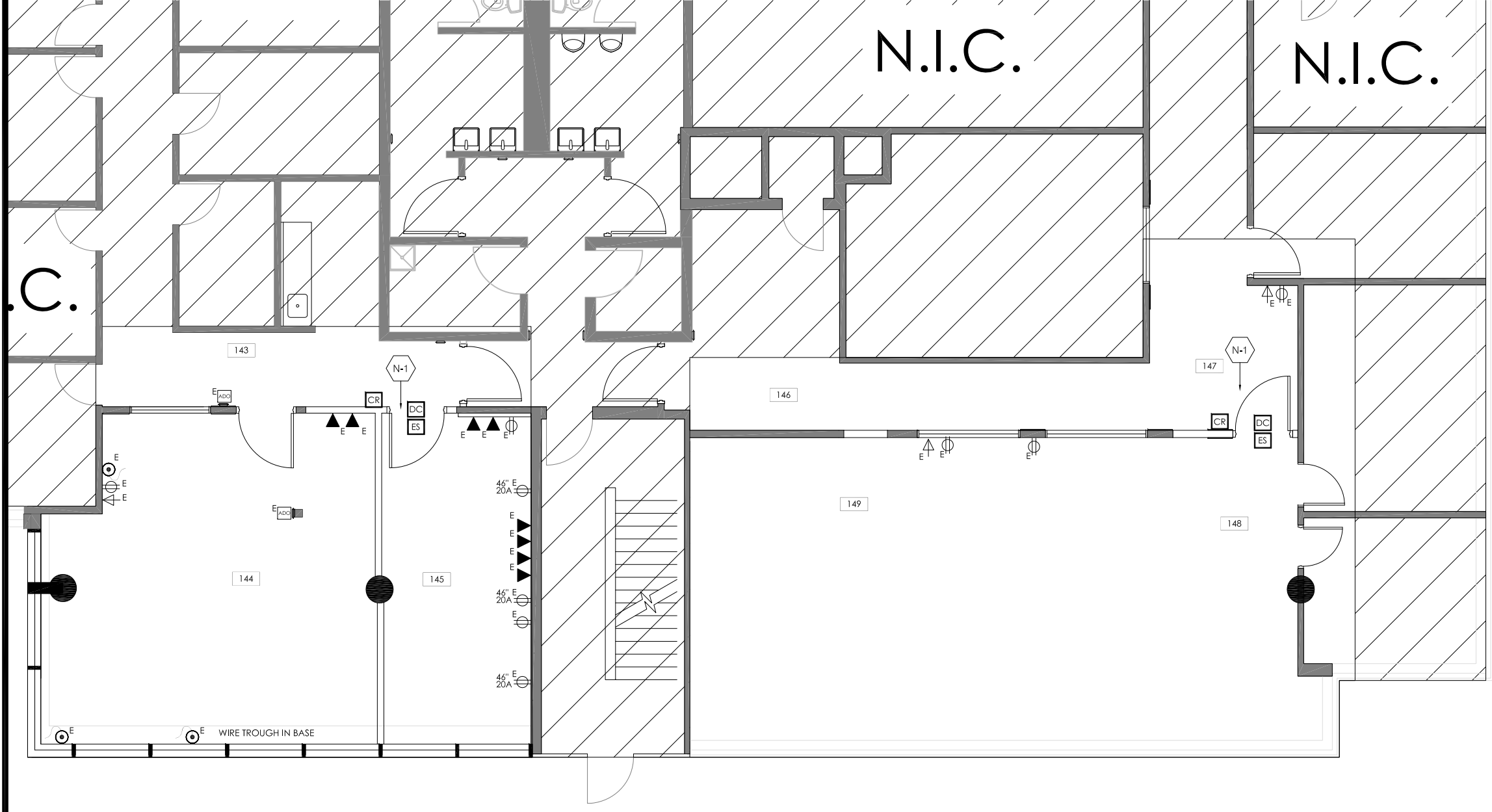
2 POWER AND COMMUNICATIONS PLAN **AREA B**
ID-1.3 1/8"=1'-0"

POWER AND COMMUNICATIONS PLAN: LEGEND	
REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR ALL EXISTING, NEW, RELOCATED POWER AND DATA SPECIFICATIONS.	
POWER	
	WALL MOUNTED DUPLEX RECEPTACLE
	WALL MOUNTED QUAD DUPLEX RECEPTACLE
	EMERGENCY RECEPTACLE
	SYSTEMS FURNITURE ELECTRICAL FEED - WALL MOUNTED
COMMUNICATIONS	
	WALL MOUNTED DATA OUTLET (CAT6)
SECURITY	
	ELECTRIC STRIKE
	DOOR CONTACT
	AUTOMATIC DOOR OPERATOR
AUDIO / VISUAL	
TYPICAL GANG OF SERVICES TO INCLUDE:	
<ul style="list-style-type: none">1 DUPLEX POWER RECEPTACLE1 EMPTY BOX (FOR FUTURE DATA)1 EMPTY BOX (FOR FUTURE TV CABLE)	
- PROVIDE PULL STRINGS FOR FUTURE DATA & TV CABLE	
- NOTE: CLIENT TO COORDINATE NEW DATA & TV CABLE INSTALLATION	
NOTES	
E	EXISTING DEVICE TO REMAIN
R	RELOCATED DEVICE
@44	HEIGHT ABOVE FINISHED FLOOR
ALL WALL MOUNTED OUTLETS / FEEDS TO BE 18" AFF O.C. UNLESS NOTED OTHERWISE.	

5 POWER AND COMMUNICATIONS PLAN **AREA B**: LEGEND
ID-1.3

POWER AND COMMUNICATIONS PLAN - KEY NOTES	
	ROOM #138: SUPPLY AND INSTALL NEW AUTOMATIC DOOR BUTTONS & DOOR OPERATOR. REFER TO DOOR HARDWARE SCHEDULE FOR DETAILS.
	ROOM #138: SUPPLY AND INSTALL NEW 'AV1' GANG OF OUTLETS AT NEW TV LOCATION. HEIGHT TO BE CONFIRMED.
	ROOM #140: SUPPLY & INSTALL 1 NEW DUPLEX OUTLET. HEIGHT TO MATCH EXISTING ADJACENT OUTLETS.
	ROOM #140: SUPPLY & INSTALL 2 NEW DUPLEX OUTLETS (OR QUAD OUTLET). HEIGHT TO MATCH EXISTING OUTLETS.

8 POWER AND COMMUNICATIONS PLAN **AREA B**: KEY NOTES
ID-1.3



3 POWER AND COMMUNICATIONS PLAN **AREA C**
ID-1.3 1/8"=1'-0"

POWER AND COMMUNICATIONS PLAN: LEGEND	
REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR ALL EXISTING, NEW, RELOCATED POWER AND DATA SPECIFICATIONS.	
POWER	
	WALL MOUNTED DUPLEX RECEPTACLE
	SYSTEMS FURNITURE ELECTRICAL FEED - WALL MOUNTED
COMMUNICATIONS	
	WALL MOUNTED DATA OUTLET (CAT6)
SECURITY	
	CARD READER
	ELECTRIC STRIKE
	DOOR CONTACT
	AUTOMATIC DOOR OPERATOR
NOTES	
E	EXISTING DEVICE TO REMAIN
44"	HEIGHT ABOVE FINISHED FLOOR
ALL WALL MOUNTED OUTLETS / FEEDS TO BE 18" AFF O.C. UNLESS NOTED OTHERWISE.	

6 POWER AND COMMUNICATIONS PLAN **AREA C**: LEGEND
ID-1.3

POWER AND COMMUNICATIONS PLAN - KEY NOTES	
	AREAS #145 & 148: ELECTRICIAN TO PROVIDE ROUGH-IN FOR NEW CARD READERS AND ELECTRIC STRIKES. SECURITY VENDOR TO SUPPLY AND INSTALL ALL DEVICES. REFER TO ELECTRICAL ENGINEER'S DRAWINGS.

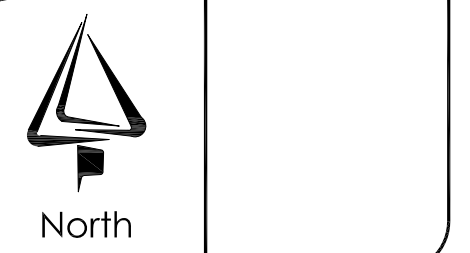
9 POWER AND COMMUNICATIONS PLAN **AREA C**: KEY NOTES
ID-1.3

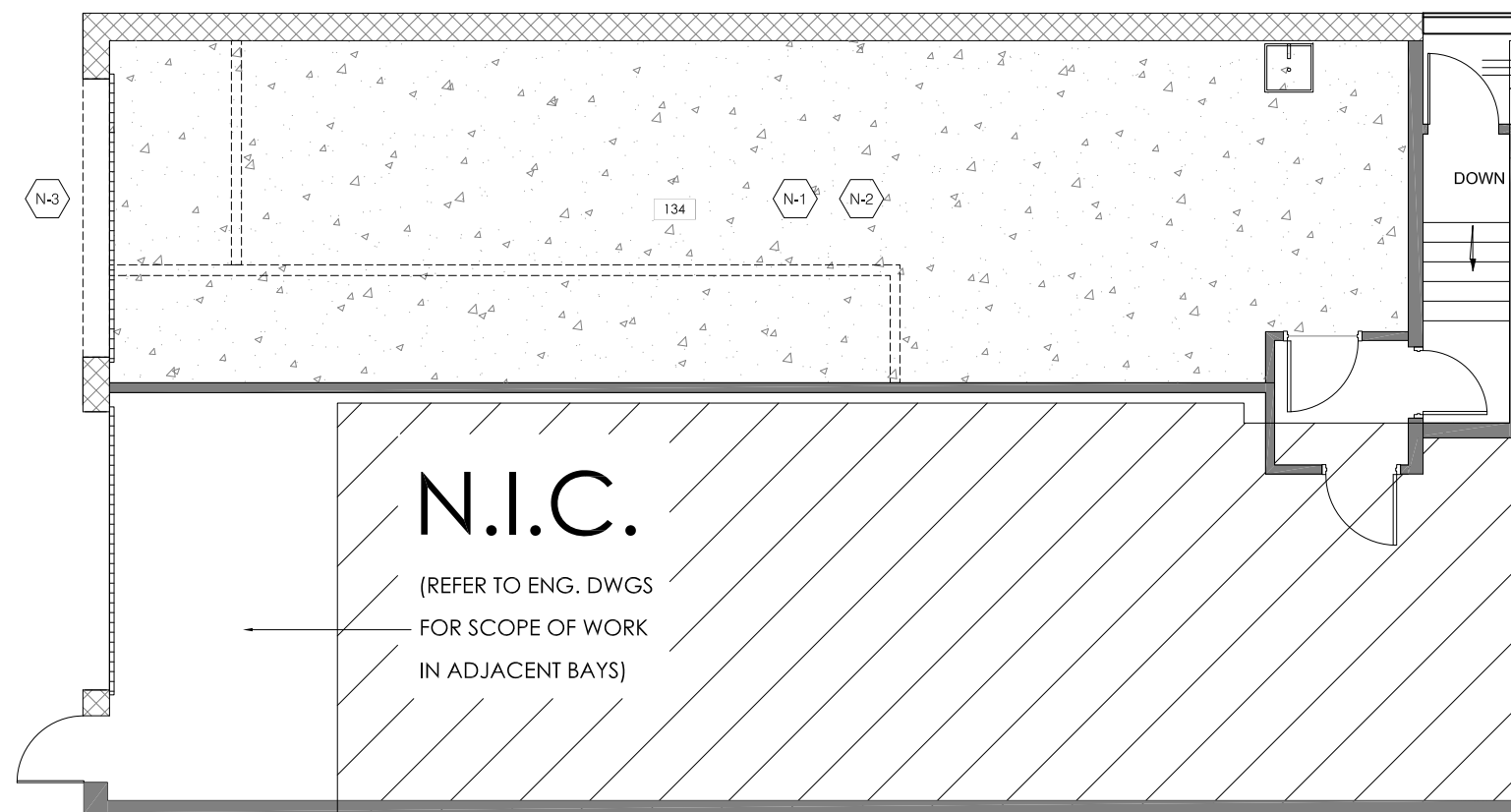
No.	Issued	Date
1.	Issued To ENGINEERS	06/20/2024
2.	Issued To CLIENT For REVIEW	07/10/2024
3.	Issued For PERMIT	08/09/2024
4.	Issued For TENDER	09/11/2024
5.	Issued For CONSTRUCTION	

© 2024 Urban Scout Design Inc.
Do not scale the drawings.
The Contractor and all Sub-contractors shall verify all job site dimensions, all drawings, details & specifications. The contractor shall report any discrepancies in writing, to Urban Scout Design prior to commencing with any work.
All necessary samples, shop drawings of millwork or otherwise, shall be submitted to Urban Scout Design, for approval, prior to proceeding with any work.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code for the profession.	
QUALIFICATION INFORMATION Provided unless design is exempt under O.C. 3.2.2.1 of the Building Code	
NAME ANDREW HELLWIG	18776
SIGNATURE	BCIN
REGISTRATION INFORMATION Provided unless design is exempt under O.C. 3.2.4.1 of the Building Code	
ANDREW ALLEN HELLWIG Design Consultants Inc.	114357
FIRM NAME	BCIN

No.	Revisions	Date





1 FINISHES PLAN AREA A
ID-1.4 1/8"=1'-0"

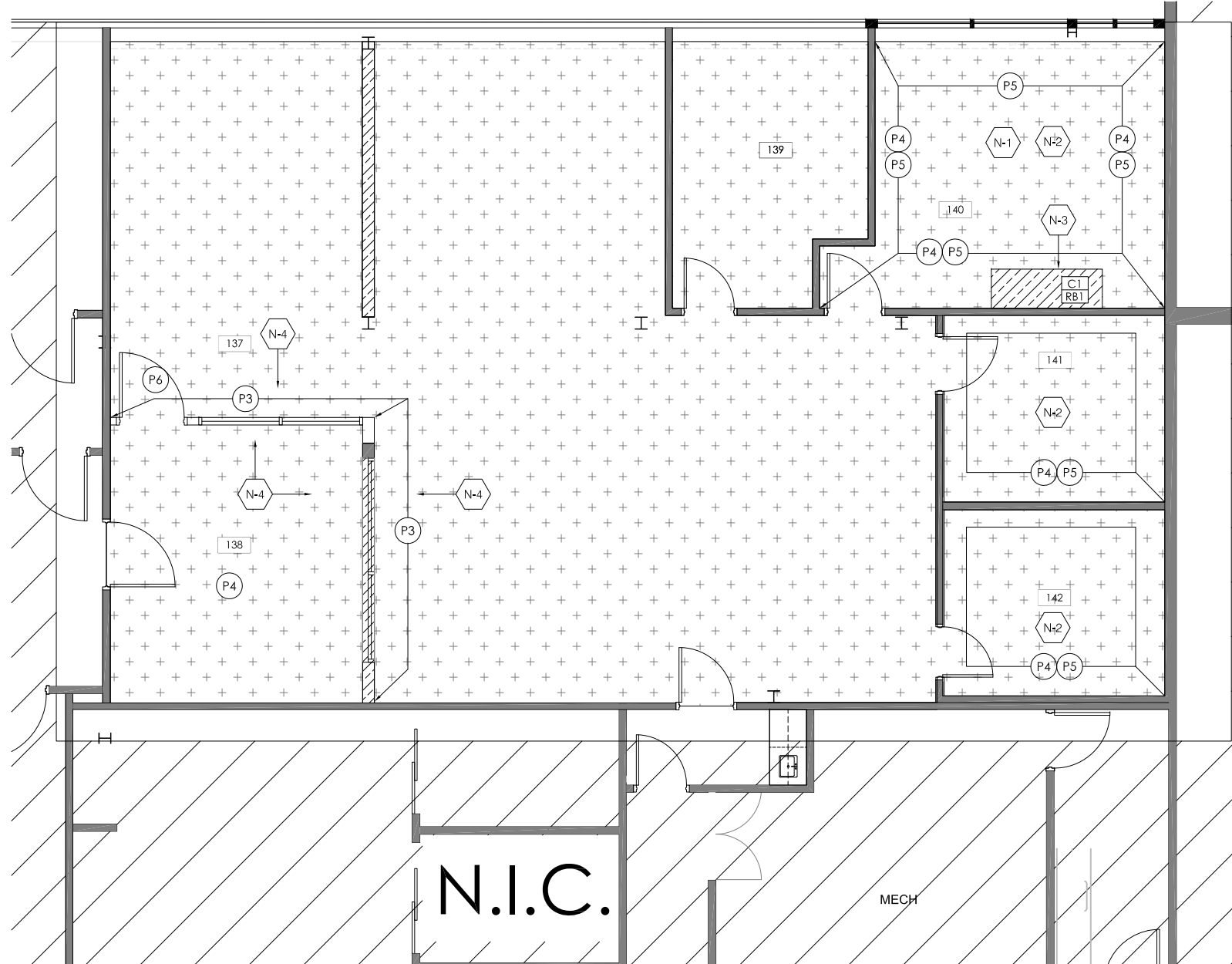
FINISHES PLAN: WALL FINISHES LEGEND		
PAINT		
P1	FIELD PAINT: AMBULANCE BAY WHITE	MANU: COLOUR: TO MATCH EXISTING WALL FINISH: TO MATCH EXIST. CEILING FINISH: TO MATCH EXIST.
P2	CONCRETE FLOOR: AMBULANCE BAY GREY	MANU: COLOUR: TO MATCH EXISTING FINISH: TO MATCH EXISTING

FINISHES PLAN: FLOOR FINISHES LEGEND	
EXISTING FLOORING	
	EXISTING PAINTED CONCRETE FLOOR

4 FINISHES PLAN AREA A: LEGEND
ID-1.4


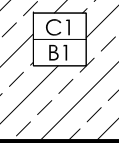
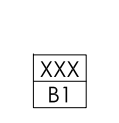
FINISHES PLAN - KEY NOTES WALL FINISHES	
N-1	PATCH AND PAINT ALL HORIZONTAL AND VERTICAL SURFACES AS REQUIRED INCLUDING WHERE PARTITIONS, WALL MOUNTED A/C UNITS, LIGHTS, EXPOSED CONDUIT, & HVAC WERE REMOVED / RELOCATED. PAINT TO MATCH EXISTING COLOUR AND FINISH.
N-2	PATCH, FILL, REPAIR ALL HOLES, CRACKS, ETC., IN CONCRETE FLOOR (EXISTING AND/OR CAUSED BY DEMOLITION). PROVIDE PAINT TOUCH-UPS TO MATCH EXISTING COLOUR & FINISH.
N-3	PATCH & PAINT EXISTING ROLL UP DOOR OPENING TO MATCH EXISTING COLOUR & FINISH.

7 FINISHES PLAN AREA A: KEY NOTES
ID-1.4



2 FINISHES PLAN AREA B
ID-1.4 1/8"=1'-0"

FINISHES PLAN: WALL FINISHES LEGEND		
PAINT		
P3	FIELD PAINT: SCHEDULING BROWN	MANU: COLOUR: TO MATCH EXISTING FINISH: TO MATCH EXISTING
P4	ACCENT PAINT: SCHEDULING WHITE (TOP)	MANU: COLOUR: TO MATCH EXISTING FINISH: TO MATCH EXISTING
P5	ACCENT PAINT: SCHEDULING HORSERADISH (BOTTOM)	MANU: COLOUR: TO MATCH EXISTING FINISH: TO MATCH EXISTING
P6	NEW DOOR & FRAME PAINT: CHARCOAL	MANU: COLOUR: TO MATCH EXISTING FINISH: TO MATCH EXISTING
PAINT - NOTES		
WHERE DOORS & FRAMES ARE TO BE PAINTED. CONTRACTOR TO PAINT BOTH SIDES		

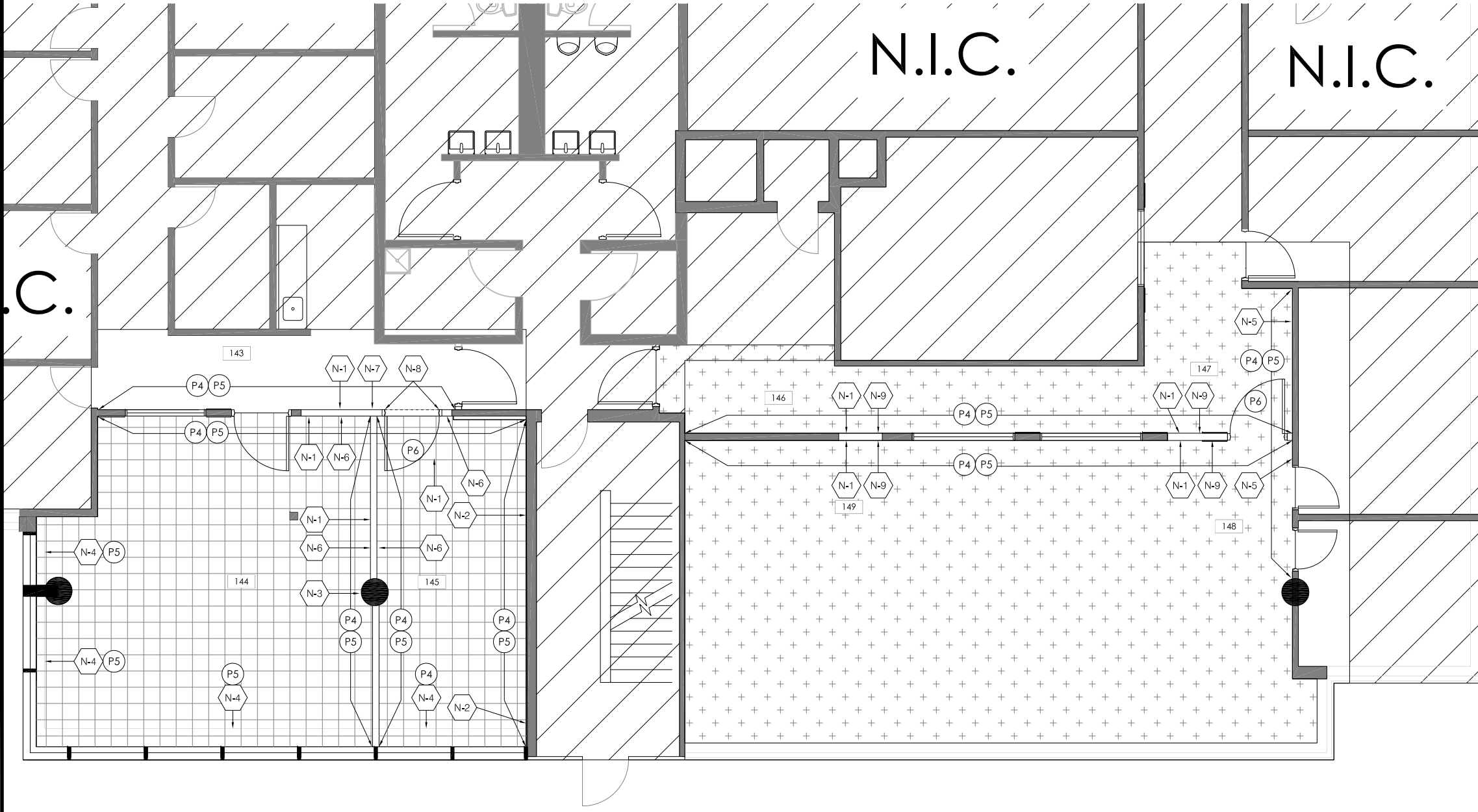
FINISHES PLAN: FLOOR FINISHES LEGEND		
EXISTING FLOORING		
	EXISTING CARPET TILE AND 4" VINYL WALL BASE	
NEW CARPET		
	INFILL CARPET:	MANU: TO MATCH EXISTING COLLECTION: TO MATCH EXISTING PATTERN: TO MATCH EXISTING COLOUR: TO MATCH EXISTING SIZE: TO MATCH EXISTING INSTALL: TO MATCH EXISTING VINYL BASE (B1): TO MATCH EXISTING
NEW CARPET - NOTES		
WHERE INFILL CARPET IS SPECIFIED CONTRACTOR TO MATCH ADJACENT CARPET TILE AND INSTALL CARPET TO MATCH DIRECTION OF EXISTING CARPET TILES. (IF REQUIRED)		
WALL BASE		
	VINYL BASE:	MANU: TARKETT JOHNSONITE WALL BASE TYPE: TO MATCH EXISTING PROFILE: TO MATCH EXISTING PART: TO MATCH EXISTING COLOUR: TO MATCH EXISTING SIZE: 4" HIGH, 1/8" THICK
WALL BASE - NOTES		
CONTACT: DIVISION 9 KELLY CLARKE: 905-789-3756 x 2533 OR kclarke@division9.ca		

5 FINISHES PLAN AREA B: LEGEND
ID-1.4

FINISHES PLAN - KEY NOTES WALL FINISHES	
N-1	ROOM #140: PATCH WALLS WHERE WALL MOUNTED TV, CLOCK AND MILLWORK WERE REMOVED AND PROVIDE NEW PAINT FINISH. PAINT WALLS TO MATCH EXISTING. NOTE: EXISTING WALLS ARE PAINTED 2 DIFFERENT COLOURS, SEPARATED BY A ±1/2" REVEAL. ALL NEW PAINTING TO FOLLOW EXISTING PAINTING PATTERN.
N-2	ROOMS #137, 138, 140, 141, & 142: GUARDIAN TO RELOCATE ALL EXISTING FURNITURE & EQUIPMENT OUT OF THE AREAS OF SCOPE PRIOR TO CONSTRUCTION AND/OR AWAY FROM PARTITIONS SPECIFIED TO RECEIVE NEW PAINT FINISH. GC TO COORDINATE AND TO PROVIDE COVER SHEETS TO PROTECT FURNITURE, EQUIPMENT, ETC.

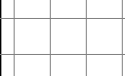


FINISHES PLAN: KEY NOTES FLOOR FINISHES	
N-3	ROOM #140: PATCH AND REPAIR FLOORING WHERE MILLWORK WAS REMOVED. SUPPLY AND INSTALL NEW INFILL CARPET TILE. (IF REQUIRED) 5/8" NEW 4" HIGH VINYL WALL BASE TO MATCH EXISTING.
N-4	ROOM #138: SUPPLY AND INSTALL NEW 4" VINYL WALL BASE AROUND EXISTING AND NEW PARTITIONS. WALL BASE TO MATCH EXISTING.

8 FINISHES PLAN AREA B: KEY NOTES
ID-1.4



3 FINISHES PLAN AREA C
ID-1.4 1/8"=1'-0"

FINISHES PLAN: WALL FINISHES LEGEND		
PAINT		
P3	FIELD PAINT: SCHEDULING BROWN	MANU: COLOUR: TO MATCH EXISTING FINISH: TO MATCH EXISTING
P4	ACCENT PAINT: SCHEDULING WHITE (TOP)	MANU: COLOUR: TO MATCH EXISTING FINISH: TO MATCH EXISTING
P5	ACCENT PAINT: SCHEDULING HORSERADISH (BOTTOM)	MANU: COLOUR: TO MATCH EXISTING FINISH: TO MATCH EXISTING
P6	NEW DOOR & FRAME PAINT: CHARCOAL	MANU: COLOUR: TO MATCH EXISTING FINISH: TO MATCH EXISTING
PAINT - NOTES		
WHERE DOORS & FRAMES ARE TO BE PAINTED. CONTRACTOR TO PAINT BOTH SIDES		

FINISHES PLAN: FLOOR FINISHES LEGEND		
EXISTING FLOORING		
	EXISTING CERAMIC FLOOR TILE AND 4" HIGH CERAMIC WALL BASE	
	EXISTING CARPET TILE AND 4" VINYL WALL BASE	
WALL BASE		
	VINYL BASE:	TARKETT JOHNSONITE WALL BASE TO MATCH EXISTING TO MATCH EXISTING TO MATCH EXISTING 4" HIGH, 1/8" THICK
WALL BASE - NOTES		
CONTACT: DIVISION 9 KELLY CLARKE: 905-789-3756 x 2533 OR kclarke@division9.ca		

6 FINISHES PLAN AREA C: LEGEND
ID-1.4

FINISHES PLAN - KEY NOTES WALL FINISHES	
N-1	PAINT NEW WALLS TO MATCH EXISTING WALLS. NOTE: EXISTING WALLS ARE PAINTED 2 DIFFERENT COLOURS, SEPARATED BY A ±1/2" REVEAL. ALL NEW PAINTING TO FOLLOW EXISTING PAINTING PATTERN.
N-2	ROOM #145: PATCH ENTIRE EAST WALL AND MAKE READY FOR NEW PAINT FINISH.
N-3	ROOM #144 & 145: PATCH AND PAINT COLUMN TO MATCH EXISTING. NOTE: EXISTING COLUMN IS PAINTED 2 DIFFERENT COLOURS, SEPARATED BY A ±1/2" REVEAL. ALL NEW PAINTING TO FOLLOW EXISTING PAINTING PATTERN. EXISTING 4" VINYL WALL BASE TO REMAIN.
N-4	ROOMS #144 & 145: PATCH AND PAINT BULKHEAD AT WINDOWS TO MATCH EXISTING.
N-5	AREA #147 & 148: PATCH EAST WALL AS REQUIRED AND MAKE READY FOR NEW PAINT FINISH.

FINISHES PLAN: KEY NOTES FLOOR FINISHES	
N-6	ROOMS #144 & 145: SUPPLY AND INSTALL NEW 4" HIGH CERAMIC WALL BASE TO MATCH EXISTING AT NEW PARTITIONS.
N-7	AREA #143: SUPPLY AND INSTALL NEW 4" HIGH VINYL WALL BASE TO MATCH EXISTING AT NEW PARTITION IN CORRIDOR.
N-8	AREA #143: SUPPLY AND INSTALL NEW THRESHOLD BETWEEN EXISTING CARPET TILE AND EXISTING CERAMIC FLOOR TILE. THRESHOLD TO SPAN EXTENT OF NEW DOOR OPENING.
N-9	AREA #146 TO 149: SUPPLY AND INSTALL NEW 4" VINYL WALL BASE TO MATCH EXISTING AT NEW PARTITIONS.

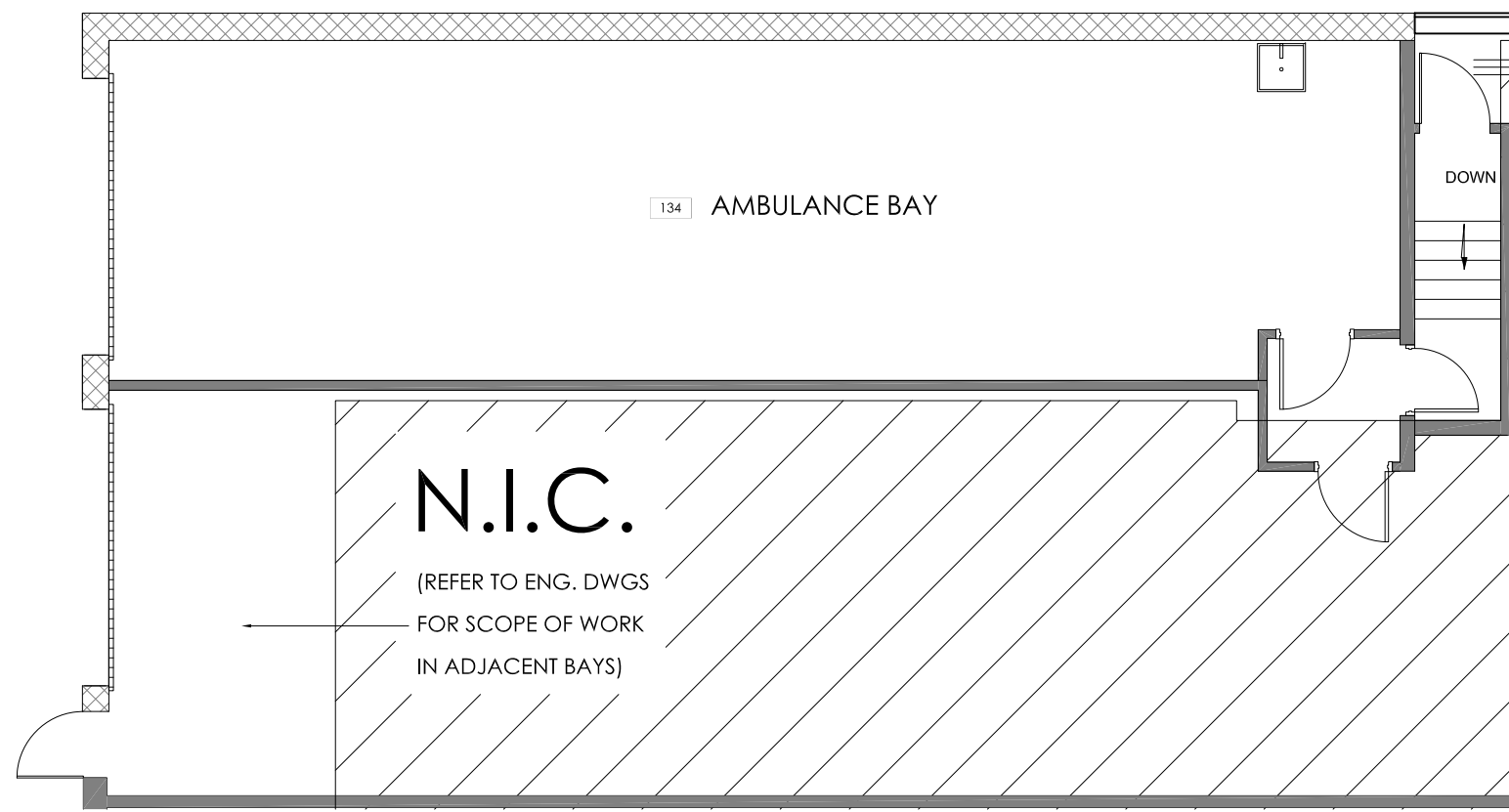
9 FINISHES PLAN AREA C: KEY NOTES
ID-1.4

No.	Issued	Date
1.	Issued To ENGINEERS	06/20/2024
2.	Issued To CLIENT For REVIEW	07/10/2024
3.	Issued For PERMIT	08/09/2024
4.	Issued For TENDER	09/11/2024
5.	Issued For CONSTRUCTION	

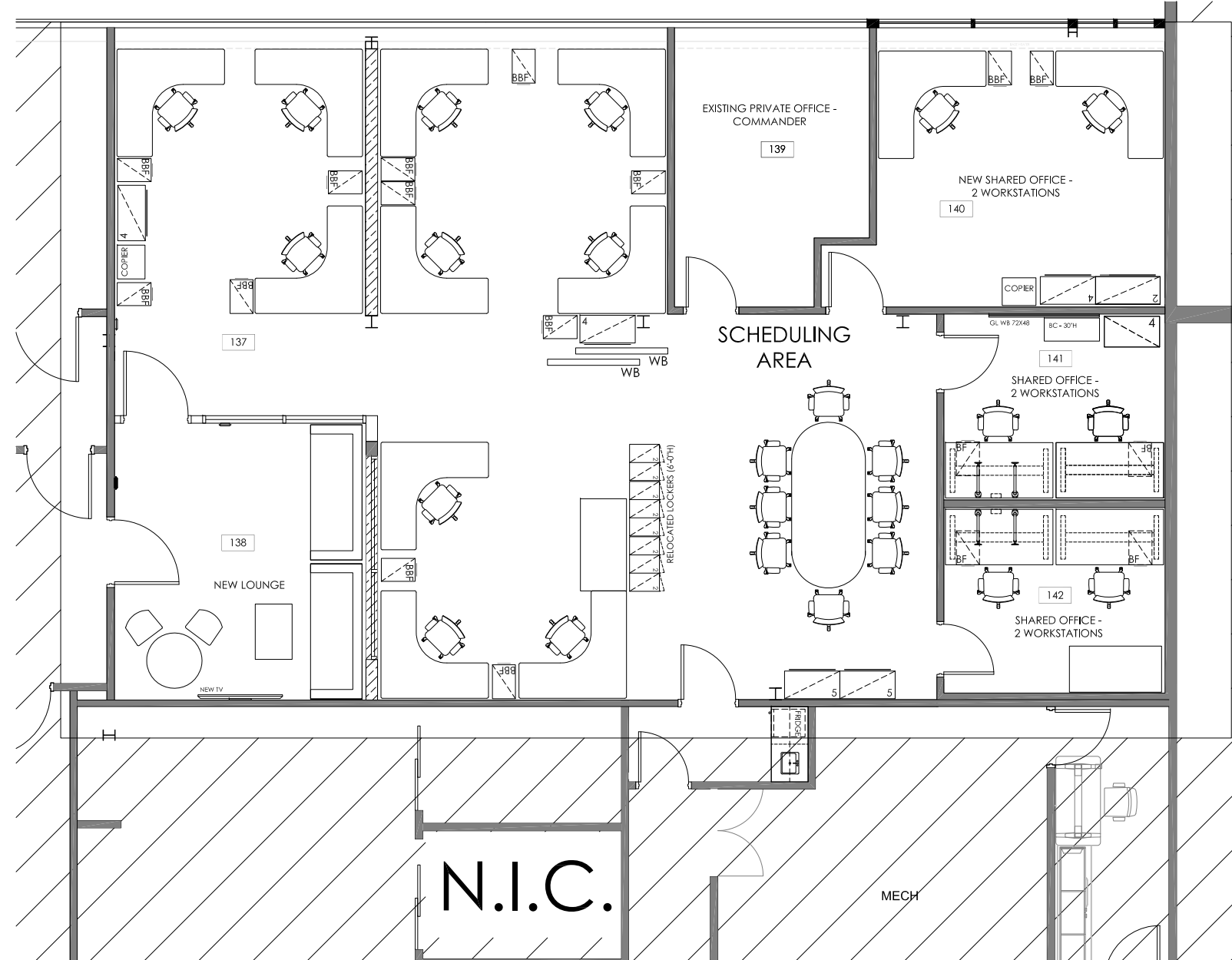
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code and all applicable laws.		
QUALIFICATION INFORMATION Required unless design is exempt under O.C. Article 3.2.2.1 of the Building Code		
NAME ANDREW HELLYARD	SIGNATURE 	BCIN 18776
REGISTRATION INFORMATION Required unless design is exempt under O.C. Article 3.2.2.1 of the Building Code		
Andrew Hellyard Design Consultants Inc.		114307
FIRM NAME		BCIN

No.	Revisions	Date
-----	-----------	------

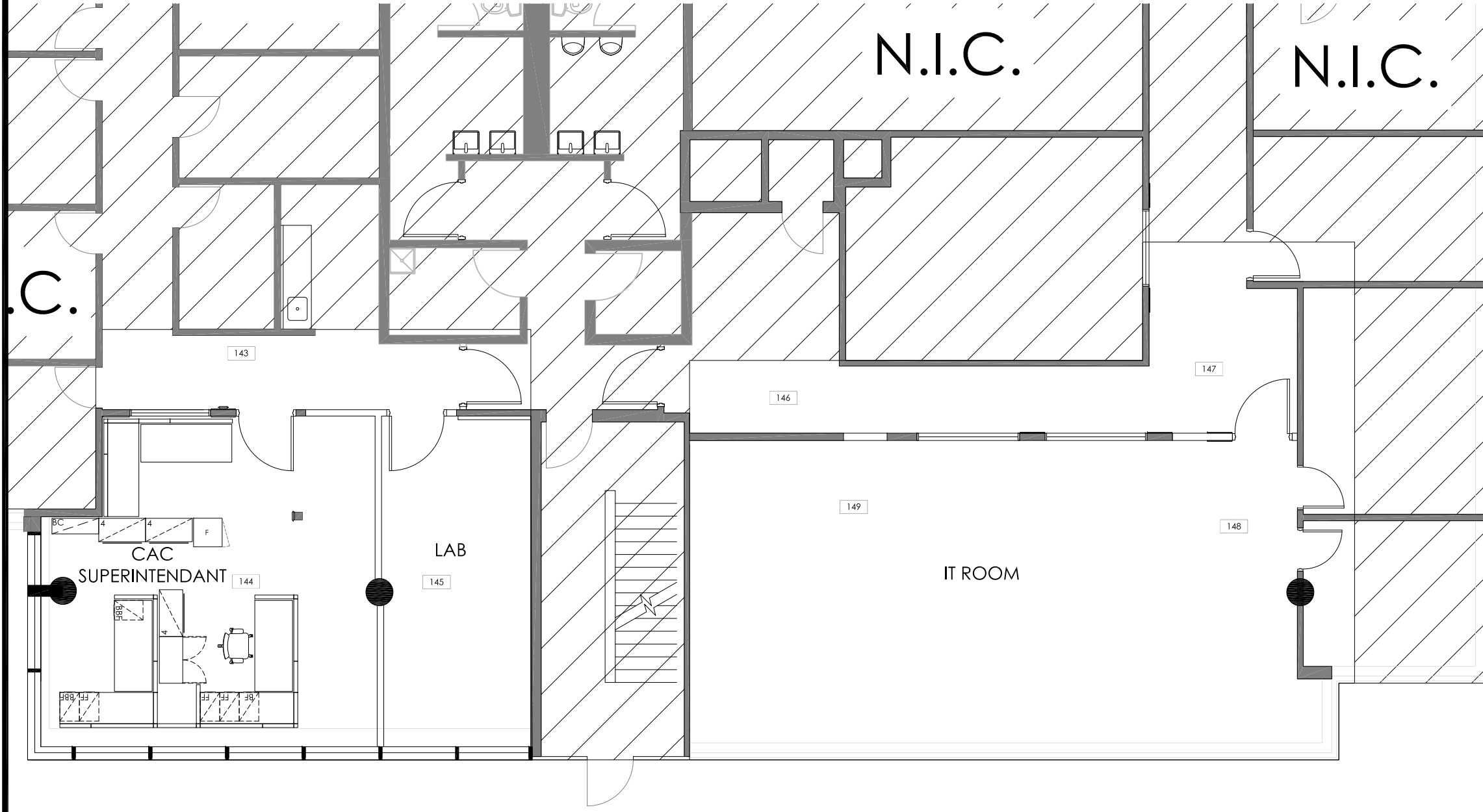




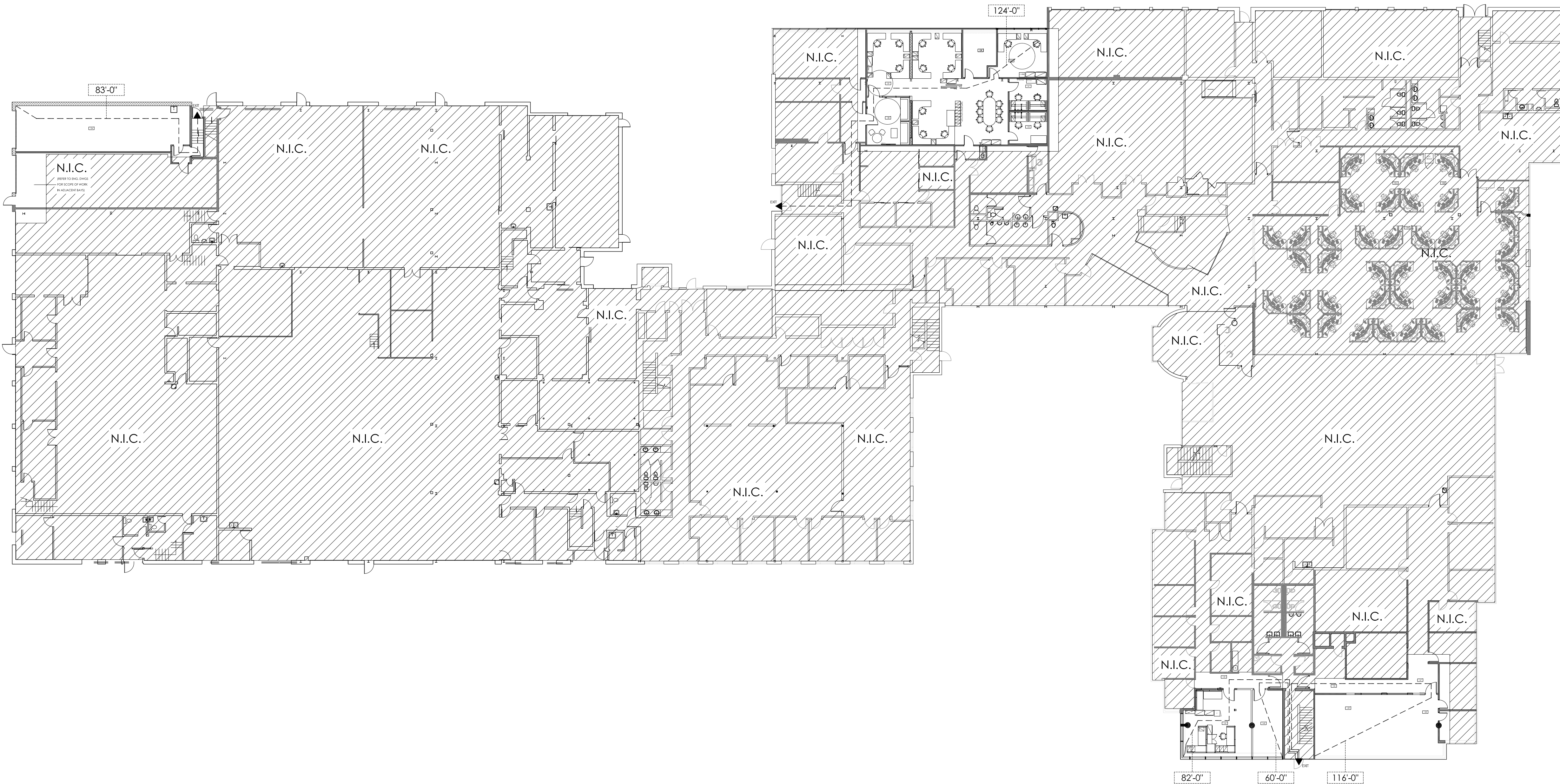
1 FURNITURE PLAN AREA A
ID-1.5 1/8"=1'-0"



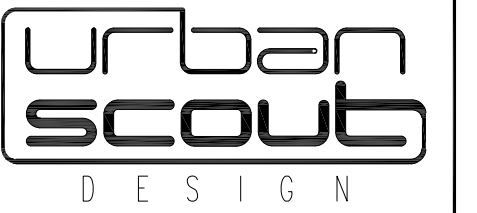
2 FURNITURE PLAN AREA B
ID-1.5 1/8"=1'-0"



3 FURNITURE PLAN AREA C
ID-1.5 1/8"=1'-0"



4 EGRESS PLAN
ID-1.5 NTS



4-535 queen street east
toronto, ontario, m5a 1v1
t - 416. 895. 3721
e - mail@urbanscout.ca
www.urbanscout.ca

No.	Issued	Date
1.	Issued To ENGINEERS	06/20/2024
2.	Issued To CLIENT For REVIEW	07/10/2024
3.	Issued To Furniture Dealer	07/29/2024
4.	Issued For PERMIT	08/09/2024
5.	Issued For TENDER	09/11/2024
6.	Issued For CONSTRUCTION	

© 2024 Urban Scout Design Inc.
Do not scale the drawings.
The Contractor and all Sub-contractors shall verify all job site dimensions, all drawings, details & specifications. The contractor shall report any discrepancies in writing, to Urban Scout Design prior to commencing with any work.
All necessary samples, shop drawings of millwork or otherwise, shall be submitted to Urban Scout Design, for approval, prior to proceeding with any work.

This undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code for this designer.

QUALIFICATION INFORMATION
Required unless design is exempt under O.C. Article 3.2.5.1 of the Building Code
ANDREW HELLYARD
NAME
SIGNATURE
BCIN 18776

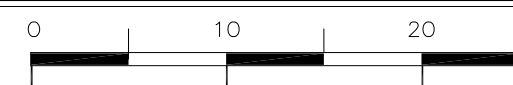
REGISTRATION INFORMATION
Required unless design is exempt under O.C. Article 3.2.4.1 of the Building Code
Andrew Helmy Design Consultants Inc.
FIRM NAME
BCIN 114387

No.	Revisions	Date
-----	-----------	------



Toronto
CITY OF TORONTO
4330 DUFFERIN STREET
TORONTO, ON, M3H 5R9
(GROUND FLOOR)

Scale: 1/8" = 1'-0"
Cad Code: us/cof/dwg/wd-1
Drawn By: M.G. Checked By: D.T.
Drawing Name: Furniture Plan and Egress Plan
Project No: 24-05-00 Drawing No: ID-1.5



DEMOLITION: GENERAL NOTES

CONTRACTOR / BIDDERS TO REFER TO 'KEY NOTES' IN CONJUNCTION WITH THESE 'DEMOLITION NOTES'

GENERAL DEMOLITION

- ALL BIDDERS SHALL VISIT THE SITE AND THOROUGHLY EXAMINE EXISTING CONDITIONS IN ORDER TO FAMILIARIZE THEMSELVES WITH THE EXTENT OF DEMOLITION AND REMOVAL OF WORK REQUIRED TO PROPERLY EXECUTE THE DEMO. PORTION OF THE CONTRACT. NO EXCEPTIONS SHALL BE MADE FOR FAILING TO DO SO.
- ANY DEMOLITION OCCURRING BEYOND THE SCOPE IDENTIFIED TO BE REFINISHED TO ORIGINAL CONDITION AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL FURNISH ALL LABOUR, MATERIALS, TOOLS, SCAFFOLDING, CHUTES AND SERVICES REQUIRED OR INCIDENTAL TO THE COMPLETION OF THE FULL EXTENT OF THE WORK AND TO THE INTENT OF THE DRAWINGS AND SPECIFICATIONS.
- OBTAIN ALL NECESSARY PERMITS REQUIRED FOR DEMOLITION WORK.
- PRIOR TO COMMENCEMENT OF ANY WORK CONTRACTOR TO SUBMIT A SCHEDULE AND A SUMMARY OF:
 - ALL ITEMS TO BE REMOVED, RE-USED AND RELOCATED
 - METHODS OF DEMOLITION AND TYPE OF EQUIPMENT TO BE USED
- MATCH EXISTING TYPE OF CONSTRUCTION, WORKMANSHIP AND FINISHING AS REQUIRED TO PATCH OR EXTEND EXISTING WORK. CONTRACTOR TO DETERMINE SPECIFICATIONS BY INSPECTION.
- CONTRACTOR TO PATCH CEILINGS, ADJACENT WALLS AND FLOOR SURFACES AS REQUIRED AFTER DEMOLITION. ALL STRIPPED SURFACES TO BE LEFT IN SMOOTH CONDITION SUITABLE TO RECEIVE NEW FINISHES.
- CONTRACTOR TO REMOVE ALL DEBRIS RESULTING FROM DEMOLITION AND CONSTRUCTION. COORDINATE REMOVAL WITH LANDLORD ON A DAILY BASIS FOR THE DURATION OF THE WORK.
- UPON COMPLETION OF THE WORK, ALL TOOLS, SURPLUS MATERIAL AND WASTE MATERIALS SHALL BE REMOVED, PROVIDE CLEANUP EQUIPMENT AND LEAVE THE PREMISES IN CLEAN CONDITION.

PROTECTION AND STORAGE

- REMOVE, STORE, AND PROTECT MATERIALS AND FIXTURES FOR REUSE OR TURNOVER TO LANDLORD AS INDICATED ON DRAWINGS.
- DURING DEMOLITION CONTRACTOR TO PREVENT DUST, DIRT, AND DEBRIS FROM RISING OR MIGRATING TO OTHER AREAS BY HANGING .5mm POLY SHEETS BETWEEN AREAS OF CONSTRUCTION. PROTECT EXISTING HVAC UNITS FROM CONTAMINATION AND REPLACE FILTERS UPON COMPLETION OF DEMOLITION. CONTRACTOR TO MAINTAIN PROTECTIVE SHEETING DURING CONSTRUCTION AND REMOVE UPON COMPLETION OF PROJECT.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT & MAINTAIN THE INTEGRITY OF THE EXISTING FINISHES IN ALL BUILDING CORE AREAS NOT SCHEDULED FOR DEMOLITION WORK.
- THE CONTRACTOR SHALL PROTECT EXISTING AREAS AGAINST DAMAGE WHICH MIGHT OCCUR FROM FALLING DEBRIS OR OTHER CAUSES. DO NOT INTERFERE WITH THE USE OF EXISTING AREAS WHICH ARE TO REMAIN OPERATIONAL, AND MAINTAIN FREE AND SAFE PASSAGE TO AND FROM SAME.

PARTITIONS AND CEILINGS

- PROTECT ALL EXISTING WORK, ANY DAMAGE TO EXISTING PARTITIONS, CEILING OR FINISHES CAUSED BY DEMOLITION MUST BE REPAIRED/REPLACED BY CONTRACTOR.
- REMOVE DRYWALL PARTITIONS AND RELATED DRYWALL BAFFLES AS SHOWN. PATCH AND MAKE GOOD ALL AREAS WHERE DEMOLITION HAS OCCURRED.
- IF APPLICABLE REMOVE DRYWALL CEILING(S) AS SHOWN. PATCH AND MAKE GOOD ALL AREAS WHERE DEMOLITION HAS OCCURRED. MAKE GOOD DRYWALL CEILING(S) WHERE LIGHTING AND / OR ANY OTHER FIXTURES OR EQUIPMENT HAS BEEN REMOVED.
- IF APPLICABLE REMOVE T-BAR CEILING AS SHOWN. REPAIR AND / OR SUPPLY & INSTALL NEW TILE AND GRID AT ALL AREAS WHERE DEMOLITION HAS OCCURRED, AS INDICATED.
- IF APPLICABLE STRIP AND SKIM ALL EXISTING WALLS WHERE WALL COVERING IS TO BE REMOVED. PATCH AND MAKE GOOD FOR NEW FINISH.

FLOORING

- WHERE APPLICABLE, REMOVE & DISPOSE OF ALL FLOORING UNLESS NOTED OTHERWISE. PREPARE FLOOR TO RECEIVE NEW FINISH AS SPECIFIED.
- IN ALL AREAS WHERE FLOORING IS TO BE REMOVED, GENERAL CONTRACTOR TO PREPARE SUB-FLOOR TO RECEIVE NEW FLOOR INCLUDING, BUT NOT LIMITED TO, CONCRETE REPAIR, FLOOR LEVELLING ETC.

MECHANICAL

- CONTRACTOR TO MAINTAIN CONTINUITY OF AIR SLOTS IN DRYWALL CEILINGS BETWEEN NEW AND EXISTING CEILINGS. REFER TO MECHANICAL DRAWINGS.
- ALL SERVICES TO BE REMOVED ARE TO BE SAFELY CAPPED WITHIN THE WALL, FLOOR OR CEILING, COMPLAINT WITH APPLICABLE CODES.

ELECTRICAL

- REMOVE EXISTING POWER, COMMUNICATIONS, SECURITY DEVICES, LIGHTING, SWITCHES ETC. BACK TO PANEL.

OTHER

- CONTRACTOR TO WRAP AND PROTECT PERIMETER BASE BUILDING 'MECHO' WINDOW SHADES, IF APPLICABLE. DURING CONSTRUCTION AND PROVIDE CLEANING AS REQUIRED UPON THE COMPLETION OF THE PROJECT.

PARTITION: GENERAL NOTES

CONTRACTOR / BIDDERS TO REFER TO 'KEY NOTES' IN CONJUNCTION WITH THESE 'PARTITION NOTES'

- ALL PARTITIONS ARE TO BE CHALKED ON SITE & APPROVED BY DESIGNER PRIOR TO INSTALLATION OF FLOOR & CEILING TRACK, ALL FLOOR TRACK TO BE FASTENED TO SLAB AFTER HOURS OR ON THE WEEKEND TO NOT DISRUPT THE FLOOR BELOW AND/OR ABOVE.
- UNLESS OTHERWISE NOTED ON THE PLAN BY THE WORD "C.I.D." ALL DIMENSIONS ARE TAKEN FROM PARTITION CENTER TO PARTITION CENTER OF NEW PARTITIONS. ALL DIMENSIONS TAKEN FROM EXISTING PARTITIONS, THE CORE, COLUMNS OR CONVECTORS ARE TAKEN FROM THE FACE OF THAT ARCHITECTURAL ELEMENT TO THE CENTER OF THE PARTITION.
- ALL NEW WALLS TO BE CONSTRUCTED ON GRID OR 1/2 GRID UNLESS OTHER-WISE NOTED ON PLAN.
- ALL PERIMETER DIMENSIONS ARE FROM INSIDE FACE OF THE WINDOW FRAMES.
- ALL ANGLED WALLS TO BE AT 45 DEGREES TO THE CEILING GRID UNLESS NOTED OTHERWISE ON DRAWING.
- WHERE NEW PARTITIONING IS LOCATED ADJACENT TO EXISTING, CONTRACTOR TO ENSURE THAT PARTITION MATCHES NEW PARTITION CONSTRUCTION. CONTRACTOR TO CONTACT DESIGNER FOR ANY AREA IN QUESTION.
- CONTRACTOR TO ENSURE VARYING WALL THICKNESSES CO-ORDINATE WITH DOOR FRAME SIZES. ANY DISCREPANCIES TO BE BROUGHT TO DESIGNER'S ATTENTION.
- THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL PARTITIONS TO ADEQUATELY HOUSE ARCHITECTURAL ELEMENTS, MECHANICAL AND ELECTRICAL ITEMS, TELLER BOXES ETC., SO AS TO ACHIEVE A SMOOTH CONTINUOUS SURFACE.
- IN LOCATIONS WHERE BASE BUILDING WALLS OR COLUMNS ARE TO RECEIVE ELECTRICAL CONDUIT AND BOXES, DRYWALL CONTRACTOR IS RESPONSIBLE FOR FURRING, CUTTING, PATCHING, AND FINISHING AS PER SPECIFICATIONS AT COMPLETION OF ELECTRICAL WORK.
- DRYWALL CONTRACTOR TO PATCH ALL EXISTING G.W.B. PARTITIONS AND ALL DAMAGED PARTITIONS CAUSED BY DEMOLITION AND MAKE READY FOR NEW PAINT FINISH.
- CONTRACTOR TO PATCH AND MAKE GOOD ANY BASE BUILDING PARTITIONS, COLUMNS, SPRAY FIRE-PROOFING ETC. THAT ARE AFFECTED BY ANY NEW CONSTRUCTION. ALL EXISTING MATERIALS AND CONSTRUCTION ARE TO BE MAINTAINED.
- ALL NEW PARTITIONING TO BE TAPED, SANDED, SMOOTH, PRIMED TO FLOOR AND MADE READY TO RECEIVE FINISHES AS SPECIFIED.
- ALL GYPSUM WALLBOARD WORK SHALL BE COMPLETED WITH METAL CORNER GUARDS AND TRIM, TAPED, FILLED AND SANDED SMOOTH FOR A PAINT READY FINISH.
- ALL DRYWALL PARTITION EDGES ARE TO BE SMOOTH AND PLUMBLINE TRUE.
- CONTRACTOR TO ENSURE SUFFICIENT BLOCKING IS PROVIDED IN ALL AREAS REQUIRING SUPPORT OF WALL OR CEILING MOUNTED EQUIPMENT OR MATERIALS (E.G. MOULDINGS, MILLWORK, COAT HOOKS, SECURITY EQUIPMENT, PROJECTION SCREENS, WALL MOUNTED OUTLETS, SLIDING BARN DOORS, SPECIAL EQUIPMENT, ARTWORK, FIXTURES, ELECTRICAL EQUIPMENT, MECHANICAL EQUIPMENT, ETC.)
- CONTRACTOR TO ENSURE THE FLOOR IS LEVEL PRIOR TO THE CONSTRUCTION OF PARTITIONS. PROVIDE SKIM COAT IF NECESSARY. VARIANCE NOT TO EXCEED 3/4" IN AREAS WHERE FILING CABINETS OR SHELVING UNITS ARE TO BE LOCATED. REFER TO FURNITURE PLAN FOR CABINET LAYOUTS.
- CONTRACTOR TO PROVIDE SOUND Baffle WITHIN THE CONVECTOR UNIT WHERE PARTITIONS MEET THE PERIMETER WINDOW MULLIONS.
- SOUND ATTENUATION BLANKETS IN PARTITIONS SHALL BE INSTALLED CONTINUOUSLY BEHIND ALL POWER / DATA / TELEPHONE OUTLETS WITHOUT INTERRUPTION.
- CONTRACTOR TO REPAIR ANY DAMAGE TO EXISTING FIRE SEPARATIONS WITHIN AREA OF CONTRACT.
- CONTRACTOR TO REFER TO THE PARTITION PLAN FOR ALL WALLS THAT CONTINUE ABOVE SUSPENDED CEILING.
- CONTRACTOR TO REVIEW MECHANICAL DRAWINGS TO ENSURE PROVISION FOR AIR TRANSFER OPENINGS ABOVE CEILING PARTITION CONSTRUCTION.
- CONTRACTOR SHALL NOT USE MECHANICAL FASTENERS (CADDY CLIPS ONLY) TO BASE BUILDING CEILING GRID AND T-BAR. PARTITIONS MEETING WINDOW MULLIONS TO BE SECURED WITH DOUBLE SIDED TAPE.
- CONTRACTOR TO ENSURE THAT ACOUSTICAL CAULKING IS PROVIDED AT ALL PARTITION CONNECTIONS TO COLUMNS, CORE, FINISHED CEILING, FLOOR SLAB, AND U/S OF STRUCTURE.
- ALL MATERIALS USED SHALL BE NEW, UNLESS OTHERWISE NOTED.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS TO DESIGNER FOR APPROVAL OF MILLWORK UNITS PRIOR TO FABRICATION.
- REFER TO PARTITION SECTIONS IN DETAIL PACKAGE FOR SPECIFICATIONS.
- REFER TO DOOR ELEVATIONS AND DOOR SCHEDULE IN DETAIL PACKAGE FOR LOCATIONS / SPECIFICATIONS.
- CONTRACTOR TO REMOVE ALL DEBRIS RESULTING FROM DEMOLITION AND CONSTRUCTION. COORDINATE REMOVAL WITH LANDLORD ON A DAILY BASIS FOR THE DURATION OF THE WORK.
- UPON COMPLETION OF THE WORK, ALL TOOLS, SURPLUS MATERIAL AND WASTE MATERIALS SHALL BE REMOVED, PROVIDE CLEANUP EQUIPMENT AND LEAVE THE PREMISES IN CLEAN CONDITION.
- IF APPLICABLE AND UNLESS OTHERWISE NOTED GENERAL CONTRACTOR TO PROVIDE NEW 3/4" FIRE RATED PLYWOOD BACKBOARD IN LAN CLOSET.

REFLECTED CEILING NOTES:

CONTRACTOR / BIDDERS TO REFER TO 'KEY NOTES' IN CONJUNCTION WITH THESE 'REFLECTED CEILING NOTES'

- PLAN TO BE READ IN CONJUNCTION WITH ELEC. ENG. PLAN.
- ALL MECHANICAL AND ELECTRICAL WORK TO COMPLY WITH THE REGS OF THE BUILDING LANDLORD & ALL AUTHORITIES.
- THE CONTRACTOR SHALL PATCH AND MAKE GOOD ANY BASE BUILDING PARTITIONS, COLUMNS, SPRAY FIRE-PROOFING, ETC. THAT ARE AFFECTED BY ANY NEW CONSTRUCTION. ALL EXISTING MATERIALS AND CONSTRUCTION ARE TO BE MAINTAINED.
- ALL GYPSUM WALL BOARD CEILINGS SHALL BE CONSTRUCTED OF 5/8" GYPSUM WALL BOARD ON A SUSPENDED METAL FRAME SYSTEM, SUPPORTED FROM THE STRUCTURE ABOVE, UNLESS INDICATED OTHERWISE. REFER TO DESIGN DRAWINGS FOR DETAILS.
- ALL GYPSUM WALL BOARD CEILINGS SHALL BE PATCHED, TAPED, FILLED AND SANDED SMOOTH FOR A PAINT-GRADE FINISH, UNLESS INDICATED OTHERWISE.
- PROVIDE ADEQUATE OPENINGS IN ALL CEILINGS TO ACCOM. ALL SPRINKLERS, EXIT LIGHTS, ACCESS PANELS, POT LIGHTS, AIR DIFFUSERS, MOTORIZED PROJ., SCREENS ETC. REFER TO ENG. DWGS. REFLECTED CEILING PLANS AND ALL SPECIFICATIONS.
- CONTRACTOR TO PROVIDE ALL REQUIRED ACCESS PANELS IN DRYWALL CEILING, LOCATIONS AND SIZES TO BE APPROVED BY ENGINEER, DESIGNER AND LANDLORD.
- ALL DAMAGED CEILING TILES TO BE REPLACED WITH NEW TO MATCH EXISTING.
- SUPPLY AND INSTALL ALL NEW CEILING TILES WHERE REQUIRED.
- CONTRACTOR TO S & I NEW COMPLETE CEILING GRID SYSTEM TO MATCH BASE BUILDING WHERE NEW SUSPENDED CEILING REQ'D.
- REFER TO DESIGNER'S DWGS FOR LOCATIONS OF ALL CEILING FIXTURES. REFER TO ENG'S DWGS FOR ALL SPECS (SUPPLY & RETURN AIR DIFFUSERS, SPRINKLERS, ETC., FIXTURES, EMERGENCY LIGHTING, HOUSING, ETC.). ANY PROPOSED SUBSTITUTIONS SHALL NOT BE USED UNLESS APPROVED BY DESIGNER IN WRITING.
- REFER TO THE DESIGNER'S DWGS FOR THE LOCATIONS OF ALL NEW SUPPLY & RETURN AIR DIFFUSERS, SPEAKERS, SMOKE DETECTORS, SPRINKLERS, ELECTRICAL FIXTURES, EXIT LIGHTS ETC. WHERE THE DESIGN DWGS DONT SPECIFY A LOCATION REFER TO LOCATIONS INDICATED ON THE MECH. & ELEC. CONTRACT DOCUMENTS, ONLY AFTER REVIEW BY THE DESIGNER.
- REFER TO ENGINEER'S DRAWINGS FOR LOCATION OF ACCESS PANELS AND ARCHITECTURAL AIR SLOTS. DESIGNER MUST APPROVE PRIOR TO INSTALLATION. INCLUDE FOR ALL NEW AND MODIFIED TO MATCH EXISTING UNLESS NOTED OTHERWISE.
- REFER TO ENG. DRAWINGS FOR ALL LIFE SAFETY SYSTEMS.
- GC AND ELECTRICIAN TO REVIEW ELECTRICAL ENGINEERING DRAWINGS FOR ALL EXISTING, NEW, & RELOCATED LIGHTING.
- GC TO CROSS REF. BTW DESIGNER'S ELEC. DWGS, MECH. ENG'S DWGS & SITE COND. & IMMED. REPORT ANY DISCREPANCIES.
- CONTRACTOR TO SUPPLY AND INSTALL ALL NEW LIGHT FIXTURES, LAMPS, LENSES AND CEILING TILES AND GRID WHERE REQ'D.
- CONTRACTOR TO CONFIRM AVAIL. OF ALL NEW FIXTURES, AND TO ADVISE DESIGNER OF ANY POTENTIAL LEAD TIME ISSUES.
- WHEREVER EXISTING FIXTURES ARE DAMAGED OR IN POOR WORKING ORDER, THE CONTRACTOR TO ALLOW FOR REPLACEMENT OF THE FIXTURES WITH NEW TO MATCH EXISTING.
- ALL REMOVED AND / OR RELOCATED LIGHT FIXTURES TO BE PROPERLY COUNTED PRIOR TO SUBMISSION OF PRICING.
- ALL RECESSED DOWNLIGHTS ARE TO BE CENTRED WITHIN T-BAR CEILING TILE UNLESS OTHERWISE NOTED.
- LOCATIONS OF FIX., DIFFUSERS, EQUIP., ETC. IN THE DESIGN DWGS ARE DIM'D TO THE CENTRE LINE UNLESS NOTED OTHERWISE.
- ANY RELOCATION OF LIGHT FIXTURES REQUIRED DUE TO SITE CONDITIONS SHALL BE APPROVED BY THE DESIGNER PRIOR TO PROCEEDING WITH THE WORK.
- ALL LIGHT FIXTURES TO BE LOCATED IN ACCORDANCE WITH DESIGNER'S DRAWINGS. REPORT ANY DISCREPANCIES TO DESIGNER PRIOR TO INSTALLATION.
- ALL LOCATIONS FOR INCAND. FIX. IN DRYWALL CEILINGS TO BE APPROVED ON SITE BY DESIGNER PRIOR TO INSTALLATION.
- WHERE INTERFERENCE OCCURS ABOVE CEILING AND DESIGN LOCATION OF FIXTURE IS AFFECTED, NOTIFY DESIGNER IMMEDIATELY FOR REMEDIAL ACTION.
- CONTRACTOR TO PROVIDE AIR TRANSFER DUCTS IN ACCORDANCE WITH MECHANICAL DRAWINGS WHERE CONSTRUCTION OCCURS ABOVE SUSPENDED CEILING TO SLAB.
- PROVIDE AIR BALANCING REPORTS TO LANDLORD PRIOR TO TENANT OCCUPANCY
- ANY MODIFICATIONS TO LIFE SUPPORT SYSTEMS TO BE PERFORMED BY BASE BUILDING LIFE AND SAFETY CONTRACTOR.
- ENGINEERS TO CONFIRM LIGHT LEVELS THROUGHOUT TENANT'S SPACE.
- REFER TO ELECTRICAL DRAWINGS FOR LIGHTING ZONES CONNECTED TO BASE BUILDING SYSTEM, TO BE APPROVED BY BASE BUILDING ELECTRICIAN AND OPERATIONS.
- REVISIONS TO LIGHTING CONTROL ZONES MUST BE COORDINATED WITH LANDLORD.
- ALL LIGHT FIXTURES NOT INDICATED AS CONTROLLED BY SWITCH OR DIMMER TO BE CONTROLLED BY BASE BUILDING SYSTEM. REFER TO ENGINEERING DRAWINGS FOR ZONING.
- UPON CONSTRUCTION COMPLETION, CONTRACTOR TO RETURN ANY UNUSED FLUORESCENT FIXTURES TO BUILDING LANDLORD.
- ALL SWITCHES, THERMOSTATS AND OTHER CONTROLS SHALL BE MOUNTED AT 47" AFF UNLESS OTHERWISE NOTED ON THE DESIGN DWGS. REFER TO ENG'S CONTRACT DOCUMENTS FOR SPECS. & TO THE DESIGNER'S CONTRACT DOCUMENTS FOR LOCATIONS. ALIGN ALL COVER PLATES PARALLEL AND TRUE. REFER TO MILLWORK DETAILS FOR EXACT LOCATION OF ANY CONTROLS MOUNTED INSIDE MILLWORK. REPORT ANY DISCREPANCIES TO DESIGNER PRIOR TO INSTALLATION.
- ALL SWITCHES SHALL BE GANGED INTO COMMON FACE PLATES WHERE POSSIBLE. ALL DIMENSIONS ON DESIGN DWGS SHALL BE TO CENTRE OF GANGED BOX. UNLESS NOTED OTHERWISE IN THE DESIGN DWGS, SINGLE GANG SWITCHES SHALL BE 6" O.C. UNLESS NOTED OTHERWISE.
- ALL THERMOSTAT & CONTROL LOCATIONS IN OPEN AREAS SHALL BE REVIEWED ON SITE BY DESIGNER PRIOR TO INSTALL.
- ALL NEW SWITCHES TO BE LUTRON, COLOUR WHITE. CONFIRM SPEC WITH DESIGNER PRIOR TO PROCEEDING.

POWER AND COMMUNICATIONS NOTES:

CONTRACTOR / BIDDERS TO REFER TO 'KEY NOTES' IN CONJUNCTION WITH THESE 'POWER AND COMMS NOTES'

- VISIT AND INSPECT THE SITE AND REVIEW ALL OTHER DRAWINGS. NO ALLOWANCE WILL BE MADE FOR FAILURE TO DO SO.
- ALL TRADES TO REVIEW THE EXISTING SITE CONDITIONS PRIOR TO SUBMISSION OF TENDERS AND ENSURE THAT ALL NECESSARY MATERIALS AND LABOUR ARE PROVIDED TO COMPLETE ALL WORK IN ACCORDANCE WITH THE INTENT OF THESE PLANS AND SPECS.
- THIS DRAWING TO BE READ IN CONJUNCTION WITH ENGINEER'S DRAWINGS. REPORT ANY DISCREPANCIES BETWEEN DESIGNER'S AND ENGINEER'S DRAWINGS BEFORE PROCEEDING WITH WORK.
- GC TO VERIFY ALL EXIST. OUTLETS. ANY DISCREPANCIES TO BE REPORTED TO DESIGNER PRIOR TO PROCEEDING W/ THE WORK.
- OBTAIN ALL PERMITS REQ'D. ARRANGE FOR INSPECTION OF WORK BY INSPECTION AUTHORITY AND PAY ALL FEES. RETAIN ALL INSPECTIONS CERTIFICATES. PROVIDE FINAL CERT. TO OWNER.
- SUPPLY AND INSTALL ALL ITEMS, MATERIALS AND OPERATIONS, INCLUDE ALL LABOUR, EQUIPMENT AND TOOLS NECESSARY TO COMPLETE ALL SYSTEMS SHOWN ON THE DWGS RENDERING A COMPLETE AND OPERATIONAL INSTALLATION. TEST AND VERIFY ALL EQUIPMENT INSTALLED UNDER THIS CONTRACT AND INSTRUCT OWNER'S REPRESENTATIVE IN THE OPERATION OF THE EQUIPMENT.
- BE RESPONSIBLE FOR CARE OF THE BUILDING. COORDINATE ALL CORE DRILLING WITH LANDLORD'S SITE REPRESENTATIVE AND AFFECTED TENANTS. DO ALL CUTTING, PATCHING AND PAINTING REQUIRED FOR THE WORK OF THIS TRADE. REFER TO INTERIOR DESIGN DRAWINGS FOR EXACT LOCATION AND DETAILS OF ALL DEVICES AND EQUIPMENT. CLEAN UP ALL DEBRIS DAILY AND REMOVE FROM THE SITE ON OR BEFORE COMPLETION OF CONTRACT. COOPERATE WITH ALL TRADES.
- BEFORE DELIVERY OF ANY PIECE OF EQUIPMENT OR FIXTURES TO SITE, SUBMIT (5) COPIES OF ALL SHOP DRAWINGS C/W ALL DATA PRE-CHECKED AND STAMPED ACCORDINGLY FOR APPROVAL.
- SUBMIT A 'CERTIFICATE OF GUARANTEE OF WORKMANSHIP' AND MATERIALS FOR ONE YEAR DATE OF ACCEPTANCE. THIS GUARANTEE SHALL BIND THE CONTRACTOR TO CORRECT, REPAIR OR REPLACE PROMPTLY ANY DEFECTIVE EQUIPMENT OR WORKMANSHIP WITHOUT COST TO THE OWNER OR TENANT.
- ALL ELECTRICAL AND COMMUNICATIONS WORK TO COMPLY WITH THE REQUIREMENTS OF THE BUILDING LANDLORD, ALL APPLICABLE CODE AND REGULATORY REQUIREMENTS, AND WITH ALL AUTHORITIES HAVING JURISDICTION.
- GC SHALL INCLUDE ALL ITEMS & FIXTURES AS SPECIFIED BY THE ENGINEER'S & DESIGNER'S CONTRACT DOCUMENTS. ANY SUBSTITUTIONS SHALL BE SUBMITTED TO & APPROVED BY THE DESIGNER PRIOR TO PROCEEDING WITH ANY WORK.
- THE CONTRACTOR SHALL PROVIDE AND COORDINATE FOR THE INSTALLATION OF ALL DIVISION 16 WORK (INCLUDING CABLE INSTALLERS, TELEPHONE SECURITY & OTHER ELEC. SUB-TRADES) & SHALL COORDINATE & SCHEDULE TRADES AS REQUIRED.
- THE MECHANICAL AND ELECTRICAL ENGINEER'S CONTRACT DOCUMENTS SHALL GOVERN WITH THE EXCEPTION OF: FIXTURES, OUTLETS, SWITCHES, EQUIPMENT LOCATIONS AND OPENINGS AS NOTED AND DIMENSIONED ON THE INTERIOR DESIGN DRAWINGS. REFER TO ENGINEER'S DRAWINGS FOR SPECIFICATIONS AND TERMINATION POINTS. VOICE AND DATA CABLING AND CONDUIT SPECIFICATIONS, ANY DISCREPANCIES BETWEEN THE ENGINEERING AND DESIGN DRAWINGS SHALL BE REPORTED BY THE GC TO THE DESIGNER AND THE ENGINEERS PRIOR TO COMMENCING WORK.
- PROVIDE ADEQUATE SLACK LENGTH OF VOICE/ DATA CABLES WITHIN MILLWORK TO REACH FURTHEST LOCATION POSSIBLE FOR EACH TERMINATION.
- CONTRACTOR SHALL ENSURE THAT ANY ADDITIONAL DUPLEX RECEPTACLES BE INSTALLED AS REQUIRED TO MEET BUILDING CODE REQUIREMENTS.
- THE CONTRACTOR SHALL DO ALL VOICE/DATA TERMINATIONS.
- CONTRACTOR IS TO ENSURE THAT ALL TRADES, ELECTRICAL, MECHANICAL, COMMUNICATIONS, ETC. HAVE COMPLETED THEIR PORTION OF THE WORK BEFORE BOARDING UP BOTH SIDES OF THE STUDS. THIS IS TO INCLUDE ALL INSPECTIONS AS REQUIRED BY LOCAL AND PROVINCIAL BY-LAWS AND BUILDING CODES.
- POWER & COMMUNICATION DRAWING TO BE USED FOR LOCATIONS OF SERVICES. ALL OUTLET AND CORE DRILL LOCATIONS TO BE REVIEWED AND APPROVED ON SITE BY THE DESIGNER. REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR TECHNICAL & ELECTRICAL DETAILS, SPECS & DATA REQUIREMENTS.
- UNLESS OTHERWISE NOTED ALL DIMENSIONS ARE TAKEN TO THE CENTER OF THE SERVICE OR GROUP OF SERVICES.
- ANY DIMENSION FROM A PARTITION IS TO BE TAKEN FROM THE FACE OF THAT PARTITION TO THE CENTER OF THE INDICATED SERVICE OR GROUP OF SERVICES.
- ANY DIMENSION TAKEN FROM THE PERIMETER OF THE BUILDING IS TO BE TAKEN FROM THE FACE OF THE CONVECTOR OR BASE BUILDING ELEMENT TO THE CENTRE OF THE INDICATED SERVICE OR GROUP OF SERVICES.
- REFER TO ENG. DRAWINGS FOR THE SPECIFICATION OF COVER PLATES AND RECEPTACLE TYPES AND COLOUR. ALL NEW COVER PLATES TO BE WHITE. ALL EXISTING COVER PLATES TO BE REPLACED TO MATCH NEW. ALIGN ALL COVER PLATES PARALLEL AND TRUE.
- WHERE POWER & COMMUNICATION SERVICES ARE ADJACENT ON PLAN, GANGED COVER- PLATES SHALL BE USED.
- UNUSED COMMUNICATIONS OUTLETS TO BE REPLACED WITH BLANK COVER PLATES TO MATCH NEW.
- WHERE MULTIPLE OUTLETS OCCUR ONE FACE PLATE TO BE USED.
- ALL VOICE AND DATA JACKS TO SHARE ONE FACEPLATE UNLESS OTHERWISE NOTED.
- ANY FURNITURE SYSTEM WHIPS REQUIRED ARE TO BE SUPPLIED BY OTHERS. ELECTRICAL CONNECTION OF SYSTEMS FURNITURE BY ELECTRICAL CONTRACTOR.
- EXISTING UNUSED ELECTRICAL WIRING AND CABLING TO BE REMOVED BACK TO SOURCE.
- ALL OUTLETS DIRECTLY ABOVE COUNTERS TO BE MOUNTED VERTICALLY UNLESS NOTED OTHERWISE.
- REFER TO DESIGNER'S POWER AND COMMS PLAN FOR MOUNTING HEIGHTS. ALL OUTLETS TO BE MOUNTED VERTICALLY UNLESS NOTED OTHERWISE. ALL OUTLET BOXES SHALL BE STAGGERED IN PARTITIONS (NOT BACK TO BACK) AS REQUIRED TO ENSURE THAT CONTINUOUS SOUND ATTENUATION BATTS CAN BE INSTALLED WITHOUT INTERRUPTION, WHERE APPLICABLE.
- ALL OUTLETS MOUNTED IN MILLWORK SHALL BE COORDINATED WITH MANUFACTURER AND TO THE REQUIREMENTS OF THE DESIGN DRAWINGS. REFER TO THE MILLWORK DETAILS FOR EXACT LOCATIONS AND REQUIREMENTS.
- ALL EXISTING OUTLETS AND COVER PLATES TO REMAIN TO BE CHANGED TO DECORA TO MATCH NEW.

FINISHES NOTES:

CONTRACTOR / BIDDERS TO REFER TO 'KEY NOTES' IN CONJUNCTION WITH THESE 'FINISHES NOTES'

GENERAL FINISHES

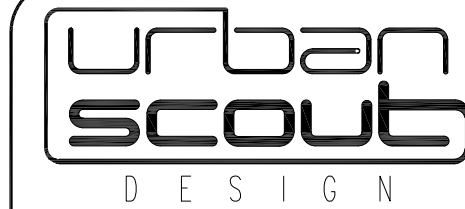
- ALL MATERIALS LISTED TO BE USED AS SPECIFIED. ANY ALTERNATIVES TO BE SUBMITTED TO DESIGNER FOR APPROVAL PRIOR TO ORDERING/INSTALLATION. ALL SUBSTITUTIONS SHALL MEET ALL REQUIREMENTS OF ORIGINALLY SPECIFIED PRODUCT.
- PROVIDE MANUFACTURER'S MAINTENANCE DATA FOR ALL FINISHES TO CLIENT AT THE COMPLETION OF PROJECT.
- ALL NEW MATERIALS FOR INSTALLATION/ FINISHING AND SEALING ARE TO BE EXECUTED TO MANUFACTURER'S BEST INSTRUCTIONS AND SPECIFICATIONS FOR APPLICATION AND INTENDED USAGE.
- CONTRACTOR TO PROVIDE SAMPLES OF ALL SPECIFIED FINISHING MATERIALS IN FINISHES LEGEND FOR DESIGNER APPROVAL PRIOR TO PURCHASE OF MATERIALS. SAMPLES MAY INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - PAINT DRAW DOWNS
 - WALL COVERING
 - SOLID WOOD, WOOD VENEER
 - PLASTER LAMINATE
 - VINYL COMPOSITE TILE FLOORING AND SHEET FLOORING
 - SOLID SURFACE
 - TILE
 - STONE
 - FABRIC / LEATHER
 - METAL
- CONTRACTOR TO ENSURE ALL FLOORS, WALLS, CEILINGS, WINDOW FRAMES, DOOR AND DOOR FRAMES ARE SMOOTH AND READY TO ACCEPT NEW FINISHES. MAKE GOOD ALL SURFACES AS REQUIRED.
- GENERAL INTERIOR FINISH MATERIALS SHALL HAVE FLAME SPREAD RATINGS NOT EXCEEDING 150. MATERIALS EXCEEDING THIS RATING SHALL BE TREATED WITH FIRE RETARDANT COATINGS.
- EXIT LOBBY AND ELEVATOR CAB (IF APPLICABLE) INTERIOR FINISH MATERIALS SHALL HAVE FLAME SPREAD RATINGS NOT EXCEEDING 25. MATERIALS EXCEEDING THIS RATING SHALL BE TREATED WITH FIRE RETARDANT COATINGS.

FLOORING

- CONTRACTOR TO MAKE SITE GOOD, LEVEL AND READY TO ACCEPT INSTALLATION OF ALL FLOOR FINISHES. SKIM FLOOR AS REQUIRED TO ENSURE LEVEL SURFACE. VARIANCE NOT TO EXCEED MANUFACTURERS MAXIMUM ALLOWANCE FOR PRODUCTS BEST INSTALLATION.
- COORDINATE INSTALLATION OF CARPET (IF APPLICABLE) WITH INSTALLATION OF ALL OTHER FLOOR AND BASE MATERIALS.
- TRANSITION BETWEEN ONE CARPET TYPE AND ANOTHER OR BETWEEN FLOOR FINISHES AT DOOR WILL OCCUR DIRECTLY BELOW THE DOOR (IN CLOSED POSITION). NEW THRESHOLD TO BE APPROVED BY DESIGNER PRIOR TO INSTALLATION.
- CONTRACTOR TO PROVIDE CARPET SEAMING DIAGRAM TO DESIGNER FOR REVIEW.
- WHERE TILE MEETS CARPET, CONTRACTOR TO FEATHER FLOOR WITH THIN SET CEMENT, APPROXIMATELY 2'-0".
- WHERE VCT / VINYL FLOORING SPECIFIED, AREA TO RECEIVE APPLIED RUBBER BASE AS SPECIFIED, UNLESS NOTED OTHERWISE.
- FLOORING CONTRACTOR WILL BE RESPONSIBLE FOR ALL DAMAGE TO DRYWALL PARTITIONS, WOOD DOORS AND FRAMES RESULTING FROM THEIR FLOORING INSTALLATION, AND SHOULD ALLOW FOR PAINT / FINISH TOUCH UPS.

PARTITIONS AND PAINTING

- CONTRACTOR TO APPLY FINISH TO ONE CONTINUOUS WALL UNDER NEW LIGHTING CONDITIONS FOR DESIGNER'S APPROVAL PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR TO ENSURE THAT ALL DRYWALL IS FLUSH, CLEAN AND FREE FROM DUST PRIOR TO APPLICATION OF ALL WALL FINISHES.
- ALLOW FOR PAINT TOUCH-UPS AFTER MILLWORK AND FURNITURE INSTALLATIONS.
- ALL NEW PARTITIONS AND EXISTING OR BASE BUILDING SURFACES REQUIRING REPAIR SHALL BE PAINTED WITH A PRIMER COAT, AND (2) COATS OF FINISH PAINT SPECIFIED.
- ALL NEW WALLS TO BE PAINTED PT-1, EGGSHELL FINISH, UNLESS OTHERWISE NOTED.
- ALL PAINTED CEILINGS SHALL BE PAINTED WITH A PRIMER COAT, AND (2) COATS OF LATEX FLAT, UNLESS SPECIFIED OTHERWISE.
- ALL DOORS / FRAMES, TRIM AND BASE (WHERE APPLICABLE) SHALL BE FINISHED ON SITE WITH A PRIMER COAT AND (2) COATS OF LATEX SEMI-GLOSS FINISH, OF THE SPECIFIED COLOUR, UNLESS SPECIFIED OTHERWISE.
- ALL CONVECTORS AND BULKHEADS AT PERIMETER TO BE PAINTED TO MATCH ADJACENT WALLS IN SEMI-GLOSS, UNLESS OTHERWISE NOTED. REVIEW WITH LANDLORD.
- ALL EXPOSED METAL FURRING AT AIR SLOTS TO BE PAINTED TO MATCH ADJACENT SURFACE, UNLESS NOTED OTHERWISE.
- ALL FIREHOSE CABINETS AND FRAMING TO BE FINISHED WITH SEMI-GLOSS PAINT TO MATCH COLOUR OR FINISH ON ADJACENT CONSTRUCTION, UNLESS NOTED OTHERWISE).
- ALL BASE BUILDING COLUMNS TO BE FINISHED TO MATCH FINISHES OF AREA IN WHICH THEY OCCUR, UNLESS OTHERWISE NOTED.
- ALL BASE BUILDING RADIATORS TO BE FINISHED TO MATCH FINISHES OF AREA IN WHICH THEY OCCUR, UNLESS NOTED OTHERWISE.
- WHERE DIFFERENT PAINTS / WALL COVERINGS MEET IN CORNERS AND ALONG WALLS, 1/2" REVEAL TO BE PROVIDED.
- ALL REVEALS TO BE FINISHED TO MATCH ADJACENT WALL FINISHES, UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR TO PROVIDE FIRE RETARDANT PAINT FINISH TO NEW, EXISTING OR RELOCATED BACKBOARD IN LAN CLOSET TO MATCH ADJACENT WALL, UNLESS NOTED OTHERWISE.



4-535 queen street east
toronto, ontario, m5a 1v1
t - 416. 895. 3721
e - mail@urbanscout.ca
www.urbanscout.ca

No.	Issued	Date
1.	Issued to ENGINEERS	06/20/2024
2.	Issued to CLIENT FOR REVIEW	07/10/2024
3.	Issued For PERMIT	08/09/2024
4.	Issued For TENDER	09/11/2024
5.	Issued For CONSTRUCTION	

© 2024 Urban Scout Design Inc.
Do not scale the drawings.
The Contractor and all sub-contractors shall verify all job site dimensions, all drawings, details, & specifications. The contractor shall report any discrepancies, in writing, to Urban Scout Design prior to commencing with any work.
All necessary samples, shop drawings of millwork or otherwise, shall be submitted to Urban Scout Design, for approval, prior to proceeding with any work.

I, the undersigned, bear ultimate and total responsibility for this design, and for the qualifications and review of the requirements set out in the Contract Documents, and for the compliance of the design with the Building Code.

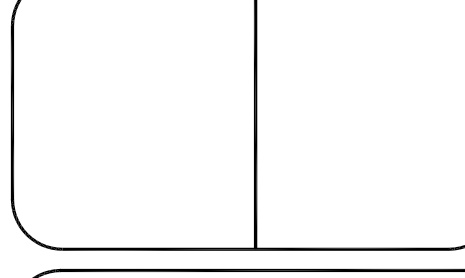
QUALIFICATION INFORMATION
I hereby certify that I am a duly Licensed Professional Engineer under the Engineering Act, R.S.O. 1990, Chapter E.1, as amended, and that I am duly Licensed under the Building Code.

NAME: ANDREW HELLWIG
SIGNATURE: [Signature]
BIRTH: 1979

REGISTRATION INFORMATION
I hereby certify that I am a duly Licensed Professional Engineer under the Engineering Act, R.S.O. 1990, Chapter E.1, as amended, and that I am duly Licensed under the Building Code.

NAME: Andrew Allen Hellwig Design Consultants Inc.
SIGNATURE: [Signature]
BIRTH: 1945

No.	Revisions	Date

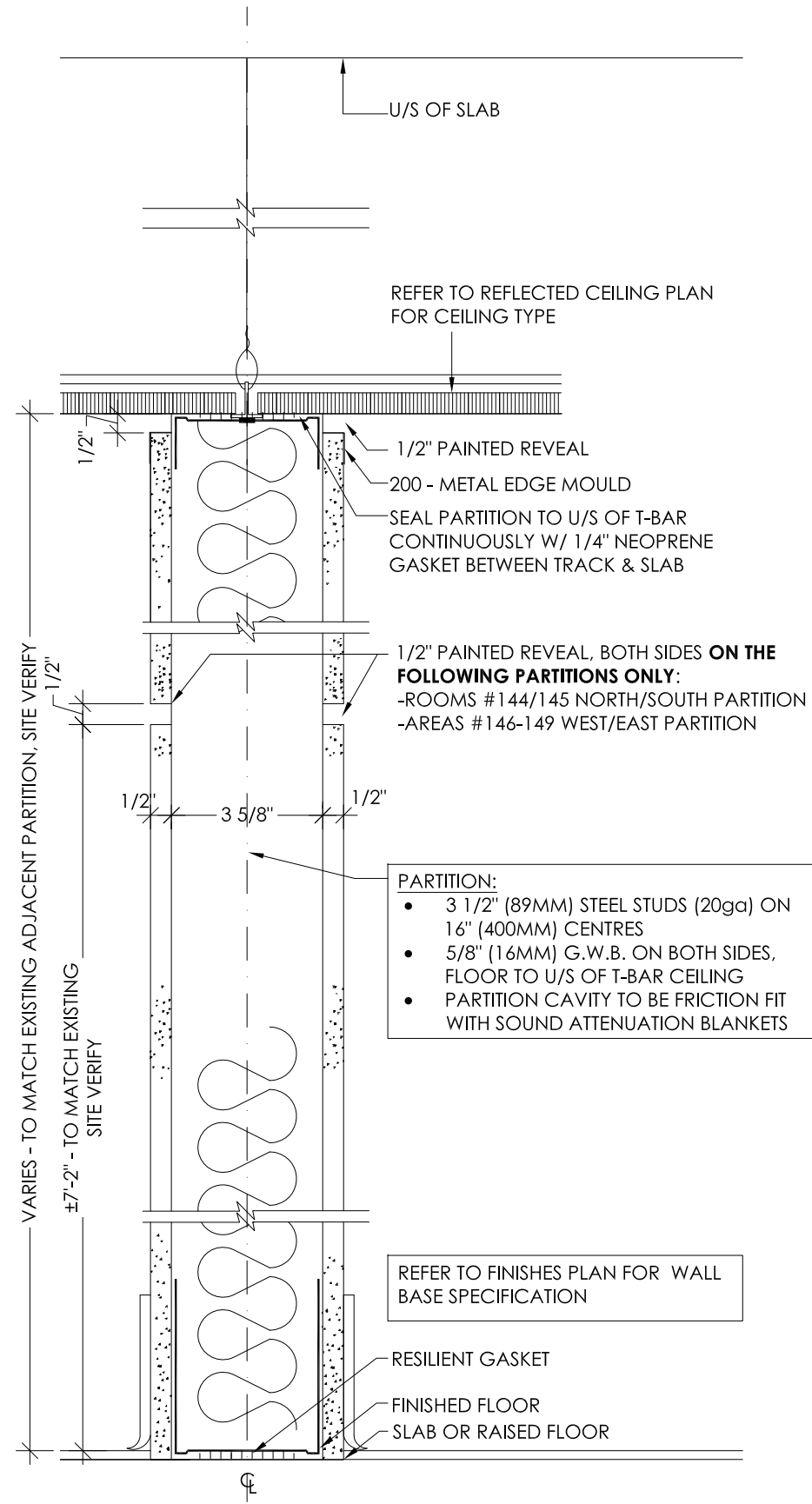


4330 DUFFERIN STREET
TORONTO, ON M3H 5R9
(GROUND FLOOR)

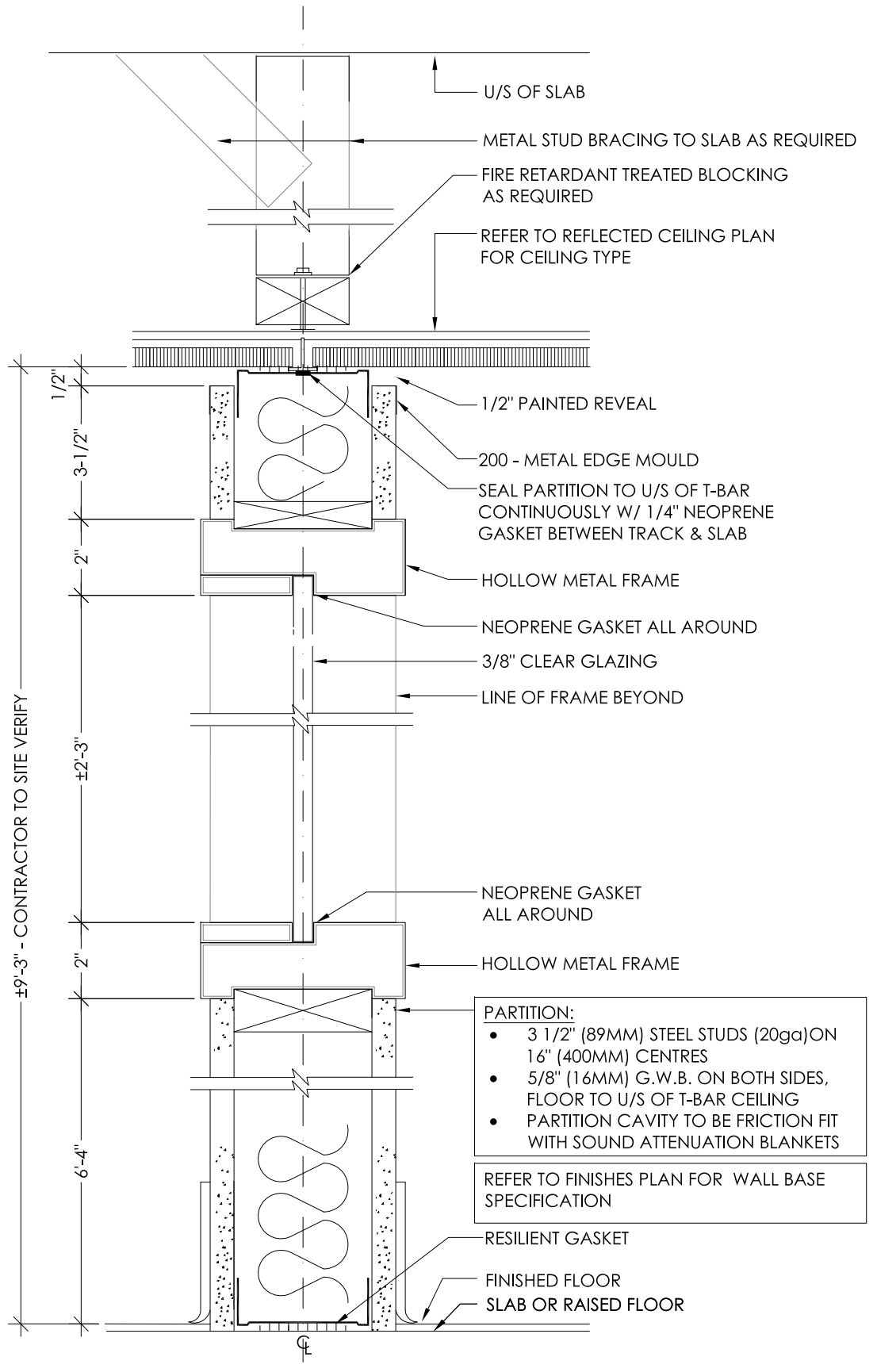
Scale: N.A.
Cad Code: us/cof/dwg/wd-1
Drawn By: M.G. Checked By: D.T.
Drawing Name:

GENERAL NOTES

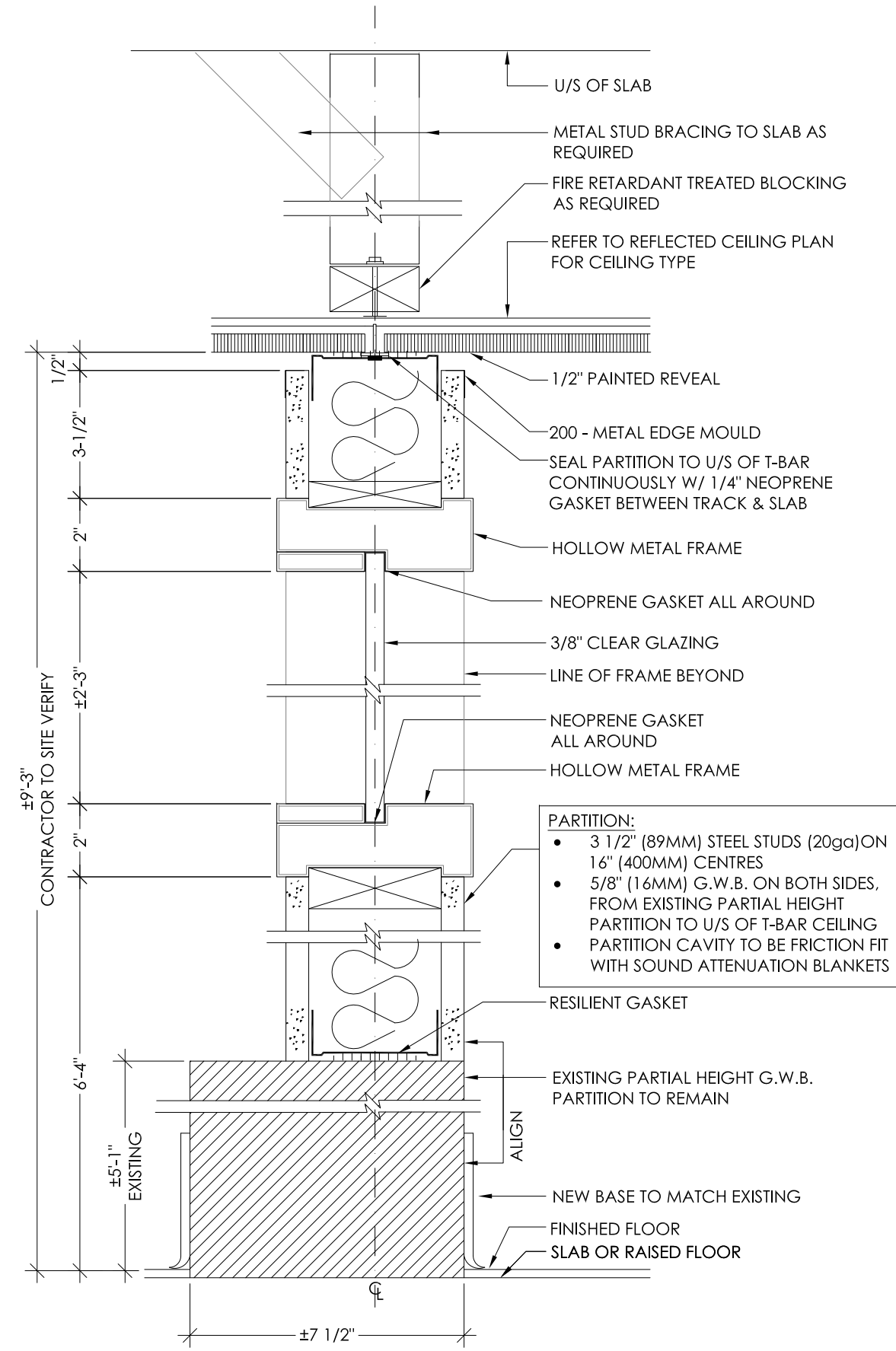
Project No: 24-05-00
Drawing No: ID-1.6



1 SECTION: PARTITION TYPE P1 - NEW G.W.B. PARTITION
ID-2.1 3/8"=1'-0"



2 SECTION: PARTITION TYPE P2 - NEW G.W.B. PARTITION WITH CLERESTORY
ID-2.1 3/8"=1'-0"



3 SECTION: PARTITION TYPE P3 - EXIST. PARTIAL HT. PARTITION WITH NEW G.W.B. / CLERESTORY PARTITION
ID-2.1 3/8"=1'-0"

No.	Issued	Date
1.	Issued To ENGINEERS	06/20/2024
2.	Issued To CLIENT For REVIEW	07/10/2024
3.	Issued For PERMIT	
4.	Issued For TENDER	09/11/2024
5.	Issued For CONSTRUCTION	

© 2024 Urban Scout Design Inc.
Do not scale the drawings.
The Contractor and all Sub-contractors shall verify all job site dimensions, all drawings, details & specifications. The contractor shall report any discrepancies in writing, to Urban Scout Design prior to commencing with any work.
All necessary samples, shop drawings of millwork or otherwise, shall be submitted to Urban Scout Design, for approval, prior to proceeding with any work.

No.	Revisions	Date

--	--

Toronto
CITY OF TORONTO
4330 DUFFERIN STREET
TORONTO, ON, M3H 5R9
(GROUND FLOOR)

Scale: AS NOTED
Cad Code: us/cof/dwg/wd-1
Drawn By: M.G. Checked By: D.T.
Drawing Name: Partition Details

Project No: 24-05-00 Drawing No: ID-2.1

NOTE:
1. NEW DOOR FRAME TO MATCH HEIGHT OF ADJACENT DOOR FRAME.

VARIABLES:
REFER TO SELECTED CEILING PLAN
2'-7 1/2" - TO MATCH EXISTING DOOR FRAME
CONTRACTOR TO SITE VERIFY

LINE OF FINISHED T-BAR CEILING

NEW PAINTED REVEAL ON BOTH SIDES OF DOOR [AT DOOR #147 ONLY] TO MATCH EXISTING

TO BE SUPPLIED & INSTALLED BY GENERAL CONTRACTOR:

DOOR SPECS:

- TYPE: SWING
- MATERIAL: SOLID CORE WOOD
- FINISH: PAINT, SITE FINISH

FRAME SPECS:

- MATERIAL: HOLLOW METAL
- FINISH: PAINT, SITE FINISH
- TRIM: 2"
- THROAT SIZE TO MATCH WALL THICKNESS

DOOR HARDWARE:

- REFER TO DOOR/HARDWARE SCHEDULE FOR ALL SPECS.

REFER TO FINISHES PLAN & LEGEND FOR WALL BASE SPECS

LINE OF FINISHED FLOOR

LINE OF FINISHED T-BAR CEILING

DOOR CLOSER

TO BE SUPPLIED & INSTALLED BY GENERAL CONTRACTOR:

DOOR SPECS:

- TYPE: SWING
- MATERIAL: SOLID CORE WOOD
- FINISH: PAINT, SITE FINISH

GLASS INSERT:

- 3/8" THICK, CLEAR, TEMPERED

FRAME SPECS:

- MATERIAL: HOLLOW METAL
- FINISH: PAINT, SITE FINISH
- TRIM: 2"
- THROAT SIZE TO MATCH WALL THICKNESS

DOOR HARDWARE:

- REFER TO DOOR/HARDWARE SCHEDULE FOR ALL SPECS.

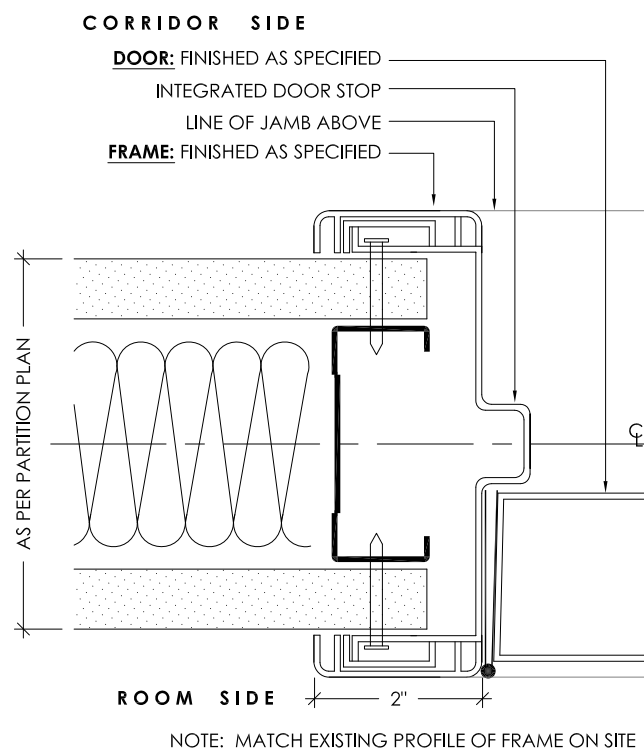
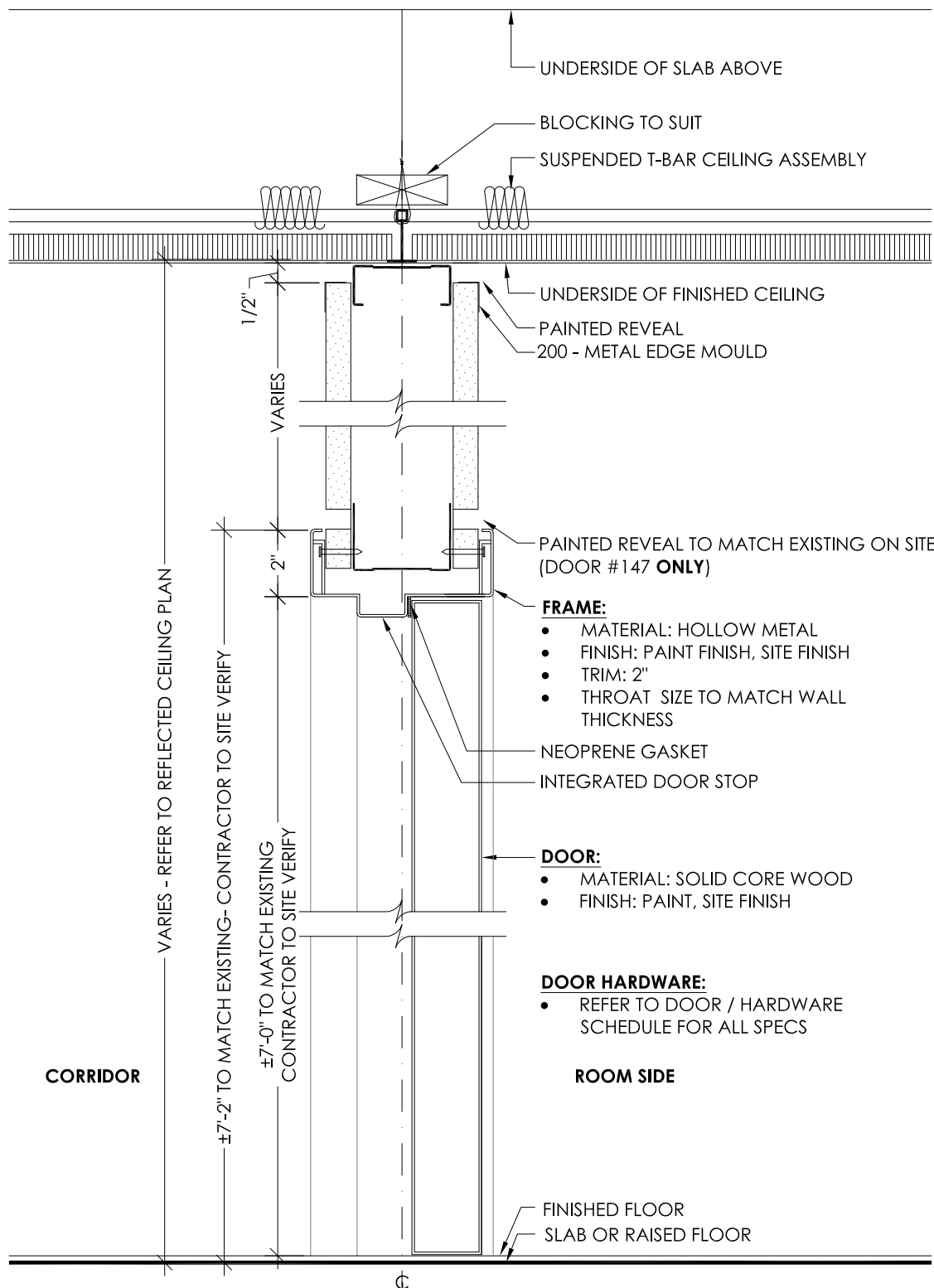
REFER TO FINISHES PLAN & LEGEND FOR WALL BASE SPECS

LINE OF FINISHED FLOOR


3	ELEVATION: DOOR - TYPE B
ID-3.1	1/2"=1'-0"

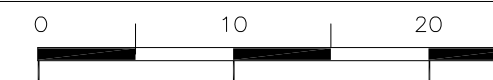
NOTES:

1. WILCOX DOOR SERVICE INC. TO SUPPLY AND INSTALL NEW ALUMINUM ROLL UP DOOR INCLUDING LIFT MASTER TO SUIT EXISTING OPENING. NEW DOOR AND OPERATOR TO MATCH EXISTING ADJACENT AMBULANCE BAY DOORS, INCLUDING COLOUR, STYLE, WINDOWS AND OPERATION.
2. WILCOX DOOR SERVICE INC. TO PROVIDE SHOP DRAWINGS FOR APPROVAL.



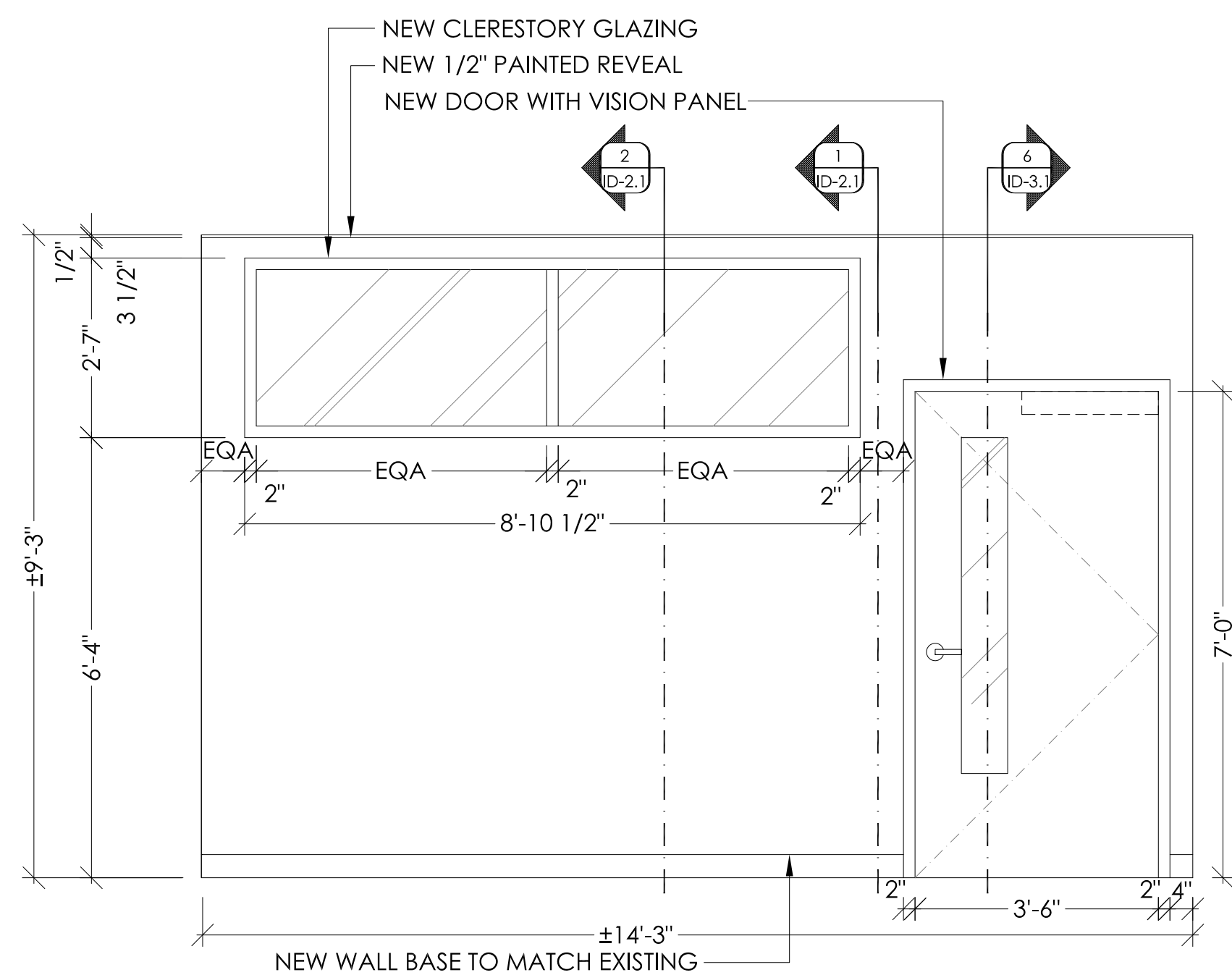
7	SECTION: DOOR TYPE A/B
ID-3.1	6"=1'-0"

 TORONTO CITY OF TORONTO	
4330 DUFFERIN STREET TORONTO, ON, M3H 5R9 (GROUND FLOOR)	
Scale:	AS NOTED
Cad Code:	us/coft/dwg/wcd-1
Drawn By:	M.G. Checked By: D.T.
Drawing Name:	
<div>Door Schedule and</div> <div>Door Details</div>	
Project No:	Drawing No:
24-05-00	ID-3.1



NOTES:

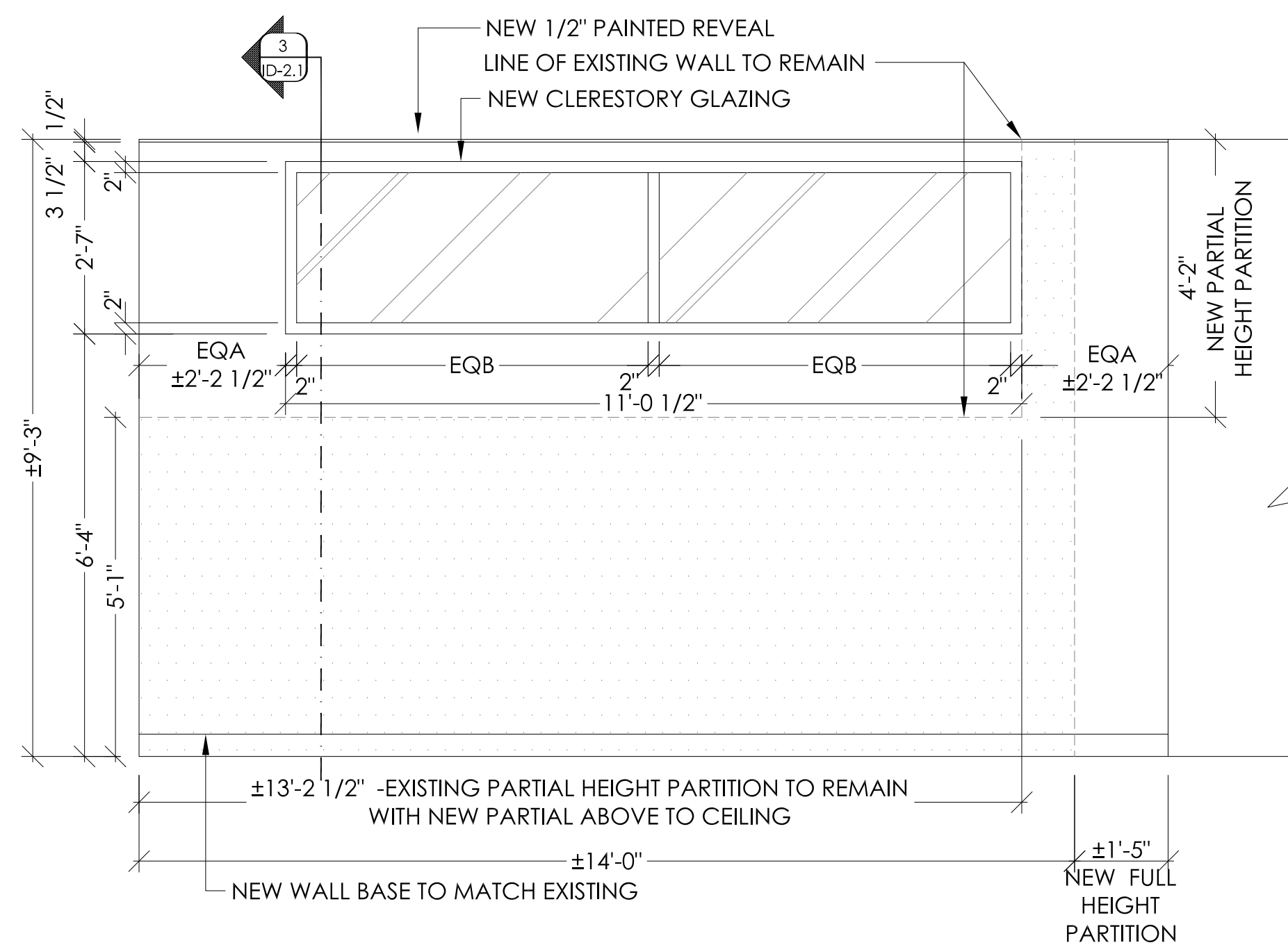
1. PARTITION TO BE SUPPORTED FROM ABOVE T-BAR
2. REFER TO POWER AND COMMUNICATIONS PLAN FOR NEW DOOR OPERATOR LOCATION



1	ELEVATION: AREA #137 SOUTH
ID-4.1	1/2"=1'-0"



1. PARTITION TO BE SUPPORTED FROM ABOVE T-BAR



2	ELEVATION: AREA #137 WEST
ID-4.1	1/2"=1'-0"

[illegible]

Do not scale the drawings.

The Contractor and all Sub-contractors shall verify all job site dimensions, all drawings, details & specifications. The contractor shall report any discrepancies, in writing, to Urban Scout Design prior to commencing with any work.

All necessary samples, shop drawings of millwork or otherwise, shall be submitted to Urban Scout Design, for approval, prior to proceeding with any work.

No.	Revisions	Date



4330 DUFFERIN STREET
TORONTO, ON, M3H 5R6
(GROUND FLOOR)

Drawn By: M.G. Checked By: D.J.

Elevations

Project No:	Drawing No:
24-05-00	ID-4.1

